





Date	Received by
Tracking Number	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to
submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted
and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application:	Design	Review	Interim 2	Zoning Di	stricts Appeal	Moratorium Appeal
Property Location						
APPLICANT IN	FORI	MATION				
Applicant Identity:		Property Owne	r Agent	-		
Applicant Name						
Applicant Address						
City		:	State			Zip
Applicant Contact Nur	nber _			Ema	ail	
PROPERTY OV	VNER	INFORM	ATION	SAME A	S ABOVE	
Property Owner Name						
City			State			Zip
Property Owner Conta	ct Num	ber		Ema	ail	
PROJECT DES	CRIP	ΓΙΟΝ				
REASON FOR	REVII	EW (REQUIR	ED FOR DESIGN R	EVIEW)		
Design Overlay District Character Preservation Riverfront Design Over Enhancement Corrict Corridor Transforma Greenway Corridor Others as required	on Corr verlay lor		Developm Public Ma	nent over rket ots with cones Antenna/		Mural Reviews Electric Utility Substations and Transmission Lines CBD FAR Bonus Changes to Approved Plans DAC Review of Public Projects Others as required
ADDITIONAL II	NFOF	RMATION				
Current Use				Prop	oosed Use	
Square Number		_	Lot Number			Permeable Open Space (sf)
New Development?	Yes	No	Addition?	Yes	No	Tenant Width
Existing Structure(s)?	Yes	No	Renovations?	Yes	No	Building Width
Change in Use?	Yes	No	Existing Signs?	Yes	No	Lot Width (sf)
New Sign(s)?	Yes	No	Lot Area (sf)			BuildingArea (sf)

1000 Elysian Hotel 1000 Elysian Fields New Orleans, LA 70117

SYMBOL LEGEND: ARCHITECTURAL

SECTION REFERENCE

ELEVATION REFERENCE

INTERIOR ELEVATION REFERENCE

ROOM TAG. RE: SCHEDULES

WALL TAG. RE: SCHEDULES

WINDOW TAG. RE: SCHEDULES

DOOR TAG. RE: SCHEDULES

REVISION NUMBER

WOOD THRESHOLD

DRAWING NO.

SHEET NO.

Room name

101

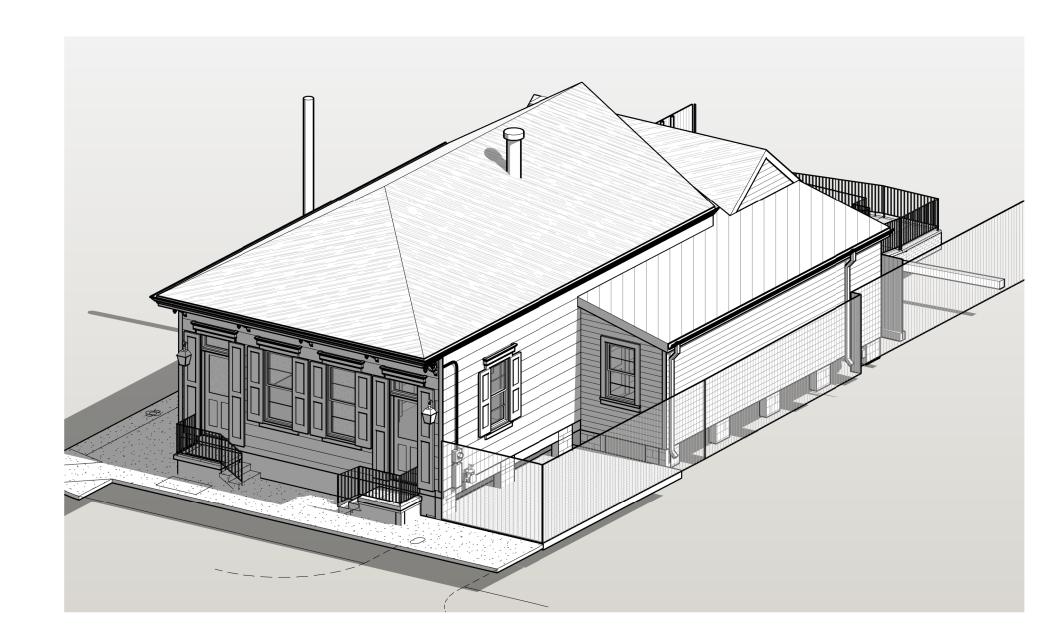
CLG: Ceiling Height

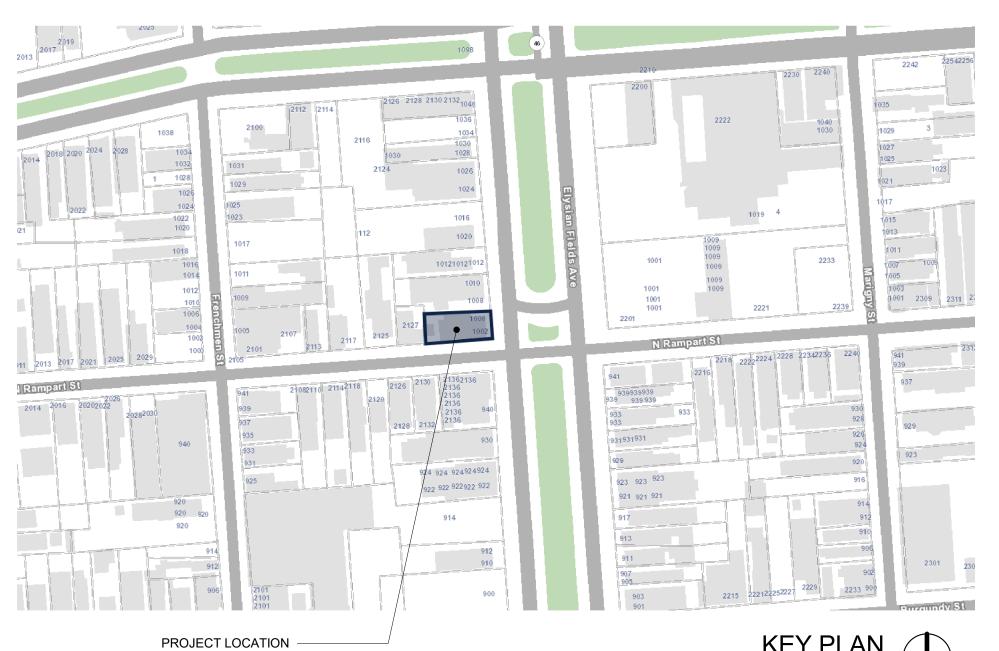
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DRAWING NO.

DRAWING NO.

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14	A801	FIRST FLOOR M.E.P. DIAGRAM	08/10/22	





CONTACT INFO. PROJECT DATA

OWNER JOSHUA CAIN

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OWEN SKETCHLER OWEN@ZACHSMITHCONSULTING.COM

CONTRACTOR TBD

ZACH SMITH ZACH@ZACHSMITHCONSULTING.COM

STRUCTURAL ENGINEER TRD

MEP ENGINEER TRD

SCOPE OF WORK
ADDITION AND CONVERSON OF A SINGLE FAMILY RESIDENTIAL HOME INTO A COMMERCIAL HOTEL PROPERTY, REMOVAL OF EXISTING CARPARY AND ADDITION OF TWO BEDROOMS AT THIS LOCATION. INCLUDES NEW FRAMING AND FINISHES AT ADDITION AND RENOVATIONS TO THE EXISTING STRUCTURE AS REQ'D TO MEET THE REQUIREMENTS FOR COMMERCIAL CONSTRUCTION. EXISTING PLASTER WALL AND CEILING ASSEMBLIES TO REMAIN WHERE POSSIBLE. NEW MECHANICAL AND PLUMBING AS REQ'D TO MEET THE REQUIREMENTS OF IBC. NEW NFPA 13R SPRINKLER SYSTEM AND EGRESS LIGHTING / SIGNAGE THROUGHOUT. NEW ELECTRICAL AS REQUIRED.

PROJECT:

1000 Elysian Fields Ave NEW ORLEANS LA, 70117

PROJECT DESCRIPTION:

- INTERIOR RENOVATION OF 1406SF R-2 BUILDING
- EXTERIOR WORK INCLUDES ADDITION OF BACK PORCH AND ADA RAMPS WITH NEW FOOTPRINT AT EXISTING CARPORT
- TYPE VB CONSTRUCTION CONVERSION TO R-1 HOTEL USE

BULIDING INFORMATION

1777 SF CONDITIONED (275 SF NEW) 146 SF PORCHES

CODE INFORMATION INTERNATIONAL BUILDING CODE - 2018 EDITION

CODE DATA GLAZING AT STAIRS; DOORS TO BE SAFTEY AS PER CHAPTER

- ALL WINDOWS TO BE MISSILE IMPACT OR 7/16 PLYWOOD PER
- EXEMPT AS PER CHAPTER 16
- NO HAZARDOUS STORAGE
- WALL FINISHES PER CHAPTER 8
- EXTERIOR WALLS TO REMAIN ALL VENTS/FANS TO VENT TO ATMOSPHERE PER SECTION
- NO VENTING INTO ATTIC R-38 INSULATION (OR EQUIVALENT) IN ATTIC
- R-13 INSULATION (OR EQUIVALENT) IN WALL R-13 INSULATION (OR EQUIVALENT) IN FLOOR
- ATTIC ACCESS PER SECTION 807
- ATTIC VENTING X2 MECHANICAL POWERED VENTS
- BELOW FLOOR SPACES VENTED AS PER SECTION 408 ALL MATERIALS BELOW FLOOR TO BE TREATED AS PER 322
- NO PLUMBING BELOW BFE/ABFE AS PER 322 TERMITE PROTECTION AS PER SECTION 318

USE WATER RESISTANT MATERIAL IN ALL WET AREAS (BARS/ RESTROOMS/ ETC.)

FOR ANY QUESTIONS PLEASE CONSULT WITH ARCHITECT MATERIALS/METHODS ARE RESPONSIBILTY OF CONTRACTOR

OCC. LOAD CALCS

RESIDENTIAL R-1 (RE: LIFE SAFETY)

TOTAL = 21 TOTAL OCCUPANTS

GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR FOR ALL WALL HUNG ITEMS TO BE INSTALLED THAT ARE NOT ON THE DRAWINGS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

1000 Elysi New Orleans

No.	Description	Date

COVER SHEET

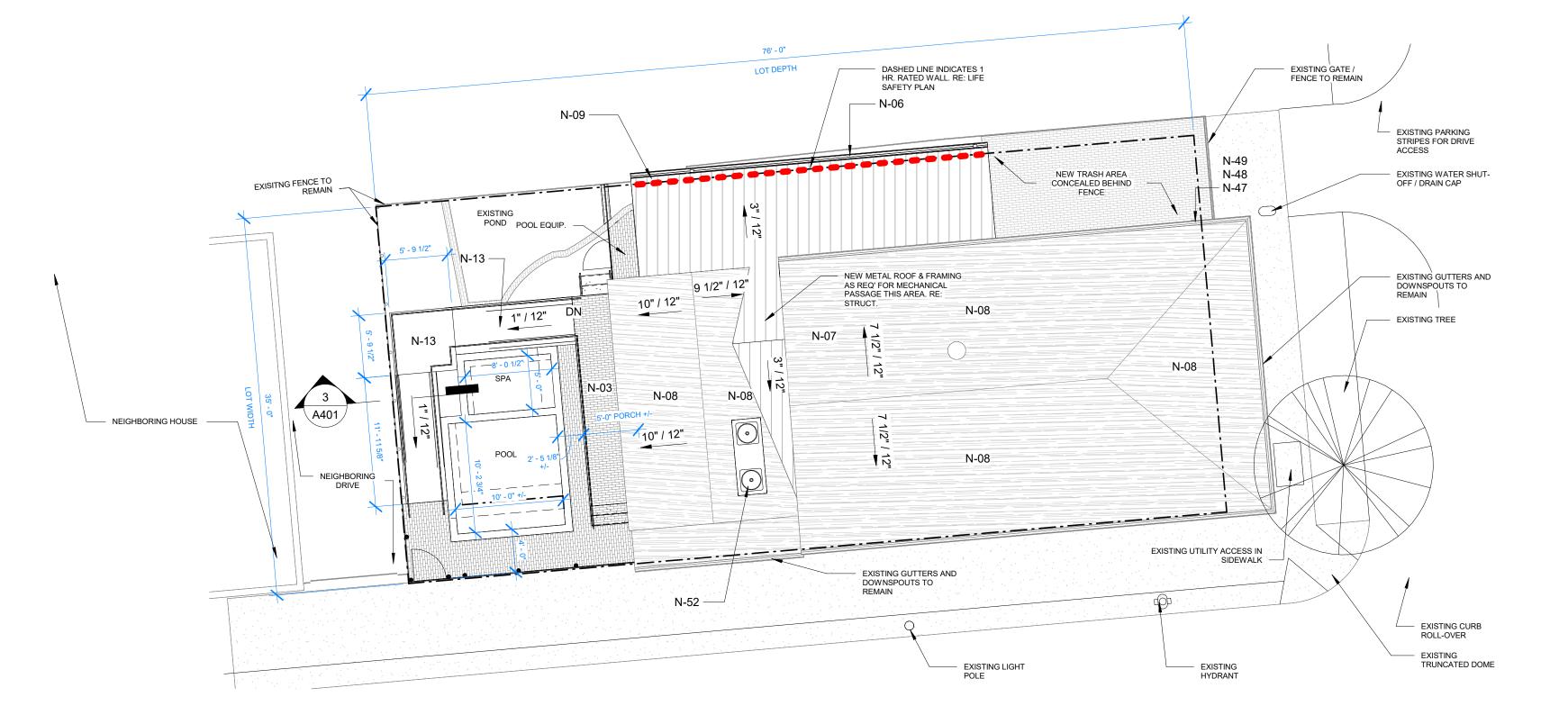
Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

2 SURVEY

PROPOSED PLAN - FIRST FLOOR 1/8" = 1'-0"

	PROJECT - KEYNOTES
Key Value	Keynote Text
D 04	DEMOVE EVICE DOOD AT THIS LOCATION, DDEDADE ODENING
D-01	REMOVE EXIST. DOOR AT THIS LOCATION; PREPARE OPENING FOR INFILL AS REQ'D., TYP.
D-02	REMOVE EXIST. WINDOW AT THIS LOCATION; PREPARE OPENING FOR INFILL AS REQ'D. RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION AS PER PROPOSED PLANS; RE: WINDOW SCHEDULE.
D-04	REMOVE EXIST. COLUMNS AND DRIVE THIS AREA.
D-05	REMOVE EXIST. WALL; PREPARE FOR NEW CONSTRUCTION AS PER PROPOSED PLANS.
D-06	REMOVE EXIST. SIDING & TRIM AS REQ'D FOR NEW WORK.
D-07	EXIST. FACADE TO REMAIN. NEW PAINT AT EXT, TYP.
D-08	EXISTING CONCRETE STEPS / RAILINGS TO REMAIN
D-09	REMOVE EXIST. INT. WALL FRAMING AS REQ'D FOR NEW OPENING RE: NEW PLANS.
D-10	REMOVE EXIST. INT. WALLS AS INDICATED BY HATCH, TYP.
D-11	REMOVE EXIST. PLUMBING FIXTURE. CAP PLUMBING AS REQ'D.
D-13	REMOVE EXIST. APPLIANCES; RETURN TO OWNER FOR DISPOSAL RE-SALE
D-14	EXISTING LIGHT FIXTURES TO REMAIN THIS AREA
D-16	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
D-17	REMOVE EXIST. FENCE GATE.
D-18	EXIST. PAVERS TO REMAIN THIS AREA.
D-19	EXISTING POND TO REMAIN. CREATE PLANTER AT EXISTING PONI WITH NEW BRICK PARTITION WALL, PER NEW PLANS.
D-20	REMOVE EXIST. KITCHEN CABINETS & APPLIANCES
D-22	REMOVE EXISTING WOOD DECK.
N-02	NEW ADA COMPLIANT PERVIOUS PAVERS
N-03	NEW BRICK PORCH. COORDINATE SELECTION WITH OWNER. RE: STRUCT. FOR FOUNDATION DETAILS.
N-04	EXIST. DOOR / WINDOW TO REMAIN. REPAIR AS REQ. FOR PROPE FUNCTION. WEATHERPROOF & PAINT TO MATCH NEW, TYP.
N-05	NEW 7'-0" TALL VERT. PTL WOOD SWING GATE; COORD. HARDWARE W/ OWNER AND APPROVAL WITH HDLC. RE: DTL 4&5/A401.
N-06	NEW ALUMINUM HALF-ROUND GUTTERS CONNECTED TO CIRCULAR D.S. BELOW TO MATCH EXISTING, TYP. PROVIDE SPLASH BLOCKS AS REQ'D.
N-07	NEW METAL ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RI STRUC. FOR SHEATHING SIZE. COORDINATE APPROVAL WITH HDLC. RE: DTL. 2/A401
N-08	EXISTING SHINGLE ROOF TO REMAIN. REPAIR AS REQ'D.
N-09	NEW 1 HOUR RATED HARDIE PANEL SOFFIT.
N-10	NEW EXT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-11	NEW INT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-12	NEW WALL INFILL AT THIS LOCATION TO MATCH EXIST IN THICKNESS & FINISH.
N-13	NEW BRICK ADA ACCESSIBLE RAMP WITH METAL HANDRAILS TO MATCH EXISTING. RE: STRUCTURAL. RE: DTL. 3/A401

PROJECT - KEYNOTES		
Key Value	Keynote Text	
N-14	EXIST. CONCRETE PORCH. AND STEPS TO REMAIN. CLEAN AS REQ'D.	
N-15	NEW HARDWOOD FLOORING TO MATCH EXIST. REUSE SALVA EXIST. HARDWOOD FLOORS WHERE POSSIBLE; RE: DEMO PL ROOM SCHED.	
N-16	EXISTING HARDWOOD FLOORS TO REMAIN. REFINISH, REPAIRESEAL AS REQ'D.	
N-17	NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED.	
N-21	NEW WINDOW TO MATCH EXIST. STYLE, TYP. PER TAG; RE: WINDOW SCHED.	
N-23	NEW COUNTERTOP AT THIS LOCATION; GC TO COORD. SELECTION OWNER & VENDOR AS REQ.	
N-24	NEW MILLWORK/CABINETS AT THIS LOCATION; GC TO COORD SELECTIONS W/ OWNER & VENDOR AS REQ.	
N-25	NEW APPLIANCES AT THIS LOCATION; GC TO COORD. SELEC'W/OWNER & VENDORS AS REQ.	
N-26	NEW RANGE / EXHAUST HOOD AT THIS LOCATION; GC TO SIZ HOOD PER EXHAUST LOAD OF RANGE; COORD. SELECTION VOWNER.	
N-27	NEW PLUMBING FIXTURES, AT THIS ROOM (LOCATION); GC & PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS A REQ.	
N-28	NEW STACK WASHER & NEW GAS DRYER AT THIS LOCATION; PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS A REQ.	
N-29	NEW WALL TILE TO CEILING; GC TO COORD. SELECTIONS W/OWNER & VENDORS AS REQ.	
N-30	NEW SHOWER ROD AND CURTAIN. COORDINATE SELECTION OWNER.	
N-31	NEW ADA 30" X 60" ROLL IN SHOWER W/ MIXING VALVE AND HAND-HELD SHOWER AND SLIDE BAR. PROVIDE BLOCKING FOR GRAB BARS MOUNTED PER ADA REQUIREMENTS.	
N-38	EXIST. SIDING TO REMAIN; CLEAN, REPAIR & PAINT AS REQ'D	
N-39	NEW FOUNDATION. RE: STRUC.	
N-41	R-13 CLOSED CELL INSUL. AT FLOOR JOIST, TYP.	
N-43	R-30 BATT INSULATION AT CLG, TYP.	
N-44	NEW 2X FLOOR, WALL, & CLG. FRAMING, TYP.; RE: STRUC.	
N-45	NEW RATED SOFFIT / OVERHANG AT THIS LOCATION; RE: DTL A/A401	
N-46	EXIST. LOCATION OF GAS METER; PLUMBER TO COORD. INST W/ ENTERGY AS REQ.	
N-47	EXIST. LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL W/ (REVIEW EXIST. METER IS ADEQUATE FO ADDITION & COORD. NEW INSTALL) ENTERGY AS REQ.	
N-48	EXIST. LOCATION OF ELECTRICAL PANEL. ELECTRICIAN TO COORD. LOCATION W/ OWNER.	
N-49	NEW TANKLESS GAS W.H. AT THIS LOCATION; PLUMBER TO S PROVIDE DETICATED GAS LINE.	
N-50	GC & ELECTRICIAN TO COORD. EXACT HEIGHT & PLACEMENT FIXTURE W/ OWNER.	
N-52	NEW A/C CONDENSER MOUNTED ON METAL PLATFORM ON R PROVIDE STRUCTURAL SUPPORT AT ATTIC AS REQ'D. CONTRACTOR TO PROVIDE NEW UTILITIES AS REQ'D.	
N-53	NEW EXT. WD. ACCESS PANEL/DOOR TO ATTIC. COORDINATE SELECTION WITH OWNER.	
N-56	EXISTING OUTLETS TO REMAIN THIS AREA. UPGRADE WIRING REQ'D PER IBC REQUIREMENTS. REMOVE/REPLACE ANY OBSOLETE ELECTRICAL WIRING AND EQUIPMENT.	
	EXISTING LIGHTING TO REMAIN THIS AREA. NEW EXHAUST VE	

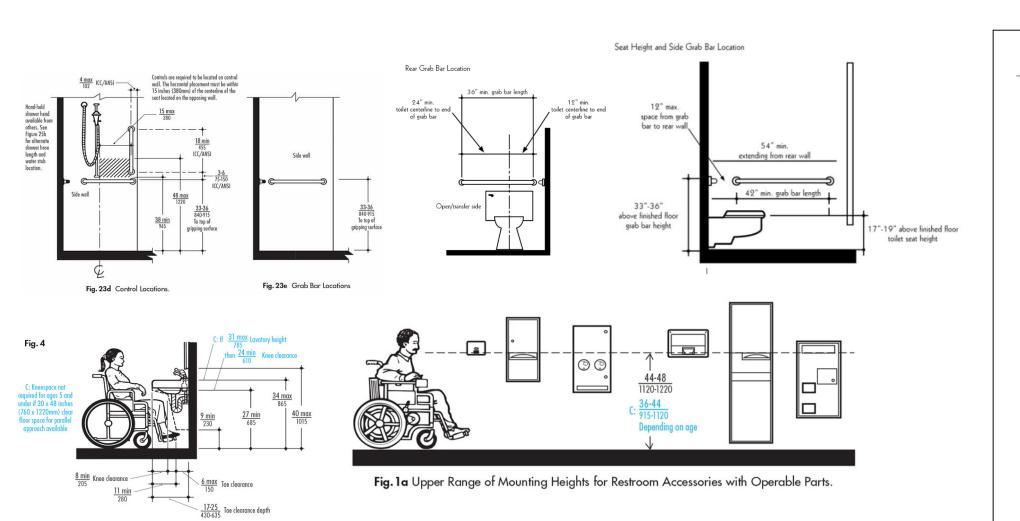


ZONING HMC-2 LOT AREA 2660 SF SETBACKS FRONT YARD SIDE YARD 1 SIDE YARD 2 REAR YARD PERVIOUS LANDSCAPE: 15% REQUIRED 478 SF (17%) PROVIDED

No.	Description	Date

SITE PLAN / SURVEY & PROJECT NOTES

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker



ADA MOUNTING REFERENCES

✓ 1/4" = 1'-0"

FIRE SPRINKLER GENERAL NOTES

THE FOLLOWING IS A BRIEF DESCRIPTION OF WORK SPECIFIC TO CERTAIN ASPECTS OF THIS PROJECT. THIS IS NOT INTENDED TO BE

A COMPREHENSIVE SUMMARY OF WORK. PROSPECTIVE BIDDERS/CONTRACTORS SHALL REVIEW ALL CONSTRUCTION DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS AND MAKE ALLOWANCES FOR ALL WORK INCLUDED HEREIN AND ANY ADDITIONAL WORK REQUIRED TO COMPLETE THIS PROJECT. MEANS AND METHODS FOR THE PROPER INSTALLATION OF THIS WORK IS STRICTLY THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SPRINKLER SUB-CONTRACTOR.

1. THE SPRINKLER SYSTEM SHALL BE HYDRAULICALLY CALCULATED AND SIZED AS PER NFPA 13. ALL PIPE MATERIAL AND

HANGERS SHALL BE AS APPROVED BY NFPA 13.

2. ALL WORK SHALL BE DONE BY A LICENSED SPRINKLER CONTRACTOR IN ACCORDANCE WITH ALL STATE LAWS AND REGULATIONS.
3. SPRINKLER CONTRACTOR SHALL PREPARE SHOP DRAWINGS FOR REVIEW BY THE ENGINEER (P.O.R.) AND SUBMITTED TO THE STATE FIRE MARSHAL FOR REVIEW. SPRINKLER CONTRACTOR SHALL PREPARE. (INCLUDING FEES FOR

ADDITIONAL REVIEWS.)
4. SPRINKLER CONTRACTOR SHALL COORDINATE ALL PIPE ROUTING AND HEAD LOCATIONS WITH ALL TRADES OF THE PROJECT TO AVOID ALL CONFLICTS. OFFSET PIPING AND/OR ADJUST LOCATIONS OF SPRINKLERS AS REQUIRED TO AVOID CONFLICTS.

5. SPRINKLER CONTRACTOR SHALL PROVIDE UP TO 15% MORE SPRINKLERS THAN SHOWN FOR USE AS MAY BE REQUIRED BY CONDITIONS TO AVOID CONFLICTS OR BY CODE AUTHORITY.
6. COORDINATE ALL SPRINKLER HEAD LOCATIONS WITH THE REFLECTED CEILING PLAN, LIGHTS AND OTHER CEILING MOUNTED EQUIPMENT.

7. SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL HANGERS REQUIRED FOR HIS WORK. ALL SPRINKLER PIPING SHALL BE HUNG FROM STRUCTURE.

8. CONTRACTOR SHALL INCREASE INTERIOR PIPE SIZE AS REQUIRED FOR PROPER DESIGN WITH AVAILABLE FLOW. SPRINKLER CONTRACTOR SHALL BE REQUIRED TO PERFORM A FLOW TEST AS PART OF THIS CONTRACT TO CONFIRM FLOW DATA.

9. SPRINKLER CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION OF HAZARD PER NFPA 13.
10. IN AREAS WITHOUT CEILINGS, SPRINKLER PIPING SHALL BE RUN EXPOSED. THE EXPOSED PIPING SHALL BE PRIMED AND PAINTED COLOR AS SELECTED BY ARCHITECT. DO NOT PAINT SPRINKLER

HEADS.

11. THE LAYOUT AND LOCATION OF THE SPRINKLERS SHALL BE APPROVED BY THE ARCHITECT/ENGINEER PRIOR TO BEING SUBMITTED TO THE STATE EIRE MARSHAL BY THE P.O.R. ADJUST LOCATIONS AS REQUIRED AND MEET NFPA. ALL ADJUSTMENTS SHALL BE DONE WITHOUT ADDITIONAL COST TO

THE PROJECT.

12. THE SPRINKLER CONTRACTOR SHALL OBTAIN A RECENT FLOW TEST PERFORMED WITHIN THE LAST 12 MONTHS.

13. FIRE CAULK ALL PIPING PENETRATIONS THROUGH RATED ASSEMBLIES TO MEET UL LISTING.

14. THE OCCUPANT NOTIFICATION SYSTEMS WILL ACTIVATE UPON SPRINKLER WATER FLOW.



30 MINUTE RATED PARTITION

1 HOUR RATED WALL

20 DOOR RATING

EGRESS PATH

OL: 2 OCCUPANT LOAD

FE FIRE EXTINGUISHER

EXIT SIGNAGE

EXIT SIGN W/ EMERGENCY LIGHTING

SPRINKLER HEAD (CLG. MOUNTED)

SMOKE DETECTOR (HARD WIRED)

EGRESS LIGHTING (PROVIDE EMERGENCY POWER SUPPLY)

FIRE ALARM PULL SYSTEM

NEW 1 HR. RATED \ A301 WALL. UL 348. RE: WALL NEW NFPA 13R SPRINKLER SYSTEM AND HEADS, TYP. $\langle A1 \rangle$ LAUNDRYCLOSET BEDROOM 4 **BEDROOM 5** 112 113 13 SF 13 SF NEW TYPE 'X' GYP. WHERE EXISTING SHEATHING REMOVED NEW TYPE 'X' GYP. WHERE EXISTING SHEATHING REMOVED 100 SF **山** VEST. 30 MIN. EQUIVALENT RATED 115 INTERIOR PARITION. PLASTER AND LATHE W/ NEW TYPE 'X' GYP. 22 SF OL: 2 OL: 2 **// 1**08 DINING ROOM KITCHEN EXISTING 30 MIN. 2X, PLASTER 1" / 12" ASSEMBLY 104 OL: 10 CAPACTY: 120 109 OL: 4 OL: 3 A301 OL: 25 CAPACTY: 200 NOTIFICATION SYSTEMS
WILL ACTIVATE UPON **RECEPTION** 3 A401 101 FE EXISTING 30 MIN.

2X, PLASTER
ASSEMBLY (STC 52 +/-) 195 SF A202 1 OL: 4 A201 - EXISTING PLASTER WALL. 1 HR ASSEMBLY BEDROOM 1 **ADA BATH** EXISTING PLASTER
 WALL. 1 HR ASSEMBLY
 EQUIVALENT (30 MIN.
 REQ'D) FIX EXISTING DOOR OR CONVERT TO SINGLE EGRESSABLE DOOR. OL: 2 103 CLG: 8' - 0" 196 SF OL: 2 BEDROOM 3 110 149 SF BEDROOM 2 OL: 2 BATH 3 OL: 2 CAPACTY: 120 106 105 CLG: 12' - 0" 177 SF EXISTING 30 MIN. 2X, PLASTER ASSEMBLY (STC 52 +/-) BATH 2 111 CLG: 8' - 0" A201



CONSULTING
530 S Norman C Francis Park

102

Suite

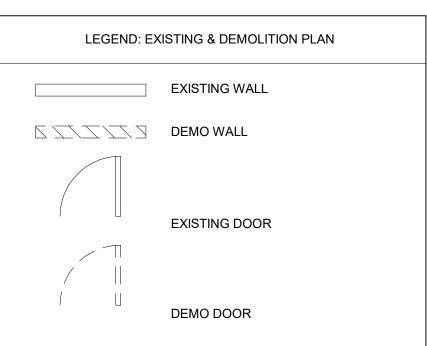
1000 Elysian Fields New Orleans, LA 70117

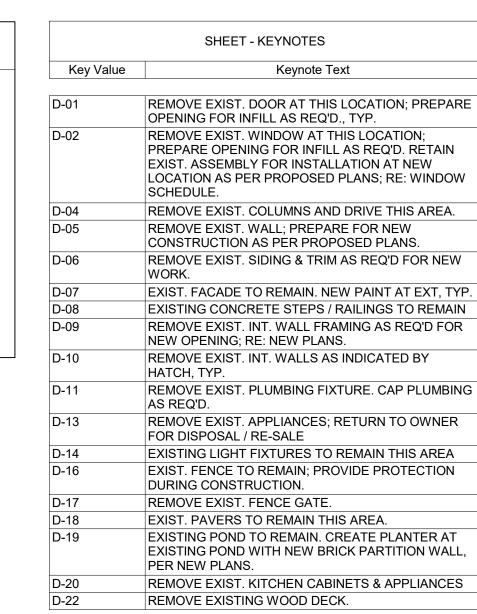
No.	Description	Date

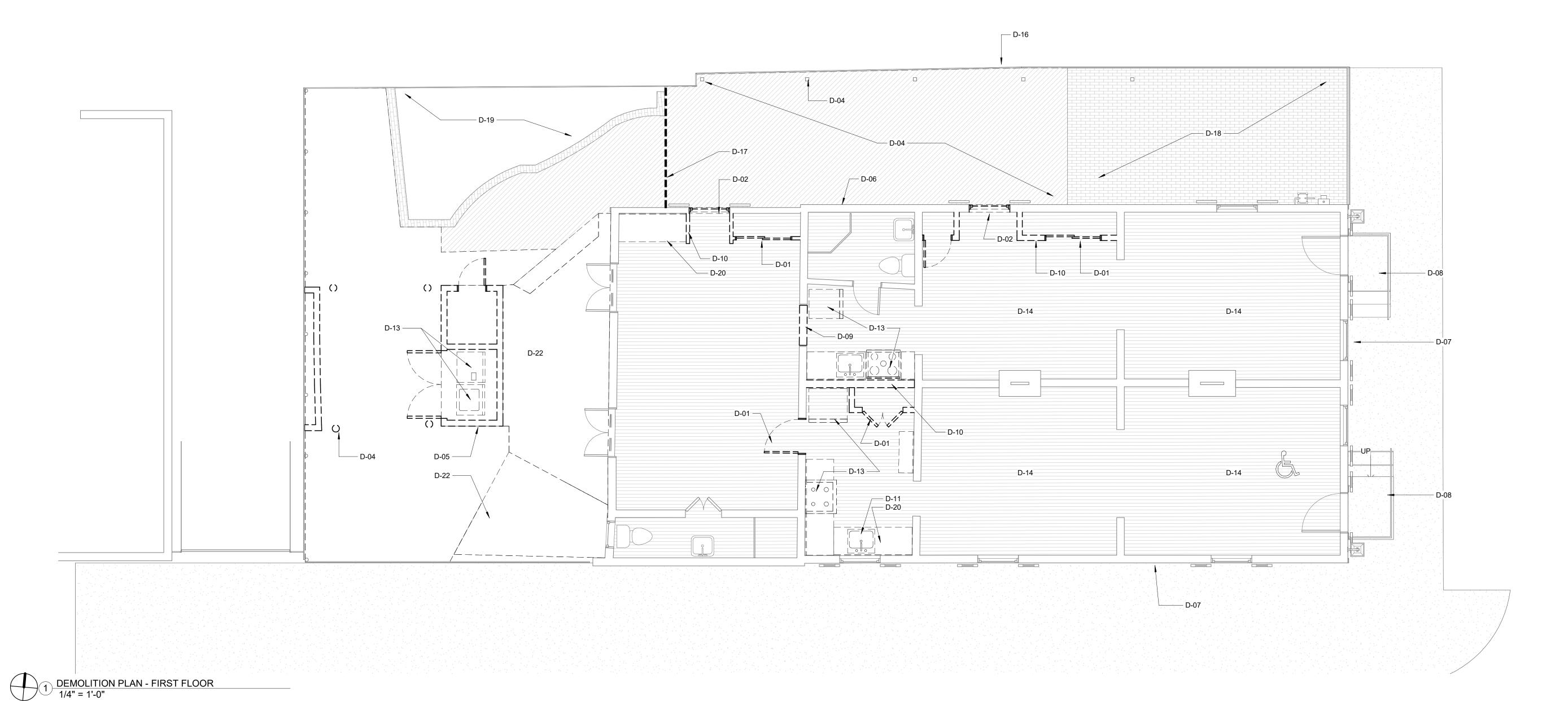
FIRST FLOOR LIFE SAFETY DIAGRAM

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

LS101









102

1000 Elysian Fields ew Orleans, LA 70117

No.	Description	Date

DEMO PLAN -FIRST FLOOR

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	LS
Checked by	ZS

D101

SHEET - KEYNOTES

Key Value Keynote Text



1) EXISTING ELEVATION - FRONT 1/4" = 1'-0"

2 EXISTING ELEVATION - LEFT 1/4" = 1'-0"



1000 Elysian Fiel New Orleans, LA 70

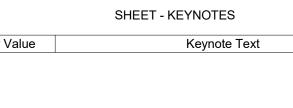
102

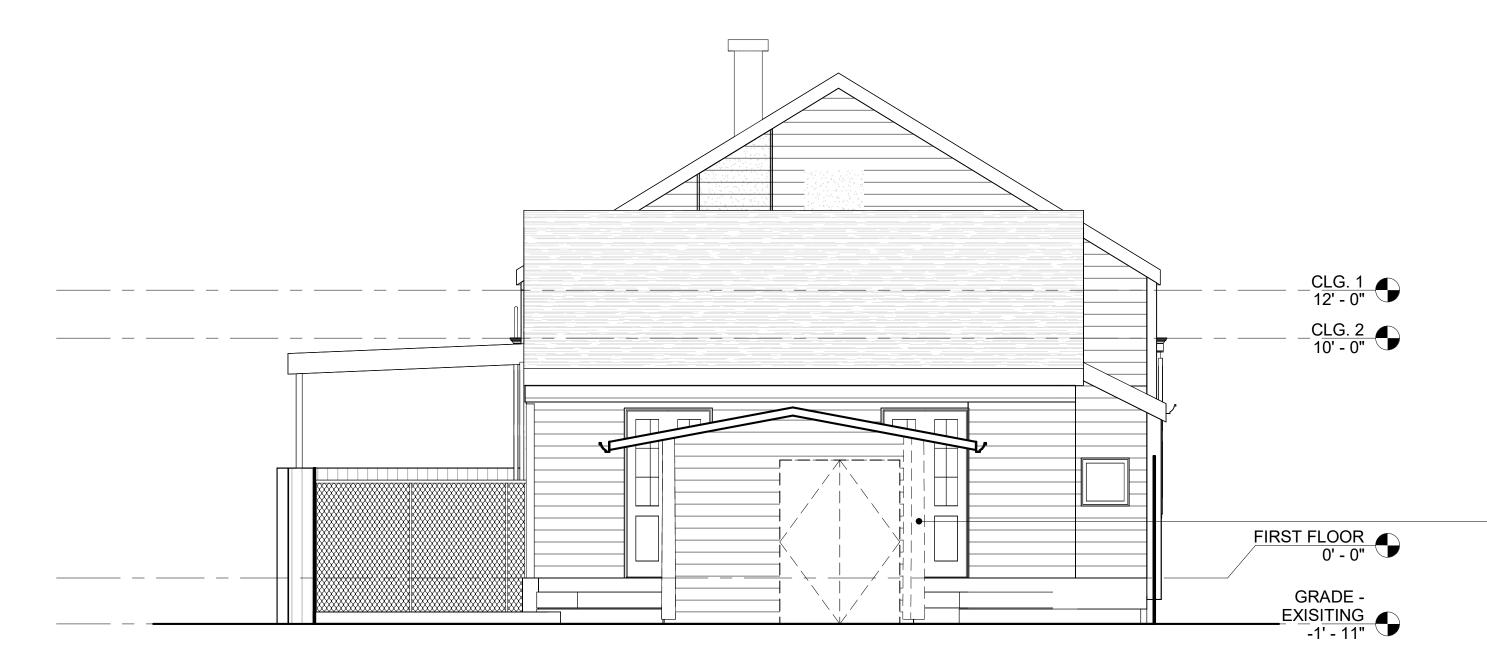
No.	Description	Date

DEMO/EXISTING ELEVATIONS

Project name	1000 Elysian Hotel
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SHEET - KEYNOTES Keynote Text Key Value





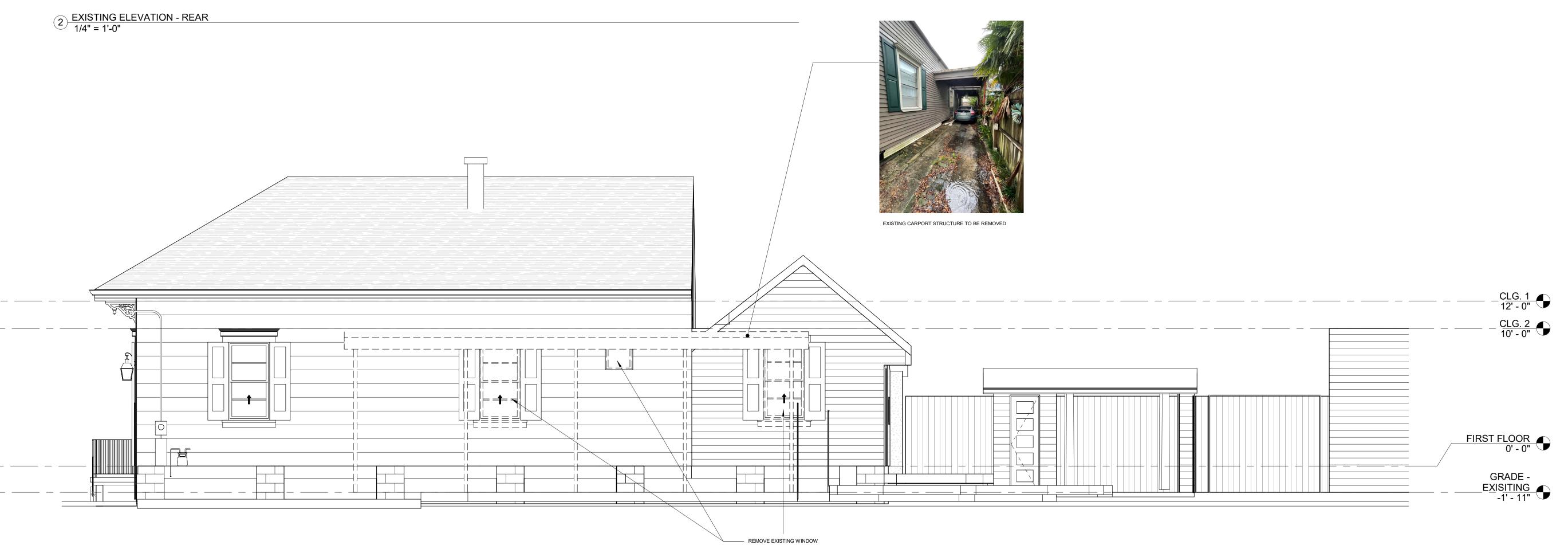
1) EXISTING ELEVATION - RIGHT 1/4" = 1'-0"







CARPORT/STORAGE STRUCTURE TO BE DEMOLISHED CARPORT/STORAGE STRUCTURE TO BE DEMOLISHED

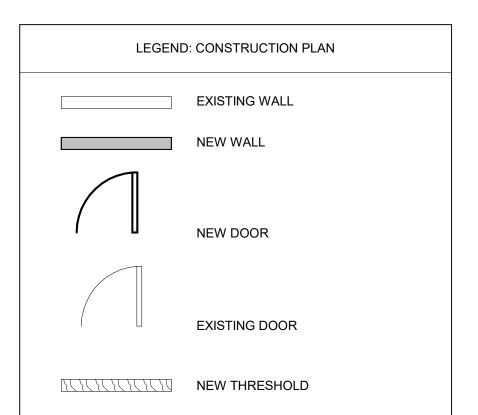


Description Date

DEMO/EXISTING **ELEVATIONS**

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

D202



	SHEET - KEYNOTES
Key Value	Keynote Text
D-16	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
N-02	NEW ADA COMPLIANT PERVIOUS PAVERS
N-03	NEW BRICK PORCH. COORDINATE SELECTION WITH OWNER. RE: STRUCT. FOR FOUNDATION DETAILS.
N-04	EXIST. DOOR / WINDOW TO REMAIN. REPAIR AS REQ. FOR PROPER FUNCTION. WEATHERPROOF & PAINT TO MATCH NEW, TYP.
N-05	NEW 7'-0" TALL VERT. PTL WOOD SWING GATE; COORD. HARDWARE W/ OWNER AND APPROVAL WITH HDLC. RE: DTL 4&5/A401.
N-10	NEW EXT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-11	NEW INT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-12	NEW WALL INFILL AT THIS LOCATION TO MATCH EXIST IN THICKNESS & FINISH.
N-13	NEW BRICK ADA ACCESSIBLE RAMP WITH METAL HANDRAILS TO MATCH EXISTING. RE: STRUCTURAL. RE: DTL. 3/A401
N-15	NEW HARDWOOD FLOORING TO MATCH EXIST. REUSE SALVAGED EXIST. HARDWOOD FLOORS WHERE POSSIBLE; RE: DEMO PLAN / ROOM SCHED.
N-16	EXISTING HARDWOOD FLOORS TO REMAIN. REFINISH, REPAIR, RESEAL AS REQ'D.
N-17	NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED.
N-21	NEW WINDOW TO MATCH EXIST. STYLE, TYP. PER TAG: RE: WINDOW SCHED.

	SHEET - KEYNOTES
Key Value	Keynote Text
N-23	NEW COUNTERTOP AT THIS LOCATION; GC TO COORD. SELECTION W/ OWNER & VENDOR AS REQ.
N-24	NEW MILLWORK/CABINETS AT THIS LOCATION; GC TO COORD. SELECTIONS W/ OWNER & VENDOR AS REQ.
N-25	NEW APPLIANCES AT THIS LOCATION; GC TO COORD SELECTIONS W/ OWNER & VENDORS AS REQ.
N-26	NEW RANGE / EXHAUST HOOD AT THIS LOCATION; GC TO SIZE HOOD PER EXHAUST LOAD OF RANGE; COORD. SELECTION W/ OWNER.
N-27	NEW PLUMBING FIXTURES, AT THIS ROOM (LOCATION); GC & PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-28	NEW STACK WASHER & NEW GAS DRYER AT THIS LOCATION; GC & PLUMBER TO COORD. SELECTIONS W/OWNER & VENDORS AS REQ.
N-29	NEW WALL TILE TO CEILING; GC TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-30	NEW SHOWER ROD AND CURTAIN. COORDINATE SELECTION WITH OWNER.
N-31	NEW ADA 30" X 60" ROLL IN SHOWER W/ MIXING VALVE AND HAND-HELD SHOWER AND SLIDE BAR. PROVIDE BLOCKING FOR GRAB BARS MOUNTED PER ADA REQUIREMENTS.
N-38	EXIST. SIDING TO REMAIN; CLEAN, REPAIR & PAINT AS REQ'D.
N-46	EXIST. LOCATION OF GAS METER; PLUMBER TO COORD. INSTALL W/ ENTERGY AS REQ.
N-47	EXIST. LOCATION OF ELECTRICAL METER;

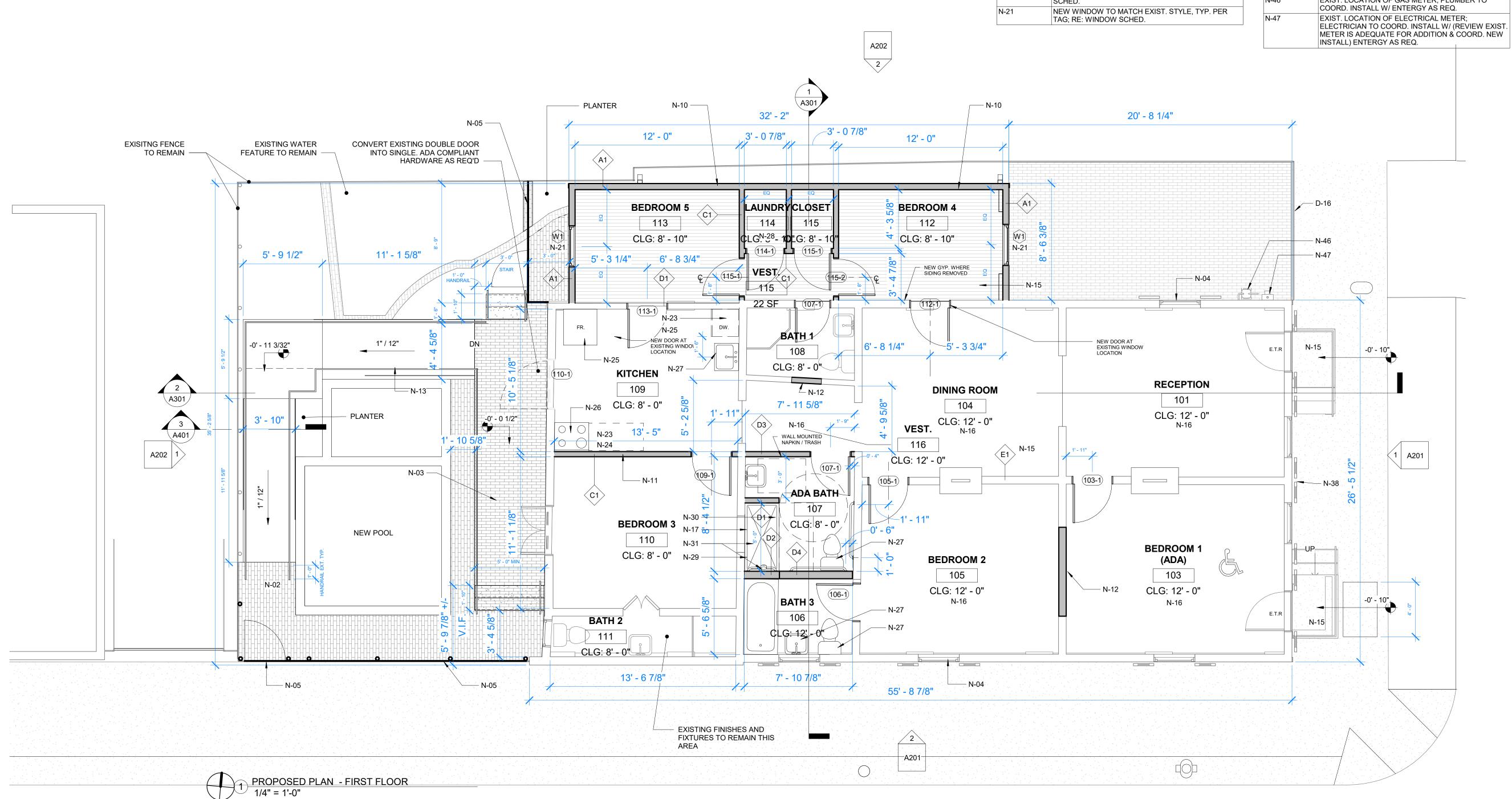


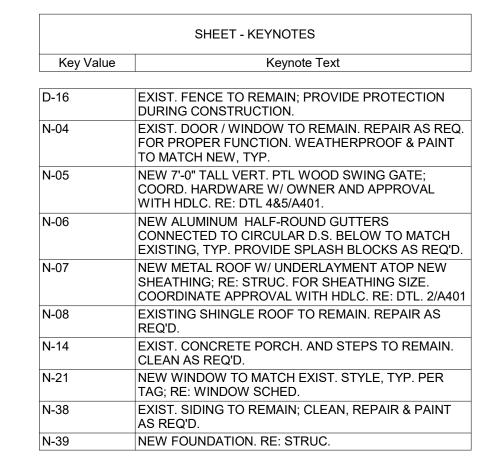
1000 Elysian Fields
New Orleans, LA 70117

Description	Date
	Description

PROPOSED PLAN FIRST FLOOR

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	LS
Checked by	ZS







102

Suite

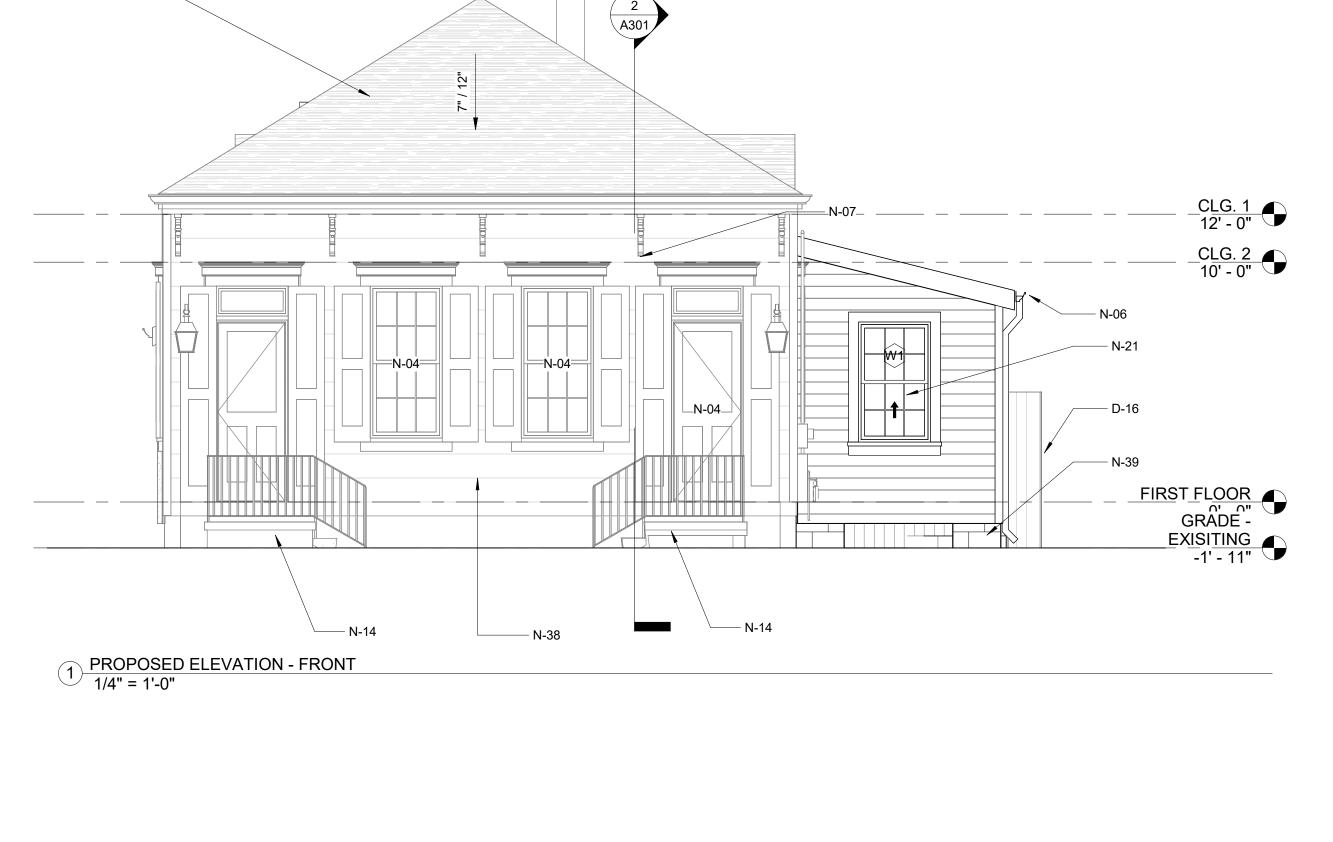
1000 Elysian Fields
New Orleans, LA 70117

No.	Description	Date

PROPOSED ELEVATIONS

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

A201



PROPOSED ELEVATION - LEFT 1/4" = 1'-0"



SHEET - KEYNOTES

Keynote Text

Key Value

102

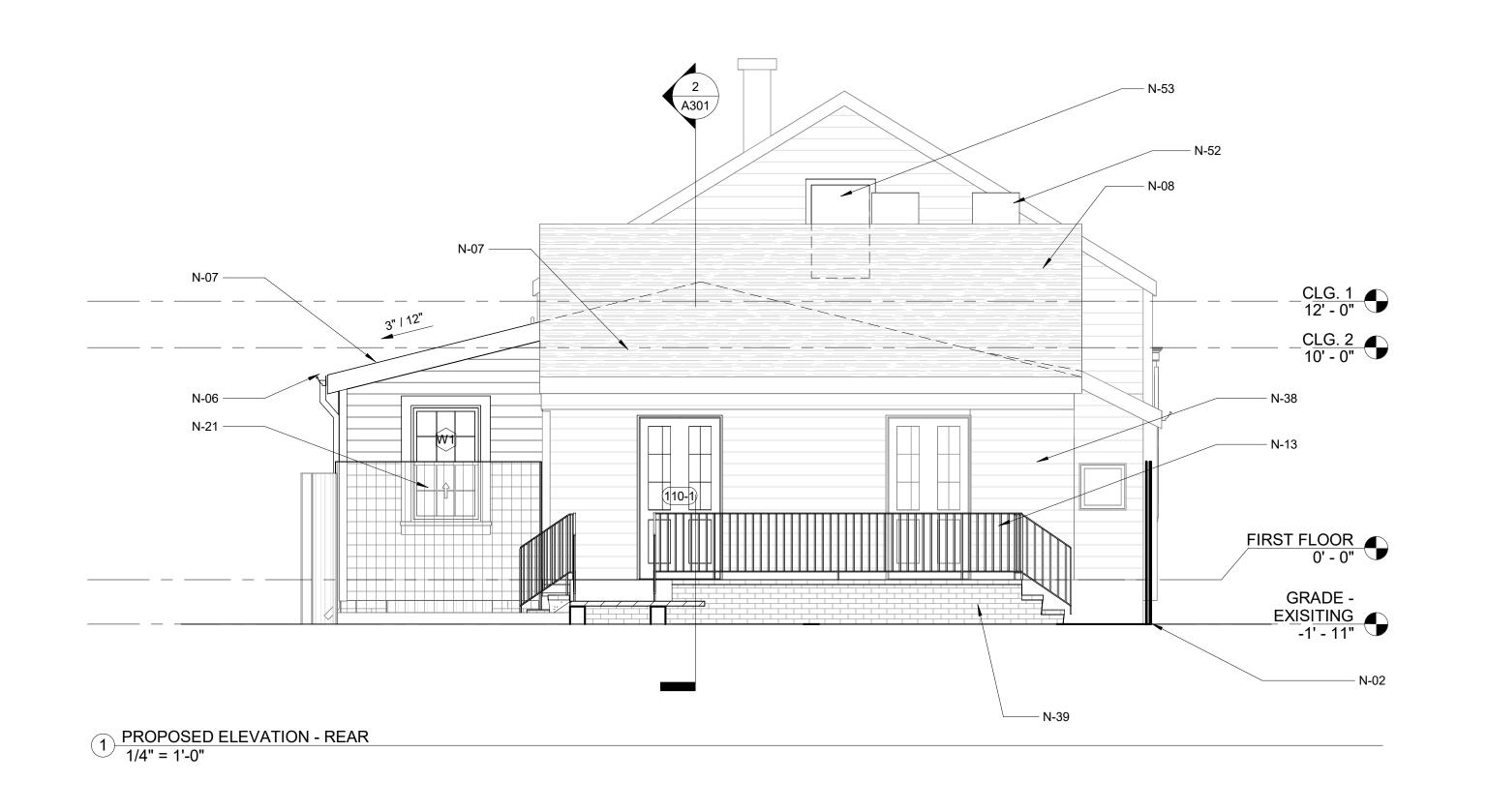
Suite

No.	Description	Date

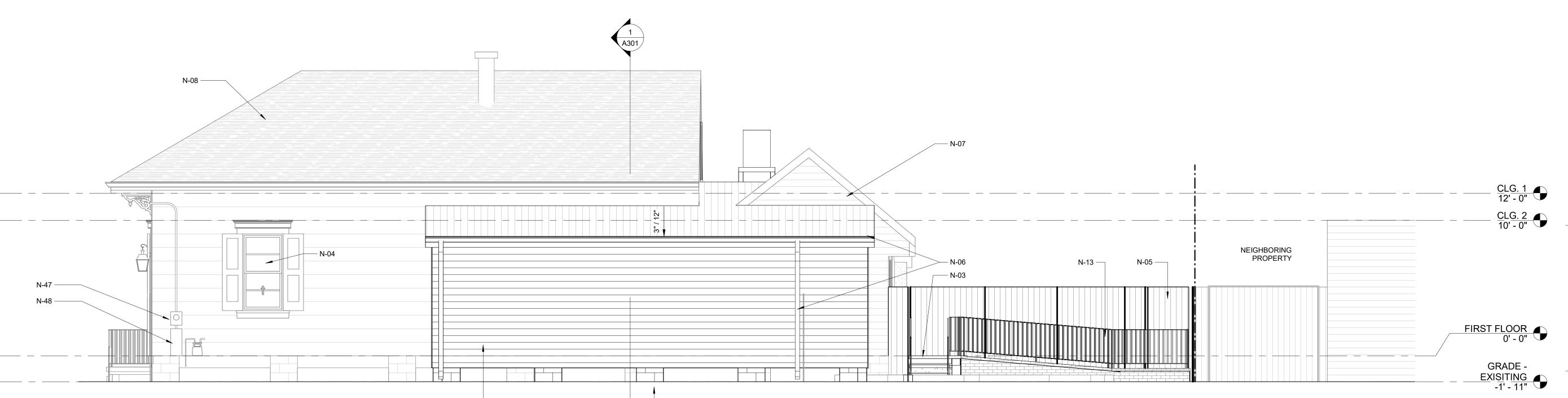
PROPOSED ELEVATIONS

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

A202



N-10 —



\bigcirc	PROPOSED ELEVATION - RIGHT
(2	1/4" = 1'-0"

Key Value NEW BRICK PORCH. COORDINATE SELECTION WITH OWNER. RE: STRUCT. FOR FOUNDATION DETAILS.

N-06 NEW ALUMINUM HALF-ROUND GUTTERS CONNECTED TO CIRCULAR D.S. BELOW TO MATCH EXISTING, TYP. PROVIDE SPLASH BLOCKS AS REQ'D. NEW METAL ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE: STRUC. FOR SHEATHING SIZE. COORDINATE APPROVAL WITH

HDLC. RE: DTL. 2/A401 EXISTING SHINGLE ROOF TO REMAIN. REPAIR AS REQ'D. NEW EXT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC. NEW BRICK ADA ACCESSIBLE RAMP WITH METAL HANDRAILS TO MATCH EXISTING. RE: STRUCTURAL. RE: DTL. 3/A401

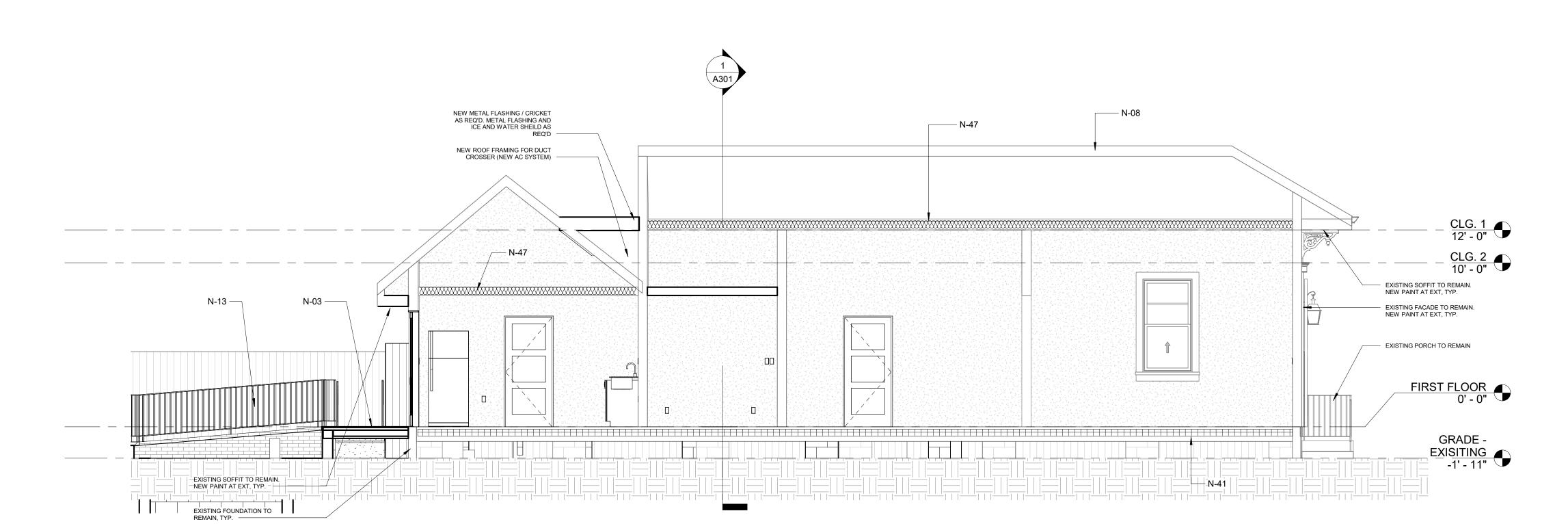
NEW HARDWOOD FLOORING TO MATCH EXIST. REUSE SALVAGED EXIST. HARDWOOD FLOORS WHERE POSSIBLE; RE: DEMO PLAN / ROOM SCHED. NEW FOUNDATION. RE: STRUC.

N-41 R-13 CLOSED CELL INSUL. AT FLOOR JOIST, TYP. N-43 R-30 BATT INSULATION AT CLG, TYP. NEW 2X FLOOR, WALL, & CLG. FRAMING, TYP.; RE: STRUC. NEW RATED SOFFIT / OVERHANG AT THIS LOCATION; RE: DTL

EXIST. LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL W/ (REVIEW EXIST. METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL) ENTERGY AS REQ.

GLAVANIZED FASHING AS REQ'D AT TIE-IN — N-07 — CLG. 1 12' - 0" CLG. 2 10' - 0" FIRST FLOOR
O' O"
GRADE -N-41 -EXISITING -1' - 11" N-41

1) PROPOSED BUILDING SECTION - LATITUDINAL 1/4" = 1'-0"



PROPOSED BUILDING SECTION - LONGITUDINAL

1/4" = 1'-0"

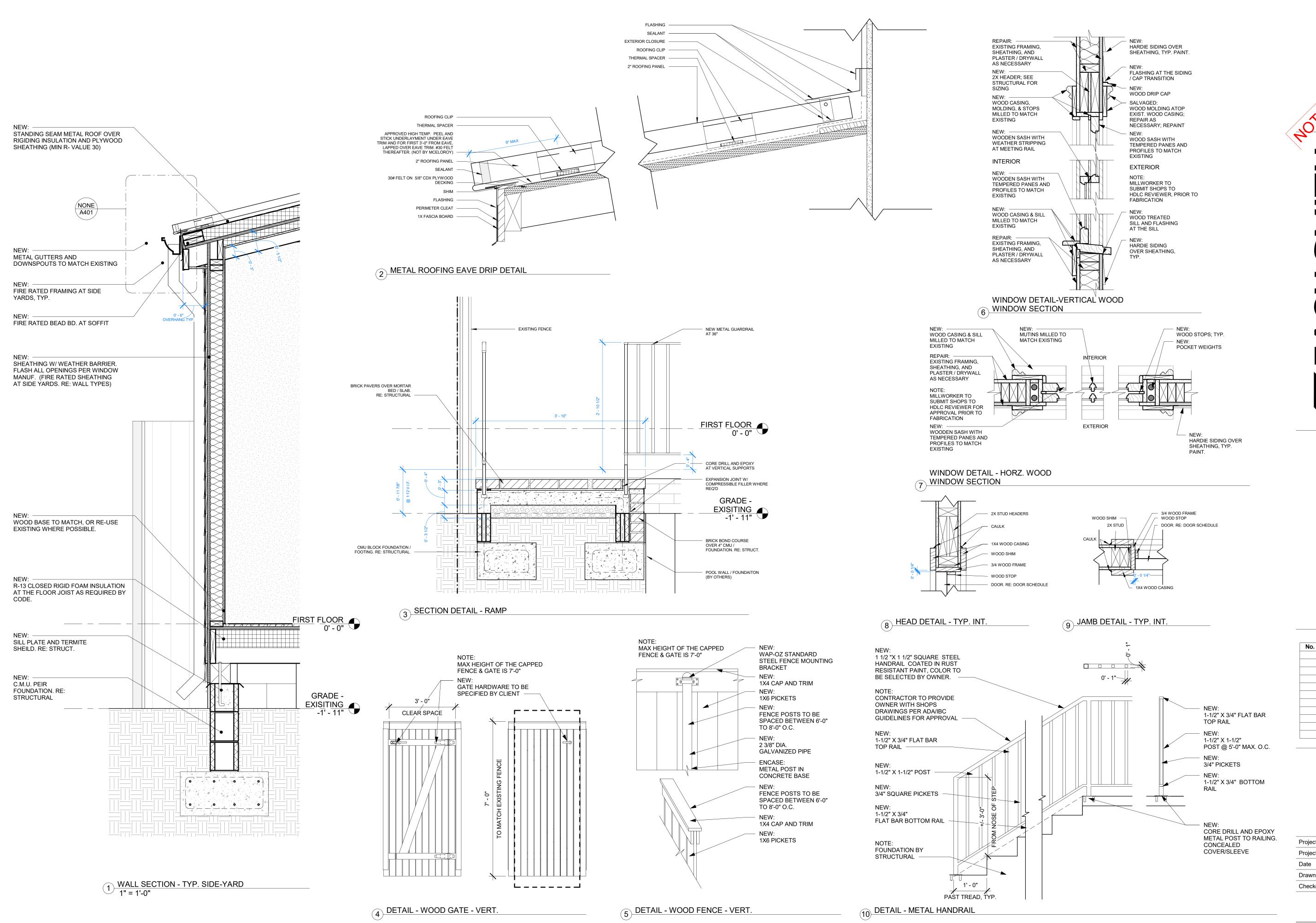
102

Suite

Description Date

BUILDING SECTIONS

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker



ZACH SMITT SMITT CONSULTING & DESIGN 530 S Norman C Francis Parkway Suite 102

1000 Elysian Fields New Orleans, LA 70117

No.	Description	Date
		•

WALL SECTIONS / DETAILS

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

							DOOR S	SCHEDULE
DOOR TAG	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	EXT. TRIM	INT. TRIM	COUNT	REMARKS
000-1	С	2' - 6"	4' - 0"	WD.	WD.	WD.	1	ATTIC ACCESS PANEL AT EXTERIOR WALL. COORDINATE SELECTION WITH OWNER.
03-1	В	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTMOATIC CLOSER AS REQ'D.
105-1	В	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTMOATIC CLOSER AS REQ'D.
06-1	В	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.
107-1	В	2' - 6"	7' - 0"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.
07-1	В	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.
109-1	В	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTMOATIC CLOSER AS REQ'D.
110-1	А	3' - 6"	7' - 0"	WD.	WD.	WD,	1	RE-USE EXISTING DOOR PANELS AND INSTALL AS SINGLE DOOR. NEW ADA COMPLIANT HARDWARE AS REQ'D. COORDINATE SELECTION WITH OWNER.
12-1	В	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTMOATIC CLOSER AS REQ'D.
113-1	В	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTMOATIC CLOSER AS REQ'D.
14-1	В	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.
15-1	В	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.
15-1	В	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.
15-2	В	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.

115-2	В	2' -	8"	6' - 8"	WD.	WE).	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.
Grand total:	14					•		'	'	
									WIND	OW SCHEDULE
WDW	WDW					WINDOW	GLAZIN		INT.	
TYPE	TAG	WIDTH	HEIGHT	SILL	HEADER	MAT.	G	TRIM	TRIM	COUNT REMARKS
Α	W1	3' - 0"	5' - 0"	2' - 6"	7' - 6"	WD.	1/4"	WD.	WD.	2 NEW VINYL CLAD WOOD WINDOW W/ TRUE DIVIDED LIGHT. COORDINATE SELECTION WITH OWNER AND

APPROVAL WITH HDLC.

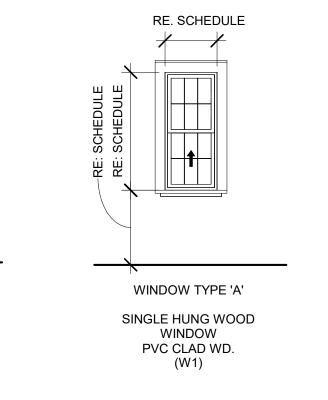
RE: LIFE SAFETY PLANS

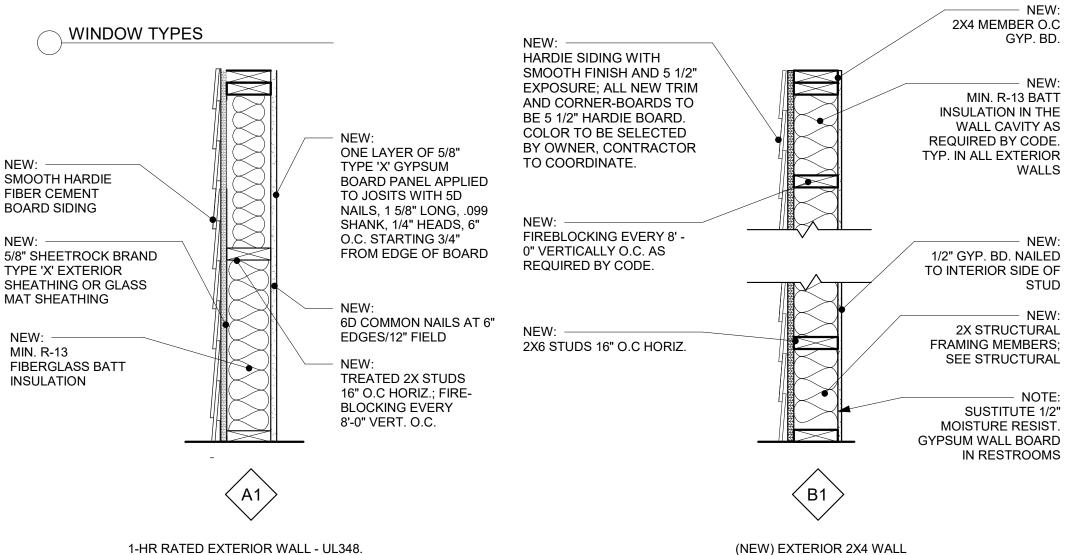
WALL TYPES

✓ 1" = 1'-0"

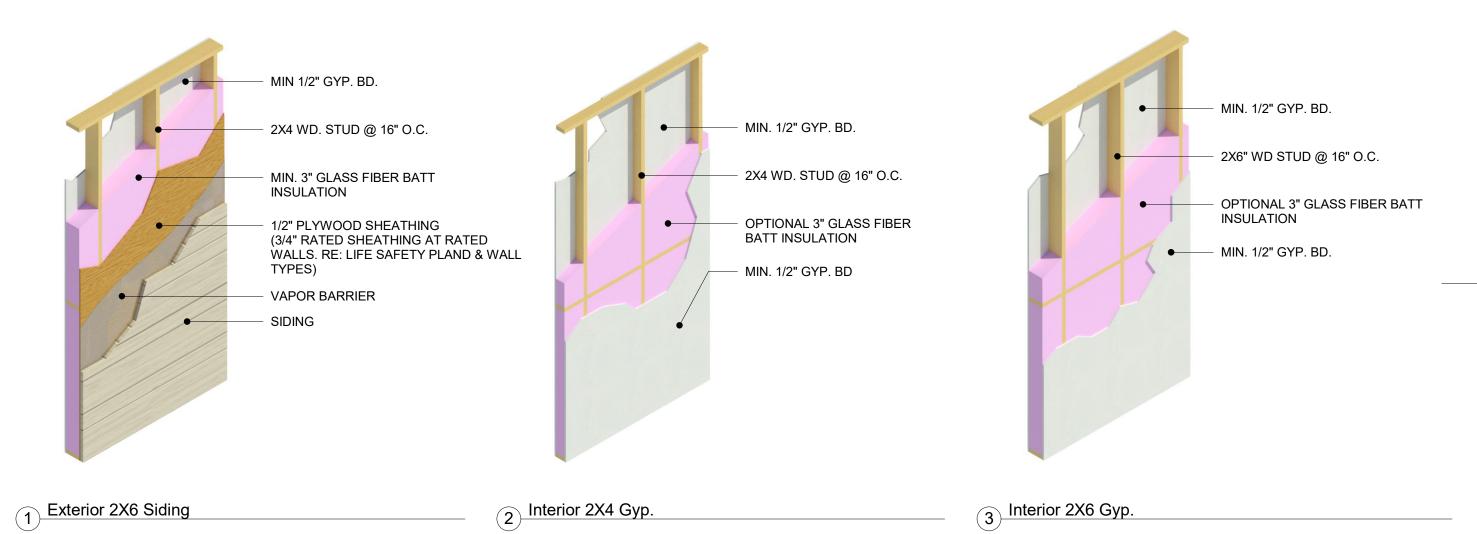
RE: SCHEDULE DOOR TYPE 'A' DOOR TYPE 'B' DOOR TYPE 'B' **ACCESS PANEL** (EXTERIOR) (INTERIOR) WD. PÀNELED DÓOR W/ PANELED SOLID AT EXTERIOR HALF LITES. CORE WALL. **CONVERT EXISTING** WOOD DOOR COORDINATE DOUBLE TO SINGLE PANEL STYLE WITH OWNER

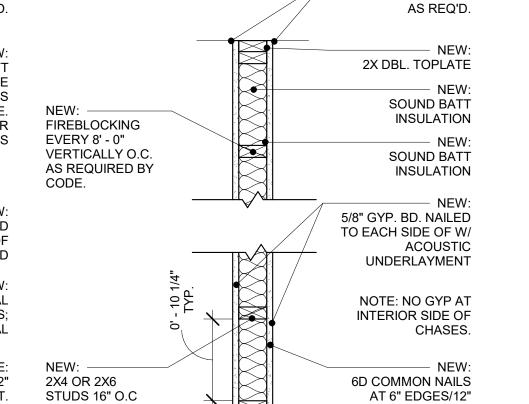
DOOR TYPES





ROOM FINISH SCHEDULE NUMBER AREA BASE **ROOM NAME** CEILING HT. FLOOR WALLS | CROWN | CEILING REMARKS E. PLSTR. / T.B.D. EX. PLSTR. / EXISTING CLG, TO REMAIN. REPAR/PATCH WHERE EXISTING WALLS ARE REMOVED. RECEPTION 195 SF 12' - 0" EX. WD. EX. WD. E. PLSTR. / T.B.D. EX. PLSTR. / EXISTING CLG, TO REMAIN. REPAR/PATCH WHERE EXISTING WALLS ARE REMOVED. BEDROOM 1 (ADA) 196 SF 12' - 0" EX. WD. EX/NEW WD. DINING ROOM 175 SF 12' - 0" EX. WD. EX. WD. E. PLSTR. / T.B.D. EX. PLSTR. / EXISTING CLG, TO REMAIN. REPAR/PATCH WHERE EXISTING WALLS ARE REMOVED. E. PLSTR. / T.B.D. BEDROOM 2 177 SF 12' - 0" EX. WD. EX/NEW WD. EX. PLSTR. / EXISTING CLG, TO REMAIN. REPAR/PATCH WHERE EXISTING WALLS ARE REMOVED. BATH 3 44 SF 12' - 0" EX. WD. EX. WD. WP-3 T.B.D. EX. PLSTR. / EXISTING CLG, TO REMAIN. REPAR/PATCH WHERE EXISTING WALLS ARE REMOVED. NEW GYP. / DROPPED CLG. AS REQ'D FOR MECH. ADA BATH 66 SF EX. WD. T.B.D. EX. WD. NEW GYP. / DROPPED CLG. AS REQ'D FOR MECH. BATH 1 40 SF EX. WD. EX. WD. T.B.D. 8' - 0" KITCHEN 141 SF EX./NEW WD. T.B.D. EX. PLSTR. / EXISTING CLG, TO REMAIN. REPAR/PATCH WHERE EXISTING WALLS ARE REMOVED. 8' - 0" EX. WD. 149 SF BEDROOM 3 EX./NEW WD. E. PLSTR. / T.B.D. EX. PLSTR. / EXISTING CLG, TO REMAIN BATH 2 40 SF EX. WD. EX. WD. WP-3 T.B.D. EX. PLSTR. EXISTING CLG, TO REMAIN. BEDROOM 4 97 SF WD. TO MATCH GYP. / WP-2 T.B.D. GYP. / CP-1 NEW BUILDING FOOTPRINT. NEW GYP.LEVEL 4 FINISH AT WALLS/CLG, TYP. COORDINATE 8' - 10" NEW WD. TRIM AND FINISH SELECTION WITH OWNER. 100 SF WD. TO MATCH GYP. / WP-2 T.B.D. GYP. / CP-1 NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG, TYP. COORDINATE BEDROOM 5 8' - 10" NEW WD. TRIM AND FINISH SELECTION WITH OWNER. LAUNDRY 13 SF 8' - 10" NEW WD. GYP. / CP-1 NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG, TYP. COORDINATE TRIM AND FINISH SELECTION WITH OWNER. CLOSET 13 SF 8' - 10" NEW WD. GYP. / CP-1 NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG, TYP. COORDINATE SHELVING WITH OWNER. VEST 22 SF WD. TO MATCH WP-1 GYP. / CP-1 NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG, TYP. VEST. 41 SF 12' - 0" NEW WD. EX./NEW WD. T.B.D. EX. PLSTR. / EXISTING CLG, TO REMAIN.





ACOUSTIC SEALANT

FIELD

NEW:

AS REQ'D.

ACOUSTIC SEALANT

(NEW) INTERIOR 2X4 WALL 30 MIN. RATED STC-50 MIN. (EXTEND WALL TO UNDER SIDE OF CEILING

 $\langle C1 \rangle$

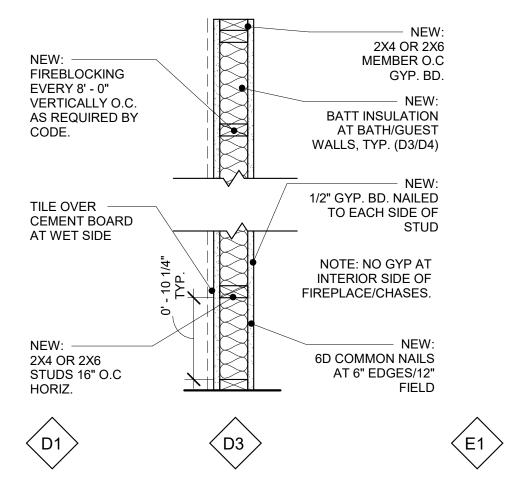
HORIZ.

(NEW) INTERIOR 2X4 WALL
W/ TILE TO CEILING
(NO BATT)
WAINSCOT TO 44"
(W/ ACOUSTIC BATT INSULATION)

D2

(NEW) INTERIOR 2X6 WALL
(NEW) INTERIOR 2X6 WALL

(NEW) INTERIOR 2X6 WALL
W/ TILE
TO CLG.
W/ ACOUSTIC BATT
INSULATION)
WEW) INTERIOR 2X6 WALL
W/ TILE
WAINSCOT TO 44"
(W/ ACOUSTIC BATT
INSULATION)



NEW:
NAILS
ES/12"
FIELD

DOOR,
WINDOW,
WALL &
FINISH
EXISTING PLASTER WALL
ASSEMBLY TO REMAIN.
RE: LIFE SAFETY PLANS.

Project name 1000 Elysian Hotel
Project number Date 8/10/22
Drawn by Author
Checked by Checker

A501

Fields 770117 530 S Norm

102

Suite

1000 Elysia New Orleans,

No.	Description	Dat

GENERAL NOTES: M.E.P. DIAGRAM

1. ELECTRICIAN SHALL:

- A. COORDIANTE CAPACITY AND TYPE OF SWITCHES AND RECEPTACLES W/ CORRESPONDING CIRCUITS, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
- B. CONCEAL ALL NEW AND EXISTING ELECTRICAL CIRCUITS THROUGHOUT.
- C. PROVIDE LOW VOLTAGE RELAYS, AS REQUIRED, FOR ALL SWITCHES HAVING MORE THAN 1350 WATTS.
- D. COORDINATE GANGING OF WALL PLATES FOR CLUSTERS OF SWITCHES AND RECEPTACLES, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
- E. INSTALL RECEPTACLES AND OUTLETS IN A VERTICAL FASHION, UNLESS OTHERWISE NOTED.
- F. PROVIDE PLATES AND DEVICES IN WHITE THROUGHOUT, UNLESS OTHERWISE NOTED.
- G. PROVIDE SUBMITTALS FOR ALL PLATES & DEVICES AND ELECTRICAL FIXTURES FOR APPROVAL OF ARCHITECT & OWNER, PRIOR TO INSTALLATION.
- H. PROVIDE ALL PLATES & DEVICES AND UNSPECIFIED ELECTRICAL FIXTURES.
- I. PROVIDE POWER TO ALL MECHANICAL EQUIPMENT AND DEVICES AS REQUIRED.
- 3. MECHANICAL AND ELECTRICAL CONTRACTOR MUST CHECK OWNER'S PRESENT EQUIPMENT BEING RE-USED, EQUIPMENT SUBSTITUTED FOR SPECIFIED TYPE OR MANUFACTURER OR THAT EQUIPMENT MARKED (BY VENDOR) WHICH IS BEING SUPPLIED BY OTHERS SO THAT THE SERVICE REQUIREMENTS ARE CORRECTLY TYPED, ADEQUATELY SIZED, & ROUGHED IN PROPERLY (LOCATION, HEIGHT, & CONNECTION TYPE) SO AS TO MINIMIZE THE AMOUNT OF MATERIALS & FITTINGS NEEDED FOR FINAL HOOK UP RESULTING IN A NEAT AND ORDERLY LOOKING JOB.
- 4. ALL LABOR, SWITCHES, DISCONNECTS, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY TO COMPLY WITH ALL CODES, INCLUDING ALL INTERWIRING TO BE FURNISHED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE STATED.
- 5. ALL LABOR, VALVES, TRAPS, TAILPIECES, STRAINERS, PRESSURE REDUCING VALVES, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY COMPLY WITH ALL CODES, INCLUDING ALL INTERCONNECTIONS TO BE FURNISHED BY MECHANICAL CONTRACTOR UNLESS OTHERWISE STATED.
- 6. PRIOR TO PURCHASE OF EXTERIOR LIGHT FIXTURES, G.C. SHALL SUBMIT MANUFACTURERS TO HDLC & OWNER FOR APPROVAL.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[GENERAL ELECTRICAL		MECHANICAL SYSTEMS
EM	ELECTRICAL METER	EF -	EXHAUST FAN WALLOUT
	ELECTRICAL PANEL	EF _L	EXHAUST FAN W/ LIGHT
EO	TRANSFER SWITCH	EF _H	EXHAUST FAN W/ HEATER
GM	GAS METER	EF L&H	EXHAUST FAN W/ LIGHT & HEATER
	ELECTRICAL RECEPTACLES		RADIANT IN-FLOOR WARMING MAT
⇒	DUPLEX RECEPTACLE	RF	RADIANT IN-FLOOR CONTROLS
 GFI	GFI DUPLEX RECEPTACLE	T	THERMOSTAT
₩P	WET LOCATION RECEPTACLE	R/A <u>↓</u>	RETURN AIR GRILLE OR REGISTER AT WALL
⇒ s	SWITCHED DUPLEX RECEPTACLE	S/A <u>↓</u>	SUPPLY AIR GRILLE OR REGISTER AT WALL
- ●	DEDICATED APPLIANCE RECEPTACLE	K 7	RETURN AIR CHASE
⇒ A/C	A/C DEDICATED APPLIANCE RECEPTACLE	R/A \sqrt{3}	RETURN AIR CHASE
∰FLR	FLUSH MOUNTED FLOOR QUAD RECEPTACLE	K->	
	ELECTRICAL SWITCHES	S/A	SUPPLY AIR CHASE
Ş	SWITCH	K - 7	RETURN AIR GRILLE OR REGISTER AT CEILING
, Ş ₃	THREE-WAY SWITCH		SUPPLY AIR GRILLE OR REGISTER AT CEILING
Ş ₄	FOUR-WAY SWITCH		
ς	DIMMABLE SWITCH		A/C CONDENSOR
YD S₃d	THREE-WAY DIMMABLE SWITCH		PUMBING SYSTEMS
γ3D \$ _J	JAMB SWITCH (DOOR ACTIVATED)	<u>G</u>	GAS LINE
٧J	ELECTRICAL FIXTURES	W/H	TANKLESS WATER HEATER
6		W/H	TANKEESS WATER TIEATER
R	RECESSED CAN FIXTURE	(w/H)	TANK WATER HEATER
® _D	RECESSED DIRECTIONAL CAN FIXTURE		
(D)	RECESSED DAMP - RATED CAN FIXTURE	W _HBJ	DEDICATED WATER LINE
(V)	RECESSED VAPOR PROOF CAN FIXTURE		HOSE BIB
(W)	RECESSED WATER - RATED CAN FIXTURE	GD	GARBAGE DISPOSAL
S	RECESSED SPOT CAN FIXTURE		SECURITY SYSTEM
\Diamond	CEILING MOUNTED FIXTURE		MOTION SENSOR PHOTOVOLTAIC FLOOD LIGHTS
ф	WALL MOUNTED FIXTURE		MISCELLANEOUS SYSTEMS
\oplus	CHANDELIER/PENDANT	DB	DOOR BELL BUTTON
- \$	FIXTURE, PULL CHAIN OPERATED	DC	DOOR BELL CHIME
FLR	RECESSED FLOOR FIXTURE	©	GARAGE DOOR OPENER
\supset	UNDER CABINET FIXTURE	GD	GARAGE DOOR REMOTE OPENER
	LIGHTING TRACK		FIRE & LIFE SAFETY SYSTEM
	LINEAR FIXTURE	H	HEAT DETECTOR
/17\		S	SMOKE DETECTOR
	CEILING FAN	2	SMOKE & CO2 DETECTOR UNIT
/17\		T	TEMPERATURE SENSOR
	CEILING FAN WITH LIGHTS	<u> </u>	CARBON MONOXIDE DETECTOR
_/	GAS FIXTURES	FB	FIRE EXTINGISHER
<u></u>	GAS CEILING MOUNTED FIXTURE	F	FIRE ALARM PULL SYSTEM
- Ģ -G			
Ю́G	GAS WALL MOUNTED FIXTURE		EXIT SIGN W/ EMERGENCY LIGHTING
⊕ G	GAS CHANDELIER/PENDANT	⊗	EXIT SIGN
	AUDIO & VISUAL SYSTEMS	DEL.	EMERGENCY LIGHTING

KOR COMSTR

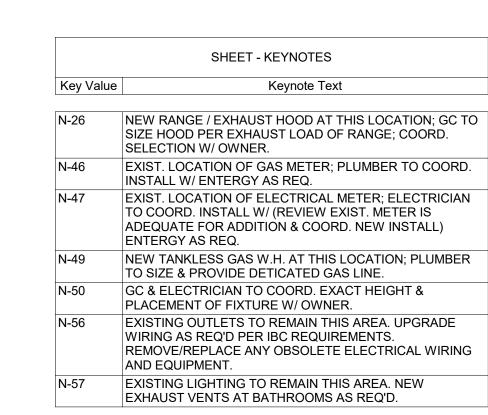
CONSULTING & DESIGNORMAN Suite 102 New Orleans, 1A 70119

1000 Elysian Fields New Orleans, LA 70117

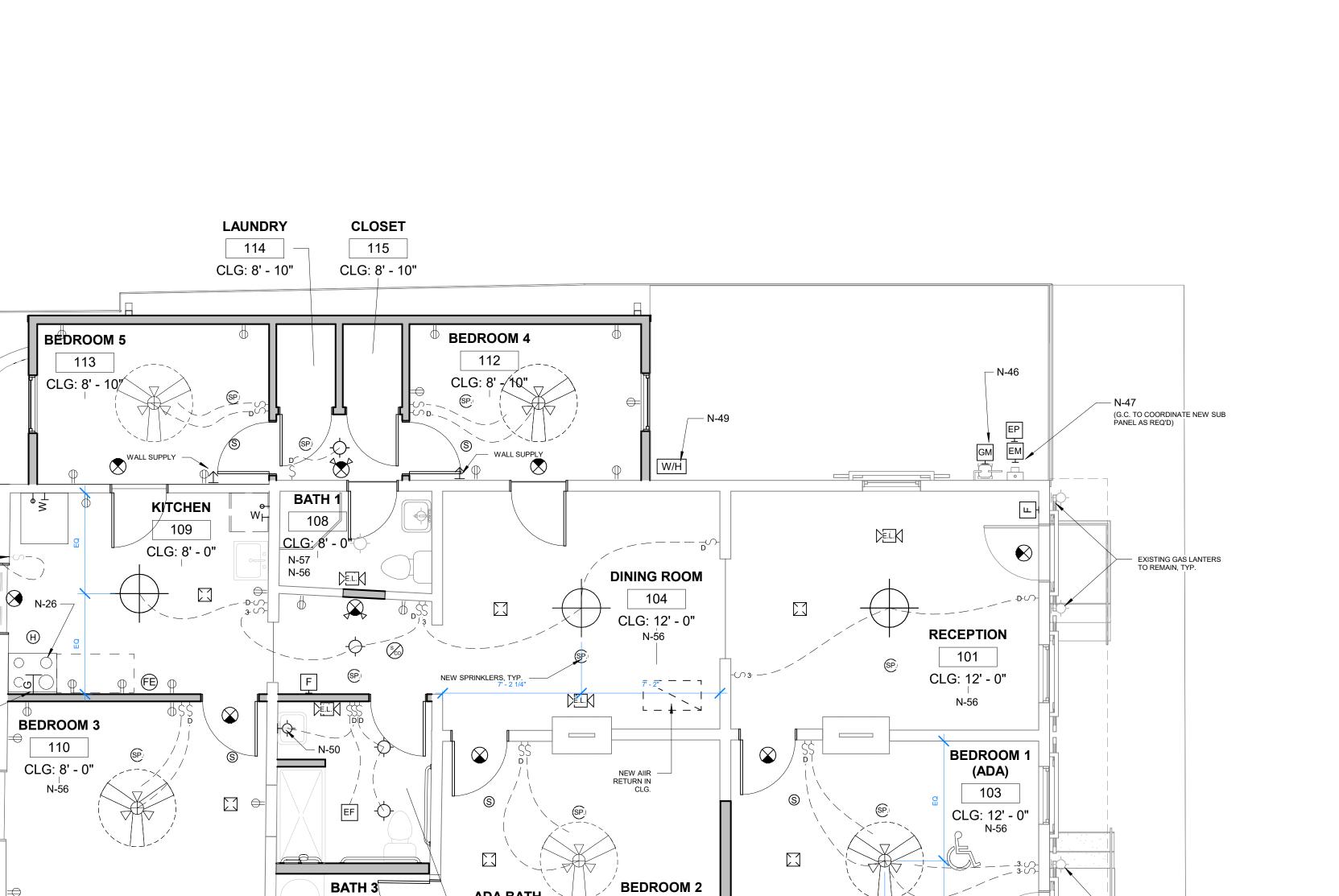
No.	Description	Date

M.E.P. LEGEND & NOTES

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker



- EXISTING GAS LANTERS TO REMAIN, TYP.



105

CLG: 12' - 0"

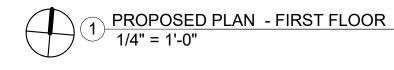
N-56

ADA BATH

CLG: 8' - 0"

106

CLG: 12' - 0"



NEW SWITCH TO EXISTING FIXTURES AS

NEW EMERGENCY LIGHTING AT EXTERIOR SOFFIT. COORDINATE SELECTION WITH

CONTRACTOR TO ROUTE NEW GASLINE AS REQ'D

COORDINATE SITE
 LIGHTING W/ OWNER



102

No.	Description	Date

FIRST FLOOR M.E.P. DIAGRAM

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
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Narrative for 1000 Elysian Fields Design Review

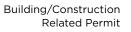
In the design for 1000 Elysian Fields Ave, full attention was taken to ensure compliance with the Comprehensive Zoning Requirements. In addition, consideration was made to ensure the property is harmonious with surrounding properties and neighborhoods, is consistent with the Master Plan, and promotes the general welfare of the City. Per the approval standards, the following have been considered:

- 1. Degree of conformity with the regulations of this Ordinance.
 - -The renovation of the existing building and the small addition is contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.
- 2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.
 - -The renovation of the existing building and the small addition is contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.
- 3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:
 - a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.
 - -This project maintains heights and setbacks that are consistent with the historical compatibility of the area.
 - b. Site illumination designed and installed to minimize adverse impact on adjacent properties.
 - -We have not proposed any site illumination that is directed towards adjacent properties or the ROWs surrounding.
- 4. Landscape and the arrangement of open space or natural features on the site shall:
 - a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.
 - -This project does not affect negatively impact open space design features such as bike/running paths or outdoor relaxation spaces, as the repurposing of the existing structure does not encroach into any of these areas.
 - b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.

- -No trees are being removed, and the addition utilizes already covered, partially enclosed space.
- c. Protect natural resources and landscape on adjacent sites.
 - -The addition utilizes already covered, partially enclosed space and does not disturb open space.
- d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.
 - -The addition utilizes already covered, partially enclosed space and does not disturb open space.
- e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.
 - -The addition utilizes already covered, partially enclosed space and does not disturb open space. We are adding landscaping to the project.
- f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.
 - -Appropriate fencing and screening is being proposed.
- 5. Circulation systems and off-street parking shall be designed to:
 - a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.
 - b. Minimize potentially dangerous traffic movements.
 - c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.
 - d. Minimize curb cuts by using cross-access servitudes and shared parking.
 - e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and internal circulation.
 - f. Clearly define pedestrian access from the parking area to the building(s). A clearly defined visible and identifiable network of pedestrian connections should be provided in and between parking lots, street sidewalks, open spaces, buildings, and public transit.
- -For a-f, we are not altering the existing traffic flow and believe this project will have no deleterious effect on the adjacent location.
- 6. Building design that enhances the design quality and character of the surrounding community through strategies such as:

- a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.
- b. Providing a visible transition in height and bulk between higher and lower density development.
- c. Reinforcing the prevailing orientation to the street.
- d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.
- e. Respecting historic design context.
- -For a-e, we are in a full control HDLC district. We know that the approval from HDLC will satisfy these requirements. Furthermore, as we are re-utilizing the existing structure and only providing an addition under an existing roofline, we know that this will meet the guidelines.







Date	Received by
Tracking Number	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

North arrow, scale, and date of plan

Location, dimensions, and area of permeable open space Name, address of the professional who prepared the plan Legend of symbols, patterns, and abbreviations used The entire lot(s), including area and property lines dimensioned (including gross area of the site)
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
Location and dimensions of buildings and structures, including total floor area and distance from property lines
Location of refuse storage locations

Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways

Fence location, height, and materials

2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development

Room use

Location of all walls, doors, and windows

Location of all plumbing fixtures

Location of major appliances/mechanical equipment

Stairway location

Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

Architectural elevations of easch side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls

Types, style, height, and the number of fixtures Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials Building Elevation (including building width and height) Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission All landscape plans shall meet the minimum requirements of site plans

Legend defining all symbols, patterns, and abbreviations used

Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.

Description of all tree preservation measures on-site and in the public right-of-way

Width, depth, and area of landscaped area(s)

Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

Photographs of the subject site and/or building

8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan \$225
CBD Demolitions \$500
Moratorium Appeals \$1,000