

EXISTING LEGEND	
	BARRICADE POST
	CATCH BASIN
	DRAIN INLET
	DRAINAGE MANHOLE
	FENCE POST
	FIRE HYDRANT
	FOUND PROPERTY CORNER
	LIGHT POLE
	POWER POLE
	POWER POLE DEADMAN
	SEWER CLEANOUT
	SEWER MANHOLE
	SIGN
	TREE
	WATER MANHOLE
	CONTOUR LINE
	EDGE OF BUILDING
	EDGE OF PAVEMENT
	GAS LINE
	OVERHEAD POWER LINE
	PROPERTY LINE
	RAILROAD TRACK
	RIGHT OF WAY LINE

LEGEND - NEW IMPROVEMENTS

	NEW CONCRETE PAVEMENT
	NEW ASPHALT PAVEMENT
	2' MIN. OVERLAY OF EXISTING ASPHALT PAVEMENT

LEGEND - STRIPING

	SWSL4" - SINGLE WHITE SOLID LINE / 4" WIDE
	DWSL4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
	SYSLSL4" - SINGLE YELLOW SOLID LINE / 4" WIDE
	SWSL4" - SINGLE WHITE SOLID LINE / 4" WIDE
	SWSL4" - SINGLE WHITE SOLID LINE / 4" WIDE
	SWSL24" - SINGLE WHITE SOLID LINE / 24" WIDE
	SWSL8" - SINGLE WHITE SOLID LINE / 8" WIDE

SITE LAYOUT NOTES:

1. SITE AREA = 45.13 ACRES.
2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL RADII ARE 3 FEET UNLESS NOTED OTHERWISE.

SITE PARKING ANALYSIS

PARKING PRE-IMPROVEMENTS	329 SPACES
PARKING POST-IMPROVEMENTS	325 SPACES

SITE LANDSCAPING ANALYSIS

GREEN SPACE PRE-IMPROVEMENTS	15,763 S.F.
GREEN SPACE POST-IMPROVEMENTS	16,383 S.F.

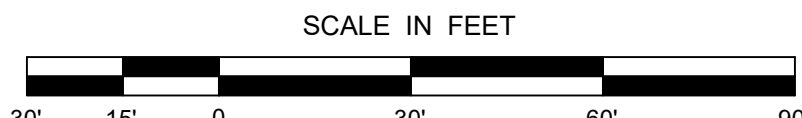
SITE PLAN NOTES:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDING, ARCHITECTURE, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING.
2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
3. PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 10-18-22 BY DUPLANTIS DESIGN GROUP, PC.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL EXISTING UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED FOR IMPROVEMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS & SHALL BE APPROVED BY SUCH.
6. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS.
7. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-IN/CONNECTIONS TO THEIR FACILITIES.
8. ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
9. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
10. ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
12. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, & THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
13. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
14. ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
15. ALL STRIPING LOCATED ON SITE SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION UNLESS OTHERWISE NOTED. STRIPING IMPROVEMENTS LOCATED WITHIN THE ROAD RIGHT OF WAY SHALL COMPLY WITH THE REQUIREMENTS OF THE JURISDICTION.
16. ANY WORK IN THE RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NEW ORLEANS SPECIFICATIONS.
17. CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS STANDARD SPECIFICATIONS.
18. THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE "X", ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY F.E.M.A. COMMUNITY PANEL NO. 22071C0237F DATED 8/9/2016.

UNLESS NOTED OTHERWISE, EXISTING SITE LANDSCAPING & SITE LIGHTING WILL REMAIN IN PLACE & WILL CONTINUE TO SERVE THE EXISTING STORE IN ITS CURRENT CAPACITY. ANY LANDSCAPING OR LIGHTING DAMAGED DURING CONSTRUCTION WILL BE REPLACED TO MATCH THE PRE-CONSTRUCTION CONDITIONS.



Not For Construction



INTERIOR
REMODEL
ROUSES
MARKET
STORE
NO.26

4500 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70115



Matthew Rodrigue
11-02-22

DESIGN
ADVISORY
COMMITTEE
SUBMITTAL

Project Number: 21-1144

Date: 2 NOVEMBER 2022

Revisions:

Sheet Description

SITE
PLAN

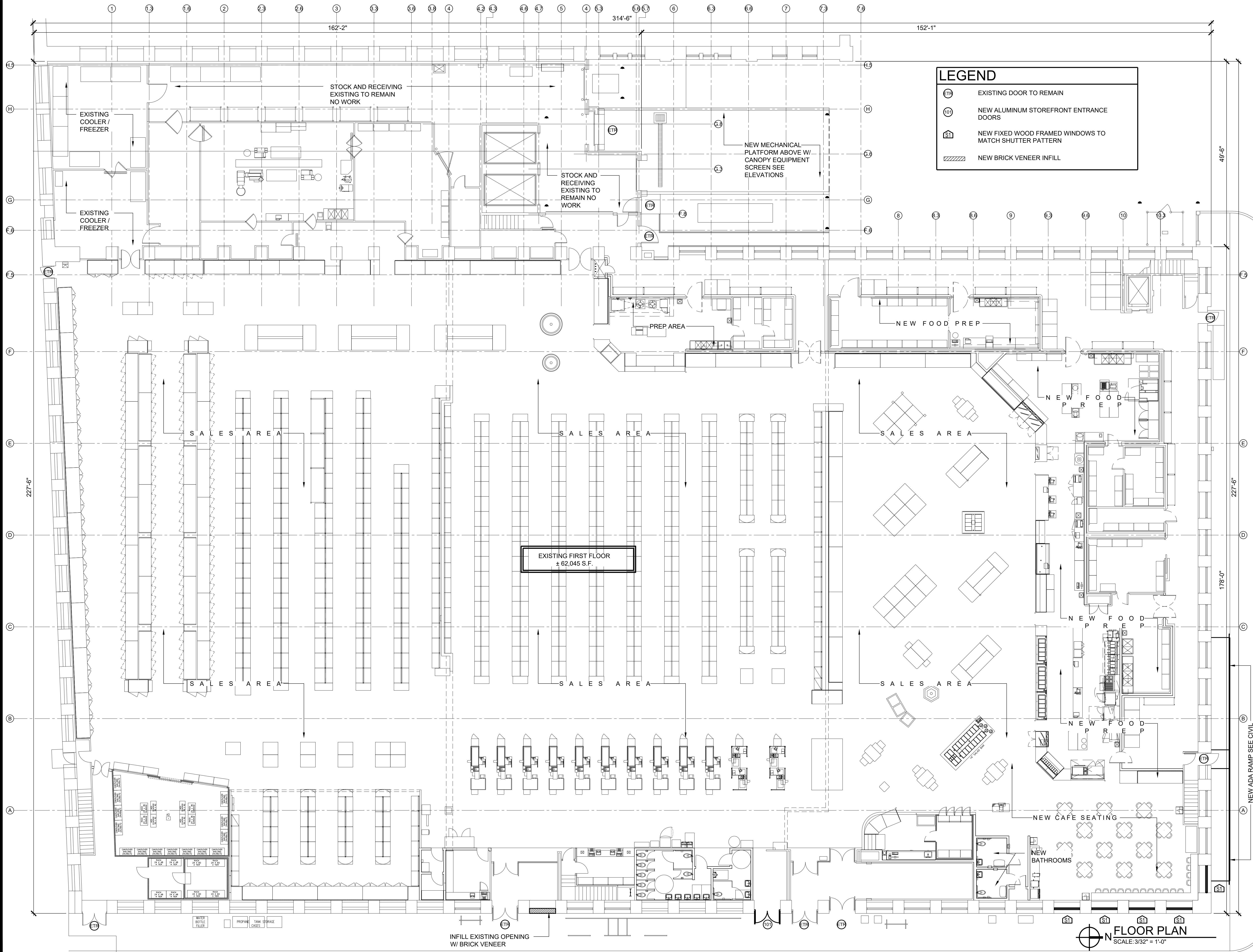
Sheet Number

C-1

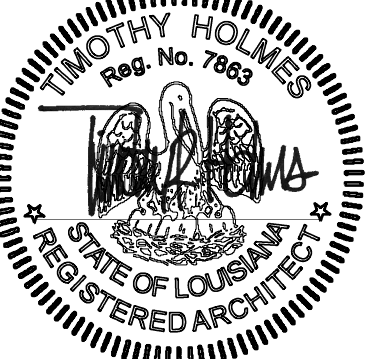
OF

PRINTED: 11/11/2022 @ 3:02PM

FILE NAME: W:\JMRH Projects 2021\21-1144 Rouses Market New Orleans, LA - 2026-Fixture Plan New-DAC Submittal.dwg



JMR+H
Architecture, PC
445 Dexter Avenue
Suite 5050
Montgomery, AL 36104
Phone: (334) 420-5672
Fax: (334) 420-5692
TIMOTHY R. HOLMES, AIA
ARCHITECT



TIMOTHY R. HOLMES
REG. NO. 7863

**INTERIOR
REMODEL
ROUSES
MARKET
STORE
NO. 26**

4500 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70115

**DESIGN
ADVISORY
COMMITTEE
SUBMITTAL**

Project Number: 21-1144
Date: 2 NOVEMBER 2022
Revisions:

Sheet Description

**FLOOR
PLAN**

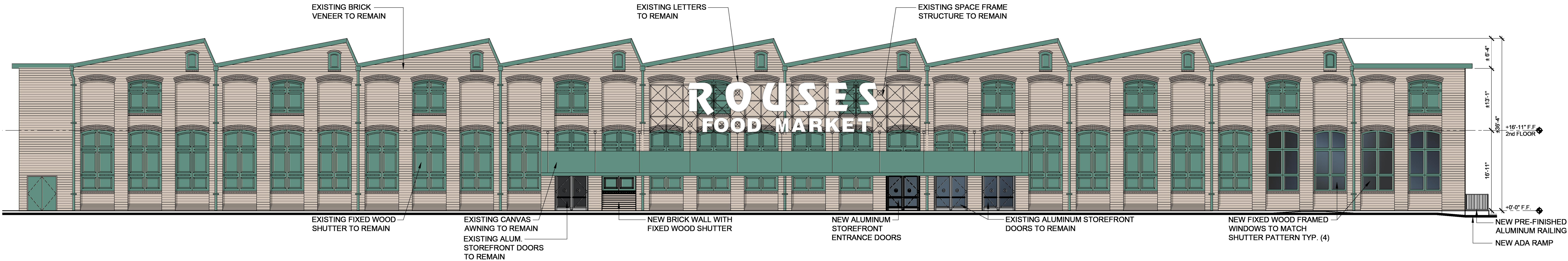
Sheet Number

A1.0

OF

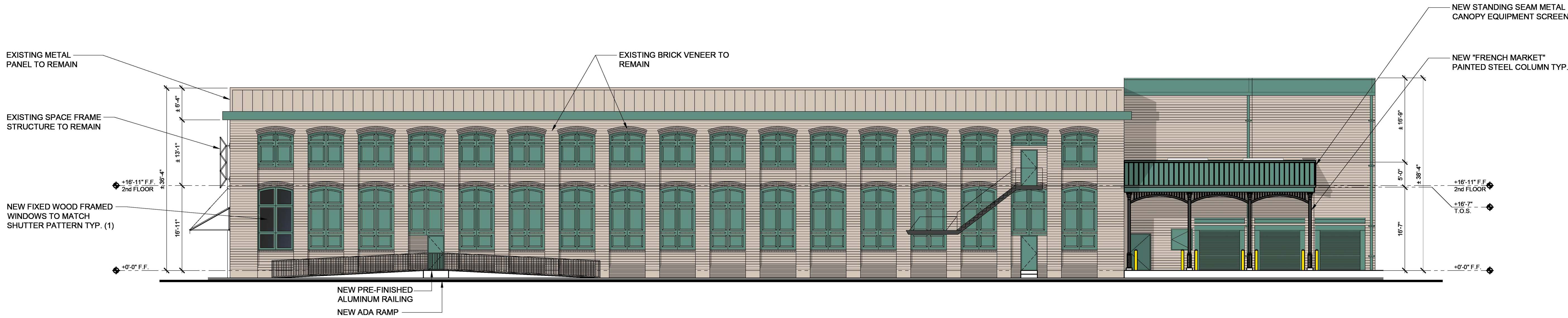
PRINTED: 11/1/2022 @ 2:16PM

FILE NAME: X:\Project Documents 2021\21-1144 Rouses Market New Orleans, LA - 26\Renderings\26-Exterior Elevations_Color_Rendering.dwg



EAST ELEVATION (PARKING LOT)

SCALE: 3/32" = 1'-0"



NORTH ELEVATION (TCHOUPITOULAS STREET)

SCALE: 3/32" = 1'-0"

JMR+H

Architecture, P.C

445 Dexter Avenue
Suite 5050
Montgomery, AL 36104

Phone: (334) 420-5672
Fax: (334) 420-5692

TIMOTHY R. HOLMES, AIA
ARCHITECT



TIMOTHY R. HOLMES
REG. NO. 7863

INTERIOR
REMODEL
ROUSES
MARKET
STORE
NO.26

4500 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70115

DESIGN
ADVISORY
COMMITTEE
SUBMITTAL

Project Number: 21-1144

Date: 2 NOVEMBER 2022

Revisions:

Sheet Description

EXTERIOR
ELEVATION

Sheet Number

A2.0

OF



1



2



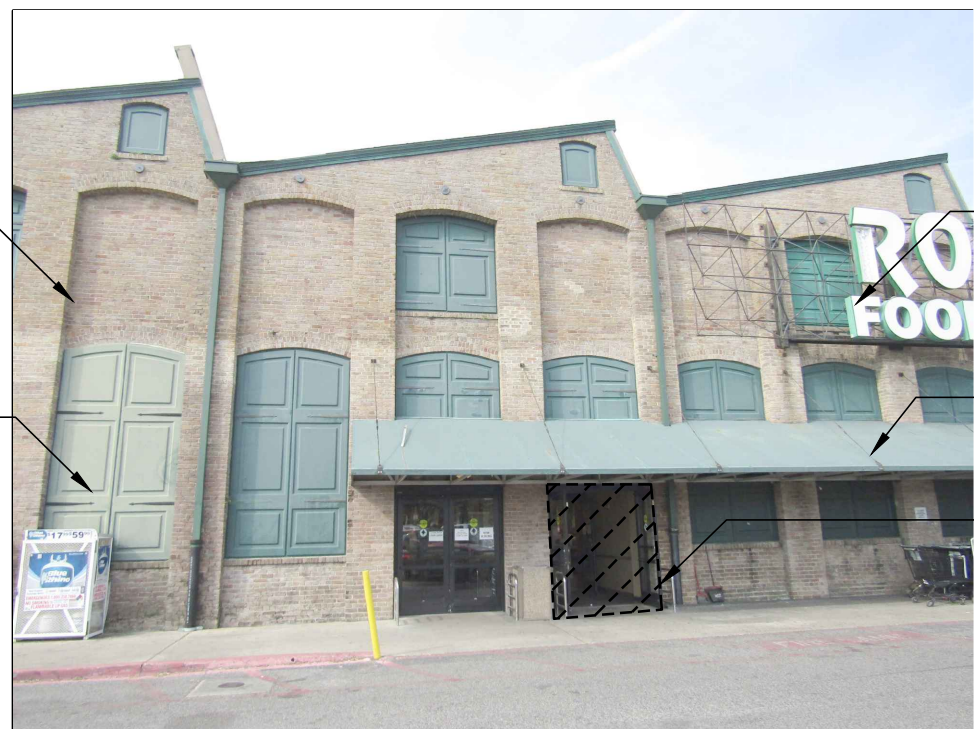
3



4



5



6



7



8

EAST ELEVATION (PARKING LOT)



9



10



11



12



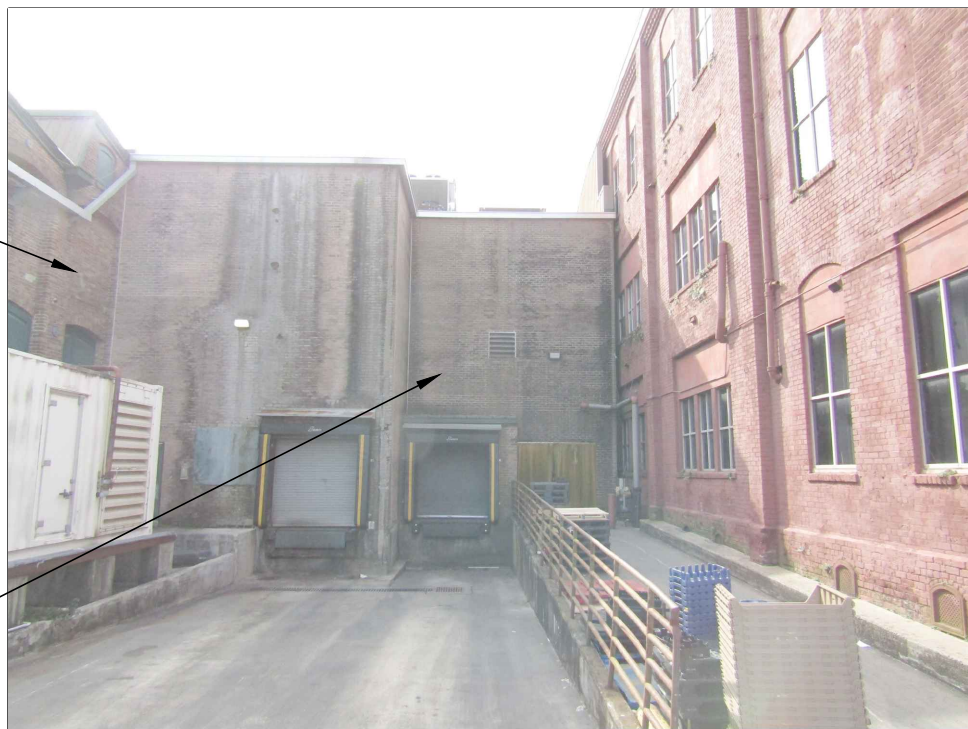
13



14



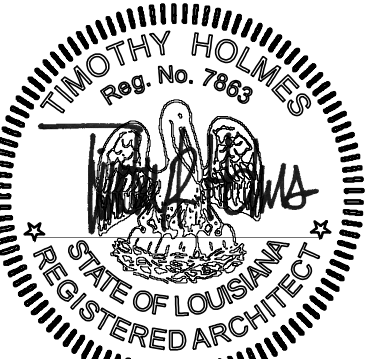
15



16

NORTH ELEVATION (TCHOUPITOULAS STREET)

JMR+H
Architecture, PC
445 Dexter Avenue
Suite 5050
Montgomery, AL 36104
Phone: (334) 420-5672
Fax: (334) 420-5692
TIMOTHY R. HOLMES, AIA
ARCHITECT



TIMOTHY R. HOLMES
REG. NO. 7863

**INTERIOR
REMODEL
ROUSES
MARKET
STORE
NO.26**

4500 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70115

**DESIGN
ADVISORY
COMMITTEE
SUBMITTAL**

Project Number: 21-1144
Date: 2 NOVEMBER 2022
Revisions:

Sheet Description

**EAST AND
NORTH
ELEVATION
PHOTOS**

Sheet Number

A3.0

OF



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

North arrow, scale, and date of plan
Location, dimensions, and area of permeable open space
Name, address of the professional who prepared the plan
Legend of symbols, patterns, and abbreviations used
The entire lot(s), including area and property lines dimensioned (including gross area of the site)
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
Location and dimensions of buildings and structures, including total floor area and distance from property lines
Location of refuse storage locations
Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
Fence location, height, and materials

2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development
Room use
Location of all walls, doors, and windows
Location of all plumbing fixtures
Location of major appliances/mechanical equipment
Stairway location
Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN existing to remain

Location of all exterior lighting, including those mounted on poles and walls
Types, style, height, and the number of fixtures
Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN existing to remain

Proposed Signage with overall height, width, and materials
Building Elevation (including building width and height)
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN existing to remain

Name and address of professional who prepared the plan.
Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
All landscape plans shall meet the minimum requirements of site plans
Legend defining all symbols, patterns, and abbreviations used
Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
Description of all tree preservation measures on-site and in the public right-of-way
Width, depth, and area of landscaped area(s)
Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

Photographs of the subject site and/or building

8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review

Interim Zoning Districts Appeal

Moratorium Appeal

Property Location _____

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name _____

Applicant Address _____

City _____ State _____ Zip _____

Applicant Contact Number _____ Email _____

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name _____

Property Owner Address _____

City _____ State _____ Zip _____

Property Owner Contact Number _____ Email _____

PROJECT DESCRIPTION

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

Character Preservation Corridor
Riverfront Design Overlay
Enhancement Corridor
Corridor Transformation
Greenway Corridor
Others as required

Non-Design Overlay District Review

Development over 40,000 sf
Public Market
Parking Lots with over 10 spaces or loading zones
Wireless Antenna/Tower
Educational Facility

Mural Reviews

Electric Utility Substations and Transmission Lines
CBD FAR Bonus
Changes to Approved Plans
DAC Review of Public Projects
Others as required

ADDITIONAL INFORMATION

Current Use _____ Proposed Use _____

Square Number _____ Lot Number _____ Permeable Open Space (sf) _____

New Development? Yes No Addition? Yes No Tenant Width _____

Existing Structure(s)? Yes No Renovations? Yes No Building Width _____

Change in Use? Yes No Existing Signs? Yes No Lot Width (sf) _____

New Sign(s)? Yes No Lot Area (sf) _____ Building Area (sf) _____