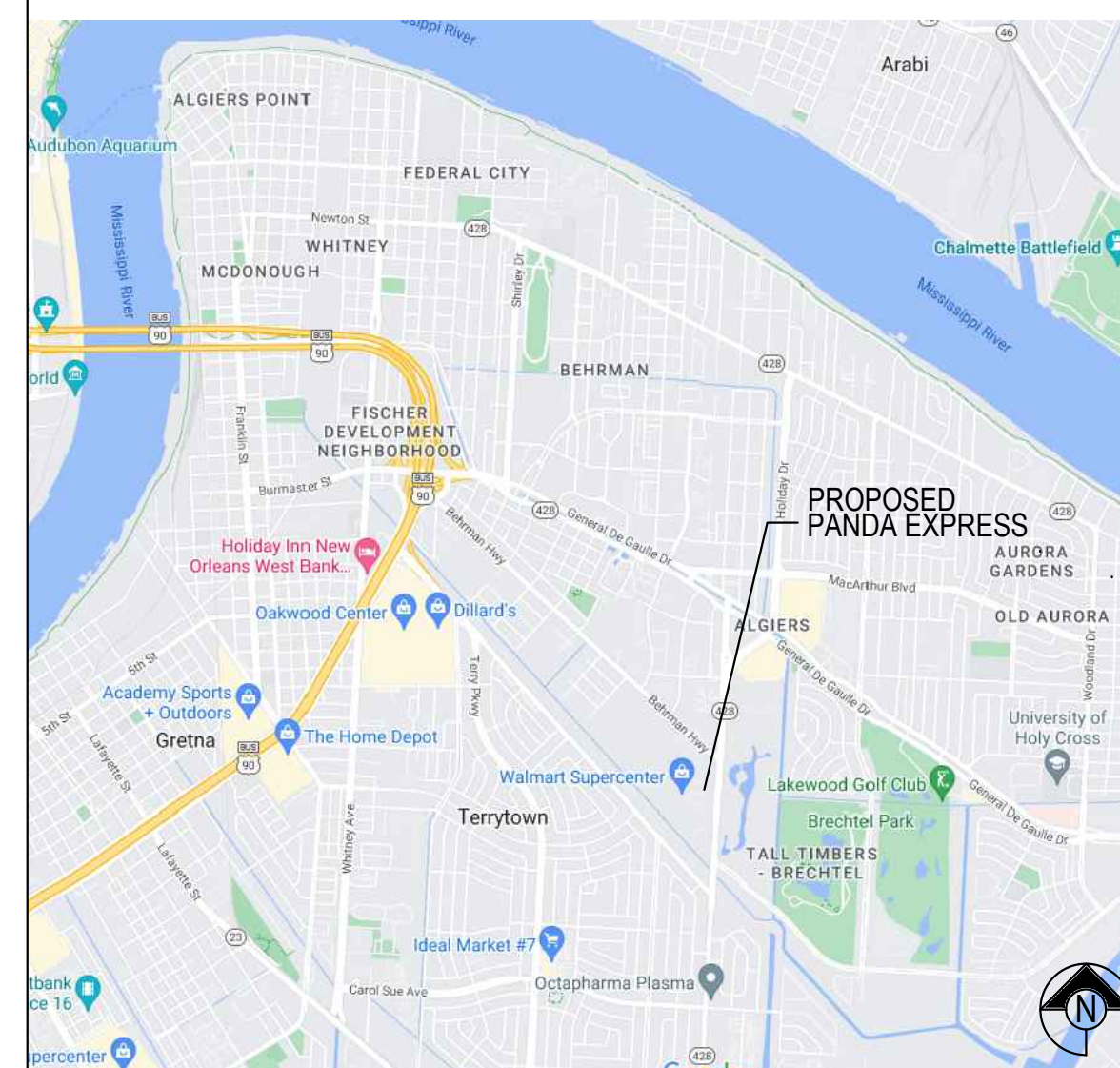


PANDA EXPRESS



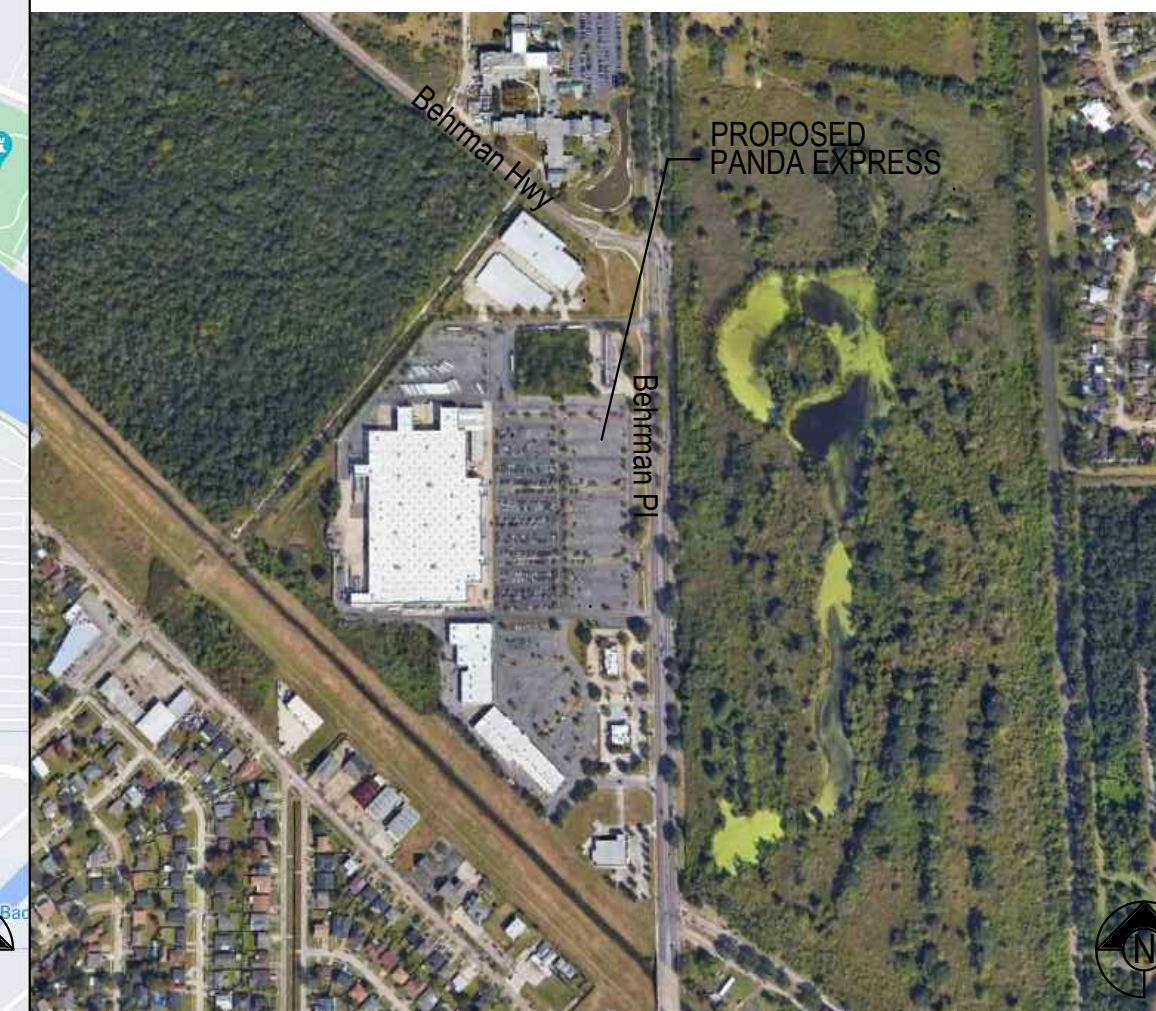
S8-23-D8571

BEHRMAN PI & BEHRMAN
NEW ORLEANS, LA 70114



VICINITY MAP

Scale= NTS G-001



KEY PLAN

Scale= NTS G-001

GENERAL

G001	TITLE SHEET	1
C3.0	SITE SHEET	•
LP1.0	LANDSCAPE PLAN	•
LP2.0	PLANTING DETAILS	•
LP3.0	LANDSCAPE SPECIFICATIONS	•
A101	KITCHEN PLAN	•
A103	FLOOR PLAN	•
A202	COLOR ELEVATIONS	•
	ALTA SURVEY	•



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

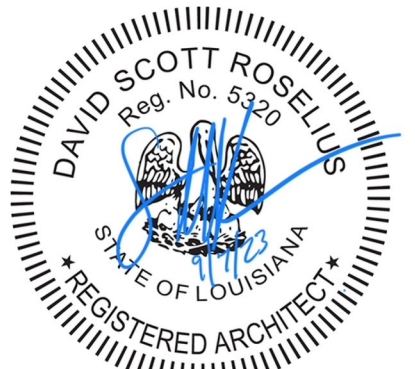
NO.	DESCRIPTION	DATE

ISSUE DATE:

CUP SUBMITTAL	09-07-23

DRAWN BY: - MA

PANDA PROJECT #: - S8-23-D8571
PANDA STORE #: - D8571
ARCH PROJECT #: - 21125



Heights Venture
ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024
281.854.6100

PANDA EXPRESS
PANDA HOME 2600
BEHRMAN PI & BEHRMAN HWY
NEW ORLEANS, LA 70114

G-001

TITLE SHEET

SHEET INDEX

Scale= NTS G-001



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

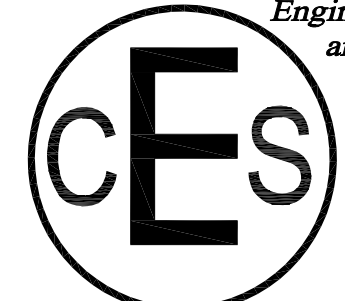
REVISIONS:

ISSUE DATE:
1ST CUP SUBMITTAL 09-07-23

DRAWN BY: RLP

PANDA PROJECT #: S8-22-D8571
ARCH PROJECT #: XXX-XXX

Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

4001 BEHRMAN
NEW ORLEANS, LA 70114

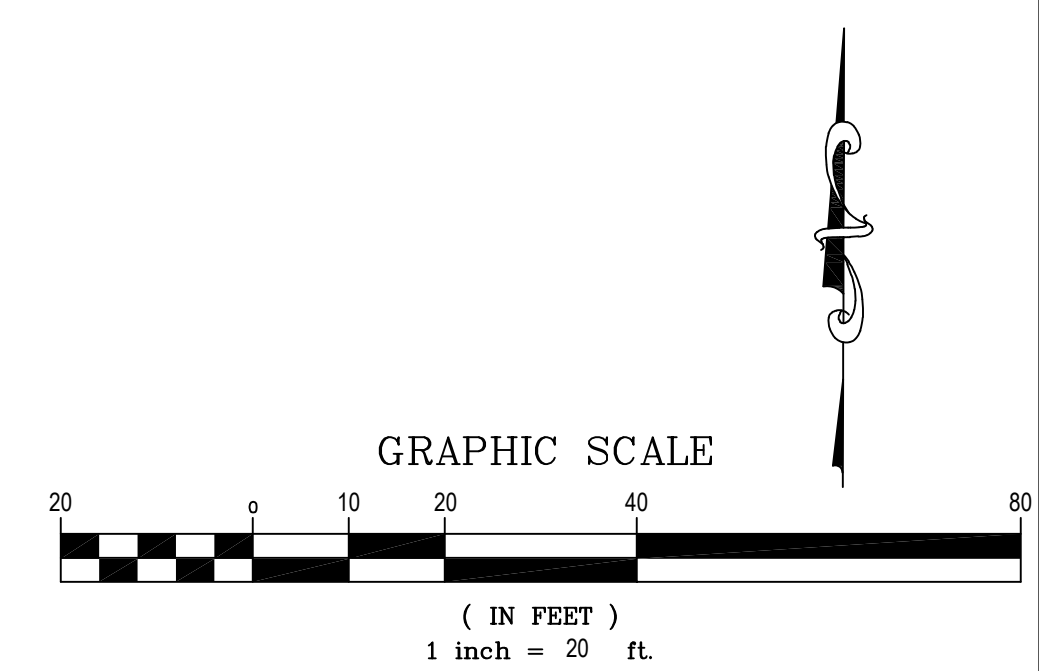
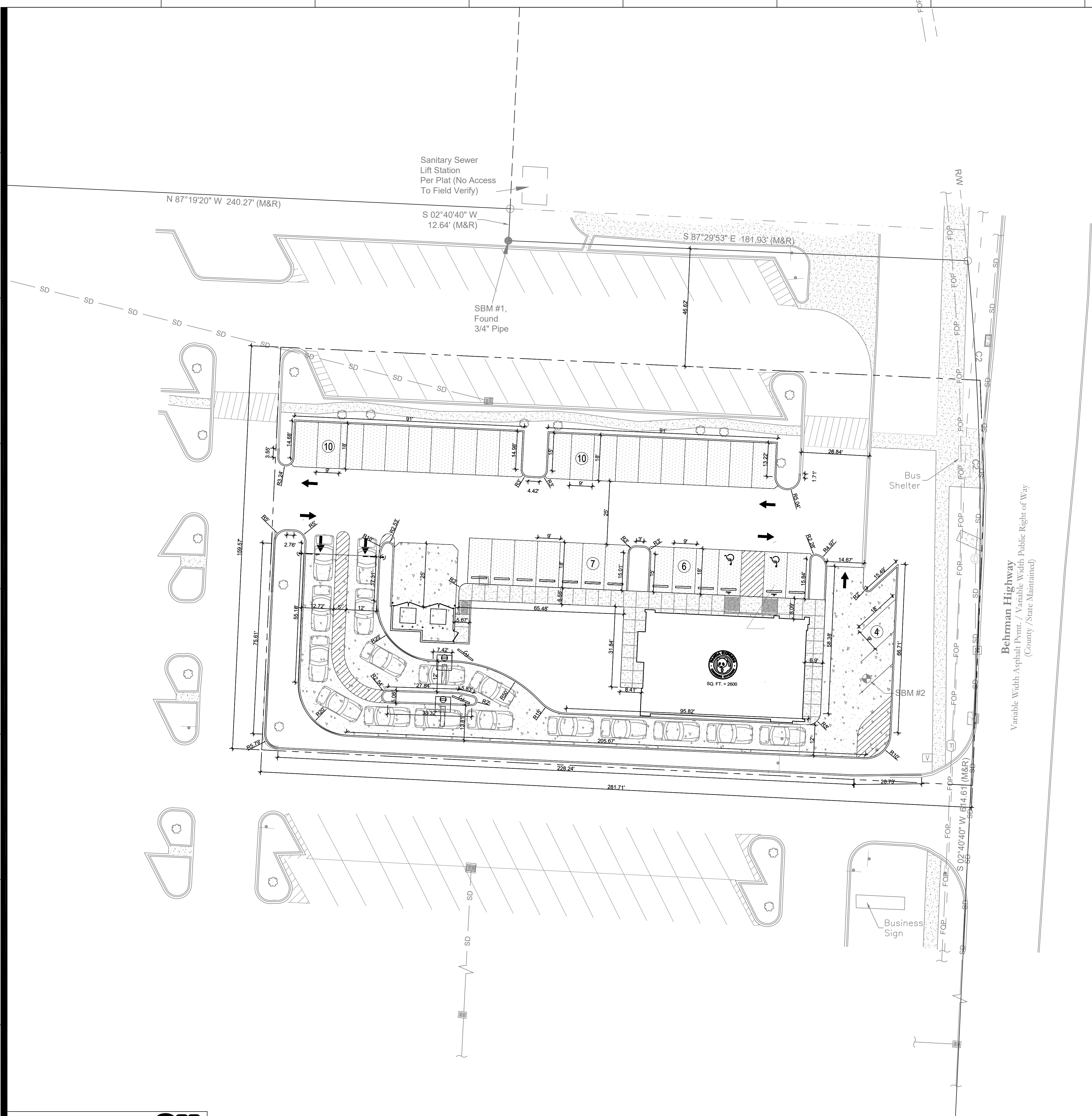
TRUE WARM & WELCOME

C 3.0

SITE SHEET

PROPOSED SITE LEGEND

- PARKING STALL COUNT - SEE PLANS
- LIGHT DUTY ASPHALT PAVING - SEE DETAIL SHEET FOR SECTION
- HEAVY DUTY ASPHALT PAVING - SEE DETAIL SHEET FOR SECTION
- CONCRETE SIDEWALK - SEE DETAIL SHEET
- CONCRETE PAVING AT DUMPSTER ENCLOSURE AND DRIVE THRU PER GEOTECHNICAL REPORT - DETAIL SHEET FOR SECTION - SEE ARCHITECTURAL SHEET
- HANDICAP PARKING
- DIRECTIONAL ARROWS
- PROPOSED CURB AND GUTTER AT ASPHALT - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL



ALL DISTURBED AREA SHALL BE STABILIZED WITH SOC. COMMON TO THE REGION - SEE LANDSCAPE PLAN

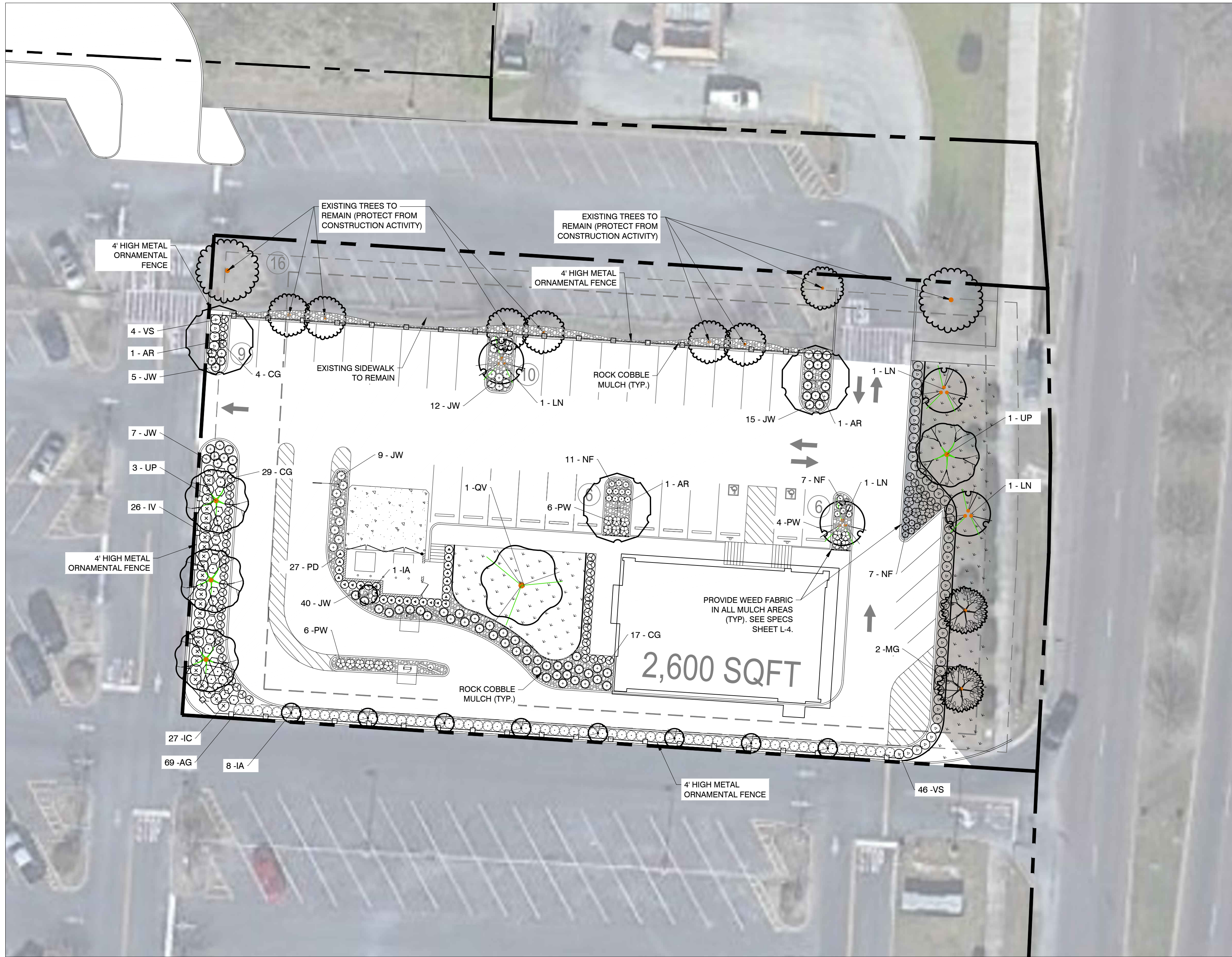
BM #1
XXXXXXXX
NORTHING: XXXXXXX
EASTING: XXXXXXX
ELEVATION: XX.XX'

BM #2
XXXXXXXX
NORTHING: XXXXXXX
EASTING: XXXXXXX
ELEVATION: XX.XX'

FLOOD STATEMENT
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. XXXXXX X, WHICH BEARS AN EFFECTIVE DATE OF XXX/XX/XXXX AND IS NOT IN A SPECIAL FLOOD HAZARD AREA ZONE DEFINITION ACCORDING TO THE FEMA WEBSITE.

ISSUE FOR PERMIT XX-XX-XXXX

ISSUE FOR PERMIT XX-XX-XXXX



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	AR	Acer rubrum 'Drummondii' / Swamp Red Maple	B & B	2.5"Cal	10'-12'	3
	IA	Ilex attenuata 'Eagleston' / Eagleston Holly (Tree Form)	B & B	2.5"Cal	8'-10'	8
	LN	Lagerstroemia x 'Natchez' / Crape Myrtle Multi Trunk 3 to 5 canes min.	30 gal	3"Cal	8'-10'	4
	ML	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia Standard single trunk	30 gal		8' min.	2
	QV	Quercus virginiana / Southern Live Oak	B & B	2.5"Cal	10'-12'	1
	UP	Ulmus parvifolia / Chinese Elm	B & B	2.5"Cal	10'-12'	4

SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
	AG	Abelia grandiflora / Glossy Abelia 24" min. at the time of planting	5 gal	36" o.c.	69
	CG	Distylium 'PIIDIST-V' PP27631 / 'Cinnamon Girl' Distylium 18" min. at the time of planting	5 gal	36" o.c.	56
	IC	Ilex cornuta 'Burfordii nana' / Dwarf Burford Holly 24" min. at the time of planting	5 gal	36" o.c.	27
	IV	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire 18" min. at the time of planting	5 gal	36" o.c.	26
	JW	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	3 gal	36" o.c.	88
	NF	Nandina domestica 'Firepower' / Heavenly Bamboo 18" min. at the time of planting	3 gal	24" o.c.	25
	PD	Podocarpus macrophyllus 'Pringles Dwf' / Japanese Yew 18" min. at the time of planting	5 gal	36" o.c.	27
	PW	Pittosporum tobira 'Wheeler's Dwarf' / Dwarf Pittosporum 18" min. at the time of planting	5 gal	36" o.c.	24
	VS	Viburnum suspensum / Sandakwa Viburnum 24" min. at the time of planting	5 gal	36" o.c.	50

SOD/SEED	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	SG	Stenotaphrum secundatum / St. Augustine Grass	sod		3,032 sf

MULCH	CODE	TRADE NAME	DESCRIPTION
	SG	Rock / Cobble Mulch	2"-4" size, 3"-4" deep, placed over permeable weed barrier fabric w/ no fabric visible.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	26,457 SF
BUILDING FOUNDATION LANDSCAPING 1 SHRUB EVERY 36" O.C.	N/A
FRONTYARD LANDSCAPE BEHRMAN HWY - 1 UNIT (UNIT B) PER 100 LF 152 LF = 1.52 B UNITS = 2 SHADE TREES/2 EVERGREEN TREES/ 2 ORNAMENTAL TREES/46 SHRUBS	2 SHADE TREES/ 2 EVERGREEN TREES/ 2 ORNAMENTAL TREES/ 46 SHRUBS PROVIDED
PARKING LOT LANDSCAPING 1 SHRUB EVERY 36" O.C. ALONG STREET FRONTAGE 1 SHADE TREE/1 ORNAMENTAL TREE PER 40 LF 4' HIGH ORNAMENTAL FENCE 7' OPAQUE FENCE ADJACENT TO RESIDENTIAL LOTS	PROVIDED PROVIDED PROVIDED PROVIDED
INTERIOR PARKING LOT 1 ISLAND PER 10 PARKING SPACES 1 TREE PER LANDSCAPED ISLAND SHRUBS IN LANDSCAPE ISLAND	PROVIDED PROVIDED PROVIDED

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN), IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS. "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOB SITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- THE TURF BOUNDARY SHOWN ON THESE PLANS HAS BEEN ESTIMATED BASED ON THE CURRENT PROJECT INFORMATION. CONTRACTOR SHALL ADJUST THE LIMITS OF TURF TO COVER ALL DISTURBED AREAS DURING CONSTRUCTION.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF ROCK COBBLE MULCH IN ALL NEWLY PLANTED AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

LANDSCAPE REQUIREMENTS

PANDA EXPRESS RESTAURANT
1035 MIAMISSBURG CENTERVILLE RD.
WASHINGTON TWP, OH 45459
SITE AREA: 49,092.3 SF (1.02 AC.)

- LANDSCAPE BUFFER IS EXISTING AND TO BE MAINTAINED AT ROW ALONG MCEWEN AND MIAMISBURG CENTERVILLE RD.
- EXISTING TREES ALONG MCEWEN TO BE MAINTAINED AND PROTECTED DURING CONSTRUCTION



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

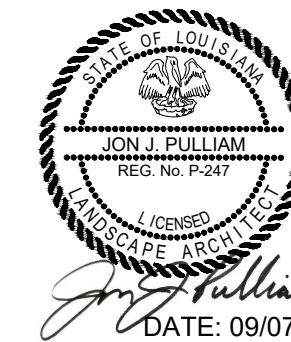
CUP SUBMITTAL 09-07-23

DRAWN BY: MA

PANDA PROJECT #: S8-23-D8571

PANDA STORE #: D8571

ARCH PROJECT #: 21125



Heights Venture
ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024
281.854.6100



Scale 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



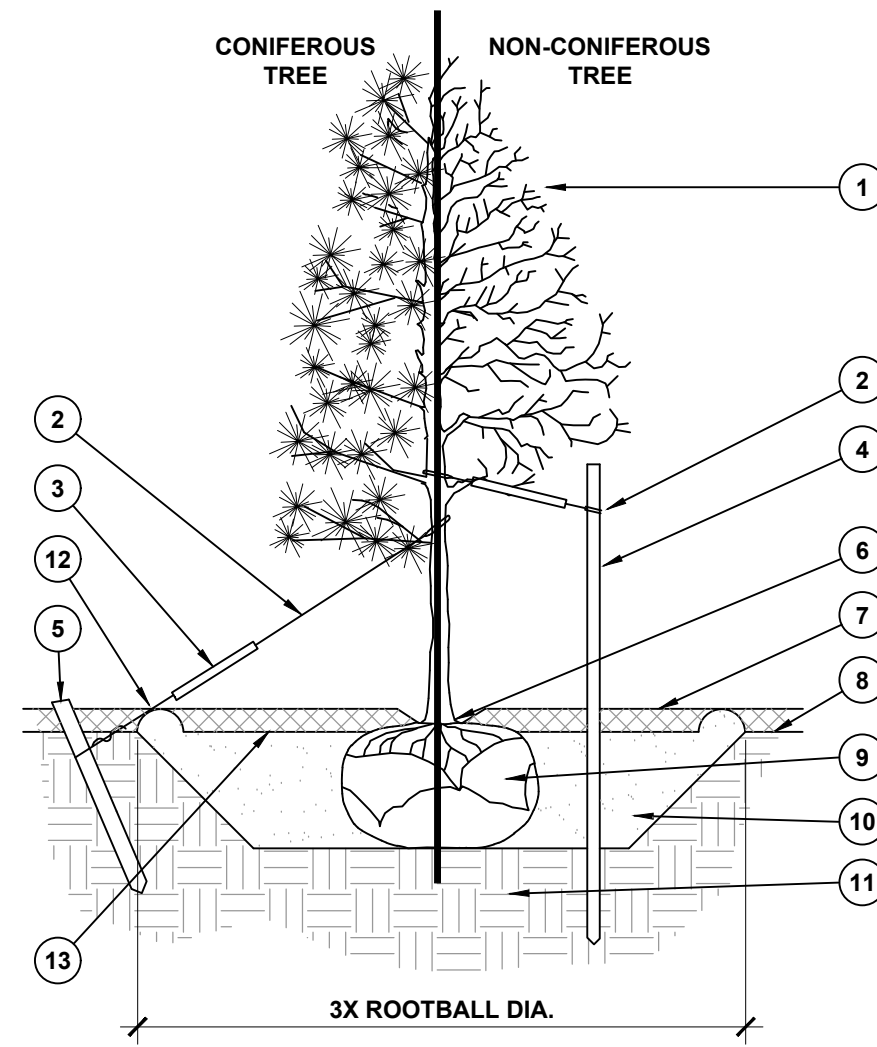
PANDA EXPRESS

PANDA HOME 2600
BEHRMAN PI & BEHRMAN HWY
NEW ORLEANS, LA 70114

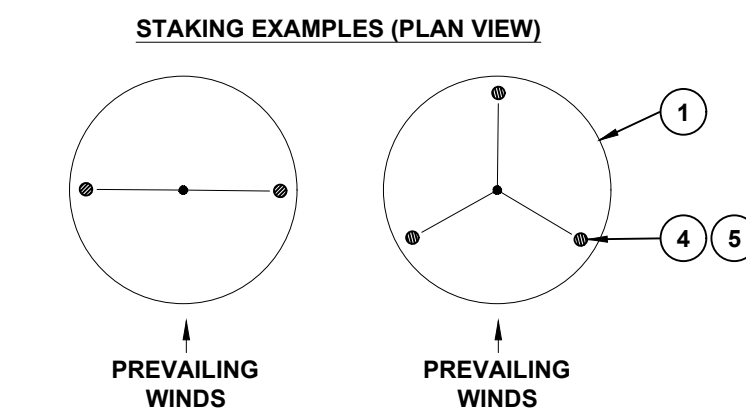
LANDSCAPE PLAN

LP-1

PANDA HOME 2600 R4

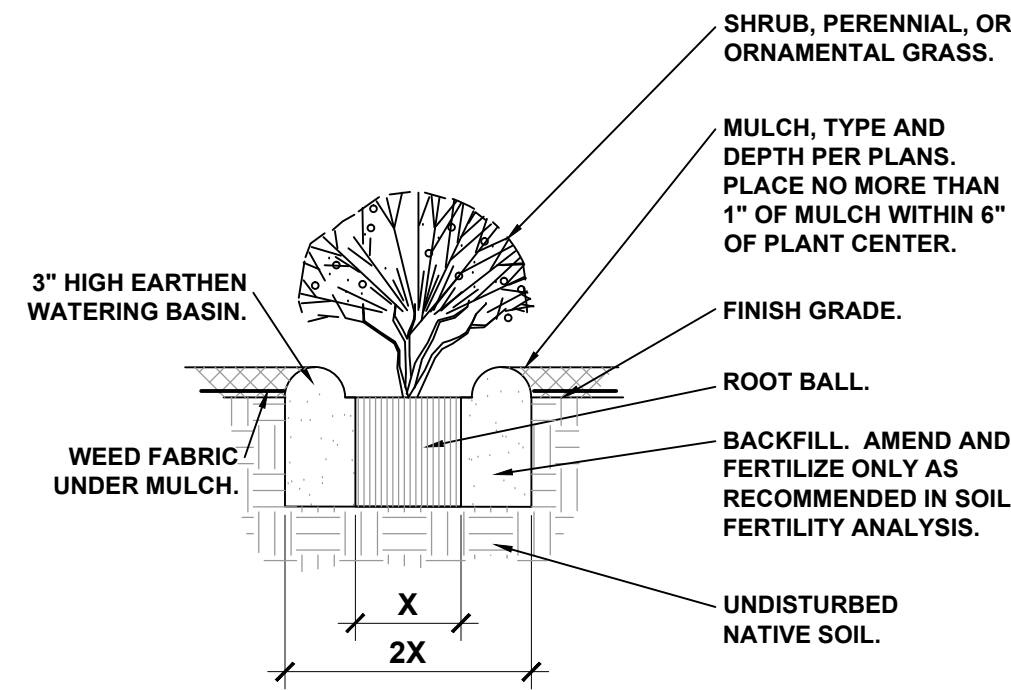


- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

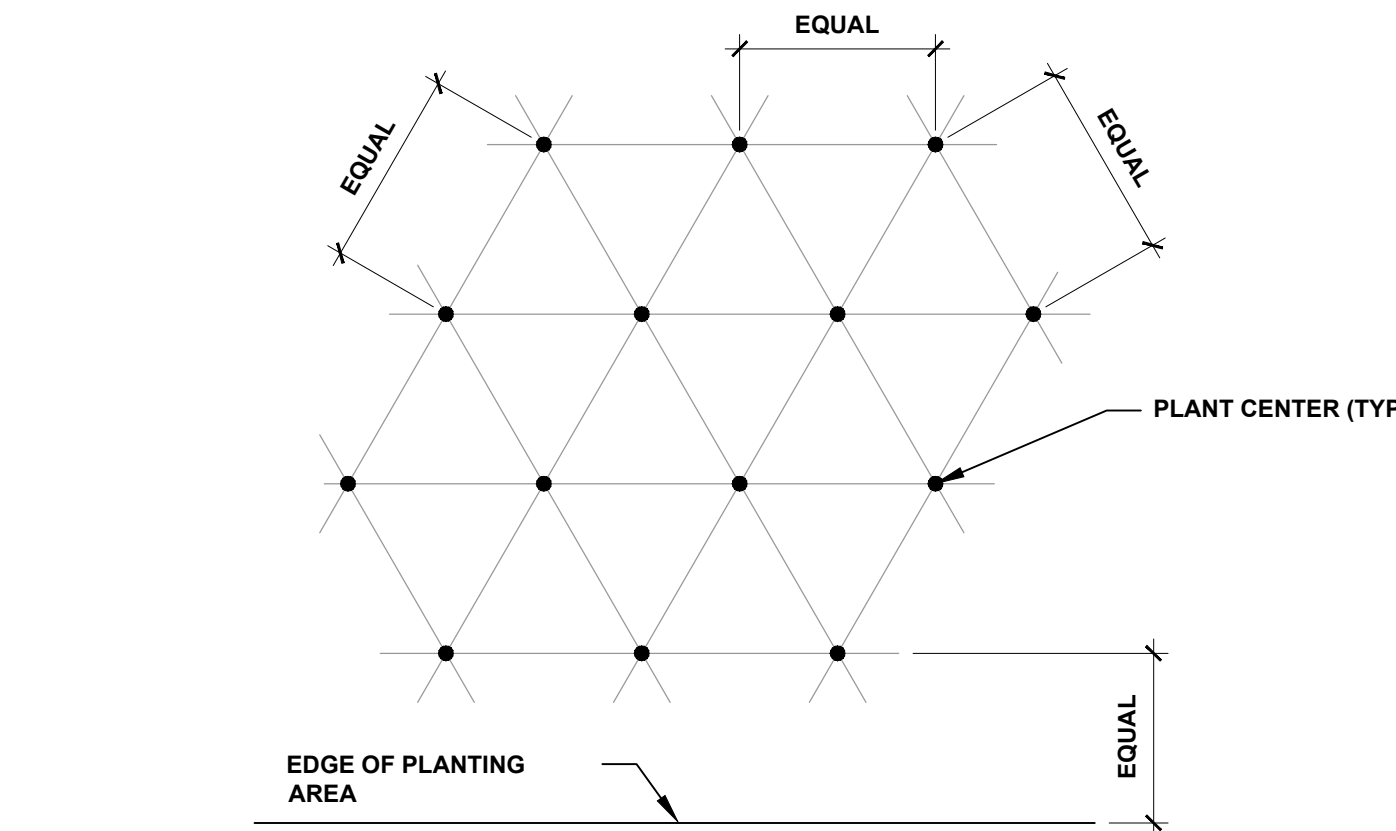


A TREE PLANTING
SCALE: NOT TO SCALE

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
 3. FOR 8&8 TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.



B SHRUB/GROUNDCOVER PLANTING
SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

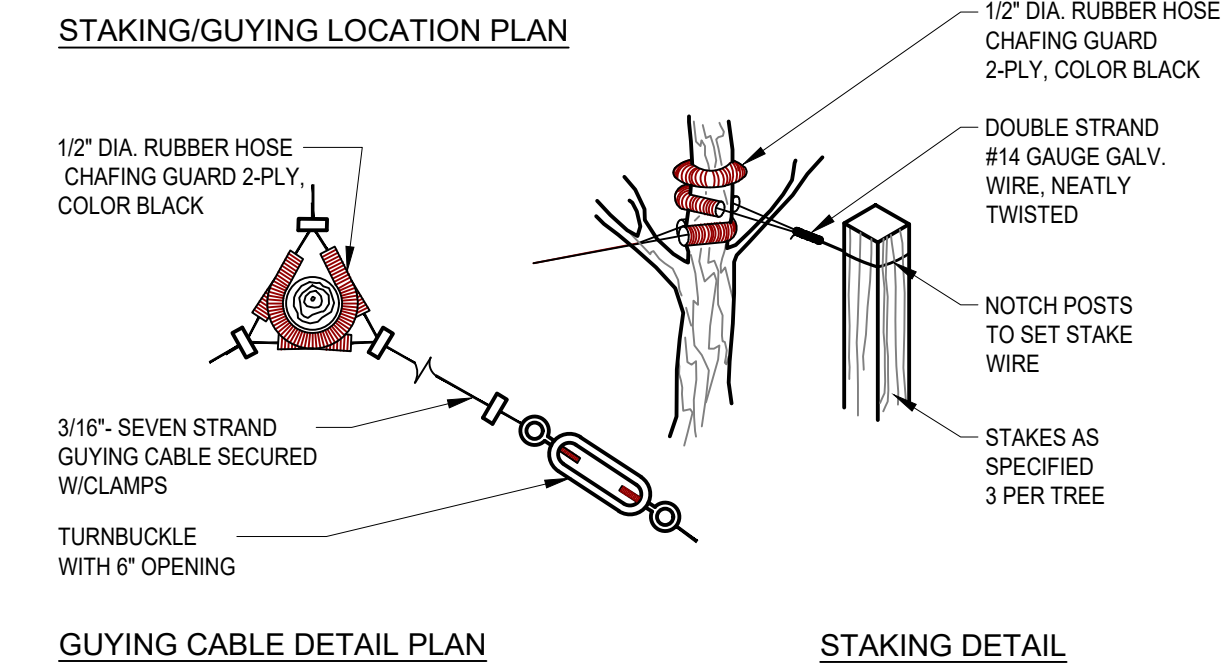
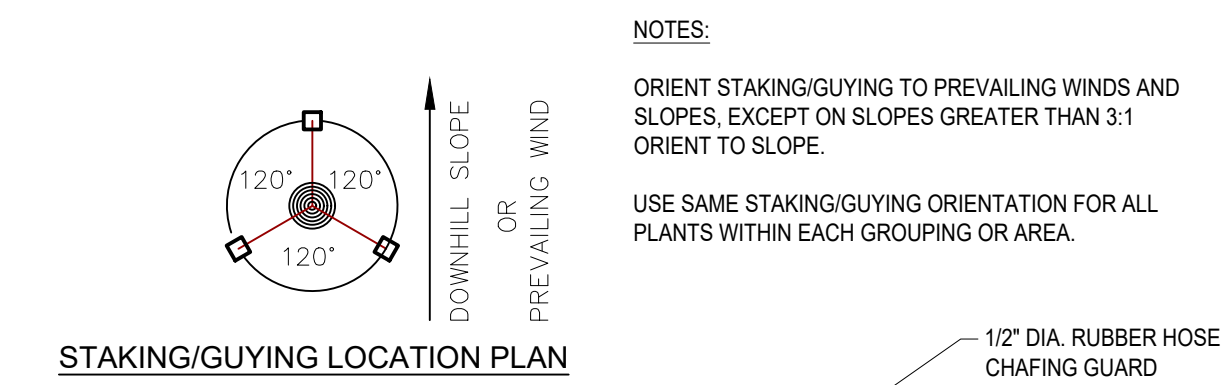
1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

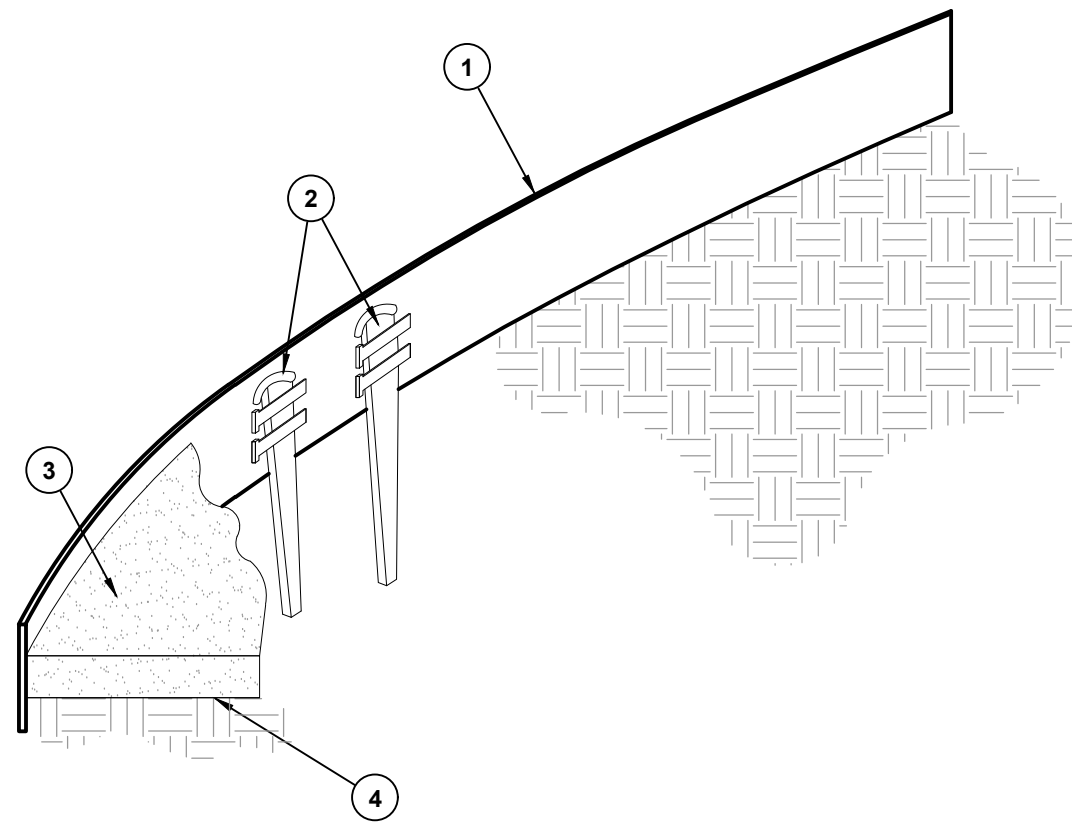
2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF / 1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

C PLANT SPACING
SCALE: NTS



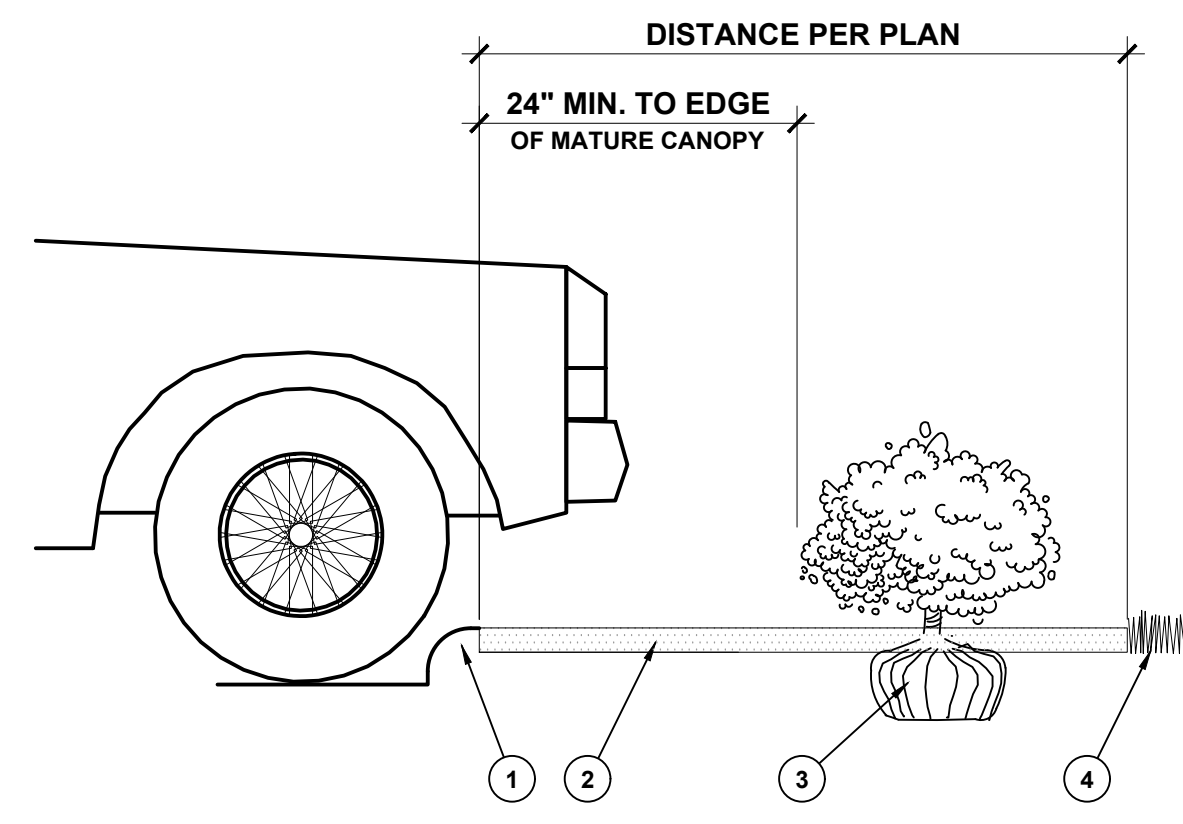
D TREE STAKING AND GUYING
SCALE: NTS



- 1 ROLLED-TOP STEEL EDGING PER PLANS.
- 2 TAPERED STEEL STAKES.
- 3 MULCH, TYPE AND DEPTH PER PLANS.
- 4 FINISH GRADE.

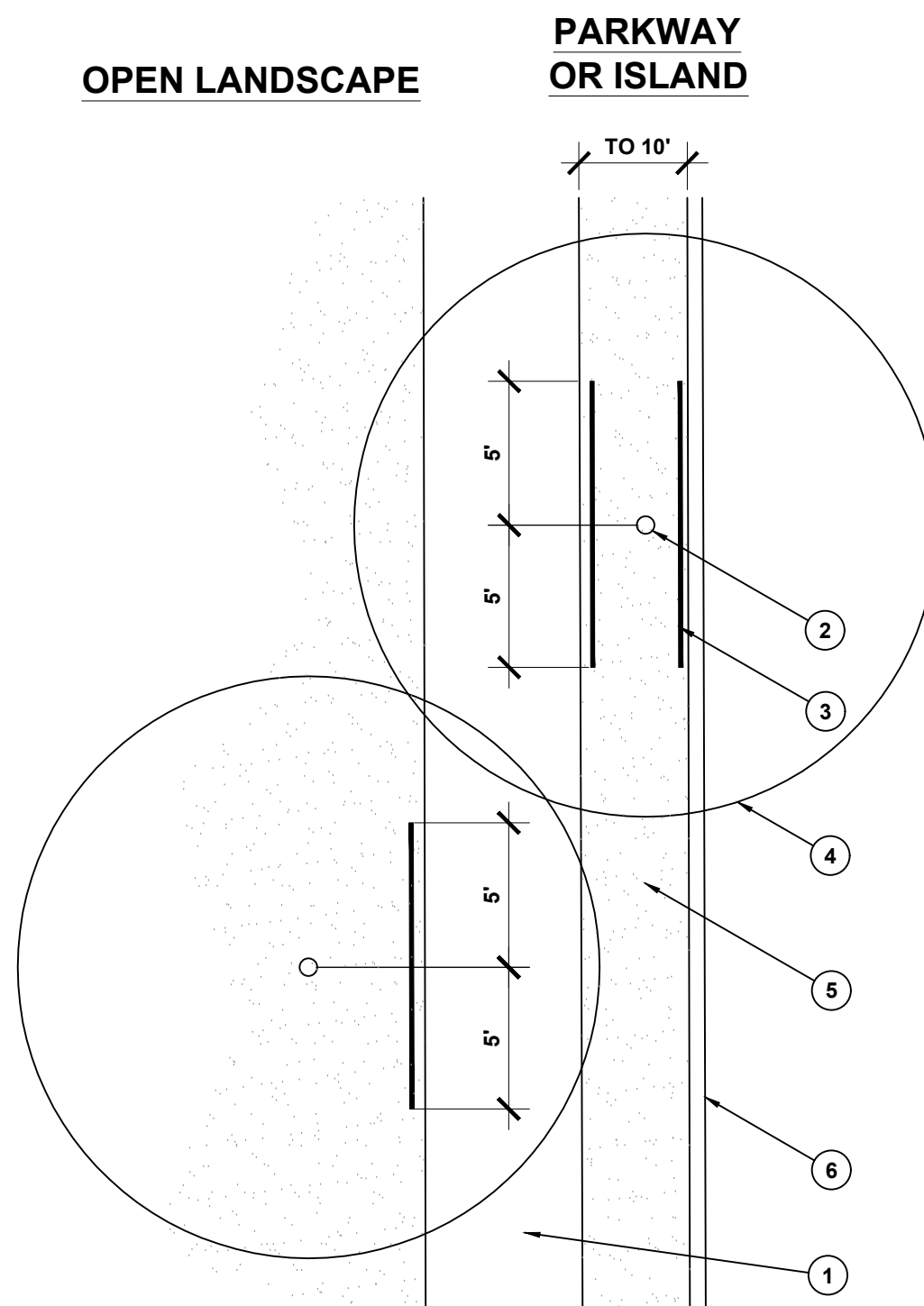
- NOTES:
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

E STEEL EDGING
SCALE: NOT TO SCALE



- 1 CURB.
- 2 MULCH LAYER.
- 3 PLANT.
- 4 TURF (WHERE SHOWN ON PLAN).

F PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



- 1 TYPICAL WALKWAY OR PAVING
- 2 TREE TRUNK
- 3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 4 TREE CANOPY
- 5 TYPICAL PLANTING AREA
- 6 TYPICAL CURB AND GUTTER

- NOTES:
- 1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
 - 2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

G ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



Pro 5 Weed Barrier



DeWitt Pro 5 Weed Barrier is a woven, needle-punched polypropylene fabric for commercial grade weed control. Specified by leading architects, the fabric is designed to allow air, water, and nutrients through. The fabric will not rot or mildew, and is formulated to resist uv degradation.

Property	Test Method	Unit	Minimum Average Roll Value
Woven Material			Polypropylene
Fiber Backing			Polyester
Color			Black with Gold Stripe every 12"
Construction Weave			15 x 10 or 10 x 15
Weight	ASTM D 5261	OZ/SY	5.0 Scrim 2.8 Cap 2.2
Grab Tensile Strength	ASTM D 4632	LBS	Warp 80 Weft 65
Grab Elongation	ASTM D 4632	%	Warp 15 Weft 15
Trapezoid Tear	ASTM D 4533	LBS	Warp 35 Weft 30
Puncture	ASTM D 6241	LBS	300
Water Permeability	ASTM D 4491	GAL/MIN/SF	10
Ultraviolet Exposure	ASTM D 4355	% Strength Retained	>70% after 2500 Hrs Carbon Arc Exposure

Date: 12/13/16. This data sheet supersedes all previously issued data.
*The above properties are typical averages.
THIS INFORMATION RELATES ONLY TO THE SPECIFIC MATERIAL DESIGNATED AND MAY NOT BE VALID FOR SUCH MATERIAL USED IN COMBINATION WITH ANY OTHER MATERIALS OR IN ANY PROCESS. SUCH INFORMATION IS TO THE BEST OF OUR KNOWLEDGE AND BELIEF ACCURATE AND RELIABLE AS THE DATE COMPLETED. HOWEVER NO REPRESENTATION, WARRANTY OR GUARANTEE IS MADE AS TO ITS ACCURACY, RELIABILITY OR COMPLETENESS. IT IS THE USER'S RESPONSIBILITY TO VERIFY ITSELF AS TO THE RELIABILITY AND COMPLETENESS OF SUCH INFORMATION FOR HIS OWN PARTICULAR USE. WE DO NOT ACCEPT LIABILITY FOR ANY LOSS OR DAMAGE THAT MAY OCCUR FROM THE USE OF THIS INFORMATION NOR DO WE OFFER ANY WARRANTY AGAINST PATENT INFRINGEMENT.

905 South Kingshighway Sikeston, MO 63801
www.dewittcompany.com
573.472.0048 phone / 800.888.9669 / 573.471.6715 fax

H WEED BARRIER
SCALE: NOT TO SCALE

THE ABOVE IS MINIMUM STANDARD. OTHER BRANDS MAY BE SUBSTITUTED AS LONG AS SPECIFICATIONS ARE MET OR EXCEEDED. HOWEVER ANY SUBSTITUTION MUST BE SUBMITTED BY THE CONTRACTOR FOR PANDA PM APPROVAL PRIOR TO INSTALLATION



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

CUP SUBMITTAL 09-07-23

DRAWN BY: - MA

PANDA PROJECT #: - S8-23-D8571
PANDA STORE #: - D8571
ARCH PROJECT #: - 21125



Heights Venture
ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024
281.854.6100

PANDA EXPRESS
PANDA HOME 2600
BEHRMAN PI & BEHRMAN HWY
NEW ORLEANS, LA 70114

PLANTING DETAILS

LP-2

DESIGN/BUILD IRRIGATION SPECIFICATIONS

GENERAL

- A. GENERAL
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION.

- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES, FEES, AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK.

QUALIFICATION CONTRACTOR

- 1. ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE IRRIGATION CONTRACTING FIRM SPECIALIZING IN IRRIGATION SYSTEMS.

PRODUCTS

- A. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND.
B. BACKFILL
1. ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER.

METHODS

- A. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

- J. BACKFILL
1. ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER.

PIPE

- 1. PIPE SIZE SHALL CONFORM TO THE STANDARD OF CARE FOR PIPE SIZES. THE IRRIGATION CONTRACTOR SHALL ENSURE THAT THE FLOW THROUGH ANY PIPE DOES NOT EXCEED 5 FPS.

VALVES

- 1. VALVES SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS.

CONTROL

- 1. INSTALL THE CONTROLLER AT THE LOCATION INDICATED BY THE OWNER.

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE PLANTING OPERATIONS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

SCOPE OF WORK

- 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAP PLANTS:

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL AREAS ARE WITHIN +/-0.1' OF FINISH GRADE.

SUBMITTALS

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.

GENERIC PLANTING NOTES

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.

TREE PLANTING

- 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES.

SHRUB PLANTING

MULCH

CLEAN UP

INSPECTION AND ACCEPTANCE

- 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED.

LANDSCAPE MAINTENANCE

- 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE.

WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE.

PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK.

PANDA EXPRESS CHINESE KITCHEN logo with panda face and contact information: 1683 Walnut Grove Ave, Rosemead, California 91770

All ideas, designs, arrangements and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project.

REVISIONS:

Table with 3 columns: Description, Date, and Author. Contains one revision: CUP SUBMITTAL 09-07-23

ISSUE DATE:

CUP SUBMITTAL 09-07-23

Blacked out redacted area with text: PANDA PROJECT #: - S8-23-D8571

PANDA STORE #: - D8571

ARCH PROJECT #: - 21125

Blacked out redacted area with text: DRAWN BY: - MA

PANDA PROJECT #: - S8-23-D8571

PANDA STORE #: - D8571

ARCH PROJECT #: - 21125

Blacked out redacted area with text: DRAWN BY: - MA

PANDA PROJECT #: - S8-23-D8571

PANDA STORE #: - D8571

ARCH PROJECT #: - 21125



Date: 09/07/2023

HEIGHTS VENTURE ARCHITECTURE DESIGN

1111 North Loop West, Suite 800 5741 Legacy Drive, Suite 320 Houston, Texas 77008 281.854.6100 Plover, Texas 79024

PANDA EXPRESS

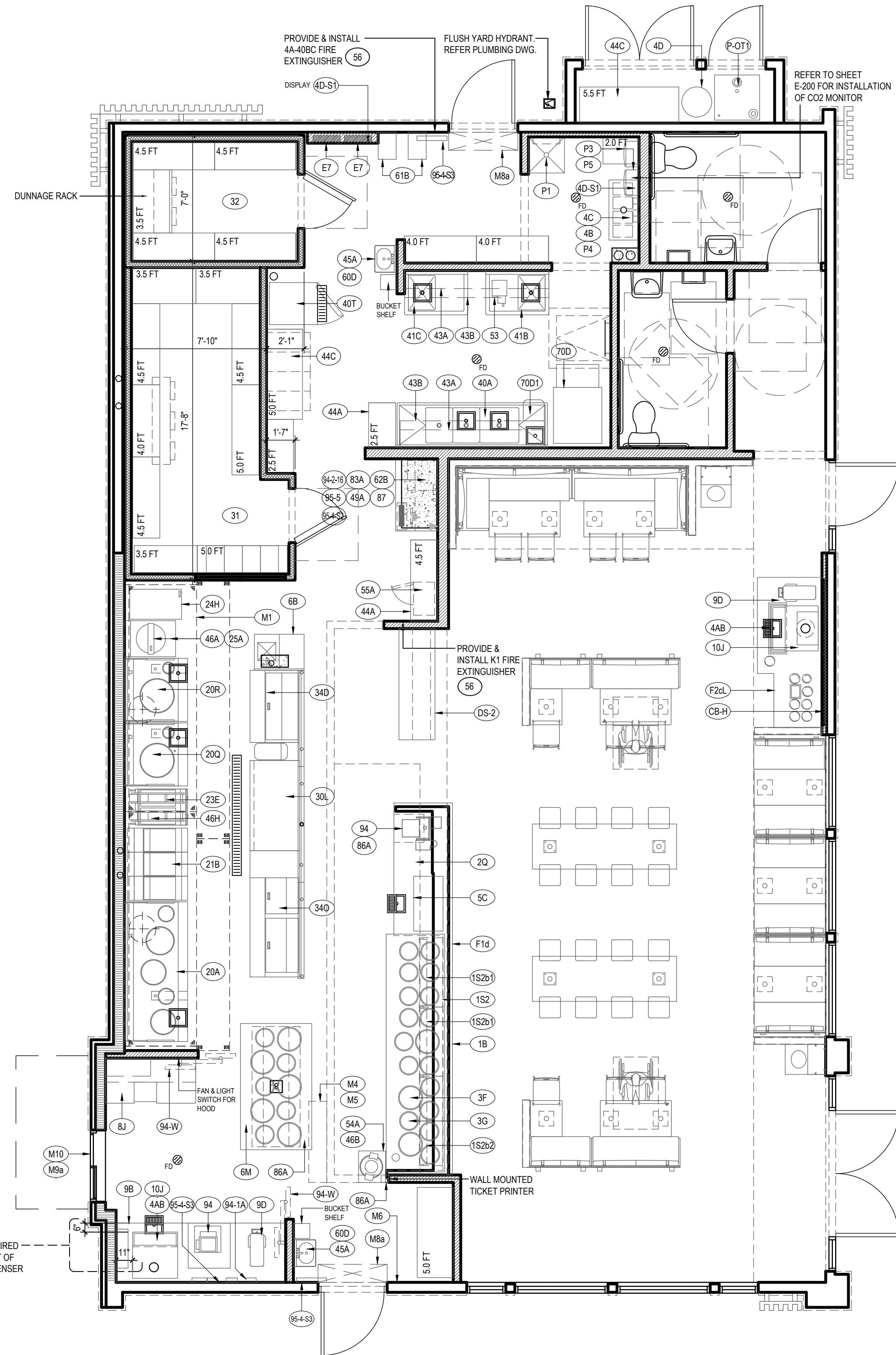
PANDA HOME 2600 BEHRMAN PI & BEHRMAN HWY NEW ORLEANS, LA 70114

LANDSCAPE SPECIFICATIONS LP-3

EVERGREEN DESIGN GROUP logo with contact information: (800) 680-6630, 10777 Westheimer Rd., Ste 1100 Houston, TX 77042

EQUIPMENT SCHEDULE

Table with columns for PLUMBING, ELECTRICAL, DESCRIPTION, and SERVICING AREA. It lists various equipment items like heating elements, dispensers, and kitchen appliances with their specifications and reference details.



KITCHEN PLAN 1 Scale= 1/4" = 1'-0" A-101



PANDA EXPRESS, INC. 1683 Walnut Grove Ave. Rosemead, California 91770 Telephone: 626.799.9898 Facsimile: 626.372.8288

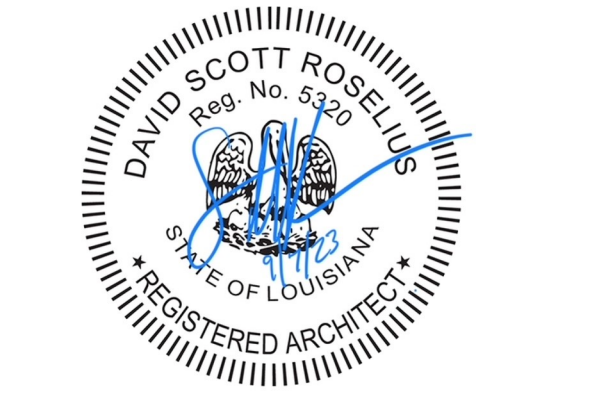
All ideas, designs, arrangements and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS table with columns for description and date. It is currently empty.

ISSUE DATE: CUP SUBMITTAL 09-07-23

DRAWN BY: MA

PANDA PROJECT #: S8-23-D8571 PANDA STORE #: D8571 ARCH PROJECT #: 21125



Heights Venture ARCHITECTURE DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024 281.854.6100

PANDA EXPRESS PANDA HOME 2600 BEHRMAN PI & BEHRMAN HWY NEW ORLEANS, LA 70114

A-101 KITCHEN PLAN

ROOM NAME	FLOOR	BASE	WALL	CEILING
100 DINING ROOM	T200 24" X 24" TILE T402 INLAY	T111 TILE SIZE: REF. SCHEDULE T200 TILE SIZE: REF. SCHEDULE T124 FULL TILE	P101, P104 T111, T124 G-1 PAINT TILE WALL COVERING	C3 2' X 2' ARMSTRONG, OPTIMA GYP BOARD W/ PAINT P103
101 SERVING AREA	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	T111 HAND SINK WALL WP1 FRP PANEL	C3 GYP BOARD W/ SMOOTH WASHABLE PAINT
102 DRIVE-THRU STATION	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
103 KITCHEN	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP3 S.S. HAND COOK LINE WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
104 KITCHEN PREP.	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
105 WALK-IN COOLER	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S.S. / ALUMINUM WITH 3/8" RADIUS	EXT S.S. INT ALUMINUM GALVANIZED S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
105A WALK-IN FREEZER	GALVANIZED STAINLESS STEEL S1 SILIKAL UNDER WIF SUBFLOOR	S.S. / ALUMINUM WITH 3/8" RADIUS	EXT S.S. INT ALUMINUM GALVANIZED S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
106 MEN'S ROOM	T200 24" X 24" TILE	T108 FULL TILE SCHLUTER	T108 TILE	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT
107 WOMEN'S ROOM	T200 24" X 24" TILE	T108 FULL TILE SCHLUTER	T108 TILE	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT
108 VESTIBULE	T200 24" X 24" TILE	T124 FULL TILE	P104 T124 PAINT TILE	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT
109 NOT USED	-	-	-	-
110 EXTERIOR STORAGE	SEALED CONCRETE, SMOOTH FINISH	-	WP1 FRP PANEL	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT
111 ENTRY VESTIBULE	T200 24" X 24" TILE M100 4' X 6' MAT	T124 FULL TILE	P104 T124 PAINT TILE	C3 GYB BOARD W/ P101 SMOOTH WASHABLE PAINT

DOOR & HARDWARE SCHEDULE INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

NO.	DOOR MATERIAL	SIZE	FRAME	FACE/EDGE	THK	CORE	LITE	RTG	PASSAGE	LOCK/SET	ELECT STRIKE W ENTRY VIEWPAD	PRIVACY	S/P PULL	S/P PUSH	PANIC	BUTT	CONT. PANED	FLOOR	WALL	REMOVABLE CENTER POST	THRESHOLD	LATCH GUARD	DETEX ALARM	SILENCERS	MC/P/LATE	CLOSER	CHAIN (RESTRAINT W/ SPRINGS) (EACH DOOR)	REMARKS
01	ALUMINUM STOREFRONT KAMNEER CURTAIN WALL SYSTEM	2) 3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW GLASS	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KAMNEER CURTAIN H20 SYSTEM FULL ON EXTERIOR SIDE USE NARROW STILES
02	ALUMINUM STOREFRONT KAMNEER CURTAIN WALL SYSTEM	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW GLASS	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KAMNEER CURTAIN H20 SYSTEM FULL ON EXTERIOR SIDE
03	S.C. WOOD	3'-0" X 7'-0"	H. MTL.	PLASTIC LAM. PRE-FINISHED	1 3/4"	SOLID	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KICKPLATE ON EA. SIDE OF DOOR	
05	HOLLOW METAL	3'-6" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KICKPLATE ON INT. SIDE OF DOOR	
06	HOLLOW METAL	2) 3'-0" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	W/ LOUVERED VENT & BUG SCREEN	
07	HOLLOW METAL	3'-0" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	W/ LOUVERED VENT & BUG SCREEN	
08	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW GLASS	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	OPAQUE BLACK-OUT SPANDREL GLAZING	
09	ALUM. STORE VESTIBULE	3'-0" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW GLASS	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	OPAQUE BLACK-OUT SPANDREL GLAZING	

NO.	DESCRIPTION	INSTALL AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE
01	3'-6" 20GA. METAL STUD WALL W/ 3/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)	
02	3'-6" 20GA. METAL STUD WALL W/ 3/8" TYPE "X" GYP. BOARD ON ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)	
03	(2) 3'-6" 20GA. METAL STUD WALLS W/ 3/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)	
04	3'-6" 20GA. METAL STUD LOW WALL W/ 3/8" TYPE "X" GYP. BD BOTH SIDES. PROVIDE 3" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.	
05	6" 20GA. METAL STUD WALL W/ 3/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)	
06	6" 20GA. METAL STUD WALL W/ 3/8" TYPE "X" GYP. BOARD ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)	
07	3'-6" 20GA. METAL STUD LOW WALL W/ 3/8" TYPE "X" GYP. BOARD BOTH SIDES. PROVIDE 3" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.	
08	1 1/2" 20GA. HAT CHANNEL FURRING W/ 3/8" TYPE "X" GYP. BOARD ON ONE SIDE. REFER DETAILS FOR FURRING DISTANCE	
09	2 1/2" 20GA. METAL STUD FURRING W/ 3/8" TYPE "X" GYP. BOARD ON ONE SIDE	

NO.	MANUFACTURER	DESCRIPTION	MFG #	COLOR FINISH	REMARK
WP1	CRANE COMPOSITES INC.	F.R.P. THICKNESS: .075	LBCS.14	#36 (GRAY), SM/SM	CONTACT: LAUREN ARMSTRONG 815.467.8884
WP2	-	S.S. PANEL (22 GA)	-	BRUSHED FINISH	FURNISHED BY PX, INSTALLED BY G.C.
WP3	-	S.S. PANEL (22 GA)	-	DIAMOND PATTERN FINISH	FURNISHED BY PX, INSTALLED BY G.C.
W101	NOT USED	-	-	-	-
W103	NOT USED	-	-	-	-
W104	NOT USED	-	-	-	-
W106	WOLF GORDON	WALLCOVERING	-	GOLD LANTERN & CLOUD	CONTACT: CINDY GALLAGHER: 718.391.5478 cindy.gallagher@wolfgordon.com
W107	WOLF GORDON	WALLCOVERING	-	FRETWORK	
W108	-	CANOPY GRAPHIC	-	-	
G-40	-	MENU BACKER PANEL	TBD	TBD	
W109	-	WALL MURAL	TBD	TBD	

NO.	MANUFACTURER	PRODUCT	MFG #	STAIN / COLOR	FINISH	REMARK
GZ-4	DAL TILE	ARTIFICIAL QUARTZ	-	BROADWAY BLACK	POLISHED	SERVICE COUNTER & DRINK STATION PROVIDED BY PX, INSTALLED BY G.C.

NO.	MANUFACTURER	MFG #	COLOR	FINISH	REMARK
P9A-3	SHERWIN-WILLIAMS	SW 7065	ARGOS	PROMAR 200, ZERO VOC, LATEX SEMI-GLOSS	REAR SERVICE DOOR
P101	SHERWIN-WILLIAMS	SW 6252	ICE CUBE	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	RESTROOM & RESTROOM VESTIBULE CEILING, DINING ROOM SOFFIT
P102	NOT USED	-	-	-	-
P103	NOT USED	-	-	-	-
P104	SHERWIN-WILLIAMS	SW 2850	CHELSEA GRAY	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	DINING RM. WALLS, RESTROOM VESTIBULE WALLS
P105	NOT USED	-	-	-	-
P106	SHERWIN-WILLIAMS	SW 7069	IRON ORE	DTM ACRYLIC GLOSS, LOW VOC	RESTROOM DOOR FRAMES
P205	SHERWIN-WILLIAMS	SW 7069	IRON ORE	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	FRONT & UNDERSIDE OF SERVICE LINE & BACK OF SERVICE LINE SOFFIT

WALL LEGEND

- NEW EXTERIOR WALL
- NEW EXTERIOR WALL FRAMED WITH STRUCTURAL STEEL STU
- NEW INTERIOR WALL (FUI)
- NEW INTERIOR WALL (L.O. - REF. ELEV. & DETAILS)
- WALK-IN BOX PANEL

NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY PX-INSTALLED BY G.C.
 1. PANEL DIVIDERS AT WP3
 2. INSIDE CORNER AT WP3 TO WP2
 3. FLASHING AT TOP OF BASE WP3
 4. WP2 PIECE AT LENGTH OF WALL

NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY G.C.-INSTALLED BY G.C.
 5. INSTALL 18 GA STAINLESS STEEL CORNER GUARD & WALL CAP INSIDE KITCHEN

18 GA. STAINLESS STEEL CORNER GUARD - FULL HT.
 18 GA. STAINLESS STEEL CORNER GUARD - 4'-0" HIGH
 18 GA. STAINLESS STEEL CORNER GUARD/FRAME - ALL AROUND PERIMETER OF OPENING - FRAME TO BE WELDED WITH MITERED CORNERS TO FORM SINGLE UNIT.
 18 GA. STAINLESS STEEL WALL CAP

ALL OTHER STAINLESS STEEL BY G.C.

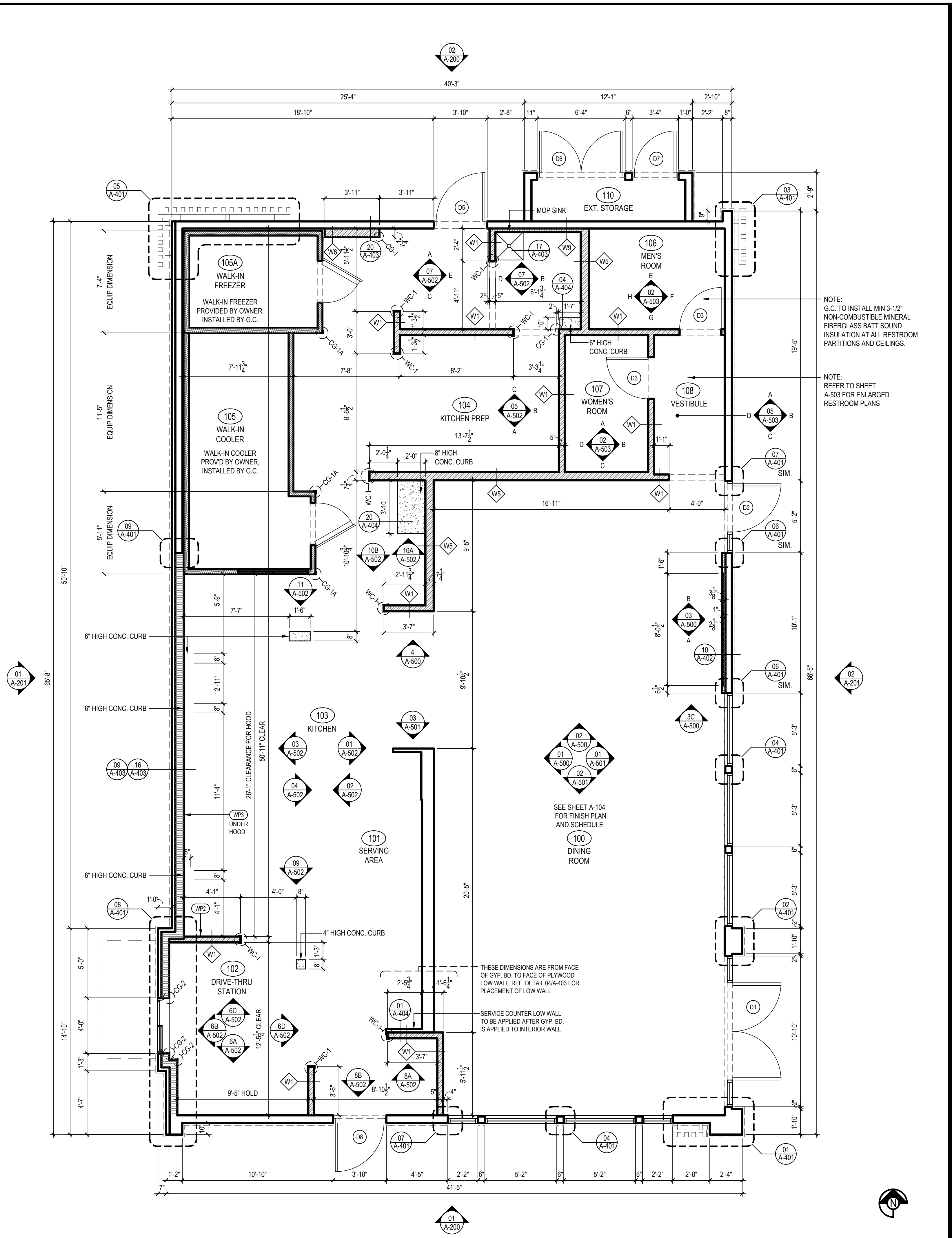
NOTE!!!!!!!:

***ALL INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD**

NOTE:

CONTRACTOR TO NOTIFY 3rd PARTY VENDOR, PER THE VENDOR LIST, FOR WALL PRE-TREAT BEFORE CLOSING WALLS

TILE SCHEDULE (SEE SHEET A-104)



PANDA EXPRESS CHINESE KITCHEN

PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

All ideas, designs, arrangements and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

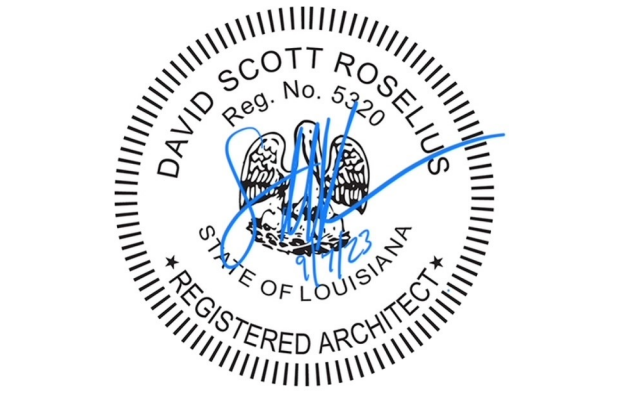
REVISIONS:

ISSUE DATE:

CUP SUBMITTAL	09-07-23

DRAWN BY: MA

PANDA PROJECT #: S8-23-D8571
 PANDA STORE #: D8571
 ARCH PROJECT #: 21125



Heights Venture ARCHITECTURE DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008
 DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024
 281.854.6100

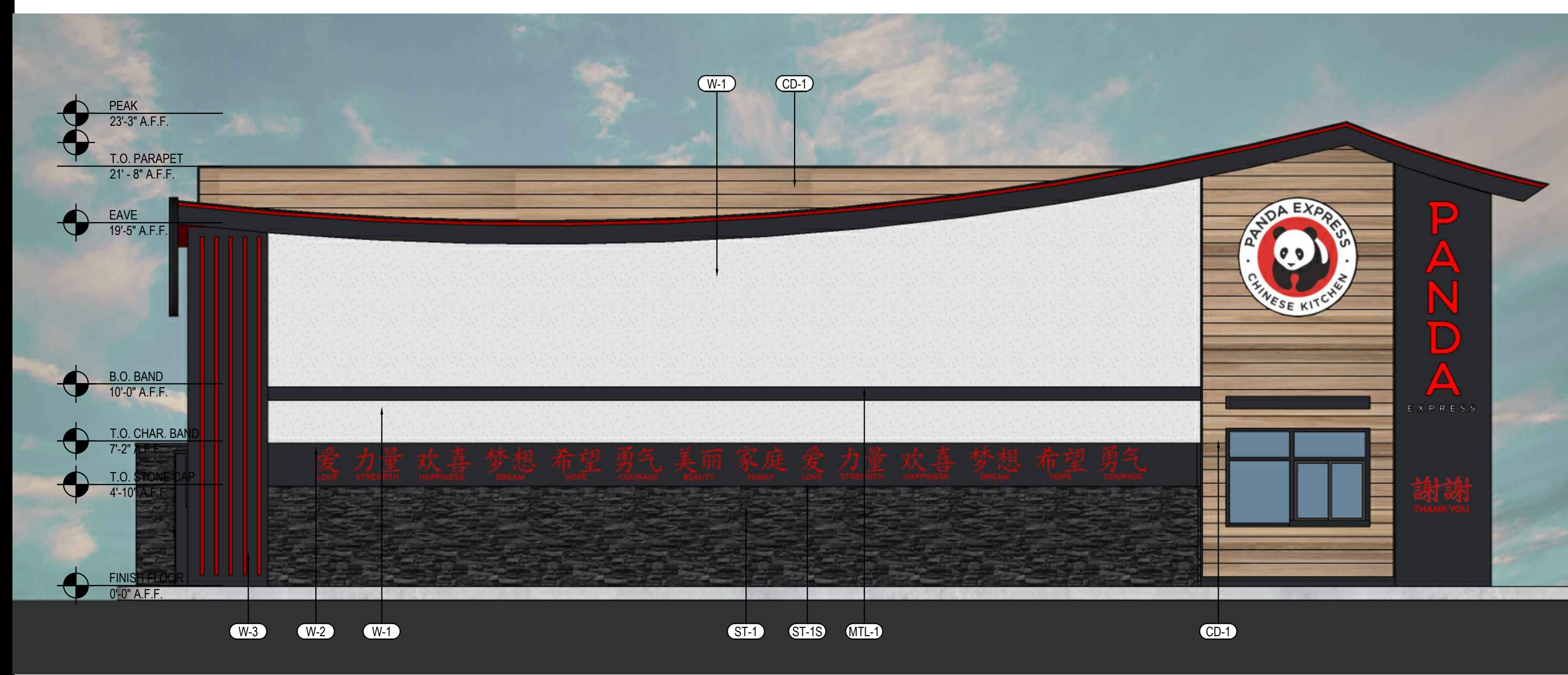
PANDA EXPRESS
 PANDA HOME 2600
 BEHRMAN PI & BEHRMAN HWY
 NEW ORLEANS, LA 70114

A-103

FLOOR PLAN

PANDA HOME 2600 R4

FLOOR PLAN 1
 Scale= 1/4" = 1'-0"
A-103



DRIVE THRU ELEVATION 5
Scale= 3/16" - 1/0" A-202



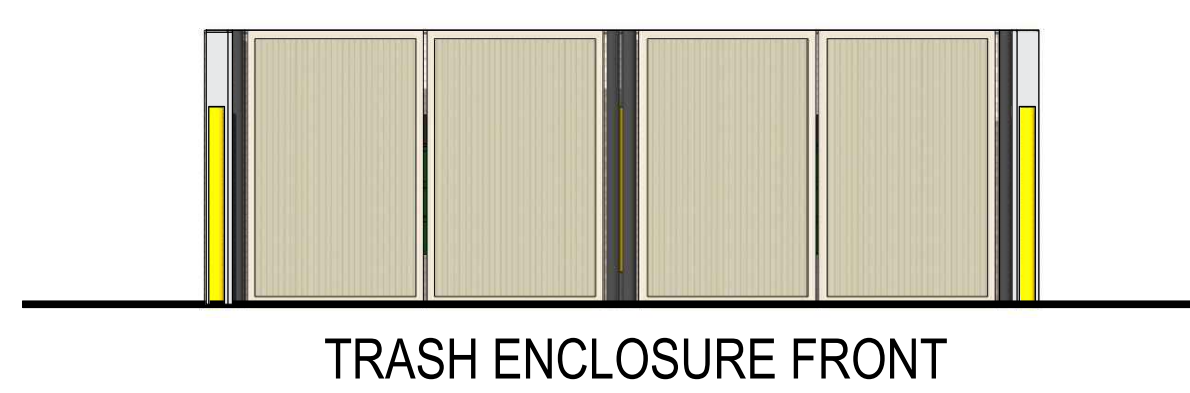
FRONT ELEVATION 2
Scale= 3/16" - 1/0" A-202



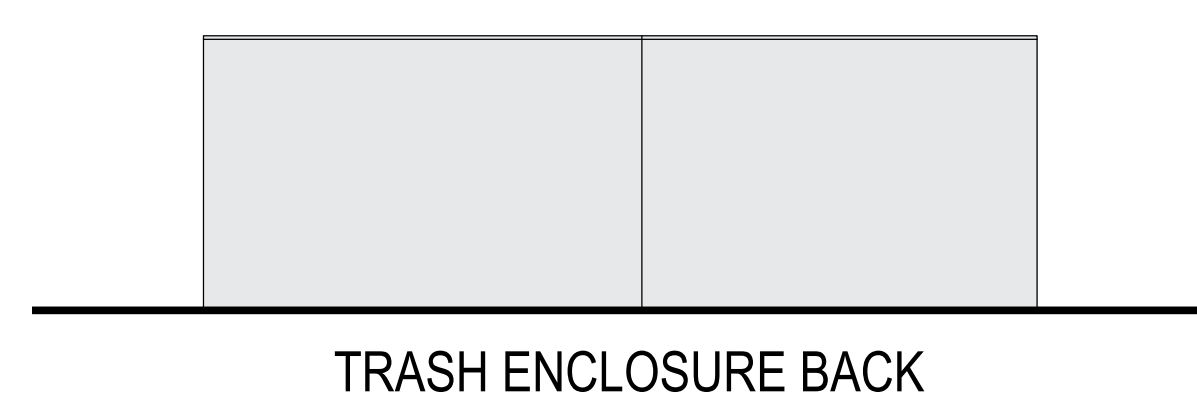
ENTRY ELEVATION 4
Scale= 3/16" - 1/0" A-202



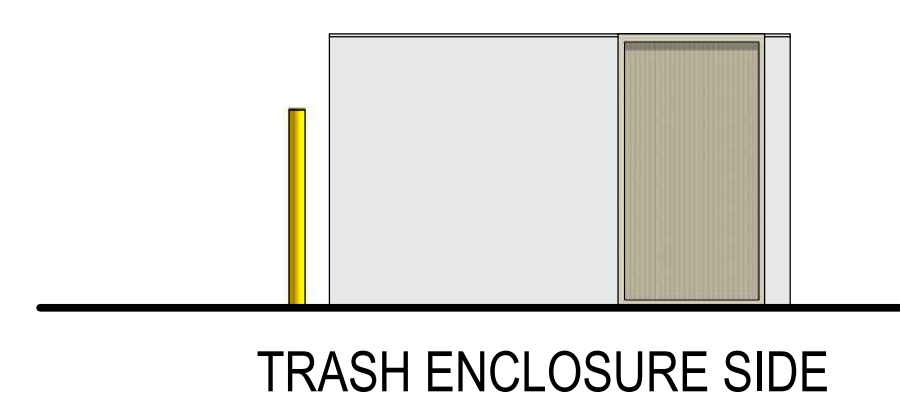
PERSPECTIVE RENDER 3
Scale= NTS A-202



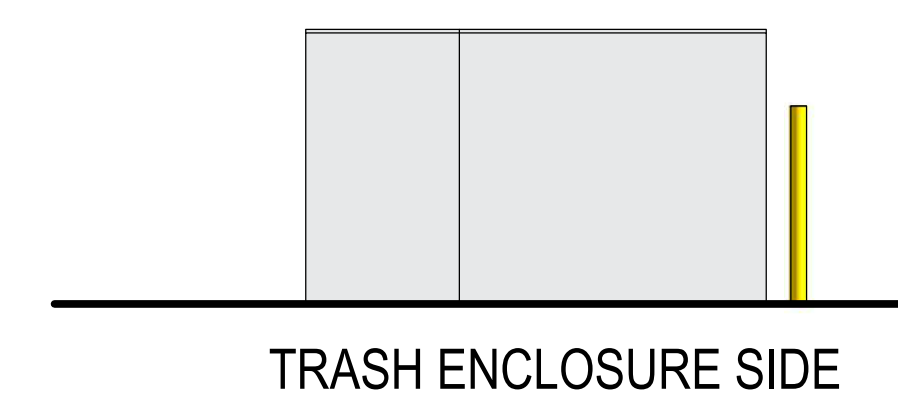
TRASH ENCLOSURE FRONT



TRASH ENCLOSURE BACK



TRASH ENCLOSURE SIDE



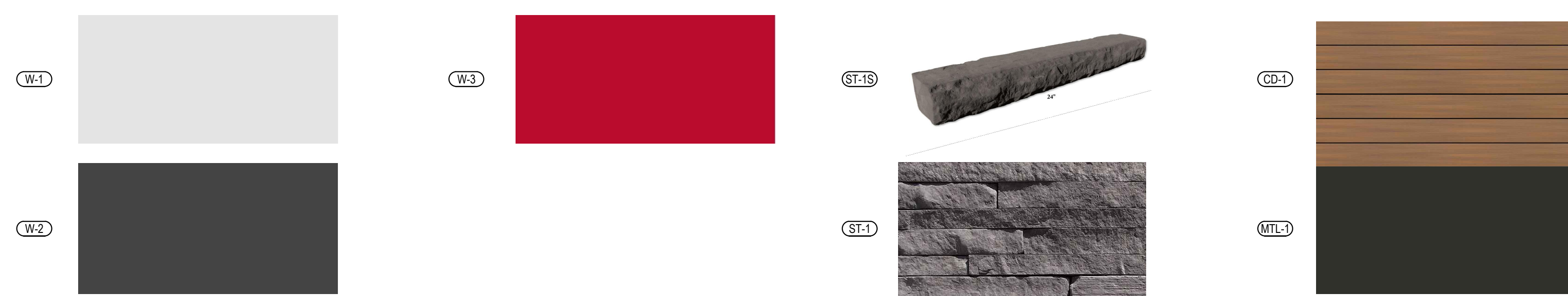
TRASH ENCLOSURE SIDE

TRASH ENCLOSURE 1
Scale= NTS A-202

EXTERIOR FINISH SCHEDULE

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(W-1)	STO	3 PART STUCCO SYSTEM	SW 7646 FIRST STAR	FINE	BUILDING BODY
(W-2)	STO	3 PART STUCCO SYSTEM	SW7069 IRON ORE	FINE	ACCENT BAND
(W-3)	STO	3 PART STUCCO SYSTEM	PANTONE COLOR 200C-RED	-	BEHIND TRELLIS
(ST-1S)	CORONADO STONE PRODUCTS	CHISELED STONE SILL	CHARCOAL	-	STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)
(ST-1)	CORONADO STONE PRODUCTS	STRIP STONE	BLACKFOREST	-	WAINSCOT CONTACT: 864-962-1221 PROVIDE 3/8" MORTAR JOINTS MFG: ARGOS, COLOR: CHARCOAL
(CD-1)	FIBERON	WILDWOOD	BAMBOO	-	COMPOSITE CLADDING - CONTACT: MARIA SCHOLLER 419.704.5924 EMAIL: maria.scholler@fiberoncladding.com
(MTL-2)	PANDA VENDOR	ALLEN INDUSTRIES	PMS BLACK-7C	SATIN FINISH	CANOPY WITH LED WITH DOWN LIGHT AROUND BUILDING
(MTL-1)	EXCEPTIONAL METALS	-	"PANDA EXPRESS IRON ORE"	-	CAP FLASHING

MATERIALS



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

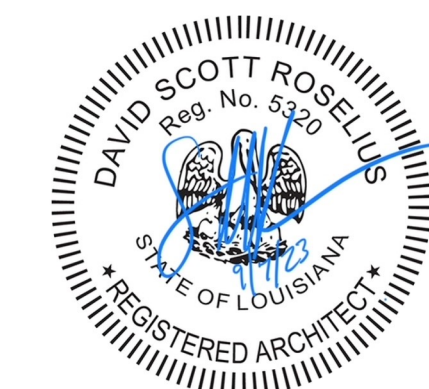
NO.	DESCRIPTION	DATE

ISSUE DATE:

NO.	DESCRIPTION	DATE

DRAWN BY: - MA

PANDA PROJECT #: - S8-23-D8571
PANDA STORE #: - D8571
ARCH PROJECT #: - 21125



Heights Venture
ARCHITECTURE DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024
281.854.6100

PANDA EXPRESS

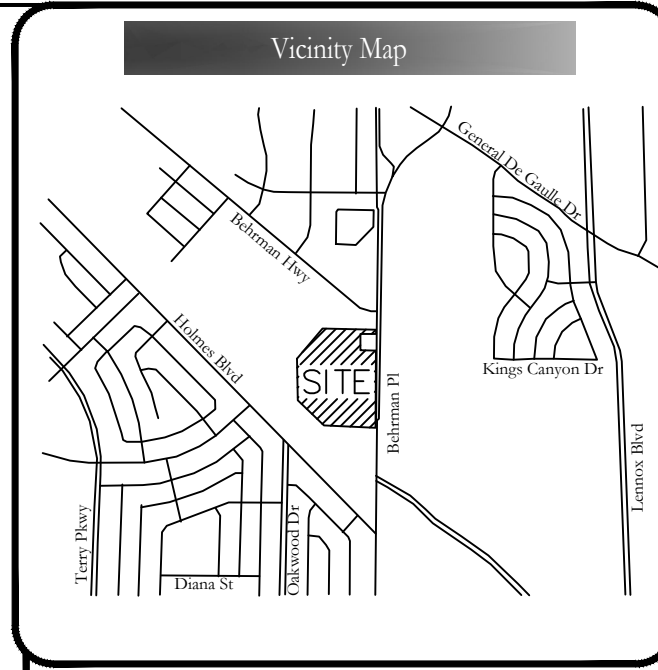
PANDA HOME 2600
BEHRMAN PI & BEHRMAN HWY
NEW ORLEANS, LA 70114

A-202

EXTERIOR
COLOR ELEVATIONS

PANDA HOME 2600 R4

ALTA/NSPS Land Title Survey



Property Description

Beginning at a point that is S 89°10'30"E 1465.45 feet along the City Monumented A certain parcel or tract of ground containing 23.640 acres or 1,027,578 square feet, designated as "Lot 2-A & 1-A of 'Squares 15-17' Located in Section C, Elmwood Subdivision, Section 16 & 17, T13S-R24E, Orleans Parish, Louisiana", being more particularly described as follows:

Commencing at the intersection of the southerly right of way line Bender Boulevard and the Northeastly right of way line of Donner Drive, said point being the "Point of Beginning,"

Thence, continuing along said right of way line of Bender Boulevard, North 42 degrees 10 minutes 11 seconds East a distance of 970.12 feet to a point;

Thence, departing said right of way line, South 87 degrees 19 minutes 20 seconds East a distance of 626.79 feet to a point, said point being on the Westerly right of way line of Behrman Highway;

Thence, continuing along westerly right of way line, along a curve to the right having a delta of 08 degrees 45 minutes 15 seconds, a radius of 1088.50 feet, an arc length of 71.32 feet a chord bearing of South 19 degrees 34 minutes 11 seconds East and a distance of 71.31 to a point;

Thence, departing said right of way line, North 87 degrees 19 minutes 20 seconds West a distance of 365.05 to a point;

Thence, South 02 degrees 40 minutes 40 seconds West a distance of 213.00 feet to a point;

Thence, South 87 degrees 19 minutes 20 seconds East a distance of 420.41 feet to a point, said point being on the westerly right of way line of Behrman Highway;

Thence, continuing along said right of way line, along a curve to the right having a delta of 08 degrees 45 minutes 59 seconds, a radius of 1088.50 feet, an arc length of 166.55 feet a chord bearing of South 01 degrees 42 minutes 19 seconds East and a distance of 166.37 feet to a point;

Thence, South 02 degrees 40 minutes 40 seconds West a distance of 614.61 feet to a point;

Thence, departing said right of way line, North 87 degrees 19 minutes 20 seconds West a distance of 214.99 feet to a point;

Thence, North 02 degrees 40 minutes 40 seconds East a distance of 11.96 feet to a point;

Thence, North 87 degrees 19 minutes 20 seconds West a distance of 815.50 feet to a point, said point being on the Northeastly right of way line of Donner Drive;

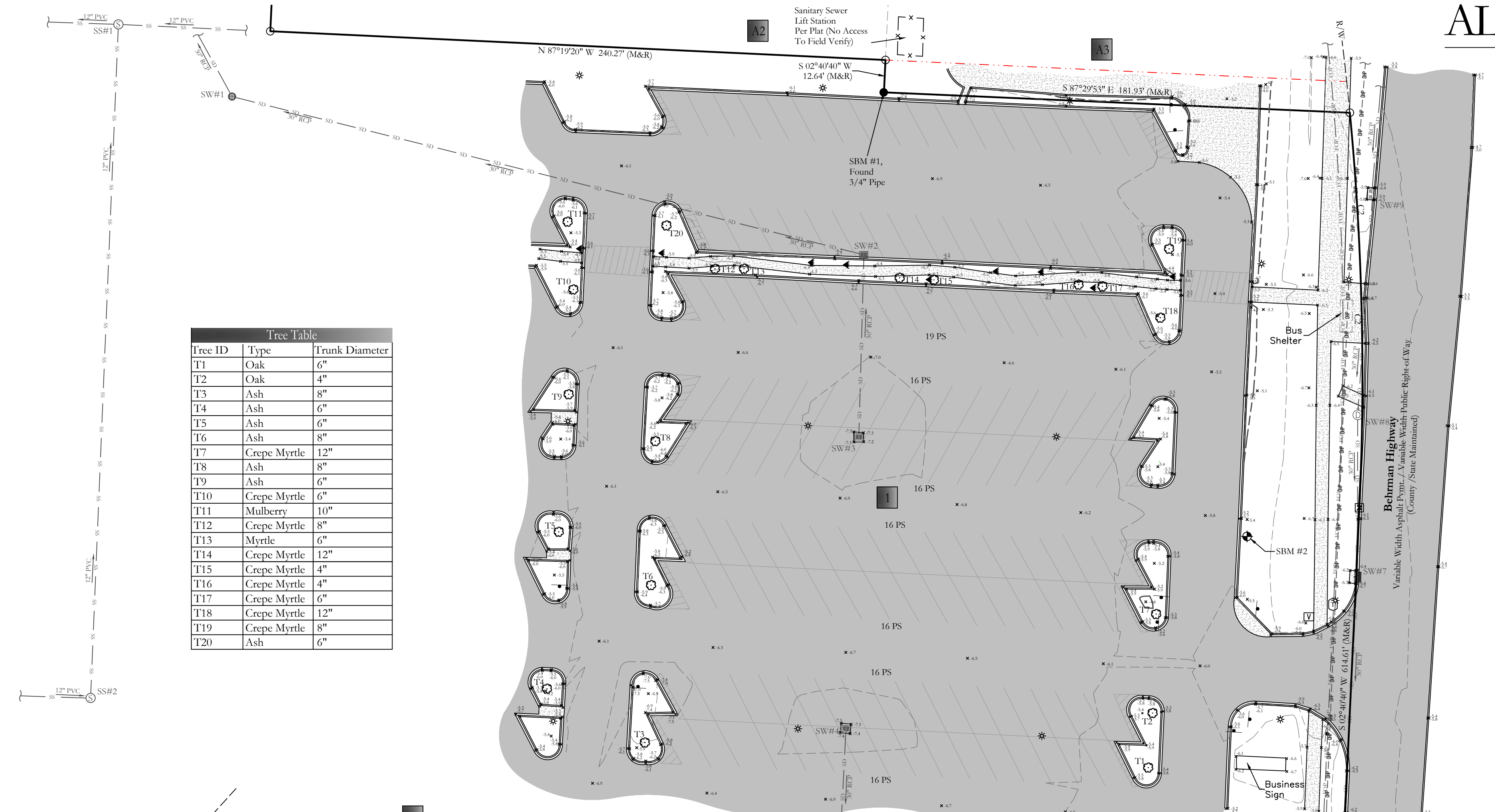
Thence, North 43 degrees 10 minutes 40 seconds West a distance of 429.13 feet to a point, said point being the "Point of Beginning."

Tree ID	Type	Trunk Diameter
T1	Oak	6"
T2	Oak	4"
T3	Ash	8"
T4	Ash	6"
T5	Ash	6"
T6	Ash	8"
T7	Crepe Myrtle	12"
T8	Ash	8"
T9	Ash	6"
T10	Crepe Myrtle	6"
T11	Mulberry	10"
T12	Crepe Myrtle	8"
T13	Myrtle	6"
T14	Crepe Myrtle	12"
T15	Crepe Myrtle	4"
T16	Crepe Myrtle	4"
T17	Crepe Myrtle	6"
T18	Crepe Myrtle	12"
T19	Crepe Myrtle	8"
T20	Ash	6"

Ownership Information

1 Retail
Parcel #: 41188789
WALMART Stores East Inc
 (Street Address)
 4001 Behrman Highway
 New Orleans, LA 70114
 (Mailing Address)
 PO BOX 8050, MS 0555 Prop Tax Dept
 Bentonville, AR 72712
 Instr. #: 000413551
 Zoned: C-3

APN	Owner Name	Street Address	Mailing Address
A1	APN: 41188792 Brookwood - Behrman LLC	3901 Behrman Highway New Orleans, LA 70114	10202 Jefferson Hwy, #B-2 Baton Rouge, LA 70809
A2	APN: 41188790 WALMART Stores East Inc	4001 Behrman Highway New Orleans, LA 70114	PO BOX 8050, MS 0555 Bentonville, AR 72712
A3	APN: 41188791 Murphy Oil U.S.A. Inc.	3921 Behrman Highway New Orleans, LA 70114	PO BOX 7300 El Dorado, AR 71731
A4	APN: 41182260 The Central Family Trust	94021 Behrman Highway New Orleans, LA 70114	5478 Shannon Ridge LN San Diego, CA 92130
A5	APN: 41182259 MHC(D) Behrman Marketing LLC	4021 Behrman Highway New Orleans, LA 70114	10235 Grape Creek Grove La Cypress, TX 77433



Miscellaneous Notes

- Completed field work was June 16, 2021.
- The Basis of Bearing for this survey is Grid North per GPS coordinate observations Louisiana State Plane, South Zone NAD83. Latitude = 29°54'43.19031" Longitude = -90°01'05.78392" Convergence Angle = -00°39'27.16815"
- Distances shown on plat are ground distances.
- Combined scale factor (ground to grid) = 0.99992694066872
- Some features on this plat may be shown out of scale for clarity.
- Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Monuments were found at points where indicated.
- Any servitude's and restrictions shown on this survey are limited to those set forth in the description furnished to surveyor, and there is no representation that all applicable servitude's and restrictions are shown hereon.
- Names and addresses of adjoining property owners were taken from Orleans County tax cards and deeds.
- The nearest fire hydrant is located in the center of subject property.
- No surveyor or any other person other than a licensed Louisiana attorney may provide legal advice concerning the status of Title to the property described in this survey ("the subject property"). The purpose of this survey, and the comments related to the Schedule B-II exceptions, is only to show the location of boundaries and physical objects in relation thereto. To the extent that the survey indicates that the legal instrument "affects" the subject property, such statement is only intended to indicate that property boundaries included in such instrument include some or all of the subject property. The surveyor does not purport to describe how such instrument affects the subject property or the enforceability or legal consequences of such instrument.
- All bearings and distances shown hereon are measured dimensions unless otherwise noted hereon. Record dimensions, if differing from measured dimensions, will be followed by "(RM)" where the # indicates from which reference document the dimension originated.
- Contour Interval = 1 foot
- Total number of striped parking spaces observed at the time of the survey is 115, which includes 0 designated ADA spaces.
- Surveyor notes that the property abuts the right-of-way of Behrman Place. Access to the right-of-way may be subject to other agreements or proper governmental approvals.
- There was no evidence of monitor wells, or any test borings on the subject property at the time of the survey.
- At the time of the survey, there was no observable evidence of site use as a cemetery, isolated grave site or burial grounds.
- At the time of the survey, there was no observable evidence of site use as a solid waste dump, sump, or sanitary landfill.
- Elevations established with GPS static observations utilizing online positioning user service (OPUS) for post processing. (NADVD 1988 datum)
- There was no evidence of any delineated wetland areas, per the U.S. Fish and Wildlife service National Wetlands Inventory website. No markers from a field delineation of wetlands conducted by a qualified specialist were observed during the course of the survey.
- At the time of the survey, there were no changes in street right-of-way lines either completed or proposed, and available from controlling jurisdiction or observable evidence of recent street or sidewalk construction repairs.
- There was no observable evidence of Earth moving work, building construction or building additions within recent months.
- The nearest intersecting street is the intersection of Donner Drive and Behrman Highway, which is located at the Northwest corner of the subject property.
- Surveyor did not receive current deeds for adjoining properties from the title insurer. Surveyor obtained the deed information reflected on this survey on their own. The user of this survey should consult an attorney or title insurer to verify the current deed descriptions for adjoining properties.
- Reference documents noted hereon were obtained by the surveyor and any all representations based thereon should be reviewed by a licensed attorney or title insurer for verification.
- Surveyor did not receive any information from the title insurer regarding the current zoning classification of the property or any requirements related to the applicable zoning classification. Surveyor obtained the zoning information reflected on this survey on their own. The user of this survey should consult an attorney or title insurer to verify the zoning classification of the property as well as the applicable restrictions and requirements associated with such zoning classification.
- The following items, if any, are plotted on the survey to the extent referenced on the applicable title commitment: (i) all plottable areas denoted in the reciprocal easement agreements and (ii) the boundary limits only of all offsite appurtenant easements.

Zoning Information

The zoning information provided below is per the City of New Orleans Municipal codes.

Sec. 15.3.A.1
 C-3 (Heavy Commercial District) (Table 15-2)
 Maximum Height: 130' feet / 12 Stories (Max)
 Minimum Lot Area: 5,000 sf
 Minimum Permeable Open Space: 20% of Lot Area
 Minimum Yards Required:
 Front Yard: See Sec. 15.3.A.2
 Rear Yard: 25 Feet
 Side Yard: 10 Feet

Notes:
 Blew & Associates makes no warranty to the exact regulations or ordinances represented on the drawing hereon. The user of this survey should consult an attorney or title insurer to verify the zoning classification of the property as well as the applicable restrictions and requirements associated with such zoning classification.

15.3.A.2 FRONT YARD BUILD-TO-LINE REQUIREMENT
 a. Within the C-1, C-2, C-3, and L3 Districts of the Commercial and Institutional Campus Districts, the front yard build-to-line is established by any one (1) of the following methods. A build-to-line is an established setback line at which a structure is required to build. However, in no case may the front yard exceed twenty (20) feet.

- As of the effective date of this Ordinance, the current front yard of the existing structure may be set as the required front yard build-to-line. When a structure is demolished, the demolition permit shall indicate the dimension of the front yard prior to demolition. The required front yard build-to-line is that indicated on the demolition permit.
- The required front yard build-to-line indicated on the most recent survey or Sanborn maps.
- The average of the front yard of the adjacent lots on either side may be used to establish the required front yard build-to-line. Averaging is based on the two (2) adjacent lots or, in the case of a corner lot, two (2) neighboring lots on the same blockface. In the case of a lot configuration where only one (1) lot is available for averaging, the front yard build-to-line is that of the adjacent lot. (See Figure 15-1: Front Yard Averaging)
- The applicant is permitted a three (3) foot variation from a front yard build-to-line established by any of the above methods.
- The required front yard build-to-line is measured as the narrowest dimension from the front lot line to the principal structure. The measurement is taken from the building walls of the principal structure and does not include permitted encroachments or architectural features.

Specific zoning information as shown hereon is as interpreted by the surveyor per City of New Orleans Municipal codes and should be confirmed by a licensed Louisiana attorney or zoning professional in the controlling jurisdiction.

Flood Note

By graphic plotting only, this property is in Zone(s) AE of the Flood Insurance Rate Map, Community Panel No. 22071G0242I, which bears an effective date of 09/30/2016 and is in a Special Flood Hazard Area.

Zone Definitions According to the FEMA website.

Zone "AE" - The base Floodplain where base flood elevations are provided. AE Zones are now used on new format FIRMs instead of A1-A30 Zones.

DATE	REVISION	BY

Utility	Contact Information
Fiber Unit Fiber (UNIFIB01) Terrance Green Asset Protection Specialist (504) 439-8299 cell (985) 281-4900 office Terrance.Green@unit.com www.unitfiber.com	Telephone/Fiber AT&T Distribution (L-401) AT&T Distribution Underground Facilities (920) 530-8175
Telephone MCI Telecommunications Stake Center Locating (801) 364-1063 - Office 2920 West Directors Row, Salt Lake City, UT	Electric Entergy New Orleans (ENOG01) (880) 968-8243

Utility Structure Information

Structure ID	Structure Type	Rim Elevation	Invert	Notes
SS#1 (MH)	Maintenance Hole	-5.24'	Inv 12" PVC, W = -10.32' Inv 12" PVC, E = -10.24' Inv 12" PVC, S = -10.22'	
SS#2 (MH)	Maintenance Hole	-4.49'	Inv 12" PVC, N = -8.54'	
SW#1 (MH W/Grate Top)	Storm Sewer	-4.39'	Inv 12" PVC, E = -12.84' Inv 12" PVC, NW = -12.87'	
SW#2 (CB)	Catch Basin	-6.97'	Inv 30" RCP, N = -11.53' Inv 30" RCP, W = -11.47'	
SW#3 (CB)	Catch Basin	-7.26'	Inv 30" RCP, N = -11.10'	
SW#4 (CB)	Catch Basin	-7.41'	Inv 30" RCP, S = -11.24'	
SW#5 (CB)	Catch Basin	-7.02'	Inv 30" RCP, N = -11.22' Inv 30" RCP, S = -11.24'	
SW#6 (CB)	Catch Basin	-6.30'	Inv 30" RCP, N = -12.32' Inv 30" RCP, W = -12.44' Inv 30" RCP, S = -12.28'	
SW#7 (CB)	Catch Basin	-6.69'	Unable to obtain at time of survey	
SW#8 (MH)	Maintenance Hole	-6.08'	Inv 30" RCP, N = -11.88' Inv 30" RCP, S = -11.96'	
SW#9 (CI/CB)	Catch Basin	-5.77'	Inv 30" RCP, N = -10.73' Inv 30" RCP, S = -10.95'	

Elevation Benchmarks

Site Benchmark #1	Site Benchmark #2
Type: Found 3/4" Pipe	Type: Set Nail
Northing: 516108.09	Northing: 515844.80
Easting: 3697342.59	Easting: 3697484.36
Elevation: -6.60'	Elevation: -5.41'

Utility Notes

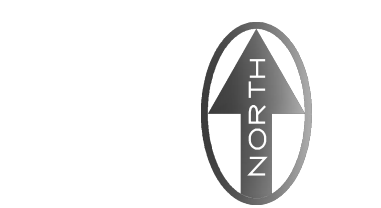
- The utilities shown on this drawing hereon have been located by field measurements, utility map drawings, and one-call utility locate request. Blew & Associates makes no warranty to the exact location of any underground utilities shown or not shown on this drawing. It is the responsibility of the contractor to verify any and all utilities prior to construction. Call Louisiana one-call at (800) 372-3020 for field locations (request for ground markings) of underground utility lines before digging. Dig ticket number: 210336864

ADB Companies (ADB01)	no response
AT&T Distribution (L401)	response: all clear/no conflict
Unit Fiber (UNIFIB01)	response: e-mails/show
Entergy New Orleans (ENOG01)	response: all clear/no conflict
MCI Communications (MCI01)	response: all clear/no conflict

Behrman Highway (AKA / LA Highway No. 428)
 Variable Width Asphalt Paved / Variable Width Public Right-of-Way
 (County / State Maintained)

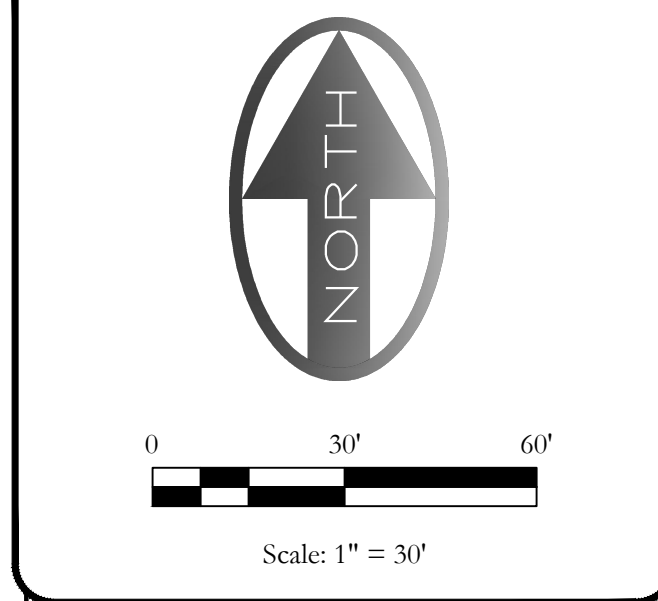
Lot 2-A-1
 Subject Property
 (Area)
 1,027,518 Sq. Ft. (+/-)
 23.589 Acres (+/-)

CURVE	RADIUS	MB LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
11.96'	1088.50'	71.32'	71.31'	S 19°34'11" E	94°01'15"
166.37'	1088.50'	166.55'	166.37'	S 01°42'19" E	89°10'30"
614.61'	1088.50'	134.32'	134.09'	S 02°40'40" E	90°01'05"



Boundary Detail

Scale: 1" = 100'



Surveyor's Certification

To: Civil Engineering Services:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 8, 9, 11(a), 13, 16, 17, 19, & 20 of Table A thereof. The field work was completed on 06/16/2021.

Date of plat or map: 06/28/2021

Preliminary

Michael Cook
 Surveyor License No. 4879
 in the State of Louisiana

BLEW & ASSOCIATES, PA
 CIVIL ENGINEERS & LAND SURVEYORS
 3825 N. SHILOH DRIVE
 FAYETTEVILLE, ARKANSAS 72703
 OFFICE: 479.443.4506
 FAX: 479.582.1883
 www.BLEWINC.com

DRAWN BY & DATE	REVIEWED BY	SURVEYED BY
DLD 06/23/2021	PRS/GC	DA

COUNTY & STATE	JOB NUMBER
Orleans, Louisiana	21-4025

FOR THE USE AND BENEFIT OF:
Civil Engineering Services -
 (PE) New Orleans, LA

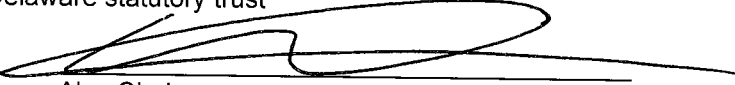
Date: August 22, 2023
RE: Letter of Agent Authorization – *Panda*; Behrman PI & Behrman Hwy, New Orleans, LA

Wal-Mart Real Estate Business Trust, a Delaware statutory trust, (“Walmart”) is the owner of the land depicted on **Exhibit A** (“Property”). On behalf of Walmart, I hereby authorize **CFT NV DEVELOPMENTS, LLC**, a Nevada limited liability company, and/or one of its authorized agents (together, “Developer”), to serve as Walmart’s authorized agent for the purpose of seeking all requisite permits and approvals related needed for development of the Property, including but not limited to rezoning, special exception, conditional use, variance appeal or site development application and applicable public hearing for application/project application and public hearing processes.

Developer’s authorization is expressly limited to signing and delivering applications for permits and approvals that are related to the development of the Property for a Panda restaurant. Further, this authorization does not empower Developer to either negotiate on Walmart’s behalf or otherwise obligate Walmart in any manner whatsoever, including any attempt to obligate Walmart to pay for or construct improvements to the Property or its neighboring land in connection with the development of the Property.

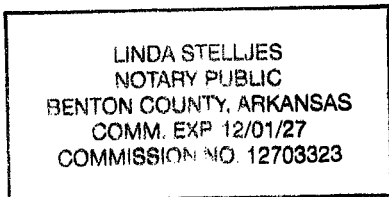
This authorization expires one calendar year from the date above unless specified otherwise. Should you need additional information or have any questions regarding this authorization, please do not hesitate to contact myself at alexander.chak@walmart.com (phone: (479)-371-8607, Address: 2608 S.E. J Street Bentonville, AR 72716) or Brett Moncrief at brett.moncrief@walmart.com.

Wal-Mart Real Estate Business Trust,
a Delaware statutory trust

By: 
Name: Alex Chak
Title: Real Estate Transaction Manager

STATE OF ARKANSAS
COUNTY OF BENTON

The foregoing instrument was acknowledged before me this 31st day of October, 2023, by Alex Chak as Real Estate Transaction Manager of Wal-Mart Real Estate Business Trust on behalf of the company. He is personally known to me.



[Notary Seal]

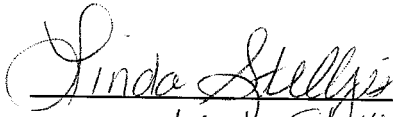
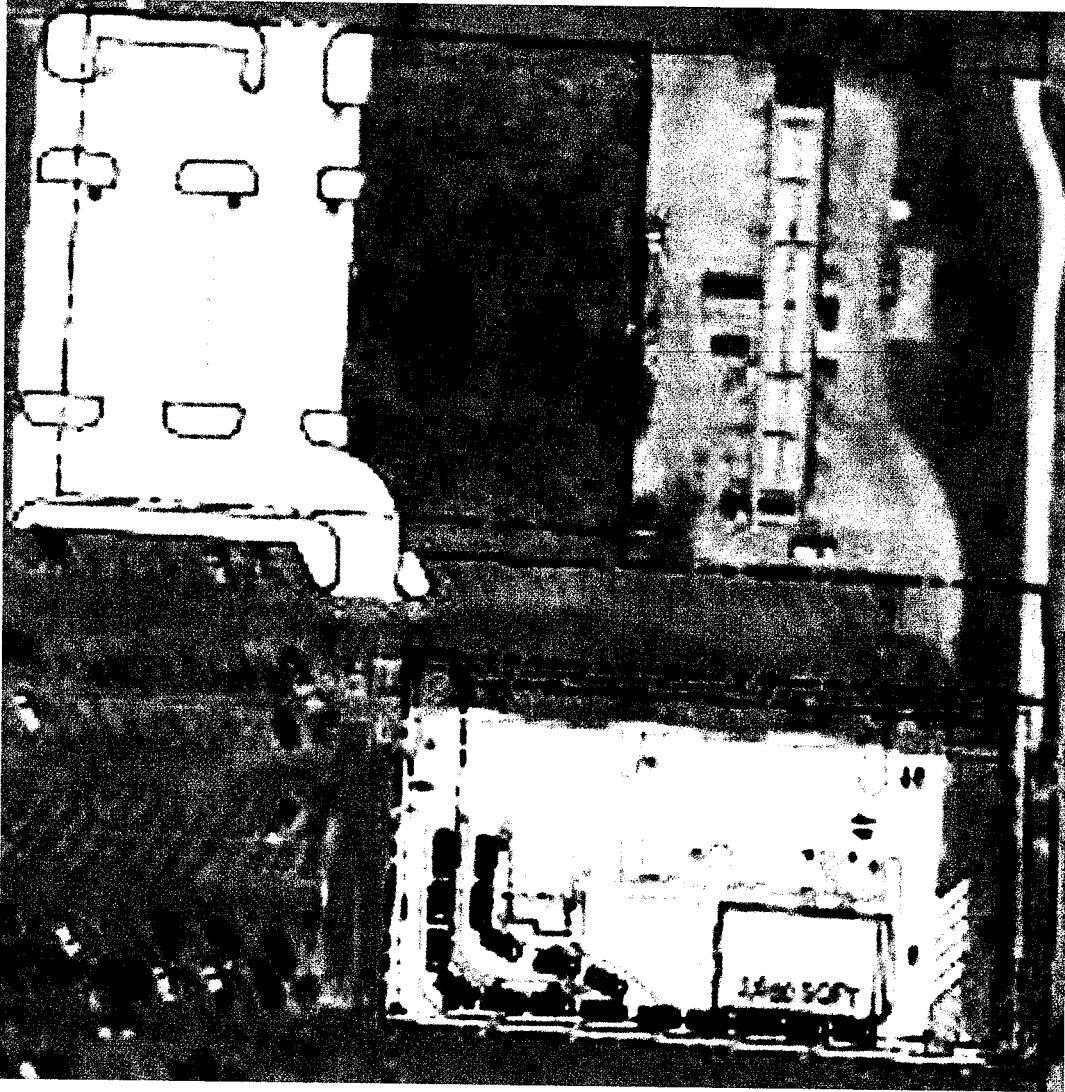

Print Name: Linda Stelljes
Notary Public, State of Arkansas
Commission number: 12703323
My commission expires: 12/01/27

Exhibit A

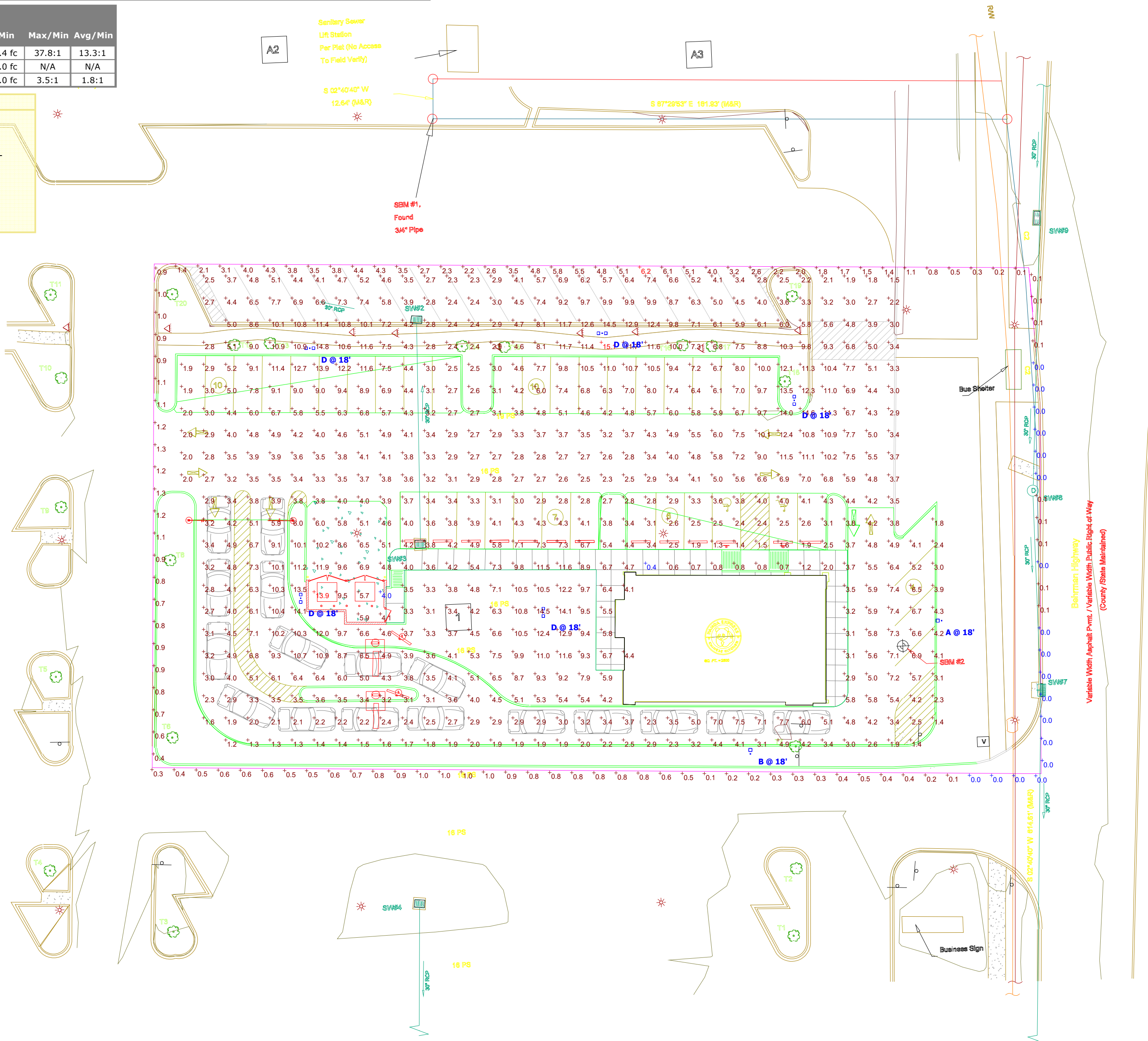


Symbol	Label	Quantity	Catalog Number	Description	Filename	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage	Efficiency
	A	1	SLM-LED-18L-SIL-FT-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	SLM-LED-18L-SIL-FT-40-70CRI-IL.ies	12045	1	1	135	100%
	B	1	SLM-LED-18L-SIL-3-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	SLM-LED-18L-SIL-3-40-70CRI-IL.ies	12554	1	1	135	100%
	D	5	SLM-LED-18L-SIL-FT-40-70CRI	CONTACT RYAN ZINSELMEIER-314-531-2600	SLM-LED-18L-SIL-FT-40-70CRI.ies	18909	1	1	270	100%

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CALC SUMMARY- PAVED SURFACE	+	5.3 fc	15.1 fc	0.4 fc	37.8:1	13.3:1
CALC SUMMARY- PROPERTY LINE	+	1.3 fc	6.2 fc	0.0 fc	N/A	N/A
TRASH ENCLOSURE	+	7.2 fc	13.9 fc	4.0 fc	3.5:1	1.8:1

Note

1. MOUNTING HEIGHT OF 18'
2. CALCULATIONS TAKEN AT GROUND LEVEL
3. CONTACT VILLA LIGHTING- RYAN ZINSELMEIER- RYAN.ZINSELMEIER@VILLALIGHTING.COM- 314-531-2600
4. LAYOUT IS AN ESTIMATE



Plan View
Scale - 1" = 25ft

PANDA EXPRESS
NEW ORLEANS, LA

Designer
R. ZINSELMEIER
Date
09/12/2023
Scale
NOTED
Drawing No.
Summary