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DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review Interim Zoning Districts Appeal Moratorium Appeal

Property Location 2126 MARAIS STREET NEW ORLEANS, LA 70116

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name Seamus McGuire

Applicant Address 2115 Magazine Street, STE B

City New Orleans State LA Zip 70130

Applicant Contact Number 504- Email seamus@cacadateam.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name Mark Waier

Property Owner Address 2126 Marais St

City New Orleans State LA Zip 70116

Property Owner Contact Number 310-600-5223 Email lawaiier12@gmail.com

PROJECT DESCRIPTION

RENOVATION AND NEW CONSTRUCTION OF A 3 UNIT HOTEL. NEW CONSTRUCTION OF A 2 STORY STRUCTURE IN THE REAR OF THE LOT, NEW SITE-WORK THROUGHOUT. RENOVATION OF EXISTING RESIDENTIAL UNITS INTO HOTEL ROOMS TO MEET LIFE-SAFETY REQUIREMENTS INCLUDING A SPRINKLER SYSTEM, ALARM, AND SIGNAGE.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- Corridor Transformation
- Greenway Corridor
- Others as required

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- Parking Lots with over 10 spaces or loading zones
- Wireless Antenna/Tower
- Educational Facility

- Mural Reviews
- Electric Utility Substations and Transmission Lines
- CBD FAR Bonus
- Changes to Approved Plans
- DAC Review of Public Projects
- Others as required

ADDITIONAL INFORMATION

Current Use Single-family residential Proposed Use Hotel

Square Number 389 Lot Number K Permeable Open Space (sf) 707

New Development? Yes No Addition? Yes No Tenant Width 23'

Existing Structure(s)? Yes No Renovations? Yes No Building Width 23'

Change in Use? Yes No Existing Signs? Yes No Lot Width (sf) 49'x64'&122'

New Sign(s)? Yes No Lot Area (sf) 5952 Building Area (sf) 3,876

MARAIS STREET - HOTEL

PROJECT DIRECTORY

- OWNER:**
2126 MARAIS LLC
MARK WAIR, MANAGER
T: (504) 600-5223
- ARCHITECT:**
CICADA, LLC
2115 MAGAZINE STREET, STE B
NEW ORLEANS, LA 70118
T: (504) 723-2565
- STRUCTURAL ENGINEERING:**
EHC ENGINEERING LLC
643 MAGAZINE ST, SUITE 300C
NEW ORLEANS, LA 70130
T: (504) 372-1047

BUILDING INFORMATION

- PROJECT ADDRESS:**
2126 MARAIS STREET
NEW ORLEANS, LA 70116
- ZONING CLASSIFICATION:**
HMC-2 // HISTORIC MARIGNY/TREME
/BYWATER COMMERCIAL DISTRICT
- AREA CALCULATIONS:**
EXISTING MAIN HOUSE = 2,127 SF GROSS
EXISTING CARRIAGE HOUSE = 435 SF GROSS
TOTAL = 2,562 SF GROSS
- NEW STRUCTURE = 1,314 SF GROSS
TOTAL BUILDING SF = 3,876**
- SCOPE OF WORK:**
RENOVATION AND NEW CONSTRUCTION OF A 3 UNIT HOTEL. NEW CONSTRUCTION OF A 2 STORY STRUCTURE IN THE REAR OF THE LOT. NEW SITE-WORK THROUGHOUT. RENOVATION OF EXISTING RESIDENTIAL UNITS INTO HOTEL ROOMS TO MEET LIFE-SAFETY REQUIREMENTS INCLUDING A SPRINKLER SYSTEM, ALARM, AND SIGNAGE.

- 1- GENERAL**
 - G0.01 TITLE SHEET
 - G0.02 GENERAL NOTES, ABBREVIATIONS, SYMBOLS
 - G0.03 SURVEY
- 6- STRUCTURAL**
 - S1.0 GENERAL NOTES
 - S1.1 FRAMING NOTES & FASTENING SCHEDULE
 - S2.0 FOUNDATION & PIER PLAN
 - S2.1 1ST & 2ND FLOOR FRAMING PLAN
 - S2.2 CEILING & ROOF FRAMING PLAN
 - S3.0 SECTIONS & DETAILS
 - S3.2 FRAMING DETAILS
- 7- LIFE SAFETY**
 - LS1.00 ACCESSIBILITY NOTES AND DETAILS
 - LS1.01 FIRST FLOOR LIFE SAFETY PLAN
 - LS1.02 SECOND FLOOR LIFE SAFETY PLAN
 - Z0.01 ZONING DIAGRAM
- 8- ARCHITECTURAL**
 - A0.01 OVERALL SITE PLAN
 - A1.01 FIRST FLOOR PLAN
 - A1.02 SECOND FLOOR PLAN
 - A1.03 ROOF PLAN
 - A1.51 FIRST FLOOR RCP
 - A1.52 SECOND FLOOR RCP
 - A2.01 EXIST. BUILDING ELEVATIONS
 - A2.02 EXIST. BUILDING ELEVATIONS
 - A2.03 MAISONETTE ELEVATIONS
 - A3.01 EXIST. BUILDING SECTIONS
 - A3.02 BUILDING SECTIONS
 - A4.01 ENLARGED FLOOR PLANS
 - A4.02 ENLARGED FLOOR PLANS
 - A6.01 DOOR & WINDOW SCHEDULES
- 12- PLUMBING**
 - P100 PLUMBING RISER DIAGRAM



EXISTING STREET ELEVATION

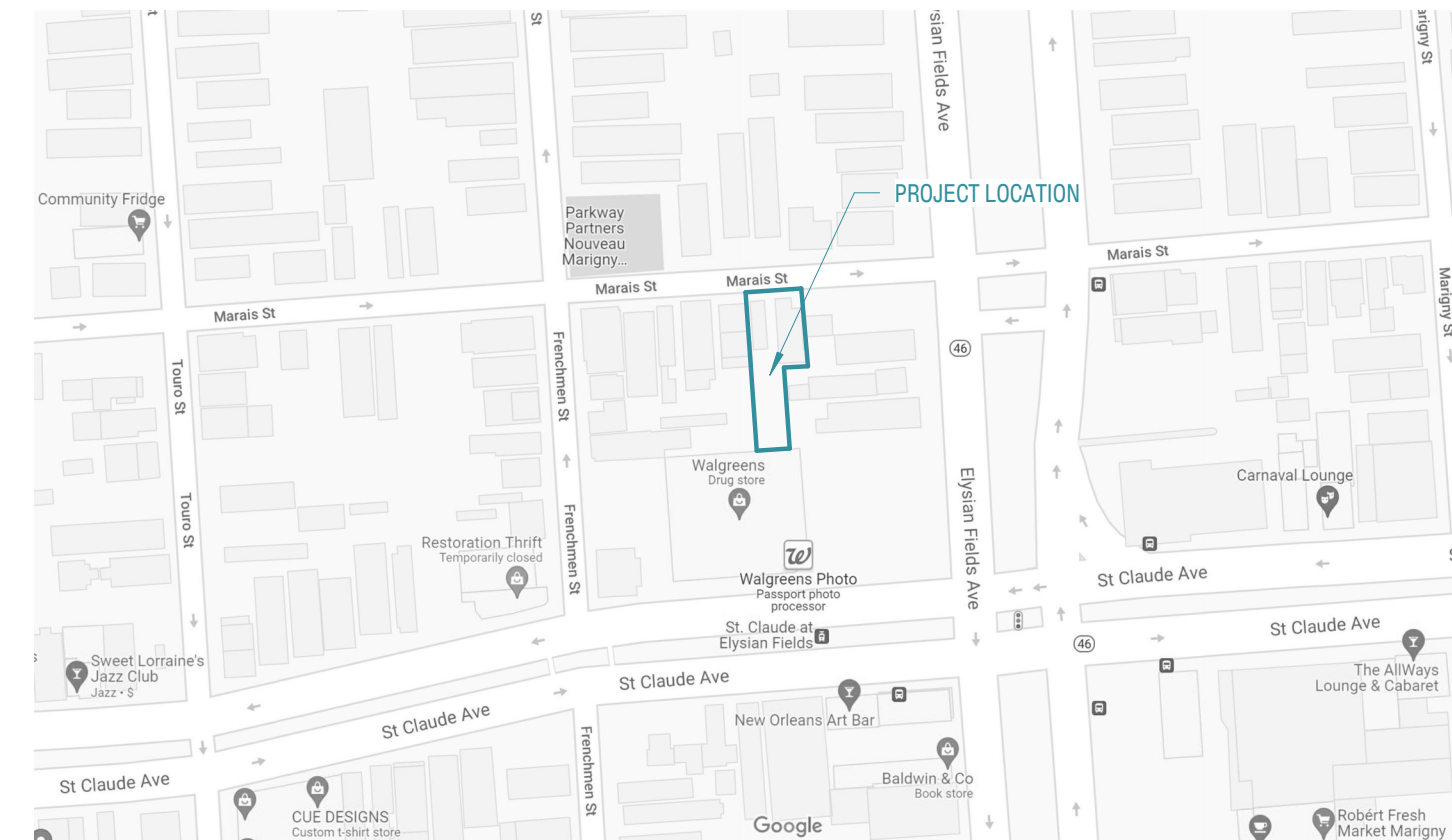
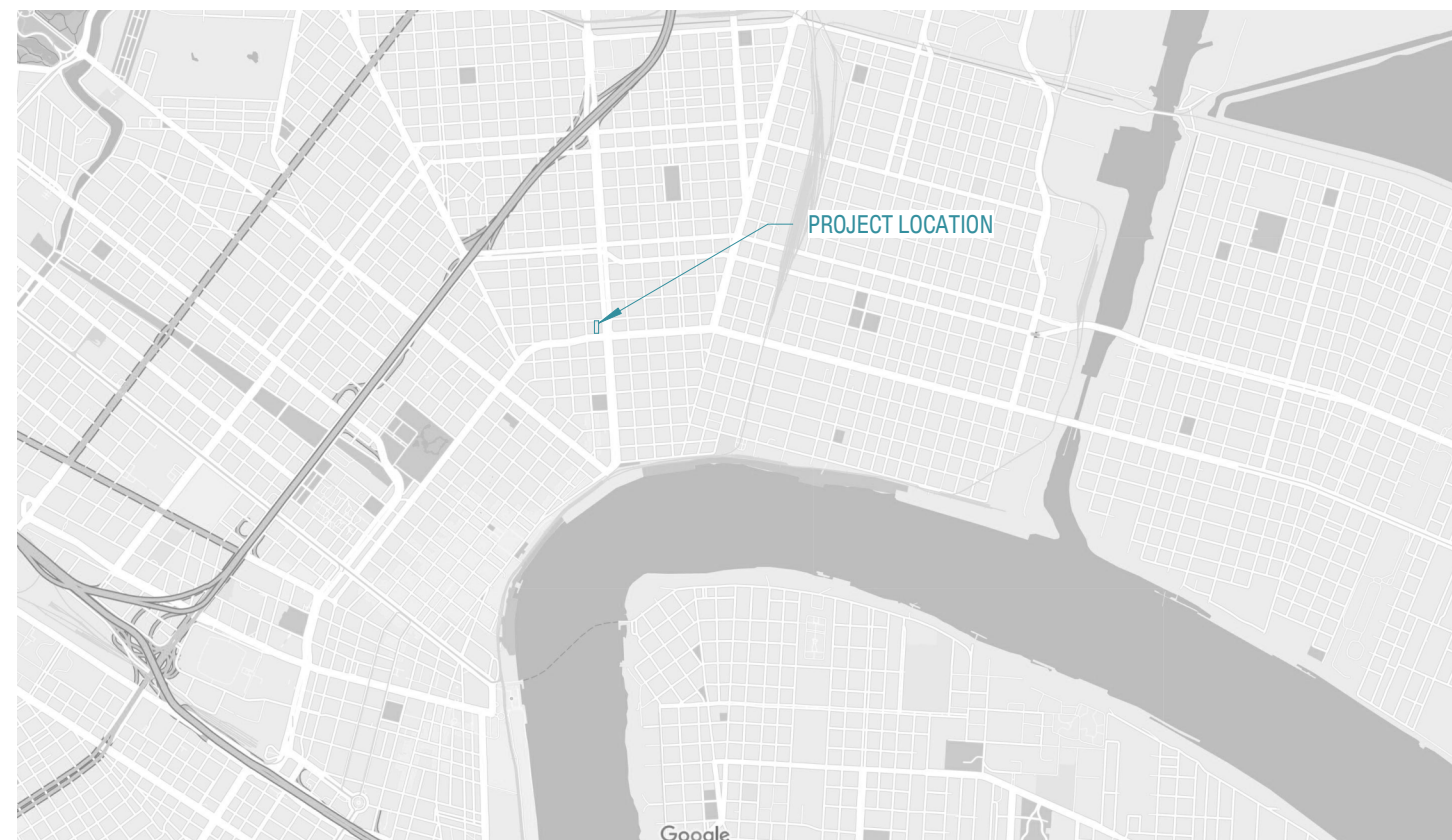


MAISONETTE ELEVATION

PROPERTY INFORMATION

ADDRESS: 2126 MARAIS STREET, NEW ORLEANS, LA 70116
ZONING: HMC-2 // HISTORIC MARIGNY/TREME/BYWATER COMMERCIAL DISTRICT
OVERLAY: ROD-2 // RESIDENTIAL DIVERSITY OVERLAY DISTRICT
 EC // ENHANCEMENT CORRIDOR DESIGN OVERLAY DISTRICT

VICINITY MAPS (NTS)



MARAIS STREET MAISONETTE

2126 MARAIS LLC
2126 MARAIS STREET
NEW ORLEANS, LA 70116



CICADA

PROJECT NO: 121020
 PHASE: PERMIT SET
 ISSUED FOR:
 DATE: 05/23/2022

TITLE SHEET

GO.01

GENERAL NOTES

0. CODES:

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL CODES AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
2. APPLICABLE CODES:
A. 2015 IBC
B. 2015 NFPA
C. 2006 INTERNATIONAL MECHANICAL CODE
D. 2009 FUEL GAS CODE
E. 2013 LOUISIANA STATE PLUMBING CODE
F. 2011 NATIONAL ELECTRIC CODE
G. 2010 ADAAG/ADA
3. IN CASE OF CONFLICT BETWEEN THE APPLICABLE CODES AND STANDARDS OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK...

1. GENERAL:

- 1. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT TO BE INCORPORATED IN THE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (ACI, AISC, ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW AND SHALL COMPLY WITH THE PROPER SPECIFICATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGES, COLLAPSE, DISTORTION, AND OFF ALIGNMENT ACCORDING TO APPLICABLE CODES AND STANDARDS
3. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES
4. AN ACCURATE AND COMPLETE FINAL SURVEY, MADE BY A LICENSED SURVEYOR, SHALL BE SUBMITTED AFTER COMPLETION OF WORK SHOWING THE LOCATION OF ANY NEW BUILDING AND / OR ANY EXTENSION TO AN EXISTING BUILDING SHOWING ELEVATION OF FIRST FLOOR, FINISHED GRADES OF OPEN SPACES, ESTABLISHED CURB LEVEL, LOCATION OF OTHER STRUCTURE ON LOT, LOCATION AND BOUNDARIES OF LOT, APPLICATION FOR CERTIFICATE OF OCCUPANCY.
5. DO NOT SCALE DRAWINGS FOR DIMENSIONS! CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK.
6. ALL MEANS OF EGRESS TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, TYP.
7. IN THE EVENT A CONSTRUCTION DRAWING CONTAINS AN ITEM OR ITEMS REFERENCING ANOTHER DISCIPLINE'S DRAWINGS, SUCH AS "REFER TO STRUCTURAL" OR "SEE CIVIL", THE CONTRACTOR SHALL HAVE ALLOWED FOR THE PROVISION OF THAT ITEM WHETHER SHOWN OR INDICATED IN THE OTHER DISCIPLINE OR NOT.

2. TYPE OF CONSTRUCTION / OCCUPANCY:

- 1. ALL NEW CONSTRUCTION SHALL BE CONSTRUCTED TO MEET OR EXCEED THE MINIMUM REQUIREMENTS FOR TYPE VB (SPRINKLERED) CONSTRUCTION AS DEFINED BY THE CODE.
2. THE BUILDING IS OCCUPANCY GROUP R-1.

3. DEMOLITION, UTILITIES & EXCAVATION:

- 1. LOCATE EXISTING UTILITY LINES INCLUDING: ELECTRICAL, SEWER, WATER, GAS, TELEPHONE, STEAM, FIBER OPTIC, ETC. NOTE THAT THE SITE AND PUBLIC PROPERTY CONTAINS UNDERGROUND UTILITY LINES. THE DRAWINGS SHOW DIAGRAMMATICALLY THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES WHERE INFORMATION IS AVAILABLE, BUT THE DRAWINGS ARE NOT EXACT AS TO THE QUANTITY, EXTENT, OR LOCATION. VERIFY IN FIELD PRIOR TO CONSTRUCTION OR DEMOLITION.
2. EXERCISE CAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES. RECORD LOCATION OF DISCONNECT AND CAP AS NECESSARY, AND REPAIR DAMAGE TO EXISTING UTILITIES WHICH ARE ENCOUNTERED AS A RESULT OF WORK UNDER THIS CONTRACT.
3. THE PROJECT REQUIRES DEMOLITION OF SOME AREAS OF EXISTING CONSTRUCTION. EXERCISE CAUTION TO PROTECT ALL AREAS OF EXISTING CONSTRUCTION THAT ARE TO REMAIN AS PART OF THE FINAL CONSTRUCTION. REPAIR ANY AND ALL AREAS THAT ARE TO REMAIN AS PART OF THE FINAL CONSTRUCTION THAT ARE DAMAGED DURING THE DEMOLITION PROCESS.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS, AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, DISTRICT, STATE, AND LOCAL REQUIREMENTS AND ORDINANCES.

4. COORDINATION:

- 1. LOCATION OF ALL EXISTING CONSTRUCTION SHOWN IN THE DRAWINGS AND THREE-DIMENSIONAL FILES IS APPROXIMATE BASED ON EXISTING SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE START OF WORK.
2. SHOULD THE SPECIFICATIONS HAVE NO SPECIFIC PROVISIONS OR DESCRIPTIONS ON PARTICULAR MATERIALS OR KIND OF GOODS TO BE USED IN ANY PLACE, THEN IT SHALL BE THE DUTY OF THE CONTRACTOR TO SUBMIT A REQUEST FOR INTERPRETATION. THE CONTRACTOR SHALL BE DEEMED TO HAVE INCLUDED THE HIGHEST QUALITY OF MATERIAL AND MEANS OF COMPLETING THE WORK IN THE CONTRACT.
3. STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, LIGHTING, SECURITY, FIRE PROTECTION, LANDSCAPE, SIGNAGE & OTHER DRAWINGS AND MODELS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS AND MODELS, BUT TOGETHER WITH THE ARCHITECTURAL DRAWINGS AND MODELS FORM RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, LIGHTING, SECURITY, PLUMBING, FIRE PROTECTION AND LANDSCAPE WORK. SHOULD THERE BE A DISCREPANCY DISCOVERED BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTANT DISCIPLINE'S DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. CONTRACTOR SHALL NOT, EITHER KNOWINGLY OR IF HE SHOULD HAVE KNOWN BASED ON INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS, INSTALL WORK IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS. ANY SUCH WORK SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THIS PROJECT.
4. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS, COMPUTER DATABASE, AND SPECIFICATIONS, OR WITHIN THEMSELVES, THE ARCHITECT WILL DETERMINE WHICH CONFLICTING REQUIREMENT GOVERNS. CONTRACTOR SHALL VERIFY THE DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AND CONSTRUCTION AT THE SITE, AND SHALL REPORT TO THE ARCHITECT, IN WRITING, DISCREPANCIES BETWEEN ACTUAL EXISTING CONDITIONS AND THE DRAWINGS AND COMPUTER DATABASE FOR THE ARCHITECT'S DECISION AND INSTRUCTIONS BEFORE PROCEEDING WITH WORK AFFECTED BY SUCH DISCREPANCIES. IF ANY DISCREPANCY OR CONFLICT OCCURS BETWEEN THE DRAWINGS, COMPUTER DATABASE, AND SPECIFICATIONS, OR ERRORS EXIST IN ANY OF THE DRAWINGS, COMPUTER DATABASE, OR SPECIFICATIONS, THE SITUATION SHALL BE REPORTED TO THE ARCHITECT IN WRITING AND THE ARCHITECT WILL ISSUE A CLARIFICATION.

- 5. ALL MANUFACTURED MATERIALS USED SHALL BEAR THE APPROPRIATE MEA, BSA, OR ULL LABELS.
6. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THESE PROJECTS.
7. VALVES, CONTROLS, AND TERMINATIONS SHALL BE POSITIONED FOR SAFE, DIRECT, AND EASY ACCESS. PIPING AND OUTWORK SHALL BE INSTALLED FOR CONVENIENT FUTURE ADDITIONS AND MODIFICATIONS.
8. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES AND PARTITIONS AND ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, PLUMBING OR MISCELLANEOUS EQUIPMENT.
9. CONTRACTOR'S MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT OR IMPAIR FLOOR-TO-FLOOR FIRE SEPARATION WHILE THE BUILDING IS OCCUPIED.
10. CONTRACTOR SHALL VERIFY ALL CONCRETE AND EXISTING OPENINGS IN THE FIELD PRIOR TO THE FABRICATION OF DOORS AND FRAMES.
11. CONTRACTOR TO COORDINATE THE EXACT DIMENSIONS, SIZES, AND POSITIONS OF OPENINGS IN SLABS AND WALLS AND COORDINATE PLUMBING AND MECHANICAL DRAWINGS FOR STRUCTURAL BEAMS TO BE SLEEVED PRIOR TO COMMENCING STRUCTURAL WORK.
12. SPECIFIC NOTES OR KEY/NOTES ON DRAWINGS APPLY TO SIMILAR CONDITIONS ON OTHER DETAILS ON ALL DRAWINGS UNLESS NOTED OTHERWISE.
13. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING THE WORK. MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS, GEOMETRY, OR CONDITIONS AND SHALL BE MADE PART OF THE WORK AT NO ADDITIONAL COST TO THIS PROJECT.
14. DRAWINGS/DETAILS IDENTIFY THE GENERAL MATERIALS TO BE USED IN THE CONSTRUCTION. SEE SPECIFICATION FOR SPECIFIC MATERIAL TYPES AND LOCATIONS TO BE USED.

5. CEILING SYSTEMS:

- 1. COORDINATE THE PLACEMENT OF CEILING ELEMENTS WITH TRADES. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION REQUIREMENTS, REVIEW THE CONDITIONS WITH THE ARCHITECT PRIOR TO PROCEEDING. ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THIS PROJECT.
2. ALIGN CEILING DEVICES (SPEAKERS, SPRINKLERS, GRILLES, REGISTERS, ETC.) WITH THE CENTERLINE OF LIGHTING FIXTURES, UNLESS NOTED OTHERWISE. FINAL LOCATION TO BE APPROVED BY THE ARCHITECT.

6. ACCESS PANELS:

- 1. PROVIDE ACCESS PANELS AT WALL AND CEILING LOCATIONS FOR ELECTRICAL, PLUMBING, AND AIR CONDITIONING CONTROLS, VALVES, DAMPERS, COUNTER FIRE SHUTTERS, OR OTHER DEVICES AS REQUIRED BY THE WORK AND MAINTENANCE, AND APPLICABLE EVEN IF ACCESS PANELS ARE NOT SHOWN ON CONTRACT DOCUMENTS. ACCESS PANELS THAT ARE SHOWN ON THE DRAWINGS SHALL BE INSTALLED IN LOCATIONS AS SHOWN AND DIMENSIONED, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION INDICATING THE LOCATIONS OF ALL ACCESS PANELS.

7. FIRE PROTECTION:

- 1. THE BUILDING IS A FULLY SPRINKLED STRUCTURE
2. CONSULT THE FIRE AUTHORITY HAVING JURISDICTION REGARDING ACCESS ROADS, GATES IN PERIMETER FENCES, AND LOCATION OF FIRE HYDRANTS, FIRE DEPARTMENT PUMPER CONNECTIONS, PORTABLE FIRE EXTINGUISHERS, AND FIRE PROTECTION DURING CONSTRUCTION. PROVIDE REQUIRED ACCESS AND EQUIPMENT.
3. OBTAIN PERMITS FOR A COMPLETE FIRE PROTECTION SYSTEM REQUIRED BY LOCAL AUTHORITIES AND FIRE DEPARTMENTS.
4. FIRE RATED CONSTRUCTION INCLUDING WALLS, FLOORS, ROOFS, SHAFTS, COLUMNS, ETC. SHALL CONFORM IN EVERY PARTICULAR WITH LOCAL AGENCIES. CUSTOM DESIGNS WHICH COMBINE COMPONENTS FROM DIFFERENT APPROVED DESIGNS, BUT HAVE NOT BEEN TESTED AS A COMPLETE ASSEMBLY WILL NOT BE ACCEPTABLE WITHOUT WRITTEN APPROVAL FROM THE LOUISIANA STATE FIRE MARSHALL
5. FIRE AND SMOKE DAMPERS SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF LASFM, AND PROJECT SPECIFICATIONS. CONSULT SPECIFICATION FOR SPECIFIC TYPES OF FIRE DAMPERS TO BE USED IN SPECIFIC LOCATIONS.
6. FIRE EXTINGUISHERS: WHETHER SHOWN OR NOT, PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT THE BUILDING IN ACCORDANCE WITH IBC 2015

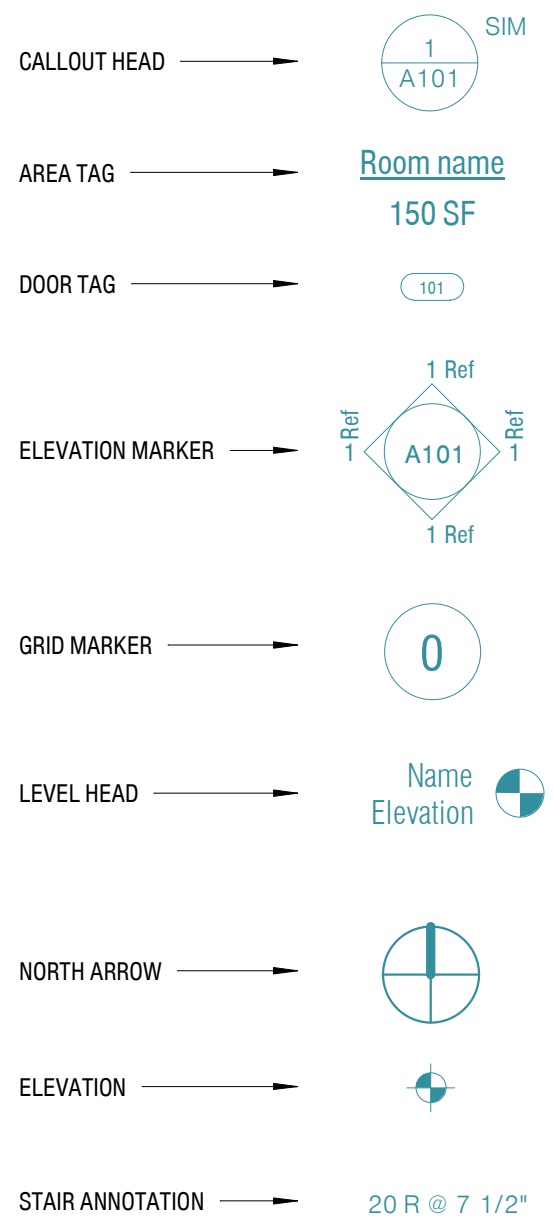
8. EXITS:

- 1. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
2. EXIT DOORS AND DOORS PROVIDING ACCESS TO EXITS SHALL BE SELF CLOSING DOORS
3. PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS
4. WHERE REQUIRED, LOCATION OF EVERY EXIT ON EVERY FLOOR SHALL BE CLEARLY INDICATED BY EXIT SIGNS, PLACED, IF REQUIRED, AT AN ANGLE WITH THE EXIT OPENING. INSTALL DIRECTIONAL SIGNS TO SERVE AS WAY FINDING FROM ALL PORTIONS OF THE CORRIDOR OR FLOOR
5. EGRESS ILLUMINATION AND POWER SOURCE FOR ILLUMINATION SHALL BE PROVIDED AS REQUIRED PER CODE.
6. DOOR JAMBS OR STOPS AND THE DOOR THICKNESS WHEN OPEN, SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN HALF OF THE HALLWAY.
7. THE MINIMUM NOMINAL WIDTH OF CORRIDOR AND EXIT DOOR OPENINGS SHALL BE THIRTY-SIX INCHES, EXCEPT THAT WHERE A DOOR OPENING IS DIVIDED BY MULLIONS, THE MINIMUM NOMINAL WIDTH OF EACH SUCH OPENING SHALL BE THIRTY-TWO INCHES.

9. GENERAL CONTINUED

- 1. ALL DIMENSIONS ON THE FLOOR PLANS ARE MEASURED FROM FACE OF STUD UNLESS NOTED OTHERWISE.
2. ELECTRICAL SYSTEM, HVAC SYSTEMS AND PLUMBING SYSTEMS TO BE DESIGNED AND BUILT BY THE APPROPRIATE SUBCONTRACTOR AND IN ACCORDANCE WITH THE PROPER CODES.
3. ALL MATERIALS, SYSTEMS AND BUILDING COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND MANUFACTURERS' STANDARDS AND RECOMMENDATIONS.
4. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE, APPLY & PAY FOR ALL PERMITS, INSPECTIONS AND/OR CERTIFICATIONS FROM THE APPROPRIATE AGENCIES.
5. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND REQUIRED SAFETY PRECAUTIONS TO ACCOMPLISH THE WORK.
6. GENERAL CONTRACTOR TO PROVIDE 20 MIL VAPOR BARRIER ON TOP OF SOIL, AND UNDER CRAWL SPACE. BASIS OF DESIGN: STEGO INDUSTRIES CLASS A VAPOR BARRIER OR APPROVED EQUAL.
7. PROVIDE TERMITE PROTECTION IN COMPLIANCE WITH SECTION R318, IRC 2015 EDITION.
8. ALL EXISTING TREES SHALL BE PROTECTED DURING CONSTRUCTION TO AVOID DAMAGE FROM ADJACENT WORK, EQUIPMENT AND SOIL OR FILL BEING PILED ON OR AGAINST ROOT SYSTEM & BASE.
9. THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING, DURING THE BIDDING PERIOD (IF BILLED), OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ARCHITECT WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ARCHITECT.
10. FIRESTOPPING & DRAFTSTOPPING SHALL BE INSTALLED PER LOCAL BUILDING CODES.

CICADA SYMBOL LEGEND



ABBREVIATIONS

Table of abbreviations including AC (Air Conditioning), AD (American Concrete Institute), ADT (Acoustical Tile), AD (Area Drain), ADAAG (Americans with Disabilities Act Architectural), GUIDELINES (Adjust, Adjustable, Adjacent), AFF (Above Finished Floor), ALUM (Aluminum), APPROX (Approximate), APT (Apartment), ARCH (Architectural), BD (Board), BLDG (Building), BLK (Block), BLKG (Blocking), BR (Bedroom), BSMT (Basement), BTU (British Thermal Units), CAB (Cabinet), BD (Catch Basin), CPT (Carpet), CF (Contractor Furnished), CFO (Contractor Furnished Owner Installed), CL (Centerline), CLS (Ceiling), CMU (Concrete Masonry Unit), CONC (Concrete), CONTR (Contractor), CORR (Corridor), CPT (Carpet), CSM (Casement), CT (Ceramic Tile), DBL (Double), DEPT (Department), DET (Detail), DF (Drinking Fountain), DIA (Diameter), DIAM (Diameter), DFF (Diffuser), DN (Down), DR (Door), DS (Downspout), DSP (Dry Standpipe), DWG (Drawing), EA (Each), EC (Exposed Construction), EJ (Expansion Joint), EL (Elevation), ELEV (Elevator), EXH (Exhaust), EXP (Expansion, Exposed), EXT (Exterior, Extinguish), FA (Fire Alarm, Fresh Air), FD (Floor Drain), FDC (Fire Department Connection), FE (Fire Extinguisher), FEC (Fire Extinguisher Cabinet), FFE (Finished Floor Elevation), FFE-E (Furniture, Furnishings & Equipment), FXT (Fixture), FL (Floor, Fire Line), FLASH (Flashing), FLG (Flooring), FLEX (Flexible), FLG (Flange, Flashing, Flooring), FLR (Floor), FLUOR (Fluorescent), FO (Finished Opening), FOC (Face of Concrete), FOF (Face of Finish), FOS (Face of Studs), FP (Fireproof), FRM (Frame), FRFP (Fireproof), FT (Foot), FURN (Furniture), GA (Gauge, Gage), GALV (Galvanized), GC (General Contractor), GF (Ground Face), GFI (Ground Fault Interrupted), GFRC (Glass Fiber Reinforced Concrete), GL BLK (Glass Block), GYP BD (Gypsum Board), H (High), HB (Hose Bib), HC (Handicapped), HDR (Header), HDWD (Hardwood), HDWE (Hardware), HEX (Hexagonal), HGR (Hanger), HGT (Height), HM (Hollow Metal), HORIZ (Horizontal), HTG (Heating), HTR (Heater), HVAC (Heating, Ventilating & Air Conditioning), HWH (Hot Water Heater), HWS (Hot Water Supply), ID (Inside Diameter), IE (Invert Elevation), IN (Inch), INSUL (Insulation), INTM (Intermediate), INV (Invert), JAN (Janitor), JT (Joint), KIP (1000 Pounds), L (Length), LAB (Laboratory, Labor), LAM (Laminate, Laminated), LAV (Lavatory), LAB (Laboratory), LF (Linear Foot), LL (Live Load), LNDG (Landing), LNTL (Lintel), LTG (Lighting), LVR (Louver), LWC (Light Weight Concrete), MECH (Mechanical), MED (Medium), MET (Metal), MFR (Manufacturer), MH (Manhole), MIN (Minimum), MIR (Mirror), MISC (Miscellaneous), MLDG (Molding), MO (Masonry Opening), MULL (Mullion), NEC (National Electrical Code), NEUT (Neutral), NIC (Not in Contract), NRC (Noise Reduction Coefficient), NTS (Not to Scale), OC (On Center), OD (Outside Diameter), OFF (Office), OH (Opposite Hand), OPP (Opposite), P (Paint), P.LAM (Plastic Laminate), PCF (Pounds per Cubic Foot), PCPL (Portland Cement Plaster), PERF (Perforate), PKG (Parking), PLBG (Plumbing), PLYWD (Plywood), PLUMB (Plumbing), PREFAB (Prefabricated), PSF (Pounds per Square Foot), PSI (Pounds per Square Inch), PSIG (Pounds per Square Inch Gage), PNT (Paint, Point, Part, Potential Transformer), PTC (Post-Tensioned Concrete), PTD (Painted, Paper Towel Dispenser), PWD (Plywood), QUAL (Quality), QUANT (Quantity), QT (Quarry Tile, Quart), QTR (Quarter), QTY (Quantity), RAD (Radius, Radiator), RB (Rubber, Rubber Base, Resilient Base), RD (Roof Drain, Round, Receptacle Distribution Panel), REF (Reference), REINF (Reinforcement, or Reinforce), RESIL (Resilient), RM (Room), RO (Rough Opening), RT (Rubber Tile, Right), RWD (Redwood), S (South), SC (Solid Core), S.CONC (Sealed Concrete), SCHED (Schedule), SCHD (Solid Core Wood), SD (Solid Core), SECT (Section), SF (Square Foot), SGG (Structural Glazing Gasket), SHING (Shing), SHWR (Shower), SIG (Signal), SIM (Similar), SKL (Skylight), SPEC (Specification), SPK (Speaker), SPLR (Sprinkler), STC (Sound Transmission Class Standard), STOR (Storage), STRUCT (Structural), SUPP (Supplementary), SW (Switch), SY (Square Yard), SYM (Symmetrical), T&B (Top and Bottom), TAG (Tongue & Groove), TEL (Telephone), TEMP (Temporary), THK (Thick), THR (Threshold), TO (Top of), TOC (Top of Concrete), TOP (Top of Parapet), TOS (Top of Steel), TOW (Top of Wall), TP (Top of Pavement), THRMST (Thermostat), THRU (Through), TKG (Tackboard), TOL (Tolerance), TV (Television), TYP (Typical), TZ (Terrazzo), UL (Underwriters' Laboratories), UNF (Unfinished), UNO (Unless Noted Otherwise), UN (Unless Otherwise Noted), UT (Utility), VCT (Vinyl Composition Tile), VENT (Ventilate), VEST (Vestibule), VF (Vinyl Fabric), VFGT (Vinyl Foam Glazing Tape), VIF (Verify in the Field), VT (Vinyl Tile), VTR (Vent Through Roof), W/ (With), W/O (Without), WB (Wood Base), WC (Water Closet), WD (Wood), WDW (Window), WH (Water Heater), WP (Waterproof), WT (Weight)

MARAI'S STREET MAISONNETTE



2126 MARAIS LLC
2126 MARAIS STREET
NEW ORLEANS, LA 70116

Table with project details: PROJECT NO: 121020, PHASE: PERMIT SET, ISSUED FOR: DATE: 05/23/2022

GENERAL NOTES, ABBREVIATIONS, SYMBOLS

CICADA



DEPARTMENT OF SAFETY & PERMITS
CITY OF NEW ORLEANS

PERMIT NO: _____ DATE: 02/01/2022
ADDRESS: 2126 MARAIS STREET SUBDIVISION: N/A
DISTRICT: THIRD SQUARE: 389 LOTS: K & PT. 4

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEVATION (BFE)	FREEBOARD (ADD 1 FT FOR A AND V ZONES) (SEE NOTE 1)
220 71C	0231	F	9/30/2016	X	N/A	+1R

MINIMUM FLOOR ELEVATION: _____ N.A.V.D.
FOR V - ZONES ONLY: _____ N.A.V.D.
 (ELEVATION OF BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER)

IN ADDITION TO THE FEMA ELEVATIONS, THE FOLLOWING CONDITIONS MUST ALSO BE MET:

- TOP OF SLABS ON GRADE OR FILL MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE.
- PIER CONSTRUCTION: TOP OF PIERS (UNDERSIDE OF BILLS) MUST HAVE AT LEAST 18" CLEARANCE BENEATH THE STRUCTURE. IN ADDITION, THE LOWEST FLOOR MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE. (IF NO CURB, USE CENTERLINE OF STREET)
- ALL MECHANICAL OR PLUMBING EQUIPMENT SERVING THE BUILDING MUST BE LOCATED AT OR ABOVE THE REQUIRED FLOOR ELEVATION.
- SLABS FOR ATTACHED GARAGES MUST BE AT THE REQUIRED FLOOR ELEVATION OR BE CONSTRUCTED OF WATER-RESISTANT MATERIALS WITH PROPER VENTING IN 2 WALLS.
- DETACHED GARAGES WITH PLUMBING MUST BE AT THE REQUIRED FLOOR ELEVATION.
- CONSTRUCTION BENCHMARK MUST BE SET AT REQUIRED MINIMUM FLOOR ELEVATION OR GREATER (ADD 1 FOR A & V-ZONES)

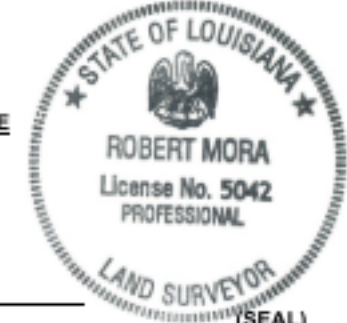
APPROVED FOR CITY BY: _____

1. CERTIFICATE OF CONSTRUCTION BENCHMARK

EXISTING HIGHEST TOP OF CURB ELEVATION: N/A N.A.V.D.
 EXISTING HIGHEST CENTERLINE OF STREET: -1.70 N.A.V.D.
 EXISTING LOT ELEVATIONS (PROPERTY CORNERS OR EDGE):
 FRONT (RIGHT): +1.51 N.A.V.D. FRONT (LEFT): -1.50 N.A.V.D.
 REAR (RIGHT): -2.55 N.A.V.D. REAR (LEFT): -2.30 N.A.V.D.
 OTHER: -2.18 N.A.V.D. FINISHED FLOOR ELEVATION OF 2126 MARAIS ST: _____

DESCRIPTION OF CONSTRUCTION BENCHMARK: NAIL IN SE-FACE OF UTILITY POLE LOCATED IN FRONT OF #2115 MARAIS ST (BATTURE WASHER & FLAGGING)
 ELEVATION OF CONSTRUCTION BENCHMARK: -4.70 N.A.V.D. (SEE NOTE F)
 REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK:
 ELEVATION OF REFERENCE BENCHMARK: +5.80 N.A.V.D.

SIGNATURE: _____ DATE: 02/01/22
 (L.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)



2. CERTIFICATE OF TOP OF FORM OR TOP OF PIER ELEVATION
 (To be submitted before pouring concrete for slab construction or framing floor for pier construction)

AS BUILT ELEVATIONS: FORM _____ N.A.V.D. PIER _____ N.A.V.D.

PIER CONSTRUCTION:
 ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE CONSTRUCTED WITH WATER-RESISTANT MATERIALS AND THE FIRST FLOOR MUST BE AT OR ABOVE THE MINIMUM FLOOR ELEVATION (B.F.E.).

V ZONES ONLY:
 BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER _____ N.A.V.D.
 (Must be submitted before framing begins)
 IN V ZONES, ALL ENCLOSURES BELOW THE B.F.E. MUST BE DESIGNED WITH BREAK-AWAY WALLS CONSTRUCTION.

SIGNATURE: _____ DATE: _____
 (L.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)

3. FILLING, GRADING, DRAINAGE, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT
 (To be submitted before Use & Occupancy Certificate can be issued)

THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS.

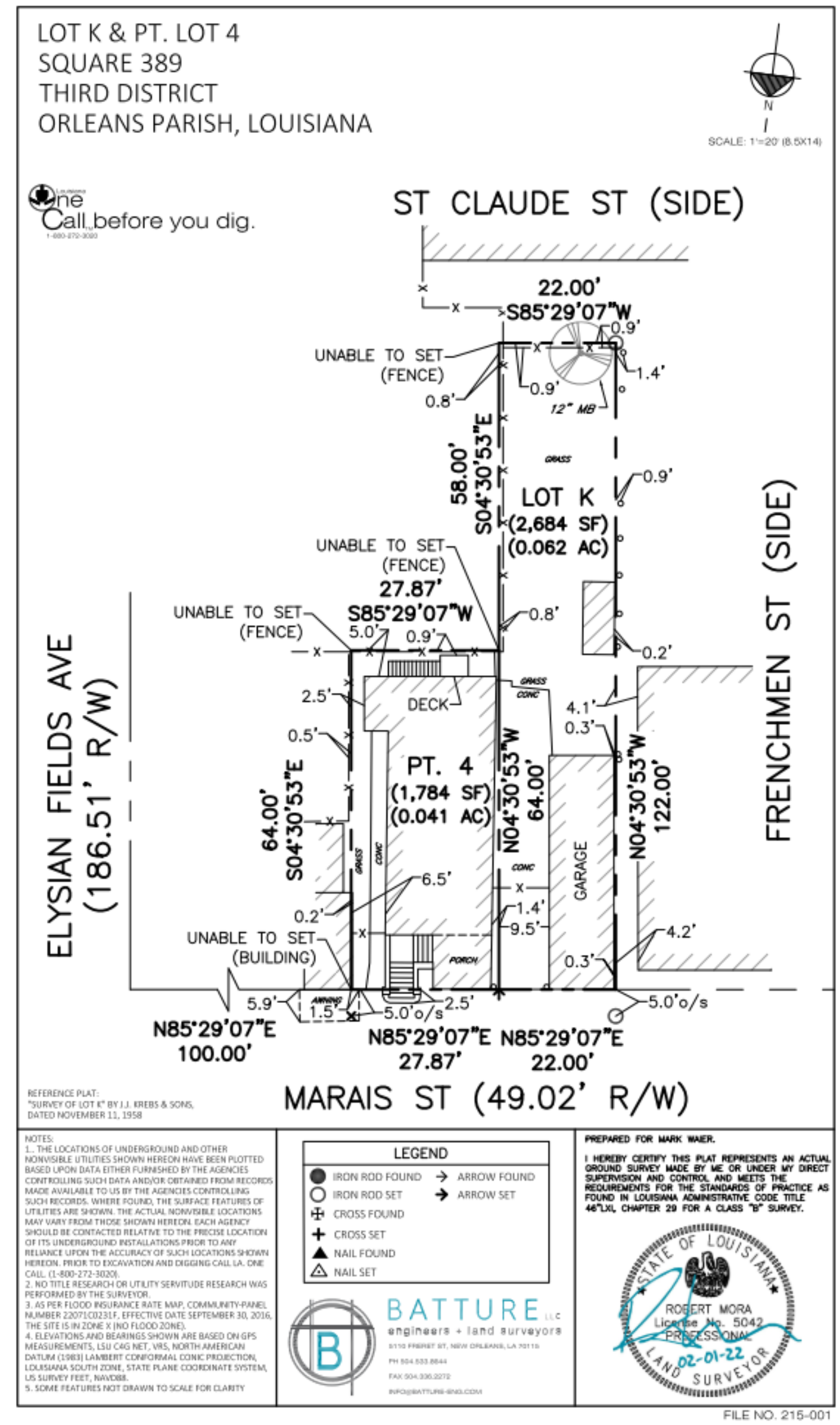
OWNER: _____ DATE: _____
 APPLICANT: _____ DATE: _____ (NOTARY)

IS LOT PROPERLY FILLED TO GRADE? YES NO
 (minimum lot slope, rear to front, 1 inch every 20 feet)

ARE SIDEWALKS PROPERLY INSTALLED? YES NO
 ARE DRIVEWAYS PROPERLY INSTALLED? YES NO
 ARE RETAINING WALLS REQUIRED? YES NO
 (if yes, then on which side(s)) RIGHT LEFT REAR
 ARE EQUIPMENT SLABS, SUCH AS A/C COMPRESSORS, AT MINIMUM FLOOR ELEVATION? YES NO N/A
 DO ATTACHED GARAGES IN A-ZONES, THAT ARE BELOW MINIMUM FLOOR ELEVATION, HAVE PROPER VENTING AND WATERPROOFING? YES NO N/A

SIGNATURE: _____ DATE: _____
 (L.A. REGISTERED PROFESSIONAL CIVIL ENGINEER)

THE LATEST FEMA ELEVATION CERTIFICATE MUST ACCOMPANY PART 3 OF THIS FORM WHEN SUBMITTED TO THE DEPARTMENT OF SAFETY AND PERMITS. 2016



REFERENCE PLAT:
 "SURVEY OF LOT 4" BY J. J. REES & SONS,
 DATED NOVEMBER 21, 1958

NOTES:

- THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN. THE ACTUAL HORIZONTAL LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED PRIOR TO THE PROCEEDING OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DESIGN CALL LA ONE CALL: 1-800-272-3029.
- NO TITLE RESEARCH OR UTILITY SERVICE RESEARCH WAS PERFORMED BY THE SURVEYOR.
- AS PER LS000 INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 2207202317, EFFECTIVE DATE SEPTEMBER 30, 2016, THE LOT IS IN ZONE 2 (NO FLOOD ZONE).
- ELEVATIONS AND BEARINGS SHOWN ARE BASED ON GPS MEASUREMENTS, US CAG NET, NAD 83, NORTH AMERICAN DATUM (NAD83) LAMBERT CONFORMAL CONIC PROJECTION, LOUISIANA SOUTH ZONE, STATE PLANE COORDINATE SYSTEM, US SURVEY FEET, NAVD83.
- SOME FEATURES NOT DRAWN TO SCALE FOR CLARITY.

LEGEND

- IRON ROD FOUND
- IRON ROD SET
- CROSS FOUND
- CROSS SET
- NAIL FOUND
- NAIL SET
- ARROW FOUND
- ARROW SET

PREPARED FOR MARK MAKER:

I HEREBY CERTIFY THIS PLAN REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND MEETS THE REQUIREMENTS FOR THE STANDARDS OF PRACTICE AS FOUND IN LOUISIANA ADMINISTRATIVE CODE TITLE 49:15, CHAPTER 28 FOR A CLASS "Y" SURVEY.

BATTURE
 PROFESSIONAL LAND SURVEYOR
 License No. 5042
 2116 FRANK ST, NEW ORLEANS, LA 70114
 PH 504 533 8844
 FAX 504 396 2072
 WWW.BATTURELLC.COM

STATE OF LOUISIANA
 PROFESSIONAL LAND SURVEYOR
 License No. 5042
 02-01-22

FILE NO. 215-001

MARAIS STREET MAISONNETTE

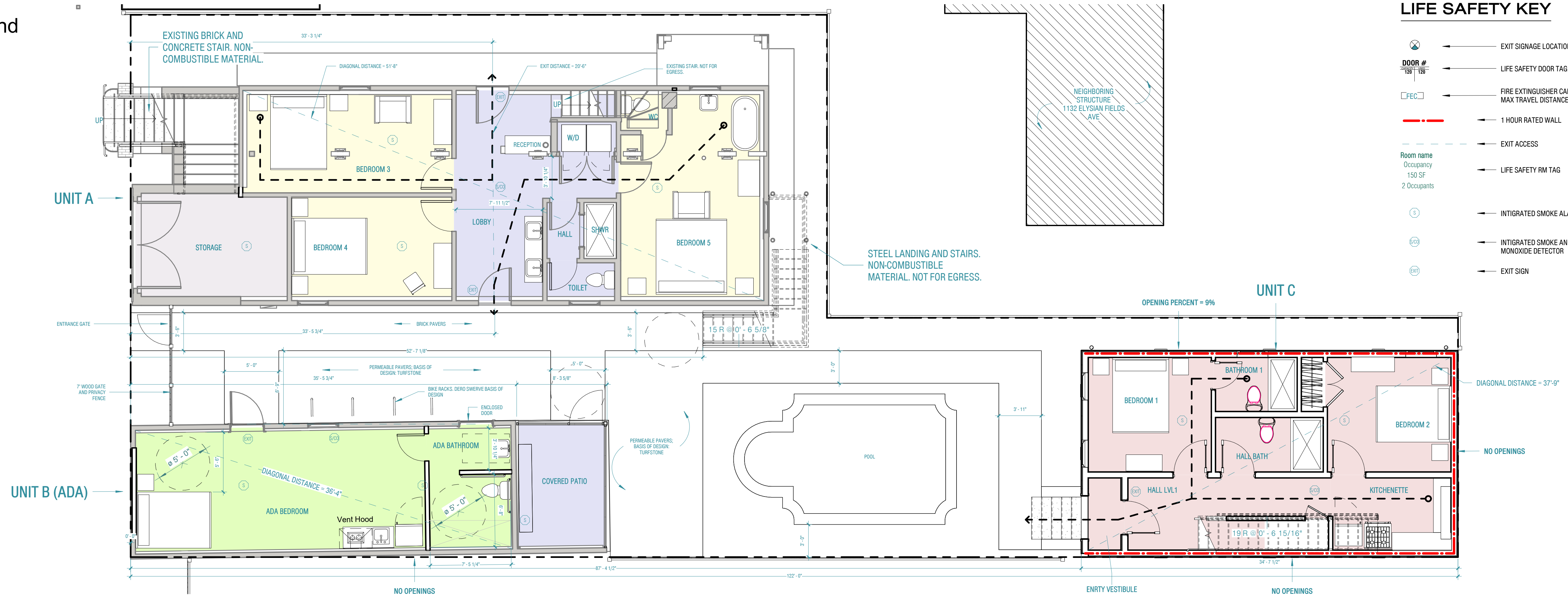
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SURVEY

Department Legend

- ADA UNIT
- MAIN HOUSE
- MASSONETTE
- OTHER
- SHARED



- ### LIFE SAFETY KEY
- EXIT SIGNAGE LOCATION
 - LIFE SAFETY DOOR TAG
 - FIRE EXTINGUISHER CABINET - 1 PER 3,000 S.F. MAX TRAVEL DISTANCE OR 75' RADI
 - 1 HOUR RATED WALL
 - EXIT ACCESS
 - LIFE SAFETY RM TAG
 - INTEGRATED SMOKE ALARM
 - INTEGRATED SMOKE AND CARBON MONOXIDE DETECTOR
 - EXIT SIGN

F1 LEVEL 1 - LIFE SAFETY
3/16" = 1'-0"

PROJECT INFORMATION

SCOPE OF WORK
THE SCOPE OF WORK FOR THIS PROJECT INCLUDES BUT IS NOT LIMITED TO:
RENOVATION AND NEW CONSTRUCTION OF A 3 UNIT HOTEL. NEW CONSTRUCTION OF A 2 STORY STRUCTURE IN THE REAR OF THE LOT, NEW SITE-WORK THROUGHOUT. RENOVATION OF EXISTING RESIDENTIAL UNITS INTO HOTEL ROOMS TO MEET LIFE-SAFETY REQUIREMENTS INCLUDING A SPRINKLER SYSTEM, ALARM, AND SIGNAGE.

DESCRIPTION OF USE
THE GROUND FLOOR OF THE MAIN BUILDING WILL BE THE RECEPTION AREA. THE CARRIAGE HOUSE WILL BE A SINGLE ADA BEDROOM, AND THE NEWLY CONSTRUCTED MASSONETTE WILL BE A FOUR BEDROOM HOTEL UNIT.

1. OCCUPANCY CLASSIFICATION

1. IBC 2015 (SECTION 303)
 - RESIDENTIAL (R-1, SECTION 301)
2. NFPA 101-2015 (SECTION 6.1.2)
 - HOTELS (CHAPTER 28/29)

2. CONSTRUCTION TYPE:

1. EXISTING HISTORIC STRUCTURE
 - a. IBC 2015 (TABLE 601 AND SECTION 602.3) - TYPE V-B, SPRINKLERED
 - b. NFPA 101-2015 (SECTION 9.7) - TYPE V-111, SPRINKLERED
2. NEW REAR STRUCTURE
 - a. IBC 2015 (TABLE 601 AND SECTION 602.3) - TYPE V-B, SPRINKLERED
 - b. NFPA 101-2015 (SECTION 9.7) - TYPE V-111, SPRINKLERED

3. TOTAL BUILDING AREA:

TOTAL LOT SF	4468 SF GROSS
EXISTING STRUCTURES	MAIN HOUSE = 2,127 SF GROSS CARRIAGE HOUSE = 435 SF GROSS TOTAL = 2,562 SF GROSS
NEW STRCUTURE	1,314 SF GROSS
	TOTAL BUILDING = 3,876 SF

4. FIRE PROTECTION SYSTEMS

SPRINKLER SYSTEM

1. IBC 2015 (SECTION 420.5) - SPRINKLER IS REQUIRED
2. IBC 2015 (SECTION 903) - SPRINKLERED
3. IBC 2015 (SECTION 903.1(1)) - CLASS 1 STANDPIPES REQUIRED
4. NFPA 101-2015 (SECTION 9.7)
 - SPRINKLERED
 - PROPOSED SPRINKLER SYSTEM: NFPA 13R

FIRE ALARM SYSTEM
REQUIRED

PORTABLE FIRE EXTINGUISHERS
IBC (F)906.1
PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ALL OCCUPANCIES AND FINAL LOCATION SHALL BE DETERMINED BY THE AHJ REPRESENTATIVE UPON TENANT BUILDOUT

5. OCCUPANT LOAD

1. IBC 2015 (TABLE 1004.1.2)
 - IBC OCCUPANT LOAD FACTOR - RESIDENTIAL (R-1): 200 GROSS
1. NFPA 101-2015 (TABLE 7.3.1.2)
 - NFPA OCCUPANT LOAD FACTOR - HOTEL: 200 SF/PERSON

NOTE: OCCUPANT LOAD TO BE BASED ON NUMBER OF SLEEP LOCATIONS BASED ON NUMBER OF BEDS PER GUEST SUITE

11 BEDS = 22 OCCUPANTS

6. REQUIRED CAPACITIES BASED ON OCCUPANT LOAD:

1. IBC 2015 (TABLE 1006.2.1)
 - STAIRWAYS: 0.2 INCHES PER OCCUPANT (SPRINKLERED, VOICE AUTOMATED)
 - OTHER EGRESS: 0.15 INCHES PER OCCUPANT (SPRINKLERED, VOICE AUTOMATED)
1. NFPA 101-2015 (TABLE 7.3.3.1)
 - STAIRWAYS: 0.3 INCHES PER OCCUPANT
 - OTHER EGRESS: 0.2 PER OCCUPANT

7. HEIGHT | STORIES | AREA LIMITAION (IBC 2015 TABLE 503):

EXISTING MAIN RESIDENCE	EXISTING 2- EXISTING 28'-8" V-B	MAX ALLOWED 3 60'
BUILDING AREA/STORY LEVEL 1	1,092 GSF	7,000 SF (\$13R)
LEVEL 2	1,035 GSF	7,000 SF (\$13R)
EXISTING CARRIAGE HOUSE	EXISTING 1- EXISTING 14'-2" V-B	MAX ALLOWED 3 60'
BUILDING AREA/STORY LEVEL 1	435 GSF	7,000 SF (\$13R)
NEW REAR-MAISONETTE	PROPOSED 2 33'-10" V-B	MAX ALLOWED 3 60'
BUILDING AREA/STORY LEVEL 1	657 GSF	7,000 SF (\$13R)
LEVEL 2	657 GSF	7,000 SF (\$13R)

8. EXTERIOR FIRE SEPERATION:

IBC 2015 (TABLE 602)	GROUP R	GROUP R
X < 5FT	1 HR	1 HR
5FT ≤ X 10FT	1 HR	1 HR
10FT ≤ X 30 FT	1 HR	1 HR
X ≥ 30FT	0 HR	0 HR

9. OCCUPANT LOAD PER UNIT:

1. R1 OCCUPANCY
 - MAX OCCUPANT LOAD WITH 1 EXIT: 10
2. R1 OCCUPANCY
 - MAX NO. OCCUPANTS WITH 2 EXITS: 11-500

UNIT A- EXISTING MAIN BUILDING

LEVEL 1: 3 BEDROOMS = 6 OCCUPANTS
LEVEL 2: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 5 BEDROOMS = 10 OCCUPANTS

UNIT B- EXISTING CARRIAGE HOUSE

LEVEL 1: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 2 BEDROOMS = 4 OCCUPANTS

UNIT C- NEW MAISONETTE

LEVEL 1: 2 BEDROOMS = 4 OCCUPANTS
LEVEL 2: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 4 BEDROOMS = 8 OCCUPANTS

10. OCCUPANT LOAD PER UNIT:

1. R1 OCCUPANCY
 - a. MAX OCCUPANT LOAD WITH 1 EXIT: 10
2. R1 OCCUPANCY
 - a. MAX NO. OCCUPANTS WITH 2 EXITS: 11-500

UNIT A- EXISTING MAIN BUILDING

LEVEL 1: 3 BEDROOMS = 6 OCCUPANTS
LEVEL 2: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 5 BEDROOMS = 10 OCCUPANTS

UNIT B- EXISTING CARRIAGE HOUSE

LEVEL 1: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 2 BEDROOMS = 4 OCCUPANTS

UNIT C- NEW MAISONETTE

LEVEL 1: 2 BEDROOMS = 4 OCCUPANTS
LEVEL 2: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 4 BEDROOMS = 8 OCCUPANTS

11. MAX ALLOWABLE TRAVEL DISTANCE:

1. IBC 2015 (TABLE 1017.2)
 - a. RESIDENTIAL (R-1) TRAVEL DISTANCE LIMIT: 250 FT (S)
2. NFPA 101-2015 (SECTION 28.2.6.2)
 - a. WITHIN GUEST ROOM OR SUITE: 125 FT (S)
 - a. WITHIN DWELLING UNIT: 125 FT (S)
4. NFPA 101-2015 (SECTION 30.2.6.2)
 - a. TRAVEL DISTANCE LIMIT: 325 FT (S)

12. MAX ALLOWABLE COMMON PATH OF TRAVEL:

1. IBC 2015 (TABLE 1006.2.1)
 - a. RESIDENTIAL (R-1): 75 FT (S)
2. NFPA 101-2015
 - a. HOTELS (NEW): 50 FT (S)

13. CORRIDOR FIRE RATING:

1. IBC 2015 (TABLE 1020.1)
 - a. GROUP R: 1/2 HR (S)
2. NFPA 101-2015
 - a. GROUP R: 1 HR (S)

14. MAX ALLOWABLE DEAD END:

1. IBC 2015 (SECTION 1020.4)
 - a. RESIDENTIAL (R-1): 50 FT (S)
2. NFPA 101-2015
 - a. HOTELS (NEW): 50 FT (S)

15. FIRE ALARM & ANNUNCIATION:

1. IBC 2015 (SECTION 907.2.8.3 OR 907.2.9.2)
 - a. FIRE ALARM AND SMOKE ALARM REQUIRED (SECTION 420.6) PER NFPA 101-2015 (SECTION 28.3.4 AND 28.3.4.5)
 - A. A FIRE ALARM SYSTEM IN ACCORDANCE WITH SECTION 9.6 SHALL BE PROVIDED
 - B. POWERED BY THE BUILDING ELECTRICAL SYSTEM AND INSTALLED IN ACCORDANCE WITH NFPA 1019.6.2.10 AND IBC 907.2.11. (AUDIBLE AND VISUAL ALARMS REQUIRED IN ROOMS COMPLYING WITH ADA-ABA 224.4). (SEE IM 2016-01 FOR CLARIFICATION ON LOW FREQUENCY SIGNAL REQUIREMENT).

16. REMOTENESS OF EXIT ACCESS STAIRWAYS:

1. IBC 2015 (SECTION 1015.2.1)
 - a. 1/3 DISTANCE BETWEEN EXITS (S)
2. NFPA 101-2015 (TABLE 7.5.1.3.4)
 - a. 1/3 DISTANCE BETWEEN EXITS (S)

*AS PER NFPA AND IBC EXCEPTION 1: WHERE INTERIOR EXIT ACCESS STAIRWAYS ARE INTERCONNECTED BY A 1 HR FIRE RESISTANT CORRIDOR, REQUIRED SEPERATION SHALL BE MEASURED ALONG THE SHORTEST DIRECT LINE OF TRAVEL WITHIN THE CORRIDOR.

17. SPECIAL REQUIREMENTS BASED ON USE & OCCUPANCY:

SEPERATION WALLS (IBC 420.2)
101.28.3.7.2 AND IBC 420.2 SEPERATE GUEST ROOMS, GUEST SUITES, AND DORMITORY ROOMS FROM EACH OTHER WITH ONE-HALF HOUR (1/2 HR) FIRE RESISTANCE RATED CONSTRUCTION.

HORIZONTAL SEPERATION (IBC 420.3)
FLOOR ASSEMBLIES SEPERATING DWELLING UNITS AND/OR SLEEPING UNITS: 1 HR FIRE HORIZ. ASSEMBLY PER IBC SECTION 711 (W/NFPA 13R SPRINKLER)

AUTOMATIC SPRINKLER SYSTEM (IBC 420.5)
GROUP R SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER IBC 903.2.8

FIRE ALARM & SMOKE ALARM SYSTEMS (IBC 420.6)
GROUP R SHALL BE EQUIPPED THROUGHOUT WITH FIRE ALARM AND SMOKE ALARM SYSTEMS PER IBC SECTION 907.2.8, 907.2.8, 907.2.9 & 907.2.10

ADDITIONAL NOTES:

SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY
IBC TABLE 1006.2.1
MAX. OCCUPANT LOAD 49
MAX. COMMON PATH OF EGRESS TRAVEL 100'

SINGLE EXITS
IBC 1006.3.2.2
EXIT MUST DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF DISCHARGE

NUMBER OF MEANS OF EGRESS (SINGLE EXIT)
NFPA 38.2.4.3
EXIT MUST DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF DISCHARGE TRAVEL DISTANCE MUST NOT EXCEED 100'
STAIRS MUST NOT EXCEED 15' IN HEIGHT
INTERIOR STAIRS SHALL BE ENCLOSED PER NFPA 7.1.3.2 (1HR RATING)

ACCESSIBLE MEANS OF EGRESS
IBC 1009.1
ACCESSIBLE MEANS OF EGRESS ARE REQUIRED FROM ACCESSIBLE SPACES. BUILDING MEETS ELEVATOR EXEMPTION.
IBC 1009.3 EXC 2.5
48" CLEAR WIDTH OF STAIRS AND AREA OF REFUGE ARE NOT REQUIRED FOR BUILDINGS THAT ARE FULLY SPRINKLERED.

SIZE OF DOORS
IBC 1010.1.1
MIN. CLEAR WIDTH 32"
MAX. SWINGING DOOR WIDTH 48"

PANIC HARDWARE
IBC 1010.1.10
GROUP A OCCUPANCY OF 50 SHALL HAVE PANIC HARDWARE EXCEPTION 1
A MAIN EXIT IS PERMITTED TO BE LOCKING IN ACCORDANCE WITH SECTION 1010.1.9.3, ITEM 2

DIRECTION OF SWING
IBC 1010.1.2.1 / NFPA 7.2.1.4.2
DOORS MAY SWING INWARD SERVING LESS THAN 50 OCCUPANTS

FIRE RATED CONSTRUCTION

CONSTRUCTION TYPE	TYPE V-B
IBC 501	
FIRE RESISTANCE RATING REQUIREMENTS:	
STRUCTURAL FRAME	0HR
EXTERIOR WALLS	0HR
INTERIOR BEARING WALLS	0HR
FLOOR CONSTRUCTION	0HR
ROOF CONSTRUCTION	0HR
MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FSD	
IBC 705.8	
3' TO LESS THAN 5'	15% (UNPROTECTED, SPRINKLERED)
5' TO LESS THAN 10'	25% (UNPROTECTED, SPRINKLERED)
10' TO LESS THAN 15'	45% (UNPROTECTED, SPRINKLERED)

STAIRWAY WIDTH
IBC 1011.2
OCC LOAD OF 50 OR MORE 44" MIN.
OCC LOAD LESS THAN 50 36" MIN.

EXIT ACCESS STAIRWAYS
IBC 1019.3.1
EXIT ACCESS STAIRWAYS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY 2 STORIES ARE NOT REQUIRED TO BE ENCLOSED

EGRESS BALCONIES
IBC 1021.2 EXC
EXTERIOR EGRESS BALCONIES ARE NOT REQUIRED TO BE SEPERATED WHERE SERVED BY 2 STAIRWAYS AND NO DEAD END TRAVEL CONDITION

EXIT DISCHARGE
IBC 1028.2; NFPA 101.7.7.1.1
EXIT DISCHARGE SHALL BE NOT LESS THAN THE MINIMUM CAPACITY OF EXITS SERVED

EXTERIOR STAIRS
NFPA 7.2.2.6.3.3
EXTERIOR STAIRS SERVING 3 OR FEWER STORES IN EXISTING BUILDINGS OR 2 OR FEWER IN NEW BUILDINGS ARE NOT REQUIRED TO BE SEPERATED FROM THE INTERIOR WHERE THE 2ND EXIT IS REMOTELY LOCATED

IBC 1027.6 EXCEPTION 1
EXTERIOR STAIRS SERVING 2 OR FEWER STORES ARE NOT REQUIRED TO BE SEPERATED FROM THE INTERIOR WHERE LEVEL OF EXIT DISCHARGE IS AT GRADE

EGRESS COURTS
IBC 1028.4.2
EGRESS COURTS LESS THAN 10' IN WIDTH SHALL HAE NOT LESS THAN 1 HR FIRE RESISTANCE RATED CONSTRUCTION. OPENINGS WITHIN WALLS SHALL BE PROTECTED WITH A RATING NOT LESS THAN 3/4 HR.

ELEVATOR REQUIREMENTS
ADA 206.2.3 EC 1 / ADA ACT TITLE III 28 C.F.R. 36.401(d)
ELEVATOR NOT REQUIRED PER EXEMPTION FOR LESS THAN 3 STORIES / LESS THAN 3000 SF PER STORY

MARAISS STREET MAISONETTE

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ISSUED FOR:	
DATE:	05/23/2022

FIRST FLOOR LIFE SAFETY PLAN

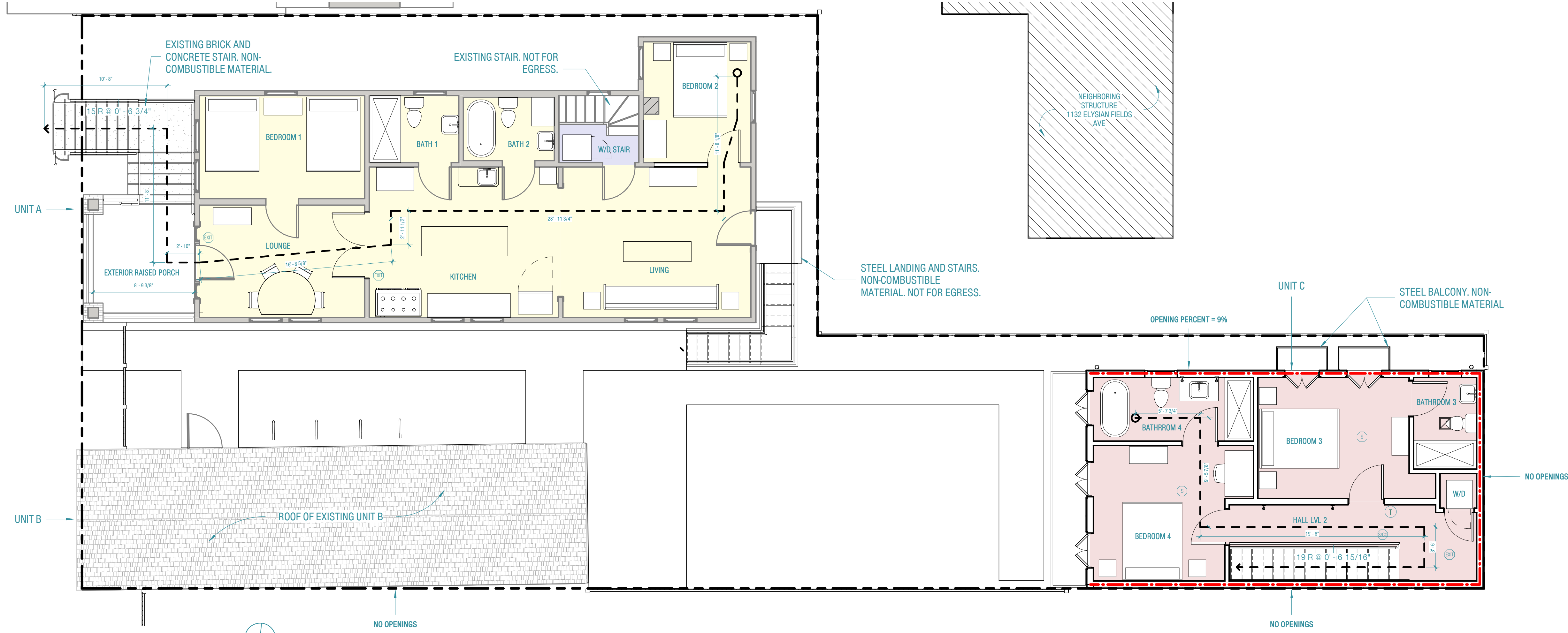
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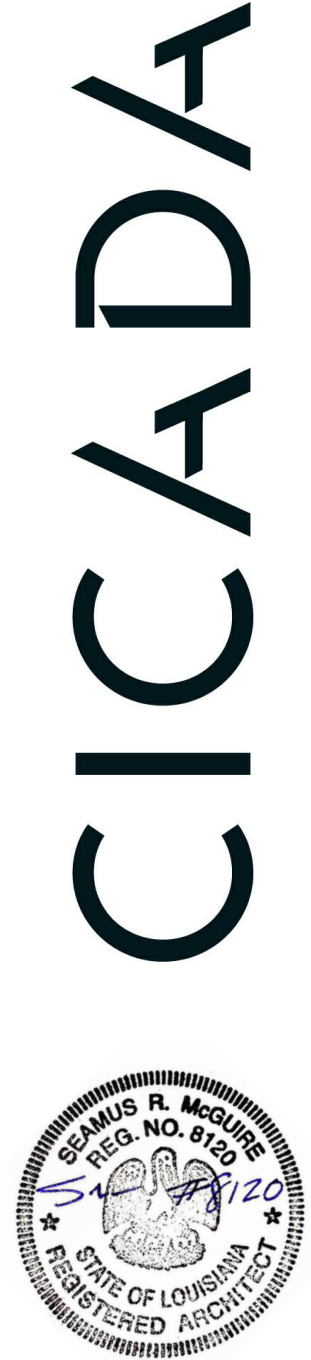


LIFE SAFETY KEY

- EXIT SIGNAGE LOCATION
- LIFE SAFETY DOOR TAG
- FIRE EXTINGUISHER CABINET - 1 PER 3,000 S.F. MAX TRAVEL DISTANCE OR 75' RADIUS
- 1 HOUR RATED WALL
- EXIT ACCESS
- Room name
Occupancy
150 SF
2 Occupants
- LIFE SAFETY RM TAG
- INTIGRATED SMOKE ALARM
- INTIGRATED SMOKE AND CARBON MONOXIDE DETECTOR
- EXIT SIGN



F1 LEVEL 2 - LIFE SAFETY
3/16" = 1'-0"



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PROJECT INFORMATION

SCOPE OF WORK
THE SCOPE OF WORK FOR THIS PROJECT INCLUDES BUT IS NOT LIMITED TO:

RENOVATION AND NEW CONSTRUCTION OF A 3 UNIT HOTEL. NEW CONSTRUCTION OF A 2 STORY STRUCTURE IN THE REAR OF THE LOT. NEW SITE-WORK THROUGHOUT. RENOVATION OF EXISTING RESIDENTIAL UNITS INTO HOTEL ROOMS TO MEET LIFE SAFETY REQUIREMENTS INCLUDING A SPRINKLER SYSTEM, ALARM, AND SIGNAGE.

DESCRIPTION OF USE
THE GROUND FLOOR OF THE MAIN BUILDING WILL BE THE RECEPTION AREA. THE CARRIAGE HOUSE WILL BE A SINGLE ADA BEDROOM, AND THE NEWLY CONSTRUCTED MASSIONETTE WILL BE A FOUR BEDROOM HOTEL UNIT.

1. OCCUPANCY CLASSIFICATION

- IBC 2015 (SECTION 303)
RESIDENTIAL (R-1, SECTION 301)
- NFPA 101-2015 (SECTION 6.1.2)
HOTELS (CHAPTER 28/29)

2. CONSTRUCTION TYPE:

- EXISTING HISTORIC STRUCTURE
a. IBC 2015 (TABLE 601 AND SECTION 602.3) - TYPE V-B, SPRINKLERED
b. NFPA 101-2015 (SECTION 9.7) - TYPE V-111, SPRINKLERED
- NEW REAR-STRUCTURE
a. IBC 2015 (TABLE 601 AND SECTION 602.3) - TYPE V-B, SPRINKLERED
b. NFPA 101-2015 (SECTION 9.7) - TYPE V-111, SPRINKLERED

3. TOTAL BUILDING AREA:

TOTAL LOT SF	4468 SF GROSS
EXISTING STRUCTURES	MAIN HOUSE = 2,127 SF GROSS CARRIAGE HOUSE = 435 SF GROSS TOTAL = 2,562 SF GROSS
NEW STRUCTURE	1,314 SF GROSS
	TOTAL BUILDING = 3,876 SF

4. FIRE PROTECTION SYSTEMS

- SPRINKLER SYSTEM**
- IBC 2015 (SECTION 420.5) - SPRINKLER IS REQUIRED
 - IBC 2015 (SECTION 903) - SPRINKLERED
 - IBC 2015 (SECTION 903.1(1)) - CLASS 1 STANDPIPES REQUIRED
 - NFPA 101-2015 (SECTION 9.7)
SPRINKLERED
PROPOSED SPRINKLER SYSTEM: NFPA 13R

FIRE ALARM SYSTEM REQUIRED

PORTABLE FIRE EXTINGUISHERS
IBC (F)906.1
PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ALL OCCUPANCIES AND FINAL LOCATION SHALL BE DETERMINED BY THE AHJ REPRESENTATIVE UPON TENANT BUILDOUT

5. OCCUPANT LOAD

- IBC 2015 (TABLE 1004.1.2)
IBC OCCUPANT LOAD FACTOR - RESIDENTIAL (R-1): 200 GROSS
- NFPA 101-2015 (TABLE 7.3.1.2)
NFPA OCCUPANT LOAD FACTOR - HOTEL: 200 SF/PERSON

NOTE: OCCUPANT LOAD TO BE BASED ON NUMBER OF SLEEP LOCATIONS BASED ON NUMBER OF BEDS PER GUEST SUITE

11 BEDS = 22 OCCUPANTS

6. REQUIRED CAPACITIES BASED ON OCCUPANT LOAD:

- IBC 2015 (TABLE 1006.2.1)
STAIRWAYS: 0.2 INCHES PER OCCUPANT (SPRINKLERED, VOICE AUTOMATED)
OTHER EGRESS: 0.15 INCHES PER OCCUPANT (SPRINKLERED, VOICE AUTOMATED)
- NFPA 101-2015 (TABLE 7.3.3.1)
STAIRWAYS: 0.3 INCHES PER OCCUPANT
OTHER EGRESS: 0.2 PER OCCUPANT

7. HEIGHT | STORIES | AREA LIMITAION (IBC 2015 TABLE 503):

EXISTING MAIN RESIDENCE	EXISTING	MAX ALLOWED
# OF STORIES	2	3
BUILDING HEIGHT	28'-8"	60'
CONSTRUCTION TYPE	V-B	
BUILDING AREA/STORY		
LEVEL 1	1,092 GSF	7,000 SF (S13R)
LEVEL 2	1,035 GSF	7,000 SF (S13R)
EXISTING CARRIAGE HOUSE	EXISTING	MAX ALLOWED
# OF STORIES	1	3
BUILDING HEIGHT	14'-2"	60'
CONSTRUCTION TYPE	V-B	
BUILDING AREA/STORY		
LEVEL 1	435 GSF	7,000 SF (S13R)
NEW REAR-MAISONETTE	PROPOSED	MAX ALLOWED
# OF STORIES	2	3
BUILDING HEIGHT	33'-10"	60'
CONSTRUCTION TYPE	V-B	
BUILDING AREA/STORY		
LEVEL 1	657 GSF	7,000 SF (S13R)
LEVEL 2	657 GSF	7,000 SF (S13R)

8. EXTERIOR FIRE SEPERATION:

- IBC 2015 (TABLE 602)
X < 5FT
5FT ≤ X < 10FT
10FT ≤ X < 30 FT
X ≥ 30FT
- | | |
|------|---------|
| 1 HR | GROUP R |
| 1 HR | GROUP R |
| 1 HR | GROUP R |
| 0 HR | GROUP R |

9. OCCUPANT LOAD PER UNIT:

- IBC 2015 (TABLE 1006.2.1)
- R1 OCCUPANCY
MAX OCCUPANT LOAD WITH 1 EXIT: 10
 - R1 OCCUPANCY
MAX NO. OCCUPANTS WITH 2 EXITS: 11-500

UNIT A - EXISTING MAIN BUILDING

LEVEL 1: 3 BEDROOMS = 6 OCCUPANTS
LEVEL 2: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 5 BEDROOMS = 10 OCCUPANTS

UNIT B - EXISTING CARRIAGE HOUSE

LEVEL 1: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 2 BEDROOMS = 4 OCCUPANTS

UNIT C - NEW MAISONETTE

LEVEL 1: 2 BEDROOMS = 4 OCCUPANTS
LEVEL 2: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 4 BEDROOMS = 8 OCCUPANTS

10. OCCUPANT LOAD PER UNIT:

- IBC 2015 (TABLE 1006.2.1)
- R1 OCCUPANCY
MAX OCCUPANT LOAD WITH 1 EXIT: 10
 - R1 OCCUPANCY
MAX NO. OCCUPANTS WITH 2 EXITS: 11-500

UNIT A - EXISTING MAIN BUILDING

LEVEL 1: 3 BEDROOMS = 6 OCCUPANTS
LEVEL 2: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 5 BEDROOMS = 10 OCCUPANTS

UNIT B - EXISTING CARRIAGE HOUSE

LEVEL 1: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 2 BEDROOMS = 4 OCCUPANTS

UNIT C - NEW MAISONETTE

LEVEL 1: 2 BEDROOMS = 4 OCCUPANTS
LEVEL 2: 2 BEDROOMS = 4 OCCUPANTS
TOTAL: 4 BEDROOMS = 8 OCCUPANTS

11. MAX ALLOWABLE TRAVEL DISTANCE:

- IBC 2015 (TABLE 1017.2)
RESIDENTIAL (R-1) TRAVEL DISTANCE LIMIT: 250 FT (S)
- NFPA 101-2015 (SECTION 28.2.6.2)
WITHIN GUEST ROOM OR SUITE: 125 FT (S)
WITHIN DWELLING UNIT: 125 FT (S)
- NFPA 101-2015 (SECTION 30.2.6.2)
TRAVEL DISTANCE LIMIT: 325 FT (S)

12. MAX ALLOWABLE COMMON PATH OF TRAVEL:

- IBC 2015 (TABLE 1006.2.1)
RESIDENTIAL (R-1): 75 FT (S)
- NFPA 101-2015
HOTELS (NEW): 50 FT (S)

13. CORRIDOR FIRE RATING:

- IBC 2015 (TABLE 1020.1)
GROUP R: 1/2 HR (S)
- NFPA 101-2015
GROUP R: 1 HR (S)

14. MAX ALLOWABLE DEAD END:

- IBC 2015 (SECTION 1020.4)
RESIDENTIAL (R-1): 50 FT (S)
- NFPA 101-2015
HOTELS (NEW): 50 FT (S)

15. FIRE ALARM & ANNUNCIATION:

- IBC 2015 (SECTION 907.2.8.3 OR 907.2.9.2)
FIRE ALARM AND SMOKE ALARM REQUIRED (SECTION 420.6) PER NFPA 101-2015 (SECTION 28.3.4 AND 28.3.4.5)
A FIRE ALARM SYSTEM IN ACCORDANCE WITH SECTION 9.6 SHALL BE PROVIDED
POWERED BY THE BUILDING ELECTRICAL SYSTEM AND INSTALLED IN ACCORDANCE WITH NFPA 101-9.6.2.10 AND IBC 907.2.11. (AUDIBLE AND VISUAL ALARMS REQUIRED IN ROOMS COMPLYING WITH ADA-ABA 224.4. (SEE IM 2016-01 FOR CLARIFICATION ON LOW FREQUENCY SIGNAL REQUIREMENT).
- IBC 2015 (SECTION 1015.2.1)
1/3 DISTANCE BETWEEN EXITS (S)
- NFPA 101-2015 (TABLE 5.1.3.4)
1/3 DISTANCE BETWEEN EXITS (S)

16. REMOTENESS OF EXIT ACCESS STAIRWAYS:

- IBC 2015 (SECTION 1015.2.1)
1/3 DISTANCE BETWEEN EXITS (S)
- NFPA 101-2015 (TABLE 5.1.3.4)
1/3 DISTANCE BETWEEN EXITS (S)

*AS PER NFPA AND IBC EXCEPTION 1: WHERE INTERIOR EXIT ACCESS STAIRWAYS ARE INTERCONNECTED BY A 1 HR FIRE RESISTANT CORRIDOR, REQUIRED SEPERATION SHALL BE MEASURED ALONG THE SHORTEST DIRECT LINE OF TRAVEL WITHIN THE CORRIDOR.

17. SPECIAL REQUIREMENTS BASED ON USE & OCCUPANCY:

SEPARATION WALLS (IBC 420.2)
101-28.3.7.2 AND IBC 420.2 SEPARATE GUEST ROOMS, GUEST SUITES, AND DORMITORY ROOMS FROM EACH OTHER WITH ONE-HALF HOUR (1/2 HR) FIRE RESISTANCE RATED CONSTRUCTION.

HORIZONTAL SEPARATION (IBC 420.3)
FLOOR ASSEMBLIES SEPARATING DWELLING UNITS AND/OR SLEEPING UNITS: 1 HR FIRE HORIZ. ASSEMBLY PER IBC SECTION 711 (W/NFPA 13R SPRINKLER)

AUTOMATIC SPRINKLER SYSTEM (IBC 420.5)
GROUP R SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER IBC 903.2.8

FIRE ALARM & SMOKE ALARM SYSTEMS (IBC 420.6)
GROUP R SHALL BE EQUIPPED THROUGHOUT WITH FIRE ALARM AND SMOKE ALARM SYSTEMS PER IBC SECTION 907.2.6, 907.2.8, 907.2.9 & 907.2.10

ADDITIONAL NOTES:

SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY
IBC TABLE 1006.2.1
MAX. OCCUPANT LOAD 49
MAX. COMMON PATH OF EGRESS TRAVEL 100'

SINGLE EXITS

IBC 1006.3.2.2
EXIT MUST DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF DISCHARGE

NUMBER OF MEANS OF EGRESS (SINGLE EXIT)
NFPA 38.2.4.3
EXIT MUST DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF DISCHARGE TRAVEL DISTANCE MUST NOT EXCEED 100'
STAIRS MUST NOT EXCEED 15' IN HEIGHT
INTERIOR STAIRS SHALL BE ENCLOSED PER NFPA 7.1.3.2 (1HR RATING)

ACCESSIBLE MEANS OF EGRESS

IBC 1009.1
ACCESSIBLE MEANS OF EGRESS ARE REQUIRED FROM ACCESSIBLE SPACES: BUILDING MEETS ELEVATOR EXEMPTION.
IBC 1009.3 EXC 2.5
48" CLEAR WIDTH OF STAIRS AND AREA OF REFUGE ARE NOT REQUIRED FOR BUILDINGS THAT ARE FULLY SPRINKLERED.

SIZE OF DOORS

IBC 1010.1.1
MIN. CLEAR WIDTH 32"
MAX. SWINGING DOOR WIDTH 48"

PANIC HARDWARE

IBC 1010.1.10
GROUP A OCCUPANCY OF 50 SHALL HAVE PANIC HARDWARE EXCEPTION 1
A MAIN EXIT IS PERMITTED TO BE LOCKING IN ACCORDANCE WITH SECTION 1010.1.9.3, ITEM 2

DIRECTION OF SWING

IBC 1010.1.2.1 / NFPA 7.2.1.4.2
DOORS MAY SWING INWARD SERVING LESS THAN 50 OCCUPANTS

FIRE RATED CONSTRUCTION

CONSTRUCTION TYPE	TYPE V-B
IBC 601	
FIRE RESISTANCE RATING REQUIREMENTS:	
STRUCTURAL FRAME	OHR
EXTERIOR WALLS	OHR
INTERIOR BEARING WALLS	OHR
FLOOR CONSTRUCTION	OHR
ROOF CONSTRUCTION	OHR

MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FSD

IBC 705.8	
3' TO LESS THAN 5'	15% (UNPROTECTED, SPRINKLERED)
5' TO LESS THAN 10'	25% (UNPROTECTED, SPRINKLERED)
10' TO LESS THAN 15'	45% (UNPROTECTED, SPRINKLERED)

STAIRWAY WIDTH

IBC 1011.2
OCC LOAD OF 50 OR MORE 44" MIN.
OCC LOAD LESS THAN 50 36" MIN.

EXIT ACCESS STAIRWAYS

IBC 1019.3.1
EXIT ACCESS STAIRWAYS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY 2 STORIES ARE NOT REQUIRED TO BE ENCLOSED

EGRESS BALCONIES

IBC 1021.2 EXC.
EXTERIOR EGRESS BALCONIES ARE NOT REQUIRED TO BE SEPARATED WHERE SERVED BY 2 STAIRWAYS AND NO DEAD END TRAVEL CONDITION

EXIT DISCHARGE

IBC 1009.1
EXIT DISCHARGE SHALL BE NOT LESS THAN THE MINIMUM CAPACITY OF EXITS SERVED

EXTERIOR STAIRS

NFPA 7.2.6.3.3
EXTERIOR STAIRS SERVING 3 OR FEWER STORIES IN EXISTING BUILDINGS OR 2 OR FEWER IN NEW BUILDINGS ARE NOT REQUIRED TO BE SEPARATED FROM THE INTERIOR WHERE THE 2ND EXIT IS REMOTELY LOCATED

EXIT DISCHARGE

IBC 1027.6 EXCEPTION 1
EXTERIOR STAIRS SERVING 2 OR FEWER STORIES ARE NOT REQUIRED TO BE SEPARATED FROM THE INTERIOR WHERE LEVEL OF EXIT DISCHARGE IS AT GRADE

EGRESS COURTS

IBC 1028.4.2
EGRESS COURTS LESS THAN 10' IN WIDTH SHALL HAE NOT LESS THAN 1 HR FIRE RESISTANCE RATED CONSTRUCTION. OPENINGS WITHIN WALLS SHALL BE PROTECTED WITH A RATING NOT LESS THAN 3/4 HR.

ELEVATOR REQUIREMENTS

ADA 206.2.3 EC 1 / ADA ACT TITLE III 28 C.F.R. 36.401(d)
ELEVATOR NOT REQUIRED PER EXEMPTION FOR LESS THAN 3 STORIES / LESS THAN 3000 SF PER STORY

PROJECT NO:	121020
PHASE:	PERMIT SET
ISSUED FOR:	
DATE:	05/23/2022

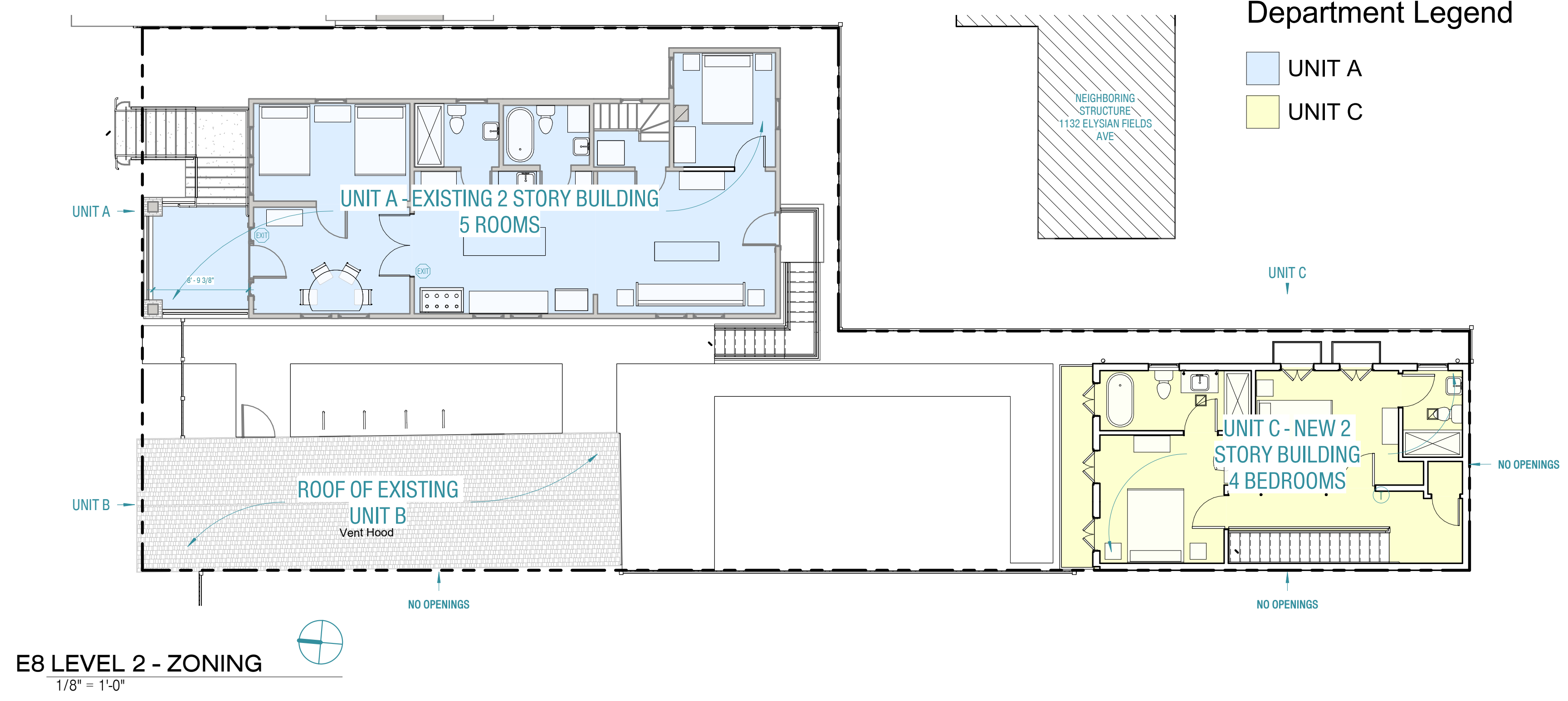
SECOND FLOOR LIFE SAFETY PLAN

LS1.02

ZONING SUMMARY

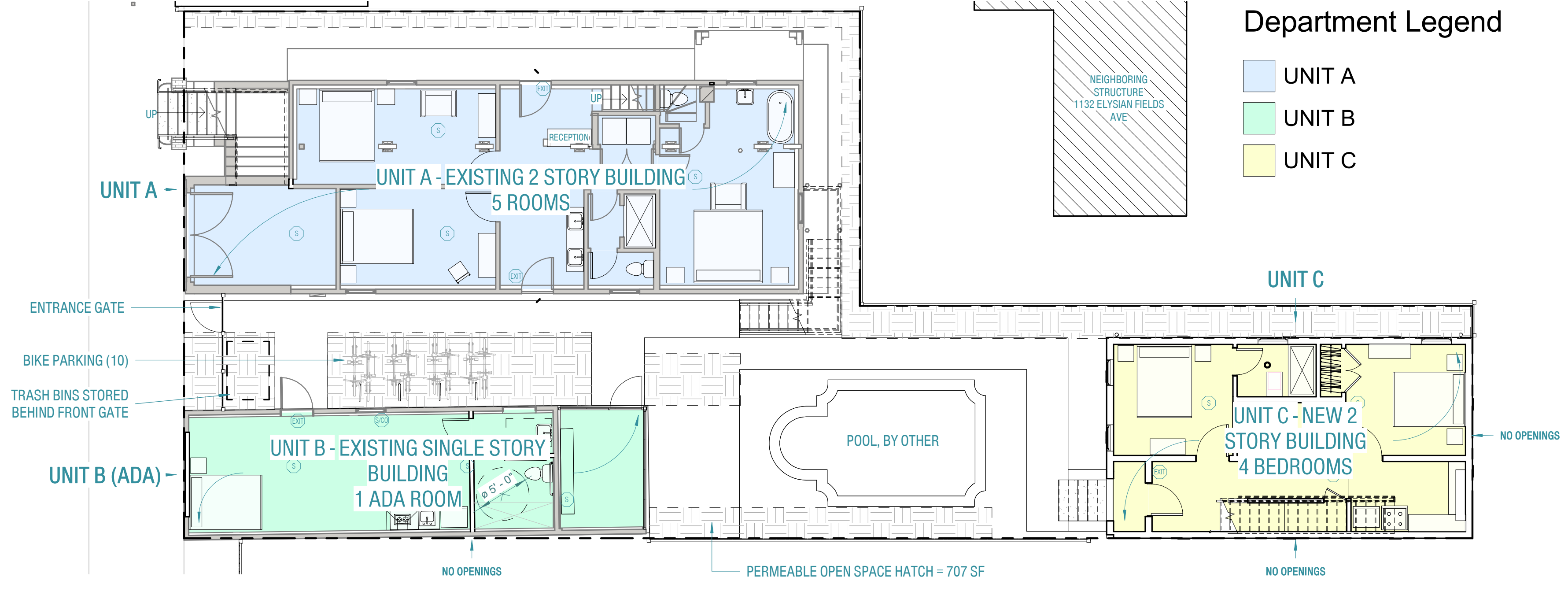
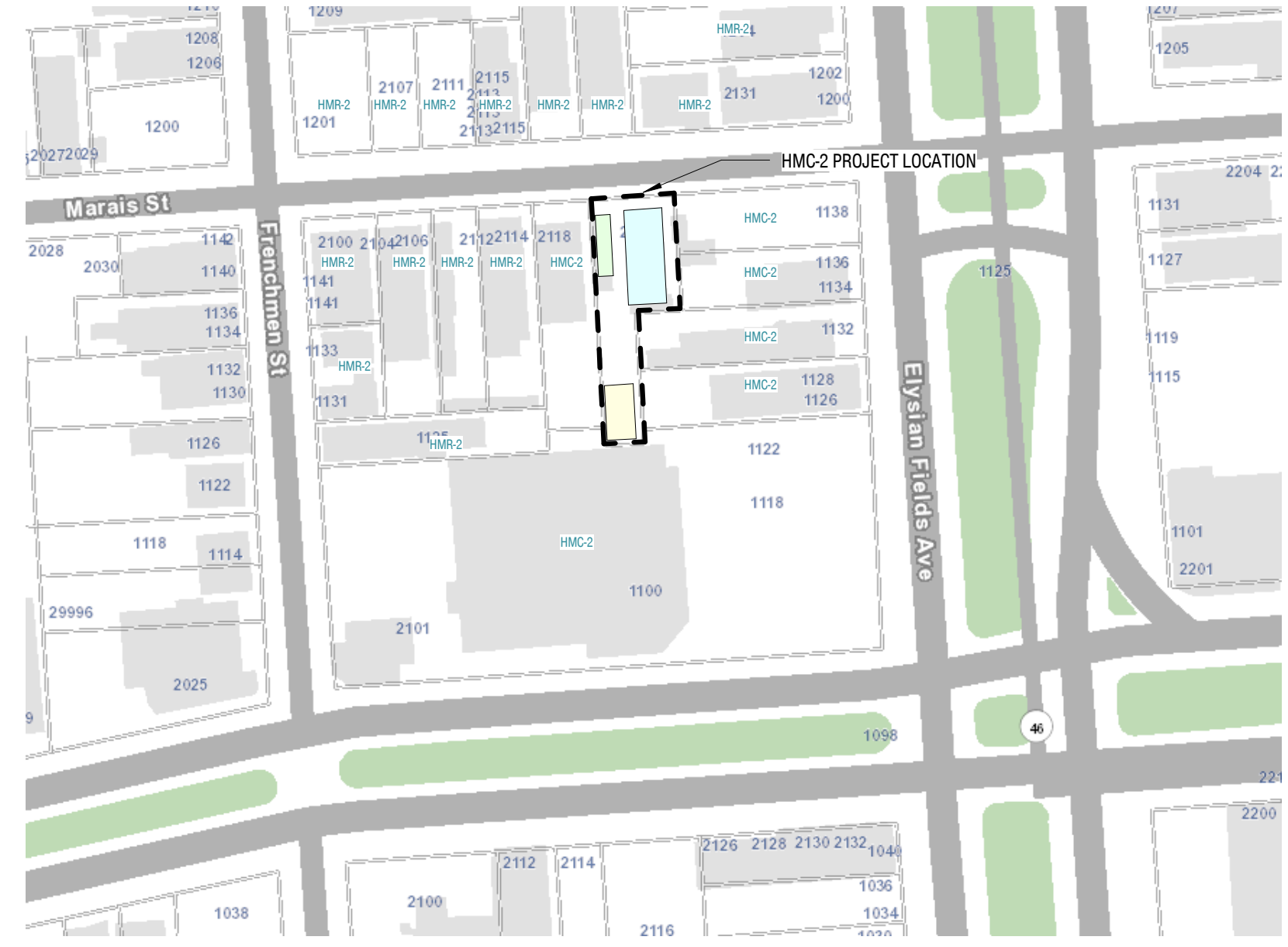
ADDRESS	2126 Marais St, LA, 70116
BLOCK & LOT	389 LOT K&J
DESCRIPTION	SQ 389 LOT K & J MARAIS 22X192 ALSO PT LOT 4 27X64 SGLE 1/ST 6/RMS W/FRAME
LOT AREA	5952 SF
FLOOD ZONE	"X"
STORMWATER PLAN REQUIRED	NO; IMPERVIOUS SURFACE < 5000 SF
ZONING DISTRICT	HMC2 HISTORIC MARIGNY/TREME/BYWATER COMMERCIAL DISTRICT
OVERLAY:	RDO-2 // RESIDENTIAL DIVERSITY OVERLAY DISTRICT EC // ENHANCEMENT CORRIDOR DESIGN OVERLAY DISTRICT
HISTORIC LANDMARK STATUS	NO
HMC-2 DISTRICT FLOOR AREA LIMITATION:	10,000 SF OF GROSS FLOOR AREA (NOT APPLICABLE)
BULK & YARD	MIN. LOT SF: 1,500SF/DU, 2F: 1,000SF/DU, MF - 3 UNITS: 800SF/DU, MF - 4+ UNITS: 600SF/DU, NON-RESIDENTIAL-NONE MIN. OPEN SPACE RATIO: RESIDENTIAL OR MIXED-USE: .30, NON-RESIDENTIAL: NONE MAX TOTAL FLOOR AREA: NON-RESIDENTIAL: ANY USE OVER 10,000SF IS A CONDITIONAL USE MAX FAR: 2.2 MAX BLDG HEIGHT: 50' / 3 STORIES MIN PERMEABLE OPEN SPACE: 15% FRONT YARD: NONE SIDE YARD: NONE CORNER SIDE YARD: NONE REAR YARD: NONE
PROPOSED USES	FIRST FLOOR: HOTEL + AMENITIES (PARKING, POOL, OUTDOOR SPACE) SECOND FLOOR: HOTEL
TOTAL LOT SF EXISTING STRUCTURES	4468 SF GROSS MAIN HOUSE = 2,127 SF GROSS CARRIAGE HOUSE = 435 SF GROSS TOTAL = 2,562 SF GROSS
NEW STRUCTURE	1,314 SF GROSS TOTAL BUILDING SF = 3,876
PARKING	HOTEL = 1 PER 2 GUEST BEDROOMS SQ FOOTAGE EXEMPTION: FIRST 3,000 SF EXEMPT (SEC. 22.5.A.5.) 11 ROOMS = 5 SPACES (EXEMPTION = 3,876 SF - 3,000SF = 876 SF, OR 4 GUEST ROOMS) REDUCTION = (6) NON-REQUIRED BICYCLE PARKING SPACES = 1 SPACE 1 GRANDFATHERED SPACE PARKING REQUIRED = 0
PARKING REDUCTION:	A. FOR EVERY SIX (6) NON-REQUIRED BICYCLE PARKING SPACES PROVIDED THAT MEET THE BICYCLE PARKING STANDARDS, A NON-RESIDENTIAL USE IS PERMITTED A REDUCTION OF ONE (1) VEHICLE PARKING SPACE. A REDUCTION UP TO TWO (2) REQUIRED VEHICLE PARKING SPACES IS PERMITTED. B. WHERE A NON-RESIDENTIAL USE PROVIDES SHOWER FACILITIES FOR USE BY BICYCLISTS, A REDUCTION OF UP TO TWO (2) VEHICLE PARKING SPACES IS PERMITTED. C. ONE GRANDFATHER SPACE
BICYCLE	1 PER 5 ROOMS (11 ROOMS = 3 BIKE SPACES) BICYCLE PARKING PROVIDED = 10 SPACES

PERMEABLE OPEN SPACE	15% OF LOT AREA SF = 4468 SF = 670 SF MIN PROVIDED = 707 SF
MINIMUM OPEN SPACE RATIO	RESIDENTIAL OR MIXED-USE: .30 NON-RESIDENTIAL: NONE PROVIDED = 44% (1948 SF/4468)
MAX TOTAL FLOOR AREA	NON-RESIDENTIAL: ANY USE OVER 10,000 SF IS CONDITIONAL USE
RENOVATIONS IN THE EXISTING STRUCTURES DO NOT EXCEED 50% OF THEIR CURRENT VALUE.	



E8 LEVEL 2 - ZONING
1/8" = 1'-0"

ZONING MAP (NTS)

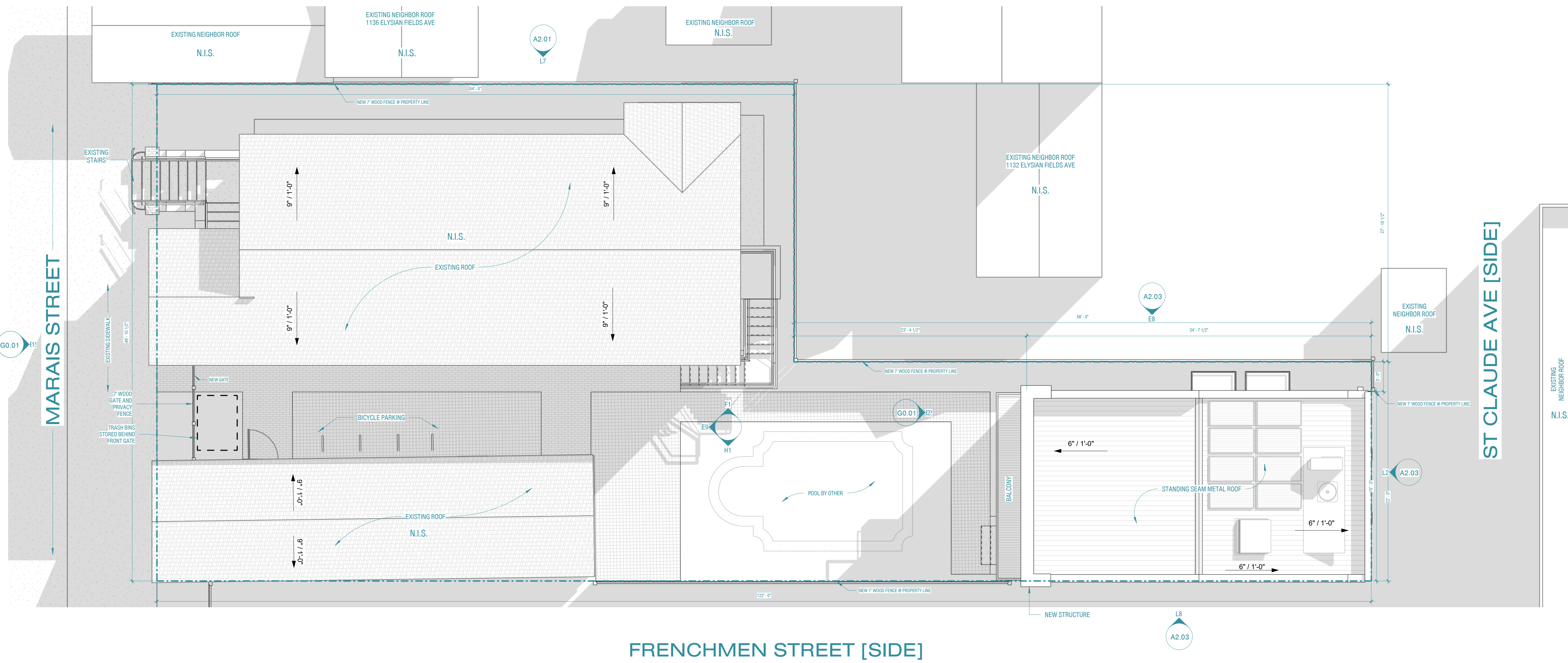


K8 LEVEL 1 - ZONING
1/8" = 1'-0"



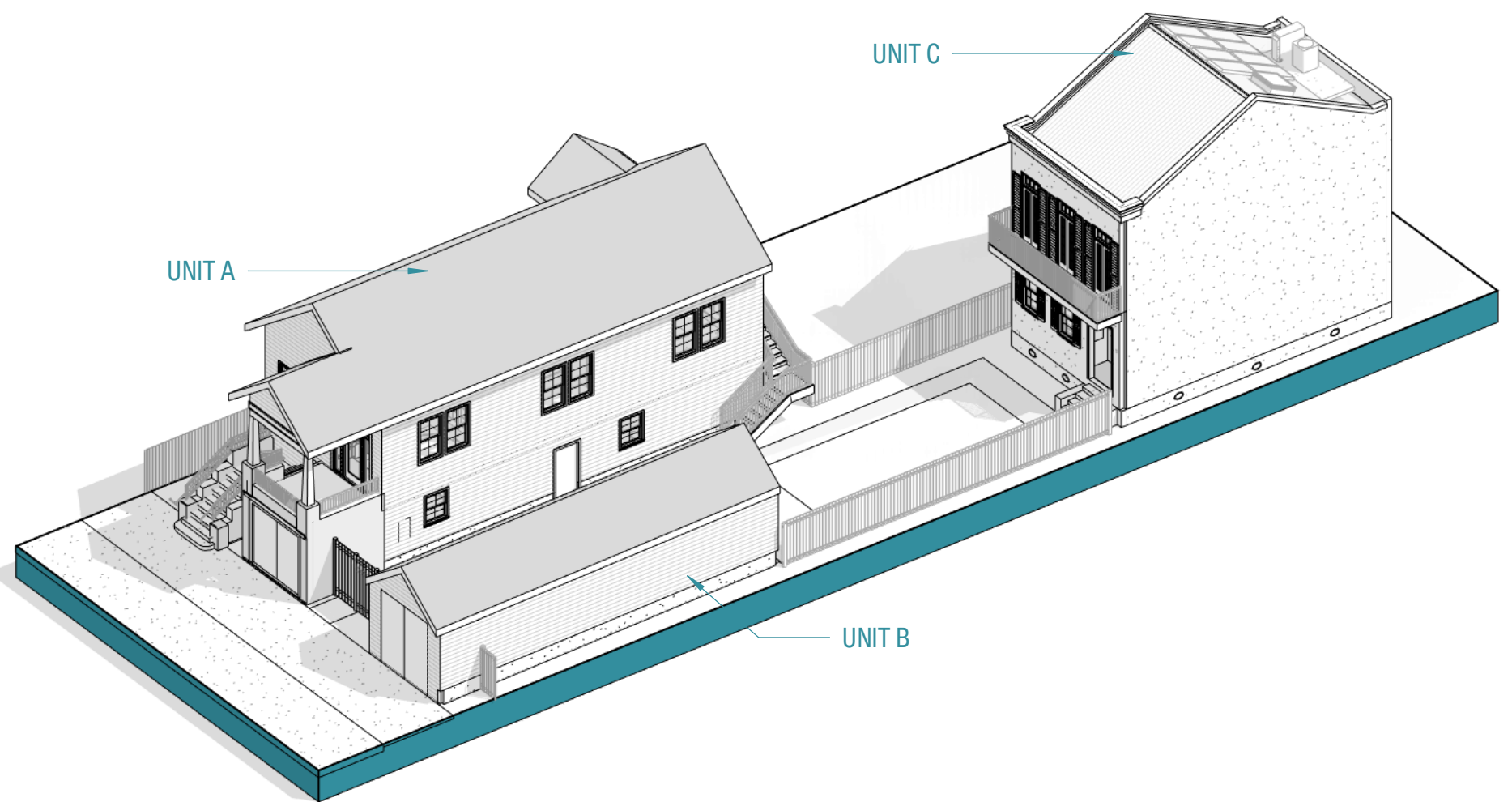
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ISSUED FOR:	
DATE:	05/23/2022

ELYSIAN FIELDS [SIDE]



E1 OVERALL SITE PLAN
3/16" = 1'-0"

GENERAL NOTE:
ALL DIMENSIONS TAKEN TO EXISTING WALLS ARE TAKEN TO EXTERIOR FACE OF WALL. ALL DIMENSIONS TAKEN TO NEW WALLS ARE TAKEN TO FACE OF STUD.



L1 SITE AXON

L9 GAURDRAIL & HANDRAIL SECTION
3/4" = 1'-0"

L12 GAURDRAIL SECTION
3/4" = 1'-0"

L15 WALL RAILING DETAIL
3/4" = 1'-0"

MARAIS STREET MAISONNETTE

CICADA

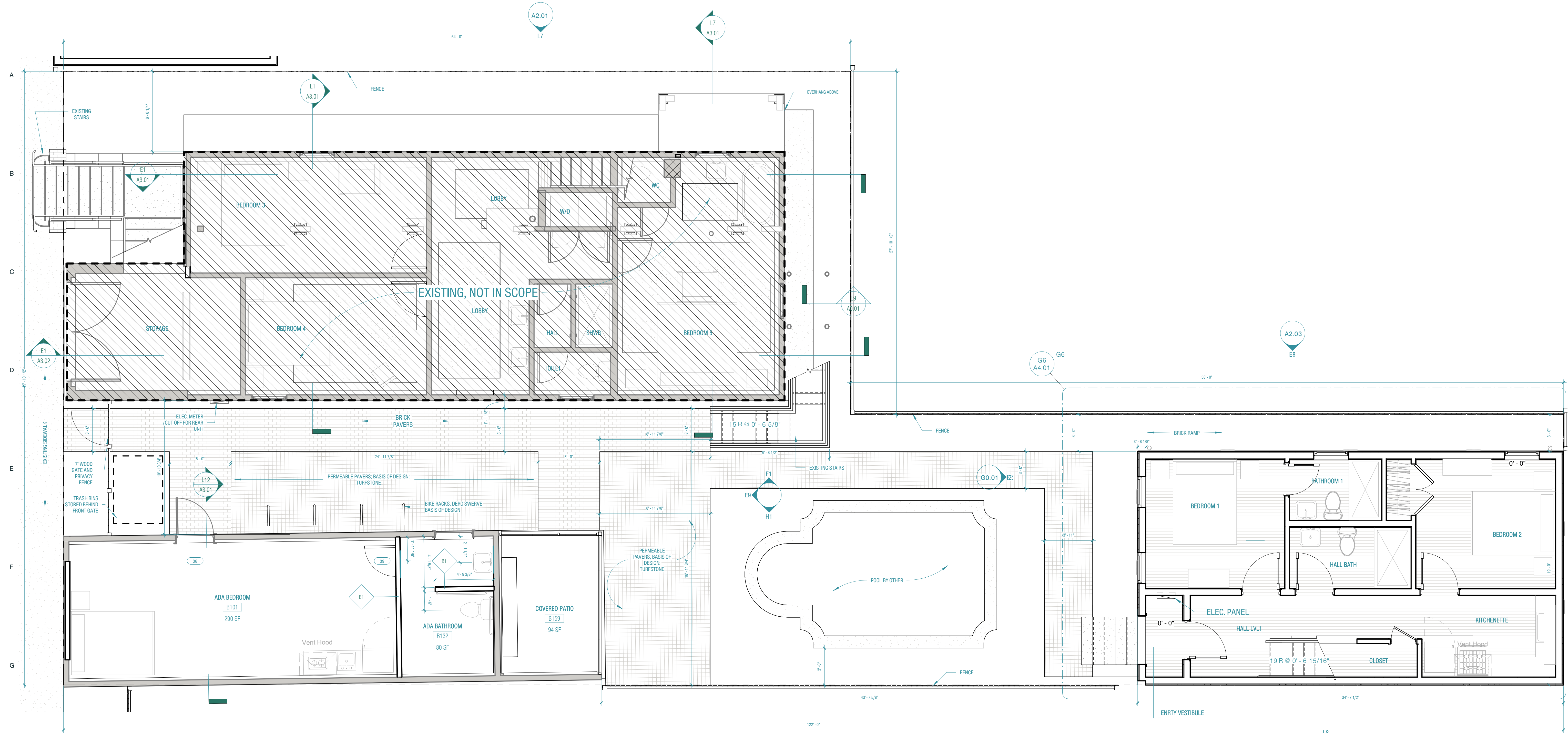


2126 MARAIS LLC
2126 MARAIS STREET
NEW ORLEANS, LA 70116

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DATE:	05/23/2022

OVERALL SITE PLAN

A0.01



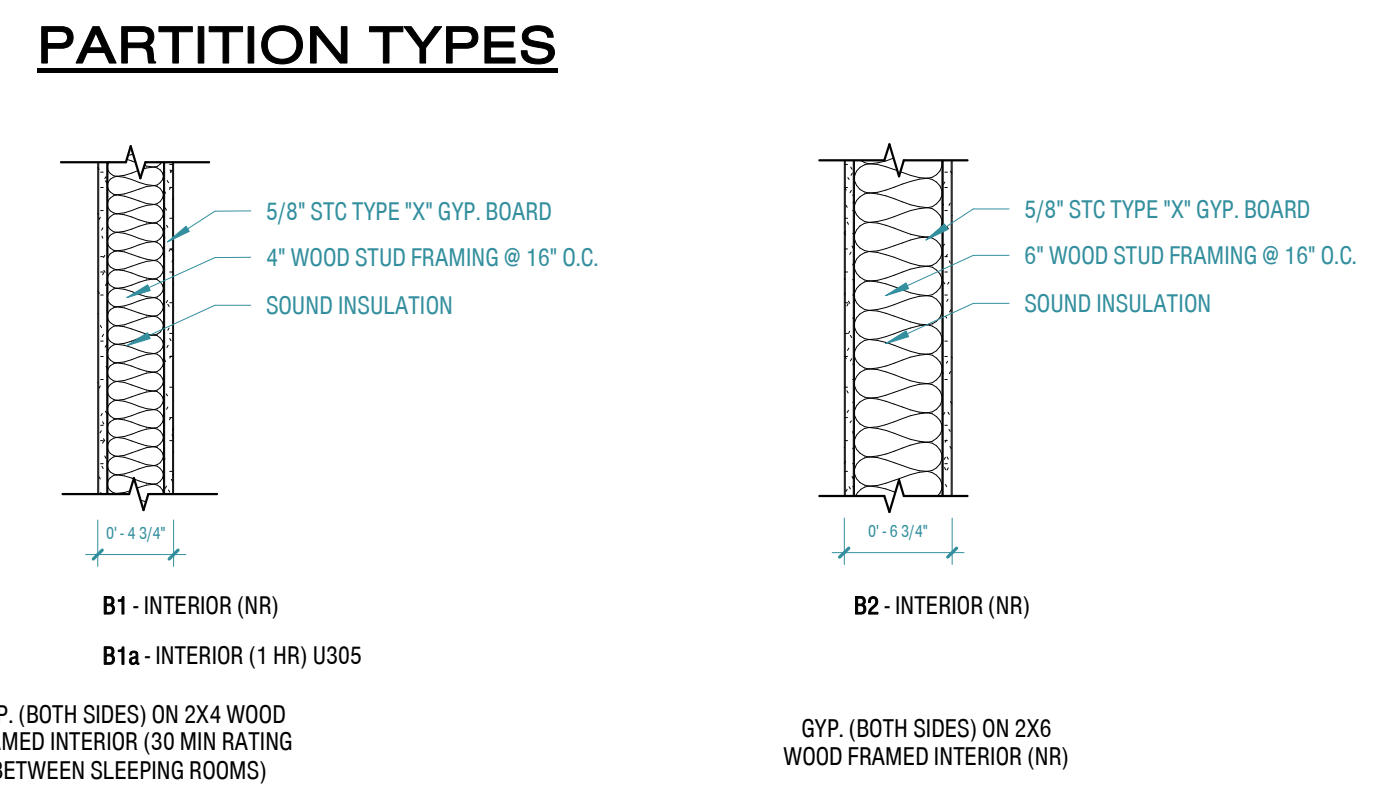
H1 OVERALL LEVEL 1 PLAN
1/4" = 1'-0"

CICADA

MARAIS STREET MAISONNETTE

2126 MARAIS LLC
2126 MARAIS STREET
NEW ORLEANS, LA 70116

ROOM SCHEDULE			ROOM SCHEDULE		
LEVEL 1			LEVEL 2		
ADA BATHROOM	80 SF	UNIT B	BATH 1	45 SF	UNIT A
ADA BEDROOM	290 SF	UNIT B	BATH 2	44 SF	UNIT A
BEDROOM 3	168 SF	UNIT A	BEDROOM 1	129 SF	UNIT A
BEDROOM 4	135 SF	UNIT A	BEDROOM 3	96 SF	UNIT A
BEDROOM 5	218 SF	UNIT A	BEDROOM 4	87 SF	UNIT A
HALL	15 SF	UNIT A	EXTERIOR RAISED PORCH		
LOBBY	190 SF	UNIT A	KITCHEN	216 SF	UNIT A
SHWR	15 SF	UNIT A	LIVING	214 SF	UNIT A
STORAGE	129 SF	UNIT A	LOUNGE	141 SF	UNIT A
TOILET	19 SF	UNIT A	W/D STAIR	41 SF	UNIT A
W/D	15 SF	UNIT A			
WC	14 SF	UNIT A			
MAISONNETTE LVL 1 (4.70 NAVD)			MAISONNETTE LVL 2		
BATHROOM 1	37 SF	UNIT C	BALCONY	57 SF	UNIT C
BED 2 CLOSET	10 SF	UNIT C	BATHROOM 3	44 SF	UNIT C
BEDROOM 1	119 SF	UNIT C	BATHROOM 4	77 SF	UNIT C
BEDROOM 2	119 SF	UNIT C	BEDROOM 3	143 SF	UNIT C
CLOSET	16 SF	UNIT C	BEDROOM 4	146 SF	UNIT C
COVERED PATIO	94 SF	UNIT B	HALL LVL 2	140 SF	UNIT C
ENTRY VESTIBULE	20 SF	UNIT C	W/D	10 SF	UNIT C
HALL BATH	49 SF	UNIT C		3557 SF	
HALL LVL 1	102 SF	UNIT C			
KITCHENETTE	73 SF	UNIT C			



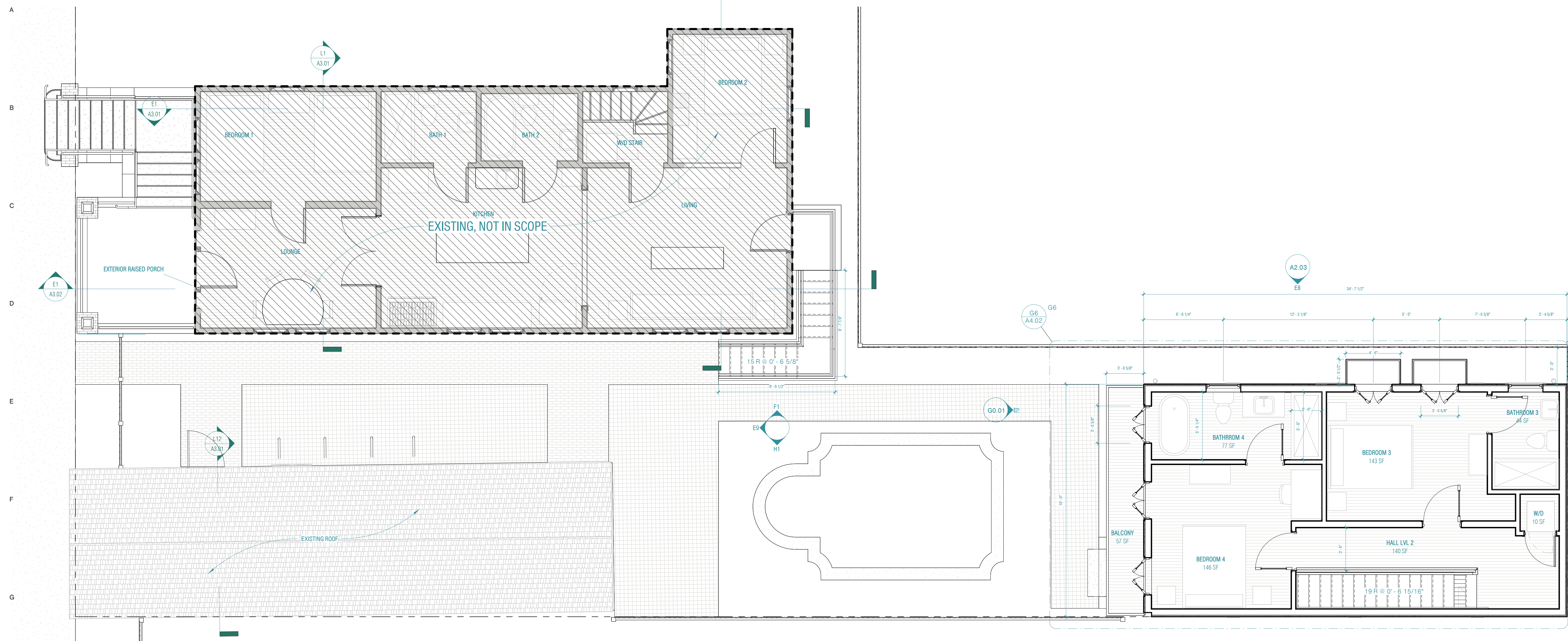
101-28.3.7.2 AND IBC 420.2 SEPARATE GUEST ROOMS, GUEST SUITES, AND DORMITORY ROOMS FROM EACH OTHER WITH ONE-HALF HOUR (1/2 HR) FIRE RESISTANCE RATED CONSTRUCTION

GENERAL FINISHES AND SPECIFICATIONS

- ALL KITCHEN AND BATHROOM COUNTERTOPS ARE TO BE SELECTION BY OWNER
- OWNER TO SUPPLY LIGHTING FIXTURES, PLUMBING FIXTURES, AND FR&E. OWNER FURNISHED, CONTRACTOR INSTALLED.
- ALL CASEWORK TO BE CUSTOM PAINT-GRADE WITH SOFT CLOSURES. OWNER SELECTED.
- GC TO PROVIDE GLASS ENCLOSURES WITH MINIMAL-PROFILE FRAME AT ALL SHOWERS.
- OWNER TO PROVIDE BATHROOM VANITIES AND MIRRORS.
- ALL INTERIOR DOORS TO BE 4-PANEL SOLID WOOD DOORS AT ALL BEDROOMS. TRANSOM ABOVE.
- GC TO PROVIDE BLOCKING ABOVE ALL WINDOWS FOR CURTAIN RODS.
- GC TO INCLUDE PORCELAIN TILE FLOORING AT ALL BATHROOMS AND LAUNDRY ROOM. TILE WAINSCOTING TO BE INCLUDED AT ALL BATHROOMS, AND FULL FLOOR-TO-CROWN TILE WALLS PROVIDED AT ALL SHOWERS/TUB SURROUNDS.
- GC TO INCLUDE MILLWORK FOR EACH CLOSET.
- TILE THROUGHOUT SELECTED BY OWNER.
- ALL PLUMBING FIXTURES & HARDWARE TO BE OWNER SELECTED.
- CONTRACTOR IS TO FIELD VERIFY ALL MEASUREMENTS FOR DOORS PRIOR TO ORDERING.

PROJECT NO:	121020
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FIRST FLOOR PLAN



H1 OVERALL LEVEL 2 PLAN
1/4" = 1'-0"

ROOM SCHEDULE

LEVEL 1		
ADA BATHROOM	80 SF	UNIT B
ADA BEDROOM	290 SF	UNIT B
BEDROOM 3	168 SF	UNIT A
BEDROOM 4	135 SF	UNIT A
BEDROOM 5	218 SF	UNIT A
HALL	15 SF	UNIT A
LOBBY	190 SF	UNIT A
SHWR	15 SF	UNIT A
STORAGE	129 SF	UNIT A
TOILET	19 SF	UNIT A
W/D	15 SF	UNIT A
WC	14 SF	UNIT A
MAISONNETTE LVL 1 (4.70' NAVD)		
BATHROOM 1	37 SF	UNIT C
BED 2 CLOSET	10 SF	UNIT C
BEDROOM 1	119 SF	UNIT C
BEDROOM 2	119 SF	UNIT C
CLOSET	16 SF	UNIT C
COVERED PATIO	94 SF	UNIT B
ENTRY VESTIBULE	20 SF	UNIT C
HALL BATH	49 SF	UNIT C
HALL LVL 1	102 SF	UNIT C
KITCHENETTE	73 SF	UNIT C

ROOM SCHEDULE

LEVEL 2		
BATH 1	45 SF	UNIT A
BATH 2	44 SF	UNIT A
BEDROOM 1	129 SF	UNIT A
BEDROOM 2	96 SF	UNIT A
BEDROOM 3	143 SF	UNIT A
BEDROOM 4	146 SF	UNIT A
EXTERIOR RAISED PORCH	87 SF	UNIT A
KITCHEN	216 SF	UNIT A
LIVING	214 SF	UNIT A
LOUNGE	141 SF	UNIT A
W/D STAIR	41 SF	UNIT A
MAISONNETTE LVL 2		
BALCONY	57 SF	UNIT C
BATHROOM 3	44 SF	UNIT C
BATHROOM 4	77 SF	UNIT C
BEDROOM 3	143 SF	UNIT C
BEDROOM 4	146 SF	UNIT C
HALL LVL 2	140 SF	UNIT C
W/D	10 SF	UNIT C
	3557 SF	

GENERAL FINISHES AND SPECIFICATIONS

- ALL KITCHEN AND BATHROOM COUNTERTOPS ARE TO BE SELECTION BY OWNER
- OWNER TO SUPPLY LIGHTING FIXTURES, PLUMBING FIXTURES, AND FF&E. OWNER FURNISHED, CONTRACTOR INSTALLED.
- ALL CASEWORK TO BE CUSTOM PAINT-GRADE WITH SOFT CLOSURES. OWNER SELECTED.
- GC TO PROVIDE GLASS ENCLOSURES WITH MINIMAL-PROFILE FRAME AT ALL SHOWERS.
- OWNER TO PROVIDE BATHROOM VANITIES AND MIRRORS.
- ALL INTERIOR DOORS TO BE 4-PANEL; SOLID WOOD DOORS AT ALL BEDROOMS. TRANSOM ABOVE.
- GC TO PROVIDE BLOCKING ABOVE ALL WINDOWS FOR CURTAIN RODS.
- GC TO INCLUDE PORCELAIN TILE FLOORING AT ALL BATHROOMS AND LAUNDRY ROOM. TILE WAINSCOTING TO BE INCLUDED AT ALL BATHROOMS, AND FULL FLOOR-TO-CROWN TILE WALLS PROVIDED AT ALL SHOWERS/TUB SURROUNDS.
- GC TO INCLUDE MILLWORK FOR EACH CLOSET.
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- CONTRACTOR IS TO FIELD VERIFY ALL MEASUREMENTS FOR DOORS PRIOR TO ORDERING.

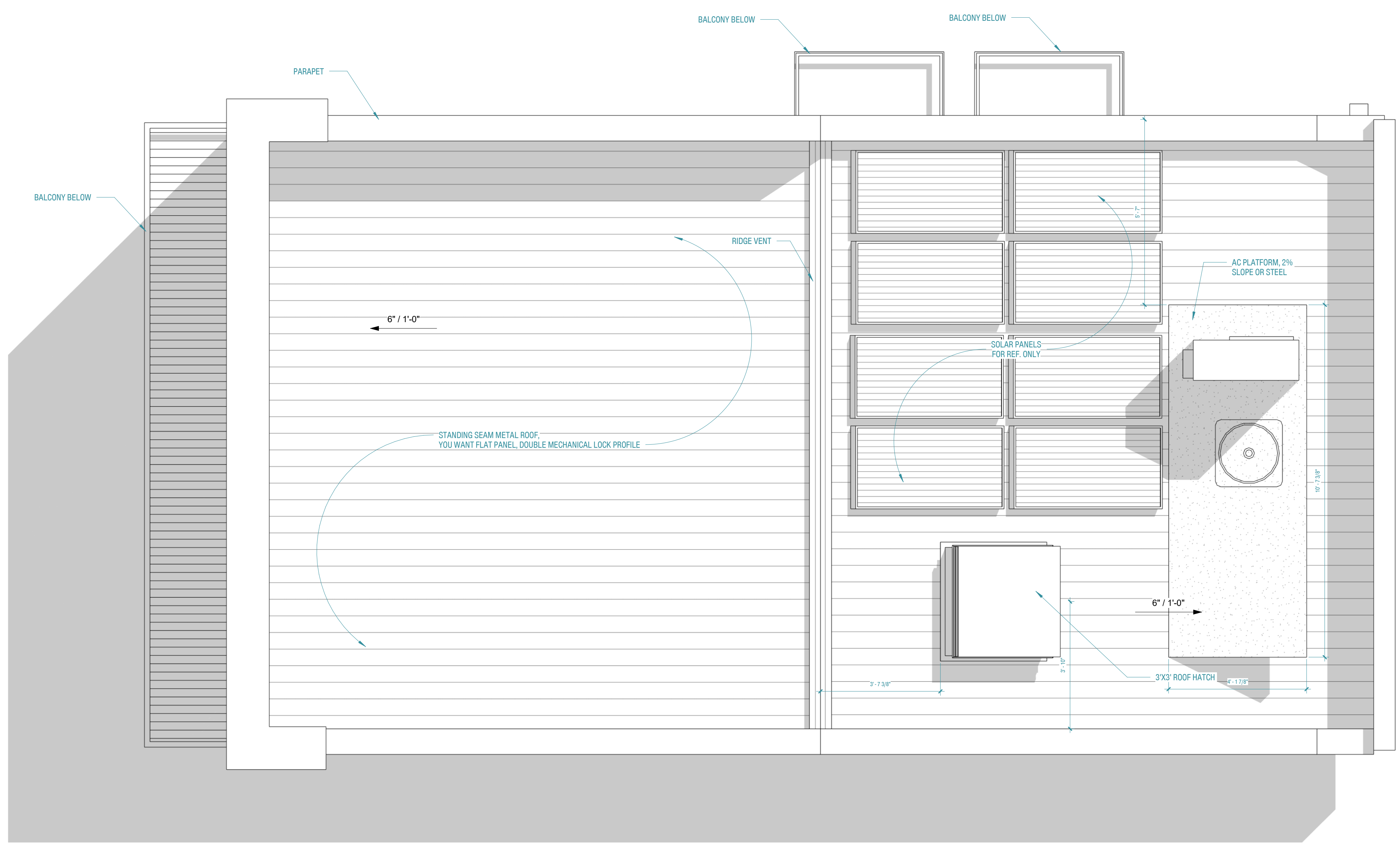
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PHASE:	PERMIT SET
ISSUED FOR:	
DATE:	05/23/2022

SECOND FLOOR PLAN



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

A
B
C
D
E
F
G
H
J
K
L



G6 ROOF PLAN
 1/2" = 1'-0" 

CICADA



MARAIS STREET MAISONETTE

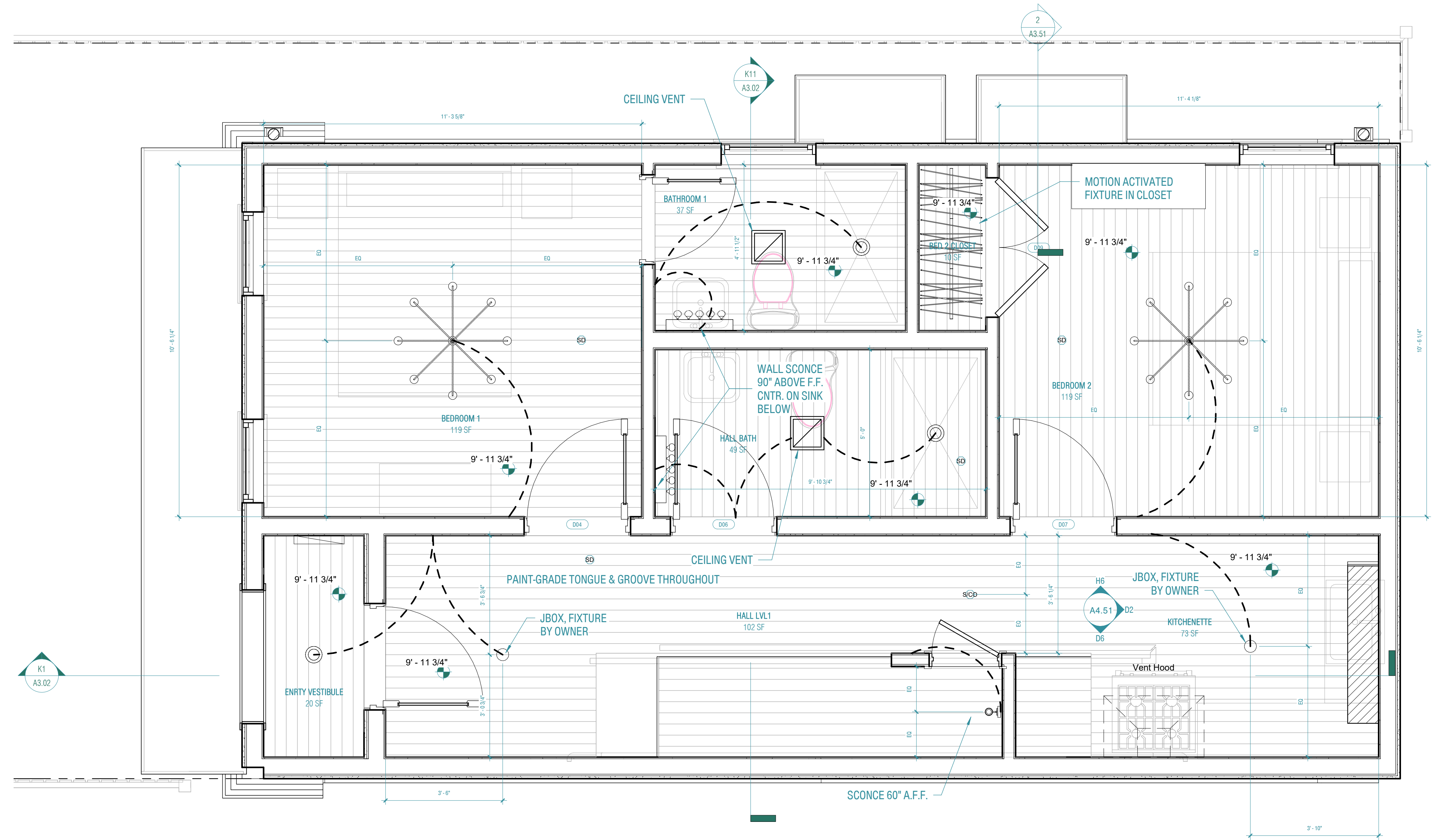
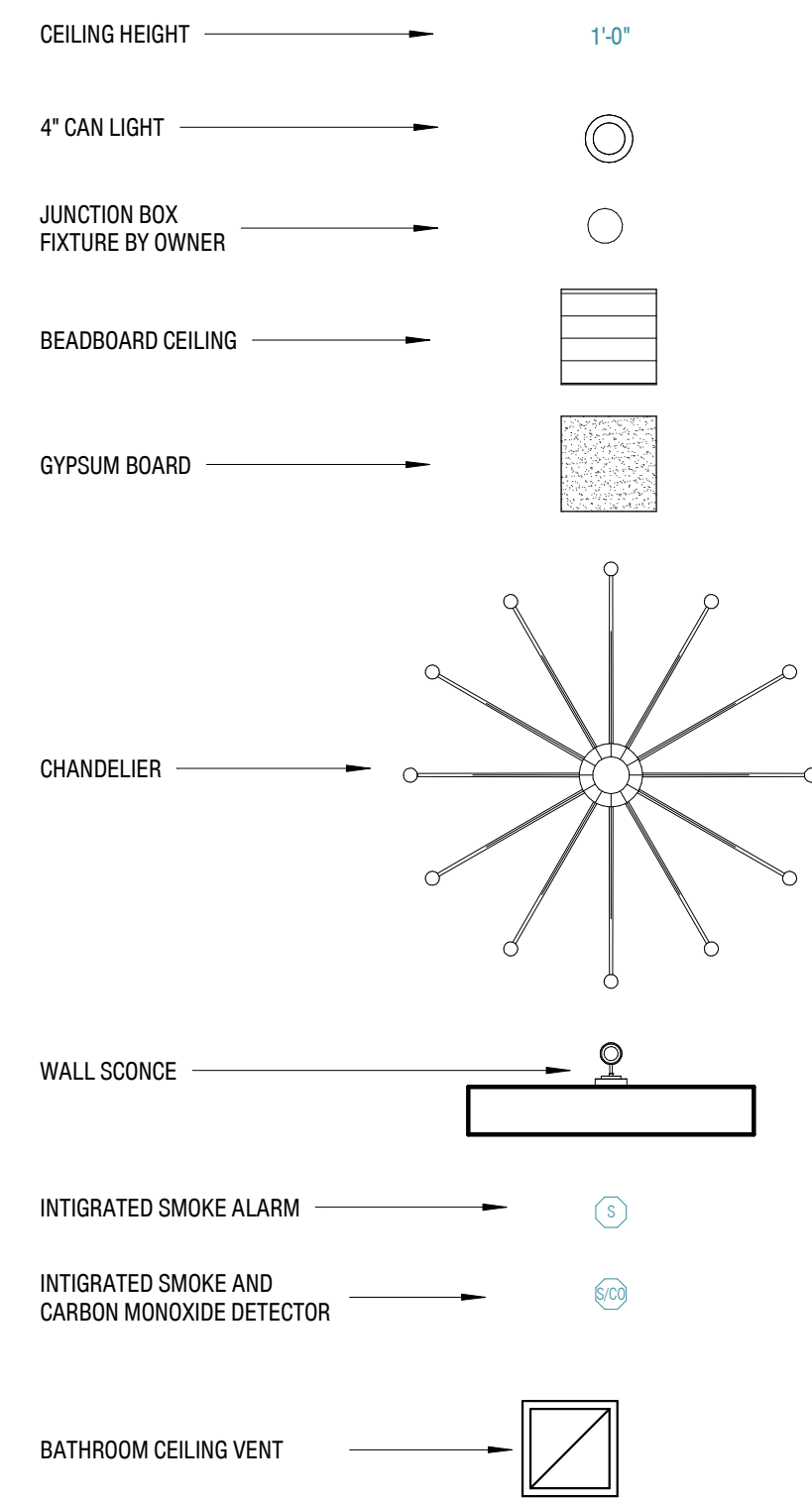
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 2126 MARAIS STREET
 NEW ORLEANS, LA 70116

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DATE:	05/23/2022

ROOF PLAN

A1.03

CICADA SYMBOL LEGEND



G6 MAISONETTE LVL 1 RCP
1/2" = 1'-0"

REFLECTED CEILING PLAN NOTES

- ALL LIGHTS SHALL BE ON DIMMERS, TYP.
- UL APPROVED SMOKE / CARBON MONOXIDE DETECTOR TO BE HARDWIRED TO BUILDING POWER AND INTERCONNECTED W/ OTHER SMOKE ALARMS SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS, TYP.
- ALL CEILINGS TO BE PAINT-GRADE TONGUE & GROOVE
- ALL CEILINGS TO HAVE CROWN MOLDING, PROFILE OWNER SELECTED.
- CEILINGS ARE TO BE MOUNTED TO UNDERSIDE OF JOISTS, TYP.

MARAIS STREET MAISONETTE

2126 MARAIS LLC
2126 MARAIS STREET
NEW ORLEANS, LA 70116

CICADA



PROJECT NO:	121020
PHASE:	PERMIT SET
ISSUED FOR:	
DATE:	05/23/2022

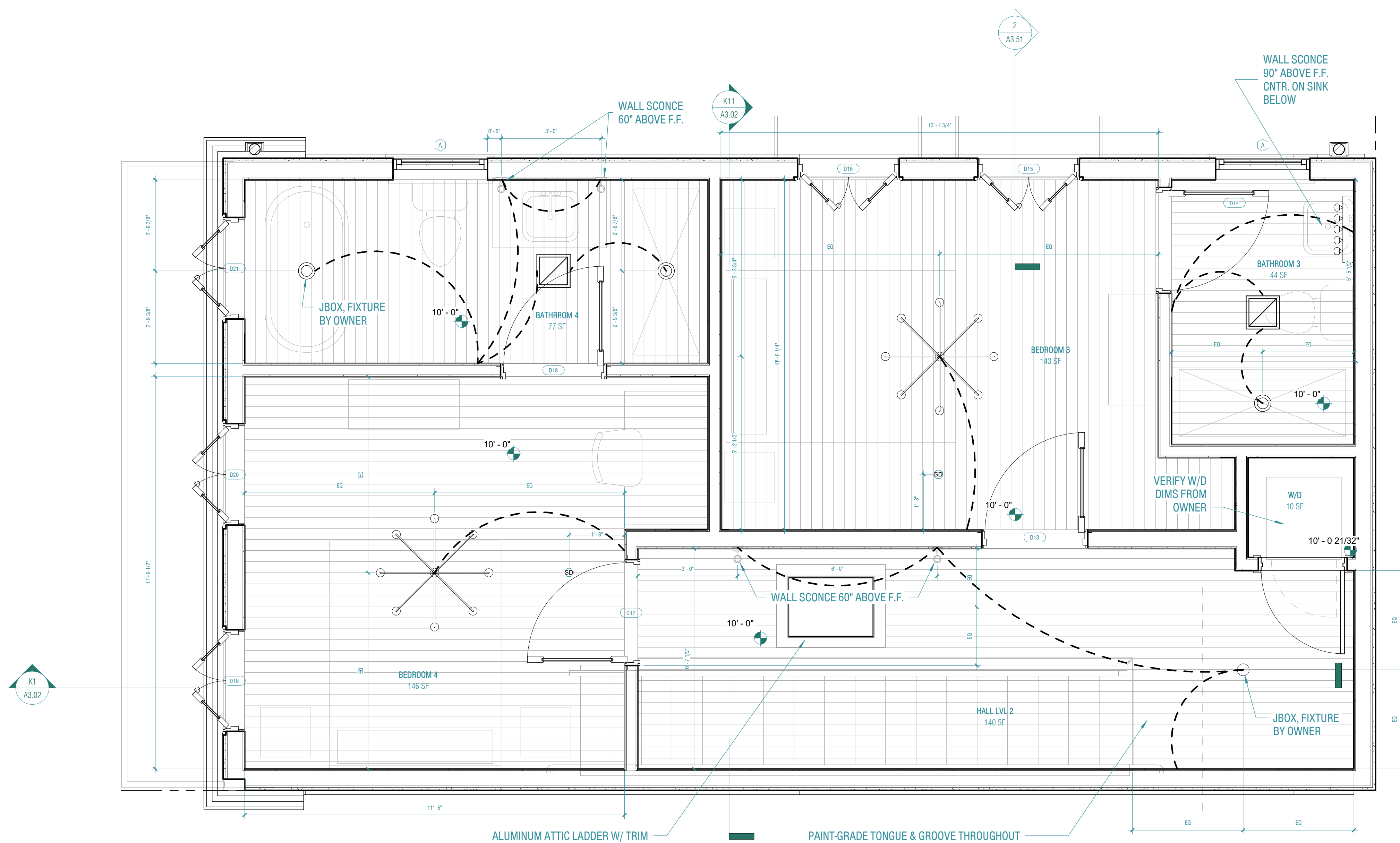
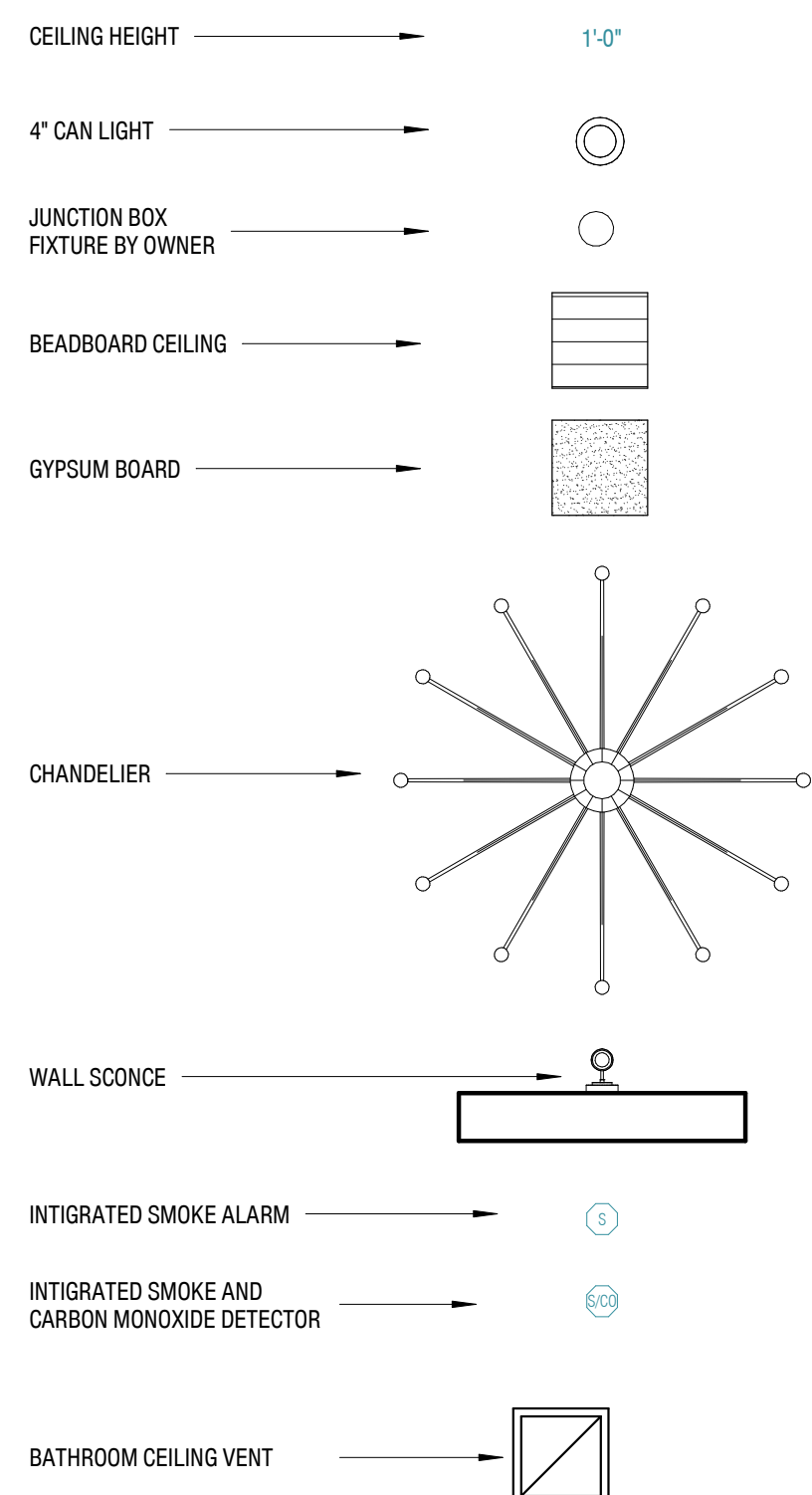
FIRST FLOOR RCP

A1.51

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

A
B
C
D
E
F
G
H
J
K
L

CICADA SYMBOL LEGEND



G6 MAISONETTE LVL 2 RCP
1/2" = 1'-0"

REFLECTED CEILING PLAN NOTES

- ALL LIGHTS SHALL BE ON DIMMERS, TYP.
- UL APPROVED SMOKE / CARBON MONOXIDE DETECTOR TO BE HARDWIRED TO BUILDING POWER AND INTERCONNECTED W/ OTHER SMOKE ALARMS SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS, TYP.
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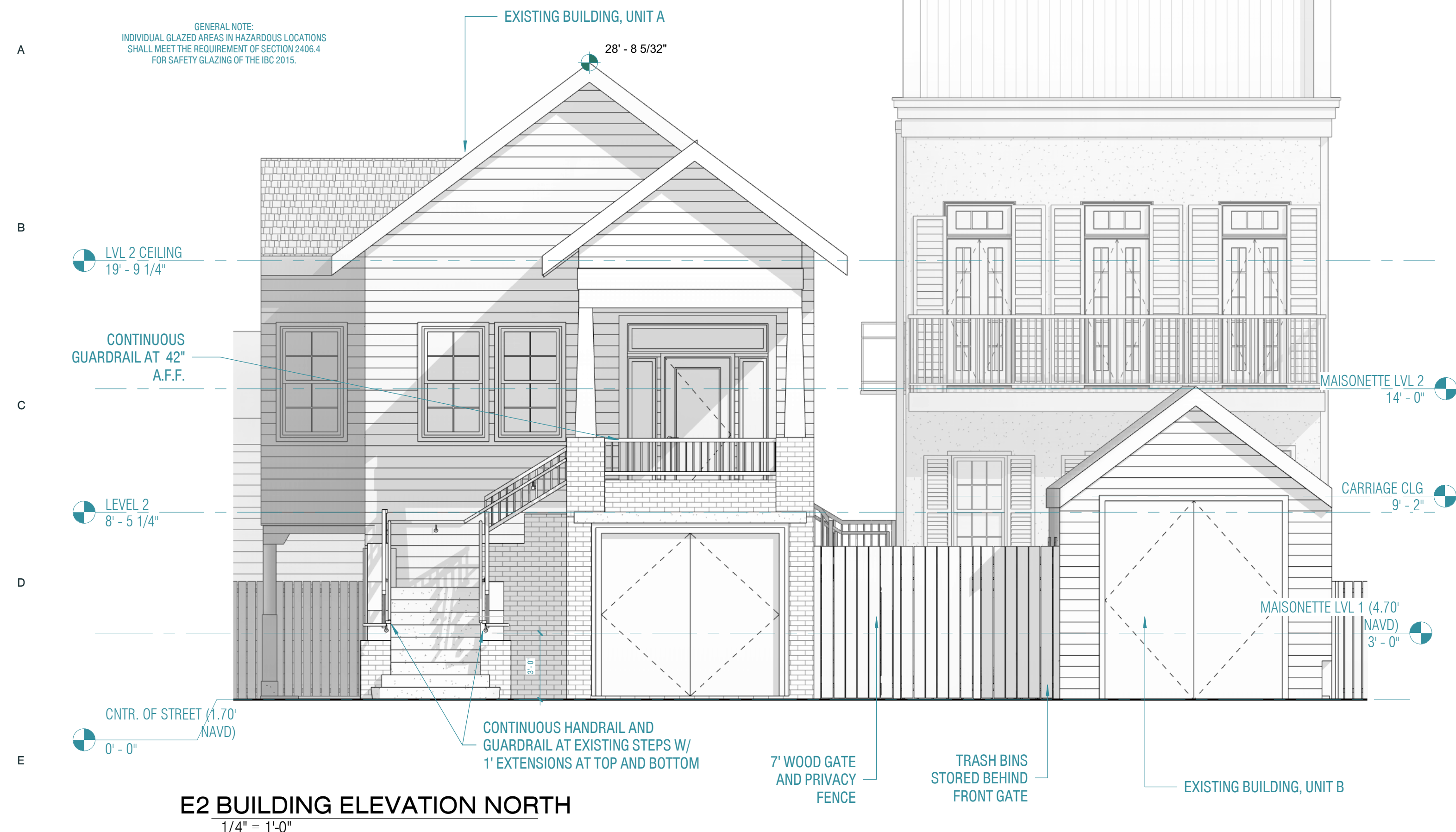
CICADA

PROJECT NO:	121020
PHASE:	PERMIT SET
ISSUED FOR:	
DATE:	05/23/2022

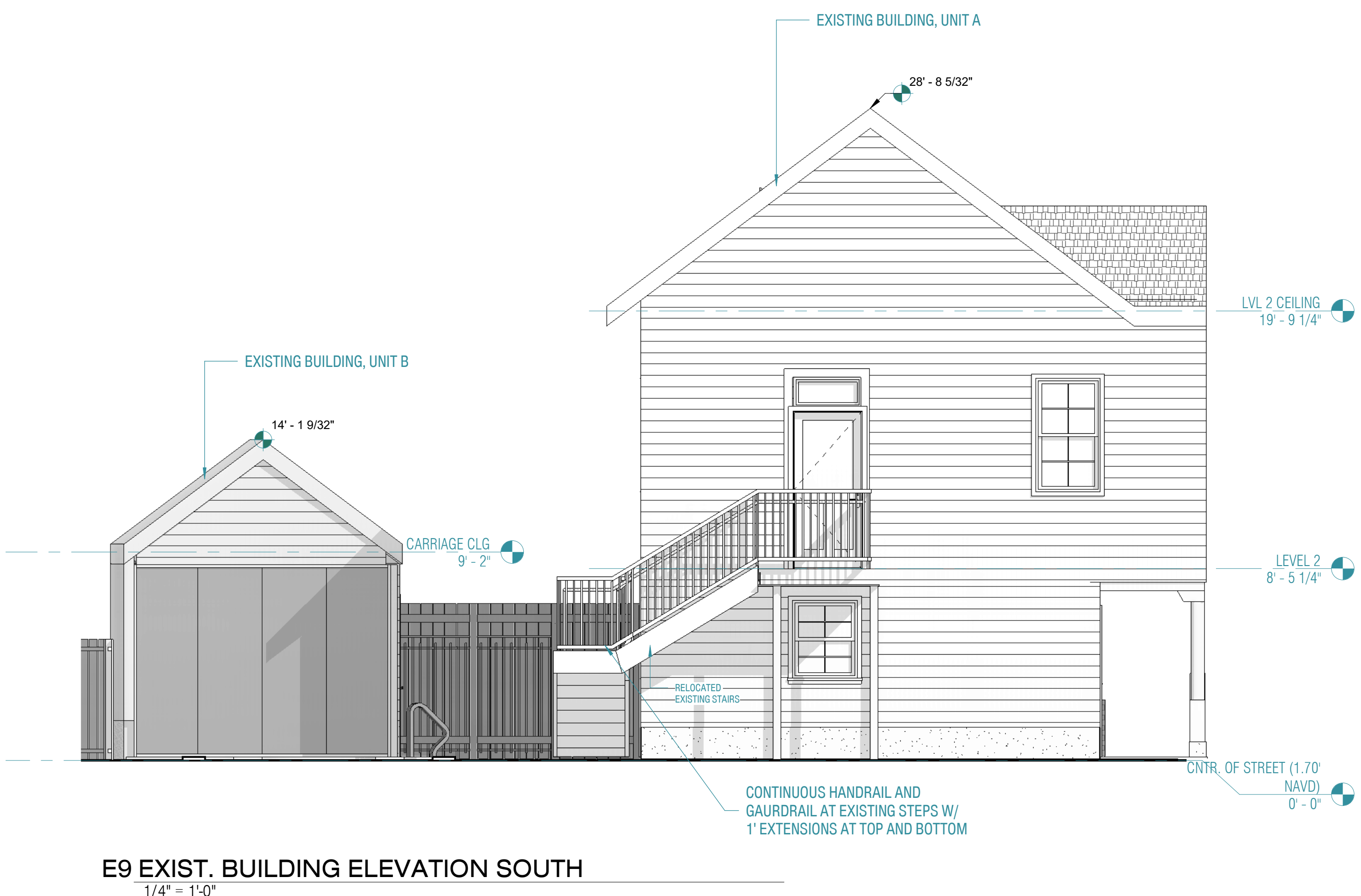
SECOND FLOOR RCP

A1.52

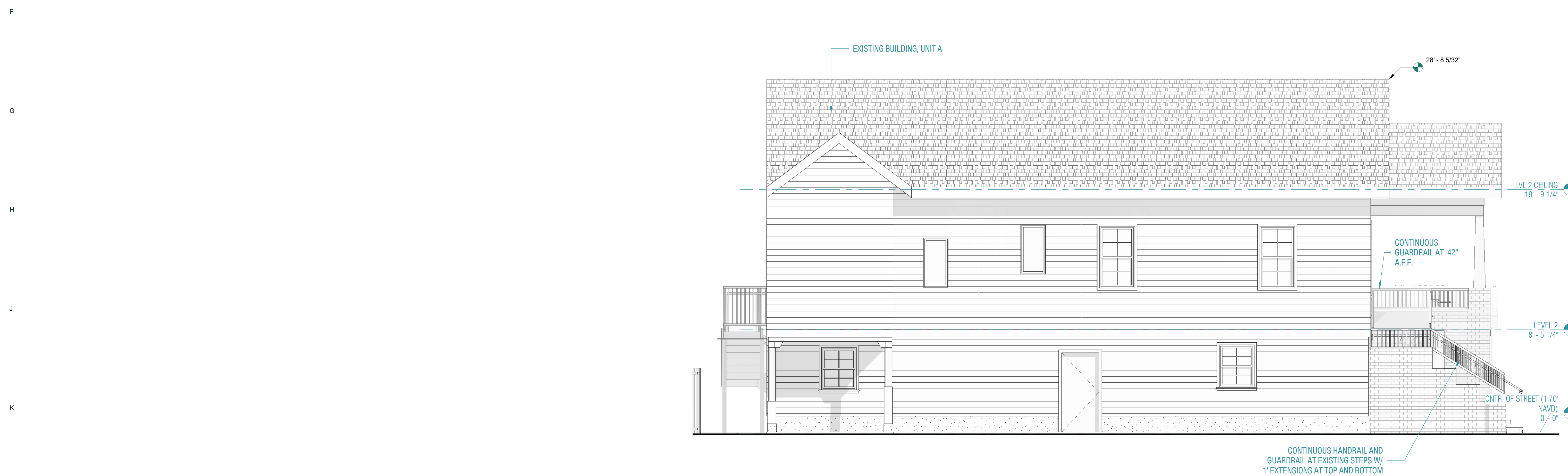
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16



E2 BUILDING ELEVATION NORTH
1/4" = 1'-0"



E9 EXIST. BUILDING ELEVATION SOUTH
1/4" = 1'-0"



L7 EXIST. BUILDING ELEVATION EAST
1/4" = 1'-0"

CICADA



MARAIS STREET MAISONETTE

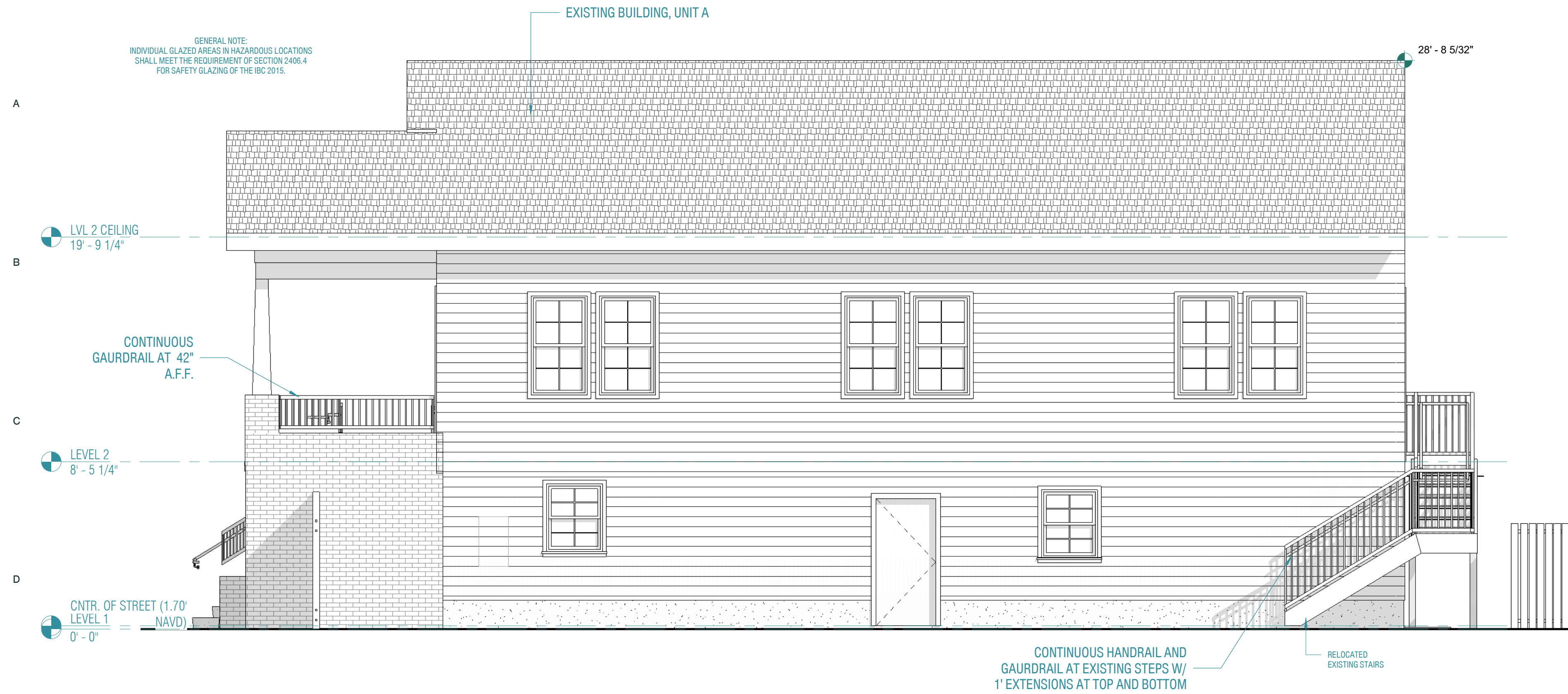
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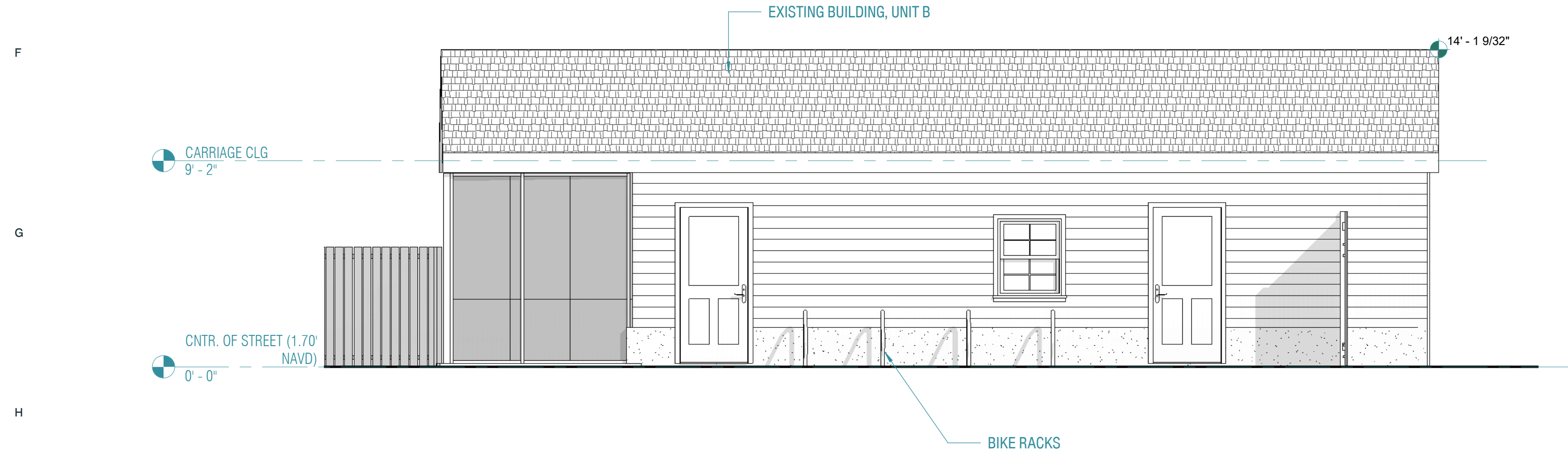
EXIST. BUILDING ELEVATIONS

A2.01

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16



F1 EXISTING BUILDING ELEVATION WEST
1/4" = 1'-0"



H1 EXIST. BUILDING ELEVATION EAST 2
1/4" = 1'-0"

CICADA



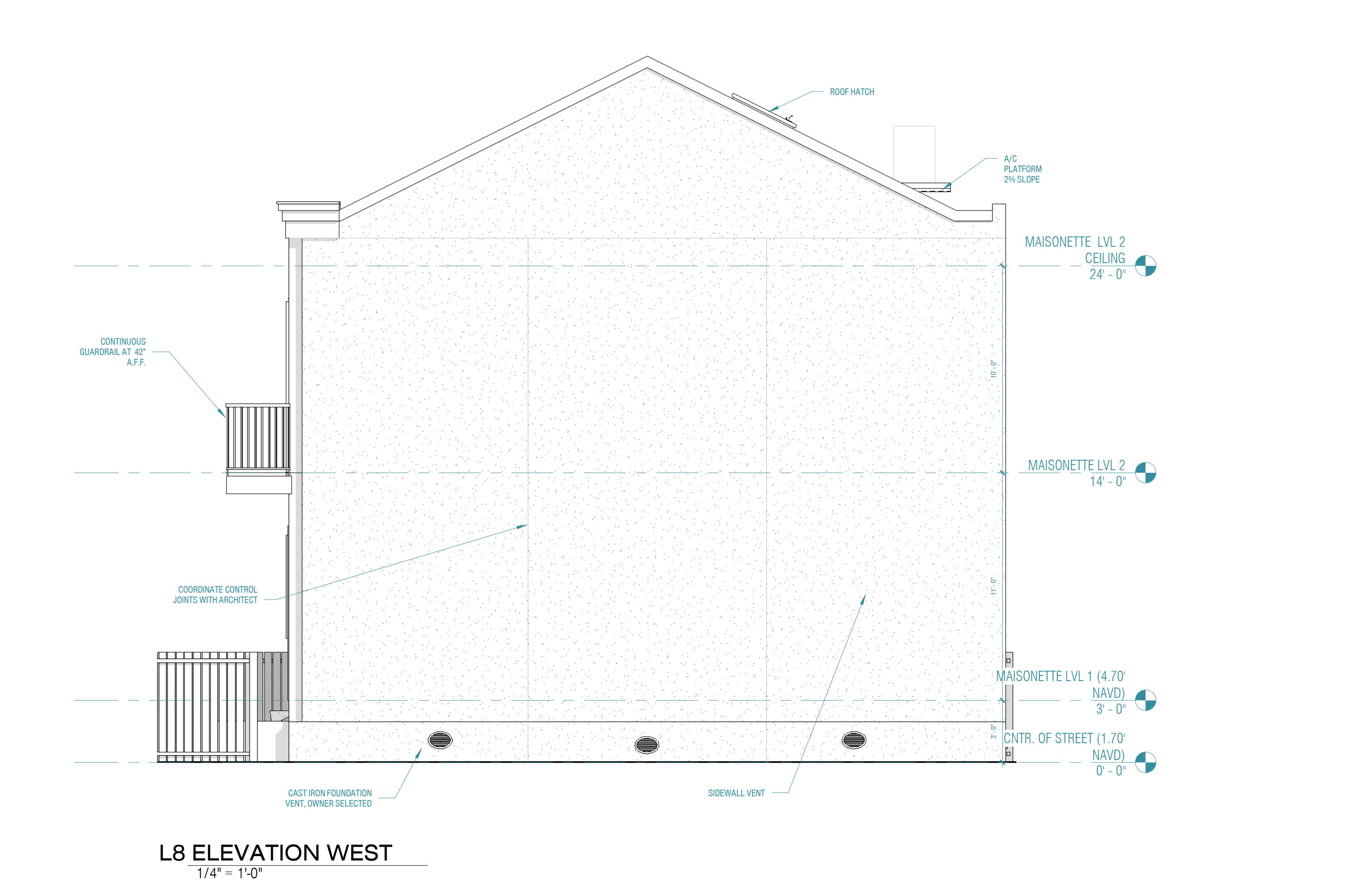
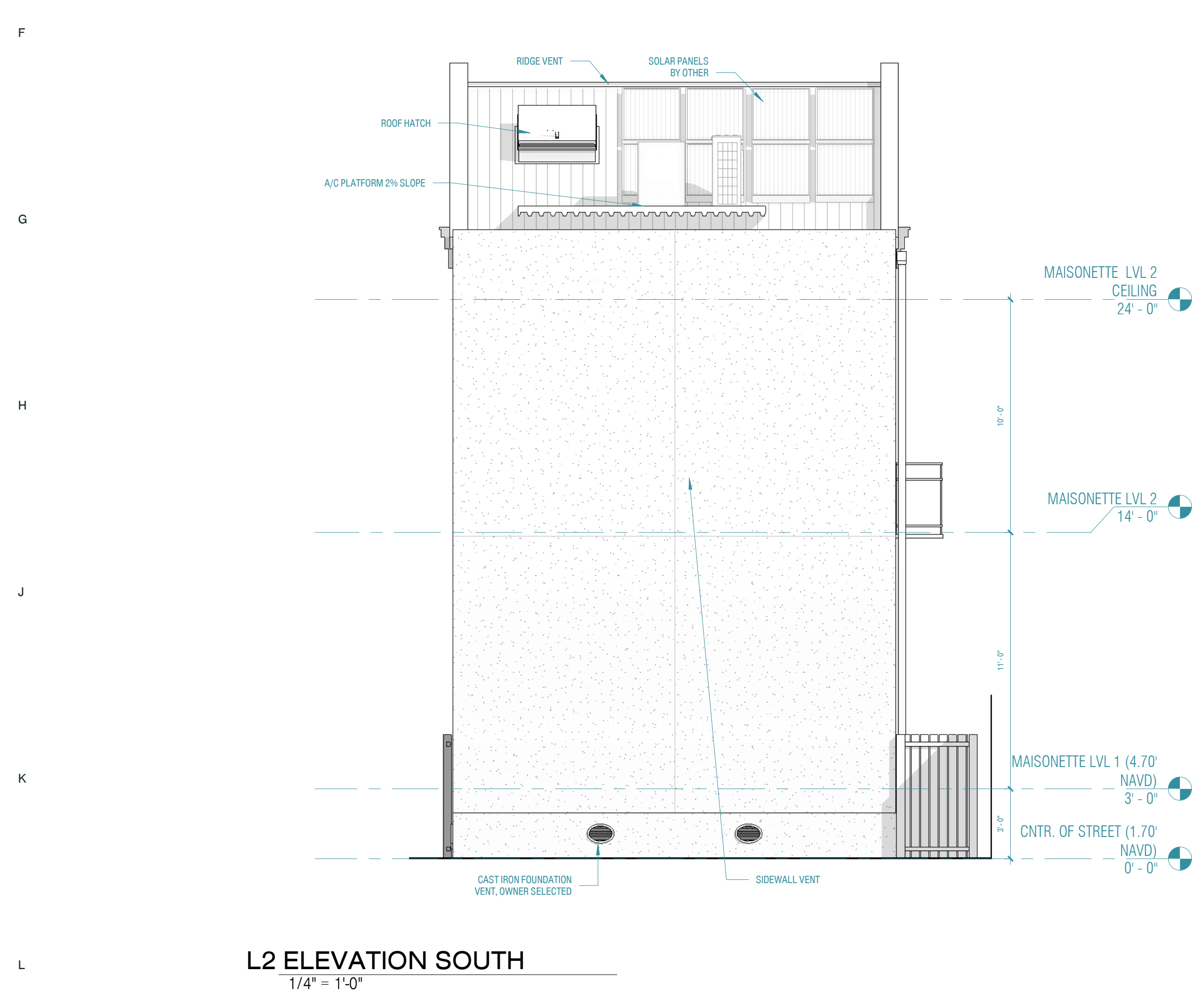
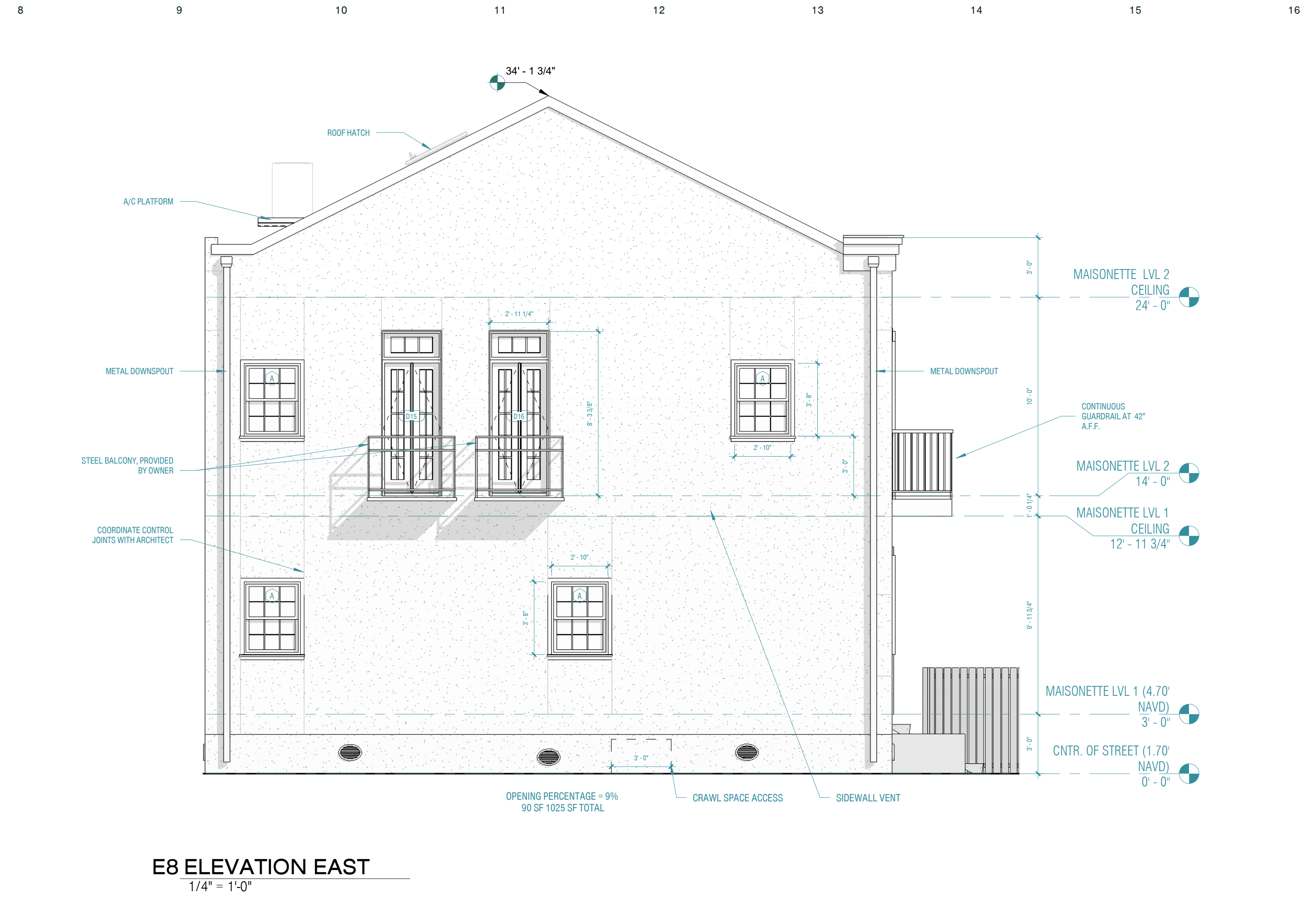
MARAIS STREET MAISONNETTE

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EXIST. BUILDING ELEVATIONS

A2.02



PROJECT NO:	121020
PHASE:	PERMIT SET
ISSUED FOR:	
DATE:	05/23/2022

MAISONNETTE ELEVATIONS