



PANDA EXPRESS, INC. 1683 Walnut Grove Ave. Rosemead, California

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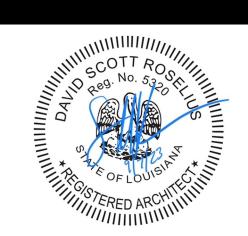
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PANDA PROJECT #: - S8-23-D8571
PANDA STORE #: - D8571
ARCH PROJECT #: - 21125



Heights Venture ARCHITECTURE *DESIGN

OUSTON DALLAS

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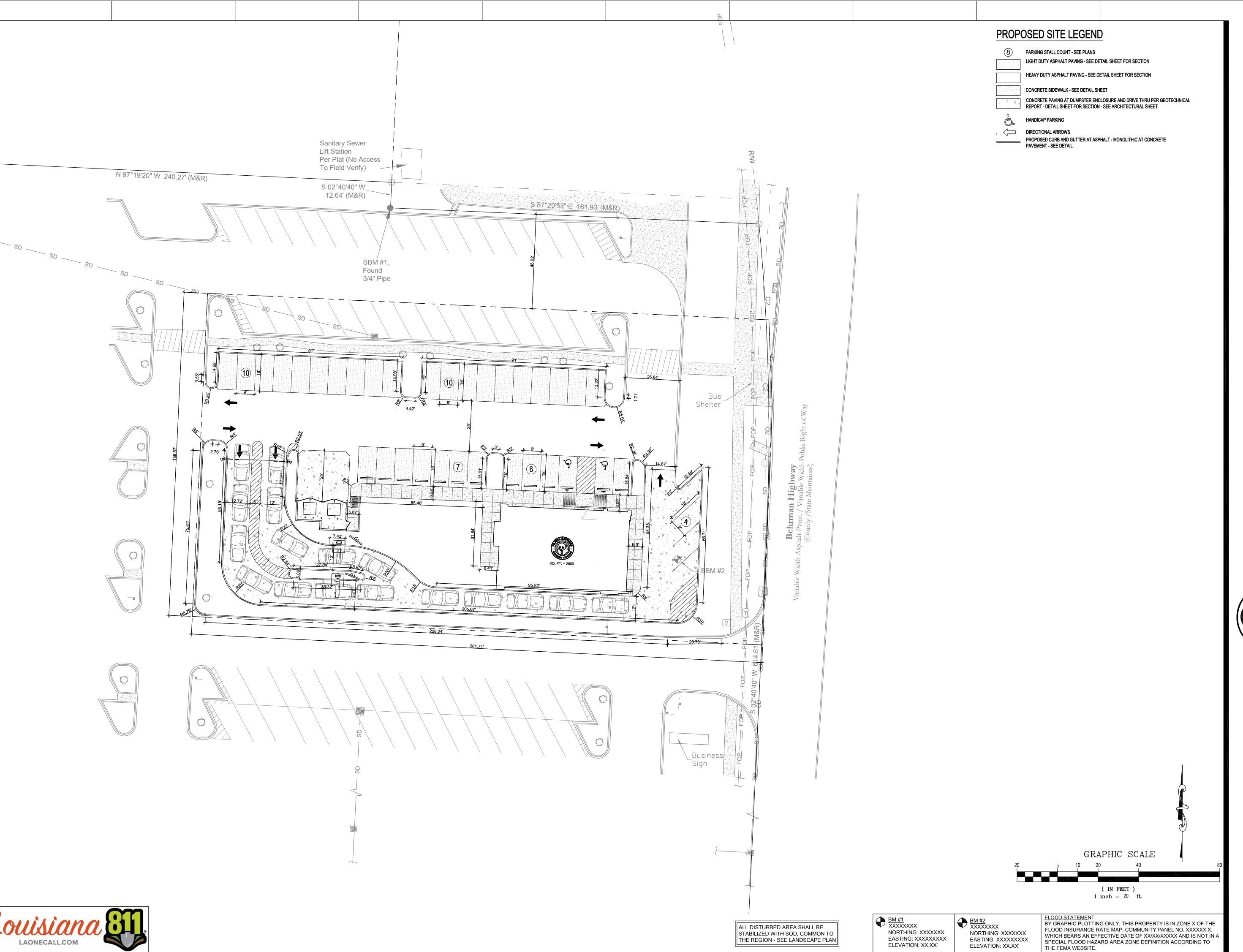
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PANDA EXPRESS

PANDA HOME 2600 BEHRMAN PI & BEHRMAN HWY NEW ORLEANS, LA 70114

G-001

TITLE SHEET





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DRAWN BY:

PANDA PROJECT #: S8-22-D8571

ARCH PROJECT #: XXX-XXX

Civil Engineering Services Engineering, Land Planning, and Environmental 7705 Spicer Farm Lane Fairview, Tennessee Phone: (615) 533-0401

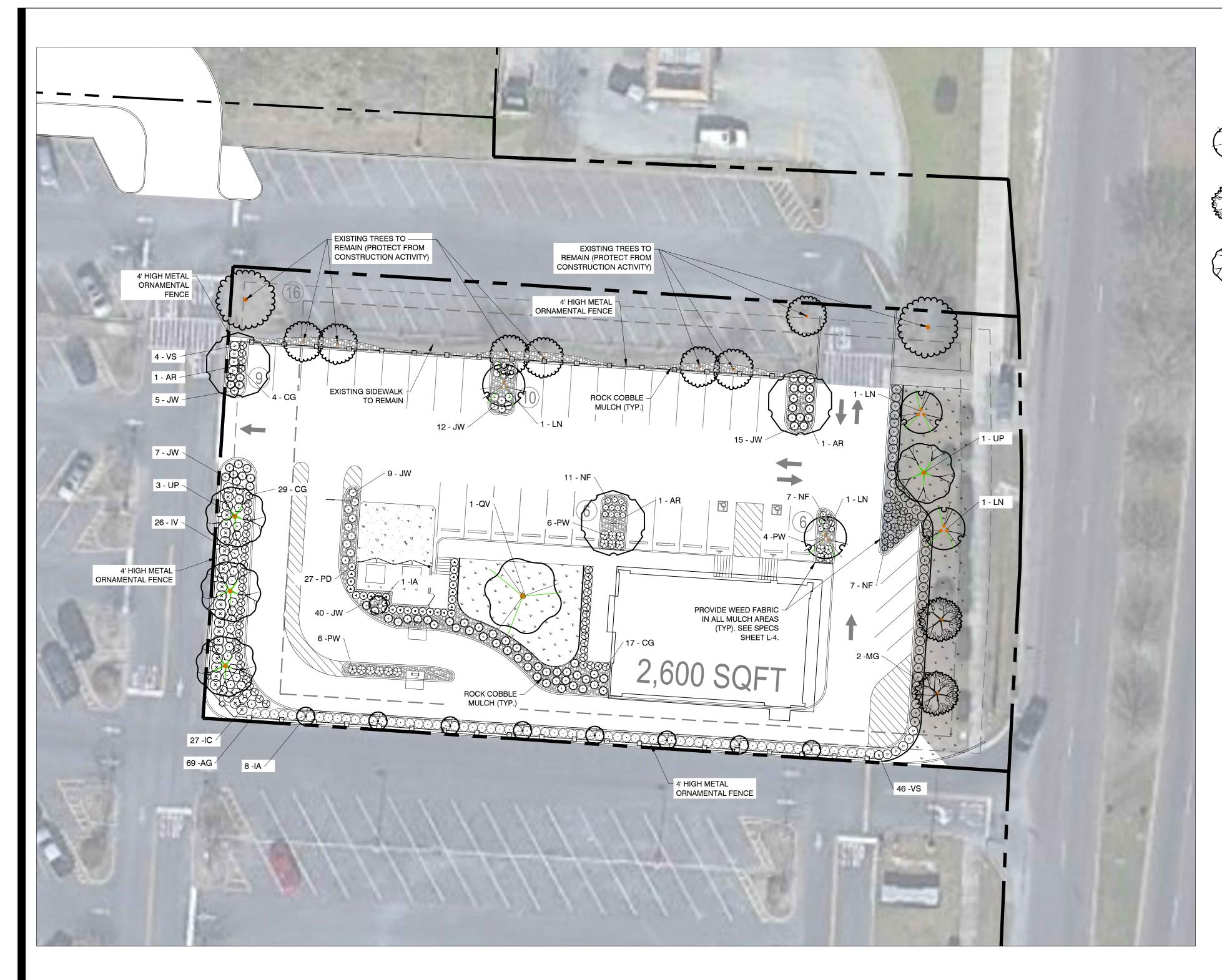
e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

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TRUE WARM & WELCOME

SITE SHEET



GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- 3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.

 a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS
- ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.

 b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM
- STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER
- SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.

 d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM
- THE WALKS.

 e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

 f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- 4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).

 a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT

LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER

- PATTERNS) SHALL TAKE PRECEDENCE.

 b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE
 ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE
- c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- 5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL
- ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.

 THE TURF BOUNDARY SHOWN ON THESE PLANS HAS BEEN ESTIMATED BASED ON THE CURRENT PROJECT INFORMATION. CONTRACTOR
- SHALL ADJUST THE LIMITS OF TURF TO COVER ALL DISTURBED AREAS DURING CONSTRUCTION.

 7. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ARCHITECT IN WRITING (VIA PROPER CHANNELS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF ROCK COBBLE MULCH IN ALL NEWLY PLANTED AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

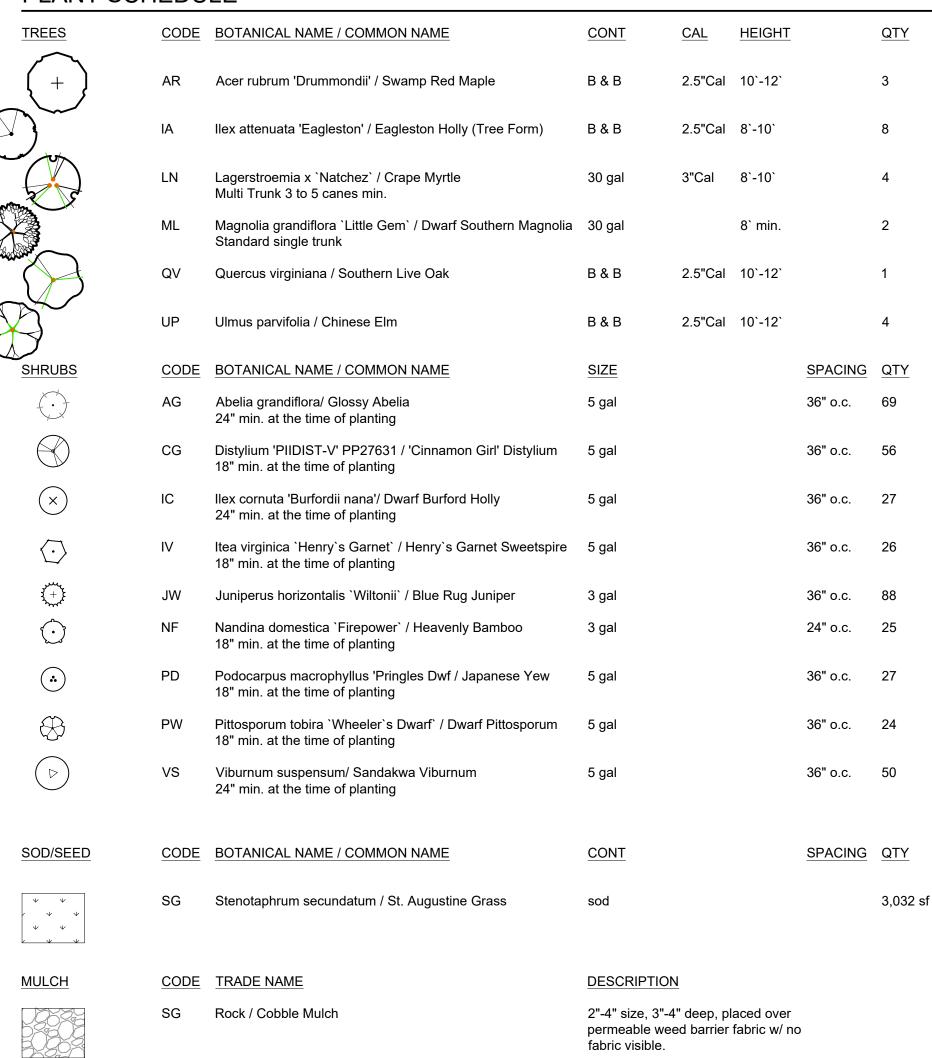
LANDSCAPE REQUIREMENTS

PANDA EXPRESS RESTAURANT 1035 MIAMISBURG CENTERVILLE RD. WASHINGTON TWP, OH 45459

SITE AREA: 49,092.3 SF (1.02 AC.)

- LANDSCAPE BUFFER IS EXISTING AND TO BE MAINTAINED AT ROW ALONG MCEWEN AND MIAMISBURG CENTERVILLE RD.
- EXISTING TREES ALONG MCEWEN TO BE MAINTAINED AND PROTECTED DURING CONSTRUCTION

PLANT SCHEDULE



LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	26,457 \$
BUILDING FOUNDATION LANDSCAPING 1 SHRUB EVERY 36" O.C.	N/A

FRONTYARD LANDSCAPE
BEHRMAN HWY - 1 UNIT (UNIT B) PER 100 LF
152 LF = 1.52 B UNITS = 2 SHADE TREES/2 EVERGREEN TREES/
2 ORNAMENTAL TREES/46 SHRUBS

PARKING LOT LANDSCAPING

1 SHRUB EVERY 36" O.C. ALONG STREET FRONTAGE

1 SHADE TREE/1 ORNAMENTAL TREE PER 40 LF

4' HIGH ORNAMENTAL FENCE

7' OPAQUE FENCE ADJACENT TO RESIDENTIAL LOTS

INTERIOR PARKING LOT

1 ISLAND PER 10 PARKING SPACES PROVIDED

1 TREE PER LANDSCAPED ISLAND PROVIDED

SHRUBS IN LANDSCAPE ISLAND PROVIDED



2 SHADE TREES/ 2 EVERGREEN TREES/ 2 ORNAMENTAL TREES/ 46 SHRUBS PROVIDED

PROVIDED

PROVIDED PROVIDED

PROVIDED

Scale 1" = 20'

NOTE: PRINTED DRAWING SIZE
MAY HAVE CHANGED FROM
ORIGINAL. VERIFY SCALE

USING BAR SCALE ABOVE.



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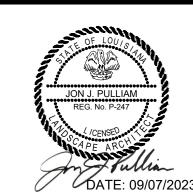
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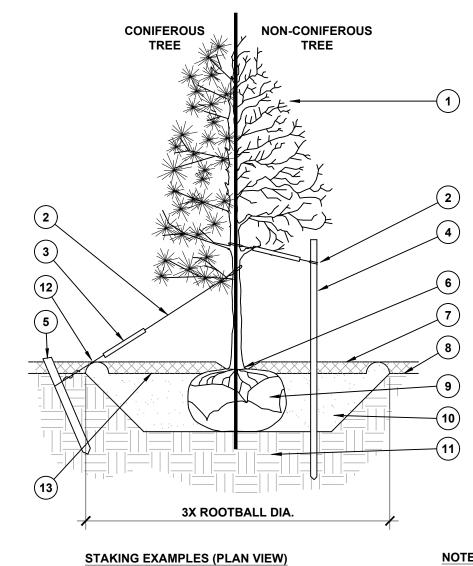
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LANDSCAPE PLAN

LP-1

PANDA HOME 2600 R4

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PREVAILING PREVAILING WINDS WINDS

> TREE PLANTING **SCALE: NOT TO SCALE**

(1) ROLLED-TOP STEEL EDGING PER PLANS.

(3) MULCH, TYPE AND DEPTH PER PLANS.

1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.

3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

STEEL EDGING

SCALE: NOT TO SCALE

2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.

(2) TAPERED STEEL STAKES.

(4) FINISH GRADE.

(1) TREE CANOPY.

(2) CINCH-TIES (24" BOX/2" CAL, TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.

(3) 24" X 3/4" P.V.C. MARKERS OVER WIRES.

(4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.

(5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.

(6) TRUNK FLARE.

(7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.

(8) FINISH GRADE.

(9) ROOT BALL.

(10) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.

(11) UNDISTURBED NATIVE SOIL.

(12) 4" HIGH EARTHEN WATERING BASIN.

(13) FINISH GRADE.

1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.

FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. REMOVE ALL NURSERY STAKES AFTER PLANTING.

5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER. 3" HIGH EARTHEN FINISH GRADE. WATERING BASIN. ROOT BALL. BACKFILL. AMEND AND WEED FABRIC FERTILIZE ONLY AS UNDER MULCH. **RECOMMENDED IN SOIL** FERTILITY ANALYSIS. - UNDISTURBED NATIVE SOIL. 2X

SHRUB/GROUNDCOVER PLANTING SCALE: NTS

DISTANCE PER PLAN

24" MIN. TO EDGE

OF MATURE CANOPY

1 CURB.

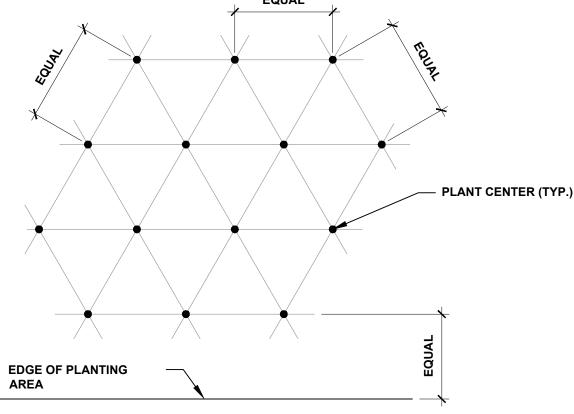
(3) PLANT.

PLANTING AT PARKING AREA

SCALE: NOT TO SCALE

(2) MULCH LAYER.

(4) TURF (WHERE SHOWN ON PLAN).



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA: TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT

(1) TYPICAL WALKWAY OR PAVING

LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

(2) TREE TRUNK

(4) TREE CANOPY

(5) TYPICAL PLANTING AREA

(6) TYPICAL CURB AND GUTTER

1) INSTALL ROOT BARRIERS NEAR

ALL NEWLY-PLANTED TREES

THAT ARE LOCATED WITHIN

FIVE (5) FEET OF PAVING OR

2) BARRIERS SHALL BE LOCATED

IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO **CIRCUMSTANCES SHALL THE** CONTRACTOR USE ROOT **BARRIERS OF A TYPE THAT**

COMPLETELY ENCIRCLE THE

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER

STEP 1: 100 SF/1.95 = 51 PLANTS STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

PLANT SPACING

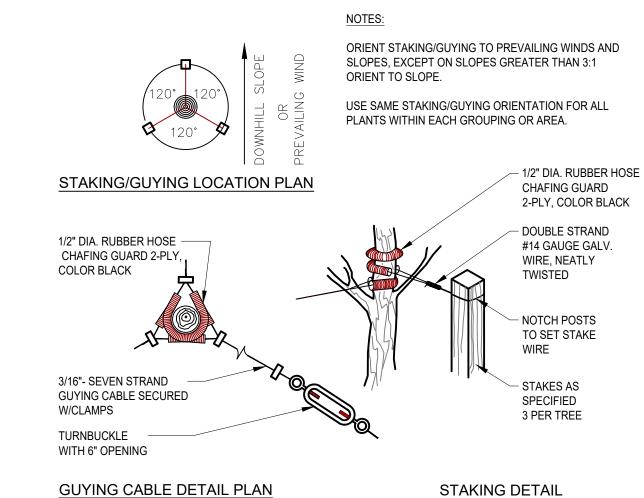
PARKWAY OR ISLAND

ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE

OPEN LANDSCAPE

SCALE: NTS



TREE STAKING AND GUYING



Pro 5 Weed Barrier





DeWitt Pro 5 Weed Barrier is a woven, needle-punched polypropylene fabric for commercial grade weed control. Specified by leading architects, the fabric is designed to allow air, water, and nutrients through. The fabric will not rot or mildew, and is formulated to resist uv degradation.

Property	Test Method	Unit	Minimum Average Roll Value
Woven Material Fiber Backing			Polypropylene Polyester
Color			Black with Gold Stripe every 12"
Construction Weave			15 x 10 or 10 x 15
Weight	ASTM D 5261	OZ/SY	5.0 Scrim 2.8 Cap 2.2
Grab Tensile Strength	ASTM D 4632	LBS	Warp 80 Weft 65
Grab Elongation	ASTM D 4632	%	Warp 15 Weft 15
Trapezoid Tear	ASTM D 4533	LBS	Warp 35 Weft 30
Puncture	ASTM D 6241	LBS	300
Water Permeability	ASTM D 4491	GAL/MIN/SF	10
Ultraviolet Exposure	ASTM D 4355	% Strength Retained	>70% after 2500 Hrs Carbon Arc Exposure

Date: 12/13/16. This data sheet supersedes all previously issued data. The above properties are typical averages.

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WEED BARRIER

THE ABOVE IS MINIMUM STANDARD. OTHER BRANDS MAY BE SUBSTITUTED AS LONG AS SPECIFICATIONS ARE MET OR EXCEEDED. HOWEVER ANY SUBSTITUTION MUST BE SUBMITTED BUY THE CONTRACTOR FOR PANDA PM APPROVAL PRIOR TO INSTALLATION



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ARCHITECTURE * DESIGN

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PLANTING DETAILS

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PANDA HOME 2600 R4

DESIGN/BUILD IRRIGATION SPECIFICATIONS

SHALL BE ENCLOSED IN A VANDAL-RESISTANT ENCLOSURE

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM SHALL HAVE A REDUCED-PRESSURE BACKFLOW PREVENTION DEVICE INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE. THE BACKFLOW DEVICE
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS (WATER NEEDS, SUN EXPOSURE, ETC.) SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE. THE PLANTING PLAN SHALL BE THE BASIS OF IRRIGATION DESIGN. AND THE IRRIGATION CONTRACTOR SHALL OBTAIN AND THOROUGHLY REVIEW A COPY OF THE PLANTING PLAN PRIOR TO SUBMITTING A BID FOR IRRIGATION DESIGN/BUILD
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE. TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: RAIN SENSORS. MULTI-PROGRAM COMPUTERIZED IRRIGATION
- CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT
- OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES, FEES, AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND/OR SHOWN ON THE IRRIGATION PLANS, NOTES, AND DETAILS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS,
- CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL STATE AND LOCAL AUTHORITIES IN SUPPLY TRANSPORTATION AND INSTALLATION OF MATERIALS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND LOCAL AND/OR STATE CODES. CODES SHALL PREVAIL.
- THE INTENT OF THE IRRIGATION SYSTEM IS TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. THE IRRIGATION PLAN IS GENERALLY DIAGRAMMATIC COORDINATE IRRIGATION INSTALLATION WITH UTILITY INSTALLATIONS. ACTUAL LOCATION OF CONTROLLER BACKELOW DEVICE PIPING VALVES DRIP IRRIGATION, AND RELATED EQUIPMENT MAY NEED TO BE ADJUSTED BASED ON ACTUAL SITE CONDITIONS QUALIFICATIONS OF IRRIGATION CONTRACTOR
- ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE IRRIGATION CONTRACTING FIRM SPECIALIZING IN IRRIGATION SYSTEMS. SEE THE IRRIGATION PLAN FOR SPECIFIC EQUIPMENT AND SYSTEM LAYOUT
- THE IRRIGATION CONTRACTOR MUST HAVE ON ITS STAFF A CONTRACTOR LICENSED IN THE APPROPRIATE LOCAL JURISDICTION. A LICENSED IRRIGATOR OR LICENSED IRRIGATION INSTALLER SHALL BE PRESENT AT THE PROJECT SITE AT ALL TIMES AS WORK IS IN PROGRESS. THE OWNER MAY DEMAND THAT WORK STOP UNTIL THE CONTRACTOR PROVIDES FOR A LICENSED IRRIGATOR OR LICENSED IRRIGATION INSTALLER TO BE PRESENT AT THE PROJECT SITE AND SUPERVISING ALL IRRIGATION WORK.
- A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION

- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND. ALL MATERIALS SHALL HAVE A MINIMUM GUARANTEE OF ONE YEAR AGAINST MATERIAL DEFECTS OR DEFECTIVE WORKMANSHIP. ALL MATERIALS SHALL BE OF THE FOLLOWING BRANDS: RAINBIRD, TORO, NETAFIM. OTHER MANUFACTURERS MAY BE PROPOSED TO THE OWNER, AS MAY BE APPROPRIATE
- THE BACKFLOW PREVENTION DEVICE SHALL BE REDUCED-PRESSURE TYPE, SIZED TO MEET IRRIGATION DEMAND AND MINIMIZE PRESSURE LOSSES. INSTALL BACKFLOW PREVENTION UNITS IN ACCORDANCE WITH IRRIGATION CONSTRUCTION DETAILS AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES
- 1. PRESSURE SUPPLY LINES, DOWNSTREAM OF THE POINT-OF-CONNECTION: SCHEDULE 40 PVC FOR ALL PIPE 1-1/2" OR LESS
 - CLASS 315 PVC FOR ALL PIPE 2" TO 2-1/2" CLASS 200 PVC, GASKETED, FOR ALL PIPE 3" AND LARGER
- NON-PRESSURE LATERAL LINES (DOWNSTREAM FROM VALVES): CLASS 200 PVC SLEEVES: SCHEDULE 40 PVC FITTINGS: SCH. 40 PVC. EXCEPT AS NOTED OTHERWISE
- VALVES AND DRIP VALVE ASSEMBLIES: EACH VALVE SHALL BEAR A PRE-MANUFACTURED NUMBERED WATERPROOF TAG BEARING A NUMBER CORRESPONDING TO ITS VALVE SEQUENCE OF OPERATION ON THE CONTROLLER
- VALVES FOR SPRAY AND ROTOR CIRCUITS SHALL BE COMMERCIAL-GRADE, GLOBE-TYPE, NORMALLY CLOSED. VALVES SHALL HAVE A ONE-PIECE SOLENOID DESIGN AND FLOW CONTROL
- QUICK COUPLERS: $\frac{3}{4}$ ", TWO-PIECE BODY, WITH LATCHING COVER.
- BALL VALVES: BRASS BALL VALVES SHALL BE INSTALLED WHEREVER PRESSURIZED MAINLINE CROSSES VEHICULAR AREAS. AND INSTALLED ON THE UPSTREAM SIDE OF THE
- PVC BALL VALVES SHALL BE INSTALLED AT THE ENDS OR DRIP RUNS, FOR FLUSHING DRIP LINES.
- ALL BALL VALVES SHALL BE FULL-PORT, LINE SIZE, AND INSTALLED IN THEIR OWN 9" ROUND VALVE BOXES.
- VALVE BOXES: ALL VALVES BOXES SHALL BE LOCKING BOLT-DOWN TYPE. FURNISHED WITH LIDS AND BOLTS. BOXES SHALL BE OF A SIZE TO CONTAIN THE ENTIRE VALVE AND/OR VALVE ASSEMBLY. THE VALVE BOX LID SHALL HAVE THE VALVE STATION NUMBER HEAT-BRANDED INTO THE LID WITH 2" HIGH LETTERS. ONLY ONE VALVE SHALL BE INSTALLED PER VALVE BOX.
- INTEGRAL EMITTER DRIP TUBING: TUBING WITH INTEGRAL EMITTERS WELDED TO THE INSIDE WALL OF THE TUBING AS AN INTEGRAL PART OF THE TUBING ASSEMBLY. IN GENERAL, THE FOLLOWING EMITTER FLOW RATES AND SPACING SHALL BE
- a. CLAY AND CLAY LOAM SOILS: 0.6 GPH, EMITTERS SPACED AT 12" O.C.,
- PARALLEL TUBING RUNS SPACED AT 18" O.C.
- MEDIUM-TEXTURE LOAM SOILS: 0.9 GPH, EMITTERS SPACED AT 12" O.C., PARALLEL TUBING RUNS SPACED AT 18" O.C.
- c. SANDY AND SANDY LOAM SOILS: 0.9 GPH, EMITTERS SPACED AT 12" O.C., PARALLEL TUBING RUNS SPACED AT 12" O.C. CONTRACTOR SHALL GUARANTEE A MINIMUM OF TWO EMITTERS PER #1 OR #5
- AUTOMATIC CONTROLLER: COMMERCIAL-GRADE MODULAR CONTROLLER, SIZE AS APPROPRIATE FOR THE NUMBER OF PERMANENT VALVES, PLUS ADDITIONAL MODULES AS NEEDED FOR ANY TEMPORARY IRRIGATED AREAS (SUCH AS NATIVE SEED). PROVIDE VANDAL-PROOF ENCLOSURE FOR ALL EXTERIOR INSTALLATIONS. PROVIDE
- LINE-VOLTAGE DISCONNECT SWITCH WITH GROUND FAULT PROTECTION. 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF #14 GAUGE, U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR IRRIGATION WIRE. EACH CONTROLLER SHALL HAVE A DIFFERENT COLOR STATION AND COMMON WIRE.
- STATION WIRE RED COMMON WIRE - WHITE EXTRA COMMON WIRES - BLUE
- WIRE SPLICES SHALL BE ENCASED IN A WATERPROOF COMPOUND OR GEL. ALL FIELD SPLICES SHALL BE LOCATED IN A 6 INCH ROUND VALVE BOX. RAIN SENSOR: WIRELESS RAIN/FREEZE SENSOR.

METHODS

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- THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. OR IRRIGATION CONTRACTOR MAY BE REQURED TO MOVE SUCH ITEMS AT HIS OWN COST. ENSURE FIELD COORDINATION IS MADE EARLY ON IN THE CONSTRUCTION PHASE SO PLACEMENT LOCATION IS CORRECT.
- THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE. AND OTHER APPLICABLE PLANS & DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE IRRIGATION CONTRACTOR SHALL NOT WILFULLY INSTALL ANY PORTION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADES OR DIMENSIONS EXIST. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY
- FOR ANY REVISIONS AND NECESSARY COSTS. D. SEE UTILITY PLANS FOR IRRIGATION POINTS OF CONNECTION (TAP) AND DOMESTIC
- THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES AND PERMITS ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM.
- AT LEAST SEVEN DAYS BEFORE BEGINNING WORK, CONFIRM THE STATIC WATER PRESSURE IS AT LEAST 55 PSI AND LESS THAN 70 PSI. IF STATIC WATER PRESSURE IS OUTSIDE OF THE STATED RANGE, DO NOT PROCEED WITHOUT FIRST NOTIFYING THE OWNER IN WRITING. AND OBTAINING SUBSEQUENT DIRECTION FOR CORRECTIONAL MEASURES. SHOULD THE IRRIGATION CONTRACTOR CHOOSE TO BEGIN THE INSTALLATION WITHOUT SUCH NOTIFICATION. THE IRRIGATION CONTRACTOR WILL ASSUME THE RESPONSIBILITY FOR ALL COSTS INCURRED TO ENSURE THE SYSTEM IS WORKING PROPERLY. NO CHANGE ORDERS WILL BE AUTHORIZED IN SUCH
- CIRCUMSTANCES 1. SHOULD STATIC WATER PRESSURE BE BELOW 55 PSI, A PUMP MAY BE REQUIRED FOR PROPER OPERATION OF THE IRRIGATION SYSTEM. THE IRRIGATION CONTRACTOR SHALL DISCUSS THE NEED FOR A PUMP WITH THE OWNER. AND PROPOSE OPTIONS FOR THE PROPER FUNCTIONING OF THE IRRIGATION SYSTEM
- THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH
- ALL GRADE DIFFERENCES LOCATIONS OF WALLS STRUCTURES AND UTILITIES COORDINATE WITH THE OWNER THE PROPOSED LOCATIONS OF THE AUTOMATIC CONTROLLER AND ANY REQUIRED SLEEVES THROUGH THE BUILDING FOR CONTROL

- BACKFILL . ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER. BACKFILL MATERIAL SHALL BE FREE FROM RUBBISH, ROCK LARGER THAN 1" LARGE STONES BRUSH SOD FROZEN MATERIAL OR OTHER UNSUITABLE SUBSTANCES THAT MAY DAMAGE PIPE DURING THE BACKFILLING OPERATIONS SEPARATE OUT ROCKS LARGER THAN 1 INCH IN ANY DIRECTION FROM EXCAVATED MATERIAL. AND REMOVE FROM AREAS TO RECEIVE LANDSCAPING. COVER FOR
- BOTH TOP AND SIDES OF PIPE SHALL BE A MINIMUM OF 2 INCHES OF ROCK-FREE SOIL. SAND, OR OTHER APPROVED MATERIAL 2. IN THE EVENT THAT THE MATERIAL FROM THE EXCAVATION OR TRENCHING IS FOUND TO BE UNSUITABLE FOR USE IN BACKFILL, IT SHALL BE REMOVED FROM THE SITE AND PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN PURCHASE AND AND FURNISH SUITABLE BACKFILL MATERIAL CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS FREE OF DEBRIS.
- BACKFLOW PREVENTER INSTALLATION: CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER SOURCES AT LOCATION SHOWN ON PLANS AND AS APPROVED BY TH OWNER, AND SHALL MAKE ANY MINOR CHANGES IN LOCATION AS MAY BE NECESSAR' DUE TO ACTUAL SITE CONDITIONS. BACKFLOW PREVENTER HEIGHT SHALL BE AS PER LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. INSTALL A BRASS BALL VALVE IMMEDIATELY UPSTREAM OF THE BACKFLOW DEVICE TO SERVE AS AN ISOLATION VALVE. TO EVERY EXTENT POSSIBLE, INSTALL BACKFLOW PREVENTER IN A LOCATION SCREENED FROM PUBLIC VIEW (SUCH AS BEHIND A SHRUB ROW).
- 1. PIPE SIZE SHALL CONFORM TO THE STANDARD OF CARE FOR PIPE SIZES. THE IRRIGATION CONTRACTOR SHALL ENSURE THAT THE FLOW THROUGH ANY PIPE
- DOES NOT EXCEED 5 FPS. 2. MAINLINE PIPE AND WIRES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18 INCHES. LATERAL PIPE SHALL BE INSTALLED WITH A MINIMUM COVER OF 12
- 3. ASSEMBLE ALL THREADED FITTINGS WITH TEFLON TAPE, WHICH SHALL BE APPLIED TO MALE THREADS ONLY.
- SOLVENT-WELD PRIMER AND GLUE 5. PIPE SHALL BE INSTALLED WITH A MINIMUM OF 4" HORIZONTAL CLEARANCE FROM ANY OTHER PIPE AND 2" VERTICAL CLEARANCE FROM ANY PIPES THAT CROSS OVER OR UNDER.

4. ALL SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH APPROVED

- M. VALVES VALVES SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE GRADE, WITH CLEAN PEA GRAVEL LOCATED BELOW THE VALVE. LOCATE BOXES WITHIN 12 TO 24" OF SIDEWALKS OR LANDSCAPE EDGES, WITH TOPS OF BOXES 1" ABOVE FINISH
- GRADE IN TURF, AND 3" ABOVE FINISH GRADE IN SHRUB AREAS (TO AVOID BEING **COVERED BY MULCH** 3. EACH VALVE BOX COVER SHALL BE HEAT-BRANDED WITH THE CONTROLLER STATION NUMBER.
- DRIP IRRIGATION EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS DRIP LINES IN AREAS WITH ORGANIC MULCH, SUCH AS SHREDDED WOOD, SHALL BE BURIED, NO MORE THAN 2" BELOW FINISH GRADE DRIP LINES IN AREAS WITH ROCK MULCH SHALL BE MOUNTED ON GRADE AND BENEATH LANDSCAPE FABRIC, AND SECURED IN PLACE WITH WIRE STAPLES AT A
- INSTALL THE CONTROLLER AT THE LOCATION INDICATED BY THE OWNER. INSTALL CONTROLLER WITH A BACKUP BATTERY AS RECOMMENDED BY THE
 - 2. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V.A.C. ELECTRICAL POWER TO CONTROLLER AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY. 3. NO WIRE SPLICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER.

WHERE SPLICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS. THE

- CONTRACTOR SHALL MAKE ALL SPLICES IN 6" ROUND VALVE BOXES WITH 3M'S "DBY-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH WATERPROOF TAGS AND MARKERS AT ALL SPLICES AND VALVE MANIFOLDS. AND SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION. PROVIDE #10 COMMON WIRE, DIRECT BURIAL, TO ALL REMOTE CONTROL VALVES.
- CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3M'S "DBY-DIRECT BURIAL SPLICE KIT" (UNLESS OTHERWISE SPECIFIED). 6. PROVIDE THREE ADDITIONAL IRRIGATION CONTROL WIRES ALONG EACH BRANCH OF MAINLINE FOR FUTURE EXPANSION. STUB ADDITIONAL CONTROL WIRES INTO BACK OF IRRIGATION CONTROLLERS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO **PAVING - SEE SLEEVING NOTES.** INSTALL THE RAIN SENSOR IN THE VICINITY OF THE CONTROLLER, AND COORDINATE
- LOCATION WITH THE OWNER. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THE RAIN SENSOR IS PLACED IN A LOCATION WHERE IT CAN RECEIVE ADEQUATE RAINFALL WITHOUT OBSTRUCTIONS. IF IT IS PLACED IN AN INADEQUATE LOCATION, THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO RELOCATE IT AT NO ADDITIONAL COST TO THE OWNER.
- Q. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS
- PERFORM COVERAGE TESTS AFTER IRRIGATION SYSTEM IS COMPLETED. BUT PRIOR TO ANY PLANTING AND PERFORM TESTING IN THE PRESENCE OF TH VNER'S REPRESENTATIVE
- 2. TEST SYSTEM TO ASSURE THAT ALL PLANTING AREAS ARE WATERED COMPLETELY AND UNIFORMLY. 3. MAKE ALL NECESSARY ADJUSTMENTS TO PROVIDE COMPLETE COVERAGE,
- INCLUDING REALIGNMENT OF HEADS AND REPLACEMENT OF NOZZLES. CLEAN UP DURING IRRIGATION EXCAVATION AND INSTALLATION, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. INSPECTION AND ACCEPTANCE UPON COMPLETION OF THE WORK, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE IRRIGATION CONTRACTOR SHALL THEN REQUEST AN INSPECTION
- BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. 2. WHEN THE INSPECTED WORK DOES NOT COMPLY WITH THESE REQUIREMENTS. THE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- 3. THE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER. AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE 4. CONTROLLER CHART: THE IRRIGATION CONTRACTOR SHALL PROVIDE A 11" X 17"
- COLOR-CODED, LAMINATED COPY OF THE IRRIGATION LAYOUT AND PLACE IT IN THE CONTROLLER'S COVER. THE CONTROLLER CHART SHALL CLEARLY DELINEATE THE AREAS COVERED BY EACH VALVE, USING A SEPARATE COLOR FOR
- 5. TURN THE FOLLOWING ITEMS IN TO THE OWNER UPON COMPLETION OF THE QUICK COUPLER KEYS (2)
- **CONTROLLER MANUAL (1)**
- A MINIMUM OF (2) COPIES OF RECORD DRAWINGS. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
- REFER TO THE PLANTING SPECIFICATIONS FOR ADDITIONAL CONDITIONS OF FINAL
- ACCEPTANCE AND START OF THE MAINTENANCE PERIOD, AS MAY BE APPROPRIATE. WARRANTY 1. THE IRRIGATION SYSTEM SUPPLIED AND INSTALLED SHALL BE WARRANTED
- (LABOR AND MATERIALS) TO REMAIN OPERATIONAL FOR A PERIOD OF 12 MONTHS AFTER THE DATE OF FINAL ACCEPTANCE. DURING THIS PERIOD, THE CONTRACTOR SHALL ALSO REPAIR ANY SETTLEMENT OF THE IRRIGATION TRENCHES.
- 2. BY THE END OF THE WARRANTY PERIOD, ANY IRRIGATION PART THAT IS EITHER NON-OPERATIONAL OR THAT IS OPERATING BELOW STANDARDS AS DETERMINED BY THE OWNER. SHALL BE REMOVED FROM THE SITE AND SHALL BE REPLACED. REPLACEMENTS SHALL BE OF THE SAME KIND AS SPECIFIED IN THE IRRIGATION LEGEND, AND SHALL BE INSTALLED AS ORIGINALLY SPECIFIED.
- 3. IRRIGATION PARTS DAMAGED OR IMPAIRED DUE TO ACTS OF GOD. VANDALISM. AND/OR THE OWNER'S IMPROPER MAINTENANCE SHALL NOT BE COVERED BY THIS WARRANTY. SHOULD THE PERMITTING JURISDICTION REQUIRE AN IRRIGATION AUDIT. THE

IRRIGATION CONTRACTOR SHALL RETAIN THE SERVICES OF A THIRD-PARTY CERTIFIED

LANDSCAPE IRRIGATION AUDITOR, AT NO ADDITIONAL COST TO THE OWNER.

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A
- SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING. 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION
- THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION. B. SCOPE OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS,
- CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS
- ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS. NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS). TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&R)

UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT

- ACCEPTABLE ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY. EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT
- 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR
- REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER. AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED,
- THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE
- REJECTED. C. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE: SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M: NOT
- EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS. POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES
- RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS
- AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. TREE STAKING AND GUYING STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE. WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

- A. SOIL PREPARATION
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- 2. SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR
- THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS. GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT
- THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS. XERIC PLANTS. TURF. AND NATIVE SEED. AS WELL AS

PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY

- OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE
- SUBMITTED TO THE OWNER WITH THE REPORT. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING
- AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
- 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) 10 LBS. PER "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE

iv. IRON SULPHATE - 2 LBS. PER CU. YD.

- 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF
- FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS. AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING
- **GRADES AND ELIMINATE PONDING POTENTIAL** THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO **BE ESTABLISHED** ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT
- TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS. GEOTECHNICAL REPORT. THESE NOTES AND PLANS. AND

ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL

ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH

CONTRACTOR, AND OWNER. 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

TREE PLANTING

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES. IF REQUIRED. TO THE LANDSCAPE ARCHITECT. AND RECEIVE APPROVAL IN WRITING FOR SUCH
- SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES. AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE
- 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE
- FABRICS (IF ANY). WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL
- CLEARLY INDICATE THE ITEM BEING CONSIDERED. GENERAL PLANTING
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCHING NEAR EXISTING TREES: CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE
- THE AVERAGE GRADE AT THE TRUNK). b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE
- ALLOWED WITHIN THE CRZ. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD TUNNEL LINDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL
- TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES
- SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING
- INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER.
- IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION SHOULD ANY TREES FALL OR LEAN. THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES: TWO STAKES PER TREE 1"-2" TREES
- THREE STAKES PER TREE b. 2-1/2"-4" TREES TREES OVER 4" CALIPER GUY AS NEEDED MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE UPON COMPLETION OF PLANTING. CONSTRUCT AN EARTH WATERING BASIN
- AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS) SHRUB PERENNIAL AND GROUNDCOVER PLANTING DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT
- WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES. EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE

ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN

- 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN
- AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION. 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. INSPECTION AND ACCEPTANCE UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION
- BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS. THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME. A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER. AND THE MAINTENANCE AND GUARANTEE PERIODS WILL
- COMMENCE. LANDSCAPE MAINTENANCE THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS REYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR
- SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT

SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH

- MATERIAL PRIOR TO FINAL ACCEPTANCE. b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE. AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS
- THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT

OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS.

2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD

OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY

ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS RECORDS OF THE VARIOUS UTILITY COMPANIES. AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND LINCOVERING EXISTING LITH LITES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS. LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GO SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING





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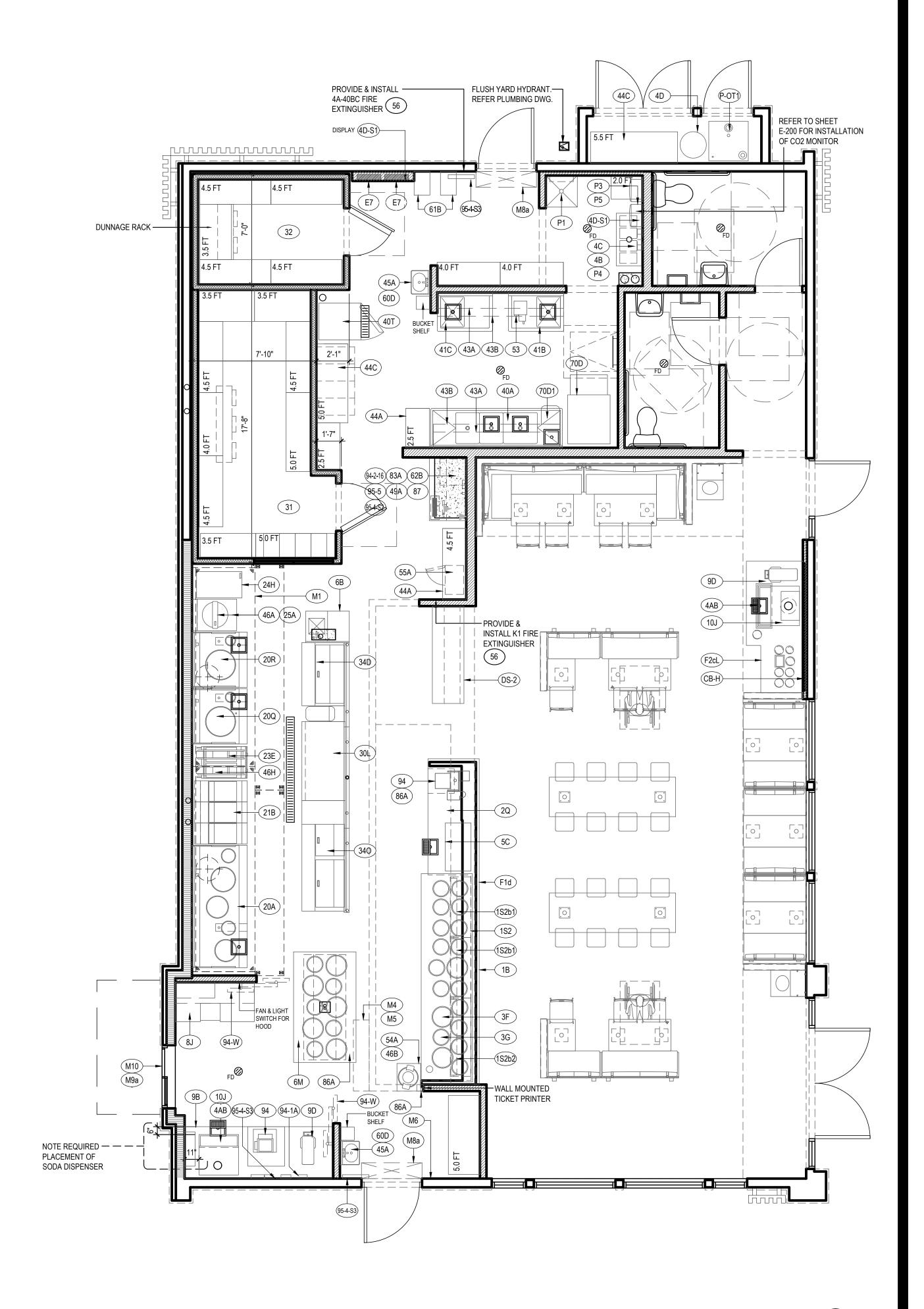
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LANDSCAPE

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					CENTE	R OF	CONNEC	CTION)		FSO FL	_OOR S	STUB OL	JT			EC ELECTRICAI	L CONTRACTOR		(E) EXISTING		
PPLY BY	GAS K BTU	R.I.H.	SIZE	WASTE		COLD R.I.H.	WATER	HOT W		CONNE R.I.H.	CTION	LOAD WATT	PHASE	H.P.	VOLTS	REMARKS	QUIPMENT COMPA DIMENSIONS W x D x H (Ø x H)	MANUFACTURE	MODEL#	EQUIPMENT	NO
0																see detail	SEE PLAN	KEC	SERVI CUSTOM	NG AREA EQUIPM HOT WELLS COUNTER, SERVICE	1EN 1B
0											_	47511			400	SEE DETAIL	SEE PLAN	KEC	CUSTOM	SNEEZE GUARD	1S2
0											D D	475W 625W	1		120 120		42.375" X 4.25" X 2.375" 55.375" X 4.25" X 2.625"			43" RADIANT TOP HEATER (2)	-
0											D D	475W 15A	1		120 120	3 HEATING ELEMENTS SEE DETAIL	42 1/8"x4.25"x2 5/8" SEE PLAN	GENERAL KEC	CUSTOM	43" RADIANT TOP HEATER (2) CASHIER & BEVERAGE. COUNTER	1S2-
0										1 .	С	650W	1		120	INDUCTION WARMER	15 3/4" DIA	I/O CONTROLS CORP	ABC-065-14	INDUCTION WELL - 17QT	3F
0											С	650W	1		120	INDUCTION WARMER	12 1/8" DIA	I/O CONTROLS CORP	ABC-065-10	INDUCTION WELL - 11QT	3G
0				FS	3/4"					66"	СС	9.3A 7.2A	1		-	W/LID DISPENSER ON S/S SHELF	30"x30"x35" 15"x11"X16"	CORNELIUS WELBILT	IDC-255 16-2172	BEVERAGE DISPENSER BOOSTER	4A 4B
0										00		7.ZA	'		120	UN 3/3 SHELF	40"x18"	WELBILT	15-2903-IP	SODA RACK	4C
0					-												ø22"	ESPRIGAS C02Meter.com	PER MFG RAD-0102-6	CO2 TANK CO2 MONITOR & DISPLAY	4D 4D
0				FS	1/2"												34"x17"x6 1/2" SEE PLAN	KEC KEC	CUSTOM CUSTOM	36" COLD PAN S/S COUNTER WITH SINK	5C 6B
0										REF. ELEC.							SEE PLAN	KEC	CUSTOM	MOBILE HOT WELLS COUNTER - DT	6N
0										24"							SEE PLAN SEE PLAN	KEC KEC	CUSTOM CUSTOM	S/S COUNTER - DT CASHIER & BEVERAGE COUNTER- DT	8J T 9B
0				FS	1/2"	24"	1/2"			24" 84"	C C	14.8A 1.1A	1		120 120	NEMA 5 PLUG	11" X 22" X 34" 22" X 14" X 26.5"	BUNN MANITOWOC	TB3 IB-0820C-161	ICED TEA BREWER (2) 800 LBS, ICE MACHINE	9D
0					1/2	27	1/2			16"	D	11.8A	1		208/230	ON ROOF	34"X 24.13"X 25.75"	MANITOWOC	CVD-F0900-261A	REMOTE CONDENSER	10J
0					 	 							1	<u> </u>	115 		34" X 22" X 44" 24"X 17.5"X 21.5"	MANITOWOC MANITOWOC	D420	CUBER HALF DICE CUBE STORAGE BIN	10 10L
0	450	10"	1-1/2"	FS	2"	10"	1/2"	1						1			93"x42"	KEC	CUSTOM	KITCHEN EQUIPM	
0	190	10"	1"	FS	2"	10"	1/2"									SEE DETAIL	42"x42"	KEC	CUSTOM	93" CHINESE RANGE (L) 42" CHINESE RANGE	20
0	190 122 EA.	10" 14"	1" 1/2"	FS	2"	10"	1/2"			18" 24"	C C	7A -	1		120 120	SEE DETAIL	42"x42" 47"x31-1/2"x51-5/8"	KEC FRYMASTER	CUSTOM MJ45-FPP345G	42" CHINESE RANGE FRYER	20 21
0	54	10"	3/4"							36"		17 74	1		208		24"X31.5"X15.25" 10.4"X22.9"	VULCAN	MSA24-C0100P	24" GAS GRIDDLE	23
UG/COI	NNECTOR O									36" 24"	C C	17.3A 14.8A	1		120	NEMA 5	19.9"X34.5"X41.3"	VULCAN WINSTON	VMCS-101 HA4005	(2) ELECTRIC GRIDDLE TOP RICE HOLDING CABINET	24
0	34.6	10" & 32	3/4"							24"	С	9A	1	1/2	115	NEMA 5-15P	24"x19"x17" 60"X33"X36"	PANTIN RANDELL	GC-6100(N) 9205F-290	RICE COOKER 60" WORKTOP FREEZER	30
0				FS	3/4"					130"	D	2.0AMPS	_	1.5	208		SEE PLAN	KEC	CUSTOM	WALK-IN COOLER UNIT	31
0				FS	3/4"					130"	D D	35AMPS FREEZER		1.5 L UNIT P(208 Owered f	TROM CONDENSER UNIT	SEE PLAN SEE PLAN	KEC KEC	CUSTOM	WALK-IN COOLER COND. WALK-IN FREEZER	31
0											D D/ID	30AMPS 500W	1	1.5	208 120		SEE PLAN SEE PLAN	KEC KEC	CUSTOM CUSTOM	WALK-IN FREEZER COND. W.I.F. LTG, DOOR HEATER	32
0										24"	Ċ	15A	1	1/2	120	SELF CONTAINED	84"x33"x35"	RANDELL	9050K-7MPR2-NSB	84" REF. PREP. TABLE	34
0				FS	2"	14"	3/4"	14"	3/4"	24"	С	9A	1	1/3	120	SELF CONTAINED	48"x33"x35" 100"X30"	RANDELL KEC	9030K-7 CUSTOM-(PS-100L)	48" REF. PREP. TABLE POT SINK	34
0				FS	2"	14"	3/4"		3/4"	88"	С	1.52 KW	1	2	208	4 COMPARTMENT	28"x33"x82" 42"x30"	ELECTROLUX KEC	727655	THAWING CABINET	40
0				FS FS	2"	14"	3/4"		3/4"							1 COMPARTMENT 1 COMPARTMENT	42"x30"	KEC	CUSTOM-(VS-42)	42" VEGETABLE SINK (R) 42" VEGETABLE SINK (L)	41
0										†		(WALL MT					SEE PLAN SEE PLAN		CUSTOM (NSF)	12"D S.S. WALL MTD. SHELF 16"D S.S. WALL MTD. SHELF	43
0										4 SHELV	/ES MTD.	0 8" A.	F.F., 26"	A.F.F., 5		72" A.F.F.	SEE PLAN	GOLD BOND	ISS	18"D WIRE SHELVES	44
0																.F.F., 20" A.F.F. ., 72" A.F.F.	SEE PLAN SEE PLAN	GOLD BOND GOLD BOND	ISS ISS	SHORT 18"D WIRE SHELVES 24"D WIRE SHELVES	44
0										UNDER	CABINET	SHELVES	MTD. @	8" A.F.F.,	14" A.F.	F.	SEE PLAN 24"x 30" x 24"	GOLD BOND KEC	ISS CUSTOM	SHORT 24"D WIRE SHELVES S.S. RICE COOKER STAND	44
0																	22"x 20" x 34.06"	KEC	CUSTOM	RICE WARMER STAND	46
0								1						1			24"x 33" x 28"	KEC	CUSTOM	S.S. GRILL STAND	46
0				FS	7/8"	20"	3/4"	20"	3/4"	50" 18"	C C	10A 53A	1	1 4	120 208	9 15/ DISCONNETCT @ 90"	16"x19-11/16"x19-3/4"	ELECTROLUX HOBART	DITO-TRS24 PW10SER	FOOD PROCESSOR POT WASHER	53 70
0				FS	1//8	20	3/4	20	3/4	10	C	JJA	3	+	200	DISCONNETCT W 90	14"x14"x21"	HOBART		WATER SOFTENER	70
0					2"	24"	1/2"	24"	1/2"							W/TOWEL & SOAP	14 1/4"x18 1/2"	GSW	HS-1615NPASS	SMALL EQUIPM HAND SINK	1EN 45
0										24" 84"	C DC	105W 1800W			120 208	ON S.S. COUNTER	17" Ø 17 1/2"X13 5/8"X22 9/16'	WELBON	WRS-1088BS R-CD1800M	RICE WARMER MICROWAVE	54 55
C.										04	ьс	18000			200		CAL FIRE DEPT., CHEC	K LOCATION WITH PRO	JECT MANAGER	FIRE EXTINGUISHER	56
0					1			1						1		WALL MOUNT	SEE DETAIL 12"x20"x77"	SAN-JAMAR GSW	SANJT7500TBK 5-DOOR	PAPER TOWEL DISPENSER LOCKER (2)	₹ 60 61
0																	20"X20"X23"	TIDEL	CUSTOM	SMART SAFE	62
_			<u> </u>	<u> </u>	<u> </u>	<u> </u>		1	1			<u> </u>	<u> </u>	<u> </u>	<u> </u>	CEL EIDY ON E 200	40" V 00" V 40"	LVEC	QUOTOM	POS EQUIPM	_
0										ref elev	С	100W	1		120	SEE ELEV. ON E-200 SEE DETAIL	48" X 28" X 42"	DELL OPTIPLEX	CUSTOM Xe2	MANAGER STATION COMPUTER	83
0										ref elev ref elev		50W 50W	1		120 120	SEE PLAN		BROTHER BROTHER	MFC-LC2700DW MFC-LC2700DW	POS PRINTERS FAX	86
0										REF ELEV		500W	1		120	CUSTOM	11 1/4"x14 1/2"x9		S 460	CASH REGISTER SYSTEM	94
0																SEE MECH. DWG.	SEE PLAN	CAPTIVE AIR	CUSTOM	MEP EQUIPM EXHAUST HOOD	M
0					1								-		-	SEE MECH. DWG.	SEE PLAN SEE PLAN	CAPTIVE AIR CAPTIVE AIR	CUSTOM	HOOD CONTROL PANEL FIRE SUPPRESSION SYSTEM	M4
C.										00"	_	E 4 ·	4	1 /2	115	SEE MECH/ELEC DWG	SEE PLAN		CTD242 411	RECESSED ANSUL PULL BOX	М
0 C.										90" 24"	D D	5.1A 20A	1	1/2	115 120	SEE MECH/ELEC DWG SEE ELEC. DWG	25"X 9" X 10 3/8"	MARS QUIK-SERV	STD242-1U CF-25 NON-HEATED	BACK DOOR AIR CURTAIN DT WINDOW AIR CURTAIN REGIONAL APPLICATION	M:
0. 0.										24" 24"	D D	30A 20A	1		120 & 208	SEE ELEC. DWG SEE ELEC. DWG	25"X 9" X 14 3/8" 47.5"X 59.5"	QUIK-SERV QUIK-SERV	CHF-25 HEATED SST-4860E	EITHER OR, NOT BOTH DT WINDOW	M
0 0 0.					3"	36"	ļ	36"	_		D						30" X 30 X 64"	DAR PRO	CLEANSTAR GRN 1500	GREASE TANK	P-
). D.	398	100"			1	130	-	امر	-	115"	С	8A	1		120		24" X 24" X 13" 39" X 29.75" X 13"	PHONE:1800-897-5999	SE2424FM MTO-00247	STAINLESS STEEL MOP SINK GAS TANKLESS WATER HEATER	P3
0						96"	1/2"					·			<u> </u>	WALL MOUNT		3M WATER FILTRATION		WATER FILTER WATER FILTER	P4
0										REF ELEV		50W	1		120	SEE ELEV. ON E-200	SEE PLÁN	HYPERACTIVE		HYPERACTIVE TIMER SYS.	. 94
0										48" REF ELEV	C C	50W 50W	1		120 120	SEE PLAN SEE ELEV. ON E-200	15" X 13" SEE PLAN	DELL (17" COLOR) HME		LCD MONITOR-MANAGER HME INTERCOM SYS.	94 94
0										ref elev ref elev		60W 50W	1		120 120	SEE PLAN W/ EMI LOCK	15" SEE PLAN	POSIFLEX TOSHIBA (TIME LAPSE)	KS7215	LCD DT MONITOR SECURITY VCR	94 95
0										98"	С	50W	1		120	SEE ELEC. DWG	15" X 13"	DELL (17" COLOR)		SECURITY MONITORS	95
0 C.										ref elev	C	100W			120	IN S.S. COUNTER SEE ELEC. DWG	SEE PLAN			MUSIC EQUIPMENT ELECTRICAL PANEL	9: E
0																	REF. INT. ELEV'S	LSI	CUSTOM	SIGN MENU BOARD	
0										Dec		170***	1		100	BF-POWER COAT *OF12	5 SILVER"	FAD	_	COMMUNITY BOARD	CI
0										ref elev	<u> </u>	130W	1		120	DEDICATED CIRCUIT	48.9" X 28.1" X 1.3"	LG	55WS50BS-B	LCD DISPLAY MONITOR	96
																SEE PLAN		RICHFIELD	STRAIGHT-BF	FURNIT SERVICE COUNTER	UF F1
									+	-		1	-	-	-	SEE PLAN	 	RICHFIELD	LEFT TETON BEIGE	555(1) [1]	F2





KITCHEN PLAN Scale= 1/4" = 1'-0" **A-101**

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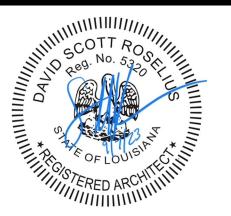
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Heights Venture ARCHITECTURE & DESIGN

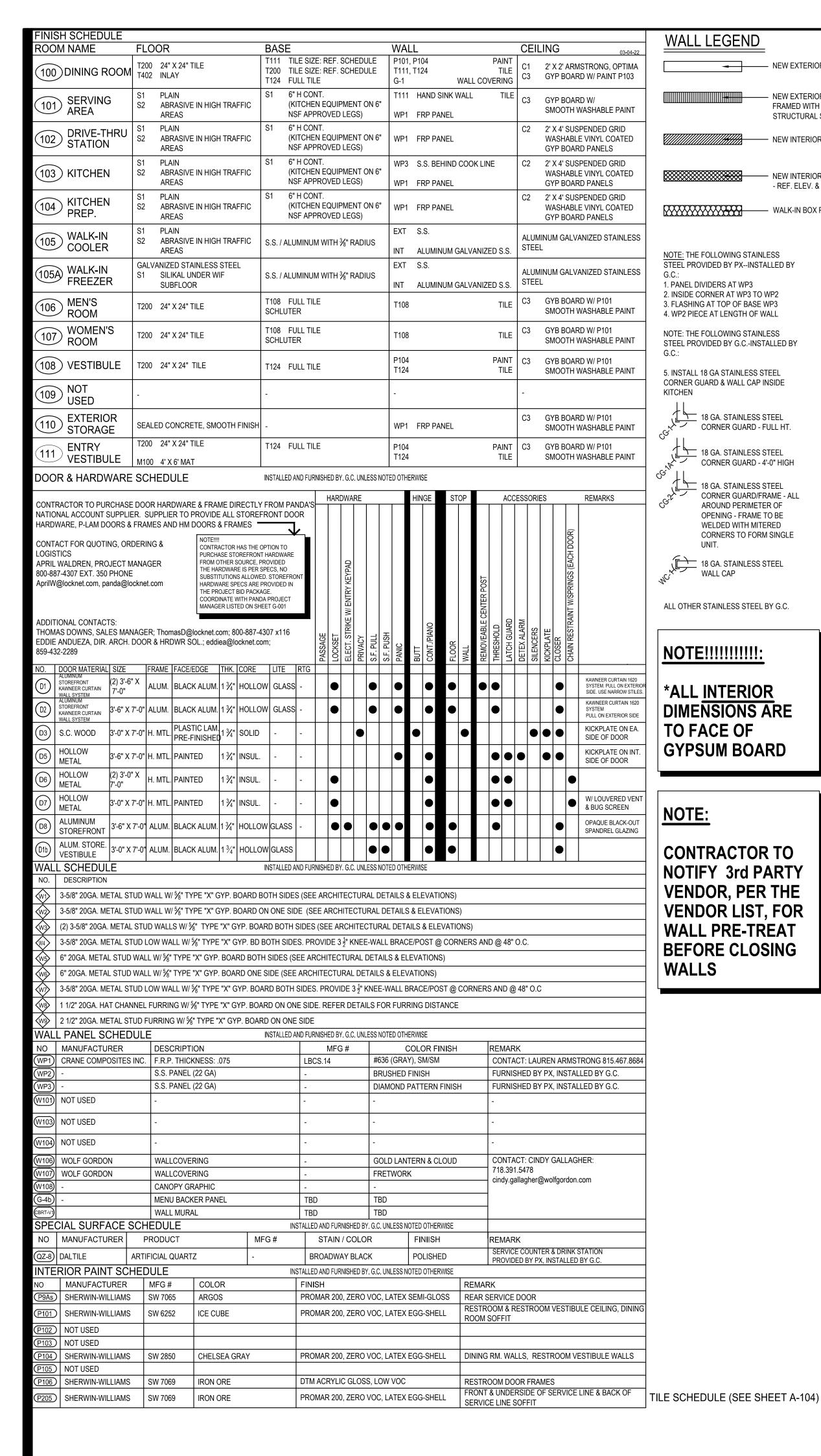
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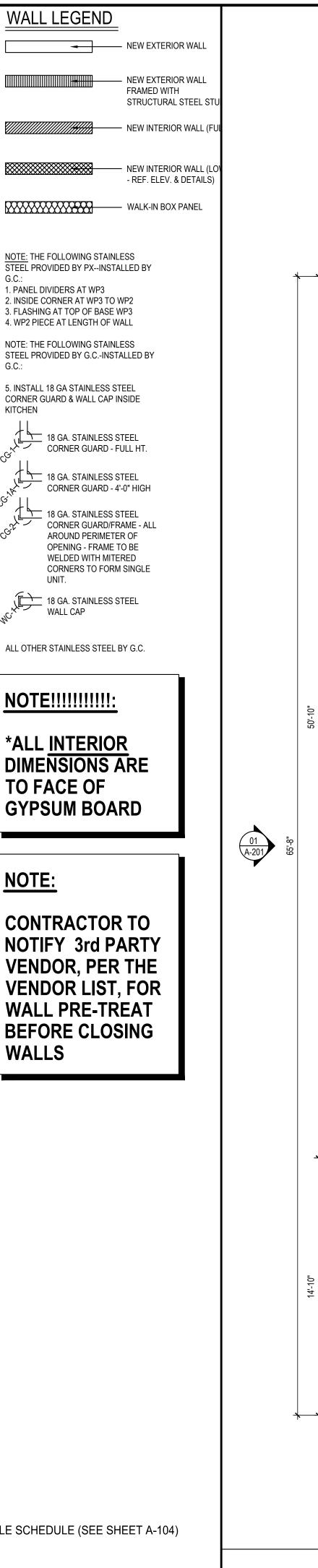
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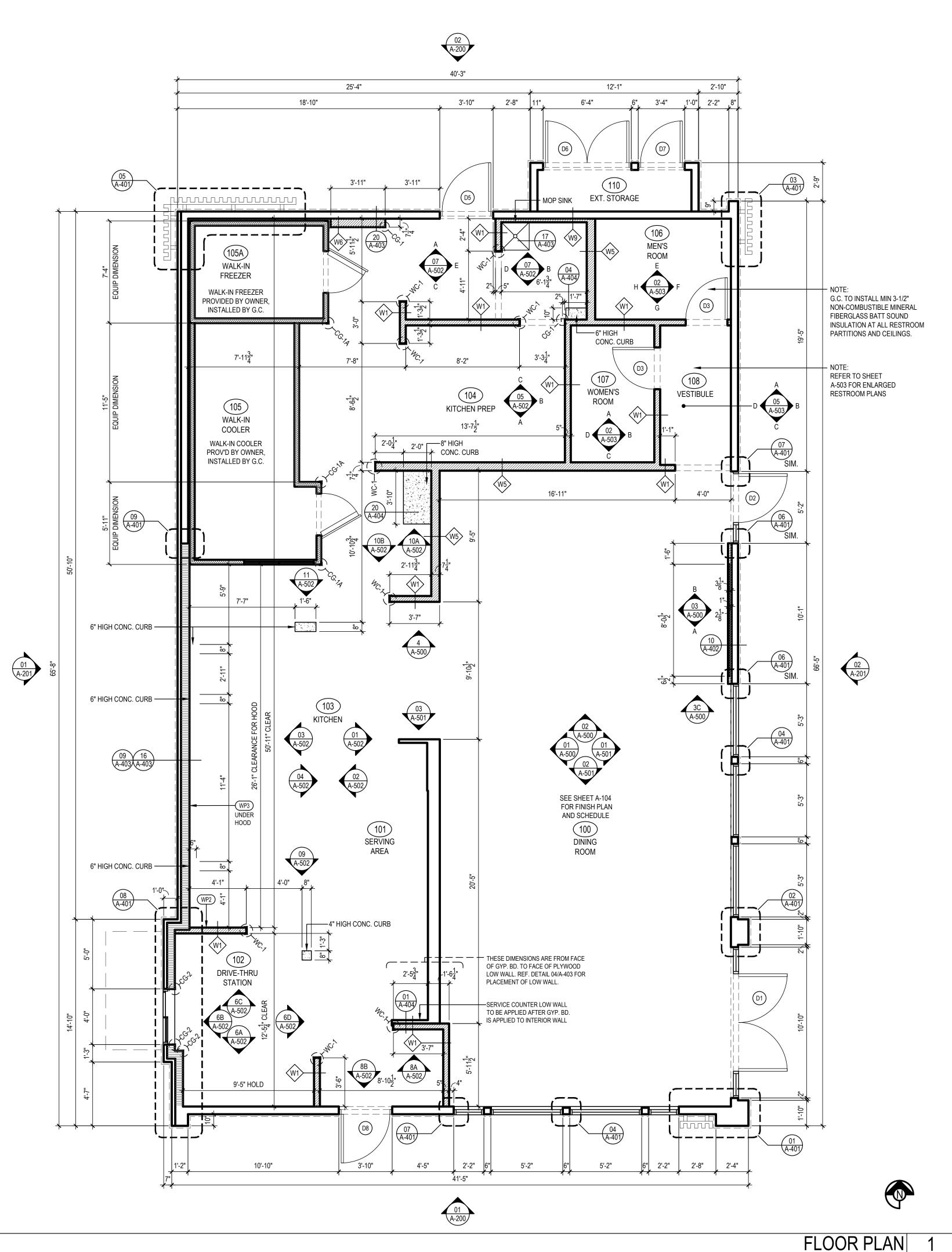
PANDA HOME 2600 BEHRMAN PI & BEHRMAN HWY NEW ORLEANS, LA 70114

A-101

KITCHEN PLAN









PANDA EXPRESS, INC 1683 Walnut Grove Ave. Rosemead, California

Telephone: 626.799.9898 Facsimile: 626.372.8288

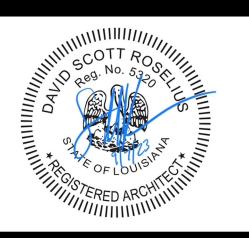
All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSU	JE DATE:	
	CUP SUBMITTAL	09-07-23

DRAWN BY:

PANDA PROJECT #: - S8-23-D8571 PANDA STORE #: ARCH PROJECT #:



Heights Venture

1111 North Loop West, Suite 800 5741 Legacy Drive, Suite 320 Houston, Texas 77008 281.854.6100

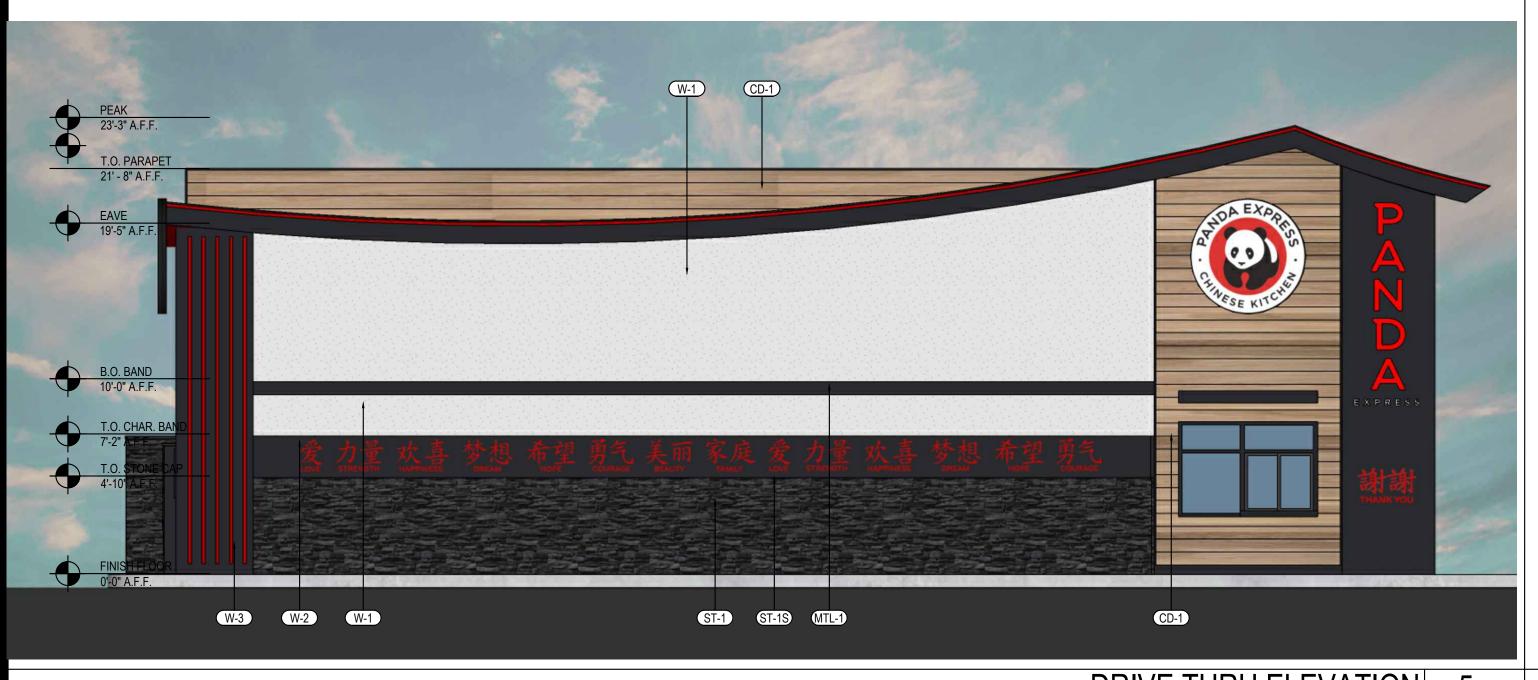
PANDA EXPRESS

PANDA HOME 2600 BEHRMAN PI & BEHRMAN HWY NEW ORLEANS, LA 70114

FLOOR PLAN

PANDA HOME 2600 R4

Scale= 1/4" = 1'-0" A-103



ST-1

ST-1S

PEAK OF ROOF 23'-3" A.F.F.

FINISH FLOOR 0'-0" A.F.F.

CD-1

TRASH ENCLOSURE FRONT



DRIVE THRU ELEVATION 5

FRONT ELEVATION 2

Scale= 3/16" - 1'0" **A-202**

Scale= NTS A-202

ISSUE DATE:

PANDA EXPRESS, INC.

1683 Walnut Grove Ave. Rosemead, California

Telephone: 626.799.9898 Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or

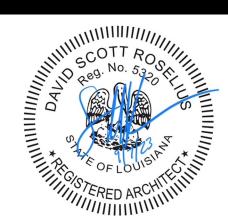
represented by this drawing are the property of Panda

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DRAWN BY:

PANDA PROJECT #: - S8-23-D8571

PANDA STORE #: ARCH PROJECT #: -



Heights Venture ARCHITECTURE CONTROL

1111 North Loop West, Suite 800 5741 Legacy Drive, Suite 320 Houston, Texas 77008 Plano, Texas. 75024 Houston, Texas 77008

PANDA EXPRESS

PANDA HOME 2600 BEHRMAN PI & BEHRMAN HWY NEW ORLEANS, LA 70114

A-202

EXTERIOR COLOR ELEVATIONS

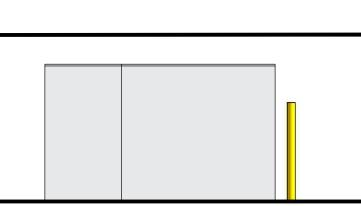
PANDA HOME 2600 R4

Scale= 3/16" - 1'0" A-202

W-3 ST-1S ST-1 MTL-1 W-1

ENTRY ELEVATION 4

Scale= 3/16" - 1'0" A-202



TRASH ENCLOSURE BACK

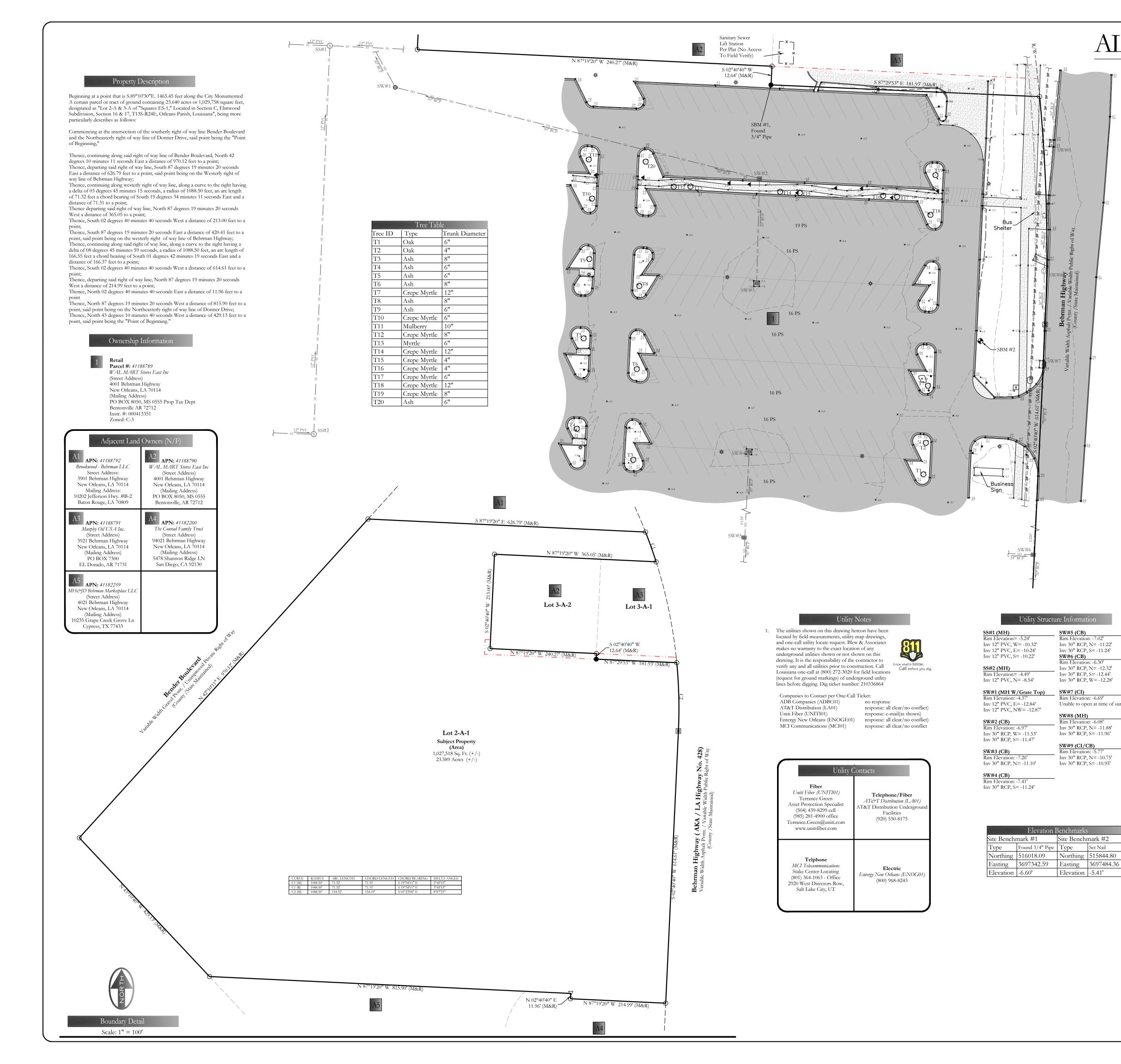
TRASH ENCLOSURE SIDE

TRASH ENCLOSURE SIDE

TRASH ENCLOSURE

PERSPECTIVE RENDER

											Scale= NTS A-202
EXTE	ERIOR FINISH SCH	EDULE				N	MATERIALS				·
NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES						
<u>W-1</u>	STO	3 PART STUCCO SYSTEM	SW 7646 FIRST STAR	FINE	BUILDING BODY				A Comment of the Comm		
W-2	STO	3 PART STUCCO SYSTEM	SW7069 IRON ORE	FINE	ACCENT BAND	(W-1)		W-3	(ST-1S)	CD-1	
W-3	STO	3 PART STUCCO SYSTEM	PANTONE COLOR 200C-RED	-	BEHIND TRELLIS				24"		
ST-1S	CORONADO STONE PRODUCTS	CHISELED STONE SILL	CHARCOAL		STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)						
ST-1	CORONADO STONE PRODUCTS	STRIP STONE	BLACKFOREST	-	WAINSCOT CONTACT: 864-962-1221 PROVIDE 3/8" MORTAR JOINTS MFG: ARGOS, COLOR: CHARCOAL						
CD-1	FIBERON	WILDWOOD	BAMBOO	-	COMPOSITE CLADDING - CONTACT: MARIA SCHOLLER 419.704.5924 EMAIL: maria.scholler@fiberoncladding.com	(W-2)			ST-1	(MTL-1)	
MTL-2	PANDA VENDOR	ALLEN INDUSTRIES		SATIN FINISH	CANOPY WITH LED WITH DOWN LIGHT AROUND BUILDING						
MTL-1	EXCEPTIONAL METALS	-	"PANDA EXPRESS IRON ORE"		CAP FLASHING						



ALTA/NSPS Land Title Survey

Completed field work was June 16, 2021. The Basis of Bearing for this survey is Grid North per GPS coordinate observations Louisiana State Plane, South Zone NAD83. Latitude = $29^{\circ}54'43.13031''$

Longitude = $-90^{\circ}01'05.78392"$ Convergence Angle = $-00^{\circ}39'27.16815''$

3. Distances shown on plat are ground.

Combined scale factor (ground to grid) = 0.99992694066872 4. Some features on this plat may be shown out of scale for clarity. 5. Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Monuments were found at points where indicated. Any servitude's and restrictions shown on this survey are limited to those set forth

applicable servitude's and restrictions are shown hereon. Names and addresses of adjoining property owners were taken from Orleans County tax cards and deeds.

in the description furnished to surveyor, and there is no representation that all

8. The nearest fire hydrant is located in the center of subject property. 9. No surveyor or any other person other than a licensed Louisiana attorney may provide legal advice concerning the status of Title to the property described in this survey ("the subject property"). The purpose of this survey, and the comments related to the Schedule B-II exceptions, is only to show the location of boundaries and physical objections in relation thereto. To the extent that the survey indicates that the legal instrument "affects" the subject property, such statement is only intended to indicate that property boundaries included in such instrument include some or all of the subject property. The surveyor does not purport to describe how such instrument affects the subject property or the enforceability or legal

consequences of such instrument. 10. All bearings and distances shown hereon are measured dimensions unless otherwise noted hereon. Record dimensions, if differing from measured dimensions, will be followed by "(R#)" where the # indicates from which reference document the dimension originated.

11. Contour Interval = 1 foot 12. Total number of striped parking spaces observed at the time of the survey is 115, which includes 0 designated ADA space(s). 13. Surveyor notes that the property abuts the right-of-way of Behrman Place. Access to the right-of-way may be subject to other agreements or proper governmental

14. There was no evidence of monitor wells, or any test borings on the subject property

15. At the time of the survey, there was no observable evidence of site use as a cemetery, isolated grave site or burial grounds.

16. At the time of the survey, there was no observable evidence of site use as a solid waste dump, sump, or sanitary landfill.

17. Elevations established with GPS static observations utilizing online positioning user service (OPUS) for post processing. (NAVD 1988 datum) 18. There was no evidence of any delineated wetland areas, per the U.S. Fish and Wildlife service National Wetlands Inventory website. No markers from a field delineation of wetlands conducted by a qualified specialist were observed during the

completed or proposed, and available from controlling jurisdiction or observable evidence of recent street or sidewalk construction repairs. 20. There was no observable evidence of Earth moving work, building construction or building additions within recent months.

19. At the time of the survey, there were no changes in street right-of-way lines either

21. The nearest intersecting street is the intersection of Donner Drive and Behrman Highway, which is located at the Northwest corner of the subject property. 22. Surveyor did not receive current deeds for adjoining properties from the title insurer. Surveyor obtained the deed information reflected on this survey on their own. The user of this survey should consult an attorney or title insurer to verify the

current deed descriptions for adjoining properties 23. Reference documents noted hereon were obtained by the surveyor and any and all representations based thereon should be reviewed by a licensed attorney or title insurer for verification. 24. Surveyor did not receive any information from the title insurer regarding the current

zoning classification of the property or any requirements related to the applicable zoning classification. Surveyor obtained the zoning information reflected on this survey on their own. The user of this survey should consult an attorney or title insurer to verify the zoning classification of the property as well as the applicable restrictions and requirements associated with such zoning classification.

25. The following items, if any, are plotted on the survey to the extent referenced on the applicable title commitment: (i) all plottable areas denoted in the reciprocal easement agreements and (ii) the boundary limits only of all offsite appurtenant

The zoning information provided below is per the City of New Orleans Municipal

Sec. 15.3.A.1 C-3 (Heavy Commercial District) (Table 15-2) Maximum Height: 130' feet /12 Stories (Max) Minimum Lot Area: 5,000 sf Minimum Permeable Open Space: 20% of Lot Area Minimum Yards Required Front Yard: See Sec. 15.3.A.2

requirements associated with such zoning classification.

Rear Yard: 25 Feet

Side Yard: 10 Feet

Inv 30" RCP, N = -11.22'

Inv 30" RCP, S= -11.24'

Inv 30" RCP, N= -12.32'

Inv 30" RCP, S= -12.44'

Inv 30" RCP, W= -12.28'

Unable to open at time of survey

SW#8 (MH) Rim Elevation: -6.08'

Inv 30" RCP, N = -11.88'

Inv 30" RCP, N= -10.75'

Inv 30" RCP, S= -10.95'

Elevation -5.41'

Inv 30" RCP, S= -11.96'

SW#7 (CI) Rim Elevation: -6.69'

SW#6 (CB)

Blew & Associates makes no warranty to the exact regulations or ordinances represented on the drawing hereon. The user of this survey should consult an attorney or title insurer

to verify the zoning classification of the property as well as the applicable restrictions and

15.3.A.2 FRONT YARD BUILD-TO LINE REQUIREMENT a. Within the C-1, C-2, C-3, and LS Districts of the Commercial Center and Institutional Campus Districts, the front yard build-to line is established by any one (1) of the following methods. A build-to line is an established setback line at which a structure is

required to build. However, in no case may the front yard exceed twenty (20) feet. i. As of the effective date of this Ordinance, the current front yard of the existing structure may be set as the required front yard build-to line. When a structure is demolished, the demolition permit shall indicate the dimension of the front yard prior to

ii. The required front yard build-to line indicated on the most recent survey or Sanborn maps.

demolition. The required front yard build-to line is that indicated on the demolition permit.

iii. The average of the front yard of the adjacent lots on either side may be used to establish the required front yard build-to line. Averaging is based on the two (2) adjacent lots or, in the case of a corner lot, two (2) neighboring lots on the same blockface. In the case of a lot configuration where only one (1) lot is available for averaging, the front yard build-to line is that of the adjacent lot. (See Figure 15-1: Front Yard Averaging)

b. The applicant is permitted a three (3) foot variation from a front yard build-to line established by any of the above methods.

c. The required front yard build-to line is measured as the narrowest dimension from the front lot line to the principal structure. The measurement is taken from the building walls of the principal structure and does not include permitted encroachments or architectural features.

Specific zoning information as shown hereon is as interpreted by the surveyor per City of New Orleans Municipal codes and should be confirmed by a licensed Louisiana attorney or zoning professional in the controlling jurisdiction.

Flood Note

By graphic plotting only, this property is in Zone(s) AE of the Flood Insurance Rate Map, Community Panel No. 22071C0242F, which bears an effective date of 09/30/2016 and is in a Special Flood Hazard Area.

Zone Definitions According to the FEMA website.

Zone "AE" - The base floodplain where base flood elevations are provided. AE Zones are now used on new format FIRMs instead of A1-A30 Zones.

	DATE	REVISION	BY
(



egend of Symbols & Abbreviatio XXXXX Spot Elevation (M) Measured Dimension

Found Rebar (As Noted) (R) Recorded Dimensio O Set Rebar (As Noted) (z) Zoning Requirement Set Chiseled "X" N/F Now or Formerly RCP Round Concrete Pip ∇ Set Mag Nail PVC Polyvinyl Chloride Pip Site Benchmark (As Noted)

€ Ground Light MH Manhole CB Catch Basin ★ Light Pole Telephone Pedestal CI Curb Inlet Inv Invert of Pipe V Utility Vault SBM Site Benchmark Sanitary Manhole **≡≡** Curb Storm Inlet P.O.C. Point of Commenc

P.O.B. Point of Beginning Catch Basin T# See Tree Table Storm Manhole

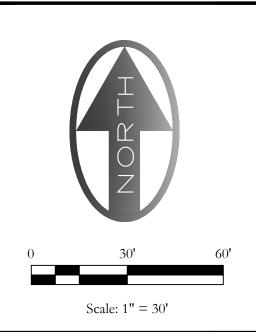
Deciduous Tree Symbol

— — — Adjoiner Property Line Subject Property Line — — — Forty Line — · · · — Utility Easement — Building Setback

— x — x — Fence — — — Right-of-Way ---- ss ---- Sanitary Sewer Line —— SD —— Storm Sewer Line ---- WL ---- Buried Water Line — FOP — Fiber Optic Line

— — — Contour Major — — — Contour Minor

Asphalt Concrete



Surveyor's Certification

Co: Civil Engineering Services:

This is to certify that this map or plat and the survey on which it s based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b1), 8, 9, 11(a) 13, 16, 17, 19, & 20 of Table A thereof. The field work was completed on 06/16/2021.

Date of plat or map: 06/28/2021

Preliminary

Michael Cook Surveyor License No. 4879 n the State of Louisiana

BLEW & ASSOCIATES, PA CIVIL ENGINEERS & LAND SURVEYORS

3825 N. SHILOH DRIVE FAYETTEVILLE, ARKANSAS 72703 OFFICE: 479.443.4506 FAX: 479.582.1883 www.BLEWINC.com

AWN BY & DATE: DLD 06/23/2021	REVIEWED BY: PRS/GC	SURVEYED BY: DA
UNTY & STATE: Orleans, Louisiana	JOB NUMBER:	21-4025

ortion of 4001 Behrman Hwy., New Orleans, Louisian

Civil Engineering Services (PE) New Orleans, LA



Date: August 22, 2023

RE: Letter of Agent Authorization - Panda; Behrman Pl & Behrman Hwy, New Orleans, LA

Wal-Mart Real Estate Business Trust, a Delaware statutory trust, ("Walmart") is the owner of the land depicted on Exhibit A ("Property"). On behalf of Walmart, I hereby authorize CFT NV DEVELOPMENTS, LLC, a Nevada limited liability company, and/or one of its authorized agents (together, "Developer"), to serve as Walmart's authorized agent for the purpose of seeking all requisite permits and approvals related needed for development of the Property, including but not limited to rezoning, special exception, conditional use, variance appeal or site development application and appliable public hearing for application/project application and public hearing processes.

Developer's authorization is expressly limited to signing and delivering applications for permits and approvals that are related to the development of the Property for a Panda restaurant. Further, this authorization does not empower Developer to either negotiate on Walmart's behalf or otherwise obligate Walmart in any manner whatsoever, including any attempt to obligate Walmart to pay for or construct improvements to the Property or its neighboring land in connection with the development of the Property.

This authorization expires one calendar year from the date above unless specified otherwise. Should you need additional information or have any questions regarding this authorization, please do not hesitate to contact myself at alexander.chak@walmart.com (phone: (479)-371-8607, Address: 2608 S.E. J Street Bentonville. AR 72716) or Brett Moncrief at brett.moncrief@walmart.com.

Wal-Mart Real Estate Business Trust,

a Delaware statutory trust

By:_

Name: Alex Chak Real Estate Transaction Manager Title:

STATE OF ARKANSAS COUNTY OF BENTON

The foregoing instrument was acknowledged before me this as Real Estate Transaction Manager of Wal-Mart Real Estate Business Trust on behalf of the company. He is personally known to me.

> LINDA STELLJES NOTARY PUBLIC BENTON COUNTY, ARKANSAS COMM. EXP 12/01/27 COMMISSION NO. 12703323

[Notary Seal]

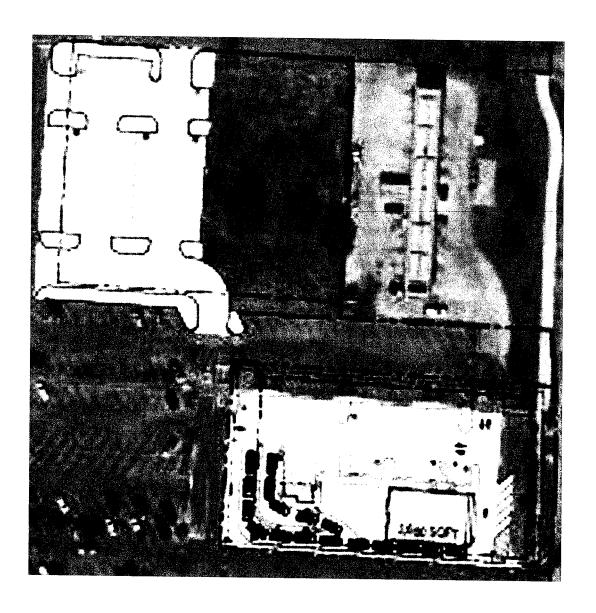
Notary Public, State of Arkansas

Commission number: 197

My commission expires: /



Exhibit A



PANDA EXPRESS NEW ORLEANS, LA



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CALC SUMMARY- PAVED SURFACE	+	5.3 fc	15.1 fc	0.4 fc	37.8:1	13.3:1
CALC SUMMARY- PROPERTY LINE	+	1.3 fc	6.2 fc	0.0 fc	N/A	N/A
TRASH ENCLOSURE	+	7.2 fc	13.9 fc	4.0 fc	3.5:1	1.8:1

SLM-LED-18L-SIL-FT-40 CONTACT RYAN ZINSELMEIER- SLM-LED-18L-

314-531-2600

314-531-2600

5 SLM-LED-18L-SIL-FT-40 CONTACT RYAN ZINSELMEIER- SLM-LED-18L-

314-531-2600

SLM-LED-18L-SIL-3-40- CONTACT RYAN ZINSELMEIER-

12045

12554

18909

SIL-FT-40-

-IL.ies

SIL-FT-40-70CRI.ies

70CRI-IL.ies

SLM-LED-18L-

SIL-3-40-70CRI-

135

135

270

1

1

100%

100%

Note

Schedule

•

1. MOUNTING HEIGHT OF 18'

A

B

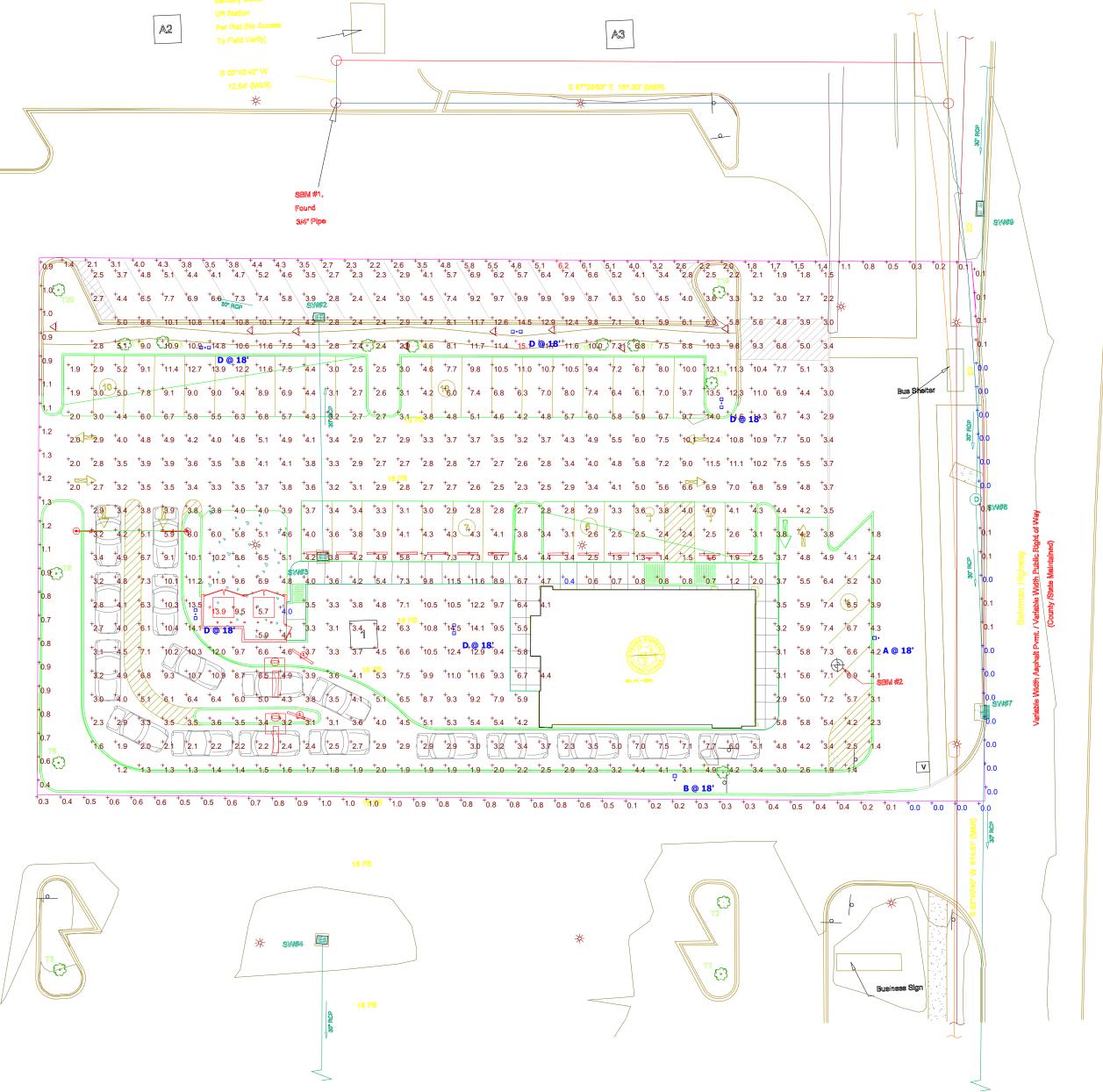
D

- 2. CALCULATIONS TAKEN AT GROUND LEVEL
- 3.CONTACT VILLA LIGHTING- RYAN ZINSELMEIER-RYAN.ZINSELMEIER@VILLALIGHTING.COM- 314-531-

Label Quantity Catalog Number

-70CRI-IL

- 4. LAYOUT IS AN ESTIMATE



Plan View Scale - 1" = 25ft

Designer R. ZINSELMEIER **Date** 09/12/2023 Scale NOTED **Drawing No.**

Summary

1 of 1