





Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

#### 2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

- Photographs of the subject site and/or building

#### 8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

### FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000



# PROJECT DATA

**PROJECT LOCATION:**  
3434 MAGAZINE ST.  
NEW ORLEANS, LA

**OWNER:**  
LAL PROPERTIES LLC  
**CONTACT:**  
TERRI GOLDSMITH (504-931-9353)

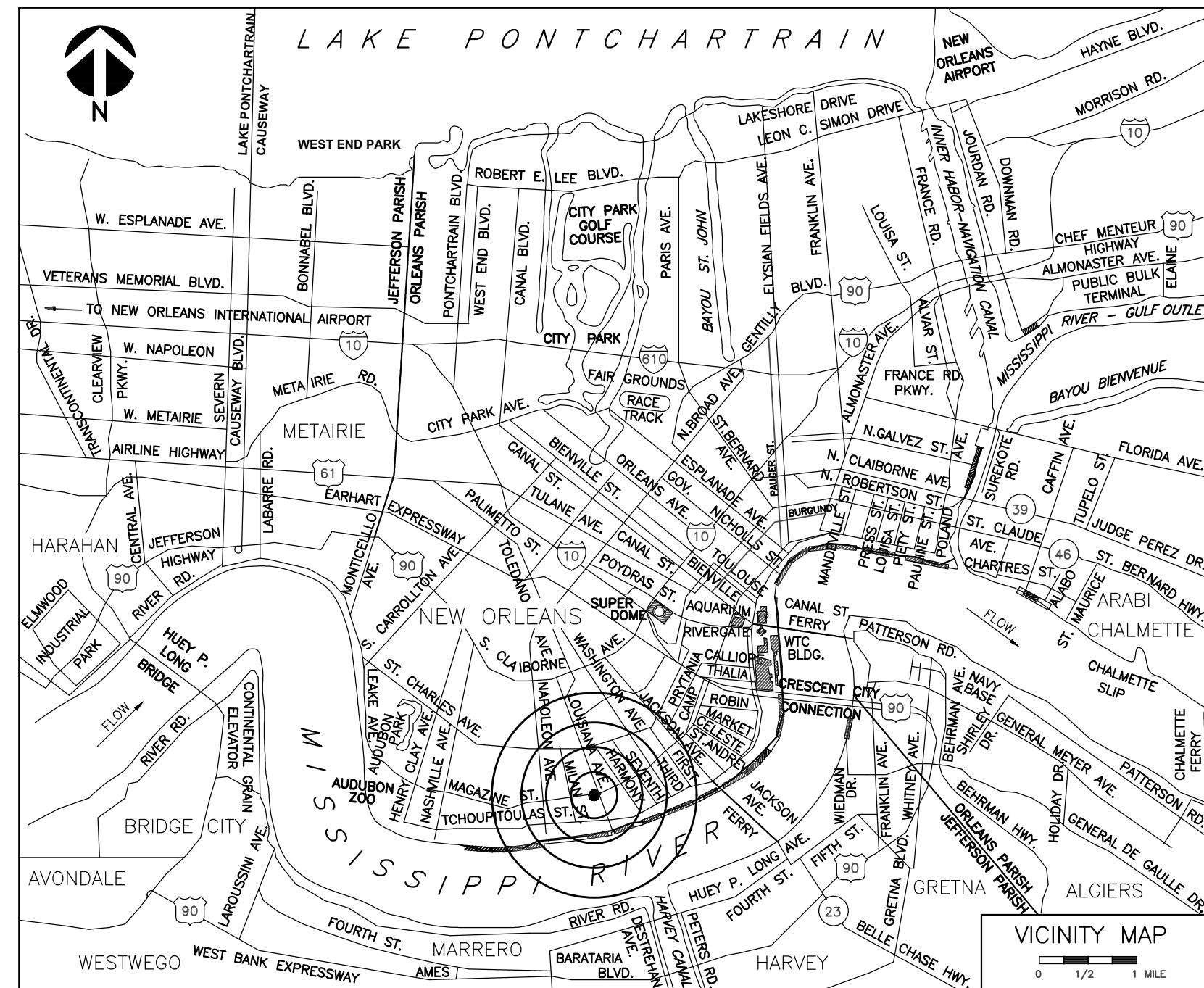
**ARCHITECT OF RECORD:**  
DAVID MACDONALD, RA, LEED AP  
MAC DESIGN LLC  
617.335.8568  
License #: AF0393 & 8097

**STRUCTURAL ENGINEER:**  
Mr. Herminio O. Cruz  
4650 Washington Avenue, Suite 352  
New Orleans, LA 70125  
License #: PE.0035235

**MECHANICAL ENGINEER:**  
-----  
License #: ----

**ELECTRICAL ENGINEER:**  
-----  
License #: -----

# VICINITY PLAN



# CODE / AREA

## INTERIOR FLOOR AREA CALCULATIONS:

EXISTING INTERIOR:  
 --- ACCESSORY INTR: 328 SF  
 --- 1ST FLR INTR: 1085 SF  
 --- FULL HT RETAIL: 795 SF  
 --- 8FT RETAIL: 202 SF  
 --- STAIR: 14 SF  
 --- BATH/KIT: 68 SF  
 --- 2ND FLR CAMELBACK: 305 SF  
 --- 8FT RETAIL: 202 SF  
 --- STAIR AND CLO: 103 SF  
 --- TOTAL EXISTING INTR: 1,718 SF  
 --- TOTAL EXIST. RETAIL SF: 1,524 SF

PROPOSED INTERIOR:  
 --- ACCESSORY INTR: 328 SF  
 --- RETAIL PORTION: 217 SF  
 --- 1ST FLR INTR: 1,711 SF  
 --- FULL HT RETAIL: 1,618 SF  
 --- STAIR & CLO: 93 SF  
 --- 2ND FLR INTR: 1,472 SF  
 --- RESIDENTIAL: 560 SF  
 --- FULL HT RETAIL: 857 SF  
 --- STAIR 55: SF  
 --- TOTAL PROPOSED INTR: 3,511 SF (AN ADD OF 1,793 SF)  
 --- TOTAL INTR RETAIL: 3,025 SF (AN ADD OF 1,667 SF, OR 110% INCREASE)

AC = AIR CONDITIONING  
 AFF = ABOVE FINISHED FLOOR  
 BD OR BRD = BOARD  
 B.F. = BASE FLOOD  
 BLDG = BUILDING  
 BLK = BLOCK  
 CLNG = CEILING  
 CMU = CONCRETE MASONRY UNIT  
 CONC = CONCRETE  
 DIA = DIAMETER  
 DISC = DISCONNECT  
 DN = DOWN  
 DWG = DRAWING  
 DS = DOWNSPOUT  
 ELEC = ELECTRICAL  
 ELEV = ELEVATION

## OPEN SPACE CALCULATION:

--- ZONING = HU-B1  
 --- LOT IS 3174 SF  
 --- EXISTING GROSS SF: 1,180 SF MAIN HOUSE + 360 SF SHED + 304 SF 2ND FLR CAMELBACK = 1,844 SF  
 --- PROPOSED GROSS SF: 1ST FLR: 1,831 SF + 360 SF SHED + 2ND FLR: 1,582 SF = 3,773 SF (AN ADD OF 596 SF FROM ORIG. PROPOSAL)  
 --- PROPOSED BLDG ROOFPRINT = 2,493 SF  
 --- OPEN SPACE = 681 SF INCLUDING RAMP AND IMPERMEABLE SURFACES  
 --- PERMEABLE OPEN SPACE REQ'T IS 10% OR 317 SF. PROJECT PROPOSAL TO SUPPLY 343 SF. SEE SITE PLAN FOR AREA.

# SCOPE OF WORK

**PROJECT DESCRIPTION:** THE PROJECT CONSISTS OF RELOCATING A HISTORIC COMMERCIAL STRUCTURE AFTER DEMOLISHING ITS CAMELBACK AND POURING A NEW FOUNDATION IN A SLIGHTLY DIFFERENT LOCATION. ONCE MOVED, A 2-STORY REAR ADDITION AS WELL AS A 2ND STORY WILL BE CONSTRUCTED. A NEW STAIRCASE WILL NEED TO BE CONSTRUCTED. SCOPE ALSO INCLUDES ADDING ACCESSIBILITY RAMP, BATHROOMS AND OTHER ITEMS REQUIRED TO MEET ACCESSIBILITY REGULATIONS. THE REAR ACCESSORY STRUCTURE'S ROOF WILL MARRY TO THE NEW ADDITION WITH A CRICKET WHICH WILL BE USED TO SUPPORT THE NEW HVAC EQUIPMENT AS WELL AS A MOP SINK, DRINKING FOUNTAIN, AND SMALL KITCHEN ARE BEING ACCOMMODATED FOR. THE BUILDING IS CURRENTLY NON-SPRINKLERED AND WILL BE SPRINKLERED THROUGHOUT WHEN COMPLETE. IT IS SUSPECTED THE BUILDING IS SETTLING SO FOOTING REPLACEMENT FOR THE ENTIRE BUILDING IS INCLUDED IN THE SCOPE. EXISTING PLASTERED BRICK PIERS WILL BE REPLACED WITH PLASTERED CMU.



1919 BURGUNDY ST  
 UNIT C  
 NEW ORLEANS, LA 70116  
 617.335.8568  
 MACDBLLC@GMAIL.COM  
 www.MAC-DESIGN-BUILD.com

**PROJECT: 3434  
 MAGAZINE ST.  
 NEW ORLEANS  
 LOUISIANA**

**DATE: 07/14/2021  
 REV:**

**ARCHITECT OR  
 ENGINEER'S STAMP**



# ABBREVIATIONS

AC = AIR CONDITIONING	EMT = ELECTRIC METAL TUBING	MIN = MINIMUM OR MINUTE	SHT = SHEET
AFF = ABOVE FINISHED FLOOR	EQ = EQUAL	MTL = METAL	SF = SQUARE FEET
BD OR BRD = BOARD	EXIST = EXISTING	OC = ON CENTER	SS = STAINLESS STEEL
B.F. = BASE FLOOD	EXP = EXPANSION	ORIG = ORIGINAL	STL = STEEL
BLDG = BUILDING	EXTR OR EXT = EXTERIOR	PREP = PREPARE	STRUCT = STRUCTURE
BLK = BLOCK	FLR = FLOOR	PREP'D = PREPARED	T.O. = TOP OF
CLNG = CEILING	GALV = GALVANIZED	PTD = PAINTED	TOC = TOP OF CONCRETE
CMU = CONCRETE MASONRY UNIT	GYP = GYPSUM	PT = PRESSURE TREATED	TSS = TUBE STEEL
CONC = CONCRETE	HT = HEIGHT	REQ'D = REQUIRED	TYP = TYPICAL
DIA = DIAMETER	HR = HOUR	R.O. = ROUGH OPENING	T&G = TONGUE AND GROOVE
DISC = DISCONNECT	INTR OR INT = INTERIOR	SECT = SECTION	VIF = VERIFY IN FIELD
DN = DOWN	MAX = MAXIMUM	SCH = SCHEDULE	WD = WOOD
DWG = DRAWING	M.E. = MATCH EXISTING		W/ = WITH
DS = DOWNSPOUT			W/D = WASHER AND DRYER
ELEC = ELECTRICAL			XPS = EXTRUDED POLYSTYRENE
ELEV = ELEVATION			

# GENERAL NOTES

- ALL WORK TO CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, NEW ORLEANS BUILDING CODE (IRC 2015), AND HDLC.
- ALL WOOD FRAMING TO BE TREATED WHEN IN CONTACT WITH CONCRETE OR MASONRY, OR BEARING.
- HEAD AND SILL FLASHING REQUIRED AT ALL EXTERIOR DOORS AND WINDOWS.
- ALL NEW GLAZING TO BE IMPACT RESISTANT UNLESS PROTECTED BY ACCEPTABLE ALTERNATIVE MEANS. USE SAFETY GLASS AND FRAMES WHERE REQUIRED.
- SUBCONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS WHETHER NOTED ON THE DIMENSION ITSELF OR NOT. REPORT ALL CHANGES AND DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING IF DIFFERENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL CONSTRUCTION METHODS, SCHEDULES, AND SAFETY PROCEDURES.
- IF THERE IS A CONFLICT BETWEEN THE ARCHITECTURAL DRAWINGS AND THE STRUCTURAL, THIS NEEDS TO BE BROUGHT TO THE ATTENTION OF BOTH IMMEDIATELY IN WRITING
- CONTRACTOR SHALL MAINTAIN A WEATHER SEALED ENVELOPE FOR THAT PORTION OF THE BUILDING TO REMAIN OCCUPIED DURING CONSTRUCTION

# INDEX TO DRAWINGS

- G01\_ Title Sheet, Vicinity Plan, Scope of Work, Drawings Index, Legends, General Notes
- G02\_Survey
- G03\_Photos of Existing Conditions
- A01\_Site Plan / Roof Plan - Existing vs. Proposed
- A02\_Existing And Proposed 1st Floor Plans
- A04\_Existing and Proposed 2nd Floor Plans
- A05\_Code Analysis
- A20\_Existing and Proposed Elevations - North & South
- A21\_Existing and Proposed Elevations - East
- A22\_Existing and Proposed Elevations - West
- A23\_Siteline Study
- A25\_Building Sections

# SYMBOL LEGEND

**TITLE OF DRAWING**  
 SCALE: 0" = 0'-0"

**DRAWING TITLE**

**ELEVATION REFERENCE**

**BUILDING SECTION REFERENCE**

**WALL SECTION REFERENCE**

**ENLARGED PLAN OR DETAIL INDICATION**

**COLUMN GRID**

**NORTH**

**PARTITION TAG**

**ROOM / SPACE NUMBER**

**WINDOW NUMBER**

**DOOR NUMBER**

**EQUIPMENT NUMBER**

**BREAK LINE**

**PROPERTY LINES OR BOUNDARY LINES**

**EXISTING, TO BE REMOVED**

# WALL LEGEND

TO BE DEMOLISHED

INDICATION OF ITEMS ABOVE OR HIDDEN FROM VIEW

NEW FRAME WALL

**RENOVATIONS TO 3434 MAGAZINE ST.  
 DRAFT SET - NOT FOR CONSTRUCTION**

**G01**



SQ. NO. 215, PLAISANCE  
SIXTH DISTRICT

A Boundary Survey of Lot 18.

NEW ORLEANS, LA  
ORLEANS PARISH



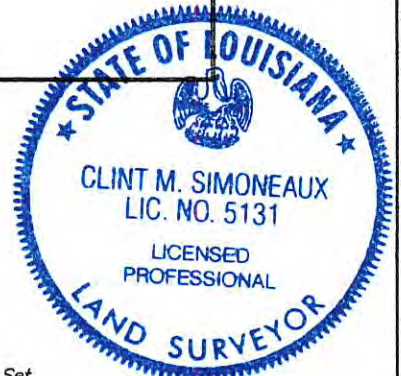
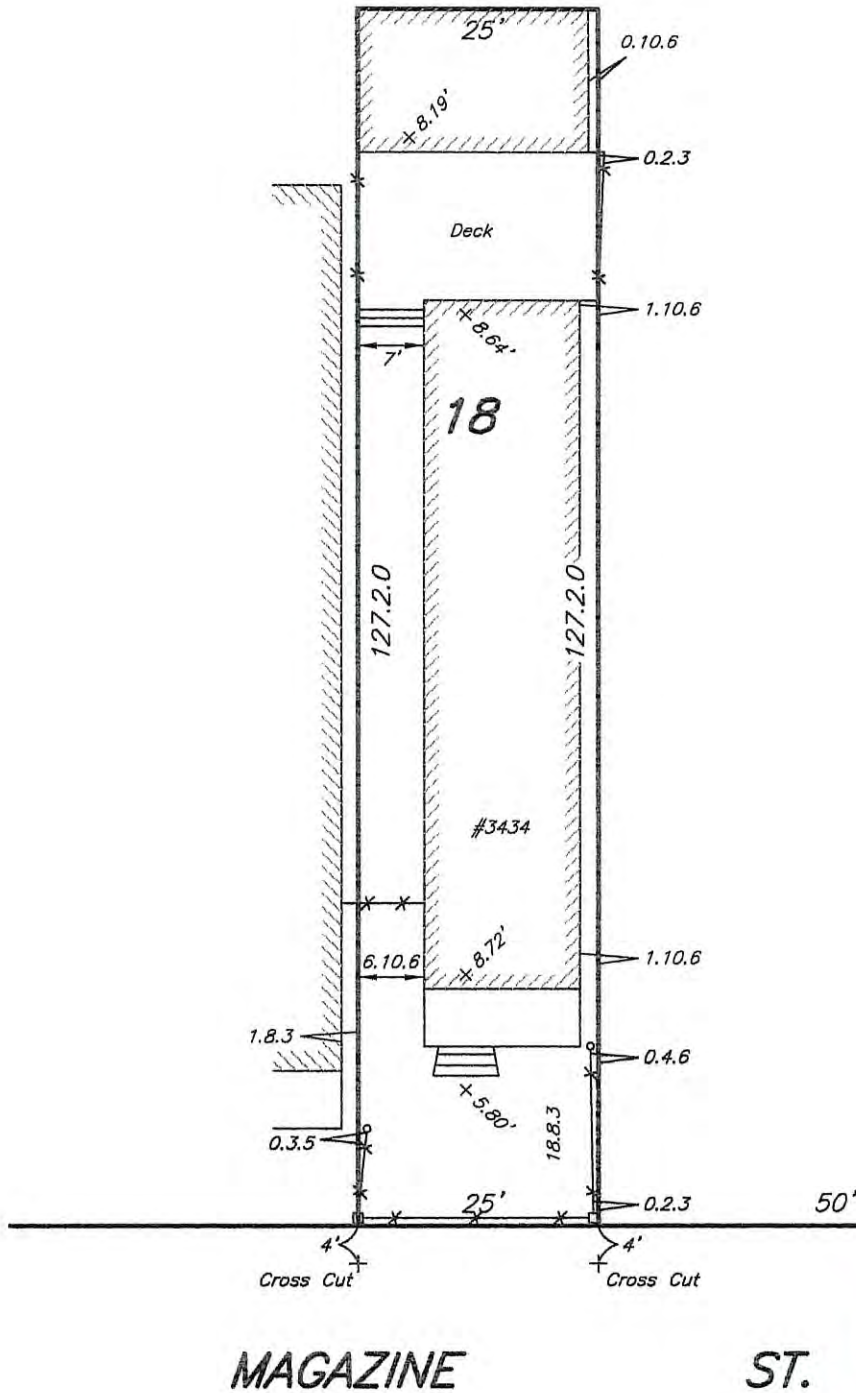
CONSTANCE ST. SIDE

LOUISIANA AVE. SIDE

LOUISIANA AVE. SIDE

ST.

DELACHAISE ST.



- Legend:
- I.R.S. 1/2" Iron Rod Set
  - I.R.F. 1/2" Iron Rod Found
  - I.P.F. 1/2" Iron Pipe Found
  - x — Fence

Note:  
Improvements may not be to scale for clarity.  
The dimensions shown prevail over scale.  
90° Lot angles as per plan of subd.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING DATA FOR THIS SURVEY.

Date: June 11, 2021

Scale: 1" = 20'

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code TITLE 46:LXI, Chapter 29 for a Class "C" survey.  
Made at the request of Terri Goldsmith

Gilbert, Kelly & Couturie', Inc., Professional Land Surveying  
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121 *Clint Simoneaux*



1 VIEW FROM SIDEWALK  
G03 NOT TO SCALE



2 EAST SIDYARD / ACCESSORY BEYOND  
G03 NOT TO SCALE



3 WEST SIDYARD  
G03 NOT TO SCALE



**MAC**  
DESIGN LLC  
1919 BURGUNDY ST  
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**PROJECT: 3434  
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**DATE: 07/14/2021  
REV:**

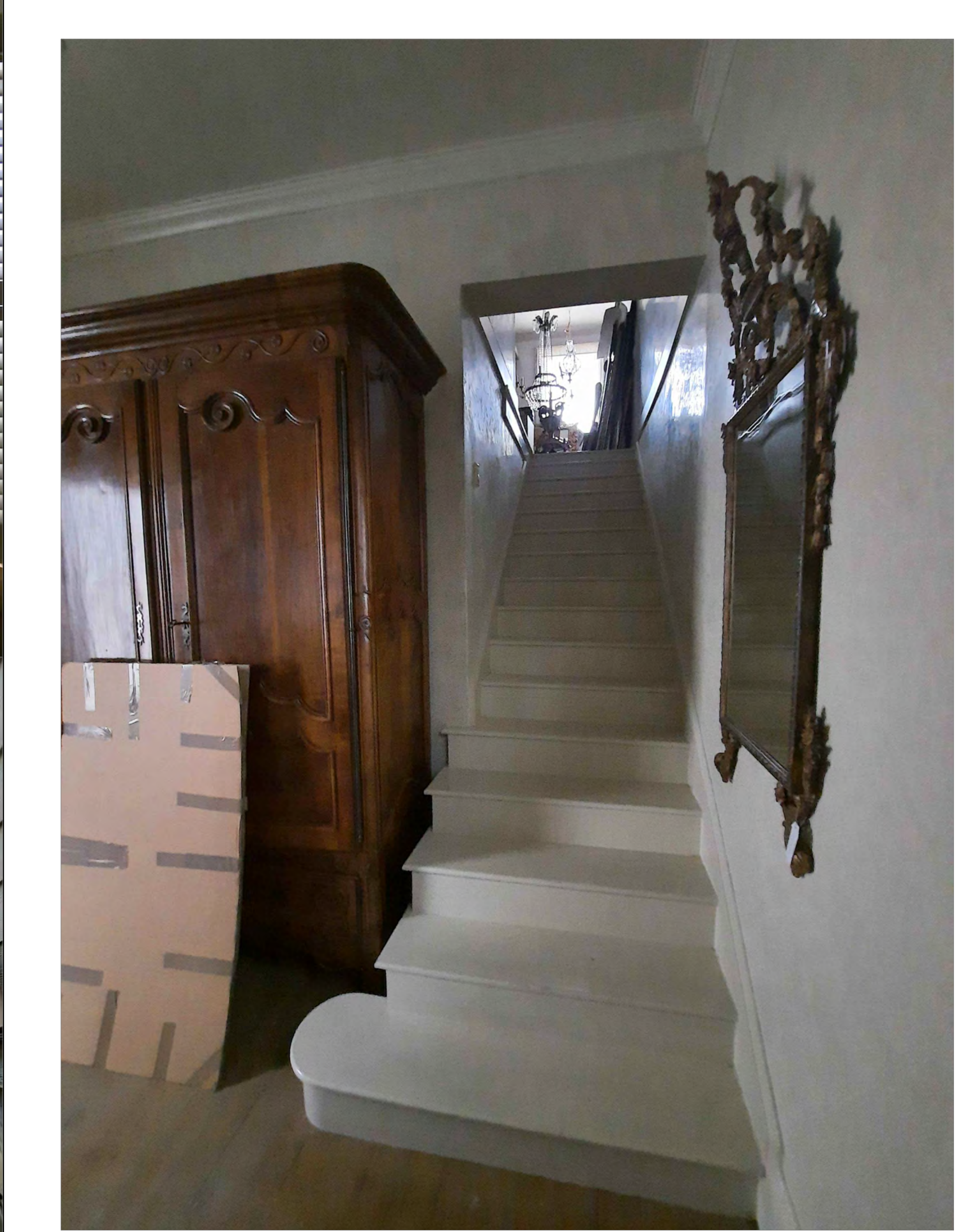
**ARCHITECT OR  
ENGINEER'S STAMP**



4 FRONT RM / FRONT DOOR ON THE LEFT  
G03 NOT TO SCALE



5 LOOKING TOWARD MAGAZINE  
G03 N/A



8 LOOKING TOWARD REAR OF BUILDING  
G03 NOT TO SCALE

6 REAR COURTYARD / ACCESSORY BLDG  
G03 NOT TO SCALE



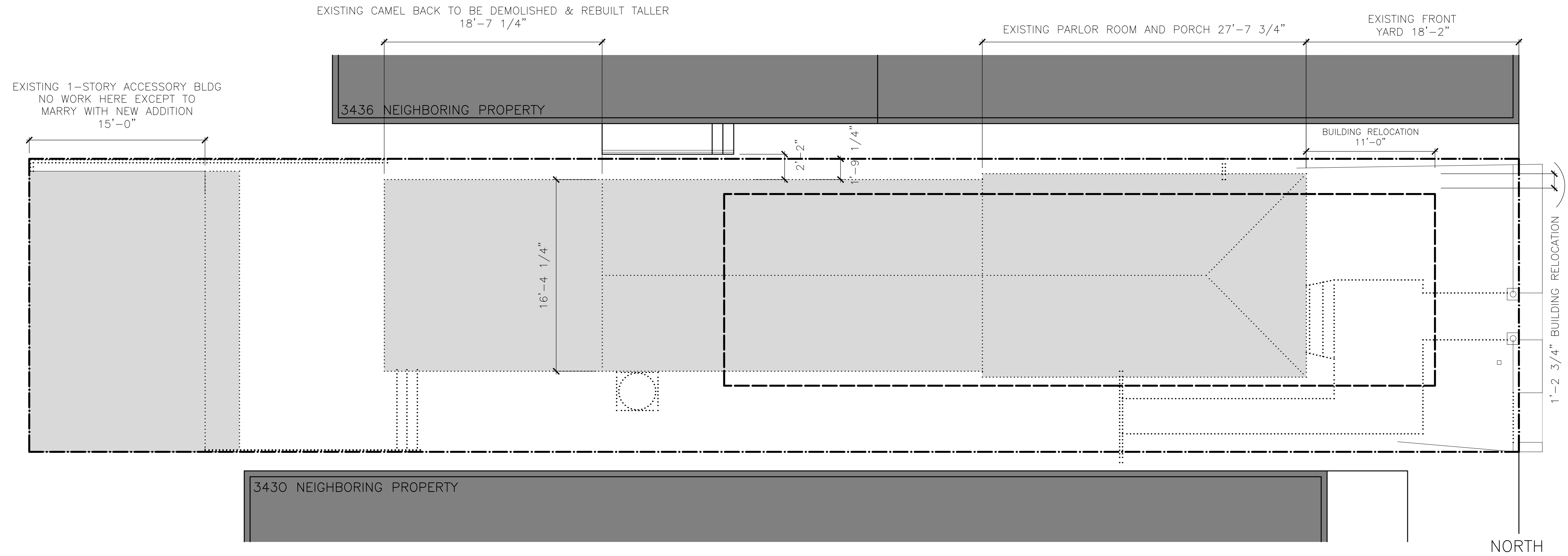
7 REAR COURTYARD / EAST SIDYARD  
G03 NOT TO SCALE



PHOTOGRAPHS

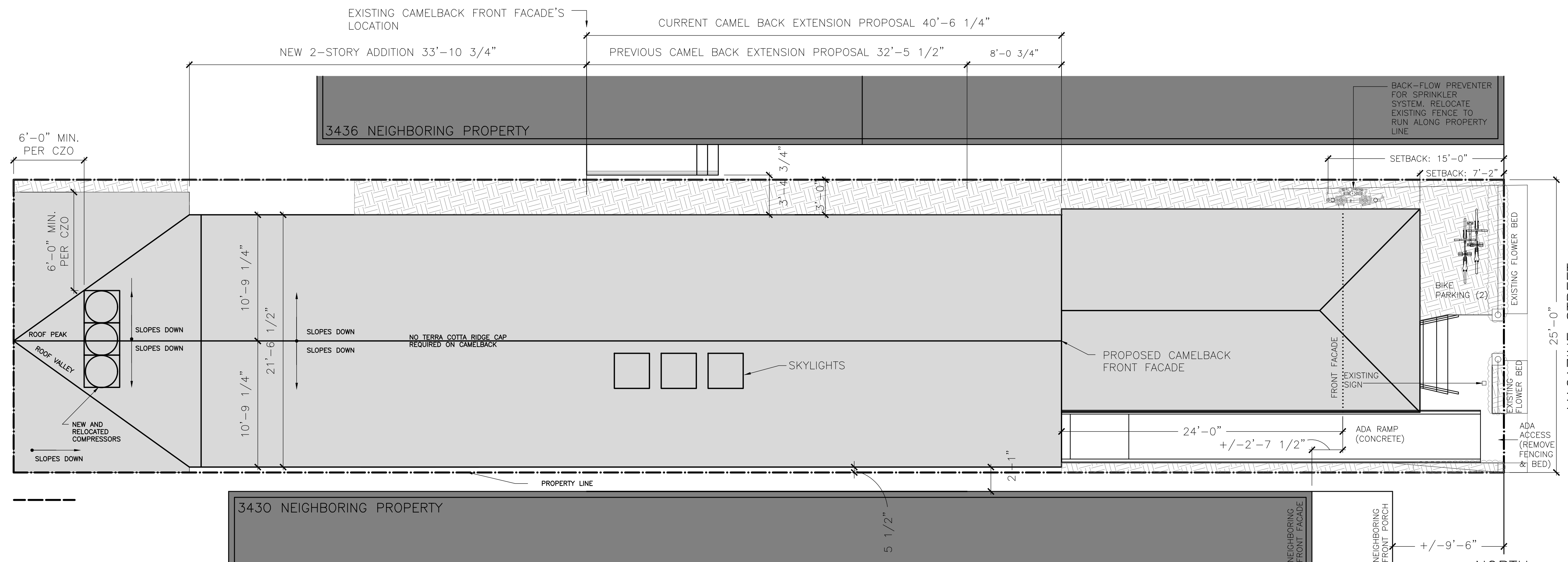
G03





- - - - - PROPERTY LINE
- - - - - RELOCATION
- - - - - DEMOLITION
- ROOF AREA

**1**  
A01  
**EXISTING SITE**  
3/16"=1'-0"

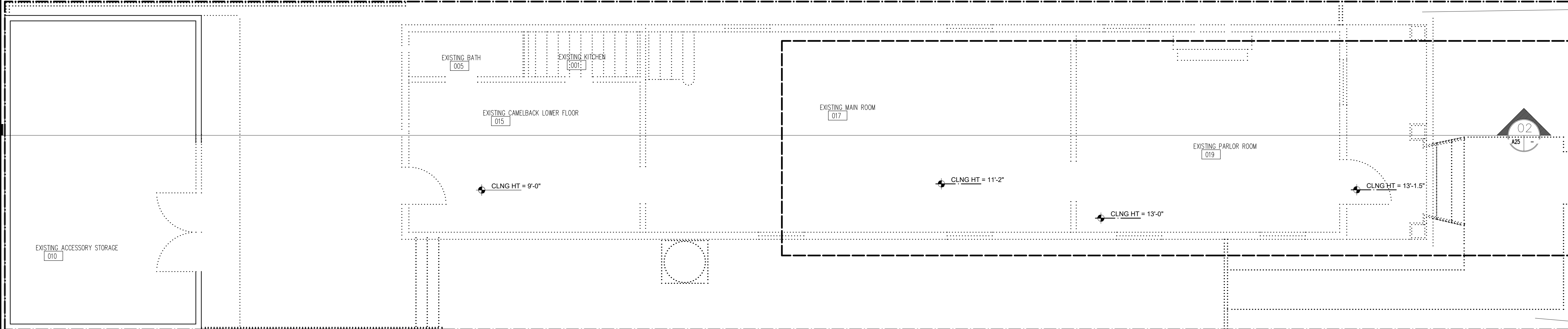


- - - - - PROPERTY LINE
- ▨ PERMEABLE OPEN SPACE
- ROOF AREA

**2**  
A01  
**PROPOSED SITE**  
3/16"=1'-0"

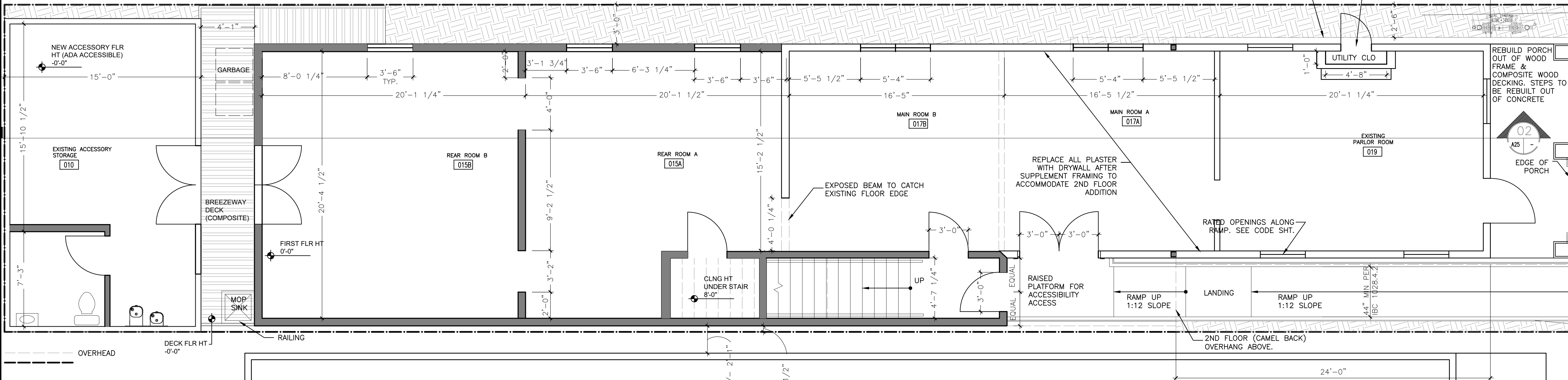
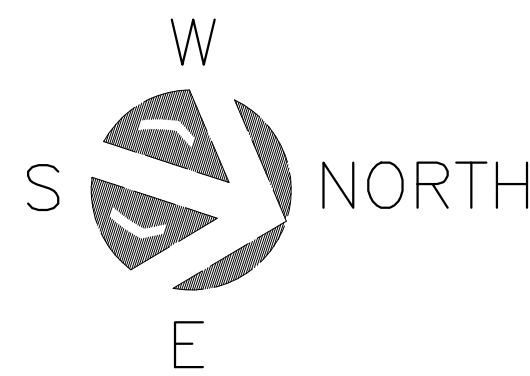
**SITE PLANS**

**A01**



..... DEMOLITION  
- - - - - RELOCATION

**1 EXISTING 1ST FLOOR**  
1/4"=1'-0"

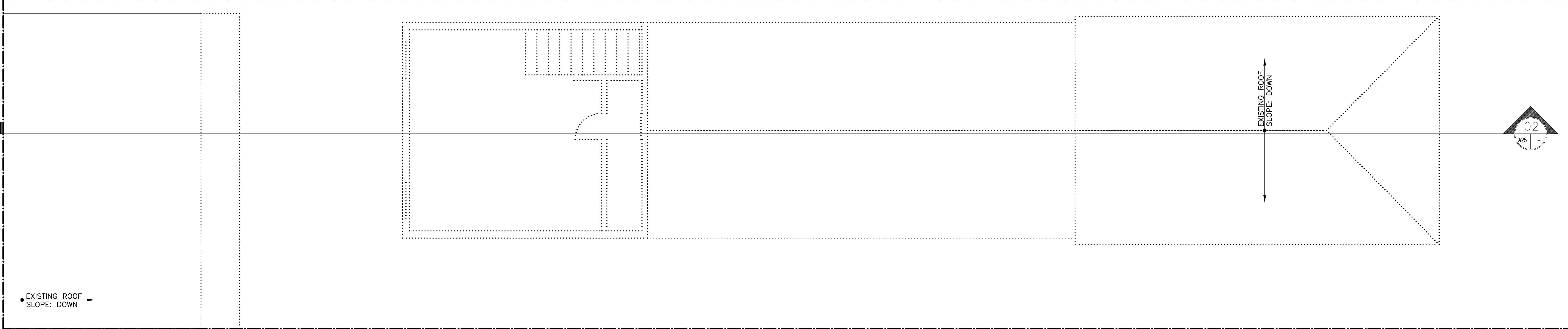


**2 PROPOSED 1ST FLOOR**  
1/4"=1'-0"

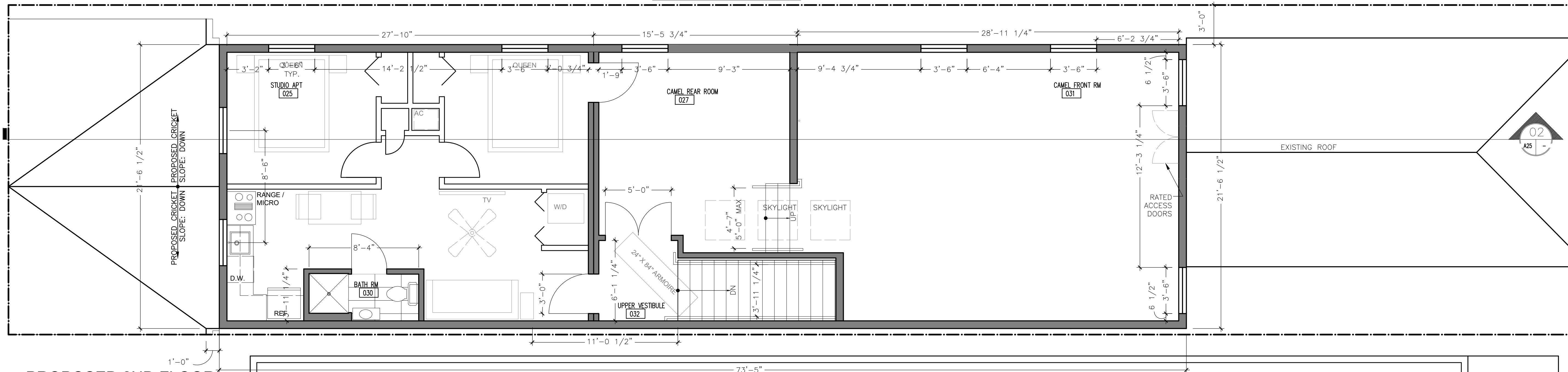
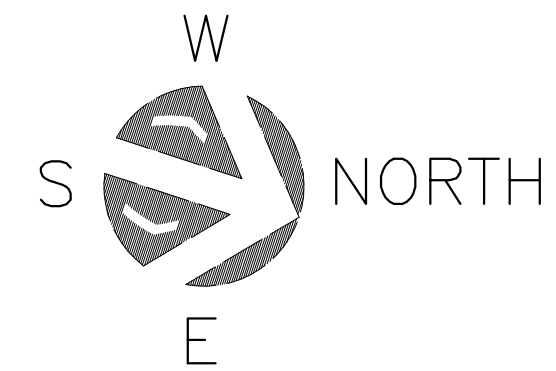
**EXISTING & PROPOSED 1ST FLOOR PLAN  
DRAFT - NOT FOR CONSTRUCTION**

**A02**





**1**  
A04  
**EXISTING 2ND FLOOR**  
1/4"=1'-0"

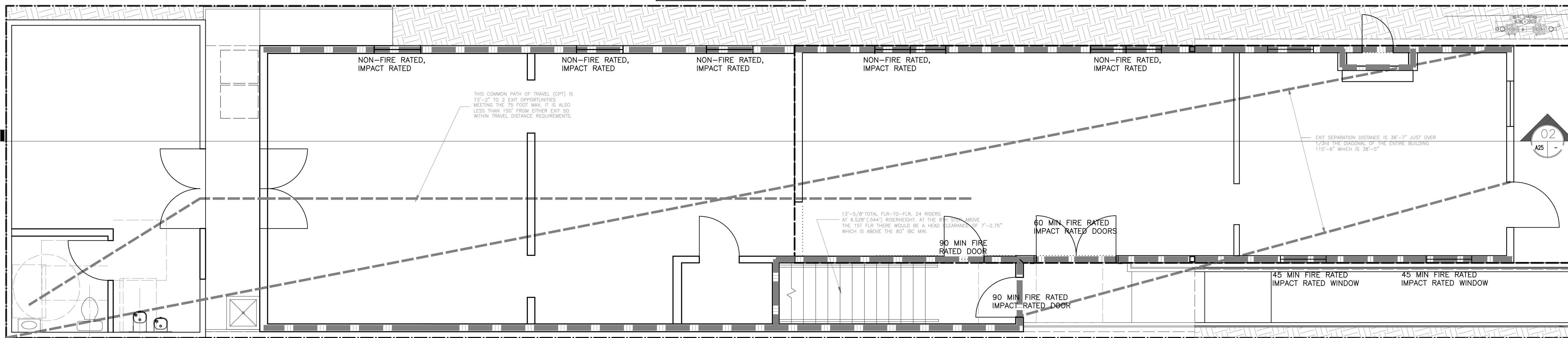
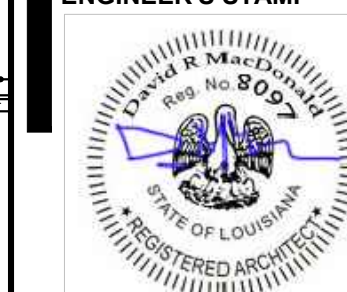
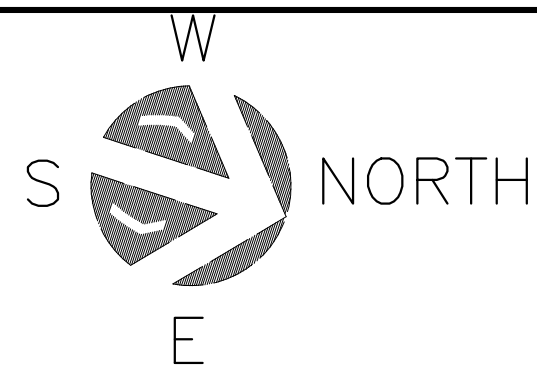


**2**  
A04  
**PROPOSED 2ND FLOOR**  
1/4"=1'-0"

**EXISTING AND PROPOSED 2NDFLOOR PLAN  
DRAFT - NOT FOR CONSTRUCTION**

**A04**





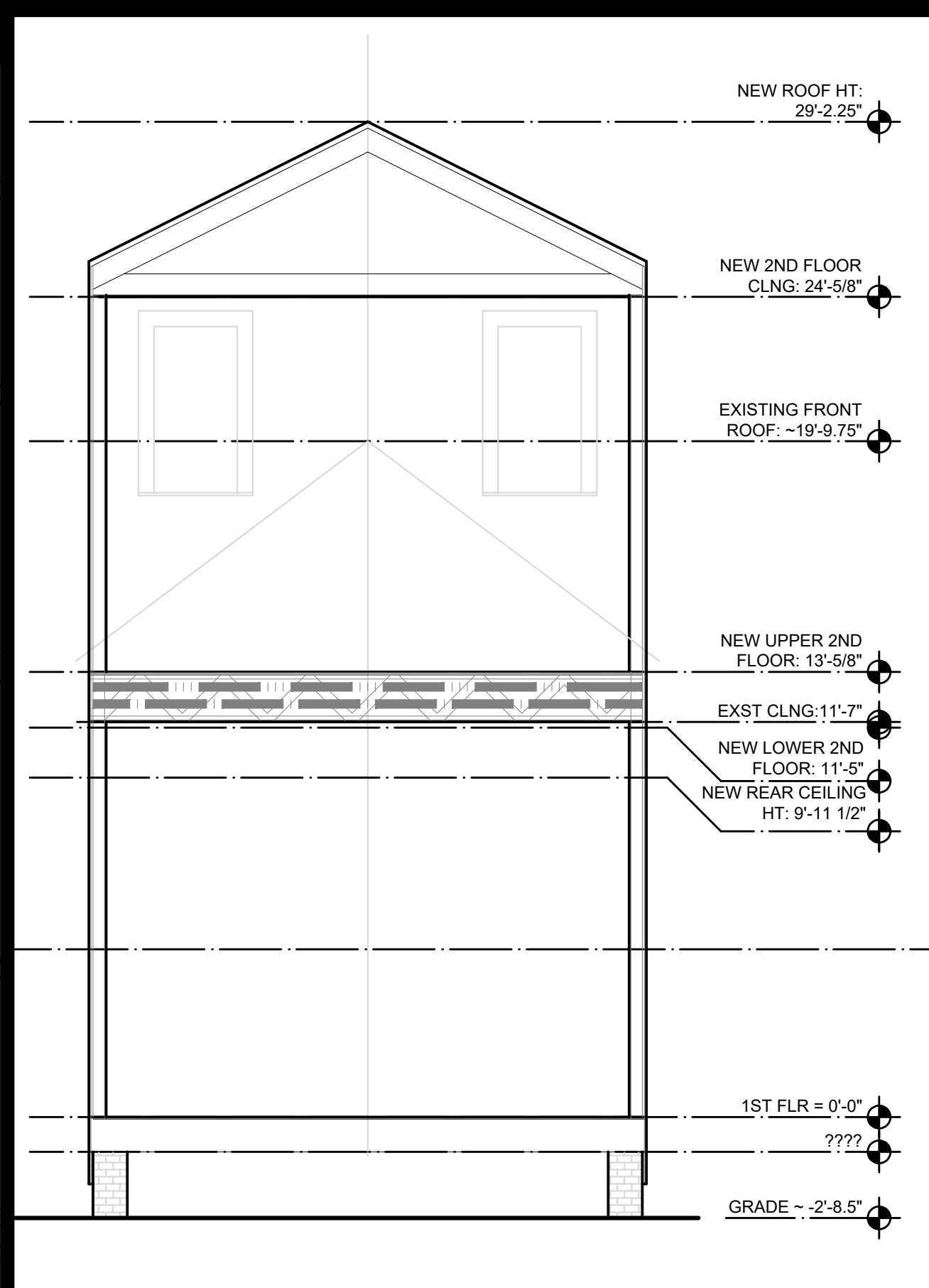
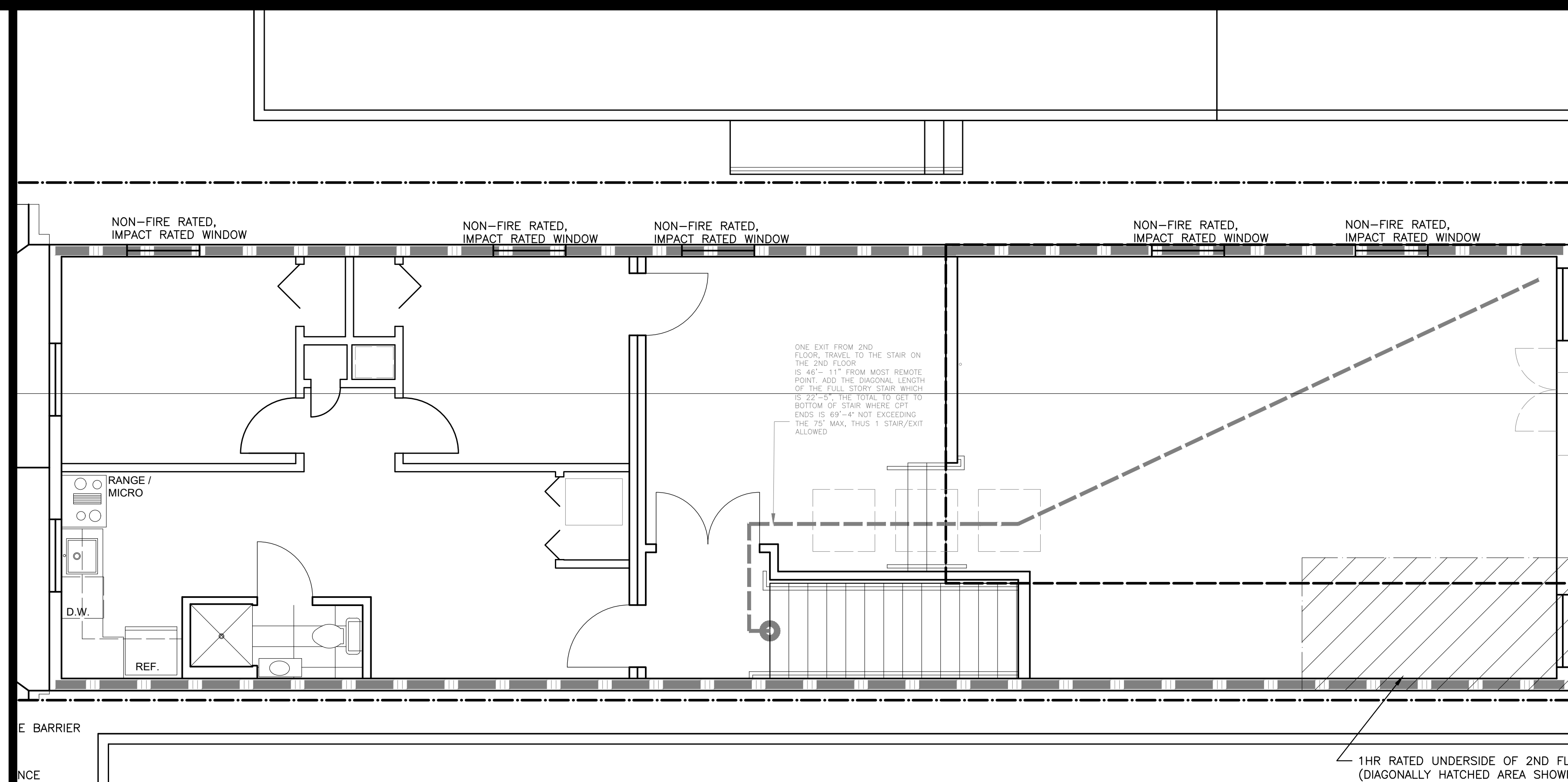
- OVERHEAD
- 1 HR RATED WALL AND SMOKE BARRIER
- 2 HR RATED WALL
- TRAVEL OR SEPARATION DISTANCE

**PROPOSED 1ST FLOOR CODE ANALYSIS**

1/4"=1'-0"

**CODE SUMMARY:**

- o NFPA 101 (2015)
  - OCCUPANCY GROUPS:
    - 1ST FLR: M (CLASS B)
    - 2ND FLR: M (CLASS B), ONE FAMILY DWELLING
  - HAZARD CLASSIFICATION: ORDINARY
  - SPRINKLER: PROJECT IS ADDING THROUGHOUT
  - SEPARATION - NONE REQUIRED BTWN FLOORS W/ THE SAME USE BUT A 2HR SEPARATION IS REQUIRED BTWN SINGLE FAM & MERCANTILE PER 6.1.14.4.1 (B)
- o IBC 2015
  - OCCUPANCY: MERCANTILE 1ST FLR, MERCANTILE AND RESIDENTIAL 2ND FLR, SINGLE COMMERCIAL TENANT FOR ENTIRE BUILDING
  - CONSTRUCTION TYPE: V-B (UNRATED)
    - FIRE SEPARATION BELOW 5 FEET REQUIRES IN MERCANTILE 2 HOUR EXTR WALL (TABLE 602)
  - OCCUPANT LOAD: 1004 1.2 (TABLE) MAX FLR AREA PER OCCUPANT FOR MERCANTILE = 60 GROSS SF/PERSON. AT 3,627 SF THE PROJECT YIELDS AN O.L. OF 61 PEOPLE.
    - 2ND FLR MERCANTILE = 857 SF / 60 = O.L. OF 15
    - 2ND FLR RESIDENTIAL = 560 SF / 200 = O.L. OF 3
    - TOTAL IS LESS THAN THE 45 PERSON MAX FOR SINGLE EXIT.
  - SPRINKLERING: 504.4 ALLOWABLE NUMBER OF STORIES - MERCANTILE TYPE V-B: 1 STORY IF NON-SPRINKLERED, 2 IF SPRINKLERED, THUS THE PROJECT IS ADDING A SPRINKLER SYSTEM
  - SEPARATION: BTWN MERCANTILE AND BUSINESS = NONE, BTWN MERCANTILE AND RESIDENTIAL IS 1HR IN SPRINKLERED BLDGS PER TABLE 508.4
  - FIRE RATING OF BUILDING ELEMENTS: EXTERIOR BEARING WALLS OT TYPE VB = ZERO
- o IEBC 2015 - PRESCRIPTIVE METHOD OF COMPLIANCE



**CODE ANALYSIS NOTES**

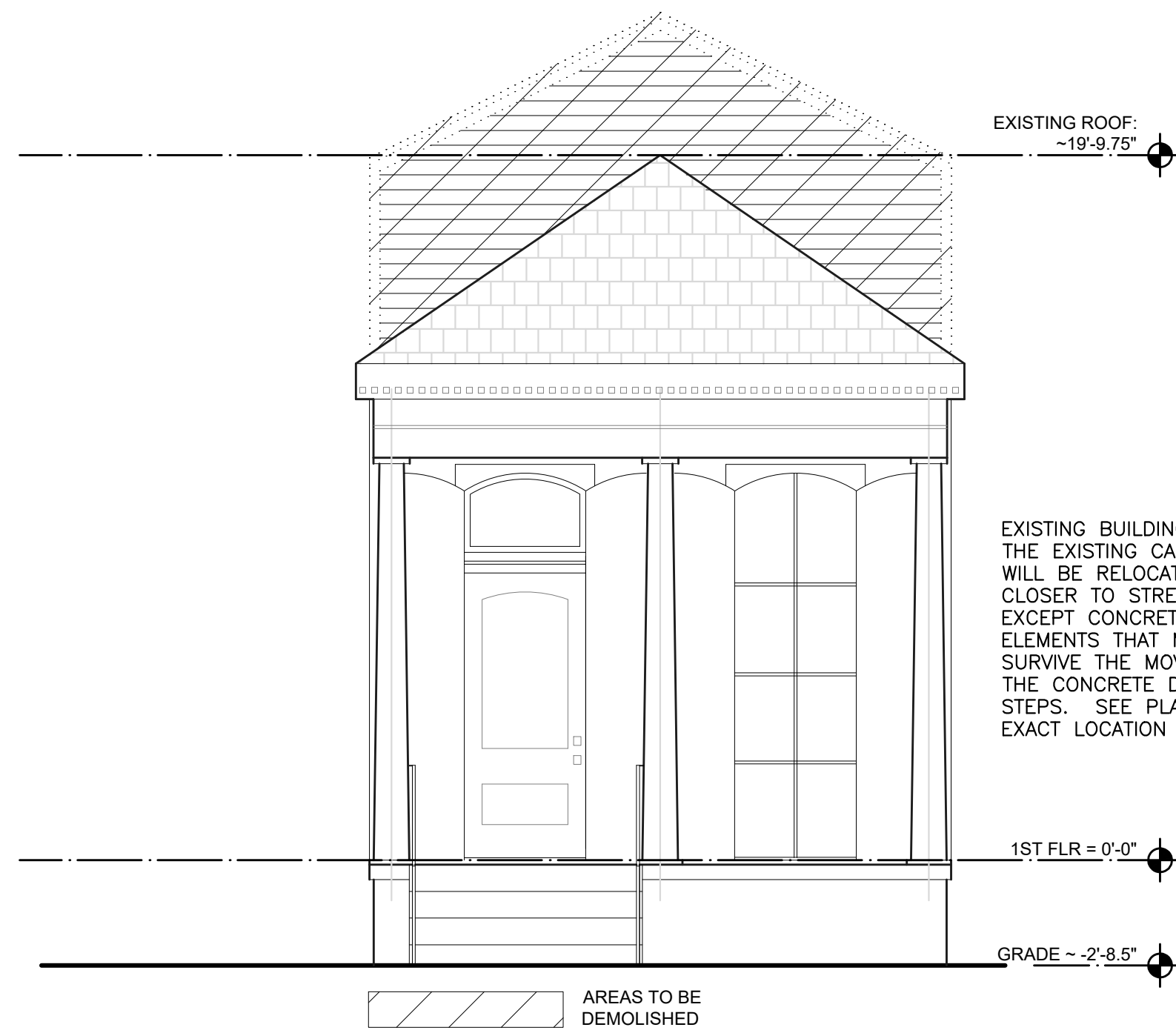
**PROPOSED 2ND FLOOR CODE ANALYSIS**

**PROPOSED SECTIONAL CODE ANALYSIS**

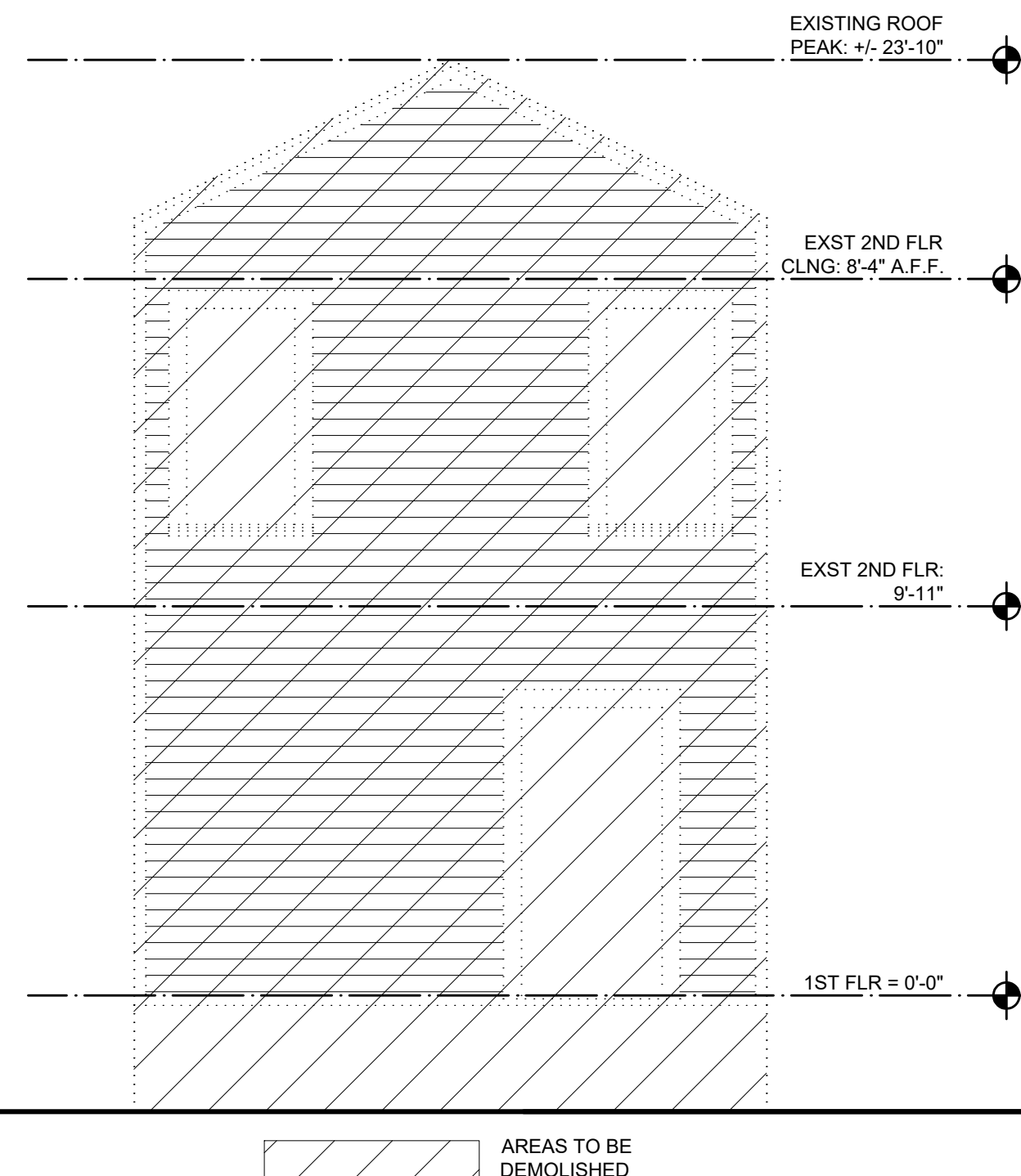
**PROPOSED FLOOR PLAN CODE ANALYSIS  
DRAFT - NOT FOR CONSTRUCTION**

**A05**

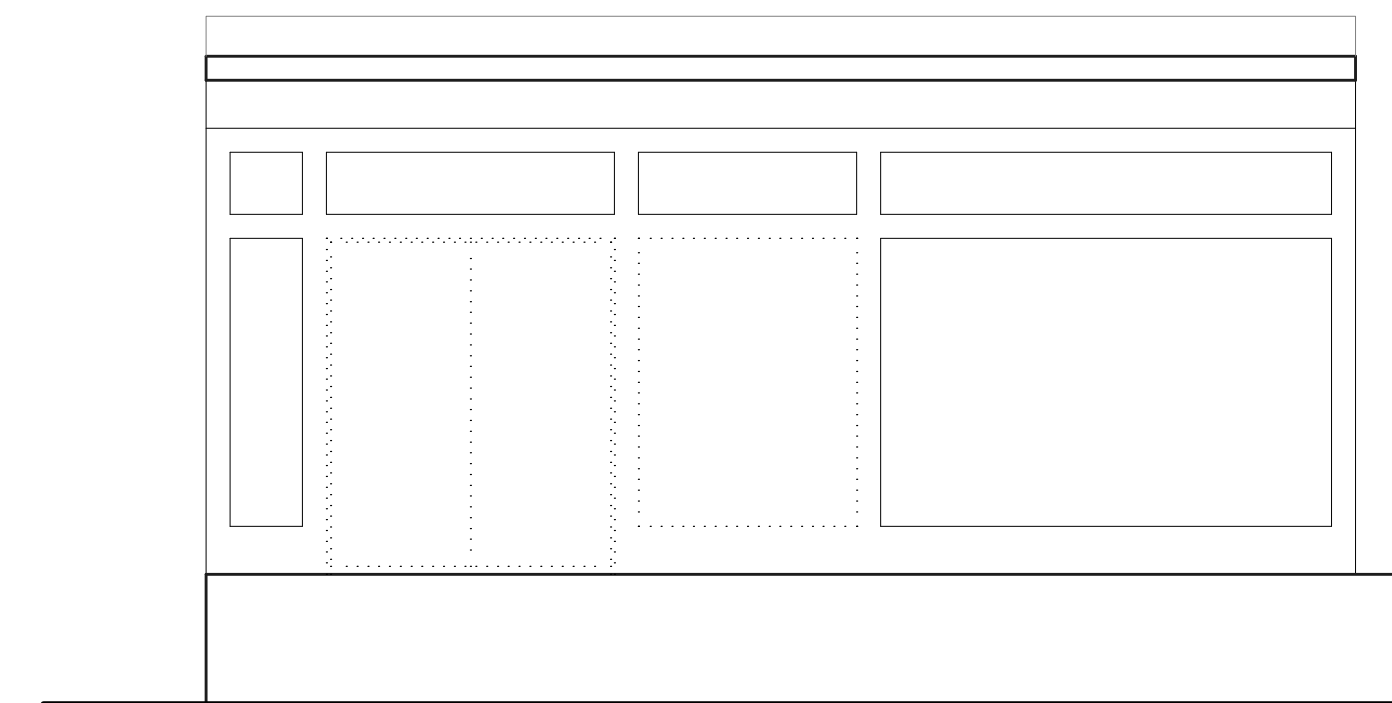




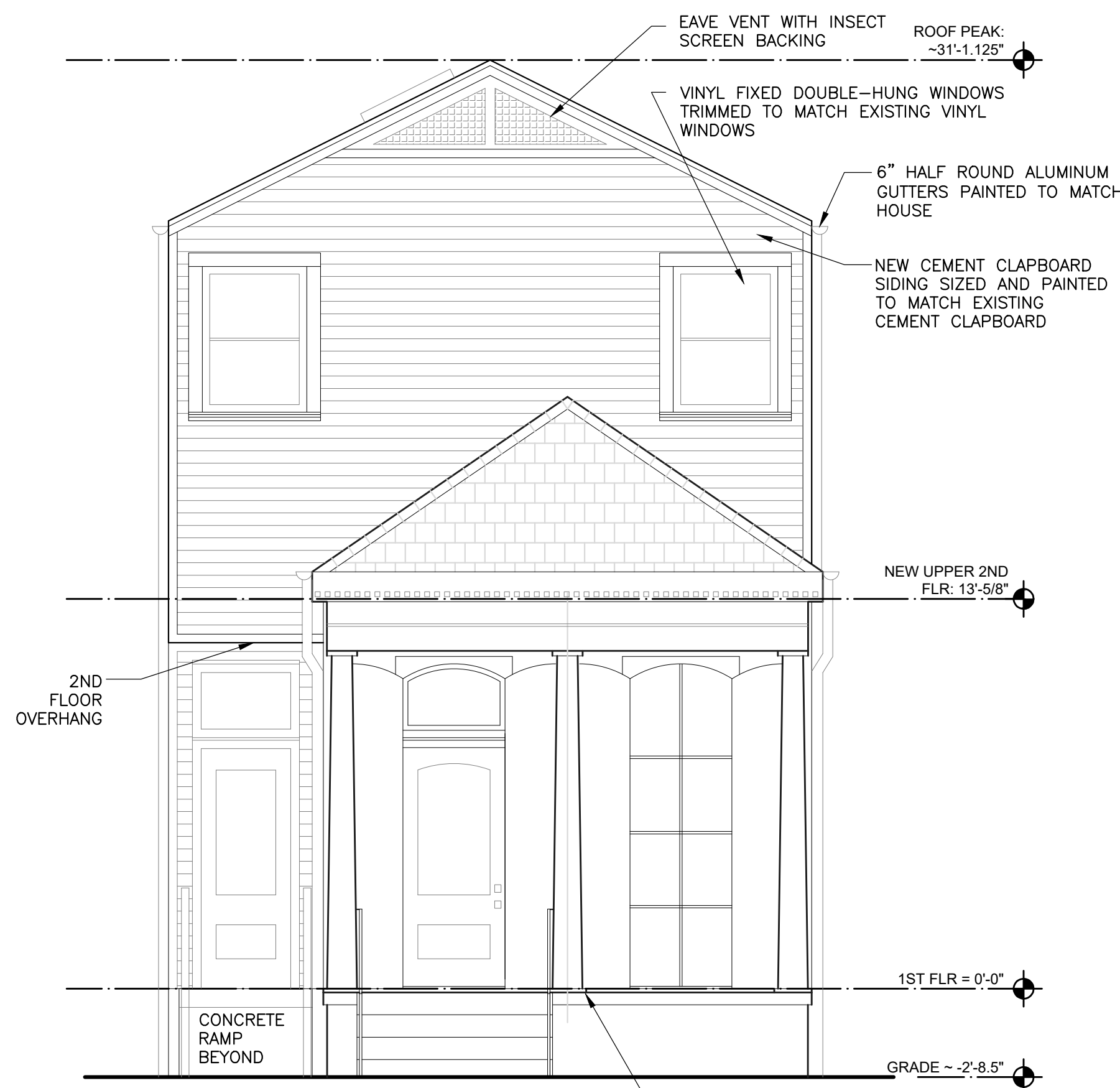
**1 EXISTING NORTH ELEVATION**  
A20 1/4"=1'-0"



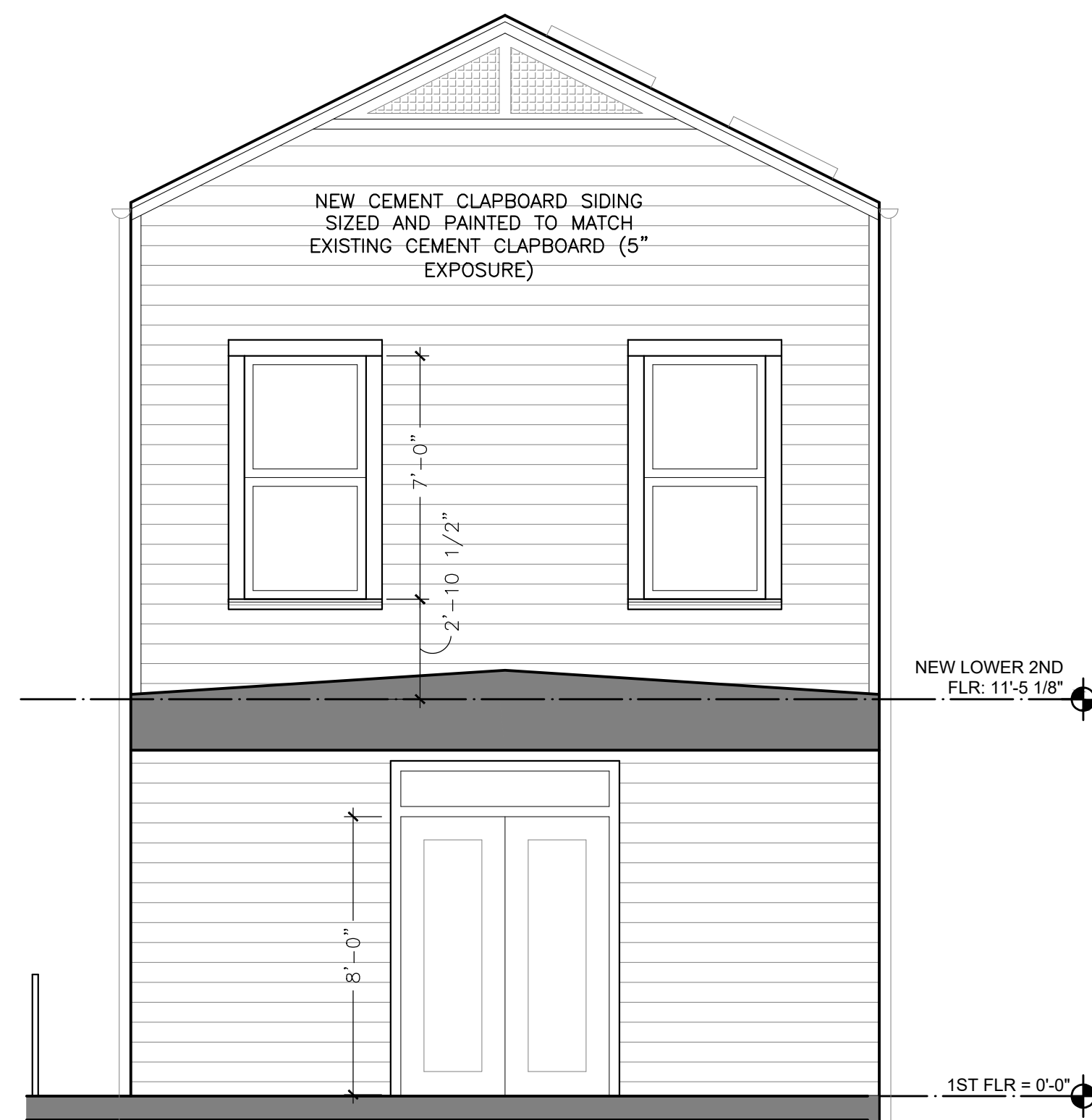
**3 EXISTING SOUTH ELEVATION**  
A20 1/4"=1'-0"



**5 EXISTING ACCESSORY ELEVATION**  
A20 1/4"=1'-0"



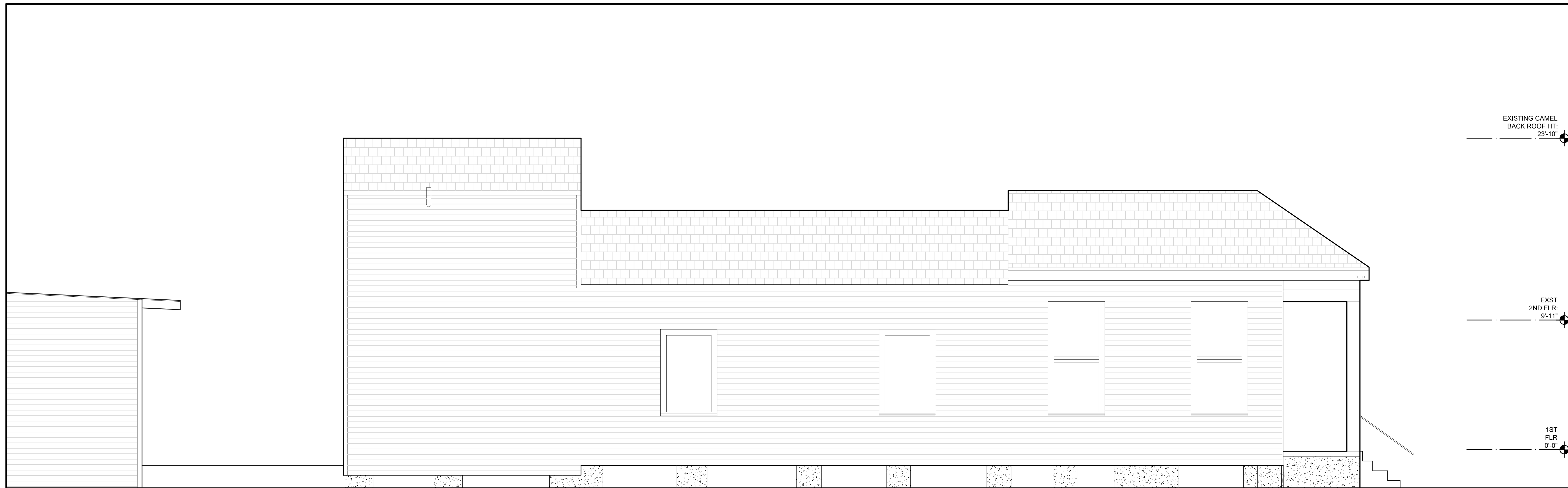
**2 PROPOSED NORTH ELEVATION**  
A20 1/4"=1'-0"



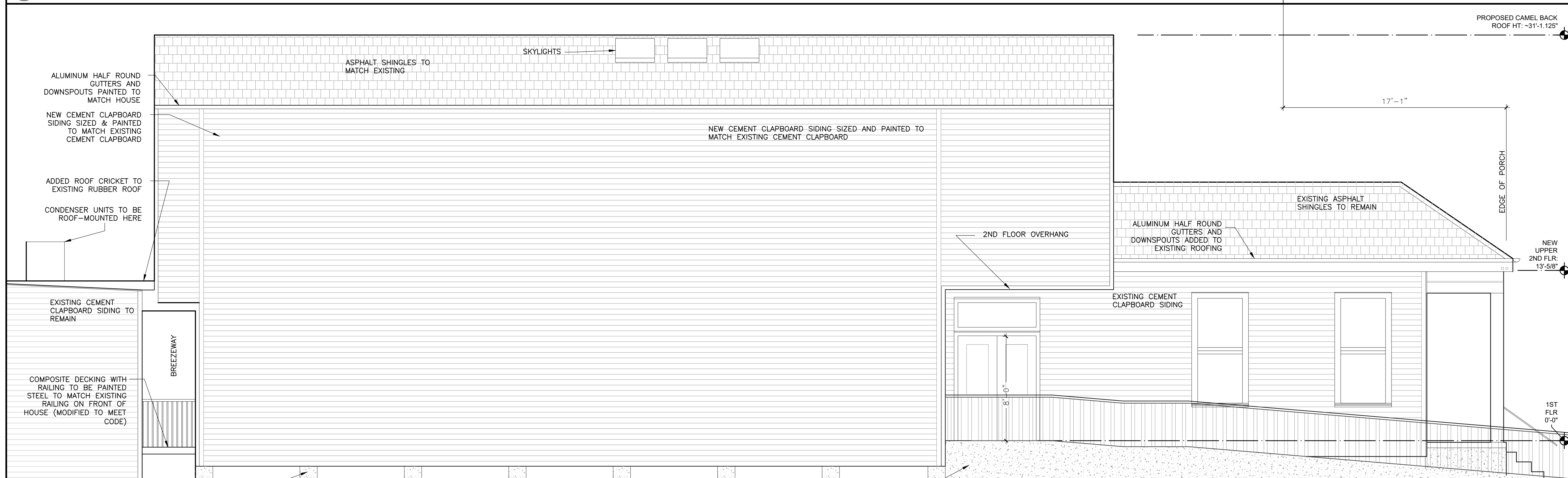
**4 PROPOSED SOUTH ELEVATION**  
A20 1/4"=1'-0"

**6**  
A20 1/4"=1'-0"





**1**  
A21  
**EXISTING EAST ELEVATION**  
1/4"=1'-0"

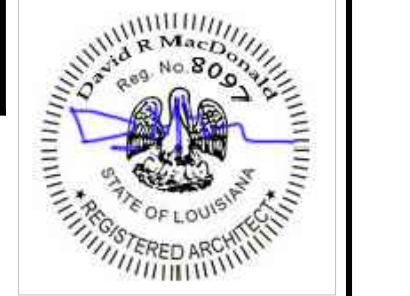


**2**  
A21  
**PROPOSED EAST ELEVATION**  
1/4"=1'-0"

**ELEVATIONS - EAST  
DRAFT - NOT FOR CONSTRUCTION**

**A21**

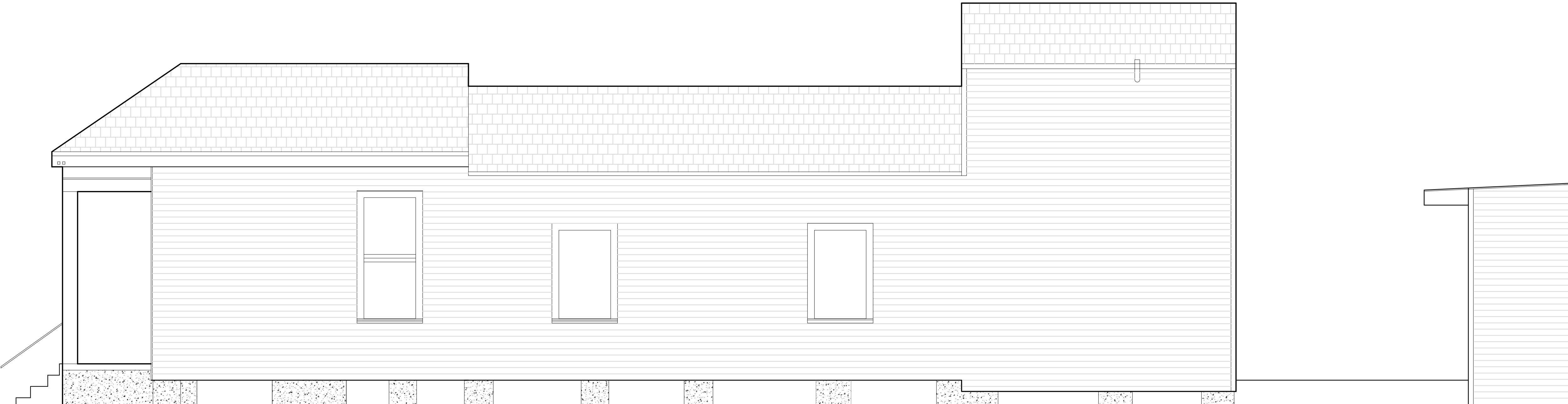




EXISTING CAMEL  
BACK ROOF HT:  
23'-10"

EXST  
2ND FLR:  
9'-11"

1ST  
FLR  
0'-0"



**1**  
A22  
**EXISTING WEST ELEVATION**  
1/4"=1'-0"

NEW  
UPPER  
2ND FLR:  
13'-5/8"

1ST  
FLR  
0'-0"

120 MIN  
RATED

7'-0"  
2'-10 1/2"

7'-0"  
2'-10 1/2"

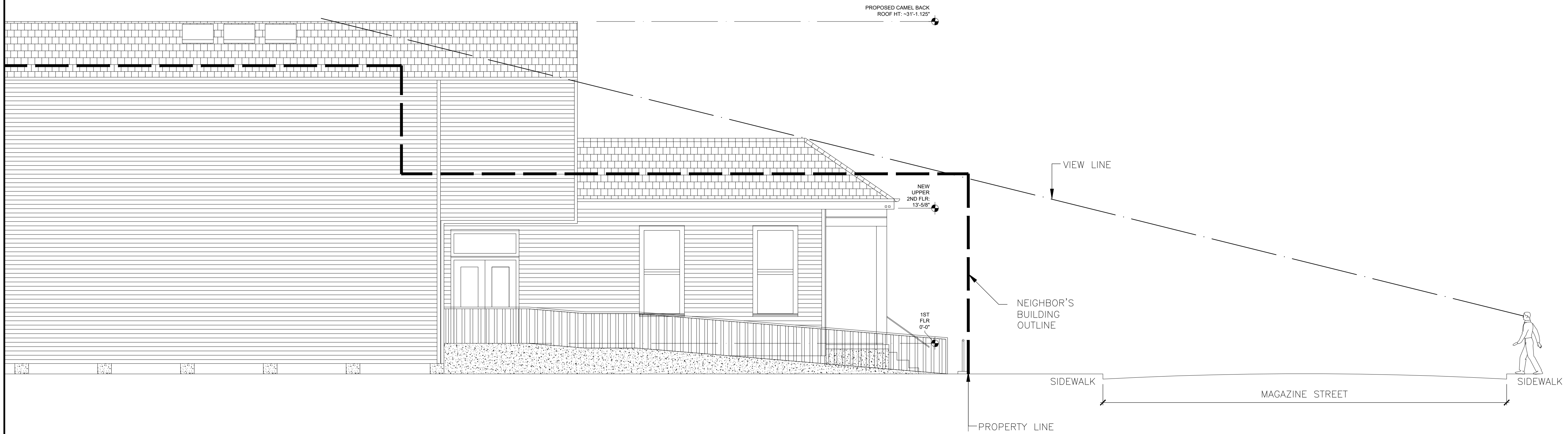


**2**  
A22  
**PROPOSED WEST ELEVATION**  
1/4"=1'-0"

**ELEVATIONS - WEST  
DRAFT - NOT FOR CONSTRUCTION**

**A22**



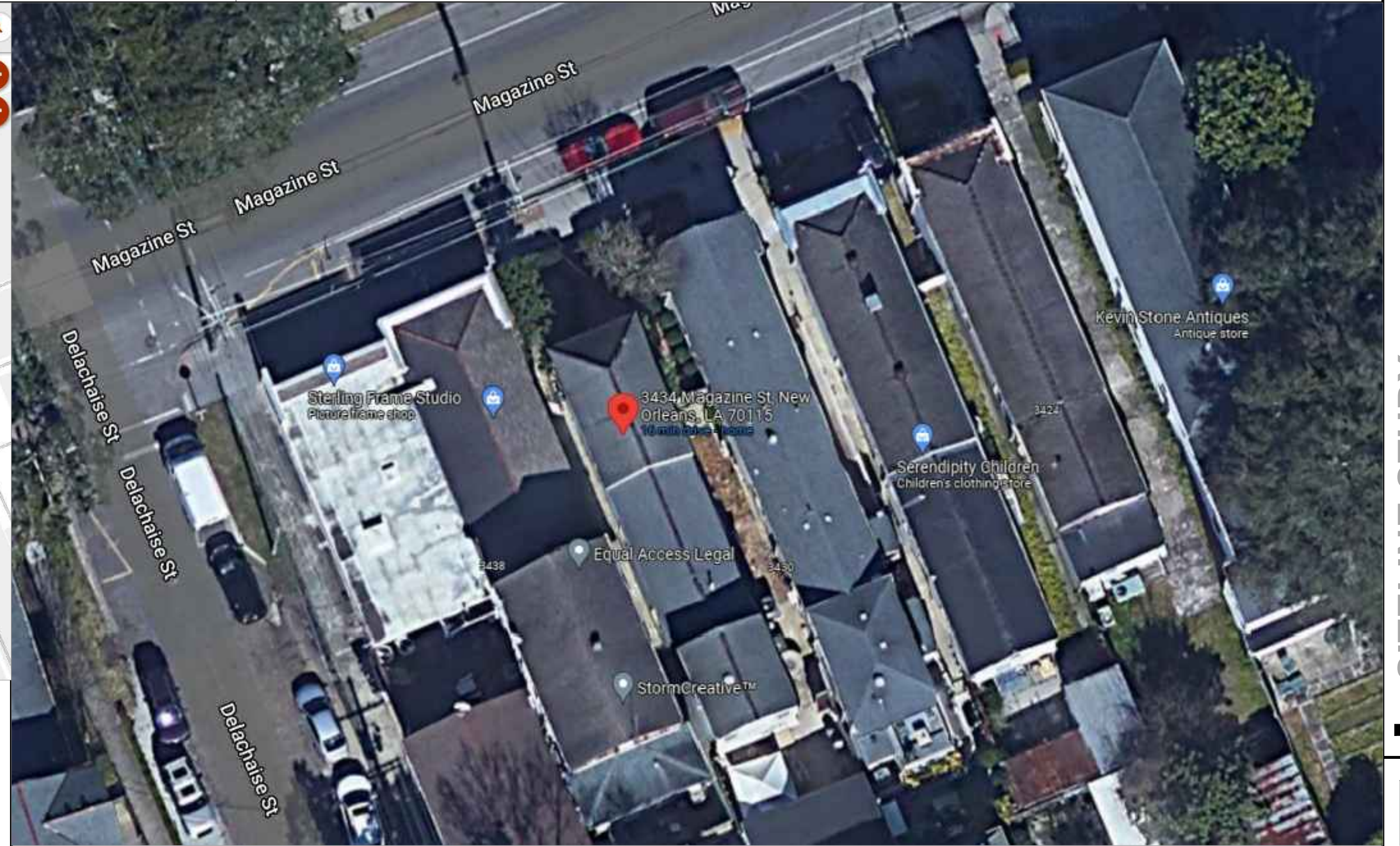


1 SECTIONAL THROUGH SIDEWALL  
A23 3/16"=1'-0"

City of New Orleans Property Viewer

3434 magazine street, New Orleans

PROPERTY INFORMATION	
Building Number	
Unit Number	
Site Address	3434 Magazine St, LA
First Owner Name	L A L PROPERTIES L C
Second Owner Name	
Mailing Address	c/o TERRI B GOLDSMITH, 1625 JOSEPH ST
Mailing City	NEW ORLEANS
Mailing State	LA
Mailing Zip 5	70115
Mailing Zip +4	0000
Use Code	
Property Description	SQ 215 LOT 18 MAGAZINE 25X127 S-C/B SHOP-W FILE #82614 8/01 SALM
GeoPIN	41047361
Tax Bill ID	614125410
Lot	18
Square	
BLOCK	215
DAPID	3434-MAGAZINE ST



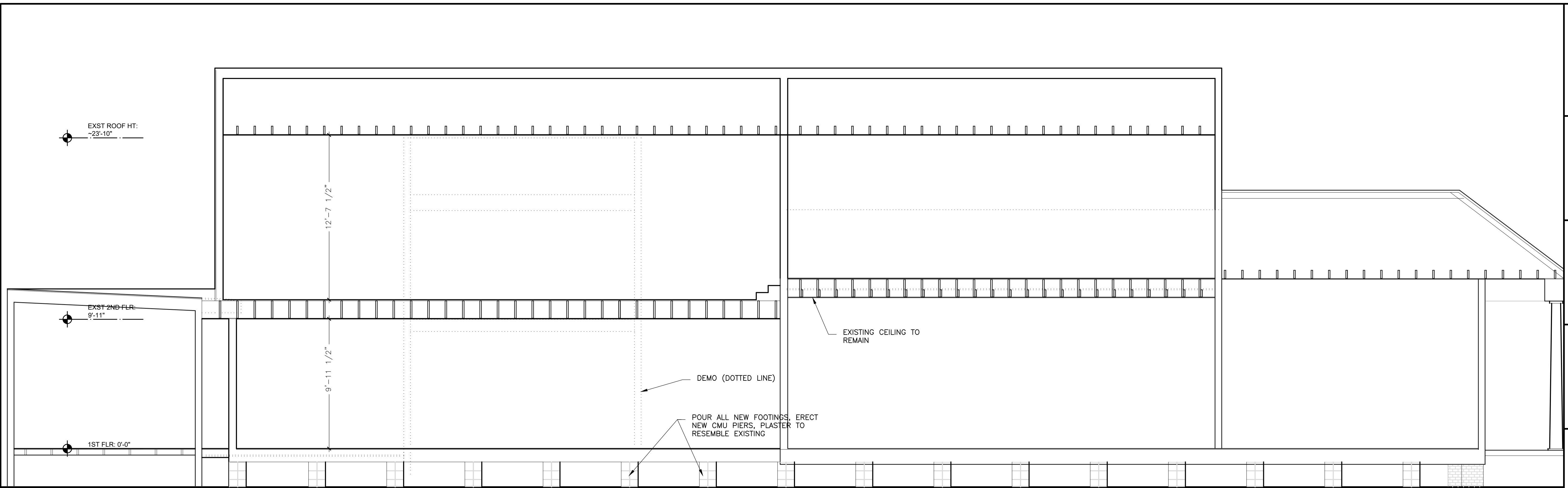
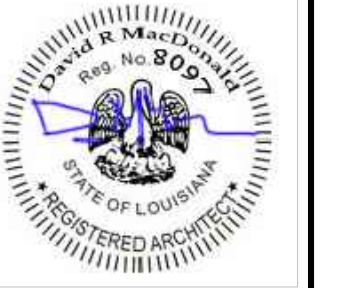
3 AERIAL  
A23 N/A

2 NOLA PROPERTY VIEWER  
A23 N.T.S.

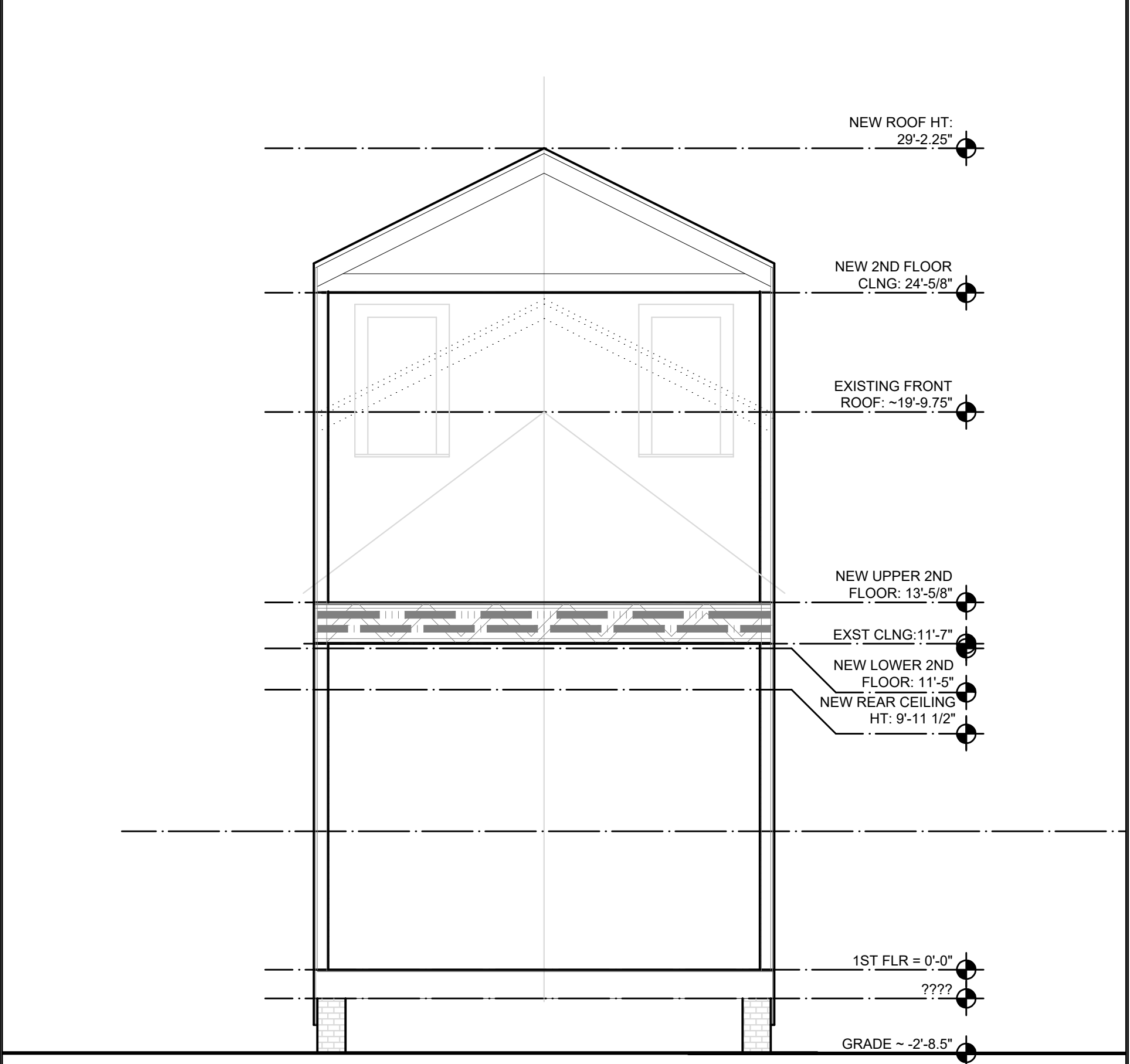
SITELINE STUDY

A23





**SECTION A-A**  
1/4"=1'-0"



**SECTION B-B**  
1/4"=1'-0"

BUILDING SECTIONS

A25