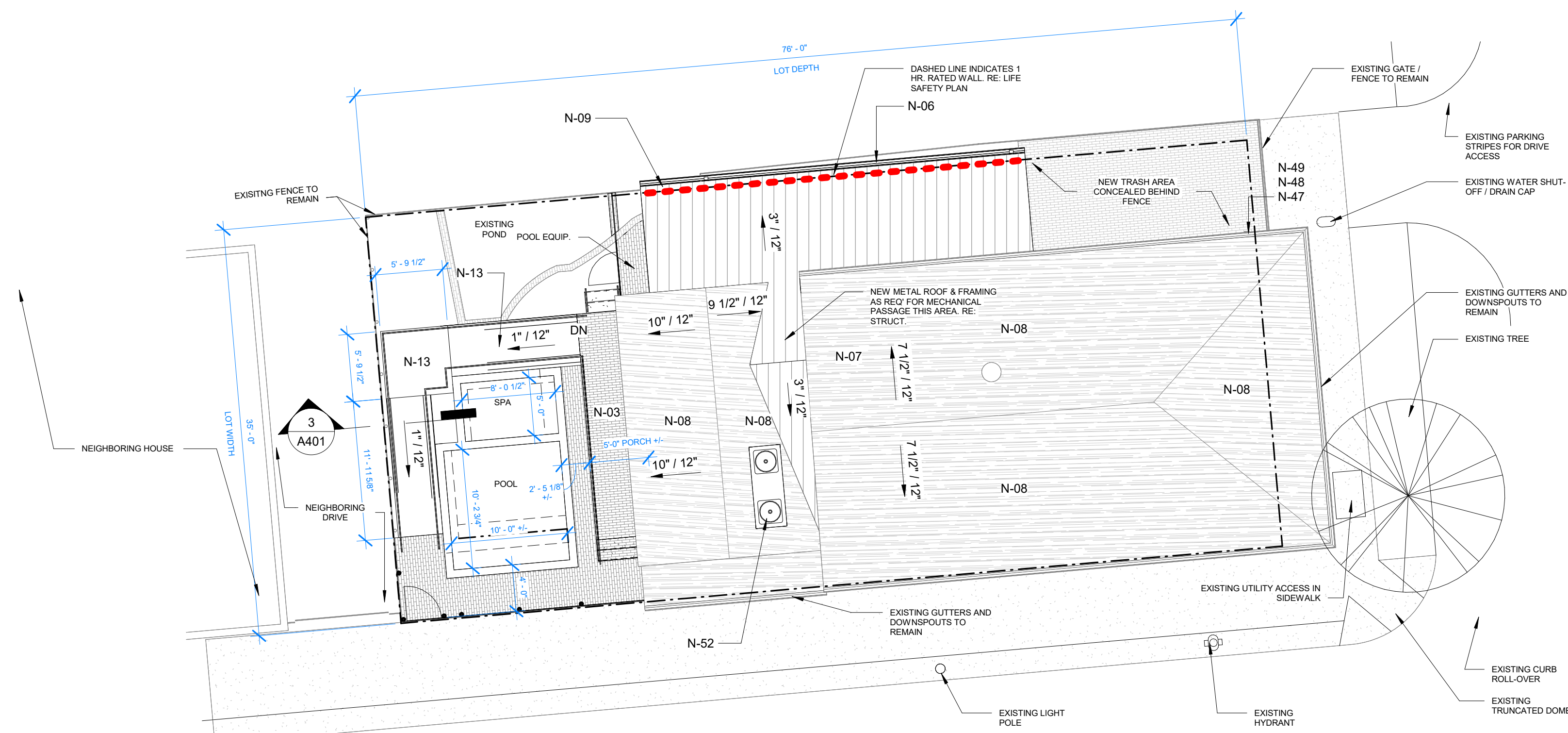


PROJECT - KEYNOTES	
Key Value	Keynote Text
D-01	REMOVE EXIST. DOOR AT THIS LOCATION; PREPARE OPENING FOR INFILL AS REQ'D., TYP.
D-02	REMOVE EXIST. WINDOW AT THIS LOCATION; PREPARE OPENING FOR INFILL AS REQ'D. RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION AS PER PROPOSED PLANS; RE: WINDOW SCHEDULE.
D-04	REMOVE EXIST. COLUMNS AND DRIVE THIS AREA.
D-05	REMOVE EXIST. WALL; PREPARE FOR NEW CONSTRUCTION AS PER PROPOSED PLANS.
D-06	REMOVE EXIST. SIDING & TRIM AS REQ'D FOR NEW WORK.
D-07	EXIST. FACADE TO REMAIN. NEW PAINT AT EXT. TYP.
D-08	EXISTING CONCRETE STEPS / RAILINGS TO REMAIN
D-09	REMOVE EXIST. INT. WALL FRAMING AS REQ'D FOR NEW OPENING; RE: NEW PLANS.
D-10	REMOVE EXIST. INT. WALLS AS INDICATED BY HATCH, TYP.
D-11	REMOVE EXIST. PLUMBING FIXTURE. CAP PLUMBING AS REQ'D.
D-13	REMOVE EXIST. APPLIANCES; RETURN TO OWNER FOR DISPOSAL / RE-SALE
D-14	EXISTING LIGHT FIXTURES TO REMAIN THIS AREA
D-16	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
D-17	REMOVE EXIST. FENCE GATE.
D-18	EXIST. PAVERS TO REMAIN THIS AREA.
D-19	EXISTING POND TO REMAIN. CREATE PLANTER AT EXISTING POND WITH NEW BRICK PARTITION WALL, PER NEW PLANS.
D-20	REMOVE EXIST. KITCHEN CABINETS & APPLIANCES
D-22	REMOVE EXISTING WOOD DECK.
N-02	NEW ADA COMPLIANT PERVIOUS PAVERS
N-03	NEW BRICK PORCH. COORDINATE SELECTION WITH OWNER. RE: STRUCT. FOR FOUNDATION DETAILS.
N-04	EXIST. DOOR / WINDOW TO REMAIN. REPAIR AS REQ. FOR PROPER FUNCTION. WEATHERPROOF & PAINT TO MATCH NEW, TYP.
N-05	NEW 7'-0" TALL VERT. PTL WOOD SWING GATE; COORD. HARDWARE W/ OWNER AND APPROVAL WITH HDLC. RE: DTL 4&5/A401.
N-06	NEW ALUMINUM HALF-ROUND GUTTERS CONNECTED TO CIRCULAR D.S. BELOW TO MATCH EXISTING, TYP. PROVIDE SPLASH BLOCKS AS REQ'D.
N-07	NEW METAL ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE: STRUC. FOR SHEATHING SIZE. COORDINATE APPROVAL WITH HDLC. RE: DTL. 2/A401
N-08	EXISTING SHINGLE ROOF TO REMAIN. REPAIR AS REQ'D.
N-09	NEW 1 HOUR RATED HARDIE PANEL SOFFIT.
N-10	NEW EXT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-11	NEW INT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-12	NEW WALL INFILL AT THIS LOCATION TO MATCH EXIST IN THICKNESS & FINISH.
N-13	NEW BRICK ADA ACCESSIBLE RAMP WITH METAL HANDRAILS TO MATCH EXISTING. RE: STRUCTURAL. RE: DTL. 3/A401

PROJECT - KEYNOTES	
Key Value	Keynote Text
N-14	EXIST. CONCRETE PORCH. AND STEPS TO REMAIN. CLEAN AS REQ'D.
N-15	NEW HARDWOOD FLOORING TO MATCH EXIST. REUSE SALVAGED EXIST. HARDWOOD FLOORS WHERE POSSIBLE; RE: DEMO PLAN / ROOM SCHED.
N-16	EXISTING HARDWOOD FLOORS TO REMAIN. REFINISH, REPAIR, RESEAL AS REQ'D.
N-17	NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED.
N-21	NEW WINDOW TO MATCH EXIST. STYLE, TYP. PER TAG; RE: WINDOW SCHED.
N-23	NEW COUNTERTOP AT THIS LOCATION; GC TO COORD. SELECTION W/ OWNER & VENDOR AS REQ.
N-24	NEW MILLWORK/CABINETS AT THIS LOCATION; GC TO COORD. SELECTIONS W/ OWNER & VENDOR AS REQ.
N-25	NEW APPLIANCES AT THIS LOCATION; GC TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-26	NEW RANGE / EXHAUST HOOD AT THIS LOCATION. GC TO SIZE HOOD PER EXHAUST LOAD OF RANGE; COORD. SELECTION W/ OWNER.
N-27	NEW PLUMBING FIXTURES, AT THIS ROOM (LOCATION); GC & PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-28	NEW STACK WASHER & NEW GAS DRYER AT THIS LOCATION; GC & PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-29	NEW WALL TILE TO CEILING; GC TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-30	NEW SHOWER ROD AND CURTAIN. COORDINATE SELECTION WITH OWNER.
N-31	NEW ADA 30" X 60" ROLL IN SHOWER W/ MIXING VALVE AND HAND-HELD SHOWER AND SLIDE BAR. PROVIDE BLOCKING FOR GRAB BARS MOUNTED PER ADA REQUIREMENTS.
N-38	EXIST. SIDING TO REMAIN. CLEAN, REPAIR & PAINT AS REQ'D.
N-39	NEW FOUNDATION. RE: STRUC.
N-41	R-13 CLOSED CELL INSUL. AT FLOOR JOIST, TYP.
N-43	R-30 BATT INSULATION AT CLG. TYP.
N-44	NEW 2X FLOOR, WALL, & CLG. FRAMING, TYP.; RE: STRUC.
N-45	NEW RATED SOFFIT / OVERHANG AT THIS LOCATION; RE: DTL A/A401
N-46	EXIST. LOCATION OF GAS METER; PLUMBER TO COORD. INSTALL W/ ENTERGY AS REQ.
N-47	EXIST. LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL W/ (REVIEW EXIST. METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL) ENTERGY AS REQ.
N-48	EXIST. LOCATION OF ELECTRICAL PANEL. ELECTRICIAN TO COORD. LOCATION W/ OWNER.
N-49	NEW TANKLESS GAS W.H. AT THIS LOCATION; PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE.
N-50	GC & ELECTRICIAN TO COORD. EXACT HEIGHT & PLACEMENT OF FIXTURE W/ OWNER.
N-52	NEW A/C CONDENSER MOUNTED ON METAL PLATFORM ON ROOF. PROVIDE STRUCTURAL SUPPORT AT ATTIC AS REQ'D. CONTRACTOR TO PROVIDE NEW UTILITIES AS REQ'D.
N-53	NEW EXT. WD. ACCESS PANEL/DOOR TO ATTIC. COORDINATE SELECTION WITH OWNER.
N-56	EXISTING OUTLETS TO REMAIN THIS AREA. UPGRADE WIRING AS REQ'D PER IBC REQUIREMENTS. REMOVE/REPLACE ANY OBSOLETE ELECTRICAL WIRING AND EQUIPMENT.
N-57	EXISTING LIGHTING TO REMAIN THIS AREA. NEW EXHAUST VENTS AT BATHROOMS AS REQ'D.



1 PROPOSED PLAN - FIRST FLOOR
1/8" = 1'-0"

ZONING HMC-2

LOT AREA
2660 SF

SETBACKS
FRONT YARD 0'-0"
SIDE YARD 1 0'-0"
SIDE YARD 2 0'-0"
REAR YARD 0'-0"

PERVIOUS LANDSCAPE: 15% REQUIRED
478 SF (17%) PROVIDED

No.	Description	Date

SITE PLAN / SURVEY & PROJECT NOTES

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

A100

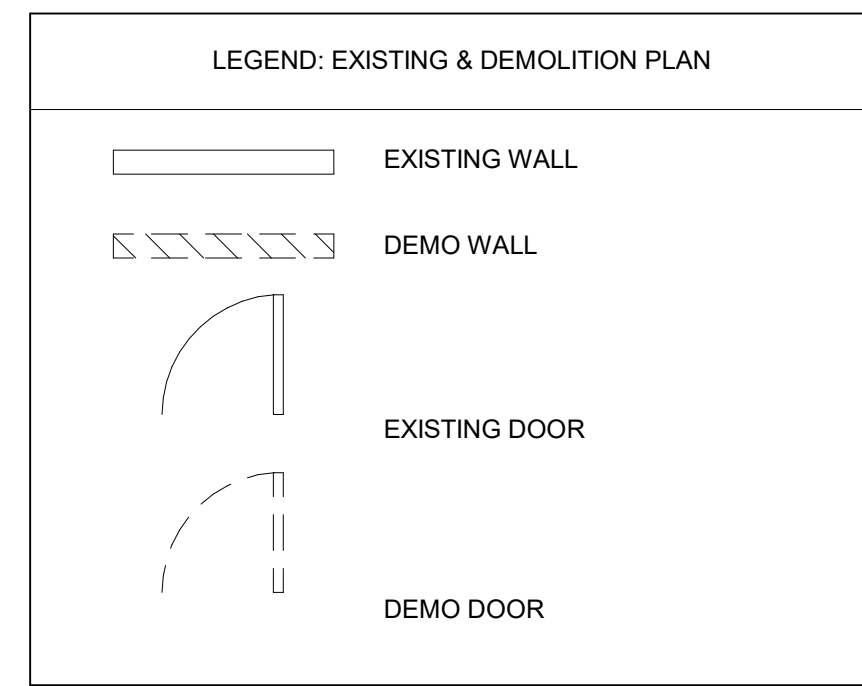
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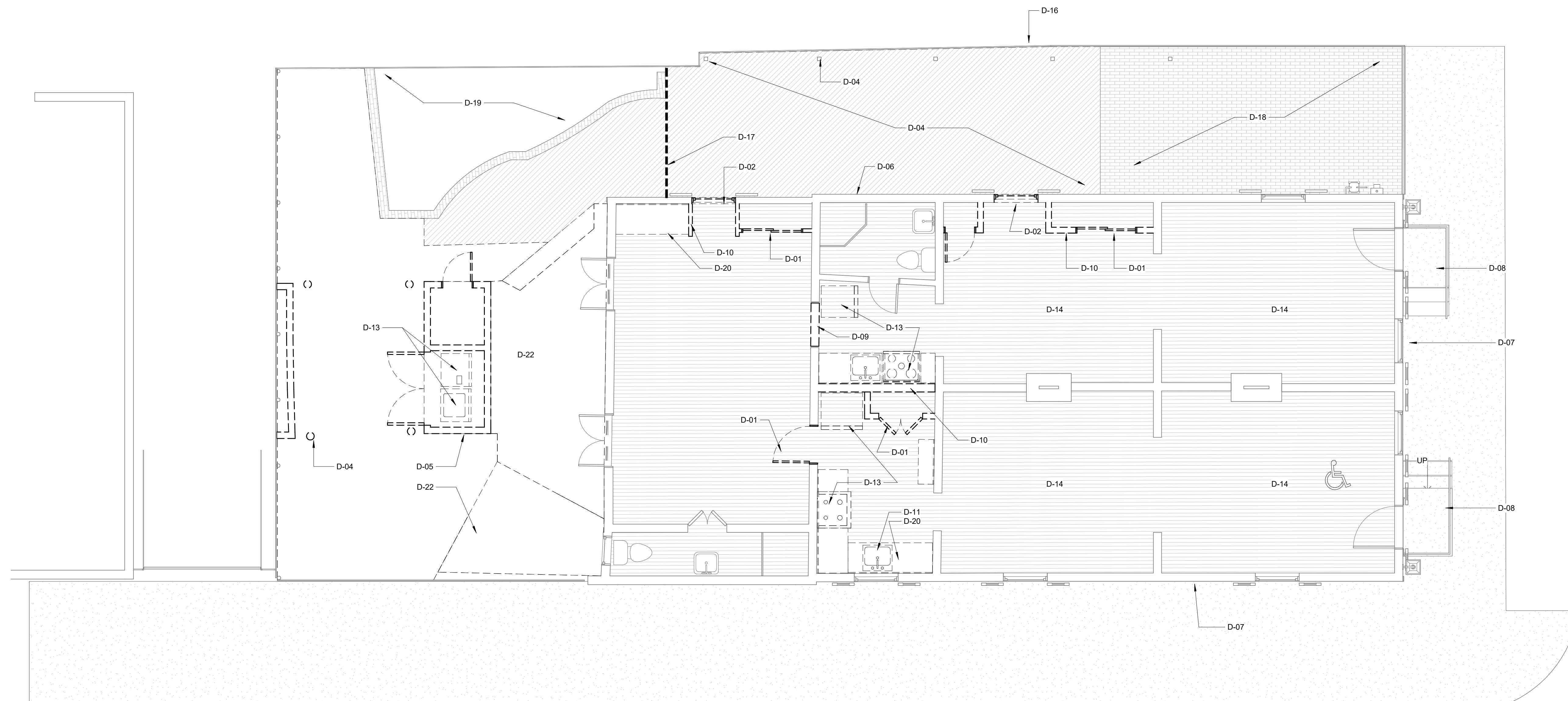
SHEET - KEYNOTES

Key Value	Keynote Text
D-01	REMOVE EXIST. DOOR AT THIS LOCATION; PREPARE OPENING FOR INFILL AS REQ'D., TYP.
D-02	REMOVE EXIST. WINDOW AT THIS LOCATION; PREPARE OPENING FOR INFILL AS REQ'D. RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION AS PER PROPOSED PLANS; RE: WINDOW SCHEDULE.
D-04	REMOVE EXIST. COLUMNS AND DRIVE THIS AREA.
D-05	REMOVE EXIST. WALL; PREPARE FOR NEW CONSTRUCTION AS PER PROPOSED PLANS.
D-06	REMOVE EXIST. SIDING & TRIM AS REQ'D FOR NEW WORK.
D-07	EXIST. FACADE TO REMAIN. NEW PAINT AT EXT. TYP.
D-08	EXISTING CONCRETE STEPS / RAILINGS TO REMAIN
D-09	REMOVE EXIST. INT. WALL FRAMING AS REQ'D FOR NEW OPENING; RE: NEW PLANS.
D-10	REMOVE EXIST. INT. WALLS AS INDICATED BY HATCH, TYP.
D-11	REMOVE EXIST. PLUMBING FIXTURE. CAP PLUMBING AS REQ'D.
D-13	REMOVE EXIST. APPLIANCES; RETURN TO OWNER FOR DISPOSAL / RE-SALE
D-14	EXISTING LIGHT FIXTURES TO REMAIN THIS AREA
D-16	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
D-17	REMOVE EXIST. FENCE GATE.
D-18	EXIST. PAVERS TO REMAIN THIS AREA.
D-19	EXISTING POND TO REMAIN. CREATE PLANTER AT EXISTING POND WITH NEW BRICK PARTITION WALL, PER NEW PLANS.
D-20	REMOVE EXIST. KITCHEN CABINETS & APPLIANCES
D-22	REMOVE EXISTING WOOD DECK.

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No.	Description	Date

DEMO PLAN - FIRST FLOOR

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	LS
Checked by	ZS

D101

1 DEMOLITION PLAN - FIRST FLOOR
1/4" = 1'-0"

SHEET - KEYNOTES	
Key Value	Keynote Text

NOT FOR CONSTRUCTION



① EXISTING ELEVATION - FRONT
1/4" = 1'-0"



② EXISTING ELEVATION - LEFT
1/4" = 1'-0"

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No.	Description	Date

DEMO/EXISTING ELEVATIONS

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

D201

SHEET - KEYNOTES	
Key Value	Keynote Text

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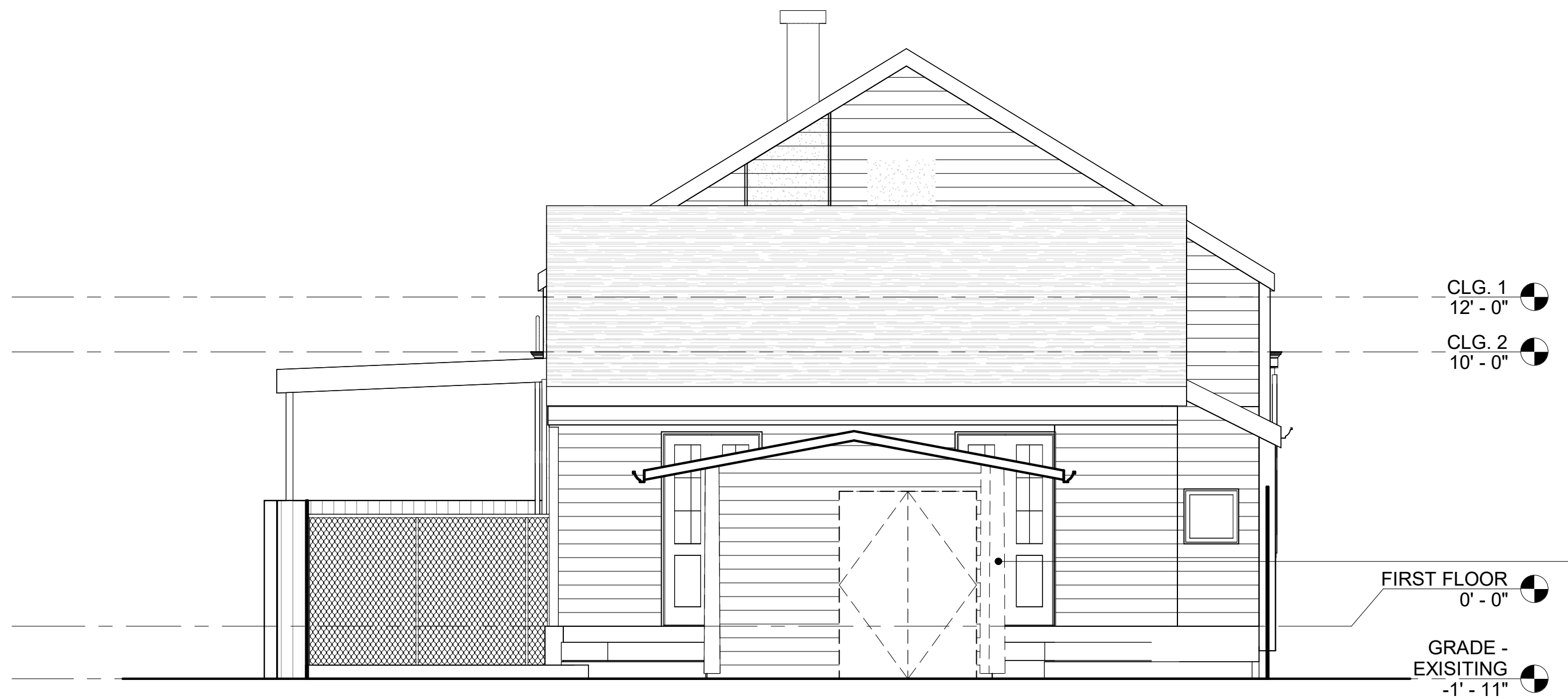
1000 Elysian Fields
New Orleans, LA 70117

No.	Description	Date

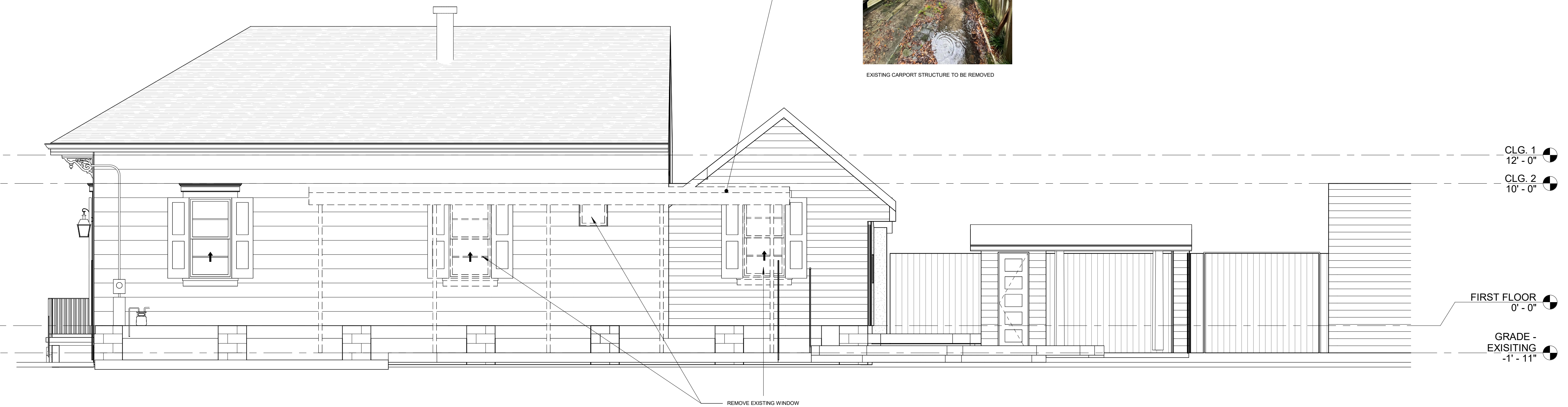
DEMO/EXISTING ELEVATIONS

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

D202



② EXISTING ELEVATION - REAR
1/4" = 1'-0"



① EXISTING ELEVATION - RIGHT
1/4" = 1'-0"

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No.	Description	Date

PROPOSED PLAN - FIRST FLOOR

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	LS
Checked by	ZS

A102

LEGEND: CONSTRUCTION PLAN

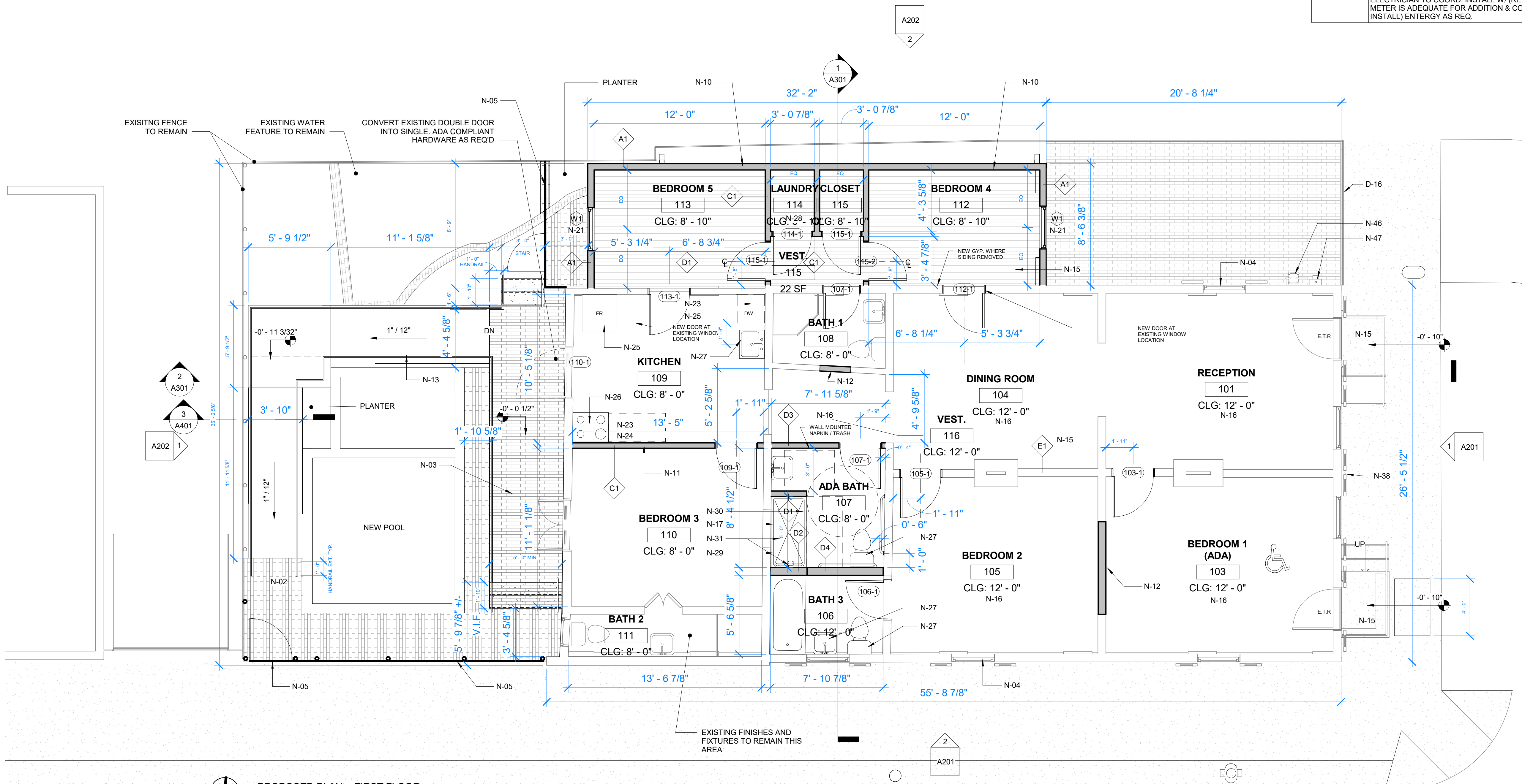
	EXISTING WALL
	NEW WALL
	NEW DOOR
	EXISTING DOOR
	NEW THRESHOLD

SHEET - KEYNOTES

Key Value	Keynote Text
D-16	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
N-02	NEW ADA COMPLIANT PERVIOUS PAVERS
N-03	NEW BRICK PORCH. COORDINATE SELECTION WITH OWNER. RE: STRUCT. FOR FOUNDATION DETAILS.
N-04	EXIST. DOOR / WINDOW TO REMAIN. REPAIR AS REQ. FOR PROPER FUNCTION. WEATHERPROOF & PAINT TO MATCH NEW, TYP.
N-05	NEW 7'-0" TALL VERT. PTL. WOOD SWING GATE; COORD. HARDWARE W/ OWNER AND APPROVAL WITH HDLC. RE: DTL. 4&5/A401.
N-10	NEW EXT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-11	NEW INT. WALL, TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-12	NEW WALL INFILL AT THIS LOCATION TO MATCH EXIST IN THICKNESS & FINISH.
N-13	NEW BRICK ADA ACCESSIBLE RAMP WITH METAL HANDRAILS TO MATCH EXISTING. RE: STRUCTURAL. RE: DTL. 3/A401
N-15	NEW HARDWOOD FLOORING TO MATCH EXIST. REUSE SALVAGED EXIST. HARDWOOD FLOORS WHERE POSSIBLE. RE: DEMO PLAN / ROOM SCHED.
N-16	EXISTING HARDWOOD FLOORS TO REMAIN. REFINISH, REPAIR, RESEAL AS REQ'D.
N-17	NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED.
N-21	NEW WINDOW TO MATCH EXIST. STYLE, TYP. PER TAG; RE: WINDOW SCHED.

SHEET - KEYNOTES

Key Value	Keynote Text
N-23	NEW COUNTERTOP AT THIS LOCATION; GC TO COORD. SELECTION W/ OWNER & VENDOR AS REQ.
N-24	NEW MILLWORK/CABINETS AT THIS LOCATION; GC TO COORD. SELECTIONS W/ OWNER & VENDOR AS REQ.
N-25	NEW APPLIANCES AT THIS LOCATION; GC TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-26	NEW RANGE / EXHAUST HOOD AT THIS LOCATION; GC TO SIZE HOOD PER EXHAUST LOAD OF RANGE; COORD. SELECTION W/ OWNER.
N-27	NEW PLUMBING FIXTURES, AT THIS ROOM (LOCATION); GC & PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-28	NEW STACK WASHER & NEW GAS DRYER AT THIS LOCATION; GC & PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-29	NEW WALL TILE TO CEILING; GC TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-30	NEW SHOWER ROD AND CURTAIN. COORDINATE SELECTION WITH OWNER.
N-31	NEW ADA 30" X 60" ROLL IN SHOWER W/ MIXING VALVE AND HAND-HELD SHOWER AND SLIDE BAR. PROVIDE BLOCKING FOR GRAB BARS MOUNTED PER ADA REQUIREMENTS.
N-38	EXIST. SIDING TO REMAIN; CLEAN, REPAIR & PAINT AS REQ'D.
N-46	EXIST. LOCATION OF GAS METER; PLUMBER TO COORD. INSTALL W/ ENTERGY AS REQ.
N-47	EXIST. LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL W/ (REVIEW EXIST. METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL) ENTERGY AS REQ.



PROPOSED PLAN - FIRST FLOOR
1/4" = 1'-0"



1 PROPOSED ELEVATION - FRONT
1/4" = 1'-0"

SHEET - KEYNOTES	
Key Value	Keynote Text
D-16	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
N-04	EXIST. DOOR / WINDOW TO REMAIN. REPAIR AS REQ. FOR PROPER FUNCTION. WEATHERPROOF & PAINT TO MATCH NEW, TYP.
N-05	NEW 7'-0" TALL VERT. PTL WOOD SWING GATE. COORD. HARDWARE W/ OWNER AND APPROVAL WITH HDLC. RE: DTL 485/A401.
N-06	NEW ALUMINUM HALF-ROUND GUTTERS CONNECTED TO CIRCULAR D.S. BELOW TO MATCH EXISTING, TYP. PROVIDE SPLASH BLOCKS AS REQ'D.
N-07	NEW METAL ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE: STRUC. FOR SHEATHING SIZE. COORDINATE APPROVAL WITH HDLC. RE: DTL 2/A401
N-08	EXISTING SHINGLE ROOF TO REMAIN. REPAIR AS REQ'D.
N-14	EXIST. CONCRETE PORCH. AND STEPS TO REMAIN. CLEAN AS REQ'D.
N-21	NEW WINDOW TO MATCH EXIST. STYLE, TYP. PER TAG, RE: WINDOW SCHED.
N-38	EXIST. SIDING TO REMAIN; CLEAN, REPAIR & PAINT AS REQ'D.
N-39	NEW FOUNDATION. RE: STRUC.

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2 PROPOSED ELEVATION - LEFT
1/4" = 1'-0"

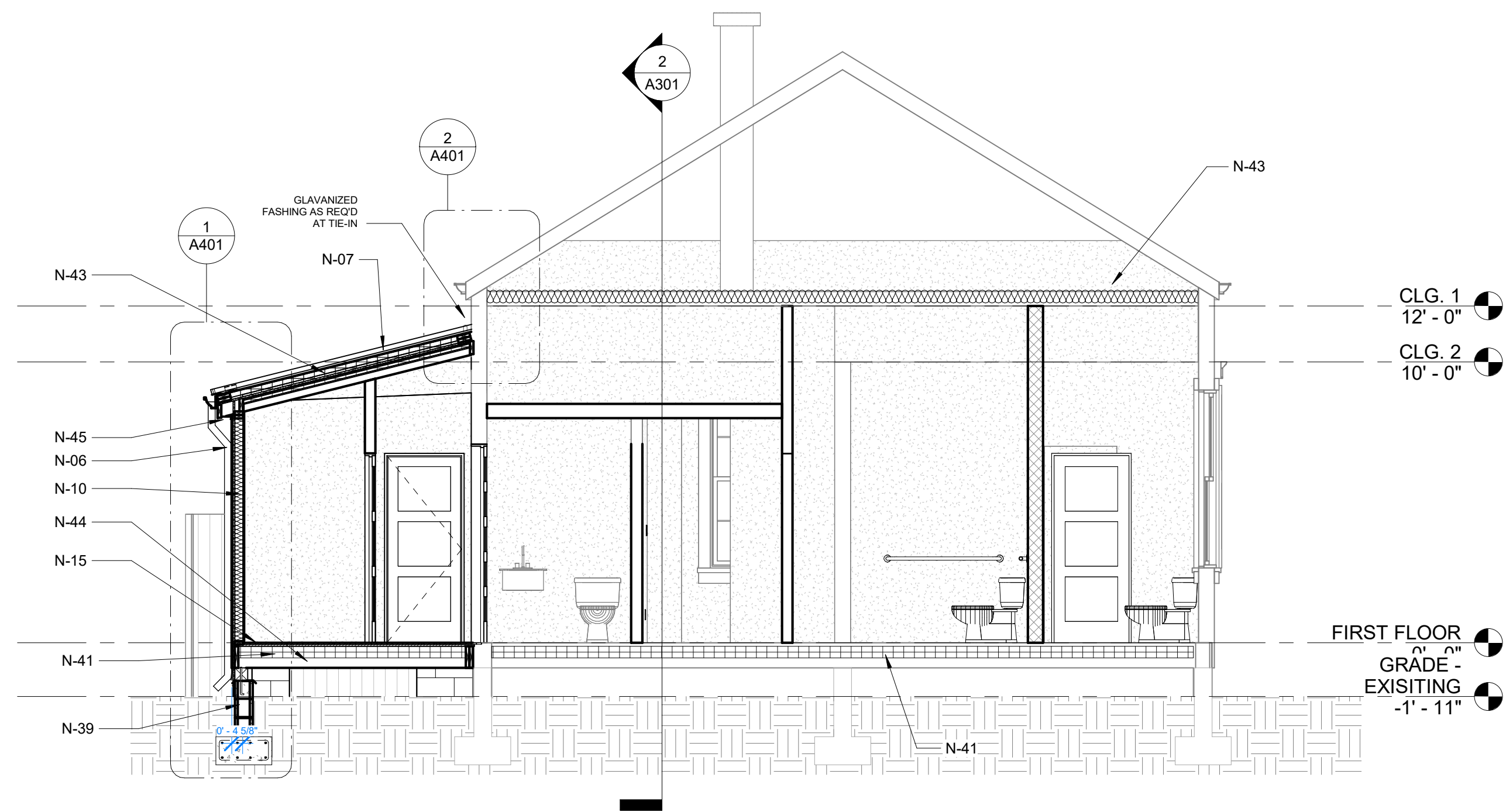
1000 Elysian Fields
New Orleans, LA 70117

No.	Description	Date

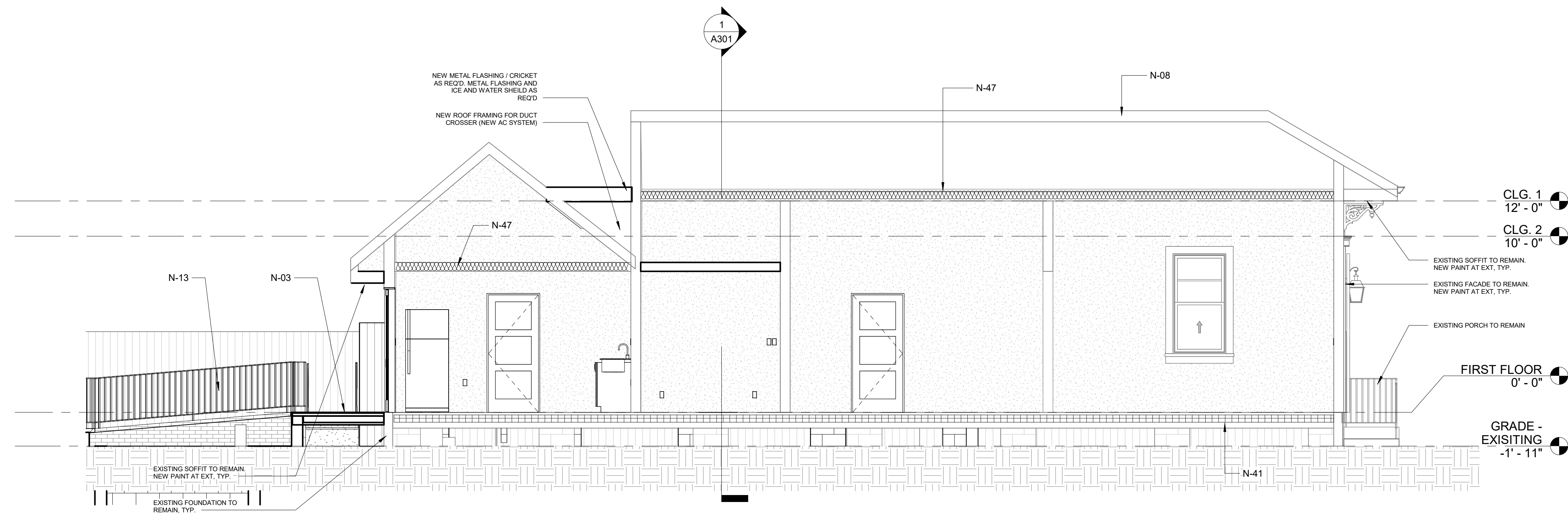
PROPOSED ELEVATIONS

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

A201



1 PROPOSED BUILDING SECTION - LATITUDINAL
1/4" = 1'-0"



2 PROPOSED BUILDING SECTION - LONGITUDINAL
1/4" = 1'-0"

SHEET - KEYNOTES	
Key Value	Keynote Text
N-03	NEW BRICK PORCH. COORDINATE SELECTION WITH OWNER. RE: STRUCT. FOR FOUNDATION DETAILS.
N-06	NEW ALUMINUM HALF-ROUND GUTTERS CONNECTED TO CIRCULAR D.S. BELOW TO MATCH EXISTING. TYP. PROVIDE SPLASH BLOCKS AS REQ'D.
N-07	NEW METAL ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE: STRUC. FOR SHEATHING SIZE. COORDINATE APPROVAL WITH HDLC. RE: DTL. 2/A401
N-08	EXISTING SHINGLE ROOF TO REMAIN. REPAIR AS REQ'D.
N-10	NEW EXT. WALL. TYP. PER TAG; RE: WALL SCHED. & STRUC.
N-13	NEW BRICK ADA ACCESSIBLE RAMP WITH METAL HANDRAILS TO MATCH EXISTING. RE: STRUCTURAL. RE: DTL. 3/A401
N-15	NEW HARDWOOD FLOORING TO MATCH EXIST. REUSE SALVAGED EXIST. HARDWOOD FLOORS WHERE POSSIBLE; RE: DEMO PLAN / ROOM SCHED.
N-39	NEW FOUNDATION. RE: STRUC.
N-41	R-13 CLOSED CELL INSUL. AT FLOOR JOIST. TYP.
N-43	R-30 BATT INSULATION AT CLG. TYP.
N-44	NEW 2X FLOOR, WALL, & CLG. FRAMING. TYP.; RE: STRUC.
N-45	NEW RATED SOFFIT / OVERHANG AT THIS LOCATION; RE: DTL. A/A401
N-47	EXIST. LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL W/ (REVIEW EXIST. METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL) ENTERGY AS REQ.

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New Orleans, LA 70117

No.	Description	Date

BUILDING SECTIONS

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

A301

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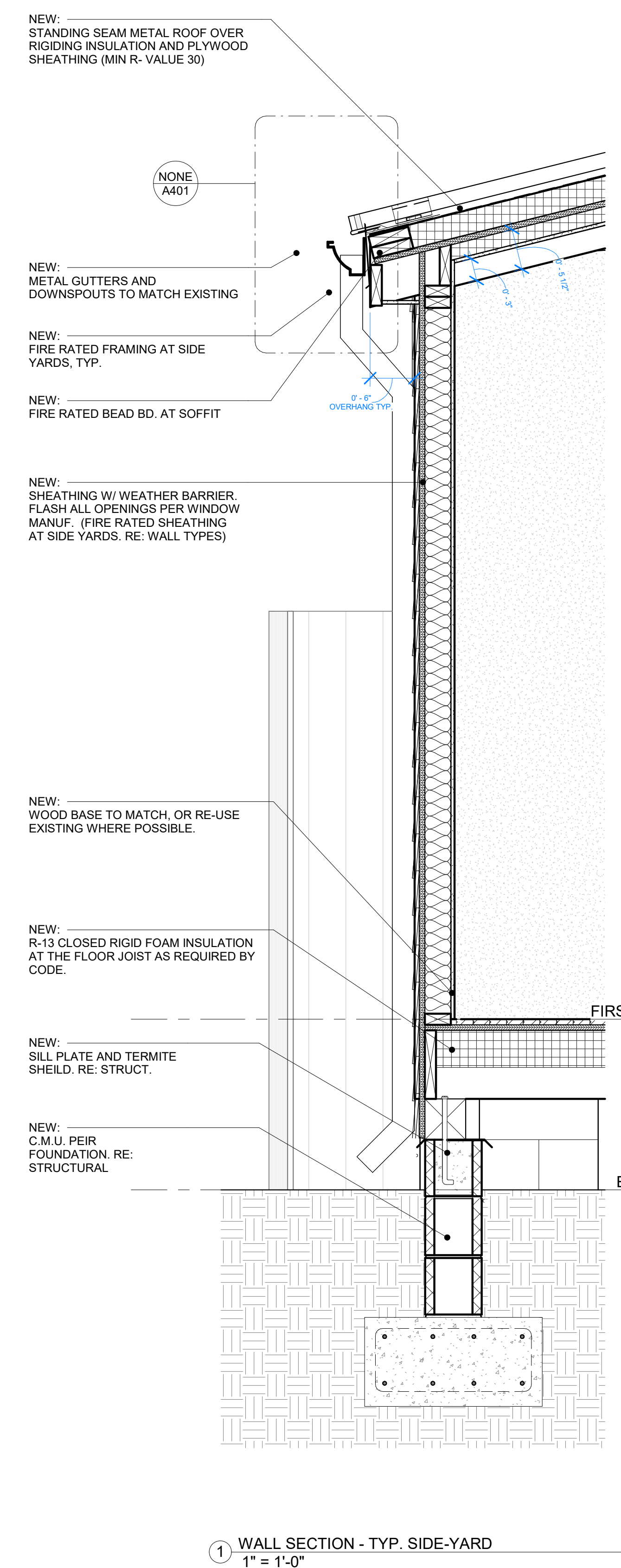
1000 Elysian Fields
New Orleans, LA 70117

WALL SECTIONS / DETAILS

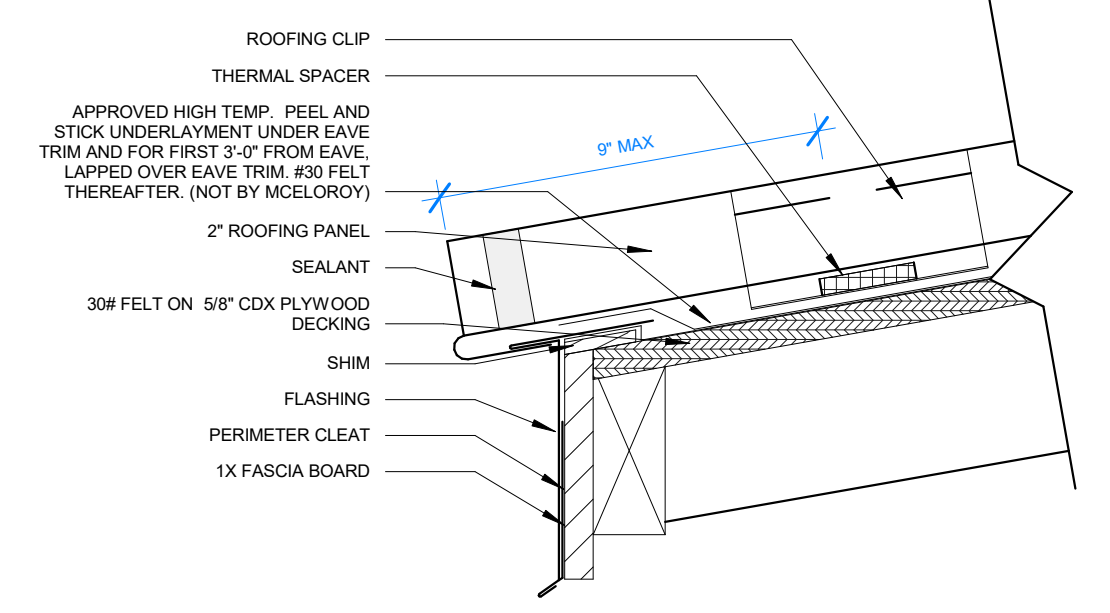
No.	Description	Date

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

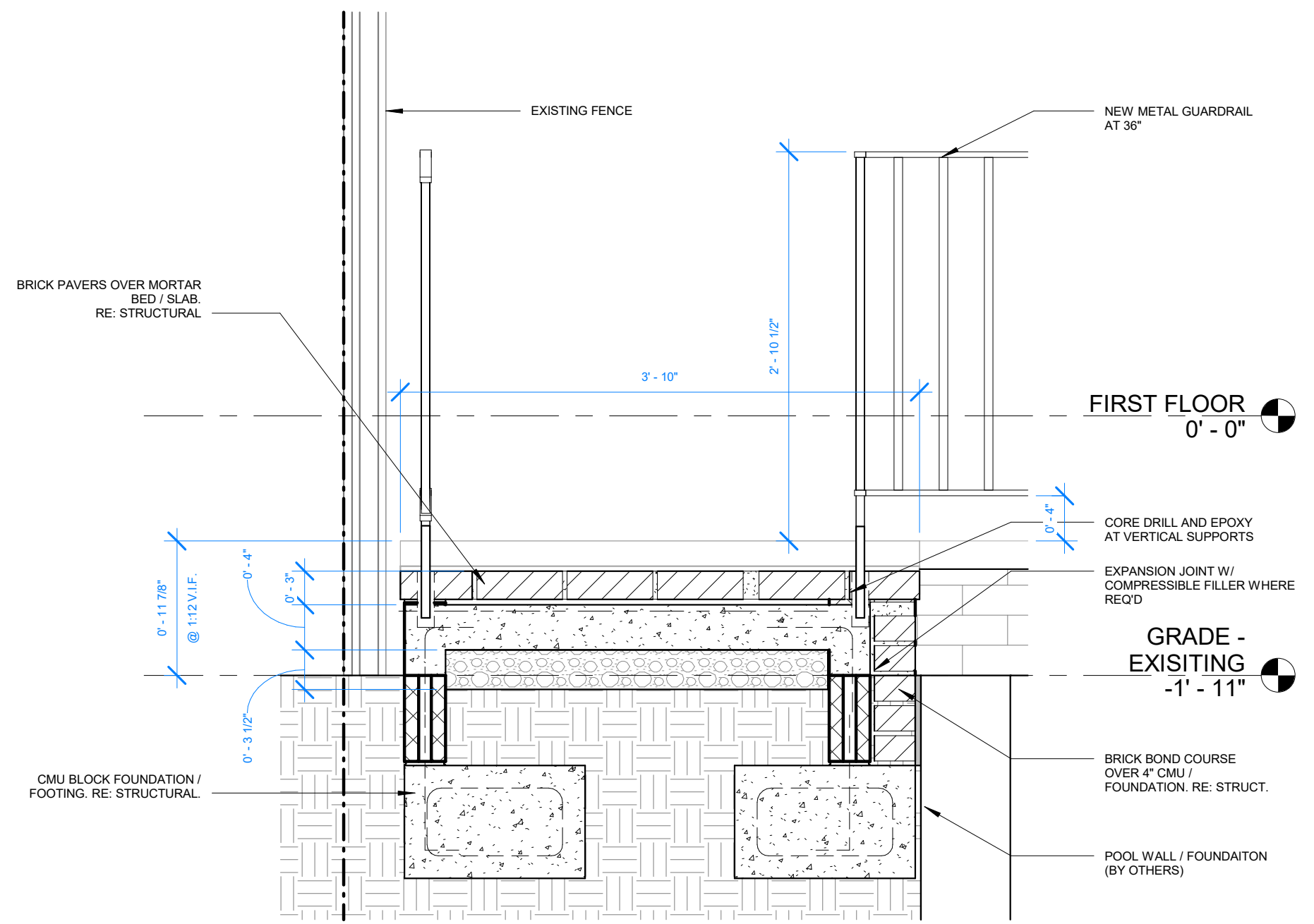
A401



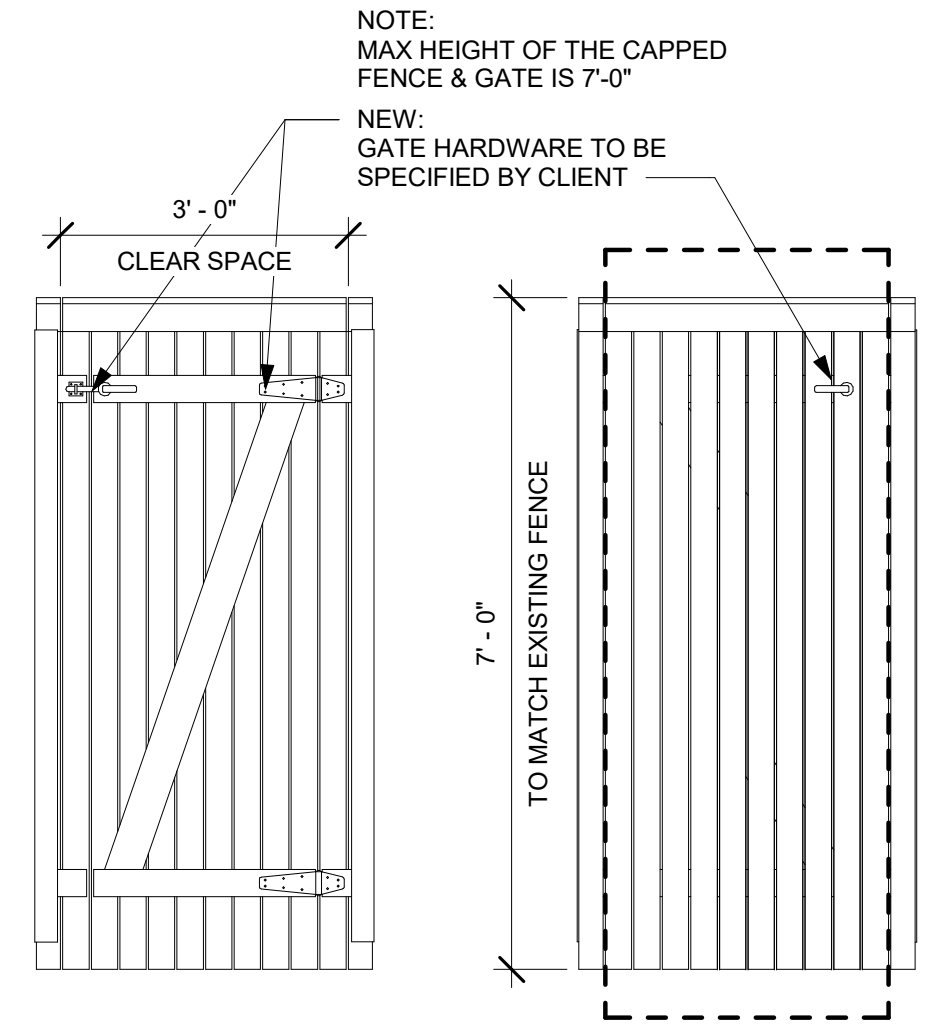
1 WALL SECTION - TYP. SIDE-YARD
1" = 1'-0"



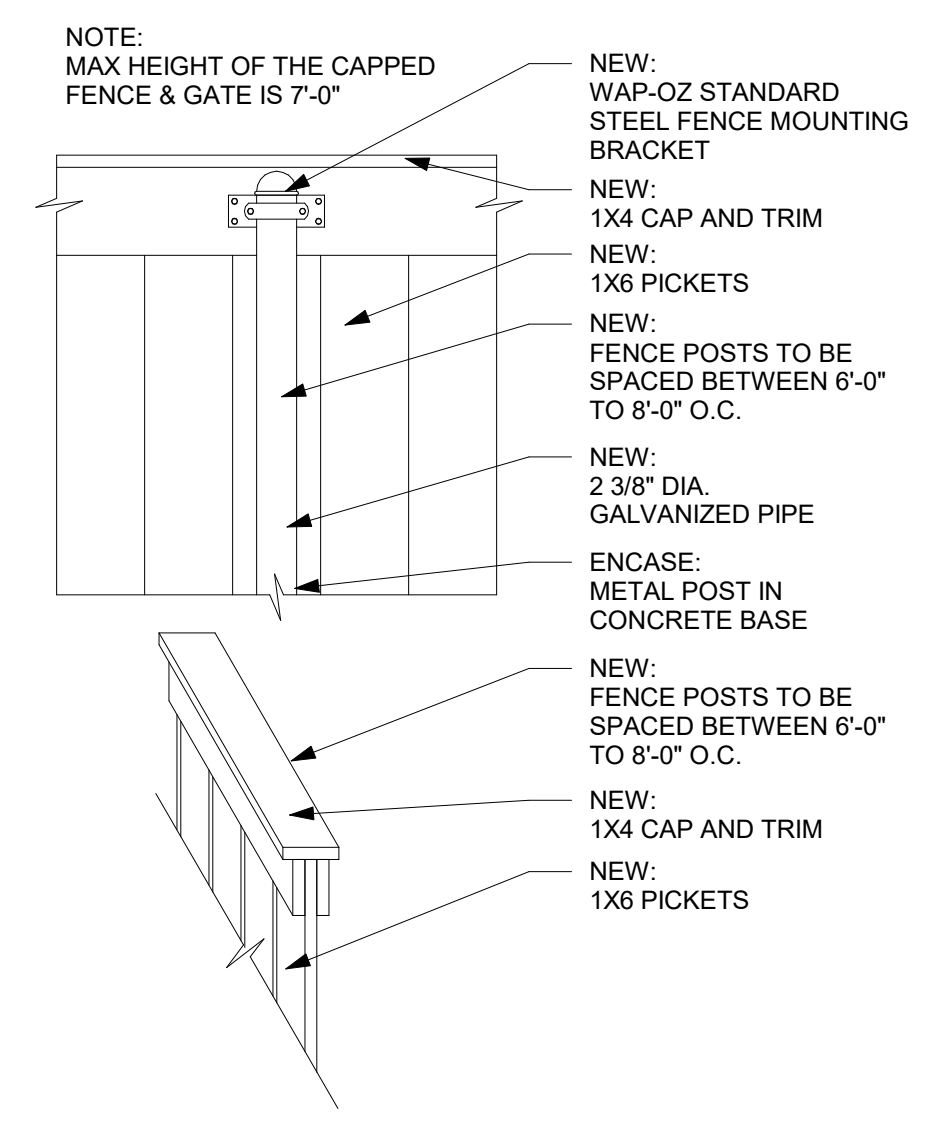
2 METAL ROOFING EAVE DRIP DETAIL



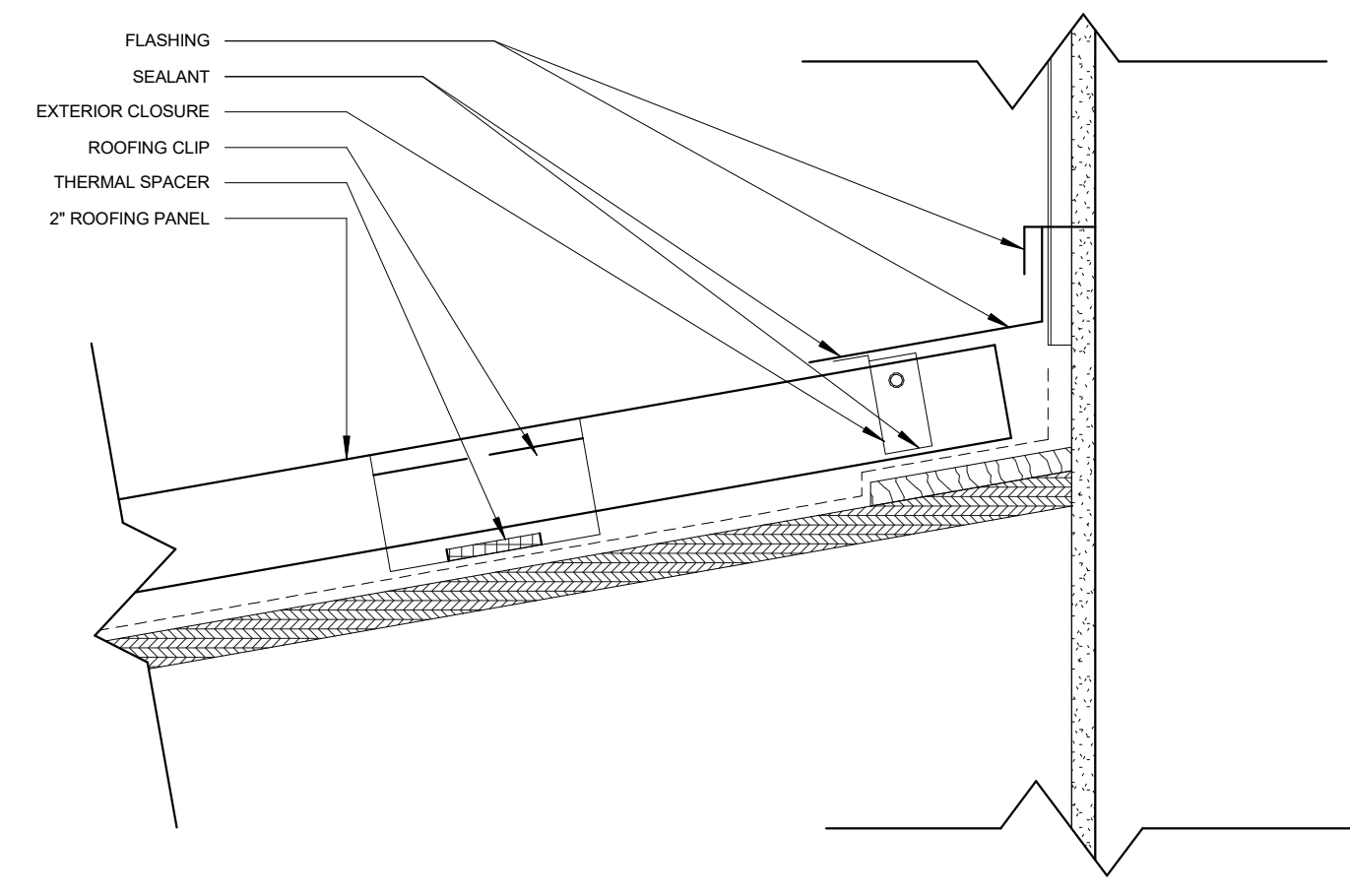
3 SECTION DETAIL - RAMP



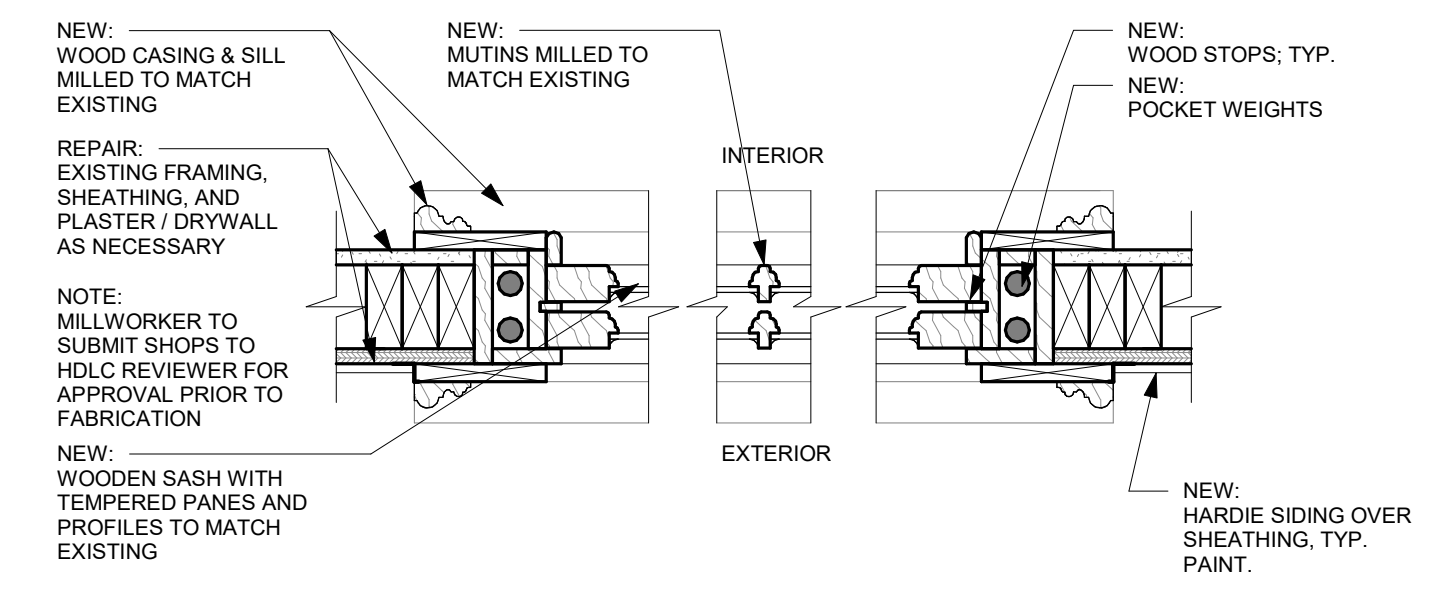
4 DETAIL - WOOD GATE - VERT.



5 DETAIL - WOOD FENCE - VERT.

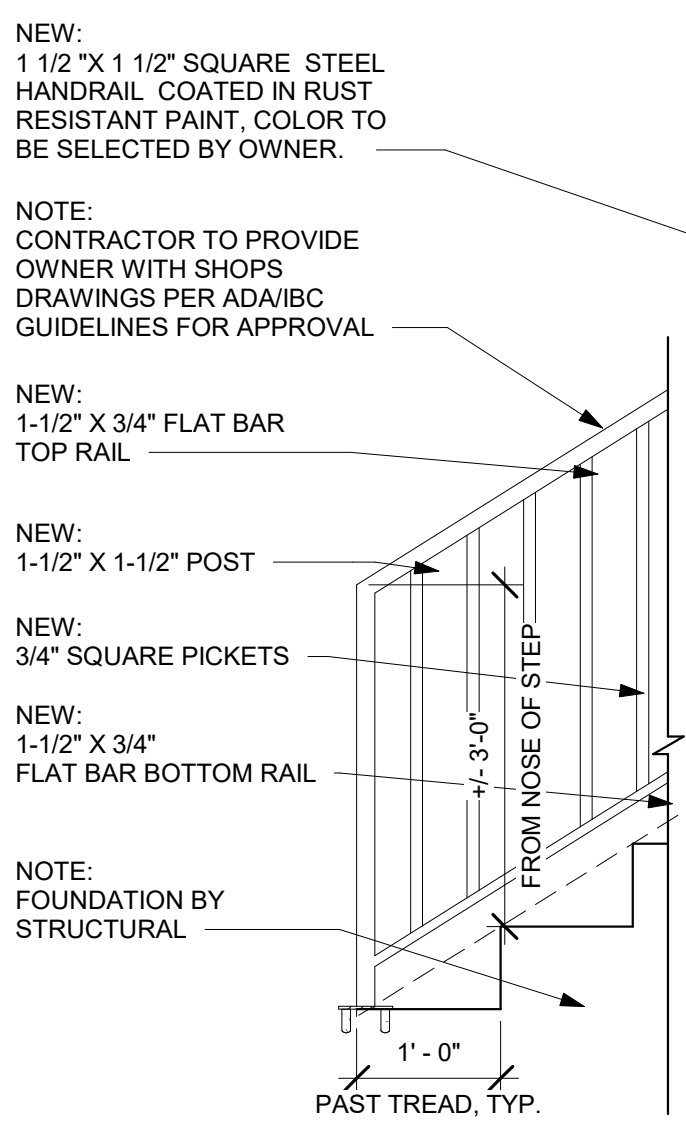


6 WINDOW DETAIL-VERTICAL WOOD WINDOW SECTION



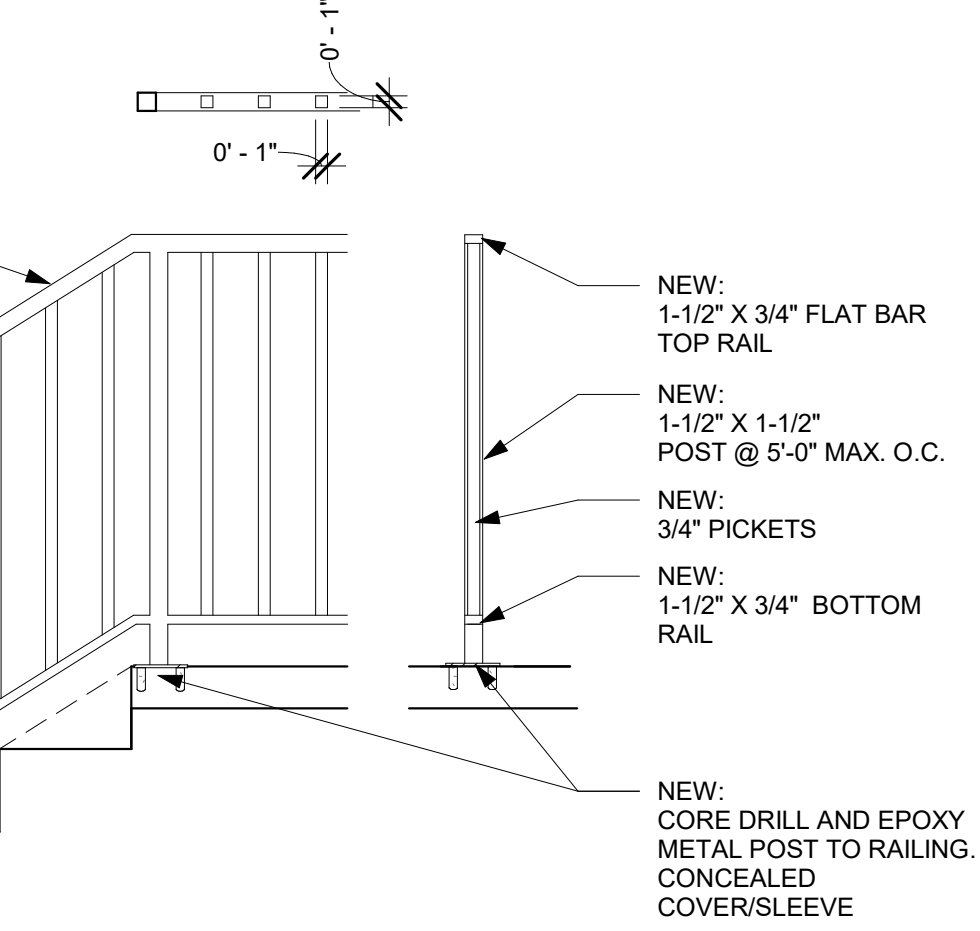
7 WINDOW DETAIL - HORZ. WOOD WINDOW SECTION

8 HEAD DETAIL - TYP. INT.



10 DETAIL - METAL HANDRAIL

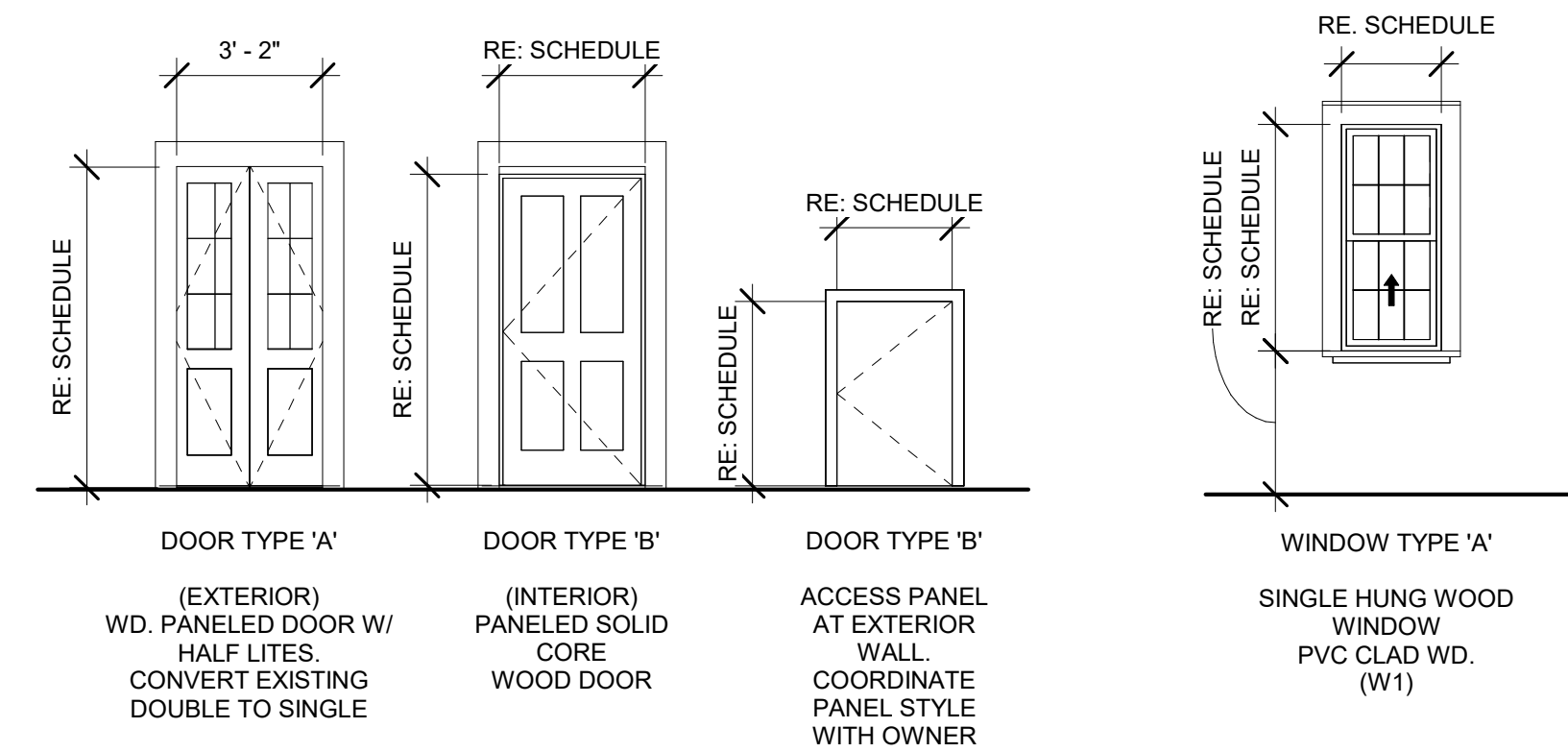
9 JAMB DETAIL - TYP. INT.



NEW: 1-1/2" X 3/4" FLAT BAR TOP RAIL
NEW: 1-1/2" X 1-1/2" POST @ 5'-0" MAX. O.C.
NEW: 3/4" PICKETS
NEW: 1-1/2" X 3/4" BOTTOM RAIL
NEW: CORE DRILL AND EPOXY METAL POST TO RAILING. CONCEALED COVER/SLEEVE

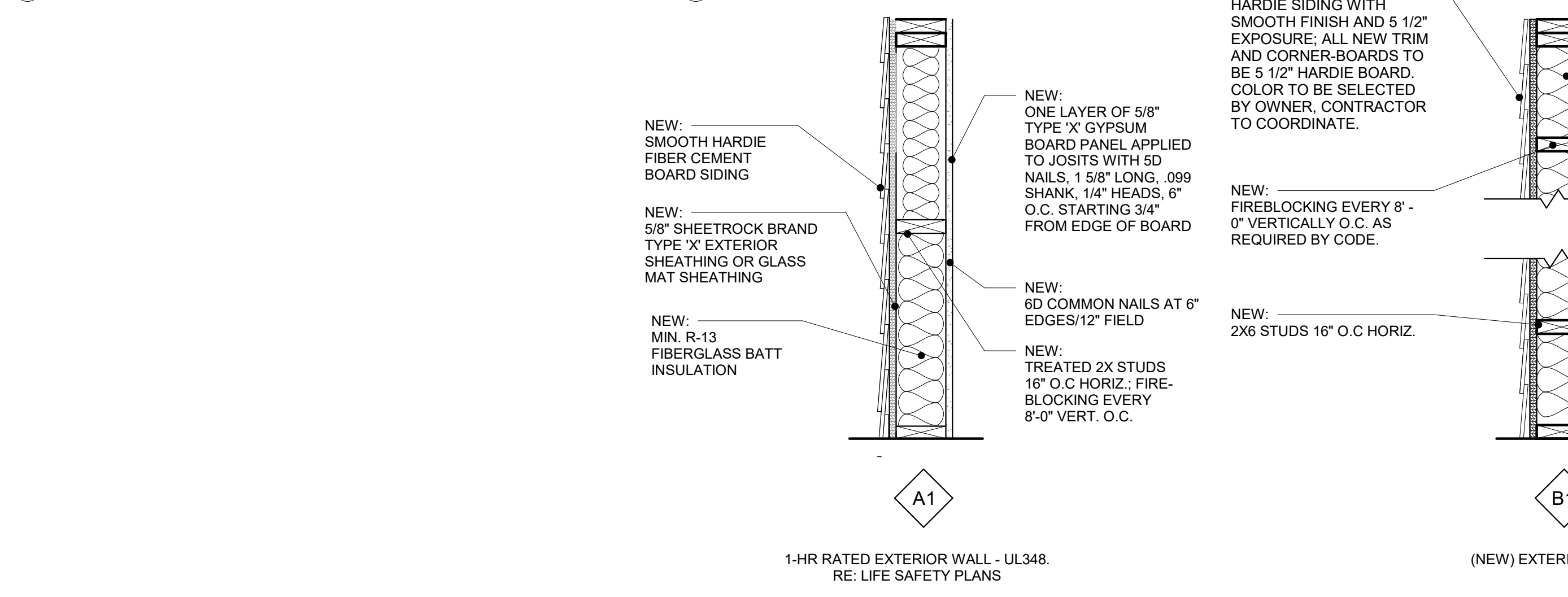
DOOR SCHEDULE									
DOOR TAG	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	EXT. TRIM	INT. TRIM	COUNT	REMARKS	
000-1	C	2' - 6"	4' - 0"	WD.	WD.	WD.	1	ATTIC ACCESS PANEL AT EXTERIOR WALL. COORDINATE SELECTION WITH OWNER.	
103-1	B	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTOMATIC CLOSER AS REQ'D.	
105-1	B	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTOMATIC CLOSER AS REQ'D.	
106-1	B	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.	
107-1	B	2' - 6"	7' - 0"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.	
107-1	B	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTOMATIC CLOSER AS REQ'D.	
109-1	B	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTOMATIC CLOSER AS REQ'D.	
110-1	A	3' - 6"	7' - 0"	WD.	WD.	WD.	1	RE-USE EXISTING DOOR PANELS AND INSTALL AS SINGLE DOOR. NEW ADA COMPLIANT HARDWARE AS REQ'D. COORDINATE SELECTION WITH OWNER.	
112-1	B	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTOMATIC CLOSER AS REQ'D.	
113-1	B	2' - 10"	6' - 8"	WD.	WD.	WD.	1	(20 MIN. RATED) NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. PROVIDE ADA COMPLIANT DOOR HARDWARE AS REQ'D COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER. AUTOMATIC CLOSER AS REQ'D.	
114-1	B	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.	
115-1	B	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.	
115-1	B	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.	
115-2	B	2' - 8"	6' - 8"	WD.	WD.	WD.	1	NEW INTERIOR 4 PANEL WD. DOOR TO MATCH EXISTING. COORDINATE DOOR AND HARDWARE SELECTION WITH OWNER.	
Grand total: 14									

WINDOW SCHEDULE											
WDW TYPE	WDW TAG	WIDTH	HEIGHT	SILL	HEADER	WINDOW MAT.	GLAZIN G	EXT. TRIM	INT. TRIM	COUNT	REMARKS
A	W1	3' - 0"	5' - 0"	2' - 6"	7' - 6"	WD.	1/4"	WD.	WD.	2	NEW VINYL CLAD WOOD WINDOW W/ TRUE DIVIDED LIGHT. COORDINATE SELECTION WITH OWNER AND APPROVAL WITH HDLC.
Grand total: 2											



DOOR TYPES

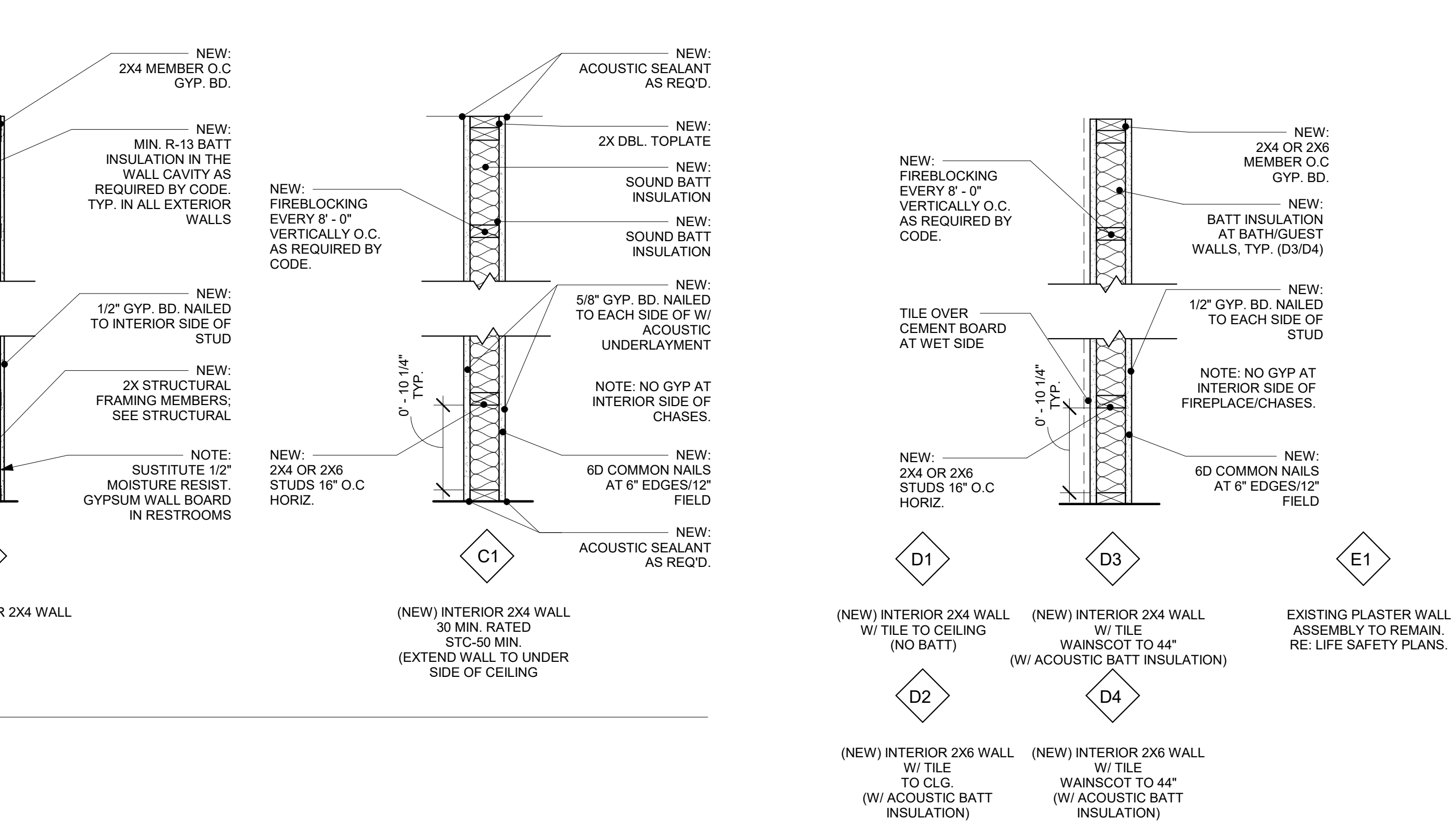
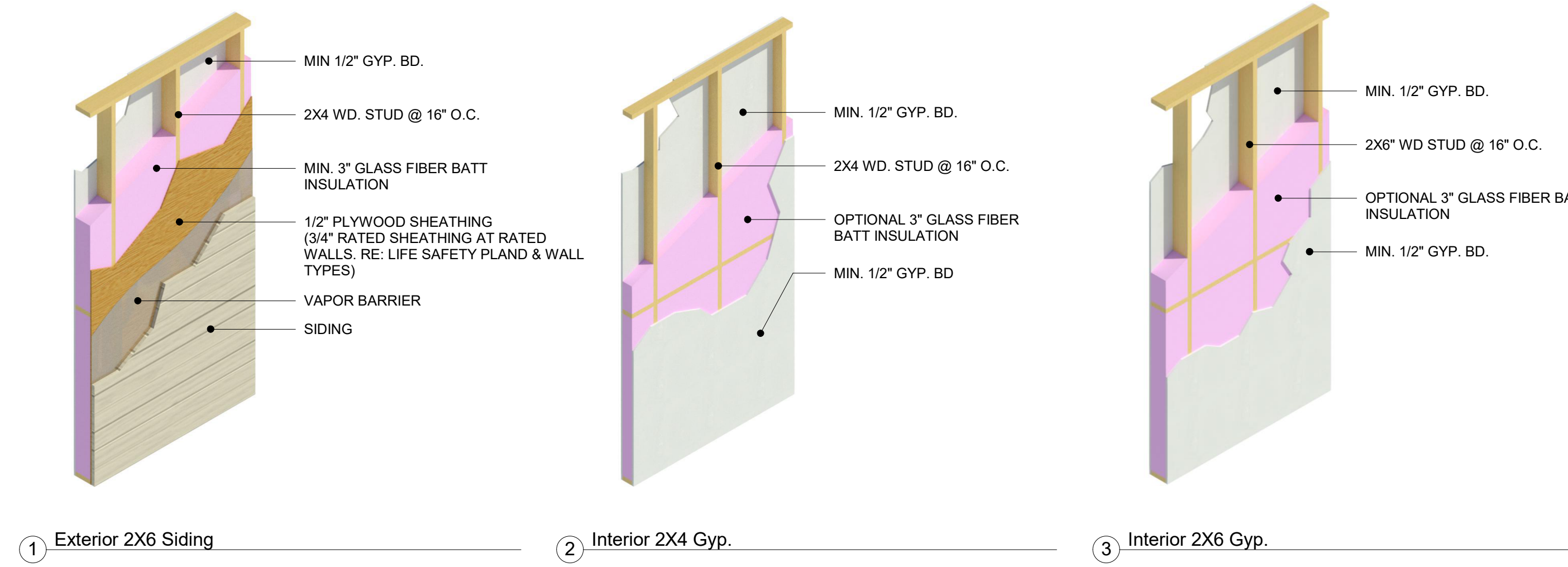
WINDOW TYPES



WALL TYPES

1" = 1'-0"

ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	AREA	CEILING HT.	FLOOR	BASE	WALLS	CROWN	CEILING	REMARKS
101	RECEPTION	195 SF	12' - 0"	EX. WD.	EX. WD.	E. PLSTR. / WP-1	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN. REPAIR/PATCH WHERE EXISTING WALLS ARE REMOVED.
103	BEDROOM 1 (ADA)	196 SF	12' - 0"	EX. WD.	EX/NEW WD.	E. PLSTR. / WP-2	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN. REPAIR/PATCH WHERE EXISTING WALLS ARE REMOVED.
104	DINING ROOM	175 SF	12' - 0"	EX. WD.	EX. WD.	E. PLSTR. / WP-1	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN. REPAIR/PATCH WHERE EXISTING WALLS ARE REMOVED.
105	BEDROOM 2	177 SF	12' - 0"	EX. WD.	EX/NEW WD.	E. PLSTR. / WP-2	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN. REPAIR/PATCH WHERE EXISTING WALLS ARE REMOVED.
106	BATH 3	44 SF	12' - 0"	EX. WD.	EX. WD.	WP-3	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN. REPAIR/PATCH WHERE EXISTING WALLS ARE REMOVED.
107	ADA BATH	66 SF	8' - 0"	EX. WD.	EX. WD.	WP-1	T.B.D.	NEW GYP. / CP-1	DROPPED CLG. AS REQ'D FOR MECH.
108	BATH 1	40 SF	8' - 0"	EX. WD.	EX. WD.	WP-3	T.B.D.	NEW GYP. / CP-1	DROPPED CLG. AS REQ'D FOR MECH.
109	KITCHEN	141 SF	8' - 0"	EX. WD.	EX/NEW WD.	WP-1	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN. REPAIR/PATCH WHERE EXISTING WALLS ARE REMOVED.
110	BEDROOM 3	149 SF	8' - 0"	EX. WD.	EX/NEW WD.	E. PLSTR. / WP-2	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN.
111	BATH 2	40 SF	8' - 0"	EX. WD.	EX. WD.	WP-3	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN.
112	BEDROOM 4	97 SF	8' - 10"	NEW WD.	WD. TO MATCH	GYP. / WP-2	T.B.D.	GYP. / CP-1	NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG. TYP. COORDINATE TRIM AND FINISH SELECTION WITH OWNER.
113	BEDROOM 5	100 SF	8' - 10"	NEW WD.	WD. TO MATCH	GYP. / WP-2	T.B.D.	GYP. / CP-1	NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG. TYP. COORDINATE TRIM AND FINISH SELECTION WITH OWNER.
114	LAUNDRY	13 SF	8' - 10"	NEW WD.	-	WP-1	T.B.D.	GYP. / CP-1	NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG. TYP. COORDINATE TRIM AND FINISH SELECTION WITH OWNER.
115	CLOSET	13 SF	8' - 10"	NEW WD.	-	GYP. / WP-1	T.B.D.	GYP. / CP-1	NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG. TYP. COORDINATE SHELVING WITH OWNER.
115	VEST.	22 SF	12' - 0"	NEW WD.	WD. TO MATCH	WP-1	T.B.D.	GYP. / CP-1	NEW BUILDING FOOTPRINT. NEW GYP. LEVEL 4 FINISH AT WALLS/CLG. TYP.
116	VEST.	41 SF	12' - 0"	NEW WD.	EX/NEW WD.	WP-1	T.B.D.	EX. PLSTR. / CP-1	EXISTING CLG. TO REMAIN.



NOT FOR CONSTRUCTION

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1000 Elysian Fields
New Orleans, LA 70117

No.	Description	Date

DOOR, WINDOW, WALL & FINISH SCHEDULES

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

A501

GENERAL NOTES: M.E.P. DIAGRAM

1. ELECTRICIAN SHALL:
 - A. COORDIANTE CAPACITY AND TYPE OF SWITCHES AND RECEPTACLES W/ CORRESPONDING CIRCUITS, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
 - B. CONCEAL ALL NEW AND EXISTING ELECTRICAL CIRCUITS THROUGHOUT.
 - C. PROVIDE LOW VOLTAGE RELAYS, AS REQUIRED, FOR ALL SWITCHES HAVING MORE THAN 1350 WATTS.
 - D. COORDINATE GANGING OF WALL PLATES FOR CLUSTERS OF SWITCHES AND RECEPTACLES, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
 - E. INSTALL RECEPTACLES AND OUTLETS IN A VERTICAL FASHION, UNLESS OTHERWISE NOTED.
 - F. PROVIDE PLATES AND DEVICES IN WHITE THROUGHOUT, UNLESS OTHERWISE NOTED.
 - G. PROVIDE SUBMITTALS FOR ALL PLATES & DEVICES AND ELECTRICAL FIXTURES FOR APPROVAL OF ARCHITECT & OWNER, PRIOR TO INSTALLATION.
 - H. PROVIDE ALL PLATES & DEVICES AND UNSPECIFIED ELECTRICAL FIXTURES.
 - I. PROVIDE POWER TO ALL MECHANICAL EQUIPMENT AND DEVICES AS REQUIRED.
3. MECHANICAL AND ELECTRICAL CONTRACTOR MUST CHECK OWNER'S PRESENT EQUIPMENT BEING RE-USED, EQUIPMENT SUBSTITUTED FOR SPECIFIED TYPE OR MANUFACTURER OR THAT EQUIPMENT MARKED (BY VENDOR) WHICH IS BEING SUPPLIED BY OTHERS SO THAT THE SERVICE REQUIREMENTS ARE CORRECTLY TYPED, ADEQUATELY SIZED, & ROUGHED IN PROPERLY (LOCATION, HEIGHT, & CONNECTION TYPE) SO AS TO MINIMIZE THE AMOUNT OF MATERIALS & FITTINGS NEEDED FOR FINAL HOOK UP RESULTING IN A NEAT AND ORDERLY LOOKING JOB.
4. ALL LABOR, SWITCHES, DISCONNECTS, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY TO COMPLY WITH ALL CODES, INCLUDING ALL INTERWIRING TO BE FURNISHED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE STATED.
5. ALL LABOR, VALVES, TRAPS, TAILPIECES, STRAINERS, PRESSURE REDUCING VALVES, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY COMPLY WITH ALL CODES, INCLUDING ALL INTERCONNECTIONS TO BE FURNISHED BY MECHANICAL CONTRACTOR UNLESS OTHERWISE STATED.
6. PRIOR TO PURCHASE OF EXTERIOR LIGHT FIXTURES, G.C. SHALL SUBMIT MANUFACTURERS TO HDLC & OWNER FOR APPROVAL.

MEP LEGEND AND GENERAL NOTES

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
GENERAL ELECTRICAL		MECHANICAL SYSTEMS	
	ELECTRICAL METER		EXHAUST FAN
	ELECTRICAL PANEL		EXHAUST FAN W/ LIGHT
	TRANSFER SWITCH		EXHAUST FAN W/ HEATER
	GAS METER		EXHAUST FAN W/ LIGHT & HEATER
ELECTRICAL RECEPTACLES			RADIANT IN-FLOOR WARMING MAT
	DUPLEX RECEPTACLE		RADIANT IN-FLOOR CONTROLS
	GFI DUPLEX RECEPTACLE		THERMOSTAT
	WET LOCATION RECEPTACLE		RETURN AIR GRILLE OR REGISTER AT WALL
	SWITCHED DUPLEX RECEPTACLE		SUPPLY AIR GRILLE OR REGISTER AT WALL
	DEDICATED APPLIANCE RECEPTACLE		RETURN AIR CHASE
	A/C DEDICATED APPLIANCE RECEPTACLE		SUPPLY AIR CHASE
	FLUSH MOUNTED FLOOR QUAD RECEPTACLE	PUMBING SYSTEMS	
ELECTRICAL SWITCHES			GAS LINE
	SWITCH		TANKLESS WATER HEATER
	THREE-WAY SWITCH		TANK WATER HEATER
	FOUR-WAY SWITCH		DEDICATED WATER LINE
	DIMMABLE SWITCH		HOSE BIB
	THREE-WAY DIMMABLE SWITCH		GARBAGE DISPOSAL
	JAMB SWITCH (DOOR ACTIVATED)	SECURITY SYSTEM	
ELECTRICAL FIXTURES			MOTION SENSOR PHOTOVOLTAIC FLOOD LIGHTS
	RECESSED CAN FIXTURE	MISCELLANEOUS SYSTEMS	
	RECESSED DIRECTIONAL CAN FIXTURE		DOOR BELL BUTTON
	RECESSED DAMP - RATED CAN FIXTURE		DOOR BELL CHIME
	RECESSED VAPOR PROOF CAN FIXTURE		GARAGE DOOR OPENER
	RECESSED WATER - RATED CAN FIXTURE		GARAGE DOOR REMOTE OPENER
	RECESSED SPOT CAN FIXTURE	FIRE & LIFE SAFETY SYSTEM	
	CEILING MOUNTED FIXTURE		HEAT DETECTOR
	WALL MOUNTED FIXTURE		SMOKE DETECTOR
	CHANDELIER/PENDANT		SMOKE & CO2 DETECTOR UNIT
	RECESSED FLOOR FIXTURE		TEMPERATURE SENSOR
	UNDER CABINET FIXTURE		CARBON MONOXIDE DETECTOR
	LIGHTING TRACK		FIRE EXTINGUISHER
	LINEAR FIXTURE		FIRE ALARM PULL SYSTEM
	CEILING FAN		EXIT SIGN W/ EMERGENCY LIGHTING
	CEILING FAN WITH LIGHTS		EXIT SIGN
GAS FIXTURES			EMERGENCY LIGHTING
	GAS CEILING MOUNTED FIXTURE	AUDIO & VISUAL SYSTEMS	
	GAS WALL MOUNTED FIXTURE		CABLE TELEVISION OUTLET/SOURCE
	GAS CHANDELIER/PENDANT		
AUDIO & VISUAL SYSTEMS			
	CABLE TELEVISION OUTLET/SOURCE		

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1000 Elysian Fields
New Orleans, LA 70117

No.	Description	Date

**M.E.P.
LEGEND &
NOTES**

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

A800

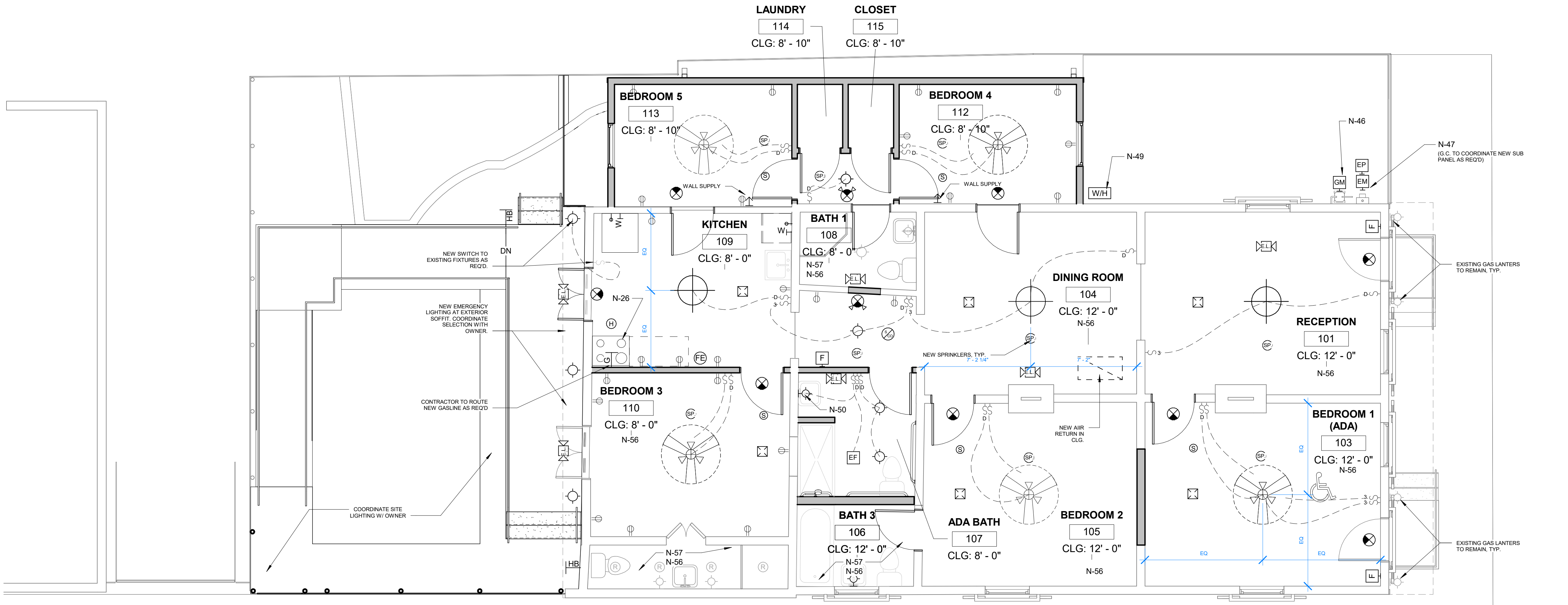
NOT FOR CONSTRUCTION

SHEET - KEYNOTES	
Key Value	Keynote Text
N-26	NEW RANGE / EXHAUST HOOD AT THIS LOCATION; GC TO SIZE HOOD PER EXHAUST LOAD OF RANGE; COORD. SELECTION W/ OWNER.
N-46	EXIST. LOCATION OF GAS METER; PLUMBER TO COORD. INSTALL W/ ENTERGY AS REQ.
N-47	EXIST. LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL W/ (REVIEW EXIST. METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL) ENTERGY AS REQ.
N-49	NEW TANKLESS GAS W.H. AT THIS LOCATION; PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE.
N-50	GC & ELECTRICIAN TO COORD. EXACT HEIGHT & PLACEMENT OF FIXTURE W/ OWNER.
N-56	EXISTING OUTLETS TO REMAIN THIS AREA. UPGRADE WIRING AS REQ'D PER IBC REQUIREMENTS. REMOVE/REPLACE ANY OBSOLETE ELECTRICAL WIRING AND EQUIPMENT.
N-57	EXISTING LIGHTING TO REMAIN THIS AREA. NEW EXHAUST VENTS AT BATHROOMS AS REQ'D.

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1 PROPOSED PLAN - FIRST FLOOR
1/4" = 1'-0"

No.	Description	Date

**FIRST FLOOR
M.E.P.
DIAGRAM**

Project name	1000 Elysian Hotel
Project number	-
Date	8/10/22
Drawn by	Author
Checked by	Checker

A801

Narrative for 1000 Elysian Fields Design Review

In the design for 1000 Elysian Fields Ave, full attention was taken to ensure compliance with the Comprehensive Zoning Requirements. In addition, consideration was made to ensure the property is harmonious with surrounding properties and neighborhoods, is consistent with the Master Plan, and promotes the general welfare of the City. Per the approval standards, the following have been considered:

1. Degree of conformity with the regulations of this Ordinance.

-The renovation of the existing building and the small addition is contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

-The renovation of the existing building and the small addition is contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:

- a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.

-This project maintains heights and setbacks that are consistent with the historical compatibility of the area.

- b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

-We have not proposed any site illumination that is directed towards adjacent properties or the ROWs surrounding.

4. Landscape and the arrangement of open space or natural features on the site shall:

- a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.

-This project does not affect negatively impact open space design features such as bike/running paths or outdoor relaxation spaces, as the repurposing of the existing structure does not encroach into any of these areas.

- b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.

-No trees are being removed, and the addition utilizes already covered, partially enclosed space.

c. Protect natural resources and landscape on adjacent sites.

-The addition utilizes already covered, partially enclosed space and does not disturb open space.

d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.

-The addition utilizes already covered, partially enclosed space and does not disturb open space.

e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.

-The addition utilizes already covered, partially enclosed space and does not disturb open space. We are adding landscaping to the project.

f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

-Appropriate fencing and screening is being proposed.

5. Circulation systems and off-street parking shall be designed to:

a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.

b. Minimize potentially dangerous traffic movements.

c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.

d. Minimize curb cuts by using cross-access servitudes and shared parking.

e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and internal circulation.

f. Clearly define pedestrian access from the parking area to the building(s). A clearly defined visible and identifiable network of pedestrian connections should be provided in and between parking lots, street sidewalks, open spaces, buildings, and public transit.

-For a-f, we are not altering the existing traffic flow and believe this project will have no deleterious effect on the adjacent location.

6. Building design that enhances the design quality and character of the surrounding community through strategies such as:

- a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.
- b. Providing a visible transition in height and bulk between higher and lower density development.
- c. Reinforcing the prevailing orientation to the street.
- d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.
- e. Respecting historic design context.

-For a-e, we are in a full control HDLC district. We know that the approval from HDLC will satisfy these requirements. Furthermore, as we are re-utilizing the existing structure and only providing an addition under an existing roofline, we know that this will meet the guidelines.



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000