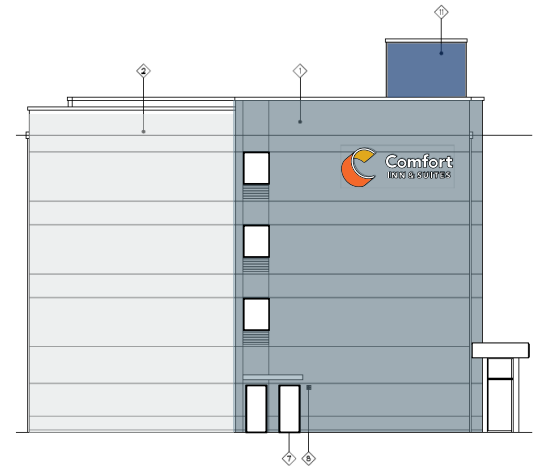
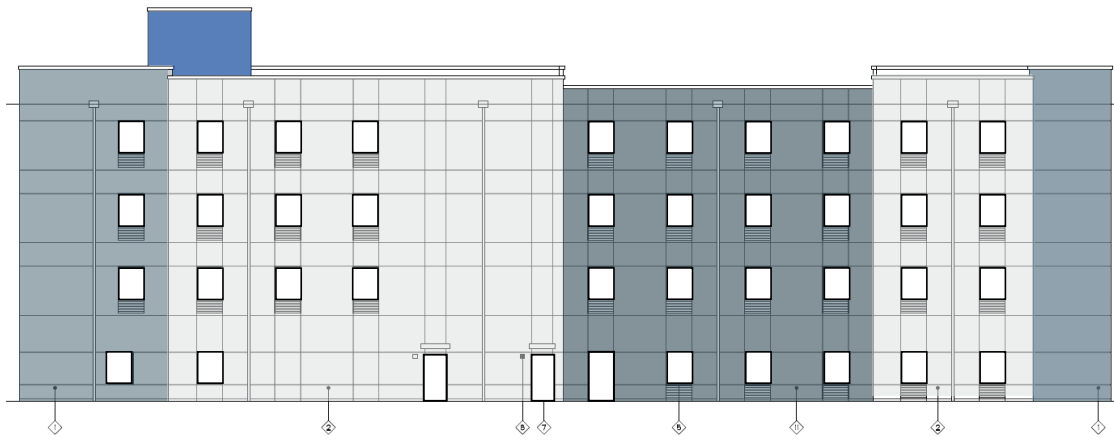


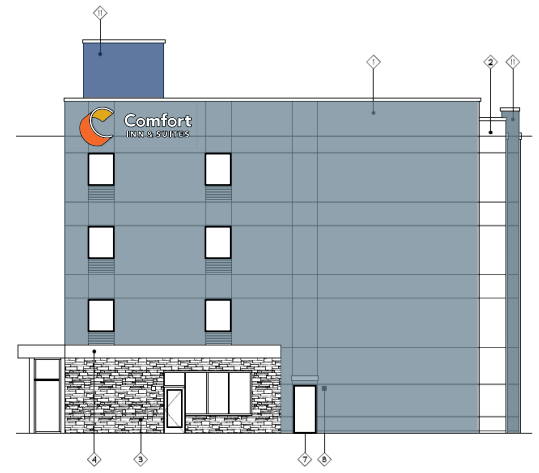
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

5000-5090 Old Gentilly | Site Photos



View from Old Gentilly



View from Old Gentilly



View from Old Gentilly



View from I-10



To: Design Advisory Committee
From: Webre Consulting
Date: October 24, 2023
Re: 5000 – 5090 Old Gentilly Rd

Members of the Design Advisory Committee:

We represent the property owner at 5000 Old Gentilly Rd. They would like to build a new hotel (Comfort Inn & Suites) at that location. The hotel will be a 4-story, 75-room structure with a floor area of 40,518 square feet. The site will be significantly improved with abundant landscaping along the Old Gentilly Rd frontage, within the parking area, and along the site's perimeter.

The site currently functions as a truck stop which was permitted through a Conditional Use in 1994. That zoning entitlement was recently amended to allow for the replacement of the casino use, along with the enhanced landscaping mentioned above. On-street parking will be provided and no parking variance or waivers are required.

Concurrently, we are applying to the Board of Zoning Adjustments (BZA). The site is in a C-2 Auto-Oriented Commercial District, where the maximum height for buildings is 40 ft and no more than three (3) stories, pursuant to Article 15, Section 15.3.A.1 (Table 15-2) of the Comprehensive Zoning Ordinance. The proposed building is four (4) stories in height, necessitating a waiver of one (1) story.

Below please find the approval standards of Article 4, Section 4.5.E of the Comprehensive Zoning Ordinance and how we intend to comply.

In reviewing site plan and design review applications, the relationship of the development plan to adopted land use policies and the goals and objectives of the Master Plan shall be evaluated. In addition, the following characteristics shall be considered:

1. Degree of conformity with the regulations of this Ordinance.

The proposed hotel is one of the ancillary uses that will support the primary truck stop use, which was approved through a conditional use ordinance in 1994. Earlier this year, an administrative design review approved modifications to the original Final Development Plan to include a new casino structure and enhanced landscaping. This zoning entitlement imposed standards on the site that are above and beyond that of the underlying zoning

district via provisos. **Therefore, the DAC can be assured that the site not only meets the requirements of the Ordinance, it exceeds them.**

Further, we believe that the proposed hotel building and use are highly appropriate for the C-2 Auto-Oriented Commercial District. The District *“is intended for large-scale, auto-oriented commercial uses and strip commercial developments, which require significant parking.”* The proposed 4-story hotel can be classified as a moderate-scale commercial use, thereby less intense than the District intent.

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

The hotel will comply with all regulations of the City Code and the respective reviews will be conducted during the plan review process. With respect to the Plan for the 21st Century, the proposed building is consistent with the goals, range of uses, and development character of the General Commercial Future Land Use Category. A hotel will support the goal of increasing the retail tax base, as hotel guests will frequently patronize adjacent retail uses. Further, the FLU category encourages “larger commercial structures” and “minimal negative impacts on surrounding residential areas.” The rear property line runs parallel to the I-10 elevated interstate. It is also adjacent to an LI Light Industrial District to the south is over 1000’ from the residential district to the north. (See Fig. 1) Therefore, no negative impacts on residential uses are expected.

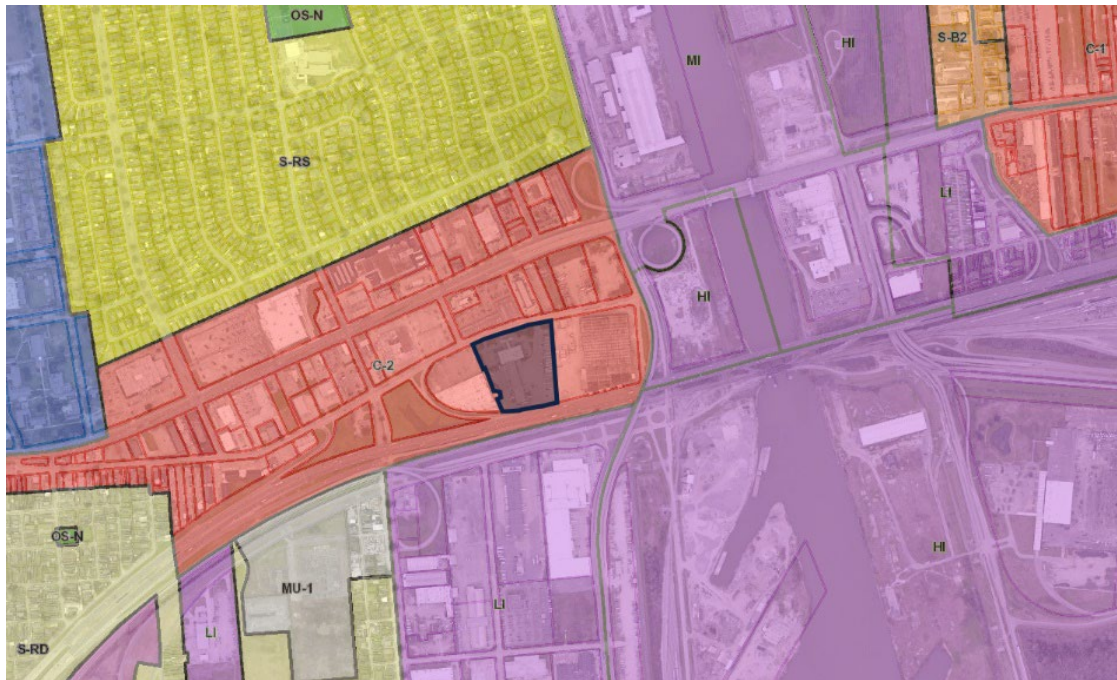


Figure 1 Zoning Map

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:
 - a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.
 - b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

As noted previously, the approved Final Development Plan meets the requirements of a conditional use ordinance that placed enhanced development, operational and landscaping standards on the site. Compatibility with the surrounding development and mitigation of the impacts of the truck stop use on adjacent uses was the primary goal of the provisos of approval. Considering that the hotel use is far less intense than the truck stop use, the DAC can be certain that any detrimental impacts have been mitigated.

4. Landscape and the arrangement of open space or natural features on the site shall:
 - a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.
 - b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.
 - c. Protect natural resources and landscape on adjacent sites.
 - d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.
 - e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.
 - f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

The landscape plan was approved through DR013-23. Considering that the C-2 District “*is intended for large-scale, auto-oriented commercial uses and strip commercial developments, which require significant parking,*” the function of the site layout is primarily oriented to automobiles. There are accommodations for pedestrians, including illuminated awnings at the façade. Further, the landscaping of the parking lot serves to define the vehicular use areas and guide pedestrians safely from their cars to the entry.

The applicant intends to preserve all mature/viable trees and greenspace onsite, and to further enhance those features with berms and abundant plantings that soften the environment and also serve as a buffer between adjacent uses.

5. Circulation systems and off-street parking shall be designed to:

- a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.
- b. Minimize potentially dangerous traffic movements.
- c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.
- d. Minimize curb cuts by using cross-access servitudes and shared parking.
- e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and internal circulation.
- f. Clearly define pedestrian access from the parking area to the building(s). A clearly defined visible and identifiable network of pedestrian connections should be provided in and between parking lots, street sidewalks, open spaces, buildings, and public transit.

The applicants are proposing no significant changes in circulation to and from the site as all existing curb cuts with 2-way traffic will be retained and re-utilized. Within the site, circulation will be similar to the previously approved plan, with the only modification being that traffic will flow around the new row of parking from the center curb cut as opposed to through the fueling deck that was previously in its place. This constitutes an improvement as there are fewer potential vehicular conflicts.

6. Building design that enhances the design quality and character of the surrounding community through strategies such as:

- a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.
- b. Providing a visible transition in height and bulk between higher and lower density development.
- c. Reinforcing the prevailing orientation to the street.
- d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.
- e. Respecting historic design context.

The new hotel constitutes a major investment in the neighborhood that is expected to elevate the standard for development in the vicinity. The massing of the proposed 4-story structure was chosen in part to respond to the scale of the I-10 elevated highway, thereby creating a more balanced, harmonious relationship of the structure to its environment.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS			
NO.	MATERIAL	FINISH	NOTES
1	FIBER CEMENT PANEL	PTD	SMOKE AZURITE (SN-9148)
2	FIBER CEMENT PANEL	PTD	ICICLE (SN-6238)
3	BLEND	PREFINISHED	FRENCH LIMESTONE - COUNTRY BEIGE
4	SIGNATURE LIGHTED AWNING	PREFINISHED	PREFABRICATED LIGHT BOX, SEE ARCHITECTURAL SPECIFICATIONS
5	WINDOW FRAME	PREFINISHED	INTEGRATED PTAC GRILLE WHERE SHOWN - CLEAR ANODIZED ALUMINUM
6	FIBER CEMENT PANEL	PTD	QUEST GRAY (SN-7080)
7	DOOR & DOOR FRAME	PTD	MATCH ADJACENT WALL COLOR
8	LIGHTING WALL PACK	-	EXT-404
9	STEEL COLUMN WRAP	PREFINISHED	BRUSHED STAINLESS STEEL
10	PARAPET COPING	PTD	MATCH ADJACENT WALL COLOR
11	FIBER CEMENT PANEL	PTD	COMFORT BLUE PER ARCHITECTURAL SPECIFICATIONS AND OWNER SELECTED BASE PAINTS

BASE PAINTS	
OPTION 1: COMFORT BLUE SHERWIN WILLIAMS - LOXON XP EXTERIOR W/ FLAT FINISH	OPTION 2: COMFORT BLUE SHERWIN WILLIAMS - LOXON SELF-CLEANING W/ FLAT FINISH
OZ 32 64 128 W1 - WHITE 1 10 1 - L1 - BLUE 6 10 1 - R3 - MAGENTA 2 23 1 -	OZ 32 64 128 W1 - WHITE 1 11 1 - L1 - BLUE 4 63 1 1 R3 - MAGENTA 2 53 1 1
ONE GALLON : LX1170054 ULTRADEEP : 65102844	ONE GALLON : LX1370054 ULTRADEEP : 65102826

GENERAL NOTES - EXTERIORS ELEVATIONS:

- FOR SPECIFIC WINDOW ELEVATIONS & DETAILS, SEE SHEET A24.
- WHERE MATERIAL ALTERNATIVES EXIST, USE OF THESE MATERIALS MUST BE CONSISTENT THROUGHOUT THE ENTIRE PROJECT. MIXING OF MATERIALS AND COLOR SCHEMES ARE PROHIBITED.

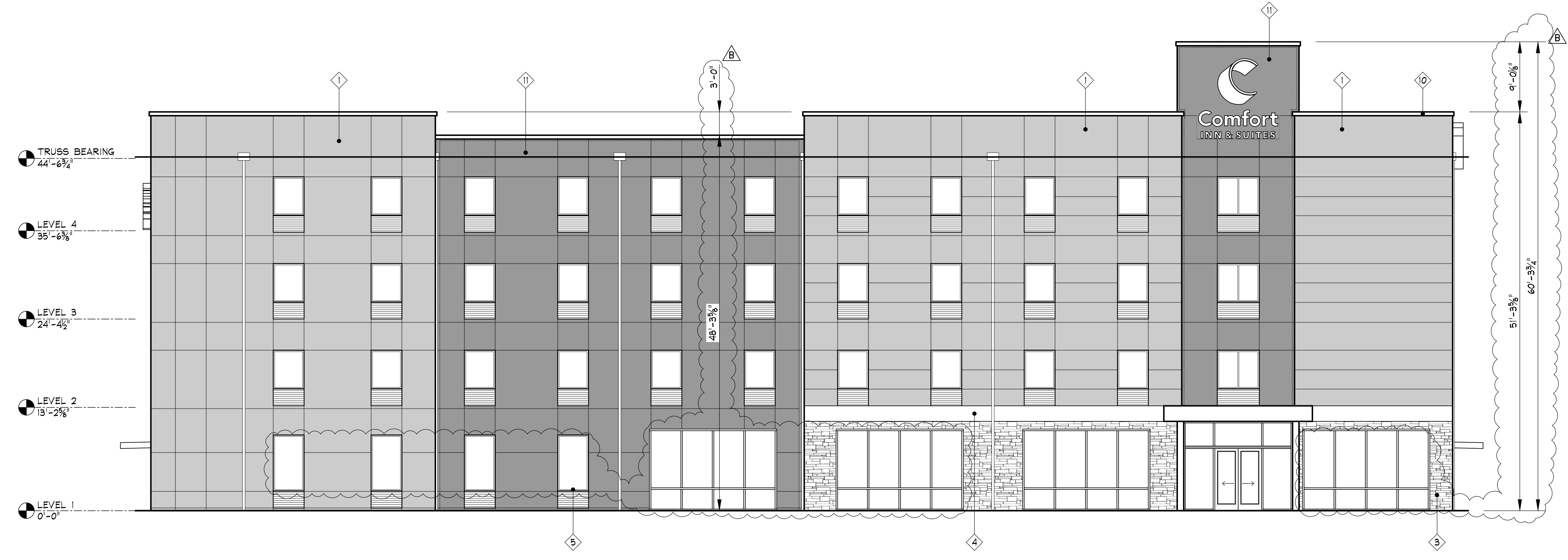
TRANSPARENCY CALCULATION:

DEFINITIONS:

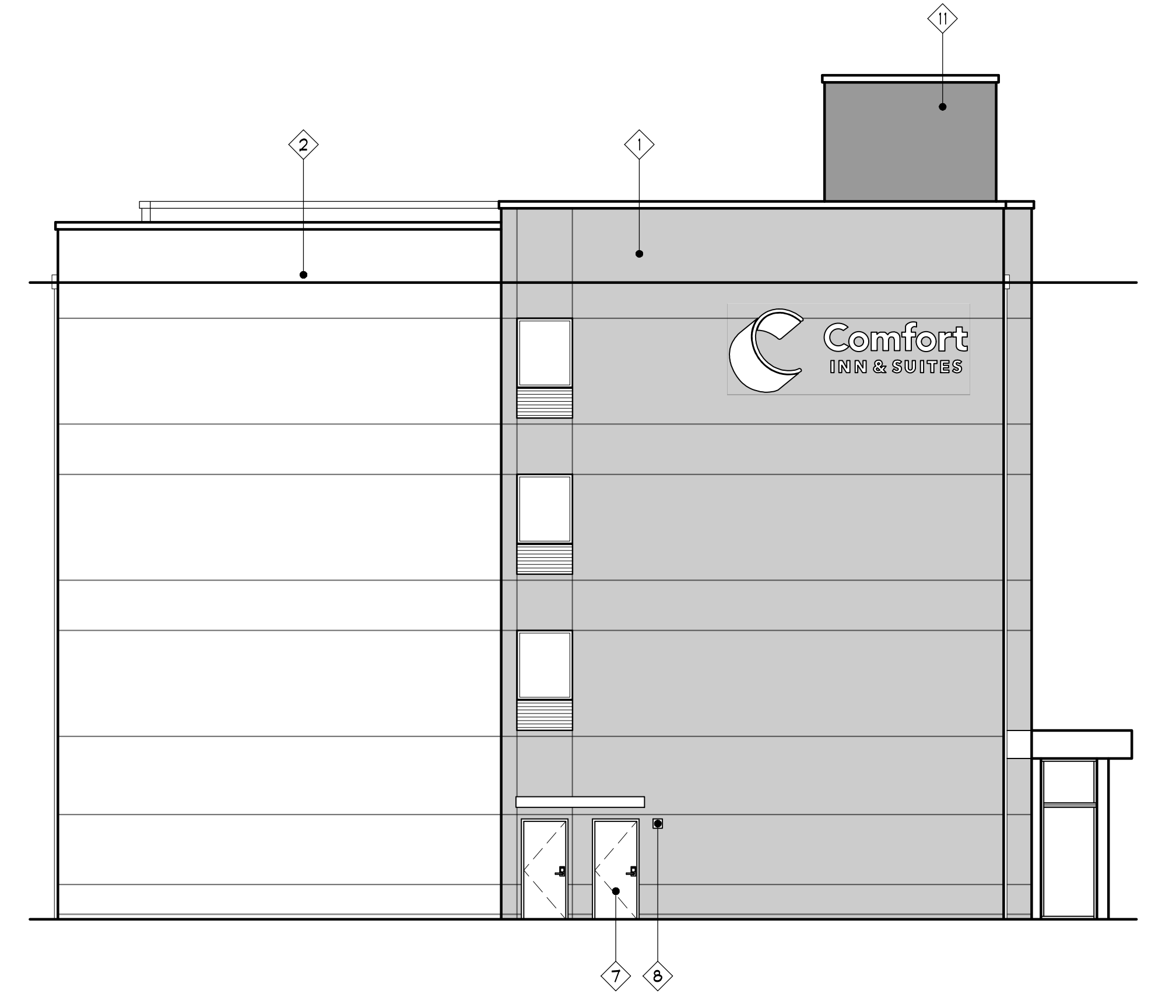
(A) ----- TOTAL AREA (SQ FT) OF GROUND FLOOR BUILDING FRONT
 (A_g) ----- TOTAL AREA (SQ FT) OF GLASS FRONT
 (W₁) ----- AREA OF WINDOW MARK "1"
 (W₂) ----- AREA OF WINDOW MARK "2"
 (W₃) ----- AREA OF WINDOW MARK "3"

CALCULATIONS:

(A) = (BUILDING LESS ENTRY WIDTH x CEILING HEIGHT) + (ENTRY WIDTH x CEILING HEIGHT)
 = (161.75' x 11.00') + (15.67' x 11.5') = 1882.82
 (A_g) = 4 (W₁) + 4 (W₂) + (W₃) = 4 (29.87') + 4 (163.75') + 160.85'
 = 116 + 655 + 160.85 = 931.85
 (A_g) / (A) = PERCENTAGE OF TRANSPARENCY = 931.85 / 1882.82 = 0.5002 = 50%



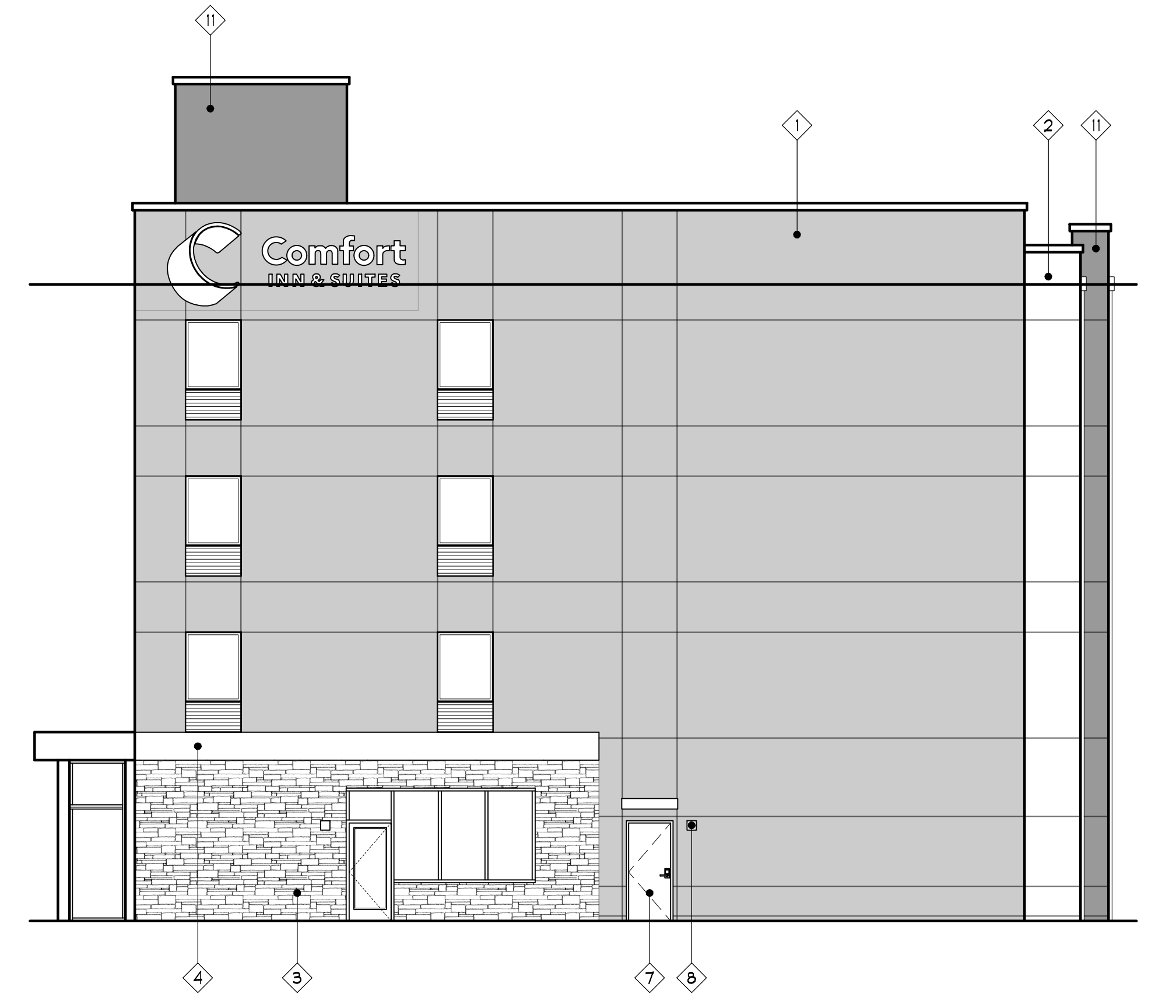
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

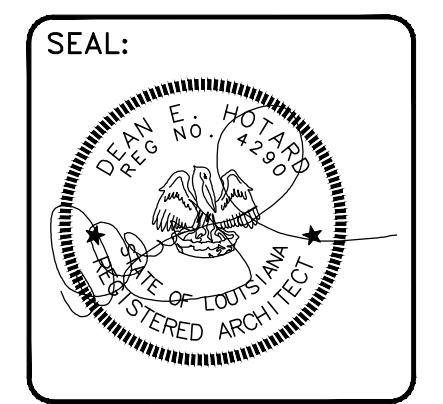
NO.	DATE	REVISION DESCRIPTION	BY	CHKD.	APPR.
1	12-08-22	ISSUED FOR APPROVAL	BAO		
2	11-06-23	REVISED TO CHANGE WINDOW SIZES, ADD BUILDING HEIGHT DIMENSIONS, & TRANSPARENCY CALCULATION	BAO		

DRAWINGS FOR COMFORT INN & SUITES

5000 OLD GENTILLY RD.
 NEW ORLEANS, LA. 70126
 ORLEANS PARISH

Alan hotard & associates, inc.
 architect

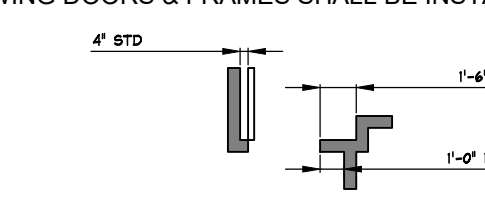
Post Office Box 702 Port Allen, LA 70767
 Phone (225) 343-7591 Fax (225) 343-5101

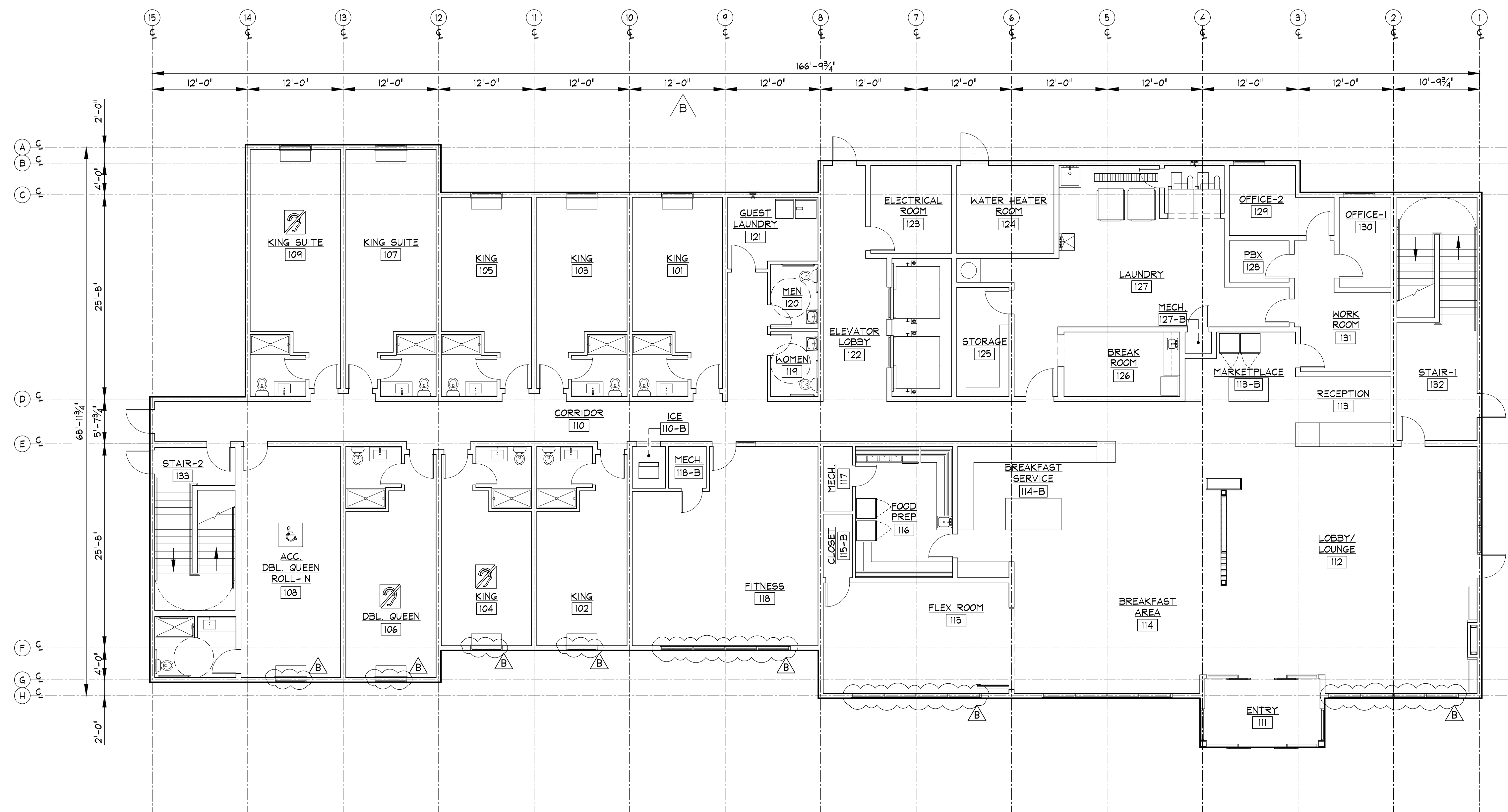


SHEET NO.	A8
PROJECT NO.	202281
DRAWN BY: REV. NO.:	BAO B

COMMIT TO THE LORD
 WHATEVER YOU DO, AND
 YOUR PLANS WILL SUCCEED.
 PROVERBS 16:3

GENERAL NOTES - FLOOR PLANS:

- WOOD BEARING WALLS ARE ASSUMED TO BE 2X6.
 - DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
 - DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
 - WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
 - DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENING.
 - FOR FINISH MATERIAL DESIGNATIONS SEE ENLARGED FINISH PLANS.
 - HINGES SIDE OF DOOR TO BE LOCATED 4" FROM ADJACENT WALL, UNO. SWING DOORS & FRAMES SHALL BE INSTALLED AS SHOWN BELOW, UNO.
- 
- REFERENCE DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE. REFER TO SHEET A24 FOR DOOR AND WINDOW TYPES.
 - FOR SPECIFIC WALL ASSEMBLY INFORMATION, SEE SHEET A12.
 - DOOR IN PATH OF EGRESS SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH CHAPTER 10 OF THE 2021 INTERNATIONAL BUILDING CODE AND ANY APPLICABLE CODES.
 - DOOR REQUIRED TO BE ACCESSIBLE SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH ICC/ANSI STANDARD 117.1a AND ANY APPLICABLE CODES.
 - TO THE MAXIMUM EXTENT POSSIBLE, FLOOR CLEAN OUTS ARE TO BE LOCATED IN INCONSPICUOUS PLACES AND NOT IN GUESTROOMS. ALL FLOOR CLEAN OUTS LOCATED IN CARPETED AREAS ARE TO BE FITTED WITH CARPET INSERTS. ALL CLEANOUTS ARE TO BE FLUSH TO FLOORWALLS.
 - ALIGN FINISHES WHERE DISSIMILAR WALL TYPES MEET, UNO.
 - REFER TO 'E' SERIES SHEETS FOR ELECTRICAL INFORMATION.
 - PROVIDE WALLS WITH AN STC RATING OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
 - PROVIDE ELECTRICAL OUTLETS IN UNIT ENTRY CORRIDOR AT 30" - 0" O.C. SWITCHING WALLS AT EVERY OTHER OUTLET.
 - PROVIDE BLOCKING AT HARDWARE ATTACHMENT POINTS FOR ALL SLIDING DOORS.



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

COMMIT TO THE LORD
WHATEVER YOU DO, AND
YOUR PLANS WILL SUCCEED.
PROVIDED 16.3

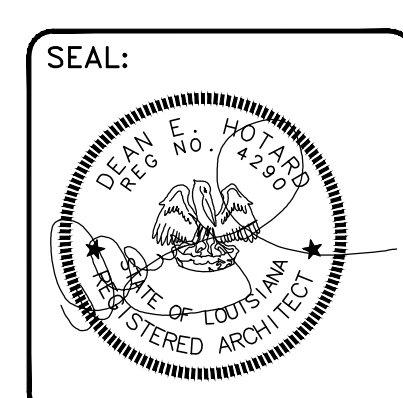
NO.	DATE	REVISION DESCRIPTION	BY	CHKD.	APPR.
△	12-08-22	ISSUED FOR APPROVAL	BAO		
△	11-06-23	REVISED WINDOWS	BAO		

**DRAWINGS FOR
COMFORT INN & SUITES**

5000 OLD GENTILLY RD.
NEW ORLEANS, LA. 70126
ORLEANS PARISH

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architect

Post Office Box 702 Port Allen, LA 70767
Phone (225) 343-7591 Fax (225) 343-5101



SHEET NO.	A1
PROJECT NO.	202281
DRAWN BY: REV. NO.:	BAO B



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000