



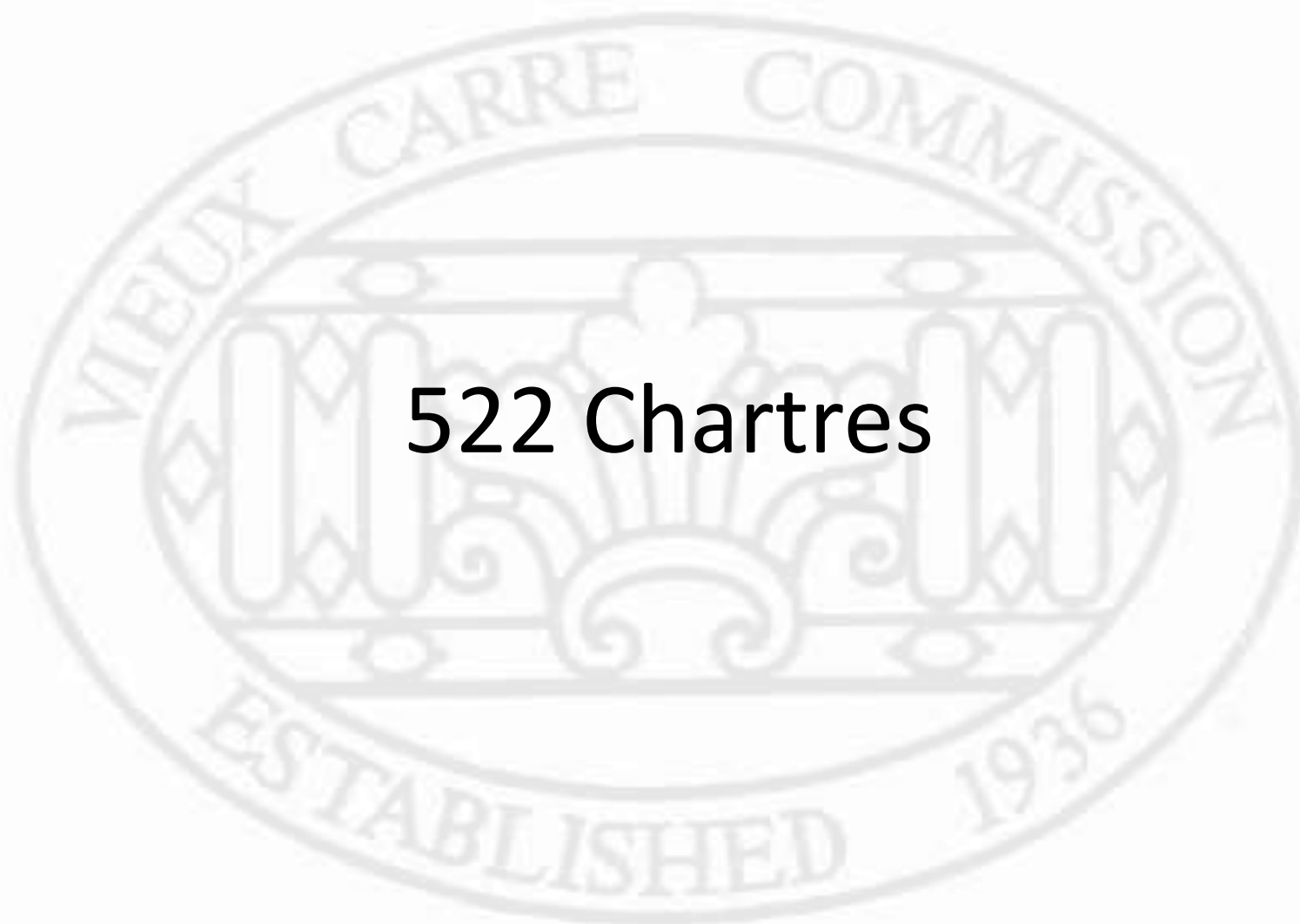
Vieux Carré Commission Architectural Committee Meeting

Tuesday, March 13, 2018



Old Business

522 Chartres





522 Chartres

VCC Architectural Committee

March 13, 2018





522 Chartres

VCC Architectural Committee

March 13, 2018





522 Chartres



522 Chartres



522 Chartres



522 Chartres



522 Chartres



522 Chartres



Photo #5-View of cracked section of southwest wall

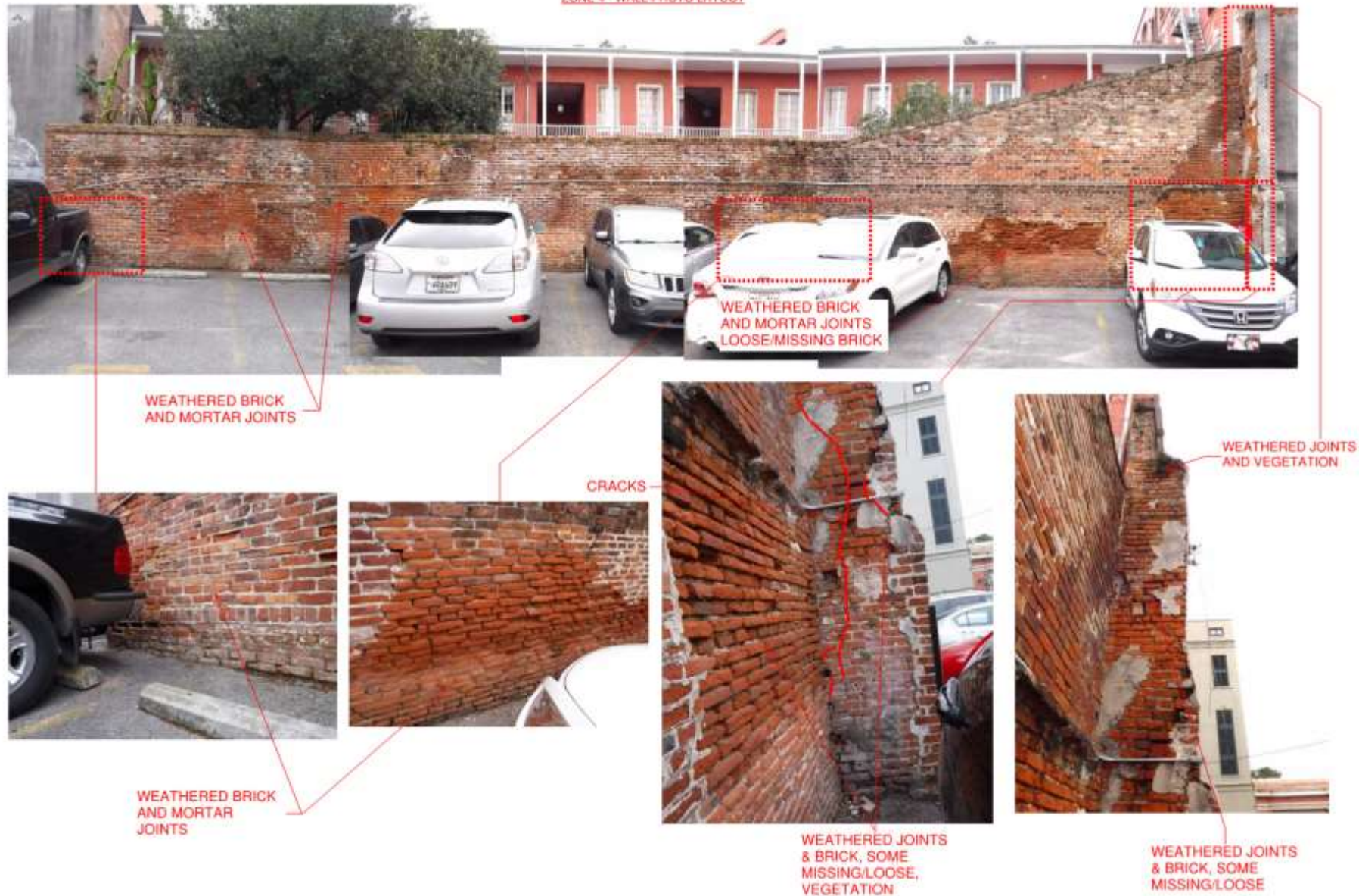


Photo #6-View of cracked section of southwest wall

522 Chartres



522 Chartres



522 Chartres



522 Chartres



522 Chartres – area 1



522 Chartres – area 1



522 Chartres – area 2



522 Chartres – area 2



522 Chartres – area 3A



522 Chartres – area 3B



522 Chartres – area 3



522 Chartres – area 4



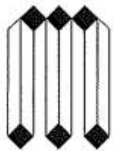
522 Chartres – area 4



522 Chartres – area 5



522 Chartres – area 5



MORPHY, MAKOFSKY, INC.
CONSULTING ENGINEERS
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Jamie L. Saxon
Jonathan A. Sofranko
H. Stephan Bernick
A. Toli Savvaides

September 12, 2017

Vieux Carré Commission
1300 Perdido Street, 7th Floor
New Orleans, LA 70112

Re: Brick Masonry Walls
Supreme Court Parking
520-522 Chartres Street
New Orleans, Louisiana
Selection of material test areas and visual analysis or materials

Dear V.C.C. Review Staff:

On Friday, September 8, 2017 Morphy, Makofsky, Inc. visited the parking lot courtyard wall in order to determine historic mortar and brick test locations. The test locations are indicated on the attached drawing. Selection of these test locations was based on areas that both appeared to be in a state of deterioration while requiring some rebuilding as part of the permit work.

In order to further assess existing mortar materials, MMI obtained mortar samples for visual analysis of sand color, texture, and compressibility. MMI conducted this sampling exercise as a preliminary aid only, for future reference when determining appropriate mortar appearance, and for general interpretation of existing mortar characteristics. Please note that the official determination of the selection of the project mortar and brick for structural purposes will be based on the reports by the testing lab.

In general, similarity between mortar samples with consideration of sand color and texture occurred within adjacent wall areas. For example, sample areas 1 and 2 contained a light tan fine sand, which was relatively soft. Sample areas 3A and 3B appeared to be composed of brownish sand with some shell fragments. Samples 4 and 5 appear almost identical, with tan sand and shell fragments. These samples were also relatively soft. It should be noted that sample 4 was taken from the area of eroded brick and mortar, as seen in the photos.

It is a priority to maintain testing costs within the Owner's budget limitations. Three test locations are indicated in an effort to determine an ideal historic mortar mix that may be used throughout the wall repair, while avoiding structural compromise of existing adjacent materials.

In response to your request, two mortar samples were received for petrographic examination and chemical analysis. The mortar samples were reportedly obtained from a fence at the above referenced project. An additional document was also supplied. The objectives of the analyses were to determine the hydrated lime and sand contents, evaluate the physical and mineralogical properties of the supplied mortar samples, and provide recommended compatible mortar mixtures based on the chemical analysis and petrographic examination.

Test Method

The mortar samples were analyzed according to the chemical and petrographic procedures described in ASTM C1324-15, "Standard Test Method for Examination and Analysis of Hardened Masonry Mortar." The samples were examined with a stereomicroscope to evaluate the physical properties of the mortar. Thin sections were prepared from epoxy-impregnated pieces and examined with a petrographic microscope to evaluate the mineralogy of the paste and sand. Air contents and hydrated lime to sand ratios were estimated by petrographic methods.

Sample Descriptions

The following mortar samples were received.

<u>Sample No.</u>	<u>Mass, g⁽¹⁾</u>	<u>Description</u>
1	91.09	Labeled #1
2	959.9	Labeled #2

⁽¹⁾ with bag

522 Chartres

VCC Architectural Committee

March 13, 2018



Chemical Analysis

The results of the hydrated lime and sand contents of the mortar samples by chemical analysis are presented in Table I.

Petrographic Examination

1. The mortar from Sample No. 1 consisted of fine powder and a few chunks composed of siliceous sand, hydrated lime, and red masonry brick fragments. Portland cement, fly ash, or any other cementitious materials were not detected in this mortar sample. The air content was not determined. The mortar sand in the sample was composed quartz. Gradation of the sand was No. 30 sieve to minus No. 200 sieve. The mortar sand was fairly well graded, properly shaped, and very hard.
2. The mortar from Sample No. 2 consisted of siliceous soil and very fine sand, and hydrated lime. Portland cement, fly ash, or any other cementitious materials were not detected in this mortar sample. The mortar was not air-entrained. The very fine sand was composed primarily of quartz, feldspars, mica, calcite, feldspar, clay, and hornblende. Gradation of the sand was minus No. 100 sieve.
3. The physical and mineralogical properties of the mortar from Sample Nos. 1 and 2 are presented in Table II.

Discussion and Conclusions

1. The results of the chemical analysis and petrographic examination for hydrated lime and sand, and hydrated lime to sand ratio of the mortar samples are summarized as follows.

<u>Sample No.</u>	<u>Portland Cement</u>	<u>Parts, by volume</u>		<u>Hydrated Lime:Sand Ratio</u>	
		<u>Hydrated Lime</u>	<u>Sand</u>	<u>Chemical Analysis</u>	<u>Petrographic Examination</u>
1	0.0	1.0	3.5	1:3.5	Not determined
2	0.0	1.0	1.1	1:1.1	1:2.0

2. The mortar from Sample No. 1 is atypical of historic or conventional mortar systems. Specifically, the powder from Sample No. 1 contained hydrated lime, siliceous sand, and brick fragments by petrographic examination. The reported chemical determination for sand content included both the brick fragments and the siliceous sand. The actual hydrated lime to sand ratio of just the mortar fraction could not be determined from the sample.
3. Sample No. 2 is also atypical of historic or conventional mortar systems. This sample was batched with a fine sandy soil and hydrated lime by petrographic examination which imparted the medium brown color to the supplied mortar. The presence of calcite particles in the sandy soil likely produced an erroneously low sand content by chemical analysis. In this case, the petrographic estimated hydrated lime to sand ratio of 1:2.0 is considered the more reliable of the two methods.
4. Compatible mortar mixes of the existing mortar from Sample Nos. 1 and 2 cannot be provided based on the findings of the petrographic examination and chemical analysis. It is recommended that a conventional mortar mixture (Type O for example) with pigment to match the existing mortar be used to provide a more durable, higher strength mortar system than is present in Sample Nos. 1 and 2.

Should any questions arise concerning the findings of this report, please contact the undersigned.

Respectfully submitted,
MICRO-CHEM LABORATORIES

Robert C. O'Neill, P.G.
Senior Petrographer



ALL ORDERS AND SHIPPING TAGS ARE TO CONTAIN THE FOLLOWING INFORMATION AND ARE NOT TO BE REPRODUCED OR COPIED. ALL SUCH ORDERS AND SHIPPING TAGS ARE TO BE SIGNED BY THE CUSTOMER PRIOR TO THE PREPARATION OF SUCH ORDERS. THIS STATEMENT, IF SUCH STATEMENT IS NOT SIGNED BY THE CUSTOMER, IS NOT VALID. IF THE CUSTOMER IS NOT SIGNED BY THE CUSTOMER, THE CUSTOMER IS NOT VALID.

HE IS CONFIDENTIAL WITH TODAY'S INFORMATION BUT SPECIAL TO HIS CITY IN QUALITY TIME AND OF THE LATEST INFORMATION IN THE AREA (END PAGE)

1. **THINGS TO REMEMBER:** ALL INTERIOR FINISHES ARE REQUIRED TO BE DONE TO ACCOMPLISH WORK THINGS ARE REQUIRED.

1. FORM SHALL BE COMPLETED BY A CONTRACTOR WHO IS FAMILIARIZED WITH ACTUAL NAUGHT PLANT METHODS.
2. APPLY ACTUAL MATERIAL IN ACCORDANCE WITH INSTRUCTIONS.

3. MAINTAIN RECORDS OF ALL INFORMATION AS TO THE PROGRESS OF THE INTERNAL SECURITY, COMMUNIST, AND LIAISON OF THE INTERNAL SECURITY UNIT.
4. USE THE INTERNAL SECURITY UNIT, MAINTAINING THE INFORMATION OF THE INTERNAL SECURITY UNIT.

1. Clean all with low-pressure method to determine colour of untreated wood.

4. *Staph. aureus* strain isolated with 100% yield

- a. 1 TAP (TAPPING) PRODUCE CONCEPT
- b. 2 TAP (TAP) (TAP)
- c. 3 TAP (TAP) (TAP)

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(C) **WARRANTS.**
1. **SEARCH WARRANT AND SEIZURE WARRANT.**

- A PARTY CARD
- A POLYMER TO HAVE THE SHAPE OF "C" OR "U" CROSS-SECTION
PARTS OR SUBASSEMBLY MANUFACTURED FOR USE
WITH PORTLAND CEMENT PLASTER AND CHALKS.
- VARIOUS FORMS OF MESH OR FABRIC - IN REINFORCEMENT

- * 1 PART SLOWLY TO FORM A VISCID MASS
- * 2 PARTS LAR
- * 6 PARTS OIL
- * ENOUGH POTABLE WATER TO FORM A WORKABLE MUD

CONFIDENTIAL

Keywords: child sexual abuse; disclosure; social support; self-esteem

[illegible]

• • •

Committee

© 2004 Blackwell Publishing Ltd *Journal of Internal Medicine* 255: 105–112

(FOR REFERENCE)

© 2004 Blackwell Publishing Ltd *Journal of Internal Medicine* 255: 105–112

CRACK REPAIR

CRACK REPAIR AT CORNER

10

Checked

DATE: 10/11/11
BY: [illegible]
[illegible]

DATE

1 of 1

5, 201



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Janie L. Saxon
Jonathan A. Sofranko
H. Stephan Bernick

February 26, 2018

Ms. Erin Vogt
Vieux Carré Commission
1300 Perdido Street, 7th Floor
New Orleans, LA 70112

Re: Brick Masonry Walls
Supreme Court Parking
520-522 Chartres Street
New Orleans, Louisiana
Proposed Alternative to Bollard Installation

Dear Ms. Vogt:

Morphy, Makofsky, Inc. (MMI) met with some of the partners of Supreme Court Parking and the manager of Premium Parking (lot operator) to discuss the proposed bollard installation in front of the 520-522 Chartres Street wall that is scheduled for repair. The partnership has expressed concern over the installation of the bollards in such close proximity to the existing wall foundation. We agree that the bollard installation will be problematic, due to the probable existence of a corbelled wall footing below grade.

As an alternative to bollard installation, the partnership would like to propose that all parking spots in front of the wall be reserved for compact vehicles, with replacement of broken/missing wheel stops. In addition to this requirement, only forward-facing parking will be permitted. It was noted that most vehicular wall damage has occurred due to trailer hitch impact when trucks park in a reverse position. It was also noted that the rear-bumper overhang of these large vehicles exceeds that of the front bumper, making wheel stops less effective when a vehicle is parked in reverse.

Premium Parking sees no potential operational problem with this parking spot conversion along the wall, and will provide signage and enforcement of fines for these spots should an oversize vehicle park in them, or if a vehicle is parked in reverse.

We believe that this alternative is a feasible solution that would protect the integrity of the wall footing. Please let us know if the Vieux Carré Commission would consider this as an alternative to bollard installation.

In the meantime, feel free to contact us should you have any questions or concerns.

Sincerely,

MORPHY, MAKOFSKY, INC.


Gregory J. Eckert

GJE:abm\2013\corres\13-173-1



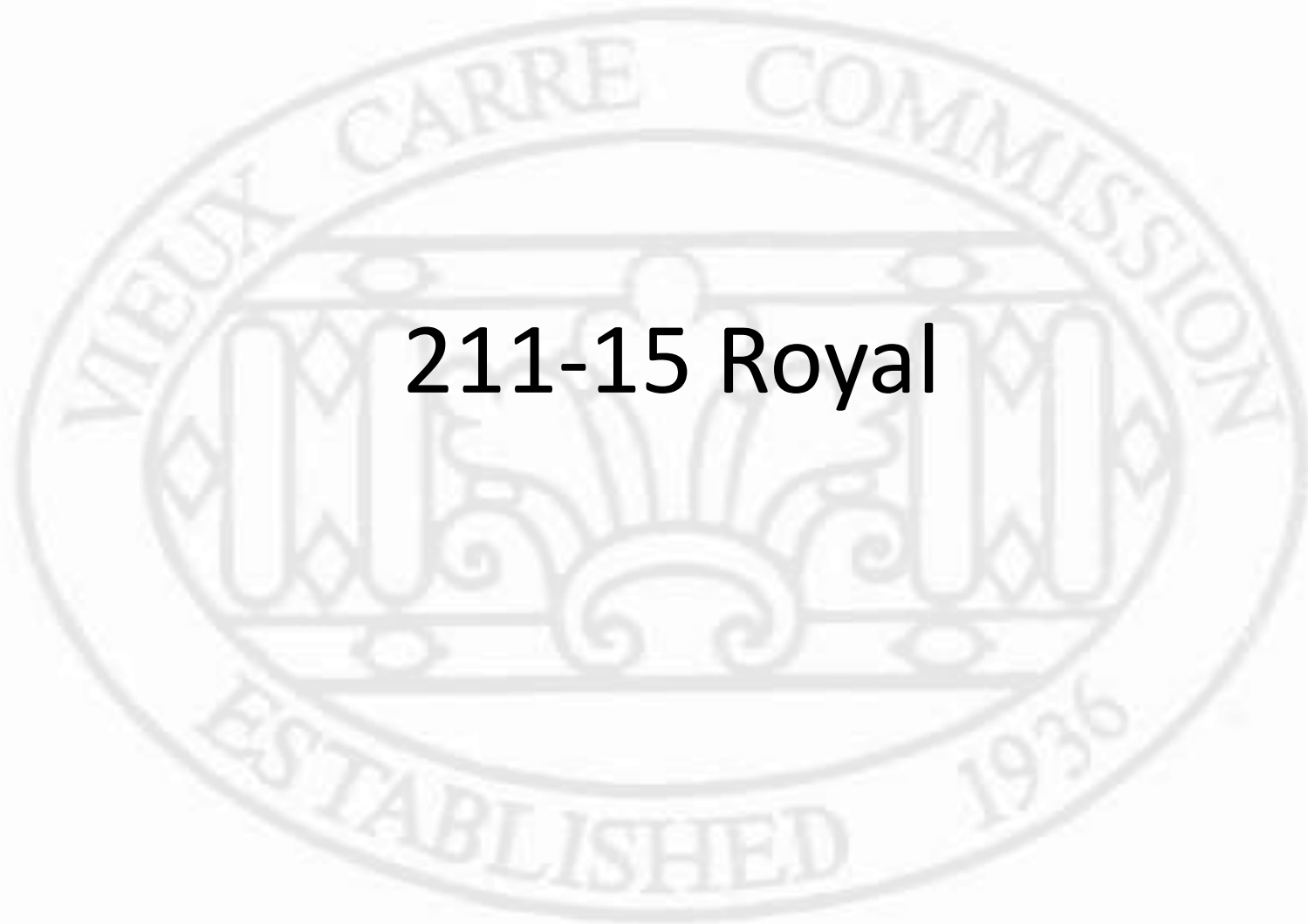
522 Chartres

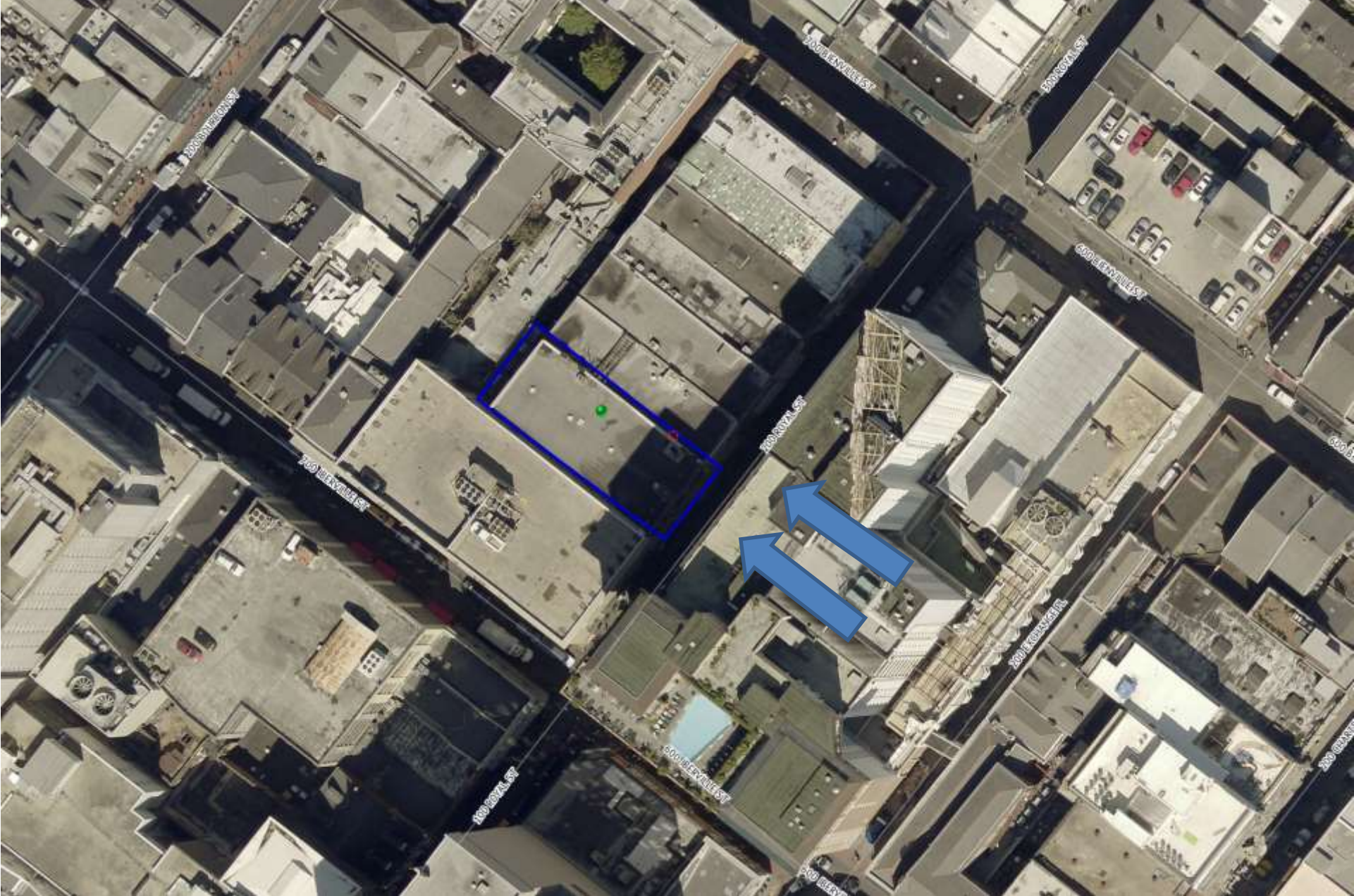
VCC Architectural Committee

March 13, 2018



211-15 Royal



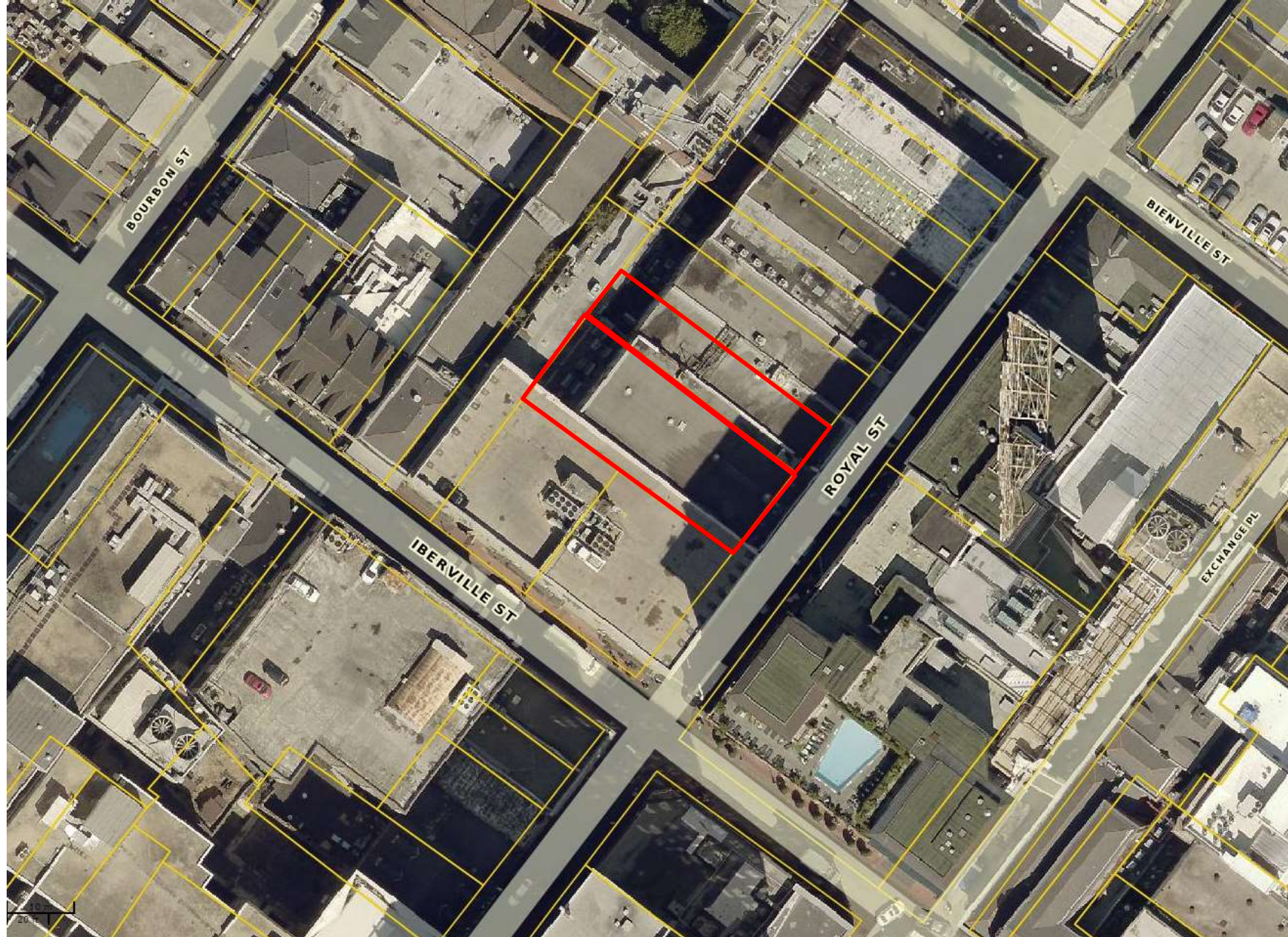


211-15 & 217-19 Royal

VCC Architectural Committee

March 13, 2018





211-15 & 217-19 Royal

VCC Architectural Committee

March 13, 2018





211-15 & 217-19 Royal

VCC Architectural Committee

March 13, 2018





211-15 & 217-19 Royal

VCC Architectural Committee

March 13, 2018





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VCC Architectural Committee

March 13, 2018





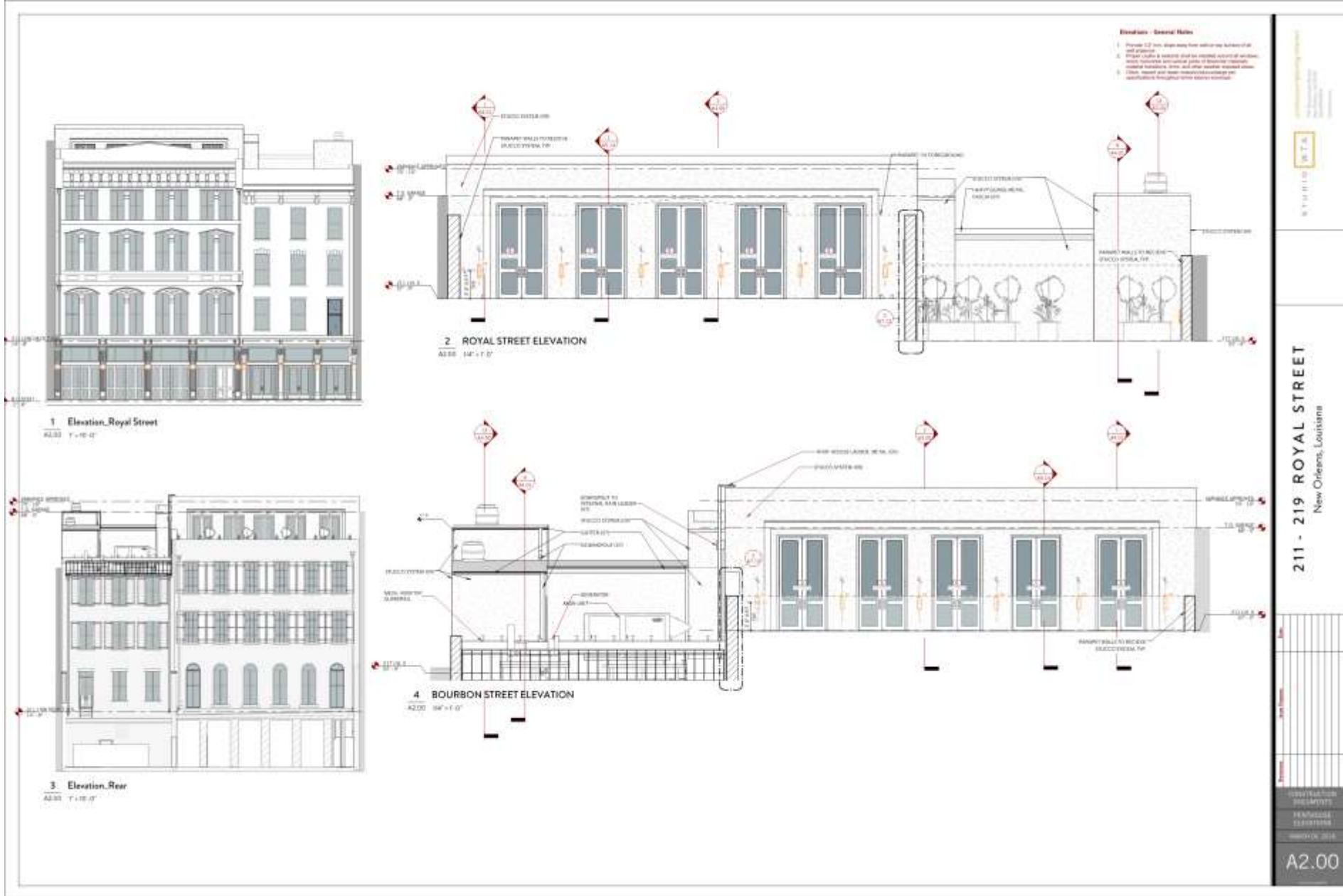
211-15 & 217-19 Royal

VCC Architectural Committee

March 13, 2018





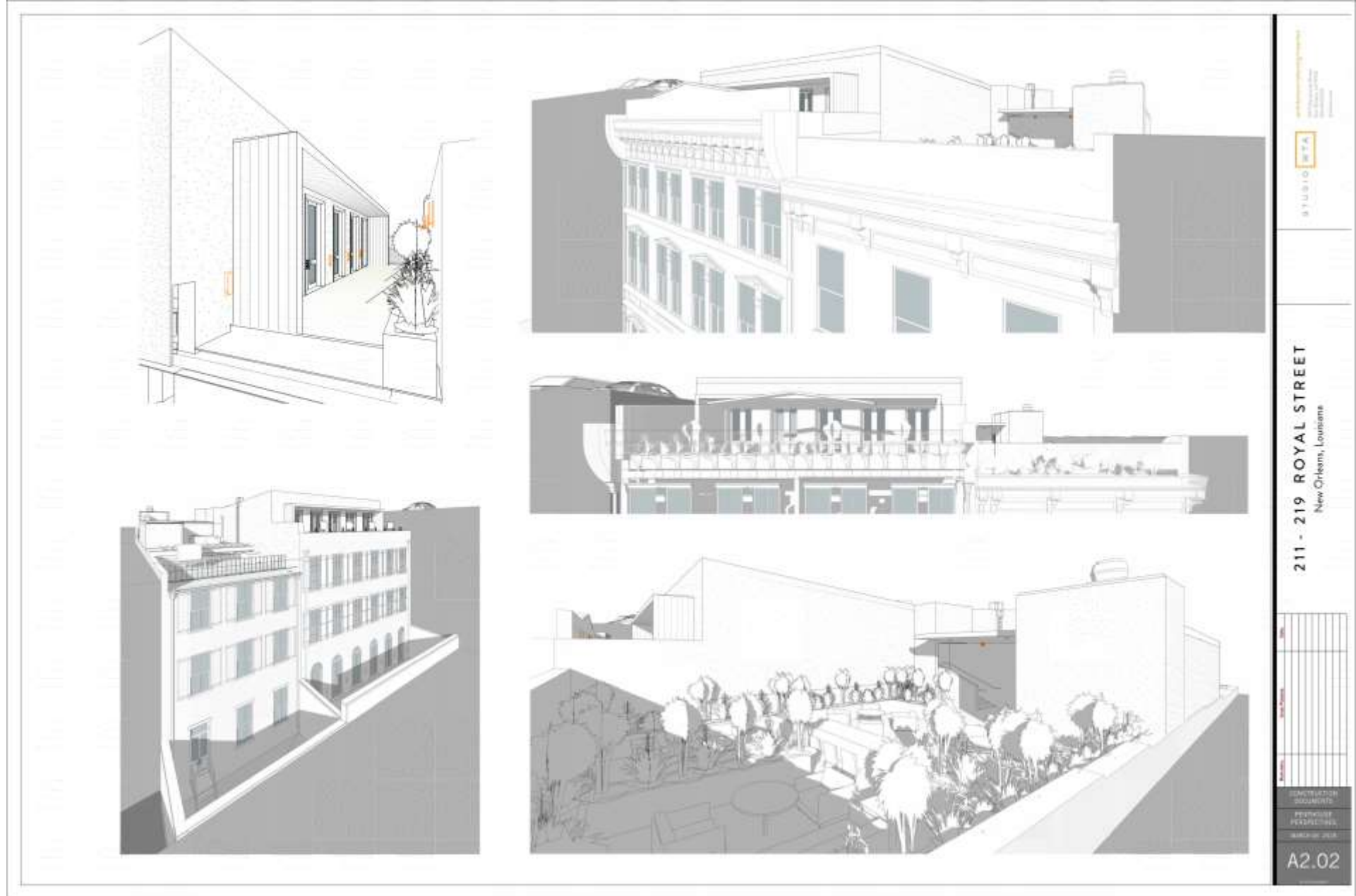


211-15 & 217-19 Royal

VCC Architectural Committee

March 13, 2018



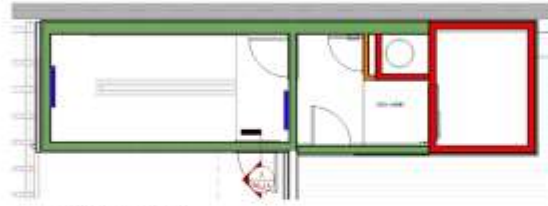


211-15 & 217-19 Royal

VCC Architectural Committee

March 13, 2018

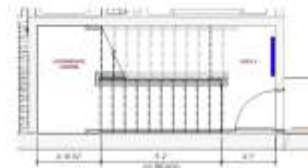




2 STAIR 3 LVL 5.0 PLAN
A4.01 1/4" x 1'-0"



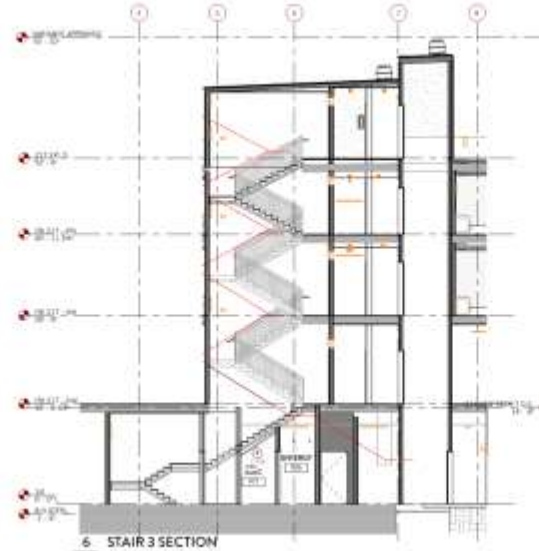
3 STAIR 1 LVL 5.0 PLAN
A4.01 1/4" x 1'-0"



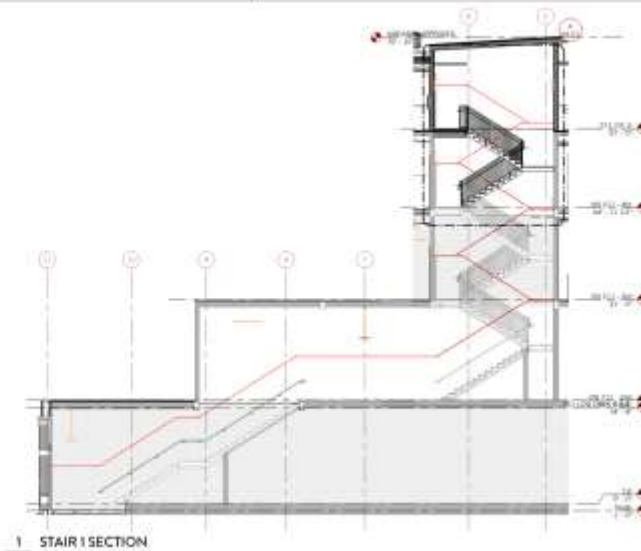
5 STAIR 1 LVL 4.0 PLAN
A4.01 1/4" x 1'-0"



4 4.0 - 5.0
A4.01 1/4" x 1'-0"



6 STAIR 3 SECTION
A4.01 1/4" x 1'-0"



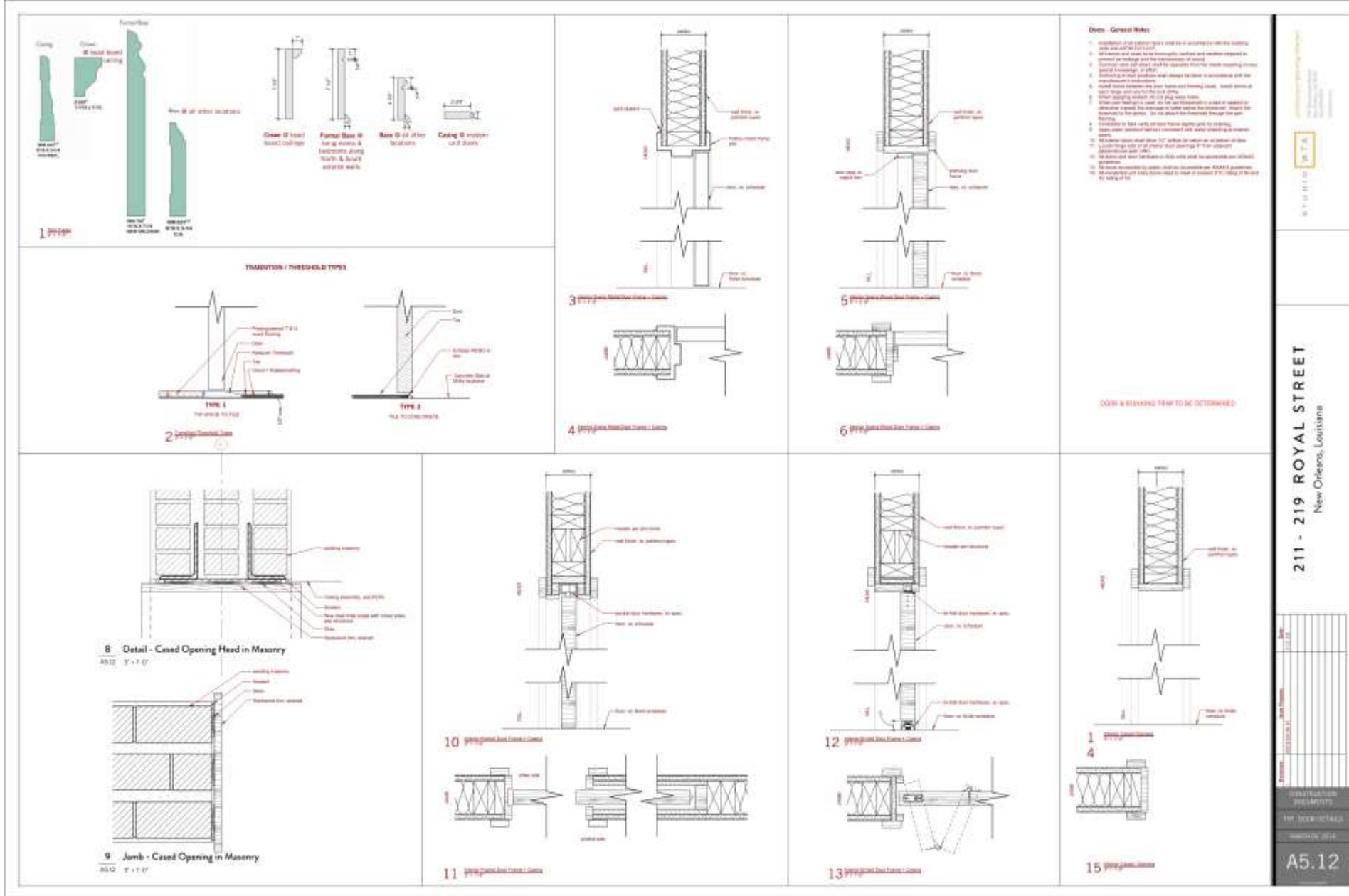
1 STAIR 1 SECTION
A4.01 1/4" x 1'-0"

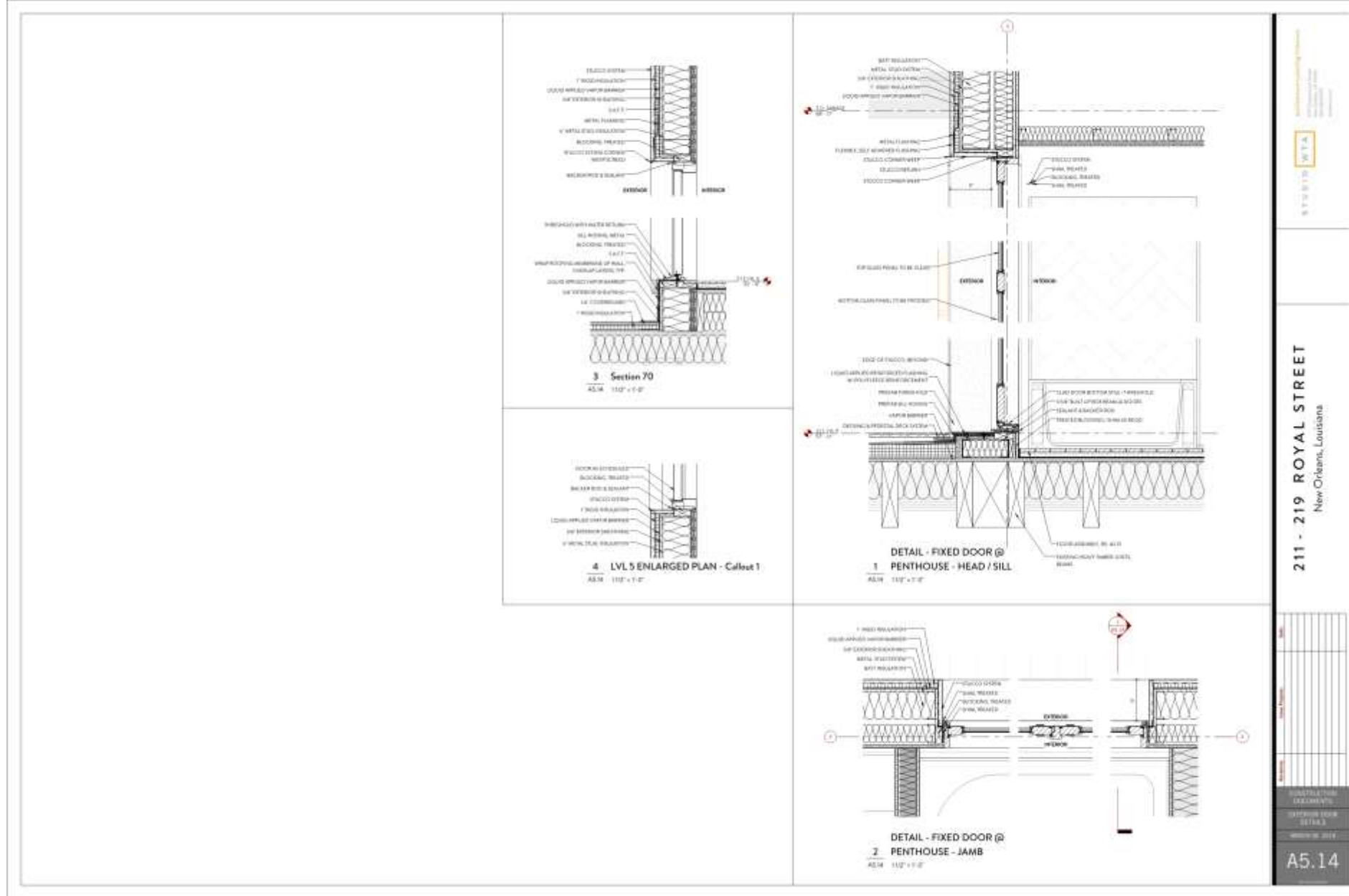
Stair - General Notes

1. Staircases are shown permitted and do not require additional permits or approvals.
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211 - 219 ROYAL STREET
New Orleans, Louisiana

A4.01



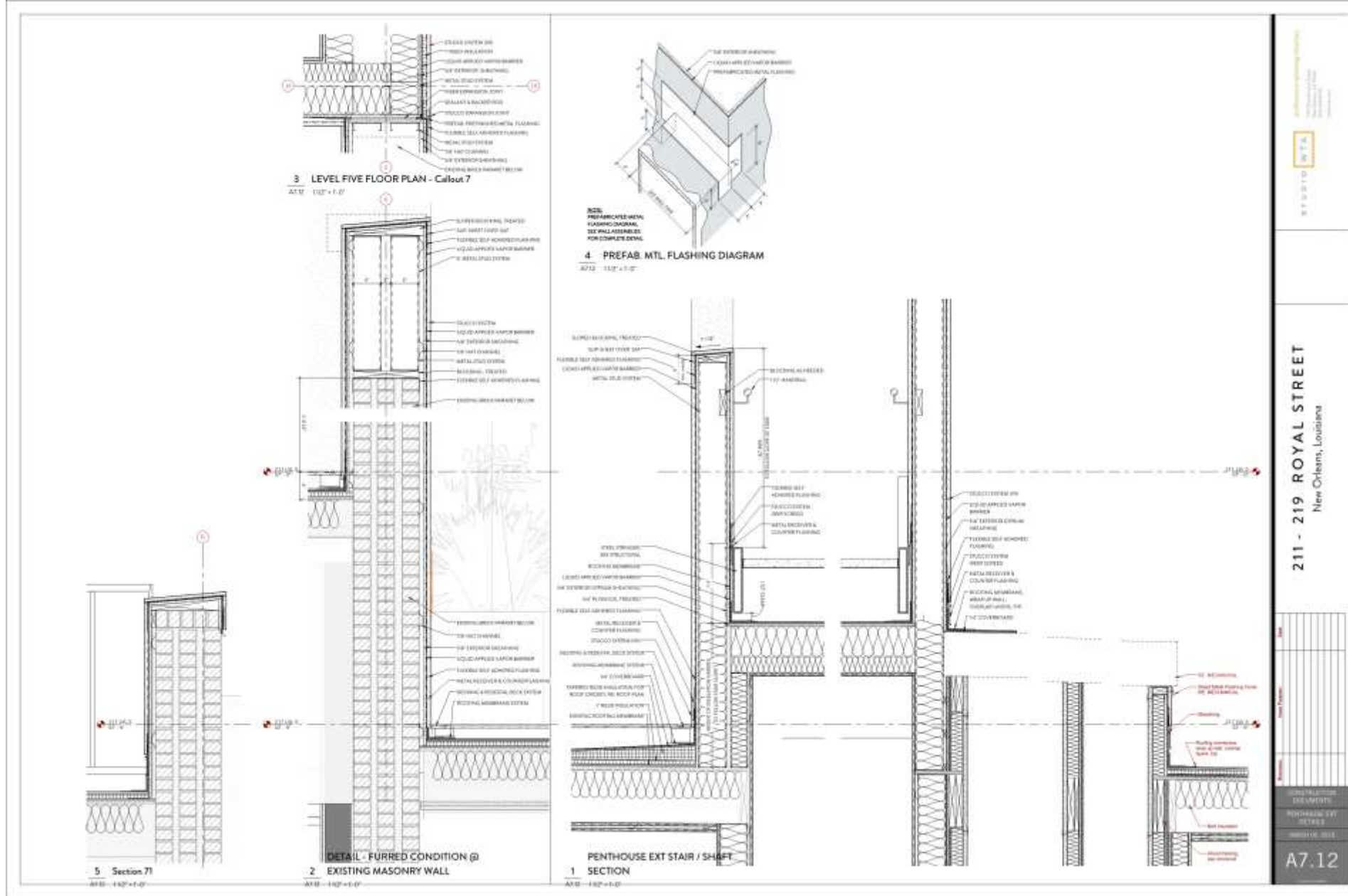


211-15 & 217-19 Royal

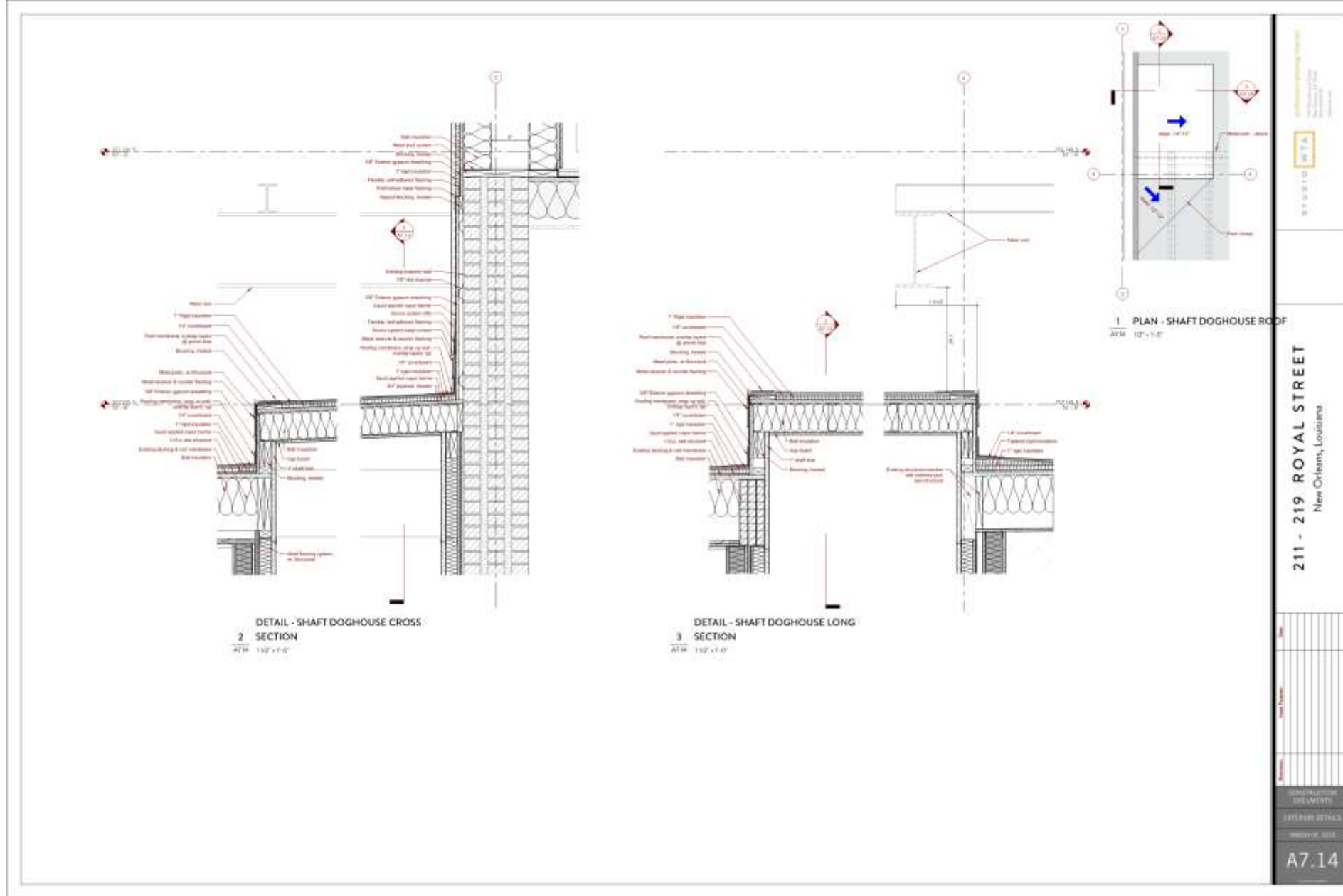
VCC Architectural Committee

March 13, 2018









211-15 & 217-19 Royal

VCC Architectural Committee

March 13, 2018



828 Toulouse



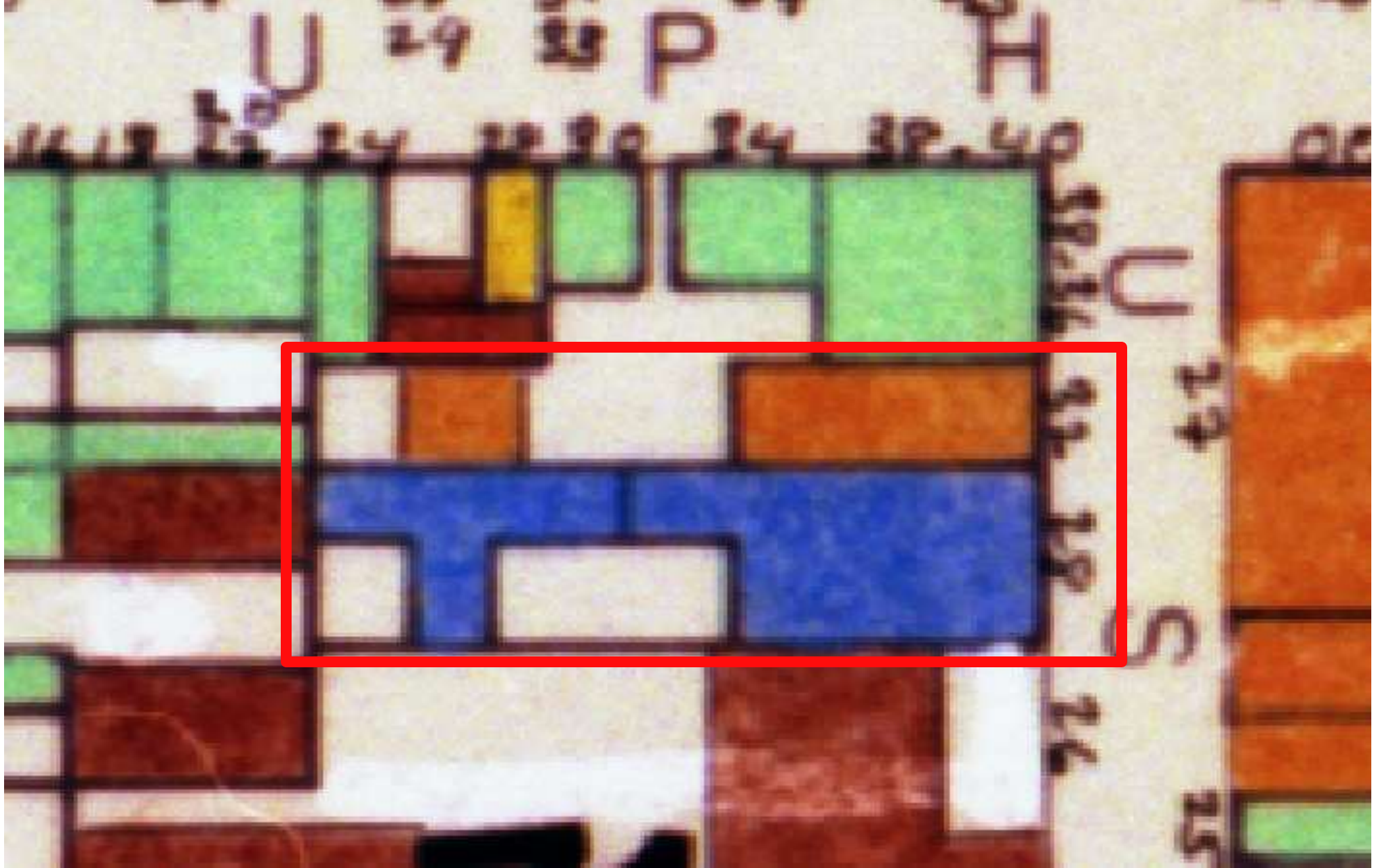


828 Toulouse

VCC Architectural Committee

March 13, 2018





828 Toulouse

VCC Architectural Committee

March 13, 2018





828 Toulouse



828 Toulouse





828 Toulouse

VCC Architectural Committee

March 13, 2018





828 Toulouse

VCC Architectural Committee

March 13, 2018





828 Toulouse – Toulouse elevation of 832 rear building
VCC Architectural Committee

March 13, 2018





828 Toulouse – Example of stair through gallery arrangement
VCC Architectural Committee

March 13, 2018





828 Toulouse – Example of stair through gallery arrangement

VCC Architectural Committee

March 13, 2018





828 Toulouse – Courtyard infill of 832 rear building
VCC Architectural Committee

March 13, 2018





828 Toulouse – Courtyard infill of 832 rear building
VCC Architectural Committee

March 13, 2018





828 Toulouse – Proposed mechanical location for 832 rear building
VCC Architectural Committee

March 13, 2018





828 Toulouse – Proposed mechanical location for 832 rear building

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – Existing “breezeway”

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – Existing “breezeway”

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – frame without millwork

VCC Architectural Committee

March 13, 2018





PICTURE FROM MIDDLE COURT YARD
828 TOULOUSE ST

828 Toulouse – 828 rear building – May 1964

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – “Covered Entry” space

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – “Covered Entry” space

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – Courtyard Infill space
VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – Courtyard Infill space
VCC Architectural Committee

March 13, 2018



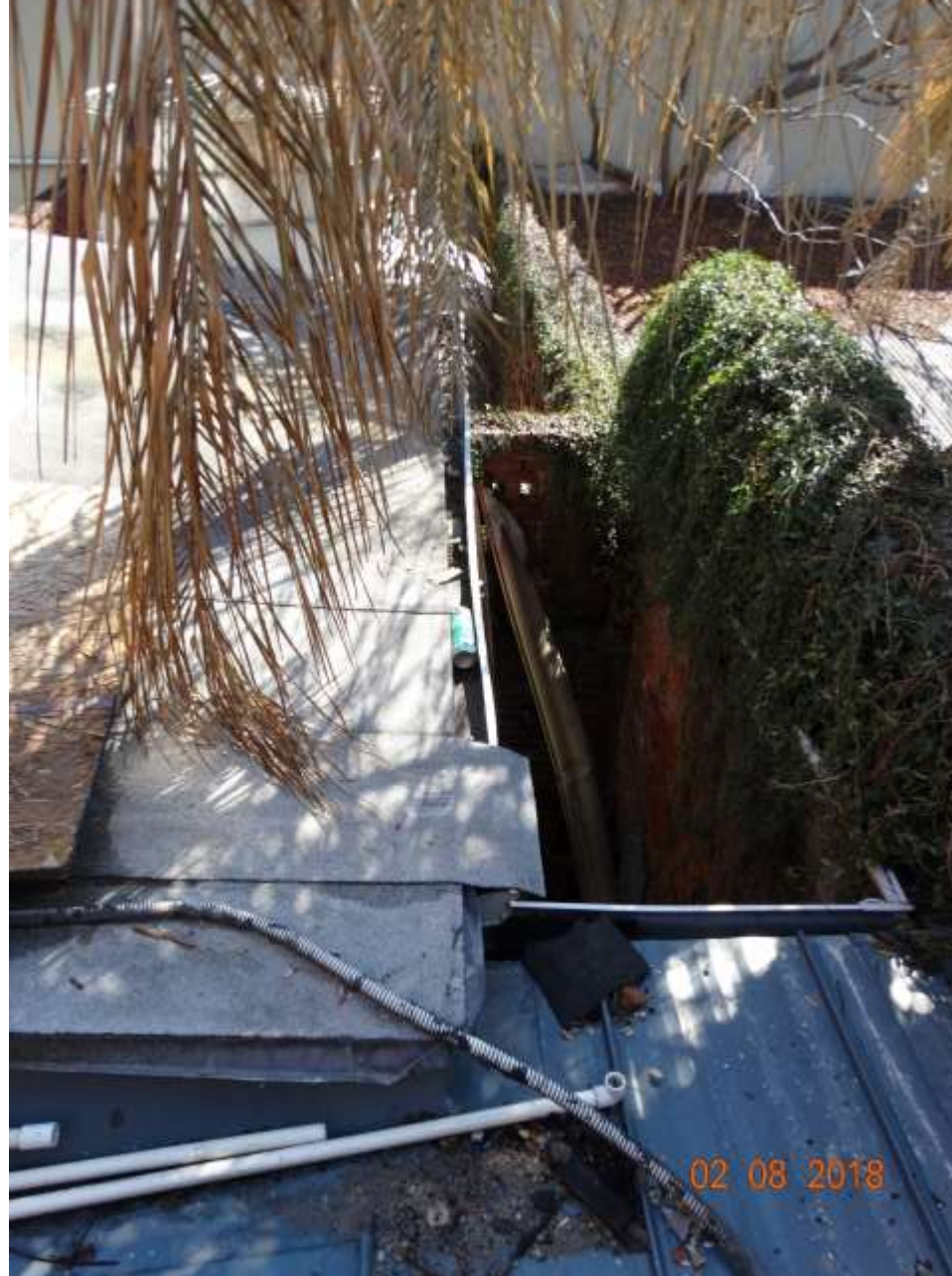


828 Toulouse – 828 rear building – Above Courtyard Infill space

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – Above Courtyard Infill space

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – Above Courtyard Infill space

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – Above Courtyard Infill space

VCC Architectural Committee

March 13, 2018





828 Toulouse – 828 rear building – Above Courtyard Infill space

VCC Architectural Committee

March 13, 2018





PICTURE FROM REAR COURT YARD
828 TOULOUSE

828 Toulouse – 828 rear building – May 1964

VCC Architectural Committee

March 13, 2018

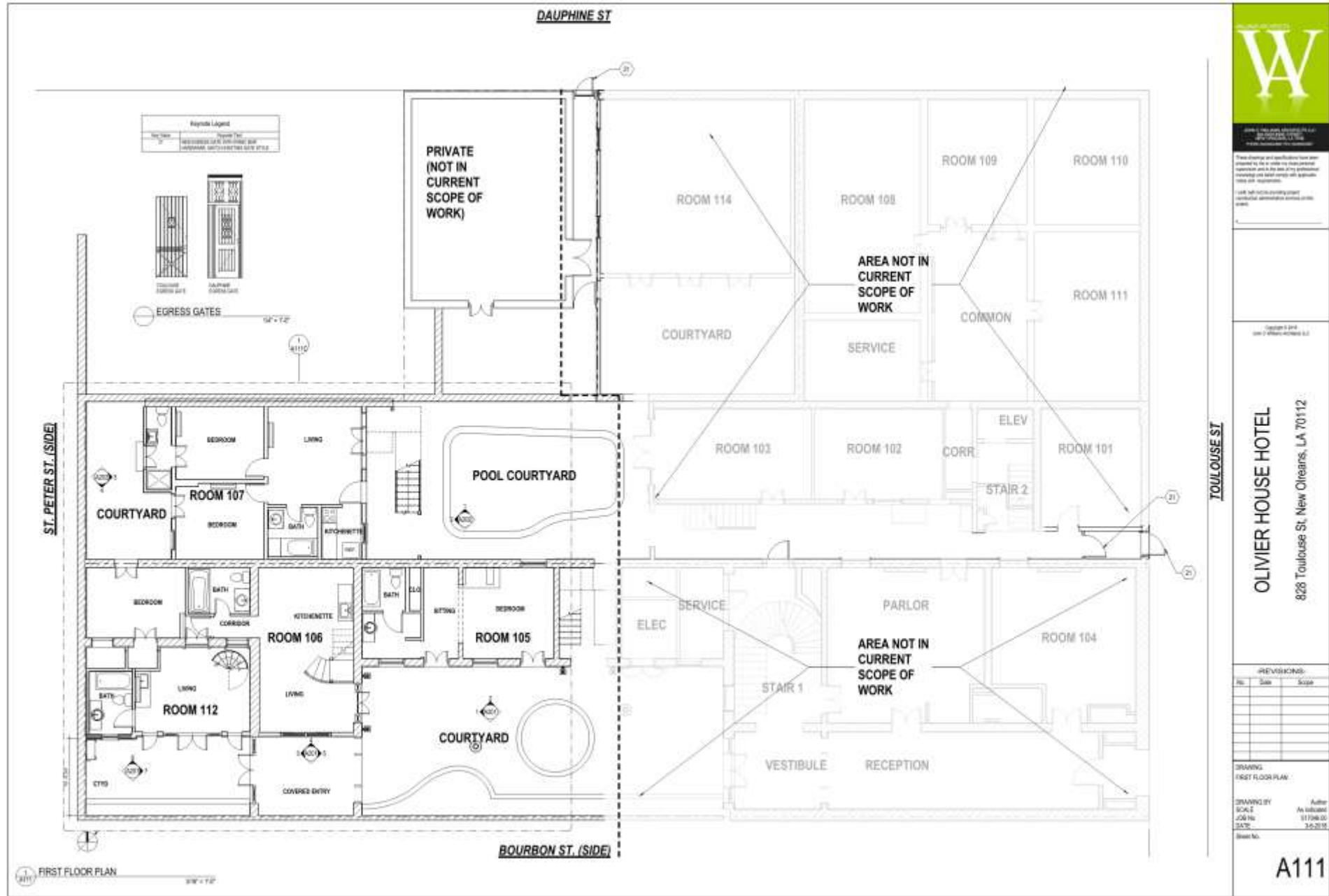


OPEN SPACE DIAGRAM

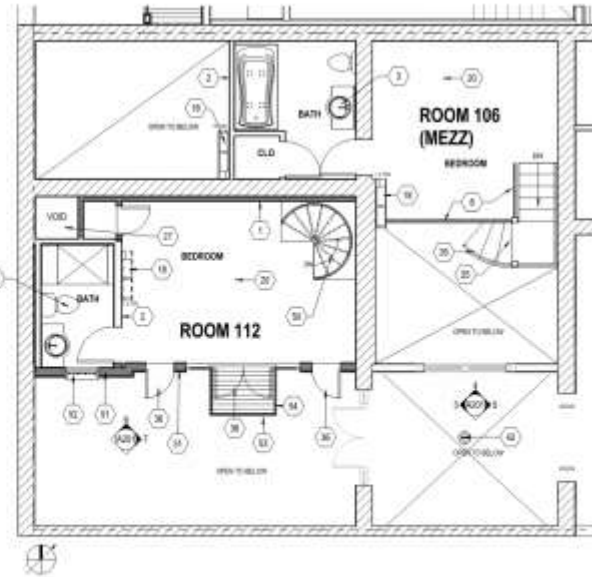
Scale: 1/8" = 1'-0"

Rooms and Areas shown in the diagram:

- EXISTING OPEN SPACE: 18 SF
- EXISTING BALCONY: 125 SF
- NEWLY CREATED OPEN SPACE: 100 SF
- EXISTING BALCONY ARCHIVE: 37 SF
- BUILDING: 644 SF
- EXISTING OPEN SPACE: 531 SF
- EXISTING BALCONY: 125 SF
- NEW BALCONY: 49 SF
- EXISTING OPEN SPACE: 572 SF
- EXISTING BALCONY: 41 SF
- EXISTING BALCONY: 30 SF
- BUILDING: 9813 SF
- EXISTING OPEN SPACE: 43 SF
- NEWLY CREATED OPEN SPACE: 204 SF
- EXISTING BALCONY: 344 SF
- EXISTING OPEN SPACE: 679 SF
- BUILDING: 712 SF
- BUILDING: 2002 SF
- BUILDING: 1479 SF
- BUILDING: 9813 SF



Keywords Legend	
Key Code	Meaning
20	HAIR LOSS MAY BE LOSS THINNING IN EVERYDAYS DRESSING
21	HAIR LOSS DUE TO STRESS
22	HAIR LOSS DUE TO TREATMENT
23	HAIR LOSS DUE TO CHEMICALS
24	HAIR LOSS DUE TO MEDICATIONS
25	HAIR LOSS DUE TO NUTRITIONAL DEFICIENCY
26	HAIR LOSS DUE TO HORMONAL IMBALANCE
27	HAIR LOSS DUE TO AUTOIMMUNE DISEASE
28	HAIR LOSS DUE TO INFECTION
29	HAIR LOSS DUE TO TRAUMA
30	HAIR LOSS DUE TO AGING
31	HAIR LOSS DUE TO GENETICS
32	HAIR LOSS DUE TO SCALP DISEASE
33	HAIR LOSS DUE TO EXCESSIVE STYLING
34	HAIR LOSS DUE TO EXCESSIVE WASHING
35	HAIR LOSS DUE TO EXCESSIVE DYEING
36	HAIR LOSS DUE TO EXCESSIVE BLEACHING
37	HAIR LOSS DUE TO EXCESSIVE PERM
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98	HAIR LOSS DUE TO EXCESSIVE STYLING
99	HAIR LOSS DUE TO EXCESSIVE STYLING



2 FIRST FLOOR MEZZANINE PLAN - AREA C
4/1/10 1/4" = 1'



1990-1991, 1992-1993, 1994-1995, 1996-1997, 1998-1999, 2000-2001, 2002-2003, 2004-2005, 2006-2007, 2008-2009, 2010-2011, 2012-2013, 2014-2015, 2016-2017, 2018-2019, 2020-2021, 2022-2023, 2024-2025, 2026-2027, 2028-2029, 2030-2031, 2032-2033, 2034-2035, 2036-2037, 2038-2039, 2040-2041, 2042-2043, 2044-2045, 2046-2047, 2048-2049, 2050-2051, 2052-2053, 2054-2055, 2056-2057, 2058-2059, 2060-2061, 2062-2063, 2064-2065, 2066-2067, 2068-2069, 2070-2071, 2072-2073, 2074-2075, 2076-2077, 2078-2079, 2080-2081, 2082-2083, 2084-2085, 2086-2087, 2088-2089, 2090-2091, 2092-2093, 2094-2095, 2096-2097, 2098-2099, 2100-2101, 2102-2103, 2104-2105, 2106-2107, 2108-2109, 2110-2111, 2112-2113, 2114-2115, 2116-2117, 2118-2119, 2120-2121, 2122-2123, 2124-2125, 2126-2127, 2128-2129, 2130-2131, 2132-2133, 2134-2135, 2136-2137, 2138-2139, 2140-2141, 2142-2143, 2144-2145, 2146-2147, 2148-2149, 2150-2151, 2152-2153, 2154-2155, 2156-2157, 2158-2159, 2160-2161, 2162-2163, 2164-2165, 2166-2167, 2168-2169, 2170-2171, 2172-2173, 2174-2175, 2176-2177, 2178-2179, 2180-2181, 2182-2183, 2184-2185, 2186-2187, 2188-2189, 2190-2191, 2192-2193, 2194-2195, 2196-2197, 2198-2199, 2200-2201, 2202-2203, 2204-2205, 2206-2207, 2208-2209, 2210-2211, 2212-2213, 2214-2215, 2216-2217, 2218-2219, 2220-2221, 2222-2223, 2224-2225, 2226-2227, 2228-2229, 2230-2231, 2232-2233, 2234-2235, 2236-2237, 2238-2239, 2240-2241, 2242-2243, 2244-2245, 2246-2247, 2248-2249, 2250-2251, 2252-2253, 2254-2255, 2256-2257, 2258-2259, 2260-2261, 2262-2263, 2264-2265, 2266-2267, 2268-2269, 2270-2271, 2272-2273, 2274-2275, 2276-2277, 2278-2279, 2280-2281, 2282-2283, 2284-2285, 2286-2287, 2288-2289, 2290-2291, 2292-2293, 2294-2295, 2296-2297, 2298-2299, 2300-2301, 2302-2303, 2304-2305, 2306-2307, 2308-2309, 2310-2311, 2312-2313, 2314-2315, 2316-2317, 2318-2319, 2320-2321, 2322-2323, 2324-2325, 2326-2327, 2328-2329, 2330-2331, 2332-2333, 2334-2335, 2336-2337, 2338-2339, 2340-2341, 2342-2343, 2344-2345, 2346-2347, 2348-2349, 2350-2351, 2352-2353, 2354-2355, 2356-2357, 2358-2359, 2360-2361, 2362-2363, 2364-2365, 2366-2367, 2368-2369, 2370-2371, 2372-2373, 2374-2375, 2376-2377, 2378-2379, 2380-2381, 2382-2383, 2384-2385, 2386-2387, 2388-2389, 2390-2391, 2392-2393, 2394-2395, 2396-2397, 2398-2399, 2400-2401, 2402-2403, 2404-2405, 2406-2407, 2408-2409, 2410-2411, 2412-2413, 2414-2415, 2416-2417, 2418-2419, 2420-2421, 2422-2423, 2424-2425, 2426-2427, 2428-2429, 2430-2431, 2432-2433, 2434-2435, 2436-2437, 2438-2439, 2440-2441, 2442-2443, 2444-2445, 2446-2447, 2448-2449, 2450-2451, 2452-2453, 2454-2455, 2456-2457, 2458-2459, 2460-2461, 2462-2463, 2464-2465, 2466-2467, 2468-2469, 2470-2471, 2472-2473, 2474-2475, 2476-2477, 2478-2479, 2480-2481, 2482-2483, 2484-2485, 2486-2487, 2488-2489, 2490-2491, 2492-2493, 2494-2495, 2496-2497, 2498-2499, 2500-2501, 2502-2503, 2504-2505, 2506-2507, 2508-2509, 2510-2511, 2512-2513, 2514-2515, 2516-2517, 2518-2519, 2520-2521, 2522-2523, 2524-2525, 2526-2527, 2528-2529, 2530-2531, 2532-2533, 2534-2535, 2536-2537, 2538-2539, 2540-2541, 2542-2543, 2544-2545, 2546-2547, 2548-2549, 2550-2551, 2552-2553, 2554-2555, 2556-2557, 2558-2559, 2560-2561, 2562-2563, 2564-2565, 2566-2567, 2568-2569, 2570-2571, 2572-2573, 2574-2575, 2576-2577, 2578-2579, 2580-2581, 2582-2583, 2584-2585, 2586-2587, 2588-2589, 2590-2591, 2592-2593, 2594-2595, 2596-2597, 2598-2599, 2600-2601, 2602-2603, 2604-2605, 2606-2607, 2608-2609, 2610-2611, 2612-2613, 2614-2615, 2616-2617, 2618-2619, 2620-2621, 2622-2623, 2624-2625, 2626-2627, 2628-2629, 2630-2631, 2632-2633, 2634-2635, 2636-2637, 2638-2639, 2640-2641, 2642-2643, 2644-2645, 2646-2647, 2648-2649, 2650-2651, 2652-2653, 2654-2655, 2656-2657, 2658-2659, 2660-2661, 2662-2663, 2664-2665, 2666-2667, 2668-2669, 2670-2671, 2672-2673, 2674-2675, 2676-2677, 2678-2679, 2680-2681, 2682-2683, 2684-2685, 2686-2687, 2688-2689, 2690-2691, 2692-2693, 2694-2695, 2696-2697, 2698-2699, 2700-2701, 2702-2703, 2704-2705, 2706-2707, 2708-2709, 2710-2711, 2712-2713, 2714-2715, 2716-2717, 2718-2719, 2720-2721, 2722-2723, 2724-2725, 2726-2727, 2728-2729, 2730-2731, 2732-2733,

These findings are significant because they suggest that the use of these general guidelines can be used to help you understand the importance of the relationship with your partner and the importance of the relationship.

Year	Number of people (millions)
1980	18
1985	20
1990	22
1995	24
2000	26
2005	28
2010	30
2015	32
2020	38

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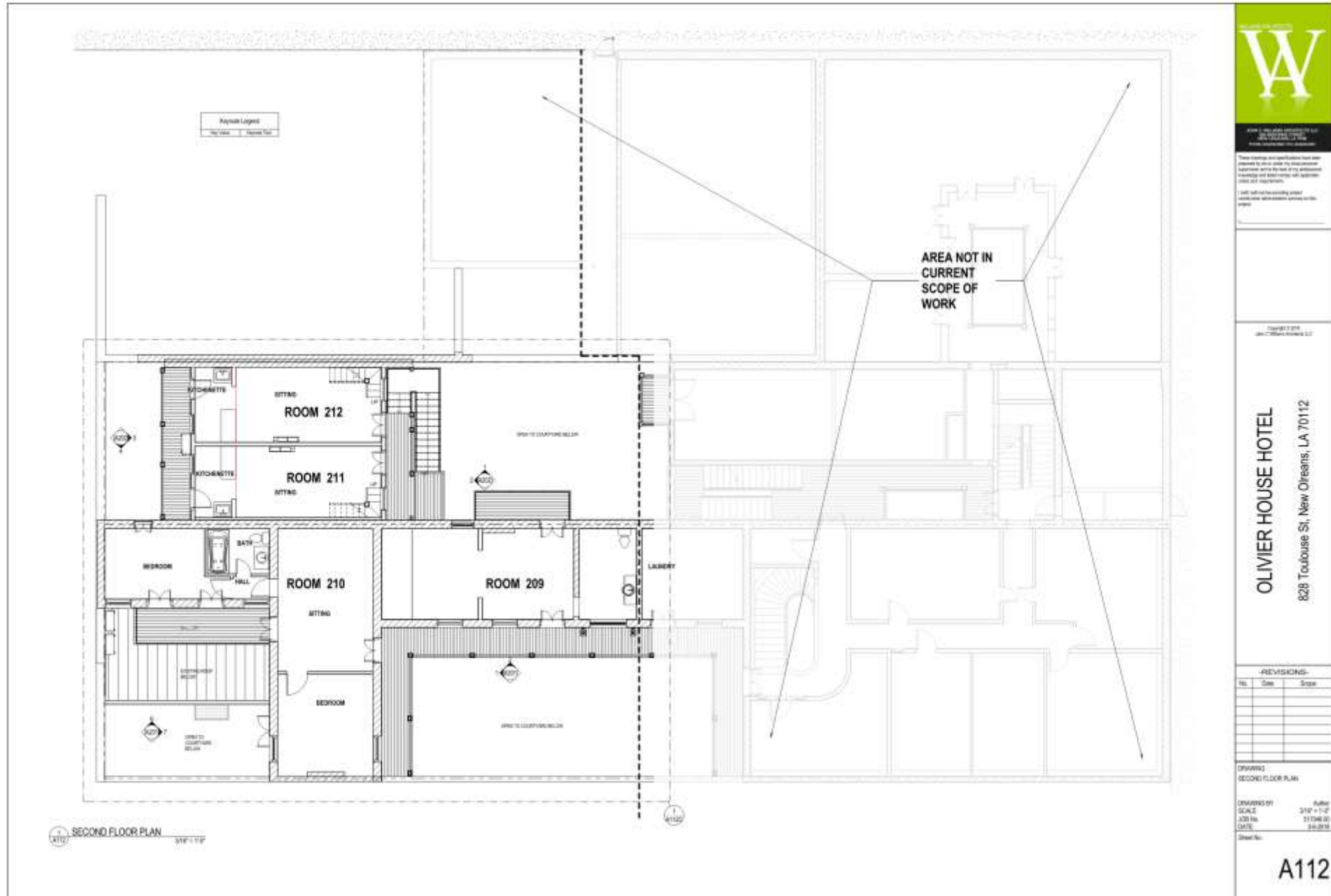
OLIVIER HOUSE HOTEL
828 Toulouse St., New Orleans, LA 70111

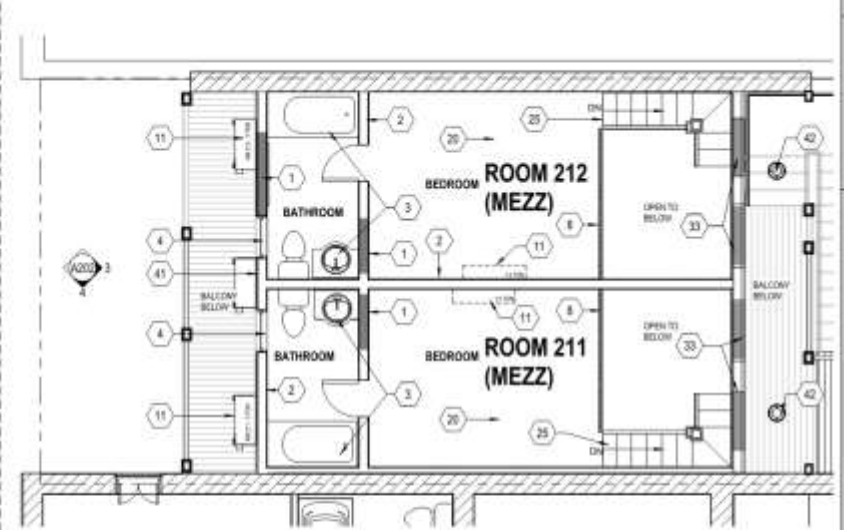
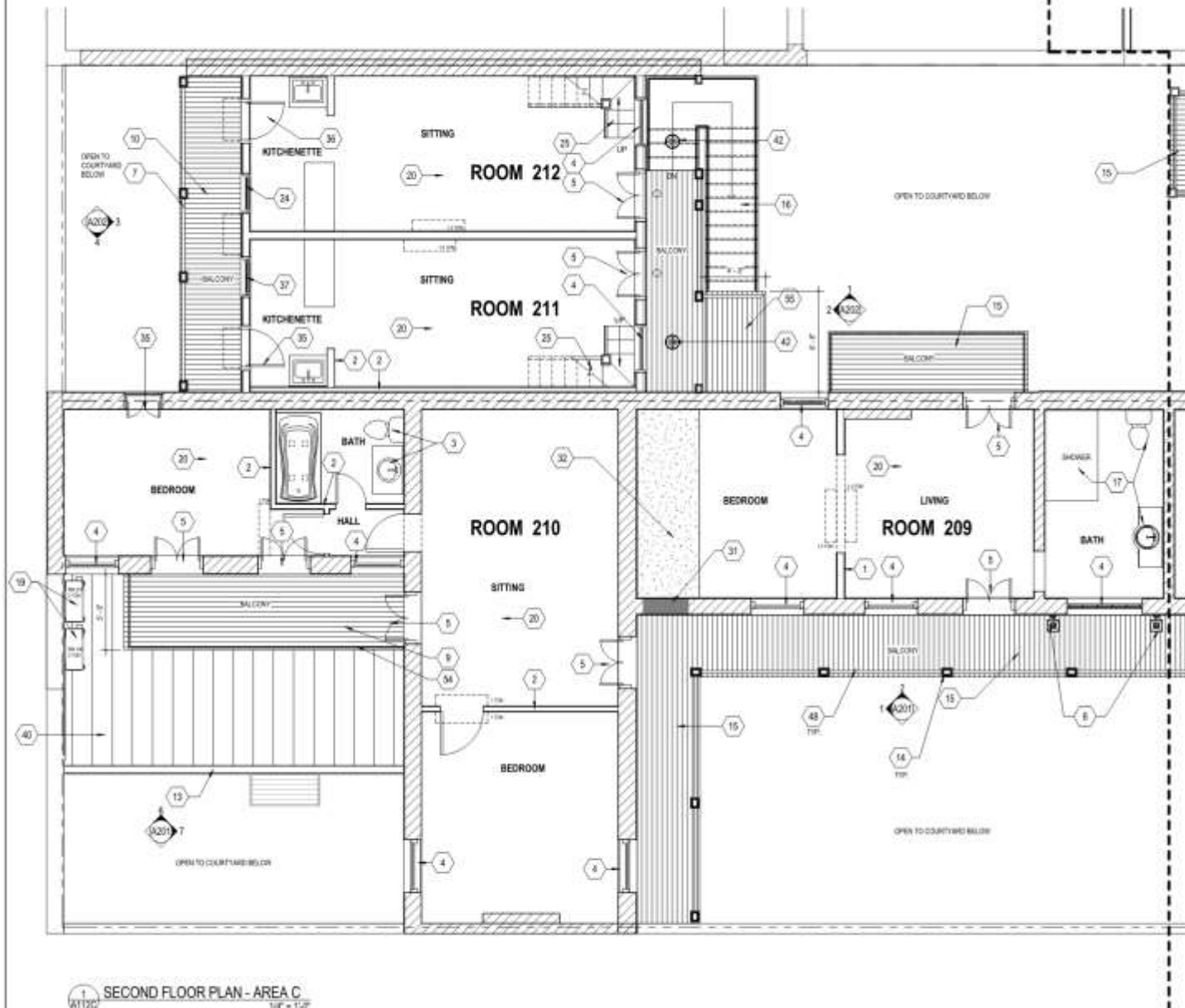
-REVISIONS-		
No.	Date	Scope

DRAWING	
FIRST FLOOR PLAN - AREA C	
DRAWING BY	Author
SCALE	1/4" = 1'-0"
JOB No.	517048.00
DATE	2-6-2013

A111C



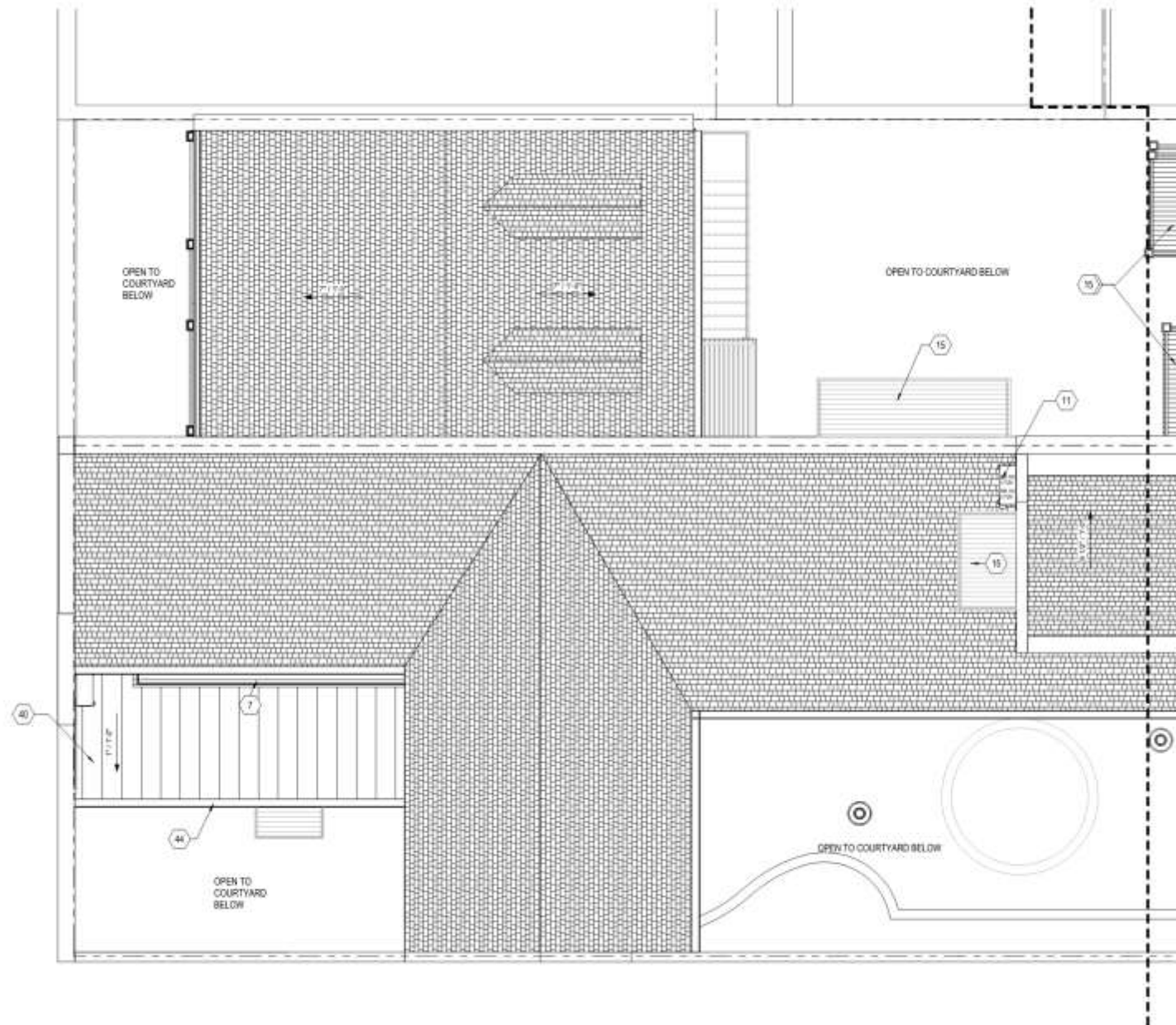




ROOM 210 AND MEZZANINES FOR RMS 211 AND 212
1/4" = 1'-0"

Key Number	Keynote Text
1	NEW PARTITION - REFER TO PARTITION SCHEDULE
2	EXISTING PARTITION WITH NEW FINISHES AS REQUIRED
3	REINSTALL EXISTING PLUMBING FIXTURES AS REQUIRED
4	EXISTING WINDOW TO REMAIN, REPAIR AS REQUIRED, PAINT AND REGULATE AS REQUIRED
5	EXISTING DOOR TO REMAIN, REPAIR AS REQUIRED, PAINT AND REGULATE AS REQUIRED
6	NEW WALL MOUNTED GAS LANTERN
7	NEW 4" x 8" WOOD OR CAST IRON GUARDRAIL
8	EXISTING 4" x 8" WOOD OR CAST IRON GUARDRAIL - VERIFY CODE COMPLIANCE
9	NEW WOOD BALCONY TO REPLACE PREVIOUSLY LAMINAR BALCONY
10	NEW WOOD BALCONY OR EXISTING BALCONY SUPPORTS
11	NEW WALL MOUNTED HVAC CONDENSOR UNIT FOR MMS SPLIT SYSTEM
12	NEW HALF ROUND CORNER SILLER
13	NEW OR REFINISHED PAINTED 4x4 WOOD COLUMN TO REPLACE EXISTING MATCH PROFILE, BASE, AND CAP
14	EXISTING WOOD BALCONY TO REMAIN, REPAIR AS REQUIRED
15	NEW WOOD STAIRS WITH WOOD OR CAST IRON RAILING
16	NEW WOOD STAIRS WITH WOOD OR CAST IRON RAILING
17	NEW WOOD LAMINAR AND FINISHES
18	EXISTING HVAC EQUIPMENT
19	NEW HOTEL ROOM FURNISHES, SEE PROVIDER NOTED SEPARATION BETWEEN ROOMS
20	NEW WOOD WINDOW
21	EXISTING WOOD STAIR TO REMAIN
22	NEW BRICK SILL, 4" FURNISH OPENING, INTERIOR AND EXTERIOR FINISHES TO MATCH ADJACENT WALL
23	NEW WOOD 1/2" DOOR BED FINISHES TO MATCH BEDROOM
24	NEW WOOD 1/2" DOOR BED FINISHES TO MATCH BEDROOM
25	NEW WOOD 1/2" DOOR BED FINISHES TO MATCH BEDROOM
26	NEW WOOD 1/2" DOOR BED FINISHES TO MATCH BEDROOM
27	NEW WOOD 1/2" DOOR BED FINISHES TO MATCH BEDROOM
28	EXISTING EXTERIOR WALL - REPAIR AS REQUIRED
29	EXISTING EXTERIOR WALL - REPAIR AS REQUIRED
30	NEW HANGING GAS LANTERN
31	MODIFY EXISTING ROOM RAILING TO BE 4" x 4" WOOD
32	NEW 4" x 8" WOOD GUARDRAIL
33	NEW LOCATION FOR BALCONY EXTENSION





1 ROOF PLAN - AREA C
1/8" = 1'-0"



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OLIVIER HOUSE HOTEL
828 Toulouse St. New Orleans, LA 70112

REVISIONS		
No.	Date	Scope

DRAWING: PROPOSED ELEVATIONS AND VIEWS
DRAWN BY: [Name]
SCALE: 1/4" = 1'-0"
DATE: 3/13/2018
Sheet No.

A202



RESTORE
EXISTING
STUCCO
EXTERIOR WALL

NEW WOOD
BALCONY

NEW
EXTERIOR
WALL BELOW
BALCONY



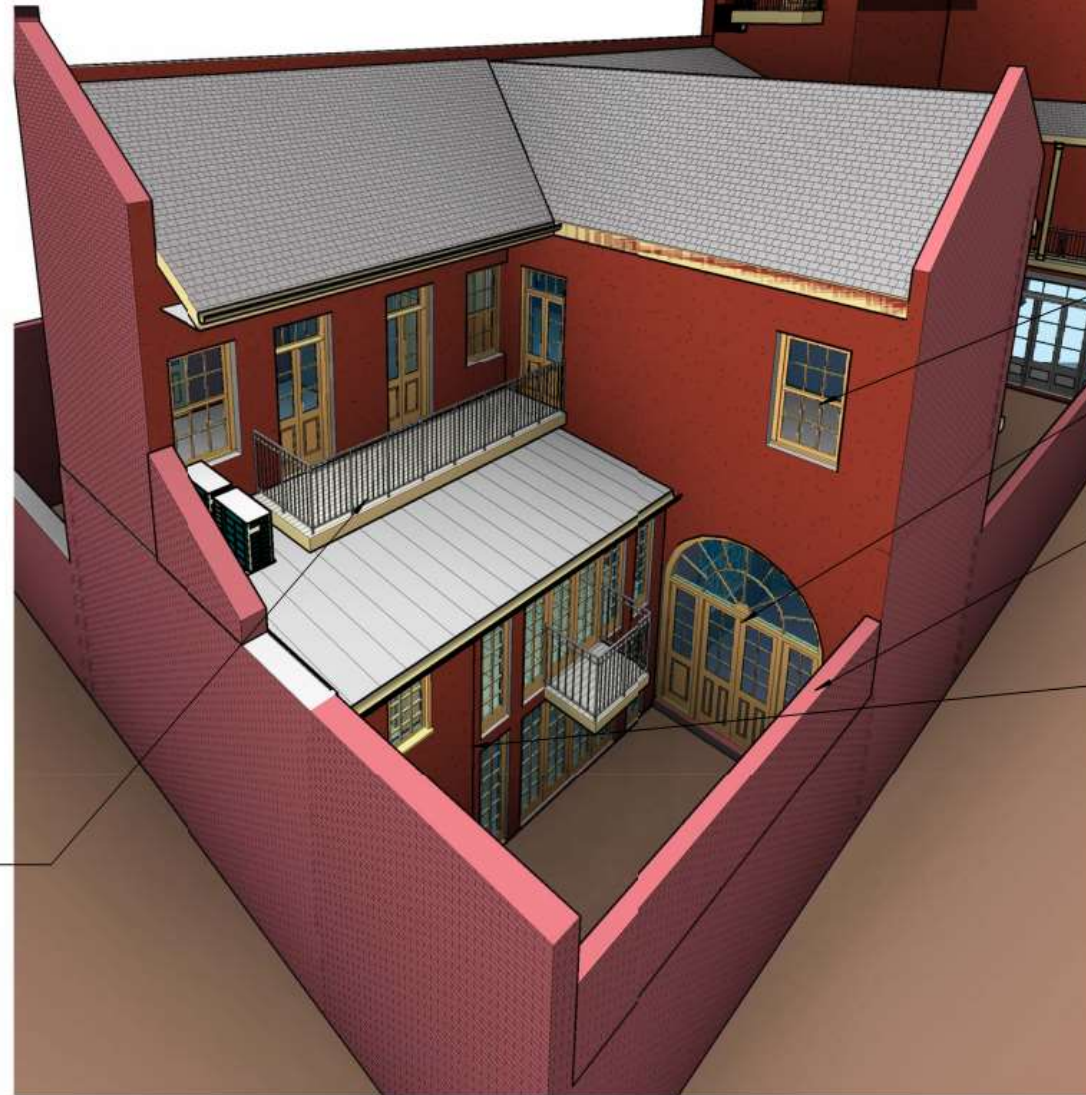
NEW DOOR IN
EXISTING
OPENING

EXISTING
DOOR TO
REMAIN
(REPAIR AS
REQUIRED)

NEW SMALLER
BALCONY

PROPOSED VIEW AT 60S REAR
COURTYARD

5
A202



EXISTING DOORS
AND WINDOWS,
TYP

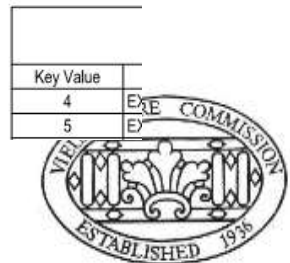
EXISTING DOORS
AND SIDELIGHTS
IN EXISTING
OPENING

EXTEND BRICK
MASONRY WALL
4' IN HEIGHT

NEW EXTERIOR
STUCCO WALL,
DOORS, AND
BALCONY

PROPOSED VIEW AT REAR
COURTYARD RM 112

6
A202





- EXISTING DOORS AND WINDOWS
- MODIFY RAILING TO BE CODE COMPLIANT
- EXISTING WOOD DECK
- EXISTING BALCONY



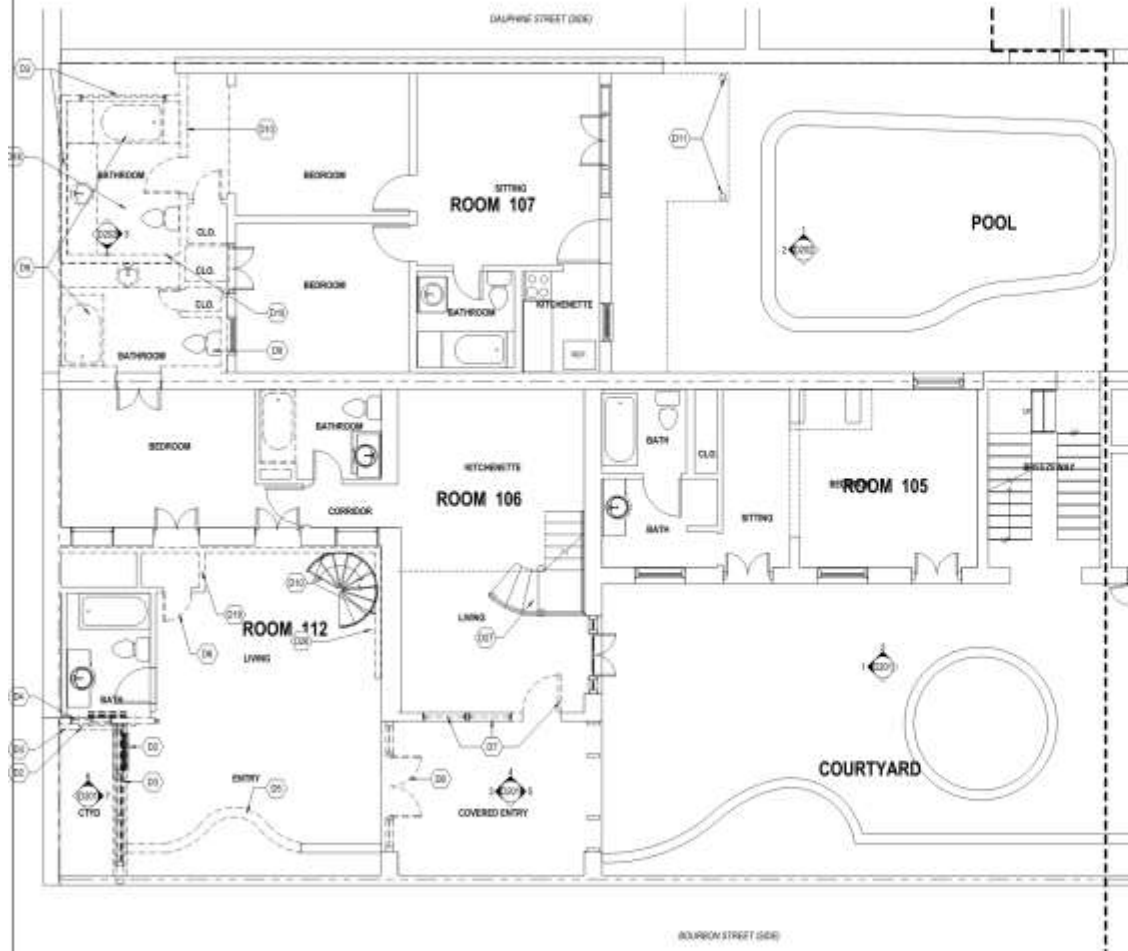
- NEW HANGING GAS LANTERNS
- NEW LOCATION FOR BALCONY EXTENSION
- NEW WOOD EGRESS STAIRS
- EXISTING POOL

PROPOSED VIEW AT MAIN
COURTYARD

7
A202

PROPOSED VIEW AT POOL
COURTYARD

8
A202



FIRST FLOOR PLAN - AREA C - DEMOLITION

Reprints Legend		Insertion Fee
85	Reprints of the 1995-1996 Yearbook	
86	Reprints of the 1995-1996 Yearbook, 1996-1997 Yearbook, 1997-1998 Yearbook	
87	Reprints of the 1995-1996 Yearbook, 1996-1997 Yearbook, 1997-1998 Yearbook	
88	Reprints of the 1995-1996 Yearbook	
89	Reprints of the 1995-1996 Yearbook	
90	Reprints of the 1995-1996 Yearbook	
91	Reprints of the 1995-1996 Yearbook	
92	Reprints of the 1995-1996 Yearbook	
93	Reprints of the 1995-1996 Yearbook	
94	Reprints of the 1995-1996 Yearbook	
95	Reprints of the 1995-1996 Yearbook	
96	Reprints of the 1995-1996 Yearbook	
97	Reprints of the 1995-1996 Yearbook	
98	Reprints of the 1995-1996 Yearbook	
99	Reprints of the 1995-1996 Yearbook	
100	Reprints of the 1995-1996 Yearbook	



I will not be visiting proper word-of-mouth advertising services at the moment.

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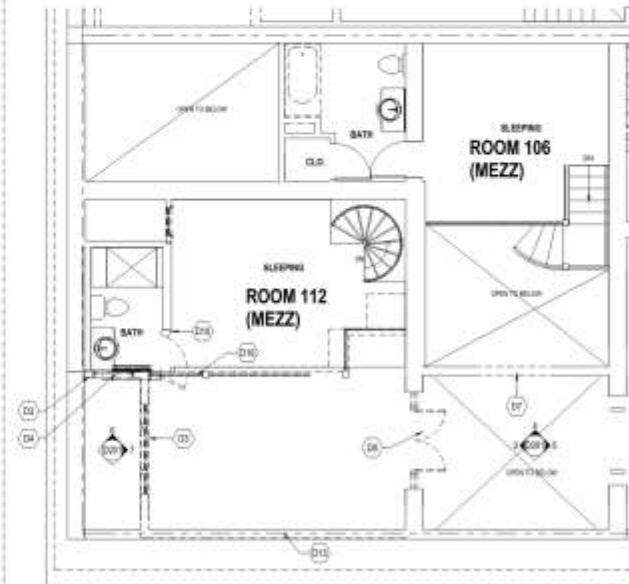
828 Toulouse St, New Orleans, LA 70112

-REVISIONS-		
No.	Date	Scope

DRAWING
FIRST FLOOR PLAN - AREA C
- DEMOLITION -

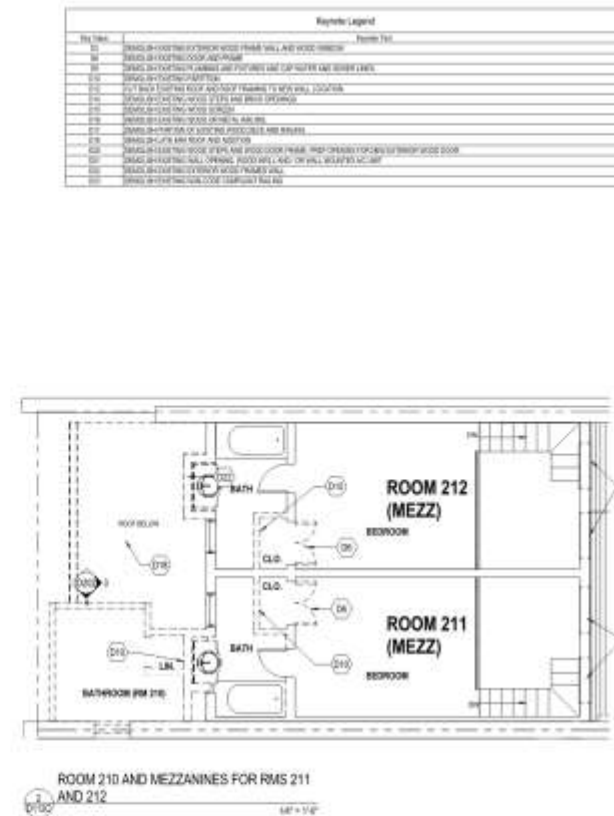
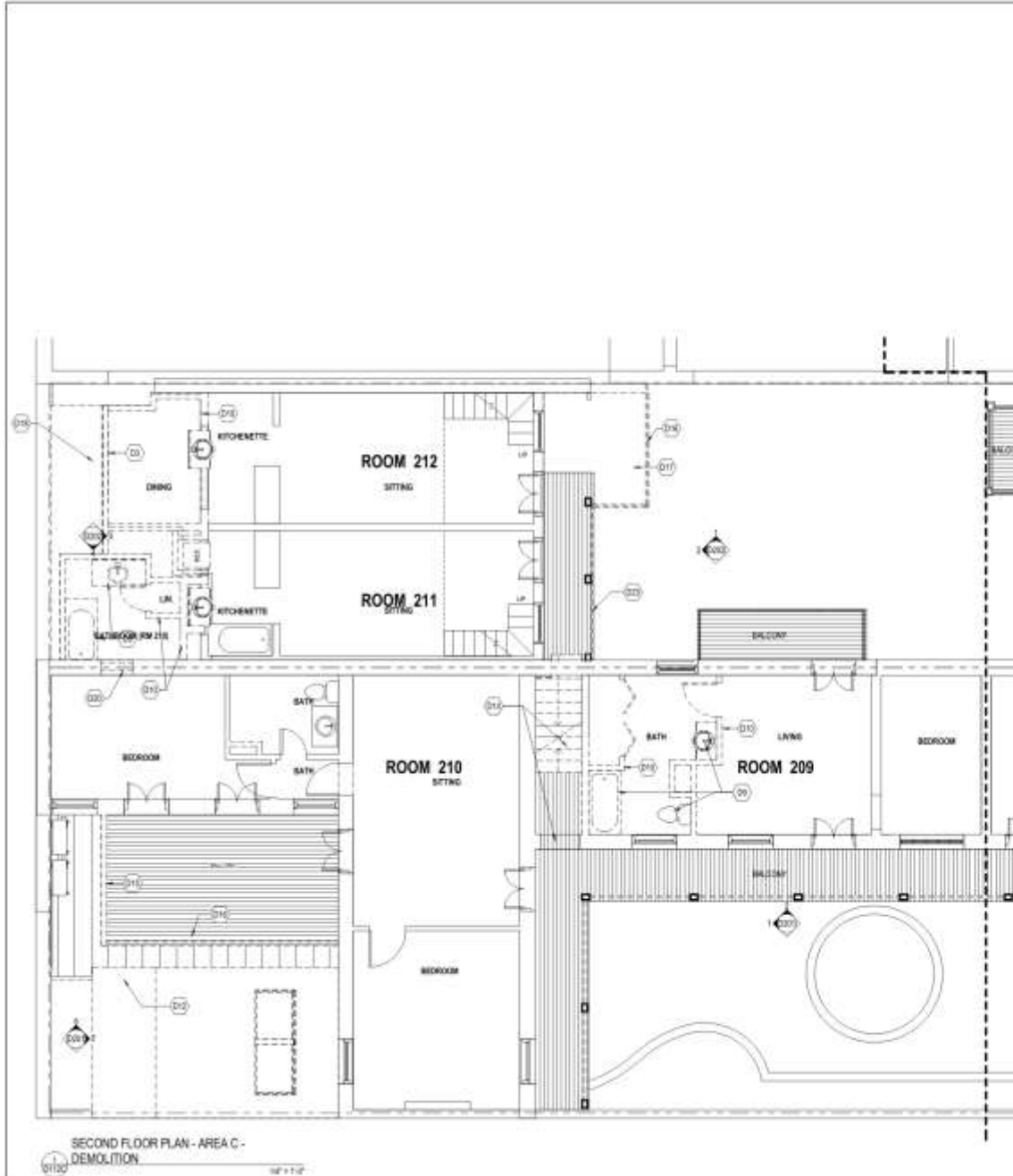
DRAWING BY	
SCALE	3/8" = 1'
JOB No.	570441
DATE	2-6-20

D111C



FIRST FLOOR MEZZANINE PLAN - AREA C -
DEMOLITION

West





OLIVIER HOUSE HOTEL
828 Toulouse St. New Orleans, LA 70112

REVISIONS:		
No.	Date	Scope

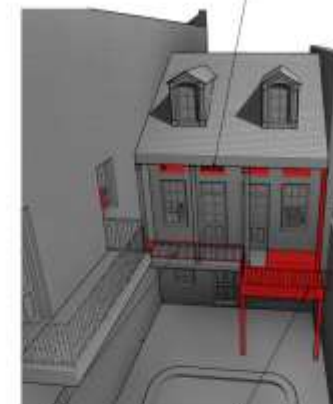
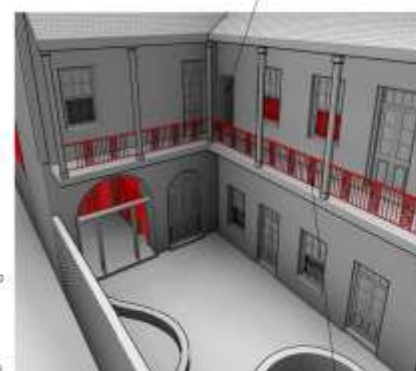
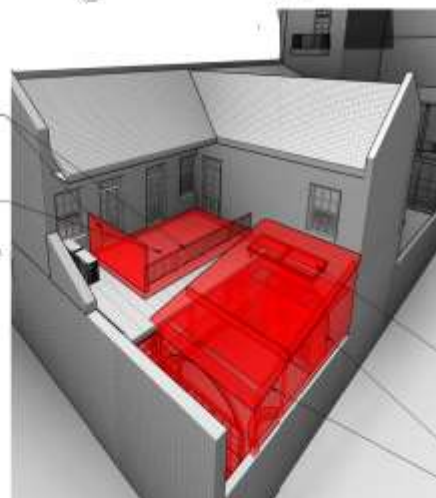
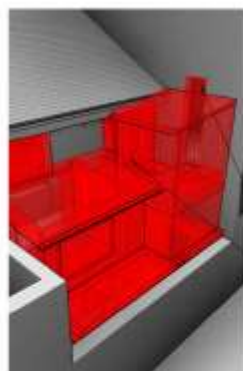
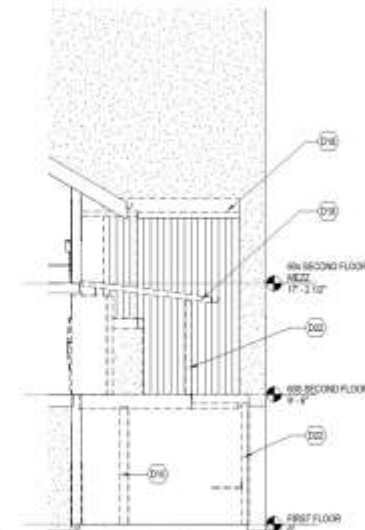
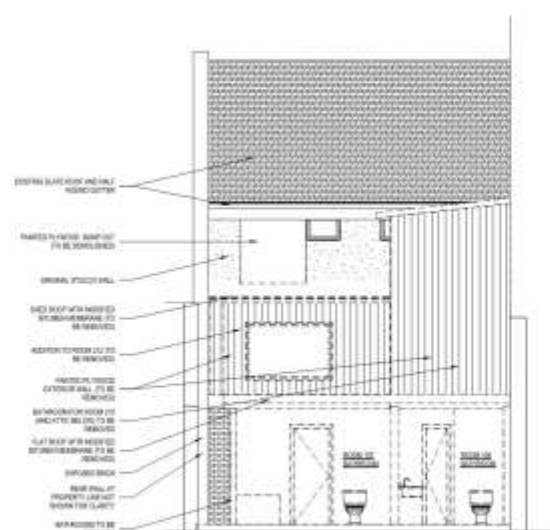
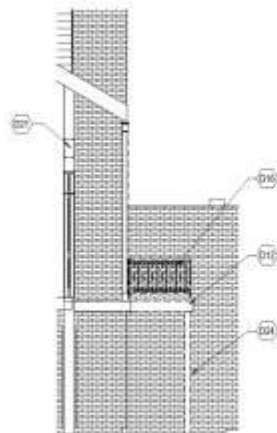
DRAWING:
SECOND FLOOR PLAN - AREA C - DEMOLITION

DRAWING BY:
JON N.
DATE:
Sheet No.

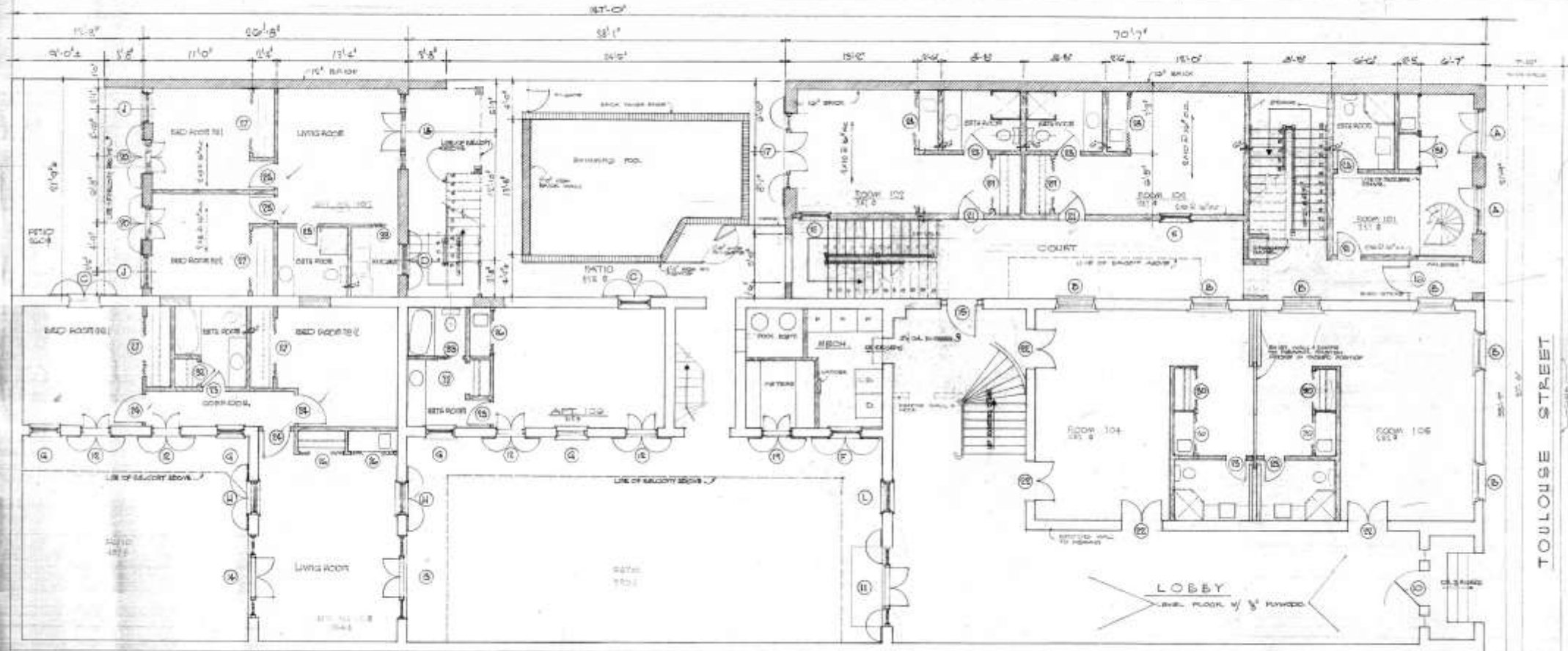
1/8" = 1'-0"
3/16" = 1'-0"
3/32" = 1'-0"

D112C



[illegible]

SCHEDULE OF ROOM FINISHES				SCHEDULE OF ROOM FINISHES			
ROOM NO.	FLOOR	WALLS	CEILING	ROOM NO.	FLOOR	WALLS	CEILING
LOBBY	VINYL OR 1/2" PLASTER	PAINTED BRICK, PARTIAL PLASTER, REMAINING PLASTER	1/2" GYP. BOARD, PARTIAL PLASTER, REMAINING PLASTER	106	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD	1/2" GYP. BOARD
101	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD, NEW BRICK	1/2" GYP. BOARD	107	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD	1/2" GYP. BOARD
102	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD, NEW BRICK	1/2" GYP. BOARD	108	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD	1/2" GYP. BOARD
103	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD, NEW BRICK	1/2" GYP. BOARD	109	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD	1/2" GYP. BOARD
104	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD	1/2" GYP. BOARD	110	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD	1/2" GYP. BOARD
105	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD	1/2" GYP. BOARD	111	VINYL OR 1/2" PLASTER	1/2" GYP. BOARD	1/2" GYP. BOARD



TOULOUSE STREET

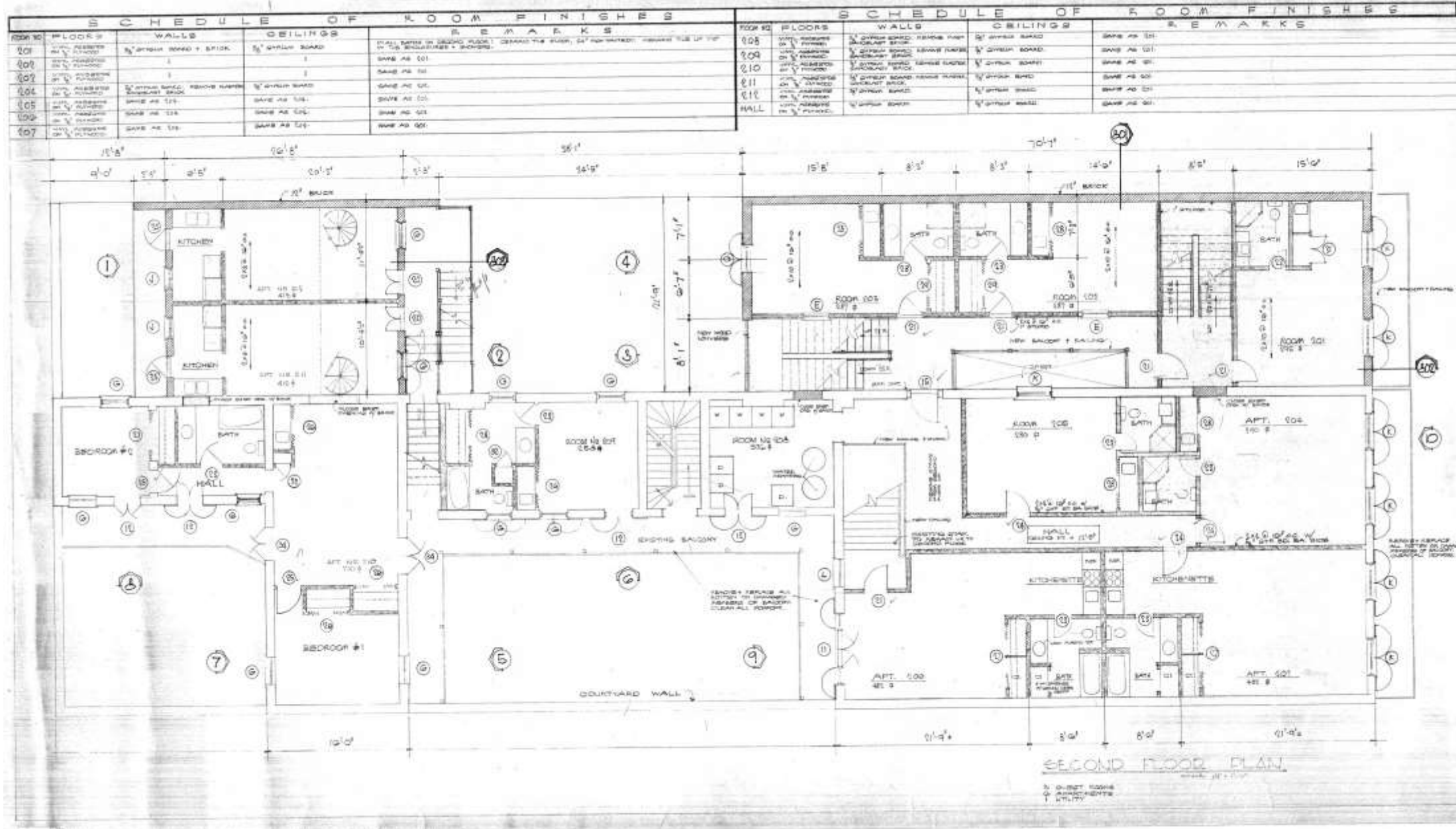
HENRY G. SIMBALL, AIA
ARCHITECT, ARCHITECTS, AND ENGINEERS
1111 N. 10TH ST., ST. LOUIS, MO.

RESTORATION AND ADDITION TO
828 TOULOUSE STREET
ST. LOUIS, MO.

VELIX CARRE COMMISSION
APPROVED 12/17/35
OFFICIAL P.P. Galt
MANAGER
INTERIOR

FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"





640 Royal





636-40 Royal













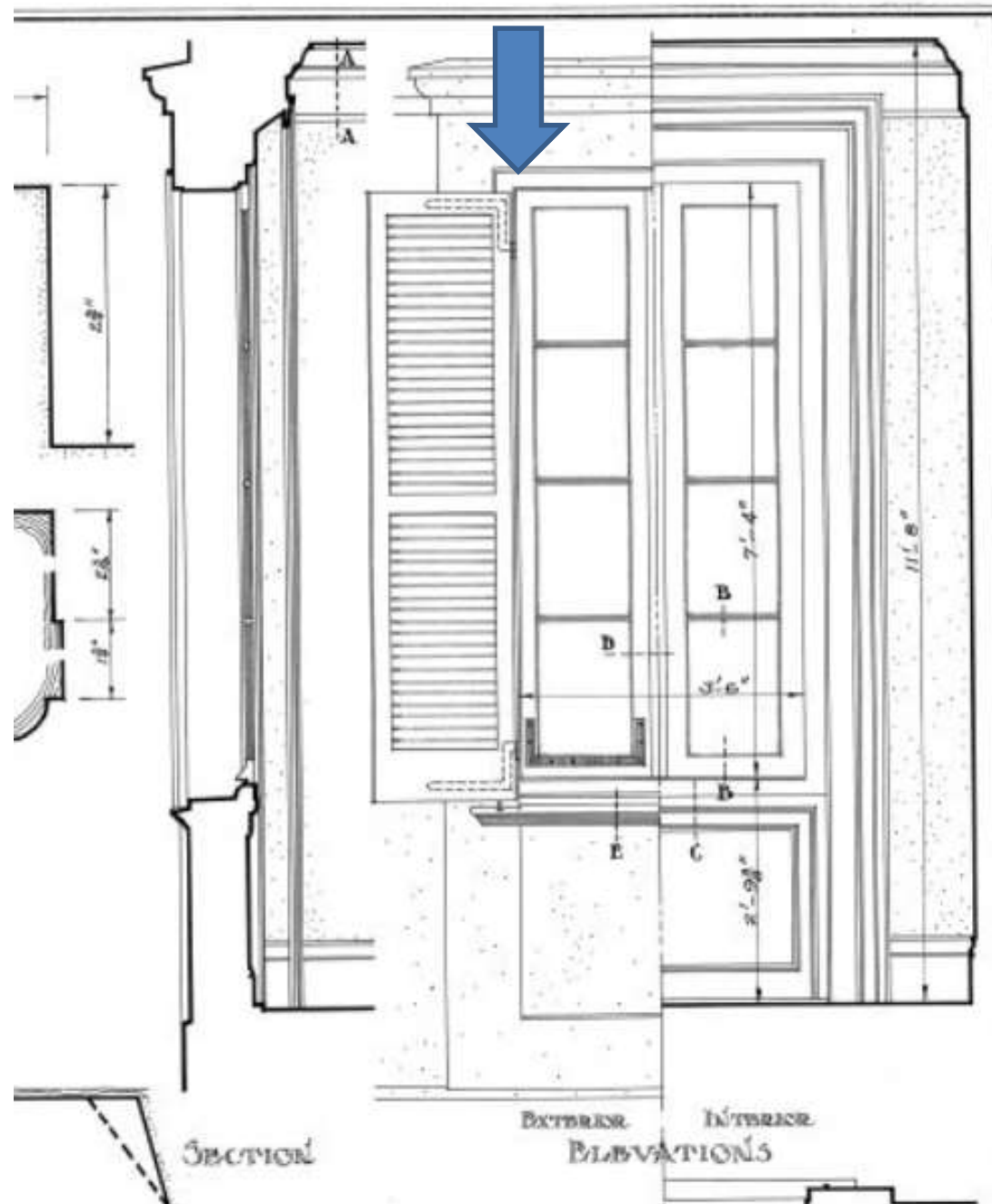


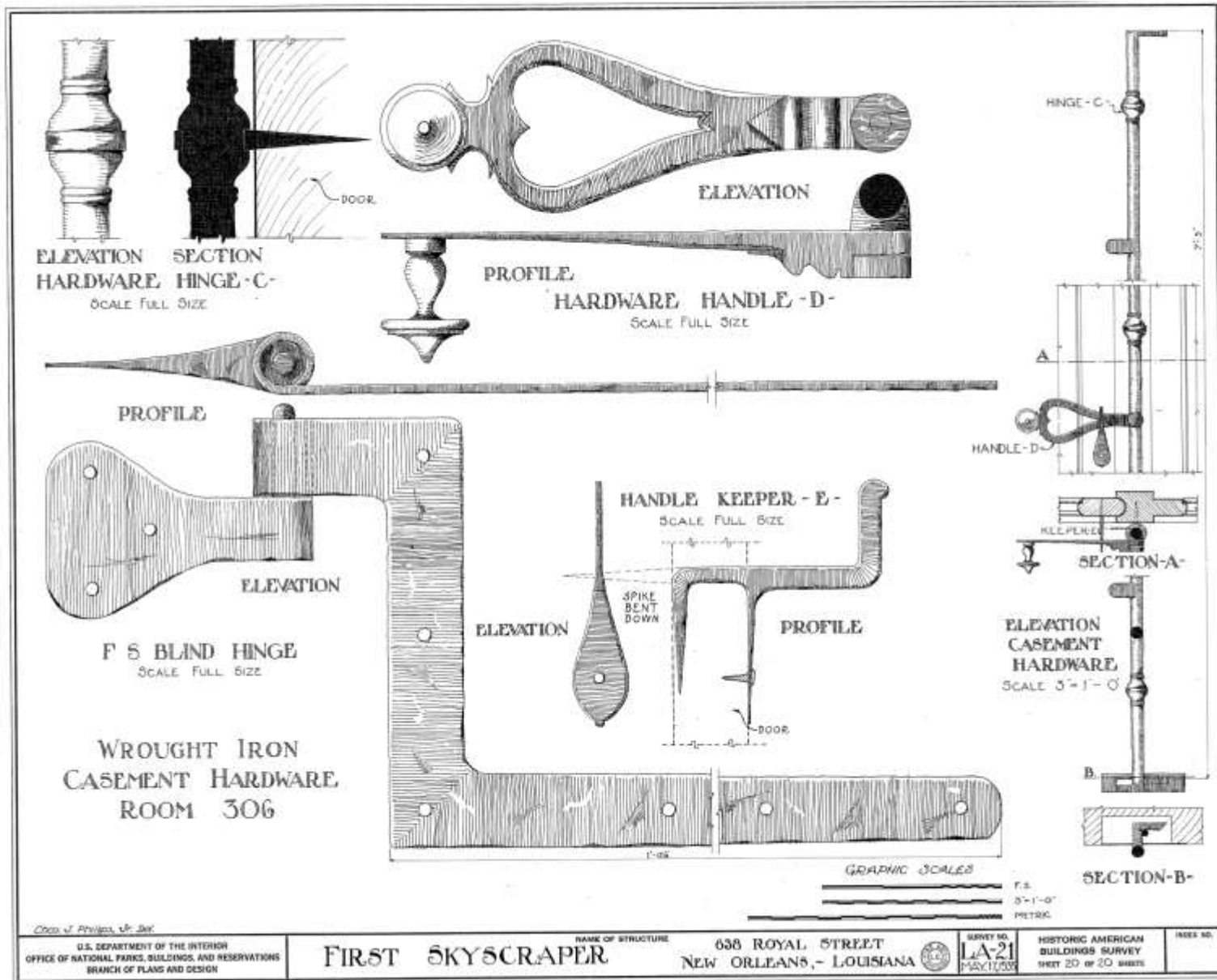
















636-40 Royal - 1989



636-40 Royal



636-40 Royal



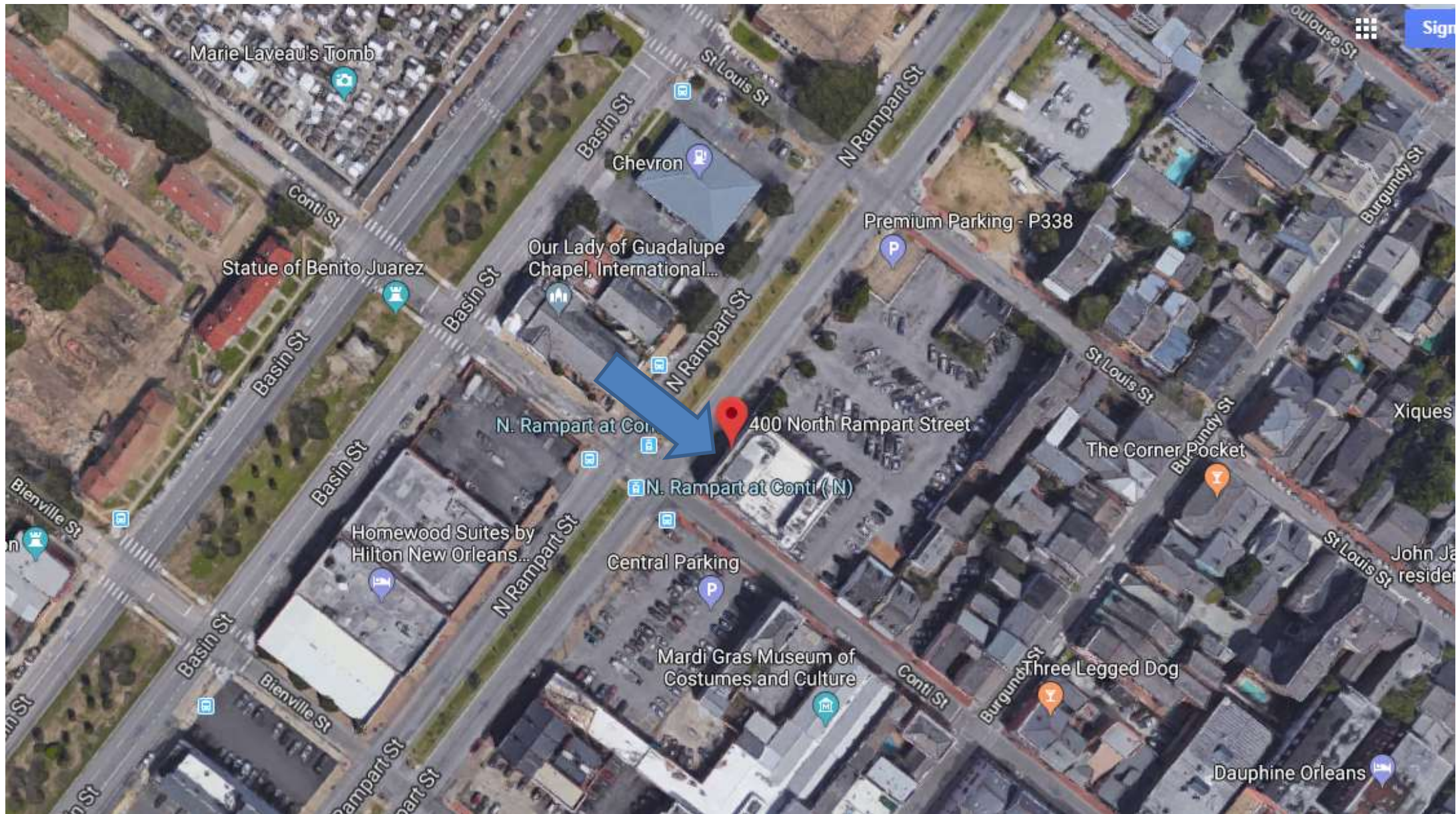
636-40 Royal



New Business

400 N Rampart





400 N. Rampart

VCC Architectural Committee

March 13, 2018





400 N. Rampart

VCC Architectural Committee

March 13, 2018





400 N. Rampart
VCC Architectural Committee

March 13, 2018



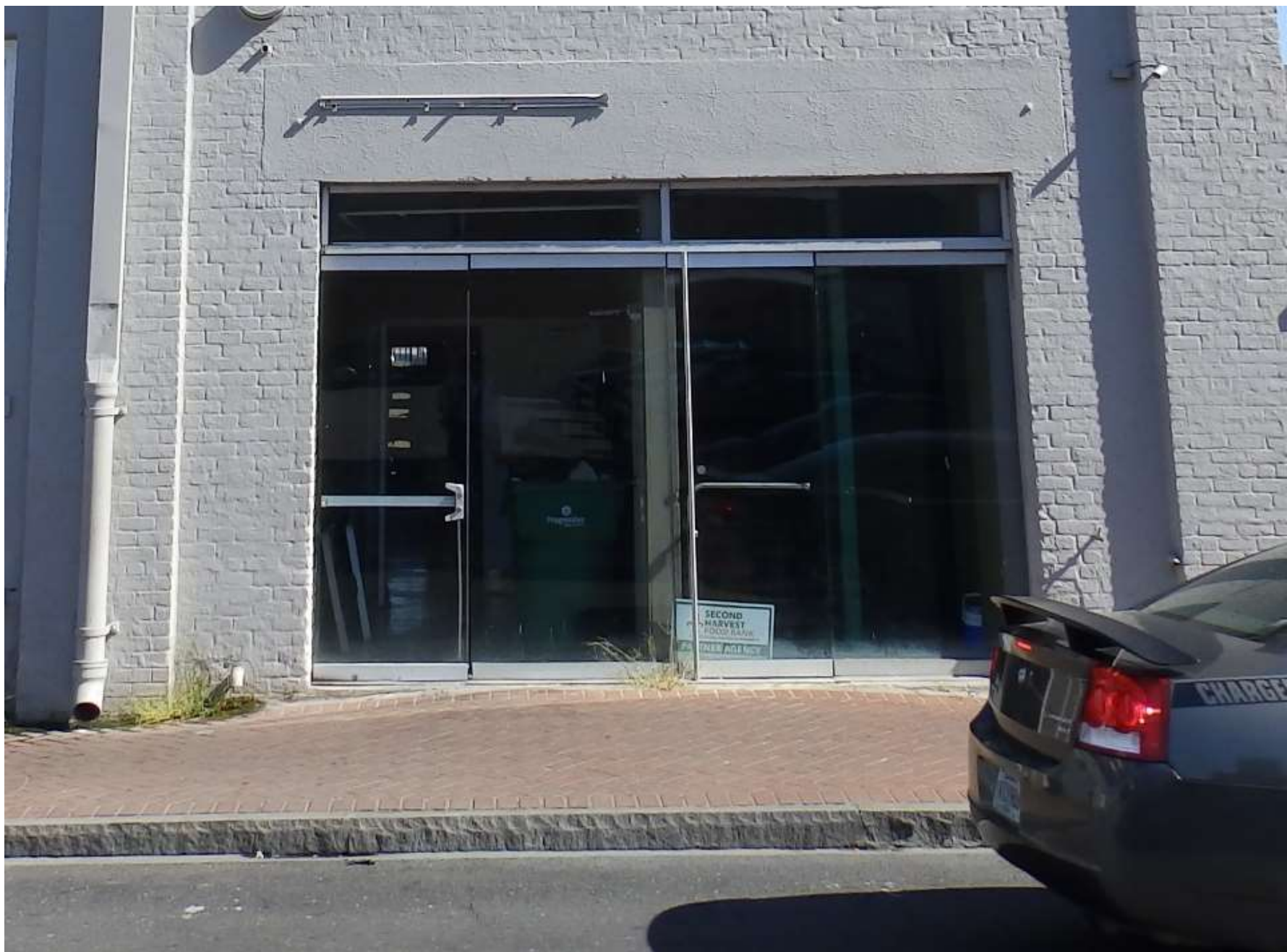


400 N. Rampart

VCC Architectural Committee

March 13, 2018

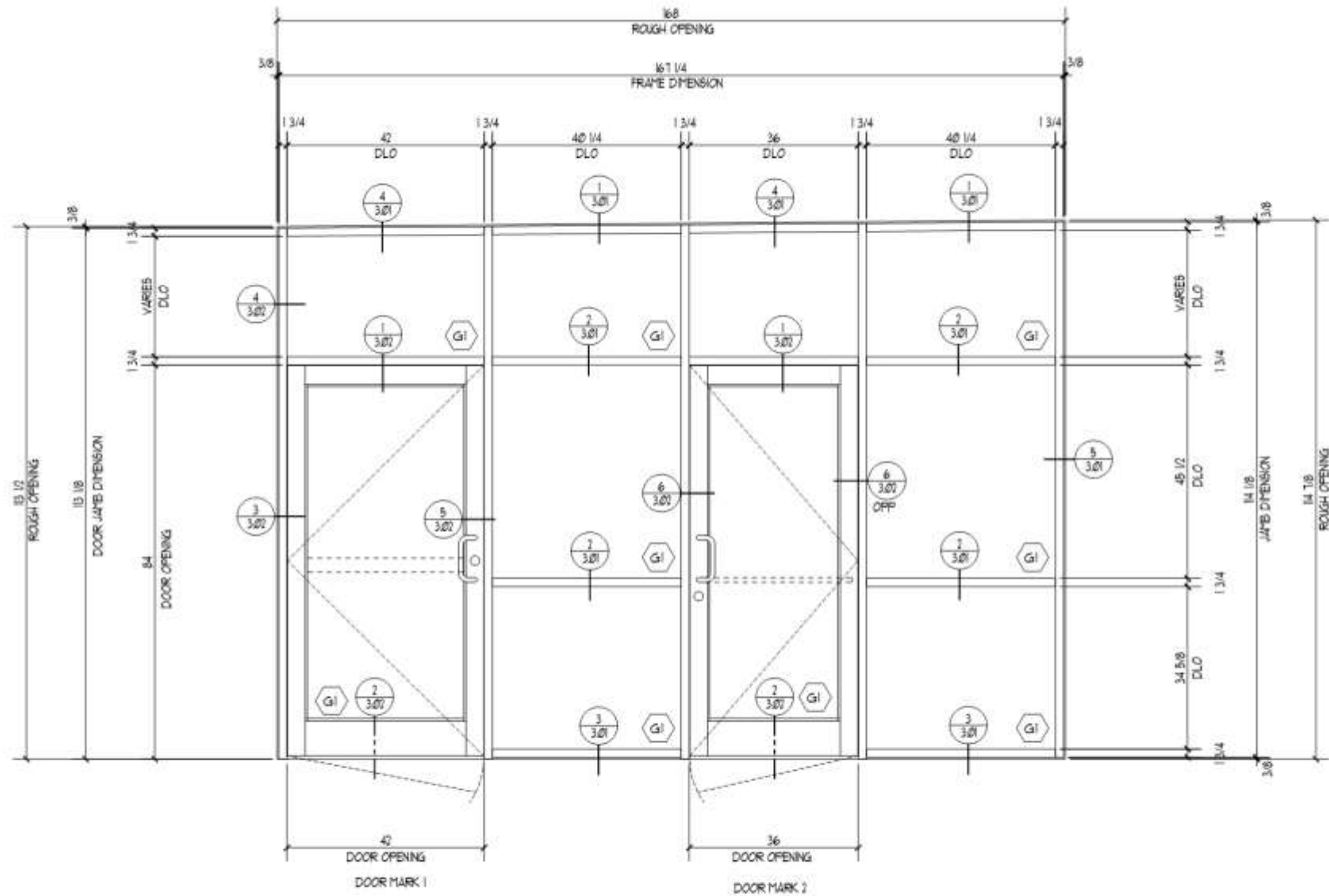




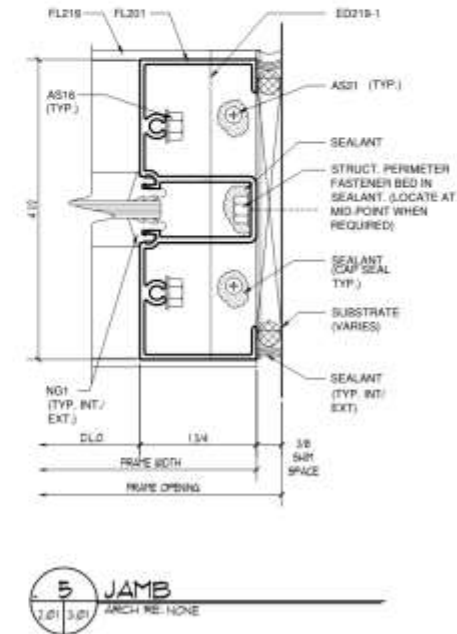
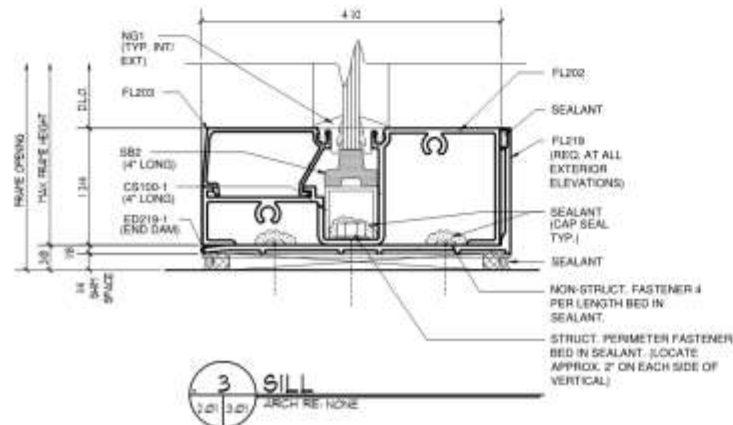
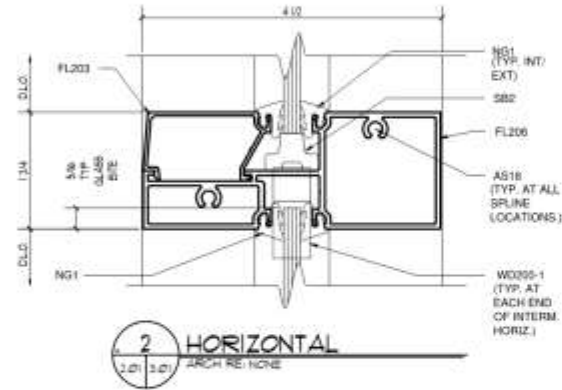
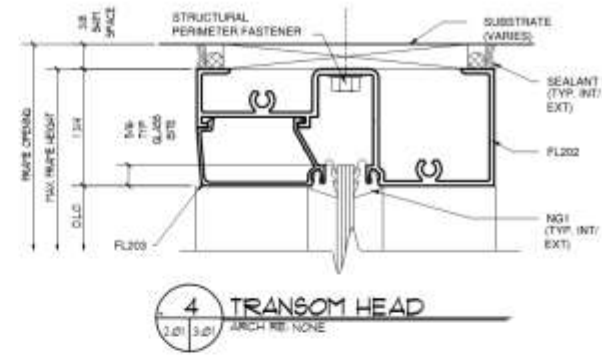
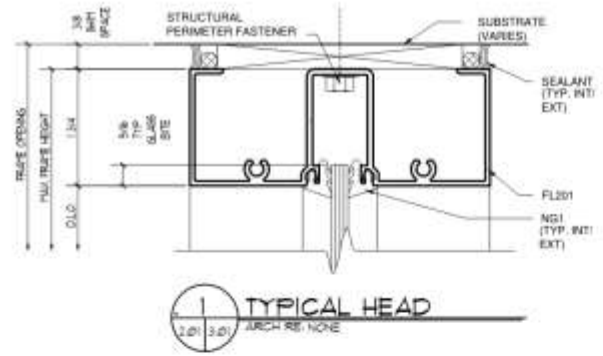
400 N. Rampart
VCC Architectural Committee

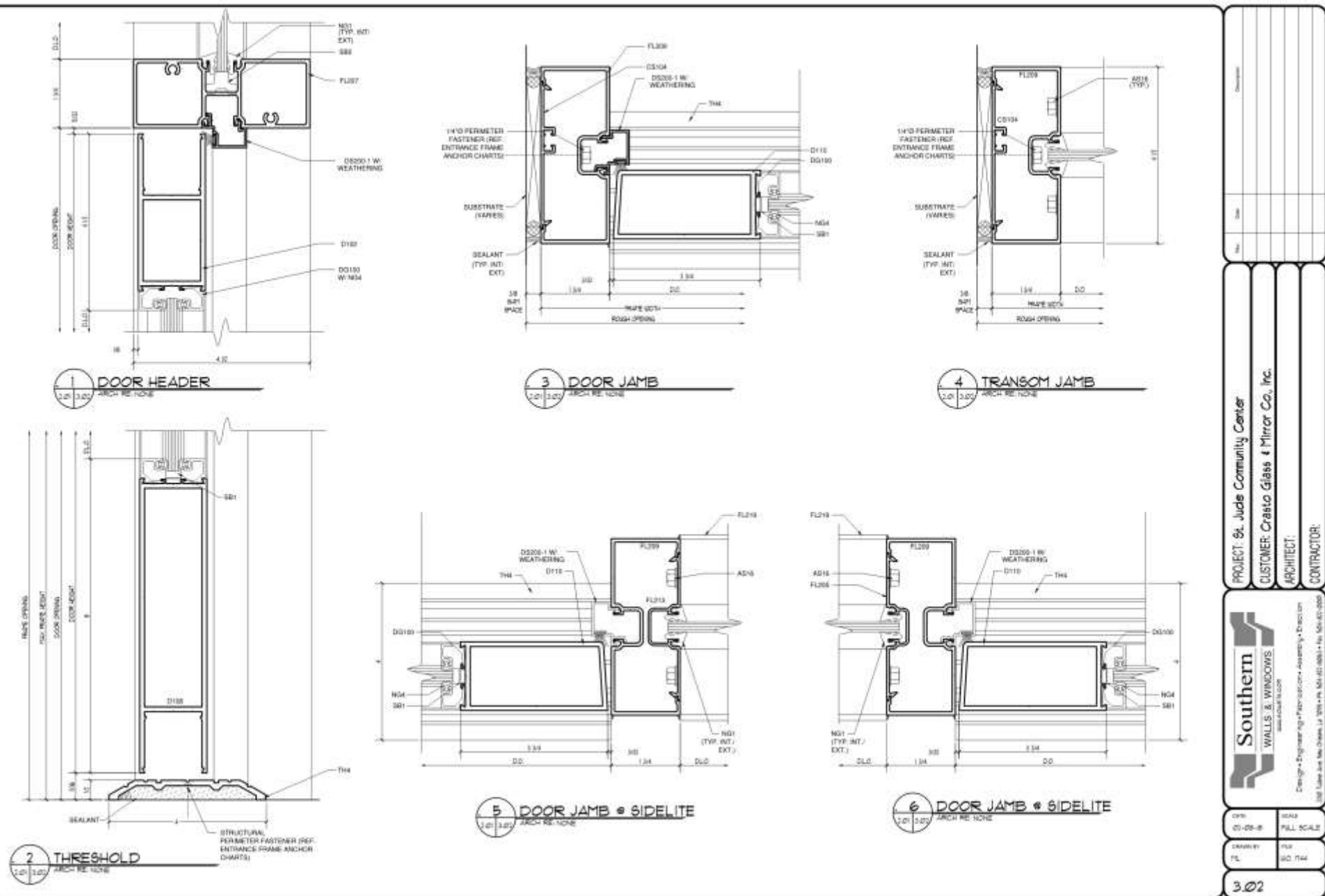
March 13, 2018





1 STOREFRONT ELEVATION
ARCH. RE.
1 -REQ'D





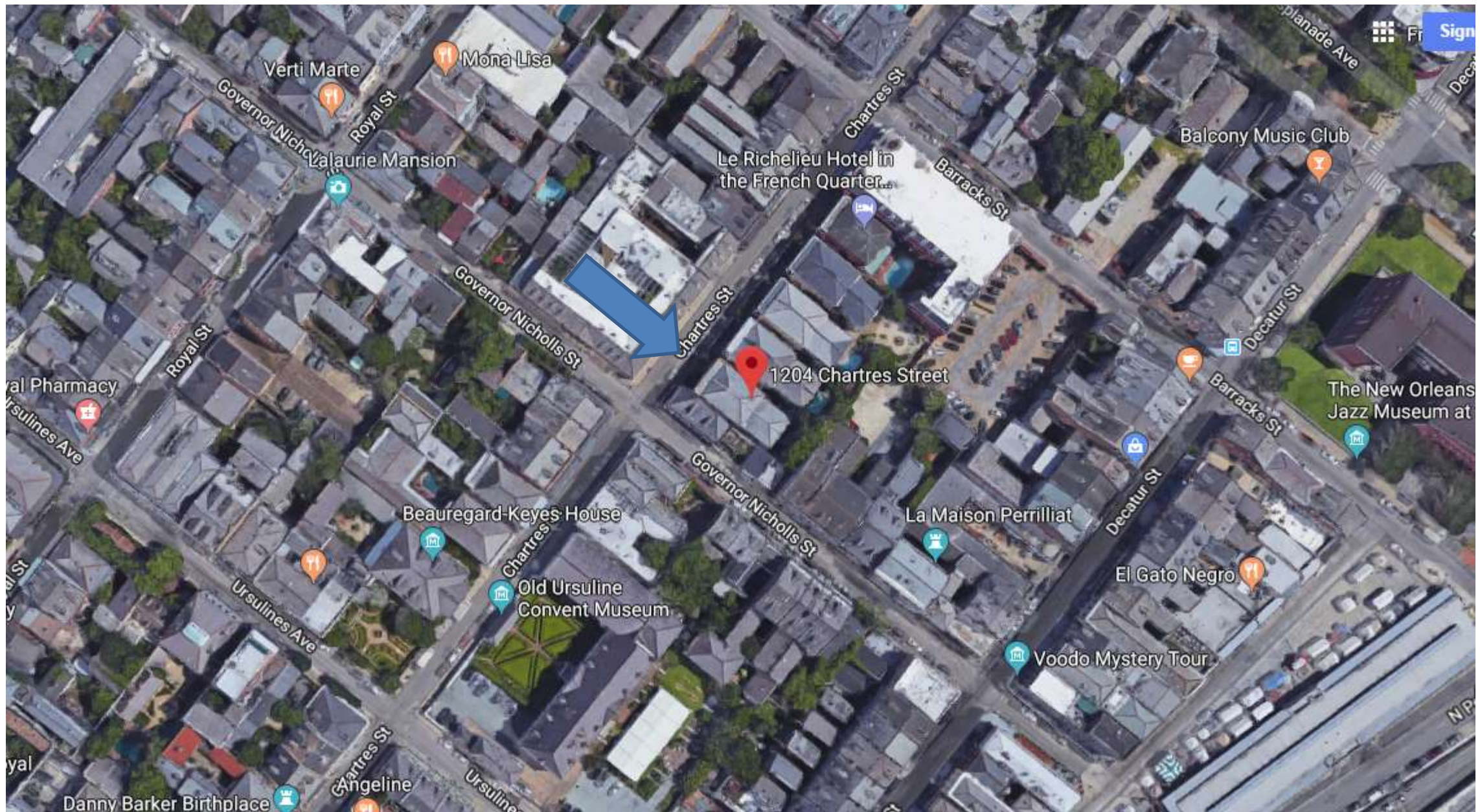
400 N. Rampart
 VCC Architectural Committee

March 13, 2018





1204-1206 Chartres



1204-1206 Chartres

VCC Architectural Committee

March 13, 2018





1204-1206 Chartres

VCC Architectural Committee

March 13, 2018





1204-1206 Chartres
VCC Architectural Committee

March 13, 2018





1204-1206 Chartres

VCC Architectural Committee

March 13, 2018





1204-1206 Chartres

VCC Architectural Committee

March 13, 2018



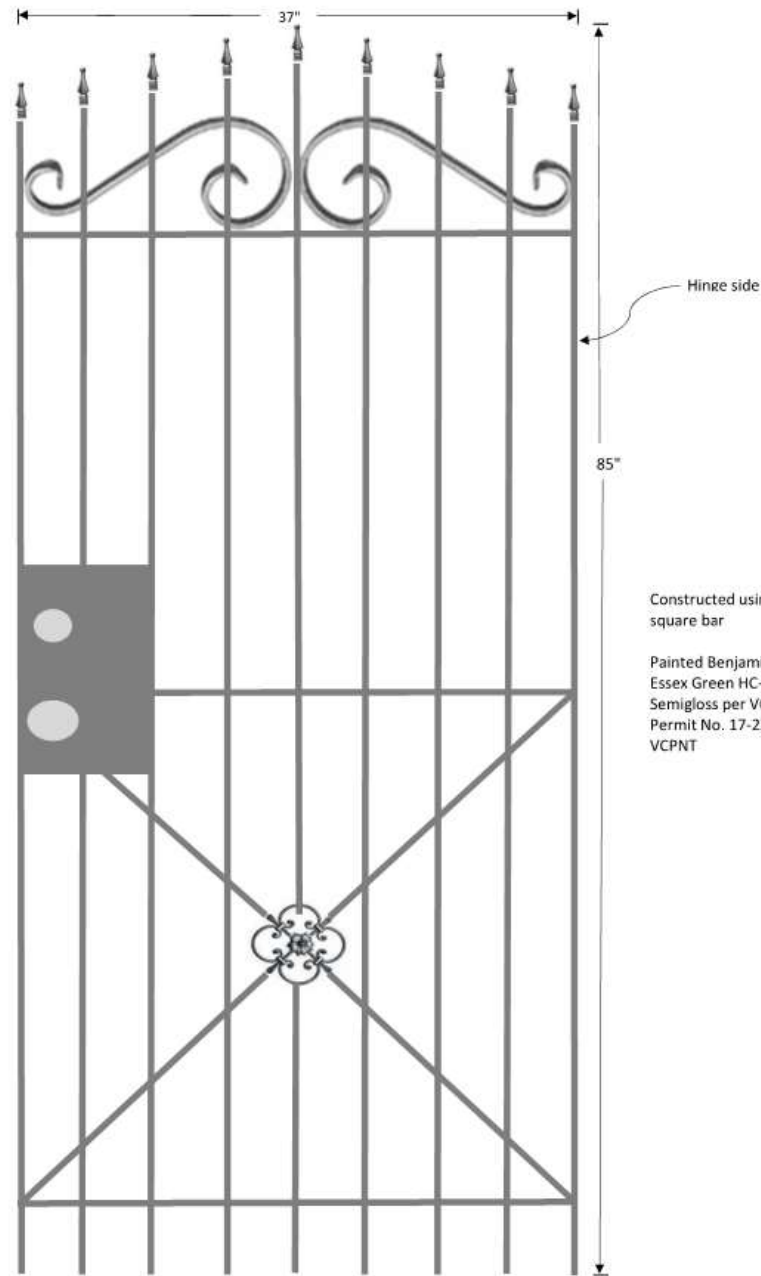


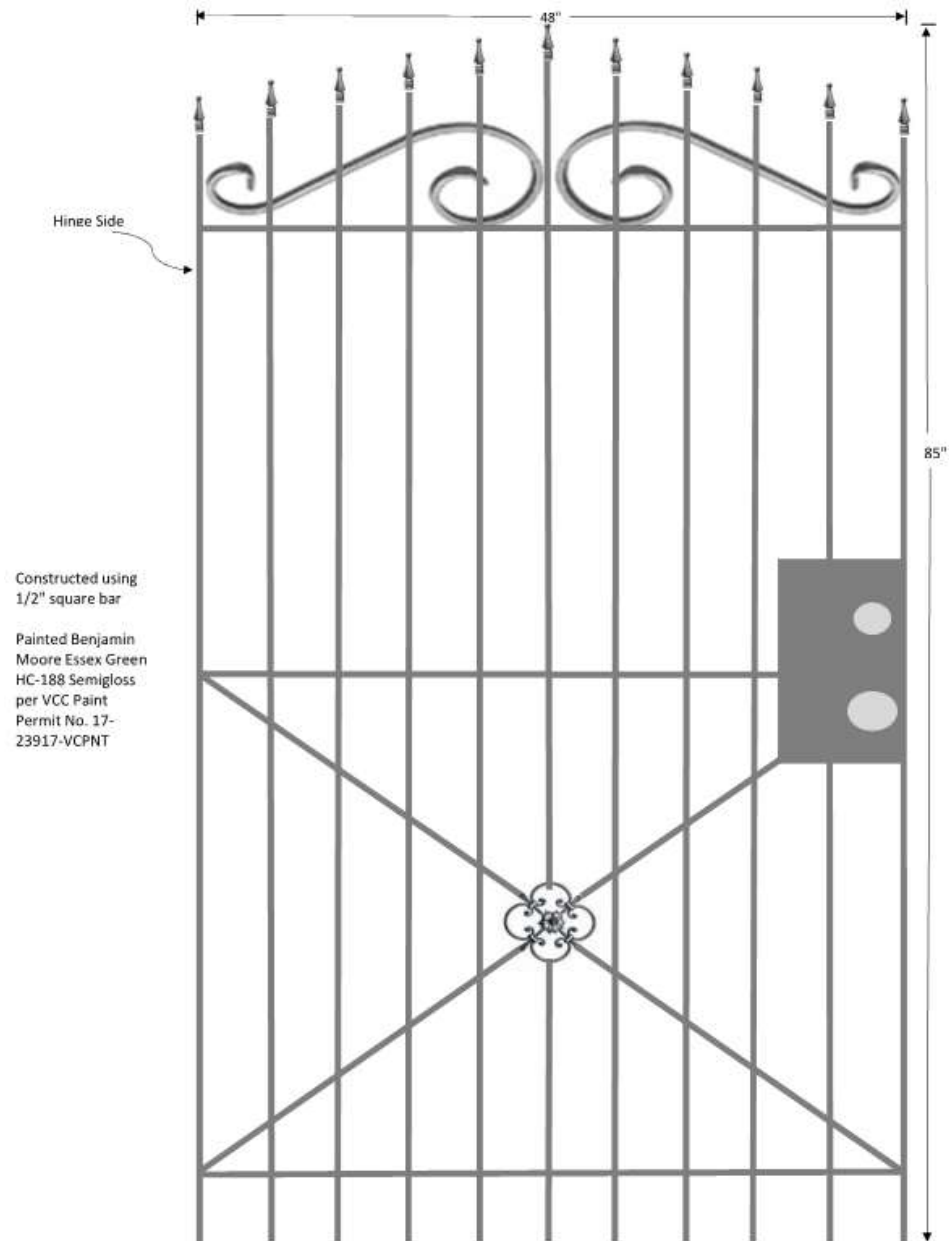
1204-1206 Chartres

VCC Architectural Committee

March 13, 2018









1204-1206 Chartres
VCC Architectural Committee

March 13, 2018





920 N Rampart





920 N. Rampart



920 N. Rampart



920 N. Rampart



920 N. Rampart -- 1984



920 N. Rampart



920 N. Rampart



920 N. Rampart



920 N. Rampart



920 N. Rampart

VCC Architectural Committee

March 13, 2018





920 N. Rampart



920 N. Rampart



920 N. Rampart



920 N. Rampart



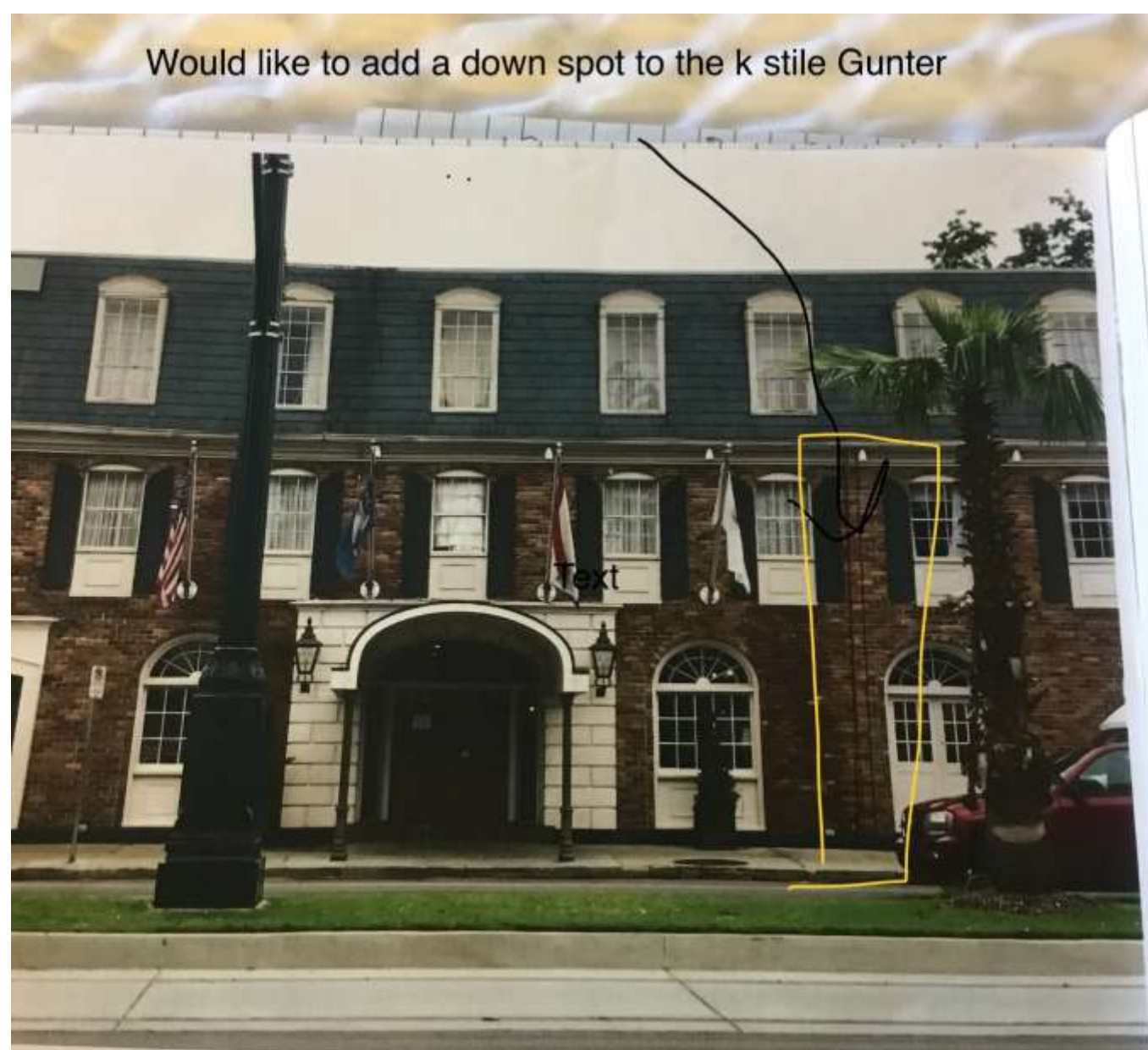
920 N. Rampart



920 N. Rampart



920 N. Rampart



920 N. Rampart

VCC Architectural Committee

March 13, 2018





920 N. Rampart

VCC Architectural Committee

March 13, 2018





920 N. Rampart

VCC Architectural Committee

March 13, 2018





920 N. Rampart

VCC Architectural Committee

March 13, 2018





920 N. Rampart

VCC Architectural Committee

March 13, 2018



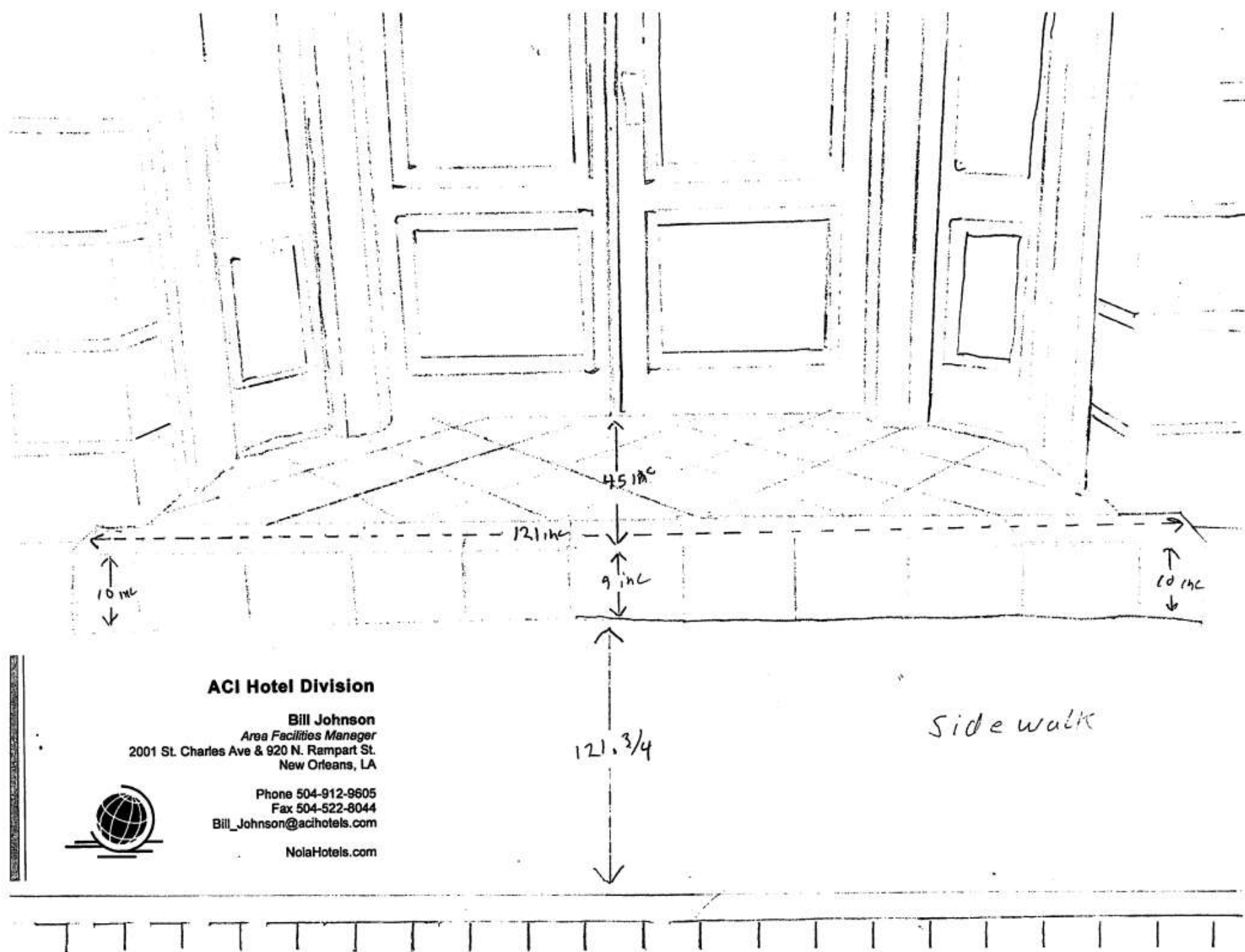


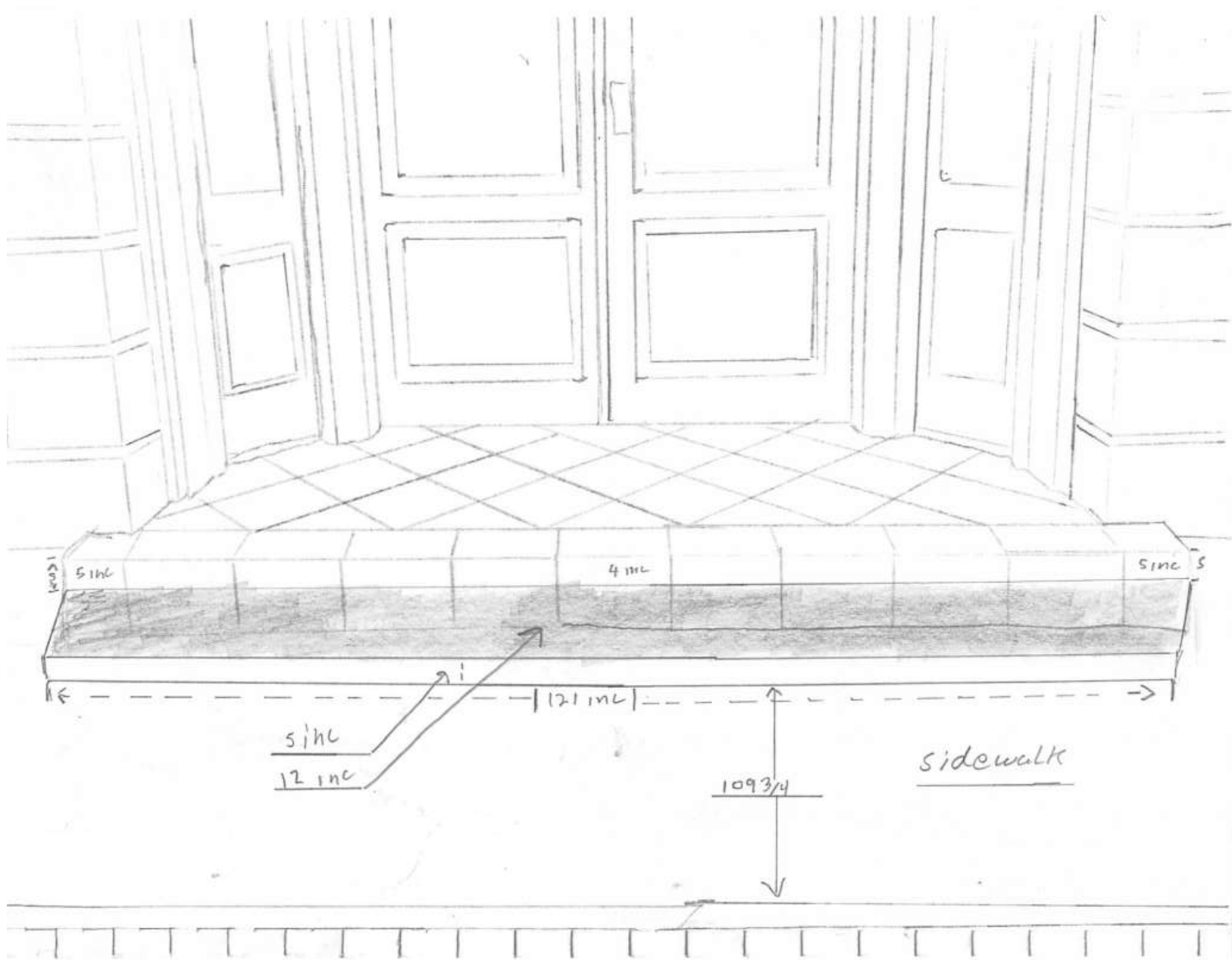
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VCC Architectural Committee

March 13, 2018





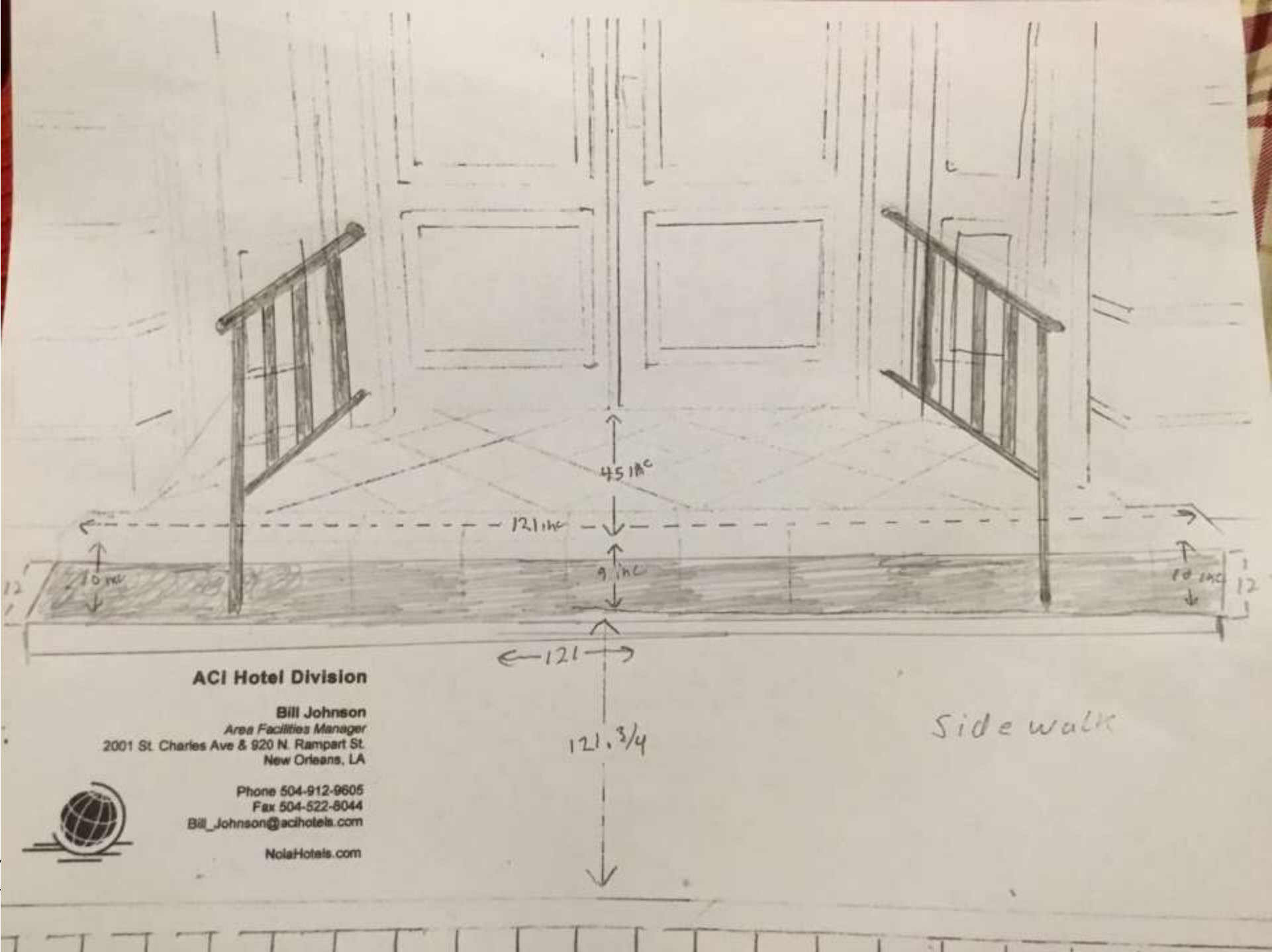


920 N. Rampart

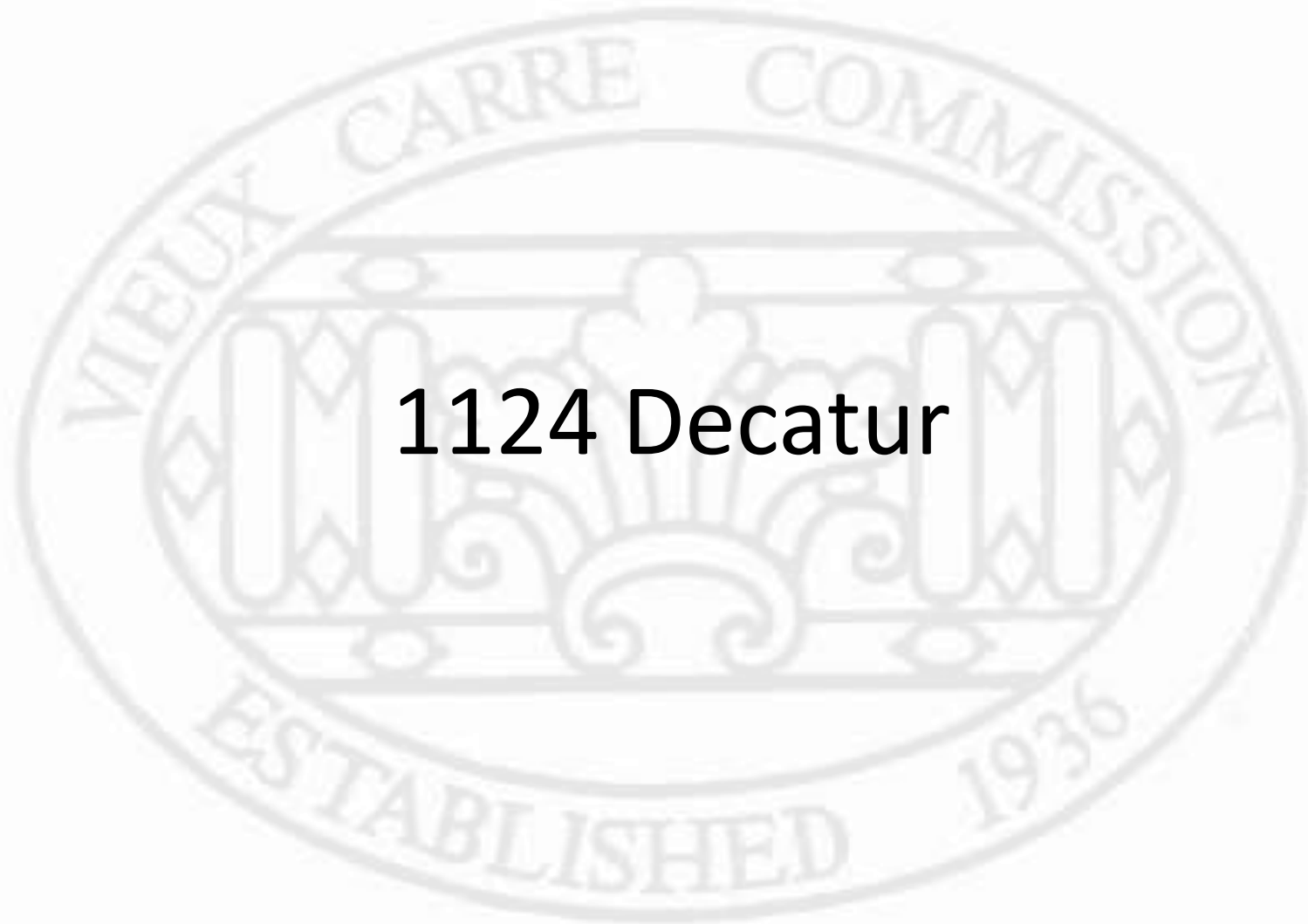
VCC Architectural Committee

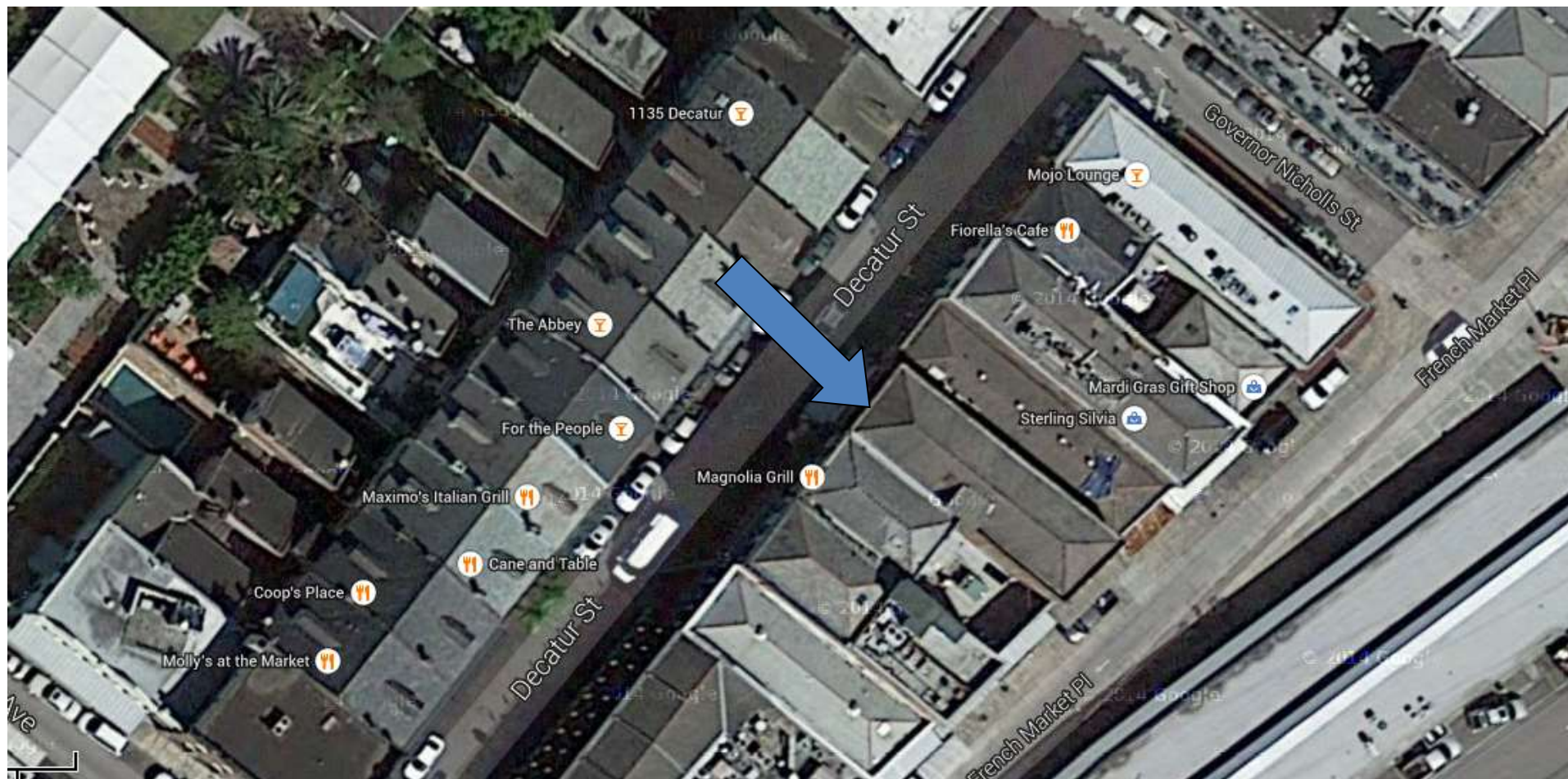
March 13, 2018





1124 Decatur



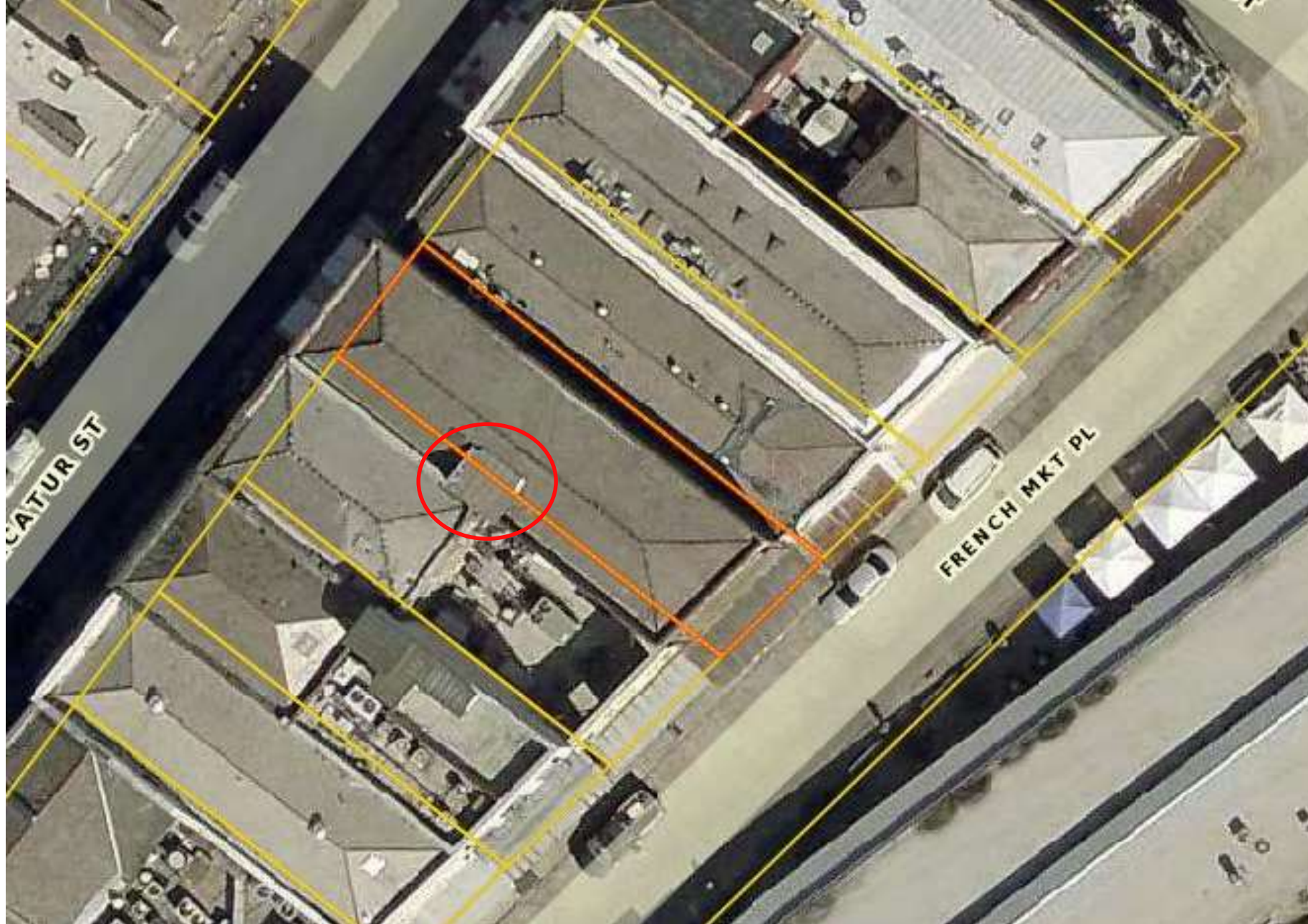


1124 Decatur

VCC Architectural Committee

March 13, 2018





1124 Decatur

VCC Architectural Committee

March 13, 2018





1124 Decatur, French Market elevation

VCC Architectural Committee

March 13, 2018





1124 Decatur

VCC Architectural Committee

March 13, 2018





1124 Decatur

VCC Architectural Committee

March 13, 2018





1124 Decatur

VCC Architectural Committee

March 13, 2018





1124 Decatur

VCC Architectural Committee

March 13, 2018





1124 Decatur

VCC Architectural Committee

March 13, 2018





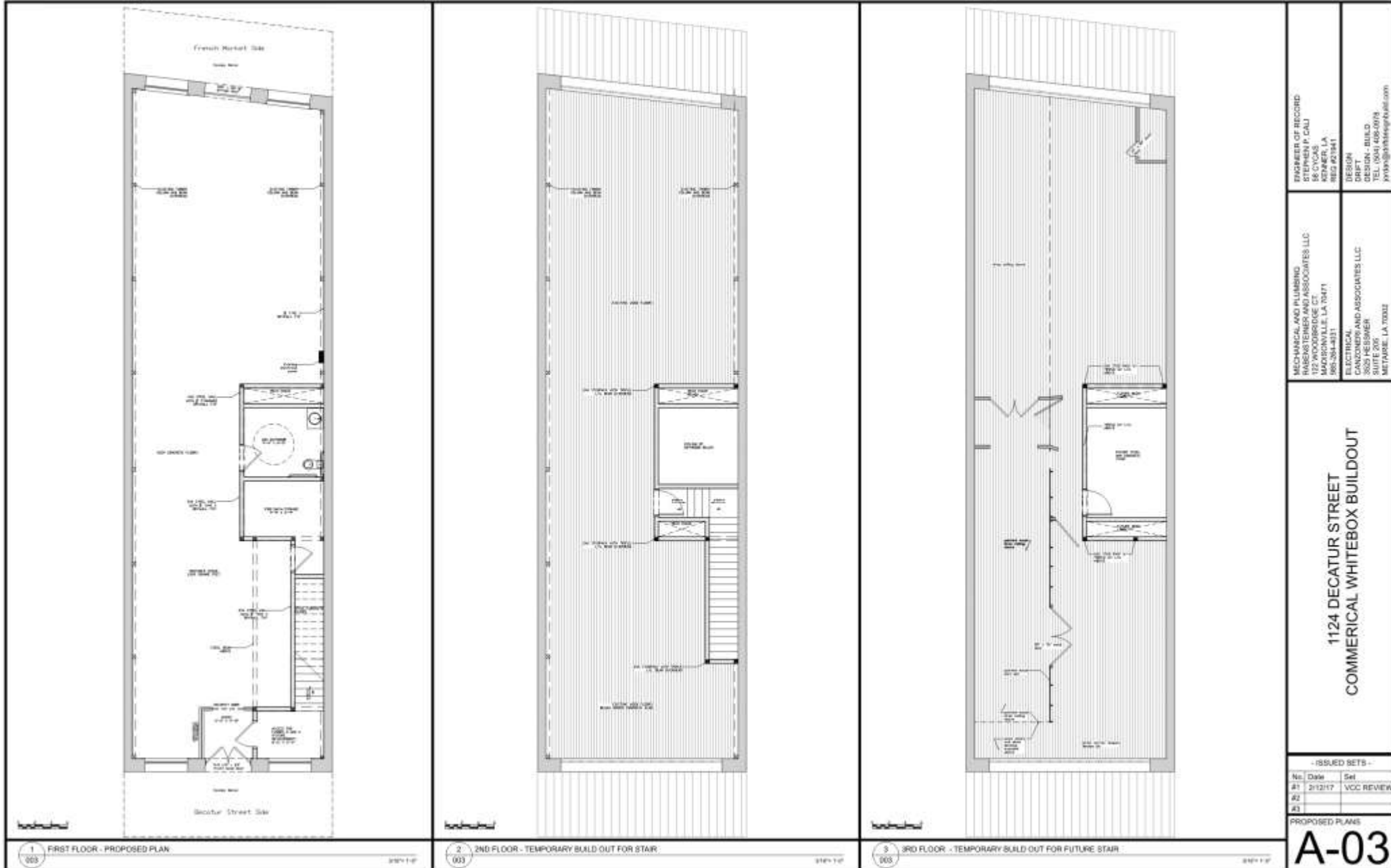
1124 Decatur

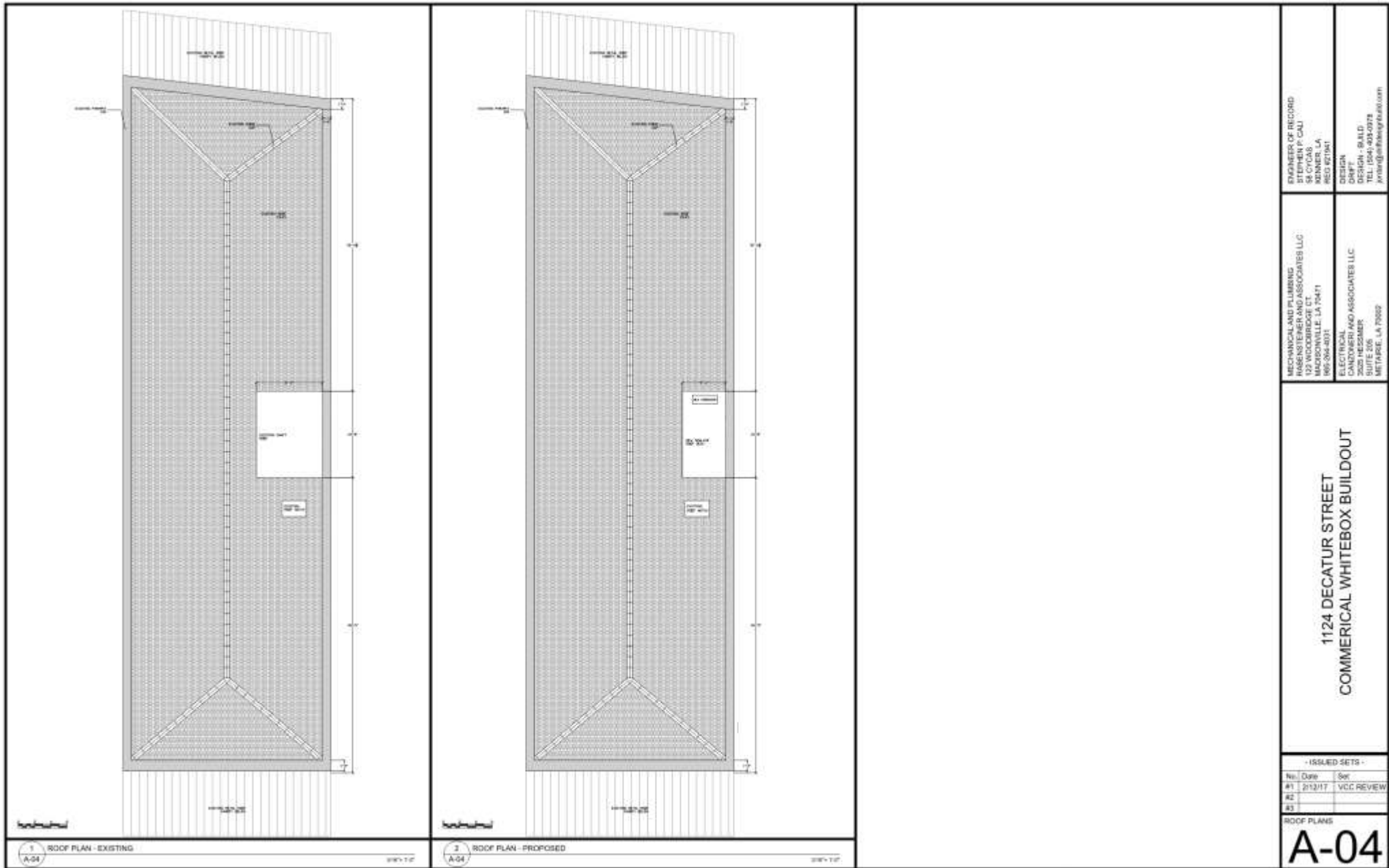
VCC Architectural Committee

March 13, 2018







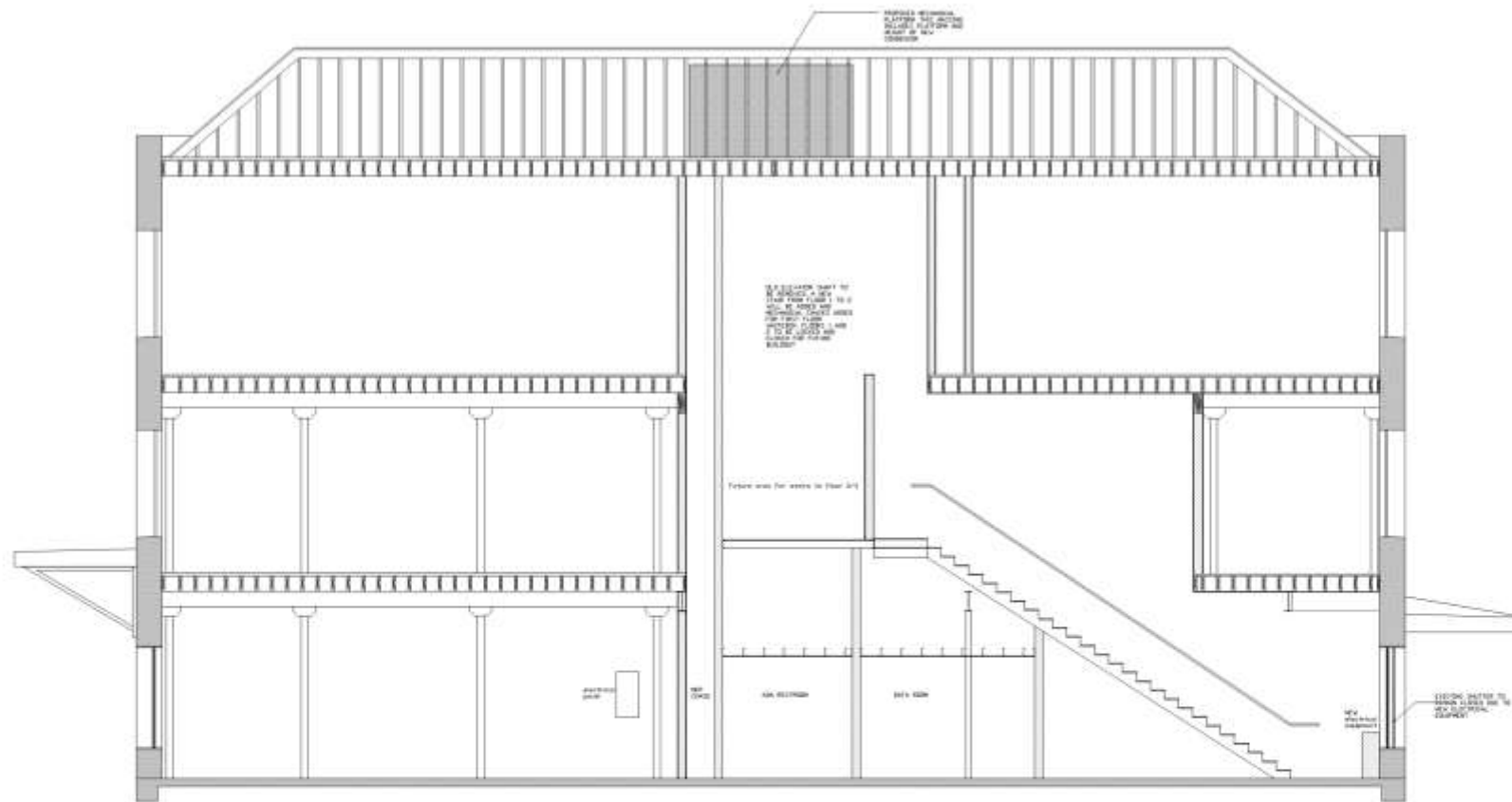




1124 Decatur
 VCC Architectural Committee

March 13, 2018

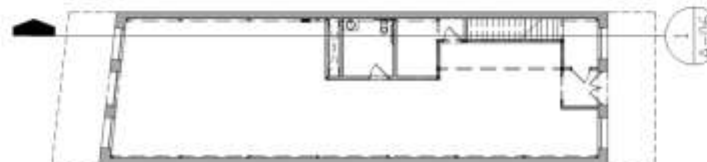




Architectural

1 SECTION SHOWING PROPOSED CHANGES
A-06

0' 10" = 1' 0"



2 KEY PLAN
A-06

NTS

ENGINEER OF RECORD
STEPHEN P. CAUL
58 CYCAS
NEW ORLEANS, LA 70111
DESIGN
DRAFT
DESIGN - BUILD
TEL: (504) 488-8878
www.stephencaul.com

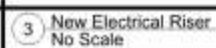
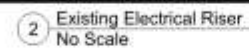
MECHANICAL AND PLUMBING
RABENSTEINER AND ASSOCIATES LLC
122 WOODBRIDGE CT.
MADEIRA HILLS, LA 70471
985-264-4001
ELECTRICAL
CANZONEN AND ASSOCIATES LLC
SUITE 201
METairie, LA 70002

1124 DECATUR STREET
COMMERCIAL WHITEBOX BUILDOUT

ISSUED SETS -		
No	Date	Set
#1	3/13/17	VCC REVIEW
#2		
#3		

SECTION
A-06





ENGINEER OF RECORD
STEPHEN P. CALL
56 CYCAS
KENNER, LA

CDRAFT
 (designs - 954) 403-0978
 jordan@cdraftdesigns.com



1124 DECATUR STREET
COMMERCIAL WHITEBOX BUILDOUT

- ISSUED SETS -

No.	Date	Set
#1		
#2		
#3		

SHEET NAME
1ST FLOOR/ROOF
ELECTRICAL PLAN

4 OF 4 SHEETS

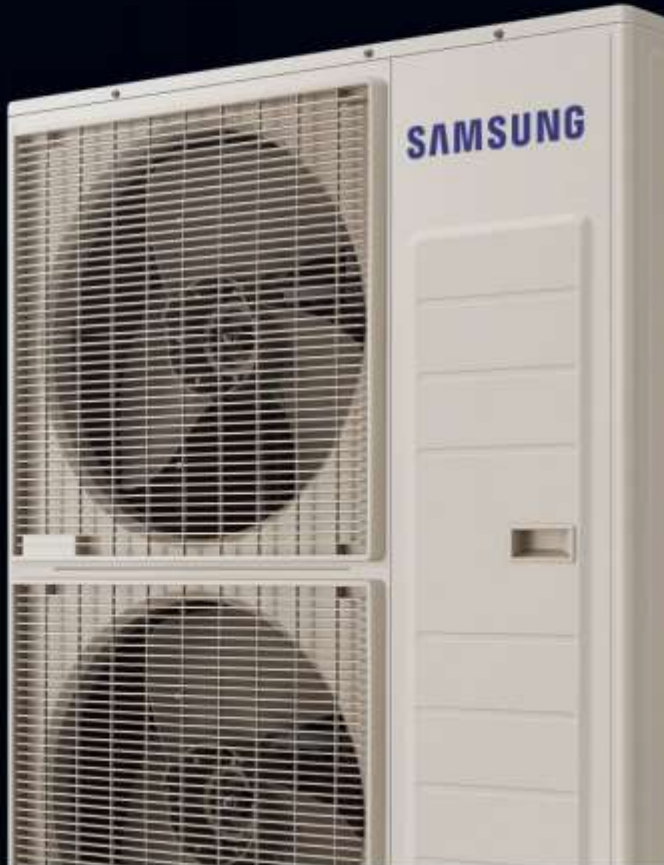


SAMSUNG

DVM S Eco

Compact with impact.

An efficient solution in various capacities.
Our most compact DVM S unit is efficient in several different capacities to drive down costs and energy use.

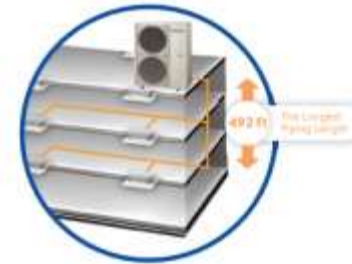


Small yet versatile.

This compact system is the perfect choice for high efficiency heating and cooling of light commercial and larger home needs. A wide range of available indoor units can fit into any residential or light commercial setting.

Cut costs and space.

Eco systems can connect up to 10 indoor units to a single outdoor unit depending on the outdoor model. The variable speed Eco system can reduce system capacity, providing heating or air conditioning capacity efficiently.



Just right.

The DVM S Eco is available in 4 capacities:
3, 4, 4.4, and 5 tons

Outdoor Unit Can Connect:

3 tons - Up to 6 indoor units • 4 tons - Up to 8 indoor units • 4.4 tons - Up to 9 indoor units • 5 tons - Up to 10 indoor units

1124 Decatur

VCC Architectural Committee

March 13, 2018





- Heating performance to -4°F for the 3, 4, and 4.4 ton units and -13°F for the 5 ton unit
- Long piping length (492 ft. from the outdoor unit to the farthest indoor unit)
- Wide variety of indoor units
- Nighttime Quiet Mode offers 3 levels of noise reduction from the outdoor unit
- Snow accumulation prevention of the outdoor unit when the outside temperature falls below 41°F
- Wide variety of controllers from simple local controllers to full controlling monitoring options. Visit dvmdownload.com to learn more.
- Optional Wi-Fi adapter available

DVM S Eco

SPECIFICATIONS - 36,000 | 48,000

MODEL	OUTDOOR UNIT	AM036FXMDCH/AA	AM048FXMDCH/AA
TONS	NOMINAL	3	4
MAX. INDOOR UNIT CONNECTION	QUANTITY	6	8
PERFORMANCE	CAPACITY	36,000 Btu/h	48,000 Btu/h
	SEASONAL	42,000 Btu/h	54,000 Btu/h
	SEER DUCTED / NON-DUCTED	11.20 / 11.20	10.20 / 10.20
	SEER DUCTED / NON-DUCTED	14.00 / 14.00	14.00 / 14.00
	EER DUCTED / NON-DUCTED	3.20	3.20
POWER	VOLTAGE	1/208-230 / 60	1/208-230 / 60
	MAX. BREAKER	40 A	50 A
	MIN. CIRCUIT AMPACITY	23 A	29 A
DIMENSIONS	HEIGHT	37 5/8" X 13 1/2"	37 5/8" X 13 1/2"
	WEIGHT	220.5 lbs.	220.5 lbs.
SOUND PRESSURE LEVEL	OUTDOOR	52 dBA(A)	53 dBA(A)
OPERATING TEMPERATURE	COOLING	(0°) 23 - 118°F	(0°) 23 - 118°F
	HEATING	-4 - 75°F	-4 - 75°F
PIPE CONNECTIONS	LIQUID PIPE	3/8 in.	3/8 in.
	GAS PIPE	5/8 in.	5/8 in.
	INSTALLATION LIMITATION	MAX. VERTICAL SEPARATION	164 ft.
		PIPE LENGTH (ODU - IDU)	492 ft.
REFRIGERANT	TYPE	R410A	R410A
	FACTORY CHARGE	7.1 lbs.	8.1 lbs.
COMPRESSOR	TYPE	Twin BLDC Rotary	Twin BLDC Rotary
CONDENSER FAN	FAN	TYPE	Propeller (2)
		CFM (MAX.)	3,885
	MOTOR	TYPE	BLDC
ACCESSORIES	WIND SAFFLE GUARD	FRONT	WBF-1M2
		BACK	WBB-2M



Product registration required.
Conditions apply.



The AHRI Certified® mark indicates Samsung's participation in the AHRI Certification program. For verification of individual certified products, go to www.ahriintertek.org.

*With Wind Baffles

Samsung HVAC maintains a policy of ongoing development; specifications are subject to change without notice.



1224 Royal





1224 Royal, 1962

VCC Architectural Committee

March 13, 2018





1224 Royal





1224 Royal





1224 Royal





1224 Royal

VCC Architectural Committee

March 13, 2018





1224 Royal

VCC Architectural Committee

March 13, 2018

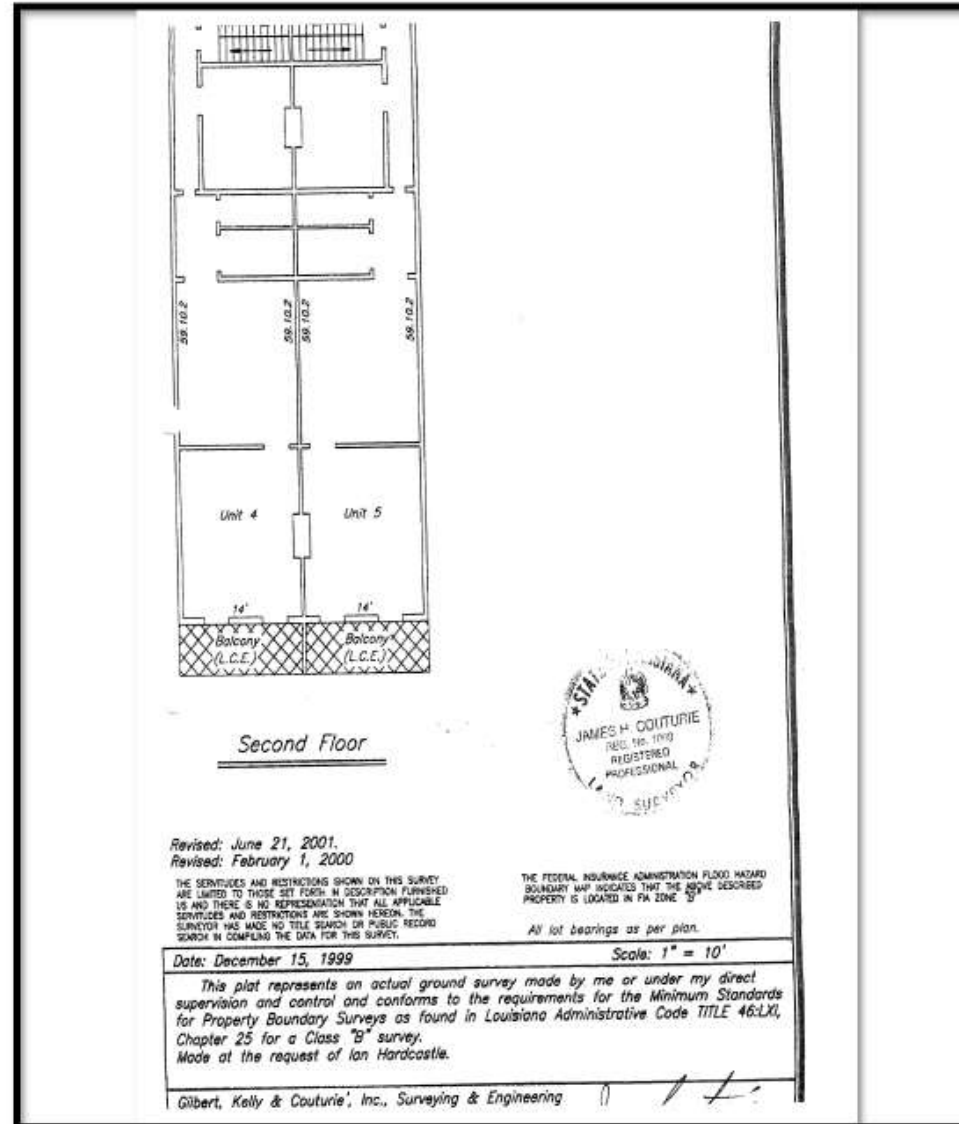


1224 Royal Street Condominiums – HVAC System Plan

- 5 units: 2 upstairs, 2 down, “stable” unit in back
- Building converted to condominiums in 1999. All units provided through the wall hvac units.
- 2 owners (units 1 &2) have modern split system HVAC, approved by VCC in approx 2014.
- Upstairs unit #4 requests permission for installation of similar split system
- Two remaining owners (#5 upstairs, #3 “stable” unit on patio) not interested in changing at this time
- #5 will use matching installation if thru wall units replaced with split system.
- #3 will use unit’s existing through wall location on Barracks side if wall units replaced with split system.



Surveyor/Architectural Drawings of 1224 Royal Street



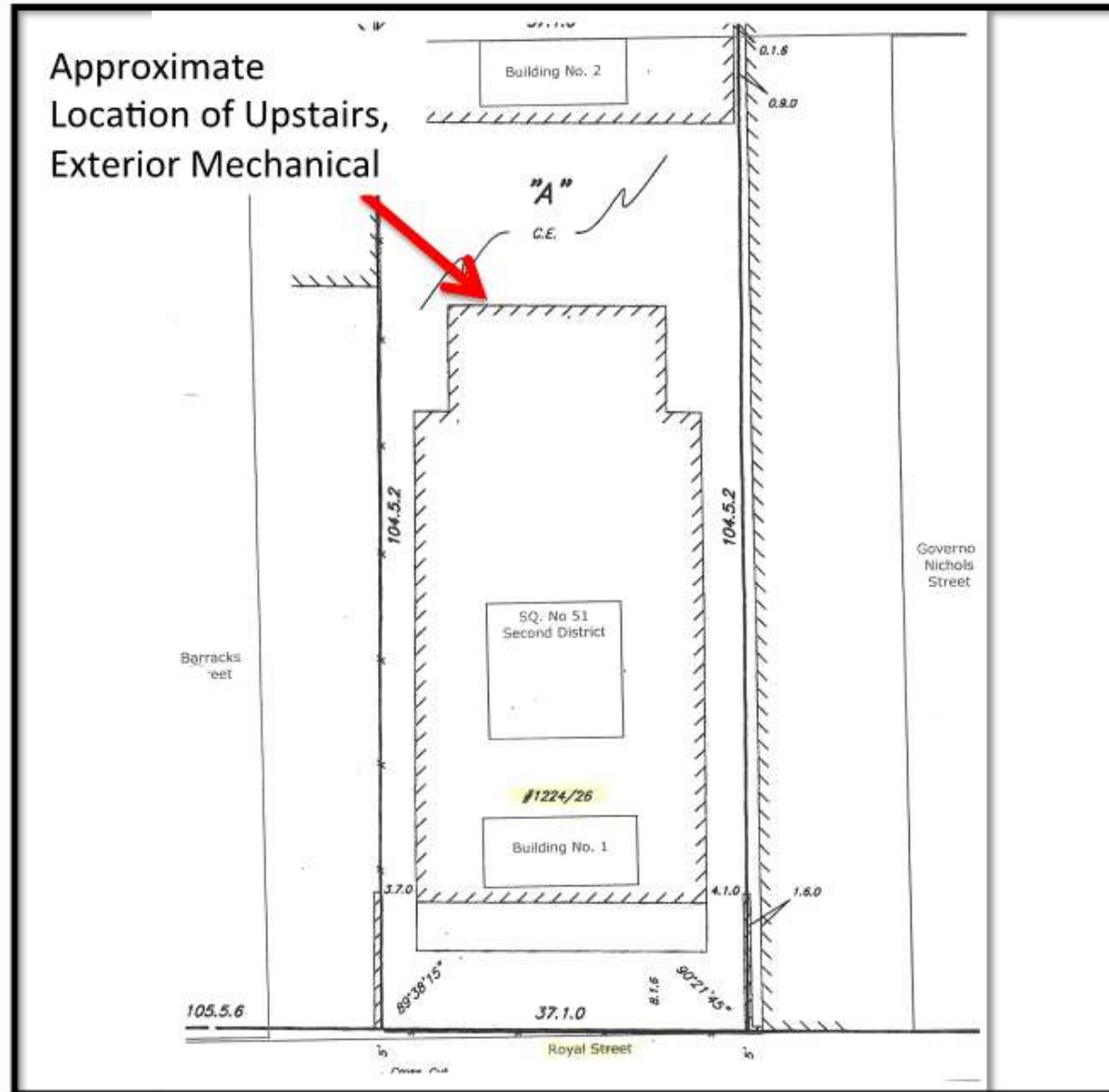
1224 Royal

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March 13, 2018



1224 Royal Street Plat



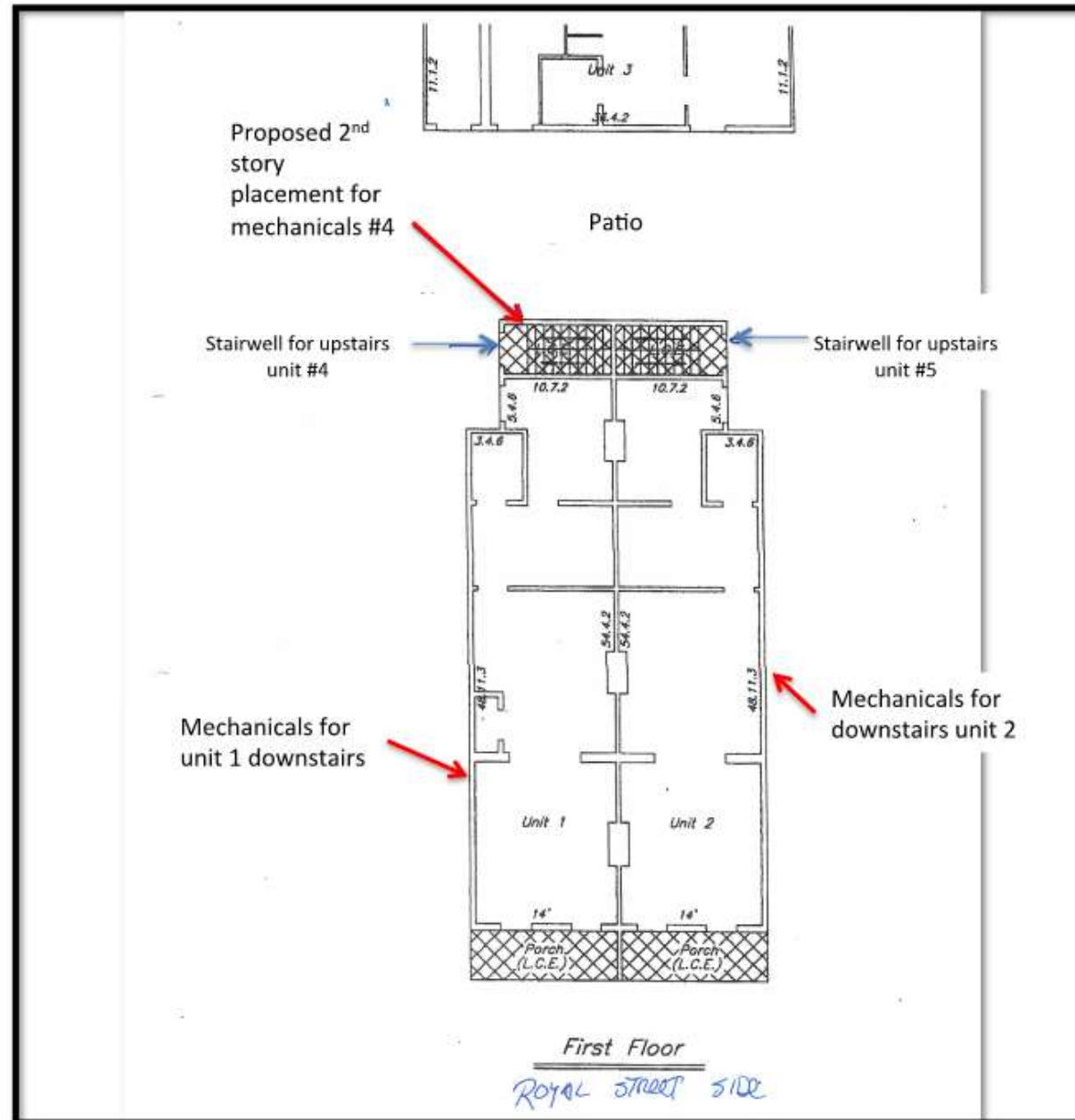
1224 Royal

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March 13, 2018



1224 Royal Street, Ground floor



1224 Royal

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March 13, 2018



Gate view for Side of house for proposed 2nd story system



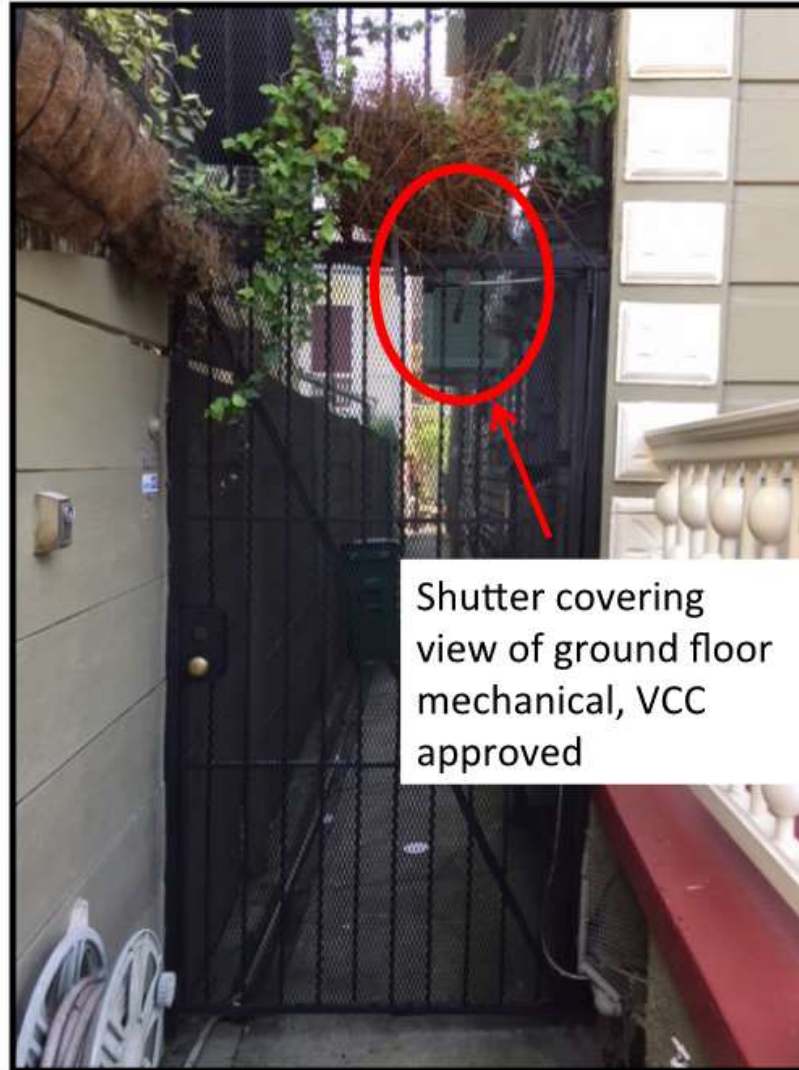
1224 Royal

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March 13, 2018



Gate view for Side of house for proposed 2nd story system



1224 Royal

VCC Architectural Committee

March 13, 2018



Side of house for proposed 2nd story system



Existing thru wall
unit, upstairs – to be
removed if new
system installed

1224 Royal

VCC Architectural Committee

March 13, 2018



Looking front
Side of house for proposed 2nd story
system



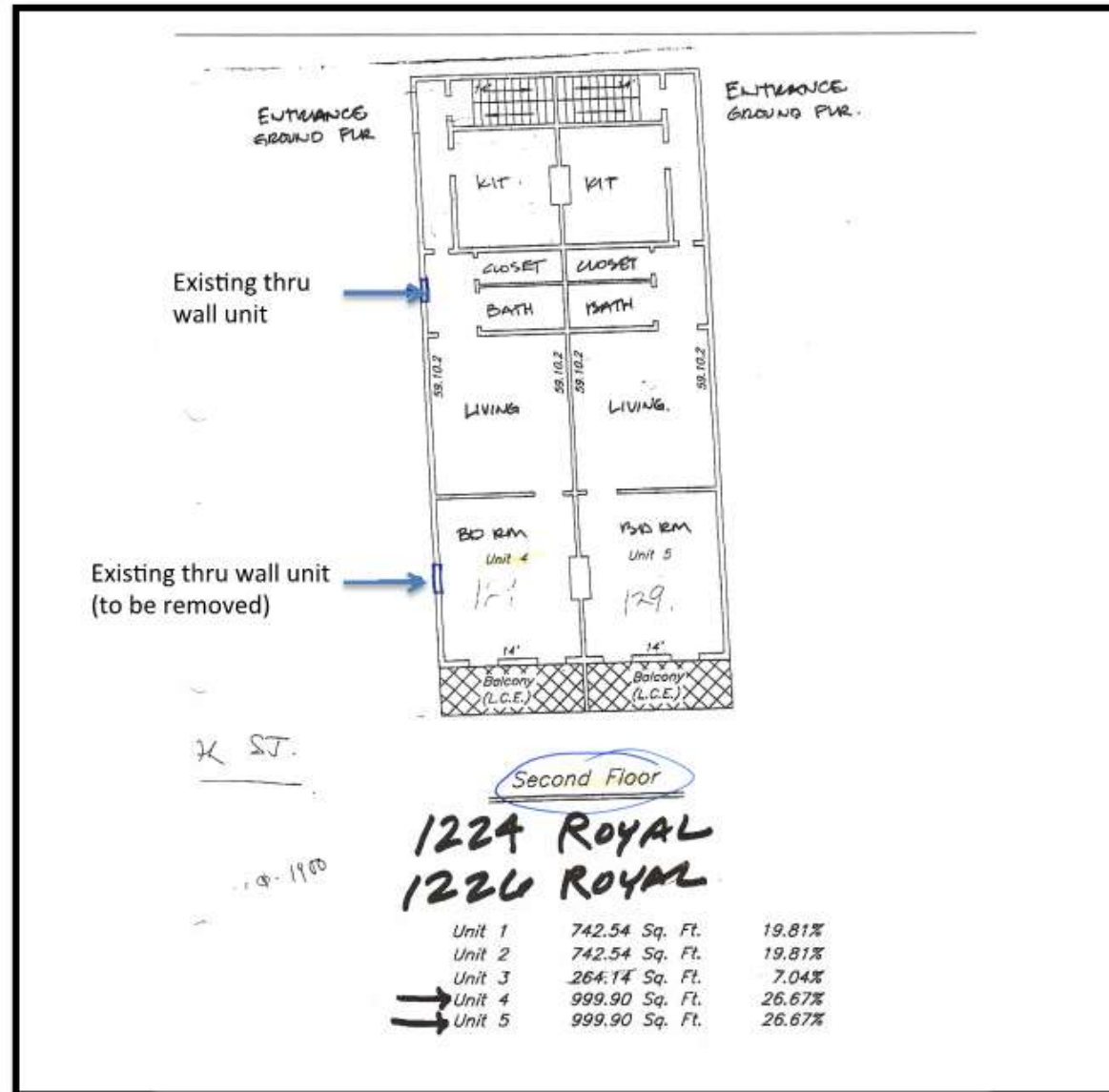
1224 Royal

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1224 Royal Street, 2nd Floor



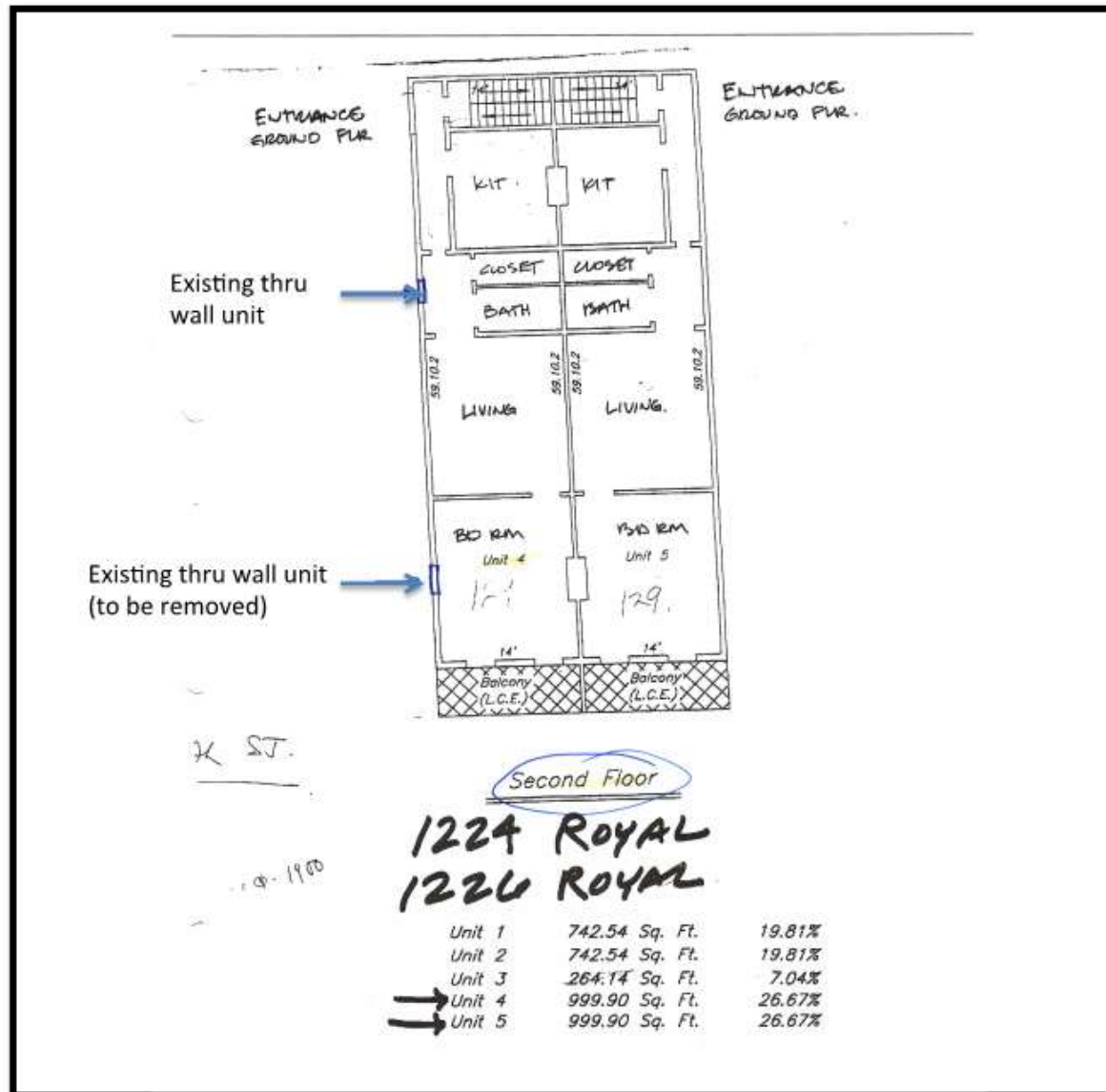
1224 Royal

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March 13, 2018



1224 Royal Street, 2nd Floor



1224 Royal

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March 13, 2018



View of 2nd story
1224 Royal Street with existing thru wall units
and proposed run for new mechanicals



1224 Royal

VCC Architectural Committee

March 13, 2018



Proposed Placement Back wall facing court yard



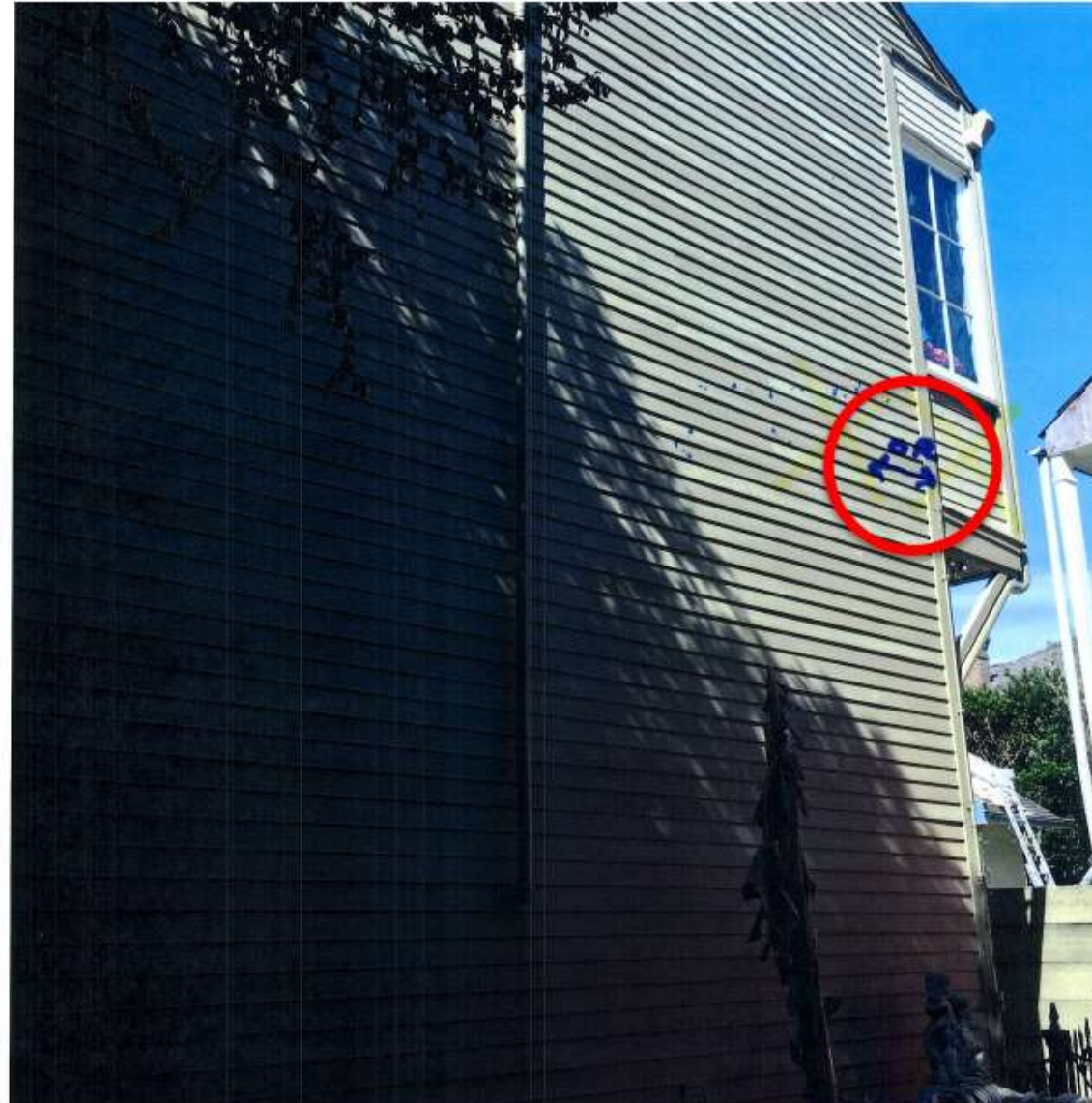
1224 Royal

VCC Architectural Committee

March 13, 2018



Proposed Placement Back wall facing court yard



1224 Royal

VCC Architectural Committee

March 13, 2018



Opposite Side of house

(Gov. Nichols side)



1224 Royal

VCC Architectural Committee

March 13, 2018



Opposite Side of house

(Gov. Nichols side)



1224 Royal

VCC Architectural Committee

March 13, 2018



Opposite Side of house

(Gov. Nichols side)



1224 Royal

VCC Architectural Committee

March 13, 2018



“Stable” unit - back of house



1224 Royal

VCC Architectural Committee

March 13, 2018



“Stable” unit - back of house

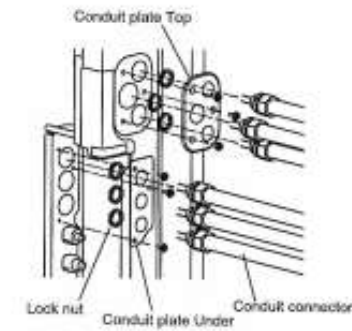
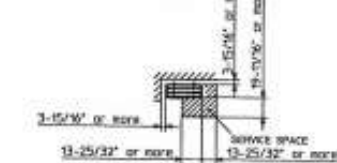
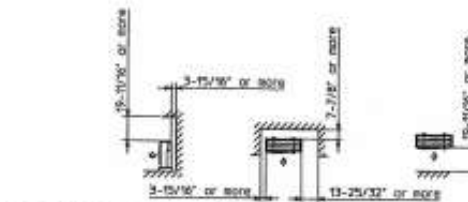
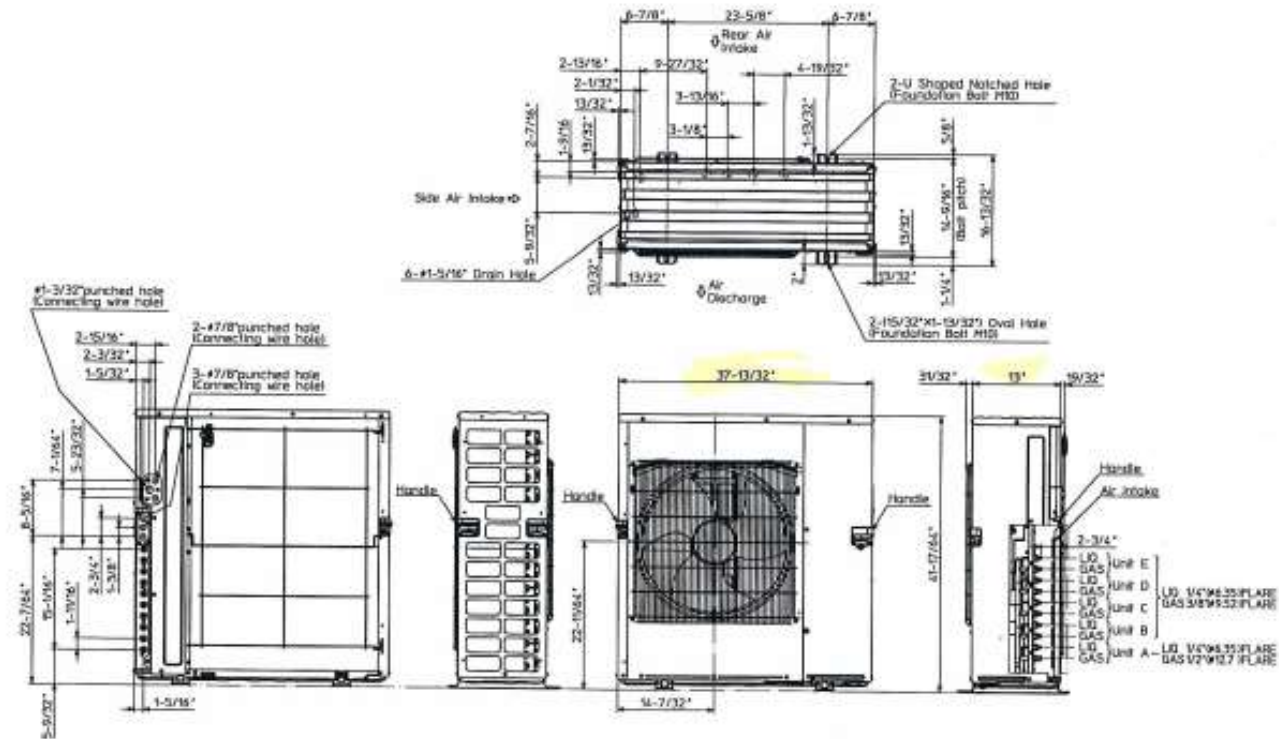


1224 Royal

VCC Architectural Committee

March 13, 2018







1224 Royal

VCC Architectural Committee

March 13, 2018





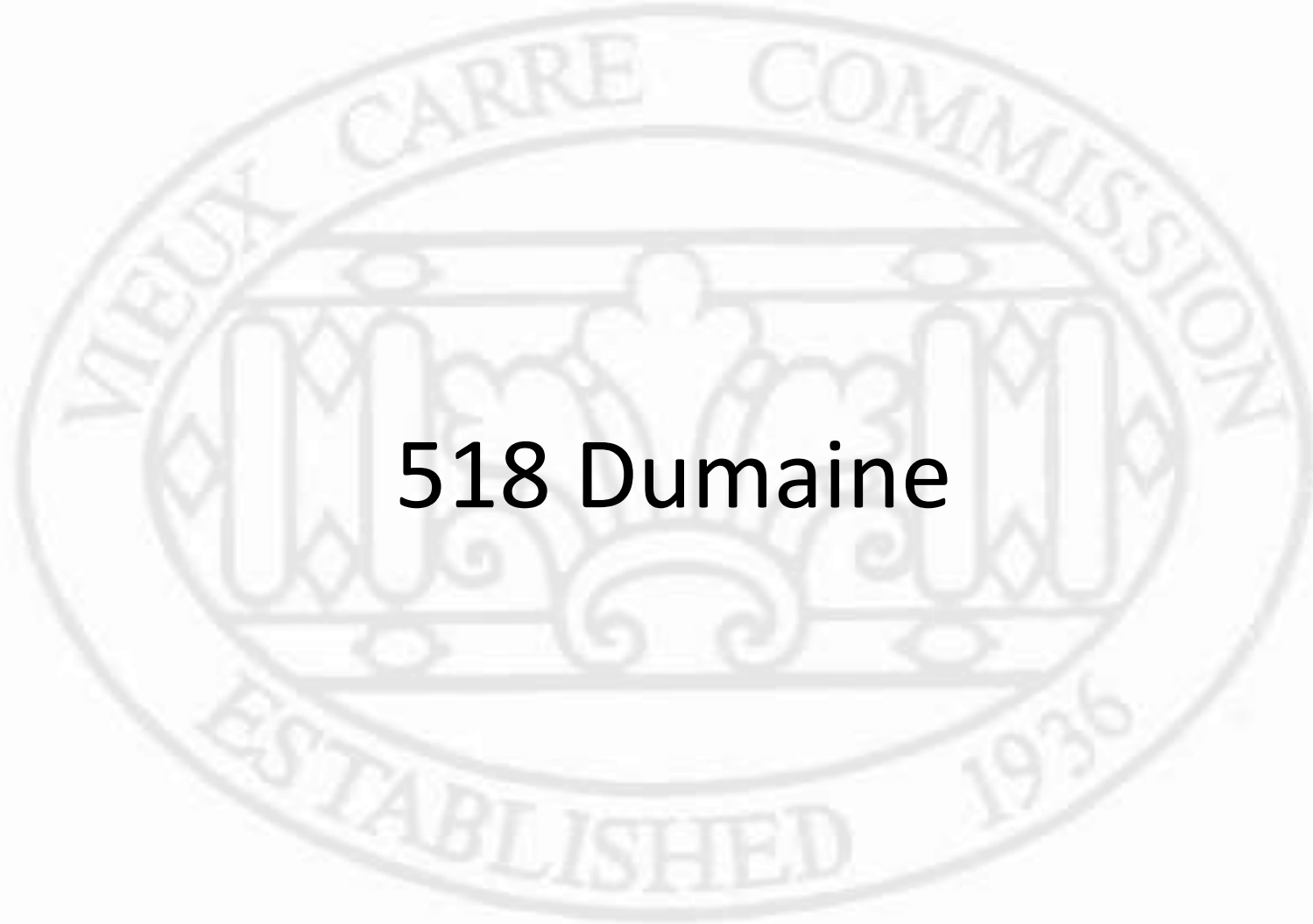
1224 Royal

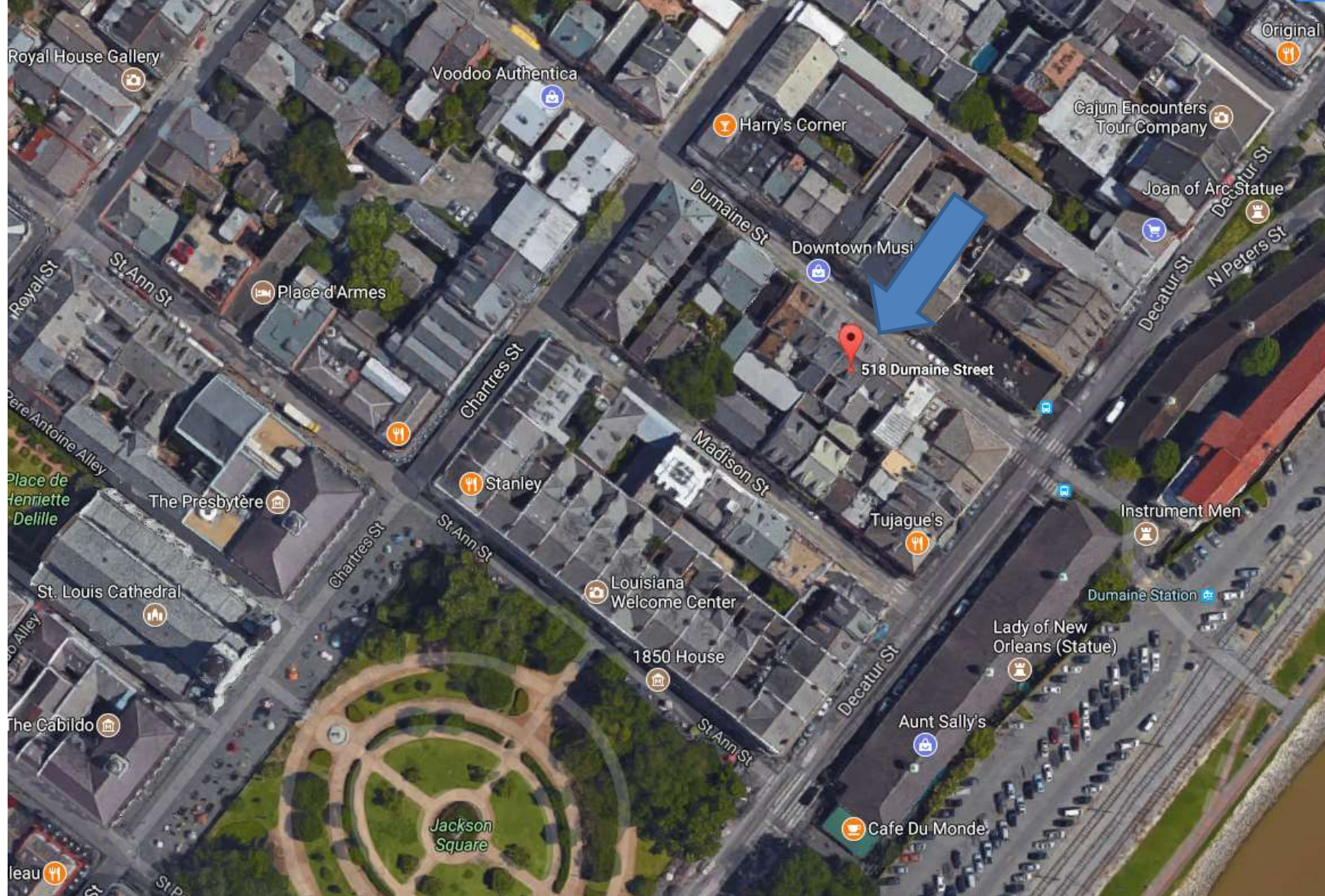
VCC Architectural Committee

March 13, 2018



518 Dumaine





518 Dumaine

VCC Architectural Committee

March 13, 2018





518 Dumaine - 1964



518 Dumaine



518 Dumaine - 1964



518 Dumaine – 2014 – Previously Existing Window



518 Dumaine



518 Dumaine



518 Dumaine

VCC Architectural Committee

March 13, 2018





518 Dumaine

VCC Architectural Committee

March 13, 2018



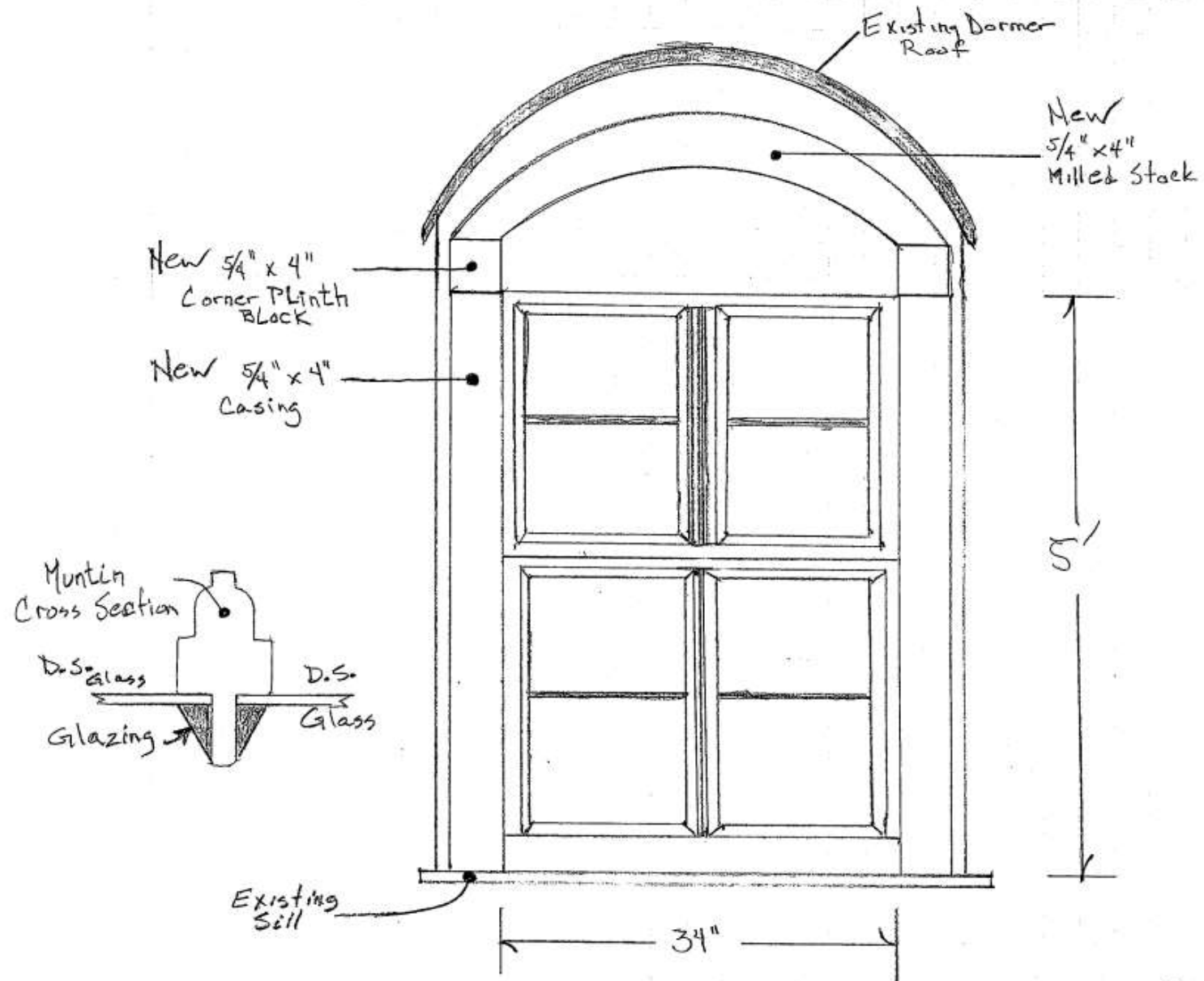
518 Dumaine

VCC Architectural Committee



March 13, 2018





518 Dumaine

VCC Architectural Committee

518 Dumaine

March 13, 2018





518 Dumaine

VCC Architectural Committee

March 13, 2018





518 Dumaine

VCC Architectural Committee

March 13, 2018





518 Dumaine

VCC Architectural Committee

March 13, 2018





518 Dumaine

VCC Architectural Committee

March 13, 2018





518 Dumaine

VCC Architectural Committee

March 13, 2018





518 Dumaine

VCC Architectural Committee

March 13, 2018



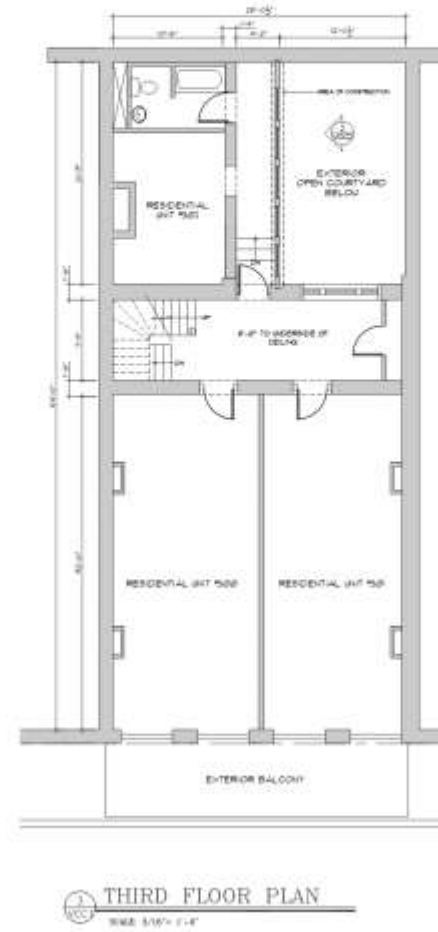
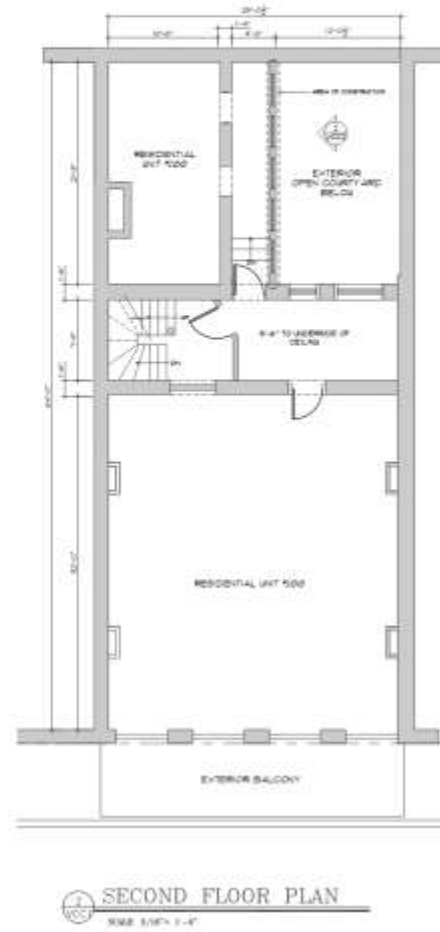
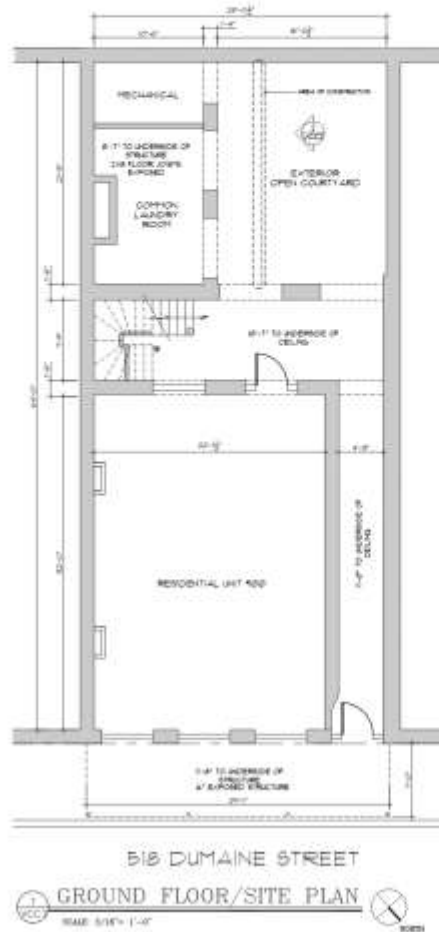
PROJECT DIRECTORY

ARCHITECT OF RECORD:
BRIAN E. ANDERSON ARCHITECT LLC
MR. BRIAN E. ANDERSON, ARCHITECT
4000 CANAL BOULEVARD
NEW ORLEANS, LA 70114
TEL: (504) 249-6888
EMAIL: andersoneb@brianed.com

OWNER:
THE ALLEN & KELLY
LAPLACE REVOCABLE LIVING TRUST
4000 UNDER VILLAGE DRIVE, # 40
BATON ROUGE, LA 70807
TEL: (504) 288-8872
EMAIL: allenkelly@aol.com

518 DUMAINE STREET COURTYARD RENOVATIONS PHASE 1

518 DUMAINE STREET
NEW ORLEANS, LOUISIANA 70116



GRAND FLOOR, SECOND FLOOR, & THIRD FLOOR PLANS
518 DUMAINE STREET
COURTYARD RENOVATIONS
PHASE 1
518 DUMAINE STREET
NEW ORLEANS, LOUISIANA 70116

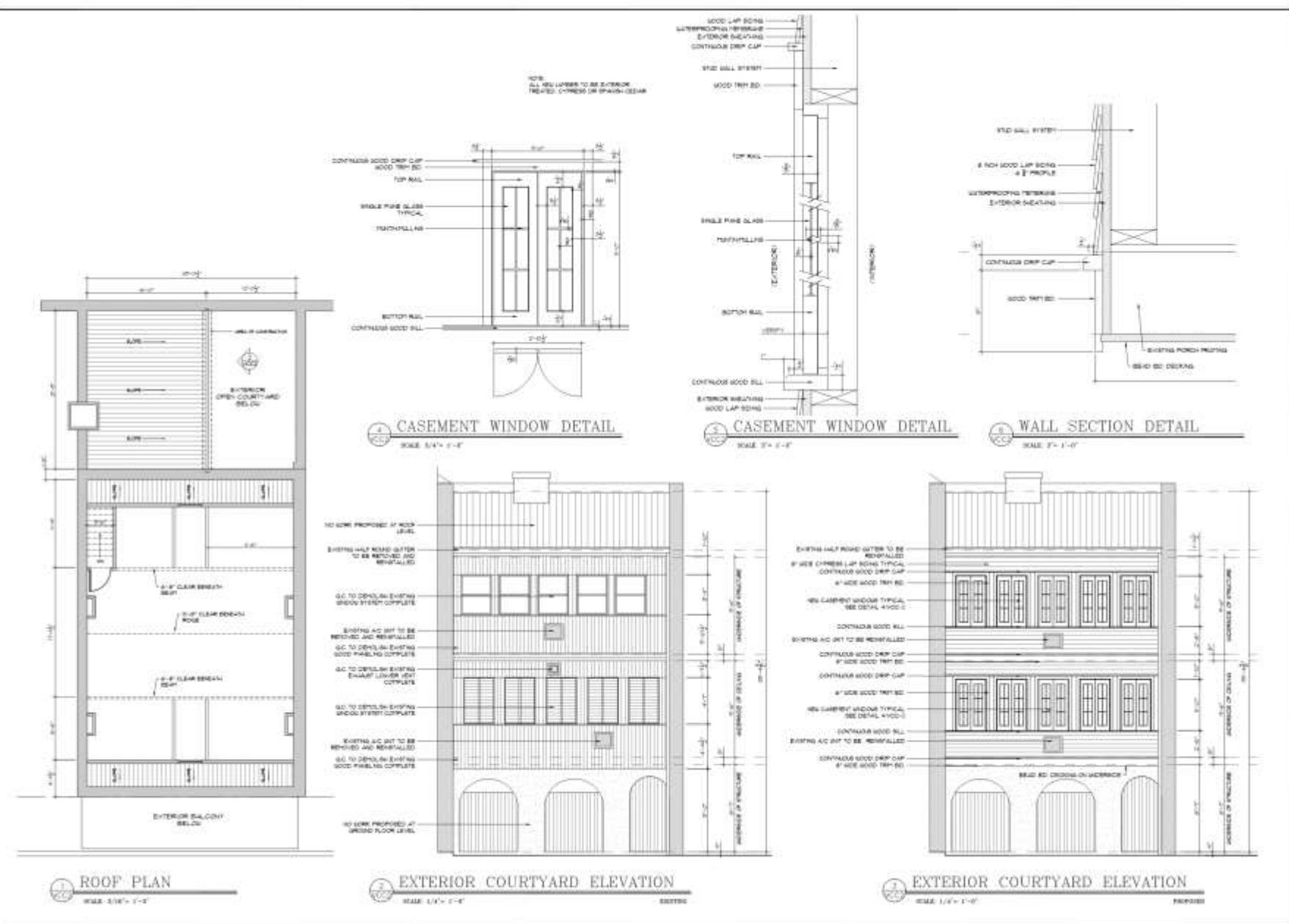
PROJECT NO.
18-020
DATE
10-1-18
VCC-1

518 Dumaine

VCC Architectural Committee

March 13, 2018



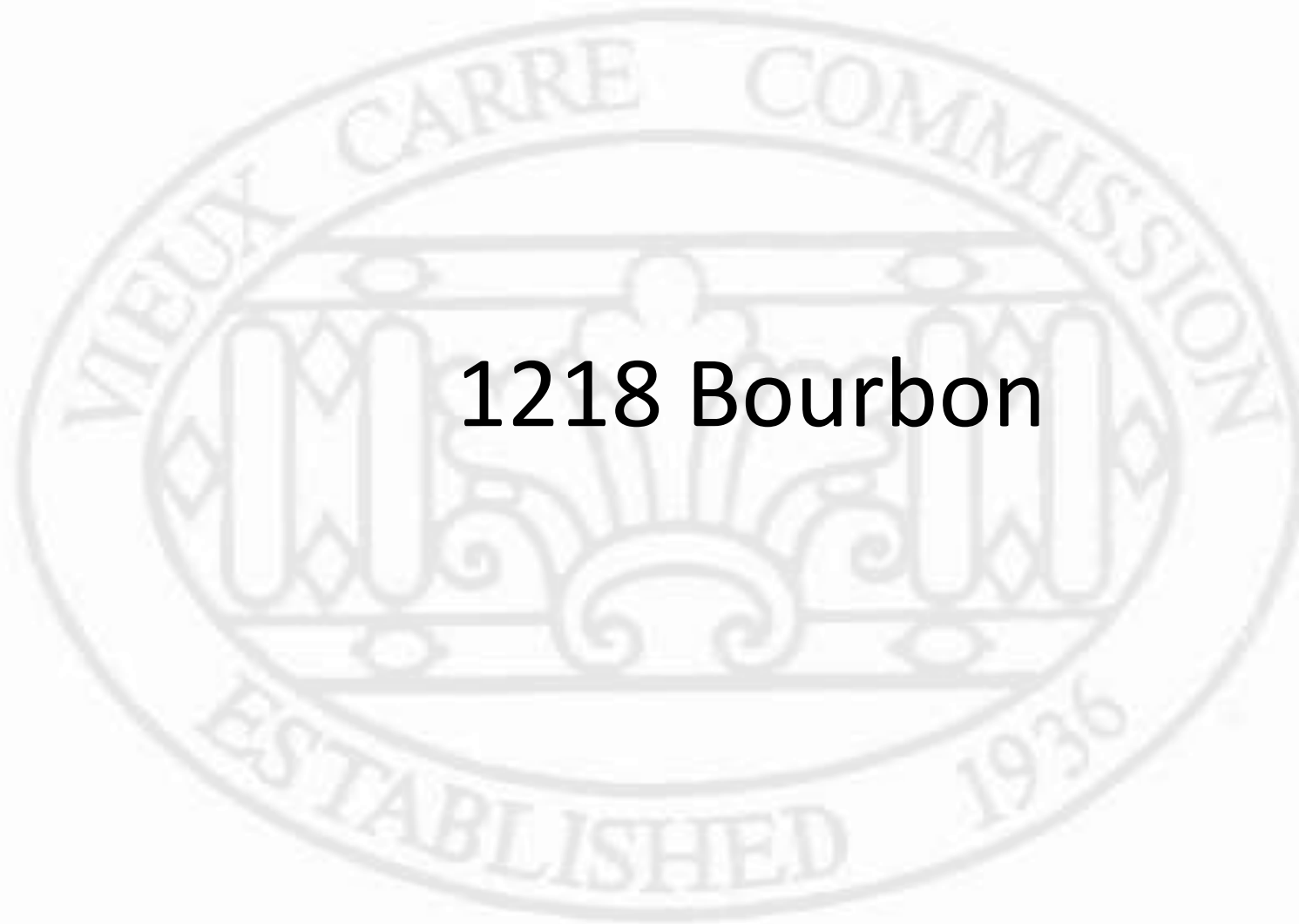


518 Dumaine

VCC Architectural Committee

March 13, 2018





1218 Bourbon



1218 Bourbon

VCC Architectural Committee

March 13, 2018





1218 Bourbon

VCC Architectural Committee

March 13, 2018





1218 Bourbon

VCC Architectural Committee

March 13, 2018





1218 Bourbon

VCC Architectural Committee

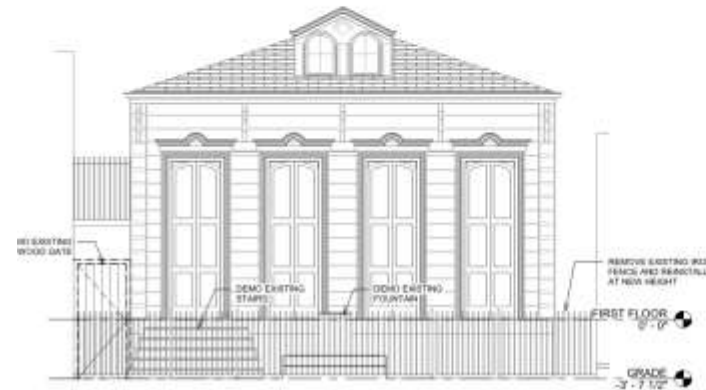
March 13, 2018



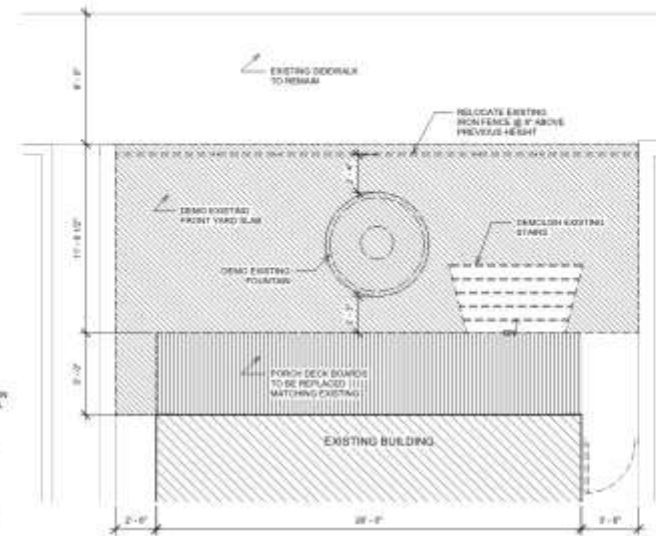
YUNG RESIDENCE FRONT YARD ALTERATIONS

1218 BOURBON STREET
NEW ORLEANS, LA 70116

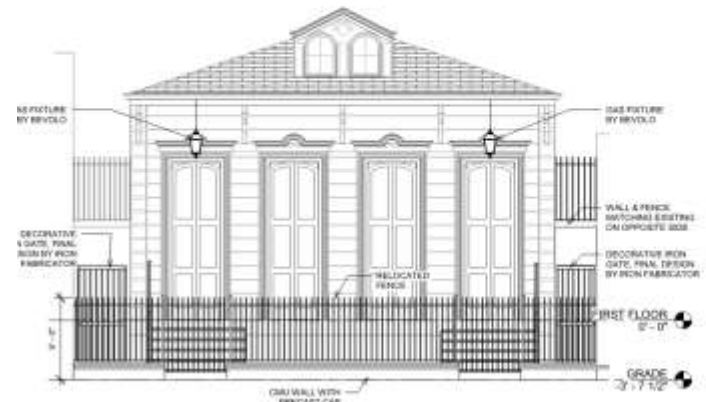
FOR PERMIT, NOT FOR CONSTRUCTION



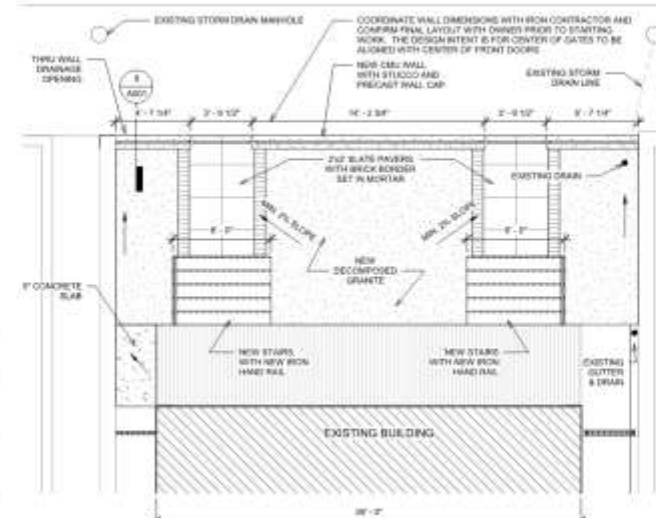
1 EXISTING FRONT ELEVATION
1/4" = 1'-0"



4 EXISTING/DEMO FRONT YARD PLAN
1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



3 PROPOSED FRONT YARD PLAN
1/4" = 1'-0"

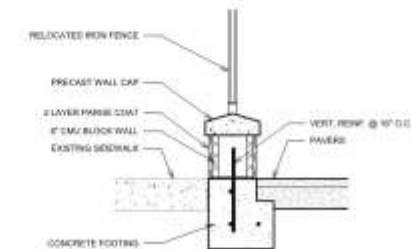


5 FRONT 3D VIEW

PROJECT INFORMATION:

PROPERTY DESCRIPTION: SQ 34 LOT 9 BOURBON 32X127
OCCUPANCY: RESIDENTIAL
BUILDING CODE: IRC 2012
CONSTRUCTION TYPE: TYPE V-B
ZONING CLASSIFICATION: VCR-1
LOCAL HISTORIC DISTRICT: Vieux Carre
JURISDICTION: VCC
SCOPE OF WORK:

DEMOLISH EXISTING CONCRETE SLAB IN FRONT YARD.
DEMOLISH EXISTING FOUNTAIN. REMOVE AND REINSTALL
IRON RAILING AT 8 INCHES ABOVE EXISTING LOCATION.
INSTALL NEW CONCRETE MASONRY WALL WITH PARGE
COAT, PRECAST WALL CAP AND PAINTED FINISH BELOW
IRON RAILING. NEW HARDSCAPE IN PLACE OF PREVIOUS
CONCRETE SLAB SLOPED TO DRAIN WATER. DEMOLISH AND
EXISTING STAIR. INSTALL NEW STAIRS. REMOVE EXISTING
WOOD SIDE GATE AND REPLACE WITH NEW IRON GATE.
INSTALL NEW GATE ON RIGHT SIDE MATCHING
CONFIGURATION ON RIGHT SIDE. NEW STAIR GUARD RAILS.
NOTE ALL NEW IRON WORK DESIGN BY IRON FABRICATOR.
REPLACE DAMAGED PORCH DECK BOARDS, PAINT



6 WALL DETAIL
1" = 1'-0"

1218 Bourbon

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March 13, 2018



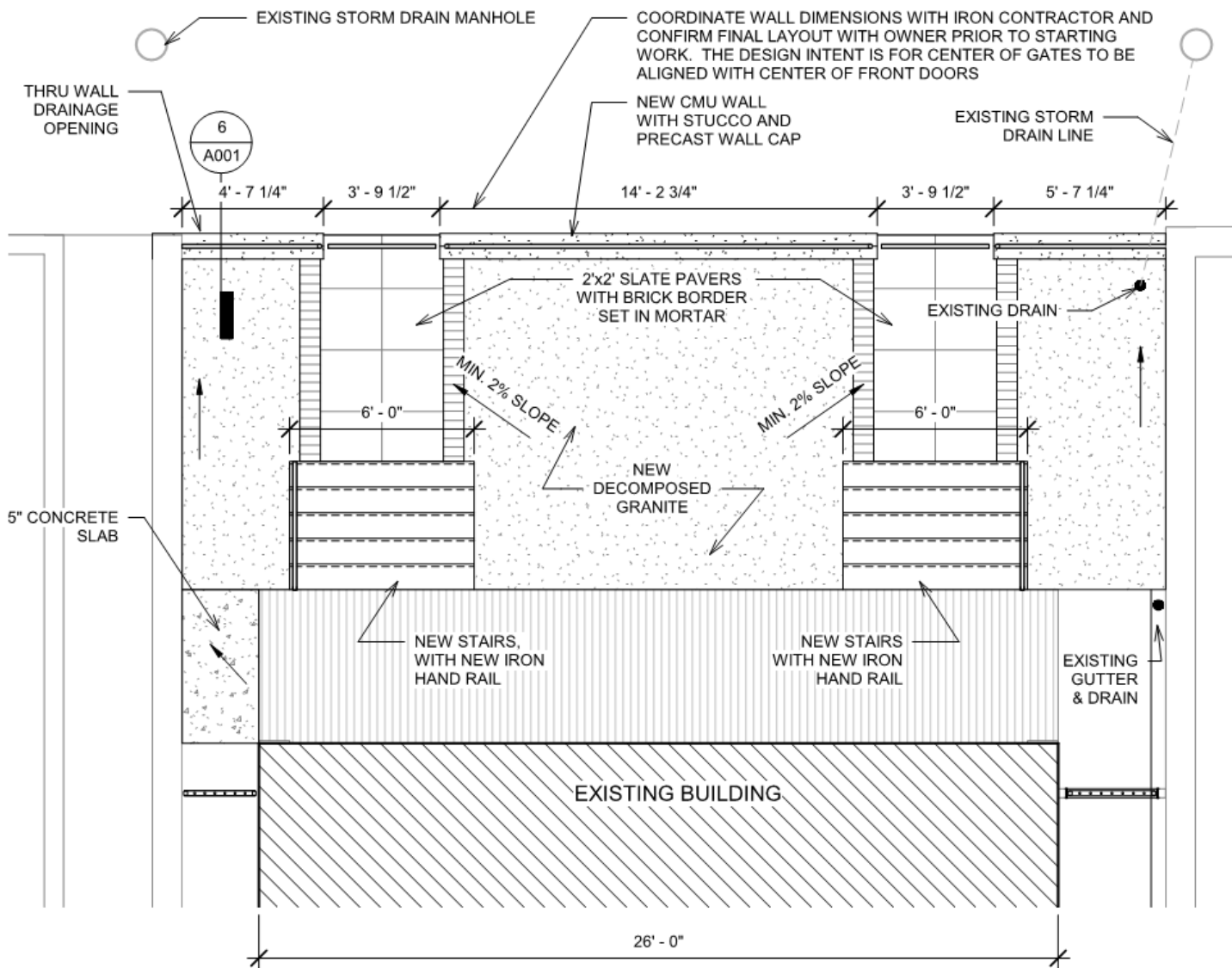


1218 Bourbon

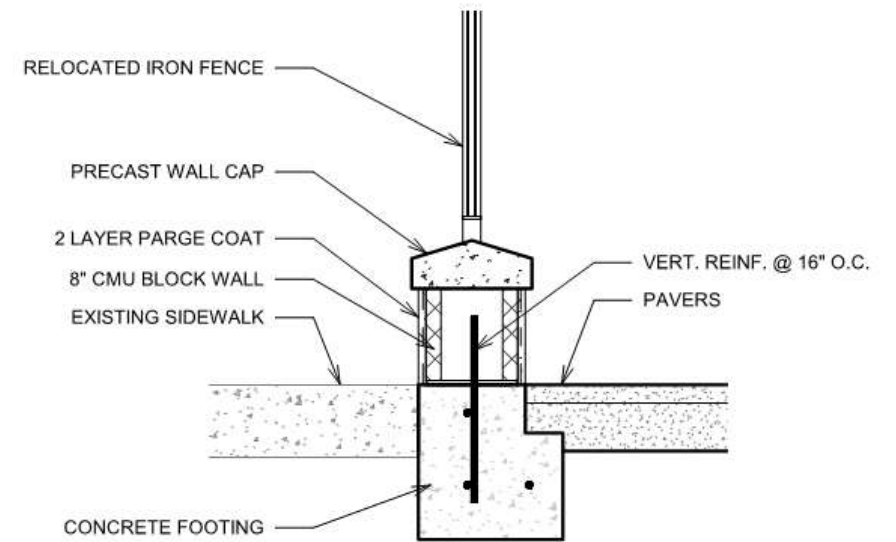
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March 13, 2018





③ PROPOSED FRONT YARD PLAN
1/4" = 1'-0"



⑥ WALL DETAIL
1" = 1'-0"

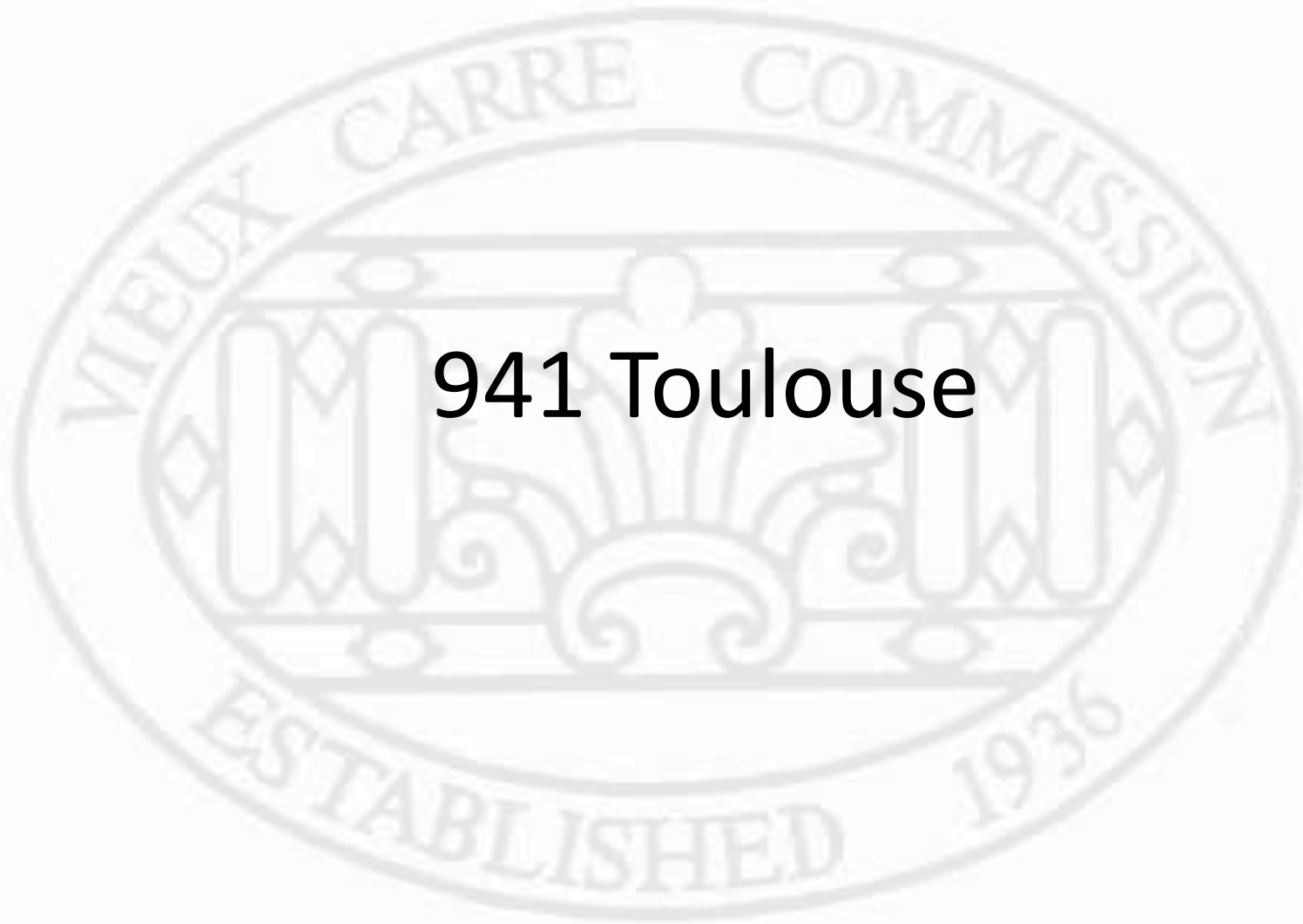
1218 Bourbon

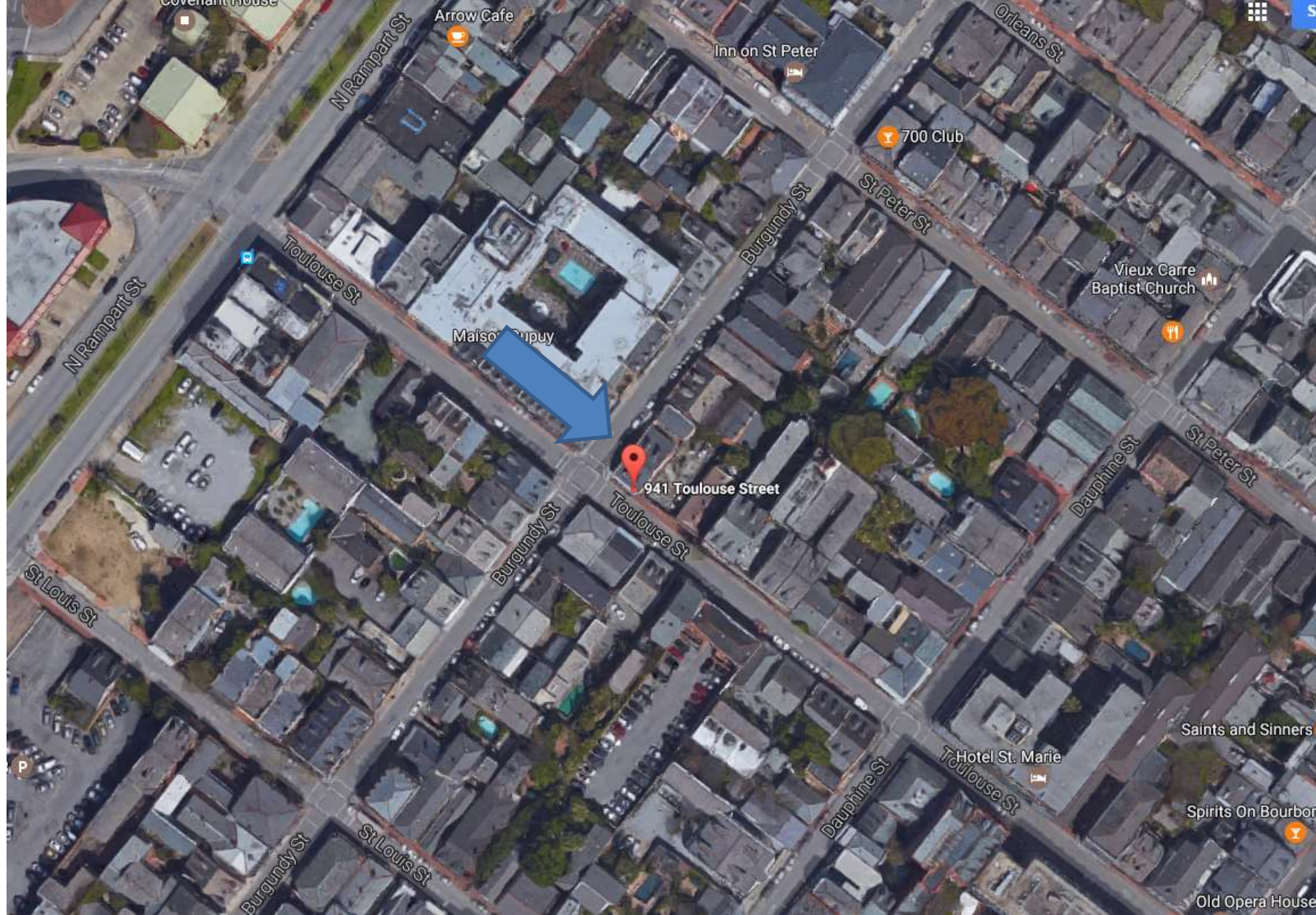
VCC Architectural Committee

March 13, 2018



941 Toulouse





941 Toulouse





941 Toulouse



941 Toulouse - 1983



941 Toulouse - 1983



941 Toulouse - 2014



941 Toulouse

VCC Architectural Committee

March 13, 2018





941 Toulouse



941 Toulouse - 2015



941 Toulouse



941 Toulouse

VCC Architectural Committee

March 13, 2018





941 Toulouse

VCC Architectural Committee

March 13, 2018



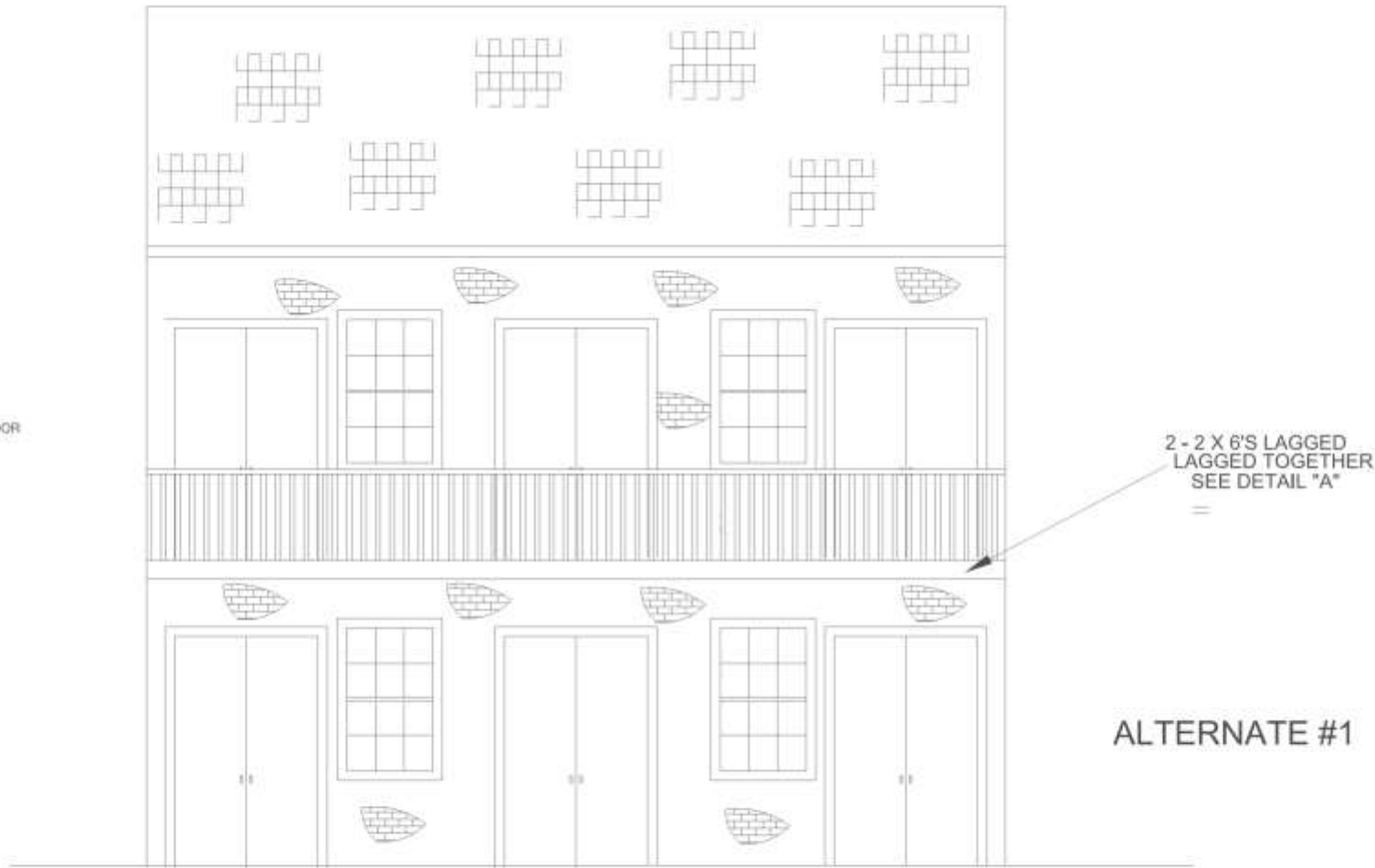
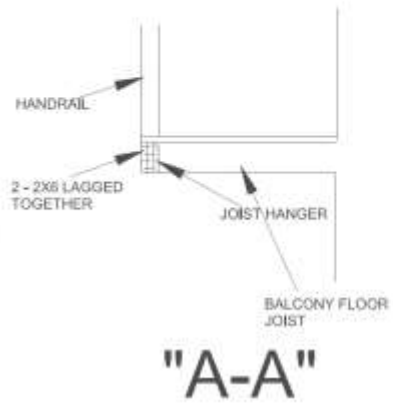


941 Toulouse

VCC Architectural Committee



March 13, 2018



NOTE:
THIS ALTERNATE IS DUE TO THE VCC NOT ALLOWING THE STEEL BEAM AND COLUMNS AS PER THE ORIGINAL DESIGN. WITHOUT THE BEAM AND COLUMNS THERE MAY BE SOME DEFLECTIONS GREATER THAN CODE ALLOWS



THOMAS E. PITTMAN P. E.
CONSULTING ENGINEER
18080 BRANDON DR.
HAMMOND, LA. 70403
985-662-5054

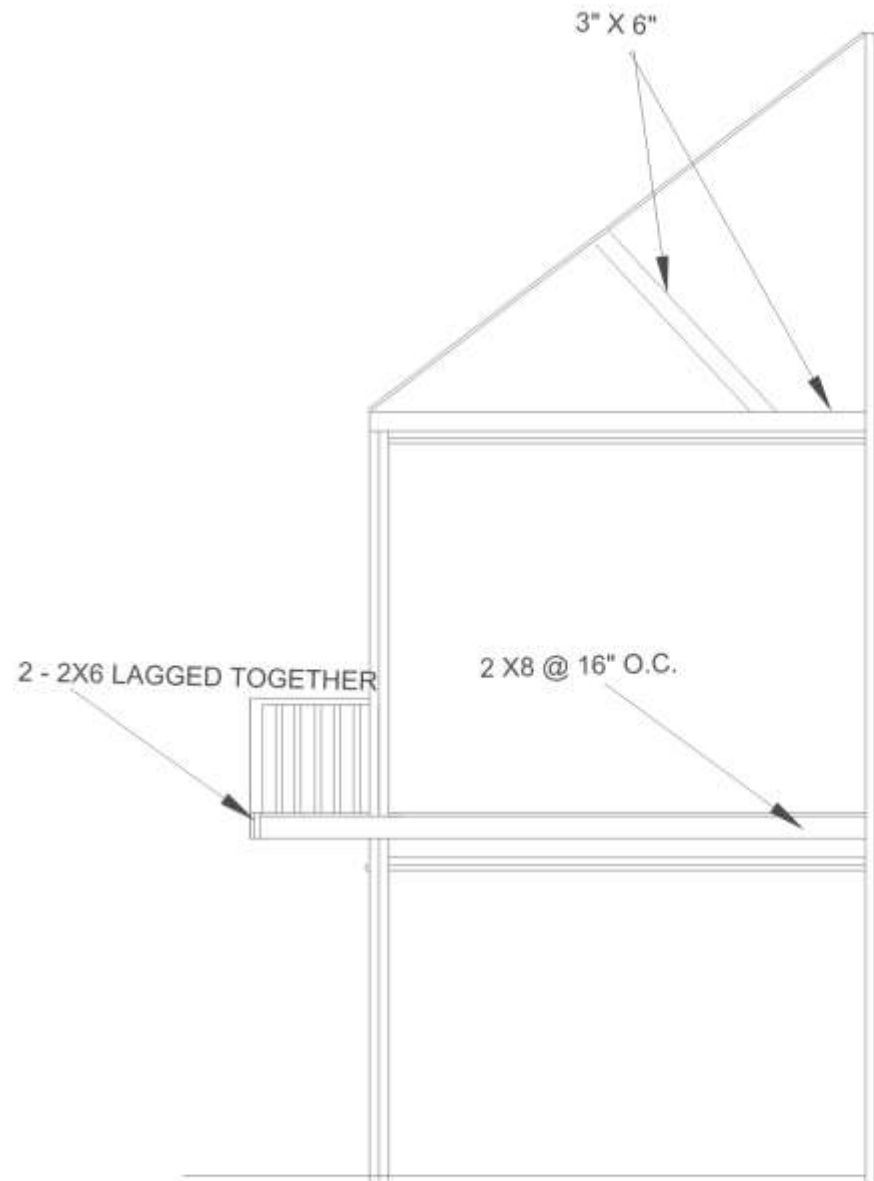
TEP
02/24/18
10' x 14'
E1-A



941 Toulouse

VCC Architectural Committee

March 13, 2018



941 Toulouse

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FRAMING PLAN - ALTERNATE #1

March 13, 2018



Perino's Construction

champ69426@yahoo.com

ESTIMATE

ADDRESS

Clang, LC
606 Burgundy Street
New Orleans, La.

ESTIMATE # 1260


DATE 03/05/2018

ACTIVITY	QTY	RATE	AMOUNT
Labor Install 30' Of Treated 2x6 Doubled Up, Countersink & 6" Lag Bolted To Outriggers, Galvanized Gusset Hangers Installed Behind 2x6 Beam To Side Of Outrigger & Countersink For Flush Mount, 12 Gauge Steel Galvanized Angle Tie Installed On Top Back Side Of 2x6 Beam To Top Of Outriggers & Countersink All For Flush Mount, Primed/Painted	1	975.00	975.00
Labor Install New Treated Wood fascia board Wrap Over Double 2x6 Beam & Prime & Paint (INCLUDED) (NOTE: Decking Will Be Set 1 1/2" Past Fascia Board)	1	0.00	0.00
Material Treated Wood, Hangers, Fasteners, Primer, Paint & Misc. Supplies	1	270.00	270.00
TOTAL			\$1,245.00

Accepted By

Accepted Date

Michael A. Perino

 D.B.A. PERINO'S CONSTRUCTION

941 Toulouse

VCC Architectural Committee

March 13, 2018





941 Toulouse

VCC Architectural Committee

March 13, 2018





941 Toulouse

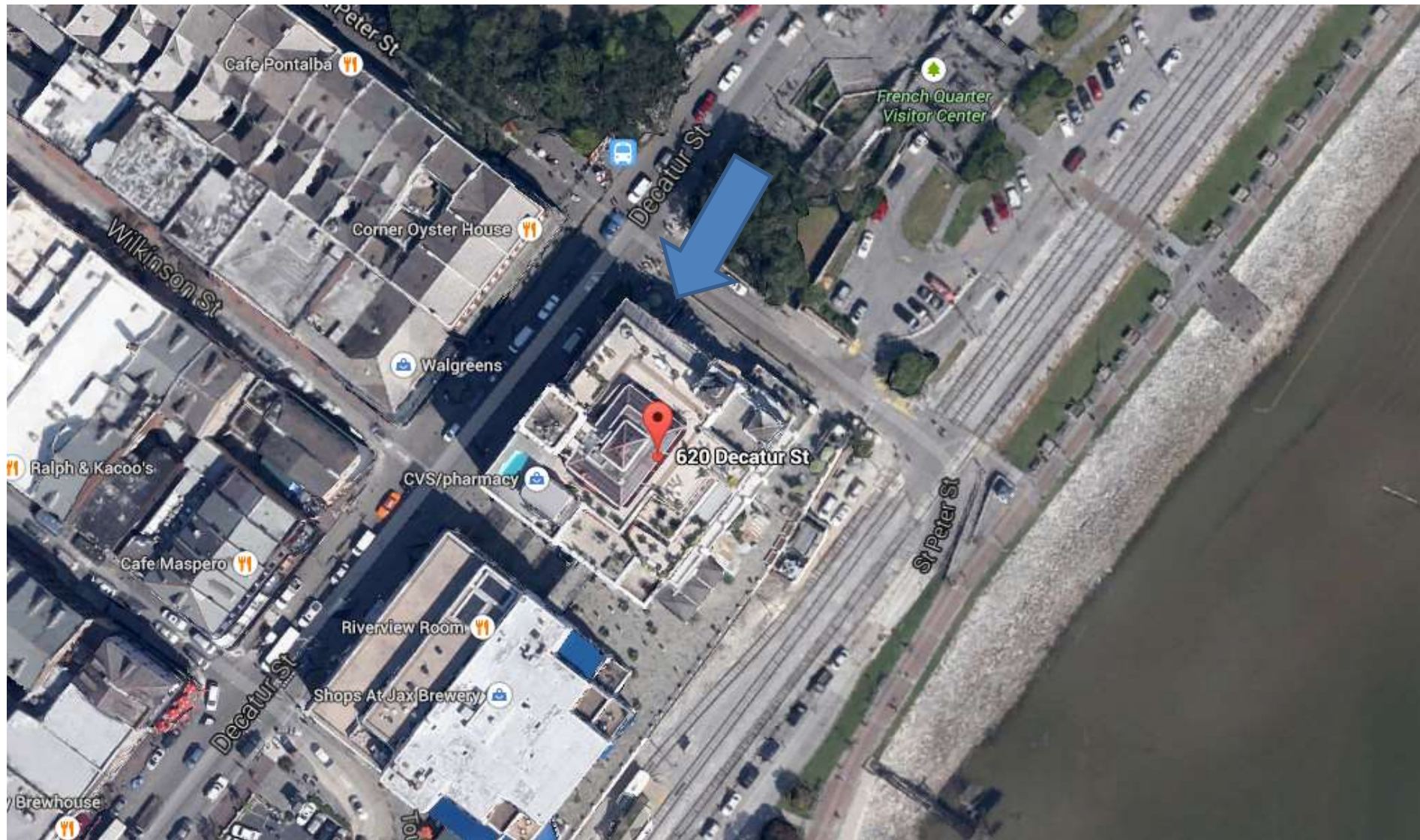
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620 Decatur



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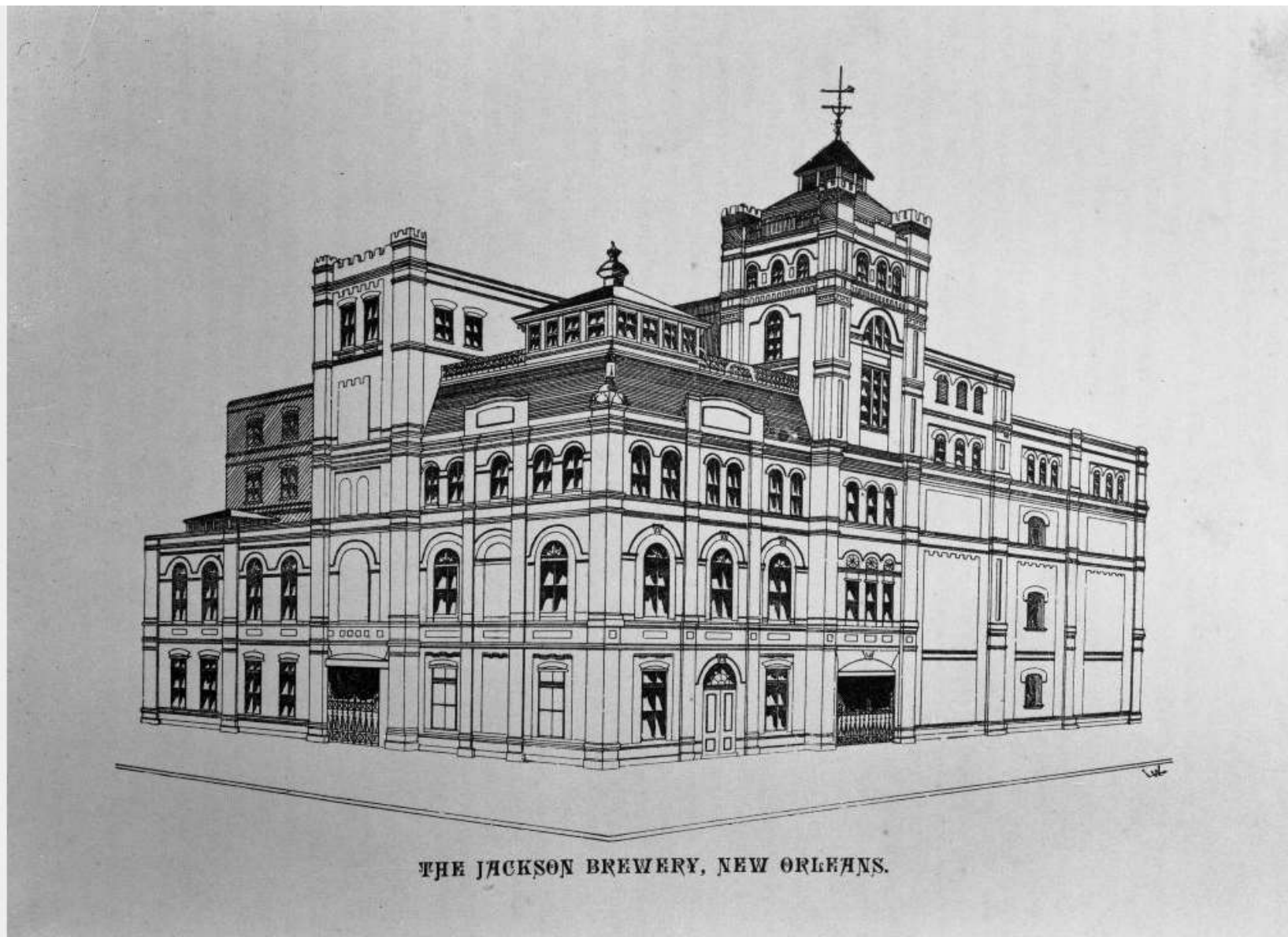


620 Decatur

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March 13, 2018





Title: The Jackson Brewery, New Orleans (St. Peter corner Clay)
Date: [ca. 1892]

press x to cl

620 Decatur

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Title: Jax Brewery (616-632 Decatur corner St. Peter)

Date: after 1939

Negative Number: 2-005E-002

Courtesy of: *The Historic New Orleans Collection has been unable to identify or contact the current copyright owner. Publication may be restricted.*

620 Decatur



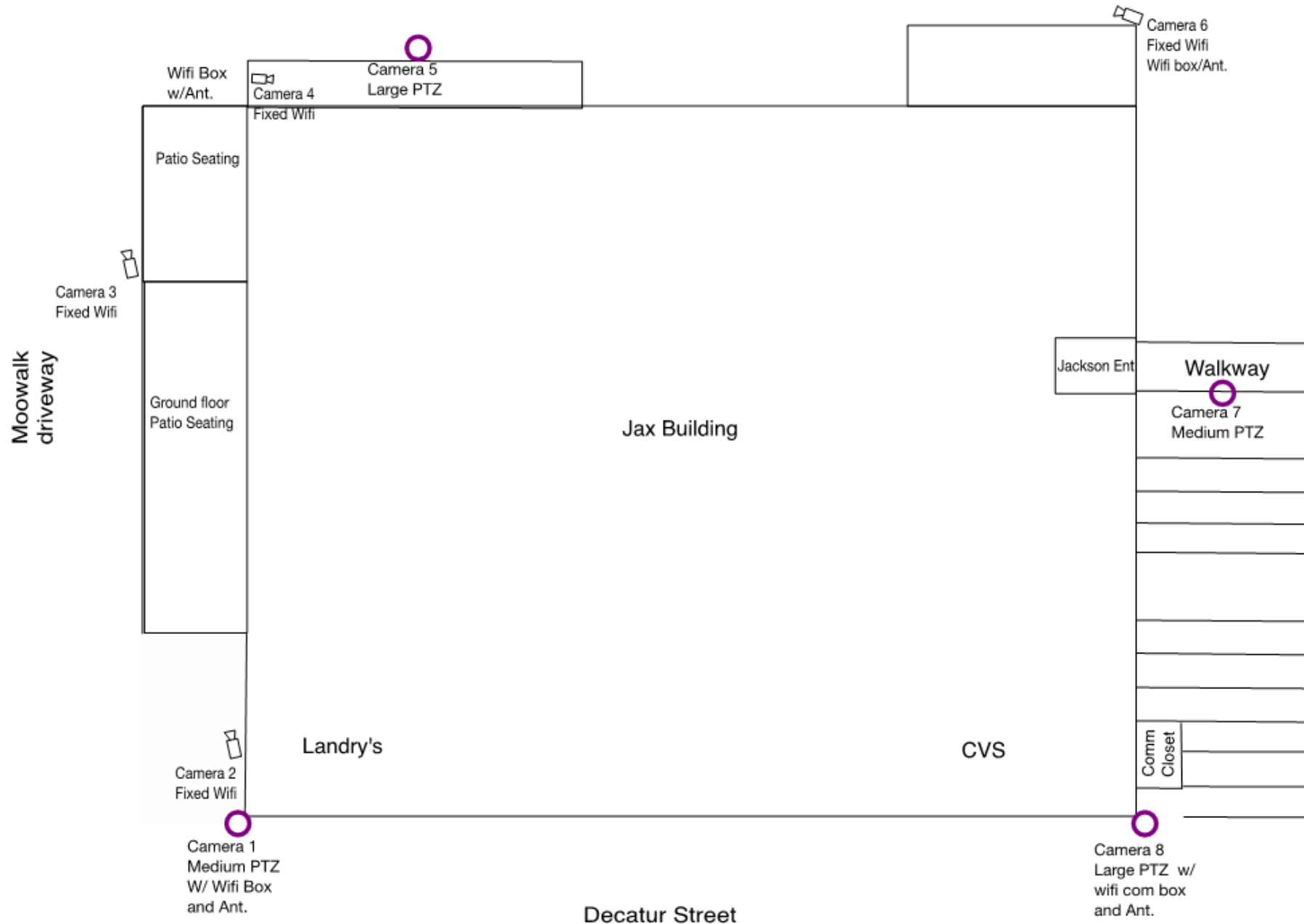


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JAX Brewery Project NOLA Camera Project 2018
620 Decatur Street

Camera 1 - Medium PTZ on arm with wifi box and antenna. 12-15 ft off ground on ne corner.

Camera 2 - Fixed camera with wifi facing east patio under overhang. 8-10 ft off ground.

Camera 3 - Fixed camera with wifi facing south positioned in middle of east side of building.

Camera 4 - Fixed camera with wifi box and antenna. 18-20 feet off ground installed under overhang pointing west to show the patio with overhang protection.

Camera 5 - Large PTZ with wifi facing south on arm that can span southern property line. Installed 18-22 feet off the ground.

Camera 6 - Fixed camera with wifi box and antenna. Installed 9-11 feet off the ground on sw corner.

Camera 7 - Medium PTZ with wifi on arm that will cover the stairs between JAX Brewery and Millhouse located at 600 Decatur Street installed 15-18 feet off the ground.

Camera 8 - Large PTZ with wifi communication box and antenna installed 12-15 feet off of the ground with ability to pan Decatur street under the overhangs on nw corner of building.





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Camera 4 Location



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Camera 5 Location

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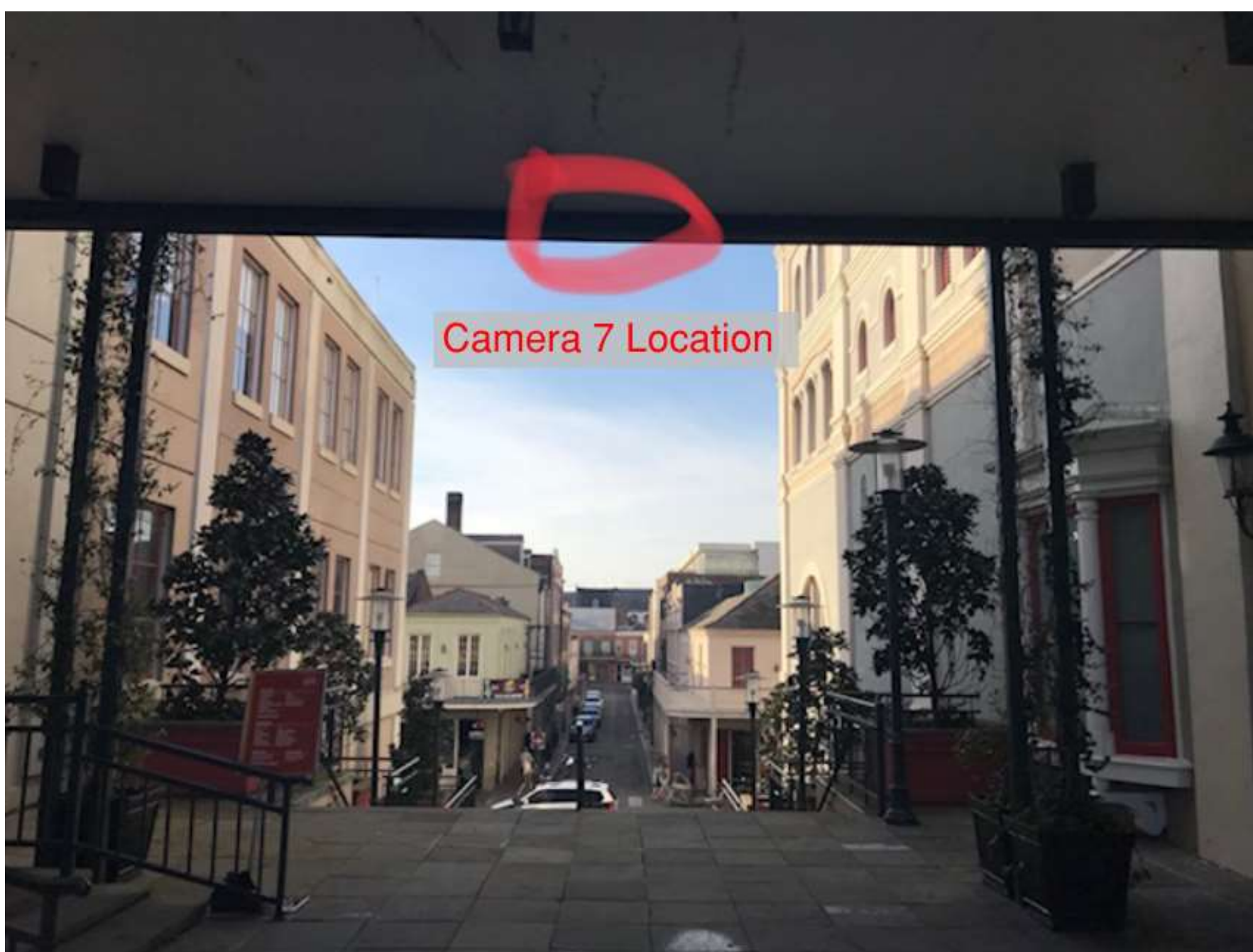
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Camera 6 Location

March 13, 2018





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March 13, 2018



Camera 8 Location



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2MP Mini PTZ Network Camera

2MP 12x Starlight Mini PTZ Network Camera



- 1/2.8-in. 2MP STARVIS™ CMOS Sensor
- Starlight Technology for Ultra-low Light Sensitivity
- Powerful 12x Optical Zoom
- Triple-stream Encoding
- H.265 and H.264 Dual Codec
- 1080p at 30 fps Maximum Resolution
- Intelligent Video System (IVS) Analytics
- IP66 Ingress Protection and IK10 Vandal Resistance
- PoE+ Support
- Five-year Warranty*



System Overview

The 2 MP Starlight Mini PTZ Dome camera features a 1/2.8-in. STARVIS™ CMOS imager with a 12x optical zoom lens, and provides an all in one solution for capturing long-distance video surveillance for indoor and outdoor applications. The camera uses the H.265 video compression standard to improve encoding efficiency while preserving high-quality video. The PTZ camera is equipped with quick and accurate pan/tilt/zoom control and True WDR for applications with direct sunlight or glare.

Functions

Starlight Technology

For challenging low-light applications, Dahua's Starlight Ultra-low Light Technology offers best-in-class light sensitivity, capturing color details in low light down to 0.005 lux. The camera uses a set of optical features to balance light throughout the scene, resulting in clear images in dark environments.

Intelligent Video System

IVS is a built-in video analytic algorithm that delivers intelligent functions to monitor a scene for Tripwire violations, intrusion detection, and abandoned or missing objects. A camera with IVS quickly and accurately responds to monitoring events in a specific area. In addition to scene analytics, the camera supports face detection to quickly capture a face and upload the image to a server. The camera also offers tamper detection by recognizing a dramatic scene change and generating a warning message to inspect the camera.

Wide Dynamic Range

The camera achieves vivid images, even in the most intense contrast lighting conditions, using industry-leading wide dynamic range (WDR) technology. For applications with both bright and low lighting conditions that change quickly, True WDR (120 dB) optimizes both the bright and dark areas of a scene at the same time to provide usable video.

High Efficiency Video Coding (H.265)

The H.265 (ITU-T VCEG) video compression standard offers double the data compression ratio at the same level of video quality, or substantially improved video quality at the same bit rate, as compared to older video compression technologies. H.265 offers such impressive compression by expanding the pattern comparison and difference-coding, improving motion vector prediction and motion region merging, and incorporating an additional filtering step called sample-adaptive offset filtering.

Interoperability

The camera conforms to the ONVIF (Open Network Video Interface Forum) and to the PSIA (Physical Security Interoperability Alliance) specifications, ensuring interoperability between network video products regardless of manufacturer.

Environmental

With a temperature range of -30 °C to +60 °C (-22 °F to 140 °F), the camera is designed for extreme temperature environments. The camera complies with an IK10 vandal resistance rating making it capable of withstanding the equivalent of 5 kg (11.02 lbs) of force dropped from a height of 40 cm (15.75 in.). Subjected and certified to rigorous dust and water immersion tests, the IP66 rating makes it suitable for demanding outdoor applications.

Protection

This camera suits even the harsh conditions for outdoor applications. Its 2KV lightning rating provides protection against the camera and its structure from the effects of lightning.

Electrical

Power Supply	24 VAC, 1.5 A; PoE+ (802.3at Class 4)
Power Consumption	12 W

Environmental

Operating Conditions	-30° C to 60° C (-22° F to +140° F) Less than 90% RH
Ingress Protection	IP66
Vandal Resistance	IK10

Construction

Casing	Metal
Dimensions	ø170.0 mm x 155.0 mm (ø6.69 in. x 6.10 in.)
Net Weight	1.80 kg (3.97 lb)
Gross Weight	3.30 kg (7.28 lb)

Intelligence

IVS triggers an alarm and takes a defined action for the following events:

Standard Features	<ul style="list-style-type: none"> Tampering with the camera. Error writing to an onboard Micro SD card. Error sending or receiving data over the network. Unauthorized access to the camera.
Premium Features	
Motion	An object moves through any part of the scene.
Tripwire	A target crosses a user-defined line.
Intrusion	A target enters or exits a defined perimeter.
Scene Change	A person or object moves the camera to change the scene or covers the camera to obscure the scene.
Abandoned/Missing Object	A target leaves an object in designated area, or a target removes an object from the same designated area.
Advanced Features	
Facial Detection	Detects and captures a snapshot of a human face in a defined area within a scene.

Ordering Information

Type	Part Number	Description
2 MP PTZ Camera	42212TNI	2 MP 12x Starlight Mini PTZ Network Camera, True WDR, IVS
Accessory, included	AC24V/1.5A	Power Adapter
Accessories, optional	PFA102	Mount Adapter
	PFA150	Pole Mount
	PFA151	Corner Mount
	PF8300C	Ceiling Mount
	PF8302S	Wall Mount

Accessories

Included:



AC24V/1.5A
Power Adapter

Optional:



PFA102
Mount Adapter



PFA151
Corner Mount



PFA150
Pole Mount



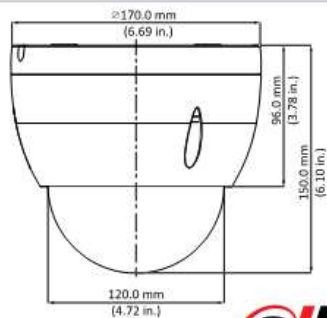
PF8300C
Ceiling Mount



PF8302S
Wall Mount

Ceiling Mount	Wall Mount
PFA102 + PF8300C	PFA102 + PF8302S
Pole Mount	Corner Mount
PFA102 + PF8302S + PFA150	PFA102 + PF8302S + PFA151

Dimensions (mm/in.)



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2 MP Network PTZ Camera

30x Starlight PTZ Network Camera



- 1/2.8-in. 2 MP STARVIS™ CMOS Sensor
- Powerful 30x Optical Zoom
- Starlight Technology for Ultra-low Light Sensitivity
- Triple-stream Encoding
- H.265 and H.264 Dual Codec
- 1080p at 60 fps Maximum Resolution
- Intelligent Video System (IVS) Analytics with Auto-tracking
- IP67 Ingress Protection and IK10 Vandal Resistance
- Designed for Extreme Temperature Environments
- Five-year Warranty*



System Overview

The 2 MP Starlight PTZ Dome camera features a 1/2.8-in. STARVIS™ CMOS imager with a 30x optical zoom lens, and provides an all in one solution for capturing long-distance video surveillance for outdoor applications. The camera uses the Smart H.265+ video compression standard to improve encoding efficiency while preserving high-quality video. The PTZ camera is equipped with quick and accurate pan/tilt/zoom control and True WDR for applications with direct sunlight or glare.

Functions

Starlight Technology

For challenging low-light applications, Dahua's Starlight Ultra-low Light Technology offers best-in-class light sensitivity, capturing color details in low light down to 0.005 lux. The camera uses a set of optical features to balance light throughout the scene, resulting in clear images in dark environments.

Wide Dynamic Range

The camera achieves vivid images, even in the most intense contrast lighting conditions, using industry-leading wide dynamic range (WDR) technology. For applications with both bright and low lighting conditions that change quickly, True WDR (120 dB) optimizes both the bright and dark areas of a scene at the same time to provide usable video.

Intelligent Video System

IVS is a built-in video analytic algorithm that delivers intelligent functions to monitor a scene for Tripwire violations, intrusion detection, and abandoned or missing objects. A camera with IVS quickly and accurately responds to monitoring events in a specific area. In addition to scene analytics, the camera supports face detection to quickly capture a face and upload the image to a server. The camera also offers tamper detection by recognizing a dramatic scene change and generating a warning message to inspect the camera.

Auto-tracking

This feature controls the pan/tilt/zoom actions of the camera to automatically track an object in motion and to keep it in the scene. The tracking action can be triggered manually or automatically by defined rules. Once a rule is triggered, the camera can zoom in and track the defined target automatically.

PFA Technology

The camera uses innovative PFA Technology to improve zoom accuracy and to decrease focus time. A series of advanced algorithms more accurately judge the direction and the distance to a subject, improving picture clarity throughout the zooming process.

Smart H.265+

Smart H.265+ is the optimized implementation of the H.265 codec that uses a scene-adaptive encoding strategy, dynamic GOP, dynamic ROI, flexible multi-frame reference structure and intelligent noise reduction to deliver high-quality video without straining the network. Smart H.265+ technology reduces bit rate and storage requirements by up to 70% when compared to standard H.265 video compression.

Interoperability

The camera conforms to the ONVIF (Open Network Video Interface Forum) and to the PSIA (Physical Security Interoperability Alliance) specifications, ensuring interoperability between network video products regardless of manufacturer.

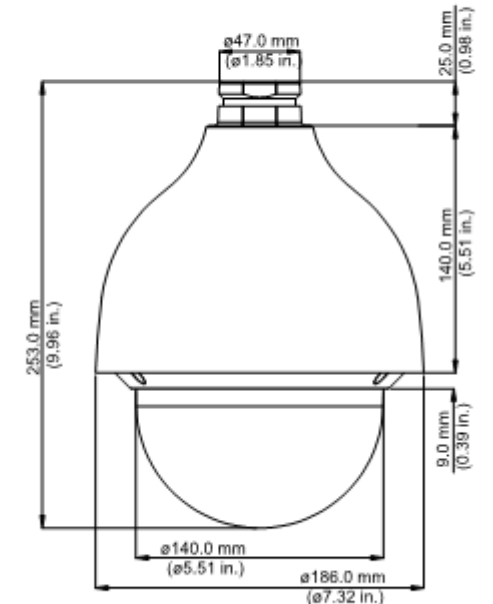
Environmental

With a built-in heater and a temperature range of -40° C to +60° C (-40° F to 140° F), the camera is designed for extreme temperature environments. Subjected and certified to rigorous dust and water immersion tests, the IP67 rating makes it suitable for demanding outdoor applications. The camera complies with the IK10 Vandal Resistance impact rating making it capable of withstanding the equivalent of 5 kg (11.02 lbs) of force dropped from a height of 40 cm (15.75 in.).



Pro Series | 50230UNI-A

Dimensions (mm/in.)



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Environmental

Operating Conditions	–40° C to 60° C (–40° F to 140° F), with built-in heater Less than 90% RH
Ingress Protection	IP67
Vandal Resistance	IK10
Lightning Rating	6 KV

Construction

Casing	Metal
Dimensions	ø186.0 mm x 253.0 mm (ø7.32 in. x 9.96 in.)
Net Weight	2.50 kg (5.51 lb)
Gross Weight	4.50 kg (9.92 lb)

Intelligence

IVS triggers an alarm and takes a defined action for the following events:

Standard Features	<ul style="list-style-type: none"> • Tampering with the camera. • Error writing to an onboard Micro SD card. • Error sending or receiving data over the network. • Unauthorized access to the camera.
Premium Features	
Motion	An object moves through any part of the scene.
Tripwire	A target crosses a user-defined line.
Intrusion	A target enters or exits a defined perimeter.
Scene Change	A person or object moves the camera to change the scene or covers the camera to obscure the scene.
Abandoned/Missing Object	A target leaves an object in designated area, or a target removes an object from the same designated area.
Advanced Features	
Facial Detection	Detects and captures a snapshot of a human face in a defined area within a scene.
Auto-tracking	Controls the pan/tilt/zoom actions of the camera to automatically track an object in motion and to keep it in the scene.

Ordering Information

Type	Part Number	Description
2 MP PTZ Camera	50230UNI-A	2 MP 30x Starlight PTZ Network Camera, Built-in Heater, True WDR, IVS
Accessories, included	AC24V/1.5A	Power Adapter
	PFA110	Mount Adapter
	PFB300S	Wall Mount
Accessories, optional	PFA120	Water-proof Junction Box
	PFA140	Power Box
	PFA150	Pole Mount
	PFA151	Corner Mount
	PFB300C	Ceiling Mount
	PFB303S	Parapet Mount

Accessories

Included:



PFB300S
Wall Mount



PFA110
Mount Adapter



AC24V/1.5A
Power Supply

Optional:



PFA140
Power Box



PFB300C
Ceiling Mount



PFA120
Junction Box



PFA150
Pole Mount



PFA151
Corner Mount



PFB303S
Parapet Mount

Ceiling Mount	Junction Mount
PFA110 + PFB300C	PFA110 + PFB300S + PFA120
Power Box Mount	Pole Mount
PFA110 + PFB300S + PFA140	PFA110 + PFB300S + PFA150
Corner Mount	Parapet Mount
PFA110 + PFB300S + PFA151	PFA110 + PFB303S

Jax Brewery / Project NOLA Camera Network Connection Equipment



17x14x6 Polycarbonate + ABS Weatherproof Rainproof
Tamper Resistant NEMA Enclosure with Aluminum Mounting
Plate, Pre-Wired 120 VAC Outlet



UBIQUITI NSM2 NanoStation Wireless Access Point

Create wide area network connectivity with the **NSM2 NanoStationM 400 MHz Indoor/Outdoor airMAX CPE Router** from **Ubiquiti Networks**. This wireless access point features an enhanced 400 MHz Atheros processor along with 32MB of SDRAM and 8MB of flash memory



5-Port 10/100/1000 Mbps Unmanaged Gigabit Ethernet
Switch



AC1200 Wireless Dual Band Gigabit Router with USB Port

- Works seamlessly with all 802.11a/b/g/n/ac devices
- Simultaneous 2.4GHz 300Mbps and 5GHz 867Mbps connections
- Various WAN connection types in AP Router mode- DHCP, Static IP, PPPoE, L2TP, PPTP, Dual Access (Russia PPPoE/PPTP/L2TP), WISP
- Multiple wireless modes: AP, Repeater, AP+WDS, WDS, Client

IR Megapixel Wi-Fi Fixed Mini-Bullet

3 MP Indoor/Outdoor Network Camera



- Wi-Fi Support (IEEE802.11b/g/n)
- Max. 20 fps @ 3 MP and 30 fps @ 1080p
- Digital WDR
- True Day/Night
- 2.8 mm or 3.6 mm Fixed Lens Options
- Smart IR 30 m (98 ft)
- Outdoor Rated IP67



System Overview

The IR WiFi Fixed Mini-Bullet camera delivers 3 MP resolution with a choice of 2.8 mm or 3.6 mm lens options. The camera's elegant blend of aesthetics combined with its compact form factor provides an excellent choice for a variety of small to mid-size, indoor/outdoor applications at an affordable price.

Functions

True Day/Night

A day/night mechanical IR cut filter makes this camera ideal for applications with fluctuating lighting conditions, delivering color images during the day and automatically switching to monochrome as the scene darkens.

Regions of Interest

Regions of Interest (ROI) is a user defined feature that allows the operator to monitor specific areas of a scene while still maintaining overall situational awareness of less important areas.

Smart IR

With IR illumination, detailed images can be captured in low light or total darkness. The camera's Smart IR technology adjusts to the intensity of camera's infrared LEDs to compensate for the distance of an object. Smart IR technology prevents IR LEDs from whiting out images as they come closer to the camera. The camera's integrated infrared illumination provides high performance in extreme low-light environments up to 30 m (98 ft).

Image Flip

Capturing unnecessary data such as surrounding hallway walls can increase storage requirements without any added value. The image flip feature allows the camera's image to be rotated in 90° increments for better video optimization.

Protection

The camera's outstanding reliability is unsurpassed due to its rugged design. The camera is protected against water and dust to IP67 standards, making it suitable for indoor or outdoor environments.

Supporting $\pm 25\%$ input voltage tolerance, this camera suits even the most unstable conditions for outdoor applications. Its 8KV lightning rating provides protection against the camera and its structure from the effects of lightning.

Streaming

With a choice of unicast or multicast streaming, bandwidth-efficient viewing, recording and third-party video management can easily be achieved. Dual streaming enables bandwidth-efficient viewing and recording. Depending on the resolution and frame rate selected on the first stream, the second stream provides a copy at a lower resolution.

Interoperability

The camera conforms to the Open Network Video Interface Forum (ONVIF) specifications, ensuring interoperability between network video products regardless of manufacturer.



Electrical	
Power Supply	12V DC ±25%
Power Consumption	Max. 5.5 W (12V DC, IR On)
Environmental	
Operating Conditions	-30°C to +60°C (-22°F to +140°F), Less than 90% RH
Storage Conditions	-30°C to +60°C (-22°F to +140°F), Less than 90% RH
Ingress Protection	IP67
Construction	
Casing	Metal
Dimensions	Φ 70.0 mm × 164.70 mm (2.76 in. x 6.48 in.)
Net Weight	0.40 kg (0.88 lb)
Gross Weight	0.49 kg (1.08 lb)

Accessories

Optional:



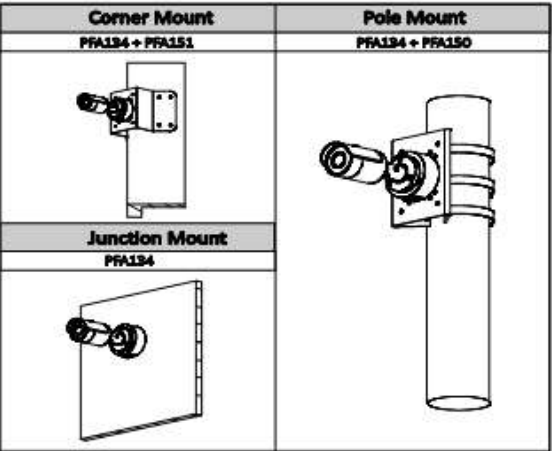
PFA134
Junction Box



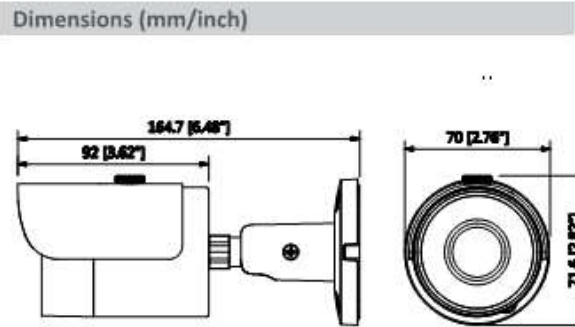
PFA150
Pole Mount



PFA151
Corner Mount



Ordering Information		
Type	Part Number	Description
3 MP Camera	DH-IPC-HFW13A0SN-W	3MP, 2.8mm, Manual Lens, True D/N, DWDR, IP67, IR: up to 30m (98ft), DC12V, Wi-Fi, PoE
	DH-IPC-HFW13A0SN -W	3MP, 3.6mm, Manual Lens, True D/N, DWDR, IP67, IR: up to 30m (98ft), DC12V, Wi-Fi, PoE
Accessories	PFA134	Junction Box
	PFA150	Pole Mount Bracket
	PFA151	Corner Mount
	PFA152	Pole Mount Bracket

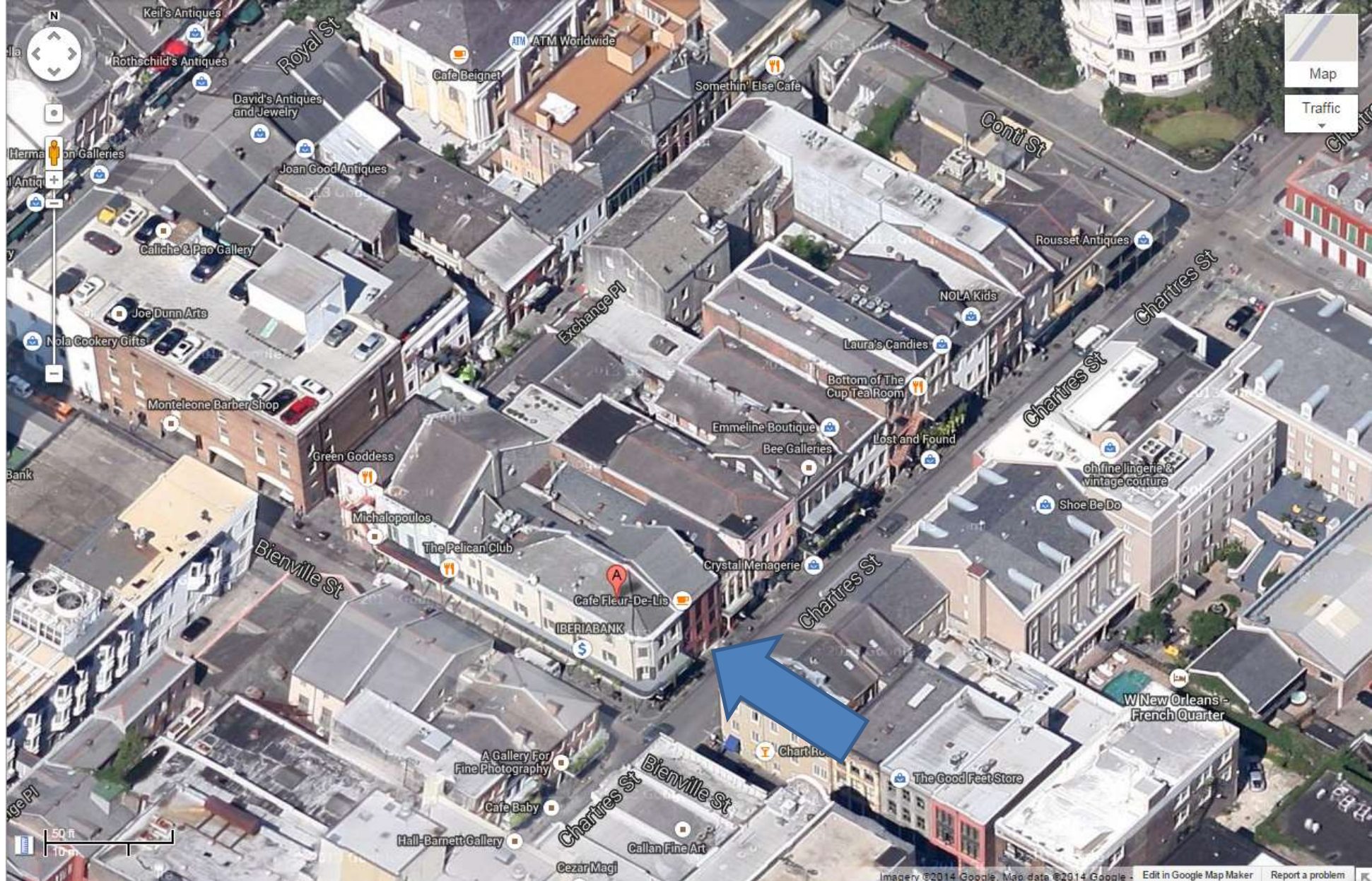


The seal of the Vieux Carre Commission is a circular emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal features a stylized architectural design, including a central archway flanked by columns and topped with a sunburst or fan-like motif.

Appeals and Violation

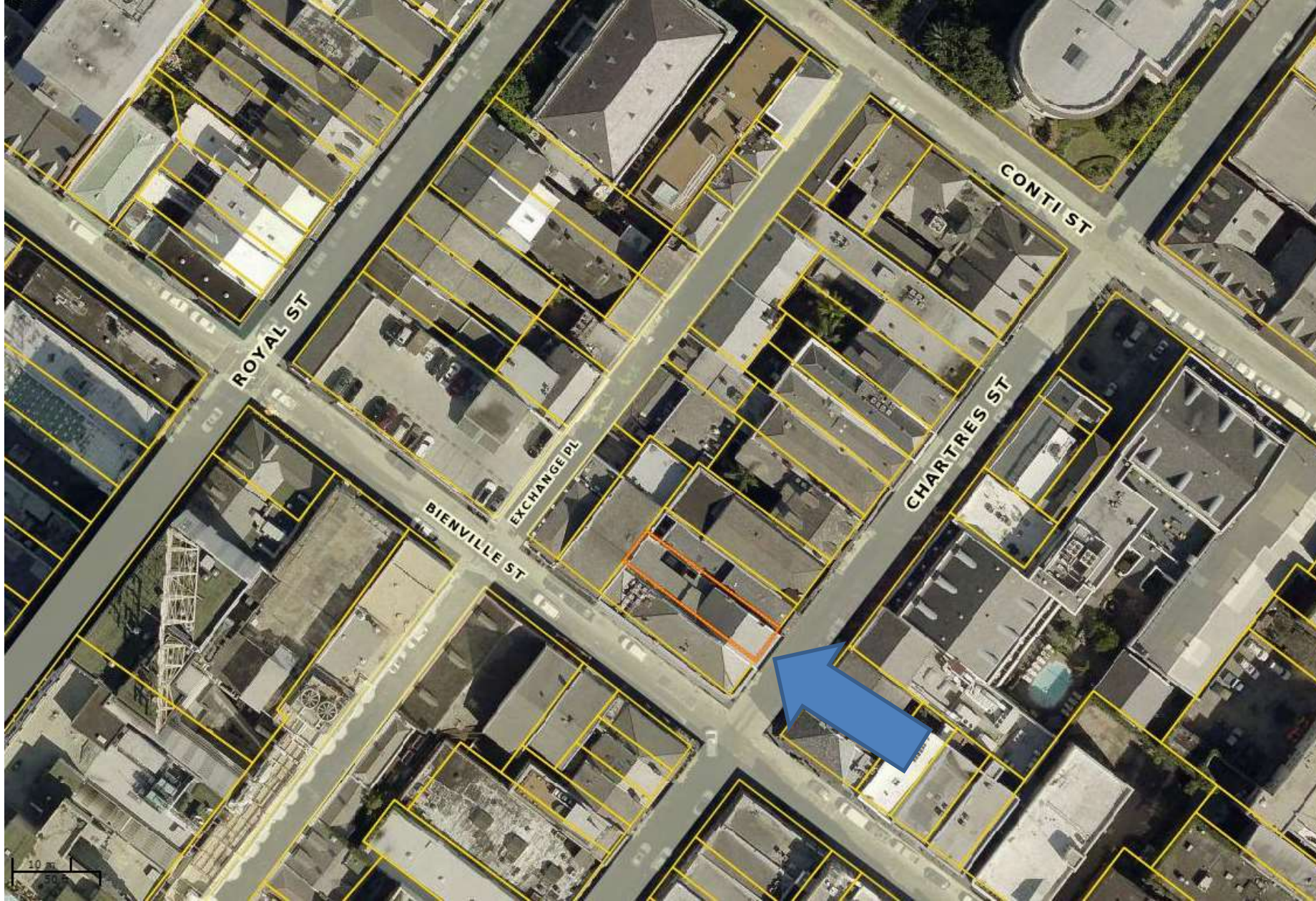


305 Chartres



305 Chartres





305 Chartres





305 Chartres 10/23/1963

VCC Architectural Committee

September 12, 2017

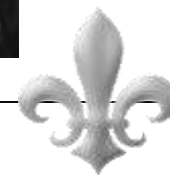


305 Chartres, 4/23/09

VCC Architectural Committee



September 12, 2017

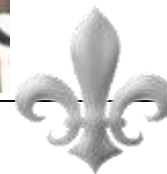




305 Chartres, 4/23/09

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September 12, 2017





305 Chartres, 4/23/09

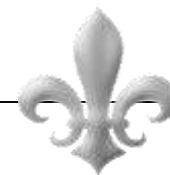
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September 12, 2017





305 Chartres





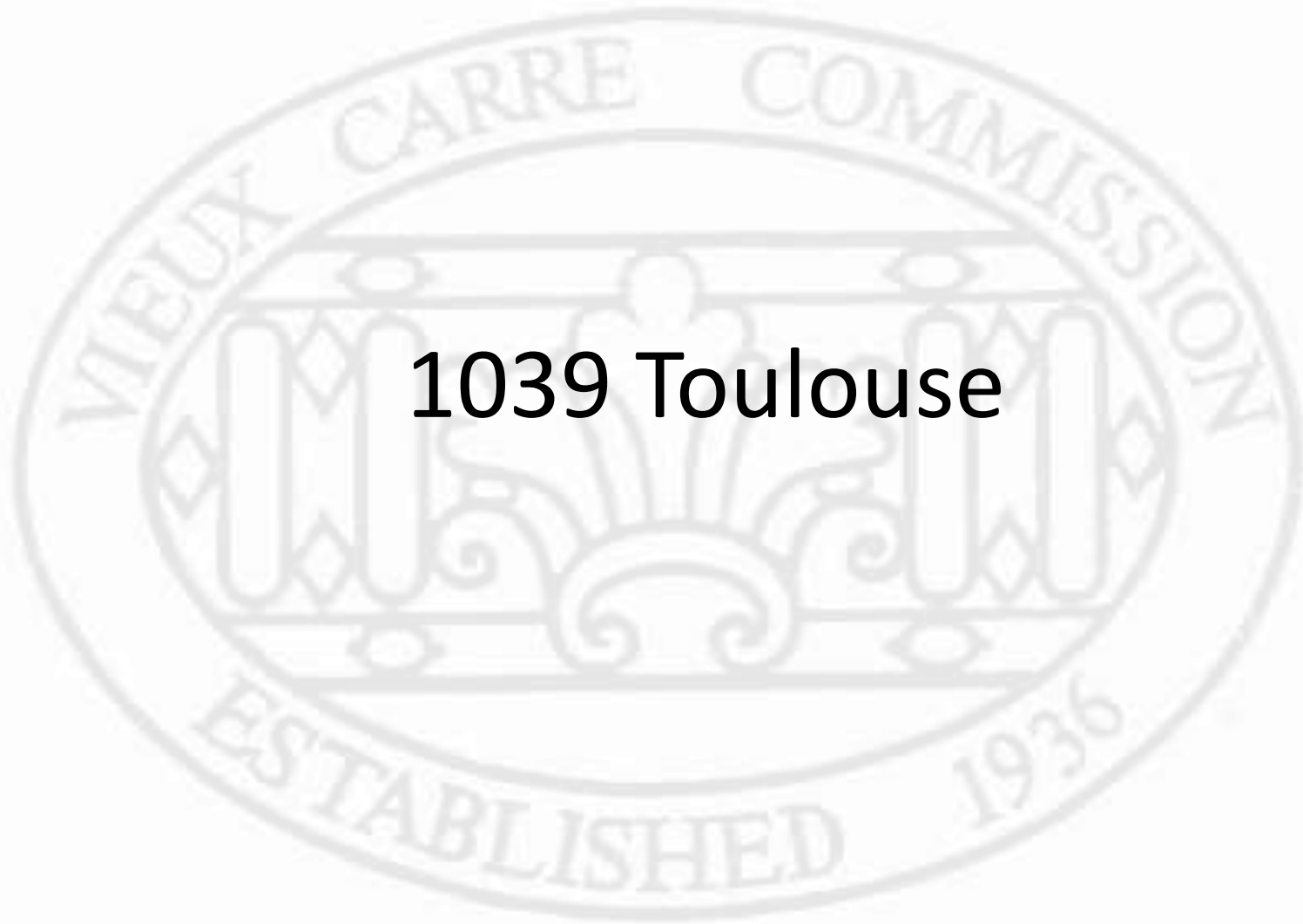
305 Chartres

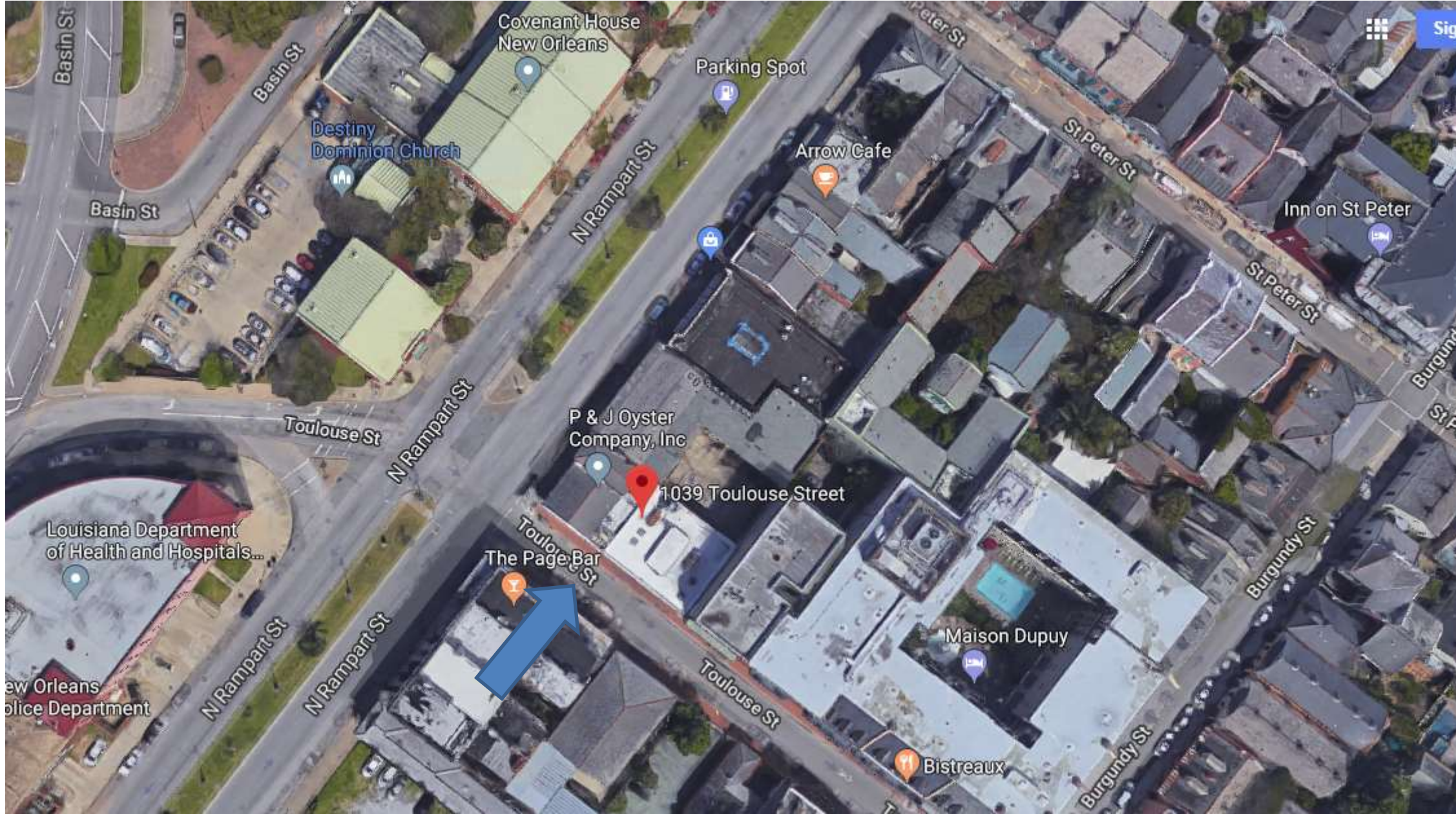
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1039 Toulouse



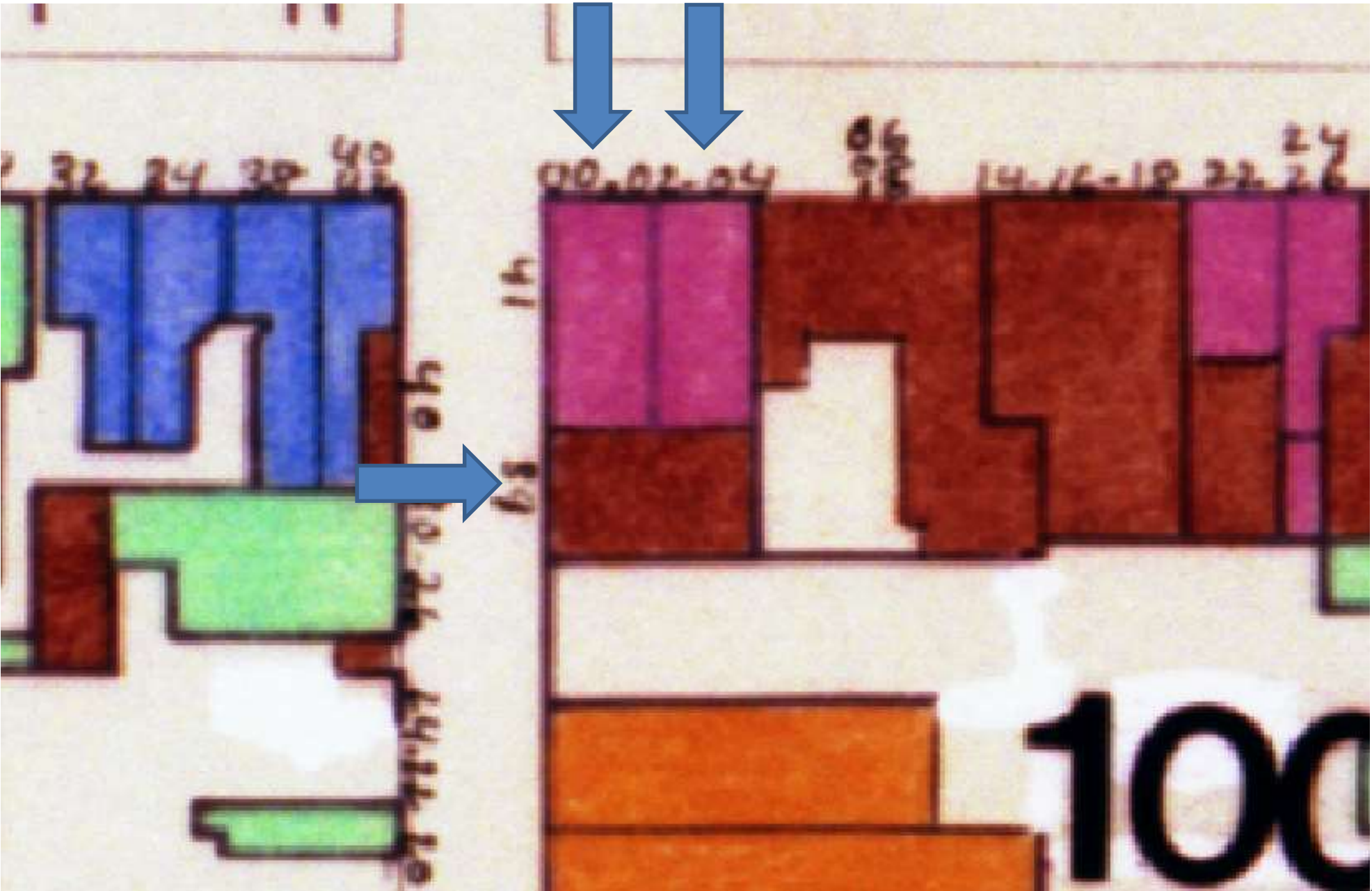


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March 13, 2018





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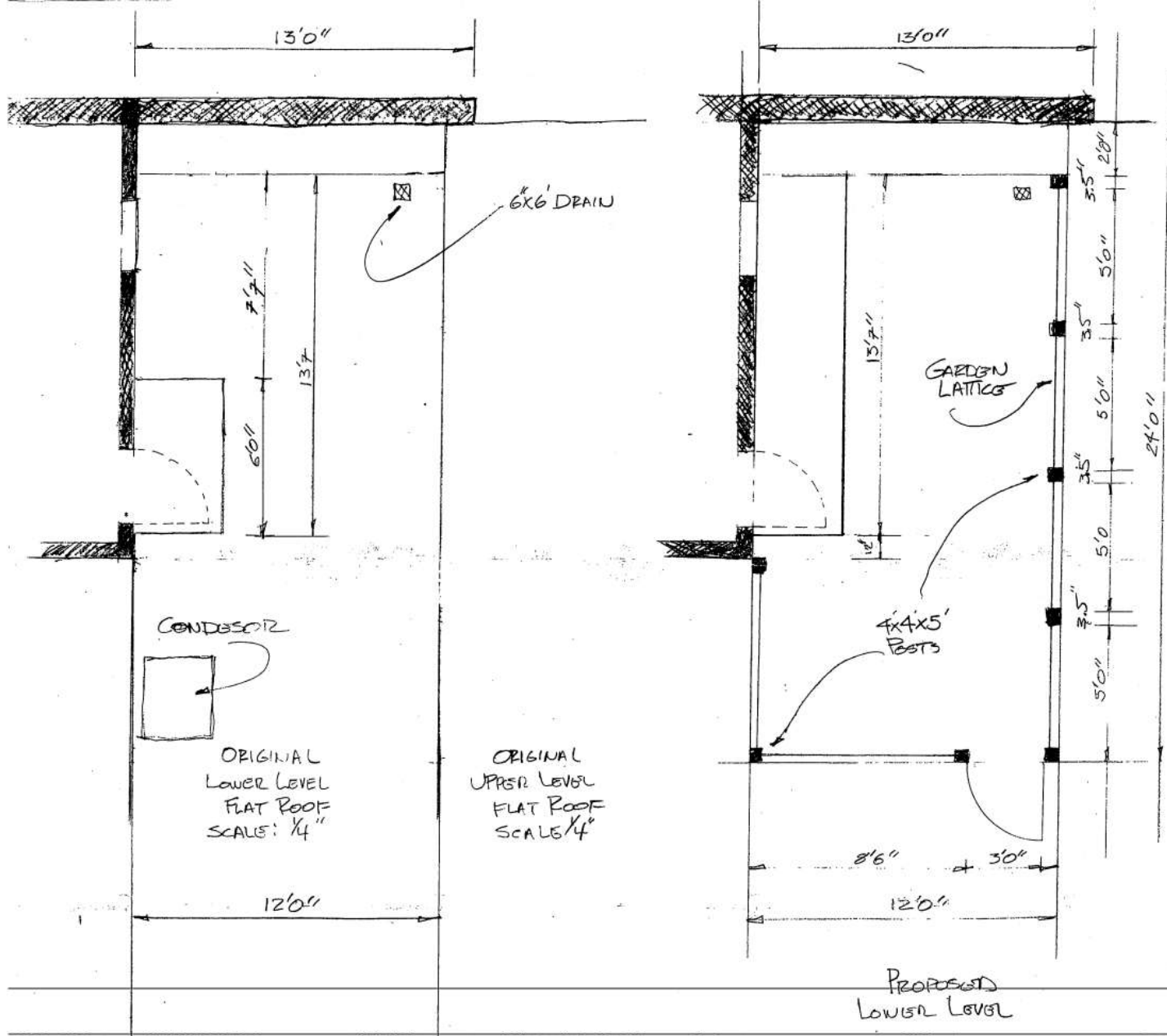


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P. J. O'STOURS
1039 Toulouse St.

SCOPE OF WORK

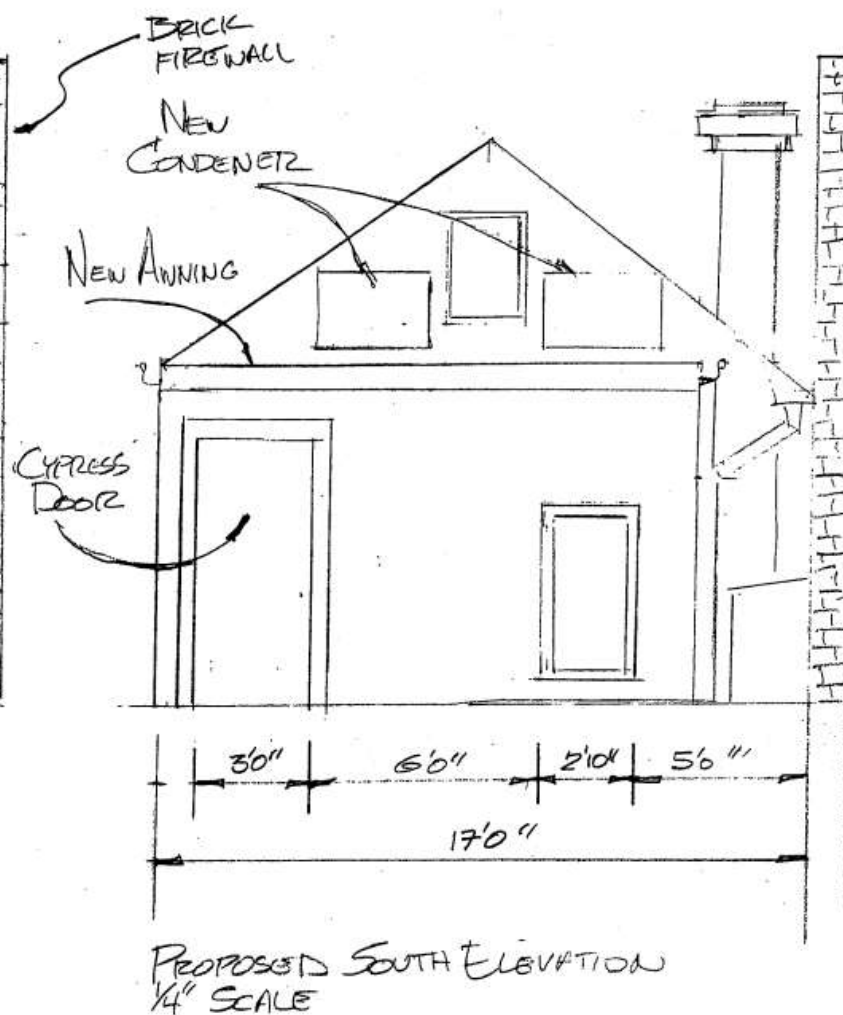
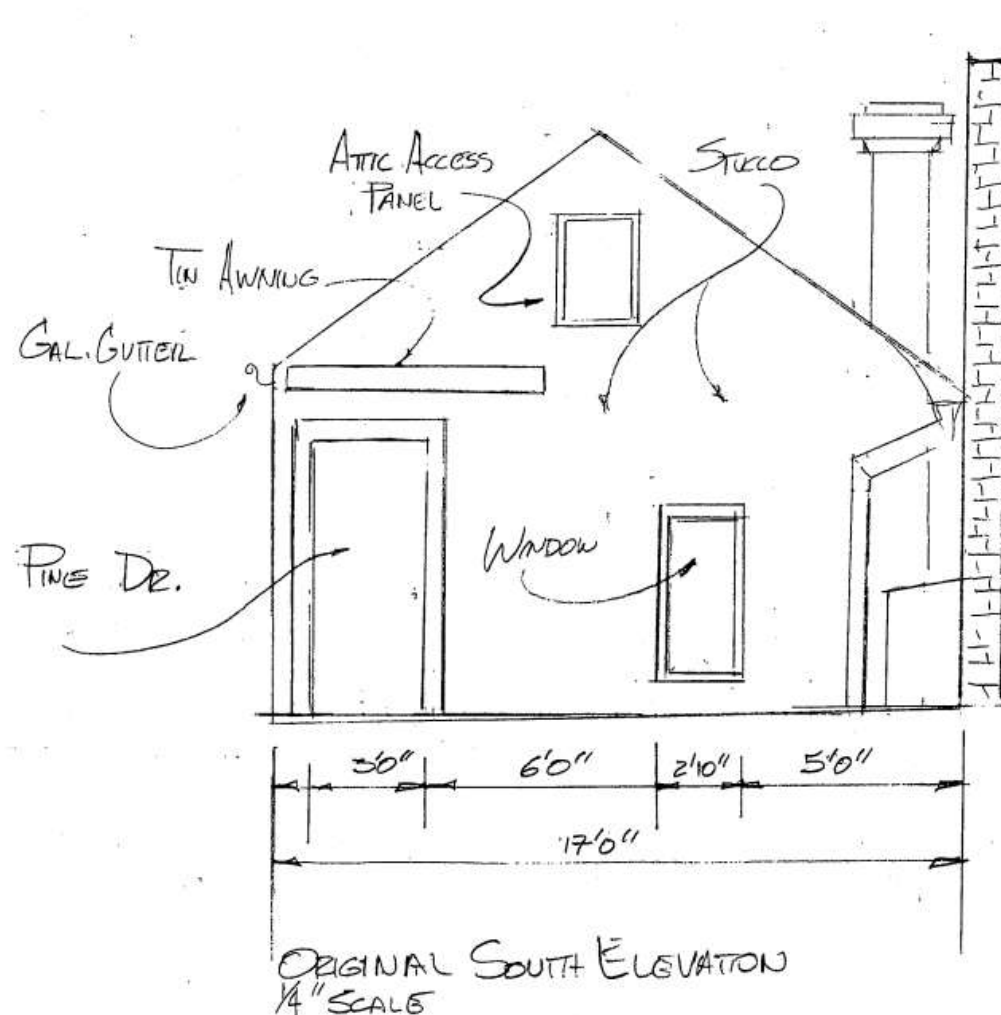
- 1) EXTEND AWNING FROM 6'0" TO 13'7"
- 2) RELOCATE CONDENSER
- 3) INSTALL EIGHT 4x4x5' POSTS
- 4) INSTALL SIX 4x5' PANELS
- 5) INSTALL ONE 3'x4' GATE
- 6) REPLACE 36"X6'8" DOOR

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- P&T OYSTERS
1039 TOULOUSE
- SCOPE OF WORK.
- 1) EXTEND AWNING FROM 6'0" TO 13'7"
 - 2) REMOVE OLD CONDENSER & REPLACE WITH NEW MINISPLIT SYSTEM
 - 3) INSTALL HALF POUND GUTTER
 - 4) REPAIR STUCCO
 - 5) PAINT

1039 Toulouse

VCC Architectural Committee

March 13, 2018



Description of Violations at 1039 Toulouse St [P & J Oyster Co]:

	CCNO 166-35	Working without required approval	Before the commencement of any work in the erection of any new building or in the alteration or addition to, or painting or repainting or demolishing of any existing building, where any portion of the exterior of the building is in the Vieux Carre section, application by the owner for a permit therefore shall be made to the Vieux Carre Commission, accompanied by the full plans and specifications thereof so far as they relate to the proposed appearance, color, texture of materials and architectural design of the exterior, including the front, sides, rear and roof of such building, alteration or addition or of any out building, party wall, courtyard, fence or other dependency thereof as follows:
#1	CCNO 166-35	Windows	Alteration of existing window. Replacement of first floor window on N Rampart side with inappropriate vinyl window.
#2	CCNO 166-35	Roof	Roof deck has been built without VCC review or approval.
#3	CCNO 166-35	Doors	A door has been installed in the rear of the two story section of the building opening onto the roof of the a joining section without VCC review or approval.
#4	CCNO 166-35	HVAC	HVAC installed without permit.
#5	CCNO 166-35	Awnings	Awning installed on rear of two story section without benefit of VCC review or approval.
#6	CCNO 166-35	Plumbing	Installation of exterior pvc plumbing/drain lines.
#7	CCNO 166-35	Stucco	Installation of stucco on rear of second floor without approval.
#8	CCNO 166-35	Misc. 1	Alterations made to French doors on second floor of building without approval.
#9	CCNO 166-35	Railings	Inappropriate pvc railing installed on rear of building.





1039 Toulouse Street, New Orleans, Louisiana 70112 504-523-2651 FAX- 504-529-7966

Erika Gates
Building Inspector
City of New Orleans
Vieux Carre' Commission
1300 Perdido Street Room 7W03
New Orleans, LA 70012

RE: Case # 17-12934-VCCNOP

1. (WINDOWS) We would like to request approval to install a fixed 43' X 89" plate tempered impact resistant glass window, (currently where plywood exists), (Window A). Also, request approval to install a plate tempered impact resistant glass window and a 48" X 64", (Window B). In addition, to request approval to install woven diamond shaped 1½" wire mesh security grate over both plate glass windows.
2. (ROOF) Request approval to repair existing lower level flat roof that was leaking into the building both upstairs and downstairs.
3. (DOORS) Request approval to replace an existing deteriorated door with a 19th century cypress wood door (Door #13).
4. (HVAC) Request approval to relocate and replace an existing HVAC unit that was on the failing lower flat level roof with a new, energy efficient mini-split HVAC system.
5. (AWNING) The existing tin awning over the door that accesses the roof was deteriorated and falling down. We would like to request approval to build a new cypress wood awning that we would place a new energy efficient mini-split HVAC system on top.
6. (PLUMBING) We request approval to install a 6" half-round aluminum gutter on the awning that would drain into an existing roof drain.
7. (STUCCO) Request approval to repair failing stucco on exterior roof wall with an approved VCC stucco mix.
8. (MISC. 1) We would like to request approval to repair French door panels, replace broken plate glass on windows in the French doors, glaze, and paint with P&J grey paint.
9. (RAILINGS) We would like to request approval to install a wood lattice railing and paint it white on the flat roof outside of the upstairs exit onto the roof.

Sincerely,

Alfred R. Sunseri
President
P&J Oyster Company, Inc.

c.c. Bryan Block, Director

1039 Toulouse

VCC Architectural Committee



March 13, 2018



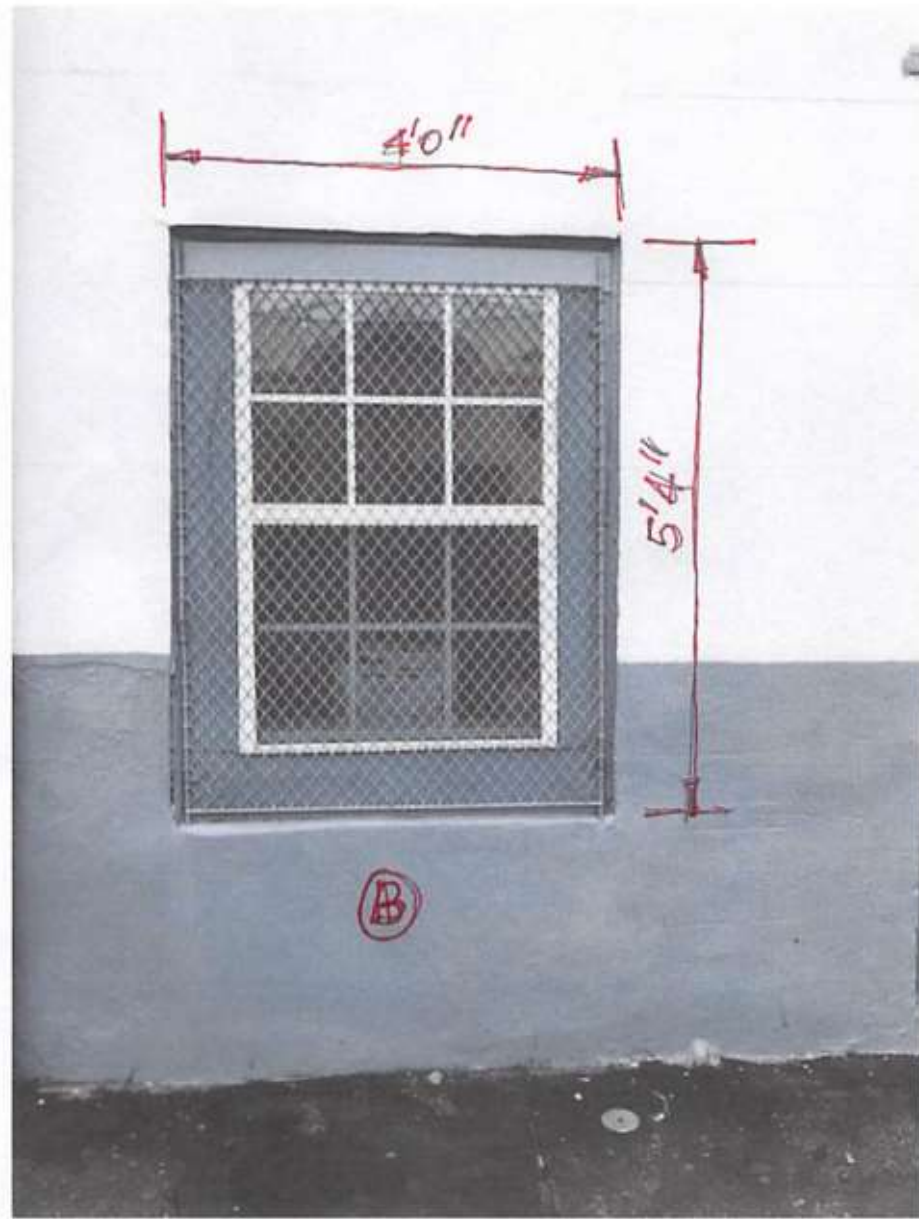
1039 Toulouse

VCC Architectural Committee

600 RAMPART
WINDOWS (A) & (B)

March 13, 2018





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VCC Architectural Committee

RAMPART ST.
WINDOW (B)

March 13, 2018





600 RAMPART ST.
WINDOW (A)
EXTERIOR

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LOWER ROOF DECK
ACCESS DR.

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LOWER LEVEL FLAT ROOF (REAR)
AWNING/HVAC



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1039 Toulouse

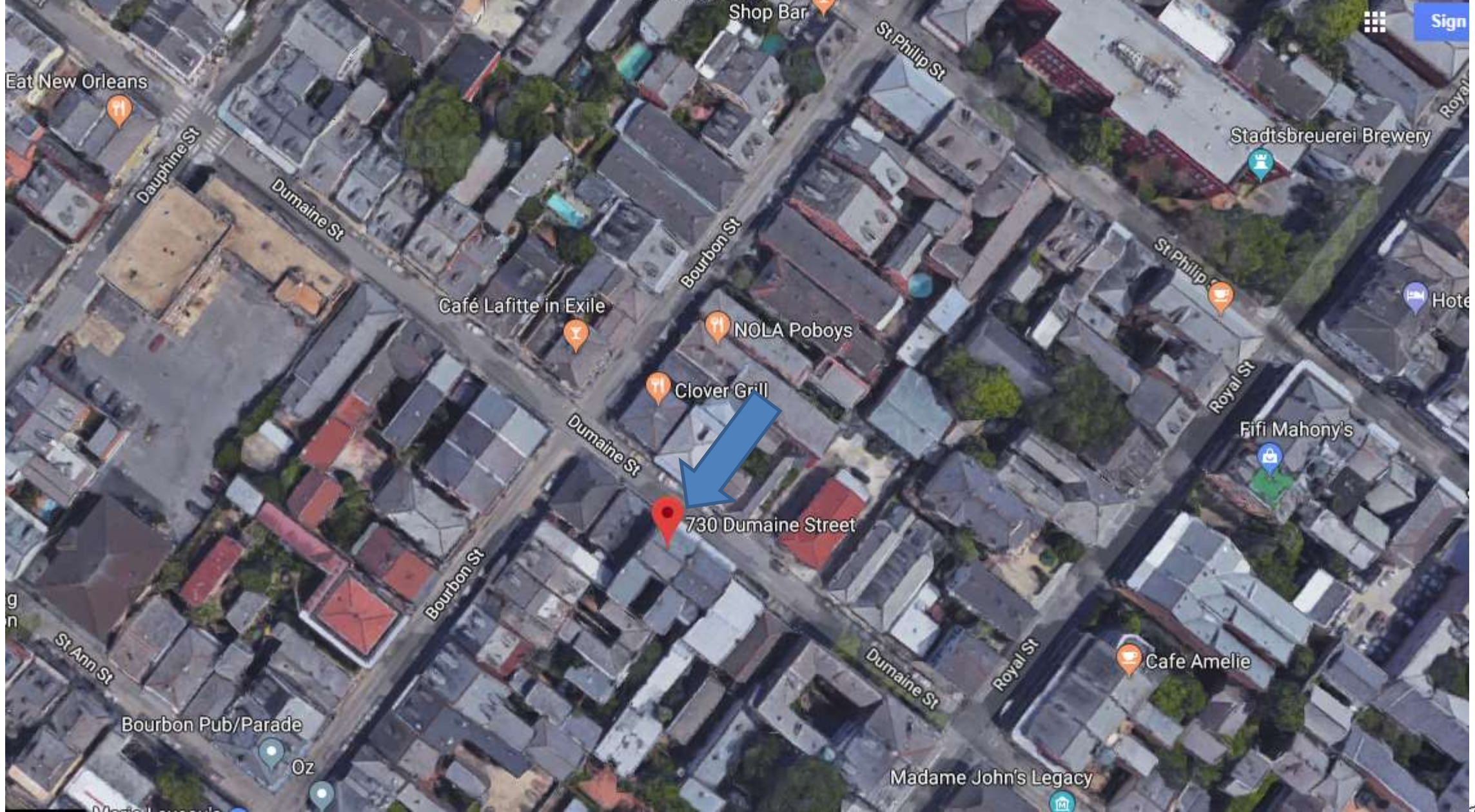
VCC Architectural Committee

March 13, 2018





730 Dumaine



730 Dumaine

VCC Architectural Committee

March 13, 2018



730 Dumaine

VCC Architectural Committee



March 13, 2018





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VCC Architectural Committee

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VCC Architectural Committee



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VCC Architectural Committee

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March 13, 2018





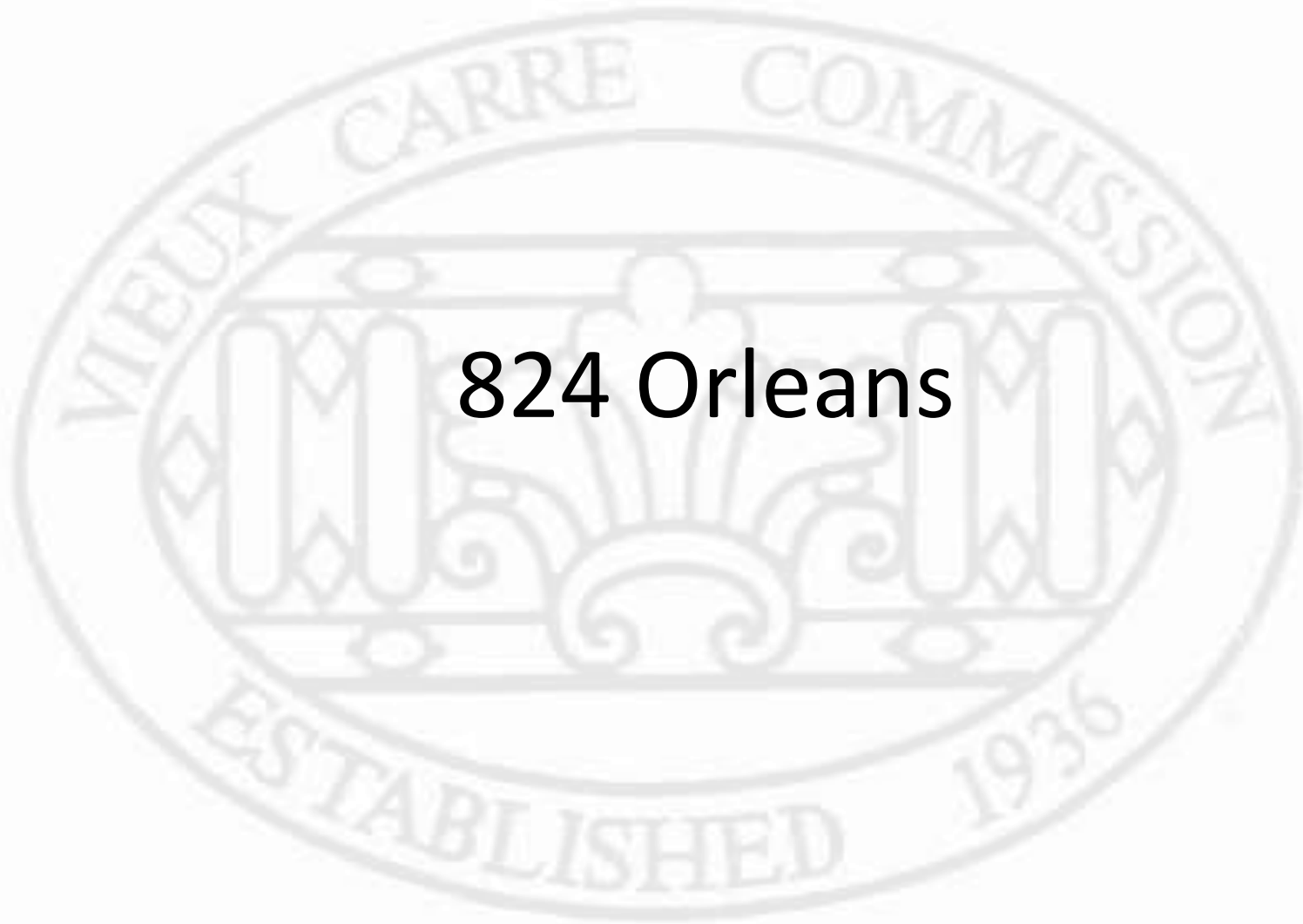
730 Dumaine

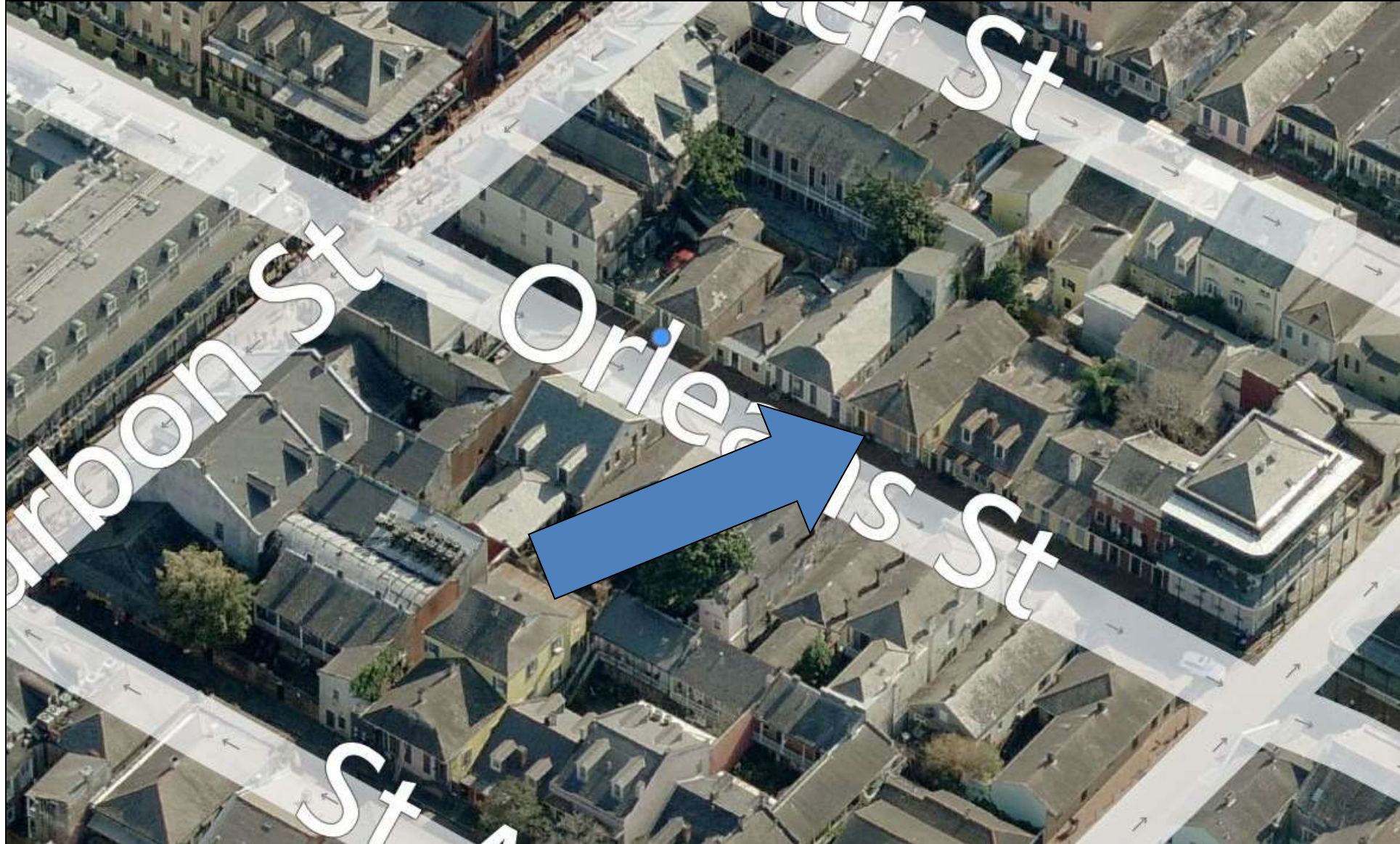
VCC Architectural Committee

March 13, 2018



824 Orleans





820-24 Orleans

VCC Architectural Committee

March 13, 2018





820-24 Orleans

VCC Architectural Committee

March 13, 2018





820-24 Orleans

VCC Architectural Committee

March 13, 2018





820-24 Orleans

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March 13, 2018





820-24 Orleans

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March 13, 2018



820-24 Orleans

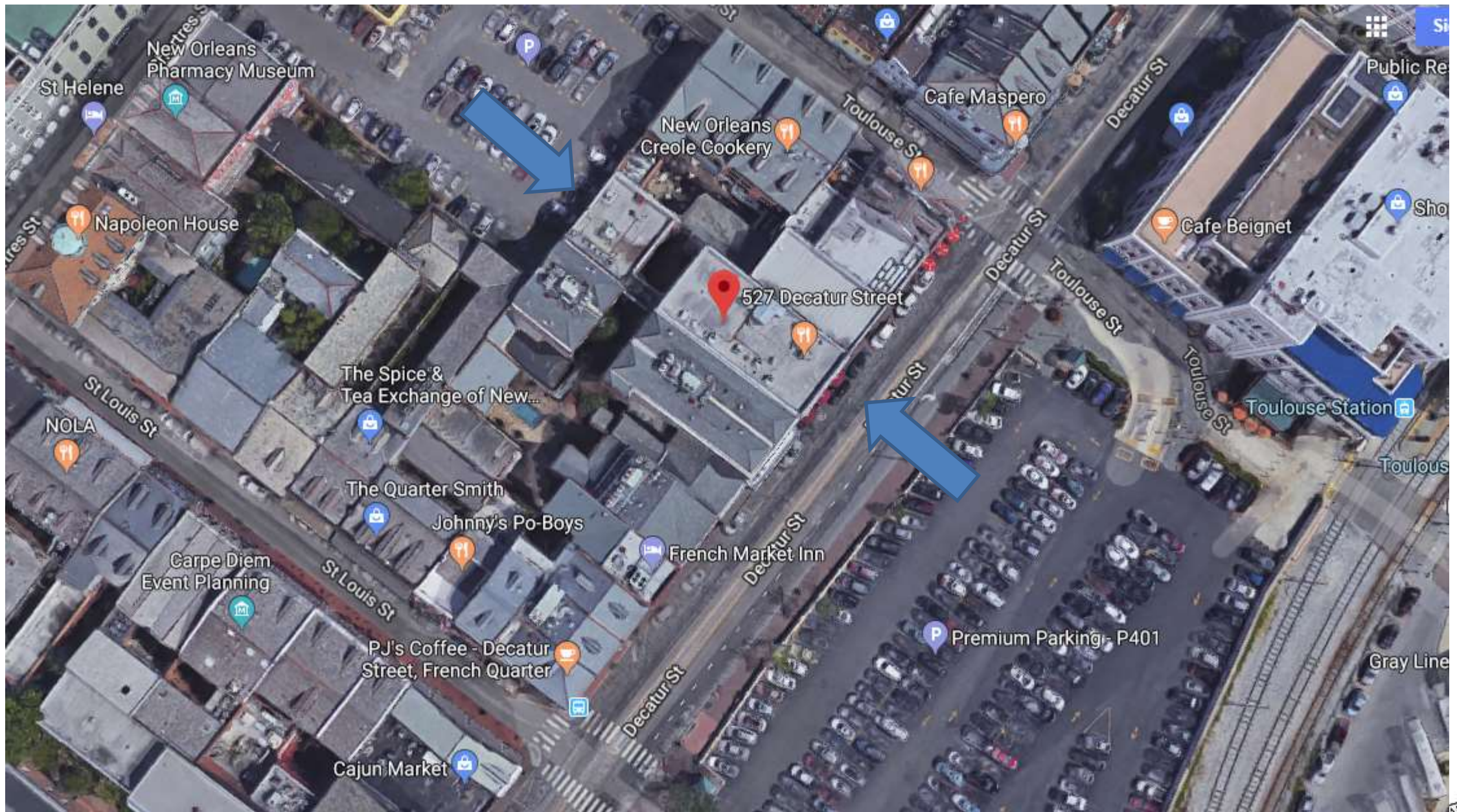
VCC Architectural Committee



March 13, 2018

The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The inner circle features a stylized architectural design with columns and a central archway.

527 Decatur



527 Decatur

VCC Architectural Committee

March 13, 2018





527 Decatur

VCC Architectural Committee

May 14, 2013

March 13, 2018



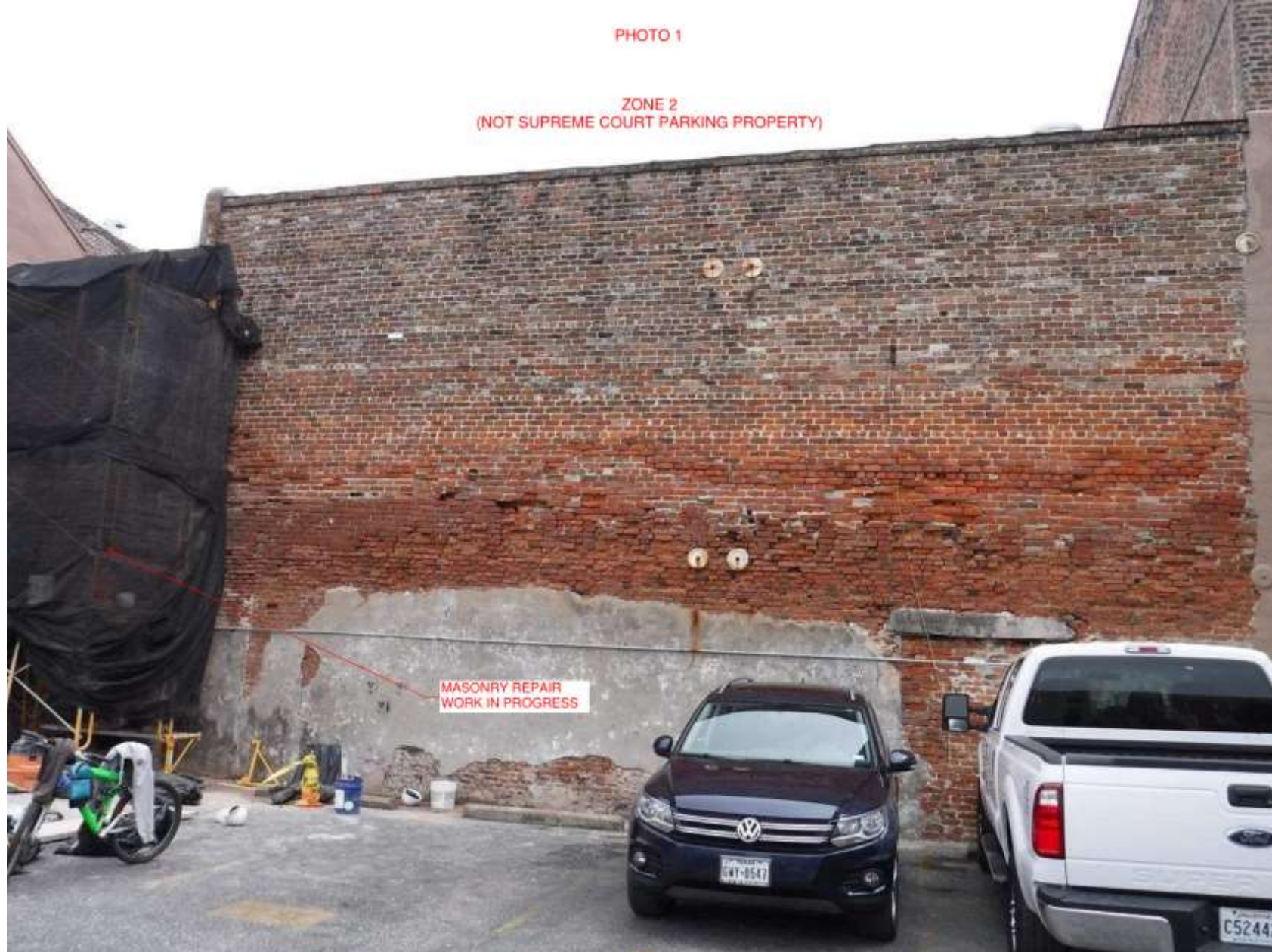


527 Decatur

VCC Architectural Committee

March 13, 2018





527 Decatur (rear)

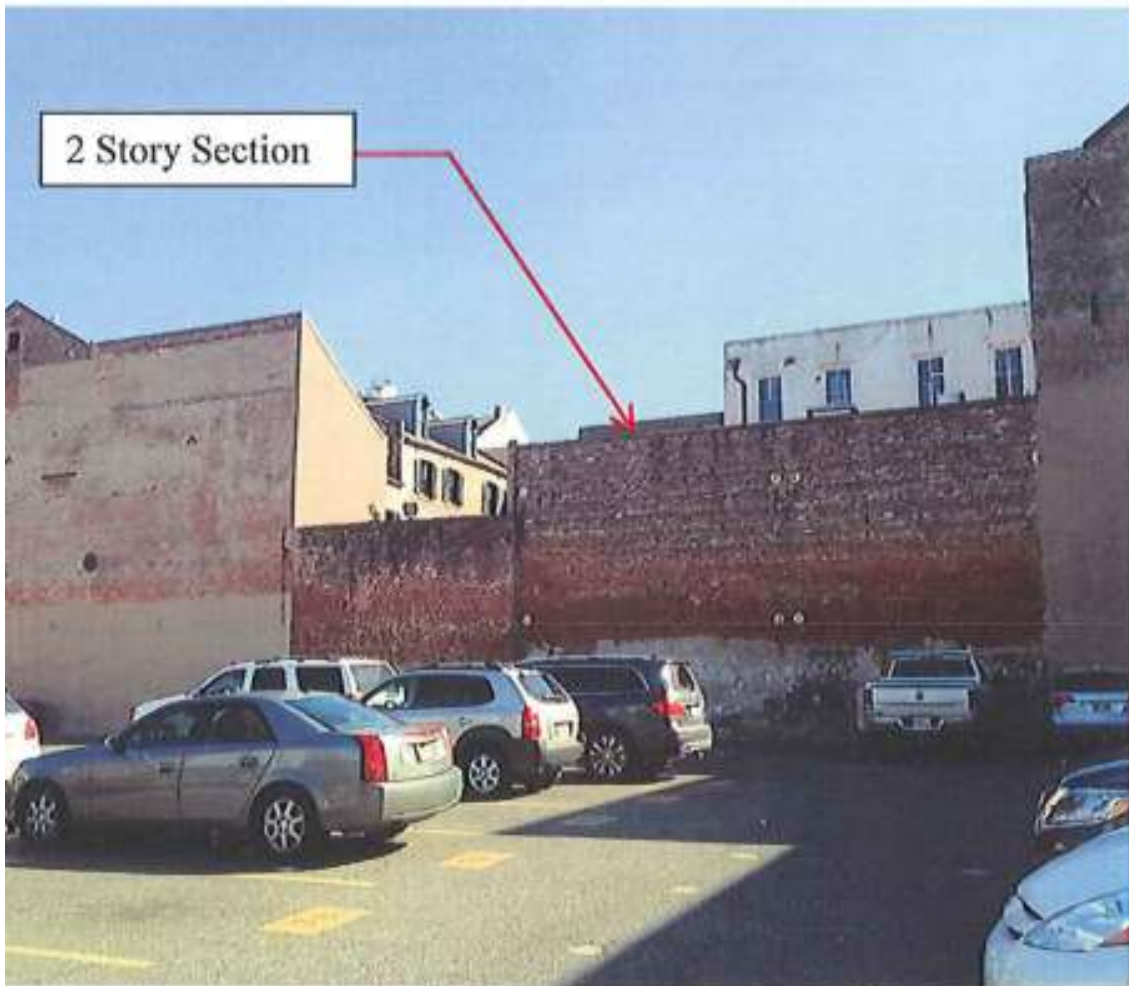


Photo #1-View of southeast side of property

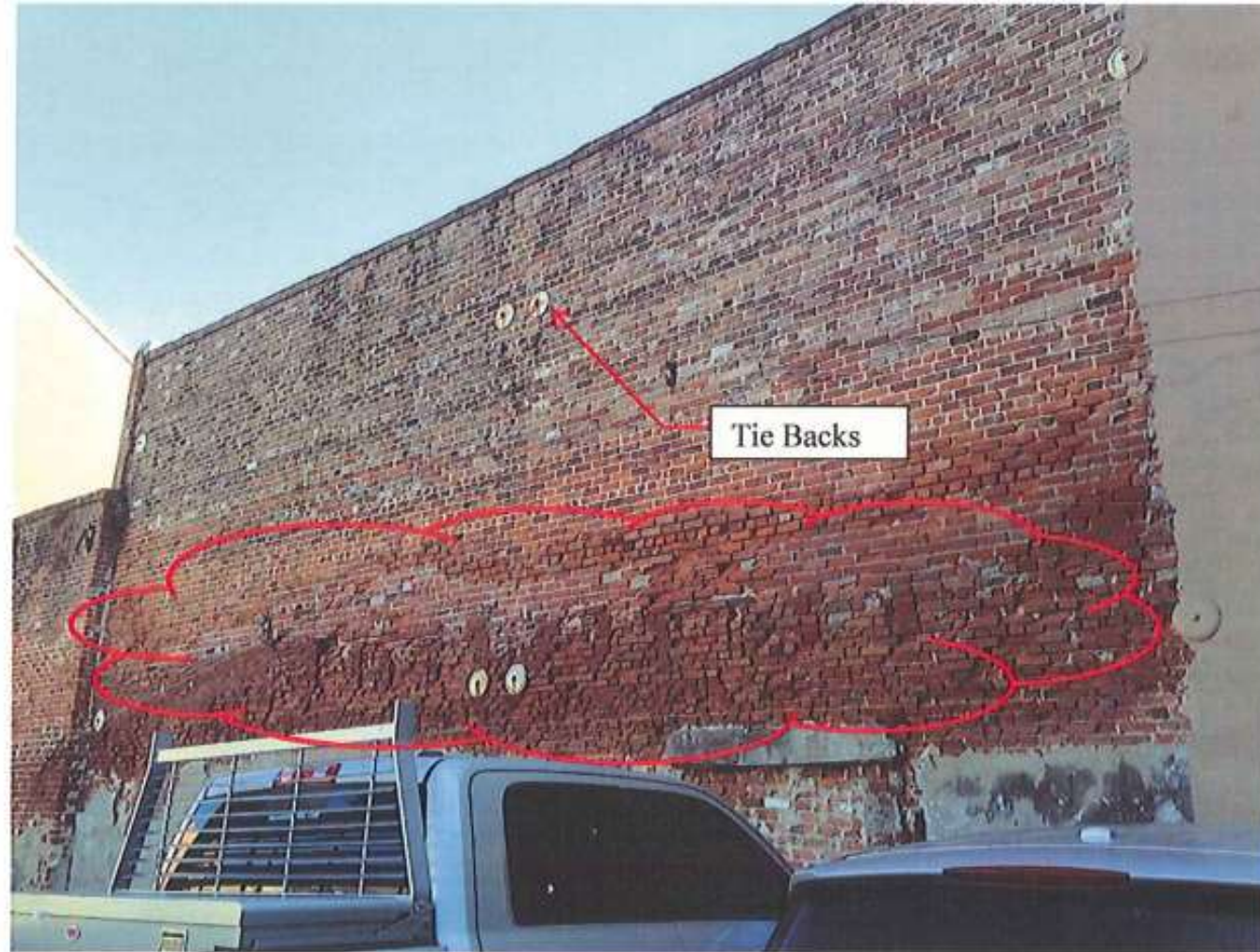


Photo #3-View of deteriorated two story section of southeast wall

527 Decatur (rear)

VCC Architectural Committee

March 13, 2018





527 Decat
VCC Architect

01.30.2017





527 Decat
VCC Architect





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VCC Architect





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VCC Architect





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VCC Architect

11 28 2017





527 Decatur

VCC Architectural Committee

March 13, 2018





527 Decat
VCC Architect

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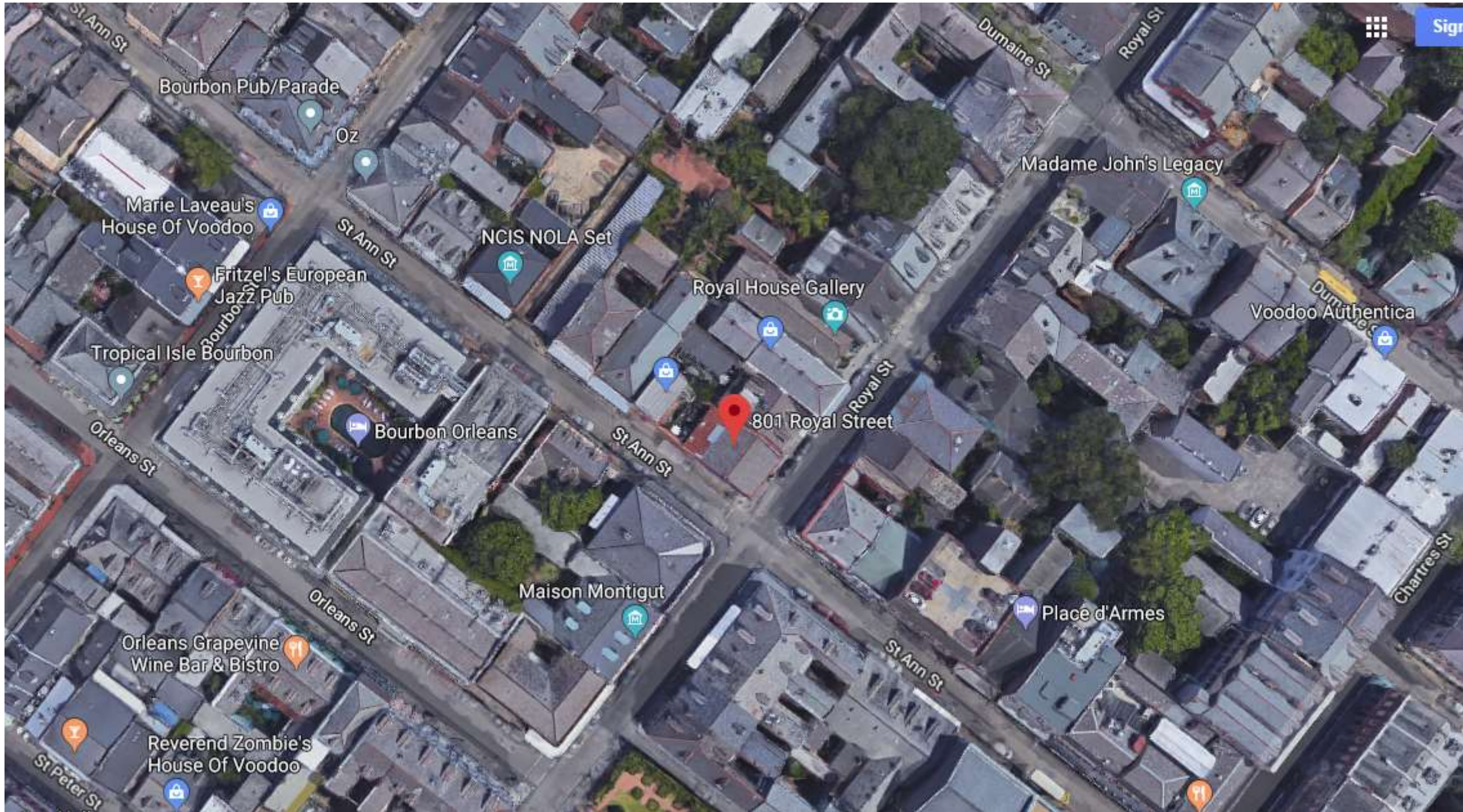


527 Decat
VCC Architect





801-803 Royal



801-803 Royal

VCC Architectural Committee

March 13, 2018





801-803 Royal

VCC Architectural Committee

May 14, 2013

March 13, 2018





801-803 Royal

VCC Architectural Committee

March 13, 2018





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VCC Architectural Committee

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VCC Architectural Committee

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March 13, 2018

