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SAMPSON PLAYGROUND POOL RENOVATION - PART 1

CMA PROJECT NO. 2023.006
CITY PROJECT NO. RFP 2245
BRASS NO. 4137
K22-1331

DAC - DESIGN ADVISORY REVIEW
13 DECEMBER 2023



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TOTAL SHEETS : 10

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GENERAL
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DEMOLITION
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ARCHITECTURAL
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TOTAL SHEETS : 3

TOTAL SHEETS: 13

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REVIEW

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PACE GROUP, LLC
CIVIL ENGINEER
400 SOUTH NORMAN C. FRANCIS PKWY
NEW ORLEANS, LA 70119
504.256.3534

MARRERO, COUVILLON, & ASSOCIATES, LLC
SEIT ENGINEER
3025 HESSNER AVE SUITE 304
METairie, LA 70002
504.834.3448

Project:
**SAMPSON
PLAYGROUND -
PART 1**

3211 TREASURE ST
NEW ORLEANS LA,
70126
Project Number: 2023.006.1

Drawn:	KS	
Checked:	NM	
Date:	DEC 13, 2023	
Revisions:		
No.	Description	Date

Sheet Title:
COVER SHEET DAC
Drawing Number:
G-00

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 400 SOUTH NORMAN C. FRANCIS PKWY
 NEW ORLEANS, LA 70119
 504.264.3534
MARRERO, COUVILLON, & ASSOCIATES, LLC
 MEP ENGINEER
 3025 HESSEMER AVE SUITE 304
 METairie, LA 70002
 504.834.3448



EXISTING PHOTO 8
 12" = 1'-0" **B4**



EXISTING PHOTO 7
 12" = 1'-0" **B3**



EXISTING PHOTO 6
 12" = 1'-0" **B2**



EXISTING PHOTO 5
 12" = 1'-0" **B1**



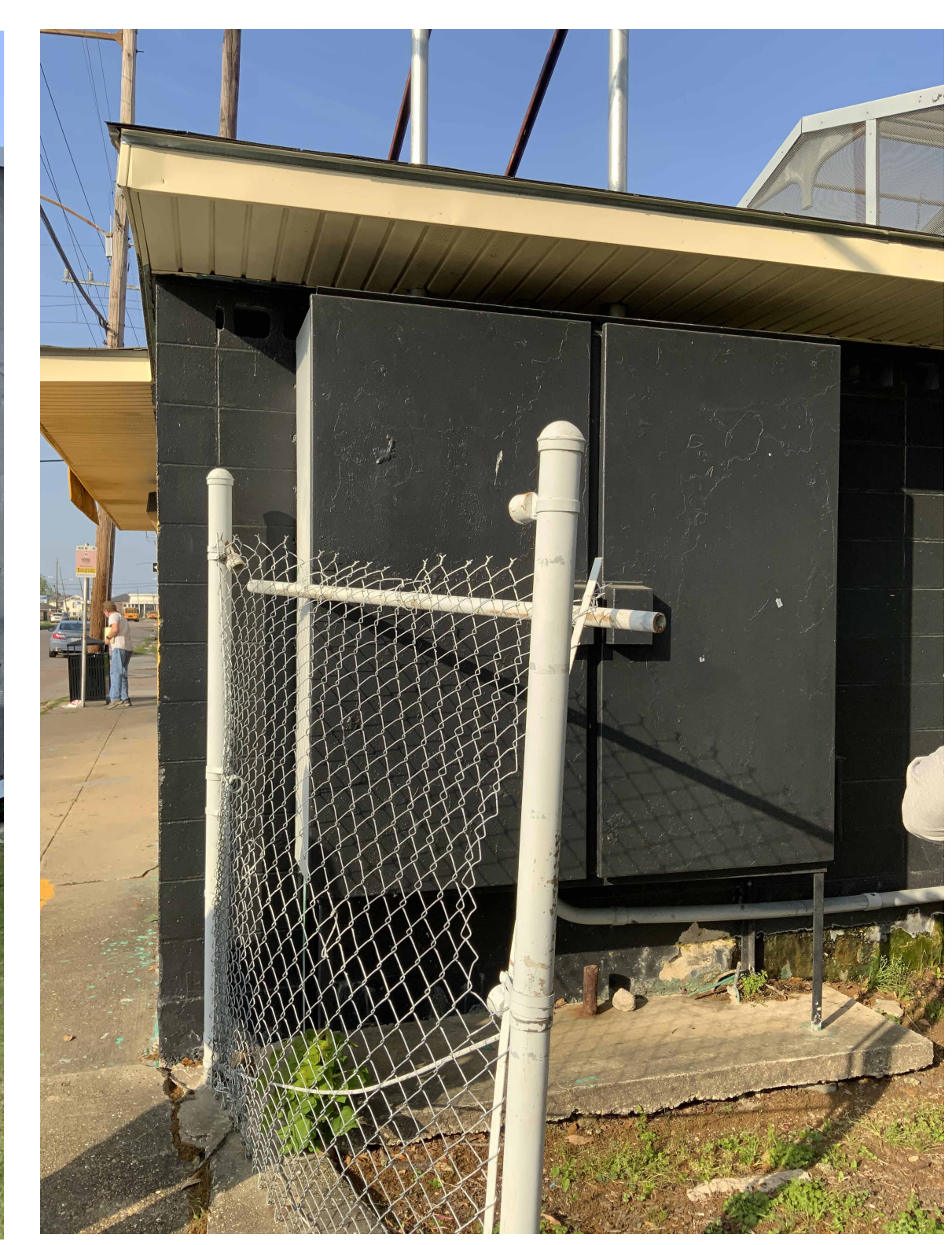
EXISTING PHOTO 4
 12" = 1'-0" **A4**



EXISTING PHOTO 3
 12" = 1'-0" **A3**



EXISTING PHOTO 2
 12" = 1'-0" **A2**



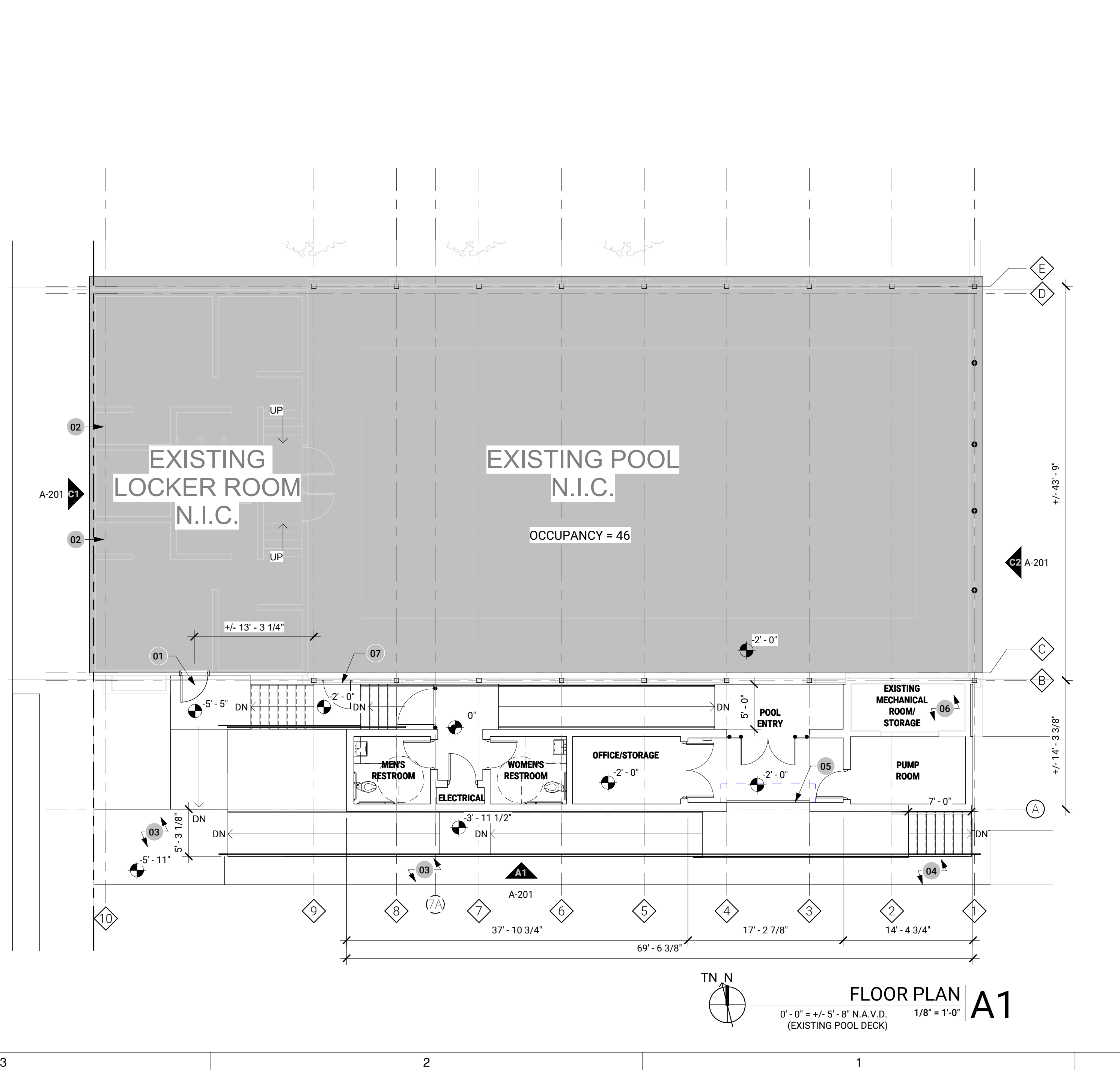
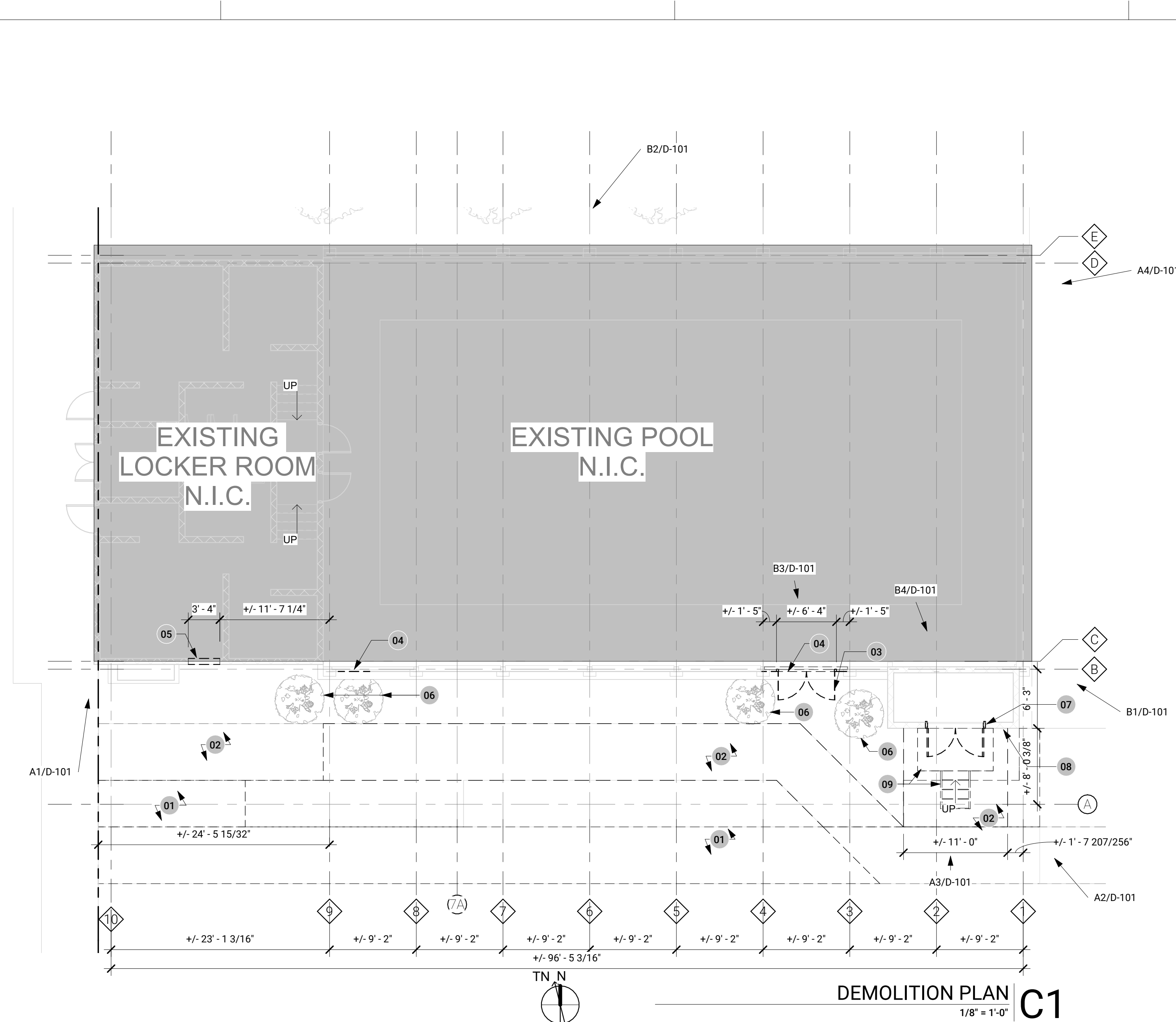
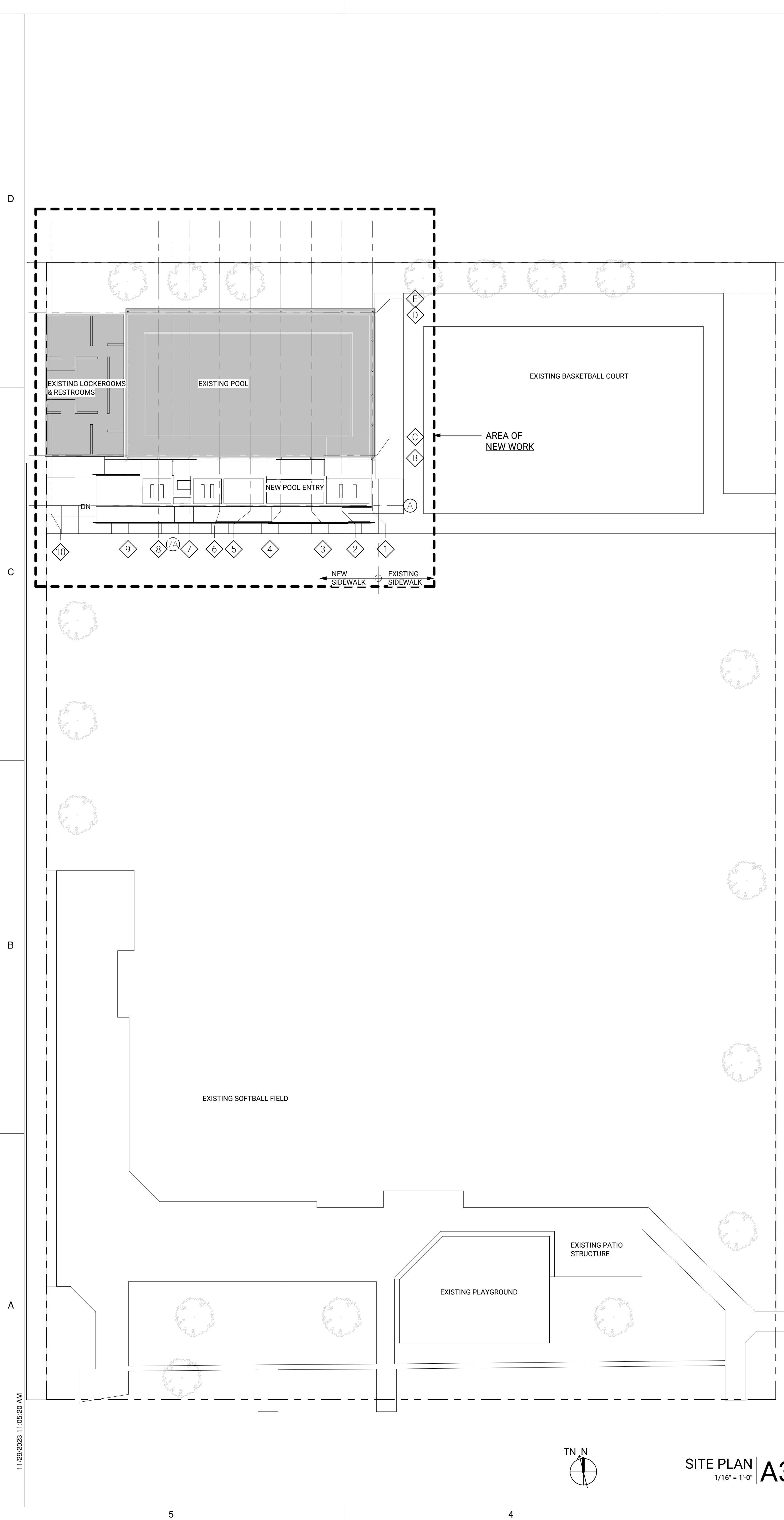
EXISTING PHOTO 1
 12" = 1'-0" **A1**

Project:
SAMPSON PLAYGROUND - PART 1

3211 TREASURE ST
 NEW ORLEANS, LA,
 70126
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Sheet Title:
 EXISTING PHOTO
 Drawing Number:
D-101



GENERAL DEMOLITION NOTES

- A. ALL TREES ON SITE ARE TO REMAIN AND ARE TO BE TRIMMED TO ALLOW FOR A CLEAR SIGHTLINE UP TO 7'-0" FROM GRADE.
- B. ALL TREE TRIMMING SHALL BE DONE BY A CERTIFIED LOUISIANA TREE ARBORIST. ARBORIST MUST HAVE CERTIFICATION AND PERMITS FROM THE DEPARTMENT OF PARKS AND PARKWAYS.
- C. ANY WALKWAY CONSTRUCTED WITHIN 15'-0" OF EXISTING OAK TREES MUST BE REVIEWED AND APPROVED BY THE CITY OF NEW ORLEANS PRIOR TO CONSTRUCTION ACTIVITY.

GENERAL NOTES

- A. PLAN DIMENSIONS AT EXISTING CONDITIONS ARE TO FACE OF FINISHED SURFACES.
- B. ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS OR MINUS AND SHOULD BE VERIFIED ON THE PROJECT SITE.
- C. PLAN DIMENSIONS FOR NEW CONSTRUCTION ARE TO COLUMN CENTERS, FACE OF FRAMING AT INTERIOR FRAMED WALLS, FACE OF SHEATHING AT EXTERIOR FRAMED WALLS, AND FACE OF SLAB TYPICAL.

DEMOLITION NOTES

- 01 REMOVE GRASS IN THIS AREA FOR NEW SIDEWALK PATH.
- 02 DEMOLISH EXISTING SIDEWALK
- 03 REMOVE AND REPAIR EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE. HOLD FOR RELOCATION.
- 04 PARTIALLY DEMOLISH WALL TO ACCOMMODATE FOR OPENING, RE-PLANS FOR NEW WORK IN LOCATION.
- 05 PARTIALLY DEMOLISH WALL TO ACCOMMODATE FOR NEW DOOR, RE-PLANS FOR NEW WORK IN LOCATION.
- 06 REMOVE EXISTING TREES IN THIS AREA. COMPLETE.
- 07 REMOVE EXISTING HOLLOW METAL DOORS. COMPLETE.
- 08 RELOCATE PIPE.
- 09 DEMOLISH STAIR AND LANDING TO EXISTING MECHANICAL ROOM.

NEW WORK NOTES

- 01 PROVIDE NEW LOCKER ROOM ENTRY DOOR IN THIS LOCATION.
- 02 EXISTING LOCKER ROOM ENTRY DOORS TO BE LOCKED PERMANENTLY. ANY EXIT SIGNS MUST BE RELOCATED TO THE NEW ENTRY DOOR LOCATIONS.
- 03 NEW SIDEWALK PATH.
- 04 EXISTING SIDEWALK PATH.
- 05 PROVIDE NEW FENCE GATE WITH LOCKING SYSTEM.
- 06 RELOCATE POOL PUMPING SYSTEM TO THIS LOCATION.
- 07 RELOCATE EXISTING POOL EXIT DOOR TO THIS LOCATION.

LEGEND OF SYMBOLS

- EXISTING PARTITION
- NEW CONSTRUCTION PARTITION TYPE 003
- KEYED PLAN NOTE 01
- AREA NOT INCLUDED IN SCOPE
- NEW LAVATORY
- NEW SINK



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PACE GROUP, LLC
CIVIL ENGINEER
400 SOUTH HORNMAN C. FRANCIS PKWY
NEW ORLEANS, LA 70119
504.256.3534
MARRERO, COUVILLON, & ASSOCIATES, LLC
MECHANICAL ENGINEER
3025 WESSEMER AVE SUITE 304
METairie, LA 70002
504.836.3448

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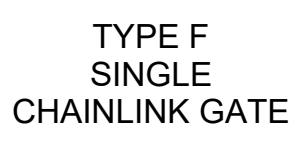
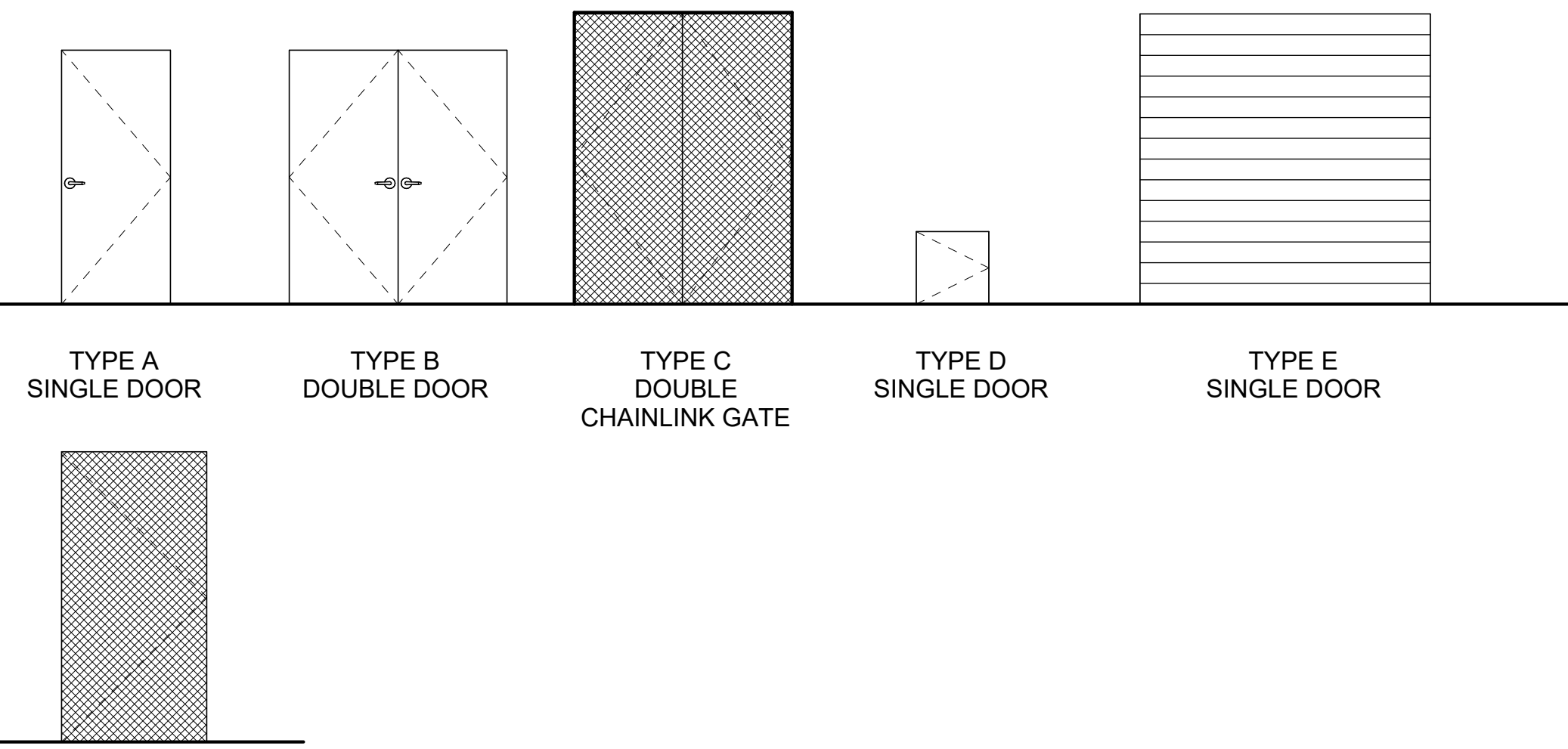
Sheet Title:
FIRST FLOOR PLAN
Drawing Number:
A-101

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HARDWARE SETS

DOOR HARDWARE SCHEDULE

HARDWARE SET #1	HARDWARE SET #2	HARDWARE SET #3
1 BB HINGES	1 BB HINGE	1 BB HINGE NRP
1 ENTRY SET	1 LOW DOME FLOOR STOP	1 STOREROOM LOCK
1 LOW DOME FLOOR STOP	1 REST ROOM LOCK	1 CLOSER - STOP ARM
1 PROTECTION PLATE	1 PROTECTION PLATE	1 OVERHEAD STOP
		1 PROTECTION PLATE



Door Type Legend
1/4" = 1'-0"

NOTE:
1. FIELD VERIFY ALL DIMENSIONS FOR WINDOWS, STOREFRONT, AND DOORS IN EXISTING OPENINGS.
2. SG DENOTES SAFETY GLASS (RE: IBC SECTION 2406 SAFETY GLAZING)

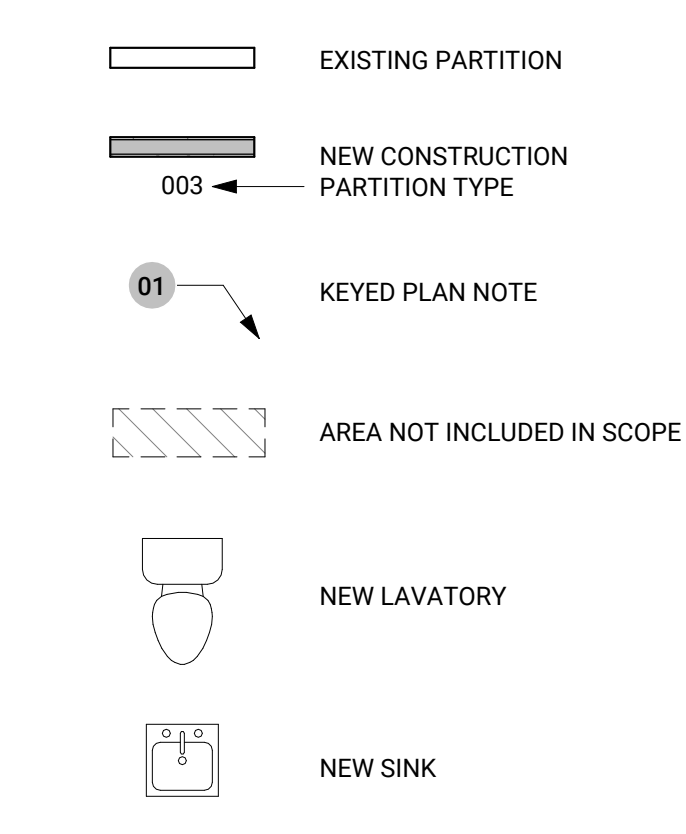
FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
101	POOL ENTRY	CONC	NONE	METAL PANEL	METAL PANEL	
102	PUMP ROOM	CONC	NONE	FRP	NONE	
102E	EXISTING MECHANICAL ROOM/STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	
103	OFFICE/STORAGE	CONC	NONE	GYP	FRP	
104	WOMEN'S RESTROOM	CT	FRP	FRP	FRP	
105	MEN'S RESTROOM	CT	FRP	FRP	FRP	
106	ELECTRICAL	CONC	NONE	GYP	NONE	

DOOR SCHEDULE															
DOOR NO.	TY	PE	DOOR				FIRE RATING	FROM	TO	HARDWARE SET	FRAME				COMMENTS
			WIDTH	HEIGHT	THICKNESS	MATERIAL					TYPE	MATERIAL	FINISH	JAMB	
100	E		9'-2"	10'-0"	3"		POOL ENTRY	ENTRY RAMP			HM		C3/A-301	D3/A-301	
101	C		6'-0"	10'-0"	3/8"		POOL ENTRY	POOL ENTRY	1		STL FRAME	GALV	B3/A-402	B3/A-402	
102	A		3'-0"	7'-0"	1 3/4"		PUMP ROOM	POOL ENTRY	3		HM	GALV	C2/A-301	D2/A-301	
103	B		6'-0"	7'-0"	1 3/4"		POOL ENTRY	OFFICE/STORAGE	3		HM	GALV	C2/A-301	D2/A-301	
104	A		3'-0"	7'-0"	1 3/4"		RESTROOM LANDING	WOMEN'S RESTROOM	2		HM	GALV	C2/A-301	D2/A-301	
105	A		3'-0"	7'-0"	1 3/4"		RESTROOM LANDING	MEN'S RESTROOM	2		HM	GALV	C2/A-301	D2/A-301	
106	A		3'-0"	7'-0"	1 3/4"		ELECTRICAL	RESTROOM LANDING	3		HM	GALV	C2/A-301	D2/A-301	
107	F		3'-0"	7'-0"	3/8"		EMERGENCY EXIT LANDING	EXISTING POOL DECK	1		STL FRAME	GALV	B3/A-402	B3/A-402	
108	A		3'-0"	7'-0"	1 3/4"		EXISTING LOCKER ROOM	EXTERIOR STAIR LANDING	2		HM		C2/A-301	D2/A-301	NEW DOOR TO EXISTING LOCKER ROOM
109	-		0"	0"			PUMP ROOM	EXISTING MECHANICAL ROOM/STORAGE	-						OPENING IN EXISTING WALL
110	D		2'-0"	2'-0"	1 3/4"		PUMP ROOM	SAMPSON PARK	3		HM		C2/A-301	D2/A-301	
111	F		4'-0"	8'-0"	3/8"		RESTROOM RAMP LANDING	RESTROOM STAIR LANDING	1		STL FRAME	GALV	B3/A-402	B3/A-402	

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LEGEND OF SYMBOLS



NEW WORK NOTES

- 01 NEW SWIMMER RINSE OFF AREA/ SHOWER
- 02 FLUSH TRANSITION PLATE CONNECTING EXISTING POOL DECK TO NEW DECK. RE: C1/A-205
- 03 RELOCATE POOL PUMPING SYSTEM AND CHEMICAL STORAGE TO THIS AREA. RE: PLUMBING
- 04 PROVIDE NEW 3/8" MESH FABRIC 11 GA. MATCH EXIST WITH LOCKING SYSTEM.
- 05 EXISTING STORAGE AREA TO REMAIN.
- 06 NEW RAMP TO THE REST ROOMS
- 07 3" DIAMETER STEEL TUBE
- 08 THIS LOCATION TO HAVE OUTLET DRAIN AND VENT FOR PORTABLE A.C. UNIT.
- 09 EMERGENCY EXIT DOOR.
- 10 24" X 24" ACCESS DOOR BELOW.
- 11 REMOVE EXISTING DOOR.
- 12 42" HIGH GUARDRAIL WITH PICKETS @ 4" O.C.



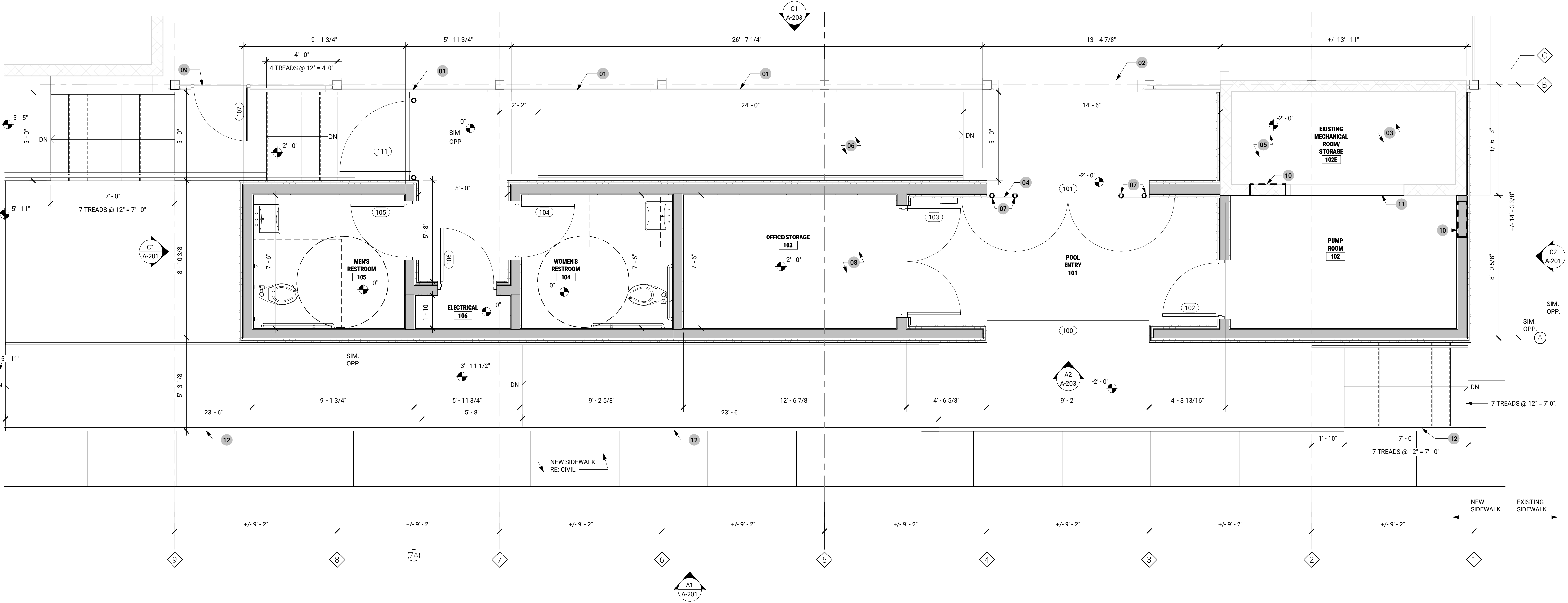
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CIVIL ENGINEER
400 S. I-10 NORTHMAN C. FRANCIS PKWY
NEW ORLEANS, LA 70119
504.264.3634
MARRERO, COUVILLON, & ASSOCIATES, LLC
MECHANICAL ENGINEER
3025 HERMES AVE SUITE 304
METairie, LA 70002
504.834.3448



ENLARGED FLOOR PLAN | A1
0'-0" = 5'-11" N.A.V.D. 3/8" = 1'-0"
(RESTROOM FLOOR)

SAMPSON PLAYGROUND - PART 1

3211 TREASURE ST
NEW ORLEANS LA,
70126
Project Number: 2023.006.1

Drawn: KS
Checked: NM
Date: DEC 13, 2023
Revisions:
No. Description Date

ENLARGED PLAN & SCHEDULES

Drawing Number:
A-102

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GENERAL NOTES

- A. ALL CEILINGS TO BE AT 10'-0" A.F.F. UNLESS NOTED OTHERWISE.
- B. CONTRACTOR TO VERIFY IN FIELD BOTTOM OF STRUCTURE AND PROVIDE NECESSARY HARDWARE TO HANG LIGHT FIXTURES

NEW WORK NOTES

LIGHT FIXTURE KEY

MARK	DESCRIPTION
A	4' SURFACE MOUNTED LED LIGHT
A1	1' X 4' LED FLAT PANEL RECESSED LIGHT
W	SURFACE MOUNTED LED LIGHT

RE: ELECTRICAL E101

LEGEND OF SYMBOLS

- EXISTING PARTITION
- NEW CONSTRUCTION PARTITION TYPE
- KEYED NOTE
- AREA NOT INCLUDED IN SCOPE
- FIBER REINFORCED PLASTIC - FRP
- METAL PANEL
- FCU RE: M 101
- EXHAUST FAN RE: M 101



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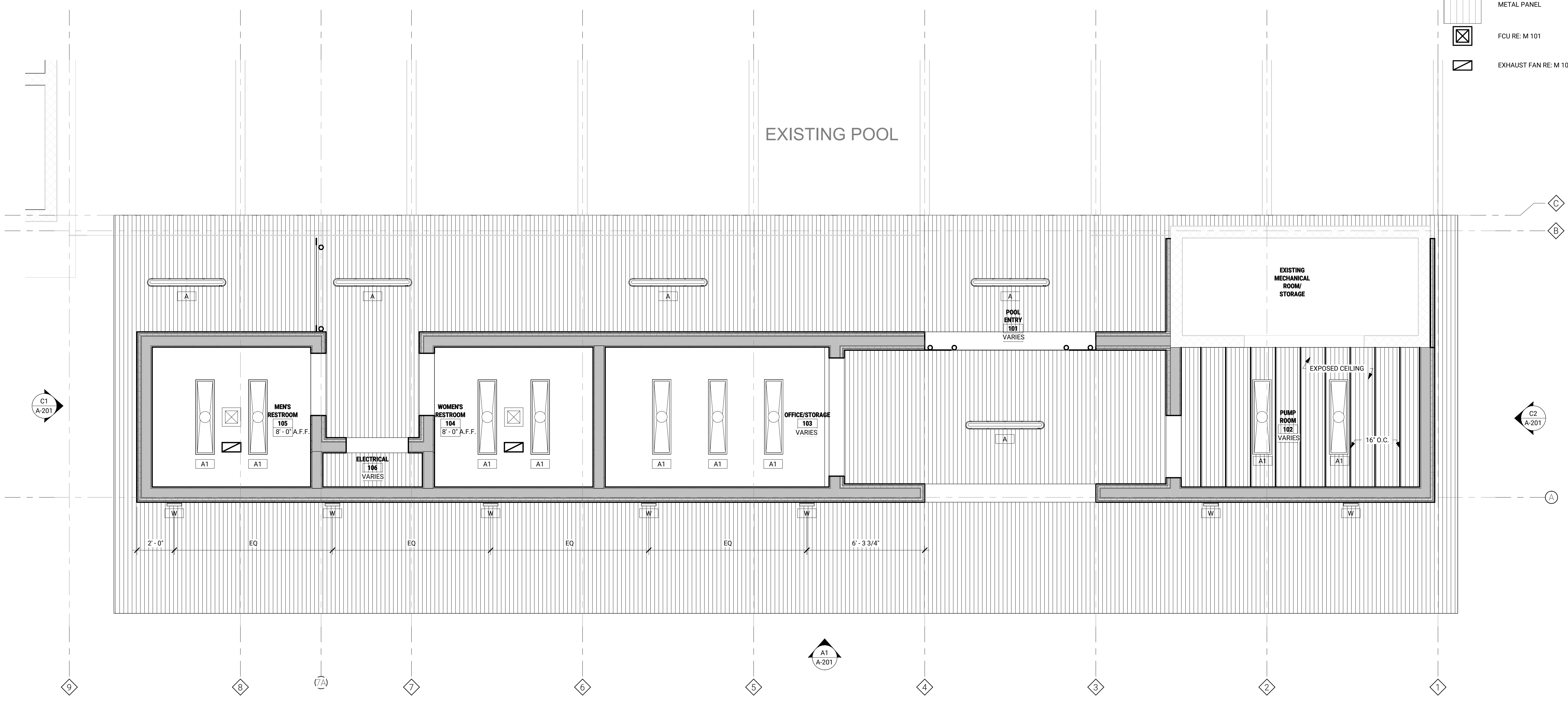
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PACE GROUP, LLC
CIVIL ENGINEER
400 SOUTH NORMAN C. FRANCIS PKWY
NEW ORLEANS, LA 70119
504.261.3534

MARRERO, COUVILLON, & ASSOCIATES, LLC
MECHANICAL ENGINEER
3025 HESSEMER AVE SUITE 304
METairie, LA 70002
504.834.3448



FIRST FLOOR CEILING PLAN
3/8" = 1'-0" **A1**

Project:

SAMPSON
PLAYGROUND -
PART 1

3211 TREASURE ST
NEW ORLEANS LA,
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No.	Description	Date

Sheet Title:
FIRST FLOOR
REFLECTED CEILING
PLAN

Drawing Number:
A-111

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MATERIAL LEGEND

7 MATERIAL DESIGNATION TAG

- 01. STANDING SEAM METAL ROOF B.O.D. BERRIDGE DOUBLE-LOCK ZEE - LOCK PANEL
- 02. 6"x6" STEEL TUBING
- 03. 3/8" MESH FABRIC / 11 GA. TO MATCH EXISTING
- 04. METAL HAND RAIL
- 05. CONCRETE FOUNDATION RE-STRUCTURE
- 06. GALVANIZED STEEL METAL WALL PANEL B.O.D. BERRIDGE HC-16
- 07. 3/8" MESH FABRIC / 11 GA. EXIT DOOR TO MATCH EXISTING
- 08. HOLLOW METAL DOOR
- 09. EXISTING LUMBER
- 10. EXISTING CMU
- 11. 12" X 12" LOUVER
- 12. 18" X 12" LOUVER
- 13. FLOOD VENT B.O.D. = BRADLEY BUILDING PRODUCTS SMART VENT 1540-510
- 14. R-30 BATT
- 15. R-19 BATT
- 16. METAL SOFFIT
- 17. FRP
- 18. METAL SOFFIT/PANEL CEILING



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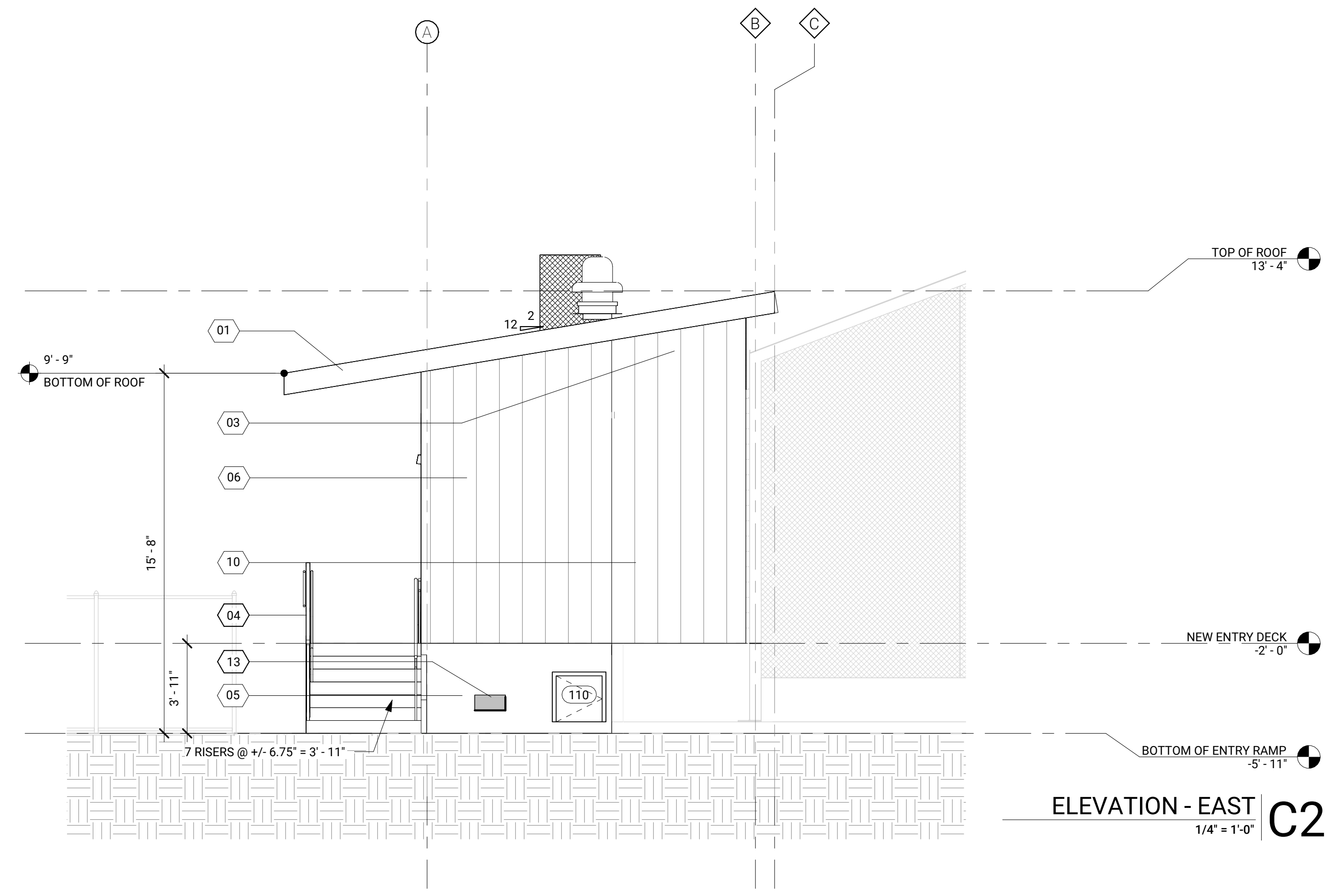
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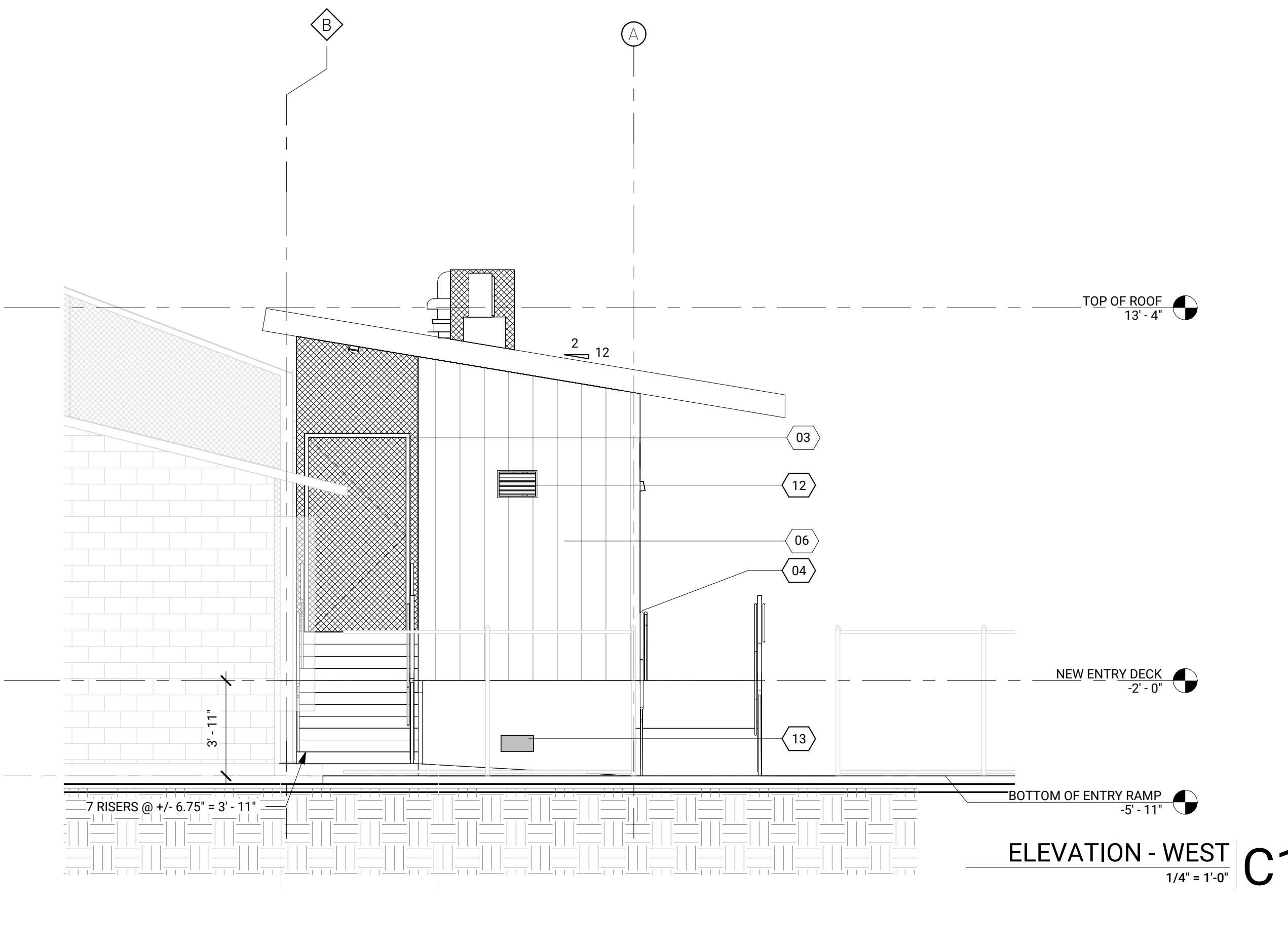
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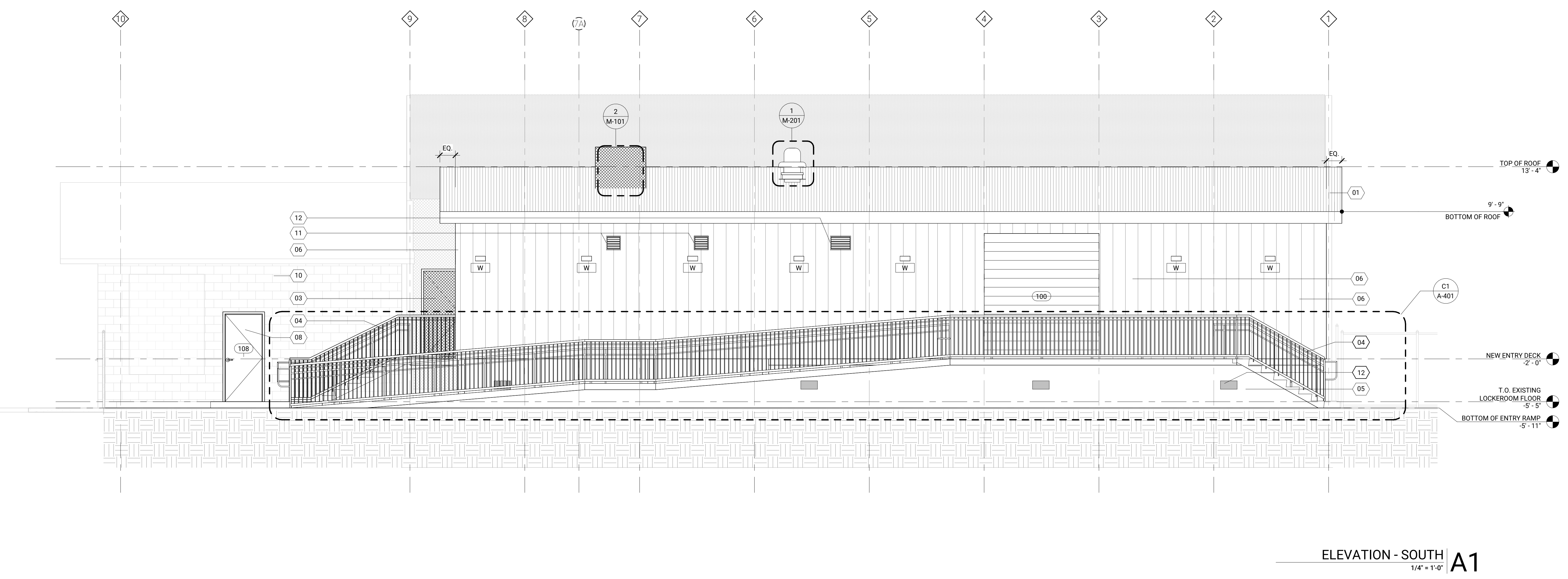
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 ARCHITECT
 3025 HESSEMER AVE SUITE 304
 METairie, LA 70002
 504.834.3448



ELEVATION - EAST
1/4" = 1'-0" C2



ELEVATION - WEST
1/4" = 1'-0" C1



ELEVATION - SOUTH
1/4" = 1'-0" A1

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EXTERIOR ELEVATIONS

Drawing Number:

A-201

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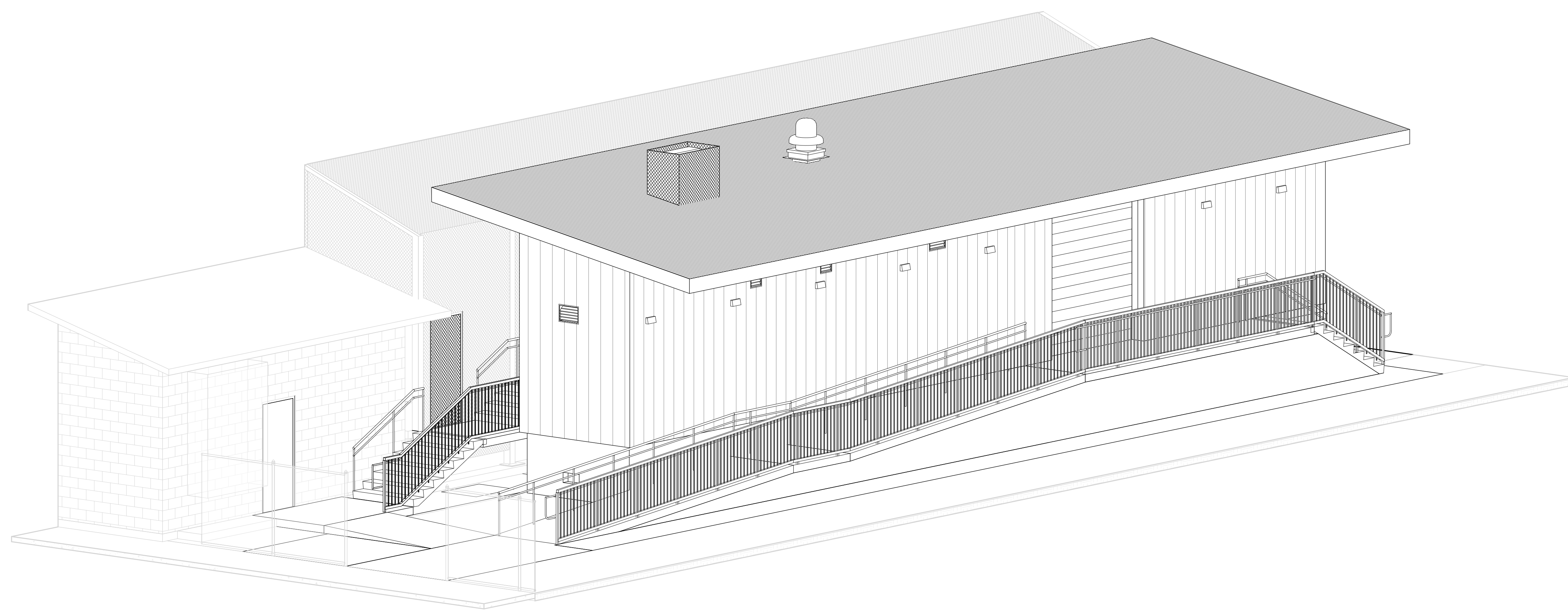
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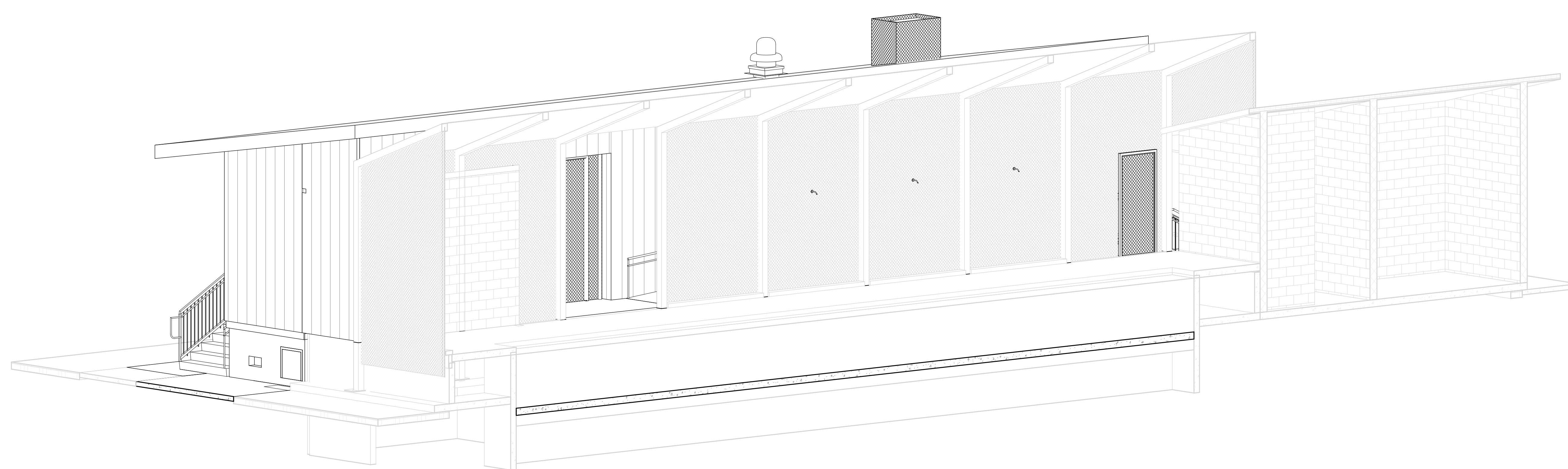
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3D FRONT SECTION C1



3D REAR SECTION A1



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 400 SOUTH NORMAN C. FRANCIS PKWY
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 3025 HESSEMER AVE SUITE 304
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3D VIEWS

Drawing Number:
A-801

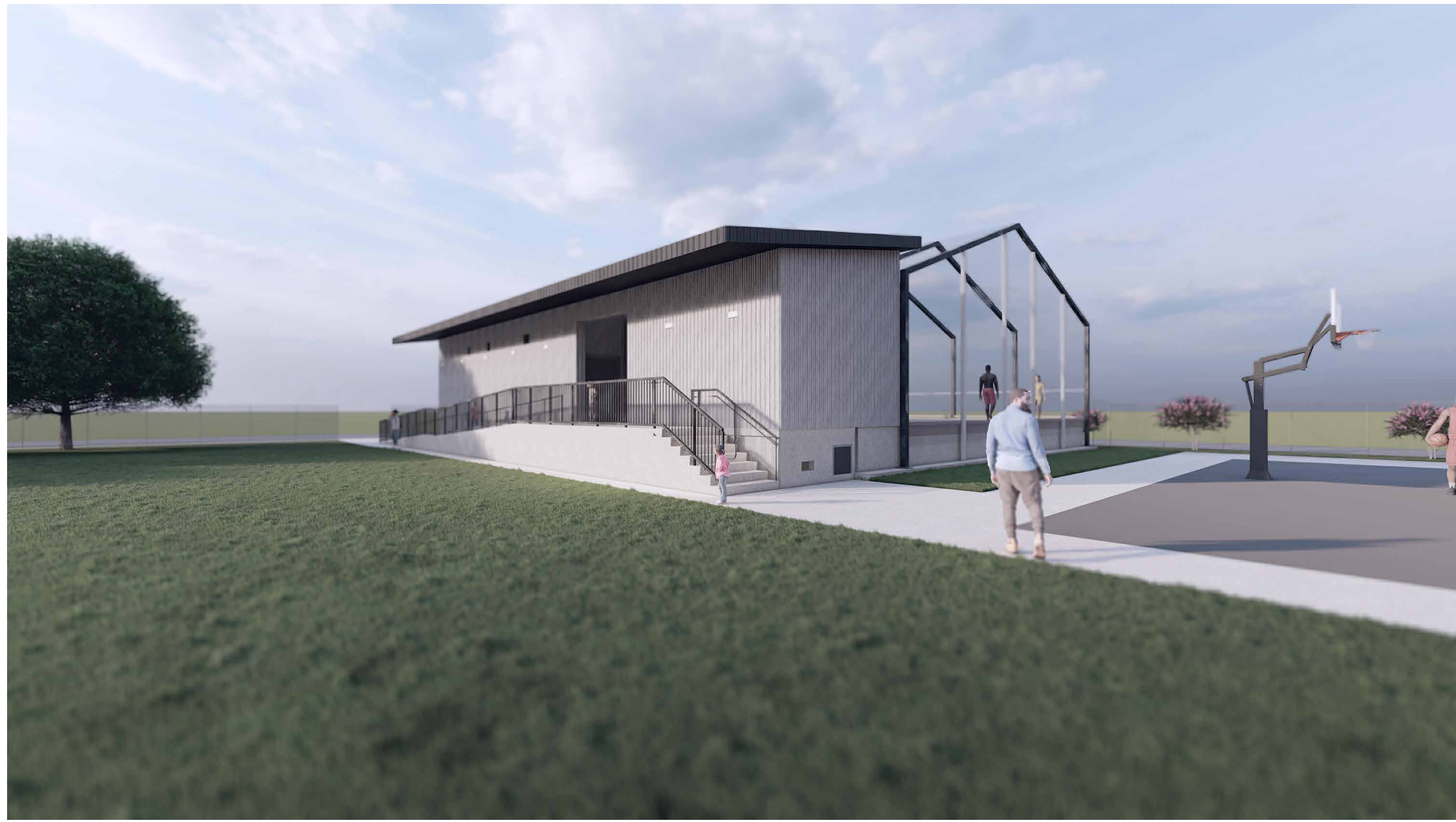
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 400 SOUTH NORMAN C. FRANCIS PKWY
 NEW ORLEANS, LA 70119
 504.261.3034
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 ARCHITECTS
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 504.264.3634
MARRERO, COUVILLON, & ASSOCIATES, LLC
 ARCHITECTS
 3025 HESSEMER AVE SUITE 304
 METairie, LA 70002
 504.834.3448

Project:
SAMPSON
PLAYGROUND -
PART 1

3211 TREASURE ST
 NEW ORLEANS, LA,
 70126
 Project Number: 2023.006.1

Drawn:	KS	
Checked:	NM	
Date:	DEC 13, 2023	
Revisions:		
No.	Description	Date

Sheet Title:
RENDERED
PICTORIAL VIEW
 Drawing Number:
A-803

D
C
B
A



ODILE DAVIS - PART 2

CMA PROJECT NO. 2023.006
CITY PROJECT NO. RFP 2245
BRASS NO. 4137
K22-1331

DAC - DESIGN ADVISORY REVIEW
13 DECEMBER 2023

INDEX OF DRAWINGS

GENERAL
G-00 COVER SHEET DAC
DEMOLITION
D-101 EXISTING PHOTOS
ARCHITECTURAL
A-011 SITE PLAN - LAYOUT
TOTAL SHEETS : 3



A PROFESSIONAL ARCHITECTURAL CORPORATION
1300 KALISTE SALON ROAD SUITE 801 LAURETTE, LA 70008
NEW ORLEANS
7030 SPRUCE STREET NEW ORLEANS, LA 70118
504.564.3448 CHASEMARSHALL.COM

Seal:

**DAC
DESIGN ADVISORY
REVIEW**

DEC 13, 2023

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construction or building being seized and/or razed.

Consultants:

PACE GROUP, LLC
CIVIL ENGINEER
400 SOUTH NORMAN C. FRANCIS PKWY
NEW ORLEANS, LA 70119
504.264.3634

MARRERO, COUVILLON, & ASSOCIATES, LLC
ARCHITECT
3025 HESSEMER AVE SUITE 304
METairie, LA 70002
504.834.3448

Project:

**ODILE DAVIS
PLAYGROUND -
PART 2
ADD ALT. NO 1**

3032 LAW ST, LA, 70117

Project Number: 2023.006

Drawn: KS

Checked: NM

Date: DEC 13, 2023

Revisions:

No.	Description	Date

Sheet Title:

COVER SHEET DAC

Drawing Number:

G-00

Seal:

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 400 SOUTH NORMAN C. FRANCIS PKWY
 NEW ORLEANS, LA 70119
 504.264.3534

MARRERO, COUVILLON, & ASSOCIATES, LLC
 MEP ENGINEER
 3025 HESLER AVE SUITE 304
 METairie, LA 70002
 504.834.3448

D



EXISTING 8' HIGH FENCE AND
 RETAINING WALL TO REMAIN.

REPAIR RETAINING WALL.

RESURFACE OLD COURT AND
 ADD PICKLE BALL COURT
 STRIPING.

PICTURE 9
 12" = 1'-0" | C4



REMOVE TREE OVERGROWTH
 FROM EXISTING BULLPEN.

EXISTING 10' HIGH FENCE
 TO REMAIN.

PICTURE 8
 12" = 1'-0" | C2



NEW PARK ENTRY SIGN.

REMOVE TREE OVERGROWTH FROM
 EXISTING 10' TALL FENCE.

NEW CONCRETE WALKWAY.

NEW ELECTRICAL PANEL BOX.

PICTURE 7
 12" = 1'-0" | C1

C



RESURFACE OLD COURT AND
 ADD PICKLE BALL COURT
 STRIPING.

EXISTING 8' HIGH FENCE AND
 RETAINING WALL TO REMAIN.

EXISTING HIGH MASS LIGHTING.
 CONTRACTOR TO ASSESS FIXTURE
 CONDITION AND MAKE NECESSARY
 REPAIRS.

PICTURE 6
 12" = 1'-0" | B4



PROVIDE AND INSTALL NEW
 BASKETBALL COURT
 BACKBOARDS.

EXISTING BASKETBALL COURT
 TO BE RESURFACED.

PICTURE 5
 12" = 1'-0" | B2



EXISTING HIGH MASS LIGHTING.
 CONTRACTOR TO ASSESS FIXTURE
 CONDITION AND MAKE NECESSARY
 REPAIRS.

REPAIR EXISTING 10' TALL FENCE

NEW CONCRETE ENTRY WAY

PICTURE 4
 12" = 1'-0" | B1

B



ADD NEW FENCING TO
 EXISTING OPENING.

EXISTING 8' HIGH FENCE AND
 RETAINING WALL TO REMAIN.

RESURFACE OLD COURT AND
 ADD PICKLE BALL COURT
 STRIPING.

PICTURE 3
 12" = 1'-0" | A4



EXISTING SAFETY SURFACE
 TO BE REPLACED

PICTURE 2
 12" = 1'-0" | A2



EXISTING SAFETY SURFACE
 TO BE REPLACED

PICTURE 1
 12" = 1'-0" | A1

A

Project:

**ODILE DAVIS
 PLAYGROUND -
 PART 2
 ADD ALT. NO 1**

3032 LAW ST, LA, 70117

Project Number: 2023.006

Drawn: KS

Checked: NM

Date: DEC 13, 2023

Revisions:

No.	Description	Date

No. Description Date

Sheet Title:

EXISTING AND DESIGN PHOTOS

Drawing Number:

D-101

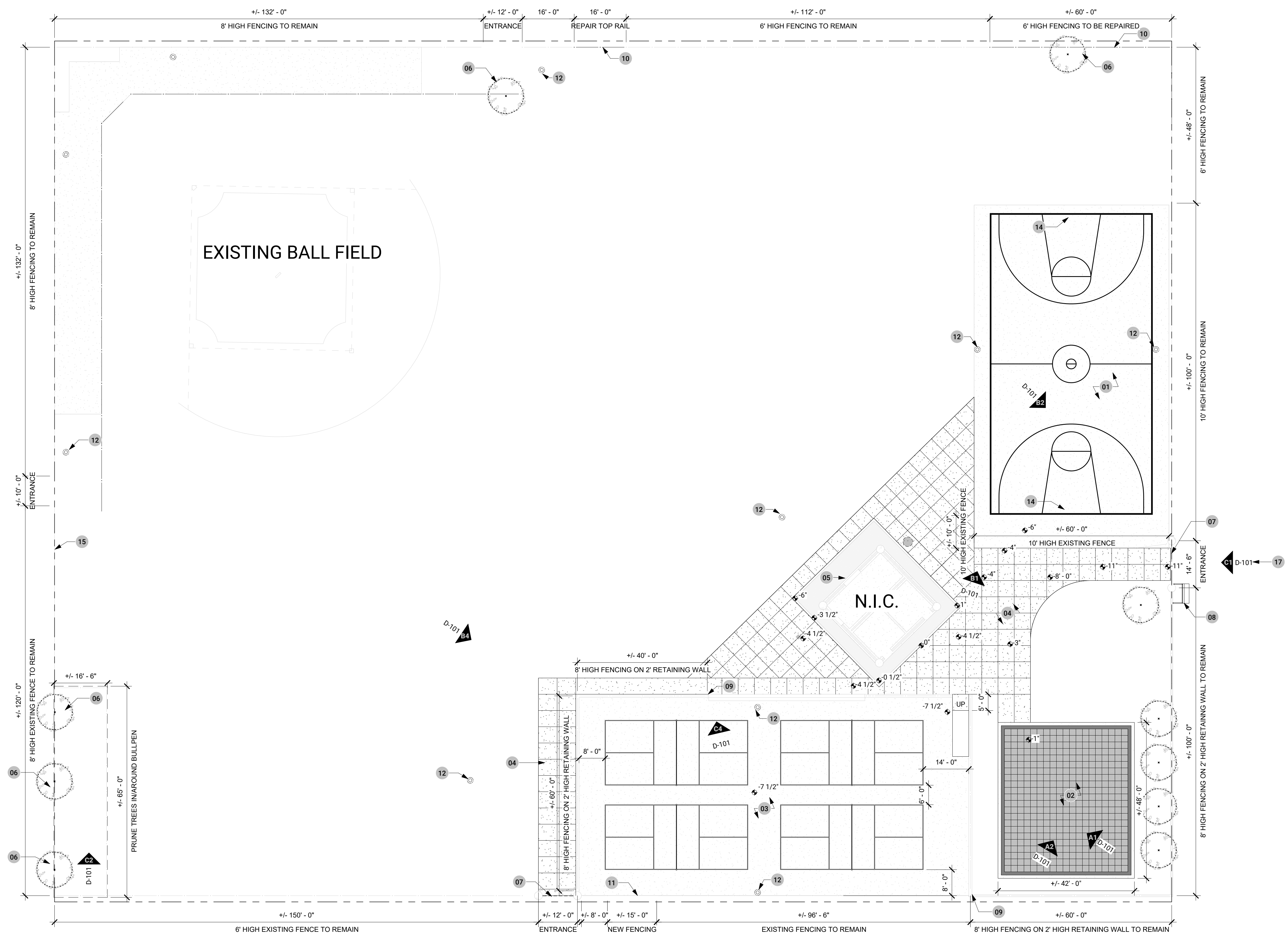
D

C

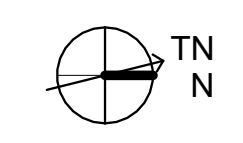
B

A

11/29/2023 11:02:05 AM



ADD ALT #2



SITE PLAN A1
 0'-0" = 0'-4" 1/16" = 1'-0"

LEGEND OF SYMBOLS

- EXISTING PARTITION
- NEW CONSTRUCTION PARTITION TYPE
- KEYED PLAN NOTE
- AREA NOT INCLUDED IN SCOPE

NEW WORK NOTES

- 01 EXISTING BASKETBALL COURT TO BE RESTRIPE (POTENTIAL COMMUNITY PAINTED SURFACE)
- 02 REMOVE OLD SAFETY SURFACE AND REPLACE WITH NEW SAFETY SURFACE FOR PLAYGROUND AREA.
- 03 DEMOLISH AND REPLACE EXISTING TENNIS COURT AND RESURFACE AS PER SPORTS MASTER SPECIFICATIONS.
- 04 NEW CONCRETE WALKWAY.
- 05 CONCESSION BUILDING TO REMAIN.
- 06 REMOVE TREE OVERGROWTH.
- 07 NEW PARK ENTRY SIGN
- 08 NEW PANEL BOX WITH COVER AND BENCH SEAT
- 09 CONTRACTOR TO FORM AND PATH CONCRETE PATCH TO MATCH EXISTING. IF FENCE PIPE IS STRUCTURALLY SOUND CLEAN AND TREAT RUST APPLY, RE-GALVANIZE THE COATING AND REPAIR CONCRETE.
- 10 REPAIR EXISTING 6' FENCE.
- 11 INSTALL NEW 10' TALL FENCE IN THIS LOCATION.
- 12 EXISTING HIGH MASS LIGHTING. CONTRACTOR TO ASSES EXISTING FIXTURE CONDITION AND MAKE NECESSARY REPAIRS AS REQUIRED.
- 13 EXISTING FENCE TO REMAIN
- 14 PROVIDE AND INSTALL NEW BASKETBALL COURT BACKBOARDS.
- 15 REPAIR EXISTING 6' FENCE.
- 16 EXISTING BOLLARD TO REMAIN.
- 17 V.I.F. ALL ELEVATIONS



Seal:
DAC
DESIGN ADVISORY
REVIEW

DEC 13, 2023

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PAGE GROUP, LLC
 CIVIL ENGINEER
 400 SOUTH NORMAN C. FRANCIS PKWY
 NEW ORLEANS, LA 70119
 504.264.3534
MARRERO, COUVILLON, & ASSOCIATES, LLC
 ARCHITECT
 3025 HESSEMER AVE SUITE 304
 METairie, LA 70002
 504.834.3448

Project:
ODILE DAVIS
PLAYGROUND -
PART 2
ADD ALT. NO 1

3032 LAW ST, LA, 70117

Project Number: 2023.006

Drawn:	KS	
Checked:	NM	
Date:	DEC 13, 2023	
Revisions:		
No.	Description	Date

Sheet Title:
 Composition and arrangement of items - LAYOUT
 Drawing Number:
A-011

5

4

3

2

1



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review Interim Zoning Districts Appeal Moratorium Appeal

Property Location Sampson Pool addition and Odile Playgrounds

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name Chase Marshall Architects

Applicant Address 7222 Spruce St

City New Orleans State LA Zip 70118

Applicant Contact Number 504.208.2676 Email nick.marshall@chasemarshall.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name NORDC

Property Owner Address 5420 Franklin Ave.

City New Orleans State LA Zip 70122

Property Owner Contact Number _____ Email larry.barabino@nola.gov

PROJECT DESCRIPTION

Small bath addition to existing pool at Sampson Playground and paving repairs at the Odile Playground.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- Corridor Transformation
- Greenway Corridor
- Others as required

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- CBD FAR Bonus
- Wireless Antenna/Tower
- Educational Facility

- Changes to Approved Plans
- DAC Review of Public Projects
- Others as Required

ADDITIONAL INFORMATION

Current Use Playground Proposed Use Playground

Square Number SQ 1993 and SQ 1393 Lot Number entire block Permeable Open Space (sf) N/A

New Development? Yes No Addition? Yes No Tenant Width N/A

Existing Structure(s)? Yes No Renovations? Yes No Building Width N/A

Change in Use? Yes No Existing Signs? Yes No Lot Width (sf) N/A

New Sign(s)? Yes No Lot Area (sf) 75K and 91K Building Area (sf) 1600SF



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000