

**Vieux Carré Commission  
Architectural Committee Meeting**

**Tuesday, October 23, 2018**



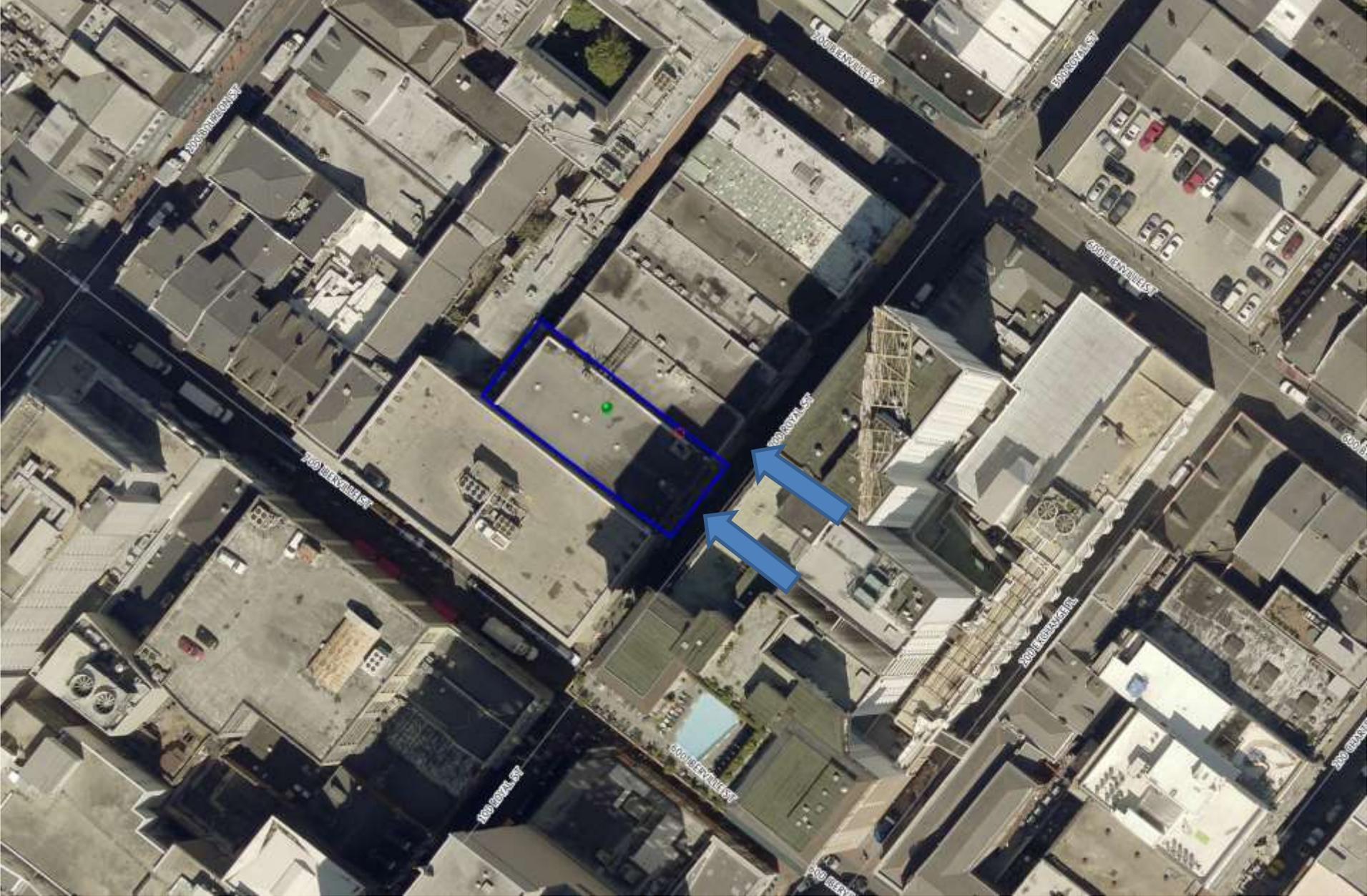
# Other Business



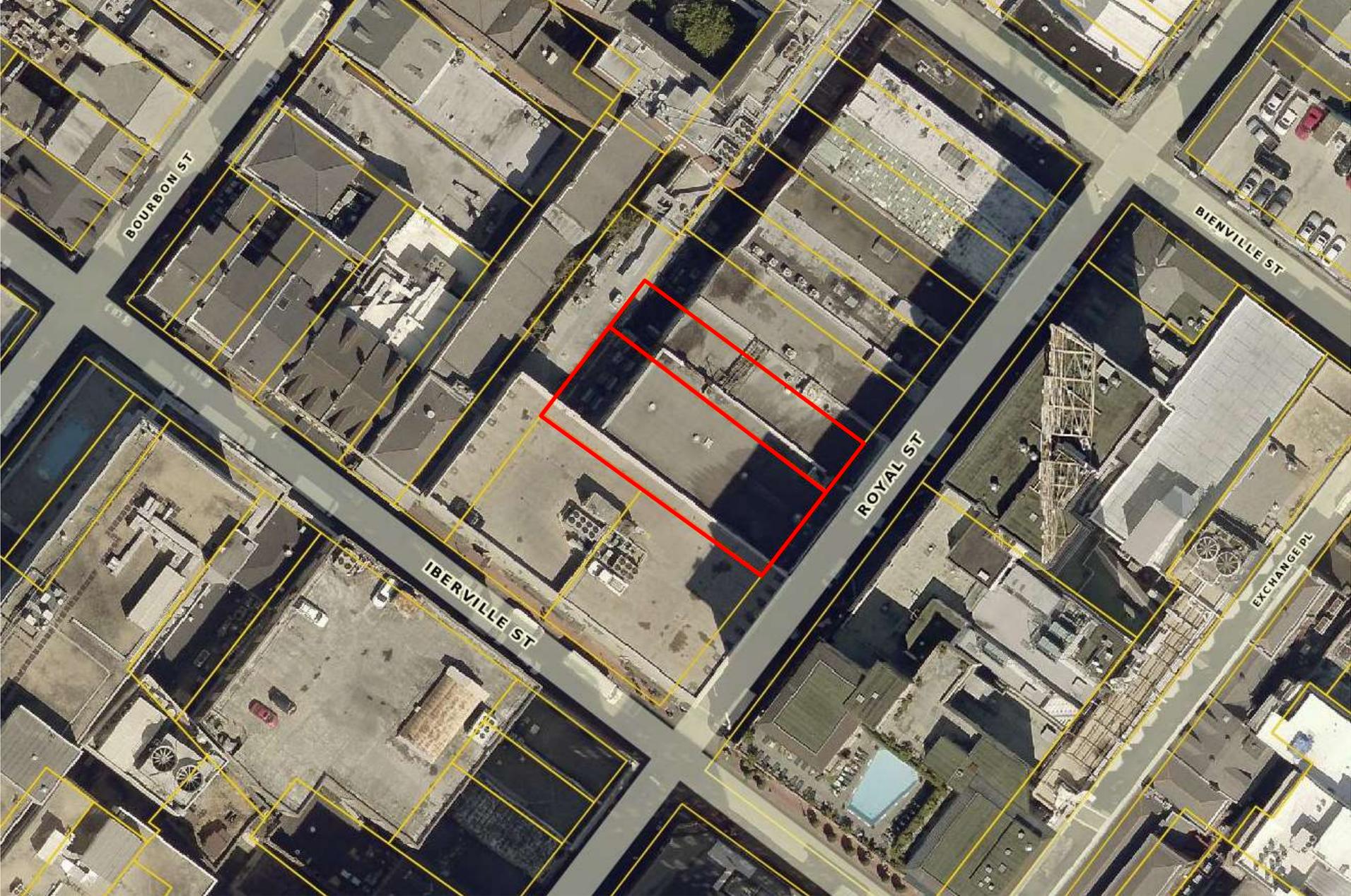
**Old Business**



**211-19 Royal**

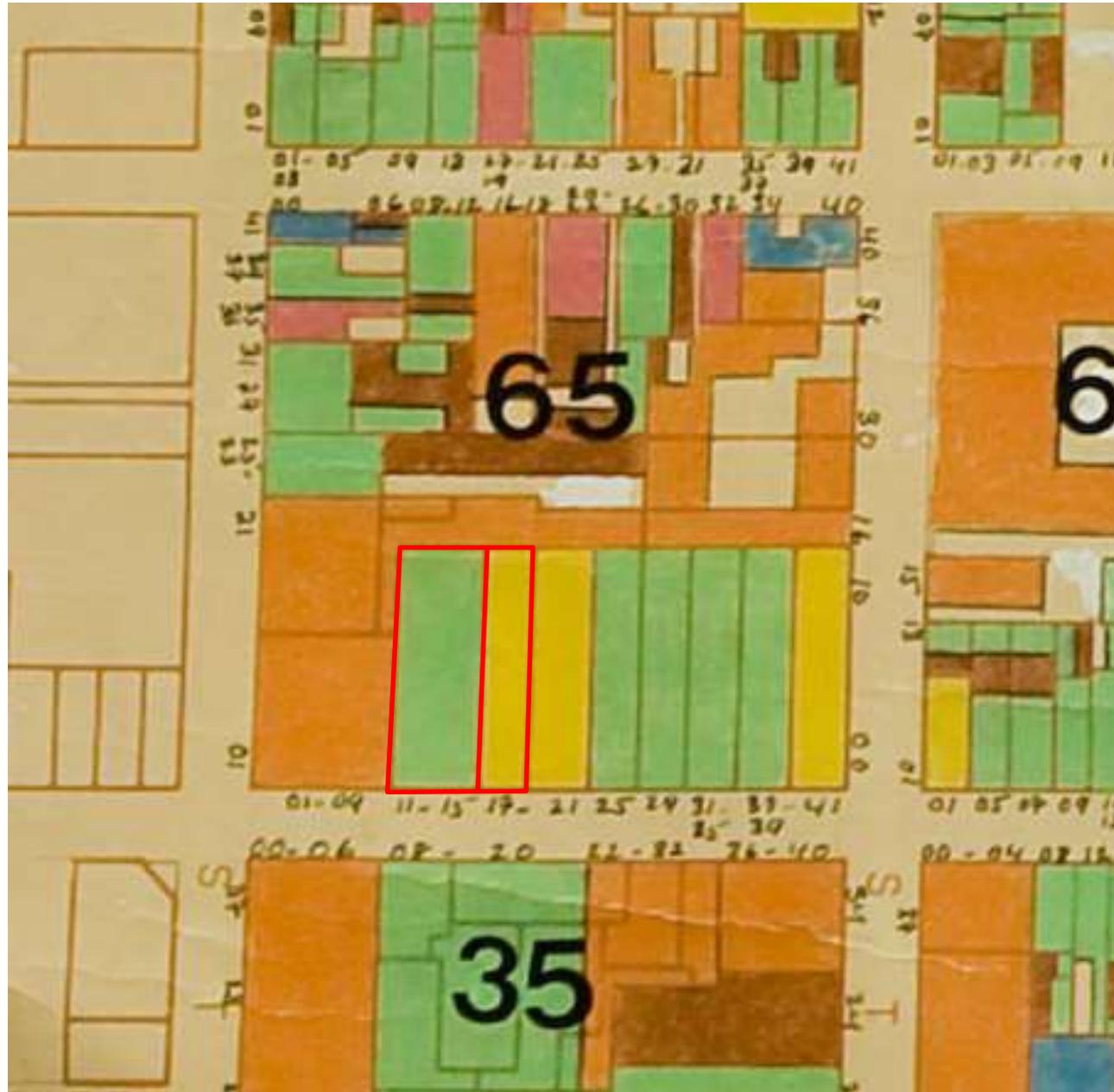


211-15 & 217-19 Royal



211-15 & 217-19 Royal





211-15 & 217-19 Royal

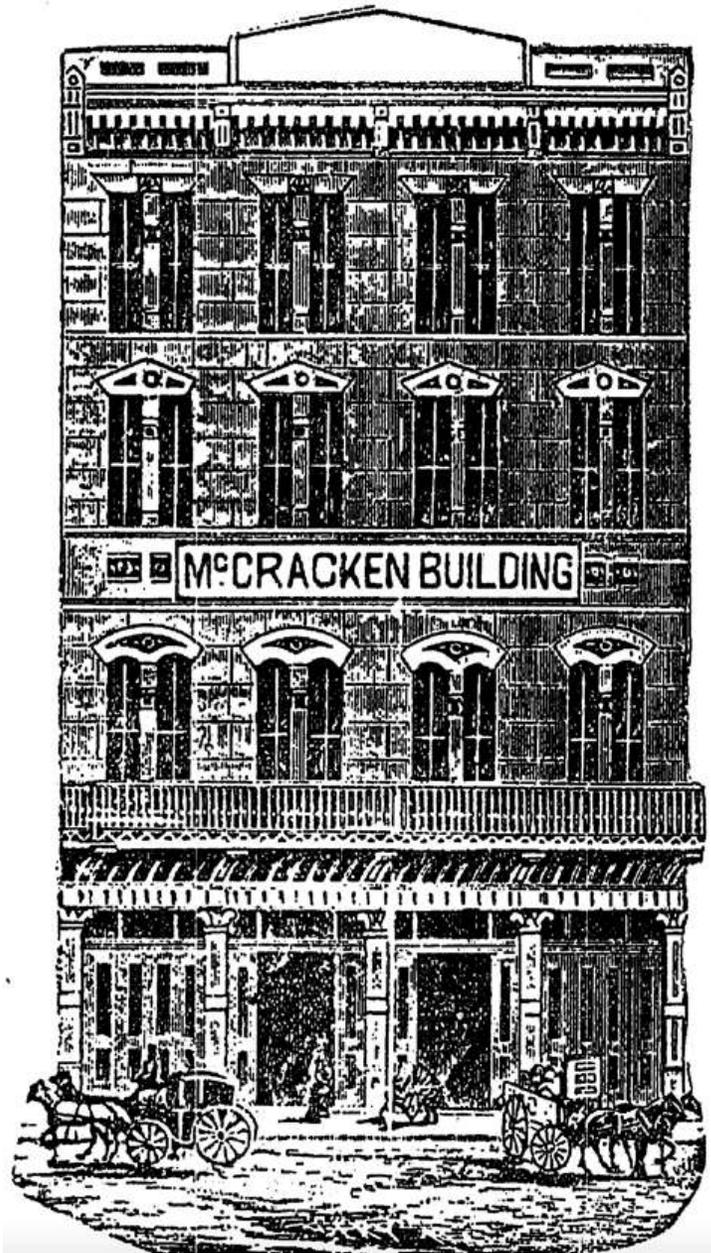




211-15 & 217-19 Royal



211-15 & 217-19 Royal



211-15 & 217-19 Royal

Vieux Carre Commission

April 4, 2018





211-15 & 217-19 Royal – c. 1900

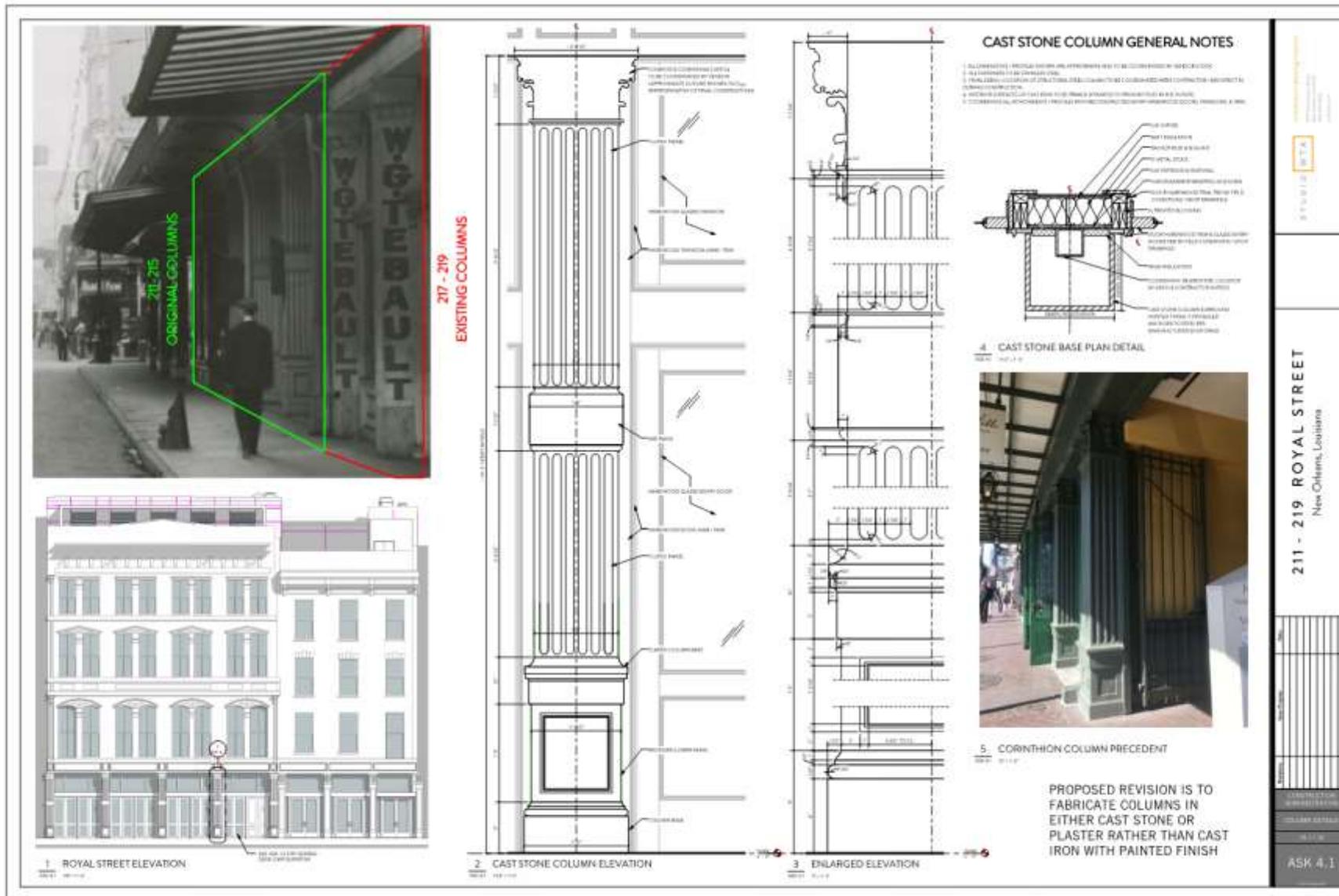


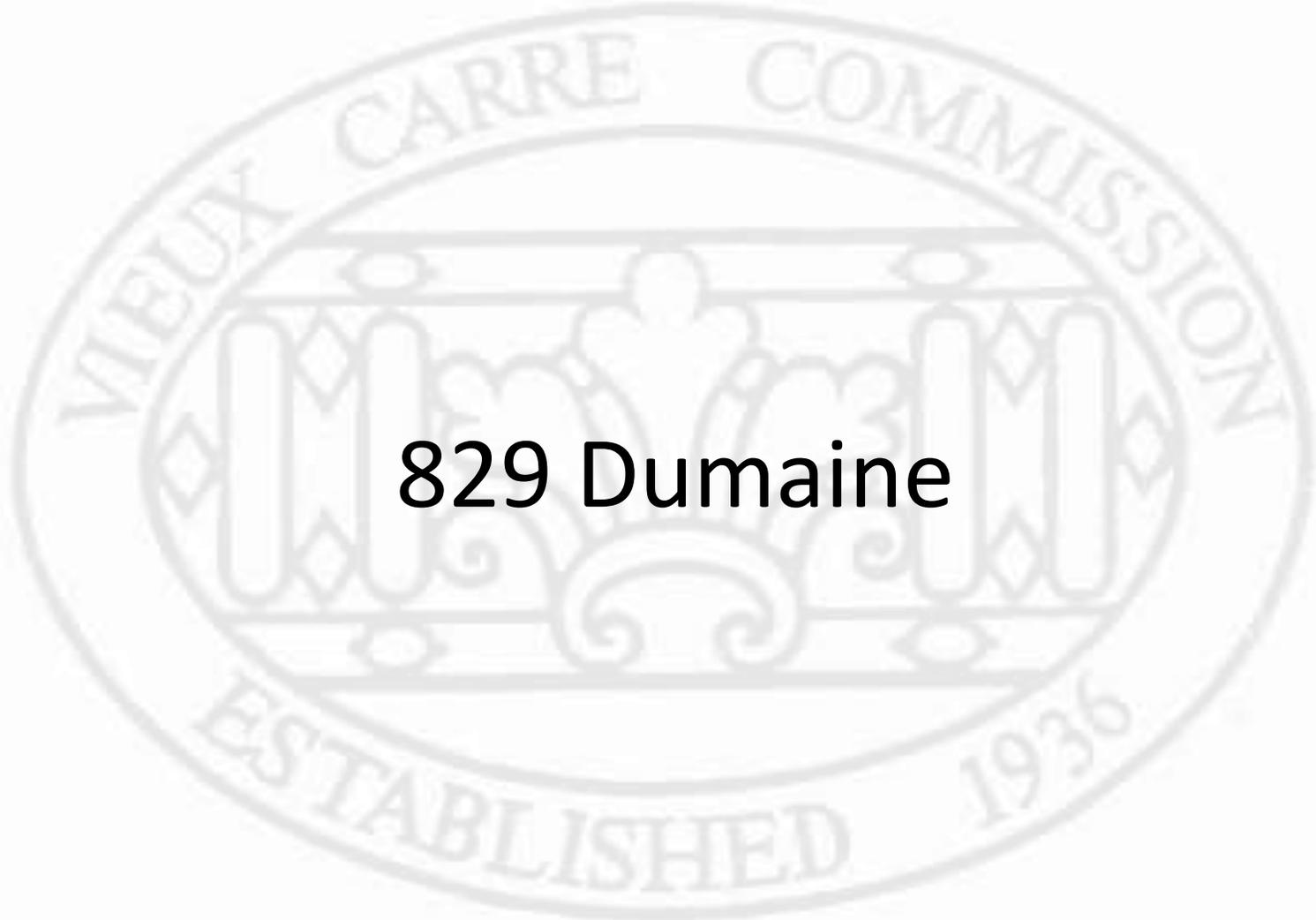
211-15 & 217-19 Royal

Vieux Carre Commission

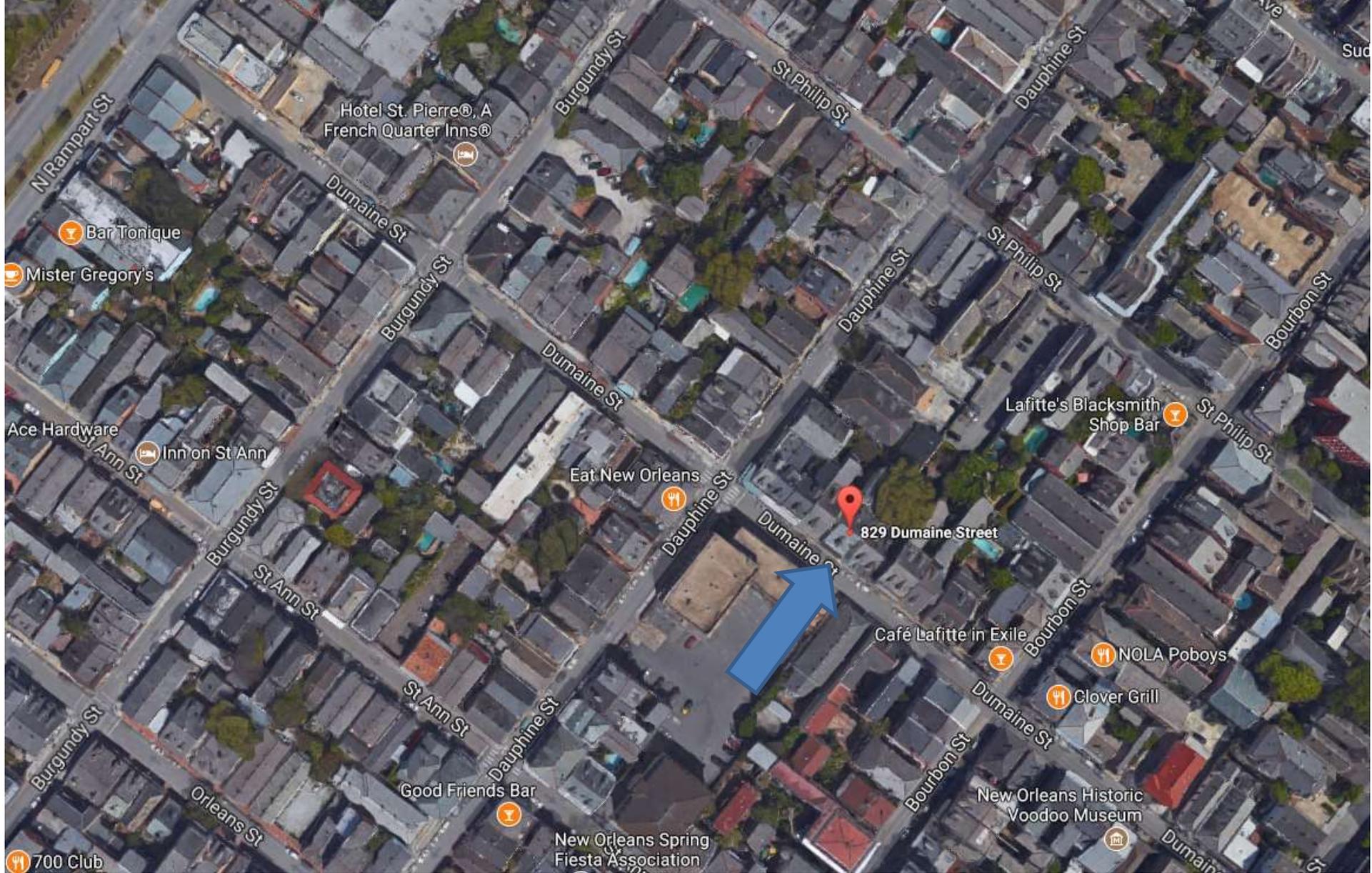
April 4, 2018







**829 Dumaine**



## 829 Dumaine





829 Dumaine

VCC Architectural Committee

October 24, 2017





829 Dumaine

VCC Architectural Committee

October 24, 2017





# Boral TruExterior Siding

## PRODUCT DATA SHEET

	TEST METHOD	RESULTS
<b>1. CERTIFICATES AND LISTINGS</b>		
a. Pre-consumer Recycled Content	SCS Global Certification	Minimum 70%
b. Cal Fire (WUI)	CA SFM 12-7A-1	Listing No. 8140-2134-0106
c. Progressive Engineering	Acceptance Criteria 389	PER-13069
d. Cradle to Cradle	C2C Certified™ Product Standard	Bronze
e. Texas Department of Insurance	Thermal and moisture	EC-92
f. ICC-ES	Thermal and moisture	ESR-3597
g. FL Building Code		FL17295
<b>2. PROPERTIES</b>		
a. Density	ASTM C 1185	40-50 lbs/ft <sup>3</sup>
b. Flexural Strength	ASTM C 1185	> 1600 psi
c. Coefficient of Linear Expansion	ASTM D 6341	< 1.40 E-06 in./in./°f
d. Impact Resistance	ASTM D 8110	> 50 in.
<b>3. PERFORMANCE</b>		
a. Fungi Rot	AWPA E10	Brown Rot - Negligible Loss White Rot - Negligible Loss
b. Termite Resistance	AWPA E1	> 9.0 (10 being best)
c. Water Absorption	ASTM D 570	< 1.5%
d. Flame Spread	ASTM E 84	< 35
e. Smoke Developed	ASTM E 84	< 450
<b>4. MANUFACTURING TOLERANCES</b>		
a. Width		± 1/16 inch
b. Thickness		± 1/16 inch
c. Length		+2 inches / -0 inches

### Bevel Collection Siding

Bevel			
Nominal Size	Actual Thickness (A)	Actual Width (B)	Minimum Overlap (C)
1/2" x 6"	0.50"	5.50"	1.0"
1/2" x 8"	0.50"	7.25"	1.0"
1/2" x 10"	0.75"	9.25"	1.0"



#### Rabbeted Bevel

Coming Soon!

#### Beaded Bevel

Coming Soon!







10 10 2018

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October 24, 2017





10 10 2018

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October 24, 2017





10 10 2018

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October 24, 2017







BELL ARCHITECTURE  
HERCULES  
FRAMING - SOING  
FOUNDATION - CONCRETE  
TRIM CARPENTRY  
504-777-1317

6224

CLUSTON SECURITY SYSTEMS  
225-827-8819

6226  
NO SOLICITATION

10 10 2018

October 24, 2017





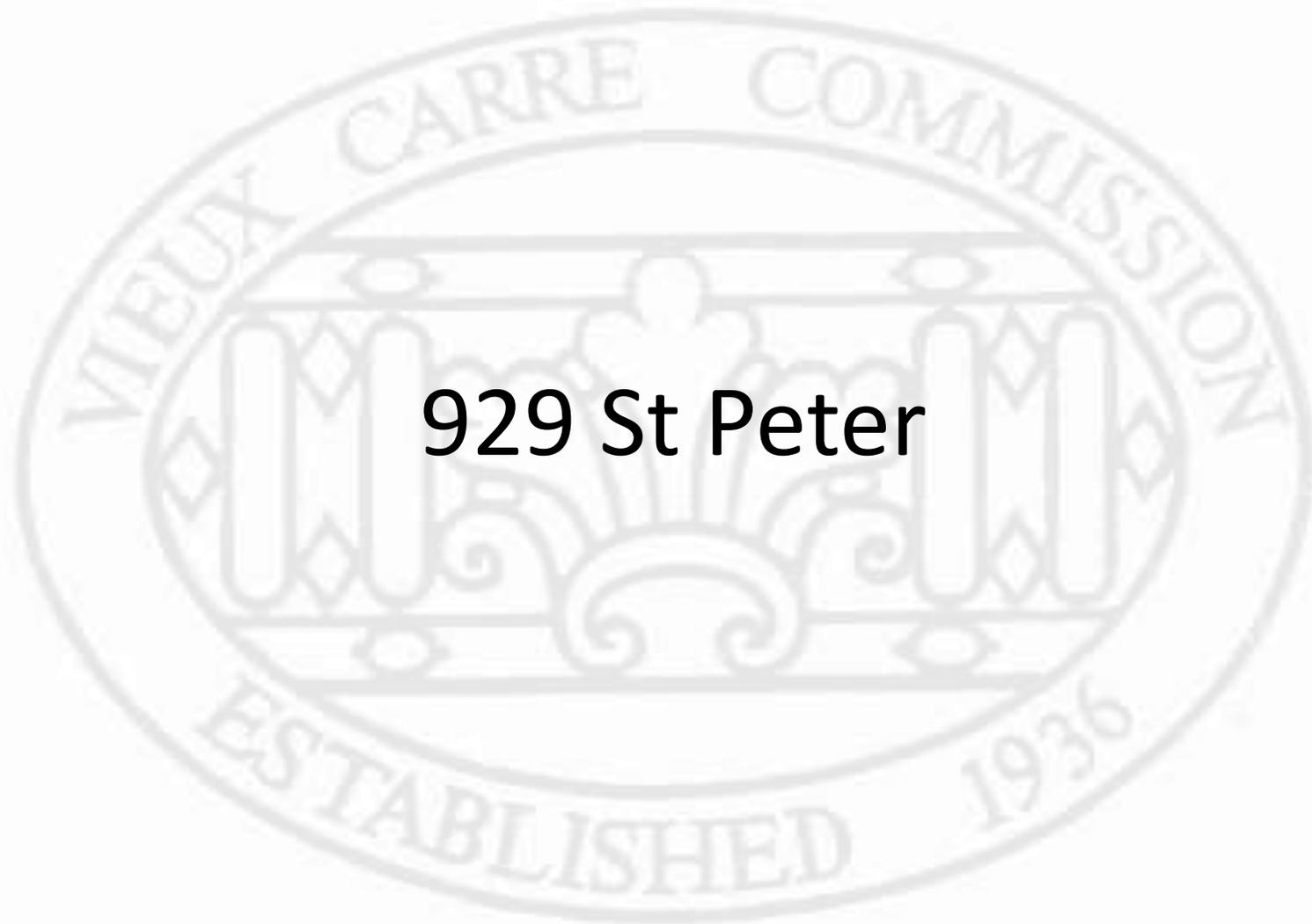
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October 24, 2017







929 St Peter

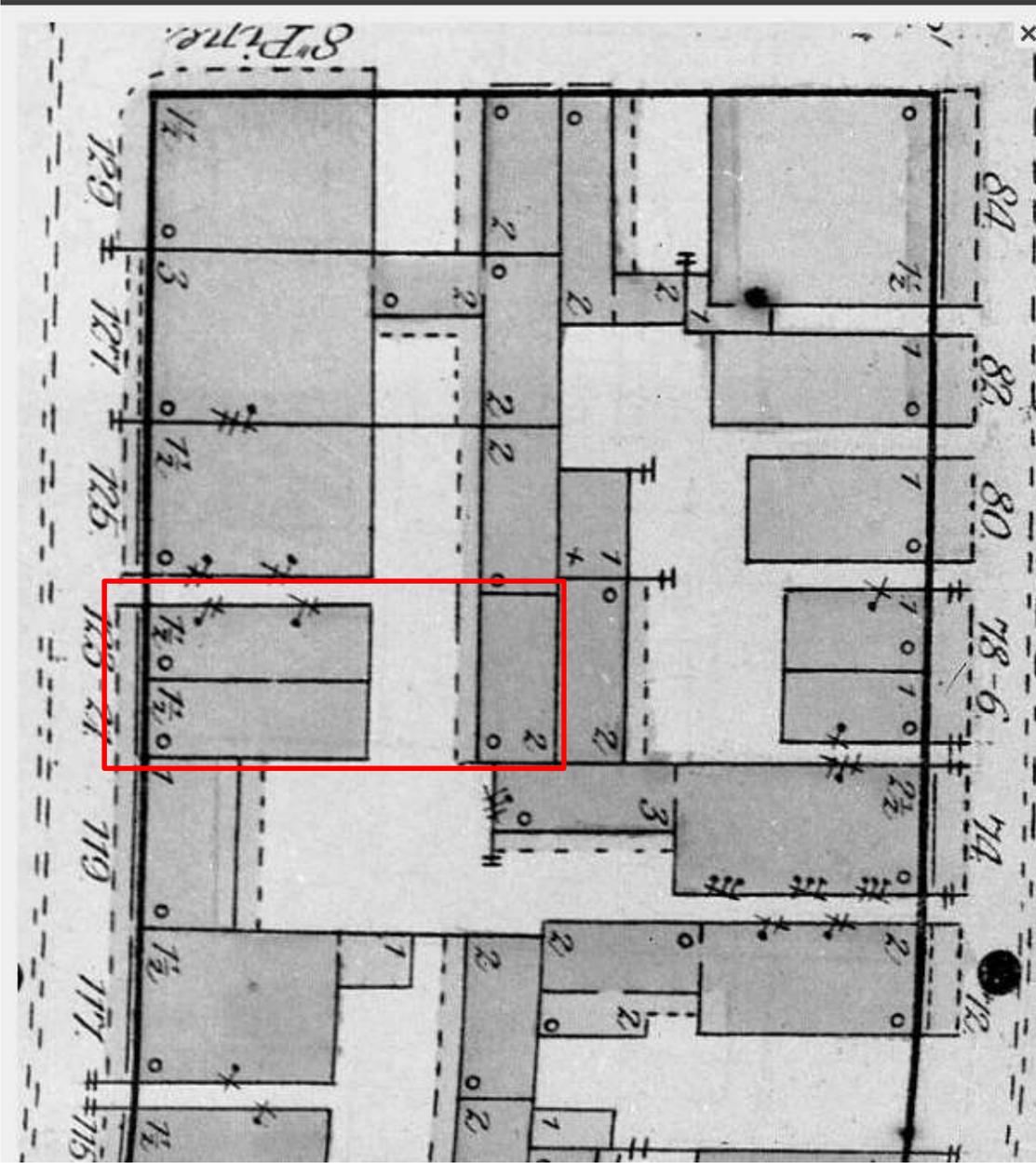


927-29 St. Peter

VCC Architectural Committee

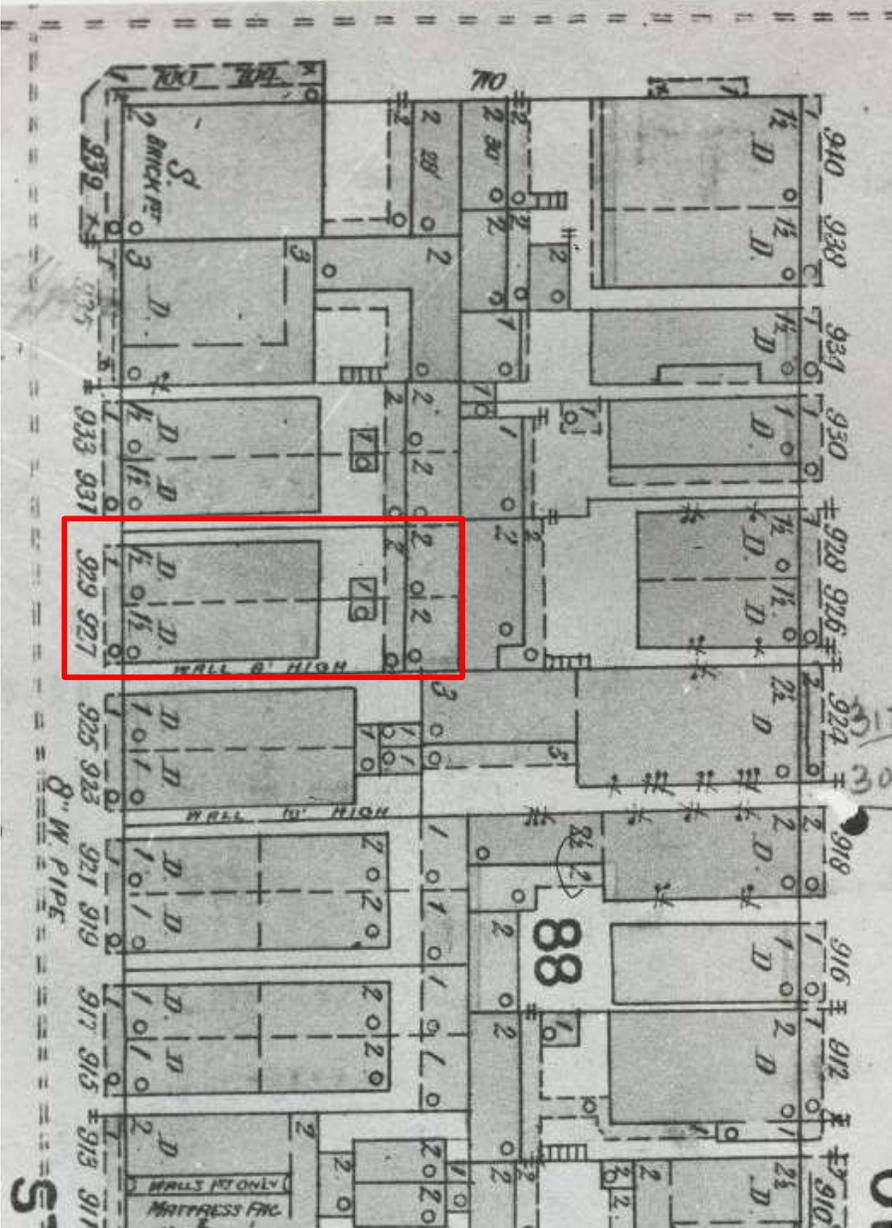
October 23, 2018





927-29 St. Peter- 1876 Sanborn





927-29 St. Peter- 1896 Sanborn





927-29 St. Peter- 1962

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October 23, 2018





927-29 St. Peter

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October 23, 2018





927-29 St. Peter

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927-29 St. Peter

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# 927-929 SAINT PETER ST. APARTMENT RENOVATION

## DESIGN SUMMARY:

### SCOPE OF WORK:

This is a renovation of an existing 3-unit building in the French Quarter in New Orleans. The scope of work includes:

- Level 2 Renovation - including enclosing rear stair landings with siding and doors to match existing (26 total SF)
- Level 1 Renovation - is among any damaged siding elements, leveling existing exterior siding at all faces and -dusting existing soffits and soffers.
- Re face side roof shingles and re setting roof sheathing.
- Re air or re face of windows that are damaged and/or do not meet Vex-Care Commission requirements. Install magnalite in windows, or make and climate control.
- Re air and seal all exterior window frames, air fans, battings and access to roof, siding and service siding. Re air and seal all exterior doors to faces of Vex-Care Commission requirements.
- Mechanical- New central air handling unit or Unit A with new ductwork. New access panel to a located near the front rear of Building. New fresh air or Units B and C.
- Plumbing- Units B and C are to have new bathroom lavatories with new soffits and soffers in 11' riser. All three units are getting new tan-less water heaters. Gas lines to second floor stairs to be relocated (see notes).

### PROJECT NOTES:

#### GENERAL NOTES:

- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE RECOGNIZED AND ESTABLISHED CONSTRUCTION STANDARDS IN THE APPLICABLE CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE PROJECT IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS UNLESS NOTICED IN WRITING FROM THE OWNER OR ARCHITECT TO THE CONTRARY IS REQUIRED.
- THE ARCHITECT DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT IN ANY RESPECT OTHER THAN THAT OUR ARCHITECTURAL WORK AND ADVICE IS LIMITED TO THE STANDARDS OF CARE OF OUR PROFESSION.
- THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND ACTUAL LOCATION OF SUCH UTILITIES BEFORE WORKING ON THEM. PRIOR TO ANY EXCAVATION, ANY DAMAGES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL WORK DURING THE CONSTRUCTION PERIOD.
- PROVIDE AT LEAST 1/2" CLEARANCE FROM FIRE EXTINGUISHERS TO BE MOUNTED WHERE READILY VISIBLE AND ACCESSIBLE IN EACH UNIT.
- PROVIDE SEPARATION BETWEEN ALL DRAINAGE METALS INCLUDING SINKS, TUBS AND OTHER FIXTURES AND DEVICES.
- WHEN MATERIAL FASTENERS ARE NOT INDICATED, PROVIDE AS SPECIFIED BY THE MATERIAL MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
- USE ONLY LEAD-FREE PIPE AND SOLDER FOR NON-DOMESTIC WASTE SYSTEMS (SAFE DRINKING WATER OUT OF TUBS AND SINKS). SECTION 0511.1.4.
- ALL NEW DRYSUM BOARD TO BE PURKUP OCEAN BOARD.
- ALL NEW PLASTER TO HAVE BROOKLYN BRAND.

#### PAINTING AND FINISH:

- ALL EXTERIOR AND INTERIOR FINISHES TO BE FINISHED. FINISH REFER TO FINISH SPECIFICATIONS AND REFER ANY LEAD PAINT TESTS AS NEEDED. SEE PAGE 11.
- SHAVE ALL SURFACES TO REMOVE EXCESS OR DAMAGED PAINT. REMOVE ROSET ON ALL METAL.
- ANY ITEMS THAT NEED REPAIR (LACKING STRUCTURAL INTEGRITY) ARE TO BE REPAIRED OR REPLACED.
- COLORS SHALL BE CHOSEN BY THE OWNER OR ARCHITECT. ALL SELECTIONS MUST BE APPROVED BY THE VEX-CARE COMMISSION.

#### ELECTRICAL:

- ALL ELECTRICAL WORK TO BE UNDER 150V. ENGINEERED DRAWINGS ARE NOT PROVIDED.
- ALL EXISTING CONDITIONS AND PANEL CONFIGURATIONS TO BE VERIFIED.
- ALL OUTLETS AND LIGHT FIXTURES ARE TO REMAIN UNLESS NOTED OTHERWISE.
- ALL OPEN SPACES SHOULD BE REPLACED WITH NEW VINYL.
- REPAIR ALL SWITCH BOXES WITH BRASS COVER TO PREVENT SHOCK UPON THE FROM EXPOSED LIVE WIRES.
- INSTALL NEW SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AND FLOOR PLANS.

#### MECHANICAL:

- ALL MECHANICAL WORK TO BE UNDER 150V. ENGINEERED DRAWINGS ARE NOT PROVIDED.

#### PLUMBING:

- ALL PLUMBING WORK TO BE UNDER 150V. ENGINEERED DRAWINGS ARE NOT PROVIDED.
- VERIFY LOCATION OF ALL EXISTING SUPPLY AND DRAIN LINES. PLACE AND REPAIR AS NEEDED.

#### FLOORING:

- ALL WOOD FLOORING TO BE SANDER AND REFINISHED TO MATCH EXISTING.
- ALL LAMINATE WOOD AND CERAMIC TO BE REMOVED AND REPLACED AS INDICATED.

#### INSULATION:

- NEW 1/2" INSULATION BOARD TO BE INSTALLED UNDER ALL NEW SINGLES AND NEAR EXTERIOR WALLS.
- NEW 3/4" INSULATION TO BE INSTALLED AT ROOF AND NEAR EXTERIOR WALLS AND EXTERIOR CORNERS.

## PROJECT DIRECTORY:

**PROJECT LOCATION:**  
927-929 SAINT PETER ST.  
NEW ORLEANS, LA 70118

**OWNER:**  
PH: 504-290-7130  
CONTACT: Kary Koster  
EMAIL: kary.koster@protonmail.com

**ARCHITECT:**  
GARITY ACCARDO ARCHITECTS  
2401 W. FRENCH AVENUE  
GRETTEN, LA 70069  
PH: 504-388-4475  
CELL: 504-234-1388  
EMAIL: gacardo@garityaccardo.com  
CONTACT: DONNA ACCARDO

## DRAWING INDEX:

Sheet No. & Size	Sheet Name
T-100	Title Sheet
T-101	Codes and Reference
A-100	Plans
A-200	Exterior Elevations
A-300	Interior Elevations
M-100	Mechanical Plans/Refrigeration
P-100	Plumbing Plans
S-100	Structural Plans

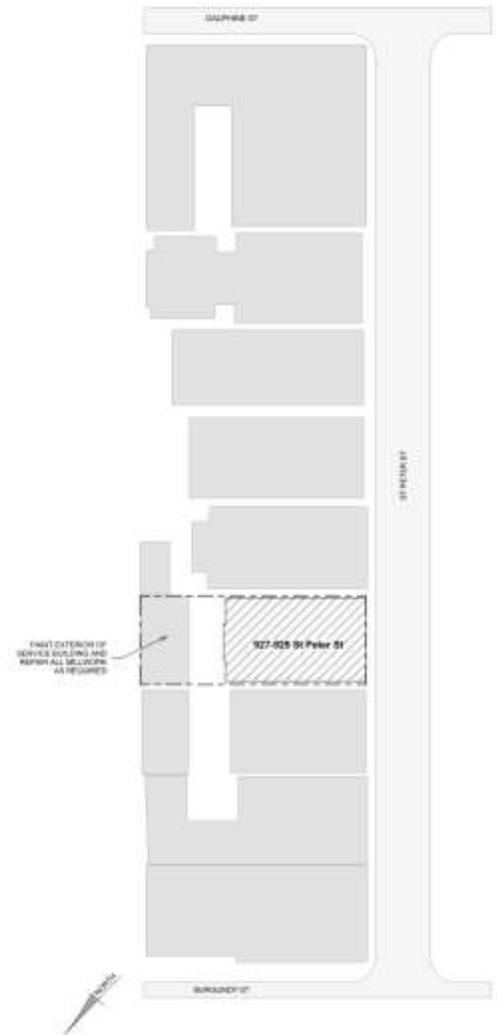
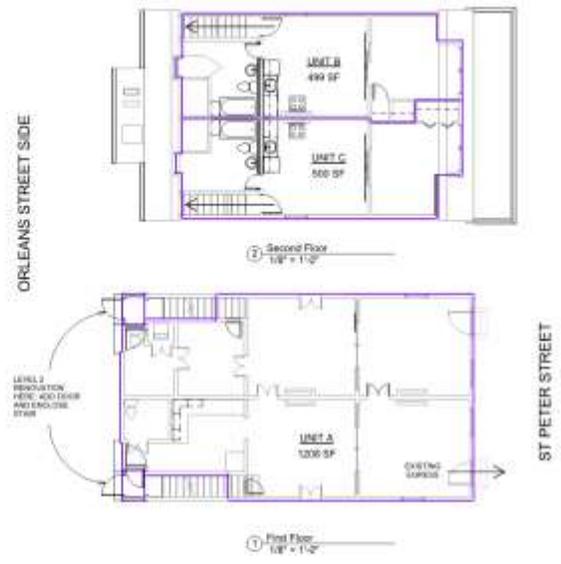
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY AND STATE REGULATIONS AND REQUIREMENTS. I AM NOT ADMINISTERING THE CONTRACT.

*Donna M. Accardo*

DONNA M. ACCARDO - LA LICENSE # 9168

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH:**

INTERNATIONAL RESIDENTIAL CODE  
2015 EDITION  
LIFE SAFETY CODE (NFPA 101)  
2015 EDITION  
INTERNATIONAL EXISTING BUILDINGS CODE 2015 EDITION

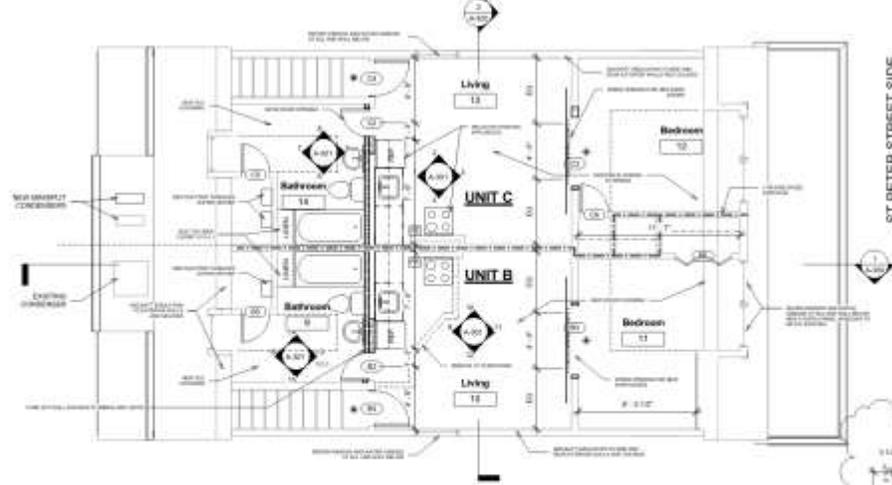


927-29 St. Peter

VCC Architectural Committee

October 23, 2018





2 Second Floor Plan  
18' x 14' 0"

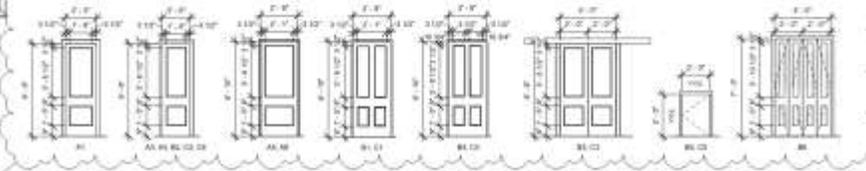
Door Schedule		
Door No. or ID	Door Size	Finish Comments
A1	2'-0" x 8'-0"	1/2" x 1/2" wood door in a sliding wall Hollow Door
A2	3'-0" x 8'-0"	Painted wood door
A3	2'-0" x 8'-0"	Painted wood door
A4	2'-0" x 8'-0"	Painted wood door
A5	2'-8" x 8'-0"	Painting woodglass door with weatherstripping, etc.
A6	2'-8" x 8'-0"	Painting woodglass door with weatherstripping, etc.
B1	2'-8" x 8'-0"	Painting woodglass door with weatherstripping, etc.
B2	2'-0" x 8'-0"	Painted wood door
B3	4'-0" x 6'-0"	Pr. 2'-0" 7'-0" Barn Doors
B4	2'-8" x 8'-0"	Painting wood door with weatherstripping, etc. (see y Dimensions on Site)
B5	4'-0" x 6'-0"	Pr. 2'-0" 7'-0" Barn Doors
C1	2'-8" x 8'-0"	Painting woodglass door with weatherstripping, etc.
C2	2'-0" x 8'-0"	Painted wood door
C3	4'-0" x 6'-0"	Pr. 2'-0" 7'-0" Barn Doors
C4	2'-8" x 8'-0"	Painting wood door with weatherstripping, etc. (see y Dimensions on Site)
C5	2'-0" x 8'-0"	Painted wood door
D		Doors to be Demolished
EX		Existing Doors to Remain

SCOPE OF WORK UNITS B & C

- REPAIR EXISTING PLUMBING FIXTURES AND KITCHEN CABINETS AND COUNTERTOPS. INSTALL NEW AS PER PLANS. EXISTING FRIDGE AND STOVE IN UNIT C TO REMAIN.
- NEW FLOORING IN UNIT B. CONFIRM SUB FLOORING IS LEVEL BEFORE INSTALLATION.
- INSTALL NEW TANKLESS ELECTRIC WATER HEATERS.
- WIDEN OPENING TO BATHROOM TO 4 FT FOR NEW BATH DOORS. MOVE OPENING TO BATHROOM SEE PLANS.
- REPLACE CLOSET DOORS AND DOORS TO STARTWAYS.
- REPAIR MOLD AND WATER DAMAGE AS NEEDED.
- REPAIR ALL WALLS, CEILING, TRIM AND MILLWORK.
- INSTALL NEW EXHAUST FANS IN EACH BATHROOM.
- CHECK ALL WINDOWS AND DOORS FOR WATER DAMAGE. REPAIR ALL WEATHERSTRIPPING AND FLASHING AS NEEDED.

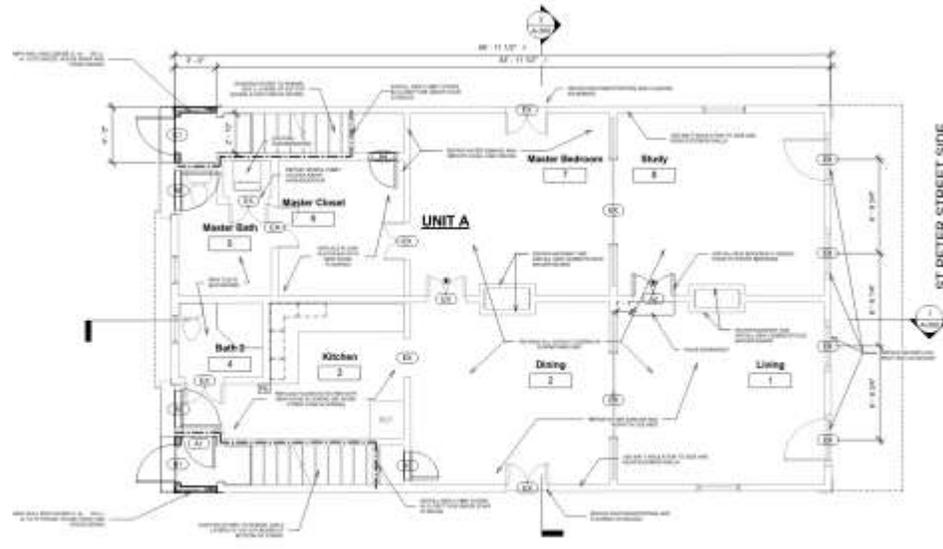
SCOPE OF WORK FIRST FLOOR

- ENCLOSE EXISTING EXTERIOR ENTRANCES TO SECOND FLOOR LOTS.
- INSTALL NEW DOOR BETWEEN STUDY AND LIVING ROOM.
- REPAIR MOLD AND WATER DAMAGE AS NEEDED.
- REMOVE EXISTING WOOD FLOORING.
- REPLACE FLOORING IN KITCHEN AND MASTER CLOSET.
- REPLACE TILE IN BATH AND MASTER BATH.
- REPAIR ALL FINISHES.
- REPAIR ALL WALLS, CEILING, TRIM AND MILLWORK.
- INSTALL NEW EXHAUST FANS IN BOTH BATHROOMS.
- REMOVE 3/4" THICK COVERING FIREPLACES AND REPLACE WITH CEMENT BOARD.
- NEW TANKLESS ELECTRIC WATER HEATER IN EXISTING BATHROOM LOCATION.
- CHECK ALL WINDOWS AND DOORS FOR WATER DAMAGE. REPAIR ALL WEATHERSTRIPPING AND FLASHING AS NEEDED.

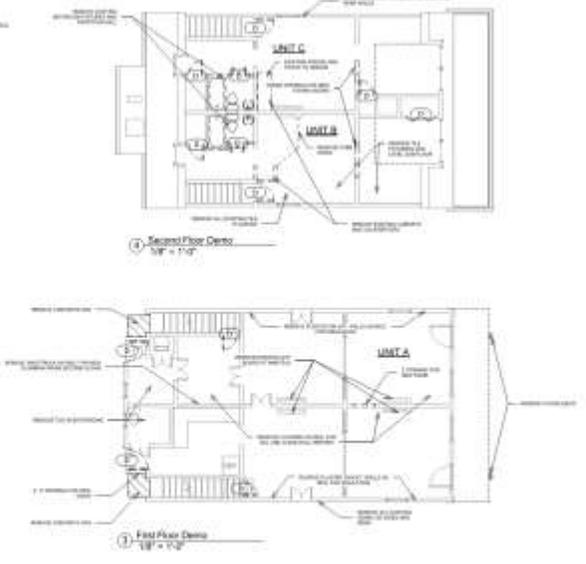


WALL LEGEND

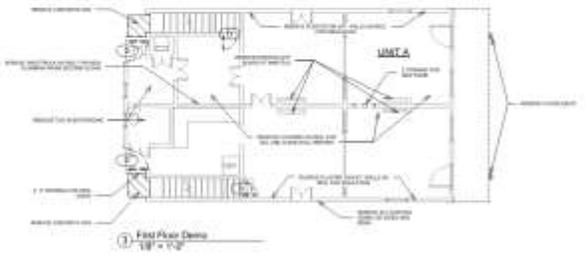
- NEW WOOD WALL 2 1/2" x 4" 12' tall
- EXISTING WALL
- WALL TO BE REMOVED
- 1/2" GYP BOARD
- NEW MESH AND CEMENT REINFORCE CONCRETE



1 First Floor Plan  
14' x 11' 0"



2 Second Floor Plan  
14' x 11' 0"



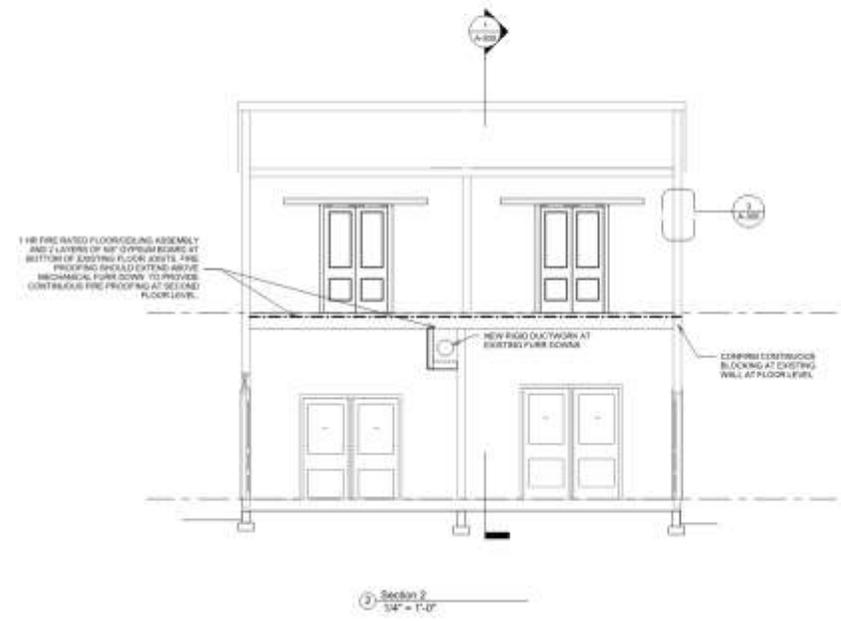
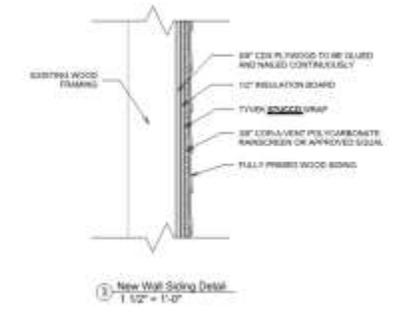
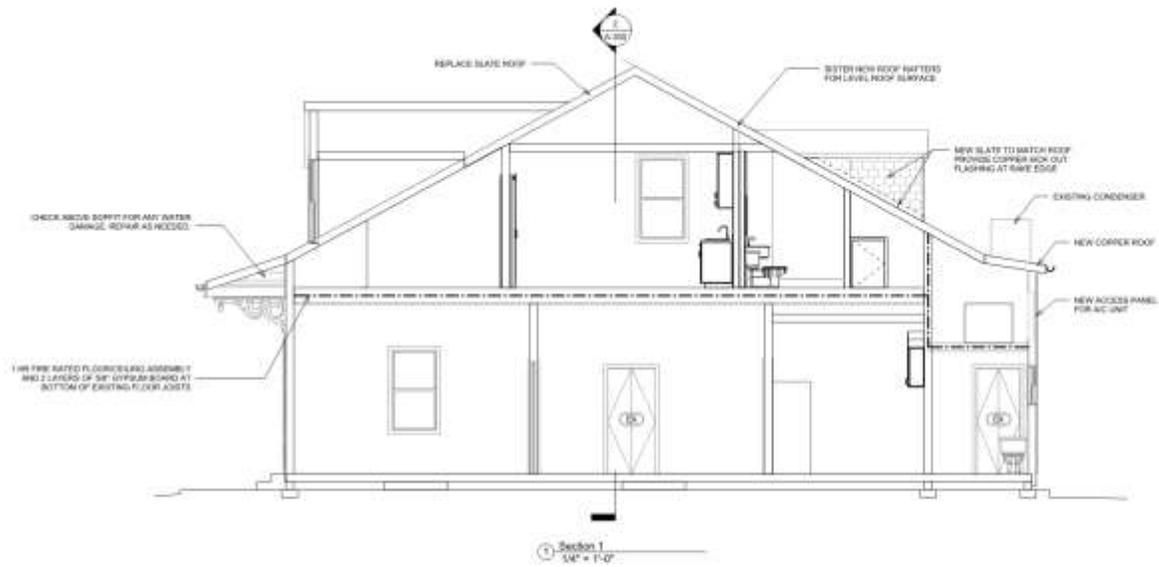
3 First Floor Plan  
14' x 11' 0"

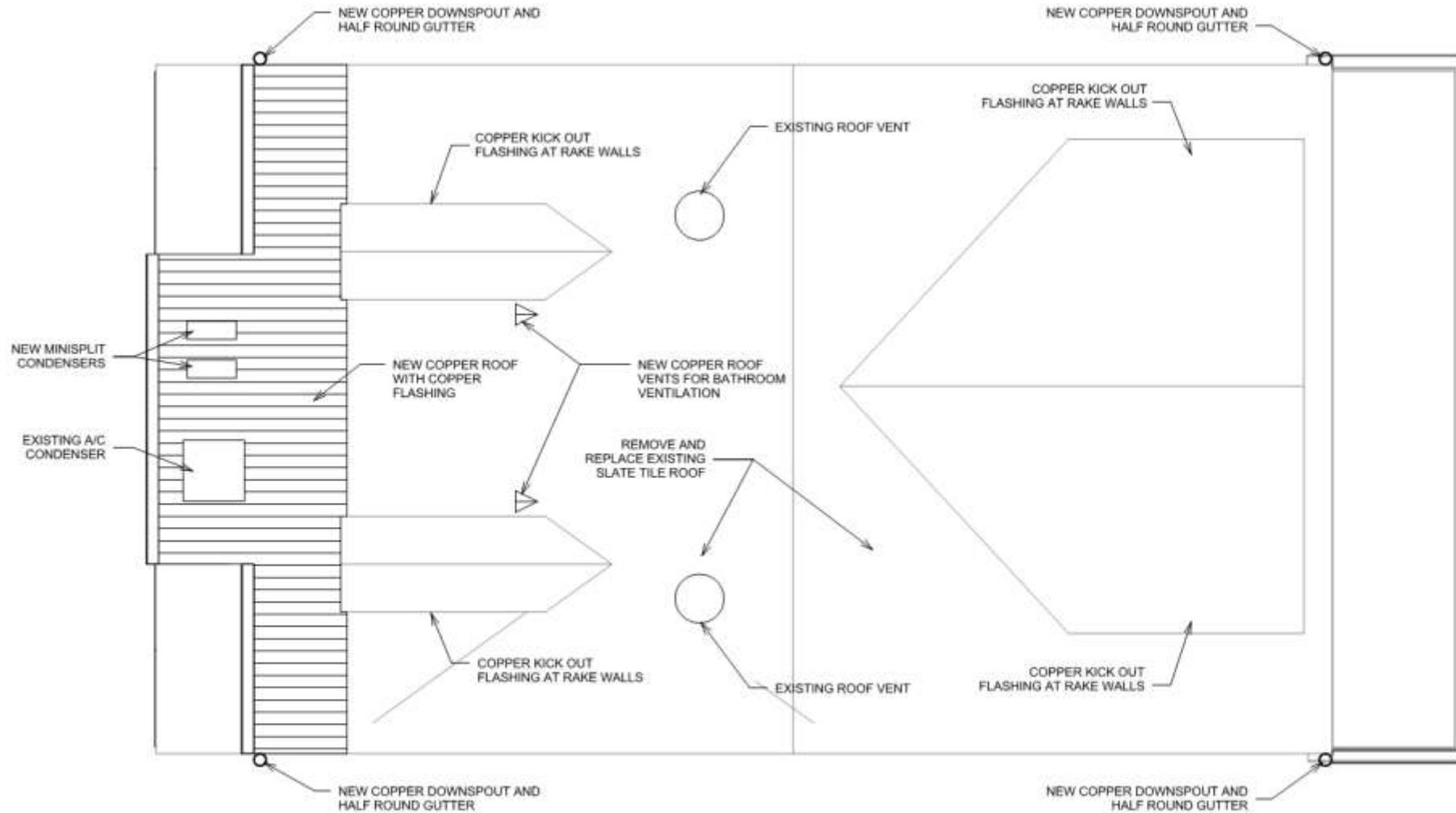
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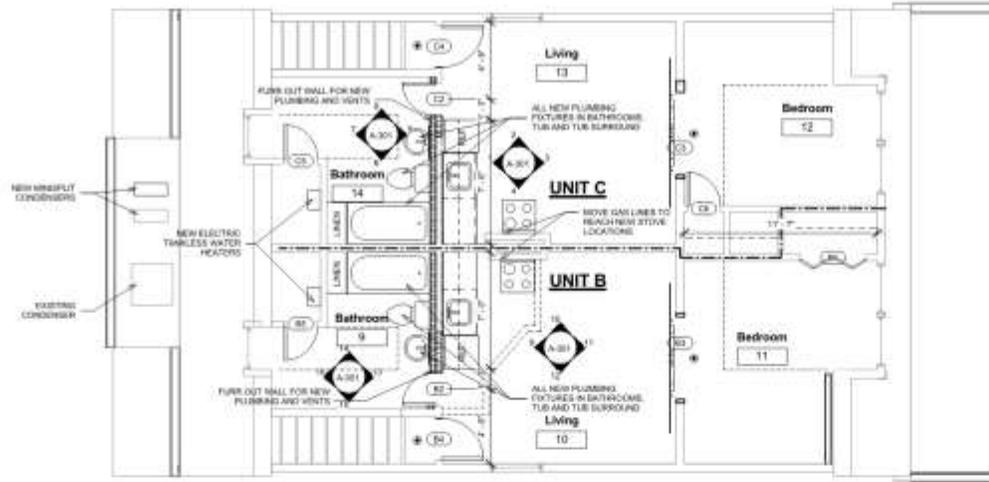




1 Roo Plan  
1/4" = 1'-0"



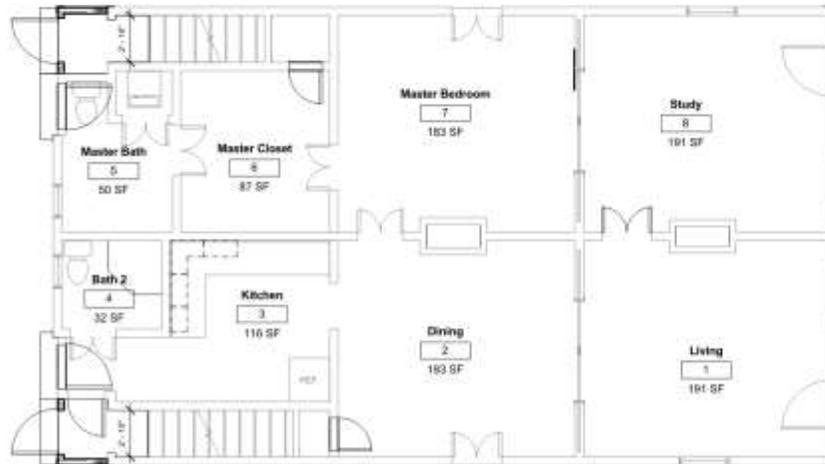




② Second Floor Plumbing Plan  
1/4" = 1'-0"

SCOPE OF WORK UNITS B, C:  
 - REMOVE EXISTING PLUMBING FIXTURES IN KITCHENS AND BATHROOMS. NEW KITCHEN SINKS, BATHROOM FIXTURES, TUB AND TUB SURROUND. INSTALL NEW AS PER PLANS.  
 - FURN OUT WALLS BETWEEN BATHROOM AND LIVING FOR NEW PLUMBING AND VENTILATION  
 - NEW ELECTRIC TANKLESS WATER HEATERS TO BE INSTALLED AS PER PLANS

SCOPE OF WORK FIRST FLOOR:  
 - ALL FIXTURES TO REMAIN  
 - NEW ELECTRIC TANKLESS WATER HEATER TO BE INSTALLED AS PER PLANS



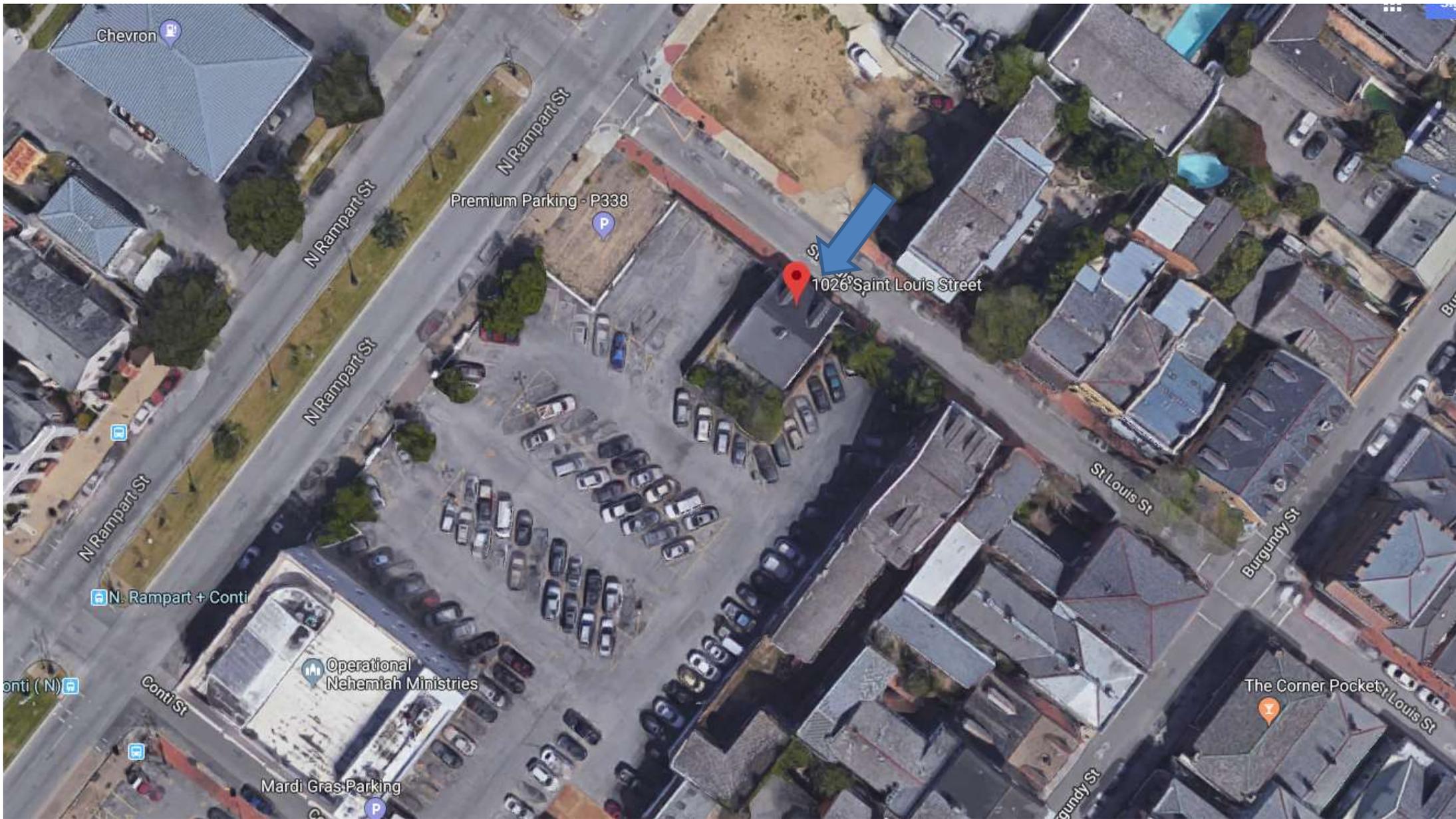
① First Floor Plan  
1/4" = 1'-0"







**1026 St. Louis**



1026 St. Louis

VCC Architectural Committee

October 23, 2018





1026 St. Louis

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October 23, 2018





1026 St. Louis – ca. 1940

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October 23, 2018





1026 St. Louis

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October 23, 2018





1026 St. Louis

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October 23, 2018





1026 St. Louis – From N. Rampart  
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October 23, 2018





1026 St. Louis – Rear from Parking Lot



1026 St. Louis – Rear from Parking Lot

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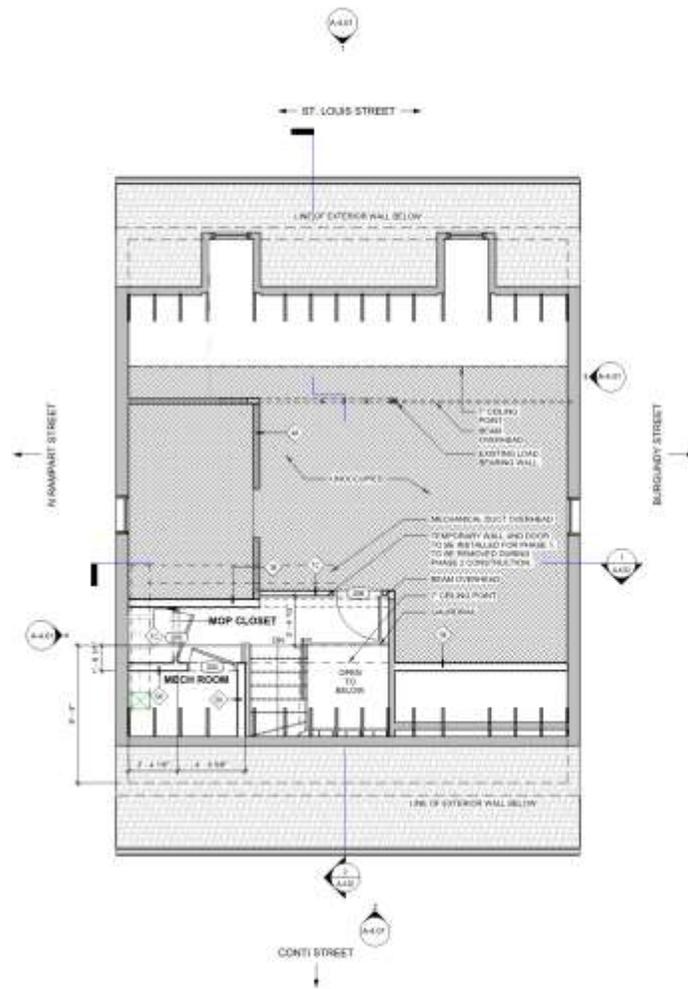




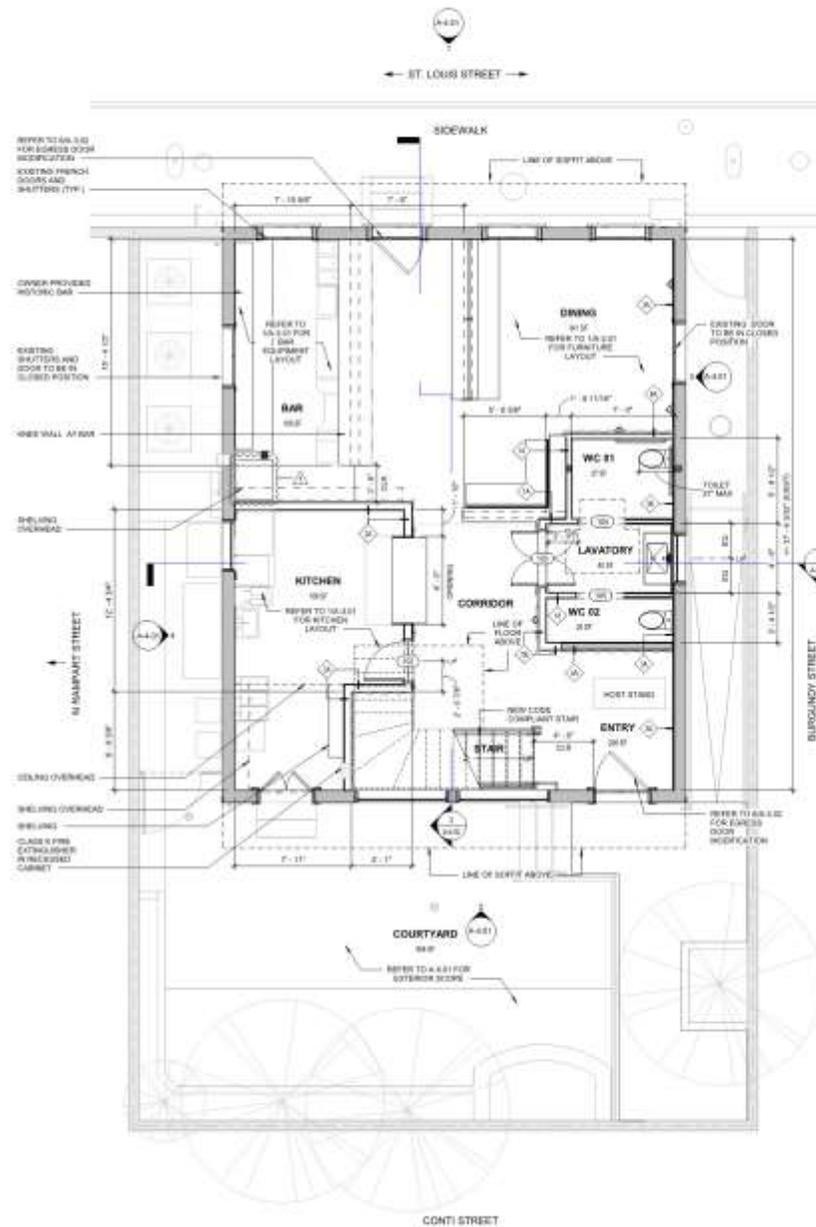








2 SECOND FLOOR PLAN - PROPOSED  
A.4.3/A.4.21 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN - PROPOSED  
A.4.3/A.4.21 SCALE: 1/4" = 1'-0"

**PHASE LEGEND**

- EXISTING CONSTRUCTION
- PROPOSED CONSTRUCTION
- DEMOLISHED
- UNOCCUPIED

**INTERIOR FINISH LEGEND**

**FLOOR**

- FL-1 REFINISHED WOOD FLOOR
- FL-2 BATHROOM FLOOR TILE
- FL-3 NON-SKIP TILE

**WALL**

- WF-1 PAINT - ACCENT
- WF-2 PAINT - MAIN
- WF-3 BATHROOM WALL TILE
- WF-4 WALLPAPER - CUSTOM PATTERN
- WF-5 PLASTER FINISH IN ACCENT COLOR
- WF-6 STONE WALL TILE
- WF-7 1/2" WALL PANELS

**BASE**

- B-1 EXISTING BASE TO REMAIN
- B-2 WOOD WAINSCOTING AND BASE W/ 1/2" x 3/4" S/W
- B-3 NEW WOOD BASE TO MATCH EXISTING W/ 1/2" x 3/4" S/W

**CEILING**

- C-1 PAINTED OFF WHITE
- C-2 PAINTED WOOD W/ EXPOSED STRUCTURE

**INTERIOR FINISH SCHEDULE**

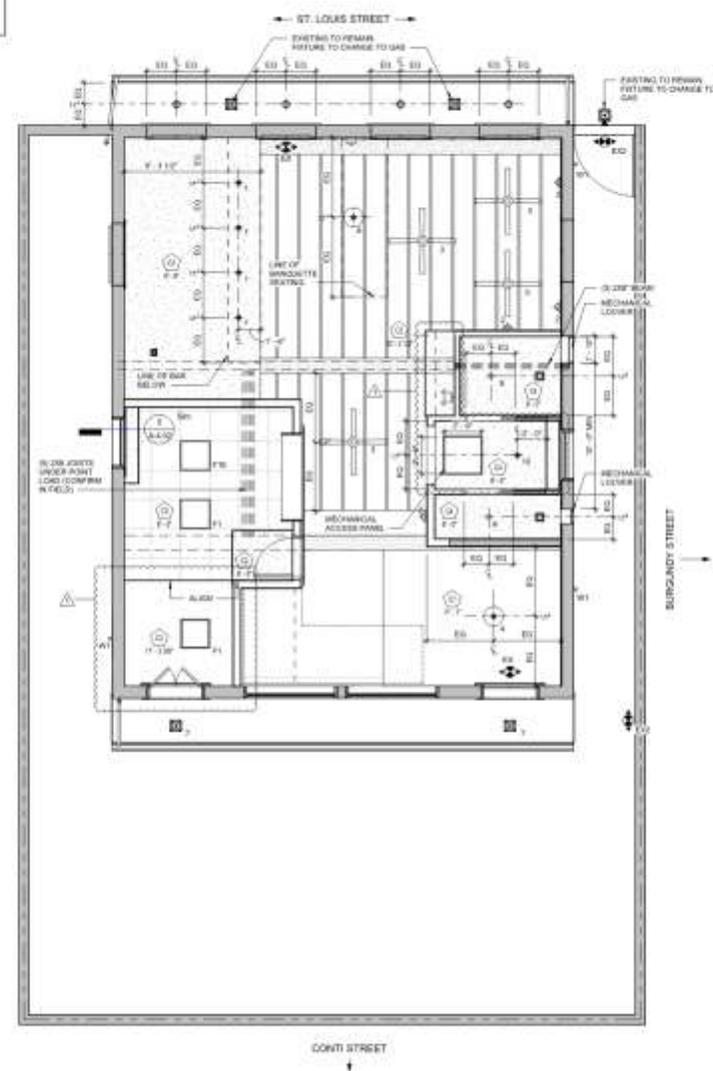
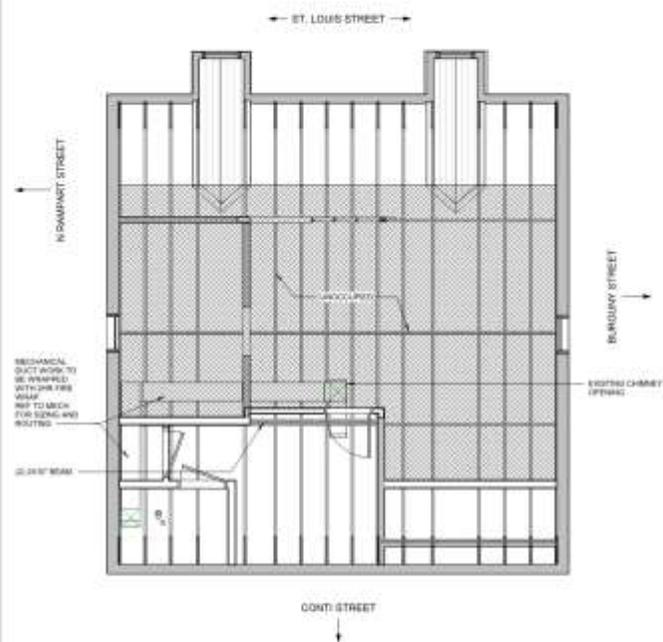
ROOM	FLOOR	WALL	CEILING
<b>FIRST FLOOR PLAN</b>			
ENTRY	FL-1	WF-1, WF-2, WF-3	C-1
KITCHEN	FL-2	WF-2	WF-1
LAUNDRY	FL-2	WF-2	WF-1
WC #1	FL-2	WF-3, WF-4	C-1
WC #2	FL-2	WF-3, WF-4	C-1
BAR	FL-2, FL-3	WF-3	WF-1
DINING	FL-1	WF-1	C-1
STAIRWELL	FL-1	WF-1	C-1
<b>SECOND FLOOR PLAN</b>			
DINING	FL-1	WF-1, WF-4	C-1
LAUNDRY	FL-2	WF-2	WF-1
WC #1	FL-2	WF-3, WF-4	C-1
WC #2	FL-2	WF-3, WF-4	C-1
MED. ROOM	FL-1	WF-1	C-1
MED. CLOSET	FL-1	WF-1	C-1
SERVER STATION	FL-2	WF-2	C-1



LIGHTING SCHEDULE EXTERIOR				
MARK	TYPE	DESCRIPTION	IMAGE	FINISH
7	REVOLVO	FRENCH QUARTER YOKE		

LIGHTING SCHEDULE EXTERIOR				
MARK	TYPE	DESCRIPTION	IMAGE	FINISH
W1	LUMIERE LANTERNA	3002-W1-FL-LED		PAINTED



PHASE LEGEND	
	EXISTING CONSTRUCTION
	PROPOSED CONSTRUCTION
	DEMOLISHED
	OCCUPIED

CEILING TYPES	
	LIMITED EXISTING DRY 80 CEILING
	LIMITED DRY 80 CEILING
	LIMITED SUSPENDED H/C CEILING
	DRY 80 CEILING WITH DRY 80 ON BOTH SIDES

- RCP SHEET NOTES**
- DO NOT SCALE DRAWINGS. USE ONLY TYPED DIMENSIONS.
  - S.C. SHALL VERIFY ALL DIMENSIONS IN FIELD.
  - P.A.M.V. DIMENSIONS VARY SOME THIS P.A.M.V. WORKSET BEFORE PROCEEDING WITH WORK.
  - INSTALL ALL LIGHT SWITCHES IN UNOCCUPIED READING ROOMS.
  - ALL 120V SWITCH LIGHT BANS TO BE CHANGED UNDER ONE HOUR RATE.
  - LIGHT SWITCHES/FACEPLATE COLOR TO BE COORDINATE WITH WORK.
  - PROVIDE ALL REQUIRED BLOCKING ABOVE CEILING (SHEATHING, FIBERGLASS FIBERGLASS, CONCRETE) WITH WORK MANUFACTURER'S SPECIFICATIONS.
  - PROVIDE AND INSTALL ALL REQUIRED LUMINAIR TRAFFIC PARTS AND ACCESS REQUIREMENTS WITH ARCHITECT PRIOR TO INSTALLATION.
  - S.C. TO VERIFY COMPATIBILITY BETWEEN LIGHT FIXTURES AND SPRINKLER LIGHT TEST LUMINAIR.
  - ALL SWITCHES TO BE PANEL TYPE.
  - THE ARCHITECT SHALL PROVIDE FINAL APPROVAL OF ALL SUSPENDED LIGHT FIXTURES, PAIR AND WALL MOUNTED BUCKETS.
  - INSTALL LUMINAIR IN ALL ROOMS PRIOR TO COMPLETION OF CONSTRUCTION.

LIGHTING SCHEDULE	
MARK	TYPE
<b>INTERIOR</b>	
1	SUSPENDED GLOBE PENDANT
2	WALL SCONCE
3	CEILING FAN
4	CHANDELER
5	SURFACE MOUNTED DOWNLIGHT - 4"
6	MULTI-ARM CHANDELER PENDANT
7	SURFACE MOUNTED LIGHT
10	SUSPENDED FLUTED PENDANT
EX	EXIT SIGN - CEILING MOUNT
F1	RECESSED LED - 2x2
F1E	RECESSED LED - 2x2 - EMERGENCY

1026 St. Louis

SECOND FLOOR RCP  
SCALE: 1/4" = 1'-0"

FIRST FLOOR RCP  
SCALE: 1/4" = 1'-0"

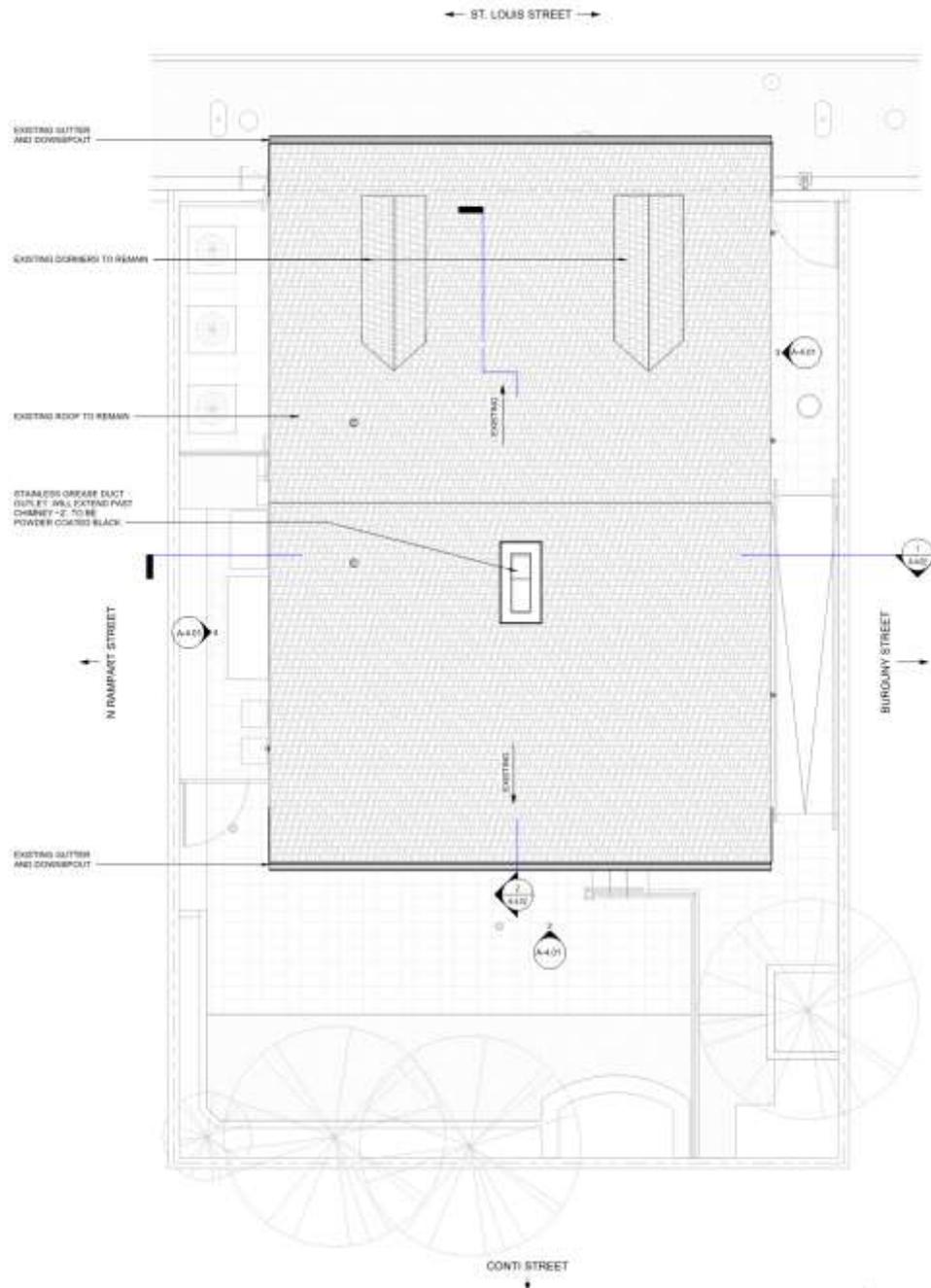
VCC Architectural Committee

October 23, 2018



1026 St. Louis

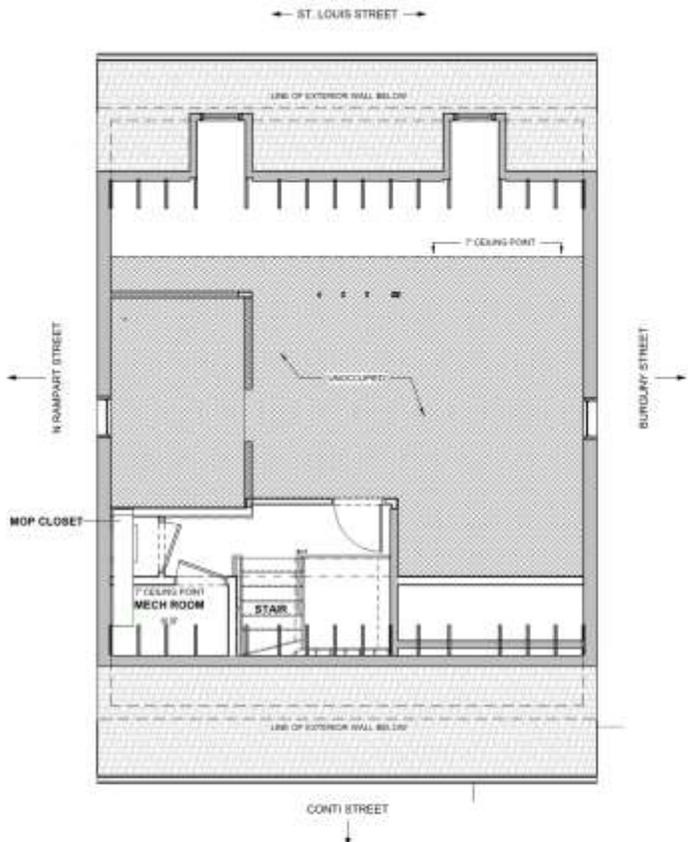
VCC Architectural Committee



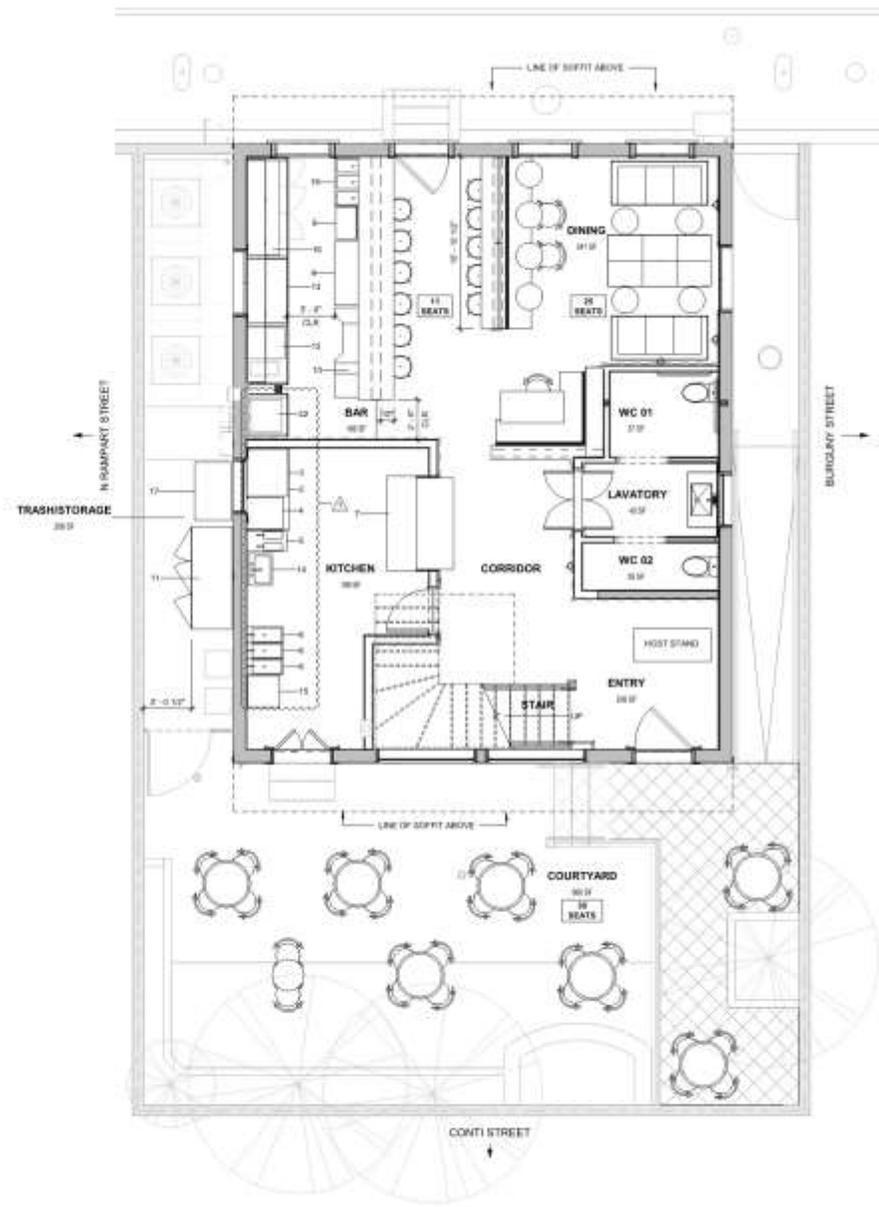
1  
A208 ROOF PLAN  
SCALE 1/4" = 1'-0"

October 23, 2018





2 SECOND FLOOR PLAN - FURNITURE  
 H400/ASST SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN - FURNITURE  
 H400/ASST SCALE: 1/4" = 1'-0"

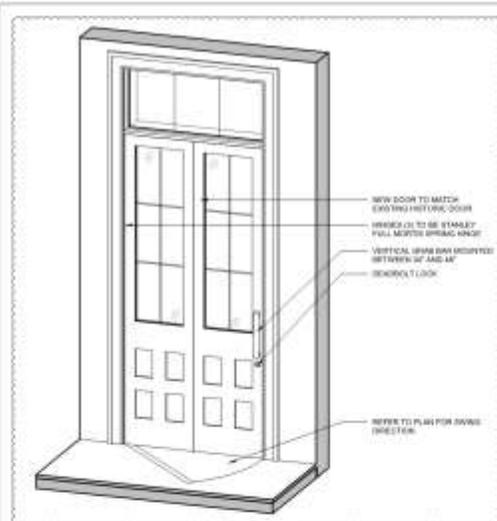
EQUIPMENT SCHEDULE	
MARK	TYPE
2	MULTI AIR REFRIGERATED CHEF BASE
3	1/2" DIA 30" DEEP (37") GAS HOT PLATE
4	1/2" DIA 24" GAS BROILER
5	FLAMING WARM TIPS GAS FLOOR WARMER
6	PELKA 12" DEEP SINK
7	7" STAINLESS TOP SANDWICH WARMER REFRIGERATOR
8	PELKA 24" ICE CHEST
9	BEVERAGE AIR-AID GLASS TIGHTER
10	PELKA 20"X 16" 1/2" DEEP SIGNATURE COCKTAIL REFRIG
11	TURBO AIR COOL DOOR REFRIGERATOR
12	ELECTRICAL UNIT - 200A MIDGET ICE MACHINE
13	REFRIGERATOR BY OFFIN UNDERCOUNTER REFRIG
14	TRINK SINK
15	ALCOHOL
16	FLAMING 2 DOOR RACK BAR REFRIGERATOR
17	HIGHWAY STAINLESS SQUARE CORNER
18	18" PELKA THREE TANK STAINLESS STEEL BAR (18000)
20	FLAMING 2 DOOR RACK BAR REFRIGERATOR
21	UNDER COUNTER ALCOHOL

NOTE: ALL EQUIPMENT AND FURNITURE TO BE PURCHASED BY OWNER.

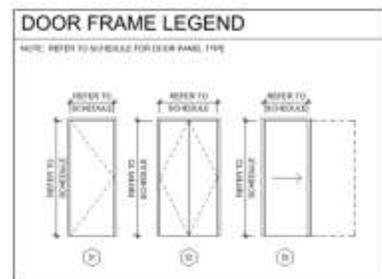
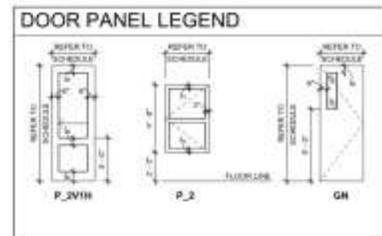
INTERIOR FINISH LEGEND	
FLOOR	
FL-1	REFINISHED WOOD FLOOR
FL-2	BATHROOM FLOOR TILE
FL-3	NON-SLIP TILE
WALL	
WF-1	PAINT - ACCENT
WF-2	PAINT - MAIN
WF-3	BATHROOM WALL TILE
WF-4	WALLPAPER 1 - CUSTOM POSTER
WF-5	PLASTER FINISH W/ ACCENT COLOR
WF-6	KITCHEN WALL TILE
WF-7	FIRE WALL PANELS
BASE	
B-1	EXISTING BASE TO REMAIN
B-2	WOOD WAINSCOTTING AND BASE REF TO 3-A, 3-B
B-3	NEW WOOD BASE TO MATCH EXISTING REF TO 3-A, 3-B
CEILING	
CE-1	PAINTED GYP BOARD
CE-2	PAINTED WOOD W/ EXPOSED STRUCTURE

INTERIOR FINISH SCHEDULE				
ROOM	FLOOR	WALL	CEILING	
FIRST FLOOR PLAN				
ENTRY	FL-1	WF-1, WF-2, WF-4	CE-1	
KITCHEN	FL-3	WF-6, WF-7	CE-1	
LAVATORY	FL-2	WF-2	CE-1	
WC 01	FL-2	WF-2, WF-3	CE-1	
WC 02	FL-2	WF-3, WF-5	CE-1	
BAR	FL-1, FL-3	WF-2	CE-1	
CORRIDOR	FL-1	WF-2	CE-1	
COURTYARD	FL-1	WF-2	CE-2	
SECOND FLOOR PLAN				
MOP CLOSET	FL-1	WF-1, WF-2	CE-1	
LAVATORY	FL-2	WF-3	CE-1	
WC 01	FL-2	WF-3, WF-5	CE-1	
WC 02	FL-2	WF-3, WF-5	CE-1	
MECH ROOM	FL-1	-	CE-1	
MOP CLOSET	FL-1	-	CE-1	
SERVER STATION	FL-3	WF-2	CE-2	



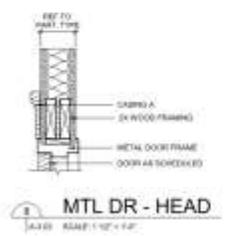


4 EGRESS DOOR MODIFICATION  
 (A) SIZE SCALE:

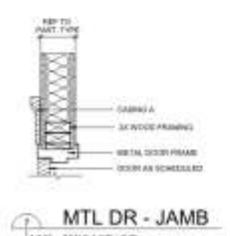
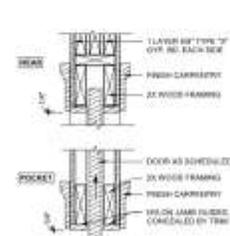


**DOOR SCHEDULE - INTERIOR PHASE 1**

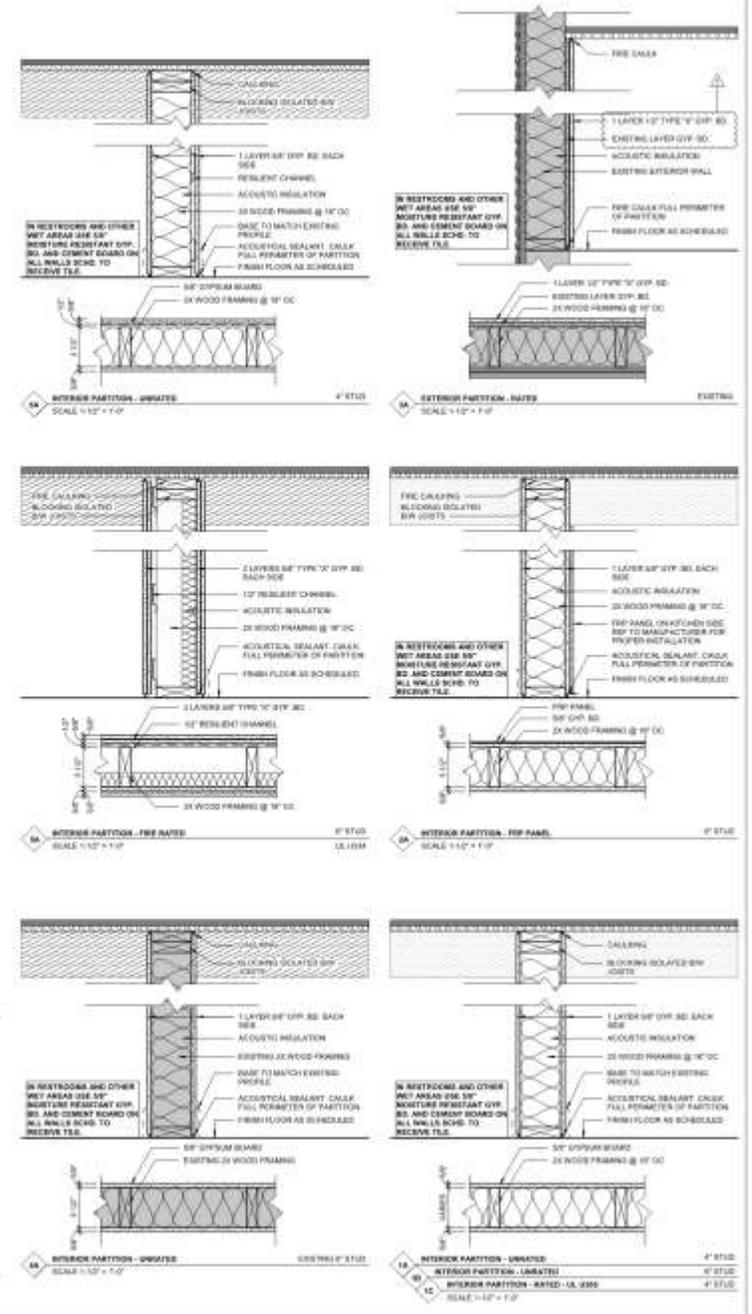
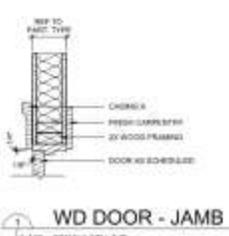
MARK	DESCRIPTION	DOOR				FRAME				CARGO RATING (KVA)	FIRE RATING (HR)	COMMENTS	
		PANEL TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	JAMB	HEAD				TYPE
<b>FIRST FLOOR PLAN</b>													
10	SHOUL	36	7'-0"	1'-0"	1-3/4"	WU FINISH	31	WU FINISH	14-1/2"	WU-100	CSA	30	INTERIOR DOOR (S.A. ONLY ON DRINKING COOL)
11	DRY-RO	36	7'-0"	1'-0"	1-3/4"	WU FINISH	31	WU FINISH	14-1/2"	WU-100	CSA	30	INTERIOR DOOR (S.A. ONLY ON DRINKING COOL)
12	POCKET DOOR	36	7'-0"	1'-0"	1-3/4"	WU FINISH	31	WU FINISH	14-1/2"	WU-100	CSA	30	INTERIOR DOOR (S.A. ONLY ON DRINKING COOL)
13	POCKET DOOR	36	7'-0"	1'-0"	1-3/4"	WU FINISH	31	WU FINISH	14-1/2"	WU-100	CSA	30	INTERIOR DOOR (S.A. ONLY ON DRINKING COOL)
14	POCKET DOOR	36	7'-0"	1'-0"	1-3/4"	WU FINISH	31	WU FINISH	14-1/2"	WU-100	CSA	30	INTERIOR DOOR (S.A. ONLY ON DRINKING COOL)
<b>SECOND FLOOR PLAN</b>													
20	SHOUL	36	7'-0"	1'-0"	1-3/4"	WU FINISH	31	WU FINISH	14-1/2"	WU-100	CSA	30	METAL-CORRUGATED 400 DOOR (S.A. ONLY ON PUBLIC SIDE)
21	SHOUL	36	7'-0"	1'-0"	1-3/4"	WU FINISH	31	WU FINISH	14-1/2"	WU-100	CSA	30	METAL-CORRUGATED 400 DOOR (S.A. ONLY ON PUBLIC SIDE)
22	SHOUL	36	7'-0"	1'-0"	1-3/4"	WU FINISH	31	WU FINISH	14-1/2"	WU-100	CSA	30	METAL-CORRUGATED 400 DOOR (S.A. ONLY ON PUBLIC SIDE)

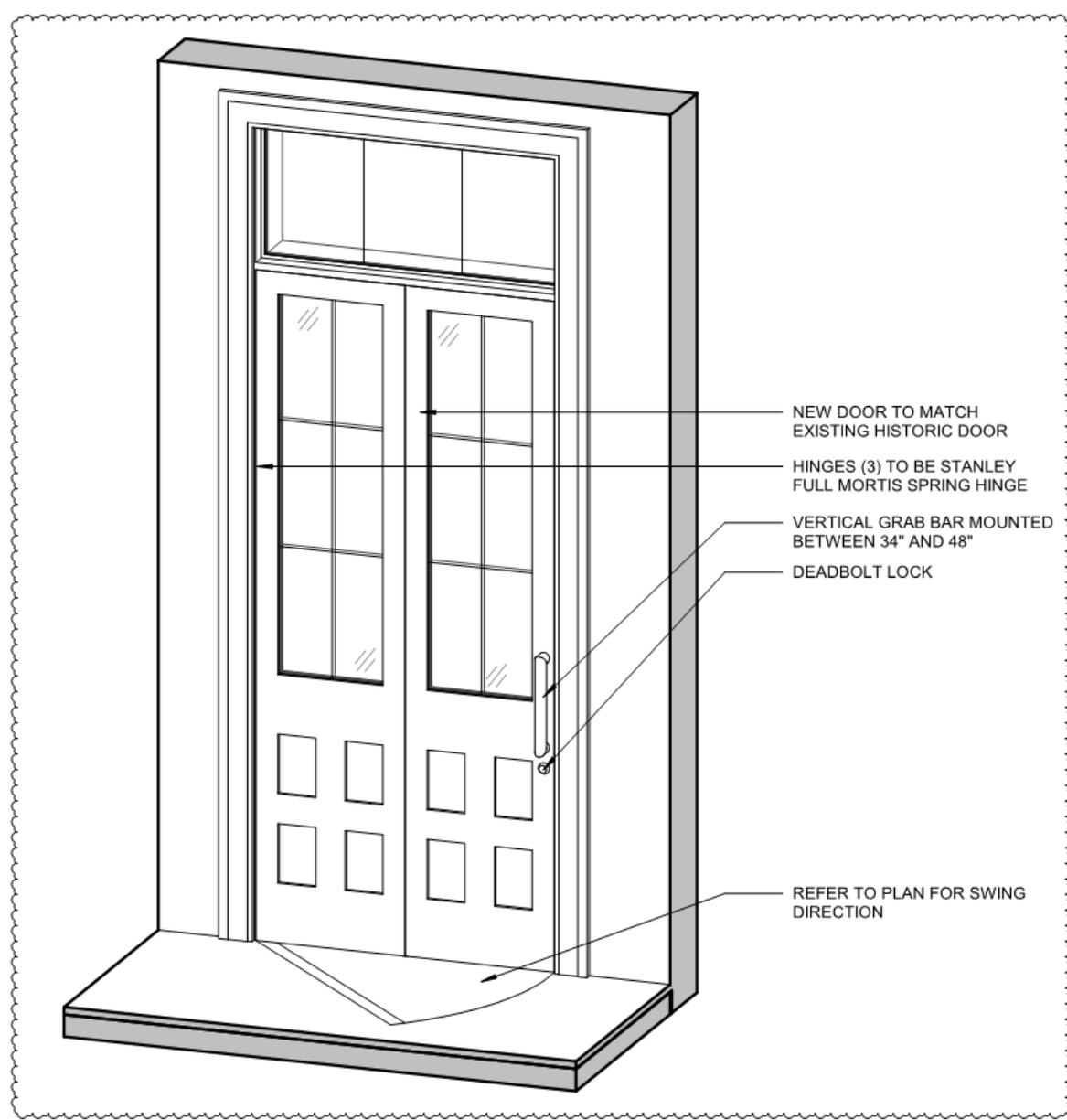


MTL DR - HEAD  
 (A) SIZE SCALE: 1/12" = 1'-0"



MTL DR - JAMB  
 (A) SIZE SCALE: 1/12" = 1'-0"





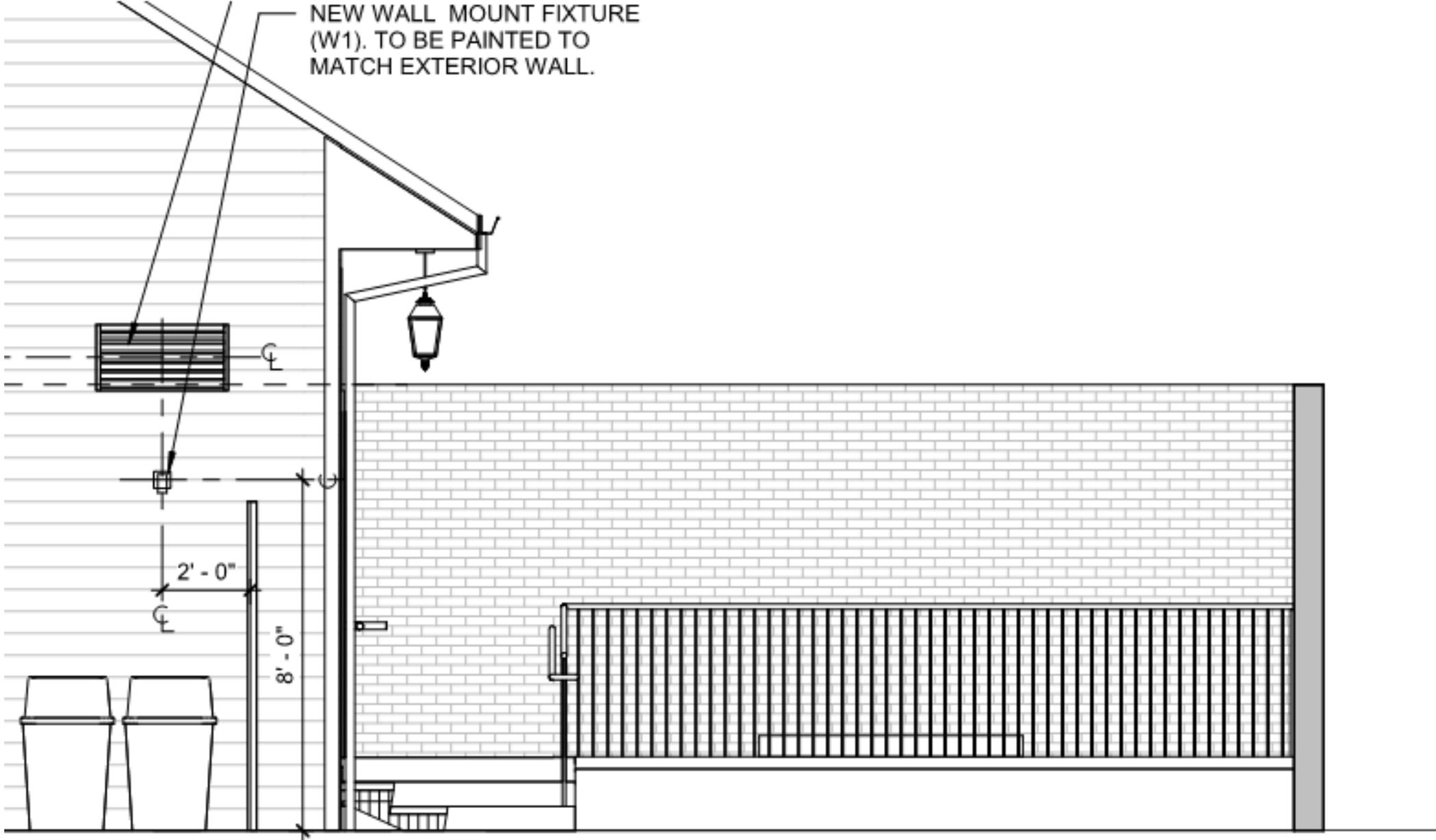
- NEW DOOR TO MATCH EXISTING HISTORIC DOOR
- HINGES (3) TO BE STANLEY FULL MORTIS SPRING HINGE
- VERTICAL GRAB BAR MOUNTED BETWEEN 34" AND 48"
- DEADBOLT LOCK
- REFER TO PLAN FOR SWING DIRECTION

6 | A-3.02 SCALE: **EGRESS DOOR MODIFICATION**





NEW WALL MOUNT FIXTURE  
(W1). TO BE PAINTED TO  
MATCH EXTERIOR WALL.



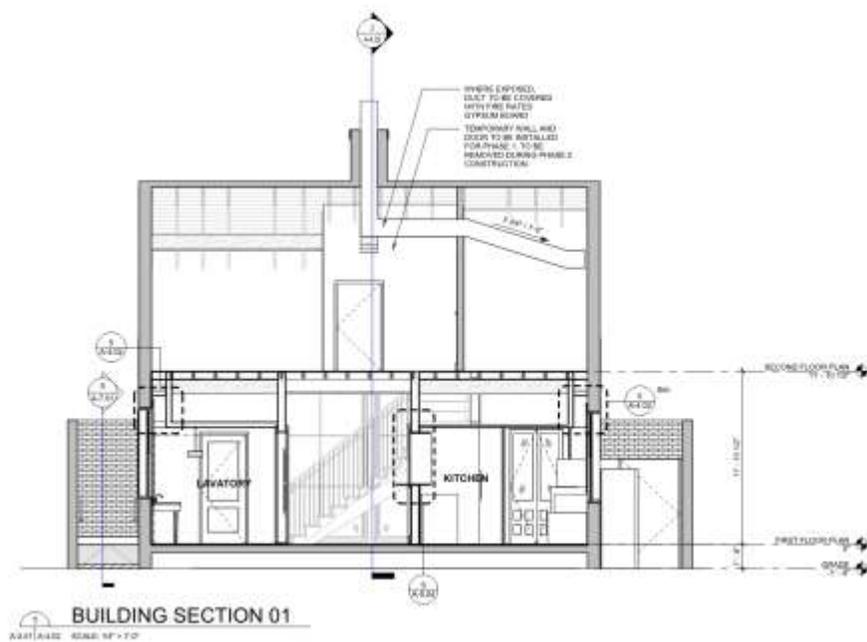
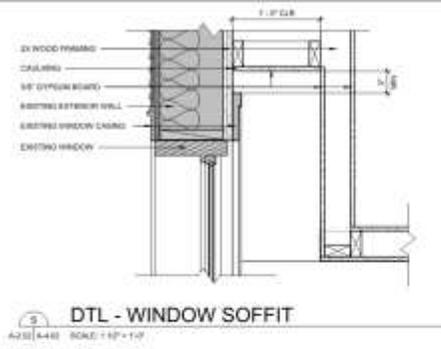
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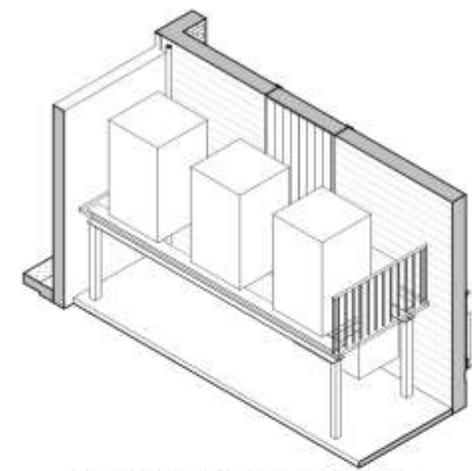
1026 St. Louis – Elevated Courtyard Guardrail

VCC Architectural Committee

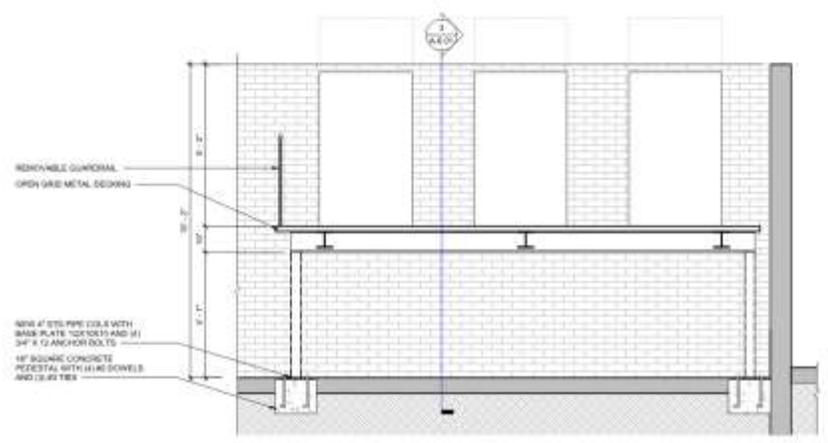
October 23, 2018



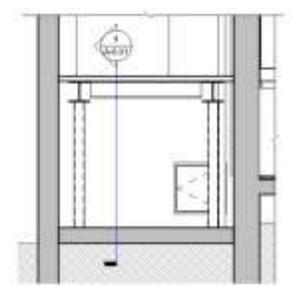




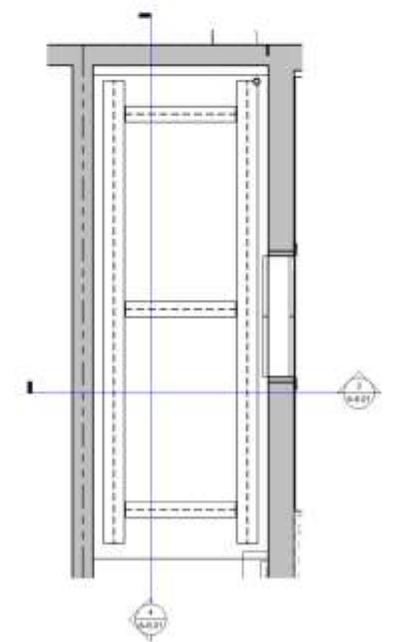
MECHANICAL PLATFORM AXON  
SCALE



SECTION - 2 - MECHANICAL PLATFORM  
SCALE 1/4" = 1'-0"

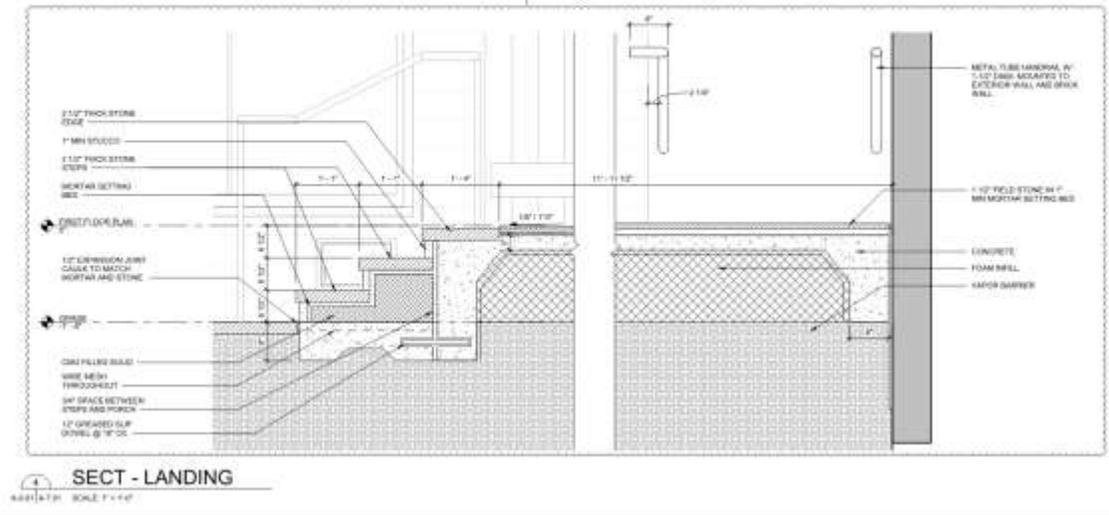
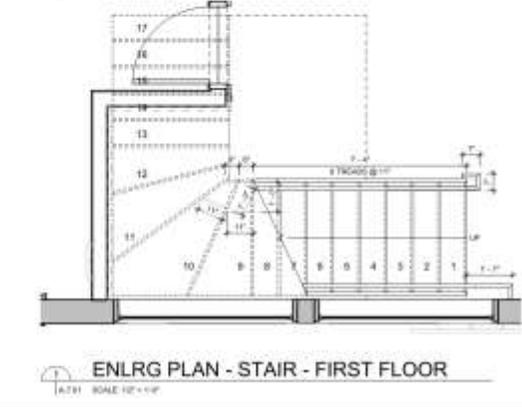
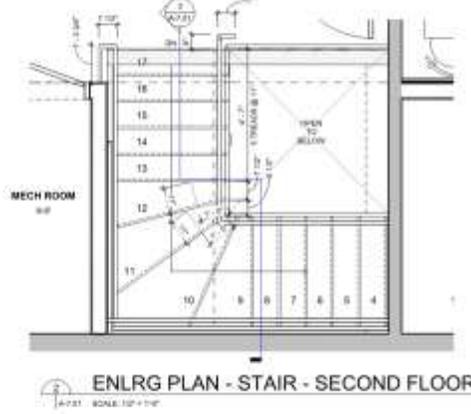
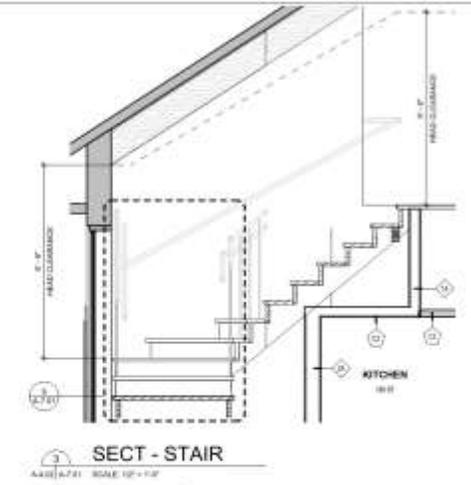
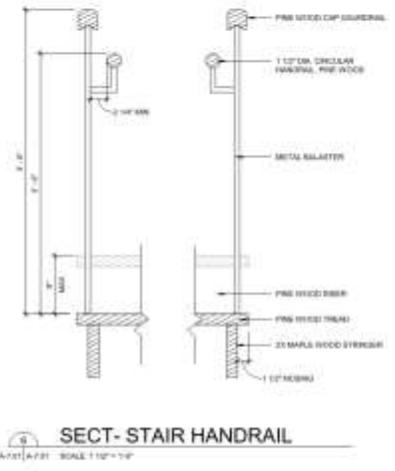
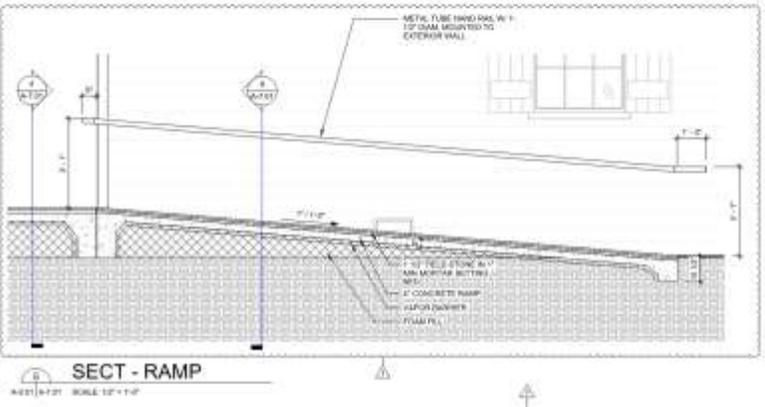
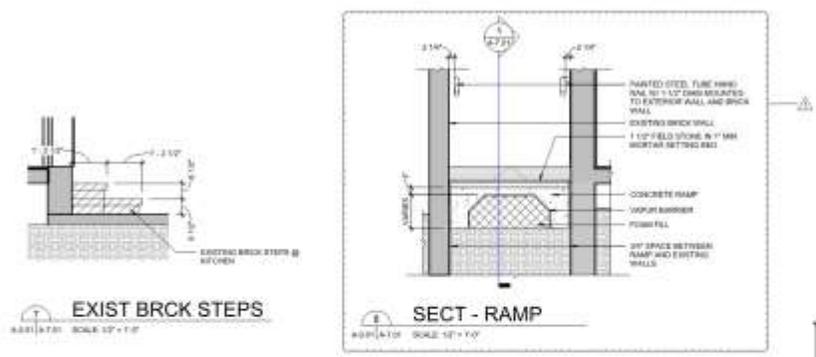


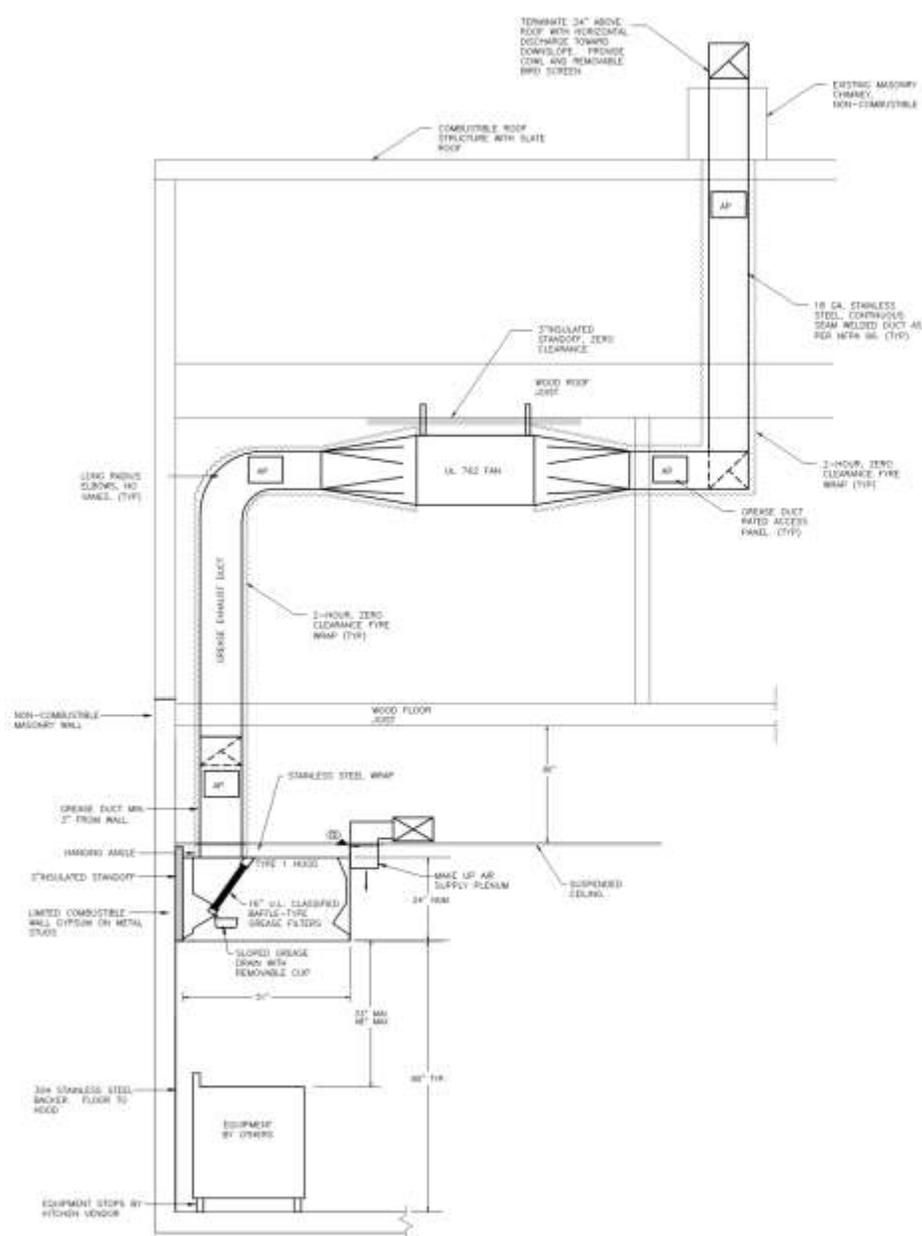
SECTION - MECHANICAL PLATFORM  
SCALE 1/4" = 1'-0"



MECHANICAL PLATFORM PLAN  
SCALE 1/4" = 1'-0"







1 HOOD INSTALLATION DETAIL  
SCALE: NONE

**AIR DEVICE SCHEDULE**

TAG	SERVICE	MAKE	MODEL	TYPE	NOTE
AD-1	EXHAUST	AMER	16\"/>		

- 1. PROVIDE 2\"/>
- 2. PROVIDE 1\"/>

**AIR HANDLING UNIT SCHEDULE**

TAG	SERVICE	TYPE	CAPACITY	ELECTRICAL	NOTE
AHU-1	EXHAUST	16\"/>			

- 1. PROVIDE 2\"/>
- 2. HANDLING UNIT MUST BE 1\"/>

**HEAT PUMP SCHEDULE**

TAG	SERVICE	COOLING CAPACITY	HEATING CAPACITY	ELECTRICAL	NOTE
HP-1	EXHAUST	16\"/>			

- 1. PROVIDE 2\"/>
- 2. PROVIDE LOW AMBIENT COOLANT AT 40°F-45°F W/ 1\"/>

**FAN SCHEDULE**

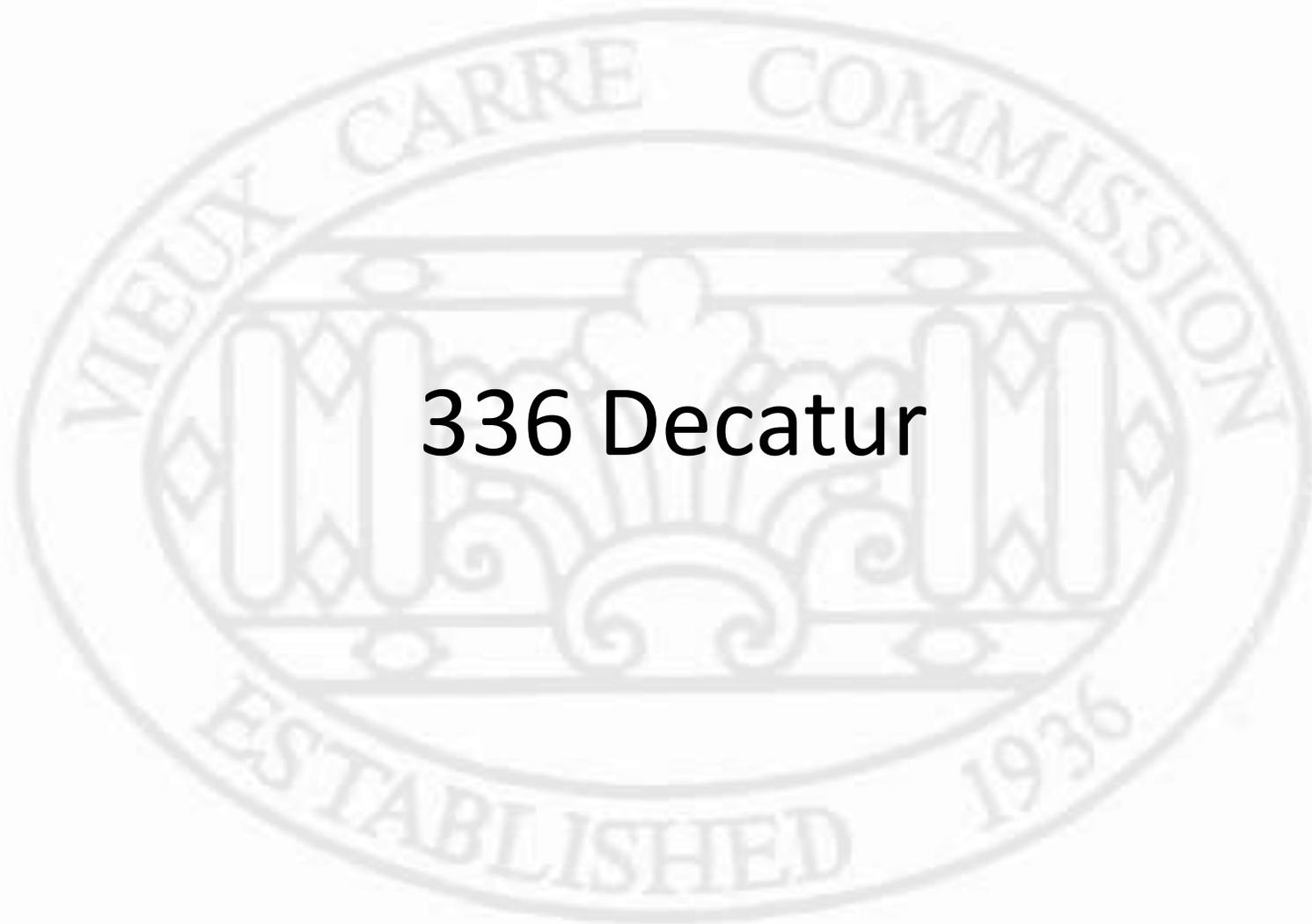
TAG	SERVICE	RELEVANT TYPE	TOTAL CFM	HP	WAS	WAS	CONTROL	WIRING	MODEL	NOTE
FF-1	EXHAUST	16\"/>								

- 1. PROVIDE 1\"/>
- 2. PROVIDE 1\"/>
- 3. PROVIDE 1\"/>
- 4. PROVIDE 1\"/>
- 5. PROVIDE 1\"/>

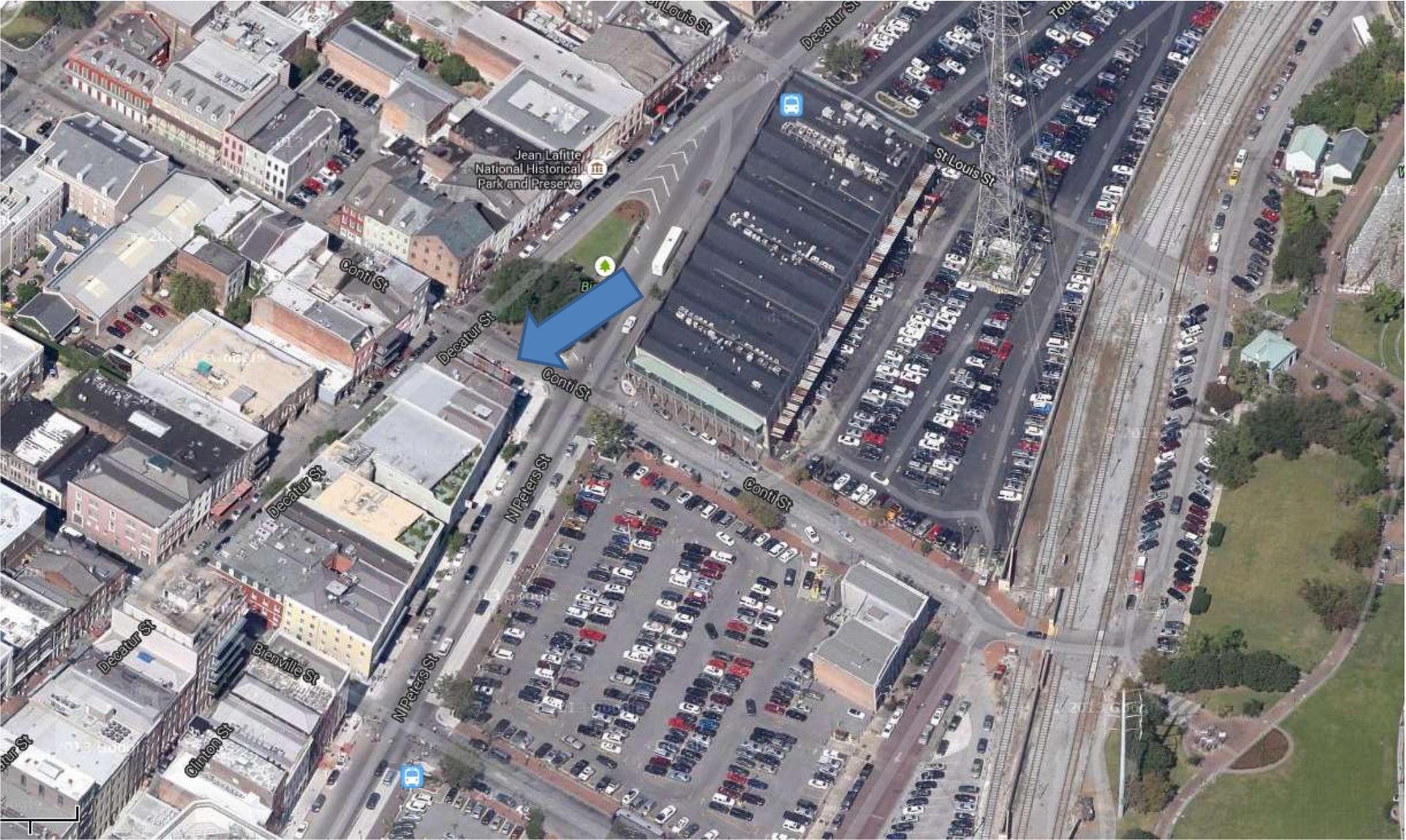
**KITCHEN HOOD SCHEDULE**

TAG	SERVICE	MAKE	MODEL	TYPE	NOTE
KH-1	KITCHEN	AMER	16\"/>		





**336 Decatur**



336-40 Decatur / 400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 23, 2018





336-40 Decatur / 400 Conti / 341 N. Peters Street

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336-40 Decatur / 400 Conti / 341 N. Peters Street

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336-40 Decatur /400 Conti / 341 N. Peters Street

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October 23, 2018





336-40 Decatur /400 Conti

VCC Architectural Committee

October 23, 2018



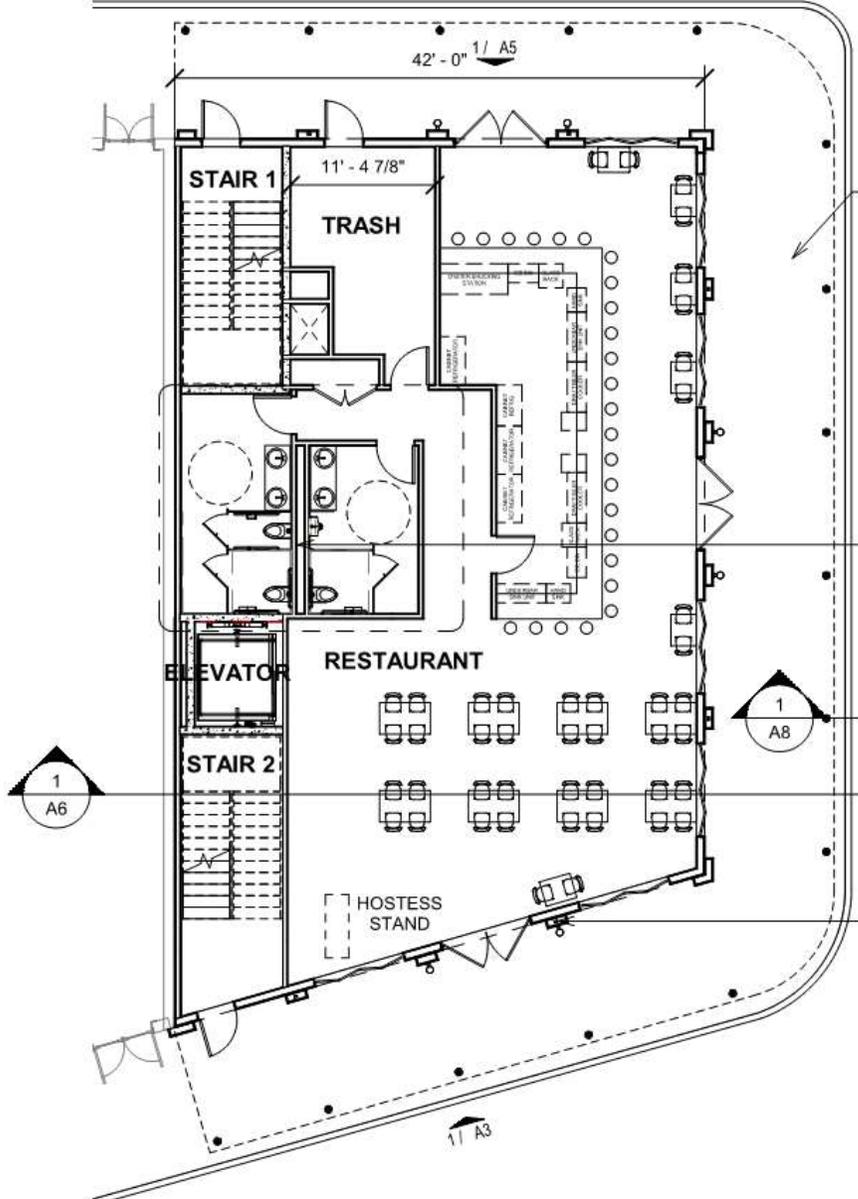


336-40 Decatur /400 Conti

VCC Architectural Committee

October 23, 2018



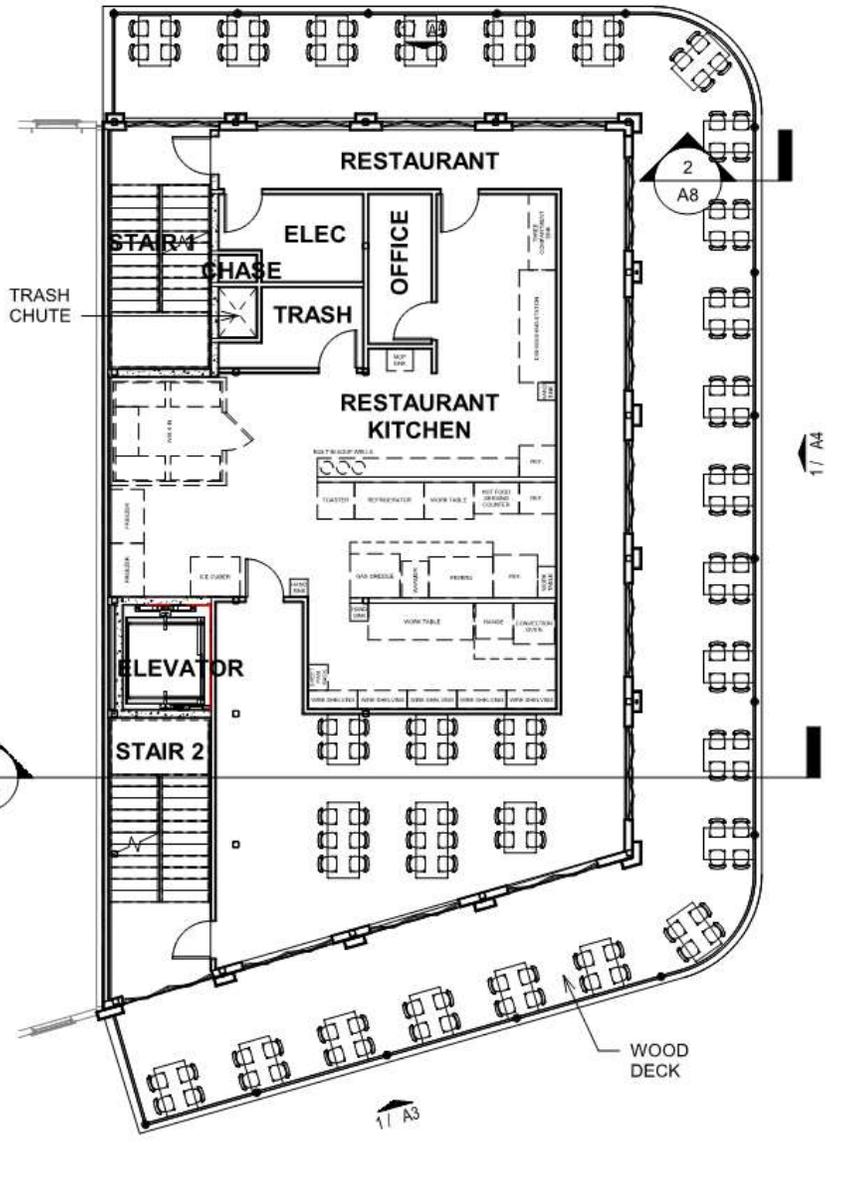


① SITE PLAN  
3/32" = 1'-0"

BRICK PAVED  
SIDEWALK PER VCC  
STANDARDS

STUB IN FOR FUTURE  
BATHROOMS IN  
RETAIL SPACE.  
ASSOCIATED  
FIXTURES, WALLS  
AND DOORS SHOWN  
FOR GRAPHIC  
REPRESENTATION  
ONLY.

DOWNSPOUTS  
CONCEALED IN  
PILASTERS  
TIED TO  
SUBSURFACE  
DRAINAGE



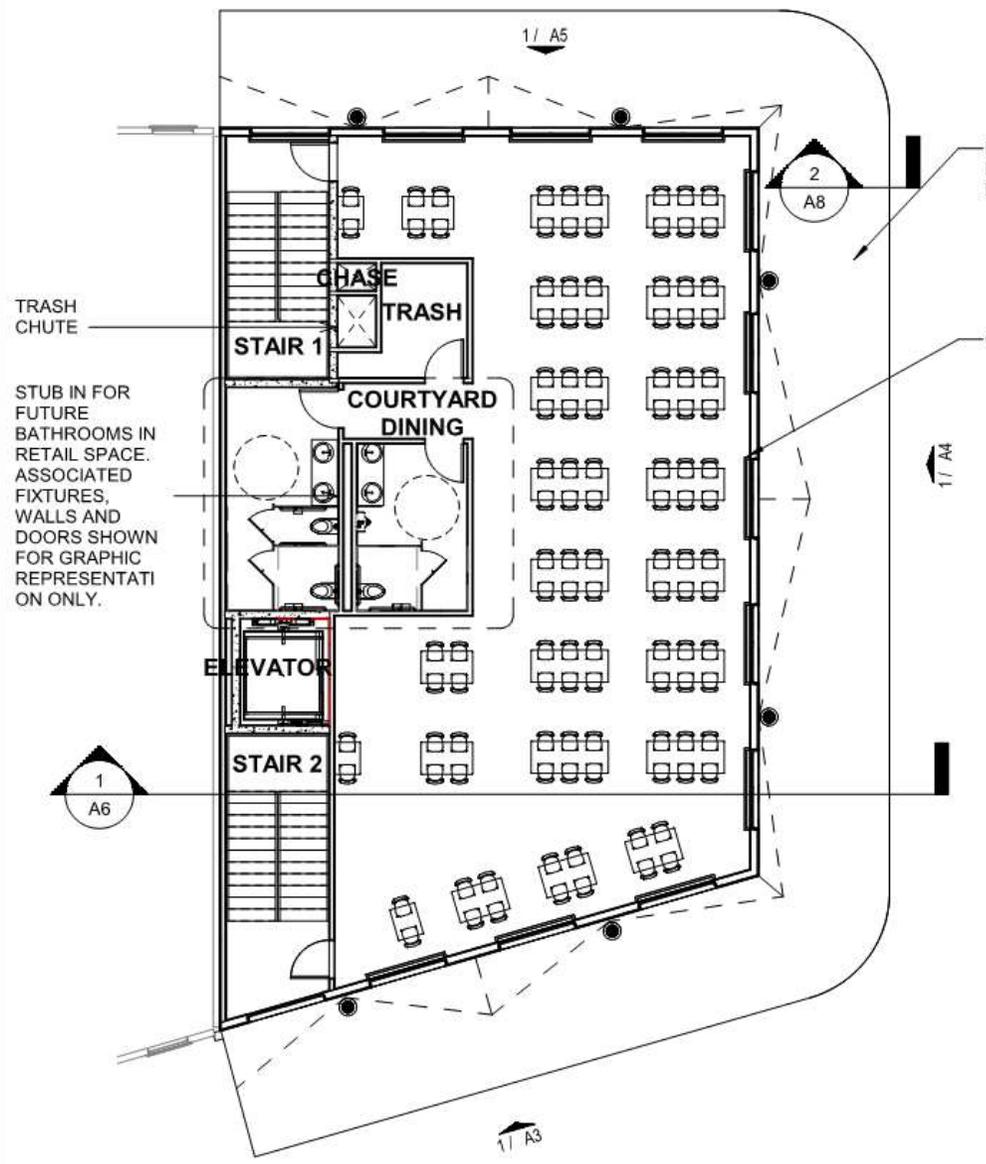
② 2ND FLOOR  
3/32" = 1'-0"

336-40 Decatur /400 Conti

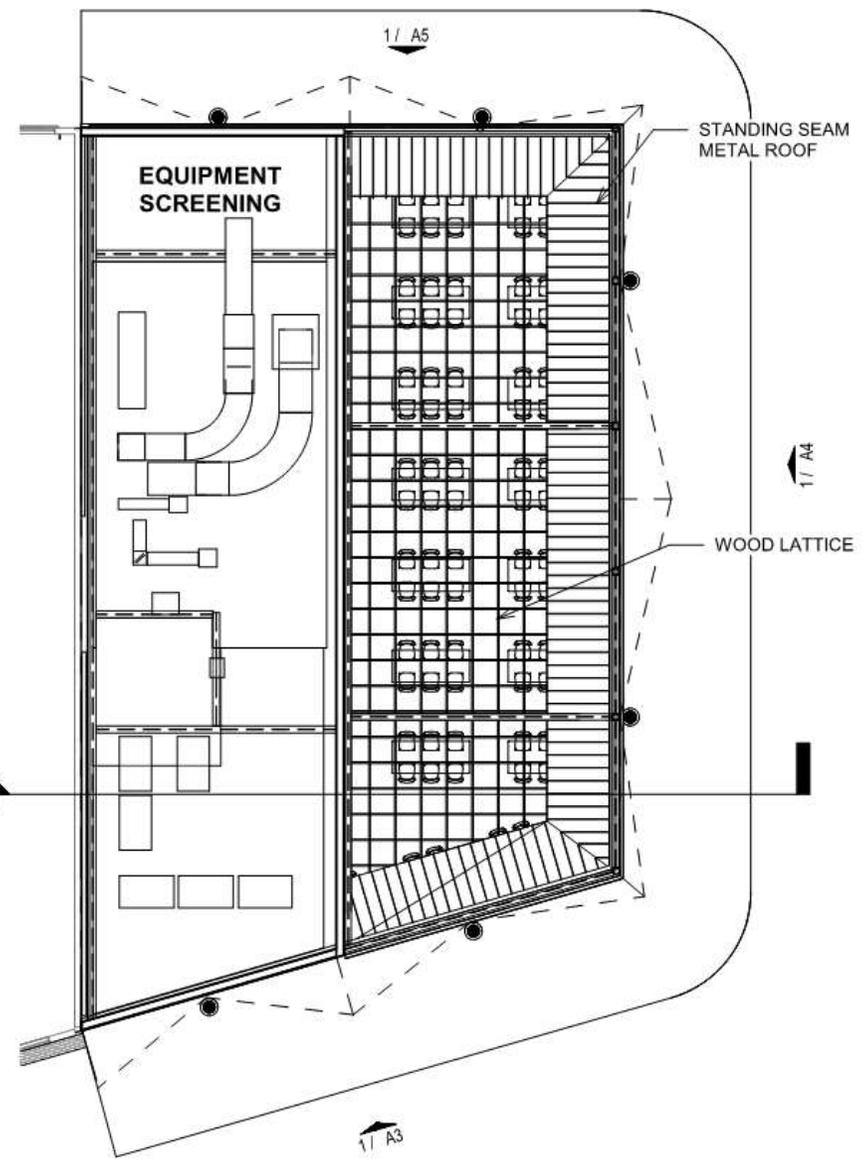
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October 23, 2018





① 3RD FLOOR  
3/32" = 1'-0"



② ROOF PLAN  
3/32" = 1'-0"





① DECATUR STREET ELEVATION  
 1/8" = 1'-0"

336-40 Decatur / 400 Conti

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October 23, 2018





① N. PETERS ELEVATION  
 1/8" = 1'-0"

336-40 Decatur / 400 Conti

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October 23, 2018





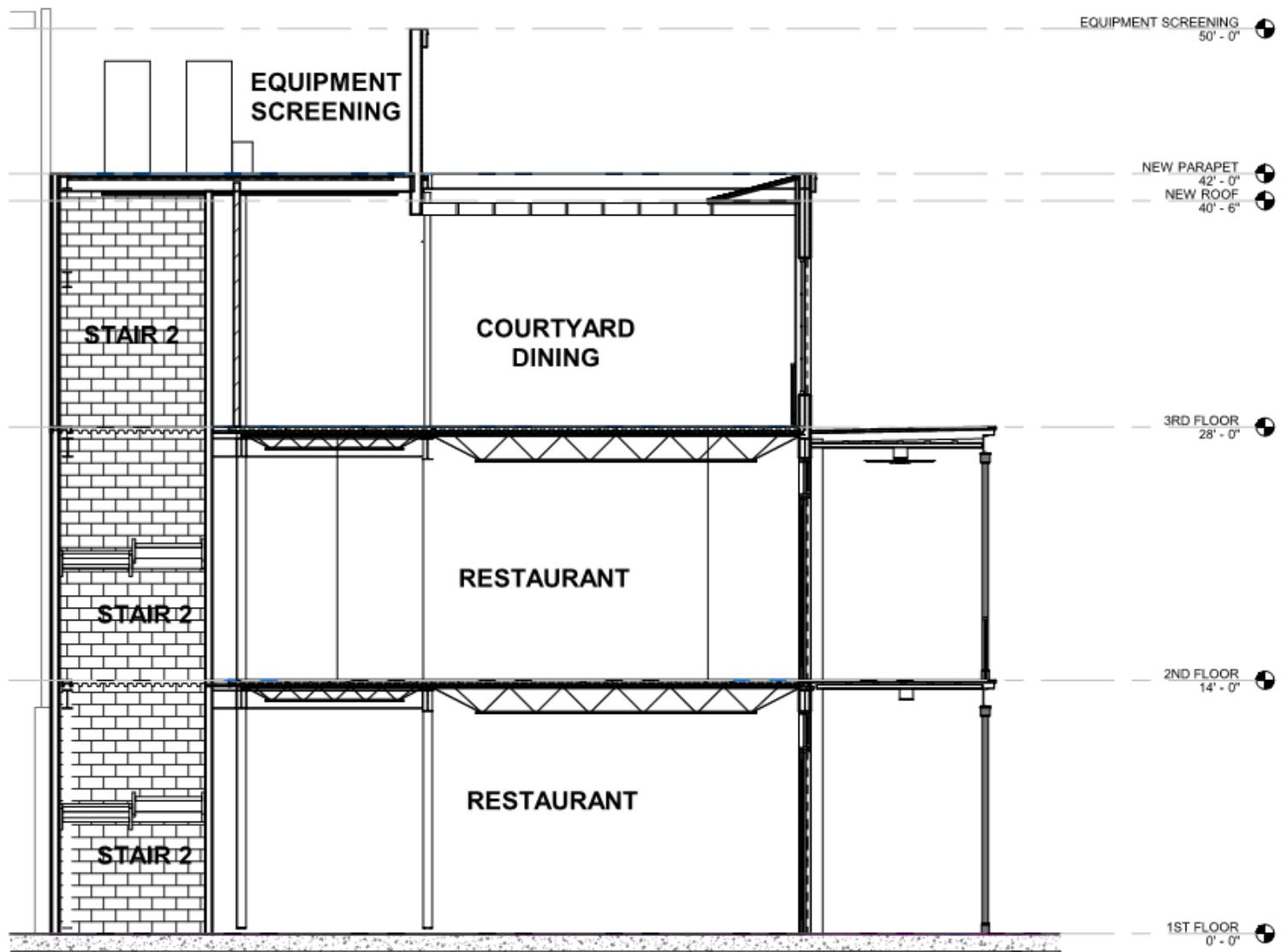
① CONTI ELEVATION  
 1/8" = 1'-0"

336-40 Decatur /400 Conti

VCC Architectural Committee

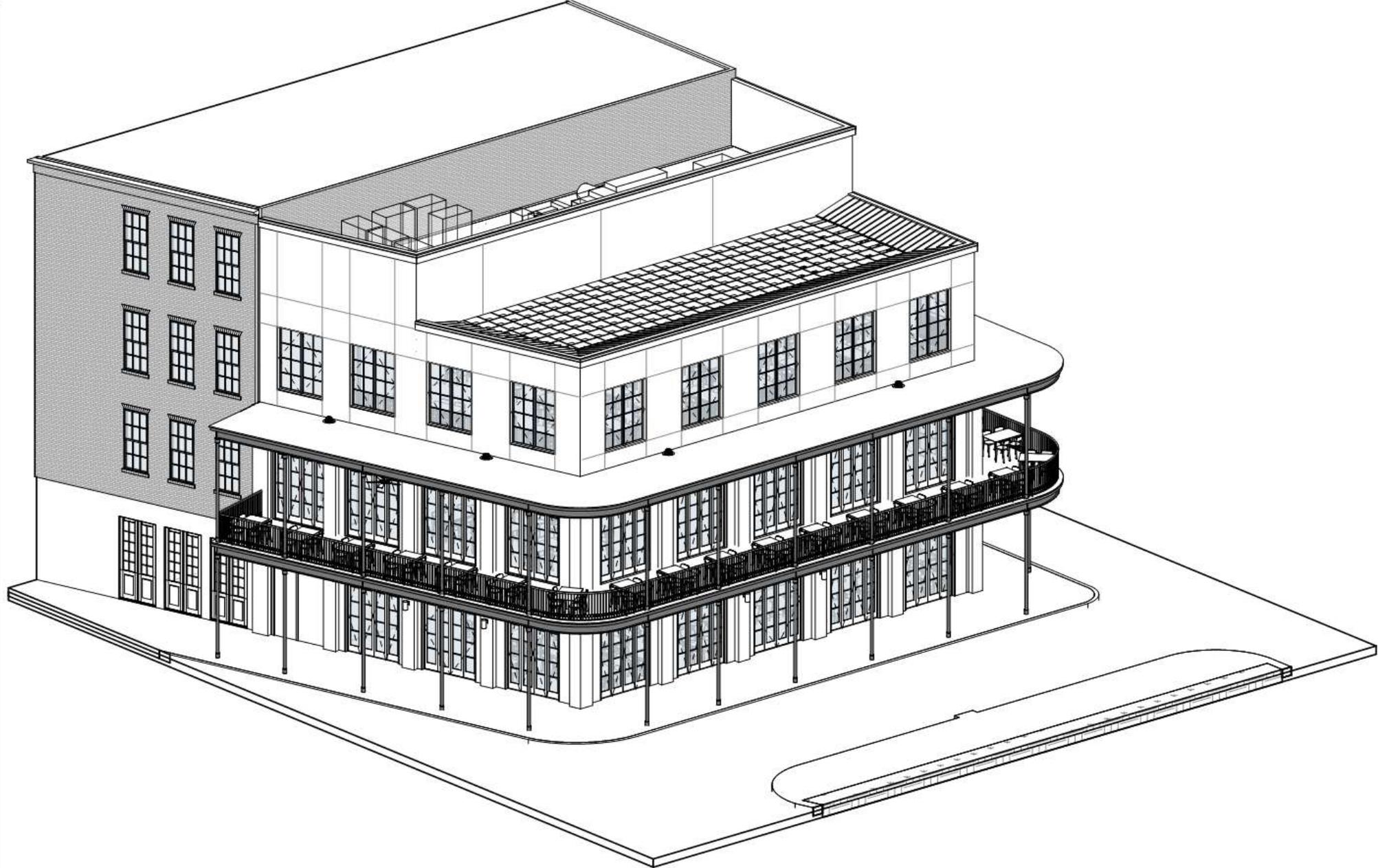
October 23, 2018





① BUILDING SECTION  
1/8" = 1'-0"



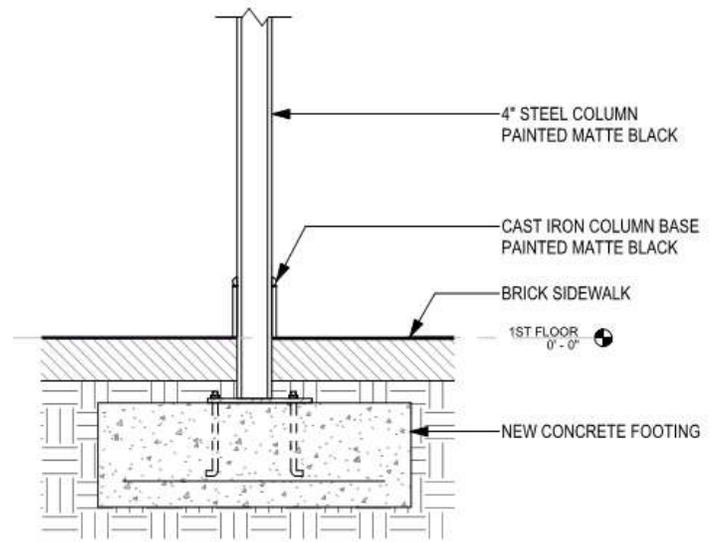
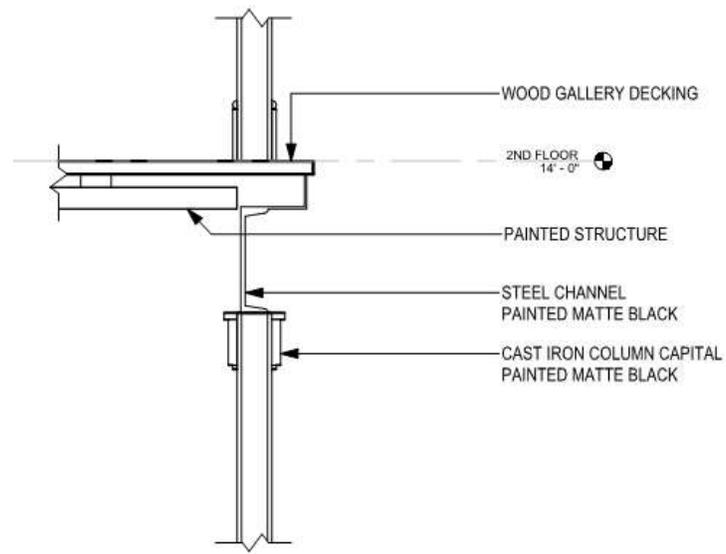


336-40 Decatur /400 Conti

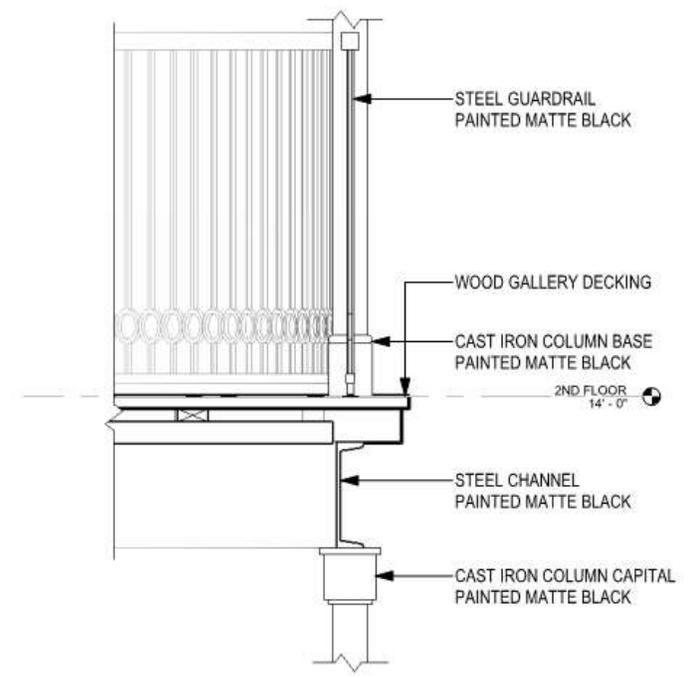
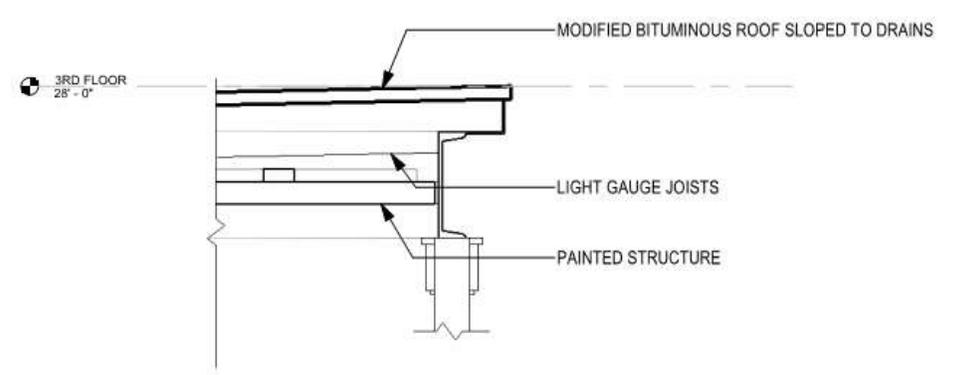
VCC Architectural Committee

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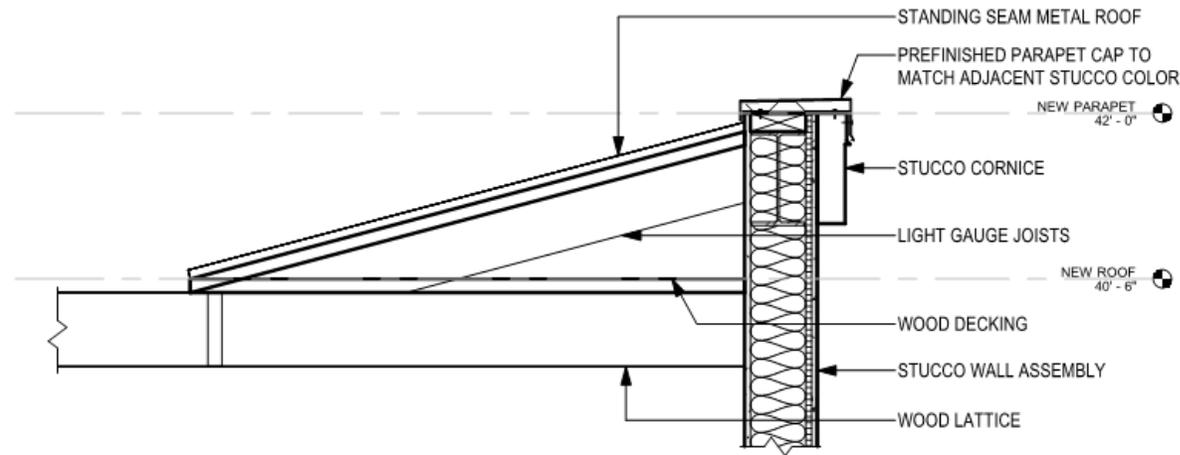


① SCHEMATIC GALLERY DETAIL  
3/4" = 1'-0"

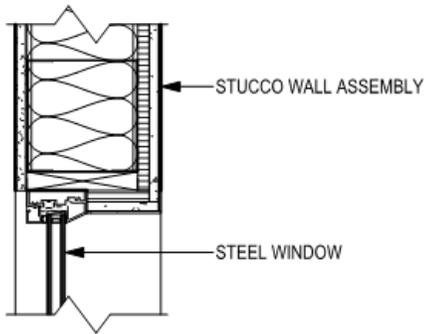


② SCHEMATIC GALLERY DETAIL  
3/4" = 1'-0"

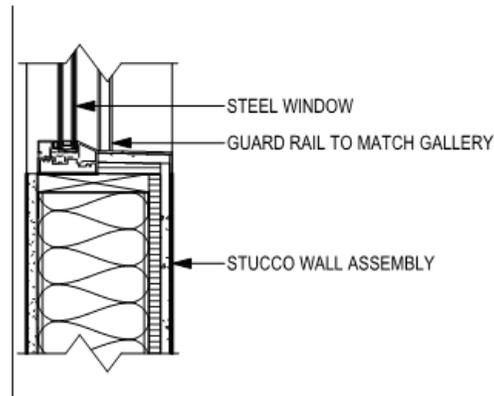




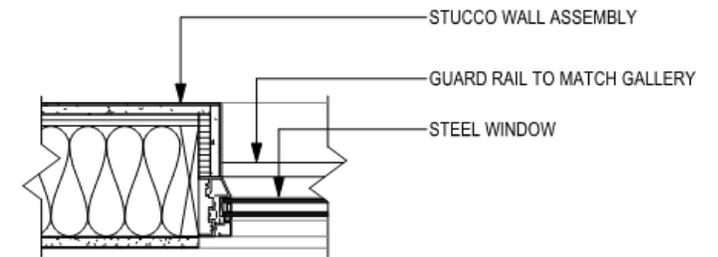
① SCHEMATIC PARAPET DETAIL  
3/4" = 1'-0"



② STEEL WINDOW HEAD DETAIL  
1 1/2" = 1'-0"



③ STEEL WINDOW SILL DETAIL  
1 1/2" = 1'-0"



④ STEEL WINDOW JAMB DETAIL  
1 1/2" = 1'-0"

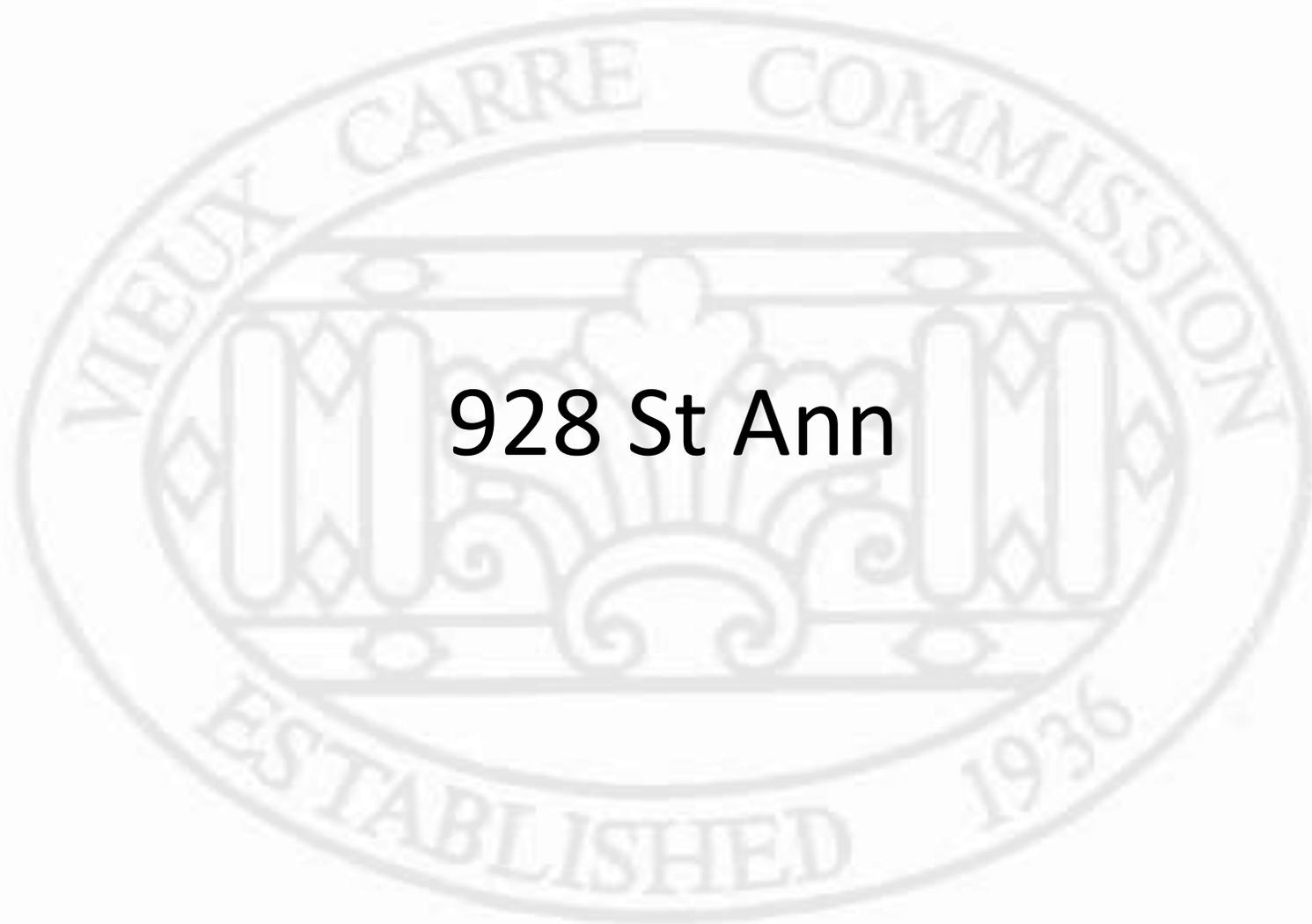


336-40 Decatur /400 Conti

VCC Architectural Committee

October 23, 2018





928 St Ann



928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

VCC Architectural Committee

October 23, 2018





928 St Ann

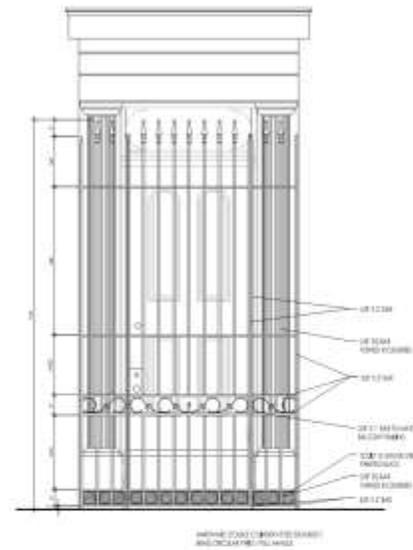
VCC Architectural Committee

October 23, 2018

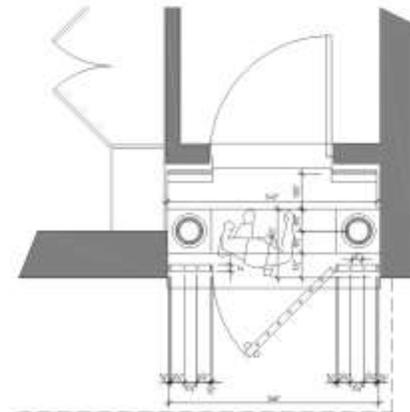




1 SAINT ANN STREET NEW ELEVATION W/ GATE  
SCALE: 1/4" = 1'-0"



2 SECURITY GATE ELEVATION FLUTED COLUMNS BEHIND  
SCALE: 3/4" = 1'-0"



3 SECURITY GATE PARTIAL FLOOR PLAN  
SCALE: 3/4" = 1'-0"

REVISIONS  
SEE SHEET

Guns Modern  
2314 S. Chalmette Avenue  
New Orleans, LA 70128  
504-670-2221

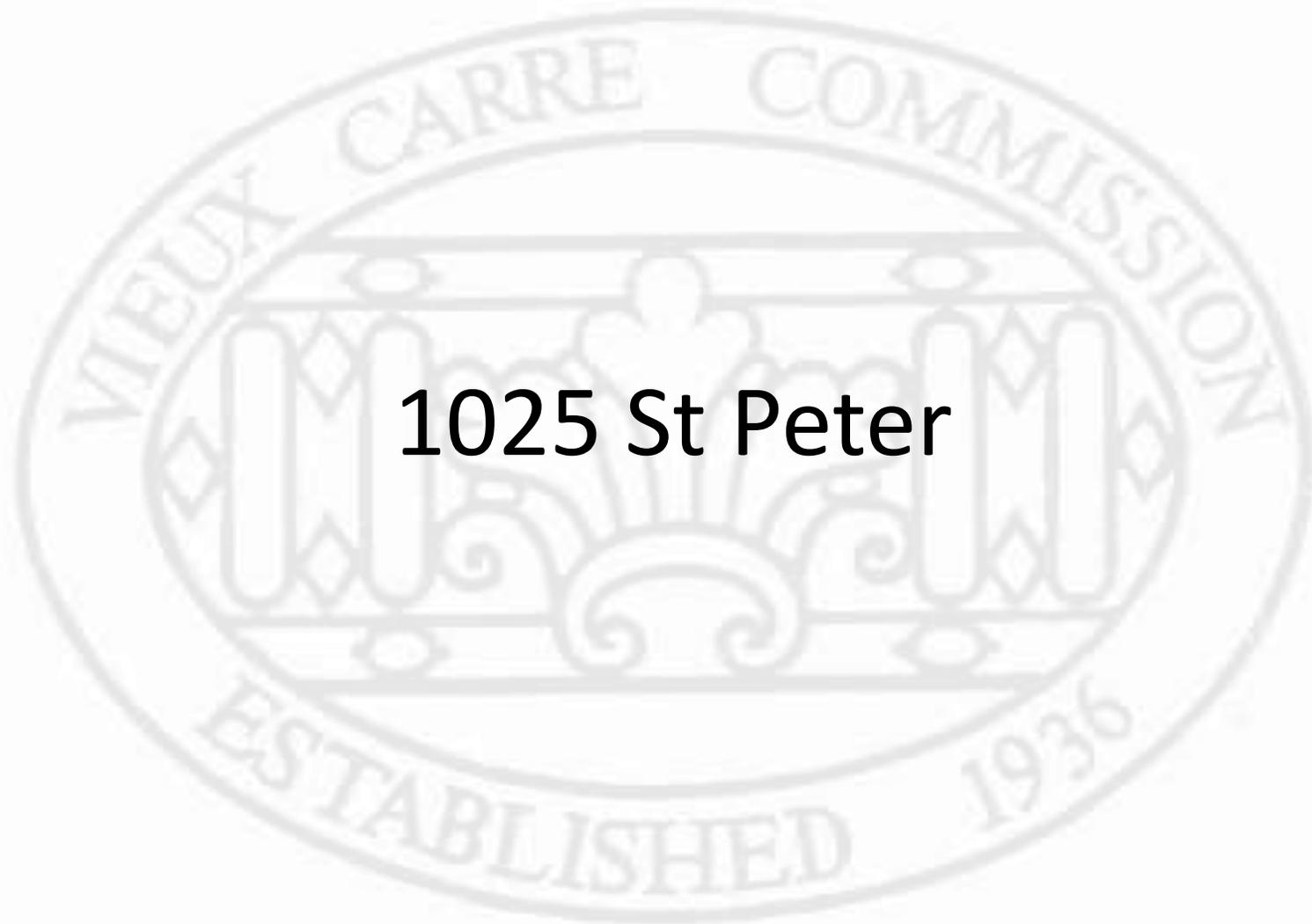
PROJECT NUMBER: SECURITY GATE

**Aura, LLC**  
**928-40 Saint Ann**  
Phase - Third Floor Renovation + Single Family  
New Orleans, LA 70116

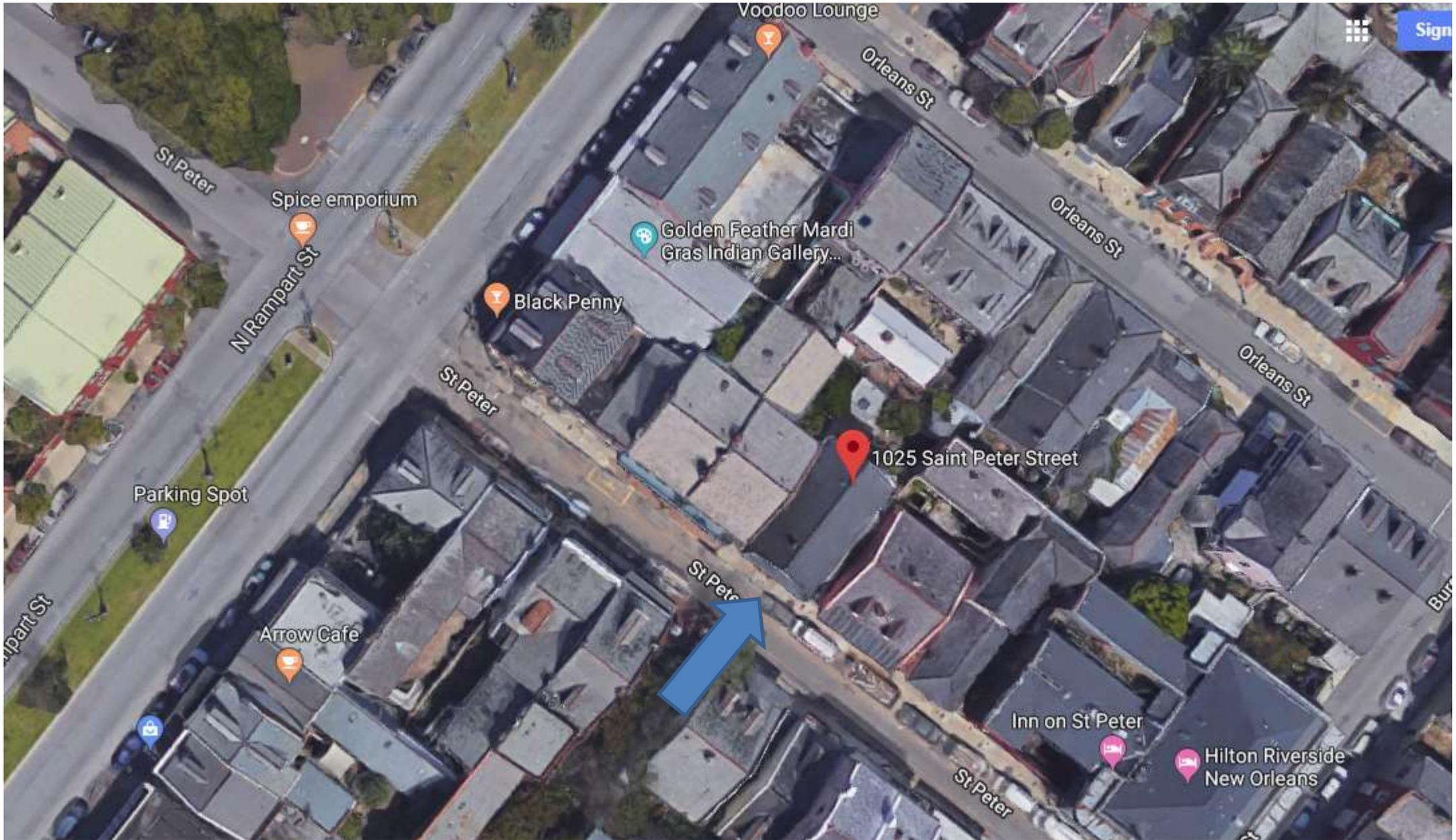
PROJECT NUMBER:	14475
DATE:	10/23/18
SCALE:	AS SHOWN

A-4.5





1025 St Peter

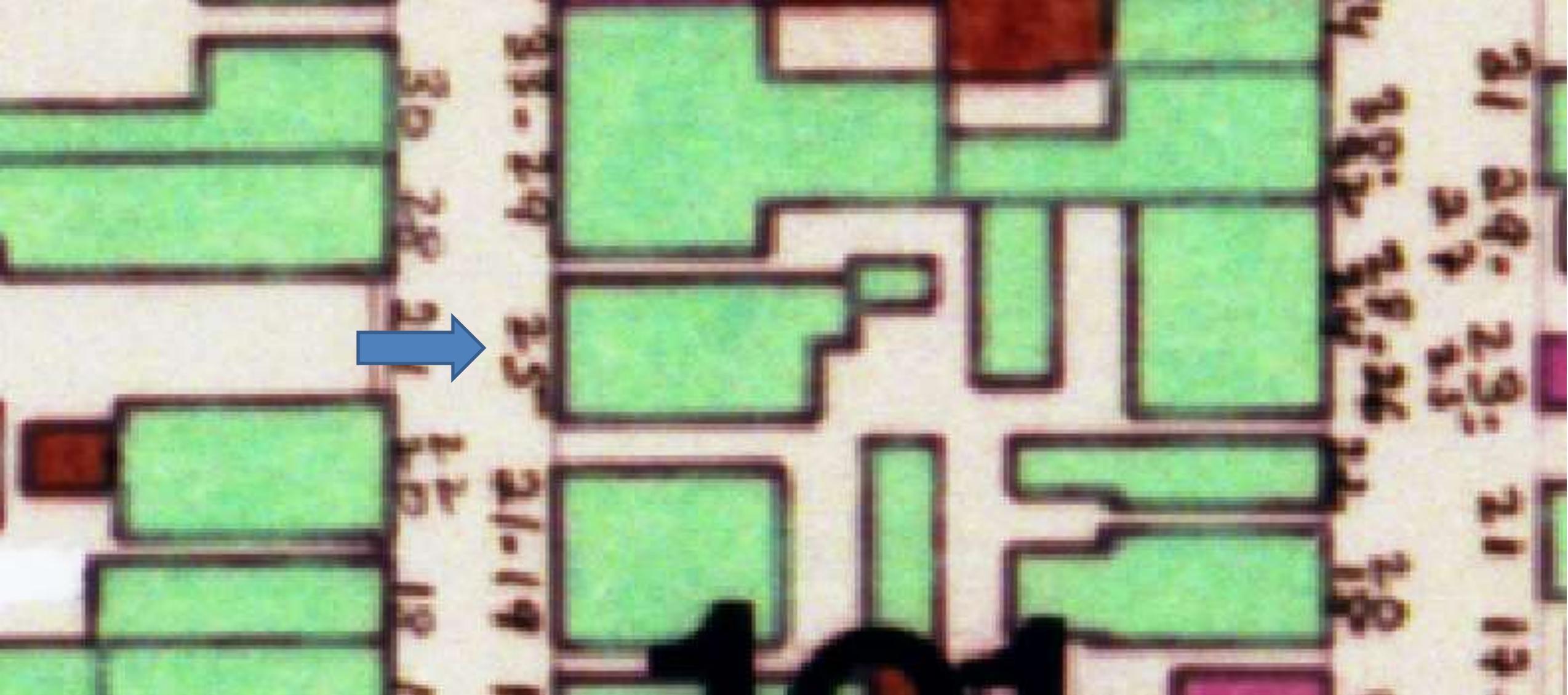


1025 St Peter

VCC Architectural Committee

October 23, 2018





1025 St Peter

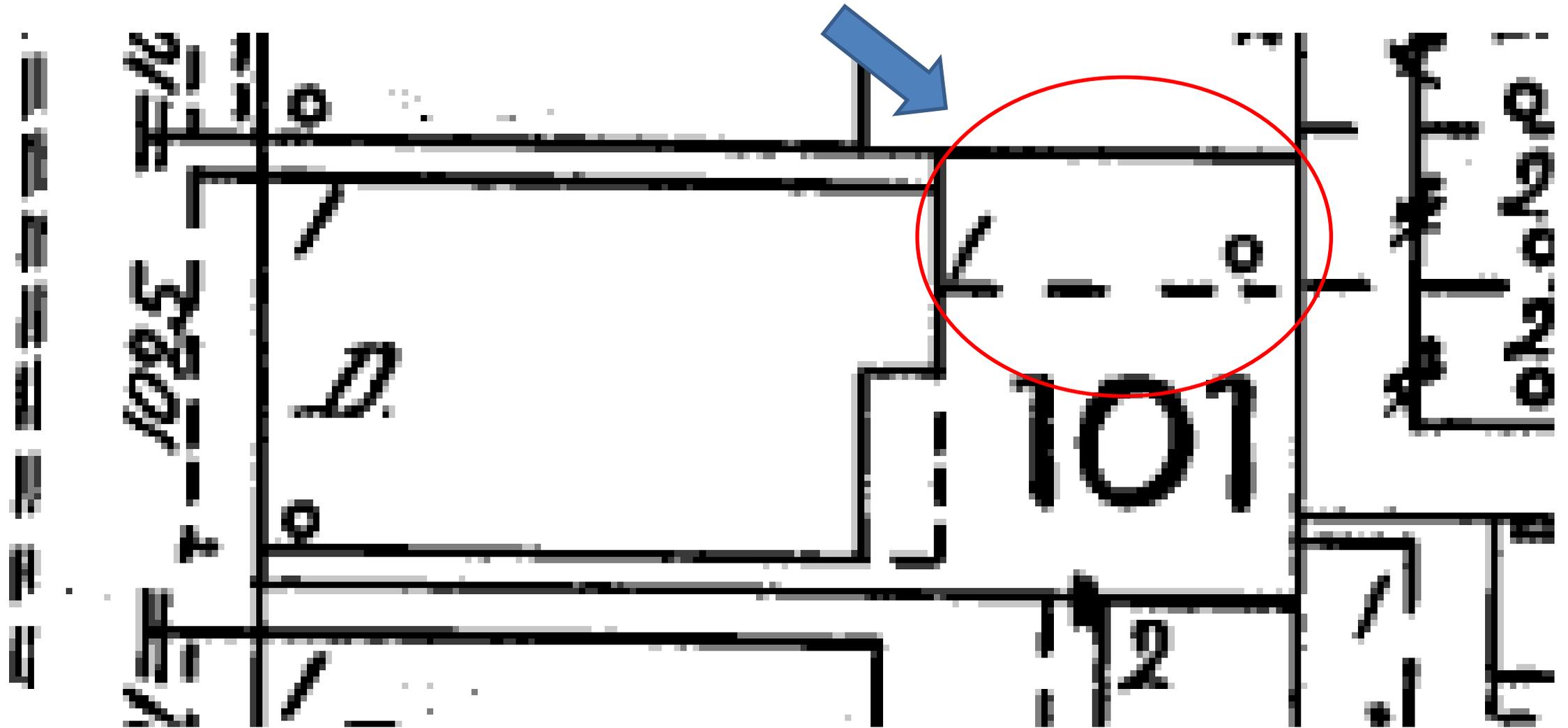
VCC Architectural Committee

October 23, 2018

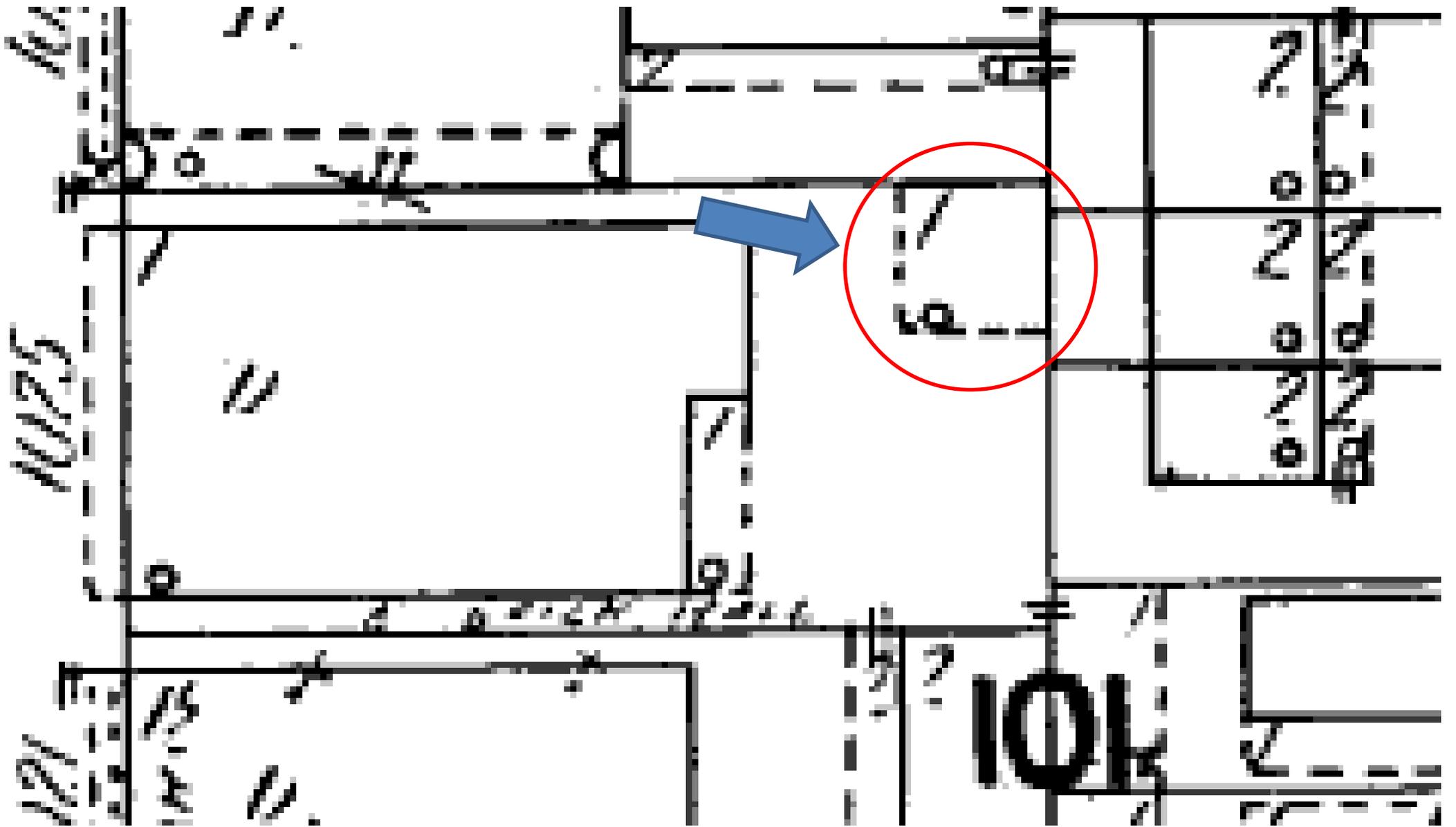




1025 St Peter – Existing Rear Additions

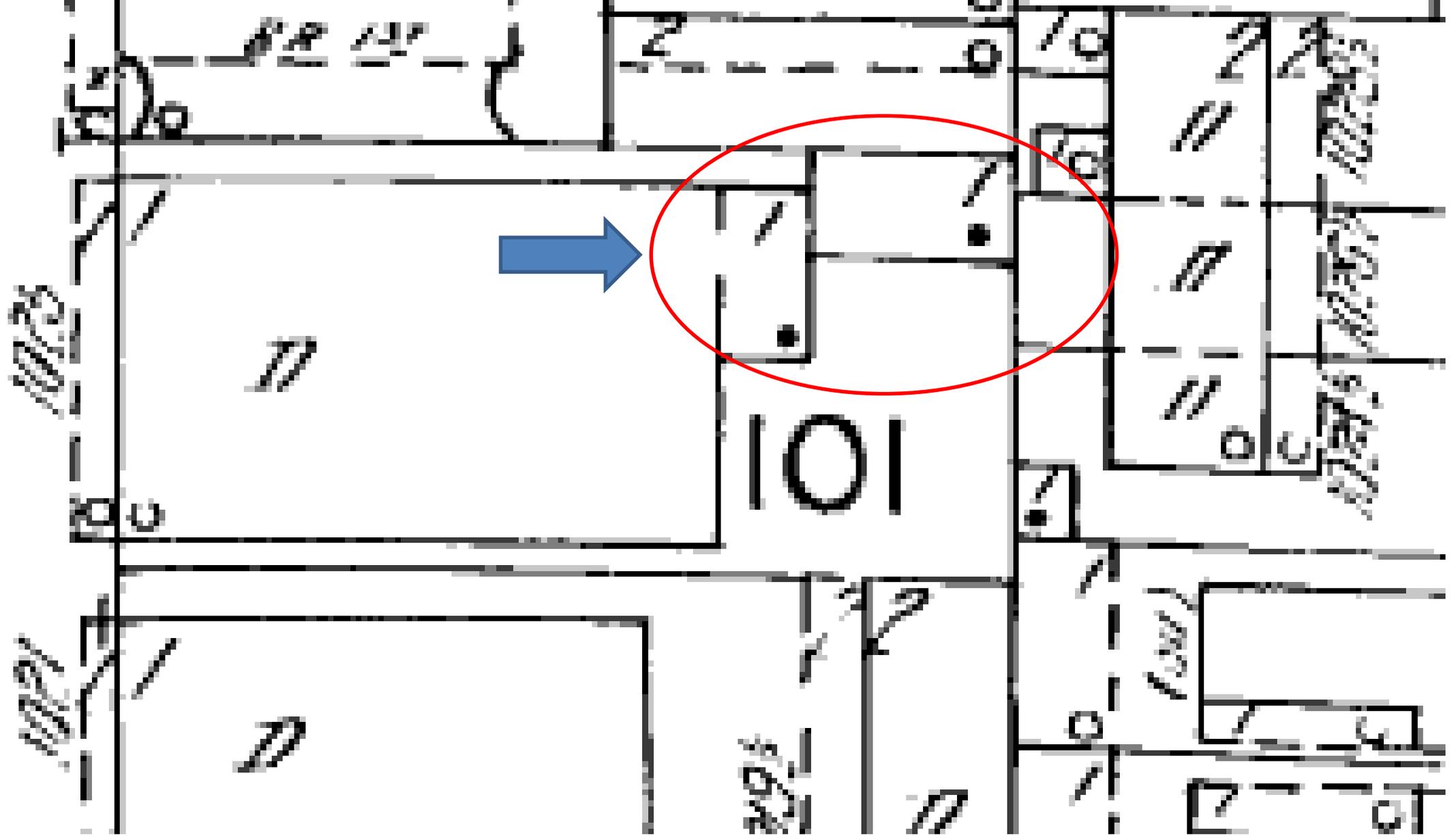


1025 St Peter – One Story open air structure seen in 1896 Sanborn

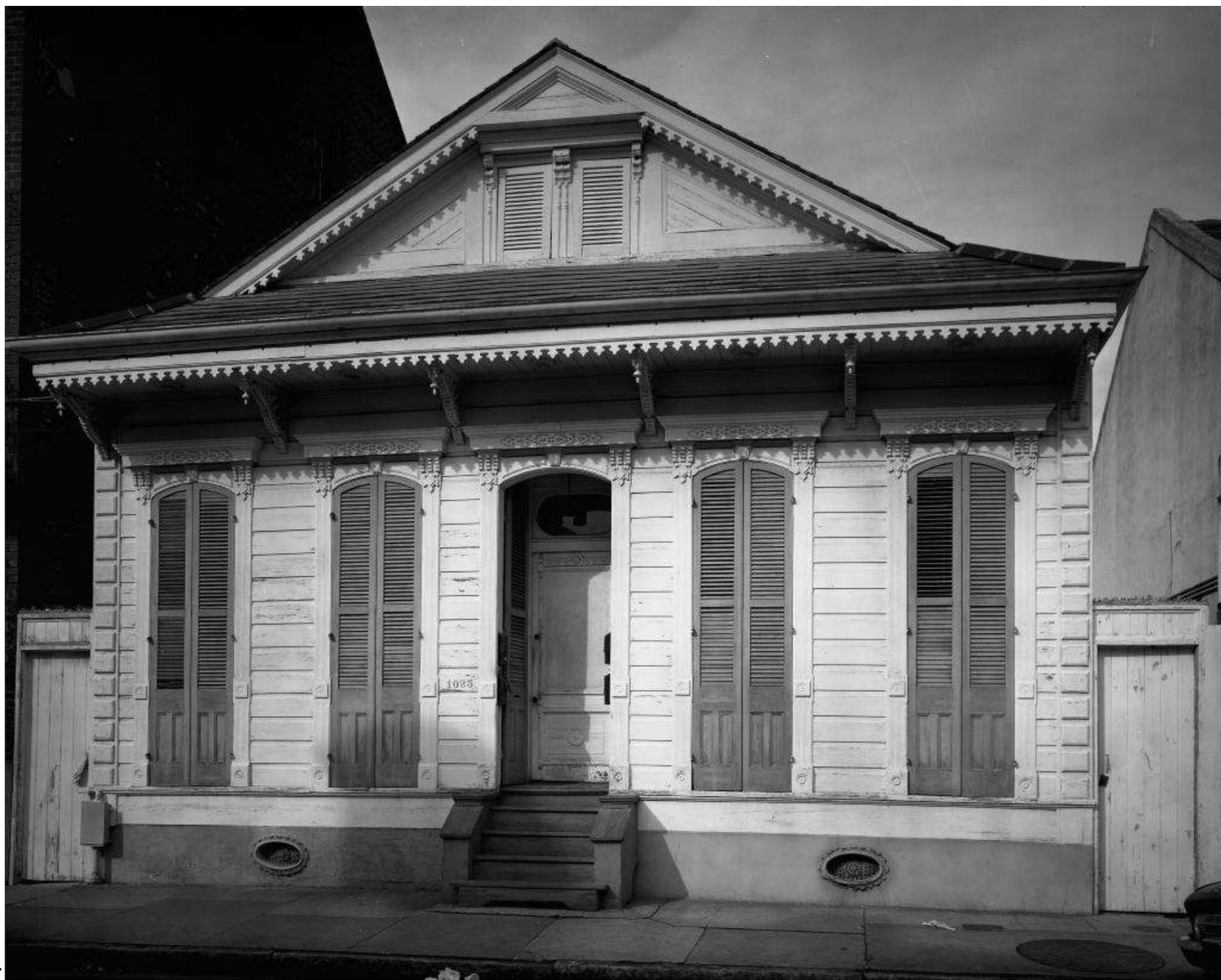


1025 St Peter – One Story open air structure in corner of property only; seen in 1908 Sanborn





1025 St Peter – One Story structures similar to current arrangement; seen in 1940 Sanborn



1025 St Peter - 1964

VCC Architectural Committee

October 23, 2018





1025 St Peter

VCC Architectural Committee

October 23, 2018





1025 St Peter

VCC Architectural Committee

October 23, 2018





1025 St Peter

VCC Architectural Committee

October 23, 2018





1025 St Peter

VCC Architectural Committee

October 23, 2018





1025 St Peter - 2004

VCC Architectural Committee

October 23, 2018





1025 St Peter - 2004

VCC Architectural Committee

October 23, 2018





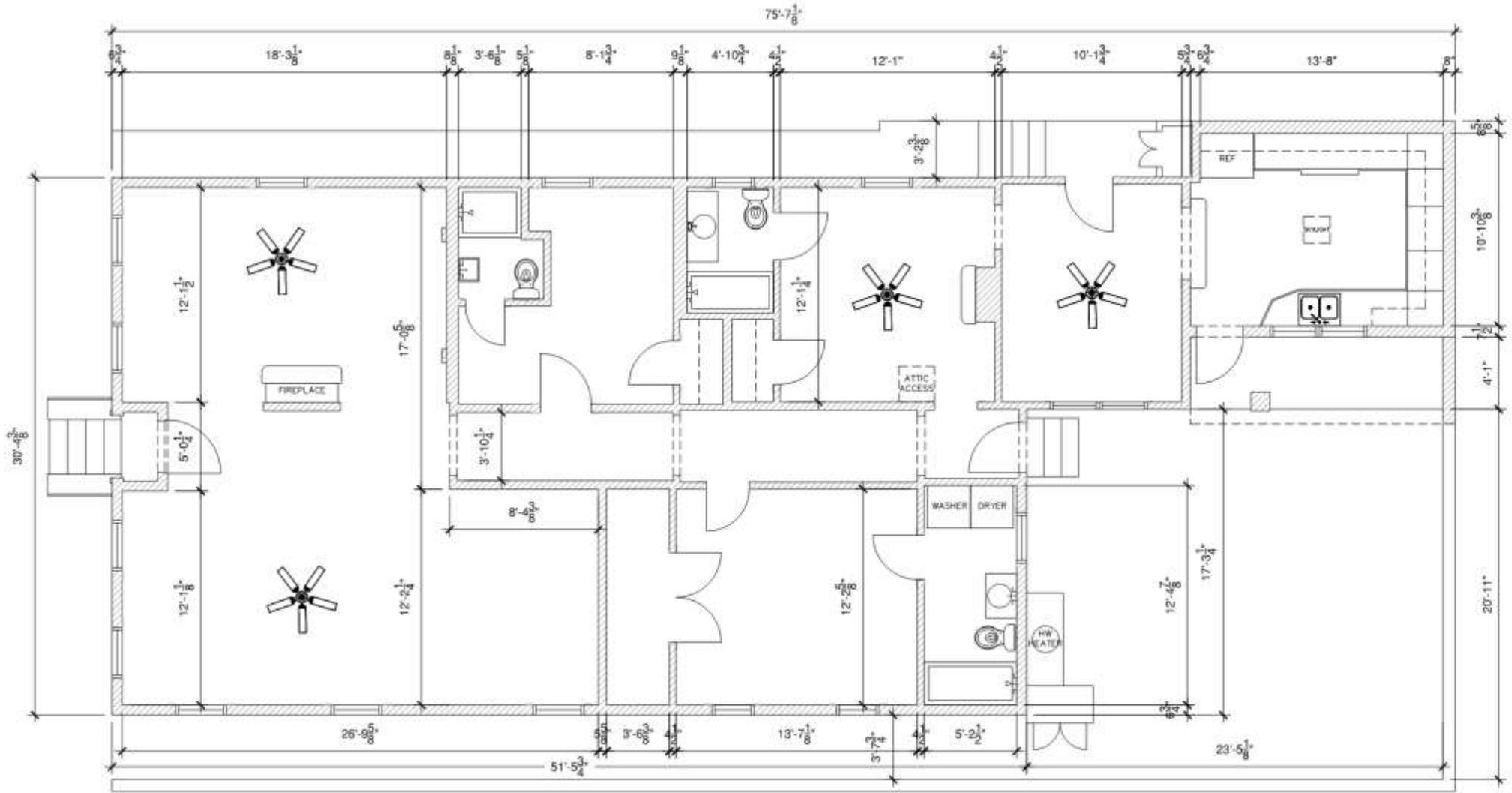
1025 St Peter - 2004

VCC Architectural Committee

October 23, 2018



ST. PETER ST.



1 EXISTING FIRST FLOOR PLAN  
1/4"=1'-0"  
1025 ST. PETER ST.

FIRST FLOOR AREA: 1,865 SF

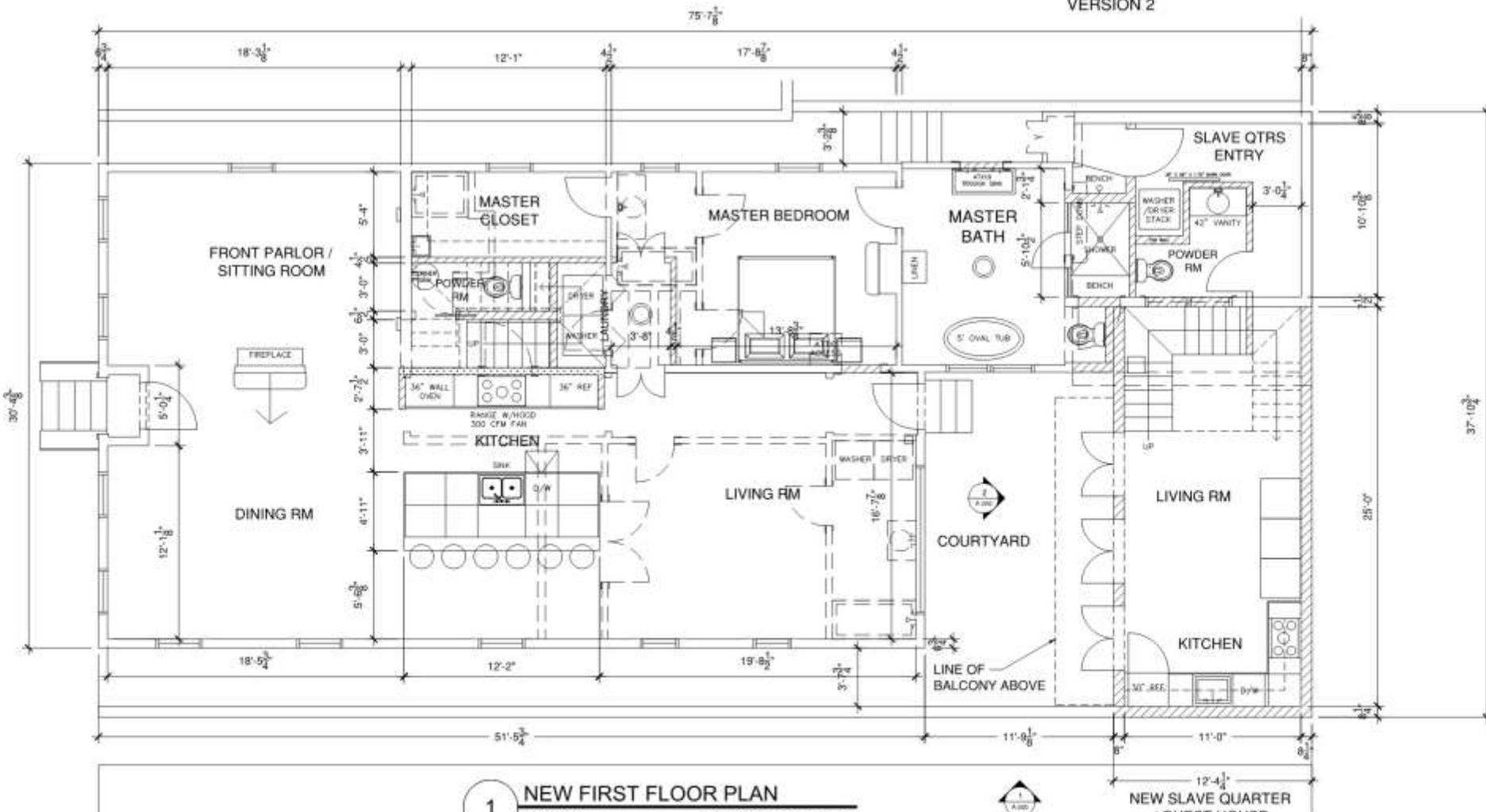
1025 St Peter

VCC Architectural Committee

October 23, 2018



ST. PETER ST.

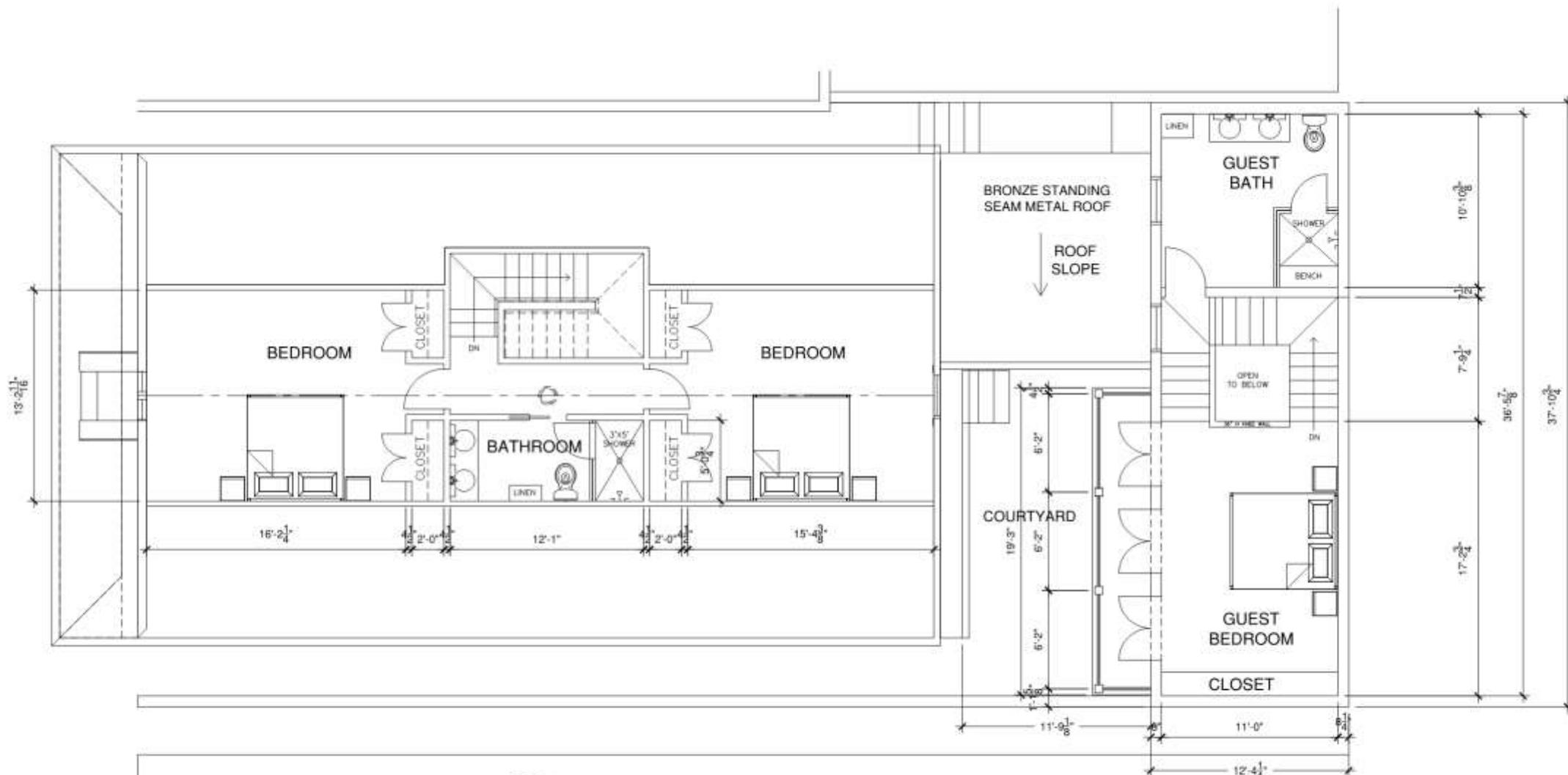


LEGEND	
	NEW WALLS
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REBUILT
	WALL ABOVE

**1 NEW FIRST FLOOR PLAN**  
 1025 ST. PETER ST.  
 FIRST FLOOR AREA: 1,718 SF  
 2ND FLOOR AREA: 644.44 SF  
 TOTAL FLOOR AREA: 2,363 SF

**NEW SLAVE QUARTER / GUEST HOUSE**  
 1ST FLOOR: 468 SF  
 2ND FLOOR: 404 SF  
 872 SF TOTAL

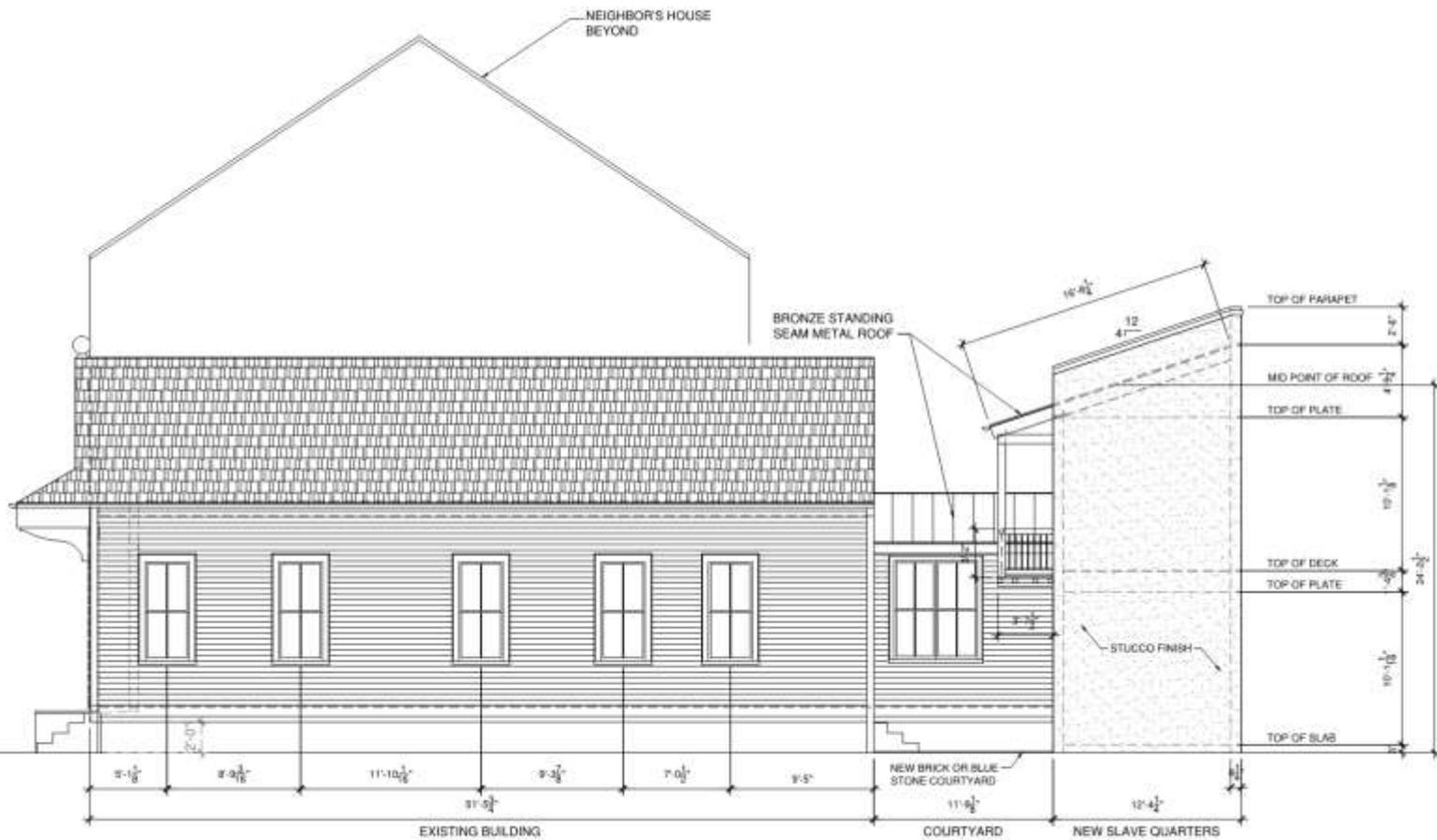




**1 NEW SECOND FLOOR PLAN**  
 1/4"=1'-0"  
 1025 ST. PETER ST.  
 FIRST FLOOR AREA: 1,718 SF  
 2ND FLOOR AREA: 644.44 SF  
 TOTAL FLOOR AREA: 2,363 SF

NEW SLAVE QUARTER  
 / GUEST HOUSE  
 1ST FLOOR: 468 SF  
 2ND FLOOR: 404 SF  
 872 SF TOTAL





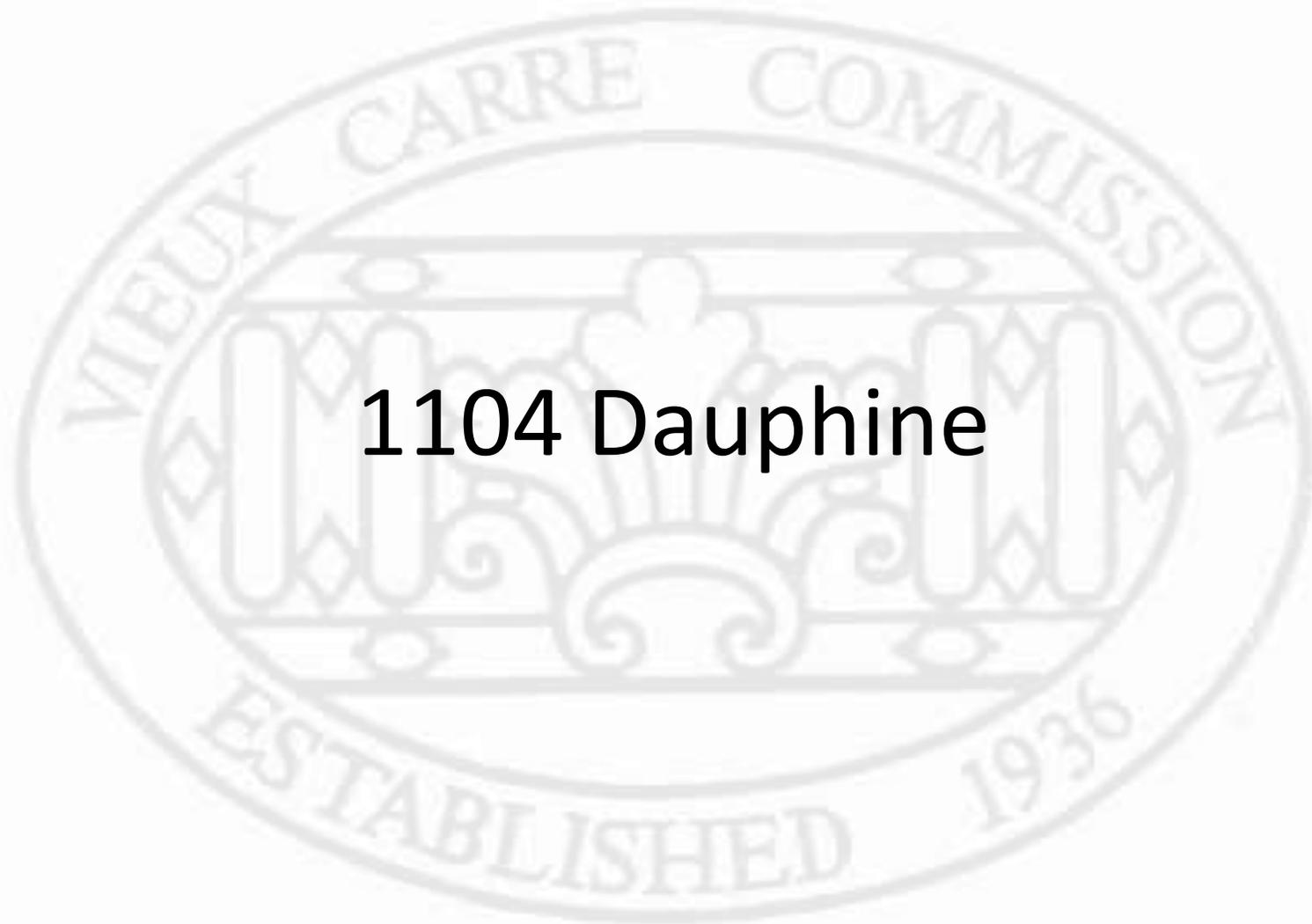
1 SIDE ELEVATION (RIGHT SIDE)  
3/16"=1'-0"



2 SLAVE QUARTERS FRONT ELEVATION  
3/16"=1'-0"



**New Business**



**1104 Dauphine**



## 1104 Dauphine



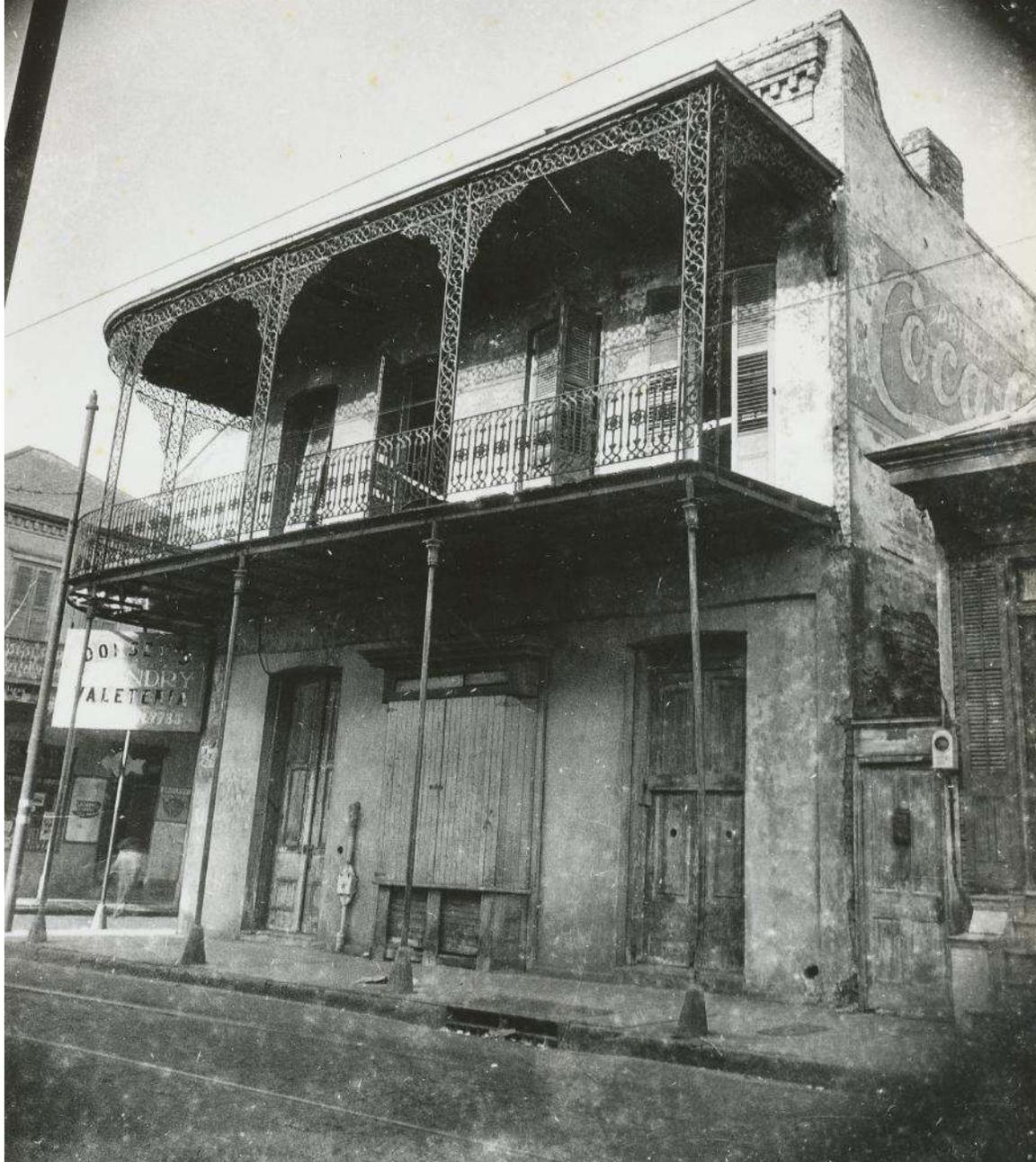


1104 Dauphine

VCC Architectural Committee

October 23, 2018





1104 Dauphine

VCC Architectural Committee

October 23, 2018





1104 Dauphine

VCC Architectural Committee

October 23, 2018





1104 Dauphine

VCC Architectural Committee

October 23, 2018





1104 Dauphine

VCC Architectural Committee

October 23, 2018





1104 Dauphine

VCC Architectural Committee

October 23, 2018





1104 Dauphine

VCC Architectural Committee

October 23, 2018





1104 Dauphine

VCC Architectural Committee

October 23, 2018



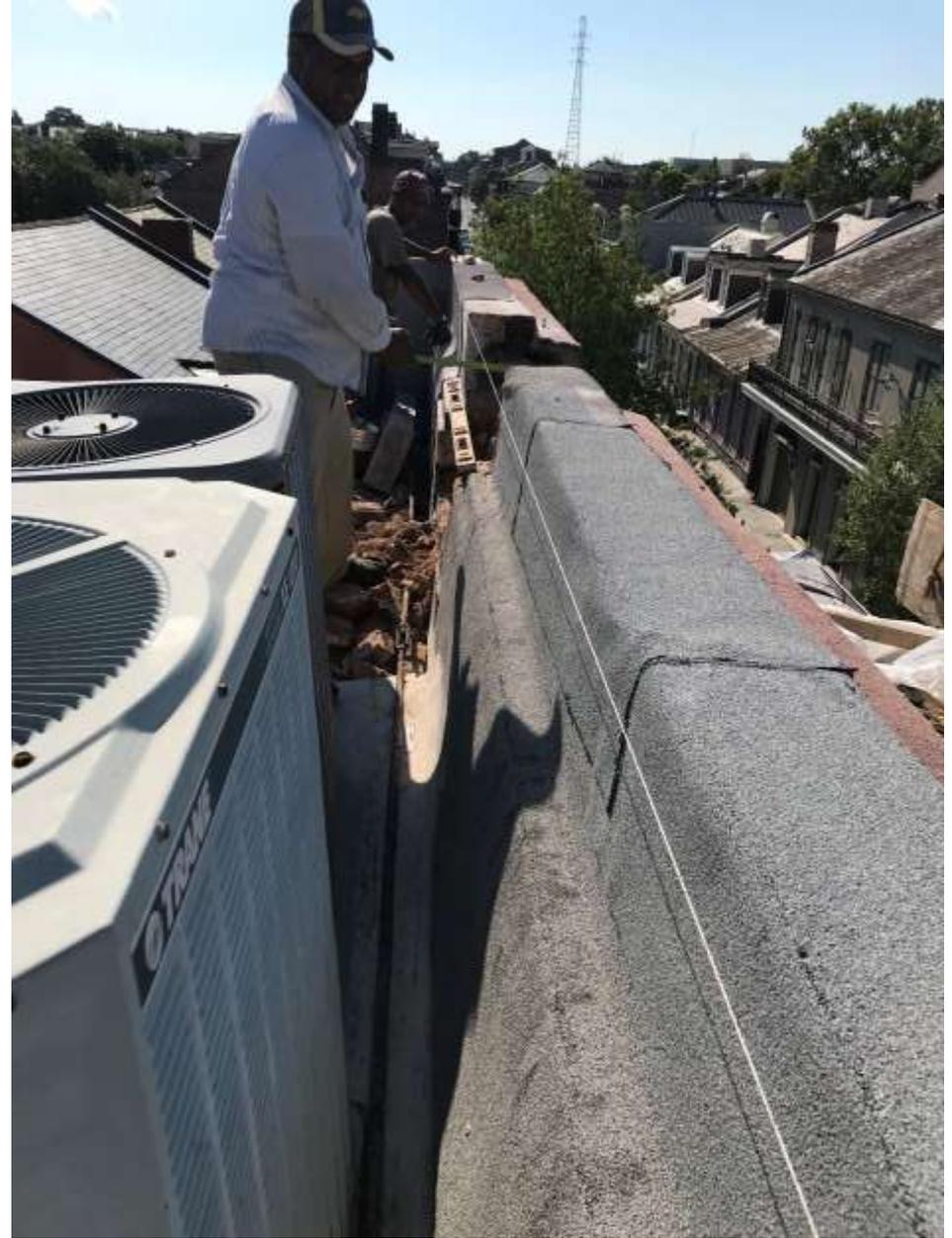


1104 Dauphine

VCC Architectural Committee

October 23, 2018



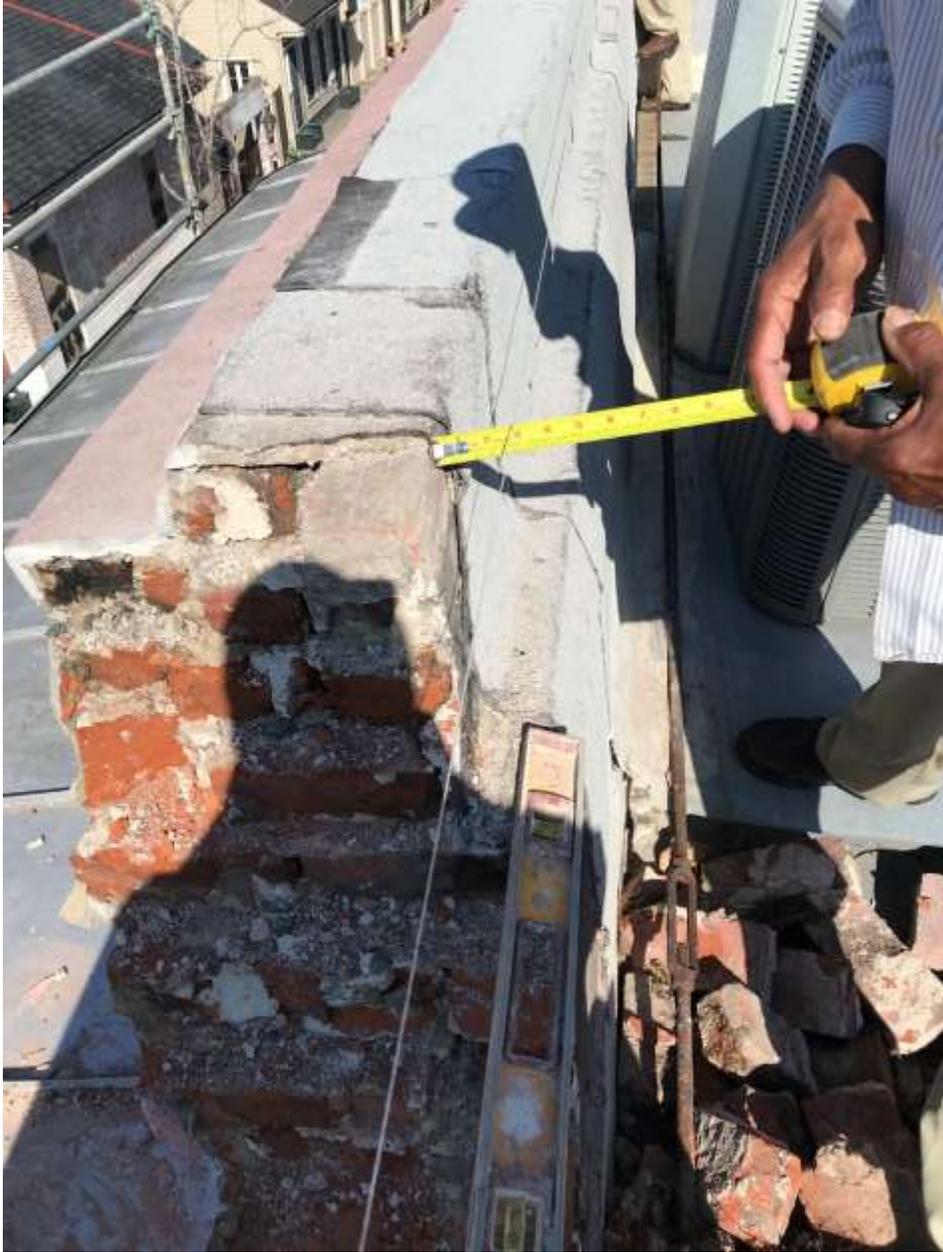


1104 Dauphine

VCC Architectural Committee

October 23, 2018





1104 Dauphine

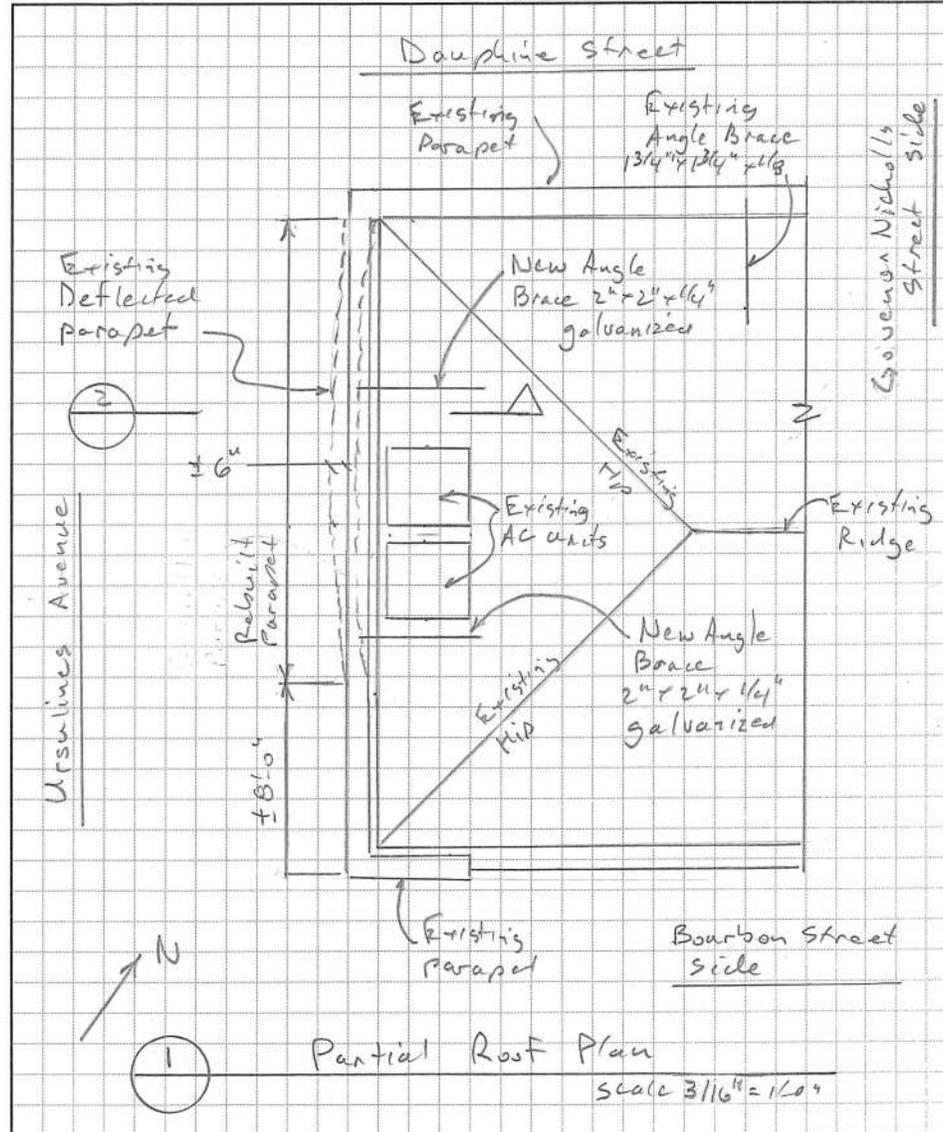
VCC Architectural Committee

October 23, 2018



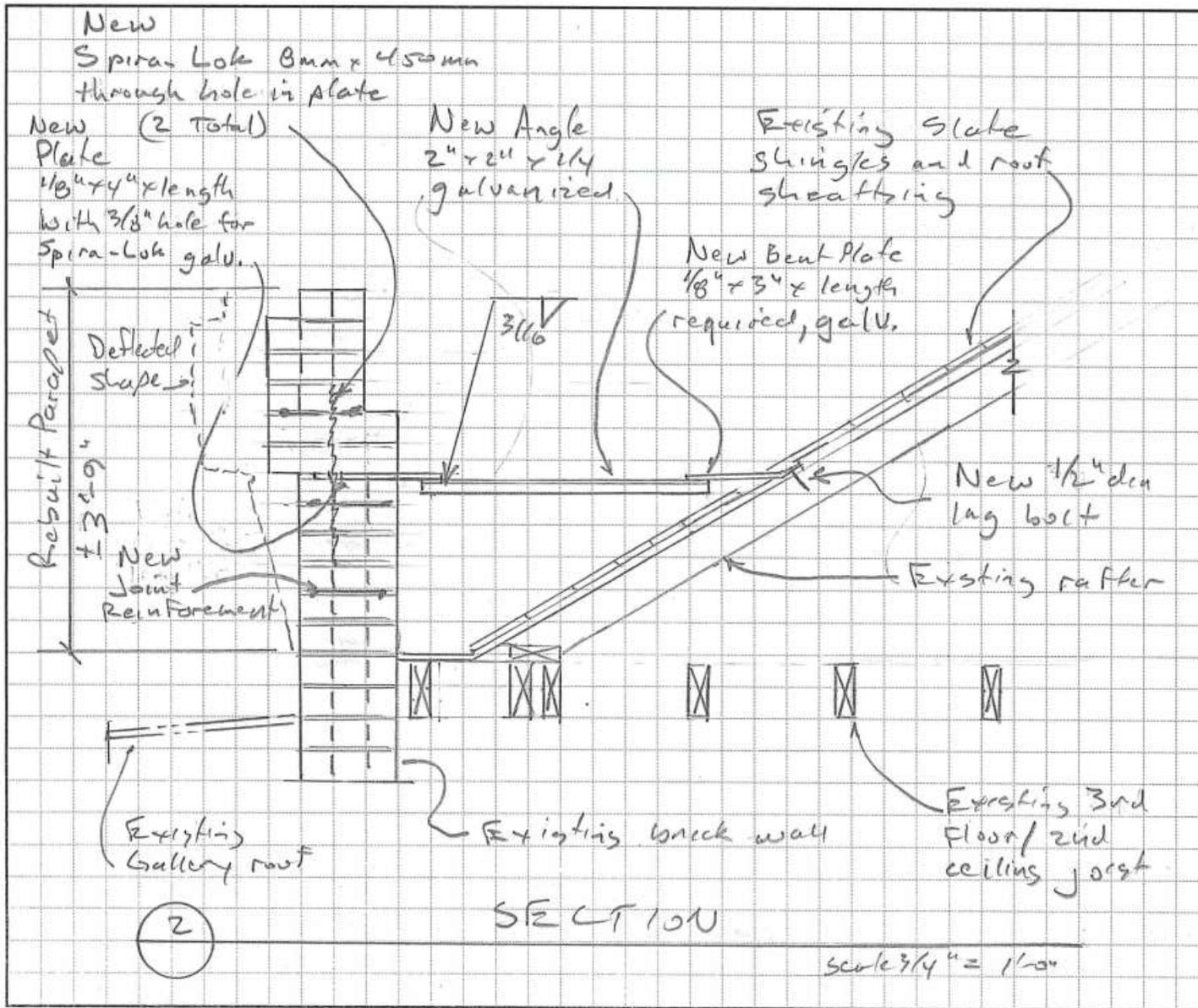
John C. Bose  
Consulting Engineer, LLC  
2113 Octavia Street  
New Orleans, Louisiana 70115  
504-866-9941

JOB 1104 Dauphine  
SHEET NO. 1 OF 3  
CALCULATED BY JCS DATE Oct 4, 2018  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



1104 Dauphine





John C. Bose  
 Consulting Engineer, LLC  
 2113 Octavia Street  
 New Orleans, Louisiana 70115  
 504-866-9941

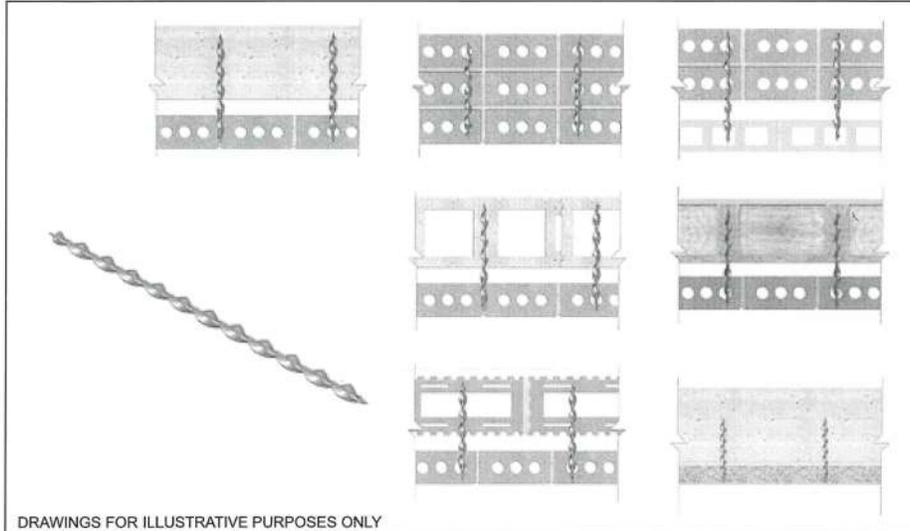
JOB 1104 Dauphine  
 SHEET NO. 2 OF 3  
 CALCULATED BY JCB DATE Oct 4, 2018  
 CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 SCALE

1104 Dauphine

VCC Architectural Committee

October 23, 2018





DRAWINGS FOR ILLUSTRATIVE PURPOSES ONLY

**Spira-Lok®**

A one-piece, flexible stainless steel wall tie for pinning masonry to new or existing walls. Also suitable for temporary support for lintel and shelf angle replacement. The dry-set technique may involve various tie diameters, drill bits and installation tools.

An on-site survey should be carried out prior to project tendering to determine material strength, tie diameter & length, pilot hole size and appropriate drilling technique.

See Blok-Lok web site for Spira-Lok Installation Video.

**Finish:**

- Stainless Steel Type 304
- Stainless Steel Type 316 (special order)

**Diameter:**

- 8 mm (0.315")
- 10 mm (0.394")

**Length (6.1" - 24" lengths available):**

- |   |  |
|---|--|
| <input type="checkbox"/> 155 mm (6.1")  | <input type="checkbox"/> 330 mm (13.2")            |
| <input type="checkbox"/> 170 mm (6.7")  | <input type="checkbox"/> 350 mm (14.0")            |
| <input type="checkbox"/> 195 mm (7.7")  | <input type="checkbox"/> 400 mm (16.0")            |
| <input type="checkbox"/> 220 mm (8.7")  | <input checked="" type="checkbox"/> 450 mm (18.0") |
| <input type="checkbox"/> 245 mm (9.8")  | <input type="checkbox"/> 525 mm (21.0")            |
| <input type="checkbox"/> 270 mm (10.8") | <input type="checkbox"/> 600 mm (24.0")            |
| <input type="checkbox"/> 295 mm (11.8") |  |

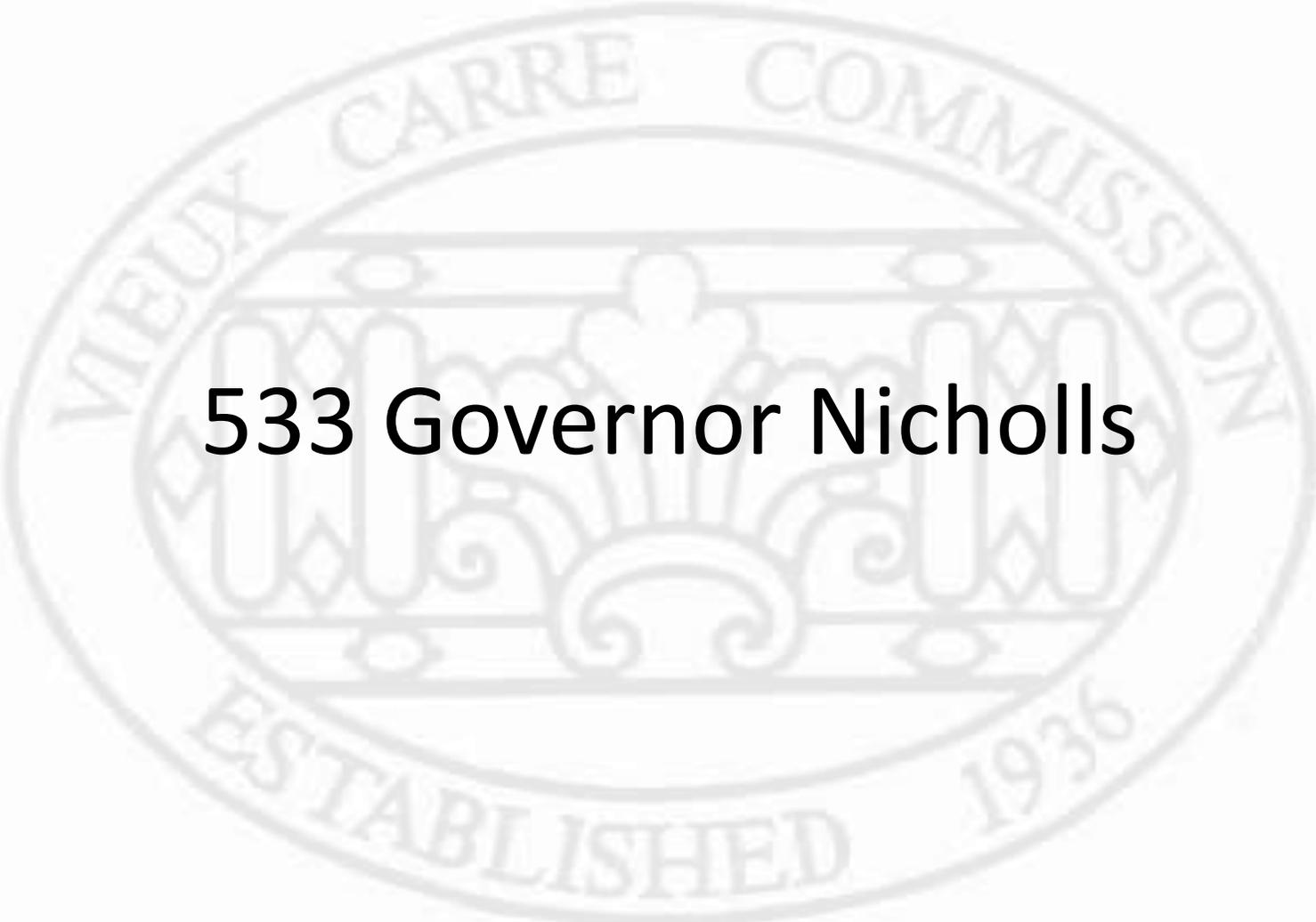
**IMPORTANT:** Since each construction project is unique, the appropriate selection and use of any product contained herein must be determined by competent architects, engineers and other appropriate professionals who are familiar with the specific requirements of the project in question.

HOHMANN & BARNARD, Inc.  
30 Rasons Court | Hauppauge, NY 11788  
CORPORATE HEADQUARTERS  
T: 800.645.0616 F: 631.234.0683  
[www.h-b.com](http://www.h-b.com)

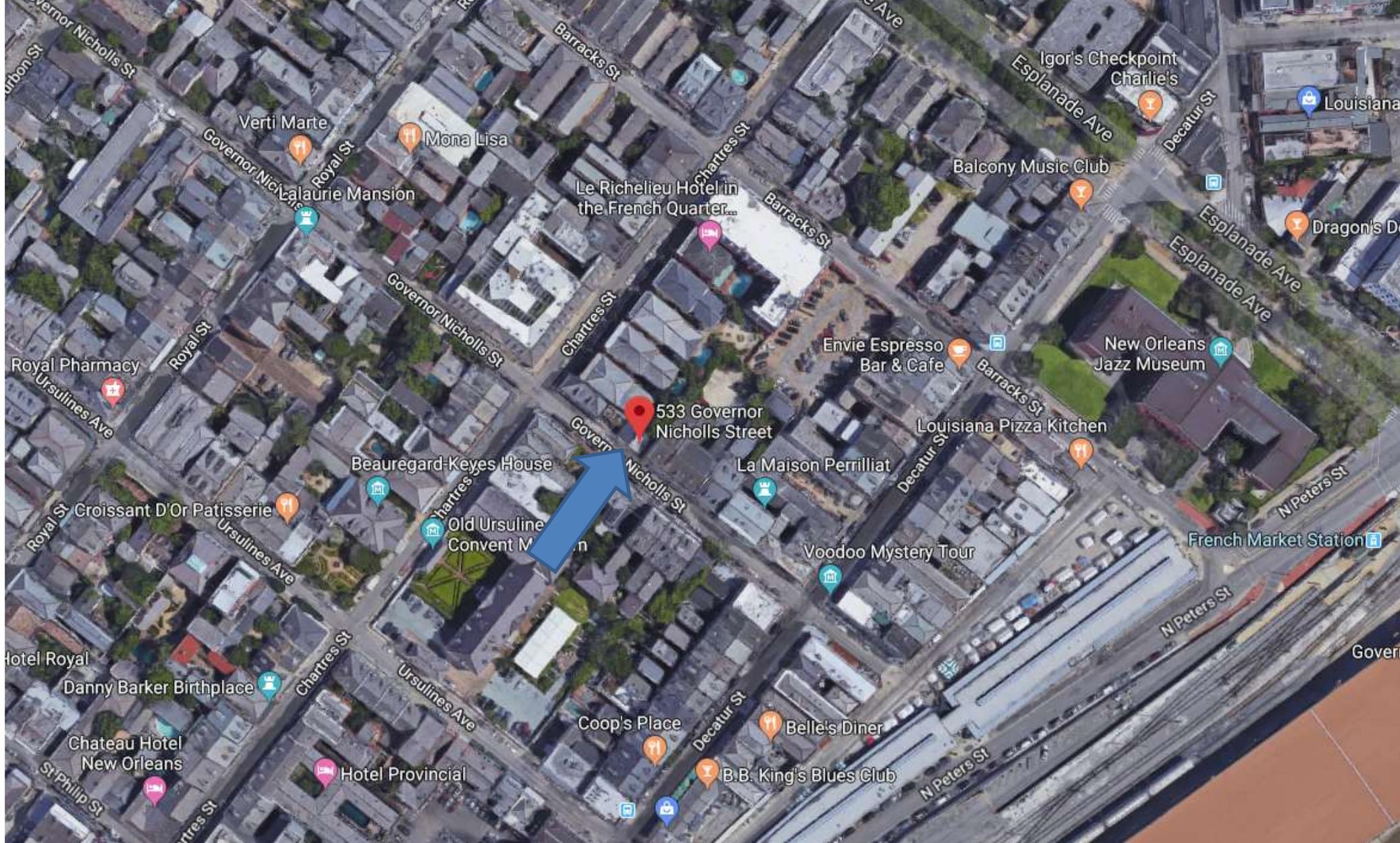
Branch/Subsidiary Locations:  
ALABAMA - ILLINOIS - MARYLAND  
NEW YORK - PENNSYLVANIA - TEXAS  
UTAH - CANADA

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The seal of the Vieux Carre Commission is an oval emblem. It features a central figure of a person standing on a decorative base, flanked by two columns. The text "VIEUX CARRE COMMISSION" is inscribed along the top inner edge of the oval, and "ESTABLISHED 1936" is inscribed along the bottom inner edge. The seal is rendered in a light gray, semi-transparent style.

**533 Governor Nicholls**



533 Governor Nicholls

VCC Architectural Committee

October 23, 2018





533 Governor Nicholls - 1962

VCC Architectural Committee

October 23, 2018





533 Governor Nicholls - 1962

VCC Architectural Committee

October 23, 2018





533 Governor Nicholls

VCC Architectural Committee

October 23, 2018





533 Governor Nicholls - 1946

VCC Architectural Committee

October 23, 2018





533 Governor Nicholls - 1946

VCC Architectural Committee

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MAYER  
BUILDING COMPANY

Furnish and install new  
hardwood shutters per  
notes. Painted

Shop drawings/ VCC  
Compliance required.

Replicate exactly  
(fully louvered, fully  
operational)

Eliminate small panels at  
top, new shutters to be fully  
louvered and operational  
for this section

Double panel  
arrangement to  
remain

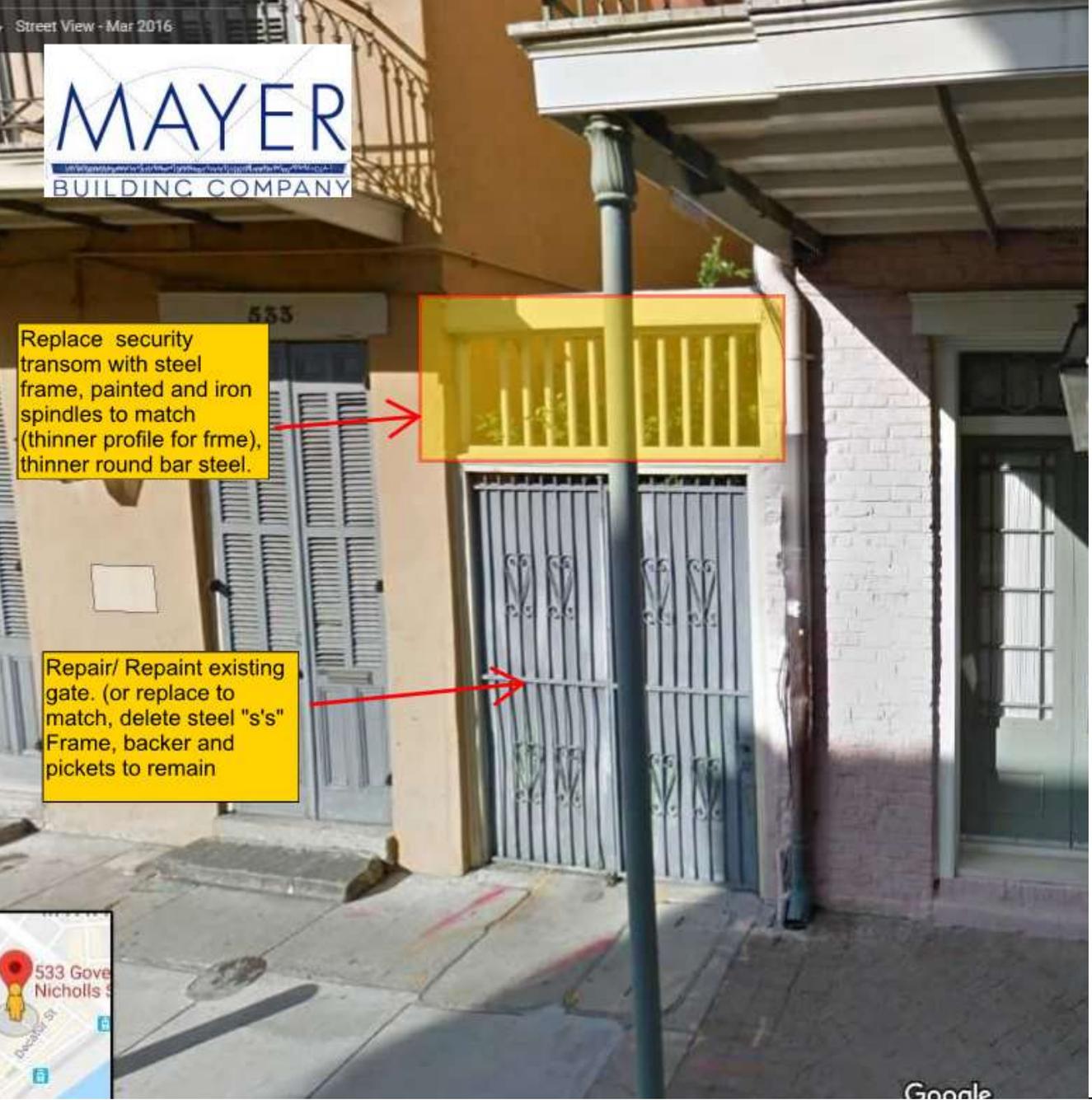


533 Governor Nicholls

VCC Architectural Committee

October 23, 2018





MAYER  
BUILDING COMPANY

Replace security transom with steel frame, painted and iron spindles to match (thinner profile for frame), thinner round bar steel.

Repair/ Repaint existing gate. (or replace to match, delete steel "s"s" Frame, backer and pickets to remain

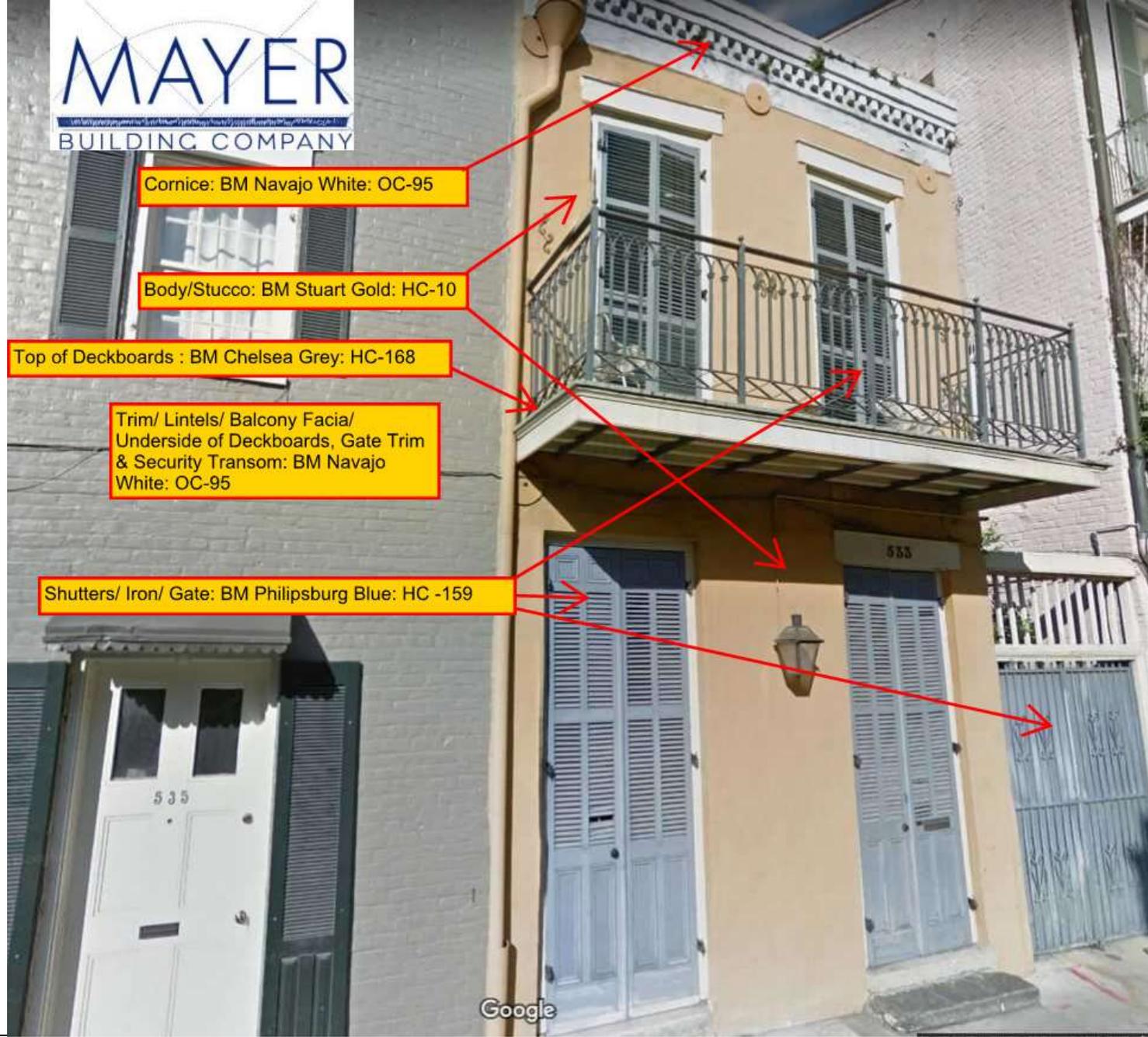


533 Governor Nicholls

VCC Architectural Committee

October 23, 2018





Cornice: BM Navajo White: OC-95

Body/Stucco: BM Stuart Gold: HC-10

Top of Deckboards : BM Chelsea Grey: HC-168

Trim/ Lintels/ Balcony Facia/  
Underside of Deckboards, Gate Trim  
& Security Transom: BM Navajo  
White: OC-95

Shutters/ Iron/ Gate: BM Philipsburg Blue: HC -159

533 Governor Nicholls

VCC Architectural Committee

October 23, 2018



Red = 1-1/4" Flat bar frame installed within existing repair wood frame

Purple = 5/8" square pickets, welded and evenly spaced to match below existing gate

Scrape and paint existing gate

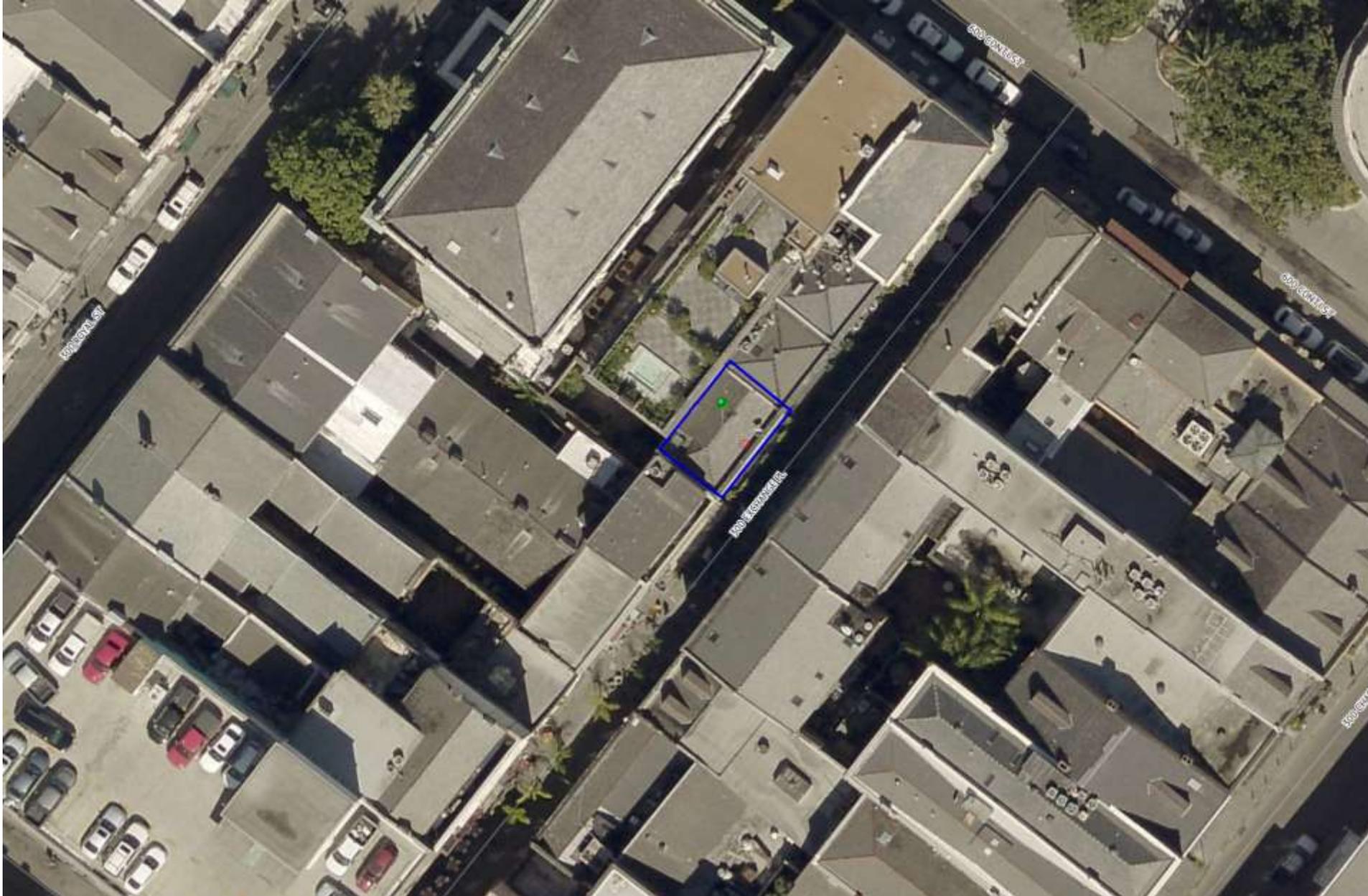
Remove inappropriate, rotted wood spindles. Repair and paint existing wood frame

Remove rotted cove molding. Do NOT replace. Repair frame to flat surface and paint.





**327 Exchange Pl**

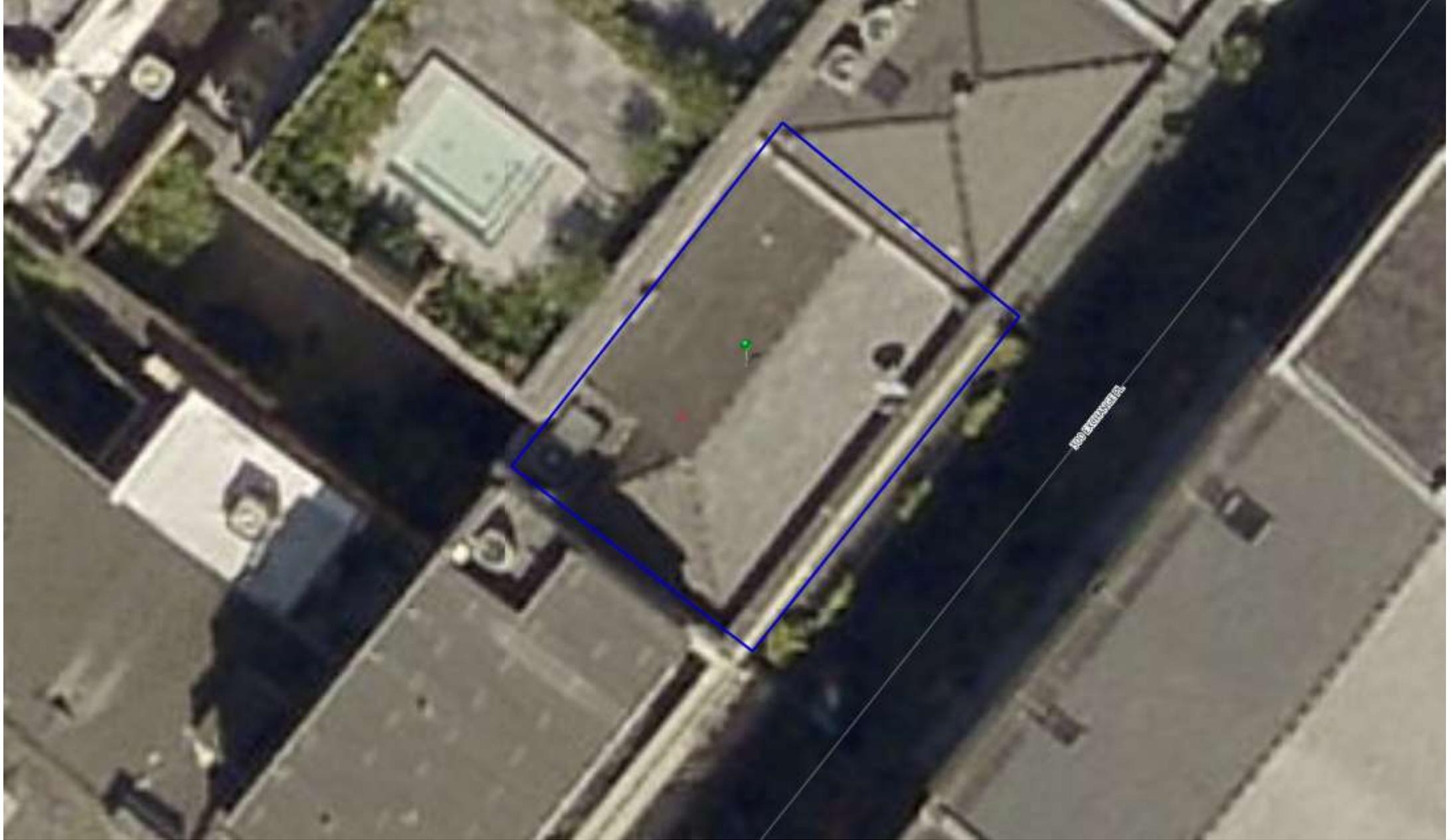


327 Exchange Place

VCC Architectural Committee

October 23, 2018





327 Exchange Place

VCC Architectural Committee

October 23, 2018





327 Exchange Place

VCC Architectural Committee

October 23, 2018





327 Exchange Place

VCC Architectural Committee

October 23, 2018





327 Exchange Place

VCC Architectural Committee

October 23, 2018





327 Exchange Place

VCC Architectural Committee

October 23, 2018





327 Exchange Place

VCC Architectural Committee

October 23, 2018



# MODIFICATIONS TO 327 EXCHANGE PLACE

NEW ORLEANS • LOUISIANA

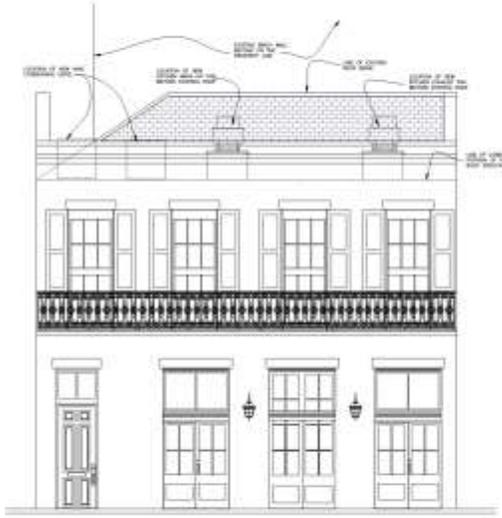
### SCOPE OF WORK

The scope of work of this project is to take a historic building facade and interior and bring it up to current standards and to provide a modern kitchen and bar. The building facade will be restored to its original condition and the interior will be modernized. The project includes the following items:

- Restoration of the facade to its original condition.
- Modernization of the interior including kitchen and bar.
- Installation of new mechanical and electrical systems.
- Installation of new plumbing and HVAC systems.
- Installation of new fire and life safety systems.

### CODE DATA

MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 MECHANICAL CODE. ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 ELECTRICAL CODE. PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 PLUMBING CODE. FIRE AND LIFE SAFETY SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 FIRE AND LIFE SAFETY CODE.



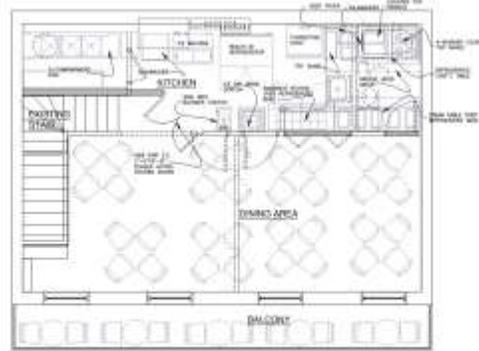
4 STREET ELEVATION  
SCALE: 1/8" = 1'-0"



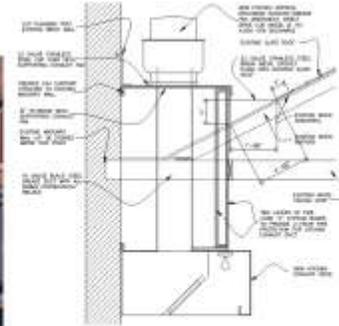
1 FLOOR PLAN - 1ST FLOOR  
SCALE: 1/8" = 1'-0"



5 AERIAL  
SCALE: 1" = 100'-0"



2 FLOOR PLAN - 2ND FLOOR  
SCALE: 1/8" = 1'-0"



6 EXHAUST MAKE-UP KITCHEN HOOD FANS  
SCALE: 1/8" = 1'-0"



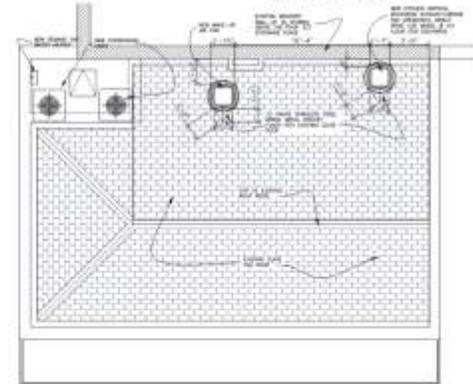
7 EXISTING EXTERIOR FACADE  
SCALE: 1/8" = 1'-0"



8 LOCATION OF PROPOSED EXHAUST FANS  
SCALE: 1/8" = 1'-0"



8 LOCATION OF PROPOSED EXHAUST FANS  
SCALE: 1/8" = 1'-0"



3 ROOF PLAN  
SCALE: 1/8" = 1'-0"

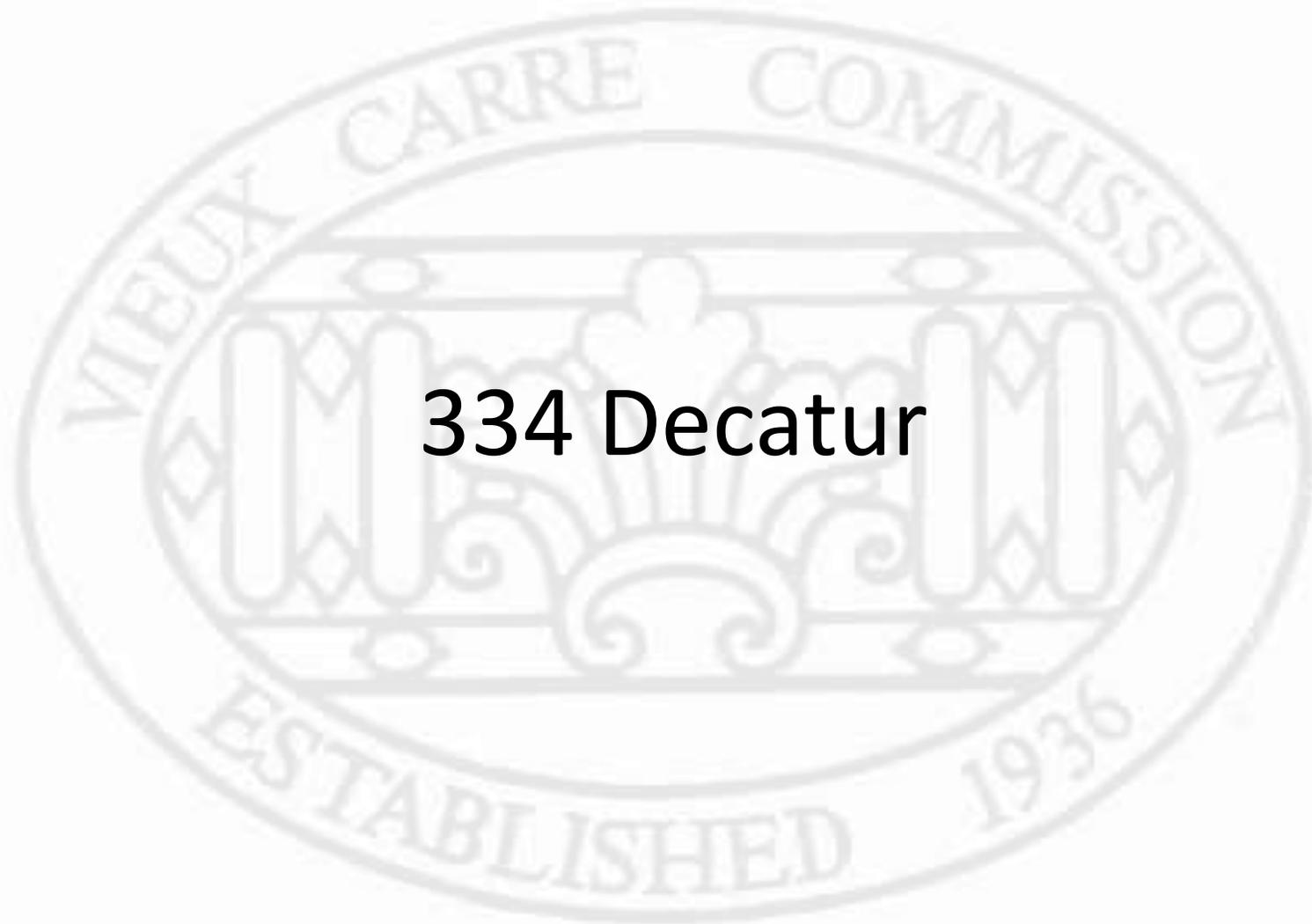


MODIFICATIONS TO  
327 EXCHANGE PLACE  
NEW ORLEANS • LOUISIANA

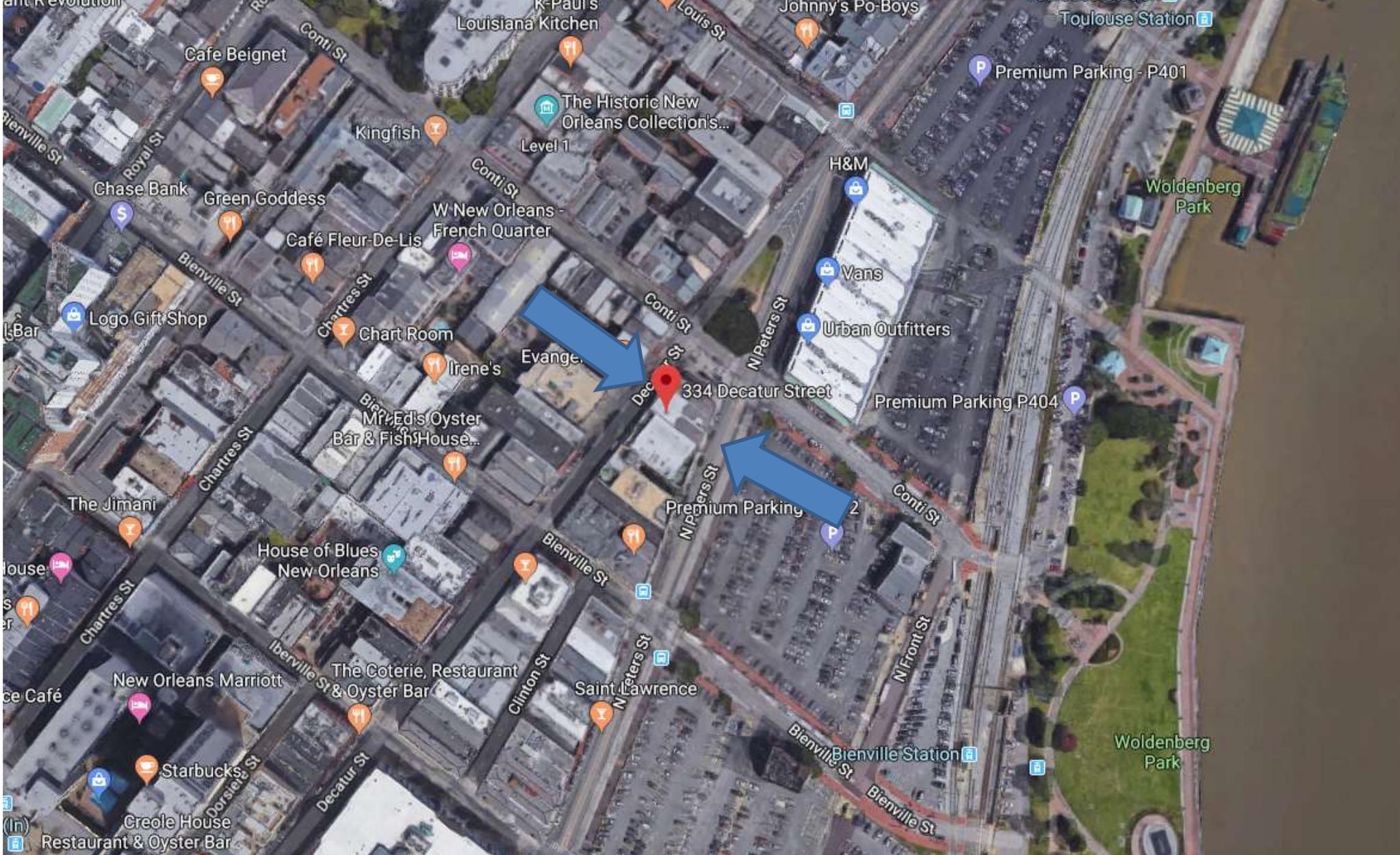
DATE: 10/23/18  
DRAWN: [Name]  
CHECKED: [Name]

PROJECT: 1818  
DATE: 10/23/18  
DRAWN: [Name]  
CHECKED: [Name]





334 Decatur

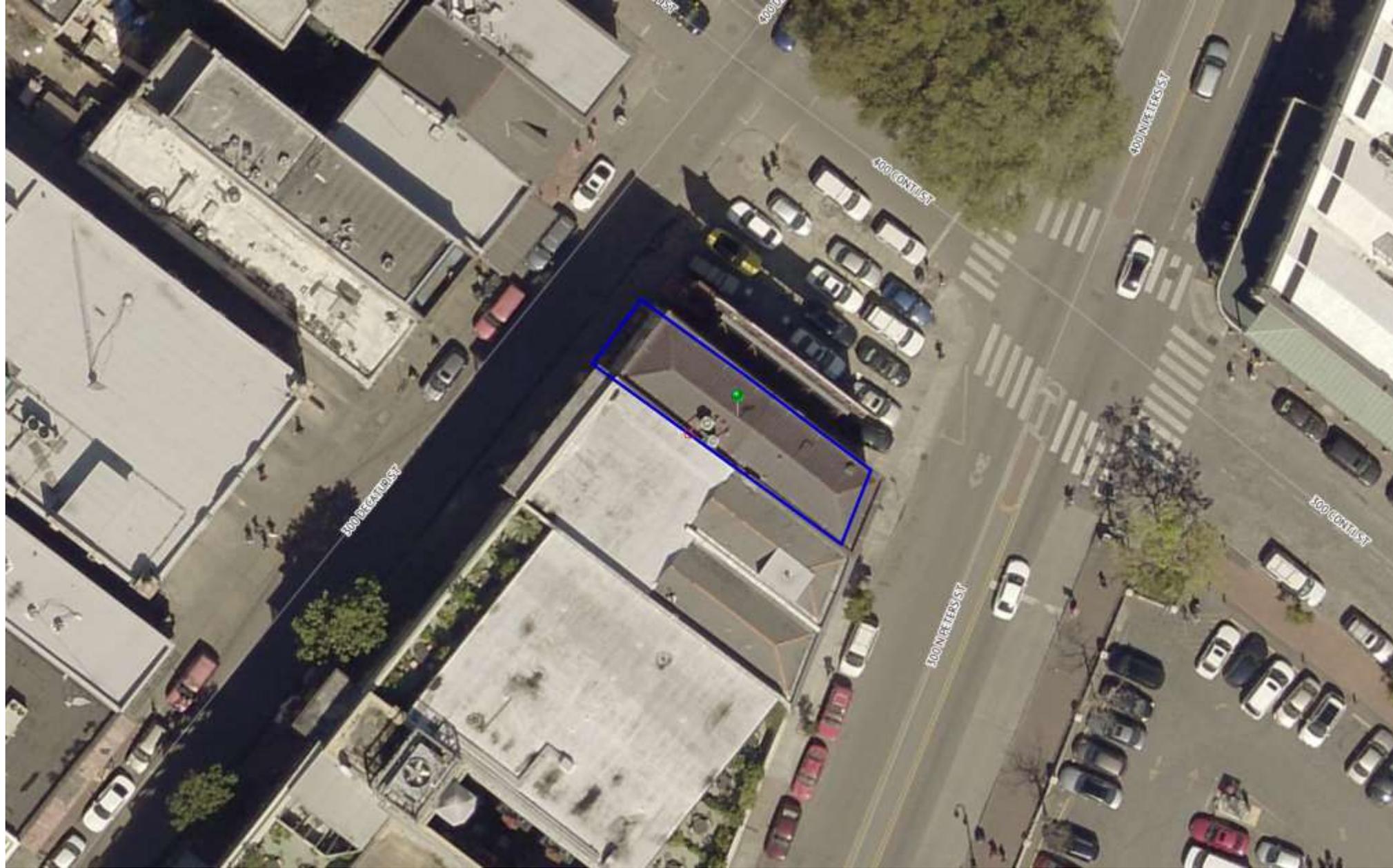


334 Decatur

VCC Architectural Committee

October 23, 2018





334 Decatur

VCC Architectural Committee

October 23, 2018





334 Decatur

VCC Architectural Committee

October 23, 2018



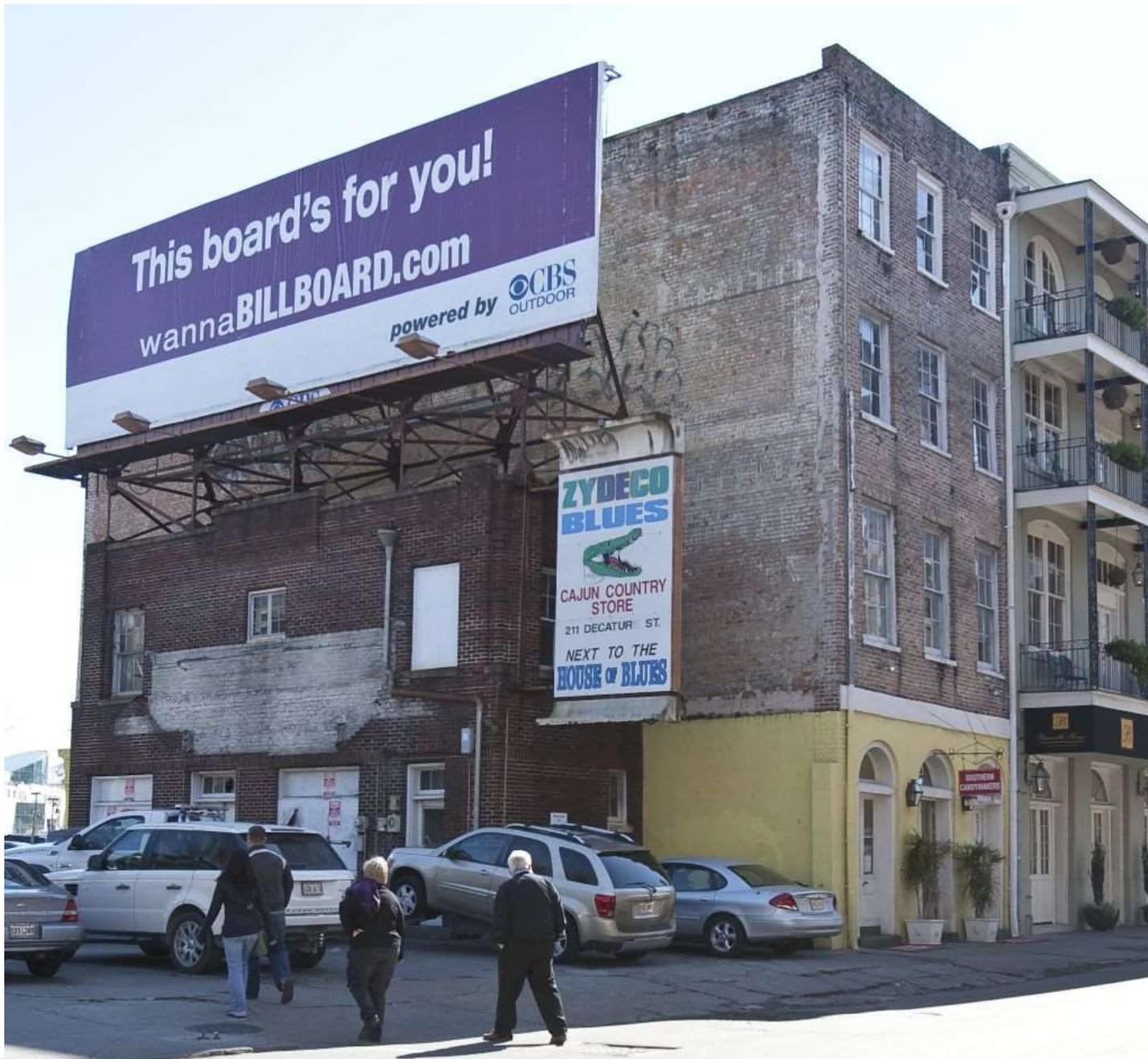


334 Decatur

VCC Architectural Committee

October 23, 2018





334 Decatur

VCC Architectural Committee

October 23, 2018



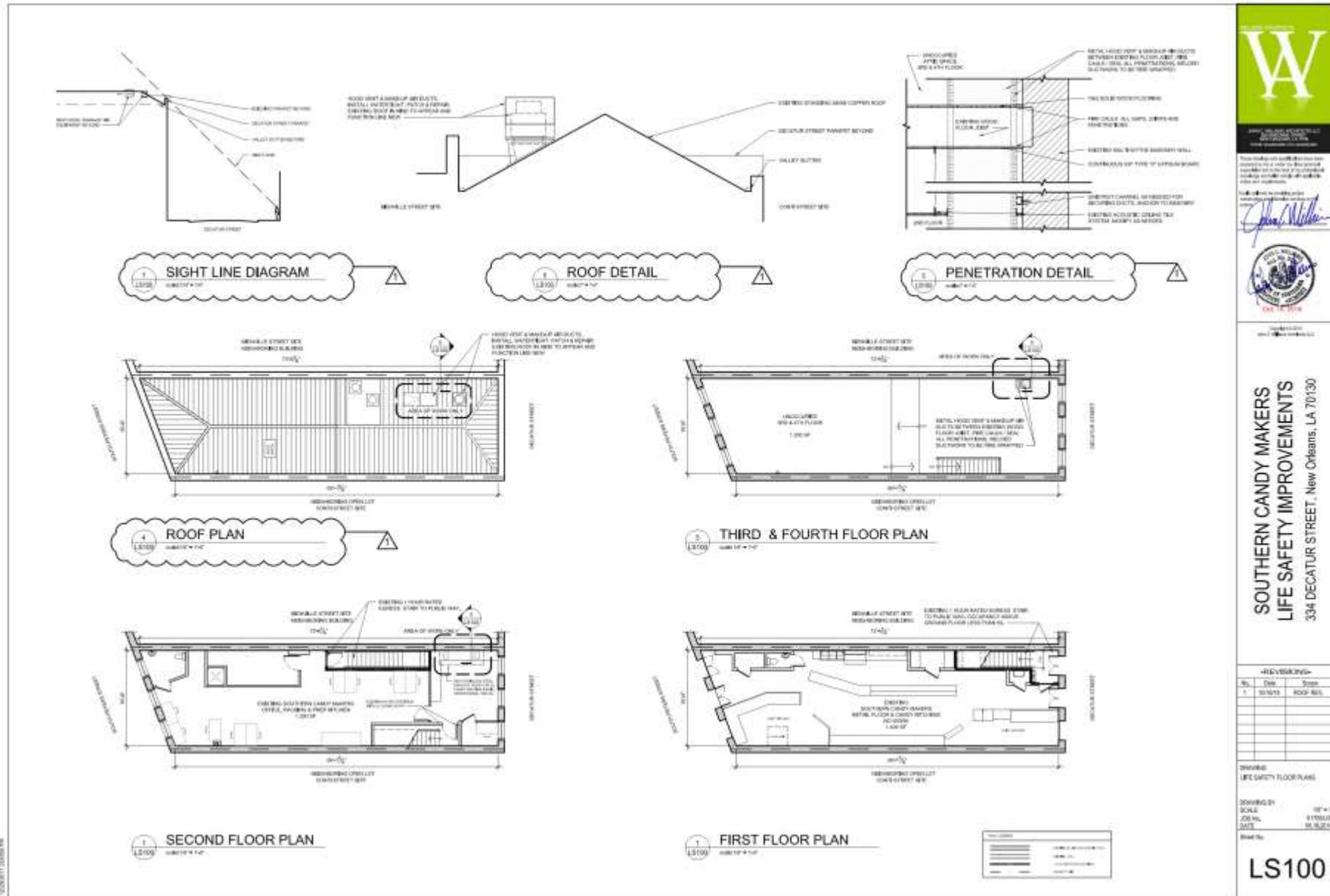


334 Decatur

VCC Architectural Committee

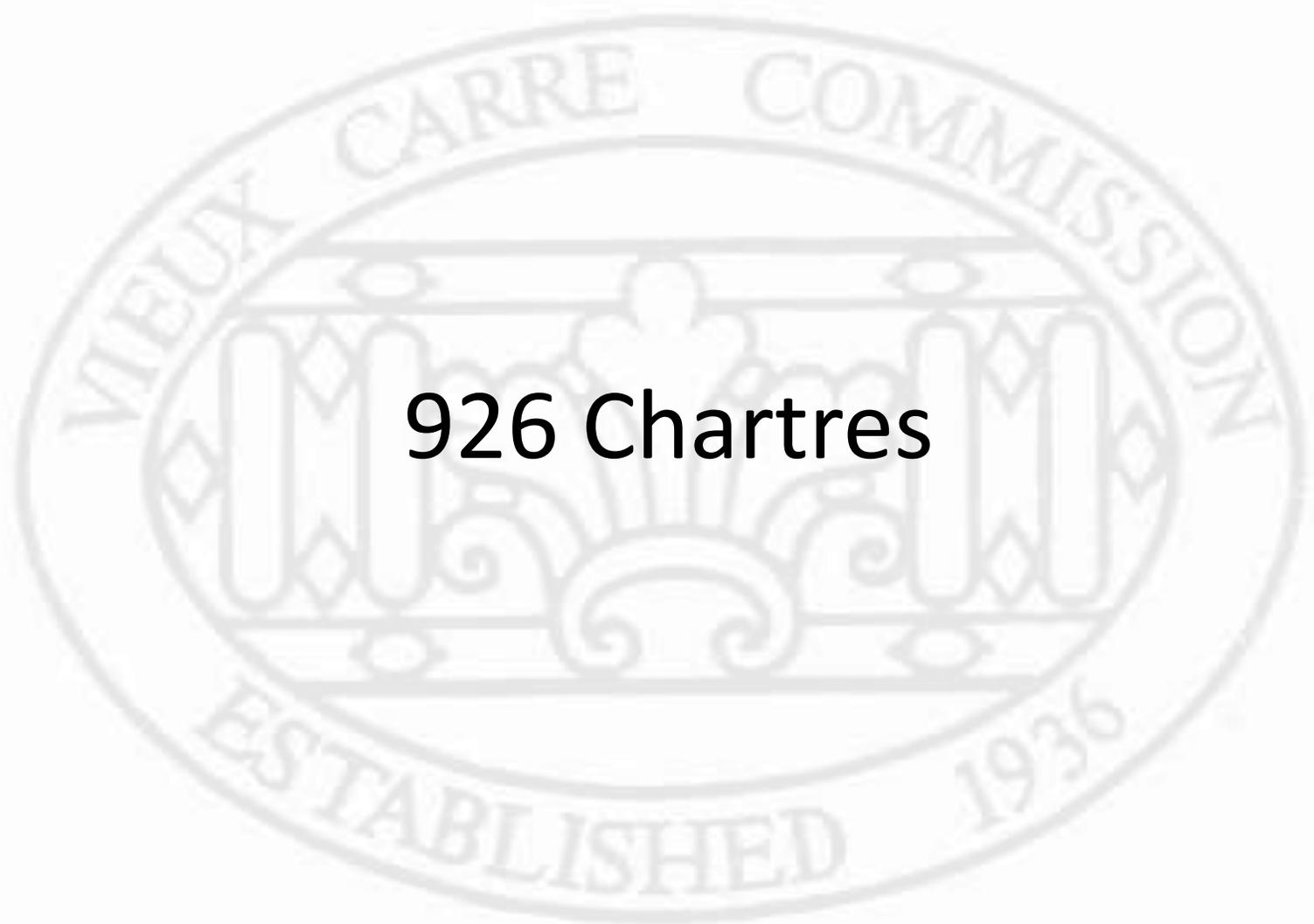
October 23, 2018



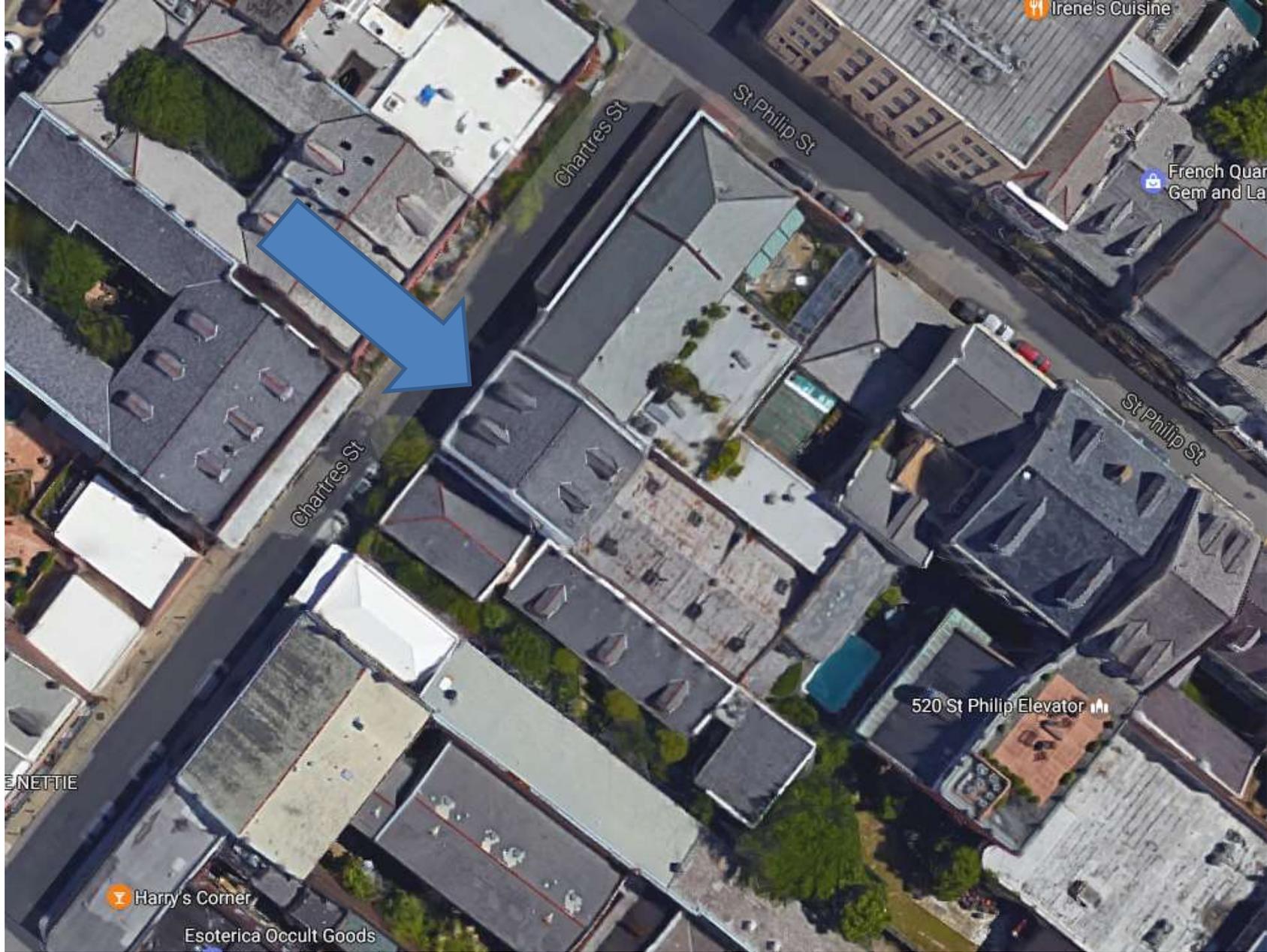


**SOUTHERN CANDY MAKERS**  
**LIFE SAFETY IMPROVEMENTS**  
334 DECATUR STREET, New Orleans, LA 70130



The seal of the Vieux Carre Commission is an oval emblem. It features a central heraldic shield with a crown on top. The shield is divided into four quadrants by a cross. The top and bottom quadrants contain vertical bars, while the left and right quadrants contain diamonds. The shield is flanked by two decorative scrolls. The text "VIEUX CARRE COMMISSION" is written in an arc across the top of the oval, and "ESTABLISHED 1936" is written in an arc across the bottom. The entire seal is rendered in a light gray color.

**926 Chartres**



926-28 Chartres

VCC Architectural Committee

October 23, 2018



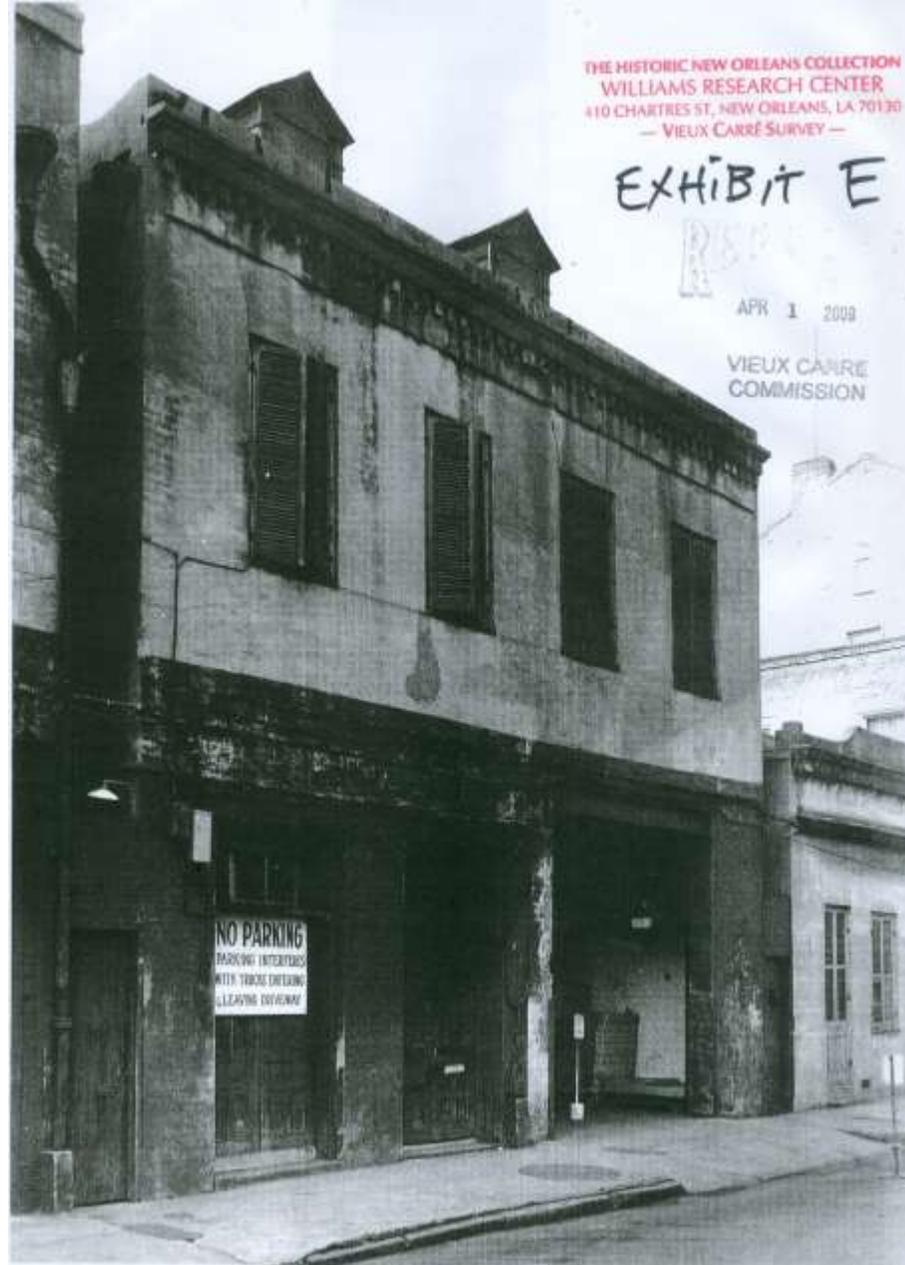


926-28 Chartres

VCC Architectural Committee

October 23, 2018





926-28 Chartres - 1964  
VCC Architectural Committee

October 23, 2018





926-28 Chartres

VCC Architectural Committee

October 23, 2018





926-28 Chartres

VCC Architectural Committee

October 23, 2018





926-28 Chartres – gallery at neighboring 930-940 Chartres





926-28 Chartres – gallery at neighboring 930-940 Chartres

VCC Architectural Committee

October 23, 2018





926-28 Chartres – gallery at neighboring 930-940 Chartres

VCC Architectural Committee

October 23, 2018





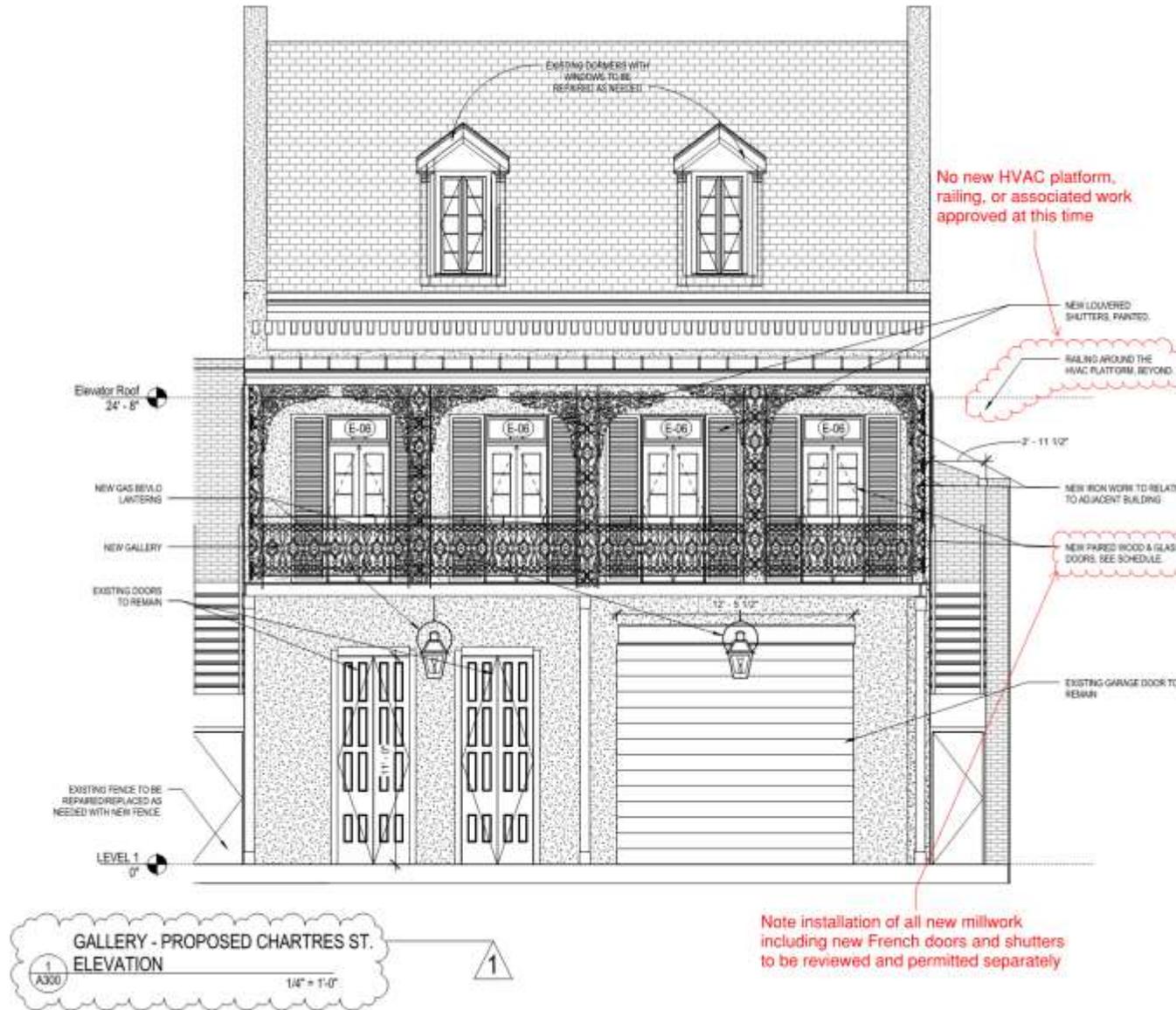
1  
T000 GALLERY - EXTERIOR VIEW - GALLERY

## 926-28 Chartres – Approved Gallery Plans

VCC Architectural Committee

October 23, 2018





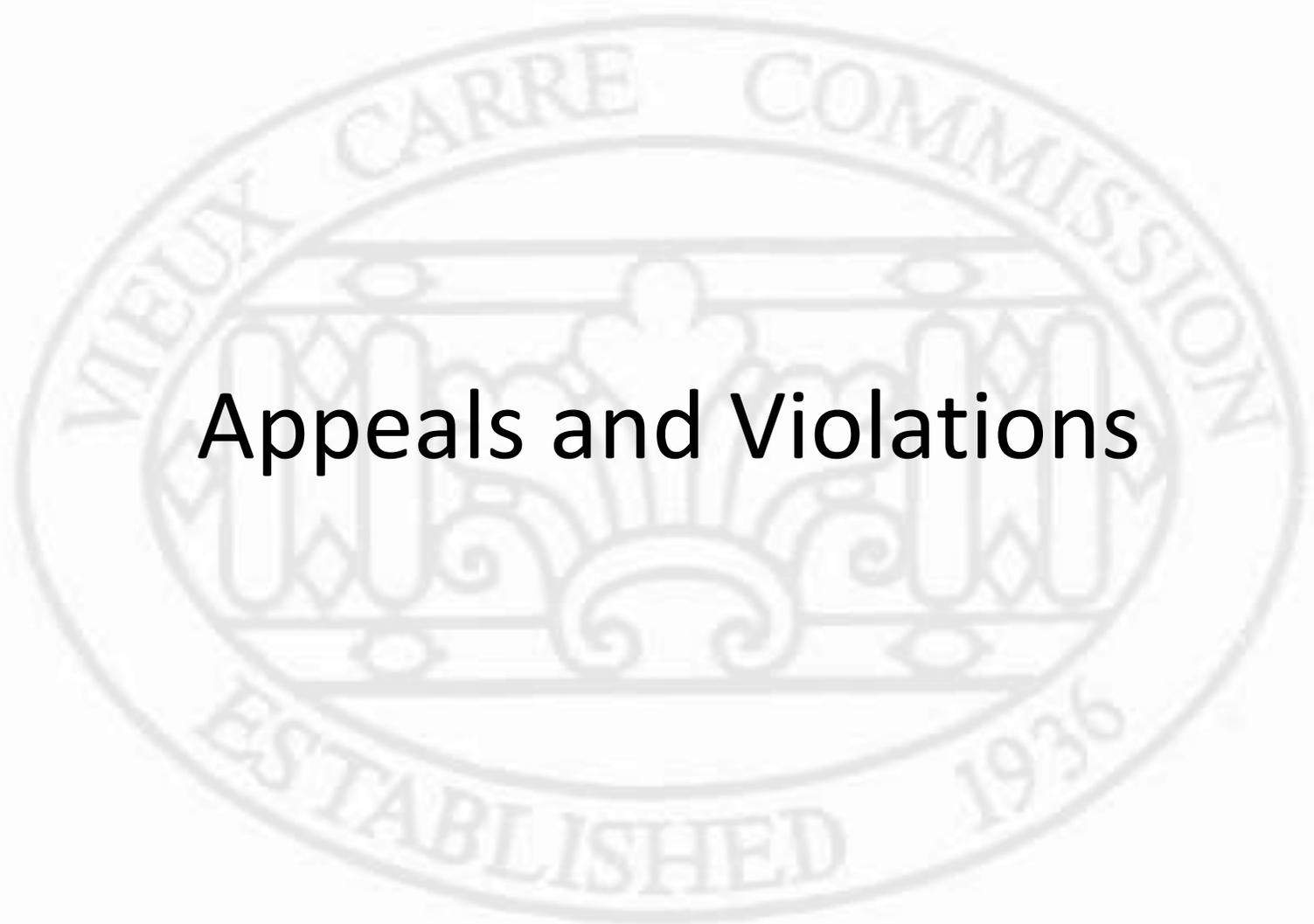
# 926-28 Chartres – Approved Gallery Plans

VCC Architectural Committee

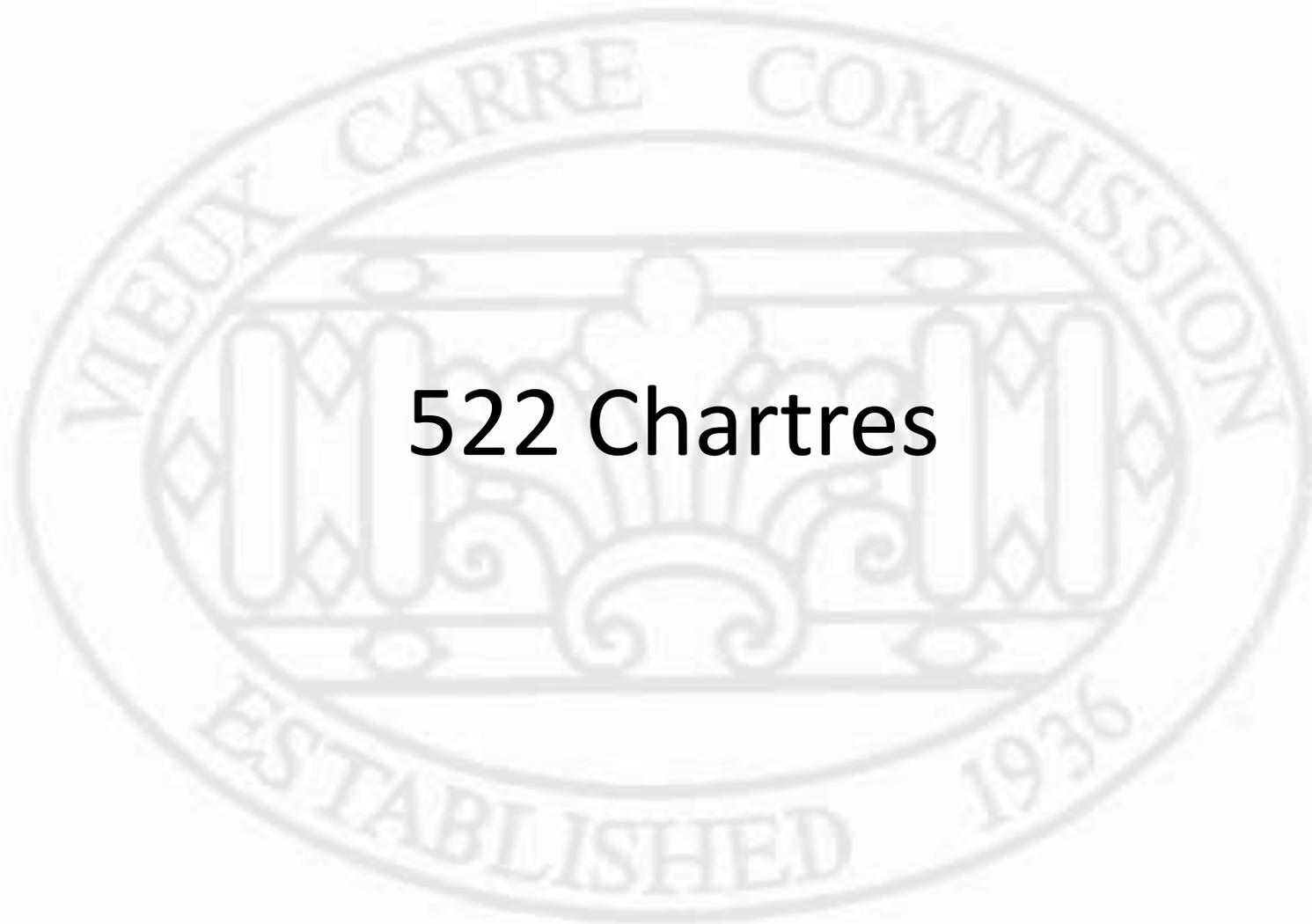
October 23, 2018





The seal of the Vieux Carre Commission is an oval emblem. It features a central figure of a person standing on a decorative base, flanked by two columns. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

# Appeals and Violations



**522 Chartres**

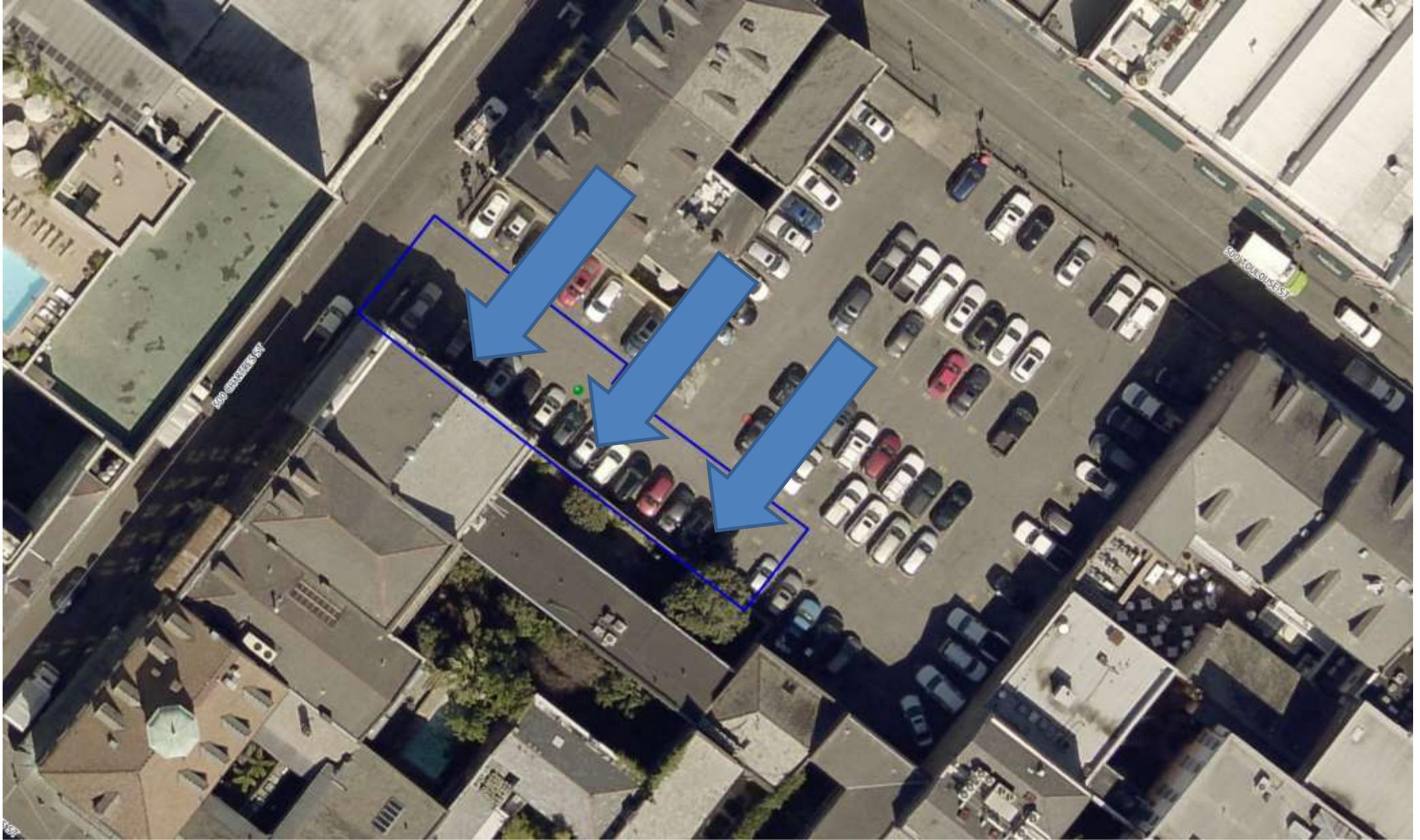


# 522 Chartres

VCC Architectural Committee

March 13, 2018





522 Chartres

VCC Architectural Committee

March 13, 2018





522 Chartres



522 Chartres



522 Chartres





522 Chartres



522 Chartres





522 Chartres



Photo #5-View of cracked section of southwest wall



Photo #6-View of cracked section of southwest wall

## 522 Chartres



522 Chartres

ZONE 4 - WALL PHOTO LAYOUT



WEATHERED BRICK AND MORTAR JOINTS

WEATHERED BRICK AND MORTAR JOINTS  
LOOSE/MISSING BRICK



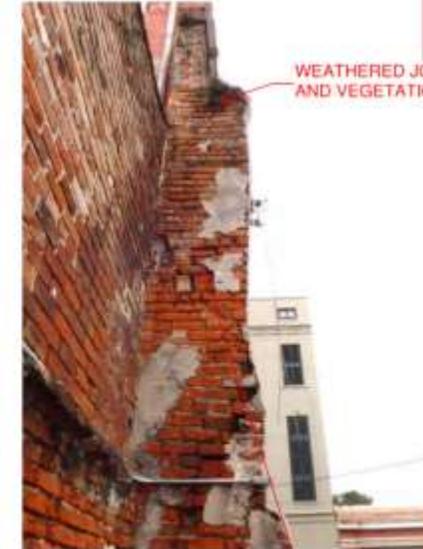
WEATHERED BRICK AND MORTAR JOINTS



CRACKS



WEATHERED JOINTS & BRICK, SOME MISSING/LOOSE, VEGETATION



WEATHERED JOINTS & BRICK, SOME MISSING/LOOSE

WEATHERED JOINTS AND VEGETATION

522 Chartres



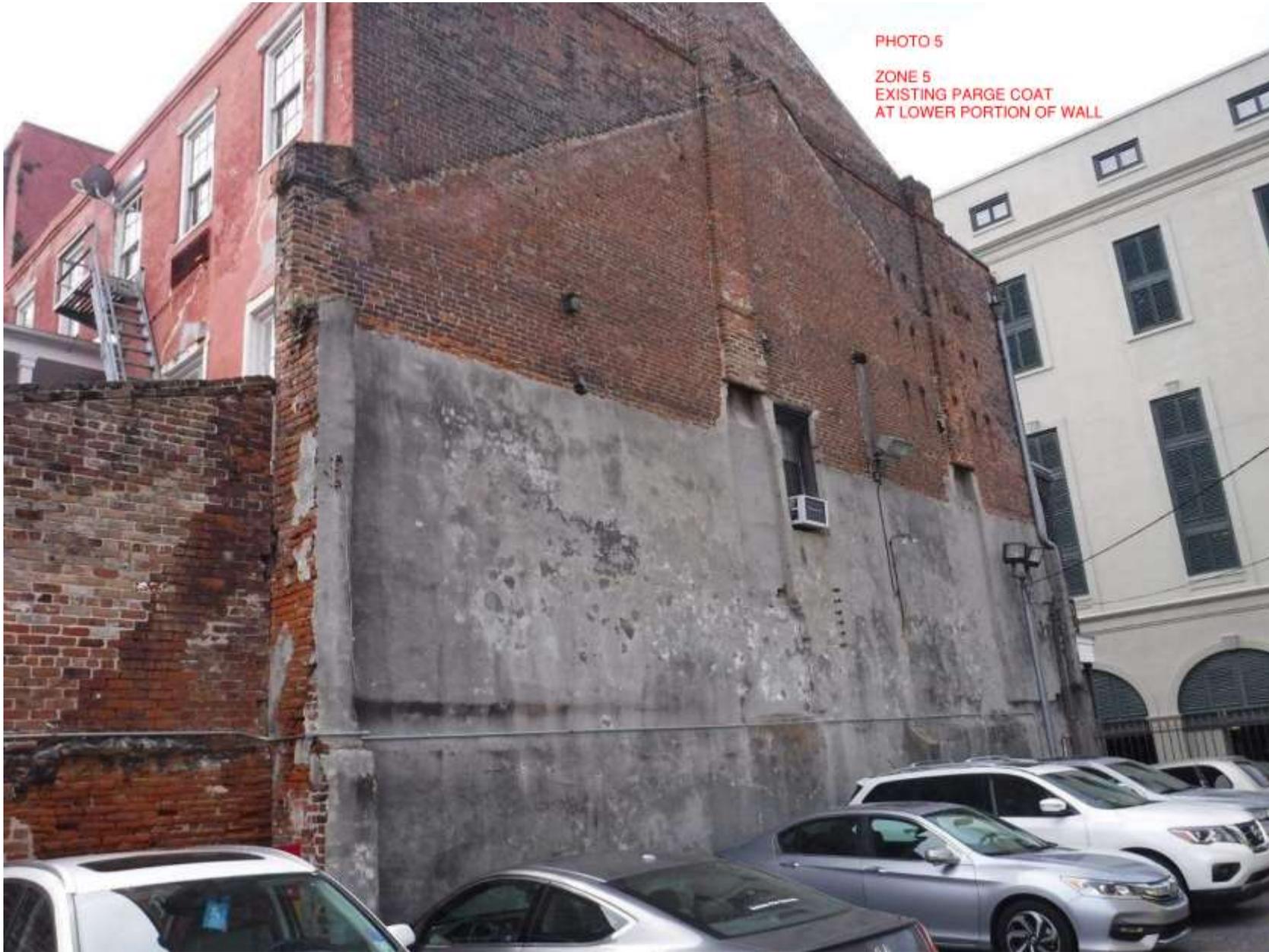


PHOTO 5

ZONE 5  
EXISTING PARGE COAT  
AT LOWER PORTION OF WALL

522 Chartres



522 Chartres – area 1





522 Chartres – area 1



522 Chartres – area 2



522 Chartres – area 2



522 Chartres – area 3A





522 Chartres – area 3

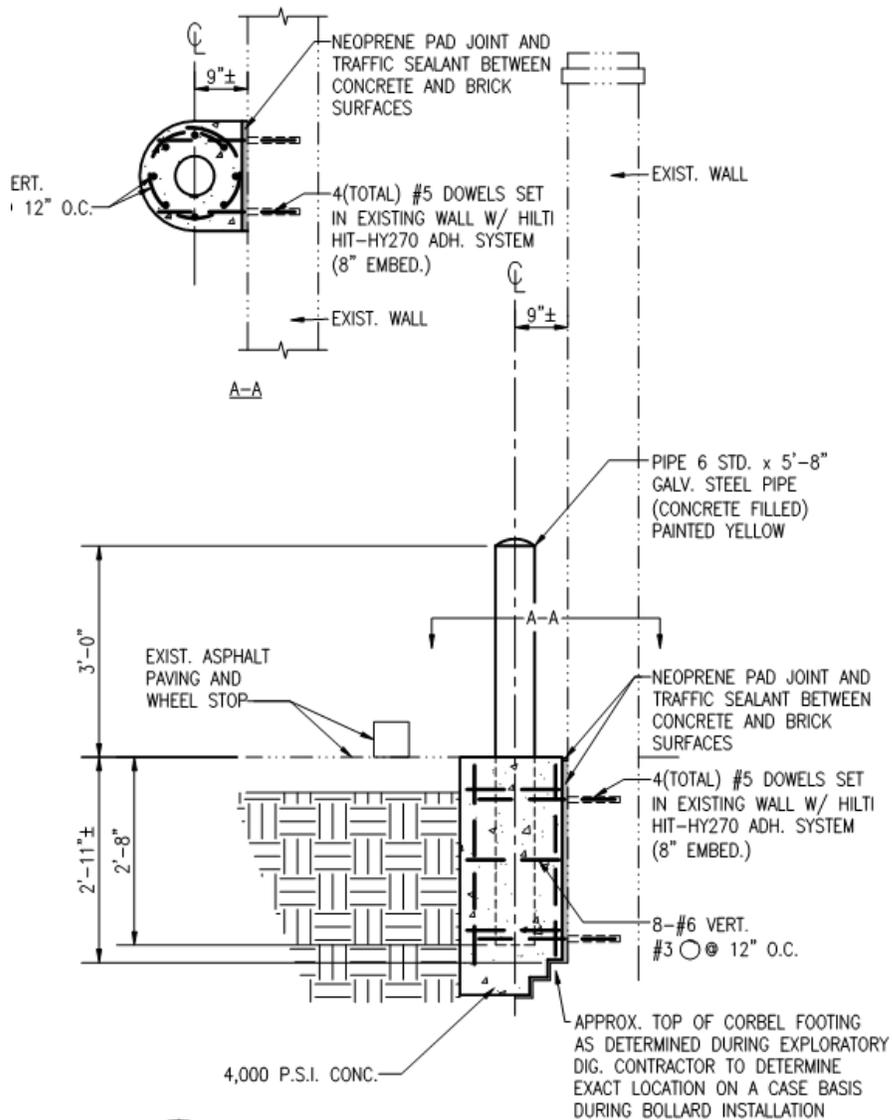




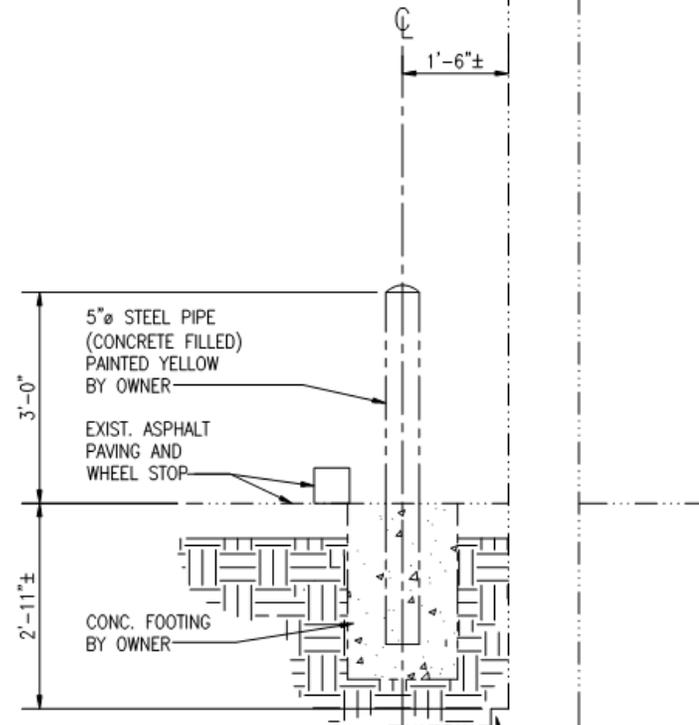
522 Chartres – area 4



1/2"=1'-0"



**8** DETAIL - BOLLARD  
S-1 1/2"=1'-0"

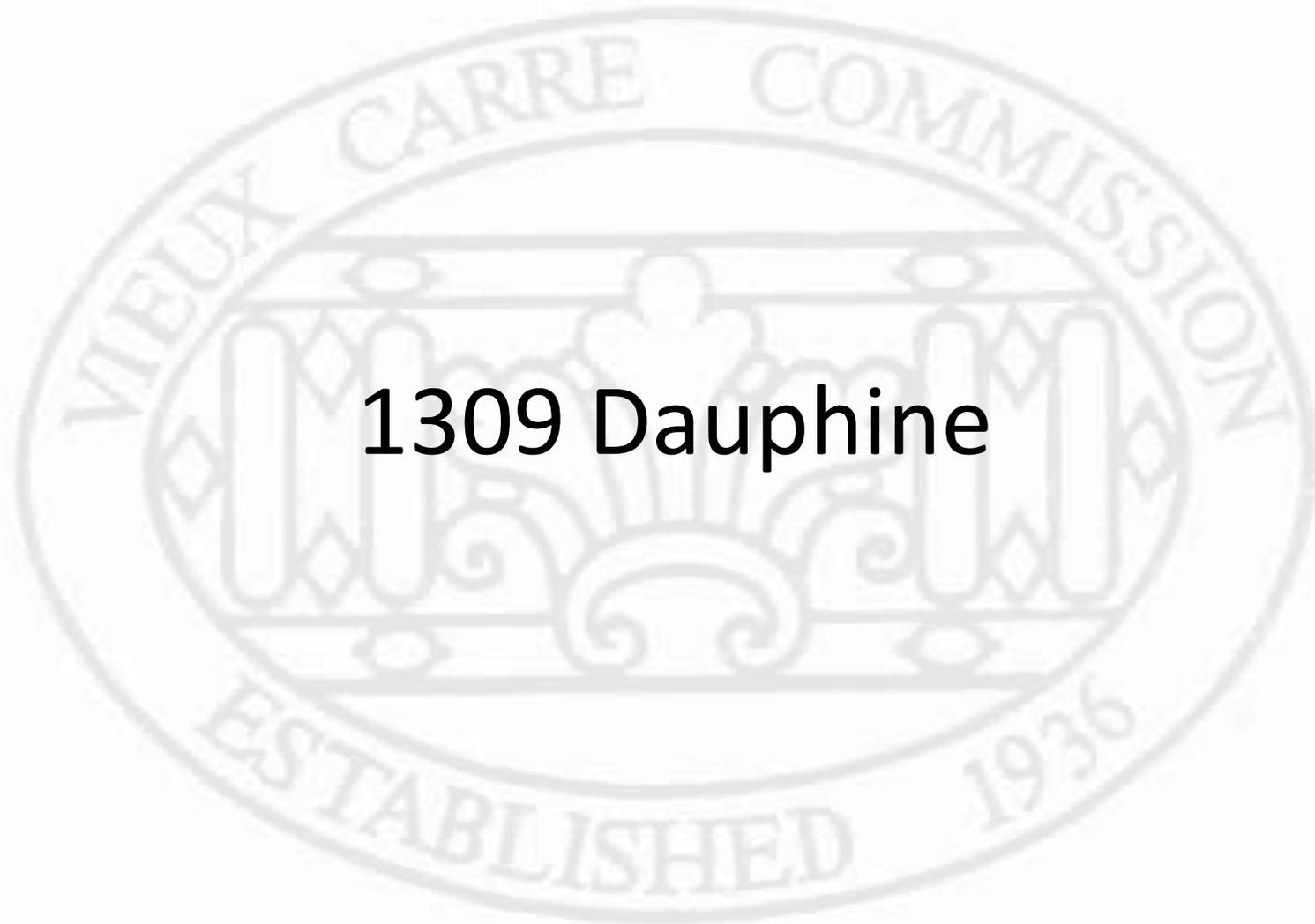


APPROX. TOP OF CORBEL FOOTING AS DETERMINED DURING EXPLORATORY DIG. CONTRACTOR TO DETERMINE EXACT LOCATION ON A CASE BASIS DURING BOLLARD INSTALLATION

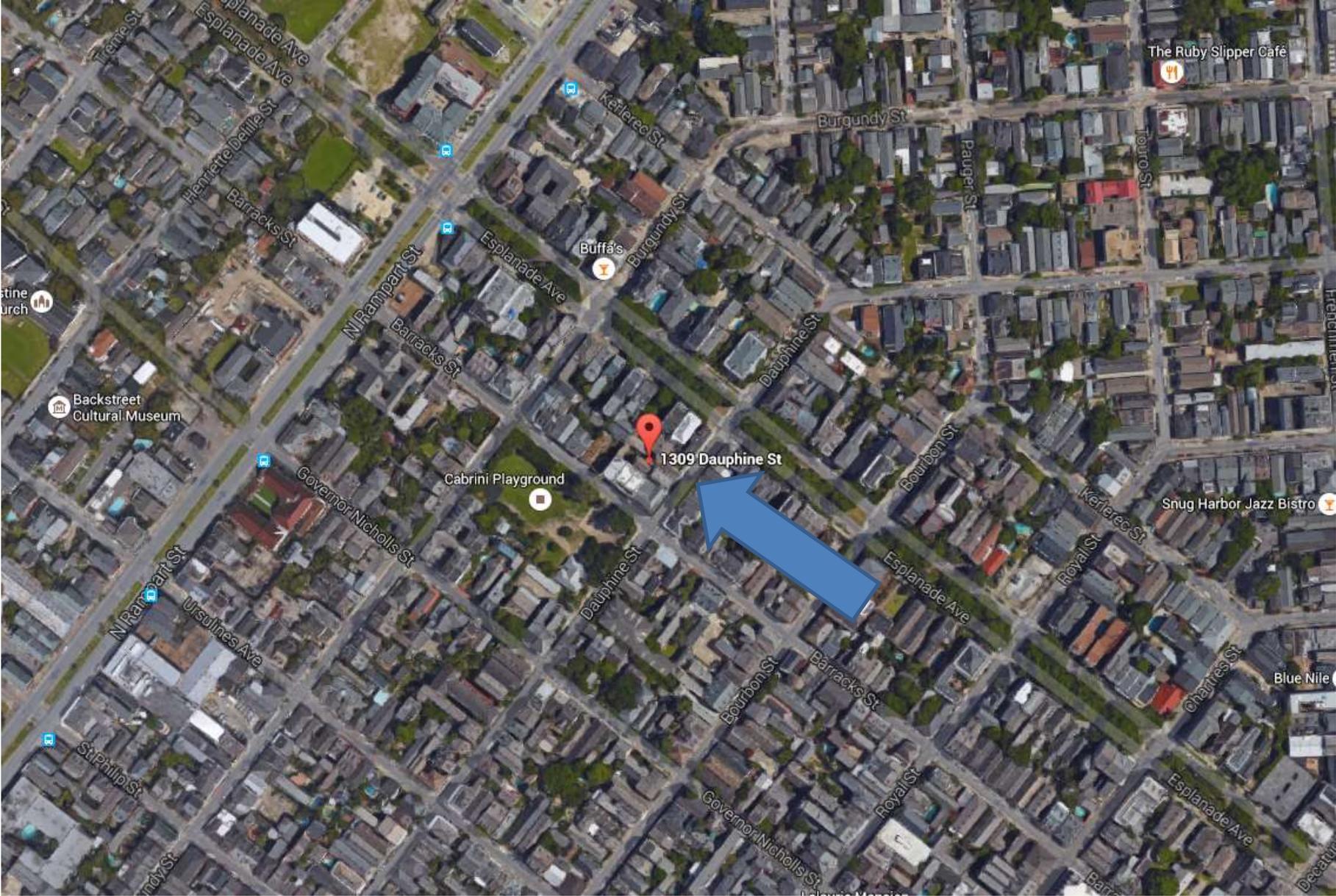
(DETAIL SHOWN FOR PURPOSES OF BOLLARD LOCATION ONLY IN RELATION TO THE EXISTING WALL. BOLLARD MATERIALS AND INSTALLATION BY OWNER.)

**9** DETAIL - BOLLARD BY OWNER (ALTERNATE) 1/2"=1'-0"  
S-1





**1309 Dauphine**



1309 Dauphine

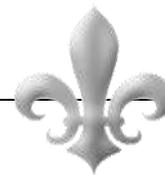




1309 Dauphine

VCC Architectural Committee

March 29, 2016

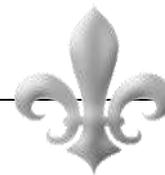




1309 Dauphine

VCC Architectural Committee

March 29, 2016





1309 Dauphine

VCC Architectural Committee

October 23, 2018





1309 Dauphine - 2011

VCC Architectural Committee

October 23, 2018





1309 Dauphine - 2011

VCC Architectural Committee

October 23, 2018





1309 Dauphine - 2011

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October 23, 2018





1309 Dauphine - 2011

VCC Architectural Committee

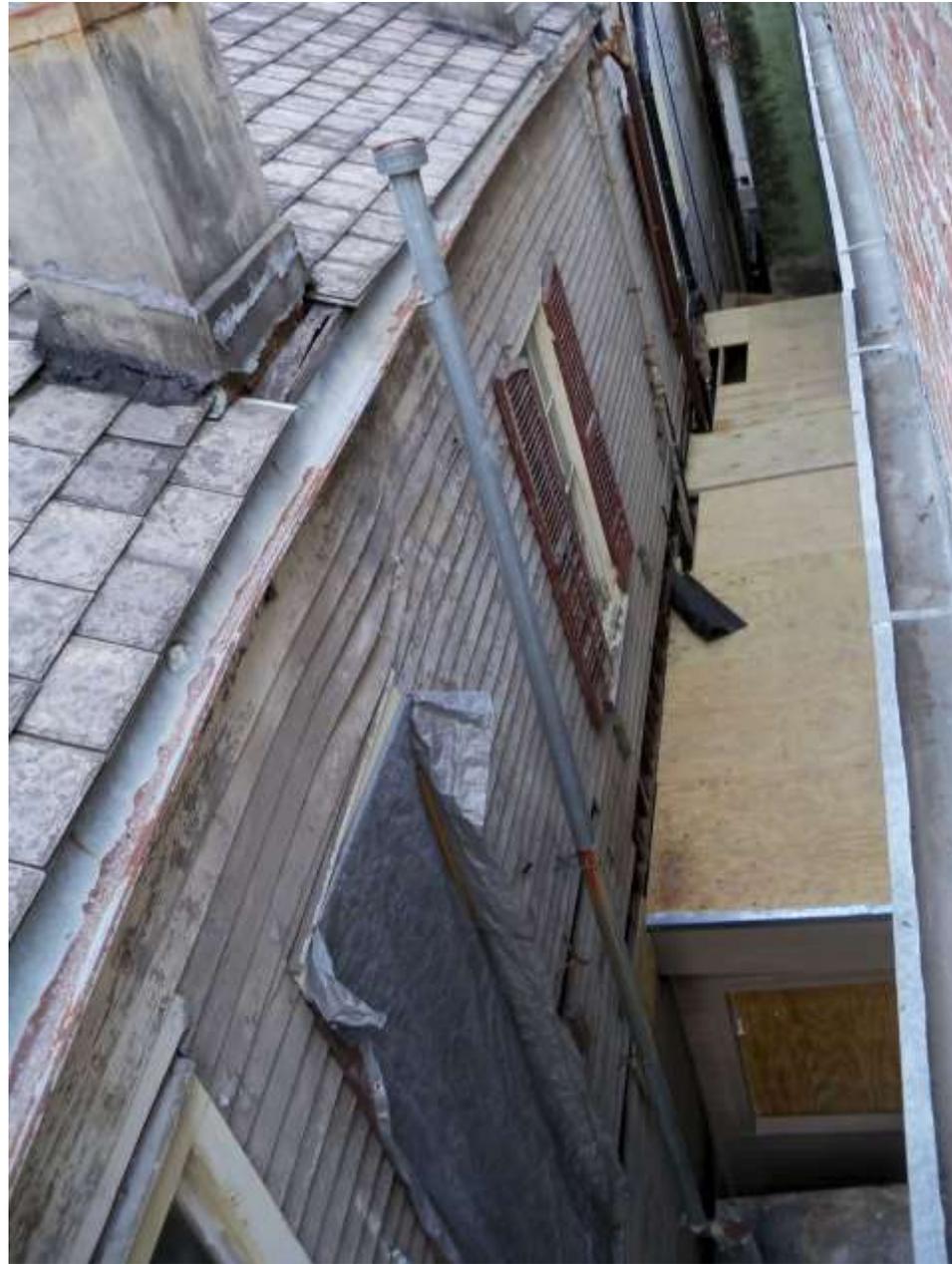
October 23, 2018





1309 Dauphine - 2011

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1309 Dauphine - 2011

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1309 Dauph  
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1309 Dauph  
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04 05 2017





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04 05 2017





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04 05 2017





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October 23, 2018





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October 23, 2018



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04 05 2017





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04 05 2017





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1309 Dauphine - 2017

VCC Architectural Committee

October 23, 2018



MODIFICATIONS TO AN EXISTING EXISTING STRUCTURE

# L' Aiglon Apartments

1309 Dauphine St., New Orleans

**PROJECT STATISTICS**

APPLICABLE BUILDING CODES	IRC 2015
DATE OF SITE	7/1/18
DATE OF PLAN	7/1/18
REVISIONS	1. 8/1/18
REVISIONS	2. 8/1/18
REVISIONS	3. 8/1/18
REVISIONS	4. 8/1/18
REVISIONS	5. 8/1/18
REVISIONS	6. 8/1/18
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REVISIONS	97. 8/1/18
REVISIONS	98. 8/1/18
REVISIONS	99. 8/1/18
REVISIONS	100. 8/1/18

**INDEX OF DRAWINGS**

AD1	FLOOR PLANS
AD2	ELEVATIONS & DETAILS
AD3	ELEVATIONS, DETAILS & NOTES
AD4	PHOTO DOCUMENTATION OF EXISTING WORK
AD5	REAR BUILDING
AD6	DETAILS

**SCOPE OF WORK**

DESIGNER SHALL BE RESPONSIBLE FOR THE EXISTING STRUCTURE IN ORDER TO MEET ACCEPTABLE CODE REQUIREMENTS.

**INTERIOR WORK**

1. REPLACE PANEL BEAMER WITH TWO (2) BAY BEAMER IN ALL UNITS.
2. ADD BRUSHED NICKEL TO ALL SWITCHES.
3. CHANGE ALL EXISTING LIGHT FIXTURES TO LED DOWN LIGHTS.
4. INSTALL ALL EXISTING LIGHT FIXTURES IN UNITS #1 & #2.
5. CHANGE ALL EXISTING LIGHT FIXTURES IN UNITS #3 & #4 TO LED DOWN LIGHTS.

**EXTERIOR WORK**

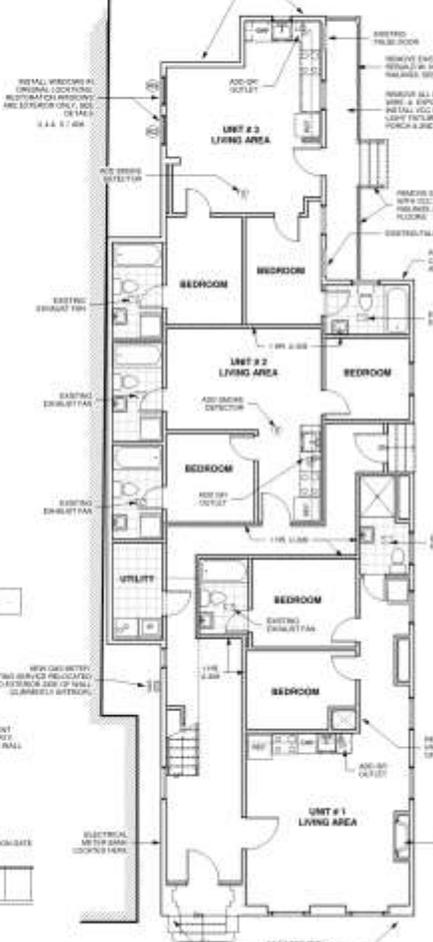
1. FINISH ALL SECURITY CAMERAS TO MATCH ADJACENT SURFACES.
2. INSTALL ALL EXISTING SECURITY CAMERAS IN ORIGINAL LOCATIONS.
3. FINISH ALL EXISTING SECURITY CAMERAS & EXISTING SECURITY LIGHT FIXTURES IN UNITS #1 & #2.
4. FINISH ALL EXISTING SECURITY CAMERAS & EXISTING SECURITY LIGHT FIXTURES IN UNITS #3 & #4.

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES OF THE JURISDICTION AND BELIEVE THESE DRAWINGS AND SPECIFICATIONS TO BE IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS.

I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE WORK.

JOHN S. CAMPO ARCHITECT  
LOUISIANA REGISTRATION # 2831



John S. Campo, Architect  
100 Dauphine St., Suite 200  
New Orleans, LA 70112  
(504) 581-8888

John S. Campo Architects  
ARCHITECTS

FLOOR PLANS  
MODIFICATIONS TO AN EXISTING EXISTING STRUCTURE  
L' Aiglon Apartments  
1309 Dauphine St., New Orleans

A01

REVISED 10-8-18









BALCONY FRAMING TO BE LEVELLED & RE-ENFORCED.

SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE

GAS METER TO BE RELOCATED TO EXTERIOR OF BUILDING IN ALLEYWAY.



SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE

REMOVE UNAPPROVED SIGNAGE



INSTALL 4x8 FALSE WINDOWS @ ORIGINAL LOCATIONS

THRU-WALL EXHAUST VENT FOR RESTROOM TO BE LOCATED @ THIRD FLOOR



STRIP, PRIME & PAINT EXISTING FIRE ESCAPE & PULL-DOWN LADDER

SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE

EXISTING GAS PIPING TO BE REPIPED @ NORTH EAST ALLEYWAY @ CRANKSPACE



REPAIR DAMAGED WEATHER BOARD @ THIS LOCATION

SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE

REMOVE UNAPPROVED SIGNAGE

RAILINGS TO BE RE-BUILT AS PER I-1000



THRU-WALL EXHAUST VENT FOR RESTROOM TO BE LOCATED @ THIRD FLOOR

INSTALL (2) 30" FALSE WINDOW W/ SHUTTERS

BEAC CONDENSER UNITS TO BE LOCATED ON ROOF OF 1 STORY PORTION OF BUILDING @ SOUTH WEST FACE

PHOTO EXPLANATION OF EXTERIOR WORK

MODIFICATIONS TO AN EXISTING EXISTING STRUCTURE

L'Aiglon Apartments

1309 Dauphine St., New Orleans

A04

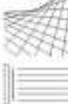
REVISED 10-8-18

REVISED 10-8-18

PREPARED BY: J.E. CAMPBELL ARCHITECTS, INC. DATE: 10-8-18 DRAWN BY: J.E.C.

Jerry E. Campbell, Architect  
1309 Dauphine St., Suite 100  
New Orleans, LA 70002  
(504) 784-8959

J.E. Campbell ARCHITECTS



REMOVE AND SAVE FOR REUSE EXISTING SLATE TILES  
REPAIR ROOF SHEATHING, INSTALL ICE & WATER GARD  
WEATHER BARRIER, & REINSTALL SLATE TILES

REMOVE & REPLACE MTL  
FLASHING @ BOTH SIDES AND REAR  
ABUTTING WALLS (NOT IN PHOTO)

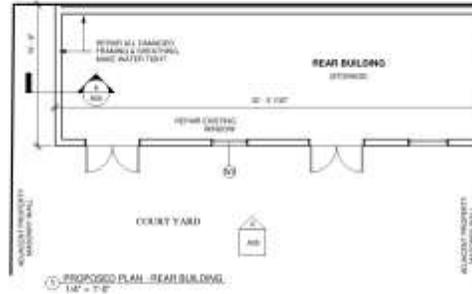
REPAIR EXISTING DECORATIVE FASCIA



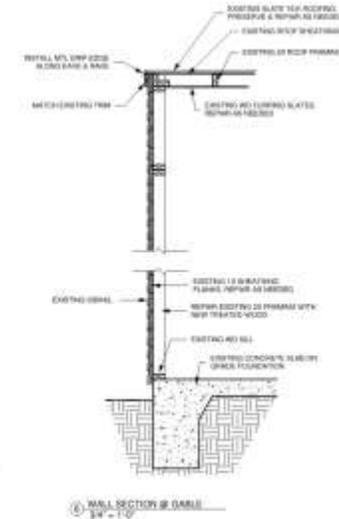
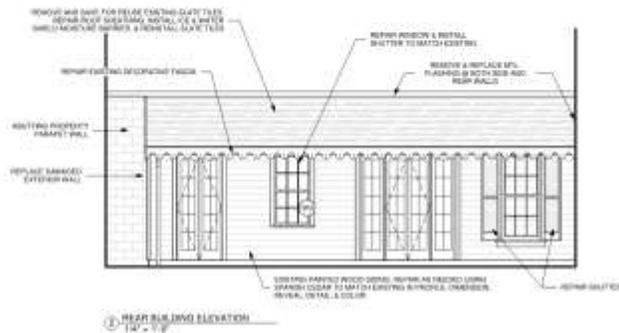
REPAIR EXISTING  
SHUTTERS  
NOT SHOWN IN PHOTO

REPAIR WINDOW &  
INSTALL SHUTTER TO  
MATCH EXISTING

REPAIR DAMAGED  
SEAMS



FOR INFORMATIONAL PURPOSES



1309 Dauphine Street, New Orleans, LA 70112  
 John E. Carre, Architect  
 1100 Dauphine St., New Orleans, LA 70112  
 (504) 581-1111

*Carre Architects*  
**ARCHITECTS**

REAR BUILDING  
 MODIFICATIONS TO AN EXISTING EXISTING STRUCTURE  
**L' Aiglon Apartments**  
 1309 Dauphine St., New Orleans

**A05**

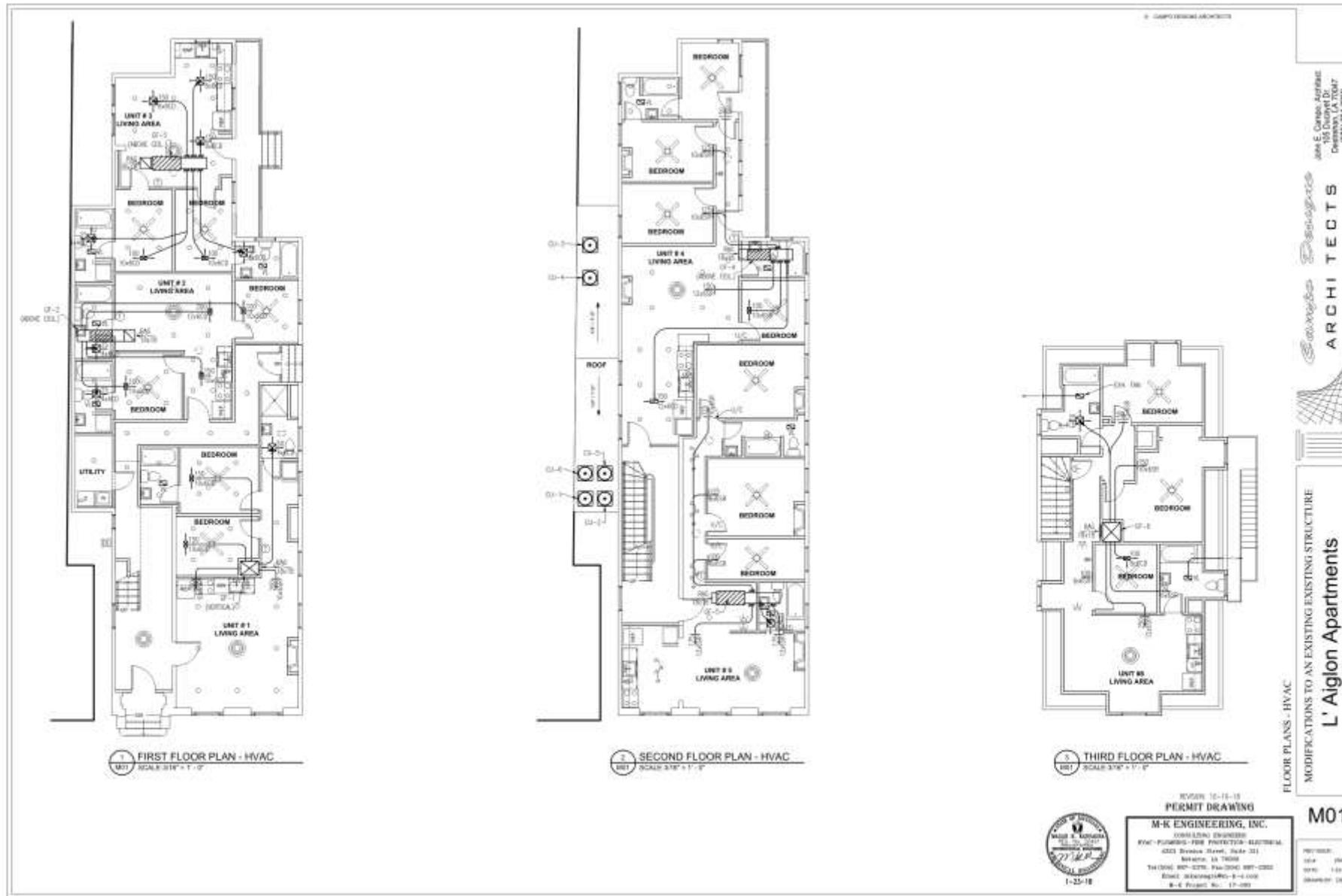
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 DATE: 10-8-18  
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REVISED 10-8-18









1309 Dauphine

VCC Architectural Committee

October 23, 2018



Back to Search Results

FergusonShowrooms.com Home > Progress > PP56753130K

PROGRESS LIGHTING



**PROGRESS PP56753130K "CYLINDER" OUTDOOR ENTRANCE WALL LIGHT**

**Item:** PP56753130K  
**Finish:** Black  
**Online Availability:** Available for immediate shipment  
**Select Finish:** Black : \$120.51

List Price: \$200.85

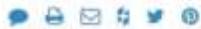
**Price: \$120.51**

★★★★★ 5.0 5 Reviews

3 out of 4 (75%) reviewers recommend this product.

ADD TO CART

WRITE A REVIEW



**Details and Dimensions**

**Height:** 14"  
**Width:** 5"  
**Extension From Wall:** 8"  
**Number of Bulbs:** 1  
**Bulb Type:** LED  
**Bulbs Included:** Yes  
**Max. Wattage:** 17W



**CYLINDER**

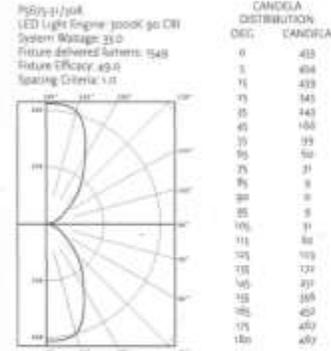
wall-mounted - [Camp location listed](#)

PROGRESS LED

**P5675-31/30K**

**Photometrics:**

**ELECTRICAL DATA:** P5675-31/30K  
Input Voltage: 120V  
Input Frequency: 60Hz  
Input Current: 0.11A  
Input Power: 17W  
Power Factor: >0.91  
THD: <20%  
EMI Filtering: FCC, IEC 41, Part 15, Class B  
Operating Temperature: -30°C to 35°C  
Dimming: Yes\*  
Over-voltage, over-current, short-circuit protected  
\*See Dimming Notes for more information.



Test No. 16.00048  
Tested at 25°C Ambient in accordance to IESNA LM-79-1008

**ZONAL LUMEN SUMMARY**

ZONE	LUMENS	ILLUMINANCE
0-30	313	90.0%
0-40	475	83.4%
0-45	642	74.8%
0-50	785	75.4%
0-55	921	60.1%
0-60	1048	53.2%
0-65	1158	39.2%
0-70	1252	30.8%
0-80	1402	100.0%

**COEFFICIENTS OF UTILIZATION**  
Zonal Cavity Method

Z	No Obstacle Ceiling Cavity Utilization									
	Rc=0		Rc=0.1		Rc=0.2		Rc=0.3		Rc=0.4	
	0	1	0	1	0	1	0	1	0	1
0	1	1	1	1	1	1	1	1	1	1
1	0.98	0.94	0.91	0.87	0.84	0.81	0.78	0.75	0.72	0.69
2	0.96	0.91	0.87	0.83	0.79	0.76	0.73	0.70	0.67	0.64
3	0.94	0.88	0.84	0.80	0.76	0.73	0.70	0.67	0.64	0.61
4	0.92	0.85	0.81	0.77	0.73	0.70	0.67	0.64	0.61	0.58
5	0.90	0.82	0.78	0.74	0.70	0.67	0.64	0.61	0.58	0.55
6	0.88	0.79	0.75	0.71	0.67	0.64	0.61	0.58	0.55	0.52
7	0.86	0.76	0.72	0.68	0.64	0.61	0.58	0.55	0.52	0.49
8	0.84	0.73	0.69	0.65	0.61	0.58	0.55	0.52	0.49	0.46
9	0.82	0.70	0.66	0.62	0.58	0.55	0.52	0.49	0.46	0.43
10	0.80	0.67	0.63	0.59	0.55	0.52	0.49	0.46	0.43	0.40



## Wall Vents

### High Quality Metal Wall Vents For Exhaust or Intake Air

Our Heavy Gauge Wall Vents are Excellent for Multiple Applications  
 You Won't Find These Heavy Duty Vents in Big Box Home Improvement Stores

#### Round Wall Vent Caps (3" to 12")



[Copper](#)

[Stainless](#)

[Galvanized](#)

Copper & Stainless Pictured with Damper, Galvanized Pictured w/ Screen  
 Available With Screen For Air Intake, Damper For Dryer Exhaust & Both  
 Damper & Screen For Kitchen, Bathroom or General Exhaust

#### Rectangular Vents (3.25x10, 12, 14 and 6x10)



[Copper](#)

Available in  
 Copper, Galvanized, Stainless or Black  
 with Screen & Spring Damper

#### Why Buy From Us?

- Thicker Metal
- Hand Made Quality
- Small Business Too
- Quantity Discounts
- Quick Turnaround
- American Made
- Satisfied Customer

#### We Accept All Credit Ca



Buy Online or Call To Or  
 Pay with Check - [Click It](#)



#### Comparing Ext...



## Round Wall Vents

### Key Product Specifications

- **Uses with Damper and Screen**  
 All exhaust needs except dryer vents
- **Uses with only Damper**  
 Exhaust vent for dryer
- **Uses with only Screen**  
 Fresh Air Intake for gas, pellet or wood  
 stove, boilers, furnaces, HRV, ERV, or  
 water heaters (aka bypass vent)
- See our [Metal Wall Vents Blog Page](#)

### Product Options

- **Material** - Copper, Galvanized, Stainless
- **Vent Cover** - With Damper, Screen or Both
- **Pipe/Throat Size** -  
 -Copper - 3", 4", 5", 6", 7", 8", 10"  
 -Stainless - 3", 4", 5", 6", 7", 8", 10", 12"  
 -Galvanized - 3", 4", 5", 6", 7", 8", 10", 12"
- [Upgrade to heavy weather vent here](#)
- [In-line or butterfly dampers sold here](#)
- [CLICK HERE FOR DIMENSIONS](#)
- [Rainscreen 2 Piece Vents Here](#)

CURRENT SPECIALS

## Copper Wall Vents

Product	Metal	Size	Price	Click below to purchase		
				W/ Damper	W/ Screen	W/Both
Wall Vent	Copper	3"	\$84.00	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>
Wall Vent	Copper	4"	\$93.00	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>
Wall Vent	Copper	5"	\$95.00	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>
Wall Vent	Copper	6"	\$123.00	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>
Wall Vent	Copper	7"	\$176.00	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>
Wall Vent	Copper	8"	\$244.00	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>
Wall Vent	Copper	10"	\$124.00*	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>	<a href="#">Buy Now</a>

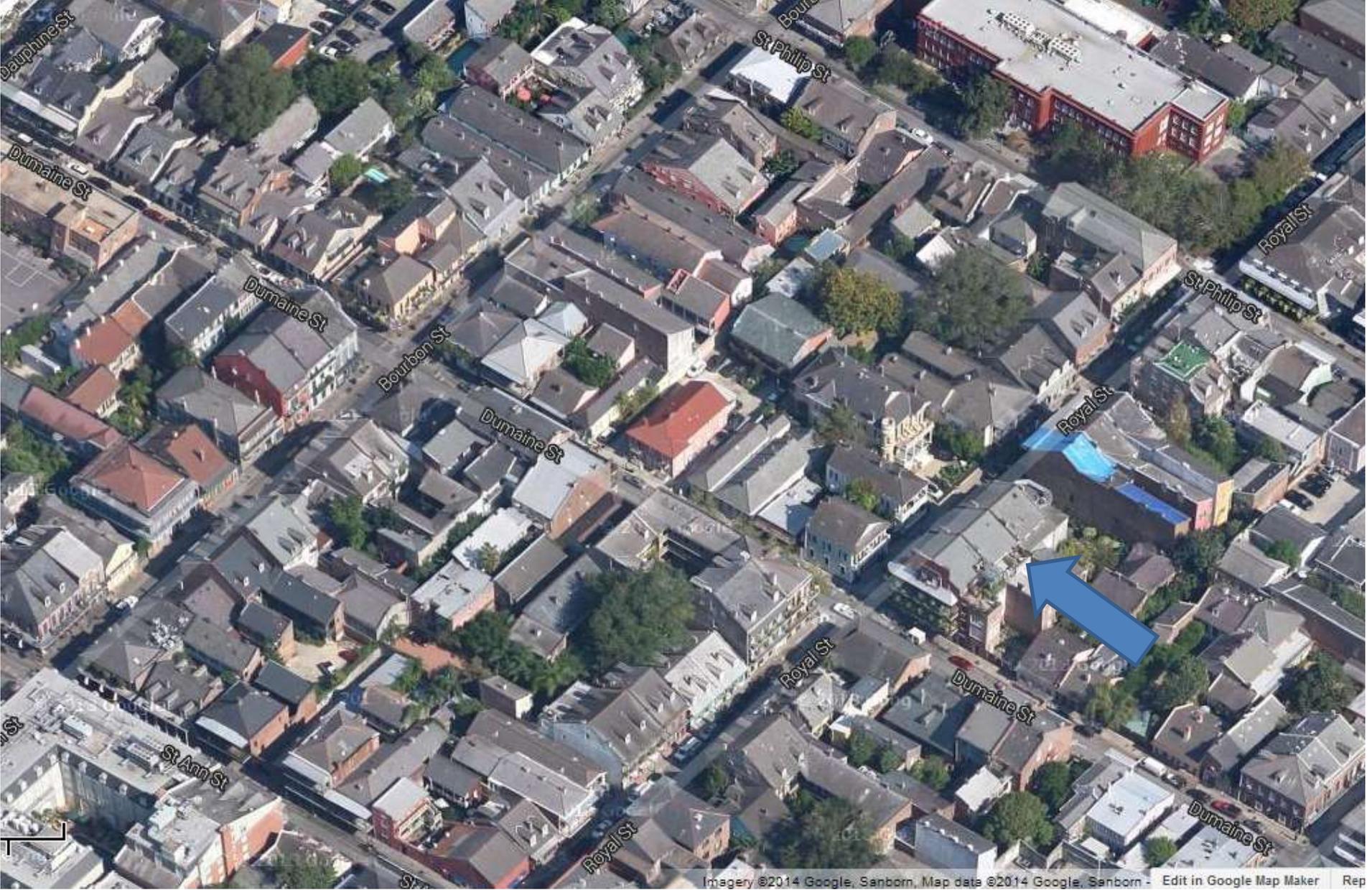
\*Size 10" is made with our heavy duty wind guard as seen here



[Installed Pictures Here](#)  
[Video Here](#)



**906 Royal**



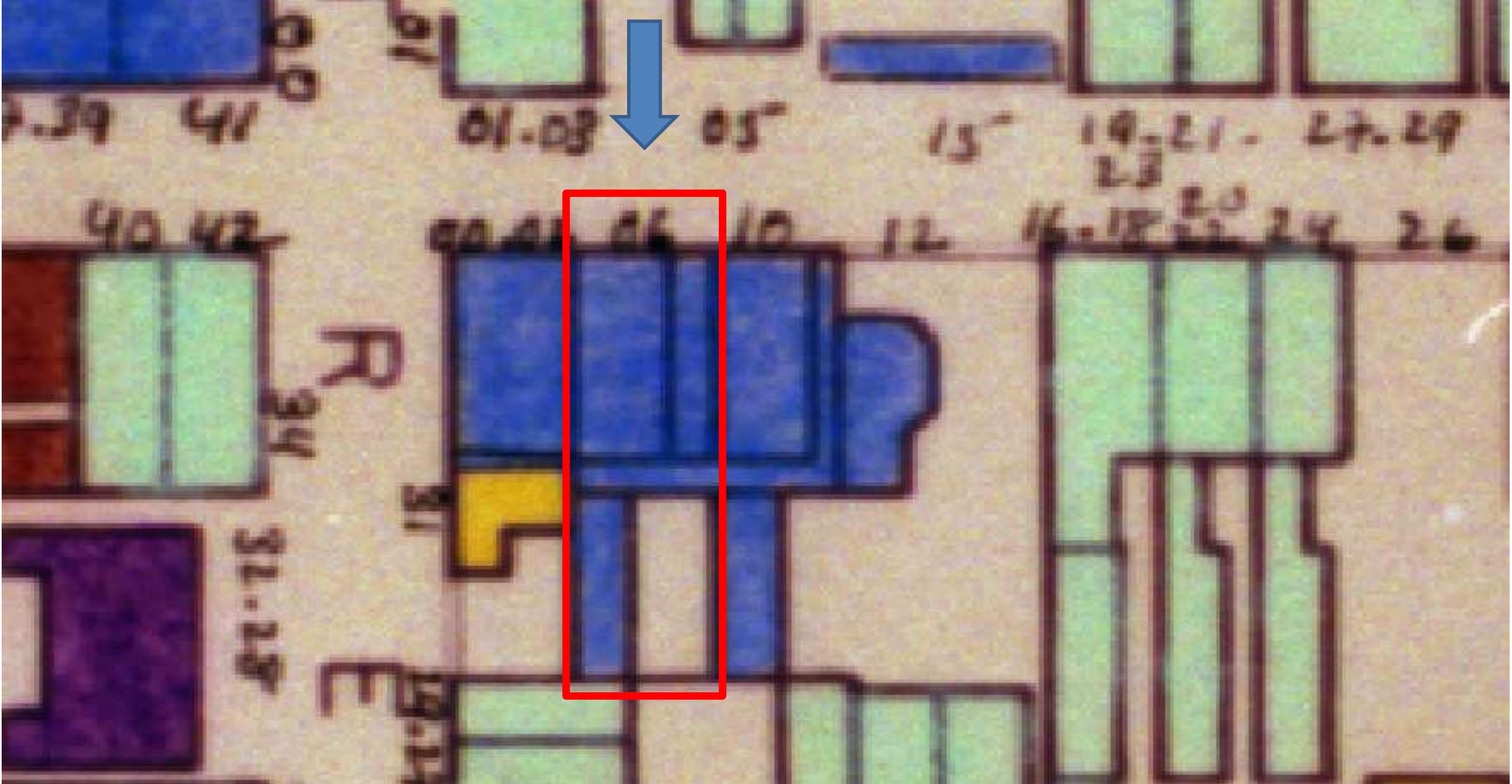
Imagery ©2014 Google, Sanborn, Map data ©2014 Google, Sanborn - Edit in Google Map Maker Rep

906 Royal

VCC Architectural Committee

October 23, 2018





906 Royal

VCC Architectural Committee

October 23, 2018





906 Royal

VCC Architectural Committee

08 27 2018

October 23, 2018





906 Royal – Prior to Gas Light Installation

VCC Architectural Committee

October 23, 2018



# 906 ROYAL 2ND FLOOR

NOTE 3

**FRONT VIEW**  
(NTS)

**SIDE VIEW**  
(NTS)

**ISOMETRIC VIEW**  
(NTS- BRACKET ONLY)

5" x 5" x 1" BOX PLATE

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS  $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH  $\frac{3}{16}$ " COPPER GAS LINE AND  $\frac{3}{16}$ " x  $\frac{1}{4}$ " GAS LINE ADAPTOR

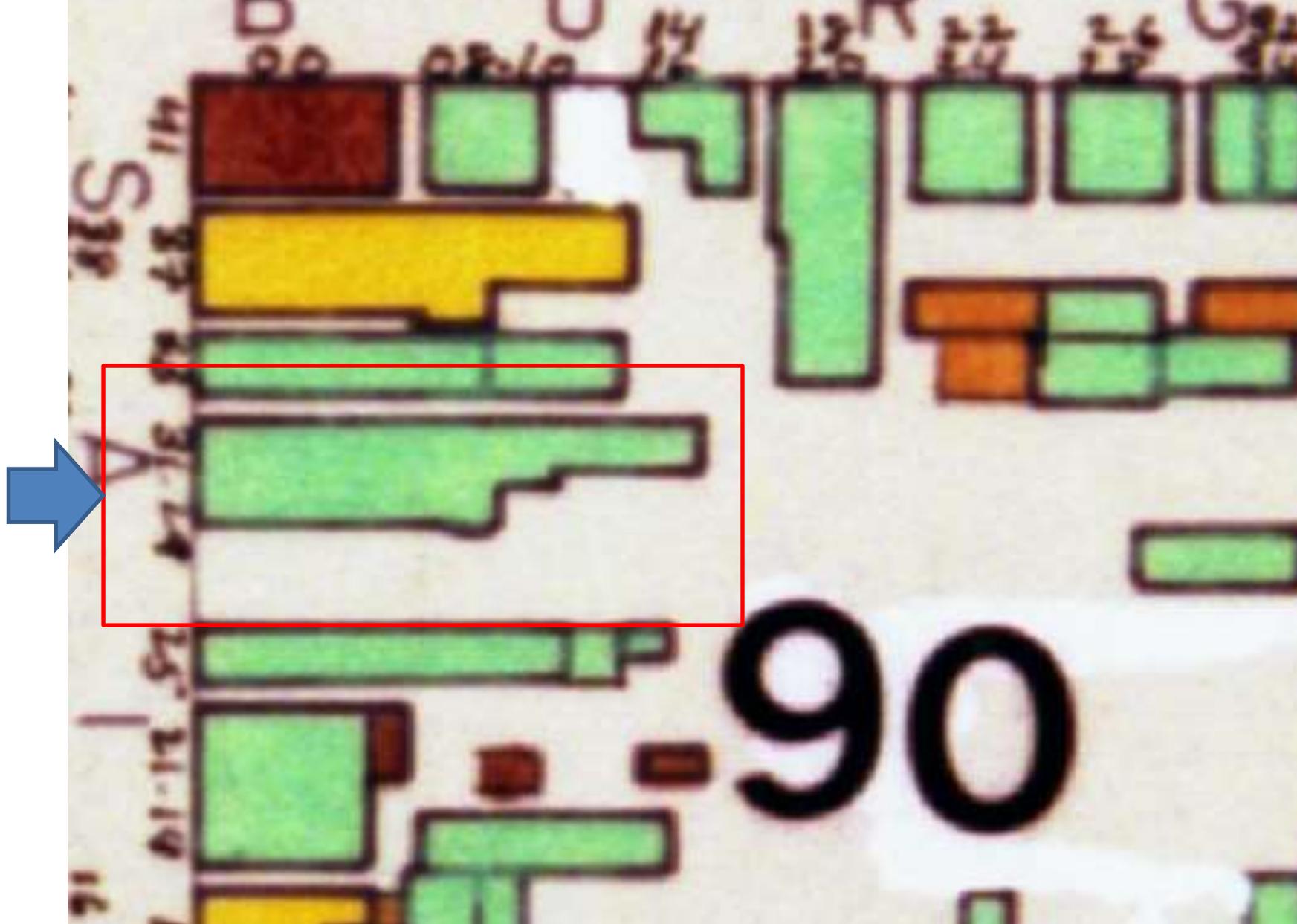
SIZE:	14"	18"	21"	24"	27"	30"	36"
A:	20"	24"	26"	30"	33 $\frac{3}{4}$ "	38 $\frac{3}{4}$ "	46 $\frac{3}{4}$ "
B:	14 $\frac{1}{4}$ "	15 $\frac{7}{8}$ "	17 $\frac{1}{4}$ "	20 $\frac{1}{2}$ "	21 $\frac{7}{8}$ "	25 $\frac{3}{4}$ "	31"
C:	9 $\frac{7}{8}$ "	11 $\frac{1}{4}$ "	12 $\frac{1}{8}$ "	14 $\frac{3}{8}$ "	15 $\frac{1}{4}$ "	18 $\frac{1}{4}$ "	22 $\frac{1}{4}$ "
D:	VARIES						
E:	6 $\frac{1}{4}$ "	7 $\frac{5}{8}$ "	9 $\frac{3}{8}$ "	12 $\frac{3}{8}$ "	11 $\frac{7}{8}$ "	14 $\frac{1}{2}$ "	17 $\frac{3}{8}$ "
F:	8"	10 $\frac{1}{8}$ "	11 $\frac{1}{8}$ "	12 $\frac{7}{8}$ "	14 $\frac{3}{8}$ "	16 $\frac{1}{8}$ "	19 $\frac{5}{8}$ "

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LIGHT:	FRENCH QUARTER		DATE:	JJG	
BRACKET:	YOKE		4-17-18	REVISION: 11	





931 St Louis



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VCC Architectural Committee

October 23, 2018





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931 St. Louis, 1963

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931 St. Louis – Previously Existing Hardware

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October 23, 2018





931 St. Louis – Previously Existing Hardware - 1963

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