



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review Interim Zoning Districts Appeal Moratorium Appeal

Property Location 3535 MAGAZINE STREET

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name TRAPOLIN PEER ARCHITECTS - MATTHEW BUYER

Applicant Address 850 TCHOUPITOULAS STREET

City NEW ORLEANS State LA Zip 70130

Applicant Contact Number 419.583.7468 Email MBUYER@TRAPOLINPEER.COM

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name VERDAD - VRE 3535 MAGAZINE LLC

Property Owner Address 201 ST JOSEPH STREET - SUITE 200

City NEW ORLEANS State LA Zip 70130

Property Owner Contact Number 504.577.2012 Email jmann@verdad.com

PROJECT DESCRIPTION

ALTERATION LEVEL 3 RENOVATION OF AN EXISTING HISTORIC @30,000 SF 3-STORY BUILDING THAT IS CURRENTLY USED AS RETAIL ON ALL LEVELS INTO RESIDENTIAL UNITS ON THE TOP 2 LEVELS AND A COMMERCIAL SPACE ON THE GROUND LEVEL (WHITE BOX -- FUTURE TENANT BUILD OUT TO BE FILED UNDER A SEPARATE PERMIT). THE GROUND LEVEL WILL ALSO INCLUDE ENCLOSED PARKING FOR THE RESIDENTIAL UNITS. THE BUILDING WILL BE FULLY SPRINKLERED.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- Corridor Transformation
- Greenway Corridor
- Others as required

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- Parking Lots with over 10 spaces or loading zones
- Wireless Antenna/Tower
- Educational Facility

- Mural Reviews
- Electric Utility Substations and Transmission Lines
- CBD FAR Bonus
- Changes to Approved Plans
- DAC Review of Public Projects
- Others as required

ADDITIONAL INFORMATION

Current Use RETAIL Proposed Use MIXED (RESIDENTIAL, COMMERCIAL)

Square Number 220 Lot Number A Permeable Open Space (sf) 0

New Development?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Addition?	Yes <input type="radio"/> No <input type="radio"/>	Tenant Width	<u>NA</u>
Existing Structure(s)?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Renovations?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Building Width	<u>95.5 FT</u>
Change in Use?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Existing Signs?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Lot Width (sf)	<u>95.5 FT</u>
New Sign(s)?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Lot Area (sf)	<u>11,460 SF</u>	BuildingArea (sf)	<u>33,800 SF</u>

3535 MAGAZINE STREET RENOVATION OF EXISTING BUILDING

NEW ORLEANS, LA - 70115



PROJECT INFORMATION

PROJECT ADDRESS
3535 MAGAZINE STREET
NEW ORLEANS, LA 70115

PROJECT DESCRIPTION
ALTERATION LEVEL 3 RENOVATION OF AN EXISTING HISTORIC @30,000 SF 3-STORY BUILDING THAT IS CURRENTLY USED AS RETAIL ON ALL LEVELS INTO RESIDENTIAL UNITS ON THE TOP 2 LEVELS AND A MERCANTILE SPACE ON THE GROUND LEVEL (FUTURE TENANT BUILD OUT). THE GROUND LEVEL WILL ALSO INCLUDE ENCLOSED PARKING FOR THE RESIDENTIAL UNITS. THE BUILDING WILL BE FULLY SPRINKLERED.

PROPERTY INFORMATION
OWNER: VRE 3535 MAGAZINE LLC
LOT: A 8 PT 7
BLOCK: 220
PARID: 3535 MAGAZINE
FEMA FLOOD ZONE: X (22071C0237F EFF 9/30/2016)
PARCEL AREA: 11,520 SF
PARCEL DIMENSIONS: 96x120

ZONING INFORMATION
DISTRICT: HU-B1
DESCRIPTION: HISTORIC URBAN NEIGHBORHOOD BUSINESS DISTRICT
OVERLAY DISTRICTS: CPC CHARACTER PRESERVATION CORRIDOR DESIGN OVERLAY DISTRICT
MAGAZINE STREE USE RESTRICTION OVERLAY DISTRICT

REGULATORY AUTHORITY

NEW ORLEANS SAFETY & PERMITS
1300 PERDIDO STREET
7TH FLOOR
NEW ORLEANS, LA 70112
504.658.7100

LOUISIANA STATE FIRE MARSHAL
8181 INDEPENDENCE BLVD
BATON ROUGE, LOUISIANA 70806
1.800.256.5452

APPLICABLE CODES
2015 IBC INTERNATIONAL BUILDING CODE
2015 IEBC INTERNATIONAL EXISTING BUILDING CODE
2009 IECC INTERNATIONAL ENERGY CONSERVATION CODE
2015 IMC INTERNATIONAL MECHANICAL CODE
2015 IPC INTERNATIONAL PLUMBING CODE
2014 NEC NATIONAL ELECTRICAL CODE
2015 IFC INTERNATIONAL FIRE CODE
2007 ASHREA 90.1

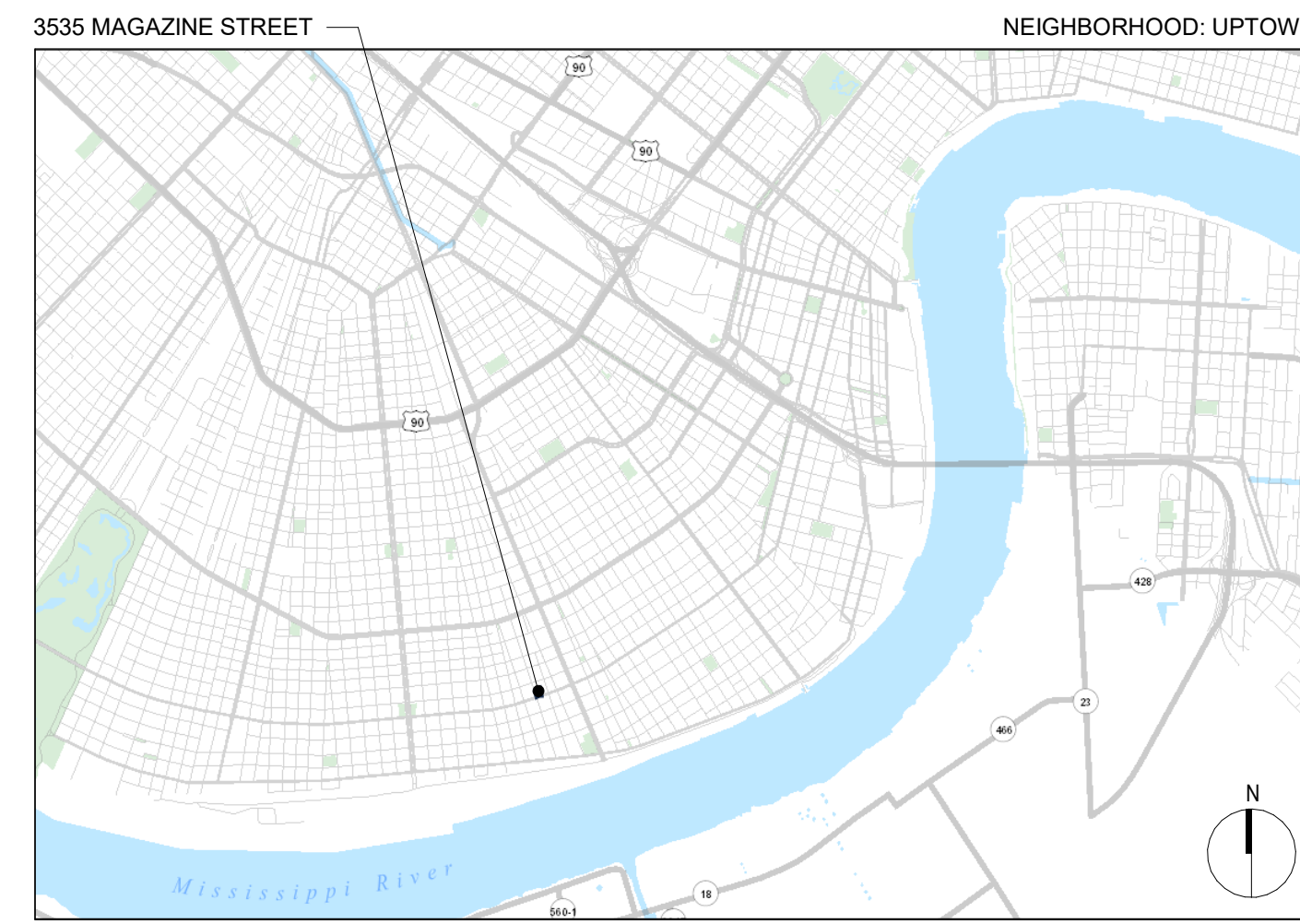
ALL OTHER APPLICABLE CODES AND ORDINANCES

PROJECT TEAM

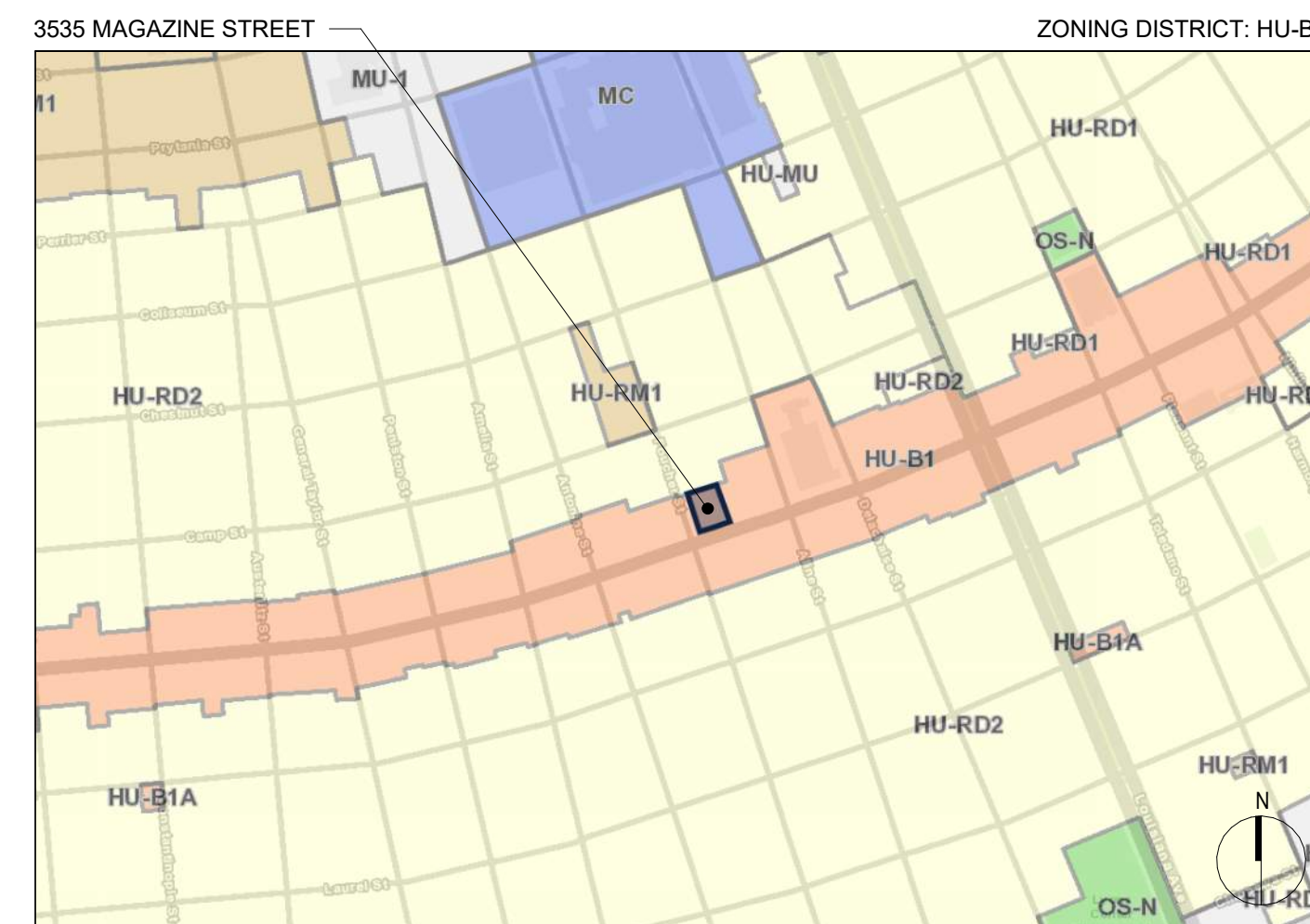
ARCHITECT
TRAPOLIN PEER ARCHITECTS, APC
850 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70130
CONTACT: ASHLEY KING
EMAIL: AKING@TRAPOLINPEER.COM
PHONE: 504.523.2772

OWNER
VRE 3535 MAGAZINE, LLC
201 SAINT JOSEPH STREET #200
NEW ORLEANS, LA 70130
CONTACT: JOE MANN
EMAIL: JMANN@VERDAD.COM
PHONE: 504.957.1363

VICINITY MAP



ZONING MAP



AREA MAP



FLOOD ZONE MAP



SHEET LIST

NUMBER	TITLE
[1.0] GENERAL	
G0.00	TITLE SHEET
G0.02	SITE SURVEY
G0.03	SITE PHOTOGRAPHS
G0.10	AXONOMETRIC
4	
[1.3] LANDSCAPE	
L1.1	LANDSCAPE PLAN
1	
[1.5] ARCHITECTURAL	
A0.50	SITE PLAN - DEMOLITION
A0.51	SITE PLAN - CONSTRUCTION
A1.01	FLOOR PLAN - DEMOLITION - LEVEL 1
A1.02	FLOOR PLAN - DEMOLITION - LEVEL 2
A1.03	FLOOR PLAN - DEMOLITION - LEVEL 3
A1.04	FLOOR PLAN - DEMOLITION - ROOF
A2.01	FLOOR PLAN - CONSTRUCTION - LEVEL 1
A2.02	FLOOR PLAN - CONSTRUCTION - LEVEL 2
A2.03	FLOOR PLAN - CONSTRUCTION - LEVEL 3
A2.04	FLOOR PLAN - CONSTRUCTION - LEVEL 4
A2.05	FLOOR PLAN - CONSTRUCTION - ROOF
A3.01	BUILDING ELEVATIONS - SOUTH
A3.02	BUILDING ELEVATIONS - WEST
A3.03	BUILDING ELEVATIONS - NORTH
A3.04	BUILDING ELEVATIONS - EAST
15	
TOTAL SHEETS: 20	

3535 MAGAZINE STREET RENOVATION OF EXISTING BUILDING

NEW ORLEANS, LA - 70115

OWNER

VERDAD REAL ESTATE
201 ST JOSEPH STREET #200
NEW ORLEANS, LA 70130

ARCHITECT

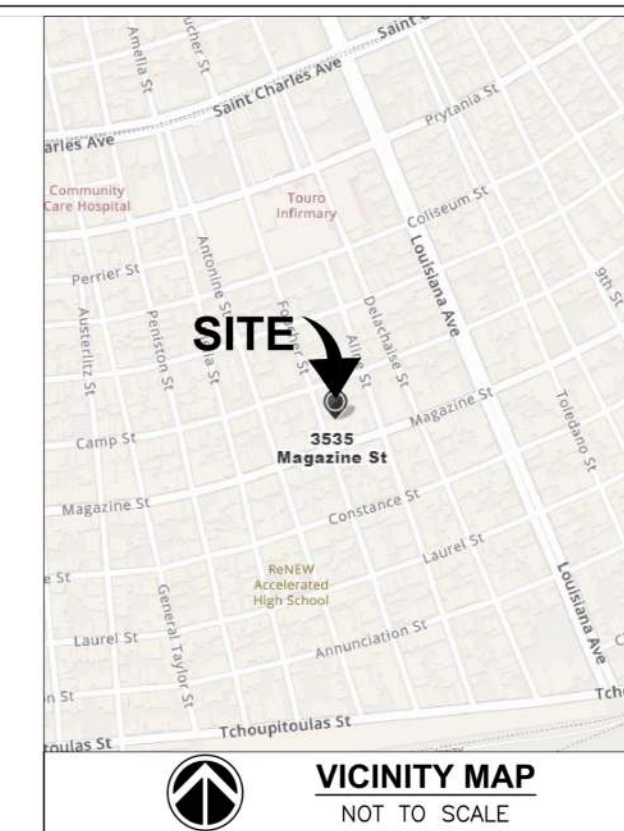
TRAPOLIN PEER ARCHITECTS
850 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR
CONSTRUCTION

REVISION #	DESCRIPTION	DATE
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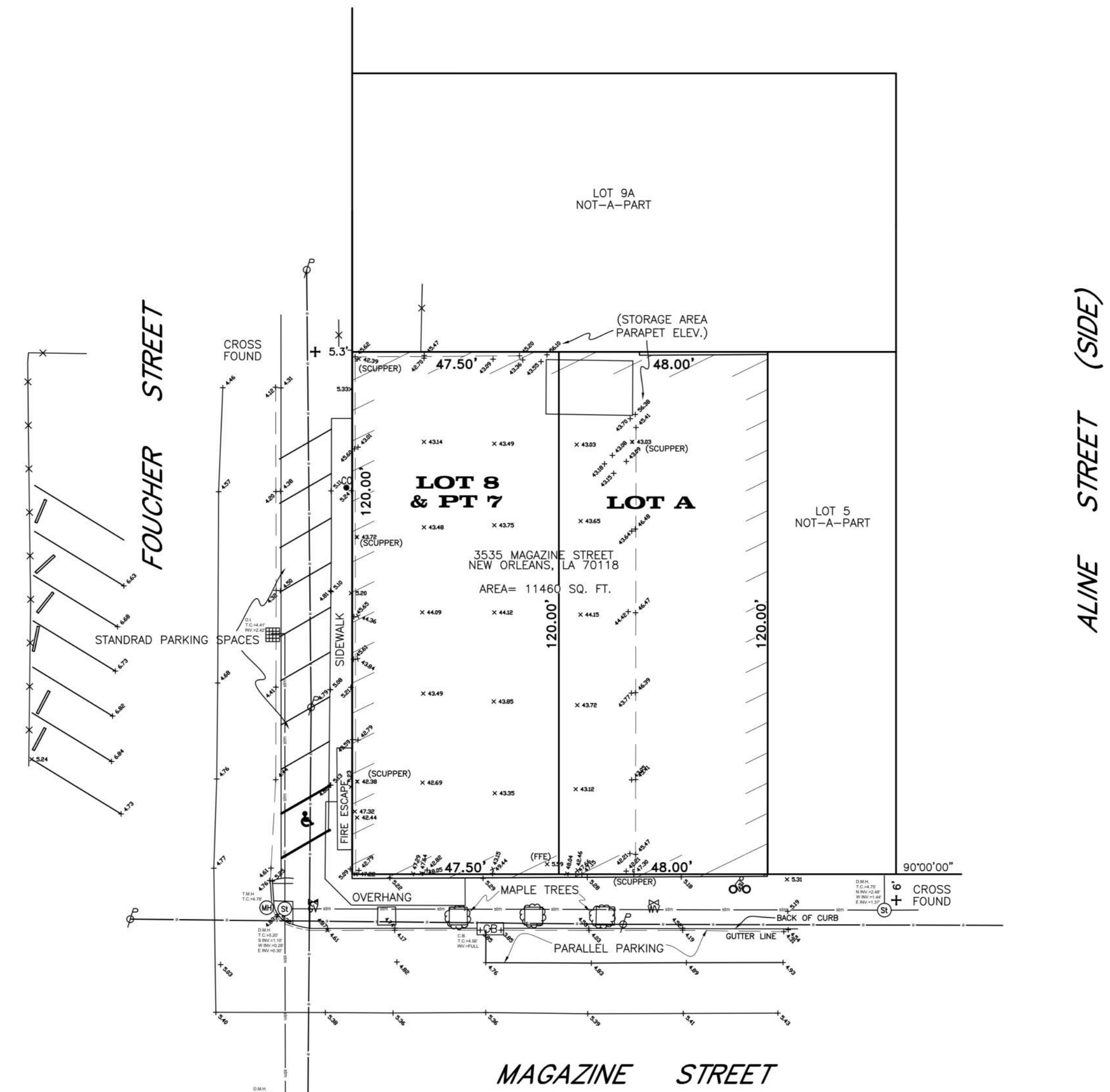
TOPOGRAPHIC SURVEY OF LOT A, LOT 8 & PT 7 DELACHAISE SQUARE 220 SIXTH DISTRICT ORLEANS PARISH, LOUISIANA



ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: Verdad Real Estate, Inc., a Texas corporation

SYMBOL LEGEND	
R/W	Right-of-Way
P/L	Adjomer Property Line
P.O.B.	Place/Point of Beginning
P.O.C.	Place/Point of Commencement
△	Surveyor's Observation
⊗	Schedule B-Section II Item
Rad	Radius
Arc	Arc Length
Δ	Delta Angle
CHL	Chord Length
ChB	Chord Bearing
Calc.	Calculated
Med.	Measured
Dd.	Deed
(Record)	Actual
N.R.D.	No Recorded Distance
•	Monumentation Found as Noted
•	5/8" Iron Pin w/Cap Set Stamped
▲	PK/MAG Nail or Railroad Spike Found as Noted
▲	MAG Nail or PK Nail Set
■	Monument in Monument Box Found As Noted
+	Section Corner On
+	Correction Line Found as Noted
+	Section Corner Found as Noted
+	1/4 Sec. Corner Found as Noted
⊗	No. of Regular Parking Spaces
⊗	No. of Handicap Parking Spaces
○	Manhole
○	Storm Manhole
○	Curb Inlet Basin w/ Grate
○	Catch Basin
○	Drain Inlet
○	Cleanout
○	Sewer Manhole
○	Fire Hydrant
○	Water Stand Pipe
○	Post Indicator Valve
○	Water Valve
○	Water Meter
○	Water Manhole
○	Water Backflow Preventer
○	Water Vault
○	Gas Meter
○	Gas Valve
○	Air Condition Unit
○	Cable T.V. Pedestal
○	Electric Meter
○	Electric Transformer
○	Electric Manhole
○	Electric Vault
○	Telephone Pedestal
○	Telephone Manhole
○	Monitoring Well
○	Utility Vault
○	Underground Utility Marker
○	Ballard Post
○	Handicap Space
○	Bike Rack
○	Sign
○	Mail Box
○	Wall (As Noted)
○	Ground Light
○	Utility Pole
○	Traffic Pole
○	Flag Pole
○	Light Pole
○	Day Pole
○	Guardrail
○	Fence (As Noted)
○	Wood Fence (As Noted)
○	Steel Fence (As Noted)
○	Sanitary Sewer
○	Storm Sewer
○	Water Line
○	Underground Gas Pipeline
○	Underground Electric
○	Underground Lighting
○	Underground Telephone
○	Underground Cable T.V.
○	Underground Fiberoptics
○	Overhead Utilities
○	Gravel Area
○	Concrete Area
○	No Parking Area
○	Building Area
○	Shaded Easement Area
○	Light Shaded Easement Area
○	Dark Shaded Easement Area

CAMP STREET (SIDE)



LEGAL DESCRIPTION

EXHIBIT "A"
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE PARISH OF ORLEANS, STATE OF LOUISIANA, AND IS DESCRIBED AS FOLLOWS:

A CERTAIN PIECE OR PORTION OF GROUND, situated in the 6th District of this City of New Orleans, Parish of Orleans, State of Louisiana, in that part commonly styled Faubourg Delachaise, and in Square No. 220, which square is bounded by Magazine, Camp, Aline and Foucher Streets, and measure forty-seven feet, six inches (47' 6") front on Magazine Street, some width in the rear, by one hundred twenty (120') feet in depth and front on Foucher Street, between parallel lines, and is composed of the whole of Lot 8 and part of the Lot 7, in Square 24, on the original plan of Faubourg Plaisance and Delachaise, of record in the office of Theodore Guyol, late Notary in this City.

A CERTAIN PIECE OR PORTION OF GROUND, situated in the 6th District of this City of New Orleans, Parish of Orleans, State of Louisiana, in that part commonly styled Faubourg Delachaise, designated by the Letter A on a plan of Louis H. Pille, Surveyor, dated March 12, 1875, a sketch of which is annexed to an act passed before N.B. Trist, otary, on July 1, 1875, said lot or portion of ground measures forty-eight (48') feet front on Magazine Street, same width in the rear, by one hundred twenty (120') feet in depth between parallel lines, and comprises the portion nearest Aline Street of the Property acquired by Mrs. Eliza Murray from Thomas Murray, by an act passed before N.D. Trist, Notary, on June 19, 1872.

For informational purposes only:
The above described properties bear the Municipal No. 3535 Magazine Street, New Orleans, Louisiana

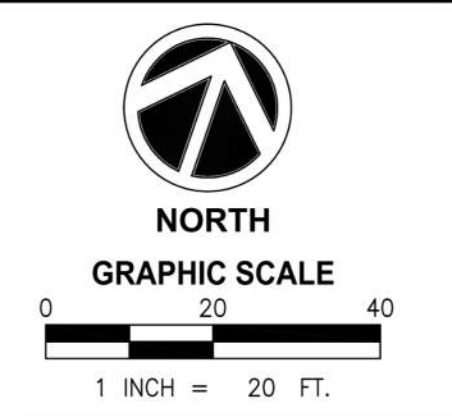
SERVITUDE:

Establishment of Servitude by Magazine Street Venture dated and recorded on February 28, 2000 in the official records of Orleans Parish, Louisiana in Instrument No. 2000-09209, CIN 193979; as corrected by Correction of Act of Establishment of Servitude dated and recorded on March 10, 2000 in the official records of Orleans Parish, Louisiana in Instrument No. 2000-11119, CIN 194566

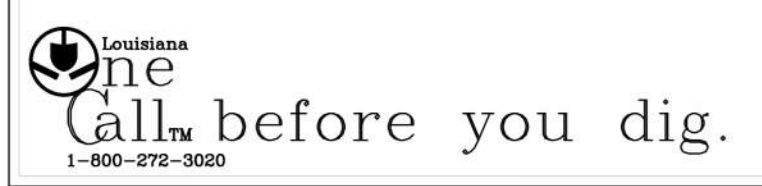
KLS Group Inc.
SURVEYING - CONSTRUCTION LAYOUT
3D SCANNING & MODELING - ELEVATION CERTIFICATES
3313 Jurgens St. Metairie, LA 70002
P: 504-302-6991 F: 504-539-3712
INFO@KRSBSLAYOUT.COM
Certified WBE



3535 MAGAZINE STREET
NEW ORLEANS, LA 70118
LOT A, LOT 8 & PT. OF LOT 7
DELACHAISE
SQUARE 220
SIXTH DISTRICT
ORLEANS PARISH
STATE OF LOUISIANA



THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.



FLOOD ZONE:
The subject property lies in Zone X according to the Flood Insurance Rate Map for the PARISH OF ORLEANS, Community Panel No. 22071 C 0237 F, Effective Date 09/30/2016.

REVISION HISTORY		
BY:	DATE:	COMMENT:

Surveyor's Seal
Sheet No. **1** of **1**
KLS Job No. 10621-22
PM: SKB Drafter: SKB



3535 MAGAZINE STREET RENOVATION OF EXISTING BUILDING NEW ORLEANS, LA - 70115

OWNER: VERDAD REAL ESTATE 201 ST JOSEPH STREET #200 NEW ORLEANS, LA 70130

ARCHITECT: TRAPOLIN-PEER ARCHITECTS 850 TCHOUPITOULAS STREET NEW ORLEANS, LA 70130

CONTRACTOR:

NOT FOR CONSTRUCTION

REVISION #	DESCRIPTION	DATE

© TRAPOLIN-PEER ARCHITECTS, APC PROJECT NUMBER: CN21141 ISSUE DATE: 05.04.2022

SITE PHOTOGRAPHS

3535 MAGAZINE STREET
RENOVATION OF EXISTING BUILDING
NEW ORLEANS, LA - 70115

OWNER
VERDAD REAL ESTATE
201 ST JOSEPH STREET #200
NEW ORLEANS, LA 70130

ARCHITECT
TRAPOLIN-PEER ARCHITECTS
850 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

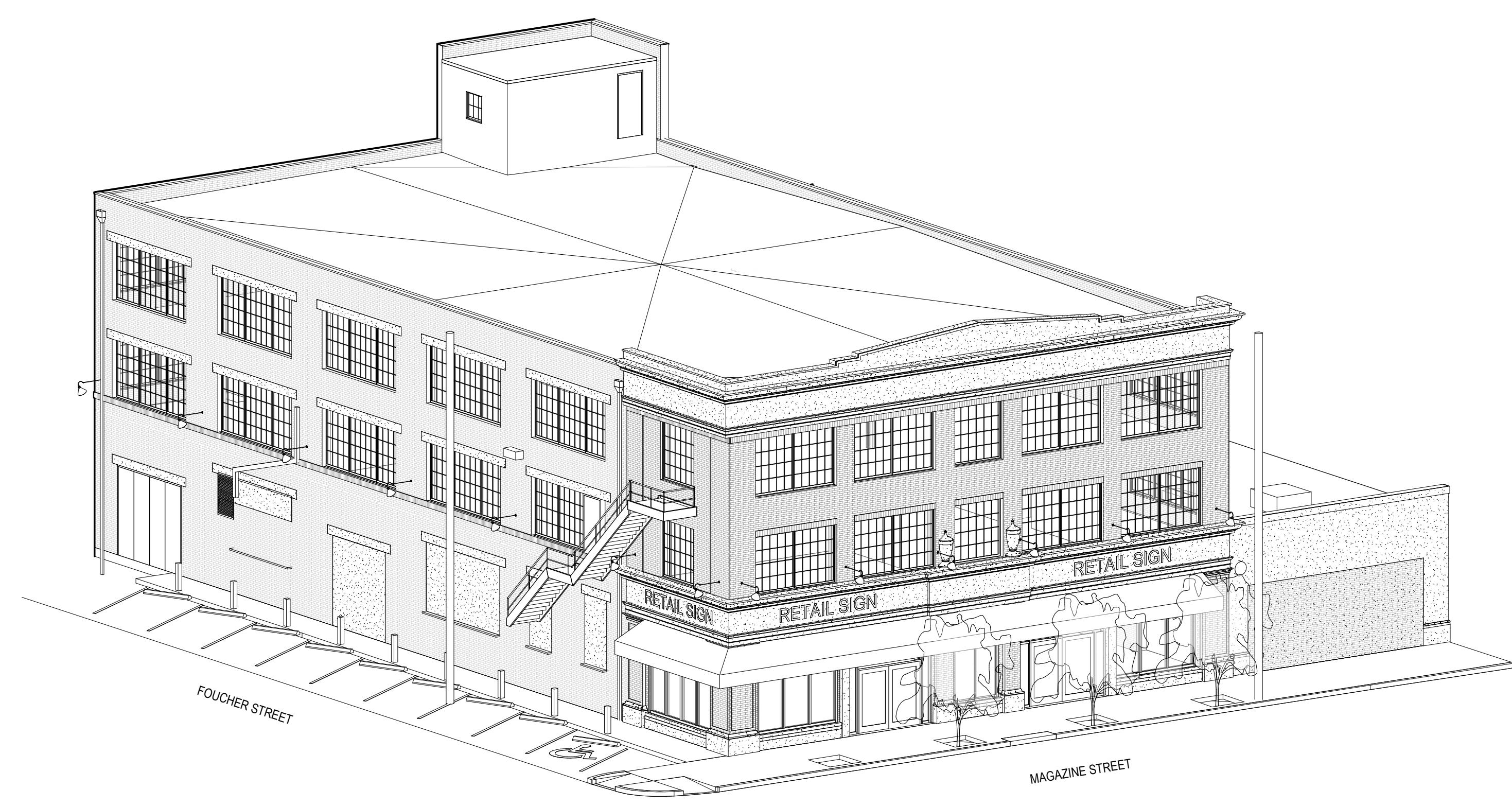
NOT FOR CONSTRUCTION

REVISION #	DESCRIPTION	DATE

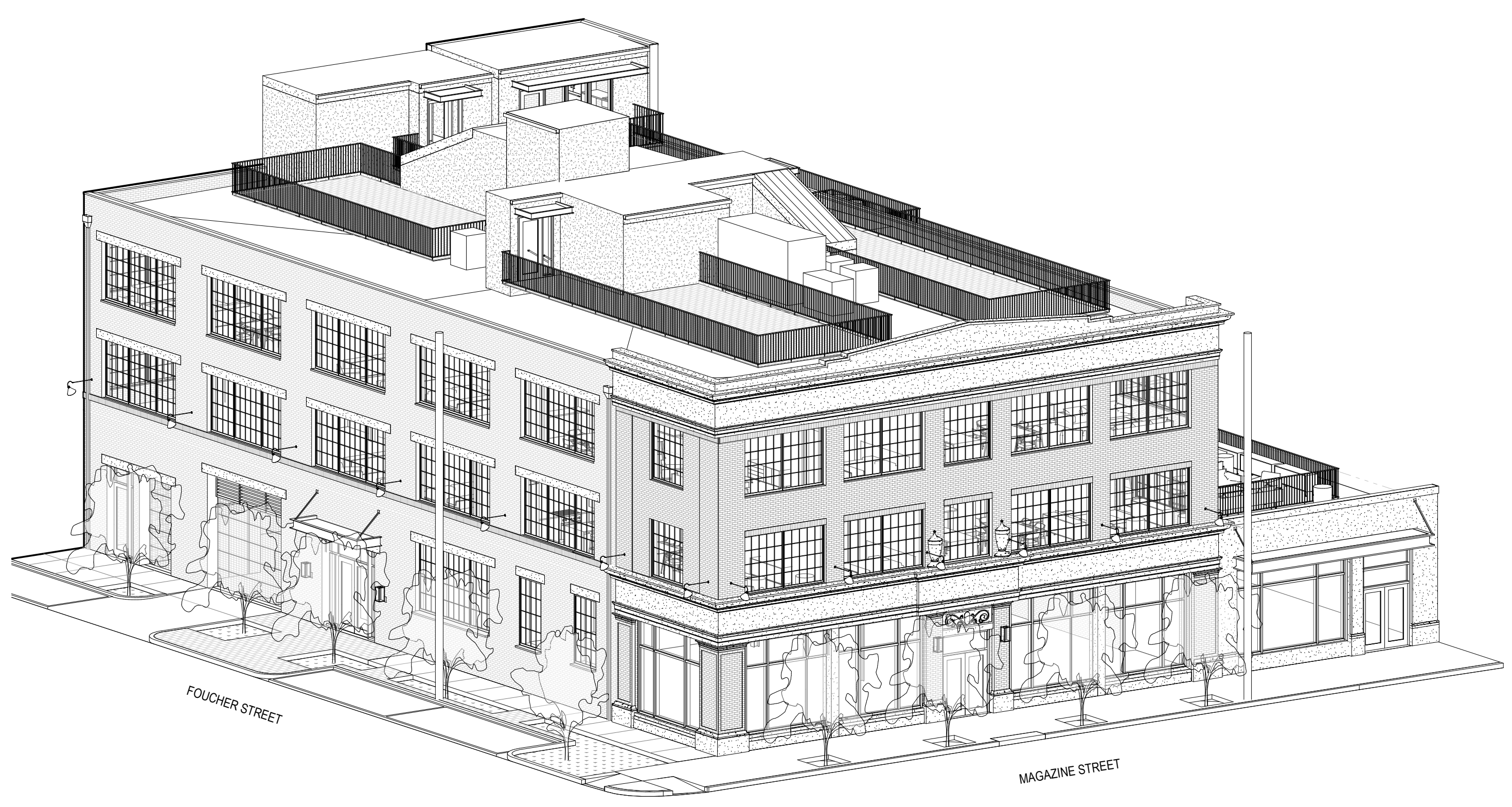
© TRAPOLIN-PEER ARCHITECTS, APC
PROJECT NUMBER
CN21141
ISSUE DATE
05.04.2022

AXONOMETRIC

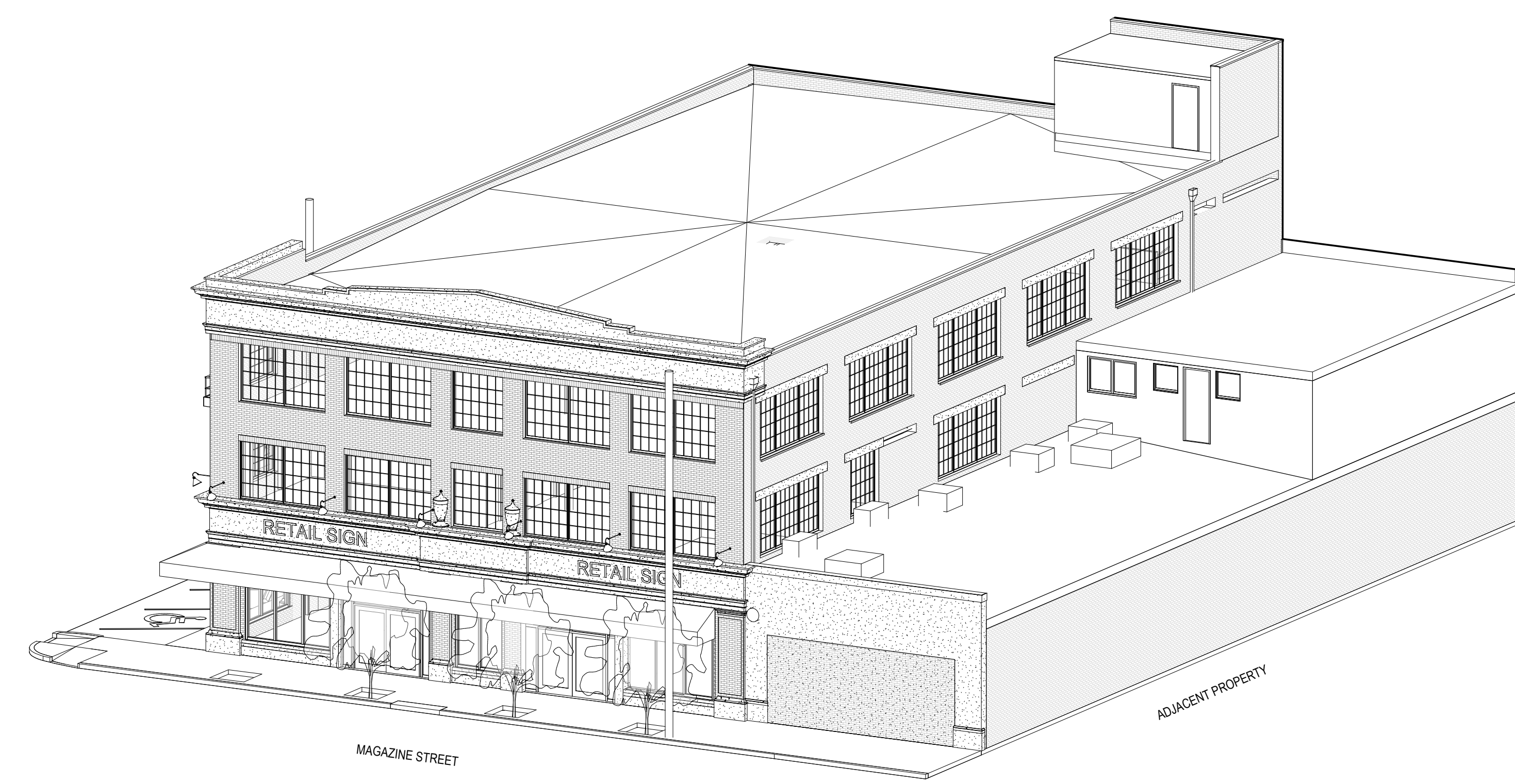
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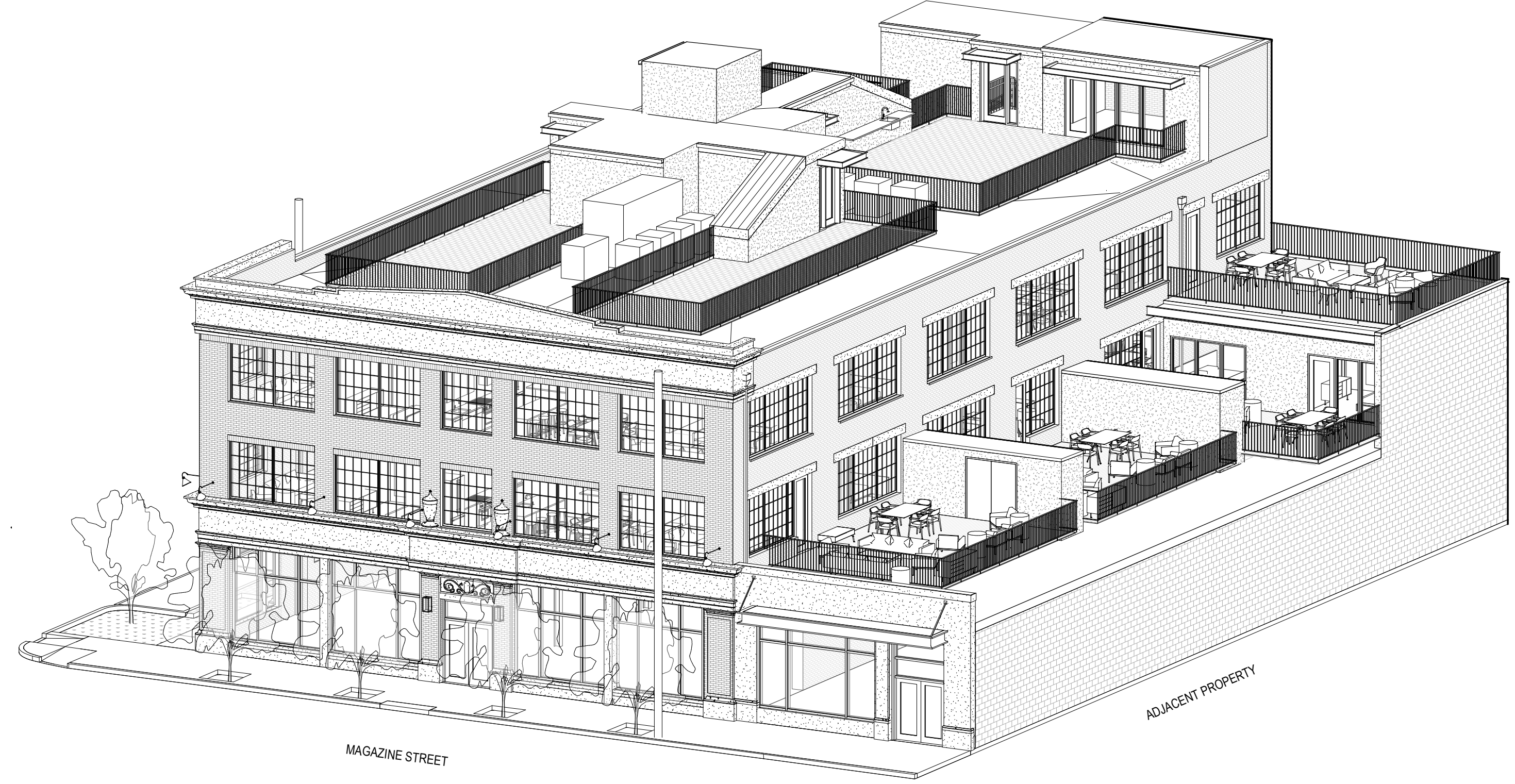
1 AXONOMETRIC - EXISTING - SOUTH WEST
G0.10 SCALE:



2 AXONOMETRIC - PROPOSED - SOUTH WEST
G0.10 SCALE:



3 AXONOMETRIC - EXISTING - SOUTH EAST
G0.10 SCALE:



4 AXONOMETRIC - PROPOSED - SOUTH EAST
G0.10 SCALE:

5/3/2022 2:00:17 PM

Autodesk Docu:021-21141 - 3535 Magazine/3535 Magazine_ARCH R22.rvt

REVISIONS	BY
4/29/22	JDM
5/3/22	JDM

FRANSEN MILLS
LANDSCAPE ARCHITECT
1415 AMELIA ST
NEW ORLEANS, LOUISIANA
(504) 529-7284

3535 MAGAZINE STREET
DAC REVIEW

3535 MAGAZINE STREET
DAC REVIEW

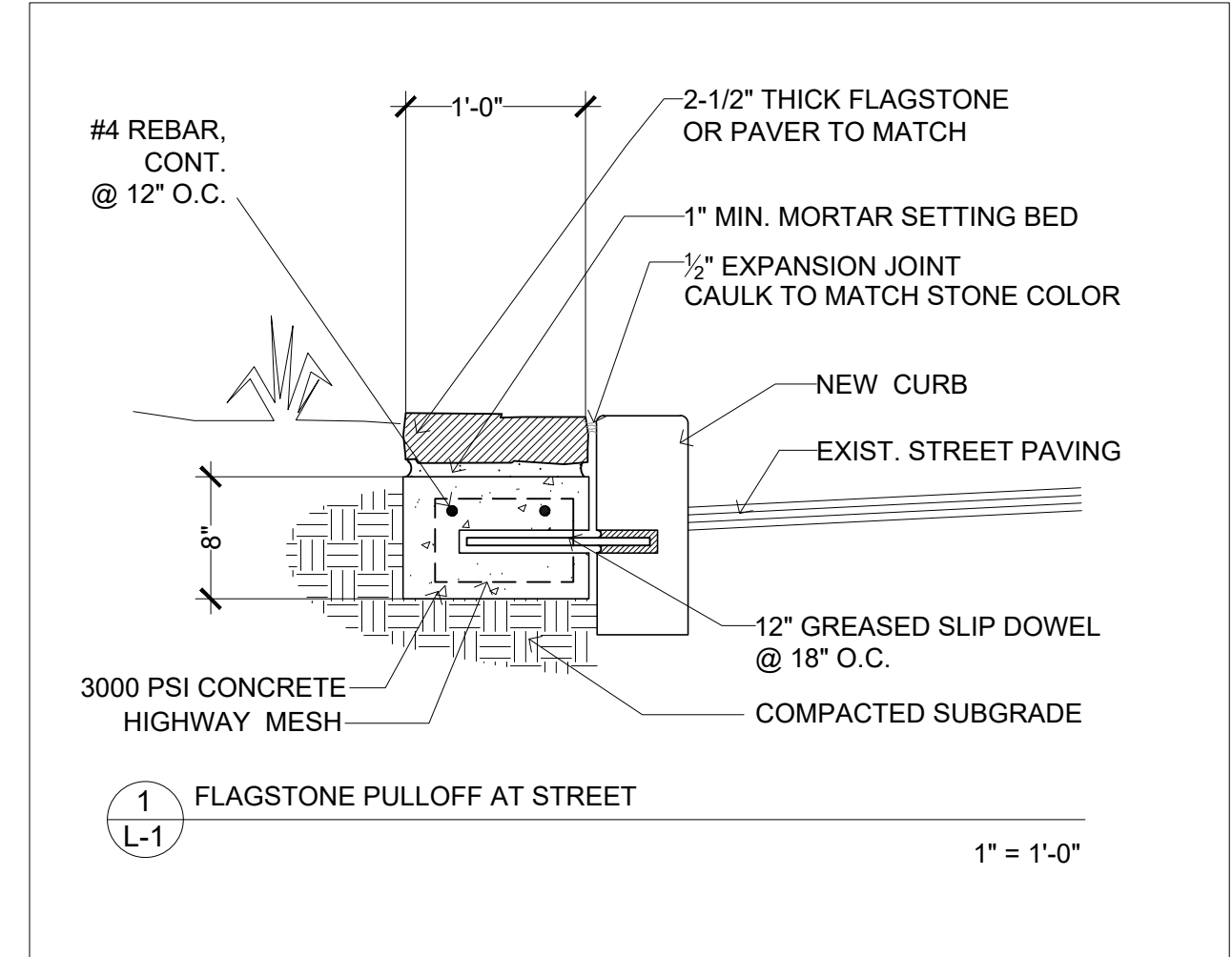
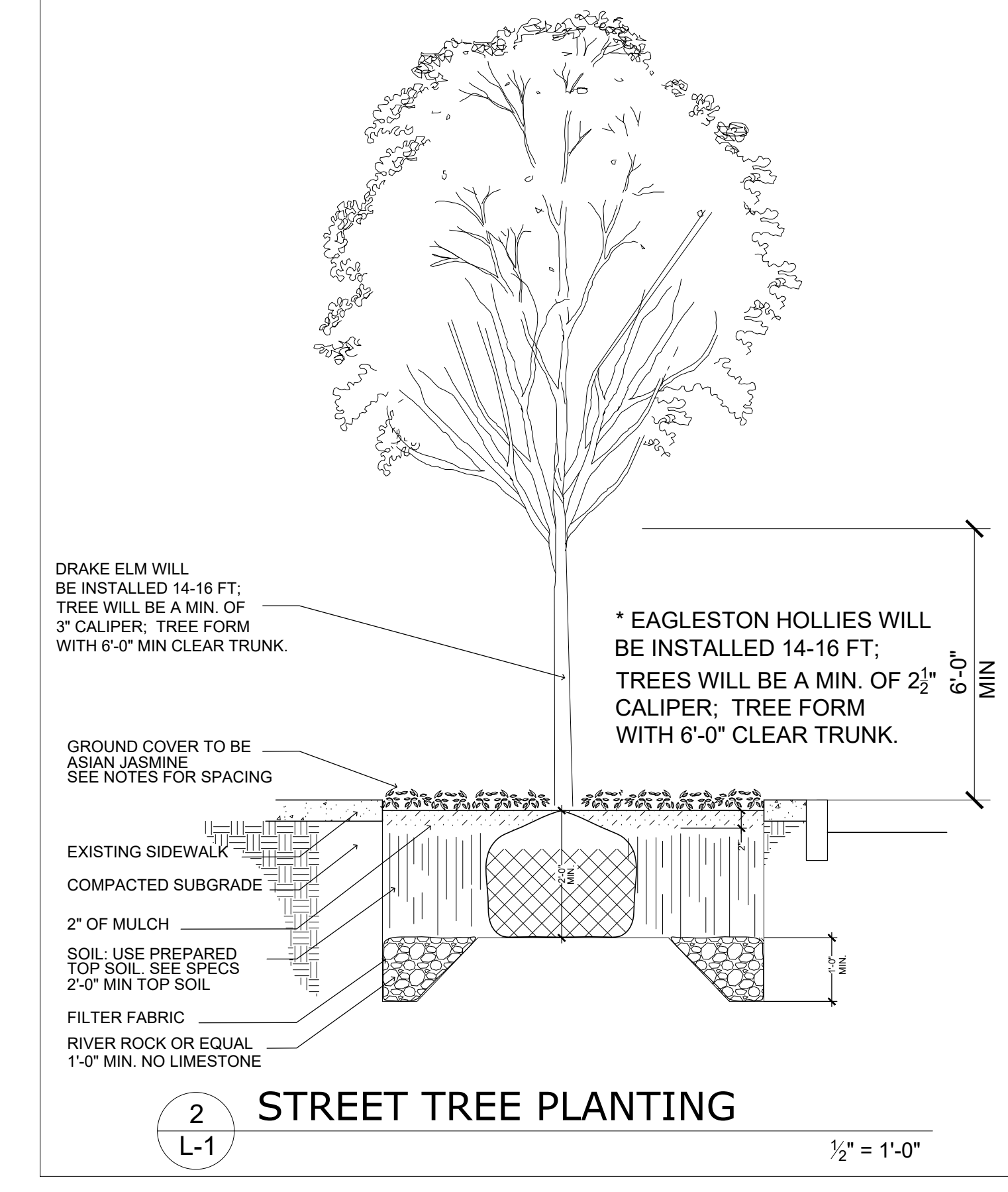
DATE	BY	SCALE	SHEET
MAY 2022	JDM	1/4" = 1'-0"	L1.1

ADJACENT COMMERCIAL PROPERTY
PROPERTY LINE

General Notes

- Contractor to verify all dimensions and grades (existing and proposed) prior to beginning any work.
- Locate centerlines and alignments as shown on the drawings. Most dimensions are given from centerlines or from face of building to edges of slab, centerlines of walls and columns, or finished face of walls unless noted otherwise. See details for finish dimensions of various hardscape features.
- No concrete shall be poured until forms and steel placement have been inspected by Rene Fransen or his representative and/or Structural Engineer.
- All work shall conform to all applicable codes and ordinances including New Orleans and Orleans Parish, State and National Codes.
- Stone to be selected by Landscape Architect and Interior Designer
- All stone at driveways, parking courts, etc. shall be 2" thick minimum to withstand vehicular traffic. Concrete bases in vehicular traffic areas shall be at least 6" thick with highway mesh mid-slab in 3000 psi concrete. Other reinforcing shall be per structural engineer.
- All exposed-edge stone (wall caps, stair treads, pool coping, etc.) shall be 2 1/2" GAUGED with flame edge.
- Flagstone in paving fields which are to receive only pedestrian traffic shall be at least 1" thick, NO stone measuring less than 1" thick shall be accepted.
- All stone is to be laid on a dry-mix mortar setting bed at least 1" thick.
- All stone is to be butt-jointed with tight joints, 1/8" to 1/4" maximum joint width. Joints shall be filled with grout that matches stone color, as selected by Owner and Landscape Architect.
- Do not drill holes in stone for trench drains. Leave out mortar joints between stone pavers covering drain for drain inlets. All stone covering trench drains shall be at least 2" thick. Provide removable stone piece cleanouts at end of trench drain for cleanouts (template provided by Landscape Architect).
- All planter walls to be waterproofed extensively and "Awkdrain" and french drains shall be installed at planter retaining walls to reduce hydrostatic pressure.
- Provide sprinkler to all lawn and planting areas and sprinkler boxes in paved areas. See layout for locations.
- All electrical, sprinkler, plumbing and pool lines shall be run adjacent to slabs at least 12" below finished grade. Absolutely no lines to be run in planting beds.
- Provide PVC chases as located on the drawings. Turn up chases to finished grade and cap. Mark chase locations to assist plumbers, electricians, and other trades in locating the chases.
- All electrical outlets shall be recessed into the wall or other surface where shown on the plans. Typically, the top outlet shall be hot, and the bottom switched for outdoor lighting. Confer with Owner for location(s) for outdoor lighting switches. Alternatively, outdoor lighting may be controlled by a photocell (at Owner's option).
- Confer with Owner as to whether lanterns shall be electric or gas. Provide utility connections to lantern locations as needed to meet Owner's requirements.
- Provide separate switches to control fountain pumps and lights. Confer with Owner to determine switch locations for each fountain.
- All downspouts to be connected to subsurface drainage at catch basin. All subsurface drainage shall be collected and diverted and tied into the existing storm drainage. Location of tie ins to be approved by Landscape Architect and Owner.
- Locate hose bibs above catch basins where possible to allow any drips to be collected by the drainage system.
- All drain lines and electrical to be kept out of planting beds. All lines and pipe should hug the edge of the slab and or bond beam.

SEE ARCHITECTURAL DRAWINGS FOR INTERIOR SCOPE



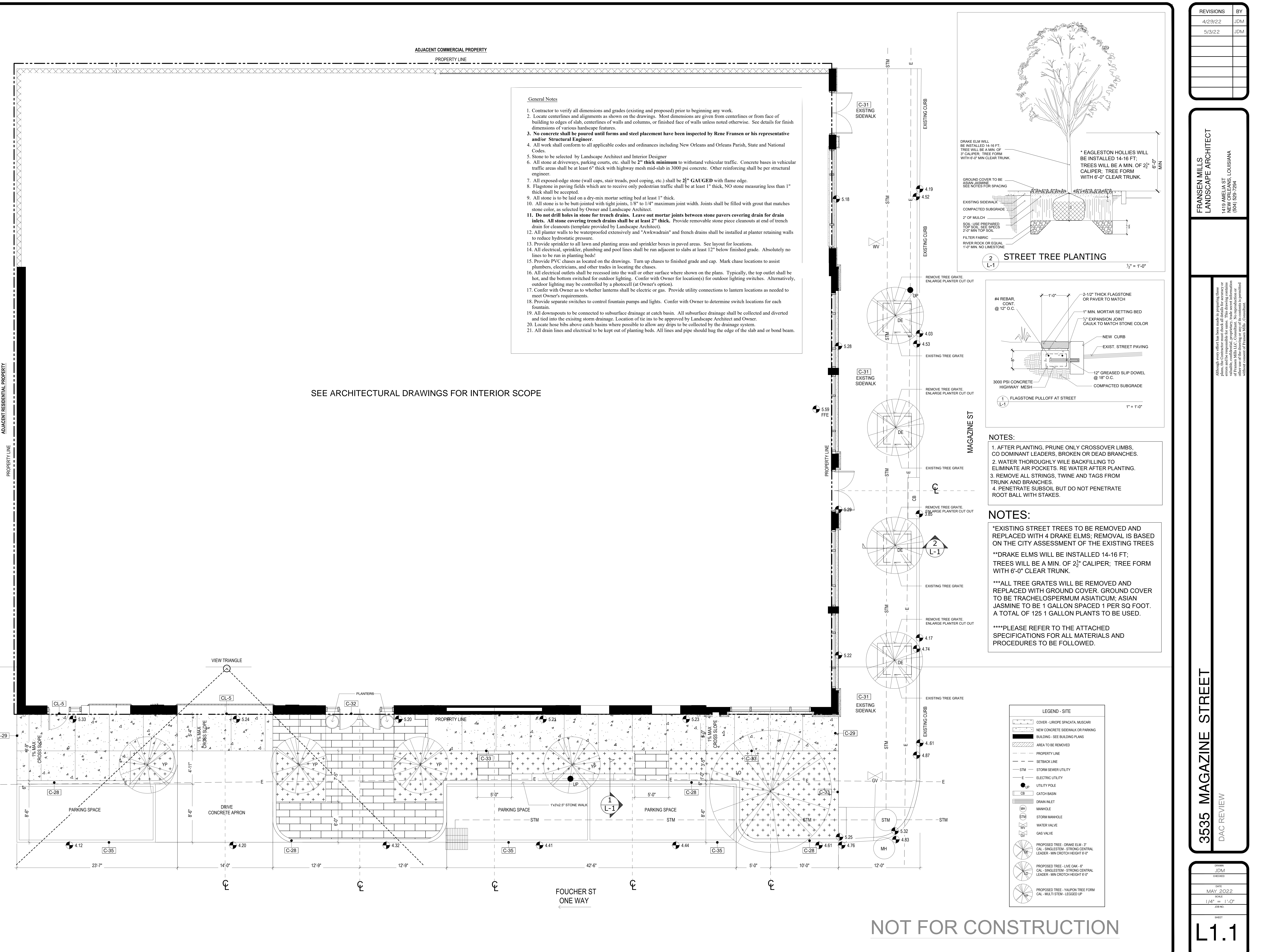
- NOTES:**
- AFTER PLANTING, PRUNE ONLY CROSSOVER LIMBS, CO DOMINANT LEADERS, BROKEN OR DEAD BRANCHES.
 - WATER THOROUGHLY W/ILE BACKFILLING TO ELIMINATE AIR POCKETS. RE WATER AFTER PLANTING.
 - REMOVE ALL STRINGS, TWINE AND TAGS FROM TRUNK AND BRANCHES.
 - PENETRATE SUBSOIL BUT DO NOT PENETRATE ROOT BALL WITH STAKES.

- NOTES:**
- *EXISTING STREET TREES TO BE REMOVED AND REPLACED WITH 4 DRAKE ELMS; REMOVAL IS BASED ON THE CITY ASSESSMENT OF THE EXISTING TREES
 - **DRAKE ELMS WILL BE INSTALLED 14-16 FT; TREES WILL BE A MIN. OF 2 1/2" CALIPER; TREE FORM WITH 6'-0" CLEAR TRUNK.
 - ***ALL TREE GRATES WILL BE REMOVED AND REPLACED WITH GROUND COVER. GROUND COVER TO BE TRACHELOSPERMUM ASIATICUM; ASIAN JASMINE TO BE 1 GALLON SPACED 1 PER SQ FOOT. A TOTAL OF 125 1 GALLON PLANTS TO BE USED.
 - ****PLEASE REFER TO THE ATTACHED SPECIFICATIONS FOR ALL MATERIALS AND PROCEDURES TO BE FOLLOWED.

LEGEND - SITE

- COVER - LIROPE SPACATA, MUSCARI
- NEW CONCRETE SIDEWALK OR PARKING
- BUILDING - SEE BUILDING PLANS
- AREA TO BE REMOVED
- PROPERTY LINE
- SETBACK LINE
- STM - STORM SEWER UTILITY
- E - ELECTRIC UTILITY
- UTILITY POLE
- CB - CATCH BASIN
- DRAIN INLET
- MANHOLE
- STM - STORM MANHOLE
- WV - WATER VALVE
- GV - GAS VALVE
- PROPOSED TREE - DRAKE ELM - 3" CAL - SINGLESTEM - STRONG CENTRAL LEADER - MIN CROUCH HEIGHT 6'-0"
- PROPOSED TREE - LIVE OAK - 6" CAL - SINGLESTEM - STRONG CENTRAL LEADER - MIN CROUCH HEIGHT 6'-0"
- PROPOSED TREE - YALPON TREE FORM CAL - MULTI STEM - LEGGED UP

NOT FOR CONSTRUCTION



3535 MAGAZINE STREET RENOVATION OF EXISTING BUILDING NEW ORLEANS, LA - 70115

OWNER: VERDAD REAL ESTATE 201 ST JOSEPH STREET #200 NEW ORLEANS, LA 70130

ARCHITECT: TRAPOLIN-PEER ARCHITECTS 850 TCHOUPITOULAS STREET NEW ORLEANS, LA 70130

CONTRACTOR:

NOT FOR CONSTRUCTION

REVISION #	DESCRIPTION	DATE

© TRAPOLIN-PEER ARCHITECTS, APC
PROJECT NUMBER: CN21141
ISSUE DATE: 05.04.2022

SITE PLAN - DEMOLITION

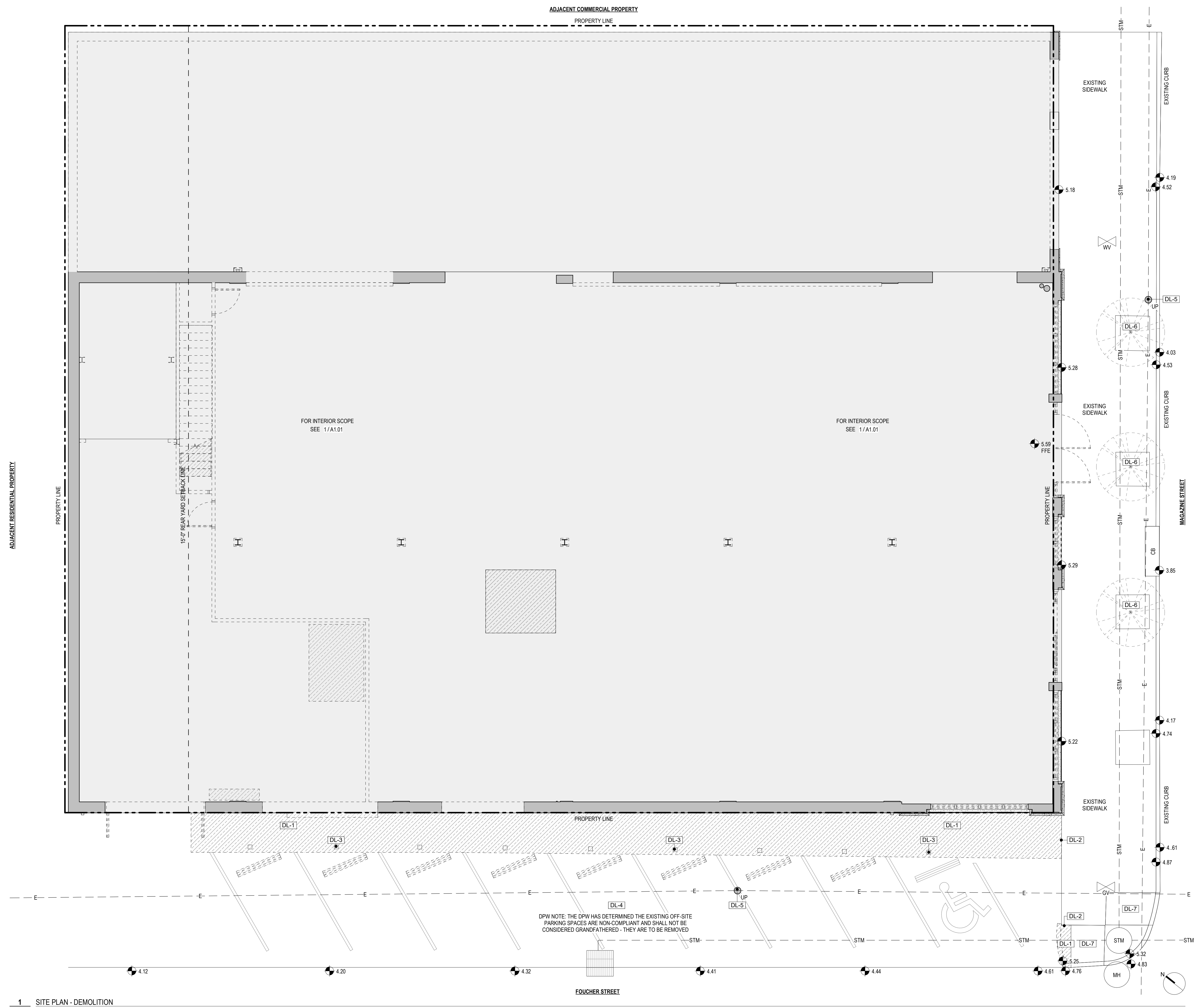
A0.50

LEGEND - SITE

- COVER - LIRIOPE SPACATA, MUSCARI
- NEW CONCRETE SIDEWALK OR PARKING
- PAVERS - SEE LANDSCAPE PLAN
- BUILDING - SEE BUILDING PLANS
- AREA TO BE REMOVED
- PROPERTY LINE
- SETBACK LINE
- STM - STORM SEWER UTILITY
- E - ELECTRIC UTILITY
- UP - UTILITY POLE
- CB - CATCH BASIN
- DRAIN INLET
- MH - MANHOLE
- STM - STORM MANHOLE
- WV - WATER VALVE
- GV - GAS VALVE
- TREE - SEE LANDSCAPE PLAN

KEYNOTES - DEMOLITION

TAG	DESCRIPTION
DL-1	REMOVE CONCRETE SIDEWALK - CAREFULLY REMOVE SECTIONS ADJACENT TO AREAS OF SIDEWALK TO REMAIN. EXISTING BRICK BUILDING, OR OTHER EXISTING SITE FEATURES
DL-2	SAWCUT AREA OF REMOVED CONCRETE - PRESERVE SURFACE OF CONCRETE TO REMAIN
DL-3	REMOVE WOOD BOLLARDS, TYP
DL-5	EXISTING UTILITY POLE TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION
DL-6	REMOVE EXISTING STREET TREE - SEE LANDSCAPE PLAN
DL-7	EXISTING RAISED ADA WARNING STRIPS AND TILE STREET NAME SIGNS TO REMAIN



DPW NOTE: THE DPW HAS DETERMINED THE EXISTING OFF-SITE PARKING SPACES ARE NON-COMPLIANT AND SHALL NOT BE CONSIDERED GRANDFATHERED - THEY ARE TO BE REMOVED

3535 MAGAZINE STREET
 RENOVATION OF EXISTING BUILDING
 NEW ORLEANS, LA - 70115

OWNER
VERDAD REAL ESTATE
 201 ST JOSEPH STREET #200
 NEW ORLEANS, LA 70130

ARCHITECT
TRAPOLIN-PEER ARCHITECTS
 850 TCHOUPITOUSAS STREET
 NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR CONSTRUCTION

REVISION #	DESCRIPTION	DATE

LEGEND - SITE

[Symbol]	COVER - LIRIOPE SPACATA, MUSCARI
[Symbol]	NEW CONCRETE SIDEWALK OR PARKING
[Symbol]	PAVERS - SEE LANDSCAPE PLAN
[Symbol]	BUILDING - SEE BUILDING PLANS
[Symbol]	AREA TO BE REMOVED
[Symbol]	PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	STM - STORM SEWER UTILITY
[Symbol]	E - ELECTRIC UTILITY
[Symbol]	UP - UTILITY POLE
[Symbol]	CB - CATCH BASIN
[Symbol]	DI - DRAIN INLET
[Symbol]	MH - MANHOLE
[Symbol]	STM - STORM MANHOLE
[Symbol]	WV - WATER VALVE
[Symbol]	GV - GAS VALVE
[Symbol]	TREE - SEE LANDSCAPE PLAN

KEYNOTES - CONSTRUCTION

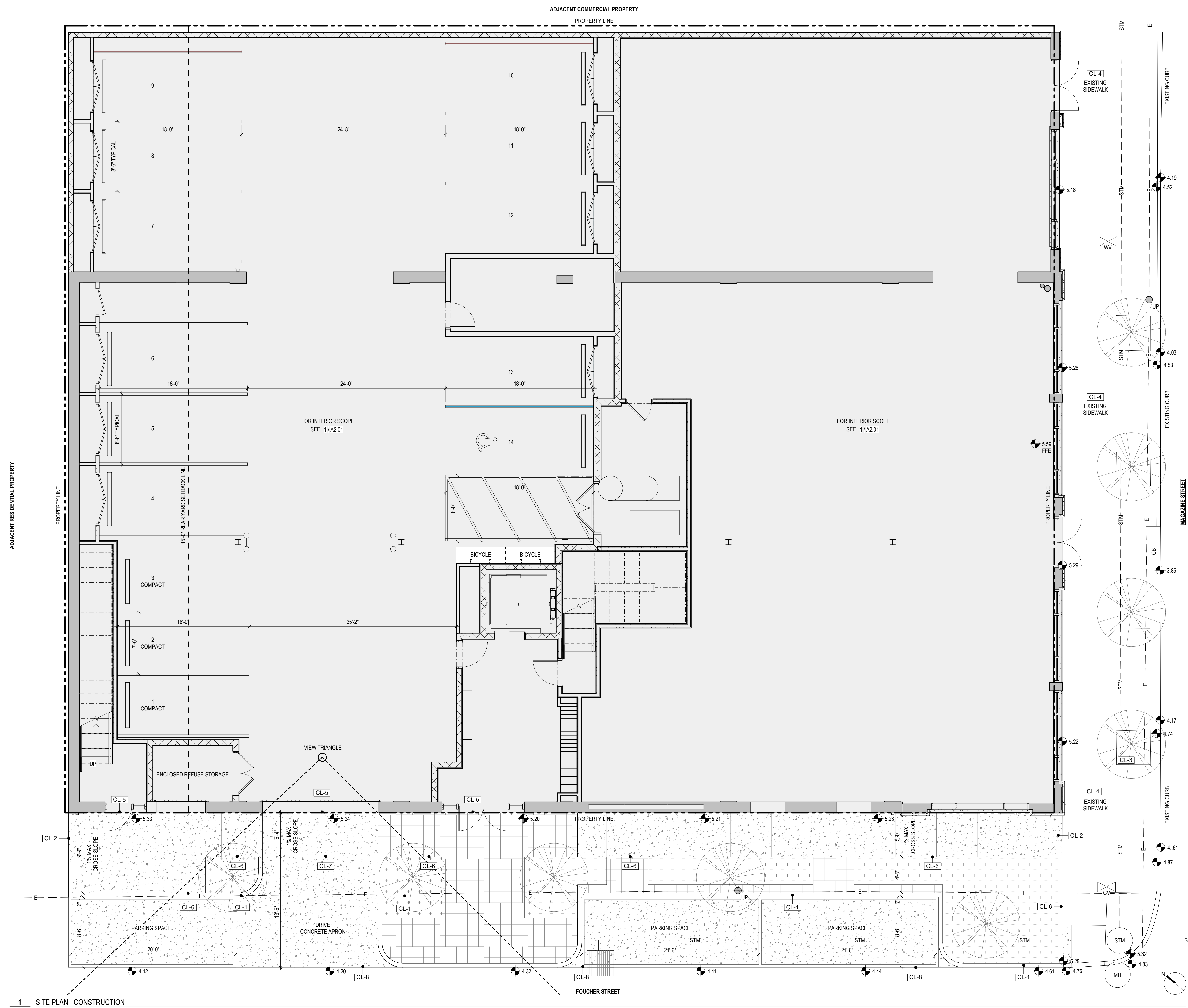
TAG	DESCRIPTION
CL-1	PROVIDE NEW CONCRETE CURB TO MATCH EXISTING
CL-2	NEW CONCRETE SURFACE TO ALIGN WITH EXISTING ADJACENT CONCRETE SURFACE
CL-3	SEE LANDSCAPE PLAN FOR STREET TREE PIT
CL-4	CLEAN EXISTING CONCRETE SIDEWALK SURFACE
CL-5	NEW CONCRETE SURFACE TO HAVE AN ADA COMPATIBLE TRANSITION TO INTERIOR FLOOR SURFACE
CL-6	PROVIDE STEEL LANDSCAPING EDGING AROUND ALL NEW PLANTING BEDS - ALL SIDES
CL-7	PROVIDE 1/2" PREMOLDED EXPANSION JOINT
CL-8	PROVIDE SMOOTH TRANSITION FROM NEW CONCRETE SURFACE TO STREET - PROVIDE DRAINAGE CHANNEL TO DIRECT SURFACE WATER TO DRAIN INLET

ZONING INFORMATION

DISTRICT: HU-B1
 DESCRIPTION: HISTORIC URBAN NEIGHBORHOOD BUSINESS DISTRICT
 USE: MIXED (RESIDENTIAL, STORAGE, COMMERCIAL)

BULK REGULATIONS

REGULATION	REQUIREMENT	COMPLIANCE
LOT AREA	1,000 SP/DU MIN 9 DU = 9,000 SF	COMPLIES - LOT IS 11,460 SF
FLOOR AREA - COMMERCIAL	5,000 SF MAX	COMPLIES - COMMERCIAL AREA IS < 5,000 SF
LOT WIDTH	NONE	COMPLIES
BUILDING HEIGHT	3 STORIES 40'-0" MAX	COMPLIES - STAIR/ELEVATOR BULKHEADS AND UNENCLOSED RESIDENTIAL ROOFTOP TERRACES ARE EITHER ALLOWED OR GRANDFATHERED
PERMEABLE OPEN SPACE	10% OF LOT AREA	EXISTING ZERO LOT LINE BUILDING IS GRANDFATHERED
SETBACK - FRONT YARD	0'-0" MIN	COMPLIES
SETBACK - INTERIOR SIDE YARD	0'-0" MIN	COMPLIES
SETBACK - CORNER SIDE YARD	0'-0" MIN	COMPLIES
SETBACK - REAR YARD	15'-0" MIN	EXISTING ZERO LOT LINE BUILDING IS GRANDFATHERED



1 SITE PLAN - CONSTRUCTION
 A0.51 SCALE: 3/16" = 1'-0"

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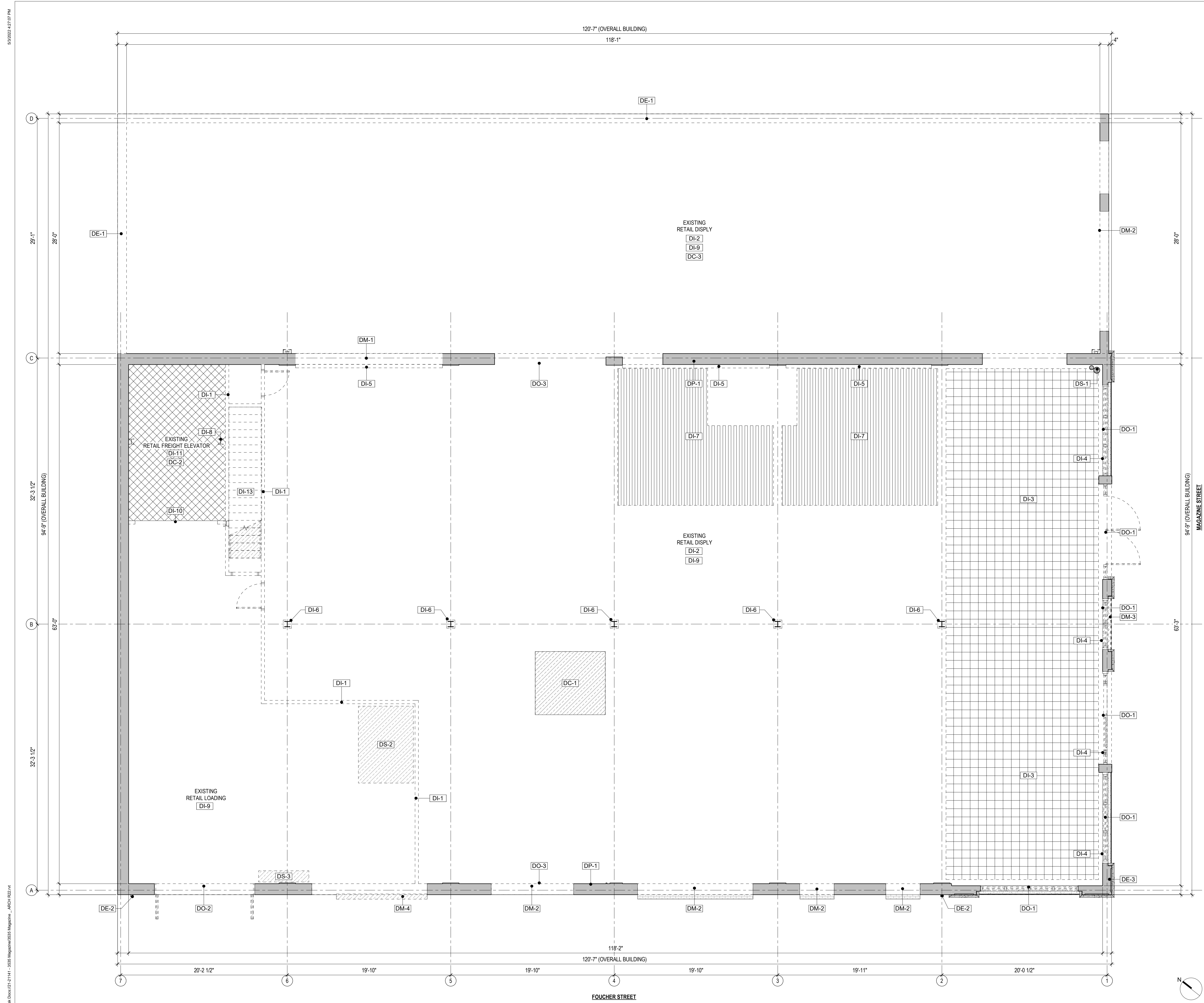
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ISSUE DATE
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FLOOR PLAN - DEMOLITION - LEVEL 1



LEGEND - DEMOLITION

[Solid Grey]	EXISTING WALL TO REMAIN
[Dashed Line]	EXISTING WALL TO BE DEMOLISHED
[Diagonal Hatching]	AREA TO BE DEMOLISHED
[Cross-hatching]	AREA TO BE INFILLED

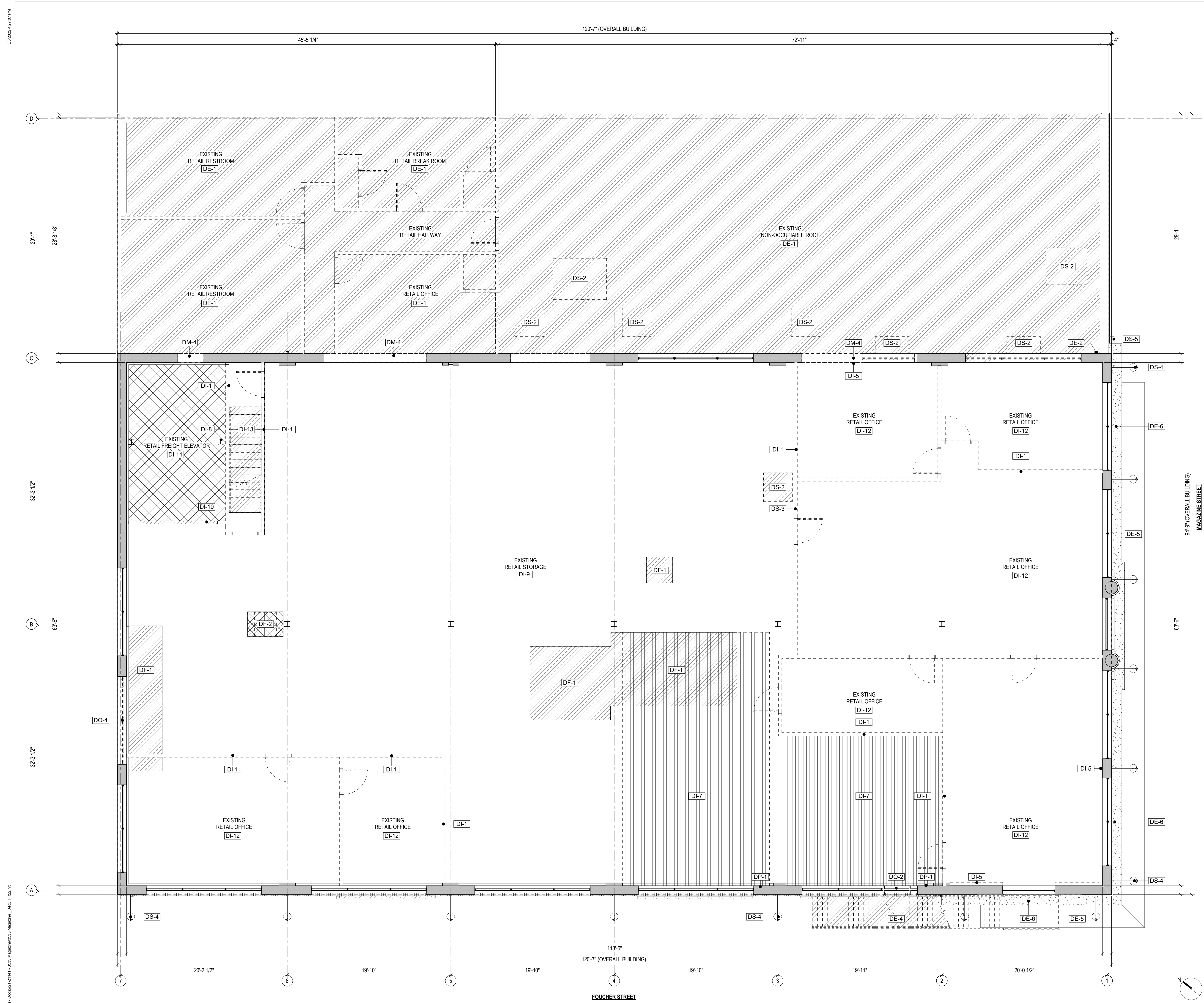
- SHEET NOTES - DEMOLITION**
- DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
 - G.C. SHALL VERIFY ALL DIMENSIONS IN FIELD. IF ANY ± DIMENSIONS VARY MORE THAN 2", NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
 - DIMENSIONS TO NEW CONSTRUCTION ARE MEASURED TO THE FACE OF STUD OR BRICK UON. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE MEASURED TO FACE OF EXISTING FINISH SURFACE.
 - PROVIDE PROTECTION FOR ALL AREAS AFFECTED BY DEMOLITION. G.C. SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED BY IMPROPER PROTECTION AND MAKE ALL NECESSARY REPAIR OR REPLACEMENTS WITHOUT ADDITIONAL COSTS TO THE OWNER.
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 - LOCATE AND TEST SHUT-OFF VALVES PRIOR TO DEMOLITION.
 - PROBE TO LOCATE AND IDENTIFY ALL UTILITIES PRIOR TO DEMOLITION.
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 - DEMOLISH ALL EXISTING LIGHTING FIXTURES, PLUMBING FIXTURES, AND ELECTRICAL OUTLETS.
 - AREAS TO SHOWN TO BE DEMOLISHED ARE TO BE COORDINATED WITH THE SCOPE OF WORK SHOWN ON THE CONSTRUCTION PLAN.
 - G.C. TO VERIFY ALL DIMENSIONS ON DEMOLITION PLANS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION SCOPE.

KEYNOTES - DEMOLITION

TAG	DESCRIPTION
DC-1	SAWCUT SLAB FOR NEW ELEVATOR PIT
DC-2	INFILL AREA OF FREIGHT ELEVATOR PIT WITH STRUCTURAL FOAM AND CONCRETE PER STRUCTURAL - FINISHED SURFACE OF CONCRETE TO ALIGN WITH ADJACENT HISTORIC BRICK
DC-3	LEVEL FLOOR SURFACE OF ANNEX - REPAIR CONCRETE SURFACE - ANNEX FLOOR SURFACE TO ALIGN WITH ADJACENT MAIN BUILDING FLOOR SURFACE
DE-1	REMOVE NON-HISTORIC ANNEX WALLS, COLUMNS, AND ROOF
DE-2	REPLACE DAMAGED DOWNSPOUT
DE-3	REMOVE RETAIL SIGN
DI-1	REMOVE INTERIOR NON-HISTORIC PARTITION - PROVIDE TEMPORARY SUPPORT IF LOAD BEARING
DI-2	REMOVE NON-HISTORIC FLOOR TILE, WOOD FLOORING, AND CARPET THROUGHOUT LEVEL 1
DI-3	CAREFULLY REMOVE HISTORIC TIN CEILING COVERING AND TRIM - SAVE FOR REINSTALL
DI-4	PRESERVE HISTORIC WOOD STOREFRONT TRIM AND TRANSOM TRIM
DI-5	REMOVE NON-HISTORIC FURRING FROM MASONRY WALLS
DI-6	REMOVE NON-HISTORIC COLUMN SURROUND - PRESERVE EXISTING STRUCTURAL COLUMN, TYP
DI-7	CAREFULLY REMOVE HISTORIC BEADBOARD CEILING PANELS AND TRIM - SAVE FOR REINSTALL
DI-8	CAREFULLY REMOVE ELEVATOR GUIDERAILS ON LEVEL 1 AND 2 - TO REMAIN ON LEVEL 3
DI-9	REMOVE REMAINING RETAIL DISPLAYS, SHELVING, COUNTERS, EQUIPMENT, AND PRODUCTS, TYP
DI-10	REMOVE HISTORIC ELEVATOR DOOR ON LEVELS 1 AND 2 - LEVEL 3 DOOR TO REMAIN
DI-11	SALVAGE HISTORIC ELEVATOR CAB AND SAVE FOR RELOCATION - REMOVE METAL CEILING ENCLOSURE - WOOD WALLS, FLOOR PLATFORM, AND METAL FRAMING - REFINISH CAB ELEMENTS TO BE LOCATED IN PLACE ON LEVEL 3 - ELEVATOR FLOOR OPENING TO BE INFILLED - SEE STRUCTURAL
DI-13	REMOVE WOOD STAIR AND RAILING
DM-1	REMOVE AREA OF BRICK WALL - PROVIDE TEMPORARY SUPPORT - MAXIMIZE OPENING BETWEEN EXISTING PILASTERS - SEE STRUCTURAL
DM-2	REMOVE PORTION OF NON-HISTORIC MASONRY INFILL - PRESERVE HISTORIC MASONRY ROUGH OPENING AND SILL
DM-3	REMOVE PORTION OF NON-HISTORIC RAISED CONCRETE STOREFRONT SILL
DM-4	CUT MASONRY WALL TO SIZE REQUIRED FOR NEW OPENING AS SCHEDULED - PROVIDE NEW HEADER LINTEL WHERE REQUIRED PER STRUCTURAL - INFILL AREA OF DEMOLISHED DOOR IN MASONRY WALL
DO-1	REMOVE EXISTING NON-HISTORIC STOREFRONT
DO-2	REMOVE NON-HISTORIC DOOR
DO-3	REMOVE NON-HISTORIC OVERHEAD ROLL DOWN DOOR
DP-1	MAINTAIN AREAS OF HISTORIC PLASTER COVERING BRICK WALLS, TYP - PROVIDE PROTECTION DURING DEMOLITION AND CONSTRUCTION
DS-1	LOCATION OF SPRINKLER RISER AND VALVE - SEE MEP
DS-2	REMOVE HVAC EQUIPMENT - SEE MECHANICAL
DS-3	REMOVE ELECTRICAL PANELS AND SWITCHES - SEE ELECTRICAL

1 FLOOR PLAN - DEMOLITION - LEVEL 1
A1.01 SCALE: 3/16" = 1'-0"

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LEGEND - DEMOLITION

[Solid Grey Box]	EXISTING WALL TO REMAIN
[Dashed Line Box]	EXISTING WALL TO BE DEMOLISHED
[Diagonal Hatching Box]	AREA TO BE DEMOLISHED
[Cross-hatching Box]	AREA TO BE INFILLED

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 - DEMOLISH ALL EXISTING LIGHTING FIXTURES, PLUMBING FIXTURES, AND ELECTRICAL OUTLETS.
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KEYNOTES - DEMOLITION

TAG	DESCRIPTION
DE-1	REMOVE NON-HISTORIC ANNEX WALLS, COLUMNS, AND ROOF
DE-2	REPLACE DAMAGED DOWNSPOUT
DE-4	REMOVE METAL FIRE ESCAPE STAIR AND SUPPORTS - PATCH AND REPAIR MASONRY IN AREA OF DEMOLISHED FIRE STAIR AND LADDER
DE-5	REMOVE FABRIC AWNING AND SUPPORTS
DE-6	CAREFULLY REMOVE PAINTED RETAIL SIGN FROM CEMENTITIOUS SURFACE
DF-1	CUT FLOOR FOR NEW SHAFT OPENING - SEE CONSTRUCTION PLANS AND STRUCTURAL
DF-2	REMOVE ABANDONED DUMBWATER AND INFILL EXISTING OPENING - SEE STRUCTURAL
DI-1	REMOVE INTERIOR NON-HISTORIC PARTITION - PROVIDE TEMPORARY SUPPORT IF LOAD BEARING
DI-5	REMOVE NON-HISTORIC FURRING FROM MASONRY WALLS
DI-7	CAREFULLY REMOVE HISTORIC BEADBOARD CEILING PANELS AND TRIM - SAVE FOR REINSTALL
DI-8	CAREFULLY REMOVE ELEVATOR GUIDERAILS ON LEVEL 1 AND 2 - TO REMAIN ON LEVEL 3
DI-9	REMOVE REMAINING RETAIL DISPLAYS, SHELVING, COUNTERS, EQUIPMENT, AND PRODUCTS. TYP
DI-10	REMOVE HISTORIC ELEVATOR DOOR ON LEVELS 1 AND 2 - LEVEL 3 DOOR TO REMAIN
DI-11	SALVAGE HISTORIC ELEVATOR CAB AND SAVE FOR RELOCATION - REMOVE METAL CEILING ENCLOSURE - WOOD WALLS, FLOOR PLATFORM, AND METAL FRAMING - REFINISH CAB ELEMENTS TO BE LOCATED IN PLACE ON LEVEL 3 - ELEVATOR FLOOR OPENING TO BE INFILLED - SEE STRUCTURAL
DI-12	REMOVE NON-HISTORIC CARPET AND ATC TILE CEILING IN OFFICES. TYP
DI-13	REMOVE WOOD STAIR AND RAILING
DM-4	CUT MASONRY WALL TO SIZE REQUIRED FOR NEW OPENING AS SCHEDULED - PROVIDE NEW HEADER LINTEL WHERE REQUIRED PER STRUCTURAL - INFILL AREA OF DEMOLISHED DOOR IN MASONRY WALL
DO-2	REMOVE NON-HISTORIC DOOR
DO-4	REMOVE WINDOW OPENING AND FRAME - PRESERVE MASONRY OPENING - TO BE INFILLED
DP-1	MAINTAIN AREAS OF HISTORIC PLASTER COVERING BRICK WALLS. TYP - PROVIDE PROTECTION DURING DEMOLITION AND CONSTRUCTION
DS-2	REMOVE HVAC EQUIPMENT - SEE MECHANICAL
DS-3	REMOVE ELECTRICAL PANELS AND SWITCHES - SEE ELECTRICAL
DS-4	EXTERIOR GOOSENECK SCONCES TO BE RETAINED REFINISHED. TYP
DS-5	REMOVE AUTOMATIC EXTERIOR VENT

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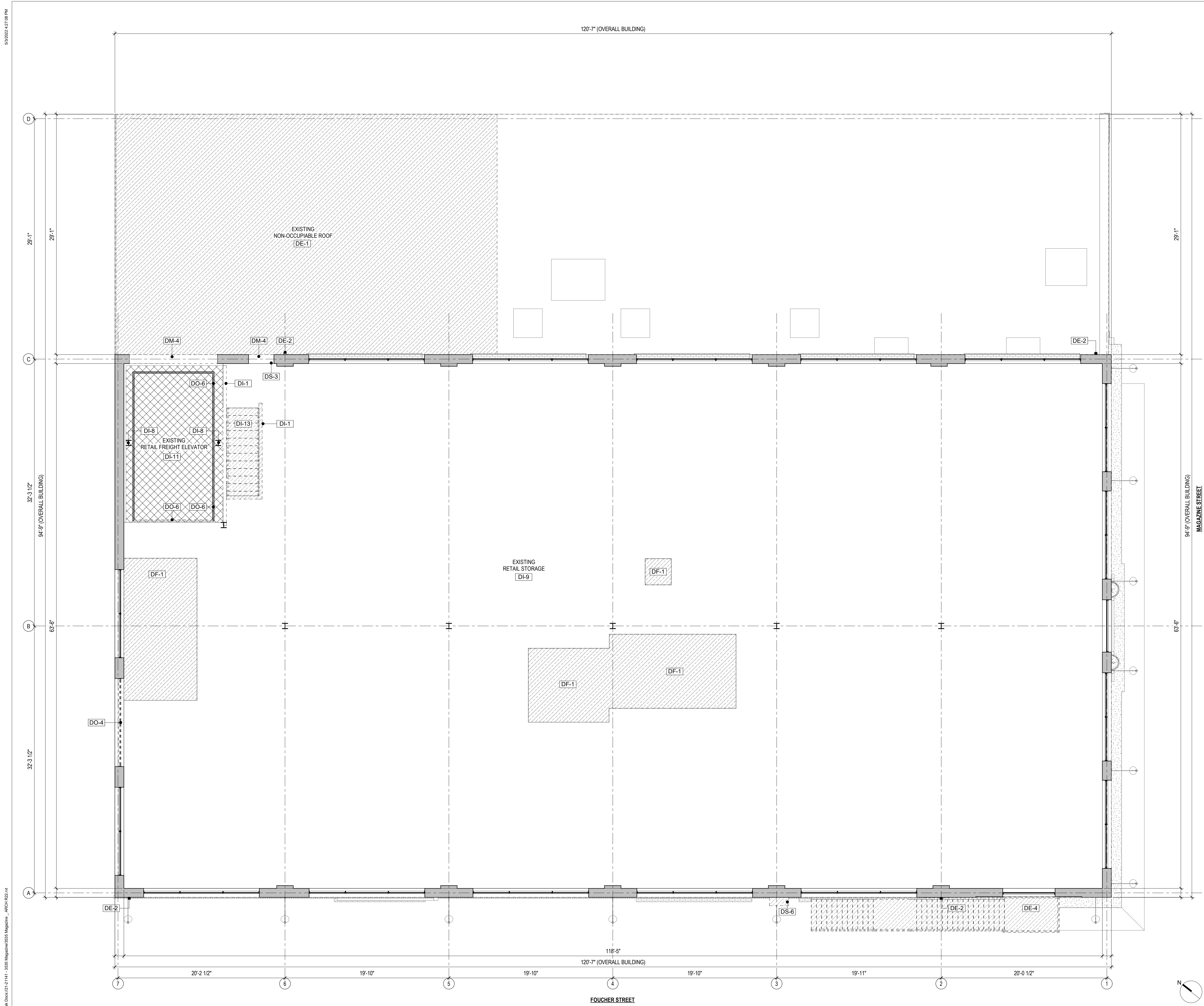
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FLOOR PLAN - DEMOLITION - LEVEL 2



LEGEND - DEMOLITION

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- AREA TO BE DEMOLISHED
- AREA TO BE INFILLED

- SHEET NOTES - DEMOLITION**
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 5. CONFIRM THAT ALL WALLS TO BE REMOVED ARE NON-LOAD BEARING PRIOR TO DEMOLITION.
 6. LOCATE AND TEST SHUT-OFF VALVES PRIOR TO DEMOLITION.
 7. PROBE TO LOCATE AND IDENTIFY ALL UTILITIES PRIOR TO DEMOLITION.
 8. STRIP BACK ORIGINAL SOURCE AND CAP ALL DEMOLISHED ELECTRICAL AND PLUMBING LINES. DEMOLISH ALL EXISTING LIGHTING FIXTURES, PLUMBING FIXTURES, AND ELECTRICAL OUTLETS.
 9. AREAS TO SHOWN TO BE DEMOLISHED ARE TO BE COORDINATED WITH THE SCOPE OF WORK SHOWN ON THE CONSTRUCTION PLAN.
 11. GC TO VERIFY ALL DIMENSIONS ON DEMOLITION PLANS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION SCOPE.

KEYNOTES - DEMOLITION

TAG	DESCRIPTION
DE-1	REMOVE NON-HISTORIC ANNEX WALLS, COLUMNS, AND ROOF
DE-2	REPLACE DAMAGED DOWNSPOUT
DE-4	REMOVE METAL FIRE ESCAPE STAIR AND SUPPORTS - PATCH AND REPAIR MASONRY IN AREA OF DEMOLISHED FIRE STAIR AND LADDER
DF-1	CUT FLOOR FOR NEW SHAFT OPENING - SEE CONSTRUCTION PLANS AND STRUCTURAL
DI-1	REMOVE INTERIOR NON-HISTORIC PARTITION - PROVIDE TEMPORARY SUPPORT IF LOAD BEARING
DI-8	CAREFULLY REMOVE ELEVATOR GUIDERAILS ON LEVEL 1 AND 2 - TO REMAIN ON LEVEL 3
DI-9	REMOVE REMAINING RETAIL DISPLAYS, SHELVING, COUNTERS, EQUIPMENT, AND PRODUCTS, TYP
DI-11	SALVAGE HISTORIC ELEVATOR CAB AND SAVE FOR RELOCATION - REMOVE METAL CEILING ENCLOSURE - WOOD WALLS, FLOOR PLATFORM, AND METAL FRAMING - REFINISH CAB ELEMENTS TO BE LOCATED IN PLACE ON LEVEL 3 - ELEVATOR FLOOR OPENING TO BE INFILLED - SEE STRUCTURAL
DI-13	REMOVE WOOD STAIR AND RAILING
DM-4	CUT MASONRY WALL TO SIZE REQUIRED FOR NEW OPENING AS SCHEDULED - PROVIDE NEW HEADER LINTEL WHERE REQUIRED PER STRUCTURAL - INFILL AREA OF DEMOLISHED DOOR IN MASONRY WALL
DO-4	REMOVE WINDOW OPENING AND FRAME - PRESERVE MASONRY OPENING - TO BE INFILLED
DO-6	CREATE OPENING IN WALL OF FREIGHT ELEVATOR CAB FOR NEW DOOR
DS-3	REMOVE ELECTRICAL PANELS AND SWITCHES - SEE ELECTRICAL
DS-6	REMOVE EXTERIOR FLOOD LIGHT

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FLOOR PLAN - DEMOLITION - LEVEL 3

A1.03

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FLOOR PLAN - DEMOLITION - ROOF

A1.04

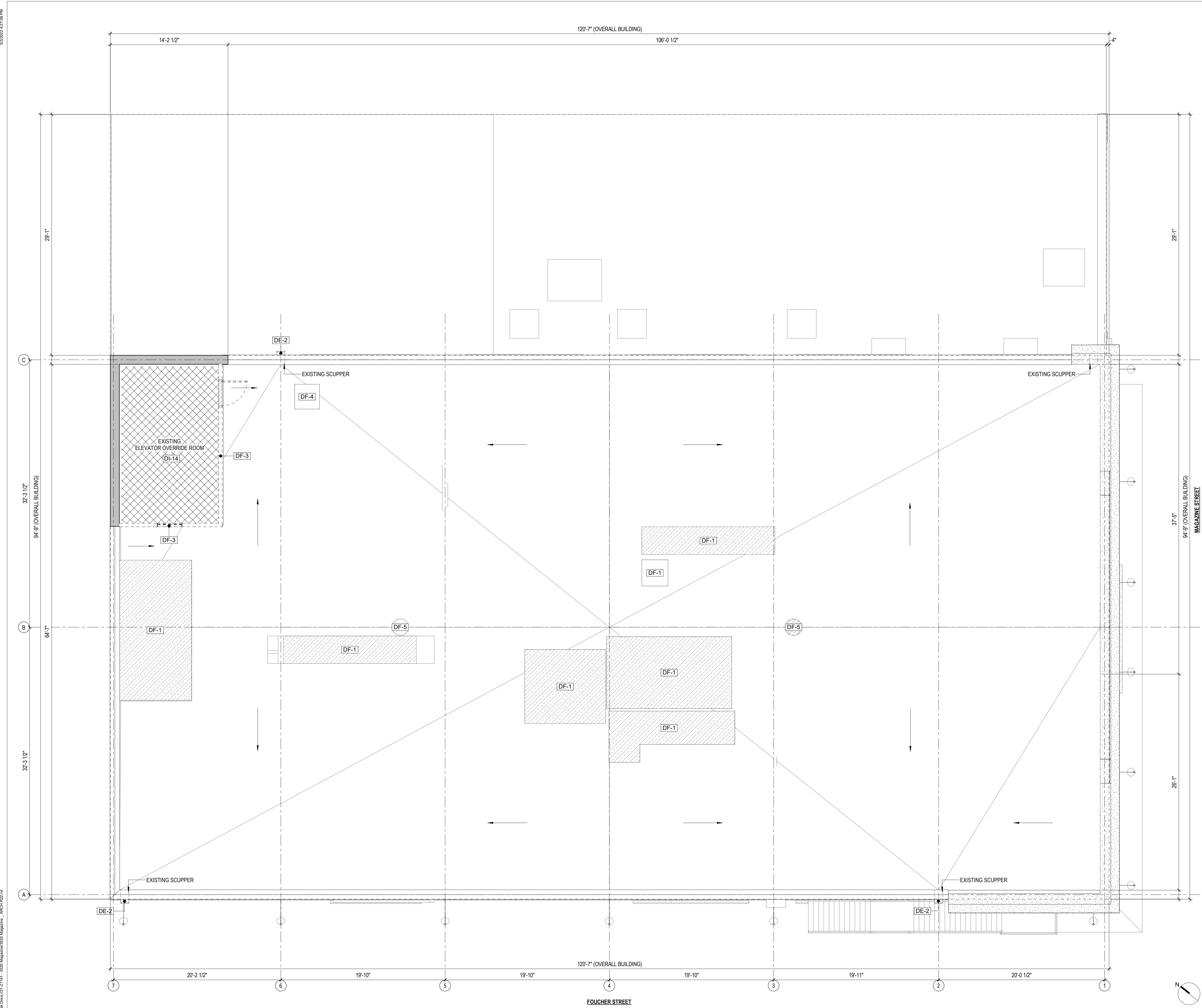
LEGEND - DEMOLITION

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	AREA TO BE DEMOLISHED
	AREA TO BE INFILLED

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KEYNOTES - DEMOLITION

TAG	DESCRIPTION
DF-3	REMOVE EXTERIOR WOOD FRAMED WALL AND ROOF OF ELEVATOR OVERRIDE ROOM
DF-5	REMOVE ROOF VENT - INFILL EXISTING OPENING - SEE STRUCTURAL
DI-14	REMOVE ALL EXISTING ELEVATOR EQUIPMENT IN OVERRUN ROOM



1 FLOOR PLAN - DEMOLITION - LEVEL 4
A1.04 SCALE: 3/16" = 1'-0"

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FLOOR PLAN - CONSTRUCTION - LEVEL 1

A2.01

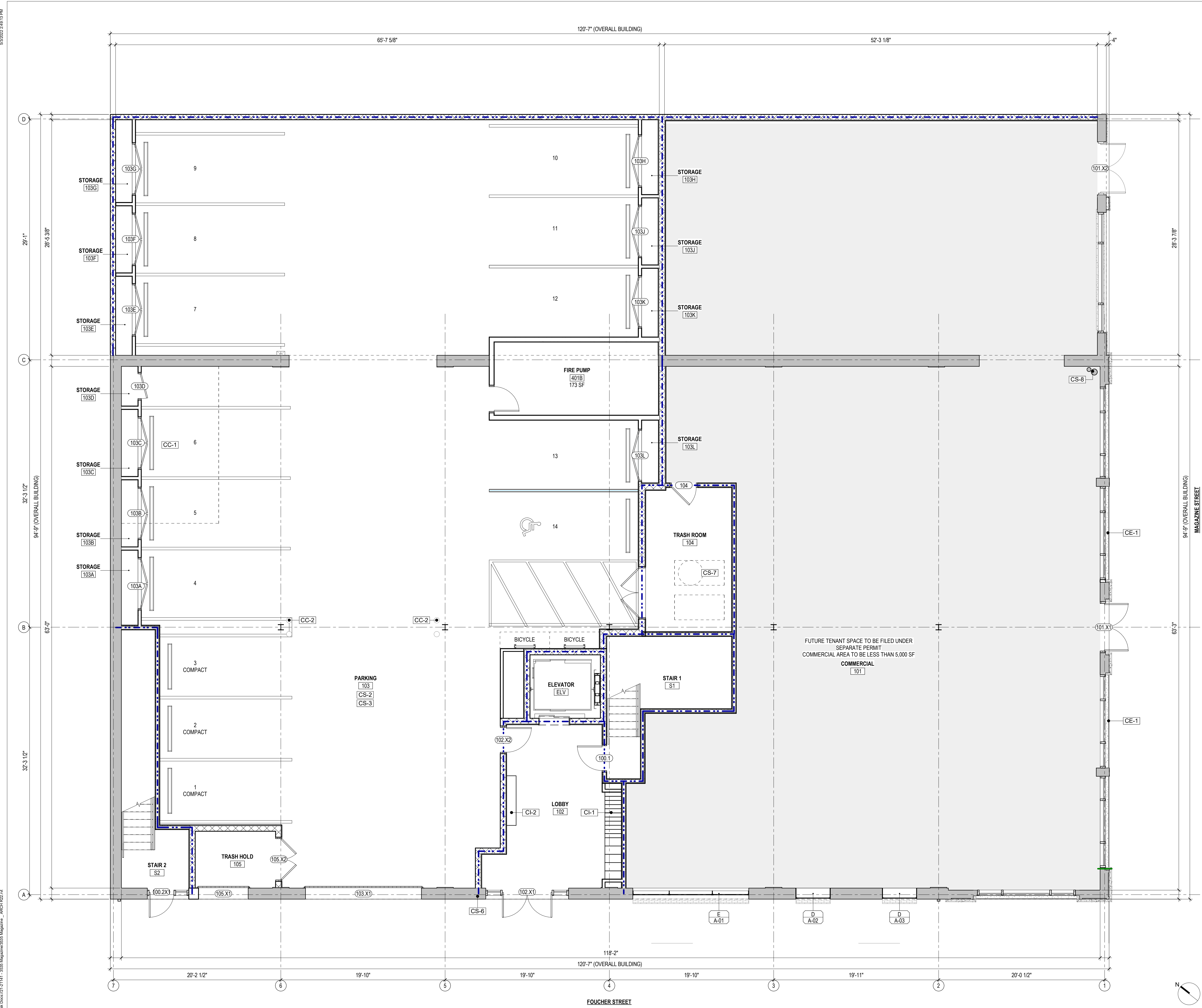
LEGEND - CONSTRUCTION

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	MILLWORK
	RATED ASSEMBLY - 1 HR
	RATED ASSEMBLY - 2 HR

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 - ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES.
 - ALL NEW DOOR AND WALKWAY OPENINGS, JAMBS TO BE OFFSET FROM ADJACENT WALL SURFACE 6" U.O.N.
 - PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION.
 - VERIFY LOCATIONS OF ALL REQUIRED ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
 - ALL EXISTING COLUMNS ARE TO REMAIN. PROVIDE PROTECTION DURING DEMOLITION AND CONSTRUCTION.
 - WALL ALIGNMENTS SHOWN TAKE PRECEDENCE OVER DIMENSIONS.
 - PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORY AND CABINET LOCATIONS.
 - SEE INTERIOR ELEVATIONS FOR ALIGNMENT OF SHOWER FAUCETS, VANITY SINK FAUCETS, AND TOILETS TO TILE FINISH.
 - COORDINATE ALL CASEWORK DIMENSIONS WITH FRAMING PRIOR TO FABRICATION.

KEYNOTES - CONSTRUCTION

TAG	DESCRIPTION
CC-1	PROVIDE GREASE TRAP - INFILL AREA OF FREIGHT ELEVATOR FIT WITH STRUCTURAL FOAM AND CONCRETE PER STRUCTURAL - FINISHED SURFACE OF CONCRETE TO ALIGN WITH ADJACENT HISTORIC BRICK
CC-2	PROVIDE CONCRETE FILLED STEEL BOLLARDS ON EACH SIDE OF STEEL COLUMN
CE-1	PROVIDE CONCRETE STOREFRONT SILL TO MATCH HISTORIC PROFILE
CI-1	PROVIDE FURRING AND SOFFIT FOR PARCEL LOCKER
CI-2	PROVIDE USPS MAILBOX
CS-2	PROVIDE DEDICATED 220V OUTLET FOR EACH PARKING SPACE FOR EV CONNECTION - SEE MEP
CS-3	PROVIDE DRY SPRINKLER SYSTEM IN GARAGE - SEE MEP
CS-6	PROVIDE TELEPHONE INTERCOM ENTRY SYSTEM - SEE MEP
CS-7	PROVIDE VENTED TRASH CHUTE
CS-8	LOCATION OF SPRINKLER RISER AND VALVE - SEE MEP



1 FLOOR PLAN - CONSTRUCTION - LEVEL 1
A2.01 SCALE: 3/16" = 1'-0"

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FLOOR PLAN - CONSTRUCTION - LEVEL 2

A2.02

LEGEND - CONSTRUCTION

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	MILLWORK
	RATED ASSEMBLY - 1 HR
	RATED ASSEMBLY - 2 HR

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 - DIMENSIONS TO NEW CONSTRUCTION ARE MEASURED TO THE FACE OF STUD OR BRICK LION. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE MEASURED TO FACE OF EXISTING FINISH SURFACE.
 - ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES. ALL NEW DOOR AND WALKWAY OPENINGS, JAMBS TO BE OFFSET FROM ADJACENT WALL SURFACE 6" U.O.N.
 - PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION.
 - VERIFY LOCATIONS OF ALL REQUIRED ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION. ALL EXISTING COLUMNS ARE TO REMAIN. PROVIDE PROTECTION DURING DEMOLITION AND CONSTRUCTION.
 - WALL ALIGNMENTS SHOWN TAKE PRECEDENCE OVER DIMENSIONS.
 - PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORY AND CABINET LOCATIONS.
 - SEE INTERIOR ELEVATIONS FOR ALIGNMENT OF SHOWER FAUCETS, VANITY SINK FAUCETS, AND TOILETS TO TILE FINISH.
 - COORDINATE ALL CASEWORK DIMENSIONS WITH FRAMING PRIOR TO FABRICATION.

KEYNOTES - CONSTRUCTION

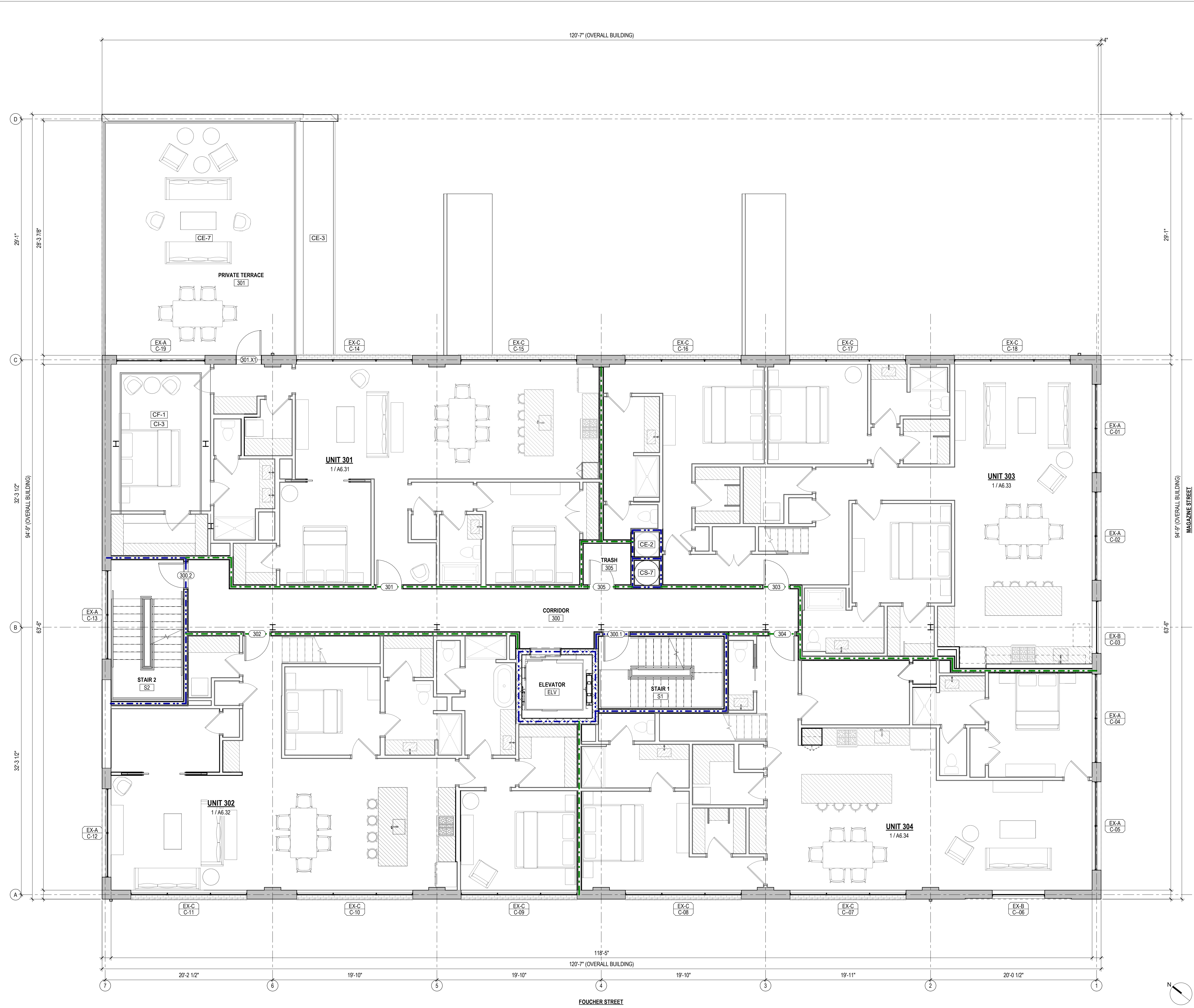
TAG	DESCRIPTION
CE-2	PROVIDE ENCLOSURE FOR FUTURE KITCHEN HOOD VENT
CE-3	PROVIDE SUSPENDED AWNING
CE-4	RESTORE EXISTING GOOSENECK SCONCES, TYP
CE-7	PROVIDE PEDESTAL PAYER SYSTEM
CI-3	INFILL EXISTING ELEVATOR AND STAIR OPENING - SEE STRUCTURAL
CO-1	MODIFY HISTORIC WINDOW TO INCLUDE NEW STEEL AND GLASS WALK DOOR
CO-2	MODIFY HISTORIC WINDOW TO REMOVE STEEL EGRESS DOOR - PATCH AND REPAIR HISTORIC MASONRY AND CONSTRUCT NEW MASONRY SILL TO MATCH EXISTING
CS-5	PROVIDE INTAKE LOUVER - SEE MEP
CS-7	PROVIDE VENTED TRASH CHUTE



1 FLOOR PLAN - CONSTRUCTION - LEVEL 2
A2.02 SCALE: 3/16" = 1'-0"

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LEGEND - CONSTRUCTION

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- MILLWORK
- RATED ASSEMBLY - 1 HR
- RATED ASSEMBLY - 2 HR

- SHEET NOTES - CONSTRUCTION**
1. DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
 2. G.C. SHALL VERIFY ALL DIMENSIONS IN FIELD. IF ANY ± DIMENSIONS VARY MORE THAN 2", NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
 3. DIMENSIONS TO NEW CONSTRUCTION ARE MEASURED TO THE FACE OF STUD OR BRICK UNLESS ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE MEASURED TO FACE OF EXISTING FINISH SURFACE.
 4. ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES.
 5. ALL NEW DOOR AND WALKWAY OPENINGS, JAMBS TO BE OFFSET FROM ADJACENT WALL SURFACE 6" U.O.N.
 6. PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION.
 7. VERIFY LOCATIONS OF ALL REQUIRED ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
 8. ALL EXISTING COLUMNS ARE TO REMAIN. PROVIDE PROTECTION DURING DEMOLITION AND CONSTRUCTION.
 9. WALL ALIGNMENTS SHOWN TAKE PRECEDENCE OVER DIMENSIONS.
 10. PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORY AND CABINET LOCATIONS.
 11. SEE INTERIOR ELEVATIONS FOR ALIGNMENT OF SHOWER FAUCETS, VANITY SINK FAUCETS, AND TOILETS TO TILE FINISH.
 12. COORDINATE ALL CASEWORK DIMENSIONS WITH FRAMING PRIOR TO FABRICATION.

KEYNOTES - CONSTRUCTION

TAG	DESCRIPTION
CE-2	PROVIDE ENCLOSURE FOR FUTURE KITCHEN HOOD VENT
CE-3	PROVIDE SUSPENDED AWNING
CE-7	PROVIDE PEDESTAL PAYER SYSTEM
CF-1	REINSTALL FREIGHT ELEVATOR ON INFILLED FLOOR
CI-3	INFILL EXISTING ELEVATOR AND STAIR OPENING - SEE STRUCTURAL
CS-7	PROVIDE VENTED TRASH CHUTE

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FLOOR PLAN - CONSTRUCTION - LEVEL 3

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FLOOR PLAN - CONSTRUCTION - LEVEL 4

A2.04

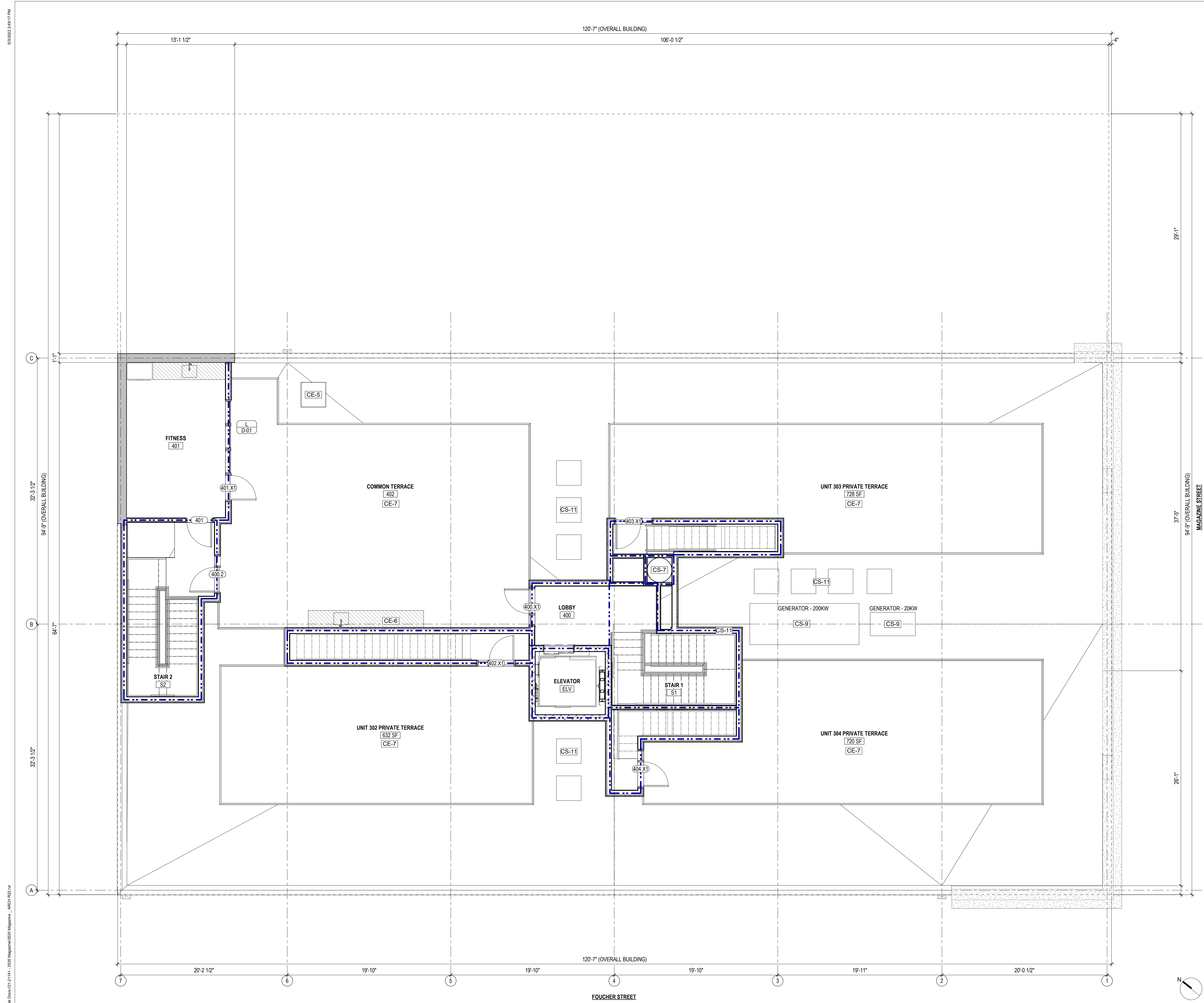
LEGEND - CONSTRUCTION

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	MILLWORK
	RATED ASSEMBLY - 1 HR
	RATED ASSEMBLY - 2 HR

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 - SEE INTERIOR ELEVATIONS FOR ALIGNMENT OF SHOWER FAUCETS, VANITY SINK FAUCETS, AND TOILETS TO TILE FINISH.
 - COORDINATE ALL CASEWORK DIMENSIONS WITH FRAMING PRIOR TO FABRICATION.

KEYNOTES - CONSTRUCTION

TAG	DESCRIPTION
CE-5	PATCH AND REPAIR AREA OF REMOVED ROOF ACCESS
CE-6	PATCH AND REPAIR AREA OF REMOVED ROOF VENT
CE-7	PROVIDE PEDESTAL PAVER SYSTEM
CS-7	PROVIDE VENTED TRASH CHUTE
CS-9	PROVIDE ROOFTOP GENERATOR - SEE MEP AND STRUCTURAL
CS-11	PROVIDE ROOFTOP AIR CONDENSER UNIT FOR THE RESIDENTIAL HVAC SYSTEM - SEE MEP



1 FLOOR PLAN - CONSTRUCTION - LEVEL 4
A2.04 SCALE: 3/16" = 1'-0"

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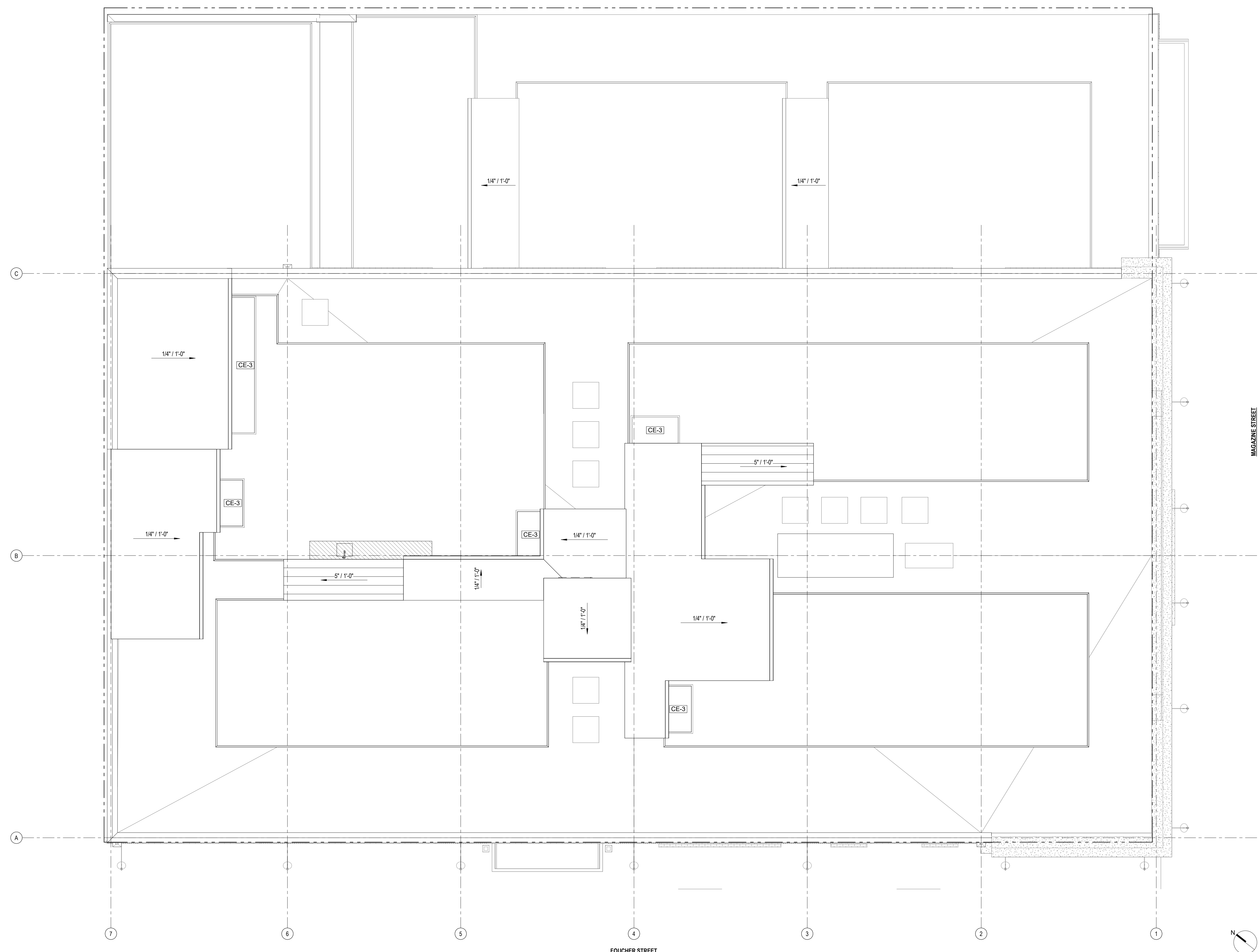
LEGEND - CONSTRUCTION

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	MILLWORK
	RATED ASSEMBLY - 1 HR
	RATED ASSEMBLY - 2 HR

- SHEET NOTES - CONSTRUCTION**
- DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
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 - COORDINATE ALL CASEWORK DIMENSIONS WITH FRAMING PRIOR TO FABRICATION.

KEYNOTES - CONSTRUCTION

TAG	DESCRIPTION
CE-3	PROVIDE SUSPENDED AWNING



1 FLOOR PLAN - CONSTRUCTION - ROOF
A2.05 SCALE: 3/16" = 1'-0"

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MAGAZINE STREET

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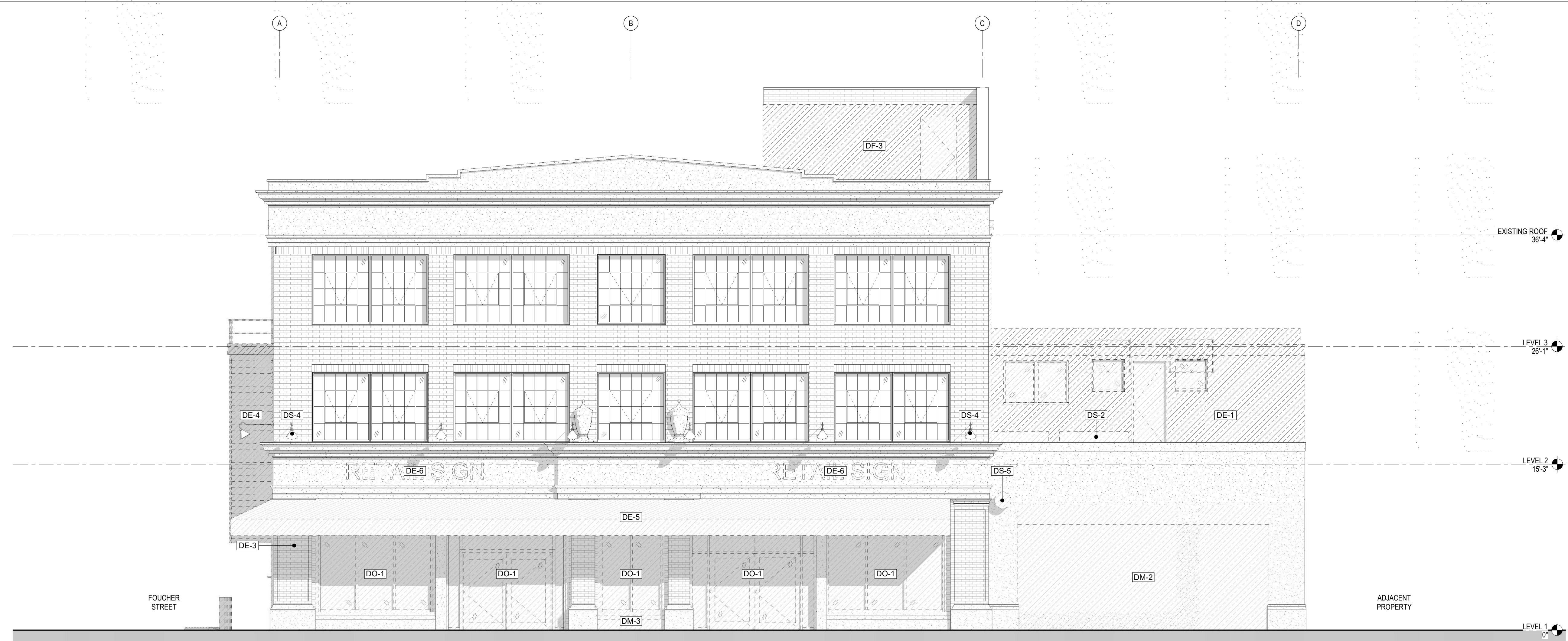
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BUILDING ELEVATIONS - SOUTH

A3.01

KEYNOTES - DEMOLITION	
TAG	DESCRIPTION
DE-1	REMOVE NON-HISTORIC ANNEX WALLS, COLUMNS, AND ROOF
DE-3	REMOVE RETAIL SIGN
DE-4	REMOVE METAL FIRE ESCAPE STAIR AND SUPPORTS - PATCH AND REPAIR MASONRY IN AREA OF DEMOLISHED FIRE STAIR AND LADDER
DE-5	REMOVE FABRIC AWNING AND SUPPORTS
DE-6	CAREFULLY REMOVE PAINTED RETAIL SIGN FROM CEMENTITIOUS SURFACE
DF-3	REMOVE EXTERIOR WOOD FRAMED WALL AND ROOF OF ELEVATOR OVERRIDE ROOM
DM-2	REMOVE PORTION OF NON-HISTORIC MASONRY INFILL - PRESERVE HISTORIC MASONRY ROUGH OPENING AND SILL
DM-3	REMOVE PORTION OF NON-HISTORIC RAISED CONCRETE STOREFRONT SILL
DO-1	REMOVE EXISTING NON-HISTORIC STOREFRONT
DS-2	REMOVE HVAC EQUIPMENT - SEE MECHANICAL
DS-4	EXTERIOR GOOSENECK SCONCES TO BE RETAINED REFINISHED, TYP
DS-5	REMOVE AUTOMATIC EXTERIOR VENT

KEYNOTES - CONSTRUCTION	
TAG	DESCRIPTION
CE-1	PROVIDE CONCRETE STOREFRONT SILL TO MATCH HISTORIC PROFILE
CE-3	PROVIDE SUSPENDED AWNING
CE-4	RESTORE EXISTING GOOSENECK SCONCES, TYP
CE-8	CLEAN ALL EXISTING EXTERIOR SURFACES - PLASTER, BRICK, ETC
CE-9	PAINT EXISTING PAINTED EXTERIOR SURFACE
CS-5	PROVIDE INTAKE LOUVER - SEE MEP
CS-9	PROVIDE ROOFTOP GENERATOR - SEE MEP AND STRUCTURAL
CS-10	PROVIDE ELECTRIC WALL MOUNTED SCONCE



1 BUILDING ELEVATION - DEMOLITION - SOUTH
A3.01 SCALE: 3/16" = 1'-0"



2 BUILDING ELEVATION - CONSTRUCTION - SOUTH
A3.01 SCALE: 3/16" = 1'-0"

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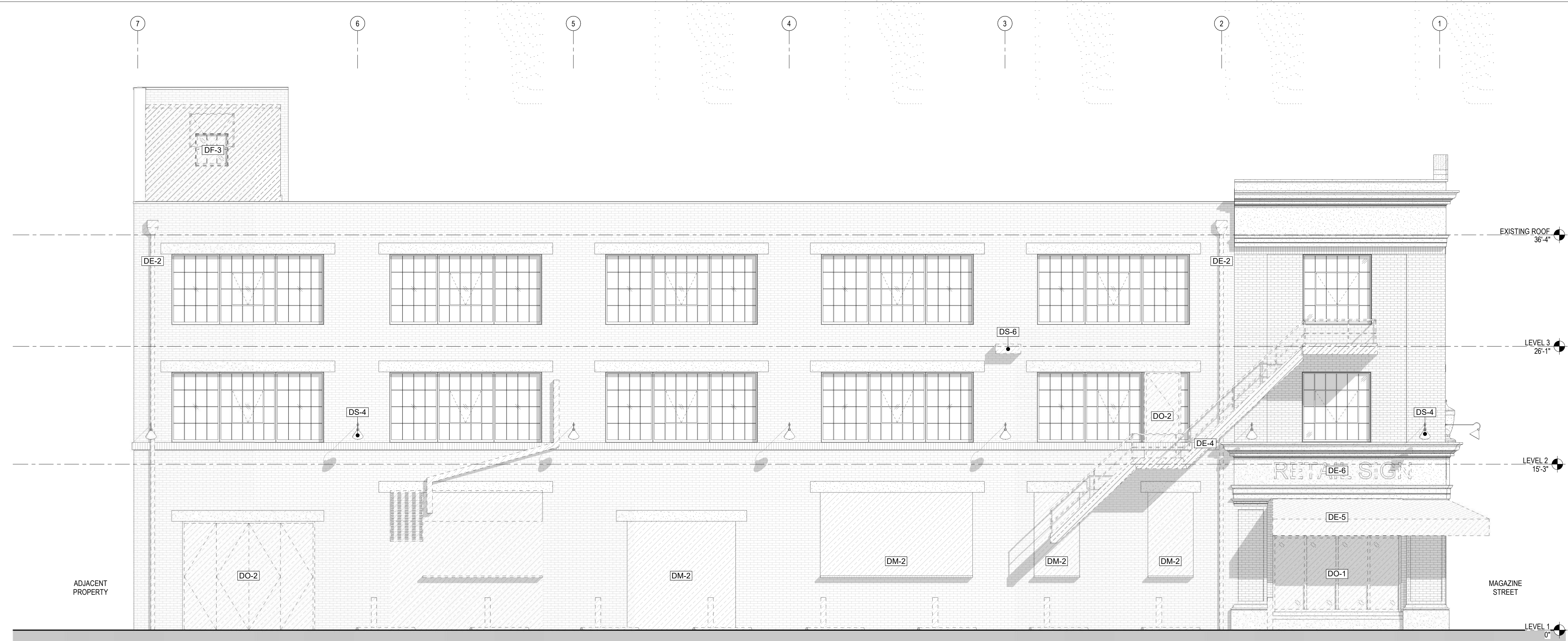
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BUILDING ELEVATIONS - WEST

A3.02

KEYNOTES - DEMOLITION	
TAG	DESCRIPTION
DE-2	REPLACE DAMAGED DOWNSPOUT
DE-4	REMOVE METAL FIRE ESCAPE STAIR AND SUPPORTS - PATCH AND REPAIR MASONRY IN AREA OF DEMOLISHED FIRE STAIR AND LADDER
DE-5	REMOVE FABRIC AWNING AND SUPPORTS
DE-6	CAREFULLY REMOVE PAINTED RETAIL SIGN FROM CEMENTITIOUS SURFACE
DF-3	REMOVE EXTERIOR WOOD FRAMED WALL AND ROOF OF ELEVATOR OVERRIDE ROOM
DM-2	REMOVE PORTION OF NON-HISTORIC MASONRY INFILL - PRESERVE HISTORIC MASONRY ROUGH OPENING AND SILL
DO-1	REMOVE EXISTING NON-HISTORIC STOREFRONT
DO-2	REMOVE NON-HISTORIC DOOR
DS-4	EXTERIOR GOOSENECK SCENCES TO BE RETAINED REFINISHED, TYP
DS-6	REMOVE EXTERIOR FLOOD LIGHT

KEYNOTES - CONSTRUCTION	
TAG	DESCRIPTION
CE-3	PROVIDE SUSPENDED AWNING
CE-4	RESTORE EXISTING GOOSENECK SCENCES, TYP
CE-8	CLEAN ALL EXISTING EXTERIOR SURFACES - PLASTER, BRICK, ETC
CE-9	PAINT EXISTING PAINTED EXTERIOR SURFACE
CO-2	MODIFY HISTORIC WINDOW TO REMOVE STEEL EGRESS DOOR - PATCH AND REPAIR HISTORIC MASONRY AND CONSTRUCT NEW MASONRY SILL TO MATCH EXISTING
CS-1	PROVIDE INTAKE LOUVER IN GARAGE DOOR TRANSOM - SEE MEP
CS-6	PROVIDE TELEPHONE INTERCOM ENTRY SYSTEM - SEE MEP
CS-10	PROVIDE ELECTRIC WALL MOUNTED SCENCE



1 BUILDING ELEVATION - DEMOLITION - WEST
A3.02 SCALE: 3/16" = 1'-0"



2 BUILDING ELEVATION - CONSTRUCTION - WEST
A3.02 SCALE: 3/16" = 1'-0"

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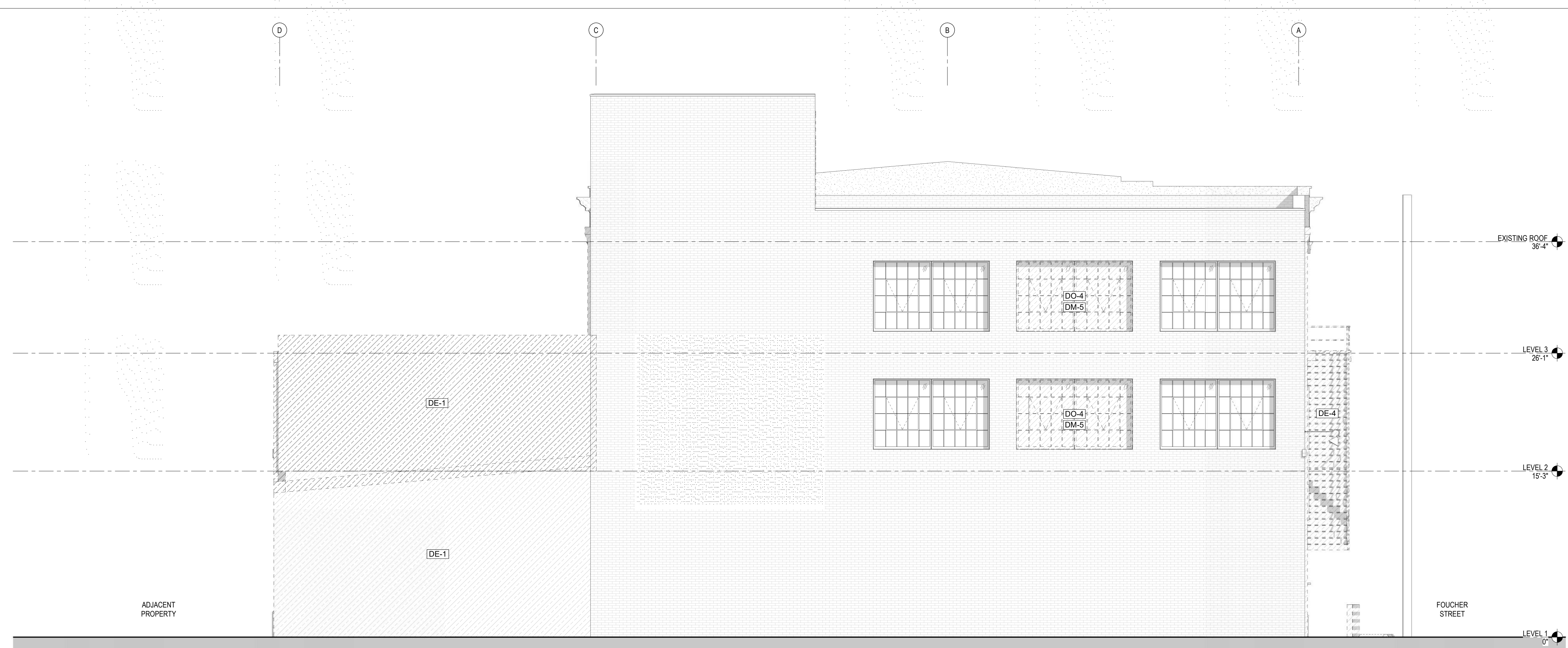
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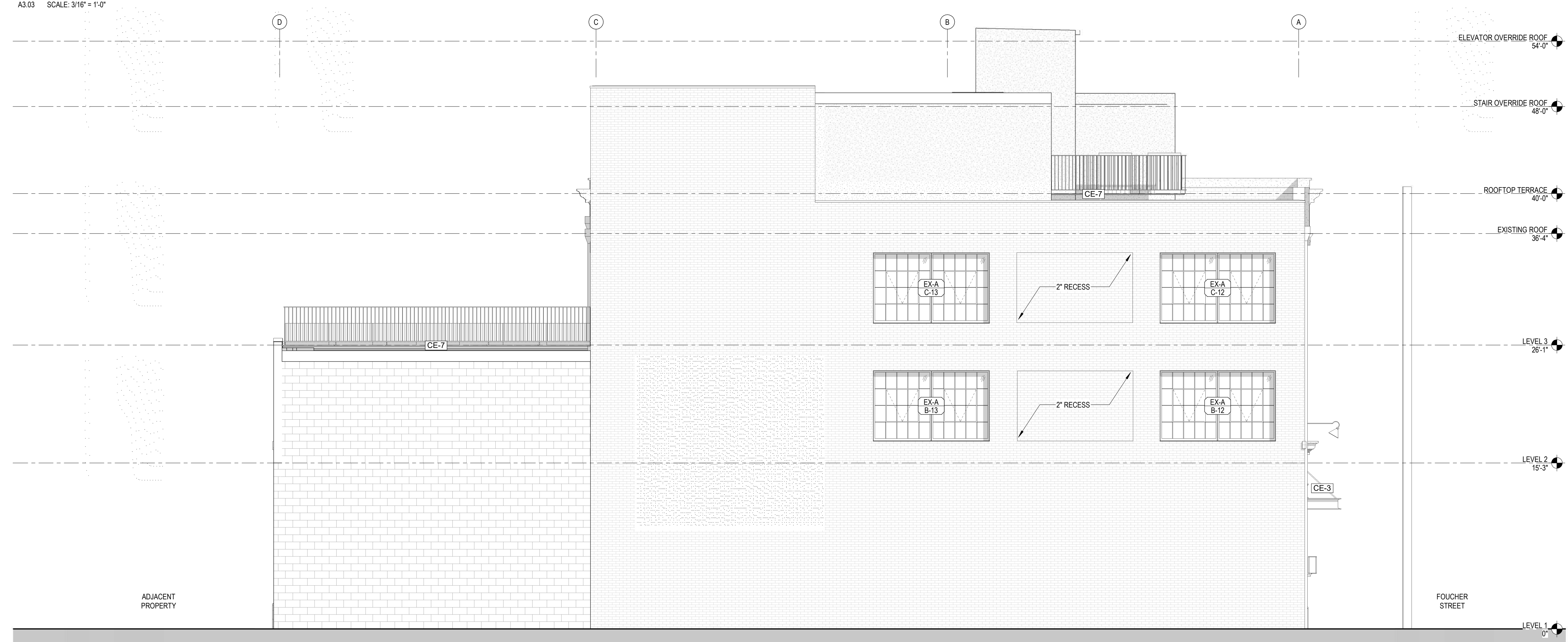
BUILDING ELEVATIONS - NORTH

KEYNOTES - DEMOLITION	
TAG	DESCRIPTION
DE-1	REMOVE NON-HISTORIC ANNEX WALLS, COLUMNS, AND ROOF
DE-4	REMOVE METAL FIRE ESCAPE STAIR AND SUPPORTS - PATCH AND REPAIR MASONRY IN AREA OF DEMOLISHED FIRE STAIR AND LADDER
DM-5	INFILL OPENING WITH MASONRY - FINISHED SURFACE TO BE INSET 2" MINIMUM ON EACH SIDE
DO-4	REMOVE WINDOW OPENING AND FRAME - PRESERVE MASONRY OPENING - TO BE INFILLED

KEYNOTES - CONSTRUCTION	
TAG	DESCRIPTION
CE-3	PROVIDE SUSPENDED AWNING
CE-7	PROVIDE PEDESTAL PAVER SYSTEM



1 BUILDING ELEVATION - DEMOLITION - NORTH
A3.03 SCALE: 3/16" = 1'-0"



2 BUILDING ELEVATION - CONSTRUCTION - NORTH
A3.03 SCALE: 3/16" = 1'-0"

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