

GENERAL NOTES:

- CONTRACTOR AND SUB-CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE BUILDING AND EXISTING CONDITIONS PRIOR TO SUBMISSION OF PROPOSAL / BID, AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION WORK.
- ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CITY STATE AND NATIONAL CODES, ORDINANCES, REGULATIONS AND AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ANY DAMAGE TO PREVIOUSLY EXISTING OR NEWLY PLACED FACILITIES WHICH IS CAUSED BY THE WORK OPERATIONS UNDER THIS CONTRACT. PROTECT ALL EXISTING CONSTRUCTION, UTILITIES, AND FACILITIES TO REMAIN. ANY AND ALL DAMAGE DURING CONSTRUCTION OR DEMOLITION WHICH IS CAUSED BY OPERATIONS UNDER THIS CONTRACT, WHETHER ACCIDENTAL OR MADE NECESSARY BY RESTORATION OR REPLACEMENT BY SHALL BE REPAIRED TO MATCH EXISTING WITH NO COST TO THE OWNER.
- CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS/ HER OPERATION AND SHALL REMOVE NO LESS THAN DAILY DEBRIS FROM AND ABOUT THE PROJECT.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE PROJECT PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT / ENGINEER PRIOR TO SUBMISSION OF THE PROPOSAL/BID. IN ADDITION, REVIEW CAREFULLY ALL CONDITIONS AND SYSTEMS AND FAMILIARIZE HIMSELF/HERSELF WITH ALL ASPECTS OF THE REQUIRED WORK FOR A COMPLETE INSTALLATION. ANY DEVIATION OR CHANGES NECESSARY TO ACHIEVE THE INSTALLATIONS SHOWN SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO SUBMITTING OF FINAL PROPOSAL/BID TO MAKE NECESSARY ADJUSTMENTS AND SO AVOID ANY EXTRA COSTS DURING CONSTRUCTION. THE CONTRACTOR SHALL BASE HIS/HER PROPOSAL/BID ON INFORMATION GATHERED FROM HIS SITE VISIT AND THE EXISTING CONDITIONS, COMPLIANCE WITH LOCAL, STATE, AND NATIONAL REGULATIONS, AND ADDITIONAL DOCUMENTS DEVELOPED BY THE CONTRACTORS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO DO SO.
- CONTRACTOR SHALL COMPLY WITH THE OWNER'S REQUIREMENTS AS TO SCHEDULE OF WORK, DELIVERY OF MATERIAL, AND USE OF SITE.
- ALL ALIGNMENT MARKS CLEAR STUD FACE TO STUD FACE, OR AS INDICATED OTHERWISE.
- CONTRACTOR SHALL PROVIDE A LIST OF ALL MATERIALS REQUIRED TO COMPLETE PROJECT AT THE BID DATE. ALL ITEMS THAT ARE OWNER FURNISHED SHOULD APPEAR ON THE LIST.
- ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, AND SHALL COMPLY WITH ALL LOCAL, STATE, AND NATIONAL REGULATIONS AND CODES.
- INTERIOR WALLS AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED FOR FIRE PERFORMANCE AND SMOKE DEVELOPMENT IN ACCORDANCE WITH SEC 808.1.1
- ALL INTERIOR FLOOR MATERIAL AND FLOOR COVERING SHALL COMPLY WITH SEC. 804.2 - 804.4 AND SEC. 804.1 OF IBC 2021.
- ALL INDIVIDUAL GLAZING IN HAZARDOUS LOCATIONS SHALL MEET SAFETY GLAZING IN ACCORDANCE WITH SEC.2406 OF IBC 2021
- ALL COMMERCIAL COOKING EQUIPMENT SHALL BE IN ACCORDANCE WITH SEC.904.11 OF IBC 2021
- LAVATORIES SHALL COMPLY WITH THE FOLLOWING: HOT WATER DRAIN PIPE SHALL BE INSULATED & COVERED. FAUCETS SHALL COMPLY WITH 4-27.
- VISUAL ALARM NOTIFICATION SHALL BE PROVIDED IF A FIRE ALARM SYSTEM AS REQUIRED BY CODE.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS AS REQUIRED.
- PROVIDE 5x5' MIN. LANDING OUTSIDE EXTERIOR DOORS, LEVEL WITH THE INTERIOR FLOOR, W/ MAX. 2% SLOPE AWAY FROM BLDG.
- ALL LOCKS ON DOORS IN MEANS OF EGRESS SHALL NOT REQUIRE THE USE OF A KEY, SPECIAL DEVICE, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE OF THE DOOR.
- A REQUIRED FIRE SEPARATION SHALL BE CONTINUOUS FROM FOUNDATION THROUGH ALL INTERVENING CONSTRUCTION UP TO THE ROOF DECK.
- GROUND & FLOOR SURFACES SHALL BE SLIP RESISTANT UNDER ALL WEATHER CONDITIONS.
- THRESHOLDS SHALL COMPLY W/ ALL REQUIREMENTS & CHANGES IN LEVEL SHALL NOT BE MORE THAN 1/2" & BEVELED IF OVER 1/4".
- PROVIDE ACCESS FOR PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE ADA-ABA ACCESSIBILITY GUIDELINES, JULY 23, 2004 (ALSO KNOWN AS THE 2010 STANDARDS), COMPLIANCE WITH STATE REGULATIONS AND REQUIREMENTS DOES NOT GUARANTEE COMPLIANCE WITH FEDERAL LAW. NOTE: AS PER ADA-ABA 2004, SECTION F103, OFFICE OF STATE FIRE MARSHAL APPEAL DETERMINATIONS ARE NOT VALID FOR FACILITIES THAT ARE DESIGNED, CONSTRUCTED, ALTERED, OR OPERATED WITH FEDERAL FUNDS, OR LEASED BY A FEDERAL AGENCY. THE AUTHORITY HAVING JURISDICTION OVER SUCH APPEALS IS THE ADMINISTRATOR OF THE GENERAL SERVICES ADMINISTRATION (GSA)
- 4.5 GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP-RESISTANT.
- 4.5.2 THRESHOLDS SHALL COMPLY WITH REQUIREMENTS OF THIS SECTION REGARDING CHANGES IN LEVEL (NOT MORE THAN 1/2" HEIGHT, BEVELED IF OVER 1/4")
- 4.13.9 DOOR HARDWARE SHALL COMPLY WITH THIS SECTION. HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- 4.1.3(9) AND 4.3.10 EACH REQUIRED AT THE LEVEL OF EXIT DISCHARGE SHALL BE AN ACCESSIBLE MEANS OF EGRESS TO GRADE.
- 4.5.7 PROVIDE EDGE PROTECTION AT OPEN SIDES OF RAMPS AND LANDINGS. CURBS SHALL BE NOT LESS THAN 4" HIGH IN ACCORDANCE WITH 101.7.2.5.3
- 4.1.3(11) AND 4.1.6(3)(C) ALL PUBLIC AND COMMON USE TOILET ROOMS SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION 4.22.
- 4.13.6 PROVIDE MANEUVERING CLEARANCE AT DOORS IN ACCORDANCE WITH FIGURE 25(A)(B)(C).
- 4.19 LAVATORIES SHALL COMPLY WITH THE FOLLOWING:
  - 4.19.2 LAVATORIES SHALL BE MOUNTED WITH A SINGLE CLEARANCE OF AT LEAST 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. KNEE AND TOE CLEARANCE SHALL COMPLY WITH FIG.31.
  - 4.19.4 HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR COVERED.
  - 4.19.5 AND 4.2.7.4 FAUCETS SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
  - 4.19.6 MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE NOT MORE THAN 40" FROM THE FLOOR.
- 101:7.2.1.2,3,2.2, 101:7.1.5.1, AND IBC 1006.1.1 A DOORWAY IN A MEANS OF EGRESS SHALL PROVIDE AT LEAST 32" IN CLEAR WIDTH (CONSIDER INSTALLING 36" WIDE DOORS) AND AT LEAST 6'-8" IN HEIGHT. WHERE A PAIR OF DOORS IS PROVIDED, AT LEAST ONE LEAF SHALL COMPLY WITH CLEAR WIDTH REQUIREMENT.
- 101:7.2.1.3.1, 101:7.1.6.3, AND IBC 1006.1.5 THROUGH 1006.1.7 THE FLOOR ELEVATION SHALL NOT CHANGE BY MORE THAN 1/2" FROM ONE SIDE OF A DOOR TO THE OTHER.
- 101:7.2.1.3 AND IBC 1006.1.5 THROUGH 1006.1.7 PROVIDE LEVEL LANDINGS OUTSIDE EXTERIOR DOORS THAT ARE WITHIN 1/2" OF THE INTERIOR FINISH FLOOR ELEVATION.
- 101:12.3.3 INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD OF 0-200 AND A SMOKE DEVELOPMENT RATING OF 0-450.
- 101:7.2.1.5 AND IBC 1006.1.9 LOCKS ON DOORS IN MEANS OF EGRESS SHALL NOT REQUIRE THE USE OF A KEY, SPECIAL DEVICE, OR SPECIAL KNOWLEDGE TO OPEN IN THE DIRECTION OF EGRESS.
- 101:7.2.1.5.9 AND IBC 1006.1.9.4 THROUGH 1006.1.9.5 DOORS SHALL BE OPERABLE WITH ONLY ONE RELEASING OPERATION. A TWO-STEP RELEASE, SUCH AS A KNOB AND AN INDEPENDENT SLIDE BOLT, IS NOT ACCEPTABLE.
- LAC 55:V-303.D PROVIDE LISTED PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. (REFER TO APPENDIX E FOR DISTRIBUTION INFORMATION.)
- NFPA 105.2 CLASSIFICATION FOR FIRES: CLASS A FIRES - FIRES IN ORDINARY COMBUSTIBLE MATERIALS, SUCH AS WOOD, CLOTH, PAPER, RUBBER, AND MANY PLASTICS. CLASS B FIRES - FIRES IN FLAMMABLE LIQUIDS, COMBUSTIBLE LIQUIDS, PETROLEUM GREASES, TARS, OILS, OIL-BASED PAINTS, SOLVENTS, ALCOHOLS AND FLAMMABLE GASES. CLASS C FIRES - FIRES THAT INVOLVE ENERGIZED ELECTRICAL EQUIPMENT. CLASS D FIRES - FIRES IN COMBUSTIBLE METALS, SUCH AS MAGNESIUM, TITANIUM, ZIRCONIUM, SODIUM, LITHIUM AND POTASSIUM. CLASS K FIRES - FIRES IN COOKING APPLIANCES THAT INVOLVE COMBUSTIBLE COOKING MEDIA (VEGETABLE OR ANIMAL OILS AND FATS.) (FOR USE ONLY AFTER ASSOCIATED FIRE SUPPRESSION SYSTEM HAS ACTIVATED AND ELECTRICAL POWER TO THE COOKING APPLIANCES HAS SHUTTED)
- COMPLIANCE WITH NFPA 70, NATIONAL ELECTRICAL CODE (NEC), IS MANDATED BY RS 40-17.30.28.A(7). CONTACT THE LOCAL BUILDING OFFICIAL OF THE APPLICABLE LOCAL POLITICAL SUBDIVISION OR A LOUISIANA STATE UNIFORM CONSTRUCTION CODE COUNCIL REGISTERED THIRD-PARTY PROVIDER TO VERIFY PLAN REVIEW AND INSPECTION REQUIREMENTS OF THE PROPOSED ELECTRICAL WORK.
- PROVIDE EMERGENCY LIGHTING ACCORDING TO 101.5.9.
- 101.6.2 A REQUIRED FIRE SEPARATION SHALL BE CONTINUOUS FROM FOUNDATION THROUGH ALL INTERVENING CONSTRUCTION TO THE ROOF DECK.
- 4.5 GROUND AND FLOOR SURFACE SHALL BE SLIP RESISTANT UNDER ALL WEATHER CONDITIONS.
- 4.5.2 THRESHOLDS SHALL COMPLY WITH REQUIREMENTS OF THIS SECTION REGARDING CHANGE IN LEVEL (NOT MORE THAN 1/2" HEIGHT & BEVELED IF OVER 1/4")
- 4.15.5 DOOR HARDWARE SHALL COMPLY WITH THIS SECTION. HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- VISUAL ALARM NOTIFICATION SHALL BE PROVIDED IF A FIRE ALARM SYSTEM IS REQUIRED BY CODE.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS AS DEFINED & REQUIRED BY IBC 2021 SECTION 2406.
- 101:5.2.3 PROVIDE LANDINGS OUTSIDE EXTERIOR DOORS LEVEL WITH THE INTERIOR FLOOR. 101:5.2.1.5 LOCKS ON DOORS IN MEANS OF EGRESS SHALL NOT REQUIRE THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE OF THE DOOR.

PLAN REVIEW DATA

PROJECT ADDRESS:

1020 FORSTALL STREET  
NEW ORLEANS, LA 70117

LOT INFORMATION

LOT: H-3 SQUARE: 340  
ORLEANS PARISH, LA

FLOOD ZONE: AE / X  
BASE FLOOD ELEVATION = MATCH EXISTING  
TOP OF SLAB = MATCH EXISTING

BUILDING AREAS:

EXISTING BUILDING AREA:	5,940 SF
PROPOSED ADDITION :	1,989 SF
TOTAL BUILDING AREA:	7,929 SF

OCCUPANCY LOAD CALCULATION:

ASSEMBLY (UNCONCENTRATED):	3,362 SF @ 15 S.F. / PERSON = 224
BUSINESS AREAS:	1,020 SF @ 150 S.F. / PERSON = 6.8
EDUCATIONAL (CLASSROOM):	560 SF @ 20 S.F. / PERSON = 28
EDUCATIONAL (LIBRARY):	650 SF @ 50 S.F. / PERSON = 13
CLOSETS (HALLWAYS) RESTROOMS:	1,819 SF @ 300 S.F. / PERSON = 6
TOTAL OCCUPANTS:	278

TOTAL EXIT CALCULATION:

278 PEOPLE @ 0.2" / PERSON = 55.6"  
TOTAL REQUIRED CLEAR EXIT WIDTH: 56"

PARKING:

ASSEMBLY, GROUP A-3 (CHURCH) = 1 SPACE PER 350 SF GFA  
GROSS BLDG. AREA = 7,929 SF / 350 SF PER SPACE = 22.6  
TOTAL REQUIRED NEW PARKING = 15 SPACES  
TOTAL PARKING PROVIDED = 21 SPACES (INCL. 2 ADA SPACES)

STRUCTURAL DESIGN DATA:

2021 INTERNATIONAL BUILDING CODE, WITH REFERENCES  
ASCE 7-2010, ACI 318-05, AISC 13TH EDITION (ASD)

DESIGN METHOD: ASCE-7 SIMPLIFIED

LIVE LOADS:

FLOORS = 100 PSF  
ROOF = 20 PSF

WIND LOAD DESIGN DATA: ASCE 7-2010

3-SEC PEAK GUST MPH  
RISK CATEGORY II

WIND SPEED : V ULT = 150 MPH  
V ASD = 116 MPH

WIND EXPOSURE B  
INTERNAL PRESSURE COEFF. +/-0.18

PILE DESIGN LOAD CAPACITY:

CLASS "S" (TREATED) 30'-0"  
5 TON ALLOWABLE

PLUMBING SCOPE:

NO PLUMBING WORK INCLUDED IN SCOPE OF WORK.

ALL INCIDENTAL PLUMBING WORK IS TO COMPLY WITH CURRENT IPC, IMC, AND IFC AS ENFORCED BY ORLEANS PARISH. ALL WORK IS TO BE PERFORMED BY A PLUMBING CONTRACTOR LICENSED IN THE APPLICABLE JURISDICTION(S). PLUMBING CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSPECTIONS, AND CODE COMPLIANCE FOR ALL PLUMBING WORK. INSTALL ALL ITEMS NECESSARY FOR THE INDICATED ELECTRICAL FIXTURES. ALL PLUMBING FIXTURES AND EQUIPMENT TO BE SELECTED BY OWNER AS INDICATED. CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND PROJECT SCOPE PRIOR TO SUBMITTING BID.

MECHANICAL SCOPE:

INSTALL ALL NEW HVAC AS INDICATED ON PLANS. ALL EXISTING HVAC SHALL REMAIN. PROVIDE AND INSTALL NEW AC UNIT AS INDICATED ON PLANS.

ALL MECHANICAL WORK IS TO COMPLY WITH CURRENT IMC AND IFC AS ENFORCED BY ORLEANS PARISH. ALL WORK IS TO BE PERFORMED BY A MECHANICAL CONTRACTOR LICENSED IN THE APPLICABLE JURISDICTION(S). MECHANICAL CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSPECTIONS, AND CODE COMPLIANCE FOR ALL MECHANICAL WORK. INSTALL ALL ITEMS NECESSARY FOR THE INDICATED MECHANICAL FIXTURES. ALL MECHANICAL FIXTURES TO BE SELECTED BY OWNER AS INDICATED. CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND PROJECT SCOPE PRIOR TO SUBMITTING BID.

ELECTRICAL SCOPE:

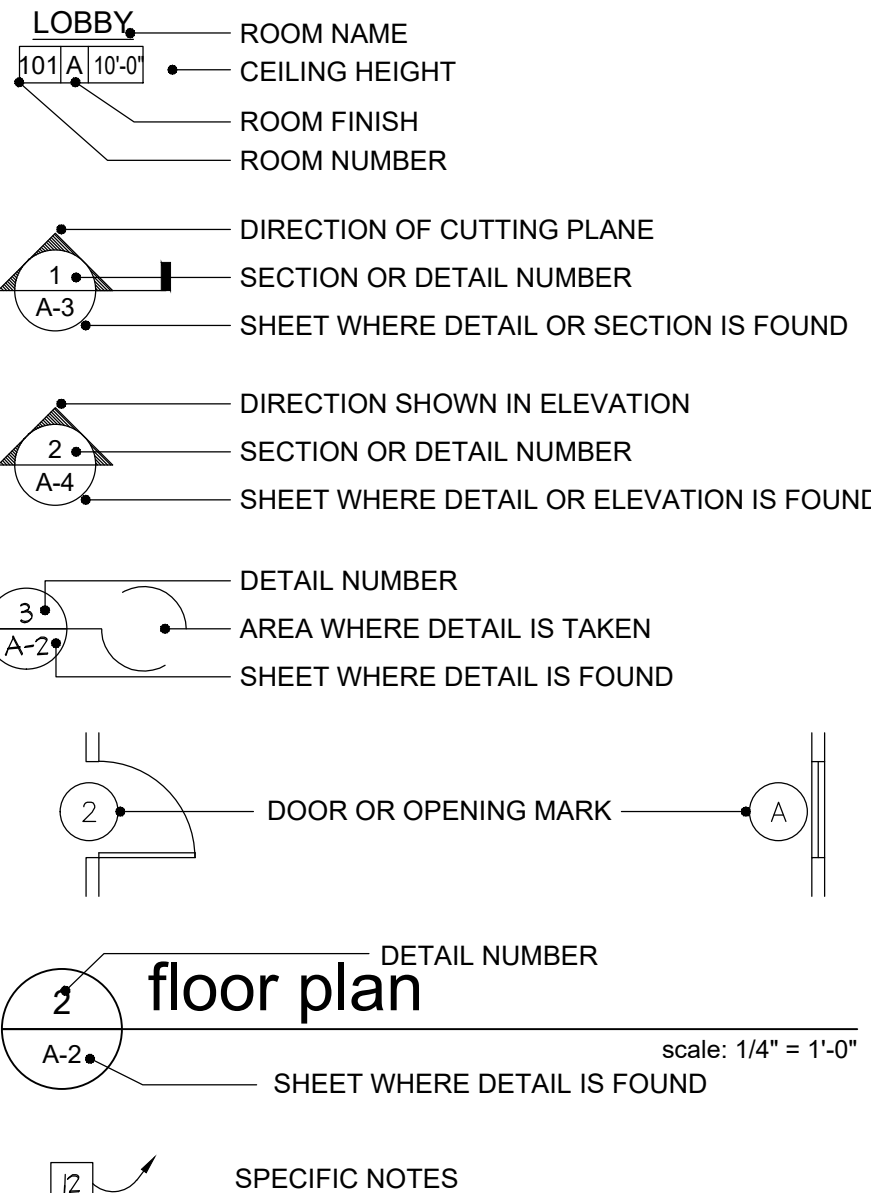
INSTALL ALL NEW LIGHT FIXTURES AND POWER RECEPTACLES AS INDICATED ON PLANS. ALL EXISTING CIRCUITRY AND PANELS SHALL REMAIN - REPAIR OR REPLACE AS REQUIRED PER CODE.

ALL ELECTRICAL WORK IS TO COMPLY WITH CURRENT NEC AS ENFORCED BY ORLEANS PARISH. ALL WORK IS TO BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED IN THE APPLICABLE JURISDICTION(S). ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSPECTIONS, AND CODE COMPLIANCE FOR ALL ELECTRICAL WORK. INSTALL ALL ITEMS NECESSARY FOR THE INDICATED ELECTRICAL FIXTURES. ALL ELECTRICAL FIXTURES TO BE SELECTED BY OWNER. CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND PROJECT SCOPE PRIOR TO SUBMITTING BID.



SITE AERIAL - N.T.S.

ARCHITECTURAL SYMBOLS



PROJECT DIRECTORY

OWNER / AGENT:

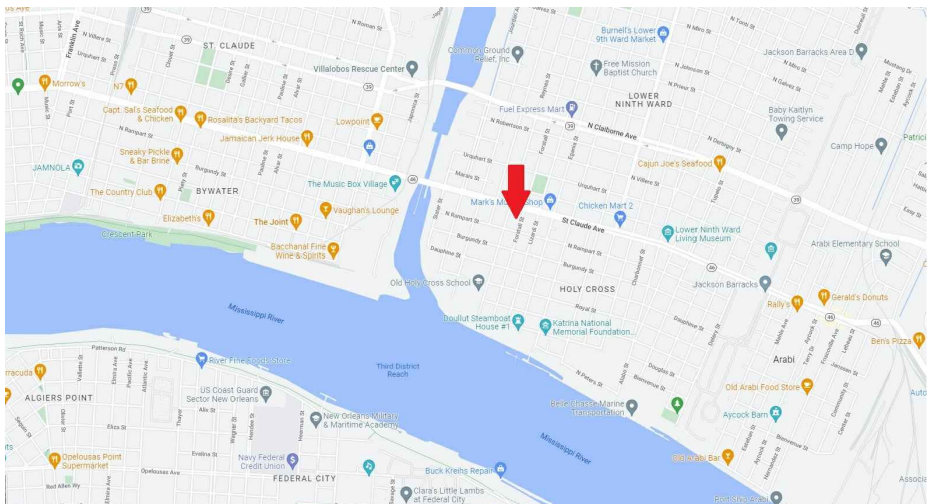
ST PAUL CHURCH OF GOD IN CHRIST  
1020 FORSTALL STREET  
NEW ORLEANS, LA 70117

PROJECT DESIGNER:

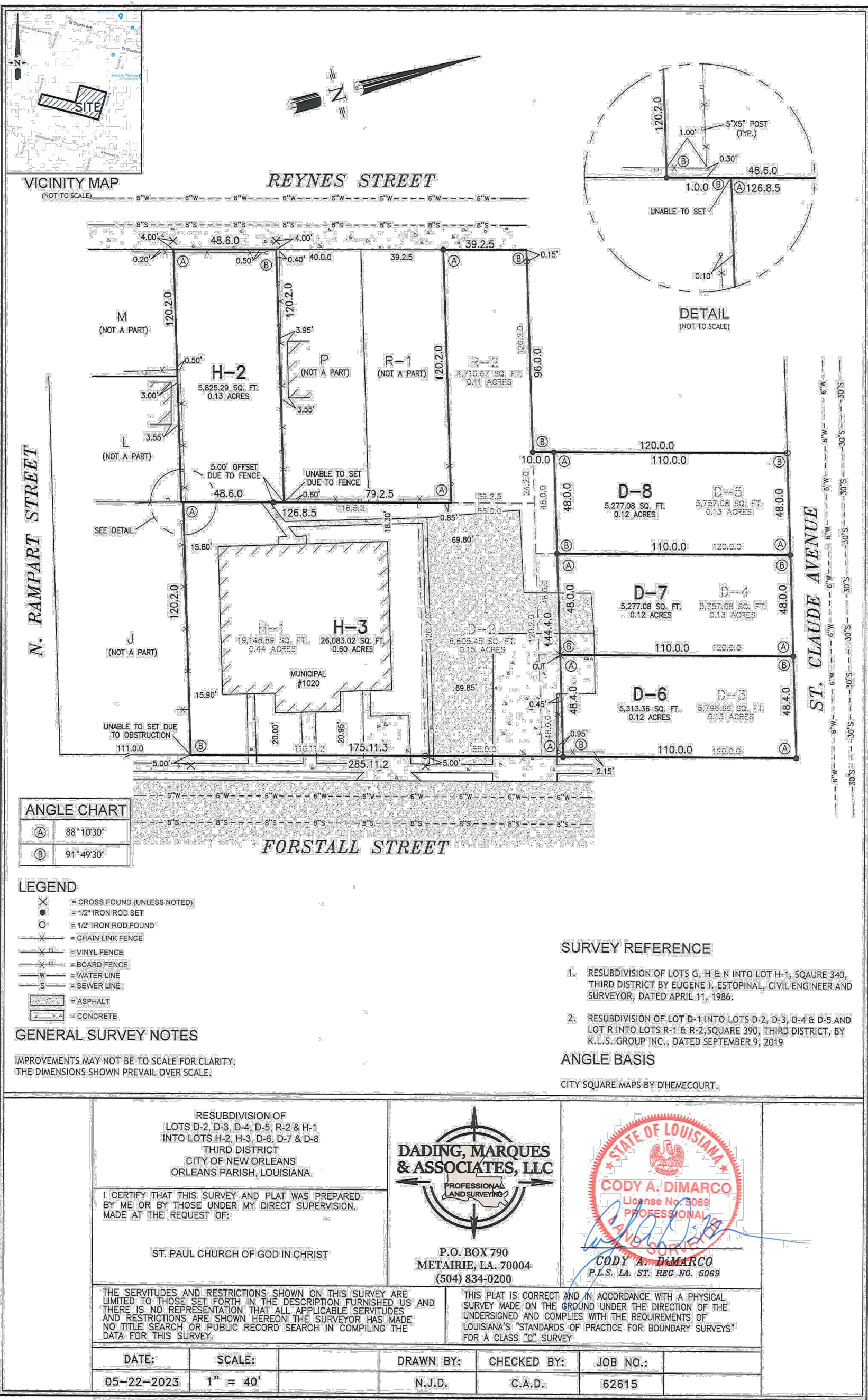
DESIGN BUILD CONSULTING, LLC  
DESTREHAN, LA. 70047  
tel: (504) 339.3842

PROFESSIONAL OF RECORD:

HUSSEIN SKAIKAY, P.E.  
13199 ELLENDALE DR.  
GONZALES, LA. 70737  
tel: (504) 638-3942



VICINITY MAP - N.T.S.



EXISTING PROPERTY SURVEY

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design + build  
consulting, llc

DESTREHAN, LOUISIANA. 504 . 339 . 3842



A D D I T I O N T O :  
1020 FORSTALL STREET  
NEW ORLEANS, LOUISIANA, 70117

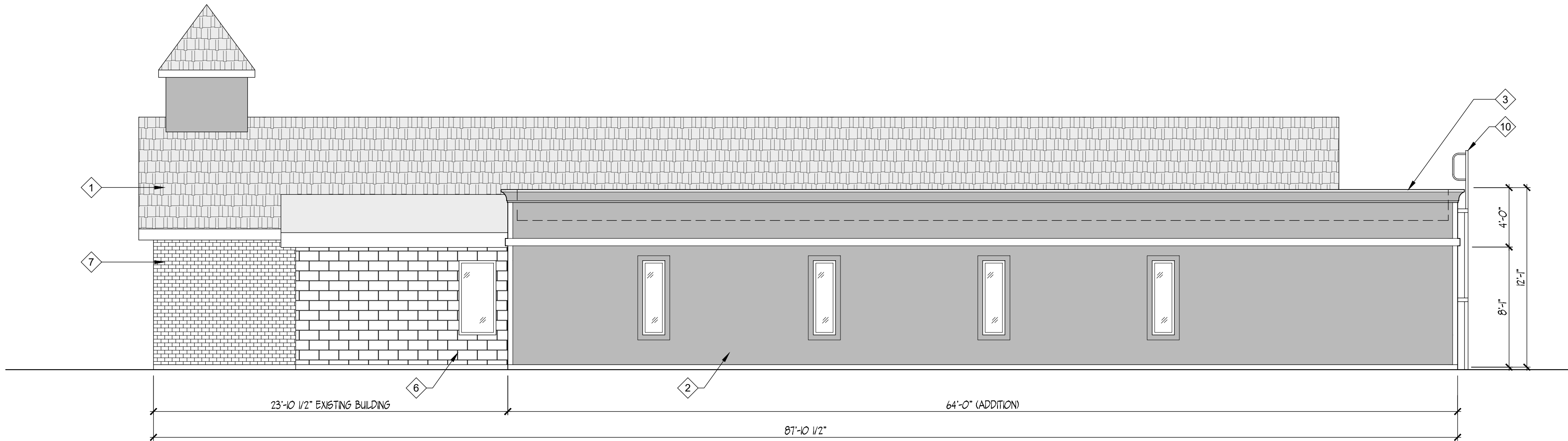
project no.:	2307
date:	8/19/23
drawn by:	ys
checked by:	hs
revisions:	

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of  
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project information,  
general notes, property survey,  
plan review data

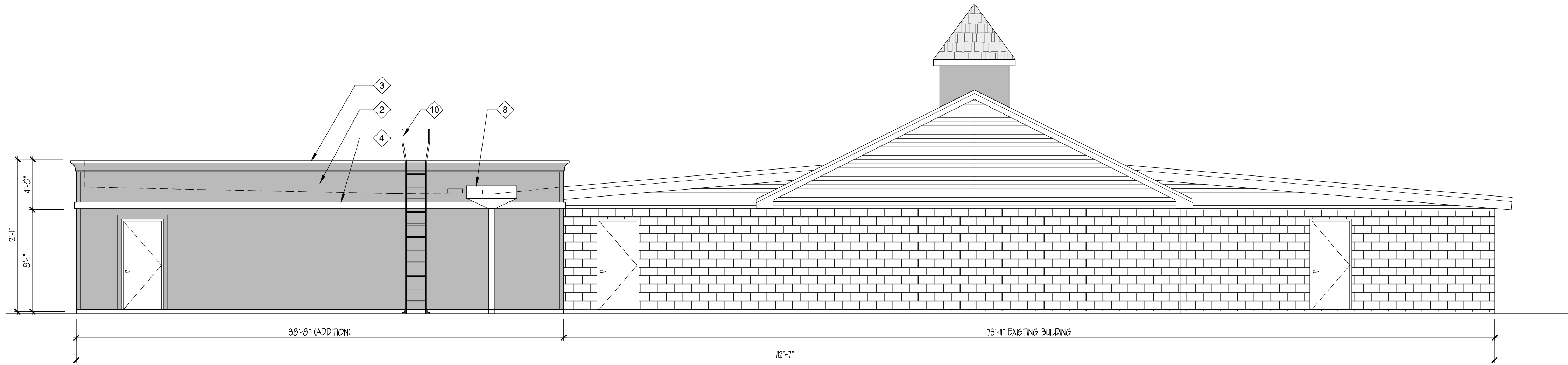


exterior material schedule			#
MARK	MATERIAL	DESCRIPTION	
1	SHINGLE ROOFING	EXISTING ASPHALT SHINGLE ROOFING TO REMAIN (REPAIR OR REPLACE IN KIND, AS NEEDED)	
2	CEMENT PLASTER	3/4" - 7/8" MIN. CEMENT PLASTER / STUCCO FINISH (TYPE & COLORS SELECTED BY OWNER)	
3	METAL CAP	4" PREFINISHED 2-PIECE COMPRESSION METAL CAP	
4	C.P. MOULDING	CEMENT PLASTER MOULDING BAND	
5	STOREFRONT SYS.	IMPACT RATED INSULATED GLAZING	
6	CONC. MASONRY	EXISTING 8x16 CMU EXTERIOR WALL (TO REMAIN - CLEAN AND REPAIR AS NEEDED)	
7	BRICK VENEER	EXISTING BRICK VENEER EXTERIOR FINISH (TO REMAIN - CLEAN AND REPAIR AS NEEDED)	
8	ALUM. GUTTER	ALUM. GUTTERS & DOWNSPOUTS	
9	ALUM. AWNING	ALUM. AWNING OR STANDING SEAM	
10	ROOF LADDER	OSHA COMPLIANT ROOF ACCESS LADDER W/ METAL GUARD GATE UP TO 8' AFF AND LOCKING HASP	



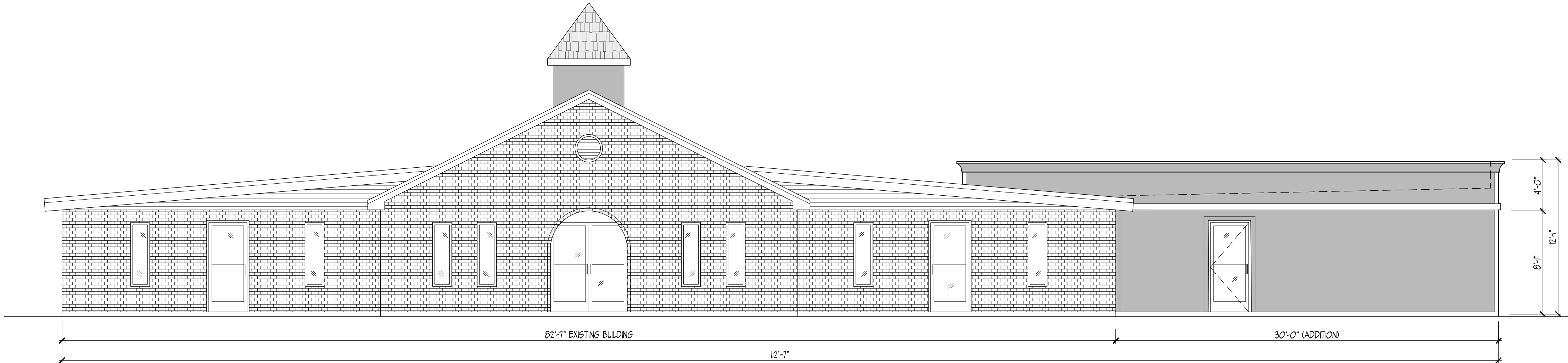
3 exterior side elevation

3/16" = 1'-0"



2 exterior rear elevation

3/16" = 1'-0"



1 exterior front elevation

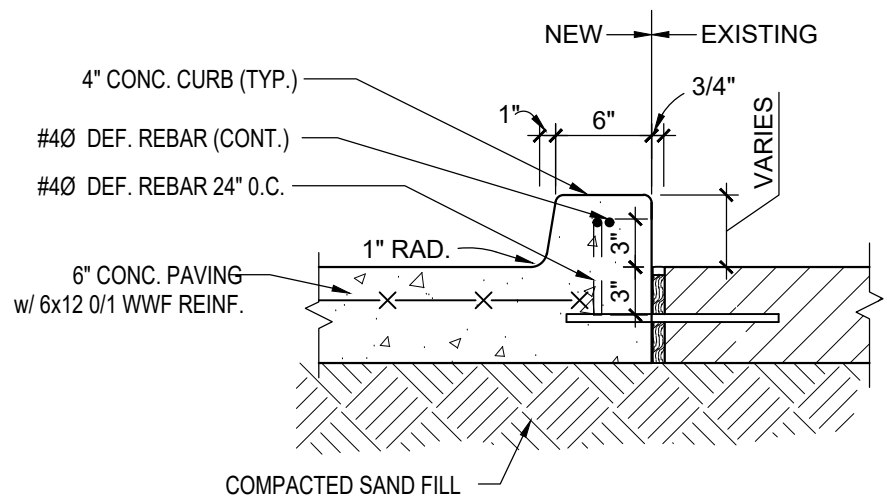
1/4" = 1'-0"



A D D I T I O N T O :  
1020 FORSTALL ST  
1020 FORSTALL STREET  
NEW ORLEANS, LOUISIANA, 70117

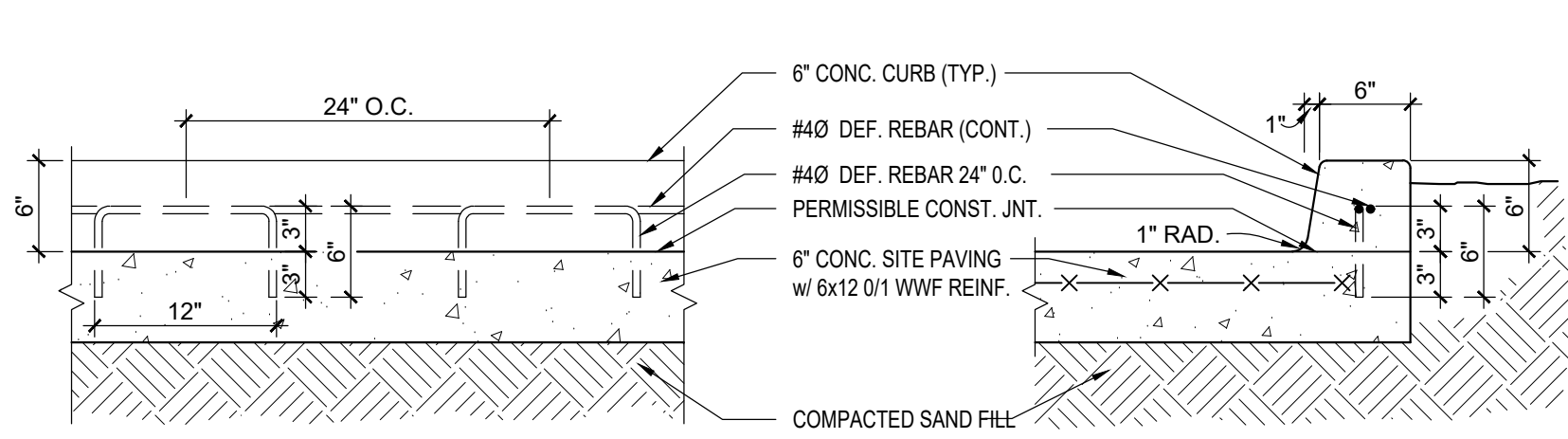
project no.:	2307
date:	8/19/2023
drawn by:	ys
checked by:	hs
revisions:	





5 new curb to existing paving

scale: 1" = 1'-0"

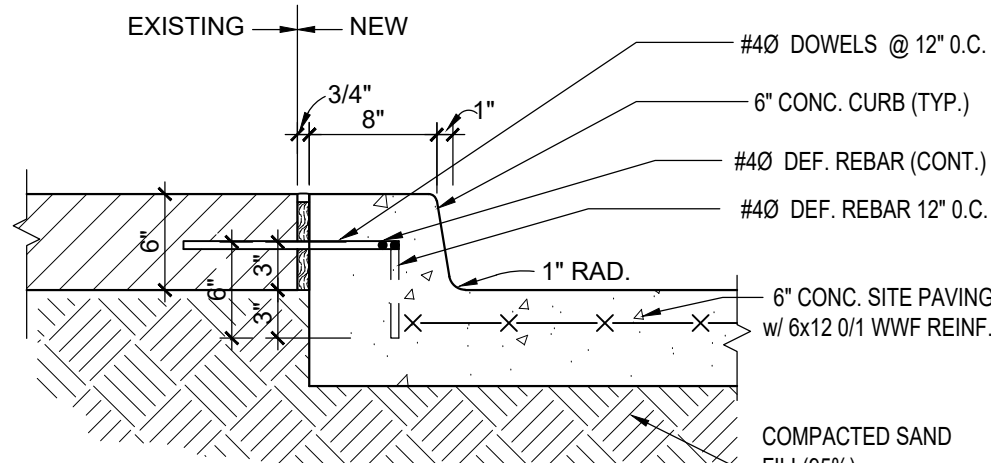


4 typical curb detail

scale: 1" = 1'-0"

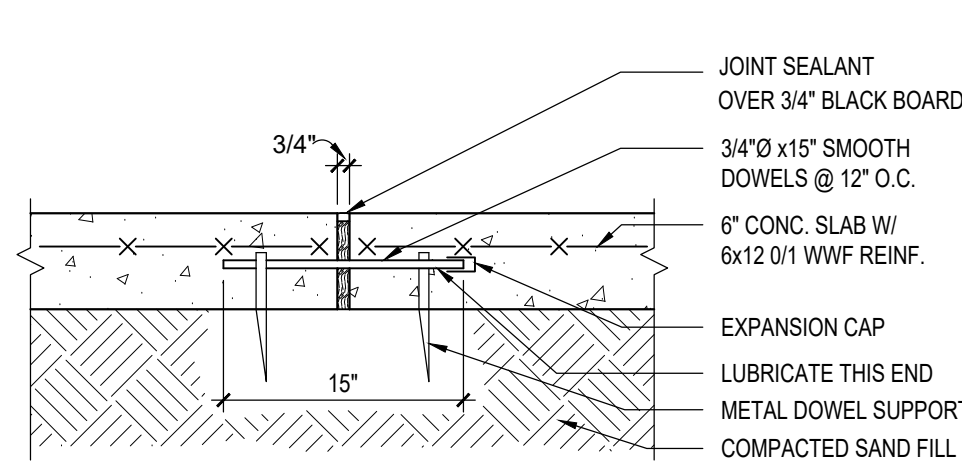
PAVING GENERAL NOTES:

1. ALL NEW PAVING SHALL BE 4,000 PSI REINF. CONCRETE DJ (DUMMY JOINTS) SHALL BE NOT MORE THAN 16'-0" O.C. AND SHALL BE REINFORCED WITH 2'-0" #4 DEFORMED BARS @ 30" O.C.
2. ALL EXISTING DRIVEWAY ENTRANCES TO REMAIN (NO CHANGE).
3. PAVING AND DRIVEWAY CONSTRUCTION DETAIL TO BE AMENDED BY ORLEANS PARISH DPW AS REQUIRED.
4. REFER TO ORLEANS PARISH DPW STANDARD DRAWINGS FOR DETAILS DRIVEWAYS FOR STREET CONSTRUCTION DETAILS



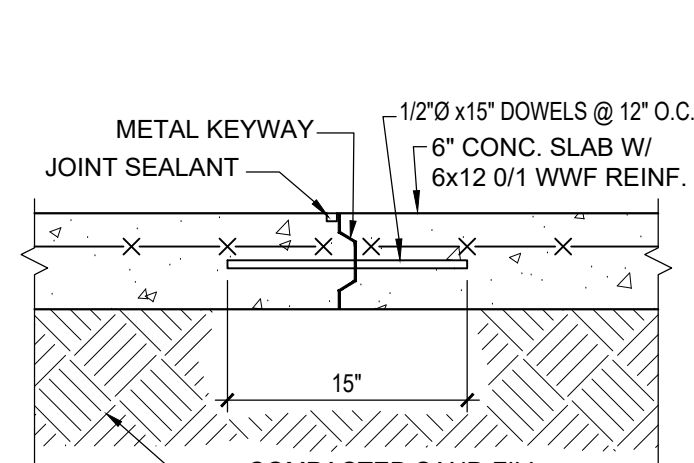
7 paving tie-in detail (typ.)

scale: 1" = 1'-0"



6 typ. e.j. detail

scale: 1" = 1'-0"

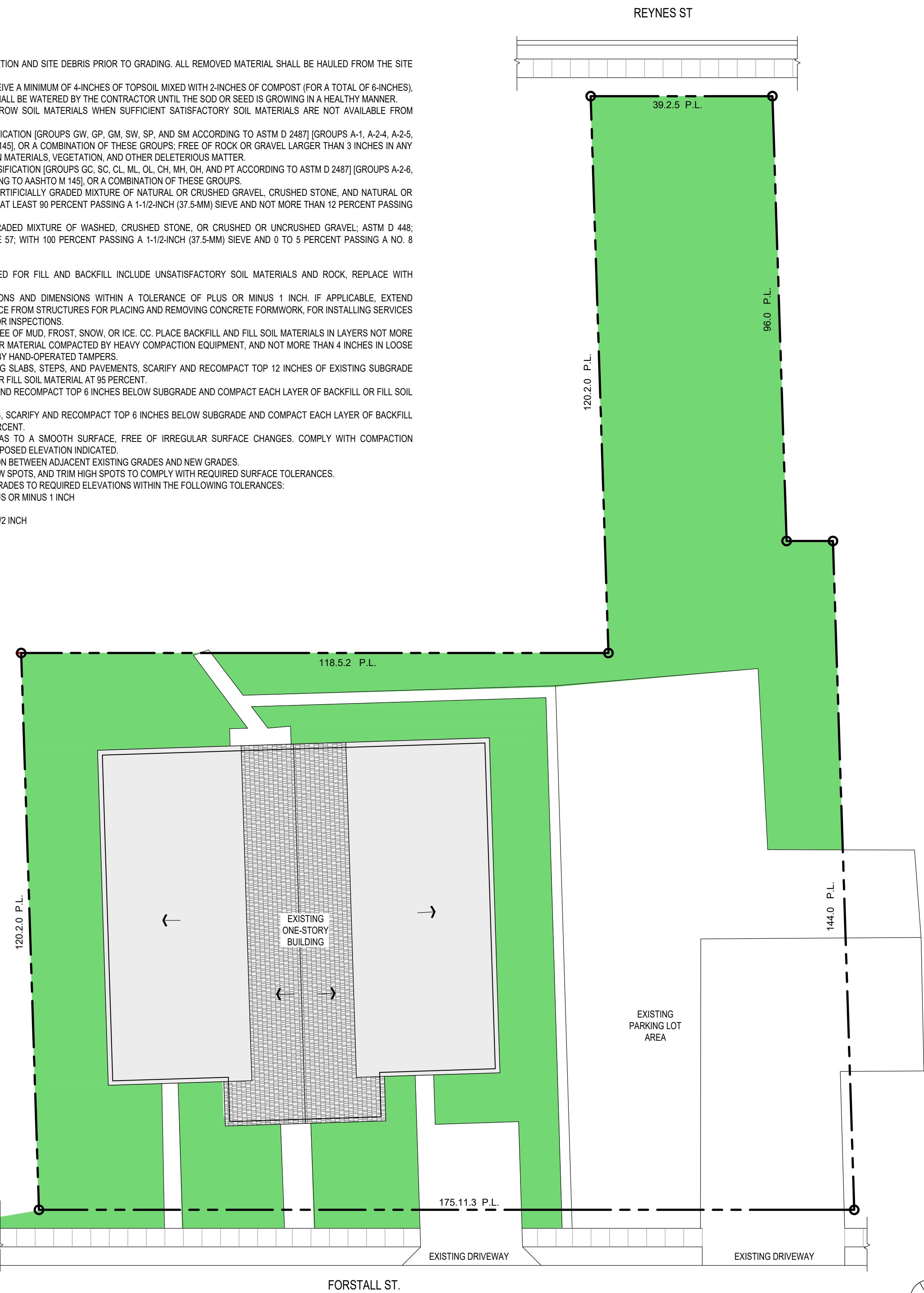


7 typ. c.j. detail

scale: 1" = 1'-0"

SITE GRADING GENERAL NOTES:

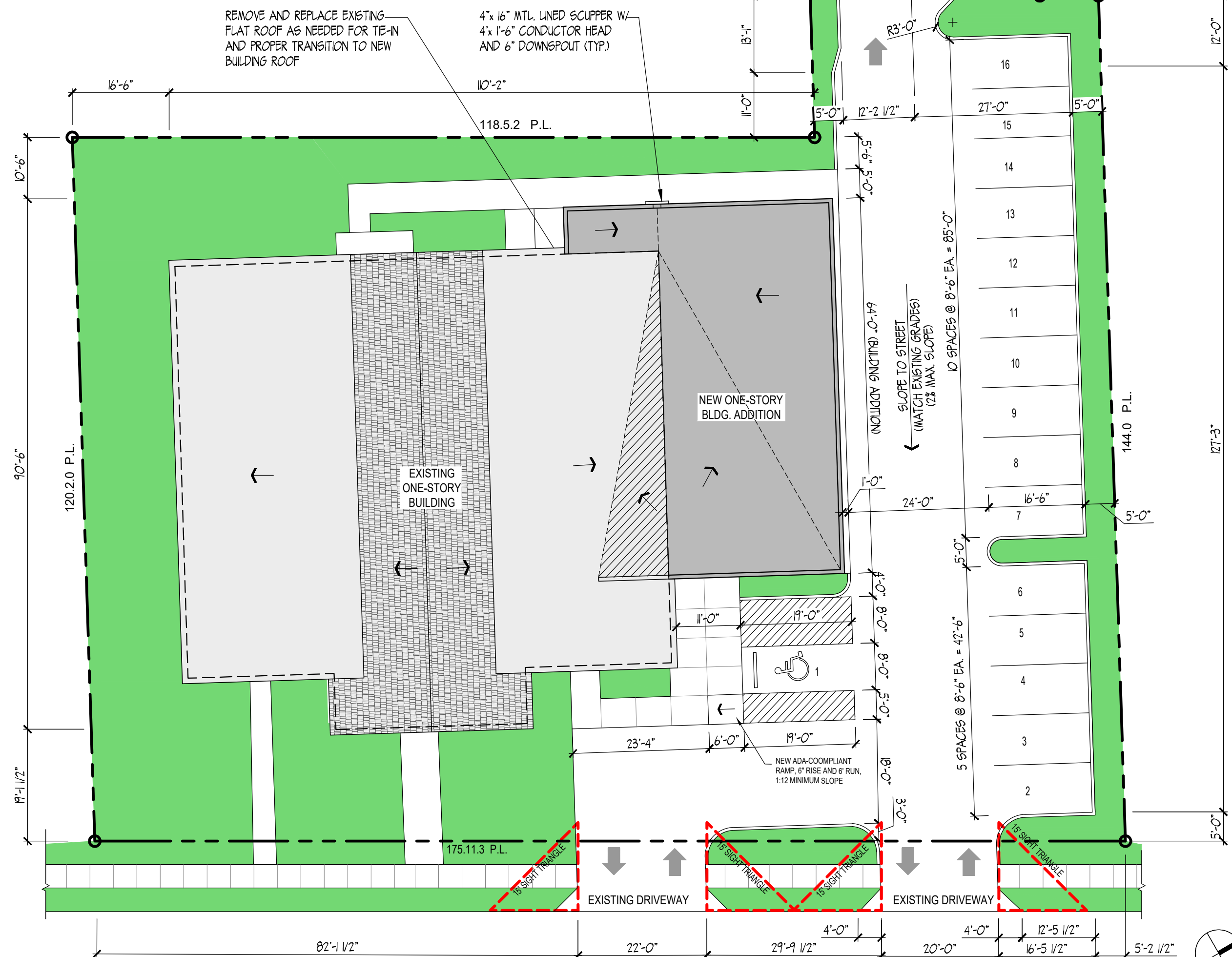
- A. CLEAR, GRUB AND REMOVE VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY.
- B. ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL MIXED WITH 2-INCHES OF COMPOST (FOR A TOTAL OF 6-INCHES), AND SOO OR SEED. THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOO OR SEED IS GROWING IN A HEALTHY MANNER.
- C. FILL SOIL MATERIAL: PROVIDE BORROW SOIL MATERIALS WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS.
- D. SATISFACTORY SOILS: SOIL CLASSIFICATION [GROUPS GW, GP, GM, SW, SP, AND SM ACCORDING TO ASTM D 2487] [GROUPS A-1, A-2.4, A-2.5, AND A-3 ACCORDING TO AASHTO M 145], OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.
- E. UNSATISFACTORY SOILS: SOIL CLASSIFICATION [GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487] [GROUPS A-2.6, A-2.7, A-4, A-5, A-6, AND A-7 ACCORDING TO AASHTO M 145], OR A COMBINATION OF THESE GROUPS.
- F. ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 (0.075-MM) SIEVE.
- G. DRAINAGE COURSE: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 (2.36-MM) SIEVE.
- H. SAND: ASTM C 33, FINE AGGREGATE.
- I. IF EXCAVATED MATERIALS INTENDED FOR FILL AND BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS.
- J. EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
- K. PLACE BACKFILL ON SUBGRADES FREE OF MUD, FROST, SNOW, OR ICE. CC. PLACE BACKFILL AND FILL SOIL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
  1. UNDER STRUCTURES, BUILDING SLABS, STEPS, AND PAVEMENTS, SCARIFY AND RECOMPACT TOP 12 INCHES OF EXISTING SUBGRADE AND EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 95 PERCENT.
  2. UNDER WALKWAYS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACT EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 95 PERCENT.
  3. UNDER TURF OR UNPAVED AREAS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACT EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 85 PERCENT.
- L. GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO PROPOSED ELEVATION INDICATED.
  1. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
  2. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- M. SITE ROUGH GRADING: FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
  1. TURF OR UNPAVED AREAS: PLUS OR MINUS 1 INCH
  2. WALKS: PLUS OR MINUS 1 INCH
  3. PAVEMENTS: PLUS OR MINUS 1/2 INCH



1 existing site plan / roof plan

A-1

PLAN NORTH  
1/16" = 1'-0"



1 proposed site plan / roof plan

A-1

PLAN NORTH  
1/16" = 1'-0"

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ADDITION TO:  
1020 FORSTALL ST  
NEW ORLEANS, LOUISIANA, 70117

project no.:	2307
date:	8/19/2023
drawn by:	ys
checked by:	hs
revisions:	02/18/24

A-1

2  
of  
9

existing site plan,  
proposed site / roof plan,  
paving details



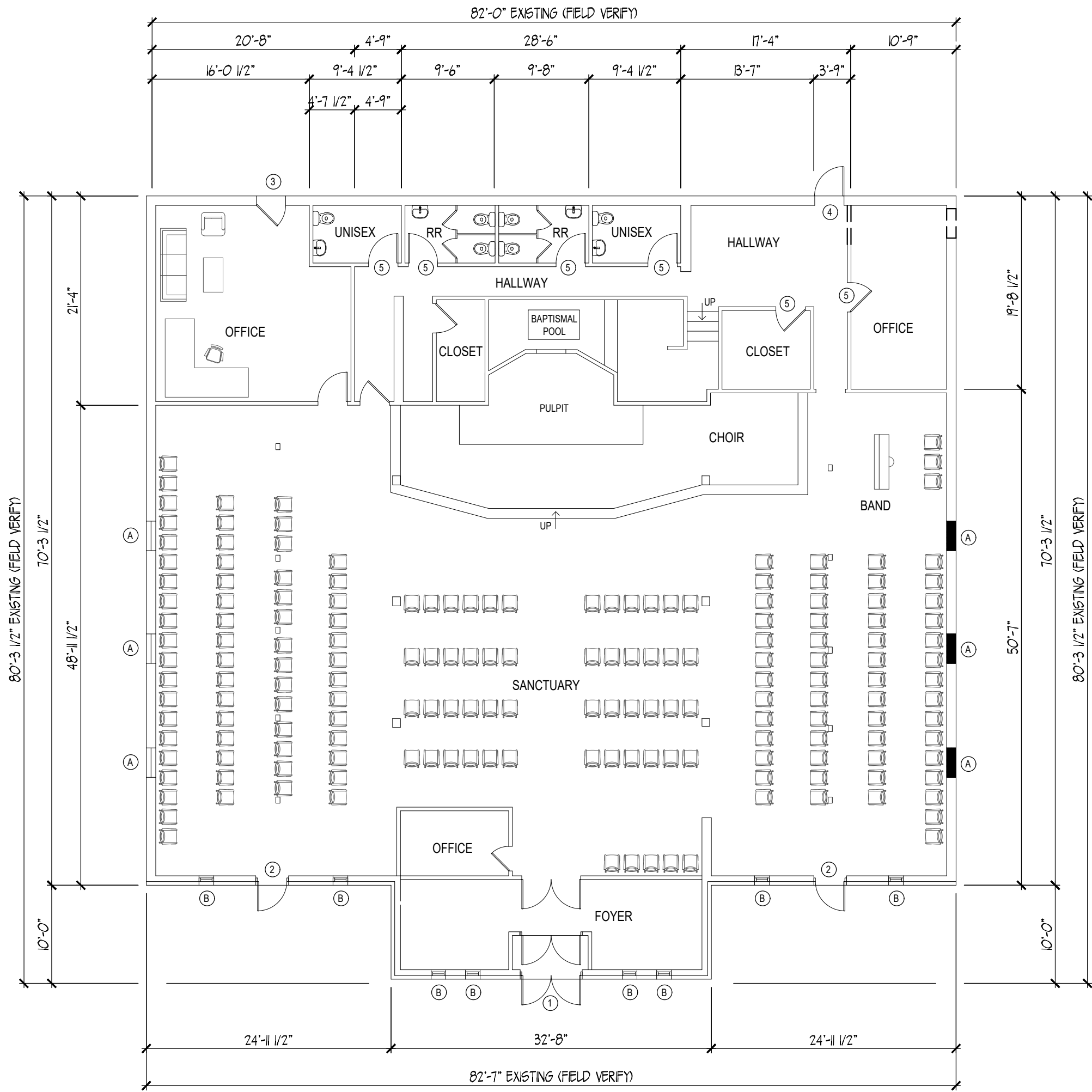
opening schedule					
doors					
mark	size	description	frame	hardware	
1	6'-0" X 7'-0"	EXISTING PAIR 3'-0" x 7'-0" STOREFRONT ENTRANCE DOOR TO REMAIN	ALUM.	-	
2	3'-0" X 7'-0"	EXISTING STOREFRONT EXIT DOOR, FULL LITE W/ 36" TRANSOM AND SIDELITES	ALUM.	-	
3	3'-0" X 7'-0"	EXISTING FLUSH HOLLOW METAL EXIT DOOR (1-HR FIRE RATED DOOR)	STEEL	PANIC	
4	3'-0" X 7'-0"	NEW FLUSH HOLLOW METAL EXIT DOOR W/ AUTOMATIC CLOSER	STEEL	-	
5	3'-0" X 7'-0"	NEW PLASTIC LAMINATE SOLID WOOD DOOR	STEEL	-	
6	3'-0" X 7'-0"	NEW 90-MIN. FIRE RATED DOOR & FRAME, WITH AUTOMATIC CLOSER	STEEL	-	
7	2'-8" X 7'-0"	EXISTING PLASTIC LAMINATE SOLID WOOD DOOR - (TO REMAIN)	STEEL	-	
8	6'-0" X 7'-0"	PAIR 3'-0"x 7'-0" MASONITE ENTRANCE DOOR TO REMAIN	STEEL	-	
				-	
windows					
mark	size	description	type	frame	head ht.
A	1'-6" X 5'-0"	EXISTING FIXED STOREFRONT WINDOW UNIT (TO REMAIN) SEAL EXISTING WINDOWS AS INDICATED, WITH MATERIALS IN KIND	-	ALUM.	EXIST.
B	1'-6" X 5'-0"	EXISTING FIXED STOREFRONT WINDOW UNIT (TO REMAIN)	-	ALUM.	EXIST.
C	1'-6" X 5'-0"	SAME AS EXISTING WINDOW (B). MATCH EXISTING TYPE AND STYLE (AS SELECTED BY OWNER)	C	ALUM.	MATCH EXIST.
OPENING NOTES: ALL GLAZED OPENINGS IN FIRST FLOOR SHALL MEET IMPACT RATING AS REQUIRED BY IBC 2021.					
ALL INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL MEET THE REQUIREMENTS OF SECTION 2406.4 FOR SAFETY GLAZING OF THE IBC 2021. ALL INDIVIDUAL GLAZED AREAS IN DOORS AND WINDOWS SHALL MEET THE REQUIREMENTS OF SECTION 2406.4 OF THE IBC 2021.					

wall schedule			
mark		rating	wall ht.
W1	EXISTING EXTERIOR MASONRY WALL: 8" CONCRETE MASONRY WALL TO REMAIN. REPAIR OR REPLACE WITH MATERIALS IN KIND AS NEEDED.	-	UP TO ROOF DECK
W2	NEW EXTERIOR STUD WALL: 2x6 WOOD STUDS @ 16" O.C., W/ (2) 2x6 CONTINUOUS TOP PLATES, CONTINUOUS 2x6 PRESSURE TREATED WOOD SOLE PLATE, 3/4" x 10" ANCHOR BOLTS WITH 2x2 PLATE WASHERS @ 36" O.C., 2x6 BLOCKING PER CODE, 5/8" GYP. BD. INTERIOR FINISH, 1/2" x 4" x 12' STORM GUARD SHEATHING / PLASTERVEC VAPOR BARRIER AND 3/4" CEMENT PLASTER FINISH ON EXTERIOR (SEE SECTION & ELEVATIONS).	-	UP TO ROOF DECK
W3	NEW INTERIOR PARTITION WALL: 2x4 STUDS @ 16" O.C., W/ PRESSURE TREATED SOLE PLATE, DOUBLE TOP PLATES, AND 5/8" GYP. BD. FINISH ON EACH SIDE - T.F.P. (COLOR AS SEL. BY OWNER) (SEE SECTION & DETAILS)	-	UP TO ROOF DECK
W4	NEW 2-HR FIRE RATED CONC. MASONRY WALL ASSEMBLY (U906). NEW 6" x 8" x 16" CMU FIRE RATED WALL WITH 3/4" - 1" PORTLAND CEMENT STUCCO OR GYPSUM PLASTER LAYER BETWEEN EXISTING 8" CMU AND NEW 6" CMU WALL(SEE WALL DETAIL)	2-HR	UP TO ROOF DECK

- WINDOW NOTES:
- TO COMPLY WITH THE 2021 INTERNATIONAL BUILDING CODE 1609.1.2 WINDOWS SHALL BE TESTED FOR APPLICABLE WIND SPEED FOR WIND ZONE AT SITE, OR WINDOWS SHALL HAVE GLAZED OPENING PROTECTED FROM WIND-BORNE DEBRIS SUCH AS APPROVED HURRICANE FABRIC WITH ATTACHMENT HARDWARE. NEW GLAZING IN WINDOWS LOCATED WITHIN 30'-0" ABOVE GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST. NEW GLAZING IN WINDOWS LOCATED MORE THAN 30'-0" ABOVE GRADE SHALL MEET THE REQUIREMENTS OF THE SMALL MISSILE TEST.
  - ALL WINDOWS TO BE INSTALLED AND FLASHED PER WINDOW MANUFACTURER'S RECOMMENDATIONS.
  - GLAZING USED IN DOOR PANELS OR WITHIN 2'-0" OF DOORS SHALL BE SAFETY OR TEMPERED GLASS.
  - CONTRACTOR TO PROVIDE AND INSTALL ALL STANDARD HARDWARE FOR WINDOWS, FINISHES TO BE SELECTED BY OWNER.
  - ALUM. STOREFRONT WINDOW WALL SYSTEM [YKK OR EQUAL] WITH CLEAR ANODIZED FINISH. PROVIDE ALL REQUIRED ATTACHMENTS TO STRUCTURE AND MEET ALL CODE AND WIND LOAD REQUIREMENTS. INSTALL PER MFTR REQ'S AND PROVIDE MFTR. STANDARD WARRANTY.
  - GENERAL CONTRACTOR IS TO VERIFY ALL ROUGH DIMENSIONS PRIOR TO ORDERING WINDOWS.

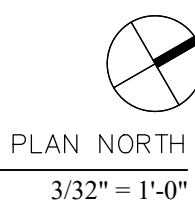
finish schedule				
mark	floor	walls	base	ceiling
A	12x24 OR 18x18 THROUGH-BODY PORCELAIN CERAMIC TILE (AS SELECTED BY OWNER)	PAINTED GYPSUM BOARD	6" PORC.	ACT
FINISH NOTES: ALL INTERIOR FINISHES TO HAVE CLASS 'C' CHARACTERISTICS AS PER IBC 803.5 FLAME SPREAD INDEX 75-200 SMOKE DEVELOPED INDEX 0-450  IBC 1210.1 FLOORS: IN OTHER THAN DWELLING UNITS, TOILETS AND BATHING FLOORS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4".  IBC 1210.2 WALLS: WALLS WITHIN 2 FEET OF URINALS & WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. TO A HEIGHT OF 4 FT ABOVE THE FLOOR & EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIAL USED IN SUCH WALLS SHALL BE OF A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.				

- LEGEND
- EXTERIOR STUD WALL
  - INTERIOR WALL / PARTITION
  - CONCRETE FILLED 8x16 CMU WALL
  - EXIT COMBO LIGHT FIXTURE W/ EMERGENCY LIGHTING AND BATTERY BACK UP AS REQUIRED
  - ELECTRICAL PANEL
  - PORTABLE FIRE EXTINGUISHER, PROVIDE & INSTALL AS PER IBC 2021, SEC. 906.1, & NFPA REQUIREMENTS

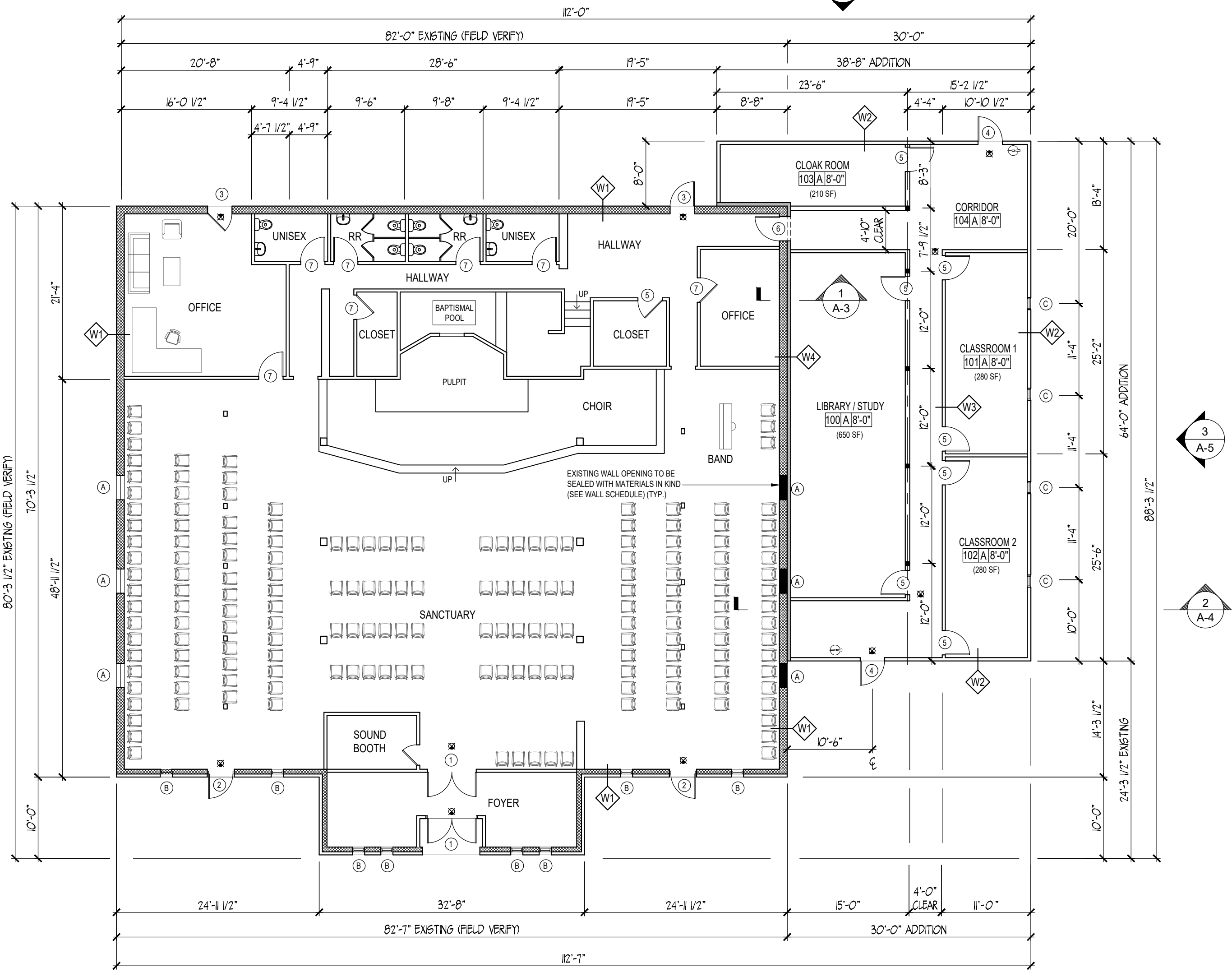


1  
A-2

existing floor plan

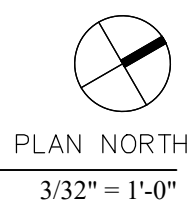


PLAN NORTH  
3/32" = 1'-0"



2  
A-2

proposed floor plan



PLAN NORTH  
3/32" = 1'-0"



ADDITION TO :  
1020 FORSTALL ST  
NEW ORLEANS, LOUISIANA, 70117

project no.:	2307
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drawn by:	ys
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revisions:	

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3  
of  
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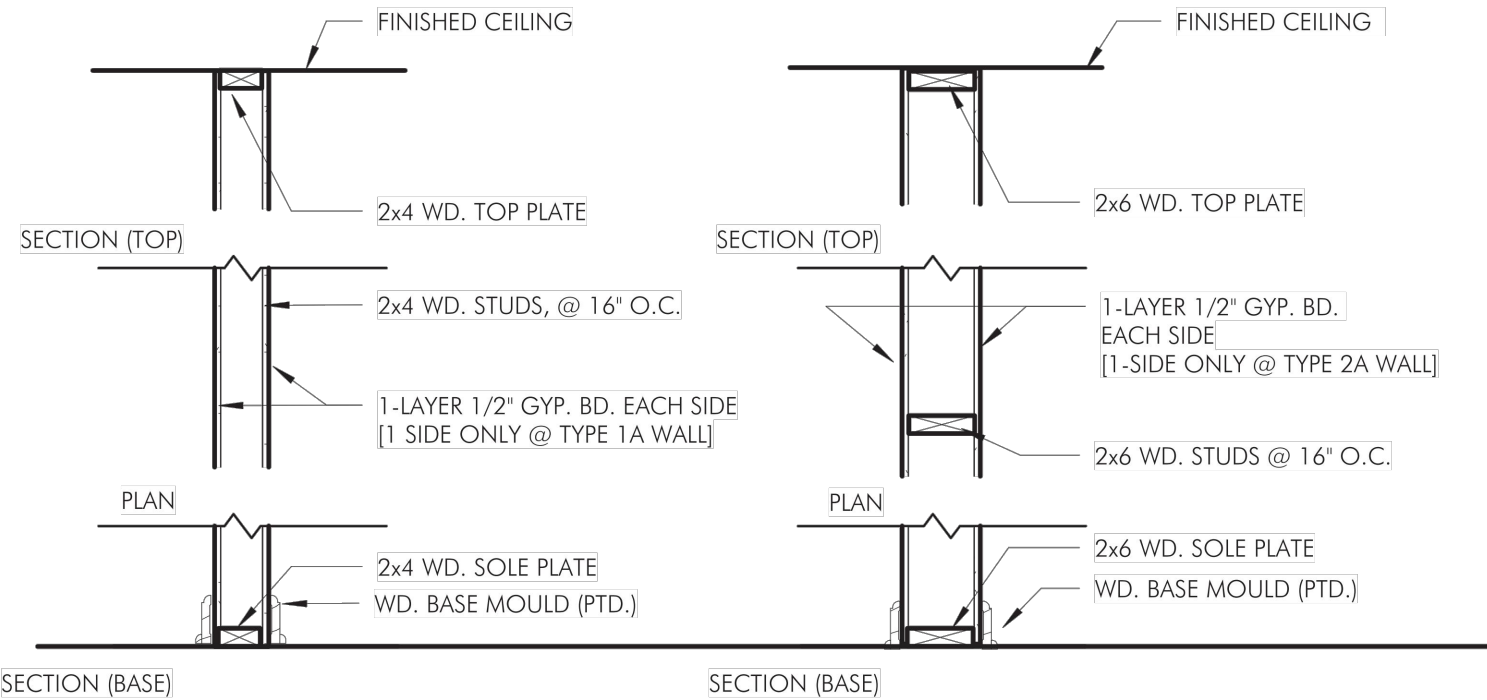
proposed floor plan,  
finish schedule,  
equipment schedule



FASTENING SCHEDULE FOR STRUCTURAL MEMBERS (UON)		
Description of Building	Number - Type	Spacing of
JOIST TO SILL OR GIRDER, TOE NAIL 1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL 2" SUBFLOOR TO JOIST OR GIRDER, BIND & FACE NAIL SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL TOP OR SOLE PLATE TO STUD, END NAIL STUD TO SOLE PLATE, TOE NAIL DOUBLE STUDS, FACE NAIL DOUBLE TOP PLATES, FACE NAIL SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS DOUBLE TOP PLATES, MIN. 24" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL RIM JOIST TO TOP PLATE, TOE NAIL TOP PLATES, LAP AT CORNERS AND INTERSECTIONS, FACE NAIL BUILT-UP HEADER, TWO PIECE WITH 1/2" SPACER CONTINUED HEADER, TWO PIECE CEILING JOISTS TO PLATE, TOE NAIL CONTINUOUS HEADER TO STUDS, TOE NAIL CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL RAFTER TO PLATE, TOE NAIL 1" BRACE TO EACH STUD AND PLATE, FACE NAIL 1"x6" SHEATHING TO EACH BEARING, FACE NAIL 1"x8" SHEATHING TO EACH BEARING, FACE NAIL WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL BUILT-UP CORNER STUDS BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	3-8d 2-8d 2-16d 16d 3-16d 3-8d or 2-16d 10d 10d 10d 3-16d 8-16d 3-8d 8d 2-10d 16d 16d 3-8d 4-8d 3-10d 3-10d 2-16d 2-8d 2-8d 3-8d 10d 10d	--- --- 16" O.C. --- --- --- 24" O.C. 24" O.C. 16" O.C. --- --- 6" O.C. --- 16" O.C. ALONG EACH EDGE 16" O.C. ALONG EACH EDGE --- --- --- --- --- --- --- --- --- 24" O.C. NAIL EACH LAYER AS FOLLOWS: 32" O.C. @ TOP & BOTTOM & STAGGERED. TWO NAILS @ ENDS & @ EACH SPLICE AT EACH BEARING
2" PLANKS ROOF RAFTERS TO RIDGE, VALLEY OR HOP RAFTERS: TOE NAIL FACE NAIL RAFTER TIES TO RAFTERS, FACE	2-16d 4-16d 3-16d 3-8d	--- --- --- ---

FRAMING & FASTENING SCHEDULE FOR STRUCTURAL MEMBERS (UON)			
Description of Building	Description of	Edges	Intermediate Supports
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING EXTERIOR WALLS: 1/2" APA RATED SHEATHING SUBFLOOR: 3/4" APA-RATED STURD-I-FLOOR SHEATHING ROOF: 5/8" APA-RATED SHEATHING	8d COMMON NAIL 8d COMMON NAIL 8d COMMON NAIL	6 6 6	12 (NOTE #5) 12 (NOTE #5) 12 (NOTE #5)
FRAMING MEMBER: STUD WALLS: 2X6s @ 16" O.C. W/ SOLID BLOCKING MID-HT. ALL BEARING WALLS	SEE SCHEDULE		

NOTES:  
1. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING & SHEATHING CONNECTIONS SHALL HAVE A MINIMUM AVERAGE BENDING YIELD STRENGTH AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192", 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142" BUT NOT LARGER THAN 0.177", AND 100 KSI FOR SHANK DIAMETERS OF 0.142" OR LESS.  
2. NAILS SHALL BE SPACED AT NOT MORE THAN 6" ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48" OR GREATER.  
3. 4" X 8" PANELS SHALL BE APPLIED VERTICALLY.  
4. 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48" DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25' UP TO 25' MAXIMUM.  
5. NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" O.C. FOR MINIMUM 48" DISTANCE FROM RIDGES, EAVES, AND GABLE END WALLS; AND 4" O.C. TO GABLE END WALL FRAMING.  
6. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTIONS OF ADJACENT ROOF PLANES. FLOOR AND ROOF PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.



#### TYPE 1

2x4 WD. STUD @ 16" O.C. FROM FLOOR TO STRUCT. ABOVE, ASSEMBLY AS INDICATED.

WIDTH = 4 1/2"  
STC = 45  
FIRE RATING = N/A  
UL # = N/A

#### TYPE 1A

2x4 WD. STUD @ 16" O.C. FROM FLOOR TO STRUCT. ABOVE, ASSEMBLY AS INDICATED. GYPSUM BOARD APPLIED TO 1 SIDE ONLY

WIDTH = 4"  
STC = 45  
FIRE RATING = N/A  
UL # = N/A

#### WALL TYPE NOTE:

ALL WALLS TO BE TYPE 1 UNLESS OTHERWISE INDICATED.

#### FINISH NOTES:

ALL FINISH MATERIALS WILL BE AS SELECTED BY OWNER AND FURNISHED AND INSTALLED BY CONTRACTOR EXCEPT FOR PAINT WHICH WILL BE CONTRACTOR-FURNISHED AND CONTRACTOR-INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY PREPARING THE SUBSTRATE AS REQUIRED TO RECEIVE THE SCHEDULED FINISH MATERIAL.

#### FLOORS

NEW TILE FLOORS: LARGE FORMAT THROUGH-BODY PORCELAIN TILE, AS SELECTED BY OWNER (18x18 TILE SHALL BE INSTALLED IN DIAGONAL PATTERN). ALL TILE FLOORS SHALL BE SET ON A THIN-SET BED. THE UNDERLAYMENT SHALL BE THE EXPOSED CONCRETE SLAB PREPARED FOR APPLICATION OF TILE FINISH.

#### WALLS AND CEILINGS

PAINTED GYP. BD. WALLS AND CEILINGS- UNLESS NOTED OTHERWISE, NEW PORTIONS OF THE HOUSE SHALL RECEIVE NEW 1/2" PAINTED GYP. BD. FINISHED TO LEVEL 3 STANDARDS

(SMOOTH-NO TEXTURE) AND (ROLLED-NOT SPRAYED). NEW GYP. BD. SURFACES SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF INTERIOR WATER-BASED PAINT (HIGH-END SHERWIN WILLIAMS OR EQUAL). ALL SURFACES SHALL BE FLAT EXCEPT BATHROOM WALLS SHALL BE SATIN. COLORS TO BE SELECTED BY OWNER. TILE WALLS: ALL TILE WALLS SHALL BE INSTALLED ON A THIN-SET BED ON 1/2" CEMENTITIOUS BACKER BOARD. TILE WILL BE CERAMIC OR SIMILAR WHICH IS TO BE SELECTED AND PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.

WET WALLS OTHER THAN TILE FINISHED WALLS ARE TO BE 1/2" WATER RESISTANT "GREEN BOARD"

PAINTED TRIM- ALL INTERIOR TRIM TO HAVE BRUSH-APPLIED HIGH-GLOSS OIL FINISH.

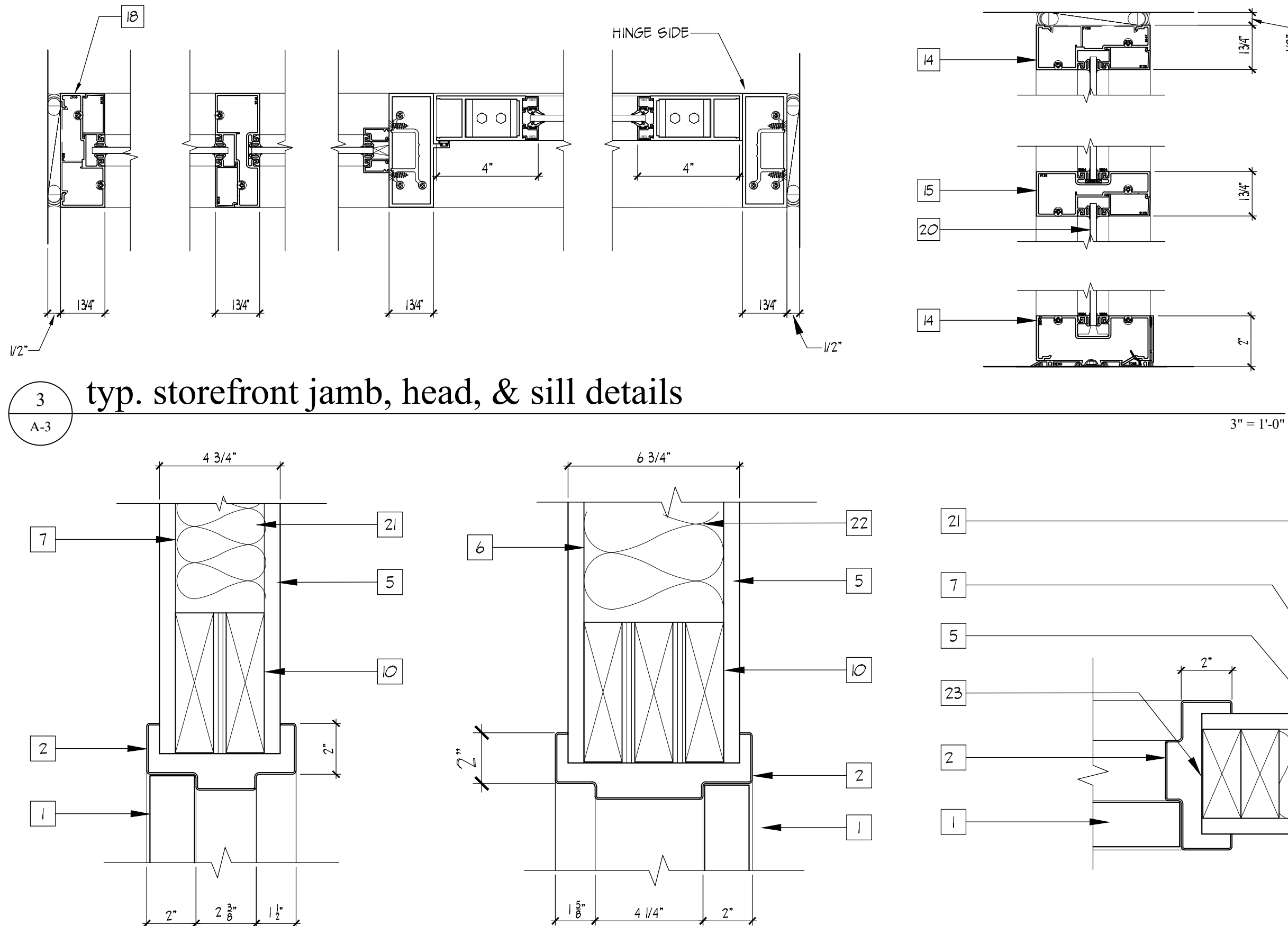
STUCCO - 3-PART 7/8" PORTLAND CEMENT PLASTER STUCCO ON SELF-FURRING METAL LATH FIRMLY SECURED TO SUBSTRATE INDICATED IN PLANS. PROVIDE AND INSTALL ALL COMPONENTS TO MEET THE MANUFACTURERS WRITTEN INSTRUCTIONS. COMPLY WITH ALL RECOMMENDATIONS OF THE "PORTLAND CEMENT ASSOCIATION". COMPLY WITH ASTM C 926 FOR PROJECT CONDITIONS. ENSURE PROPER DEFLECTION CHARACTERISTICS OF METAL FRAMING FOR MOVEMENT (U360). METAL LATH TO COMPLY WITH ASTM C 847 WITH ASTM A 653/A 653M. 660 HOT DIP GALVANIZED COATING. (DIAMOND MESH LATH - SELF FURRING - 3.4 LB/SQ. YD. PROVIDE ALL ASSOCIATED ACCESSORIES OF SIMILAR QUALITY. PORTLAND CEMENT: ASTM C 150, TYPE 1, GRAY. LIME: ASTM C 206, TYPE S. SAND AGGREGATE ASTM C 897. PROVIDE STANDARD SCRATCH AND BROWN COATS FOR 3-COAT SYSTEM. SMOOTH FINISH COAT. AFTER COMPLETE CURING, PROVIDE ELASTOMERIC PAINTED COATING AS PER MANUFACTURER'S INSTRUCTIONS. PROVIDE ALL JOINTS AS PER THE DRAWINGS AND ALL JOINTS AS REQUIRED TO MEET SQ.FT. STANDARDS OF STUCCO MFR'S INSTRUCTIONS. PROVIDE SHOP DRAWINGS FOR REVIEW/APPROVAL OF ARCHITECT OR ENGINEER.

#### BLOCKING

A. SEE PLAN FOR LOCATION OF CASEWORK, MILLWORK, CLOTHES RODS, TOWEL RACKS, CABINETS, SHELVING, GRAB BARS, WALL-MOUNTED SHOWER SEATS, ETC. PROVIDE BLOCKING IN WALLS AS REQUIRED TO PROPERLY SUPPORT SPECIFIED SHELVING, CABINETS, BATHROOM ACCESSORIES, EQUIPMENT ETC. GENERAL CONTRACTOR SHALL FULLY COORDINATE PLACEMENT OF THESE ITEMS AS REQUIRED BY SURROUNDING CONSTRUCTION CONDITIONS. BACKER PLATES SHALL BE CONTINUOUS BEHIND LENGTH OF ITEM TO BE ANCHORED AND WIDTH DETERMINED BY ITEM SIZE AND ANCHORAGE REQUIREMENTS. WALL FINISH SHALL BE INSTALLED OVER BACKER PLATE. ALL ITEMS ANCHORED SHALL BE SECURED TO WALL, FLOOR OR CEILING FRAMING.

.. PROVIDE CAULKING AS REQUIRED WHERE ALL DISSIMILAR MATERIALS MEET.

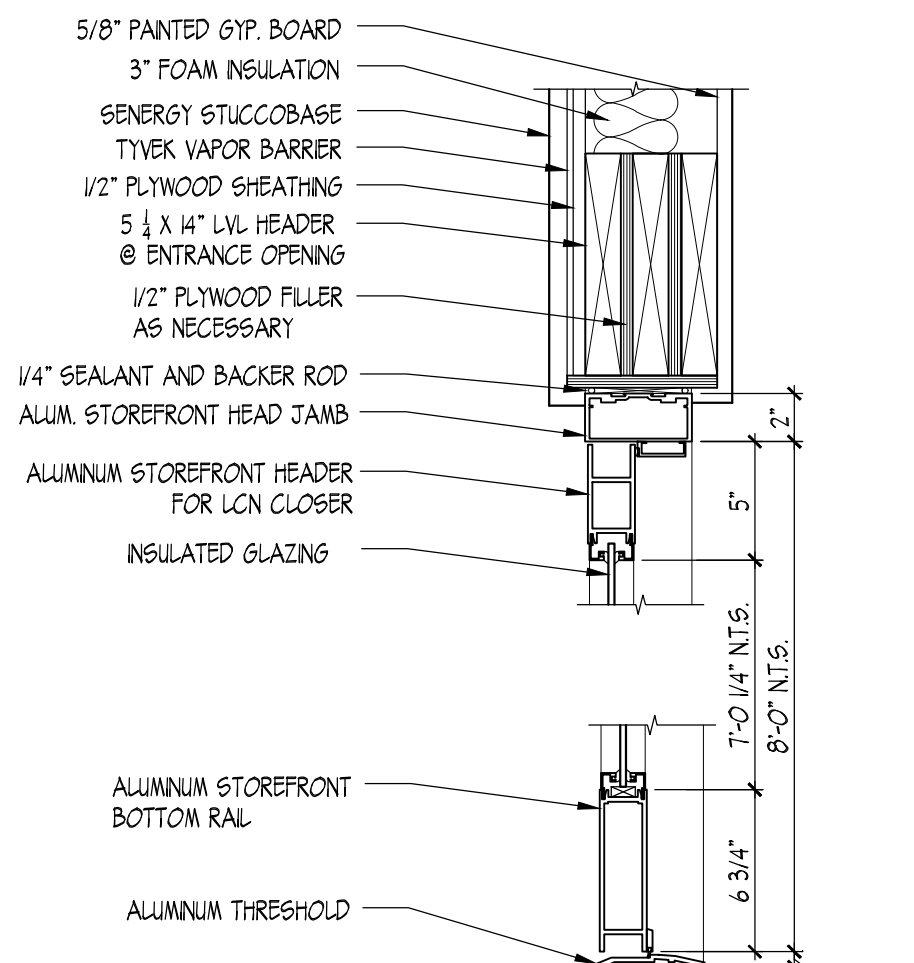
PAINT (GENERAL): OWNER WILL SELECT ALL COLORS & WILL IDENTIFY LOCATIONS FOR EA. TO BE USED



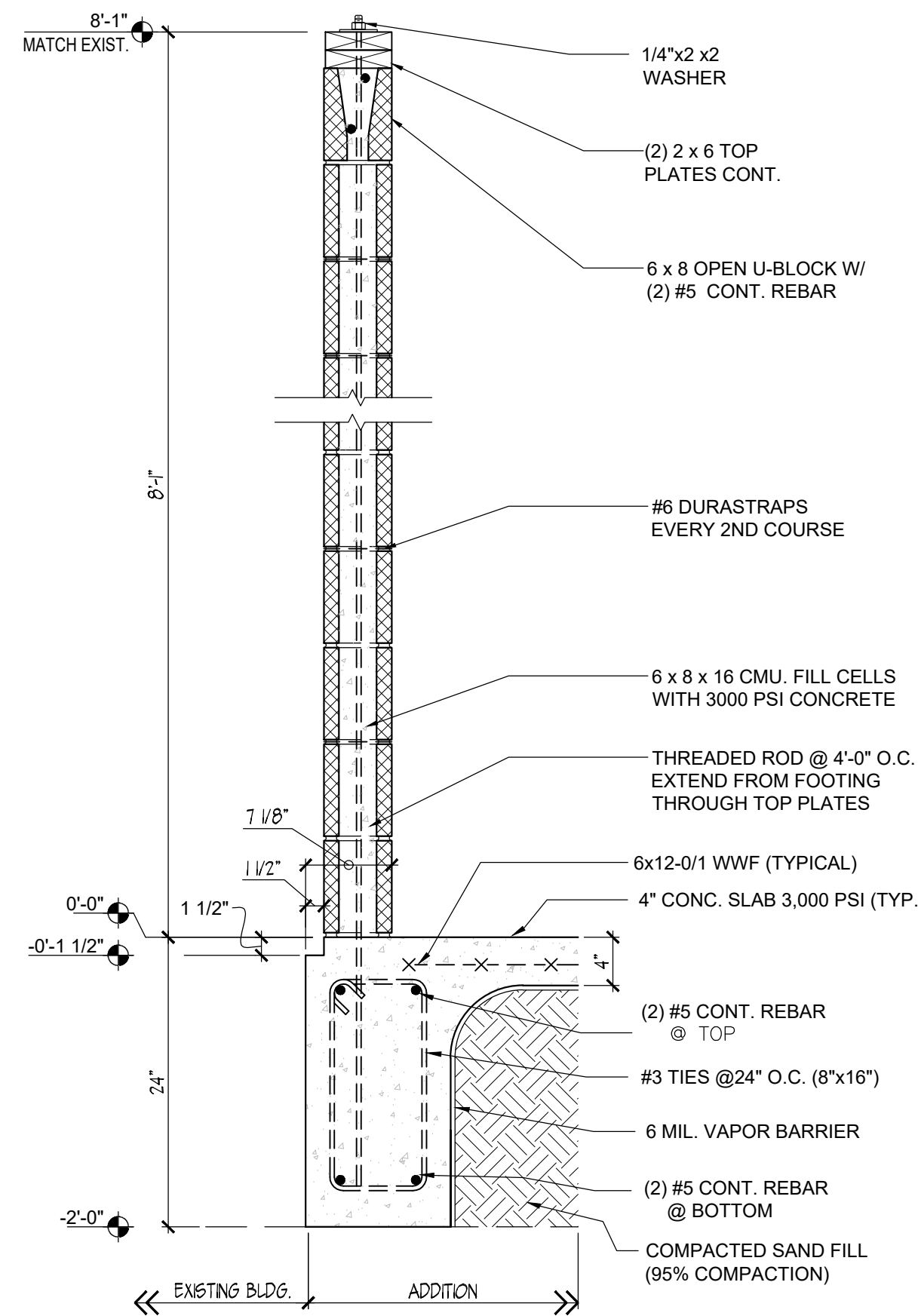
typ. storefront jamb, head, & sill details



typ. hm metal door jamb & head details



typ. storefront head & sill detail



wall section detail

#### specific notes:

- HOLLOW METAL DOOR
- HOLLOW METAL FRAME
- HOLLOW METAL STOP
- HOLLOW METAL SILL BEYOND
- 5/8" GYPSUM BOARD T.F. & P.
- 6" WOOD OR MTL. STUD WALL @ 16" O.C.
- 3-1/2" WOOD STUD WALL @ 16" O.C.
- 
- FINISHED FLOOR (SEE SCHEDULE)
- WOOD OR MTL. STUD HEADER
- SOLID CORE WOOD DOOR
- CEMENTITIOUS GROUT SOLID
- ALUM. SF HEAD JAMB W/ DOOR STOP
- ALUM. SF HEAD JAMB
- ALUM. SF HORIZONTAL MULLION
- ALUM. SF VERTICAL MULLION
- ALUM. SF THRESHOLD
- ALUM. SF SILL JAMB
- ALUM. SF SILL JAMB W/ DOOR STOP
- IMPACT RATED INSULATED GLASS
- MASONRY ANCHOR (MIN. 3 PER JAMB)
- 3-1/2" INSULATION, AS APPLICABLE
- DOUBLE 3-1/2" WOOD STUDS
- 
- ALUM. STOREFRONT DOOR

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project no.:	2307
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revisions:	

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4  
of  
9

opening details and notes



CONCRETE NOTES:

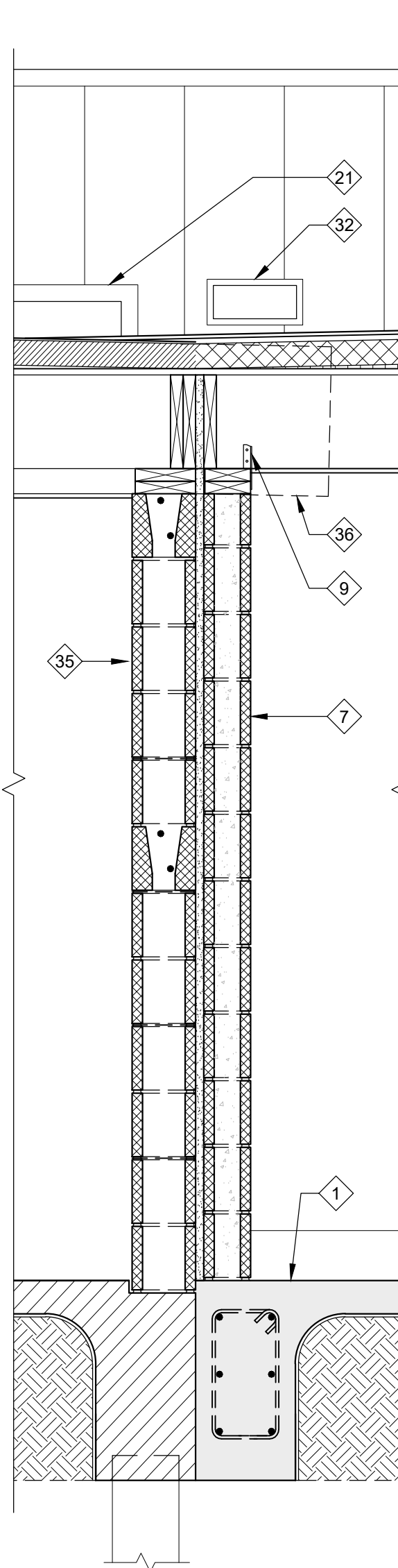
- DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
  - ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
  - ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
  - ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- ALL STRUCTURAL CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
- IT IS RECOMMENDED THAT CONCRETE HAS FLY ASH CONFORMING WITH ASTM C618 CLASS C OR F UPTO 25% BY WEIGHT OF TOTAL CEMENTITIOUS MATERIAL MID RANGE WATER REDUCER (MRWR) ALSO IS RECOMMENDED.
- PROVIDE ANCHORRODS BOLTS CONFORMING TO ASTM F1554 GRADE 36, HEAVY HEXAGON NUTS CONFORMING TO ASTM A563 AND WASHERS CONFORMING TO F436. GALVANIZE BOLTS, NUTS, SLEEVES AND WASHERS IN ACCORDANCE ASTM A153.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 REQUIREMENTS FOR GRADE 60 DEFORMED BARS. DETAILING & FABRICATION SHALL BE IN ACCORDANCE WITH ACI 315.
- CONCRETE SHALL BE CURED IN ACCORDANCE WITH ACI 318 AND 308R.
- ALL SPLICES AND DEVELOPMENT LENGTHS SHALL BE IN ACCORDANCE WITH ACI 318, SECTION 12, "BUILDING CODE REQUIRED FOR STRUCTURAL CONCRETE" ALL SPLICES SHALL BE CLASS "B", UNLESS APPROVED OTHERWISE.

TIMBER NOTES:

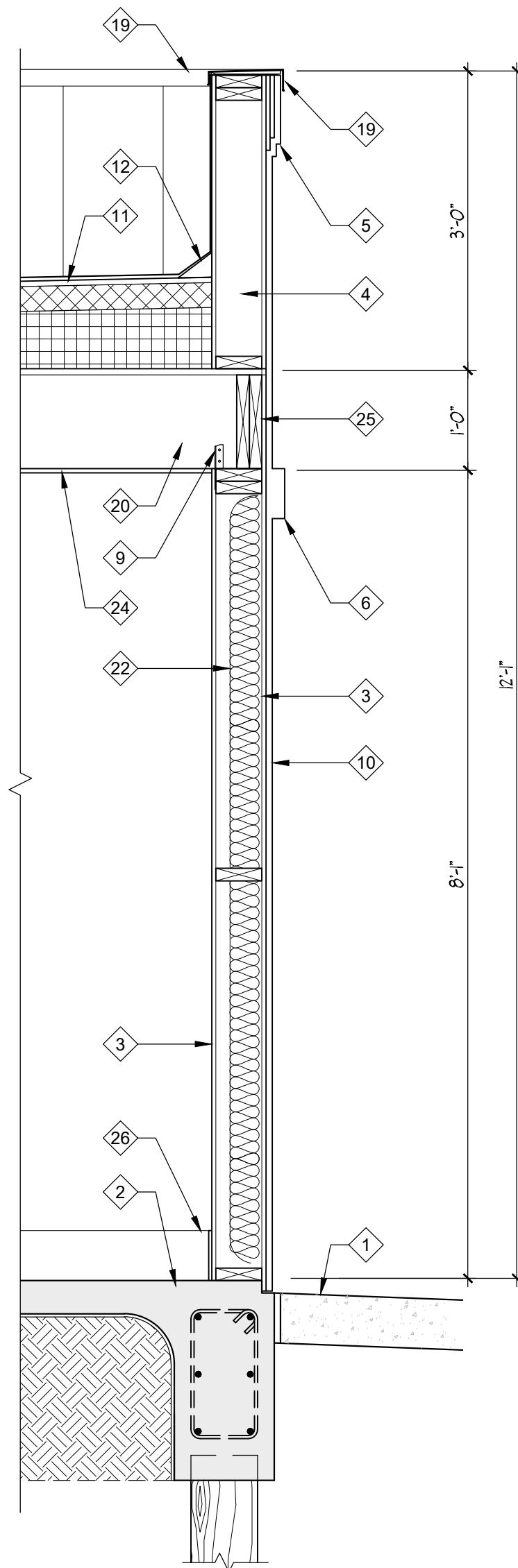
- DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SOUTHERN FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
- ALL SOLID WOOD FRAMING SHALL BE SOUTHERN PINE NO.2 UNLESS NOTED OTHERWISE ON DRAWINGS.
- ALL METAL HARDWARE AND FRAMING ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. SUBSTITUTIONS SHALL NOT BE MADE. ALL ITEMS SHALL BE INSTALLED PER THE SIMPSON'S INSTALLATION REQUIREMENTS. ALL NAIL HOLES SHALL BE FILLED WITH THE RECOMMENDED FASTENER UNLESS NOTED OTHERWISE ON THE DRAWINGS
- ALL DIMENSIONAL LUMBER SHALL BE CERTIFIED BY THE SUPPLIER TO BE KILN DRIED
- ALL WALLS SHALL HAVE DOUBLE TOP PLATES AND SHALL STAGGER SPLICING. TOP PLATES AT WALL INTERSECTIONS SHALL BE LAPPED AND NAILED WITH (3) 16D NAILS.
- WHERE FRAMING HANGERS OR CONNECTORS ARE REQUIRED BUT HAVE NOT BEEN SPECIFIED ON THE DRAWINGS, PLEASE CONTACT STRUCTURAL ENGINEER ON RECORD TO SPECIFY CONNECTION.
- ROOF AND WALL PANELS SHALL BE APA RATED, EXPOSURE 1, 1/2" OR 5/8" (AS NOTED ON DRAWINGS) = 5 PLY PLYWOOD WITH A MIN. 32/16 SPAN RATING U.N.O. SHEATHING SHALL BE EXTERIOR GRADE WHERE EITHER SIDE IS EXPOSED PERMANENTLY TO WEATHER.
- ALL FLOOR AND ROOF SHEATHING SHALL BE INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO THE SUPPORTS AND A 1/8" GAP AT ALL PANELS EDGES UNLESS RECOMMENDED OTHERWISE BY PANEL MANUFACTURER.
- ALL SHEATHING PANELS SHALL BE INSTALLED WITH END JOINTS STAGGERED AND BLOCKING AT ALL JOINTS.
- ALL NAILS SHALL BE COMMON NAILS, ROOF SHEATHING SHALL UTILIZE RING SHANK NAILS. STAINLESS STEEL TYPE 316 NAILS SHALL BE USED AT PERMANENTLY EXPOSED EXTERIOR AREAS. ALL NAILS THAT ARE NOT EXPOSED TO THE ELEMENTS BUT IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED MEETING ASTM A153.
- ALL LUMBER EXPOSED TO WEATHER AND IN CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED.

specific notes:

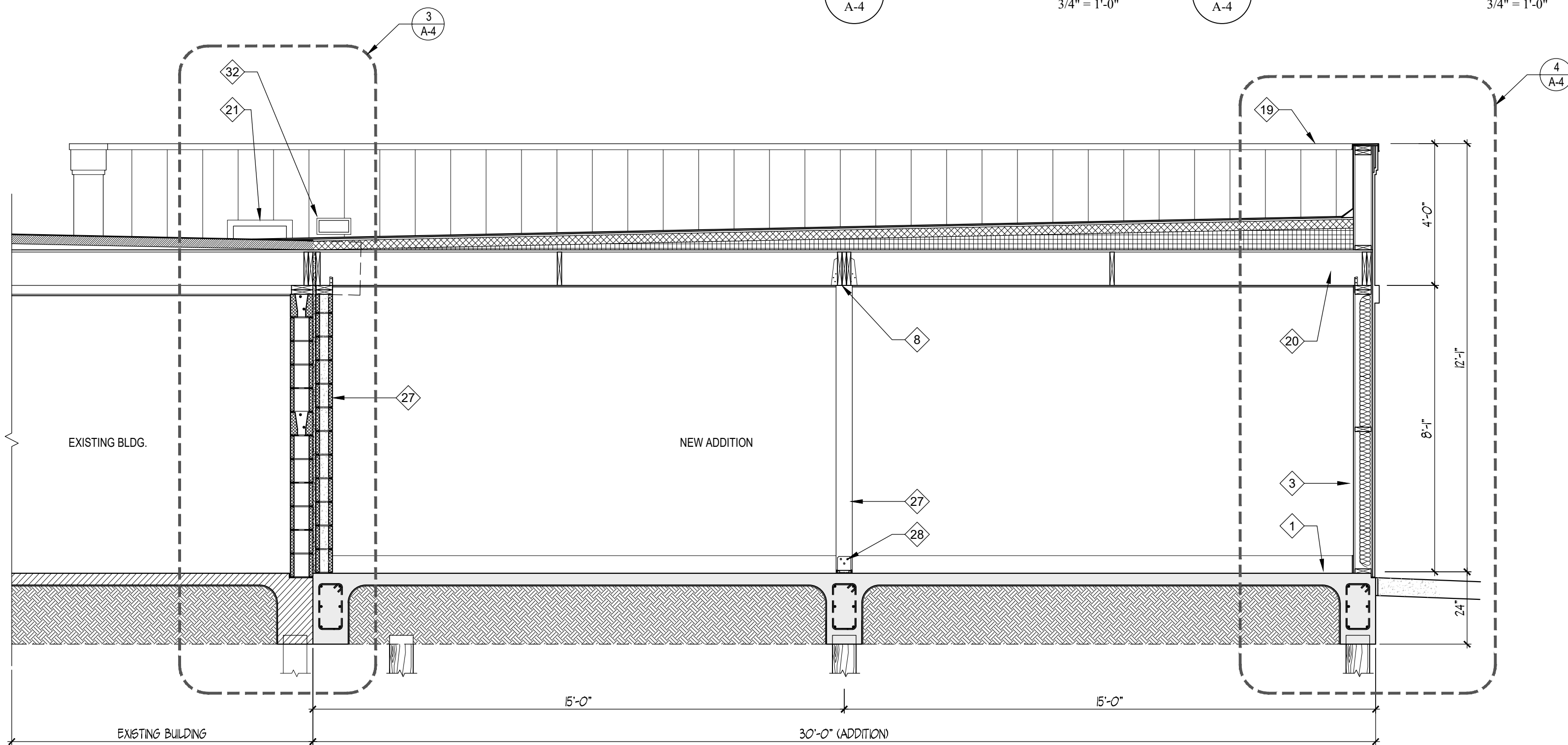
- NEW 6" THICK CONCRETE PAVING (SEE SITE PLAN & DETAILS).
- NEW CONCRETE FOUNDATION: 5" CONC. SLAB 4,000 PSI W/ 6x12-O/1 WWF (TYP.) (SEE FOUNDATION PLAN, DETAILS, AND NOTES)
- EXTERIOR WALL SYSTEM: 2 x 6 WOOD STUD WALL @ 16" O.C. W/ (2) 2x6 TOP PLATES, 2x6 TREATED WOOD SOLE PLATE W/ 5/8" x 10" A.B. AND 2x2 PLATE WASHERS @ 36" O.C., 2x6 BLOCKING PER CODE, 1/2" GYP BD. INTERIOR FINISH, 1/2" x 4" x 1/2" STORM GUARD SHEATHING / "PLASTER/VEC" VAPOR BARRIER AND 3/4" CEMENT PLASTER FINISH ON EXTERIOR (SEE ELEVATIONS).
- EXTERIOR PARAPET WALL SYSTEM: SAME AS ABOVE BUT WITHOUT INSULATION AND WITH SIPLAST VERAL ROOFING OVER PLYWOOD SHEATHING ON INTERIOR SIDE IN LIEU OF GYP. BD.
- CEMENT PLASTER CORNICE MOLDING - TYPICAL @ EXTERIOR 2x6 PARAPET WALL W/ PREFINISHED TWO-PIECE COMPRESSION METAL COVER (GALV. METAL).
- 1-1/2" x 4" CONT. CEMENT PLASTER Moulding BAND ALONG BLDG., AROUND ENTIRE EXTERIOR FACADE, AND AT EXTERIOR WALL OPENINGS (TYP.) SEE ELEVATIONS.
- NEW 2-HR FIRE RATED CONC. MASONRY WALL ASSEMBLY (U906), OVER 1" CEMENT PLASTER (SEE WALL SCHEDULE).
- (2) 2x12 CONTINUOUS WOOD BEAM (TYP.) SEE FRAMING PLAN.
- HURRICANE CLIPS AT EACH RAFTER OR ROOF TRUSS, AND WHERE REQUIRED BY CODE (SEE STRUCTURAL).
- EXTERIOR STUCCO FINISH: 3-PART 3/4" TO 7/8" PORTLAND CEMENT PLASTER STUCCO ON SELF-FURRING METAL LATH FIRMLY SECURED TO SUBSTRATE, WHERE INDICATED INDICATED IN PLANS AND ELEVATIONS.
- ROOFING SYSTEM - FLAT ROOF (3/8:12 SLOPE): SBS MODIFIED, 2-PLY AS MFR. BY SIPLAST OR EQUAL, OVER 1/2" RECOVERY BD., OVER 3" ISO. BD. INSULATION, OVER 3/4" PLYWOOD DECK. FLASHING: SIPLAST VERAL FLASHING AT ALL PARAPET WALLS. PRODUCT: SIPLAST / 30 YR. - DESIGNED FOR 130 MPH WIND LOAD COLOR: WHITE REFLECTIVE COATING FINISH OVER WHITE GRANULE CAP SHEET (SLOPES AS PER ROOF PLAN). TREATED WOOD FIBER CANT STRIP
- CONT. GALV. METAL FLASHING CAP WITH DRIP EDGE.
- 2x12 ROOF JOISTS @ 24" O.C. W/ HURRICANE STRAPS @ EACH JOIST CONNECTION TO TOP PLATE - TYP. (SEE FRAMING PLANO
- METAL LINED, THROUGH-WALL SCUPPER W/ 4'-0" x 1'-6" ALUMINUM CONDUCTOR HEAD AND DOWNSPOUT. FINAL LOCATION AND DIMENSIONS SHALL BE FIELD DETERMINED AND AS REQUIRED BY CODE & ROOF MFR.
- 3" THICK FIBERGLASS BATT INSULATION (R-19 MINIMUM) - (TYP. ALL WOOD STUD EXTERIOR WALLS)
- 3 FT. METAL AWNING: 1-1/2" STANDING SEAM ROOFING OVER 1 1/2" ALUM. FRAMING AT REAR DOORS.
- 1/2" TYPE 'X' GYPSUM BOARD CEILING (TYP.).
- (2) 2x12 RM. JOIST - TYPICAL AROUND ENTIRE BUILDING ADDITION.
- 6" CERAMIC TILE BASE (TYP.) - SEE FINISH SCHEDULE. SHALL MATCH SELECTED FLOORING.
- 6x6 PRESSURE TREATED WOOD COLUMN W/ 1" BASE (TYP.).
- SIMPSON STRONG-TIE - CPT66Z, WITH (2) 1/2" x 12" ANCHOR BOLTS @ EACH COLUMN.
- (3) 2x12 WOOD HEADER @ ALL EXTERIOR WALL OPENINGS.
- ROOF MOUNTED PACKAGED AC UNIT W/ ROOF CURB (SEE HVAC PLANS & DETAILS).
- OSHA - COMPLIANT ROOF ACCESS LADDER WITH METAL GUARD GATE UP TO 8' AFF, AND LOCKING HASP.
- METAL-LINED OVERFLOW SCUPPER
- FIXED ALUMINUM STOREFRONT WINDOWS (SEE OPENING SCHEDULE AND DETAILS).
- FINISH GRADE - SLOPE AWAY FROM BUILDING (TYP.).
- EXISTING CONCRETE MASONRY EXTERIOR WALL TO REMAIN (SEE WALL SCHEDULE)
- EXISTING ROOF OVERHANG TO BE REMOVED AS REQUIRED FOR NEW BUILDING ADDITION FRAMING AND ROOFING



3 wall section  
3/4" = 1'-0"



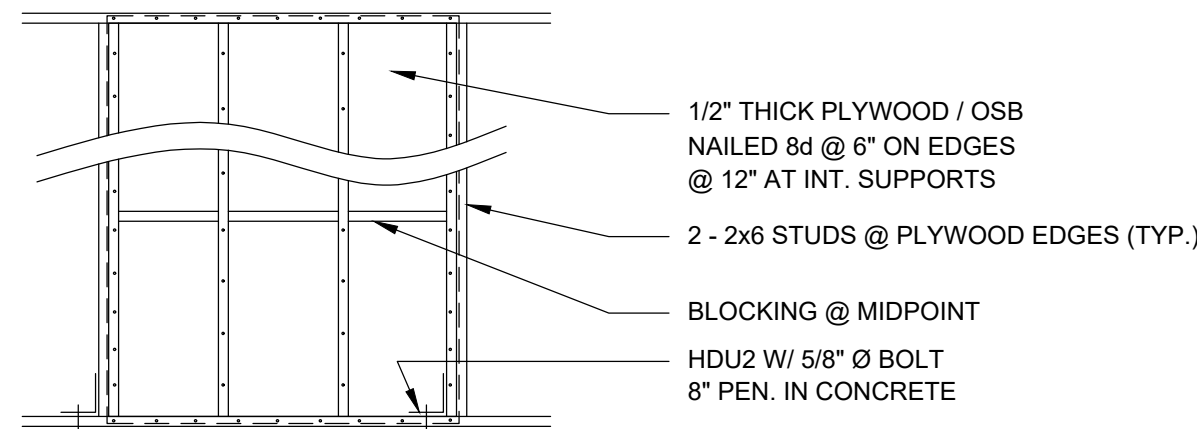
4 wall section  
3/4" = 1'-0"



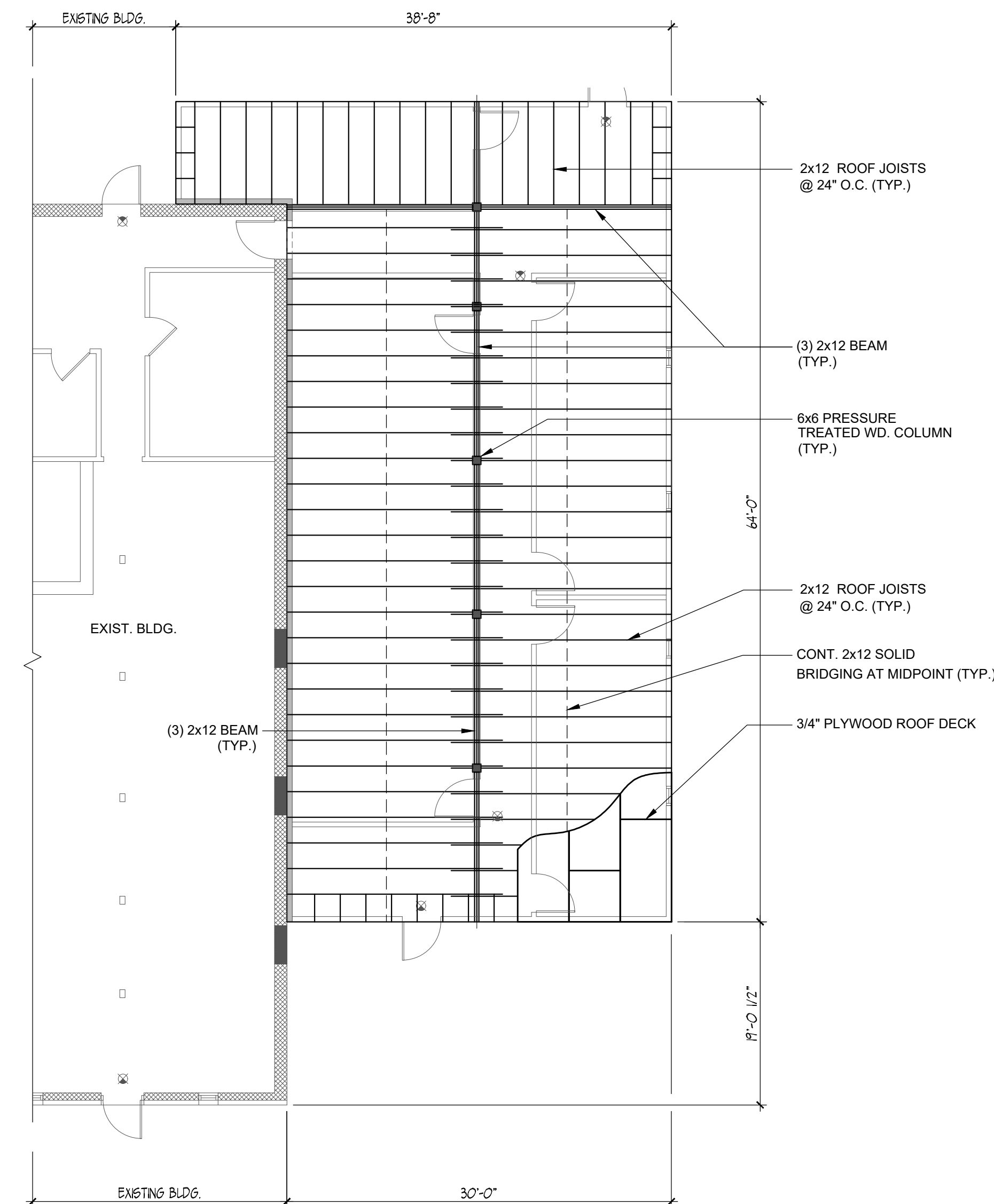
2 building addition section  
3/32" = 1'-0"

ROOFING GENERAL NOTES:

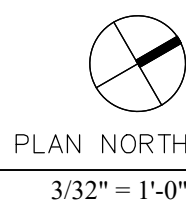
- IT IS THE ROOFING CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL DETAILS INVOLVED IN THIS CONTRACT PRIOR TO SUBMITTING A BID OR START OF WORK. AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS NECESSARY TO INSTALL A COMPLETE AND WATERTIGHT ROOFING SYSTEM AS DETAILED AND SPECIFIED
- ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS. IT IS THE ROOFING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- THE ROOFING CONTRACTOR SHALL PROTECT ALL ADJACENT SURFACES NOT SCHEDULED FOR WORK AND SHALL REPAIR ANY DAMAGE RESULTING FROM HIS OR HER WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN WATER TIGHTNESS AND PROVIDE PROTECTION FROM WATER INTRUSION, INCLUDING AT ANY / ALL OPENINGS IN THE ROOF LEFT AT THE END OF EACH CONSTRUCTION DAY THROUGHOUT THE FULL DURATION OF CONSTRUCTION.
- THE ROOFING CONTRACTOR SHALL VISUALLY INSPECT THE ROOF FOR ANY FURTHER DAMAGE OR NEED OF REPAIR THAT IS NOT INCLUDED UNDER THE FULL ROOF SYSTEM REPLACEMENT AS OUTLINED IN THESE DRAWINGS PRIOR TO BEGINNING ANY WORK ON THE ROOF. IDENTIFY ANY EXISTING DAMAGE OR PROBLEM AREAS AND REPORT FINDINGS TO OWNER / ARCHITECT
- PROVIDE NECESSARY CUTTING AND PATCHING AT ALL PENETRATIONS FOR PLUMBING, HVAC AND ELECTRICAL AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION OF ALL ROOF REPLACEMENT WORK.
- IN ORDER TO PRESERVE THE ROOFING WARRANTY, ALL ROOFING WORK SHALL BE DONE BY A LICENSED ROOFING CONTRACTOR THAT IS APPROVED BY BOTH THE ROOFING MANUFACTURER AND THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY AND ALL DAMAGES CAUSED TO THE BUILDING, ITS CONTENTS, FINISHES, AND ROOFING DURING ALL PHASES OF CONSTRUCTION.
- INSPECT ROOF PRIOR TO TURNOVER OF PROJECT FOR ANY DEBRIS LEFT BEHIND.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, CONDITIONS AND QUANTITIES NECESSARY TO INSTALL A COMPLETE AND WATERTIGHT ROOFING SYSTEM AS REQUIRED AND AS DETAILED AND SPECIFIED.
- CONTRACTOR SHALL PROVIDE INSTALLER GUARANTEE AND SUPPLIER WARRANTY FOR ALL WORK PERFORMED ON ROOFING RELATED WORK, FLASHING, COPINGS, AND METAL WORK (SEE SPECIFICATIONS FOR SYSTEM WARRANTY REQUIREMENTS).
- COORDINATE ALL MECHANICAL AND OR ELECTRICAL WORK AS NECESSARY FOR A FULL ROOF SYSTEM REPLACEMENT AS REQUIRED. INCLUDE IN BID.



3 shear wall detail (typ. @ all exterior walls)  
n.t.s.



1 roof framing plan  
3/32" = 1'-0"



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consulting, llc

DESTREHAN, LOUISIANA. 504 . 339 . 3842



A D D I T I O N T O :  
1020 FORSTALL ST  
NEW ORLEANS, LOUISIANA, 70117

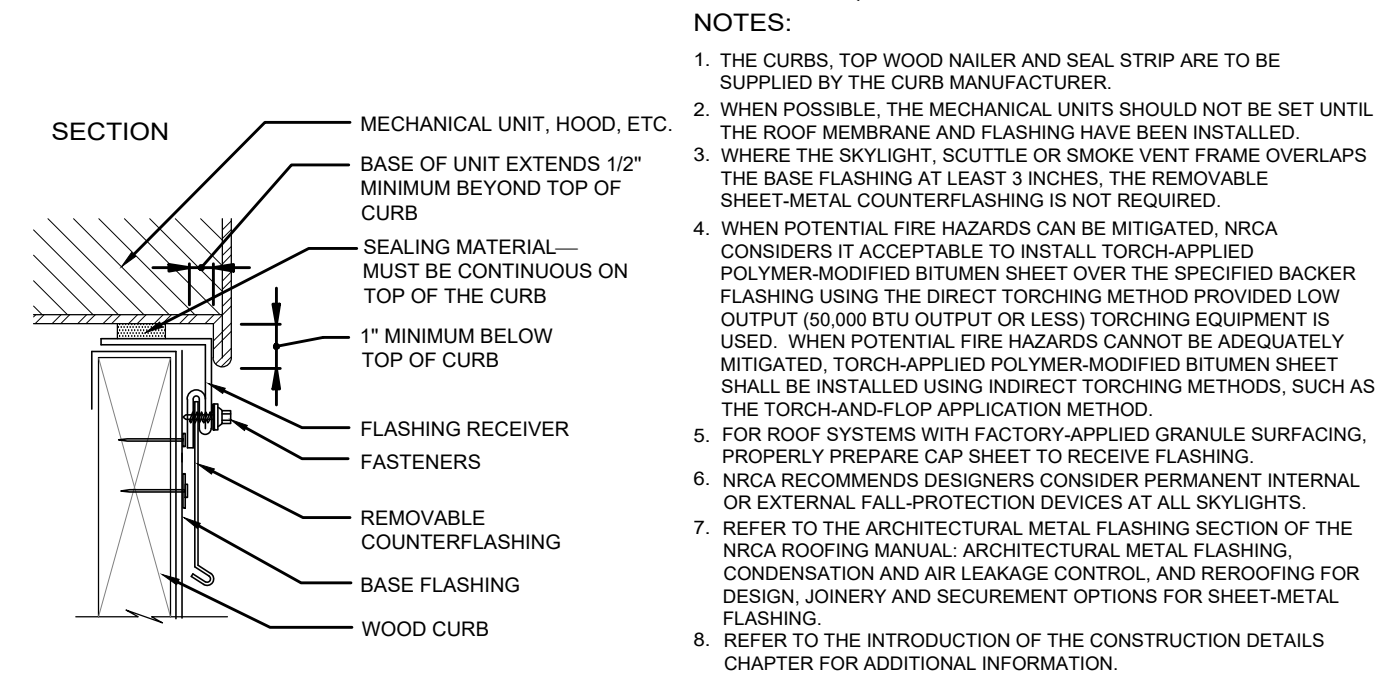
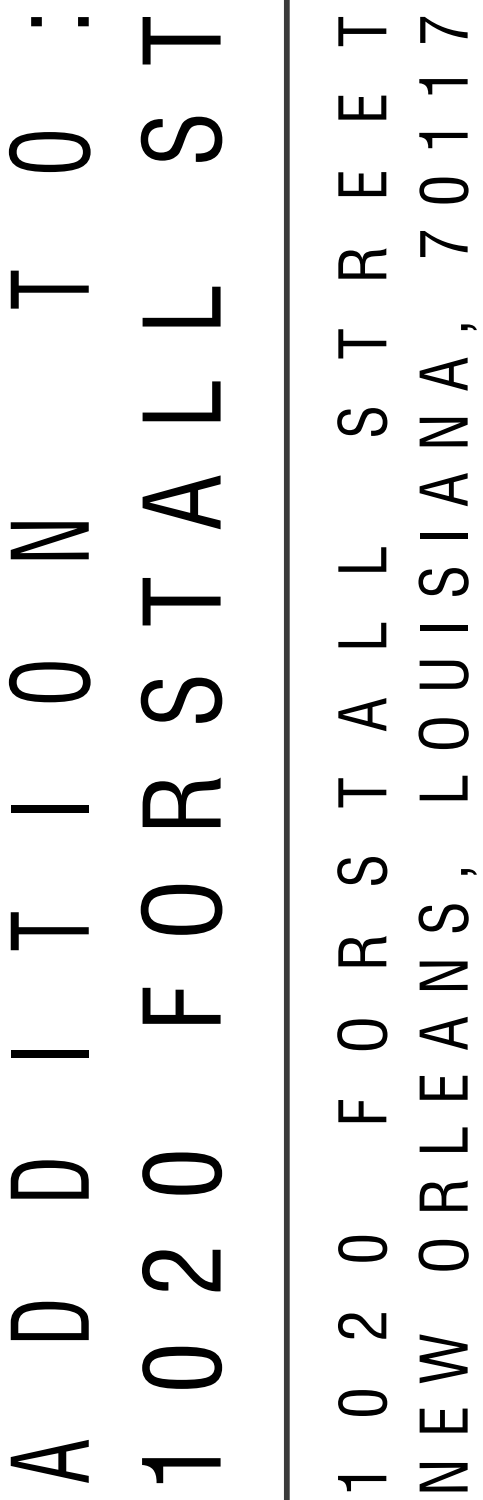
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date:	8/19/23
drawn by:	ys
checked by:	hs
revisions:	

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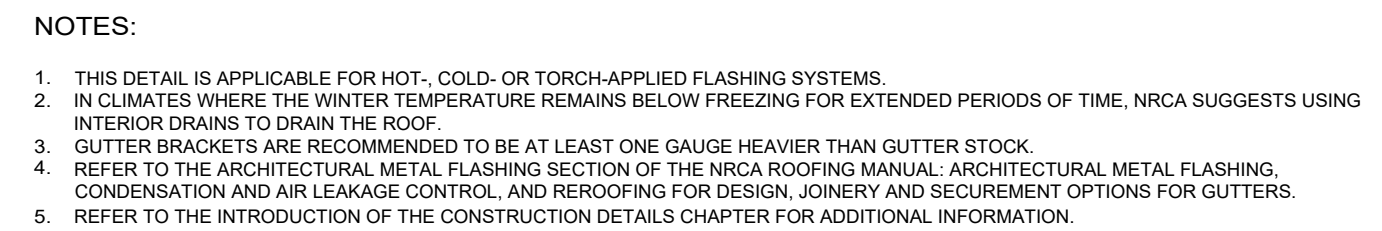
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roof framing plan,  
building section,  
wall schedule

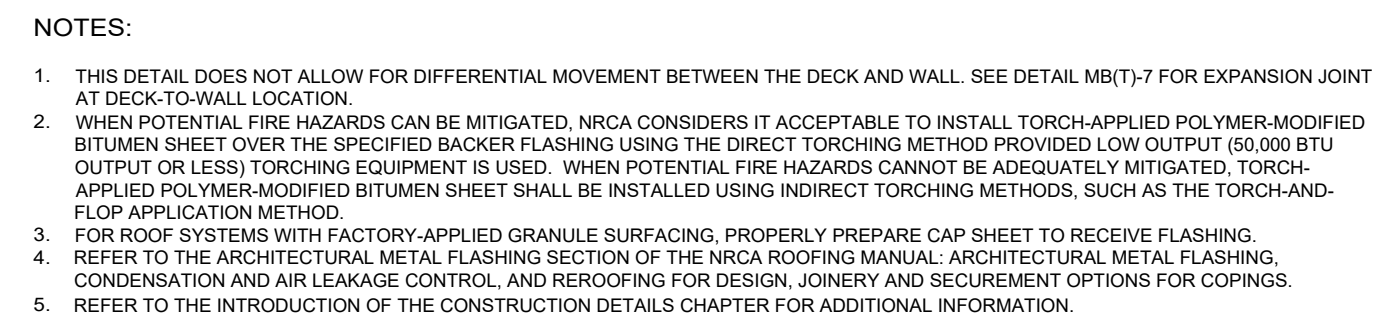




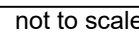
not to scale



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STRUCTURAL NOTES:

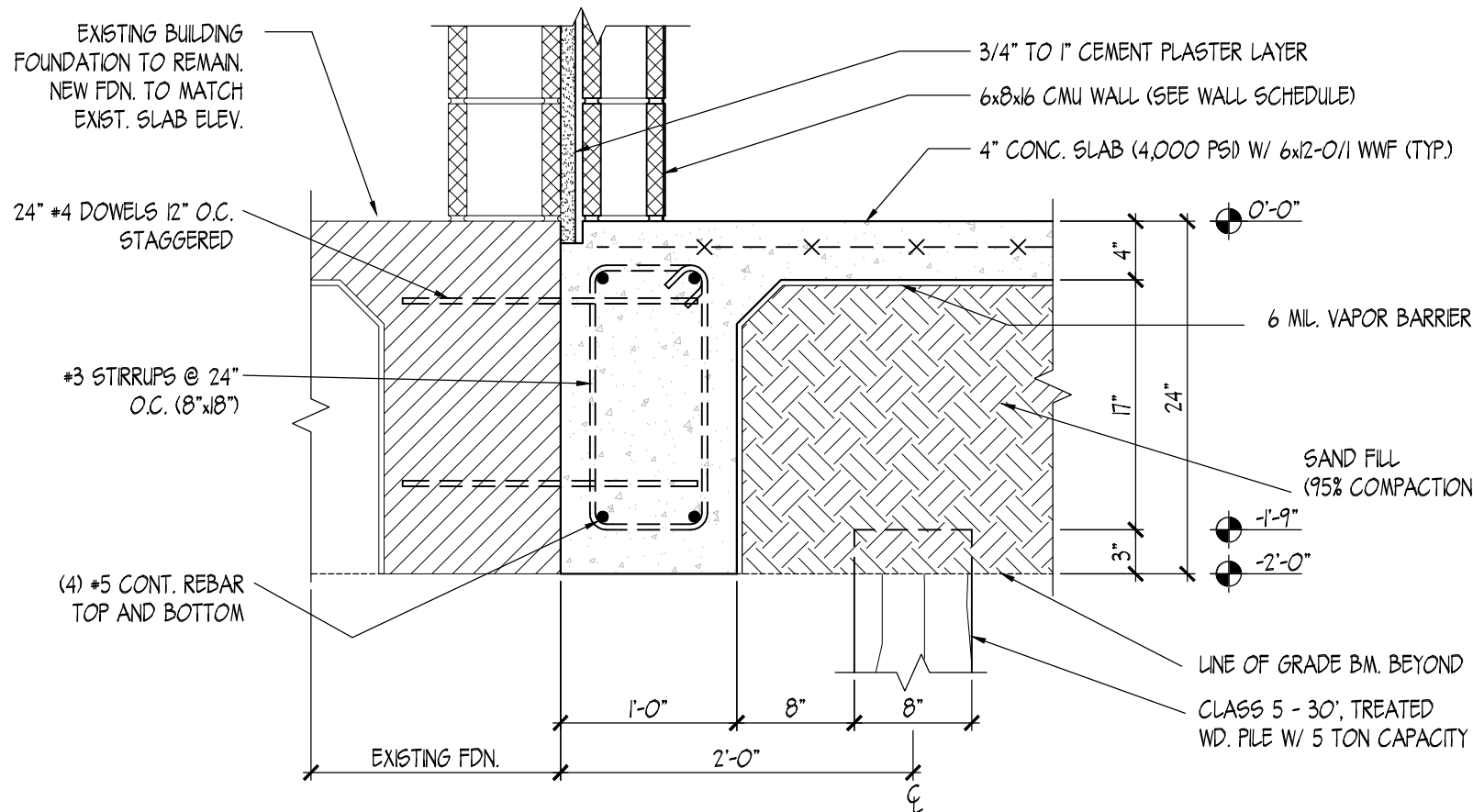
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. ALL DIMENSIONS AND CONDITIONS TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT CLAIMED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF CONDITIONS AND DIMENSIONS VARY FROM THOSE SHOWN, THE CONTRACTORY SHALL NOTIFY THE ARCHITECT BEFORE CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF:  
American Concrete Institute (ACI) latest edition  
American Institute of Steel Construction (AISC) latest edition  
American Society of Civil Engineers Standards (ASCE) latest edition  
American Forest and Paper Association NDS latest edition
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES AND OVERHEAD POWER LINES IN THE AREA OF THE WORK AND NOTIFY THE OWNER OF ANY INTERFERENCES BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (+) ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ACTUAL DIMENSIONS IN THE FIELD.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (N.T.S) ARE NOT SHOWN TO SCALE
- THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE
- PROVIDE TERMITE PROTECTION (CHEMICAL TERMITICIDE TREATMENT) AS REQUIRED BY IRC 2021 ED.
- PROVIDE ATTIC VENTILATION AS PER IRC, 2021 EDITION.
- ALL CONCRETE TO DEVELOP 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS UNLESS OTHERWISE NOTED.
- ALL CONCRETE TO CONFORM WITH THE LATEST A.C.I. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (A.C.I. 318) FOR FOOTINGS AND GRADE BEAMS. USE CONCRETE WEDGES FOR REINFORCING STEEL SUPPORTS (BRICK OR MASONRY BLOCK IS NOT ACCEPTABLE).
- ALL REINFORCING STEEL TO CONFORM WITH REQUIREMENTS OF A.S.T.M. A-615 GRADE 60.
- PROVIDE REINFORCING BARS AROUND ALL OPENINGS 8" OR GREATER IN SLABS AS DIRECTED OR AS SHOWN ON THE DRAWINGS. 8 #4 12" BEYOND OPENING MIN.
- PROVIDE BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH REQUIREMENTS OF A.C.I. 318 UNLESS NOTED OTHERWISE.
- NO PIPING SHALL PASS THROUGH BEAMS WITHOUT THE PERMISSION OF THE ARCHITECT. PIPES THAT PASS THROUGH BEAMS SHALL PASS WITHIN THE MIDDLE THIRD OF THE BEAM LENGTH AND DEPTH.
- ALL STRUCTURAL BOLTS TO BE 103235 UNLESS OTHERWISE NOTED.
- ALL ANCHOR BOLTS TO BE A-307 UNLESS OTHERWISE NOTED.
- CONSTRUCTION DEWATERING: THE CONTRACTOR SHALL DETERMINE THE EXTENT OF CONSTRUCTION DEWATERING REQUIRED FOR THE EXCAVATION. PROVIDE ADEQUATE DRAINAGE TO DRAIN SURFACE WATER AWAY FROM THE CONSTRUCTION AREA. MOTORIZED EQUIPMENT SHALL NOT BE ALLOWED ON EXPOSED CLAY SURFACES WHEN WET.
- ALL STRUCTURAL ELEMENTS OF THE PROJECT HAVE BEEN DESIGNED TO RESIST THE REQUIRED CODE VERTICAL AND LATERAL FORCES THAT COULD OCCUR IN THE FINAL COMPLETED STRUCTURE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL REQUIRED BRACING DURING CONSTRUCTION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PROCESS UNTIL THE STRUCTURE IS TIED TOGETHER AND COMPLETED.
- ALL EMBEDDED STEEL ITEMS SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST A.I.S.C. STANDARD SPECIFICATIONS AND SHALL BE A.S.T.M. A-36.
- CONDUIT IN THE FORMED SLAB SHALL BE PLACED WITHIN THE MIDDLE THIRD OF THE SLAB DEPTH (PROVIDE APPROVED SUPPORT AS NECESSARY), IN NOT MORE THAN TWO LAYERS, WITH 3" CLEAR MIN. BETWEEN INDIVIDUAL CONDUITS.
- ALL LUMBER SHALL BE #2 KD SOUTHERN PINE MIN. EXTREME FIBER STRESS 1200 PSI UNLESS OTHERWISE NOTED.
- ALL WOOD CONNECTIONS SHALL BE EQUAL TO SIMPSON STRONG TIE TIMBER CONNECTOR UNLESS NOTED OTHERWISE.
- ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE R602.3(1) (FASTENING SCHEDULE [IRC 2015]), UNLESS OTHERWISE NOTED. SEE SCHEDULE THIS SHEET.
- ALL LUMBER INSTALLED BELOW BASE FLOOD ELEVATION AND / OR IN CONTACT WITH CONCRETE OR WHERE OTHERWISE REQUIRED SHALL BE PRESSURE-TREATED.
- ALL BOLTS INTO EXISTING CONCRETE USE HILTI HY 150 INJECTION ADHESIVE ANCHOR OR APPROVED EQUAL.

FOUNDATION NOTES:

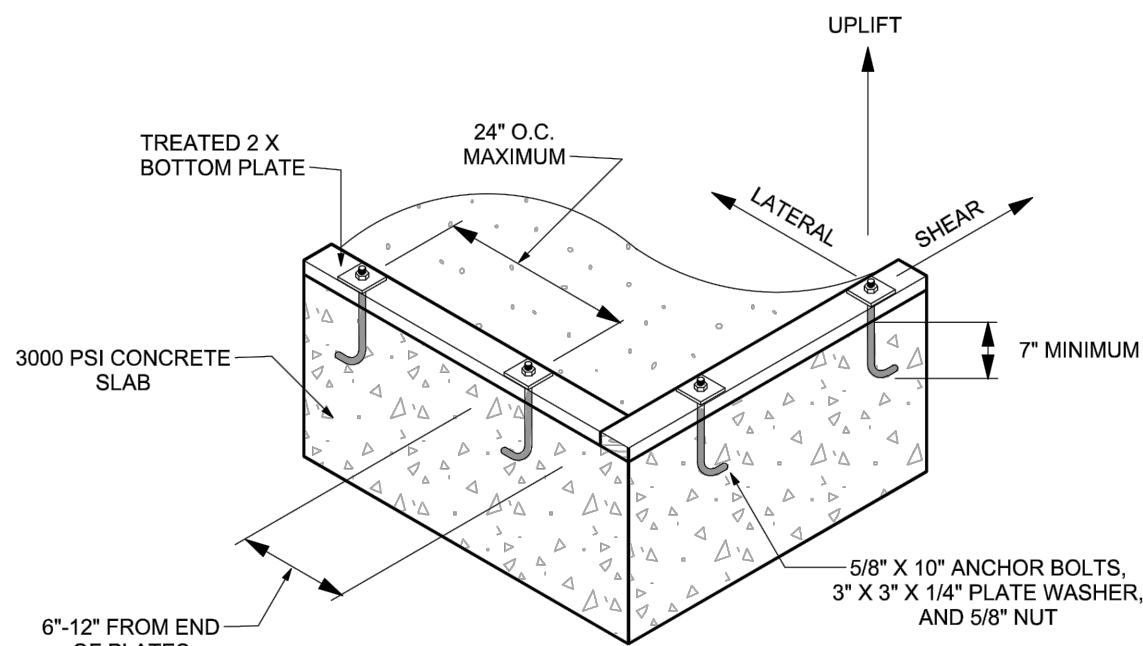
- ALL FILL SHALL BE RIVER SAND OR SANDY MATERIAL WITH NO MORE THAN 10% PASSING THROUGH US SIEVE NO 200. COMPACTED TO 95% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT DETERMINED IN ACCORDANCE WITH ASTM D 698 OR ASTM D 1557.
- ALL CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. ALL STRUCTURAL CONCRETE SHALL HAVE FLY ASH CONFORMING TO ASTM C 618, CLASS C OR F, 15% BY WEIGHT OF CEMENTITIOUS MATERIALS. CONCRETE FOR PARKING AREA CAN BE 3000 PSI OR SAME AS THE STRUCTURAL CONCRETE, IF DESIRED BY THE OWNER.
- CONCRETE INCLUDING METHOD OF TRANSPORTING, MIXING, AND PLACING SHALL CONFORM TO ACI 301.
- CONCRETE SUPPLIER SHALL HAVE CURRENT NRMCA CERTIFICATION.
- CONCRETE MIX DESIGN AND NRMCA CERTIFICATION SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- ALL REINFORCING BARS SHALL CONFORM TO ASTM A 615 AND THE DETAILS SHALL CONFORM TO ACI 318 LATEST EDITION. # 5 DOWELS IN EXISTING CONCRETE SHALL BE GALVANIZED OR STAINLESS STEEL BARS.
- LAP LENGTH REQUIRED FOR BARS: # 5 BARS 18"
- TEMPERATURE OF CONCRETE SHALL NOT BE LESS THAN 30 DEGREES DURING 24 HOURS AFTER POUR OR NOT MORE THAN 90 DEGREES AT THE TIME OF POUR.
- CONCRETE SHALL BE CURED FOR 7 DAYS AFTER POUR.

CONCRETE NOTES:

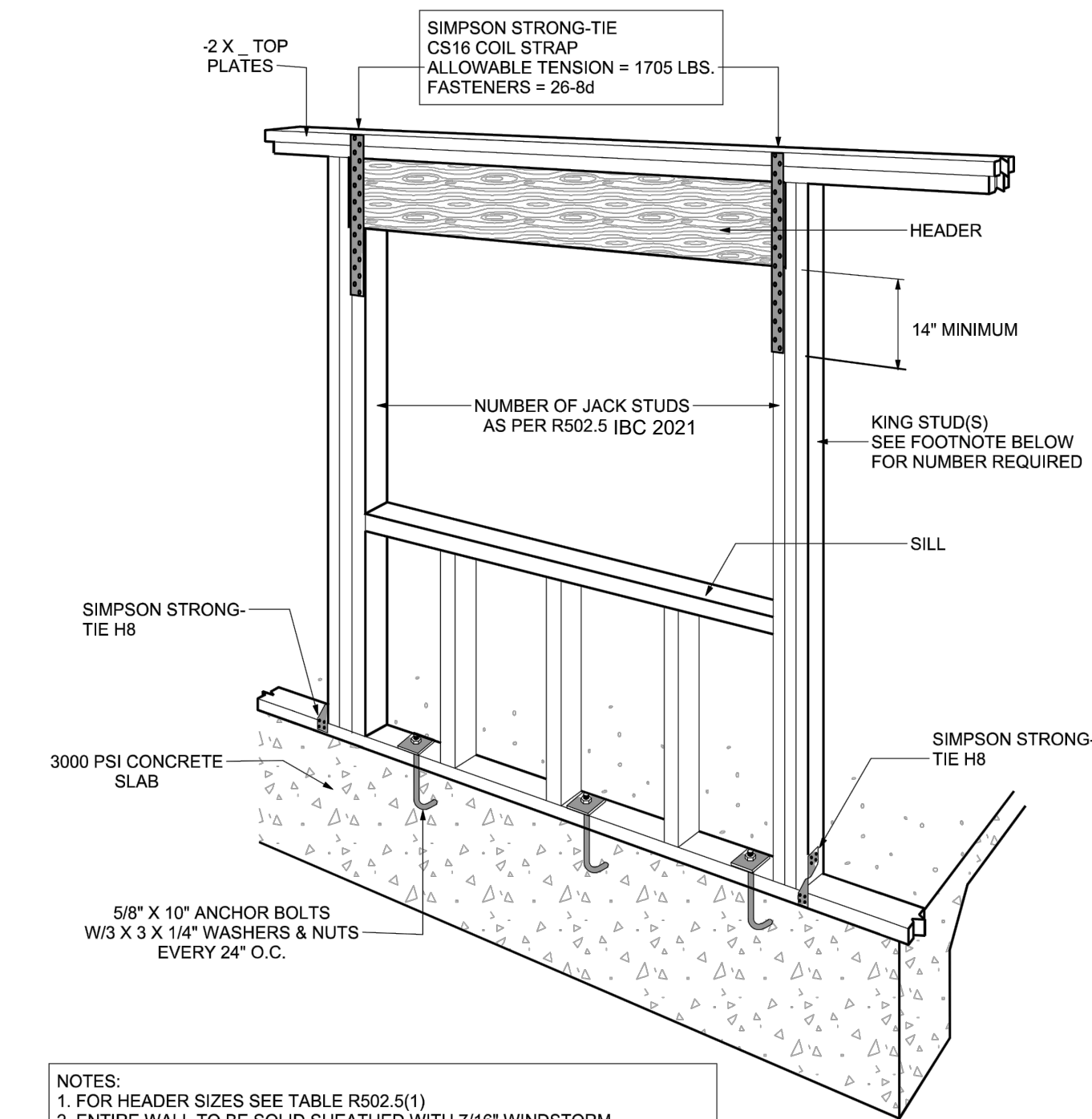
- DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
  - ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
  - ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
  - ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- ALL STRUCTURAL CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
- IT IS RECOMMENDED THAT CONCRETE HAS FLY ASH CONFORMING WITH ASTM C618 CLASS C OR F UPTO 25% BY WEIGHT OF TOTAL CEMENTITIOUS MATERIAL MID RANGE WATER REDUCER (MRWR) ALSO IS RECOMMENDED.
- PROVIDE ANCHOR/RODS BOLTS CONFORMING TO ASTM F1554 GRADE 36, HEAVY HEXAGON NUTS CONFORMING TO ASTM A563 AND WASHERS CONFORMING TO F436. GALVANIZE BOLTS, NUTS, SLEEVES AND WASHERS IN ACCORDANCE ASTM A153.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 REQUIREMENTS FOR GRADE 60 DEFORMED BARS. DETAILING & FABRICATION SHALL BE IN ACCORDANCE WITH ACI 315.
- CONCRETE SHALL BE CURED IN ACCORDANCE WITH ACI 318 AND 308R.
- ALL SPLICES AND DEVELOPMENT LENGTHS SHALL BE IN ACCORDANCE WITH ACI 318, SECTION 12, "BUILDING CODE REQUIRED FOR STRUCTURAL CONCRETE" ALL SPLICES SHALL BE CLASS "B", UNLESS APPROVED OTHERWISE.



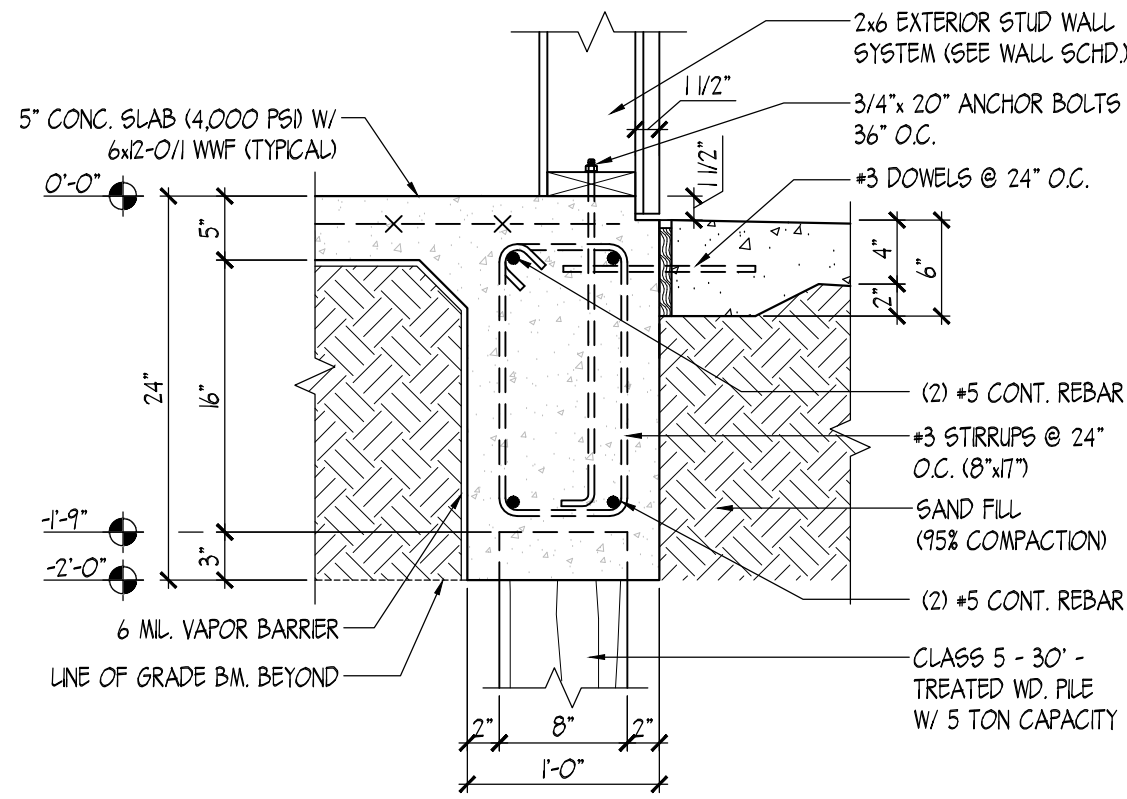
foundation section



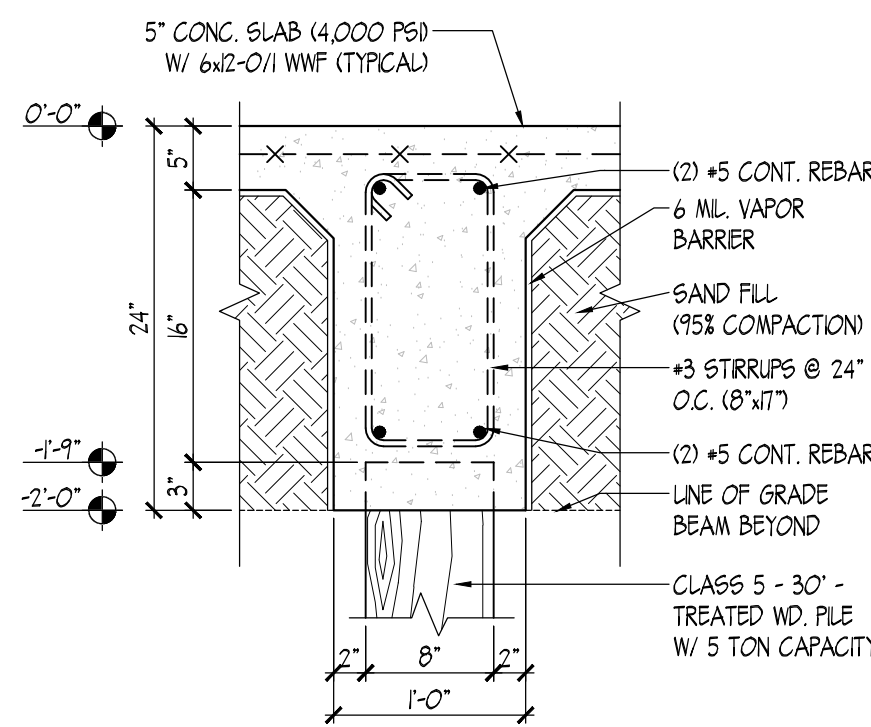
typical anchor bolt detail



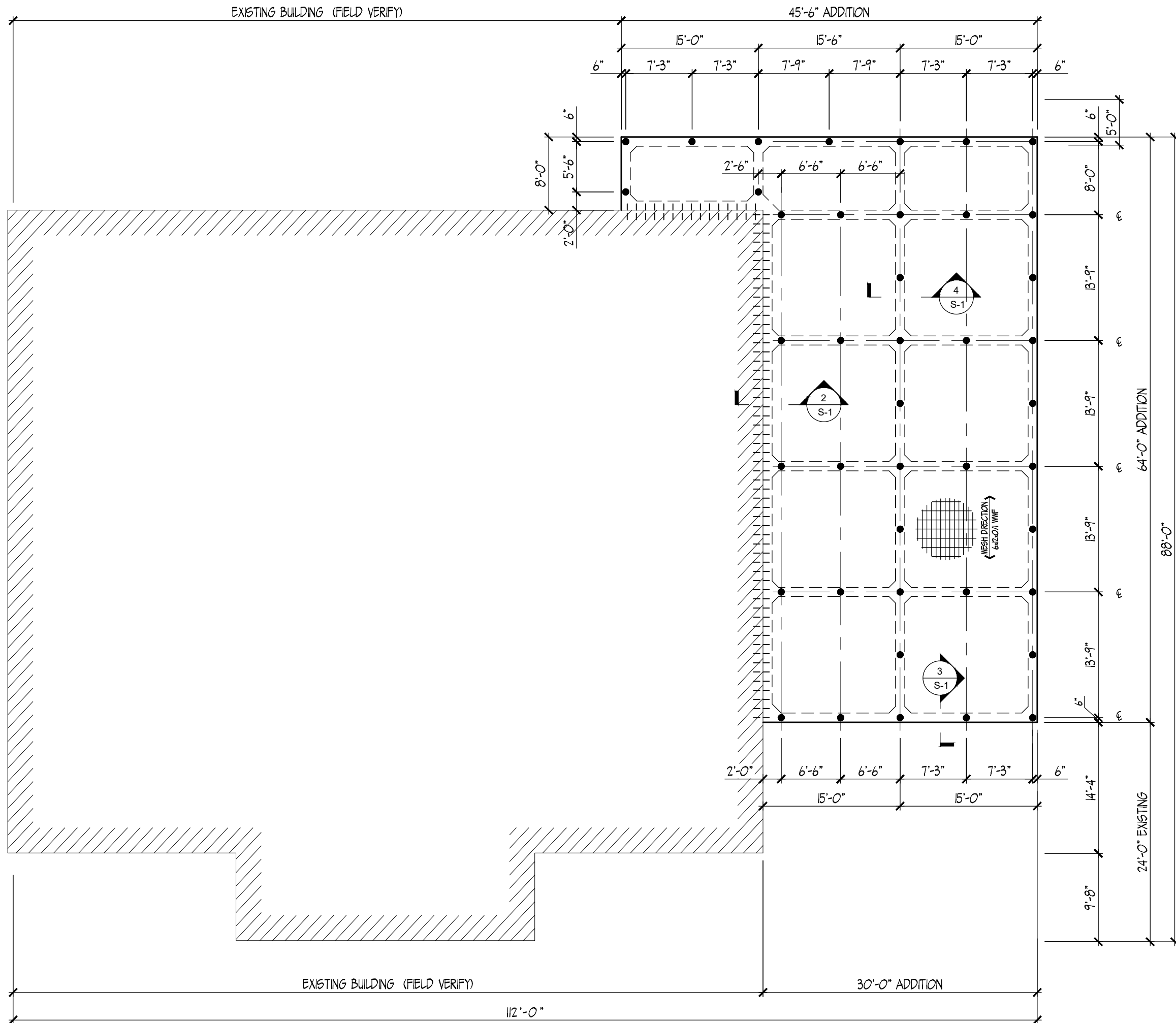
typ. exterior header strapping detail



foundation section



foundation section



proposed foundation plan



ADDITION TO:  
1020 FORSTALL ST  
NEW ORLEANS, LOUISIANA, 70117

project no.:	2307
date:	8/19/23
drawn by:	ys
checked by:	hs
revisions:	

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of  
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A D D I T I O N A L  
1020 FORSTALL ST  
NEW ORLEANS, LOUISIANA, 70117

project no.:	2307
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revisions:	

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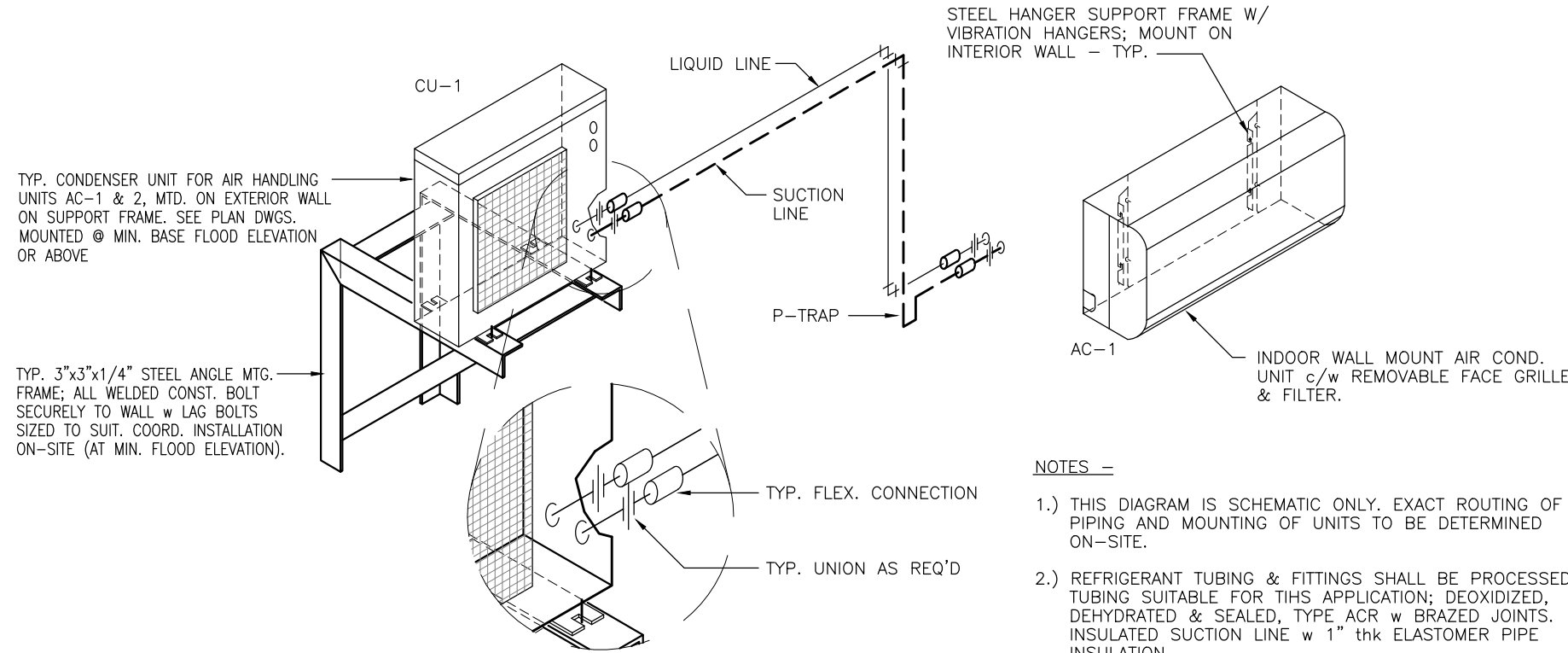
lighting plan,  
electrical notes

HVAC GENERAL NOTES:

- GENERAL NOTES ARE APPLICABLE TO ALL HVAC DRAWINGS.
- ALL LABOR AND MATERIALS SHALL COMPLY WITH ALL STATE, CITY, AND LOCAL SPECIFICATIONS AND CODES. ALL LABOR AND MATERIALS MUST ALSO COMPLY WITH THE REQUIREMENTS OF NFPA 90A AND THE STATE FIRE MARSHAL.
- THE LOCATION OF THE DIFFUSERS AND LIGHT FIXTURES MUST BE COORDINATED. THE LOCATION OF LIGHT FIXTURES TAKES PRECEDENCE OVER THE LOCATION OF DIFFUSERS. COORDINATE WITH ENGINEER OF RECORD PRIOR TO ANY MODIFICATIONS OF DESIGN AND OR COMPONENT LOCATIONS.
- ALL DUCT MATERIALS MUST CONFORM WITH NFPA 90A.
- VOLUME / BALANCE DAMPERS SHALL BE INSTALLED AT ALL BRANCH DUCTS. THE DAMPERS SHOULD BE LOCATED IN TENANT SPACE OFFICES A MINIMUM OF 4' FROM DIFFUSERS AND A MAXIMUM OF 5' ABOVE THE CEILING. ACCESS TO THESE DAMPERS SHOULD BE PROVIDED. REFER TO MANUFACTURER FOR SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS.
- FLEXIBLE DUCT SHALL BE FACTORY FABRICATED AND MUST HAVE INNER LINED INSULATION AND OUTER JACKET. IT MUST BE U.L. LISTED AND COMPLY WITH NFPA 90A. FLEXIBLE DUCT MUST BE INSTALLED AND SUPPORTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THE TOPS OF ALL DIFFUSERS SHALL BE INSULATED WITH DUCT WRAP TO PREVENT CONDENSATION.
- ALL PIPING USEF FOR REFRIGERANT SHALL BE ASTM B-280 SEAMLESS COPPER TUBING (ACR) TYPE L, SOFT DRAWN. TUBING SHALL BE INSTALLED AND SIZED ACCORDING TO THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- LOW PRESSURE REFRIGERANT LINES AND METAL CONDENSATE DRAIN LINES SHALL CONFORM WITH NFPA 90A AND BE INSULATED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- INSTALL FIRE SEAL WHERE PIPING AND DUCTWORK PENETRATE A FIRE WALL. FIRE SEAL SHALL BE EQUAL OR GREATER THAN THE FIRE RATING OF THE WALL BEING PENETRATED IN ORDER TO MAINTAIN THE REQUIRED RATING OF THE WALL ASSEMBLY.
- LOCATE EXHAUST FAN OUTLETS A MINIMUM OF 10' FROM ANY FRESH AIR INTAKE.

ELECTRICAL NOTES:

- ALL EQUIPMENT FURNISHED AND ALL WORK SHALL BE IN STRICT CONFORMITY WITH ELECTRICAL SECTION OF REGULATORY INSPECTIONS FOR JEFFERSON PARISH, STATE FIRE MARSHALL, N.E.C., ENERGY & ALL OTHER APPLICABLE LAWS, ORDINANCES, CODES & RULES OF CONSTRUCTION APPLICABLE IN THE LOCALITY OF WORK.
- PERMITS, CERTIFICATES, OF INSPECTION AND APPROVAL AS APPLICABLE TO THE VARIOUS PORTIONS OF THE WORK SHALL BE OBTAINED FROM THE INSPECTION AGENCY HAVING JURISDICTION THEREON AND SHALL BE DELIVERED TO THE OWNER PRIOR TO ACCEPTANCE OF THE WORK. PAY ALL FEES REQUIRED IN CONNECTION WITH VARIOUS INSPECTIONS AND PERMITS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
- EACH BRANCH CIRCUIT AND/OR FEEDER SHALL HAVE A GREEN INSULATED EQUIPMENT GROUND CONDUCTOR, SIZED PER NEC.
- ALL PENETRATIONS THROUGH PARTITIONS AND CEILINGS SHALL BE PROPERLY SEALED TO MAINTAIN FIRE RATING OF CEILINGS AND PARTITIONS
- UPON COMPLETION, FURNISH AS-BUILT SCHEMATIC DRAWING OF ALL VARIATIONS OF EXISTING PLANS TO OWNER.
- UPON COMPLETION OF THE WORK, TEST THE NEW INDIVIDUAL SYSTEMS, INCLUDING ALL FEEDERS AND BRANCH CIRCUITS TO RECEPTACLES, LIGHTING WITH A 500 VOLT DC INSULATION TESTER (WITH AN 0-200 MEGOHM FULL SCALE). ALL CONDUCTORS SHALL HAVE INSULATION TESTED WHEN WIRING SYSTEM IS COMPLETE AND A LOG KEPT OF THE CIRCUIT NAME, DATE AND MEGGER READINGS. RECORD FEEDER AND/OR CIRCUIT NAME, READING IN OHMS, AND SUBMIT REPORT TO ARCHITECT. CHECK FOR PROPER PHASE ROTATION. ALL TEST REPORTS SHALL BE TYPED. PROVIDE ALL INSTRUMENTS, LABOR, ETC. REQUIRED FOR TESTING. ALL TESTING SHALL BE OBSERVED BY THE ARCHITECT AND/OR REPRESENTATIVES OF THE ARCHITECT.
- UPON COMPLETION OF ALL TESTS AND ACCEPTANCE, FURNISH THE OWNER A WRITTEN GUARANTEE COVERING THE ELECTRICAL WORK DONE AND EQUIPMENT INSTALLED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, RECTIFY AND REPLACE ANY DEFECTIVE MATERIAL OR WORKMANSHIP AND REPAIR DAMAGE CAUSED THEREBY WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL LOCATIONS OF EQUIPMENT AND FINAL TERMINATION POINTS OF PLUMBING, MECHANICAL EQUIPMENT, OWNER SUPPLIED EQUIPMENT, ETC., WITH APPROVED SHOP DRAWINGS OR OWNERS EQUIPMENT VENDOR PRIOR TO START OF ROUGH-IN. WHERE REQUIRED, FIELD MOUNT U.L. LISTED AND APPROVED LUGS FOR OVERSIZED CONDUCTORS SPECIFIED.
- THE EXACT LOCATION OF ALL WALL MOUNTED RECEPTACLES, DATA/TELEPHONE OUTLETS, ETC., SHALL BE FIELD VERIFIED WITH OWNER PRIOR TO START OF ROUGH-IN.
- COORDINATE MOUNTING HEIGHTS OF ALL WALL MOUNTED EQUIPMENT, WIRING DEVICES, ETC., WITH ARCHITECTURAL DRAWINGS AND OWNER T PRIOR TO START OF ROUGH IN.
- CONTRACTOR SHALL MAKE ALL REQUIRED FINAL CONNECTIONS TO OWNER SUPPLIED EQUIPMENT. PROVIDE ALL REQUIRED CONDUITS, WIRING, WHIPS, ETC., FOR A COMPLETE AND WORKING SYSTEM. COORDINATE ALL REQUIREMENTS WITH OWNER EQUIPMENT VENDOR PRIOR TO START OF ROUGH-IN.
- ALL CONDUCTOR SHALL BE MINIMUM #12 AWG COPPER UNLESS NOTED OTHERWISE AND INSULATION SHALL BE THIN, COPPER TYPE, MOISTURE AND HEAT RESISTANCE THERMOPLASTIC, 75 DEGREE C EXCEPT WHERE NOTED.
- ALL POWER WIRING SHALL BE RUN IN EMT SCHEDULE 40 PVC UNDERGROUND & RIGID GALVANIZE UNDERGROUND & FITTINGS IN CLASSIFIED AREAS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO LABEL ALL ELECTRICAL EQUIPMENT WITH PANEL DESIGNATION, CIRCUIT NUMBER AND VOLTAGE.
- CONTRACTOR TO PROVIDE TYPEWRITTEN PANEL DIRECTORY.
- RECEPTACLES FOR ALL WIRING DEVICES SHALL BE NYLON.
- RECEPTACLES SHALL BE SPECIFICATION GRADE 120 V, 20 AMP UNLESS NOTED
- VERIFY FINAL EQUIPMENT ELECTRICAL RATINGS AGAINST DESIGNED RATINGS. NOTIFY ARCHITECT/ENGINEER IF DIFFERENT.

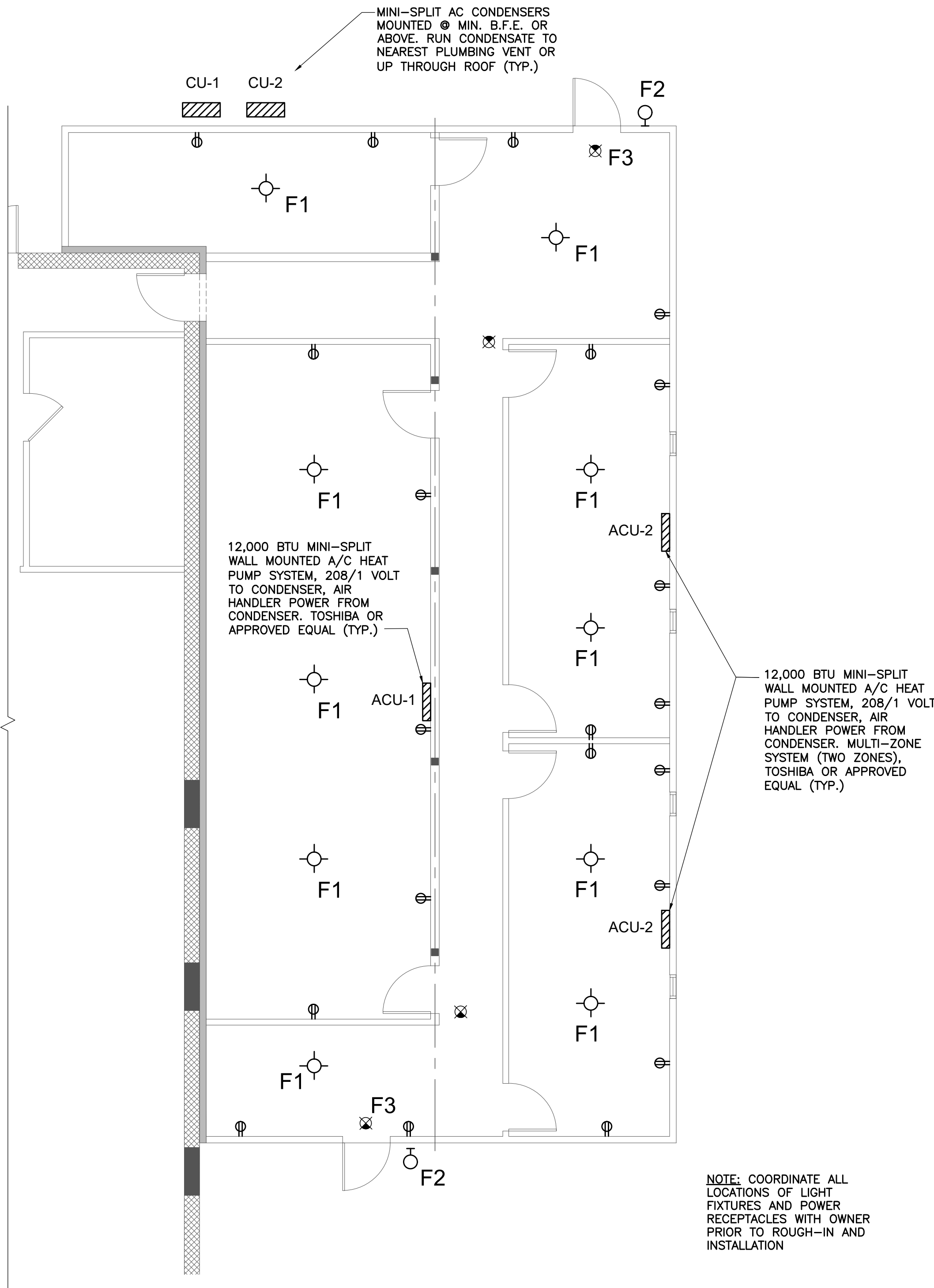


3 typical ductless mini-split detail  
ME-1

n.t.s.

electrical symbols	
mark	power description
	ISOLATED, INSULATED GROUND CONDUCTOR
	CONCEALED WIRING, (SHORT HATCH INDICATES LINE CONDUCTOR, LONG HATCH INDICATES NEUTRAL CONDUCTOR)
	UNDERGROUND WIRING
	208V NEMA RECEPTACLE. SEE EQUIPMENT CUT SHEET
	COUNTER RECEPTACLE @ 42" A.F.F.
	ISOLATED GROUND DUPLEX RECEPTACLE
	20A, 115V, 3W, GROUNDED DUPLEX WALL RECEPTACLE
	20A, 115V, 3W, GROUNDED DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTION
	20A, 115V, 3W, GROUNDED DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTION, WATERPROOF HOUSING
	15A, 120V, SINGLE POLE TOGGLE SWITCH, MOUNT @ 52" A.F.F.
	15A, 120V, 3 [4] WAY SWITCH, MOUNT @ 52" A.F.F.
	ELECTRIC METER
	PANEL
	4" JUNCTION BOX
	FUSIBLE DISCONNECT SWITCH 208 V
	NON FUSIBLE DISCONNECT SWITCH 208V
mark	lighting description
F10	LIGHTING FIXTURE MARK, DENOTES LIGHTING FIXTURE TYPE
	RECESSED DOWN LIGHT
	SURFACE MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	2' x 4' FLUORESCENT CEILING SUSPENDED FIXTURE
	EXHAUST FAN (EF)
	EMERGENCY LIGHT WITH BATTERY BACKUP
	EXIT SIGN (VERIFY LOCATIONS PRIOR TO INSTALLATION)
	COMBO EXIT / EMERGENCY LIGHT WITH BATTERY BACKUP
	WALL PACK
	1000 WATT, 120V, PHOTO CELL
mark	communication description
	TELEPHONE OUTLET, PROVIDE 3/4" CONDUIT TO ABOVE FINISHED CEILING WITH PULL STRING
	COMPUTER / DATA OUTLET, PROVIDE 3/4" CONDUIT TO ABOVE FINISHED CEILING WITH PULL STRING
	SMOKE DETECTOR

lighting fixture schedule	
mark	description
F1	CEILING MOUNT LED LOW PROFILE LIGHT FIXTURE
F2	WALL MOUNT, EXTERIOR DECORATIVE LIGHT FIXTURE
F3	EXIT / EMERGENCY LIGHT COMBO, 120V, 5.4 WATT LAMP, BATTERY BACKUP.
F4	EMERGENCY LIGHT, 120V, BATTERY BACK-UP.
lighting fixture schedule notes	
1. ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER.	



NOTE: COORDINATE ALL LOCATIONS OF LIGHT FIXTURES AND POWER RECEPTACLES WITH OWNER PRIOR TO ROUGH-IN AND INSTALLATION

1 proposed lighting & hvac plan  
ME-1



PLAN NORTH  
3/32" = 1'-0"



LANDSCAPE HORTICULTURIST:

VINCENT PAUL MILLER  
5021 UTICA ST.  
METAIRIE, LA. 70006

LANDSCAPE HORTICULTURIST LIC. #: 23-4080

A D D I T I O N A L :  
1020 FORSTALL ST  
1020 FORSTALL STREET  
NEW ORLEANS, LOUISIANA, 70117

project no.: 2307

date: 2/18/24

drawn by: ys

checked by: vm

revisions:

LS-1

1  
of  
2

existing site plan / landscape plan,  
proposed site plan / landscape plan,  
plant schedule

EXISTING LOT AREAS:	
EXISTING PAVED AREA:	7,738 SF
EXISTING PERMEABLE AREA:	12,405 SF
EXISTING BUILDING AREA:	5,940 SF
<hr/>	
TOTAL LOT SIZE:	26,083 SF (0.60 ACRES)

BUILDING AREAS:	
EXISTING BUILDING AREA:	5,940 SF
PROPOSED ADDITION :	1,989 SF
<hr/>	
TOTAL BUILDING AREA:	7,929 SF

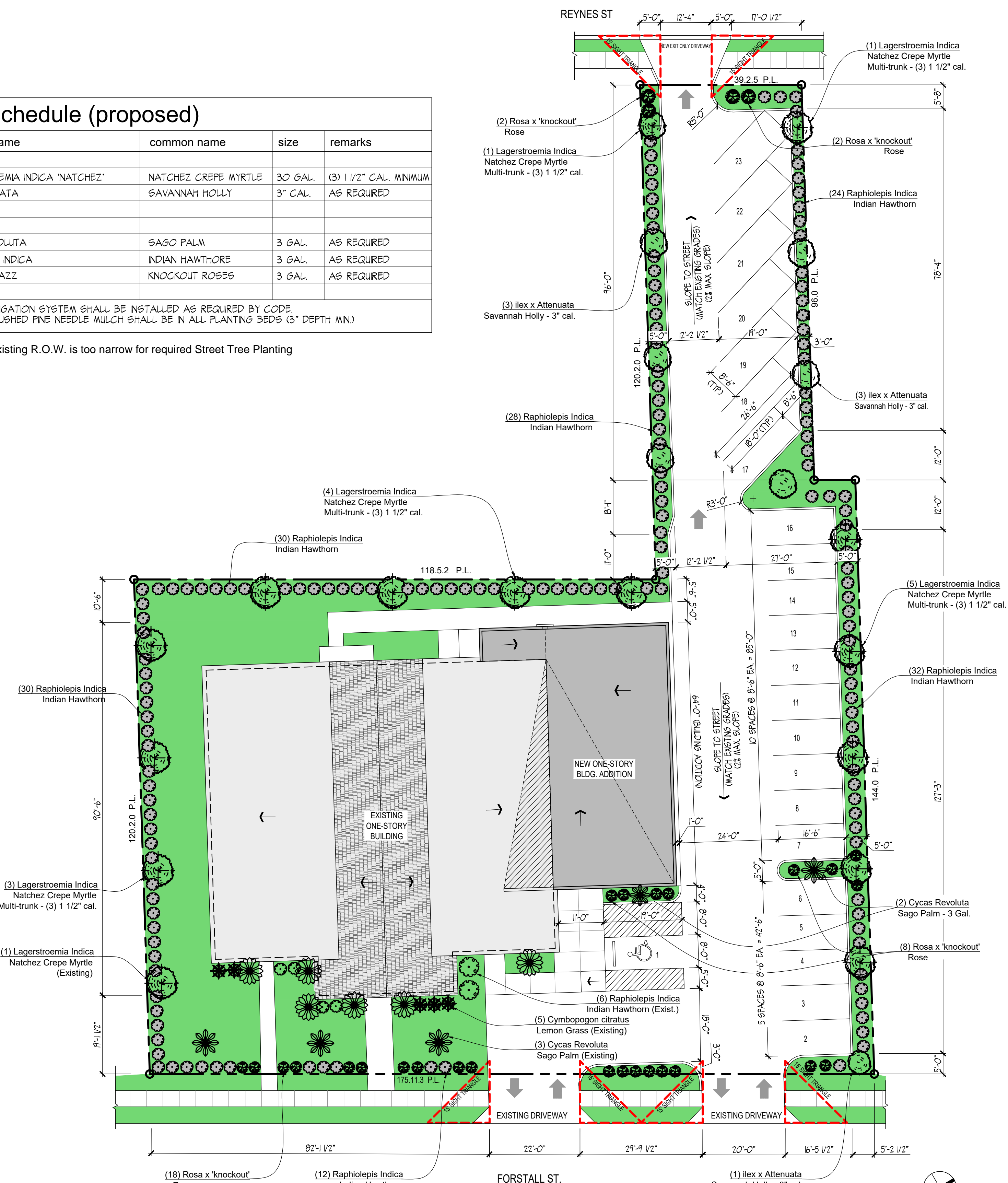
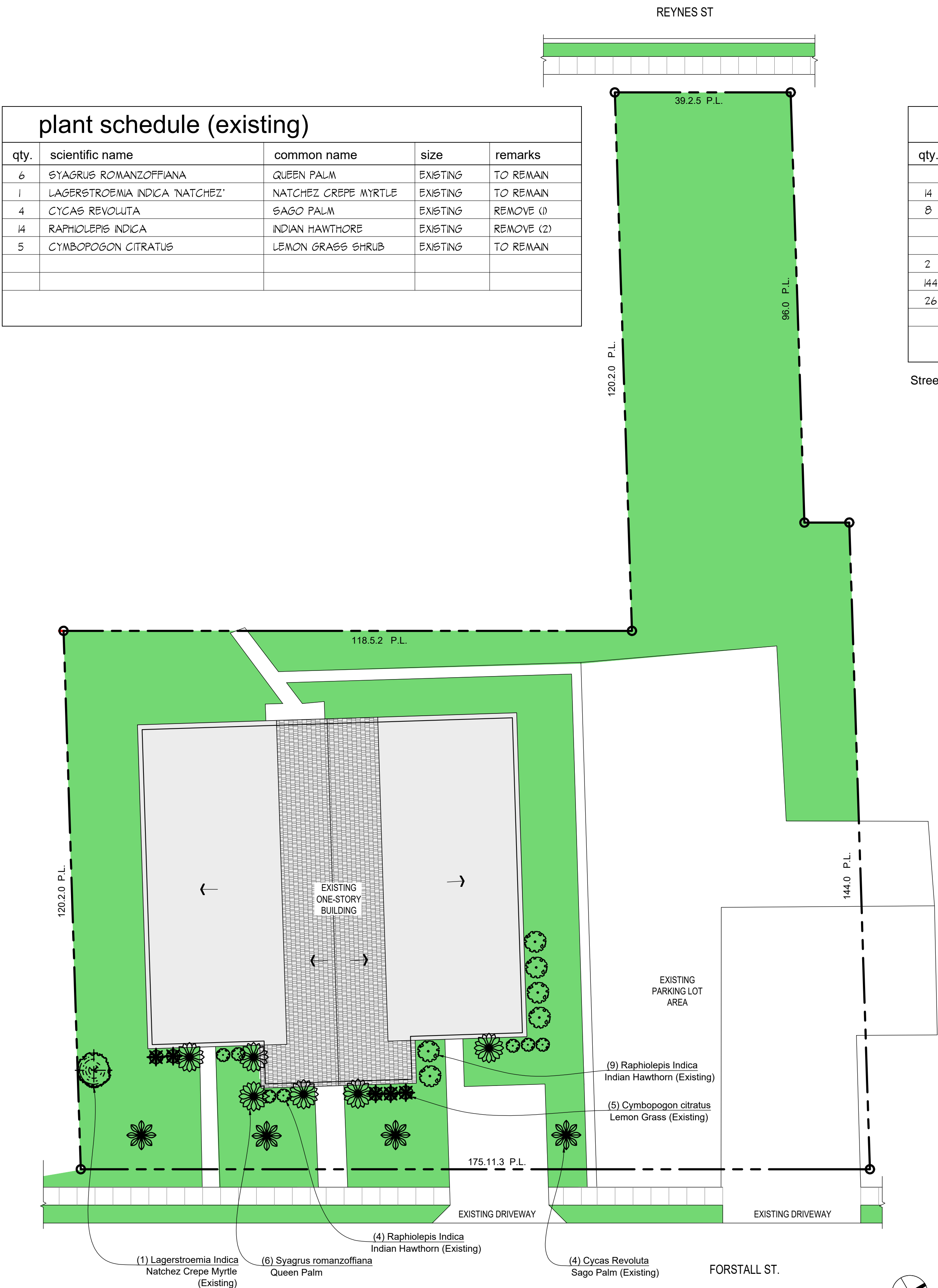
PROPOSED LOT AREAS:	
PROPOSED PAVED AREA:	11,634 SF
PROPOSED PERMEABLE AREA:	6,520 SF
PROPOSED BUILDING AREA:	7,929 SF
<hr/>	
TOTAL LOT SIZE:	26,083 SF (0.60 ACRES)

surface material key	
symbol	material
	GRASS AREA (CENTIPEDE SOD)
	CONCRETE PAVED AREA (NO HATCH)
	BUILDING FOOTPRINT

plant schedule (existing)				
qty.	scientific name	common name	size	remarks
6	SYAGRUS ROMANZOFFIANA	QUEEN PALM	EXISTING	TO REMAIN
1	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CREPE MYRTLE	EXISTING	TO REMAIN
4	CYCAS REVOLUTA	SAGO PALM	EXISTING	REMOVE (1)
14	RAPHIOLEPIB INDICA	INDIAN HAWTHORE	EXISTING	REMOVE (2)
5	CYMOPOGON CITRATUS	LEMON GRASS SHRUB	EXISTING	TO REMAIN

plant schedule (proposed)				
qty.	scientific name	common name	size	remarks
	trees:			
14	LAGERSTROEIA INDICA 'NATCHEZ'	NATCHEZ CREPE MYRTLE	30 GAL.	(3) 1 1/2" CAL. MINIMUM
8	ILEX ATTENUATA	SAVANNAH HOLLY	3" CAL.	AS REQUIRED
	shrubs:			
2	CYCAS REVOLUTA	SAGO PALM	3 GAL.	AS REQUIRED
144	RAPIHOLEPIS INDICA	INDIAN HAWTHORE	3 GAL.	AS REQUIRED
26	ROSA RADRAZZ	KNOCKOUT ROSES	3 GAL.	AS REQUIRED
NOTE: - IRRIGATION SYSTEM SHALL BE INSTALLED AS REQUIRED BY CODE. - CRUSHED PINE NEEDLE MULCH SHALL BE IN ALL PLANTING BEDS (3" DEPTH MIN)				

Street Tree Note: Existing R.O.W. is too narrow for required Street Tree Planting



1 existing site plan / landscape plan

2 proposed site plan / landscape plan



1.1 GENERAL

A. Submittals: In addition to product certificates, submit the following:

1. Certification of grass seed from seed vendor for each seed mixture.
2. Planting schedule indicating anticipated dates and locations for each type of planting.

B. Quality Assurance: Provide trees, shrubs, ground covers, and plants of quality, size, genus, species, and variety indicated, complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock."

C. Special Warranty: Warrant trees, shrubs and ground covers for a period of one year after date of Substantial Completion, against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner, abnormal weather conditions unusual for warranty period, or incidents which are beyond Contractor's control.

1. Remove and replace unhealthy and dead trees and shrubs within the warranty period.

D. Maintain and establish lawns by watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to produce a uniformly smooth lawn for not less than the following:

1. Seeded Lawns: 60 days after date of Substantial Completion.
2. Sodded Lawns: 30 days after date of Substantial Completion.

1.2 PRODUCTS

A. Trees and Shrubs: Well-shaped, fully branched, healthy, vigorous nursery-grown stock of sizes and grades indicated, free of disease, insects, eggs, larvae, and defects, conforming to ANSI Z60.1.

1. Provide balled and burlapped trees and shrubs.
2. Provide container grown trees and shrubs.

B. Ground Covers and Plants: Established and well rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size indicated.

C. Grass Seed: Fresh, clean, dry, new-crop seed complying with the Association of Official Seed Analysts' "Rules for Testing Seeds" for purity and germination tolerances.

1. Seed Mixture: Provide seed of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated.

D. Sod: Certified turfgrass sod complying with ASPA specifications for machine-cut thickness, size, strength, moisture content, and mowed height, and free of weeds and undesirable native grasses. Provide viable sod of uniform density, color, and texture, strongly rooted, and capable of vigorous growth and development when planted.

1. Species: Provide sod of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated.

E. Topsoil: ASTM D 5268, pH range of 5.5 to 7, 4 percent organic material minimum, free of stones 1 inch (25 mm) or larger in any dimension, and other extraneous materials harmful to plant growth.

1. Topsoil Source: Amend existing surface soil to produce topsoil. Supplement with imported topsoil when required.
2. Imported topsoil: Equal parts of sharp sand, peat moss and composted bark.

F. Lime: ASTM C 602, Class T, agricultural limestone.

G. Peat Humus: Finely divided or granular texture, with a pH range of 6 to 7.5, composed of partially decomposed moss peat (other than sphagnum), peat humus, or reed-sedge peat.

H. Sawdust or Ground-Bark Humus: Decomposed, nitrogen-treated, of uniform texture, free of chips, stones, sticks, soil, or toxic materials.

I. Bonemeal: Commercial, raw, finely ground; minimum of 4 percent nitrogen and 20 percent phosphoric acid.

J. Superphosphate: Commercial, phosphate mixture, soluble; minimum of 20 percent available phosphoric acid.

K. Commercial Fertilizer: Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, 50 percent derived from natural organic sources of urea-form, phosphorous, and potassium in the following composition:

1. Composition: 1 lb per 1000 sq. ft. (0.5 kg per 100 sq. m) of actual nitrogen, 4 percent phosphorous, and 2 percent potassium, by weight.

L. Slow-Release Fertilizer: Granular fertilizer consisting of 50 percent water-insoluble nitrogen, phosphorus, and potassium in the following composition:

1. Composition: 5 percent nitrogen, 10 percent phosphorous, and 5 percent potassium, by weight.

M. Organic Mulch: Organic mulch, free from deleterious materials and suitable as a top dressing, consisting of ground or shredded bark, wood or bark chips, salt hay or threshed straw, or shredded hardwood.

N. Peat Mulch: Provide peat moss in natural, shredded, or granulated form, of fine texture, with a pH range of 4 to 6.

O. Mineral Mulch: Hard, durable riverbed gravel or crushed stone, washed free of loam, sand, clay, and other foreign substances.

1. Size Range: 1-1/2 inches (38 mm) maximum, 3/4 inch (19 mm) minimum.

P. Steel Edging: ASTM A 569 (ASTM A 569M), rolled edge, standard painted steel edging and accessories, fabricated in sections with loops stamped from or welded to face of sections approximately 30 inches (760 mm) apart to receive stakes.

1. Edging Size: 3/16 inch (4.8 mm) wide by 4 inches (102 mm) deep.

1.3 EXECUTION

A. Planting Soil Preparation: Before mixing, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful to plant growth. Mix soil amendments and fertilizers with topsoil at rates indicated.

B. Lawn Planting Preparation: Loosen subgrade to a minimum depth of 4 inches (100 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and sticks, roots, rubbish, and other extraneous materials.

1. Spread planting soil mixture to depth required to meet thickness, grades, and elevations shown, after light rolling and natural settlement. Do not spread if planting soil or subgrade is frozen.
2. Place approximately 1/2 the thickness of planting soil mixture required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil mixture.

C. Lawn Planting Preparation: Where lawns are to be planted in areas unaltered or undisturbed by excavating, grading, or surface soil stripping operations, remove and dispose of existing grass, vegetation, and turf.

1. Till surface soil to a depth of at least 6 inches (150 mm). Apply soil amendments and initial fertilizers and mix thoroughly into top 4 inches (100 mm) of soil. Trim high areas and fill in depressions. Till soil to a homogenous mixture of fine texture.

D. Grade lawn areas to a smooth, even surface with loose, uniformly fine texture. Remove trash, debris, stones larger than 1-1/2 inches (38 mm) in any dimension, and other objects that may interfere with planting or maintenance operations.

E. Moisten prepared lawn areas before planting when soil is dry and allow surface to dry before planting.

F. Ground Cover and Plant Bed Preparation: Loosen subgrade of planting bed areas to a minimum depth of 6 inches (150 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and sticks, roots, rubbish, and other extraneous materials.

1. Spread planting soil mixture to depth required to meet thickness, grades, and elevations shown, after light rolling and natural settlement. Place approximately 1/2 the thickness of planting soil mixture required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil mixture.

G. Ground Cover and Plant Bed Preparation: Till soil in beds to a minimum depth of 8 inches (200 mm) and mix with specified soil amendments and fertilizers.

H. Excavation for Trees and Shrubs: Excavate pits with vertical sides and with bottom of excavation slightly raised at center to assist drainage. Excavate approximately 1-1/2 times as wide as ball diameter and deep enough to allow placing of root ball on a setting layer of planting soil. Loosen hard subsoil in bottom of excavation.

I. Planting Trees and Shrubs: Set stock plumb and in center of pit or trench with top of ball raised above adjacent finish grades.

1. Place a setting layer of compacted planting soil.
2. Remove burlap and wire baskets from tops of balls and partially from sides, but do not remove from under balls. Do not use planting stock if ball is cracked or broken before or during planting operation.
3. Place backfill around ball in layers, tamping to settle backfill and eliminate voids and air pockets.
4. Dish and tamp top of backfill to form a 3-inch- (75-mm-) high mound around the rim of the pit. Do not cover top of root ball with backfill.

J. Tree and Shrub Pruning: Prune, thin, and shape trees and shrubs according to standard horticultural practice. Prune trees to retain required height and spread. Do not cut tree leaders; remove only injured or dead branches from flowering trees. Prune shrubs to retain natural character. Shrub sizes indicated are size after pruning.

K. Planting Ground Cover and Plants: Space 24 inches (600 mm) apart, unless otherwise indicated. Dig holes large enough to allow spreading of roots, and backfill with planting soil. Work soil around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water. Water thoroughly after planting, taking care not to cover plant crowns with wet soil.

L. Mulching: Completely cover area to be mulched. Apply mulch and finish level with adjacent finish grades. Do not place mulch against trunks or stems.

M. Seeding Lawns: Sow seed with a spreader or a seeding machine. Do not broadcast or drop seed when wind velocity exceeds 5 mph (8 km/h). Evenly distribute seed by sowing equal quantities in 2 directions at right angles to each other. Rake seed lightly into top 1/8 inch (3 mm) of topsoil, roll lightly, and water with fine spray.

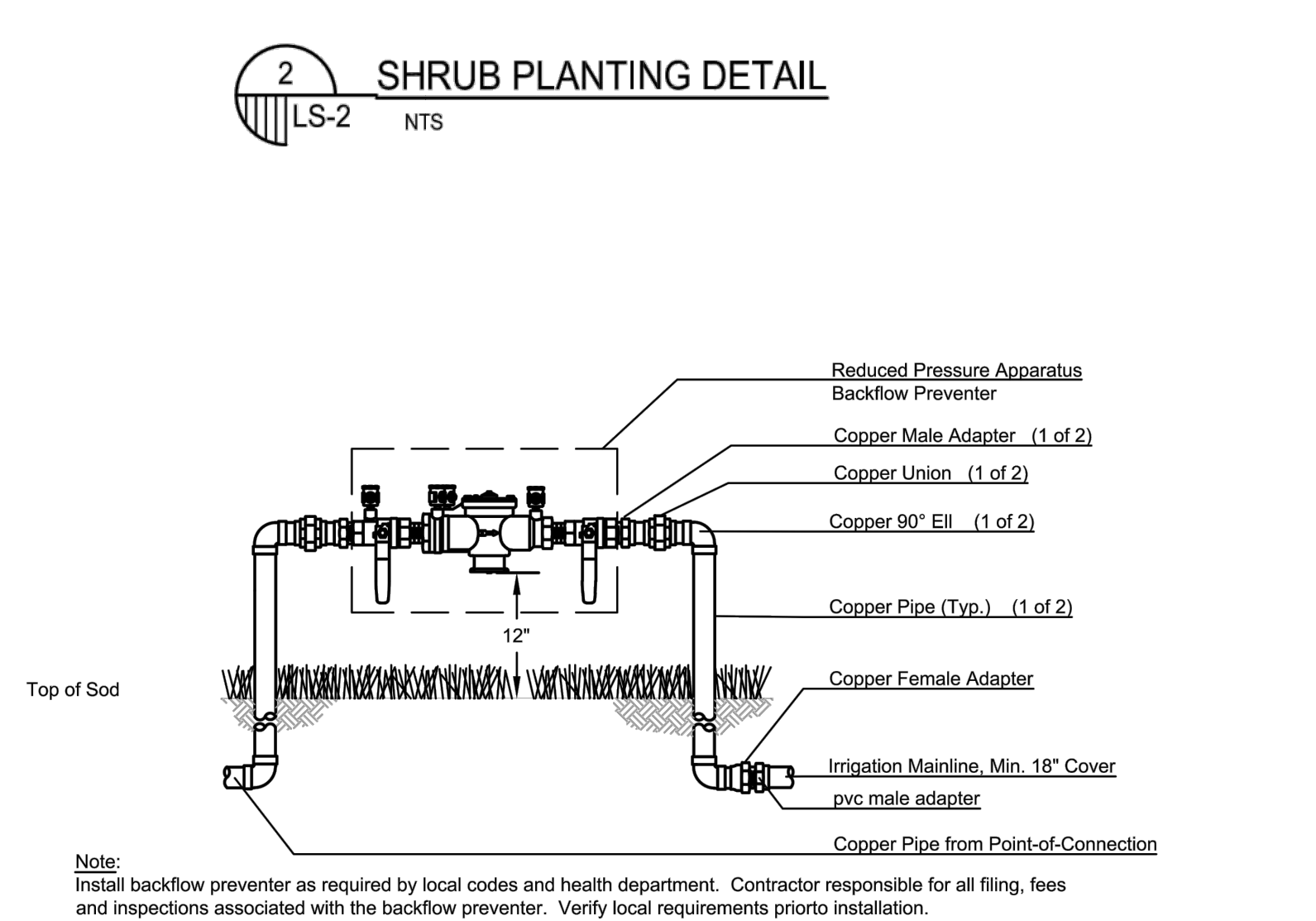
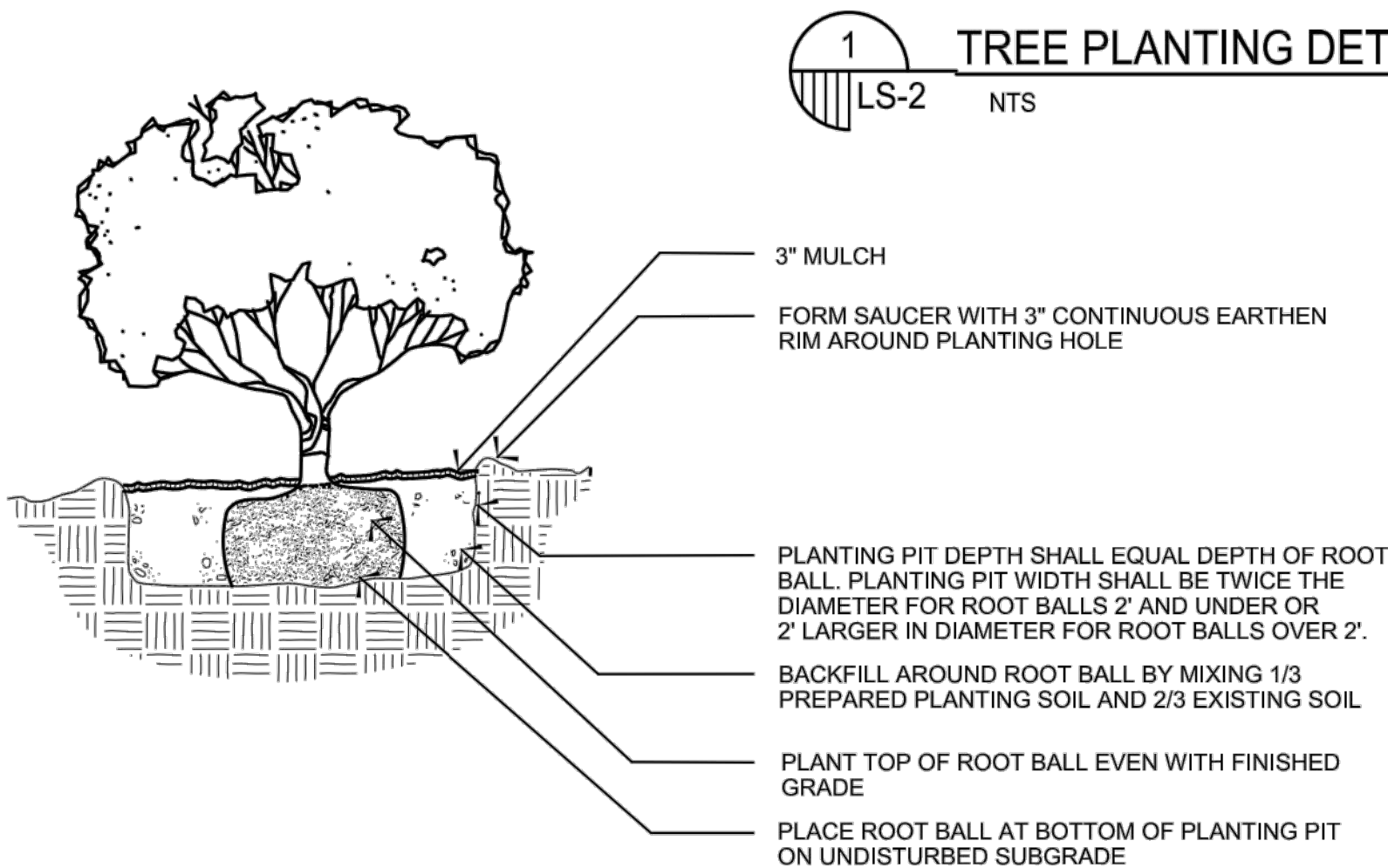
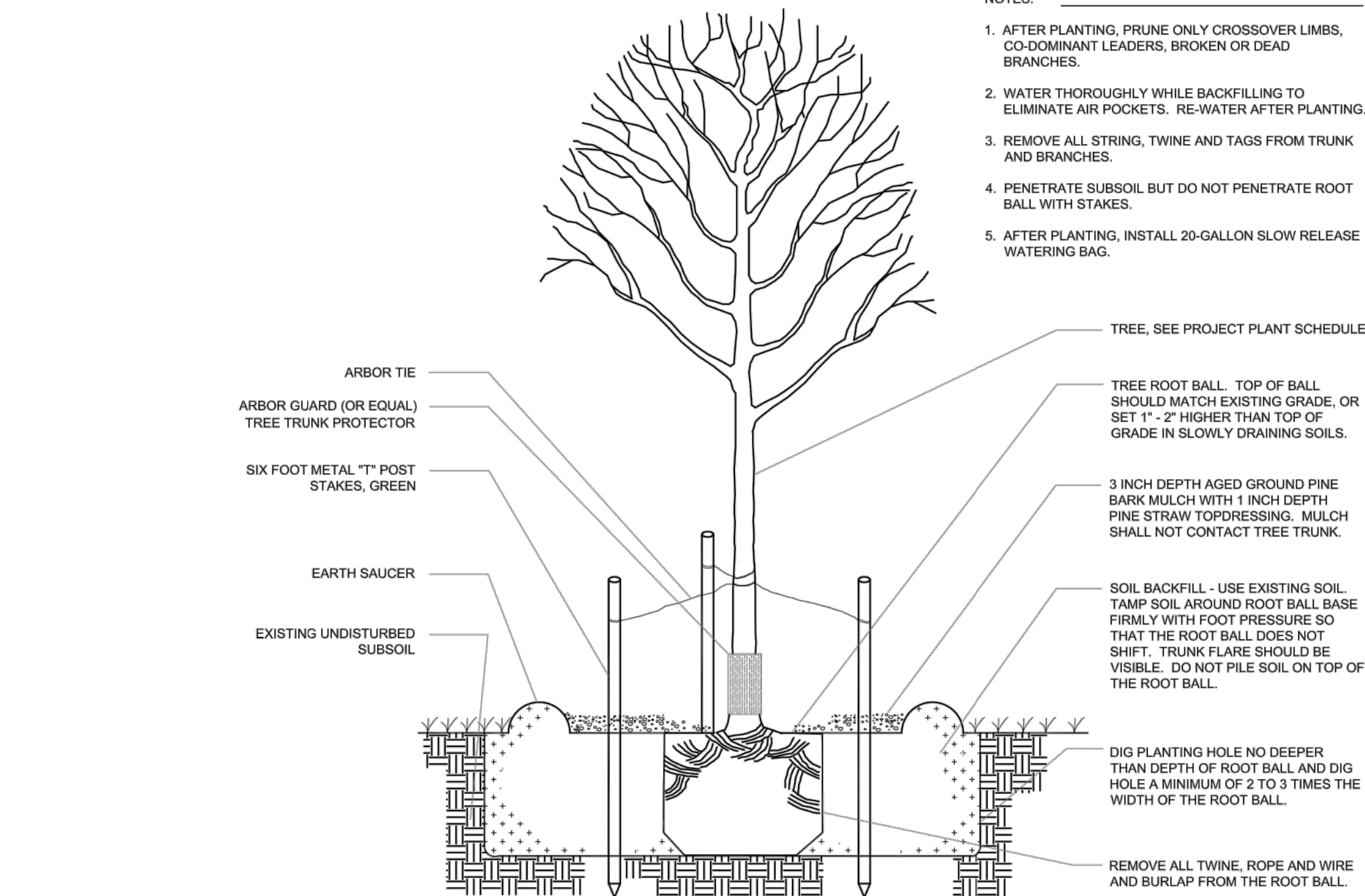
N. Sodding Lawns: Lay sod to form a solid mass with tightly fitted joints within 24 hours of stripping. Butt ends and sides of sod; do not stretch or overlap. Stagger soil strips or pads to offset joints in adjacent courses. Avoid damage to subgrade or sod during installation. Tamp and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface. Work sifted soil or fine sand into minor cracks between pieces of sod; remove excess to avoid smothering sod and adjacent grass.

1. Anchor sod on slopes exceeding 1:6 with wood pegs spaced as recommended by sod manufacturer.
2. Saturate sod with fine water spray within 2 hours of planting. During first week, water daily or more frequently as necessary to maintain moist soil to a minimum depth of 1-1/2 inches (38 mm) below the sod.

O. Edgings: Install edgings where indicated and anchor with stakes driven below top elevation of edging according to manufacturer's recommendations.

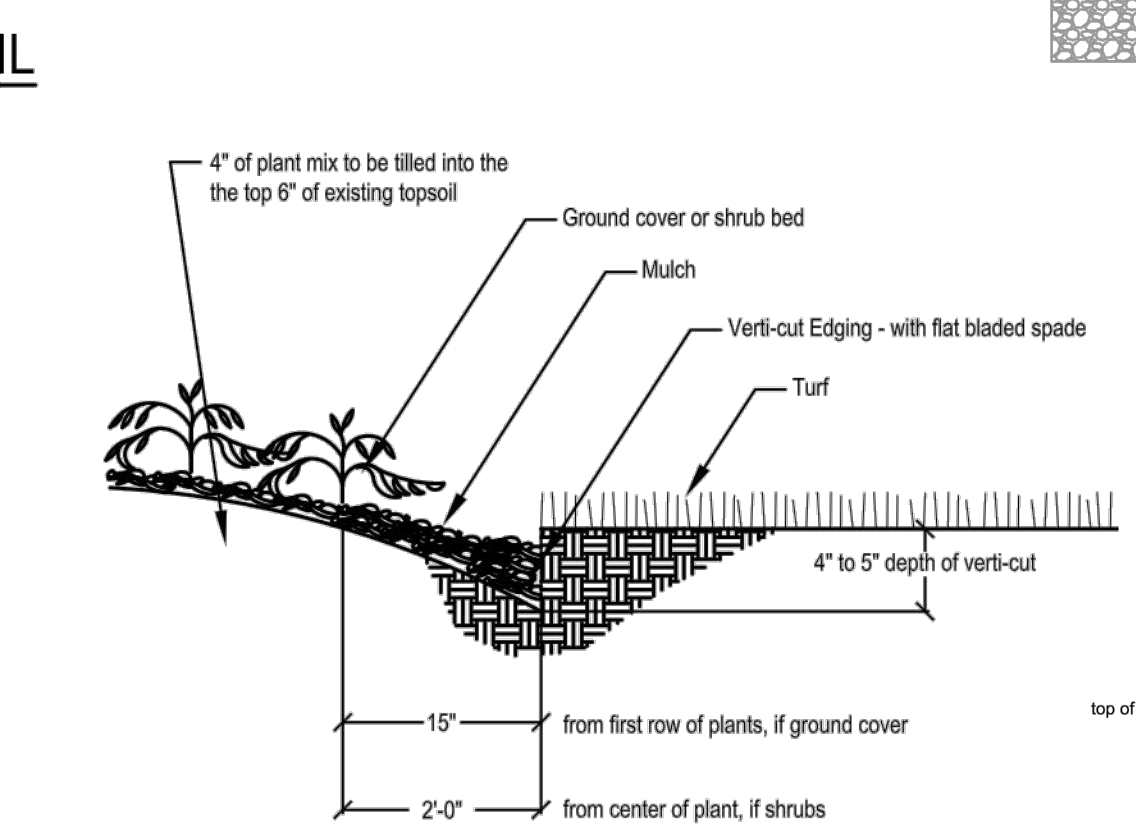
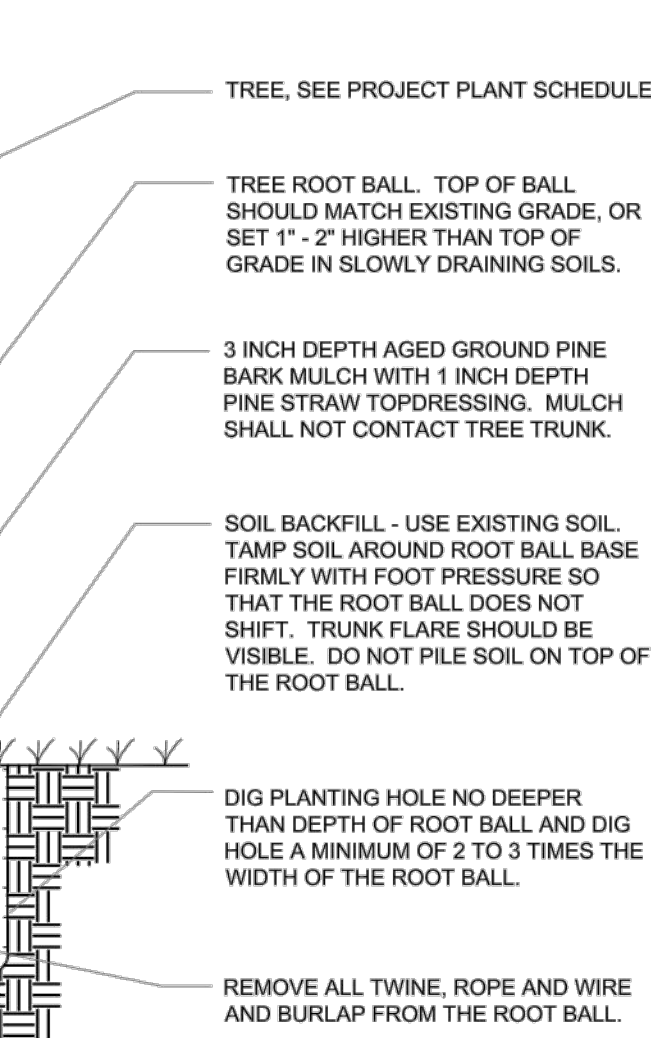
P. Disposal: Remove surplus soil and waste material, including excess subsoil, unsuitable soil, trash, and debris, and legally dispose of it off the Owner's property.

END OF SECTION 02900

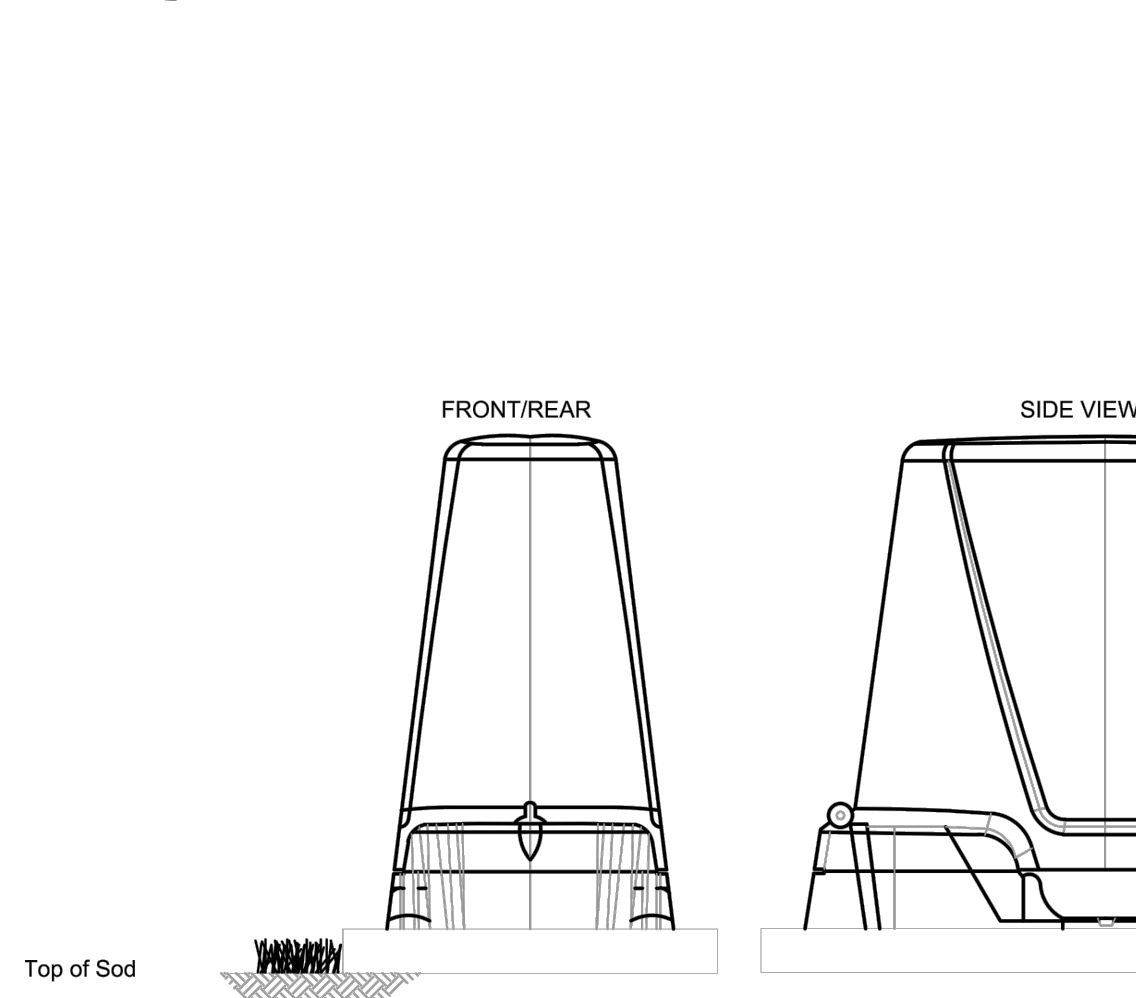


BACKFLOW PREVENTER  
SCALE: NOT TO SCALE

- NOTES:
1. AFTER PLANTING, PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, BROKEN OR DEAD BRANCHES.
  2. WATER THOROUGHLY WHILE BACKFILLING TO ELIMINATE AIR POCKETS. RE-WATER AFTER PLANTING.
  3. REMOVE ALL STRING, TWINE AND TAGS FROM TRUNK AND BRANCHES.
  4. PENETRATE SUBSOIL BUT DO NOT PENETRATE ROOT BALL WITH STAKES.
  5. AFTER PLANTING, INSTALL 20-GALLON SLOW RELEASE WATERING BAG.



PLANTING EDGE DETAIL  
SCALE: NOT TO SCALE



CLASS II BACKFLOW PREVENTER COVER  
SCALE: NOT TO SCALE



project no.:	2307
date:	2/18/24
drawn by:	ys
checked by:	vm
revisions:	









Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

**Covid-19 Submittal Protocol:** Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review

Interim Zoning Districts Appeal

Moratorium Appeal

Property Location \_\_\_\_\_

### APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name \_\_\_\_\_

Applicant Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Applicant Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name \_\_\_\_\_

Property Owner Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Property Owner Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROJECT DESCRIPTION

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### Design Overlay District Review

Character Preservation Corridor  
Riverfront Design Overlay  
Enhancement Corridor  
Corridor Transformation  
Greenway Corridor  
Others as required

#### Non-Design Overlay District Review

Development over 40,000 sf  
Public Market  
CBD FAR Bonus  
Wireless Antenna/Tower  
Educational Facility

Changes to Approved Plans  
DAC Review of Public Projects  
Others as Required

### ADDITIONAL INFORMATION

Current Use \_\_\_\_\_ Proposed Use \_\_\_\_\_

Square Number \_\_\_\_\_ Lot Number \_\_\_\_\_ Permeable Open Space (sf) \_\_\_\_\_

New Development? Yes No Addition? Yes No Tenant Width \_\_\_\_\_

Existing Structure(s)? Yes No Renovations? Yes No Building Width \_\_\_\_\_

Change in Use? Yes No Existing Signs? Yes No Lot Width (sf) \_\_\_\_\_

New Sign(s)? Yes No Lot Area (sf) \_\_\_\_\_ Building Area (sf) \_\_\_\_\_





Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

North arrow, scale, and date of plan  
Location, dimensions, and area of permeable open space  
Name, address of the professional who prepared the plan  
Legend of symbols, patterns, and abbreviations used  
The entire lot(s), including area and property lines dimensioned (including gross area of the site)  
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)  
Location and dimensions of buildings and structures, including total floor area and distance from property lines  
Location of refuse storage locations  
Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways  
Fence location, height, and materials

#### 2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development  
Room use  
Location of all walls, doors, and windows  
Location of all plumbing fixtures  
Location of major appliances/mechanical equipment  
Stairway location  
Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls  
Types, style, height, and the number of fixtures  
Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials  
Building Elevation (including building width and height)  
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

Name and address of professional who prepared the plan.  
Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission  
All landscape plans shall meet the minimum requirements of site plans  
Legend defining all symbols, patterns, and abbreviations used  
Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.  
Description of all tree preservation measures on-site and in the public right-of-way  
Width, depth, and area of landscaped area(s)  
Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

Photographs of the subject site and/or building

#### 8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

### FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000