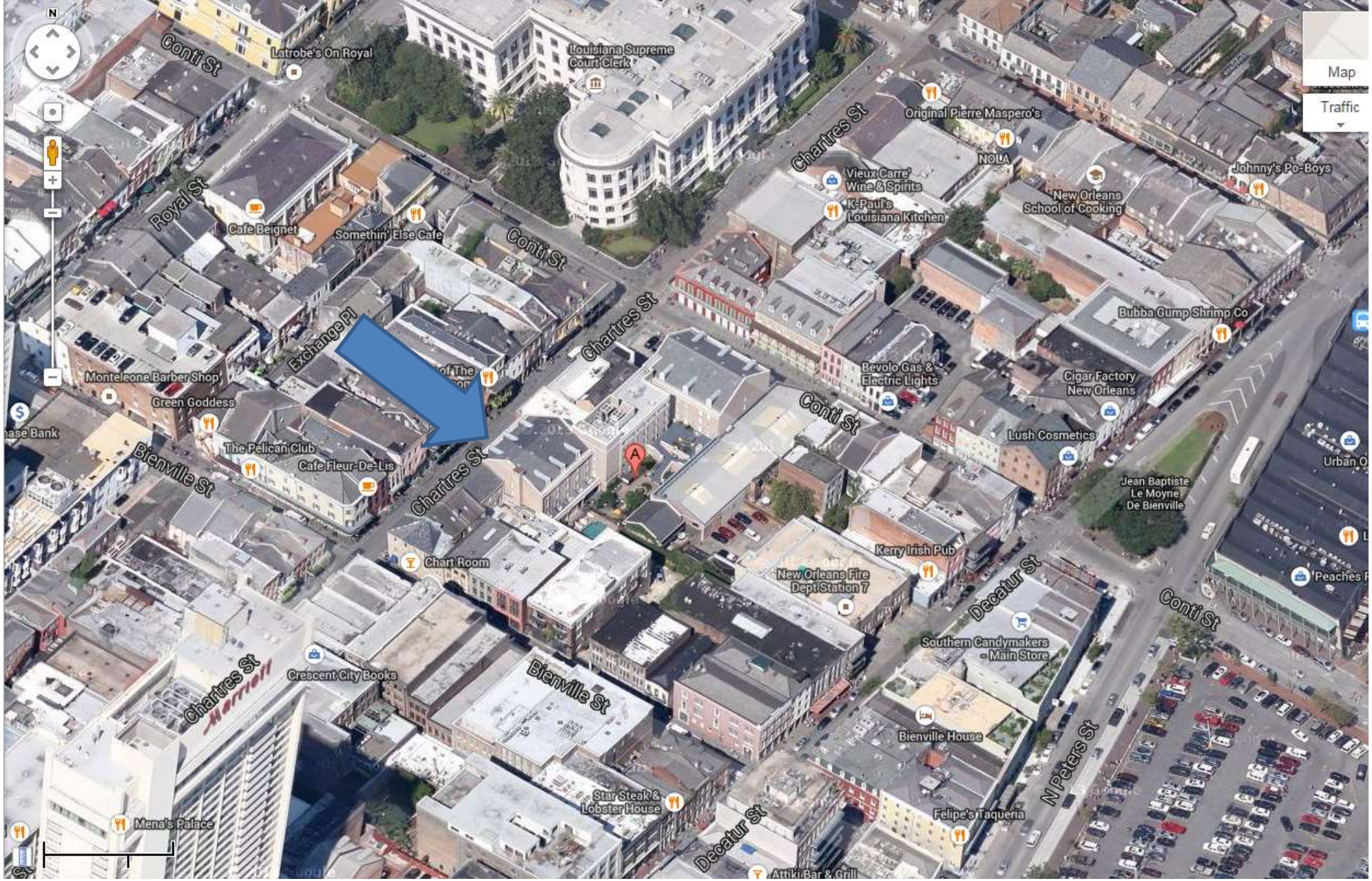
Vieux Carré Commission
Architectural Committee Meeting

Tuesday, September 11, 2018

Old Business

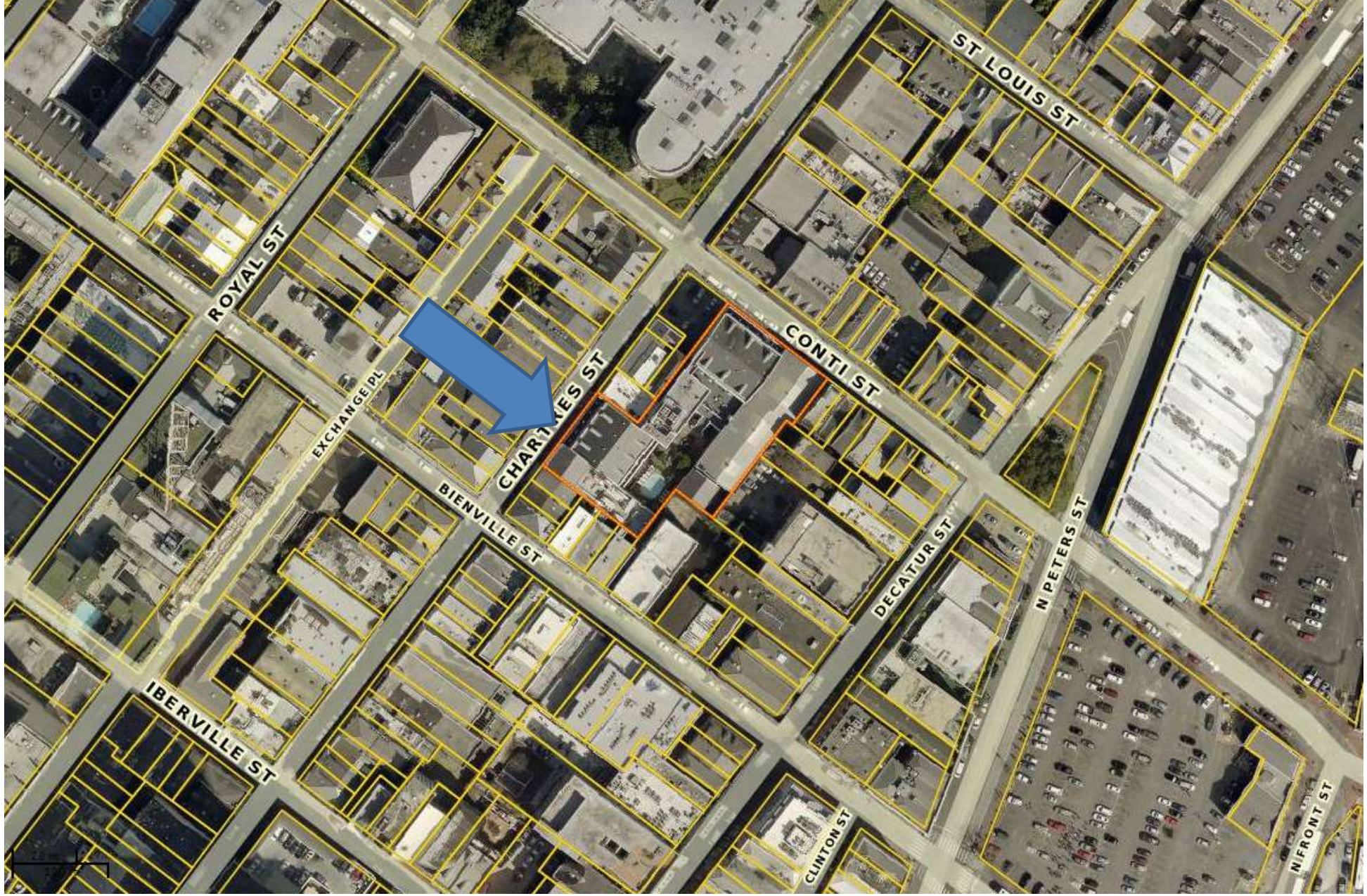
310 Chartres



310 Chartres

VCC Architectural Committee

April 24, 2018



310 Chartres

VCC Architectural Committee

April 24, 2018

310 Chartres

VCC Architectural Committee

April 24, 2018

310 Chartres

VCC Architectural Committee

April 24, 2018

310 Chartres

VCC Architectural Committee

April 24, 2018

316 Chartres

310 Chartres

310 Chartres

VCC Architectural Committee

April 24, 2018

310 Chartres

VCC Architectural Committee

April 24, 2018

310 Chartres

VCC Architectural Committee

April 24, 2018

310 Chartres

VCC Architectural Committee

April 24, 2018

316 Chartres

VCC Architectural Committee

April 24, 2018

310 Chartres

VCC Architectural Committee

April 24, 2018

310 Chartres

VCC Architectural Committee

April 24, 2018

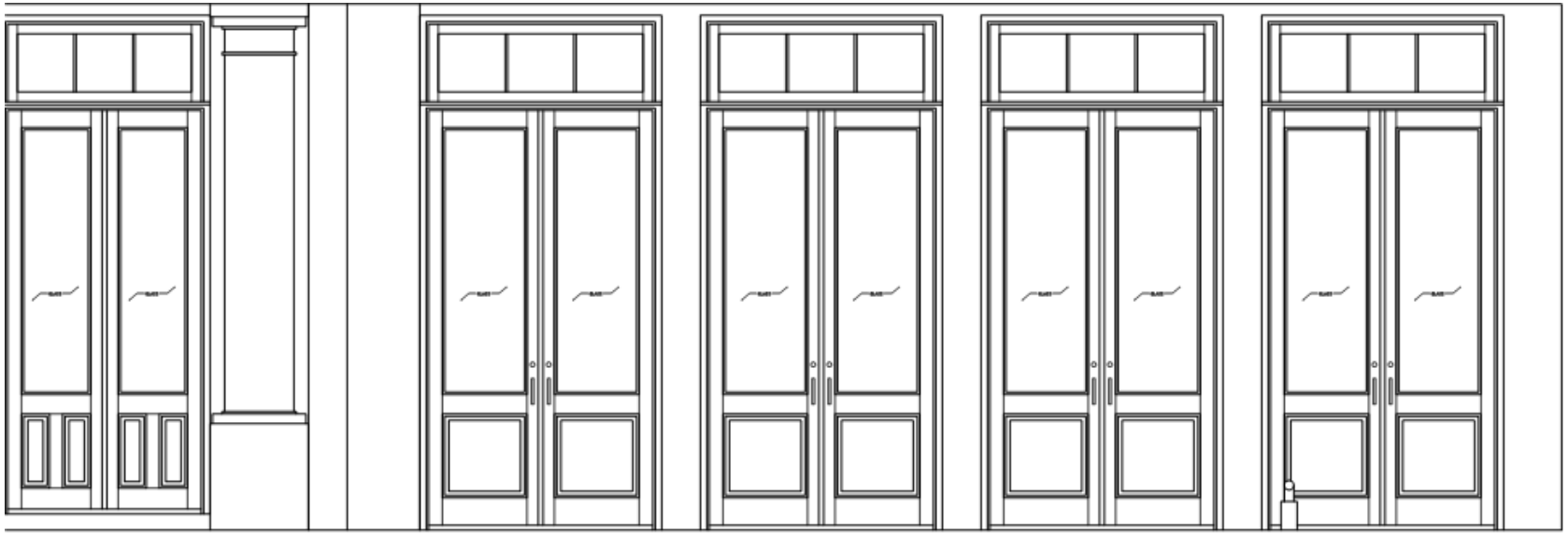
1 Chartres St. Elevation (current conditions)
Scale: 1/8" = 1'-0"

2 Chartres St. Elevation (proposed changes)
Scale: 1/8" = 1'-0"

316 Chartres

310 Chartres

310 Chartres



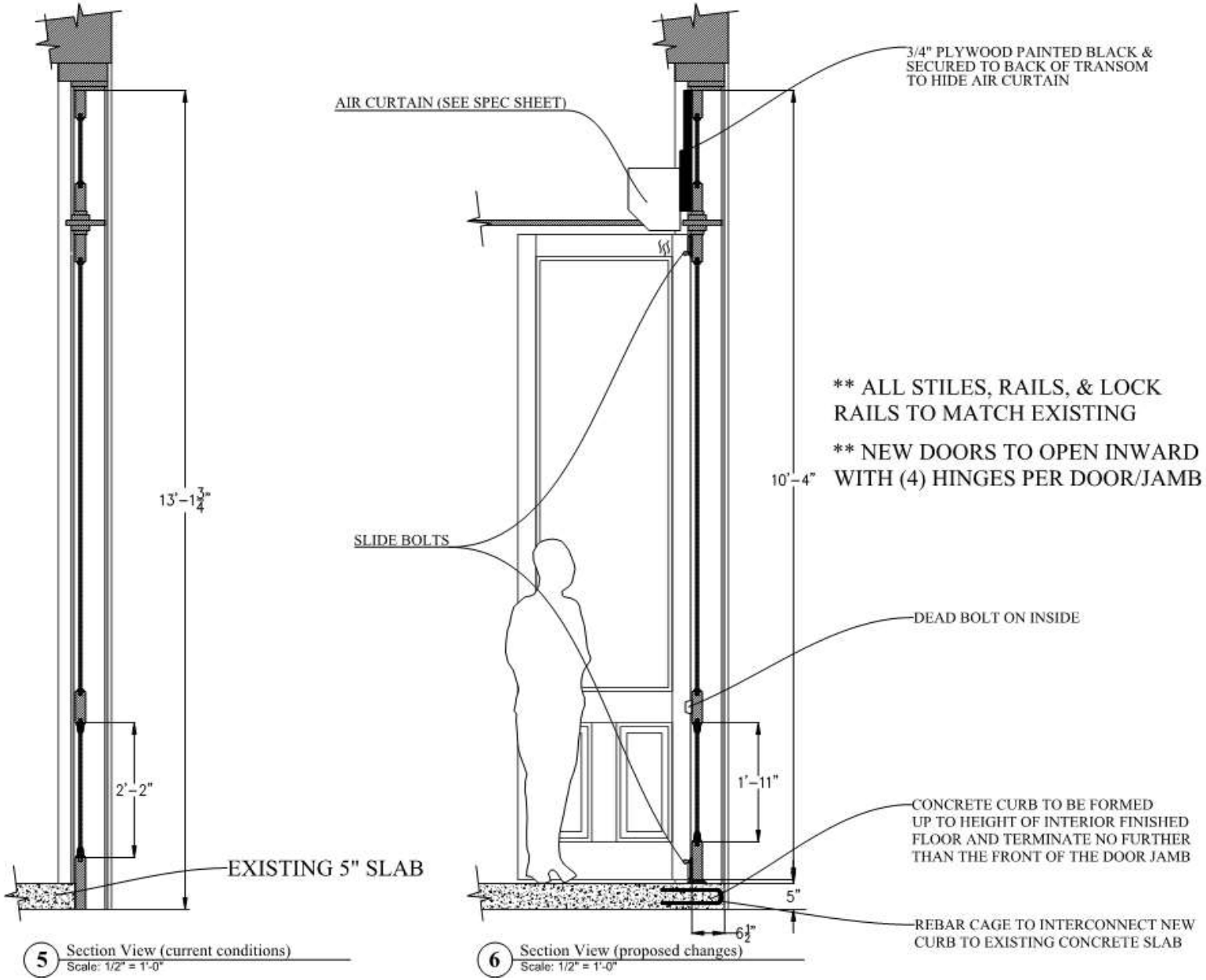
3 Chartres St. Elevation (current conditions)
Scale: 1/4" = 1'-0"

4 Chartres St. Elevation (proposed changes)
Scale: 1/4" = 1'-0"

310 Chartres

VCC Architectural Committee

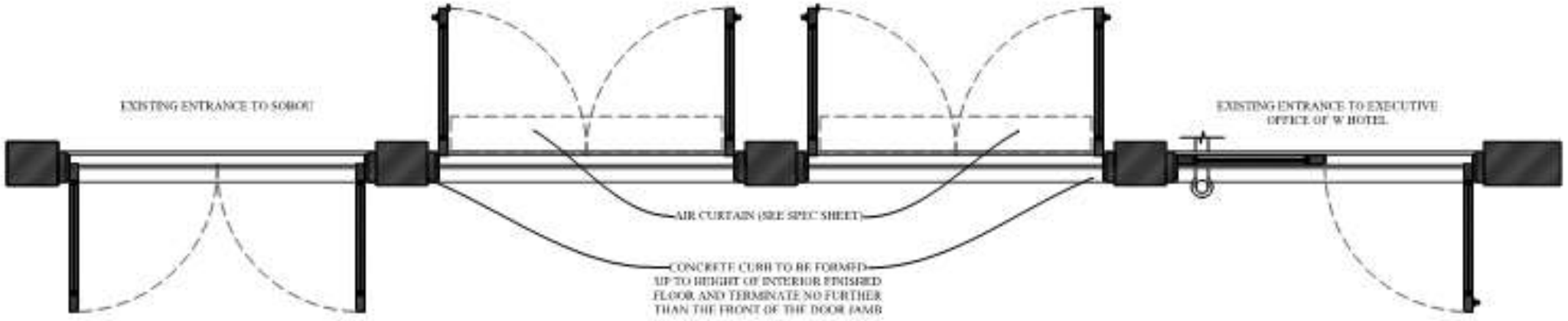
April 24, 2018



310 Chartres

VCC Architectural Committee

April 24, 2018



7 Chartres St. Plan View (proposed changes)
Scale: 1/4" = 1'-0"

BERNER INTERNATIONAL

COMMERCIAL LOW PROFILE 8

Electric Heated Air Curtain

Data Sheet

For Mounting Heights To 8' (environmental separation)

STANDARD CONSTRUCTION

- 8 1/2" high x 13 1/2" deep
- 1/5 hp two speed motor(s)
- Factory installed fan speed/heat switch
- White or black powder coated exterior (Optional: Custom Color or Stainless)
- Wall & Top Mounting
- Open helical element with point suspension
  - Thermal overload protection
  - Galvanized steel frame
- Alternate kW: see sheet EP-102

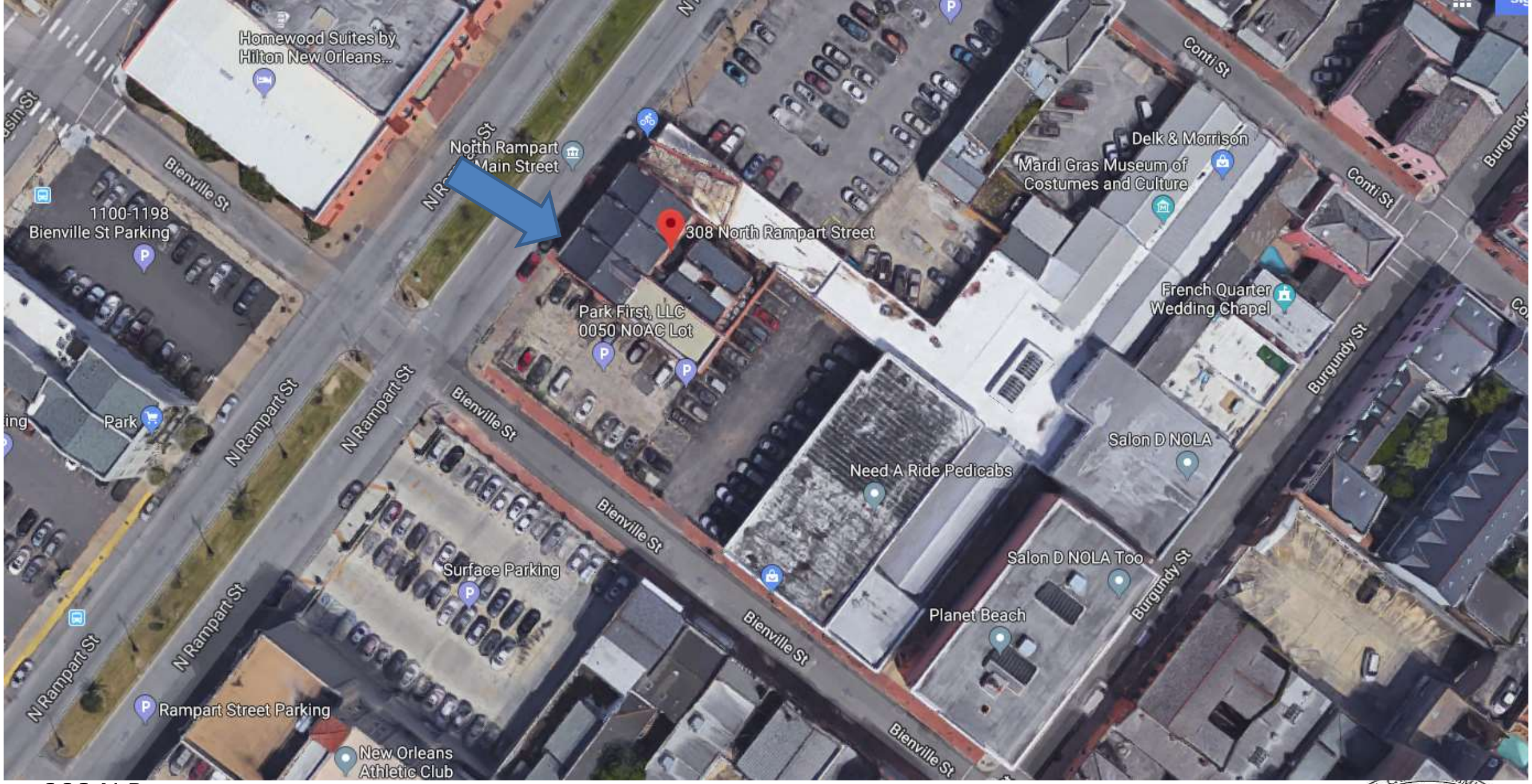
2 Year Limited Warranty Made in USA c UL us

MODEL	Nozzle Width (in)	Max Vel. at Nozzle (fpm)	Avg. Outlet Vel. (fpm)	Air Volume (cfm)	Outlet Vel. Uniformity	Power Rating (kW)	Motor(s) @ hp	Max Electric Capacity (kW)	Heater Output (MBH)	Air Temp. Rise (°F)	Net Wt. (lbs)
CLC08-1030E	27.50	3,071	1,478	670	89%	0.32	1 @ 1/5	7.2	24.6	34°	42
CLC08-1036E	34.62	3,567	1,760	1,005	92%	0.32	1 @ 1/5	10.0	34.1	31°	48
CLC08-1042E	40.62	3,388	1,755	1,176	93%	0.32	1 @ 1/5	10.0	34.1	27°	53
CLC08-1048E	46.62	3,226	1,742	1,340	94%	0.32	1 @ 1/5	14.4	49.1	34°	58
CLC08-1060E	58.13	2,940	1,702	1,632	95%	0.32	1 @ 1/5	14.4	49.1	28°	67
CLC08-1072E	71.37	2,870	1,707	2,010	95%	0.32	1 @ 1/5	20.0	68.3	31°	77
CLC08-2084E	83.50	3,388	1,707	2,351	93%	0.64	2 @ 1/5	20.0	68.3	27°	105
CLC08-2096E	95.50	3,226	1,701	2,679	94%	0.64	2 @ 1/5	28.8	98.3	34°	115
CLC08-2108E	107.00	3,226	1,684	2,971	94%	0.64	2 @ 1/5	28.8	98.3	30°	123
CLC08-2120E	118.50	2,940	1,670	3,263	95%	0.64	2 @ 1/5	28.8	98.3	28°	137

NOTES:
1. Operation at 50 Hz will generate approximately a 17% reduction in performance.
2. Performance data based on unheated units.
3. Consult factory for vertically mounted units.

See sheet EP-102 for amp draws/total load requirements and alternate kW.

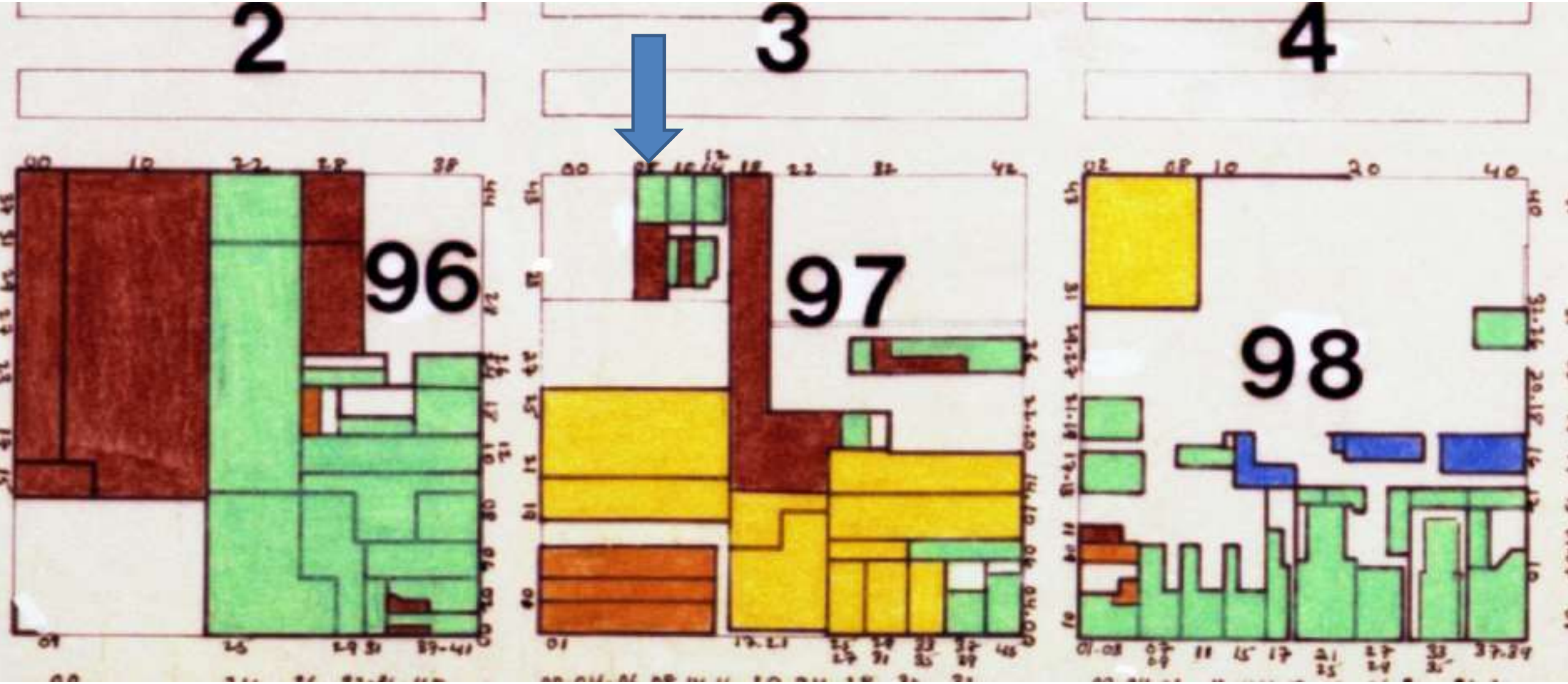
308 N Rampart



308 N Rampart

VCC Architectural Committee

September 11, 2018



308 N Rampart

VCC Architectural Committee

September 11, 2018

308-314 N Rampart - 1964

308 N Rampart

VCC Architectural Committee

September 11, 2018

308 N Rampart

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September 11, 2018

Location of mechanical well

308 N Rampart

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September 11, 2018

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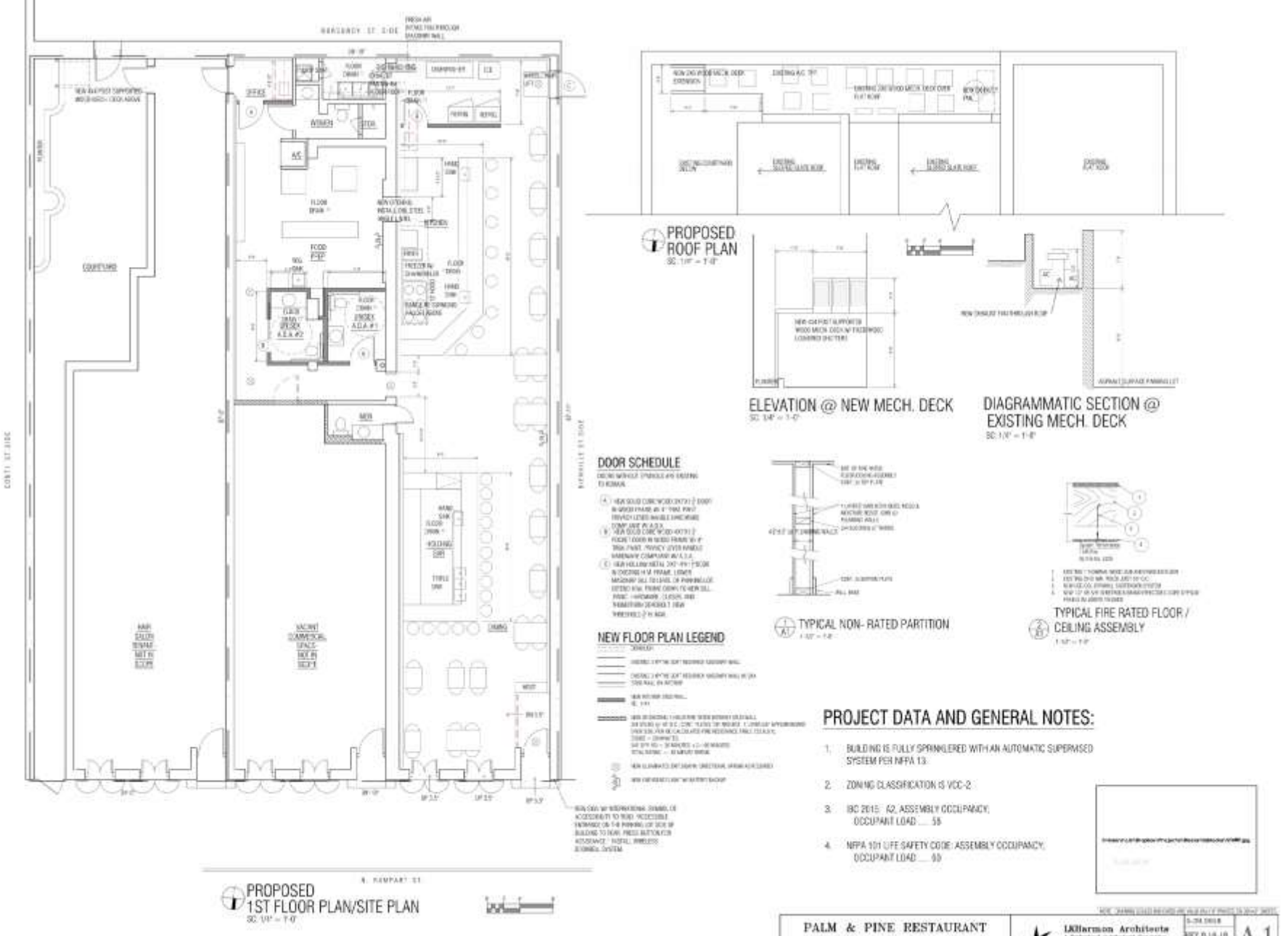

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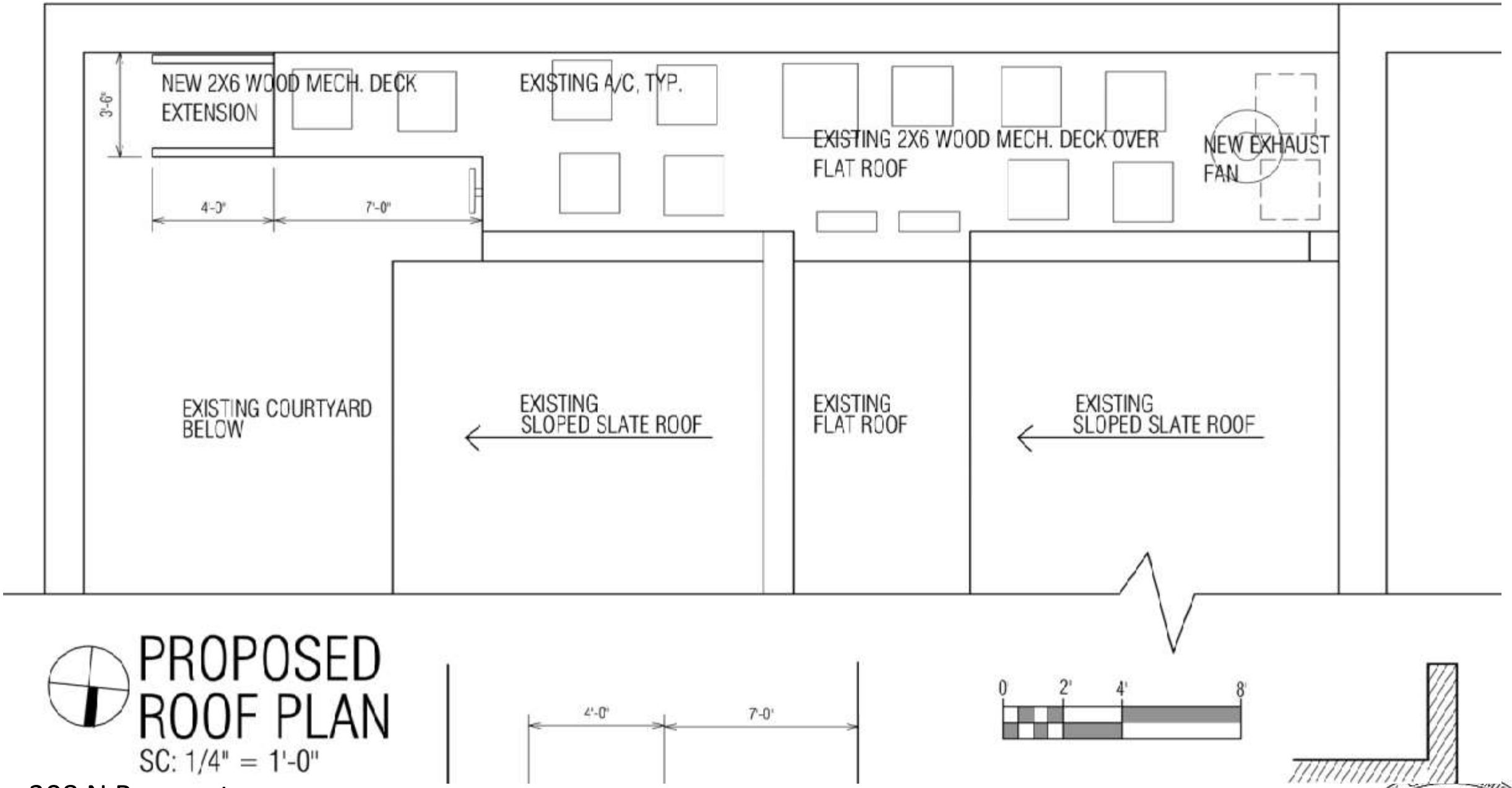

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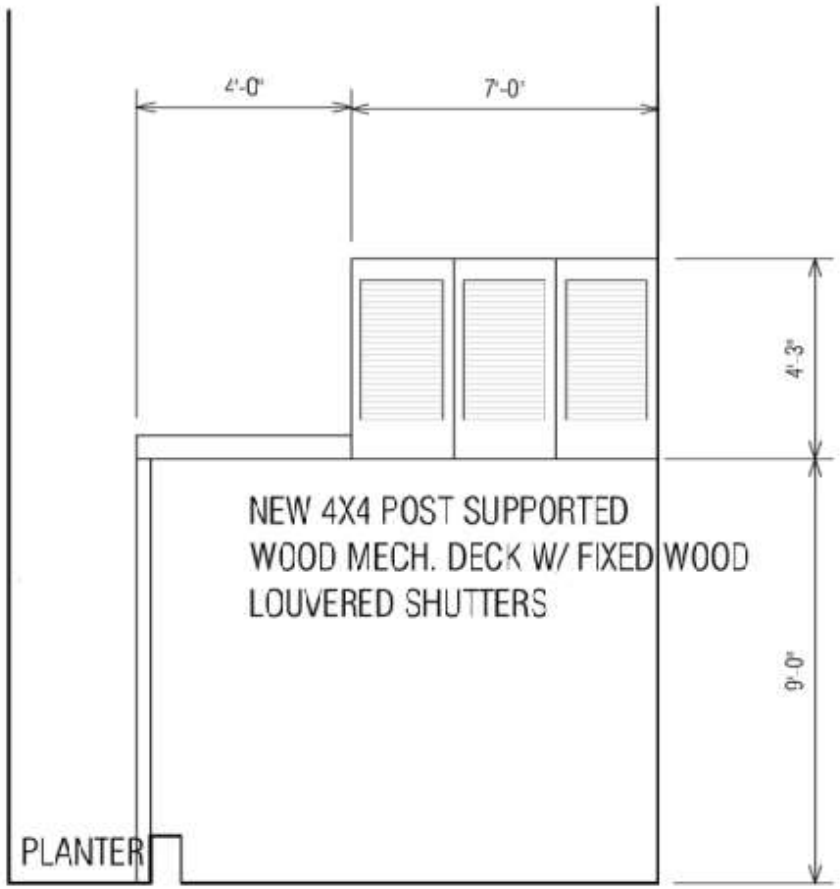
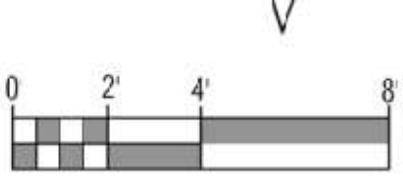
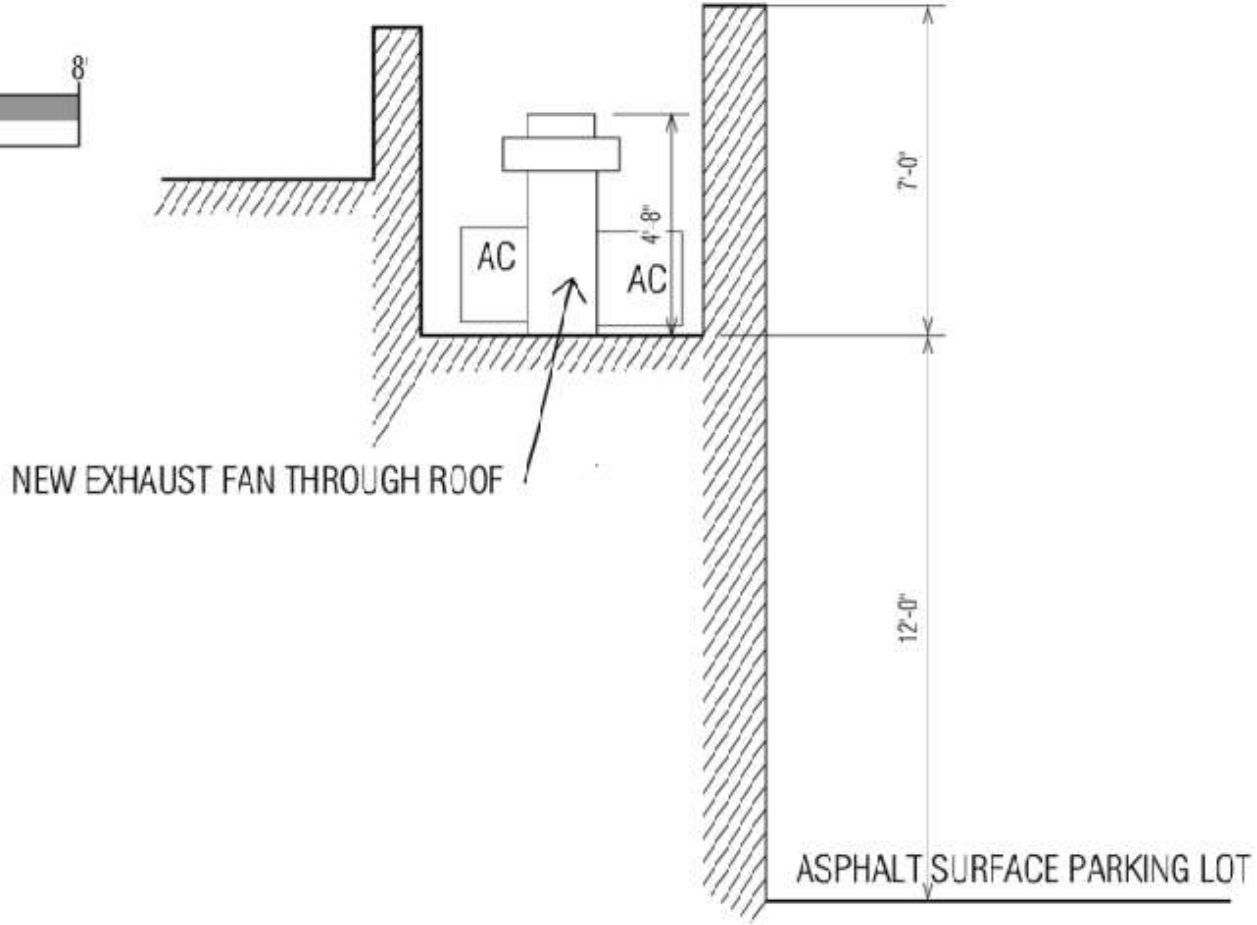






ELEVATION @ NEW MECH. DECK

SC: 1/4" = 1'-0"

DIAGRAMMATIC SECTION @ EXISTING MECH. DECK

SC: 1/4" = 1'-0"

1014 N Rampart

1014 N Rampart

VCC Architectural Committee

September 11, 2018

1014 N Rampart

VCC Architectural Committee

September 11, 2018

01 25 2018

1014 N Rampart

VCC Architectural Committee

September 11, 2018

1014 N Rampart

VCC Architectural Committee

September 11, 2018

01 25 2018

01 25 2018

01 25 2018

a new restaurant

1014 North Rampart

new orleans louisiana 70116

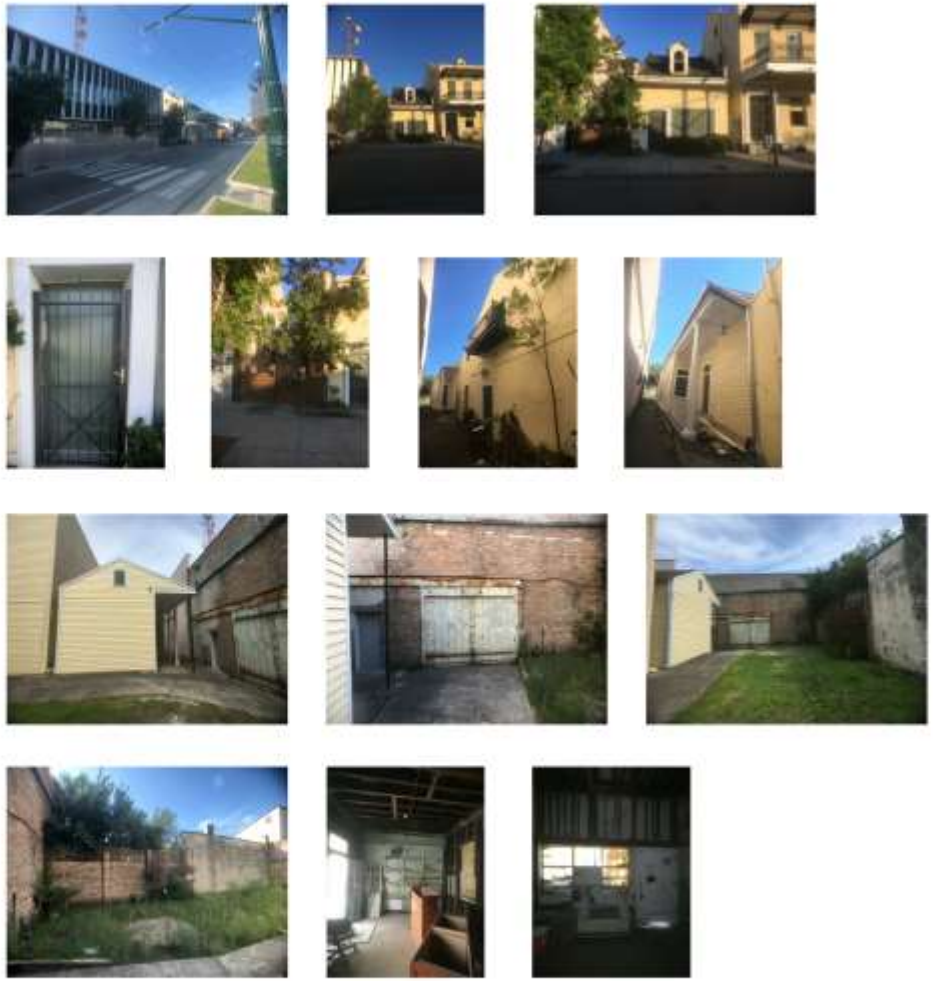
CORBETT SCOTT
ARCHITECT

1014 N Rampart

VCC Architectural Committee

September 11, 2018

EXISTING CONDITIONS



CODE ANALYSIS

CODE REQUIREMENTS

CONSTRUCTION TYPE

BUILDING HEIGHT

BUILDING STORIES

LOT SIZE

OCCUPANCY

BUILDING AREA

AREA CALCULATIONS

OCCUPANCY LOAD

PLUMBING FIXTURE COUNT

PROJECT INFORMATION

LOT DESCRIPTION

DESCRIPTION OF WORK

ZONING

PROJECT LOCATION

PROJECT DIRECTORY

OWNERS

ARCHITECT OF RECORD

CONTRACTOR

CORBETT SCOTT ARCHITECT

a new restaurant

1014 NORTH RAMPART

new orleans louisiana 70116

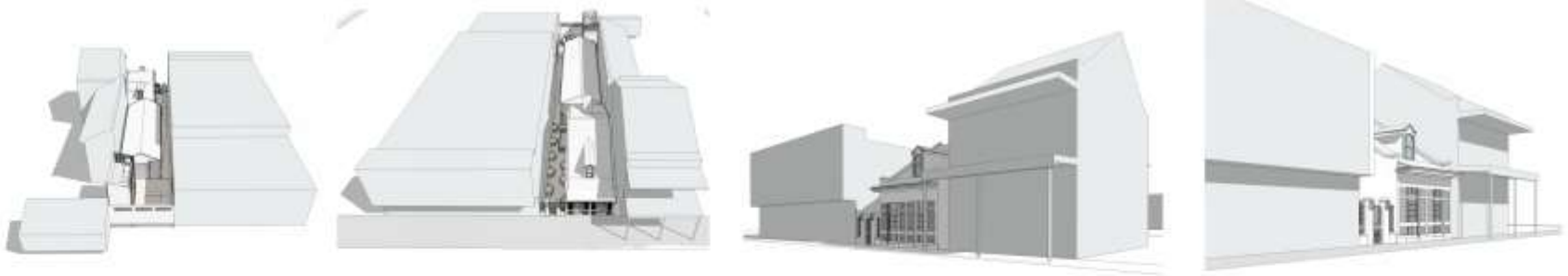
Project Information

A 0.0

1014 N Rampart

VCC Architectural Committee

September 11, 2018

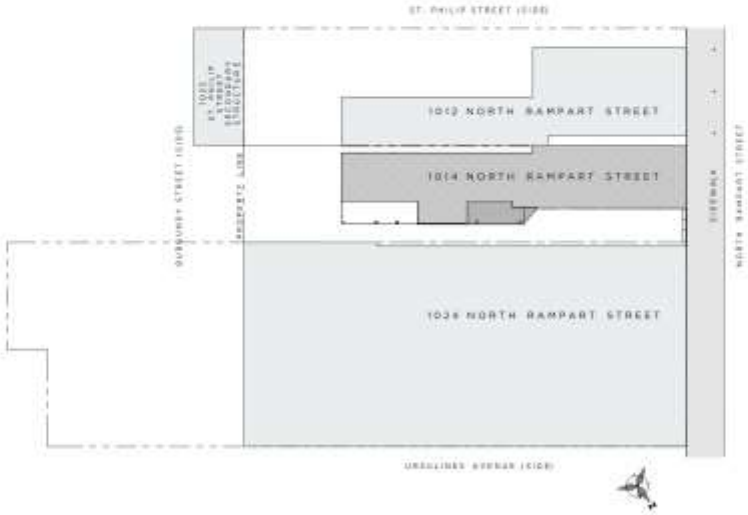


Bird's Eye Perspective - Rear

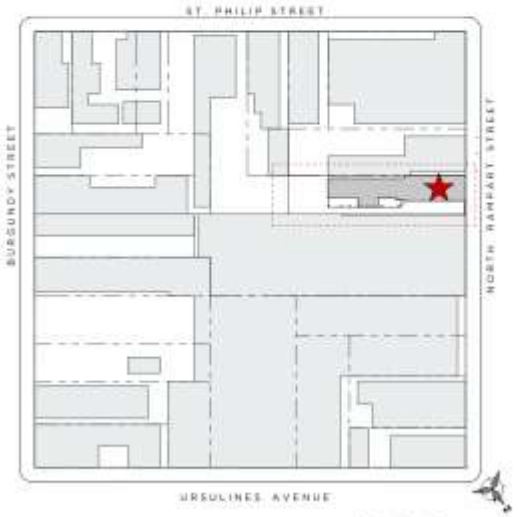
Bird's Eye Perspective - Front

Perspective From N. Rampart St. & St. Philip St.

Perspective From N. Rampart St. & Ursulines Ave.



Site Plan - Context
1/16" = 1'-0"



Site Plan - Block Plan
1" = 40'-0"

CORBETT SCOTT ARCHITECTS

a new restaurant

1014 NORTH RAMPART

new orleans louisiana 70116

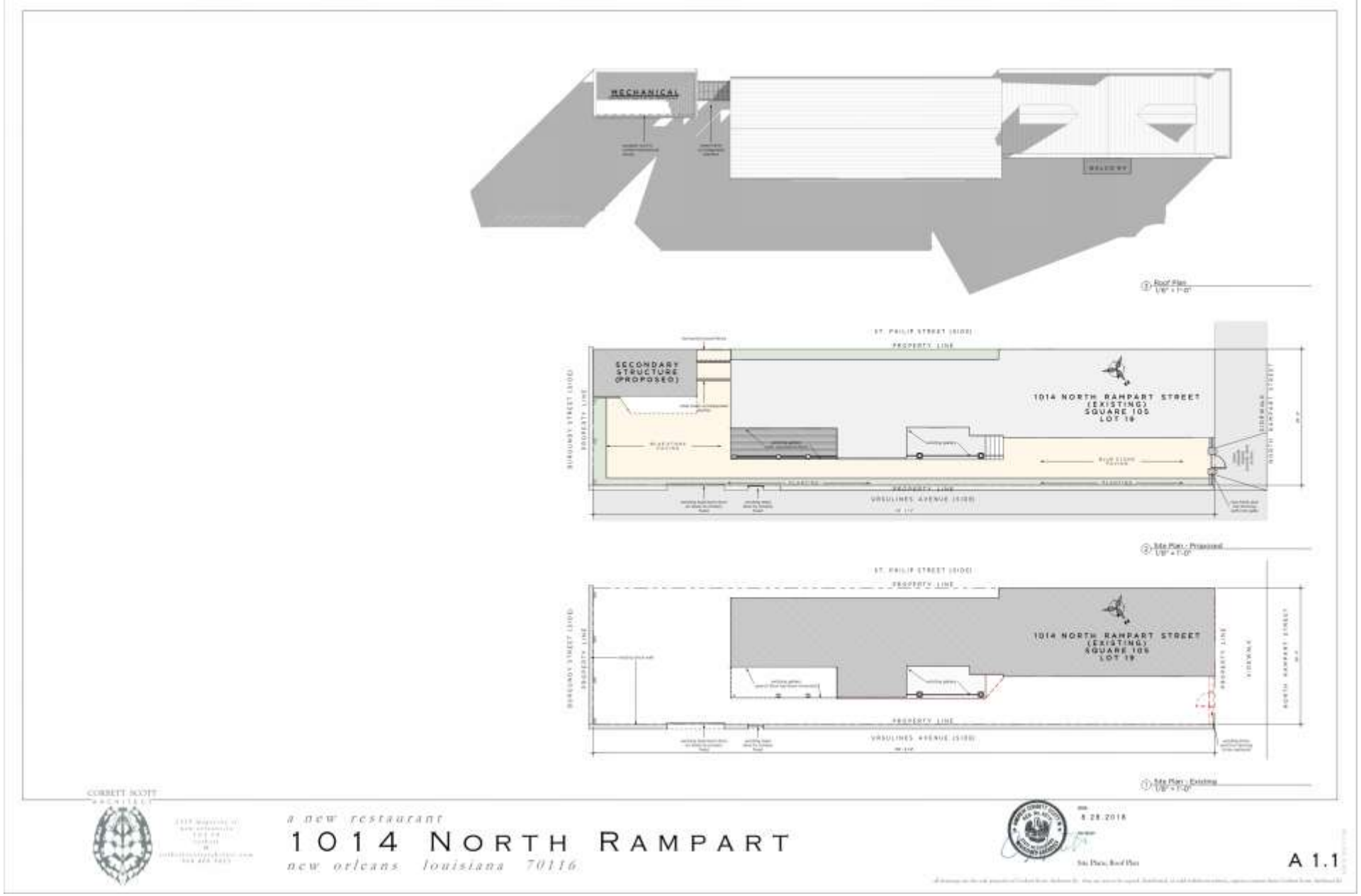
Council Drawings

A 1.0

1014 N Rampart

VCC Architectural Committee

September 11, 2018



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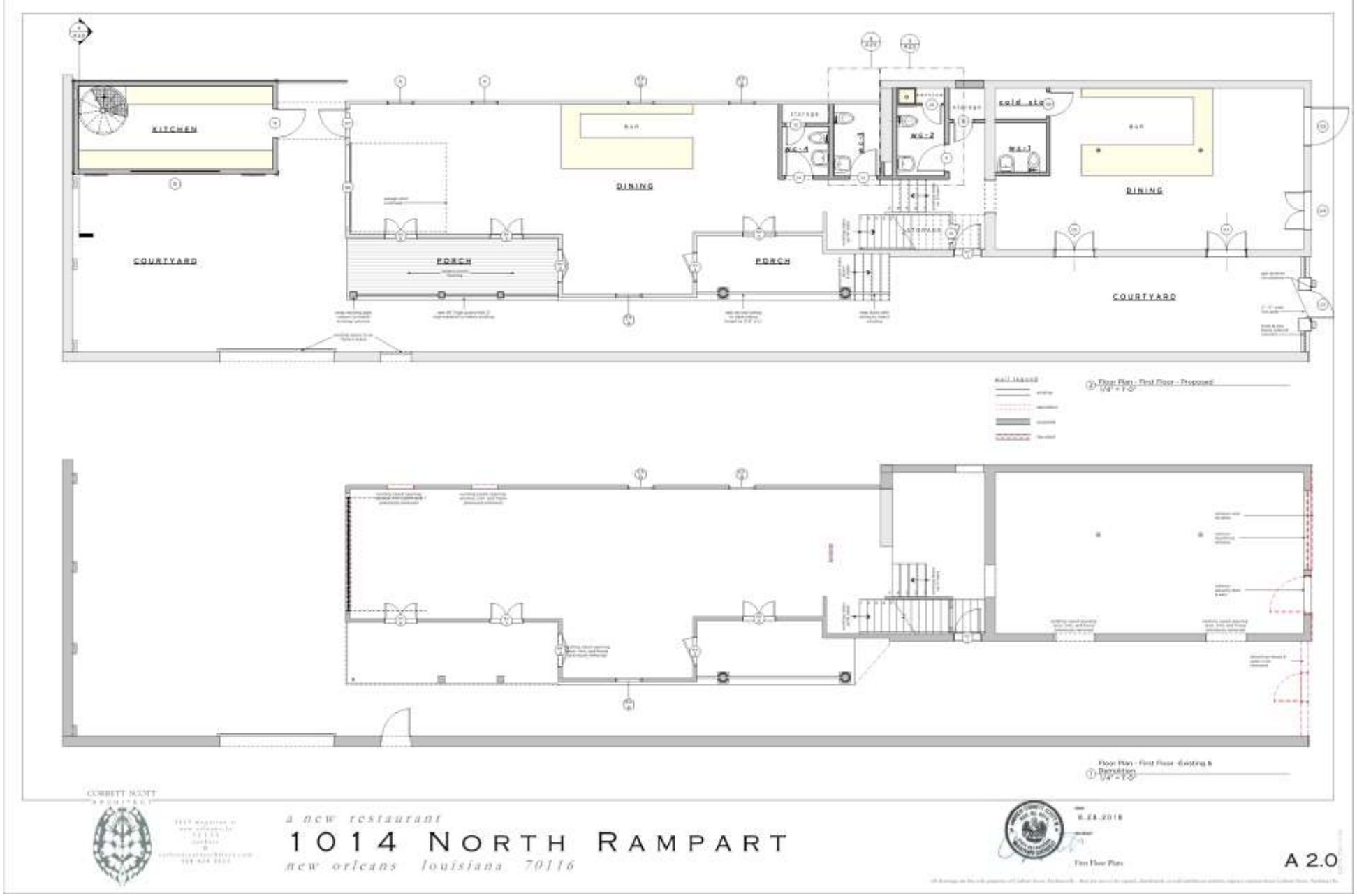

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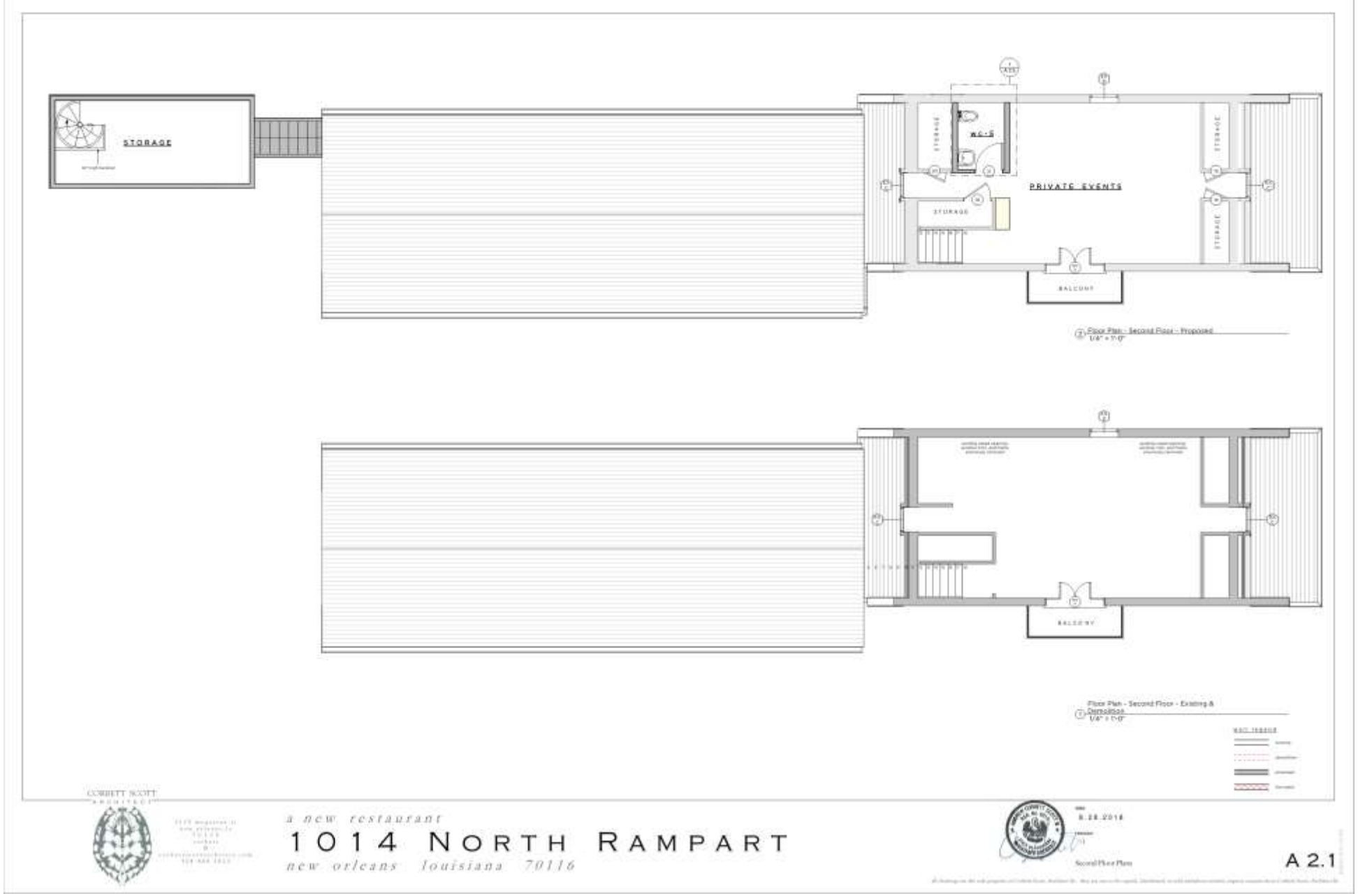

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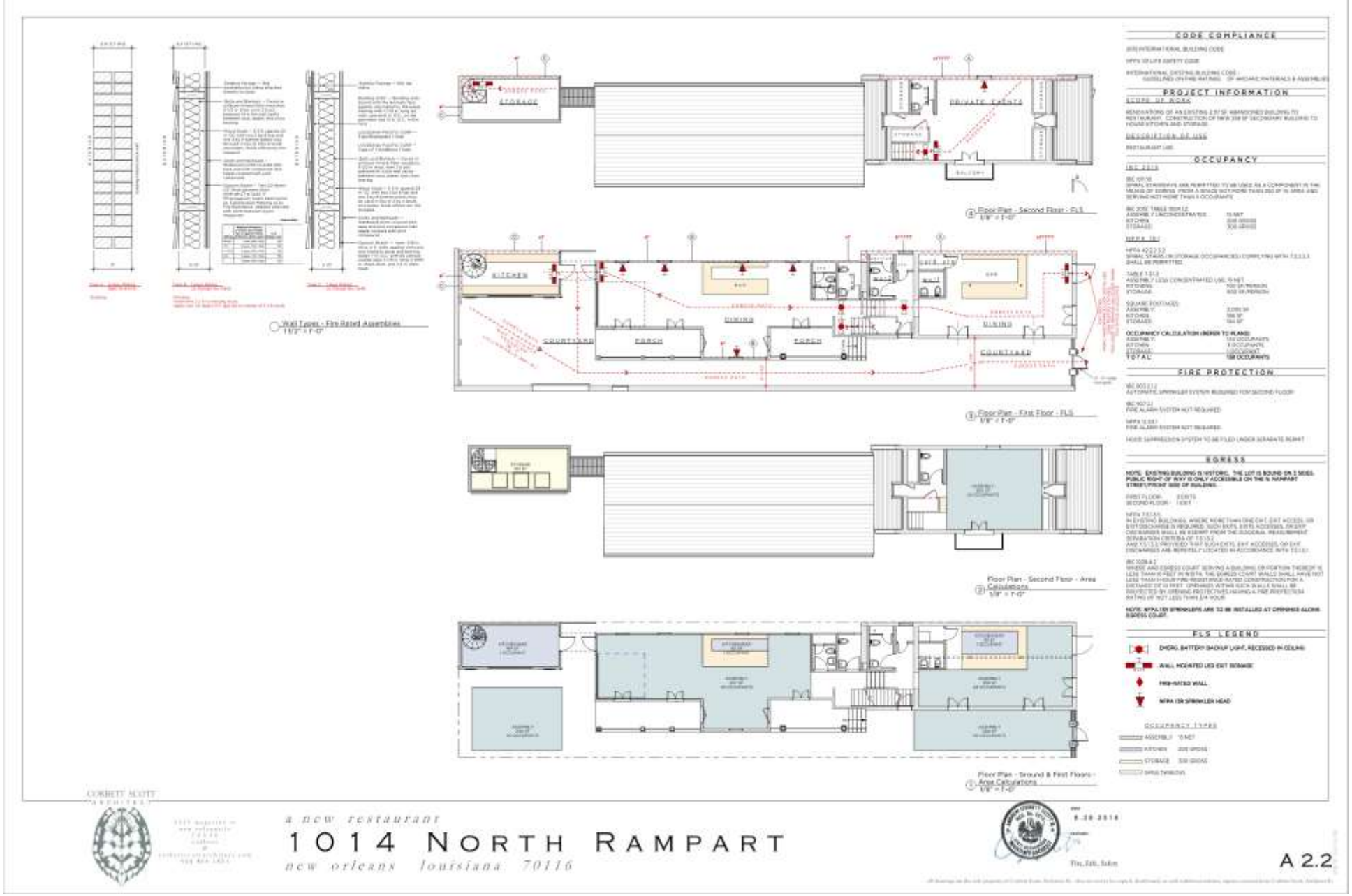

1014 N Rampart

VCC Architectural Committee

September 11, 2018

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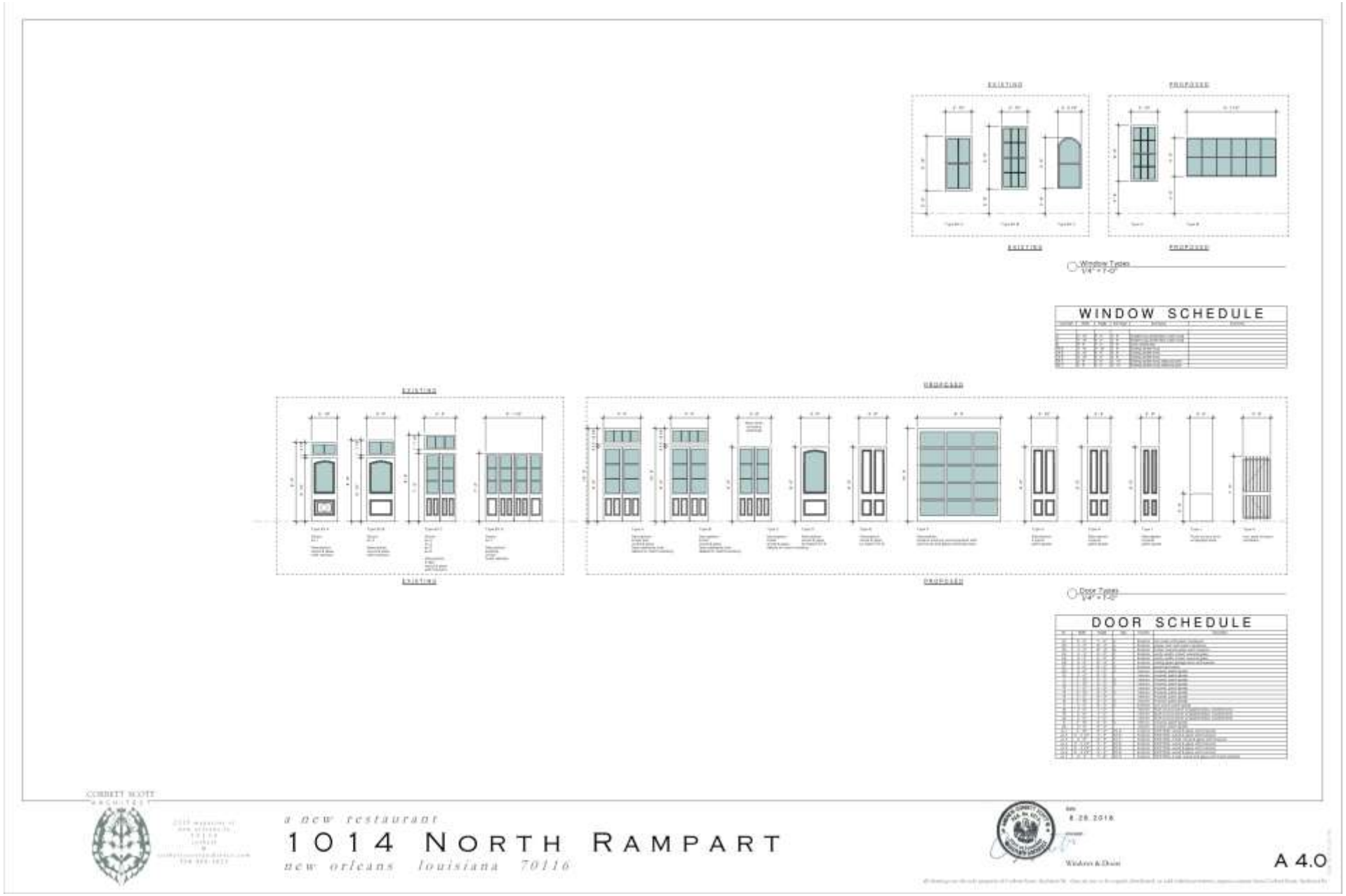

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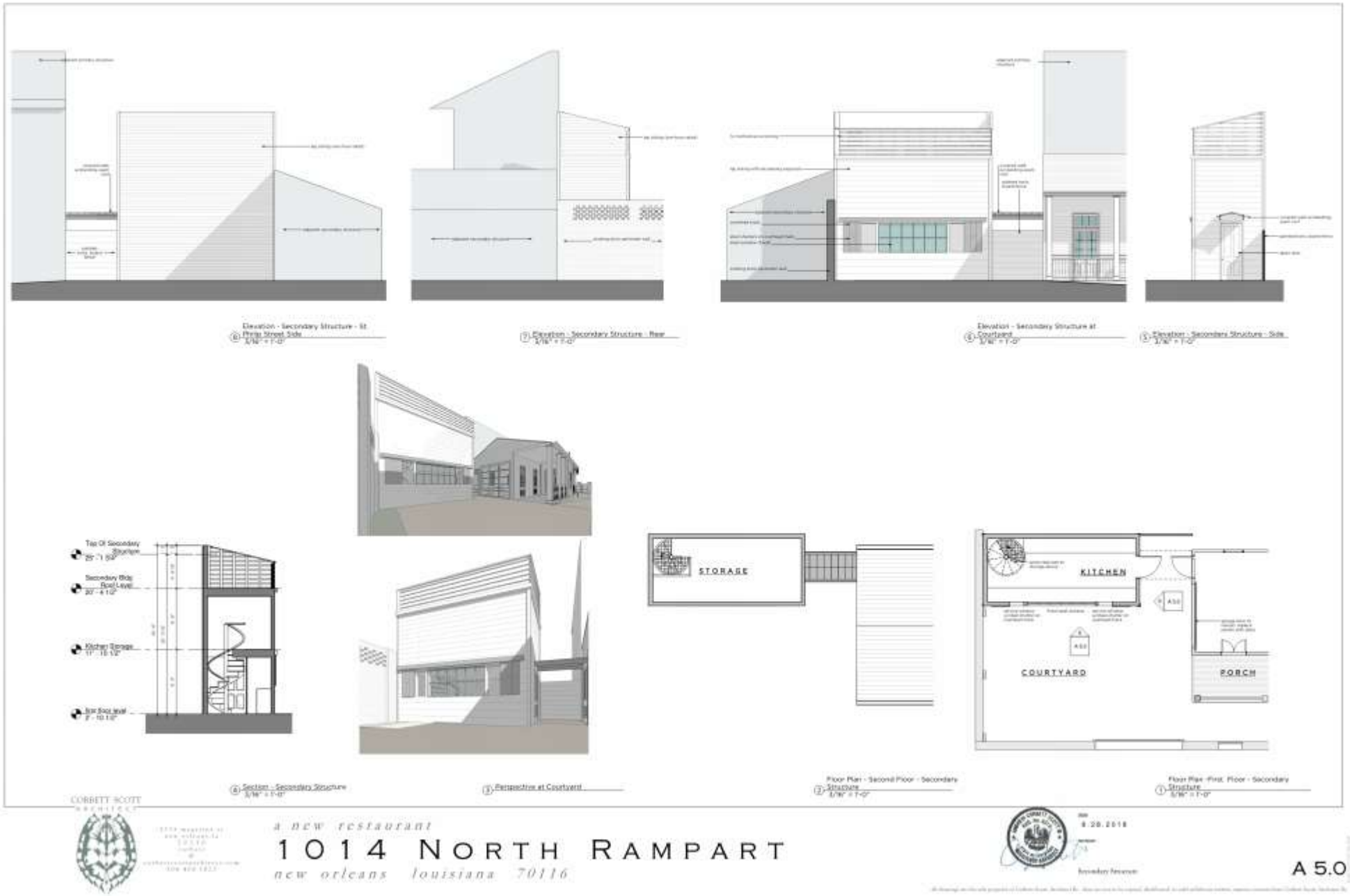
September 11, 2018



1014 N Rampart

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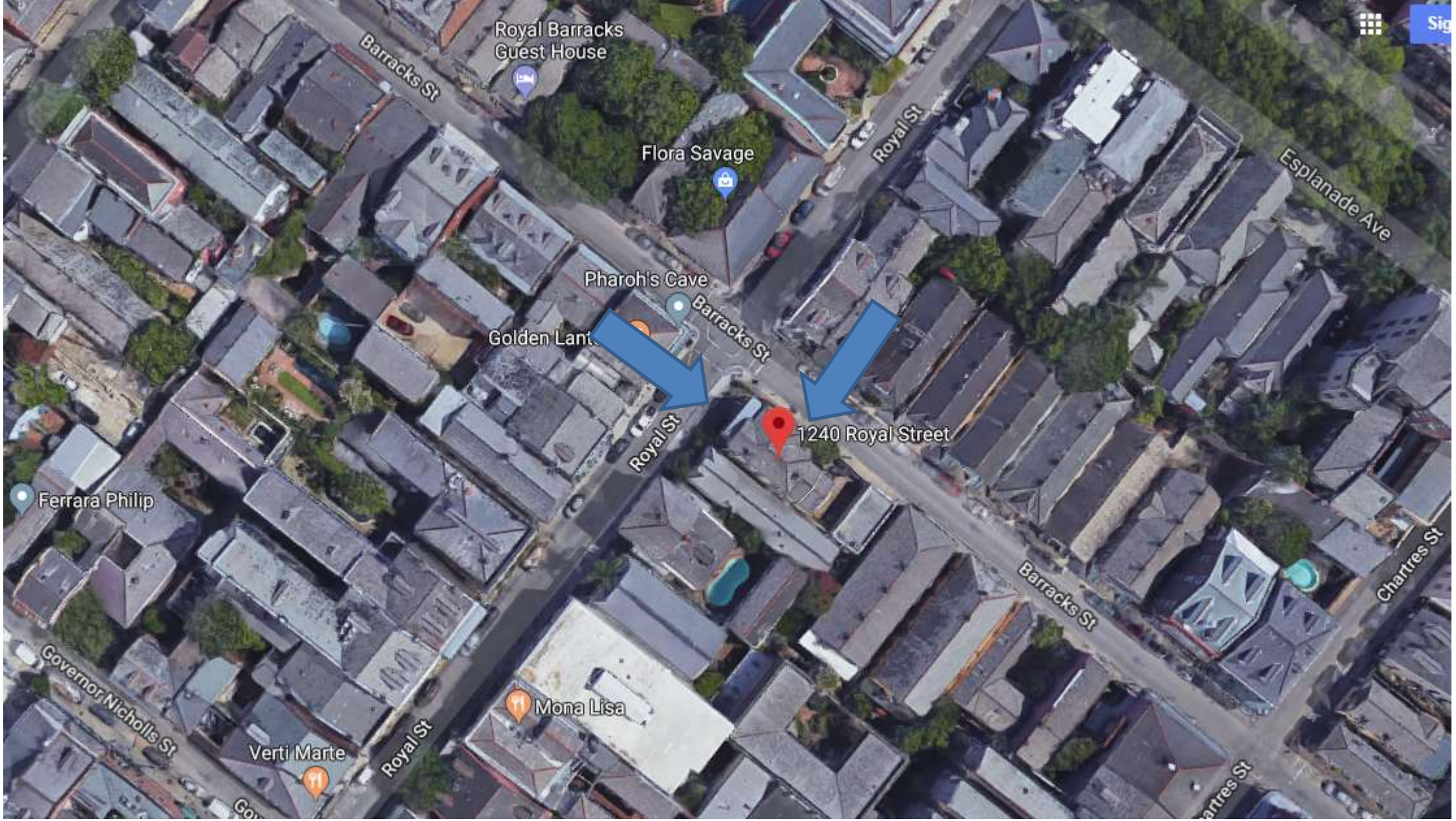
September 11, 2018

1240 Royal



1240 Royal

VCC Architectural Committee

September 11, 2018

1240 Royal

VCC Architectural Committee

September 11, 2018

1240 Royal

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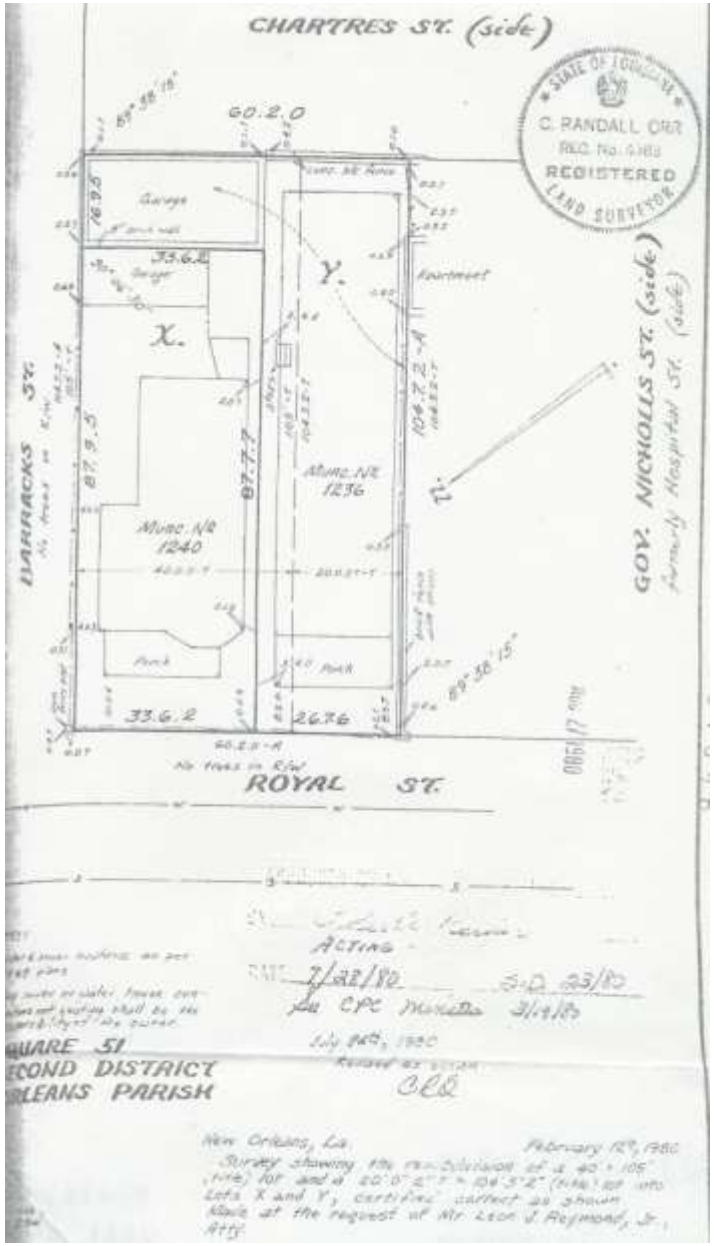
September 11, 2018

1240 Royal – 1986 – Prior to rear addition



1240 Royal

VCC Architectural Committee

September 11, 2018

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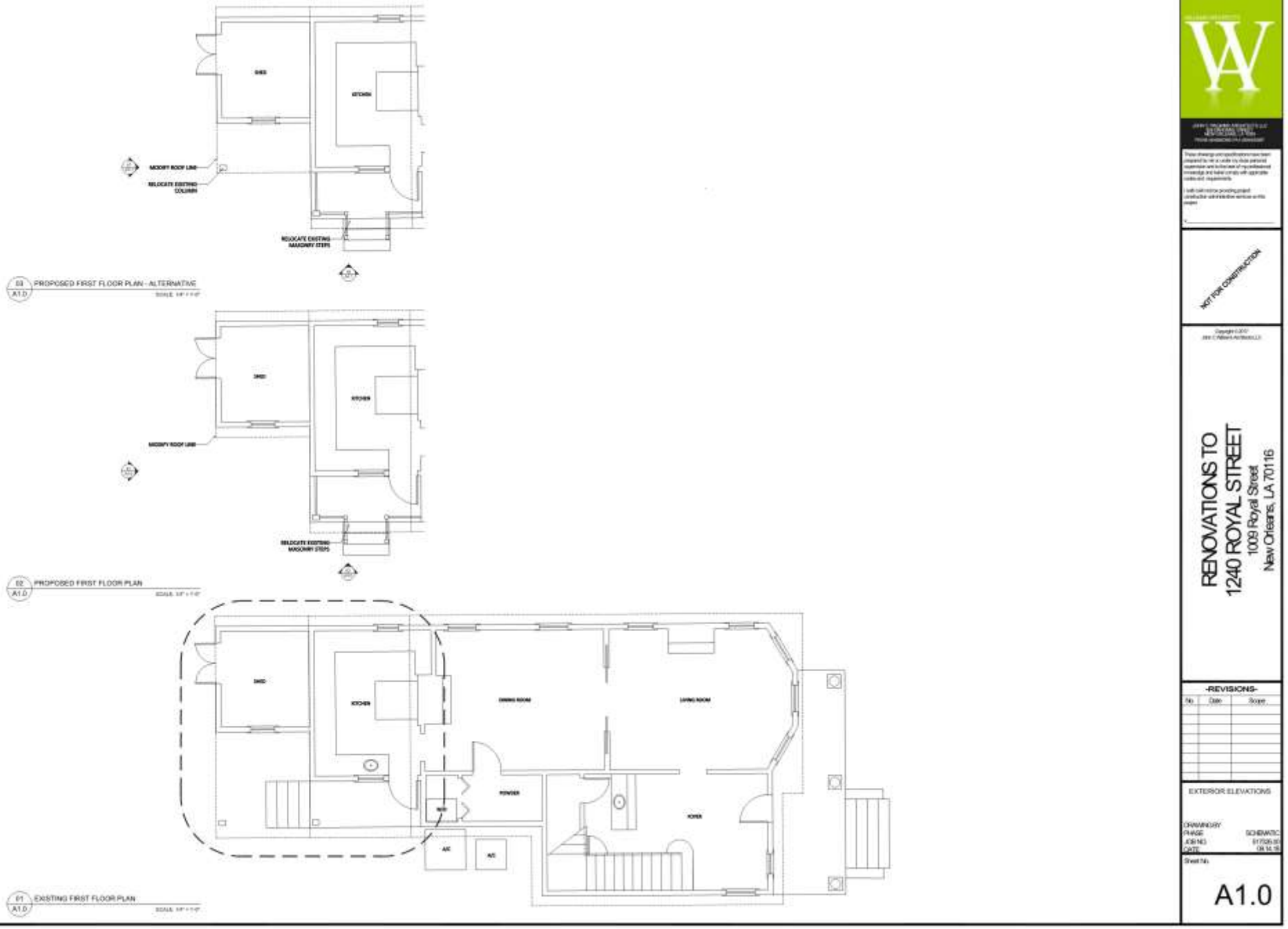

1240 Royal

VCC Architectural Committee

September 11, 2018

1240 Royal

VCC Architectural Committee

September 11, 2018

1240 Royal

VCC Architectural Committee

September 11, 2018

617-619 St Ann

617 St Ann

VCC Architectural Committee

September 11, 2018

617 St Ann

VCC Architectural Committee

September 11, 2018

617 St Ann

VCC Architectural Committee

September 11, 2018

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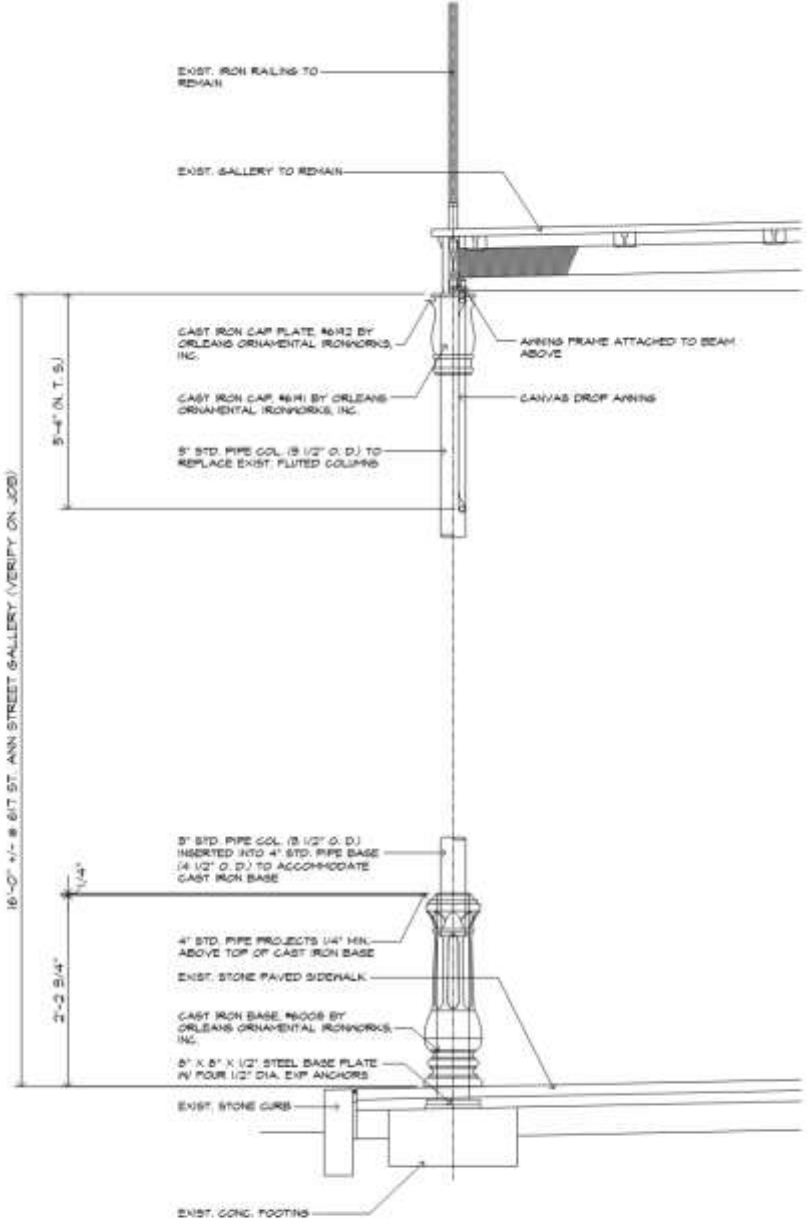


617 St Ann

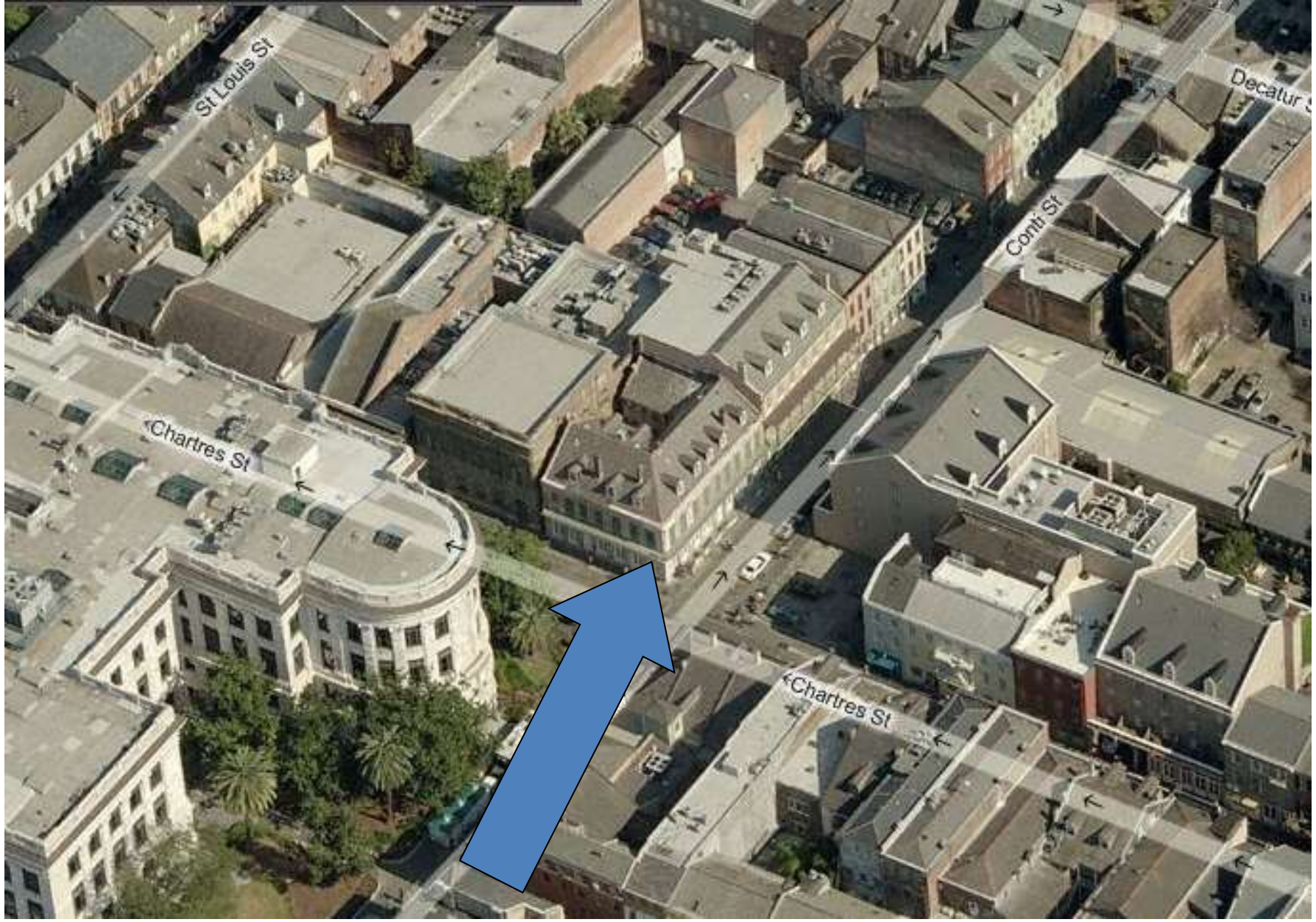
VCC Architectural Committee

617 ST. ANN

September 11, 2018

New Business

400 Chartres



400 Chartres

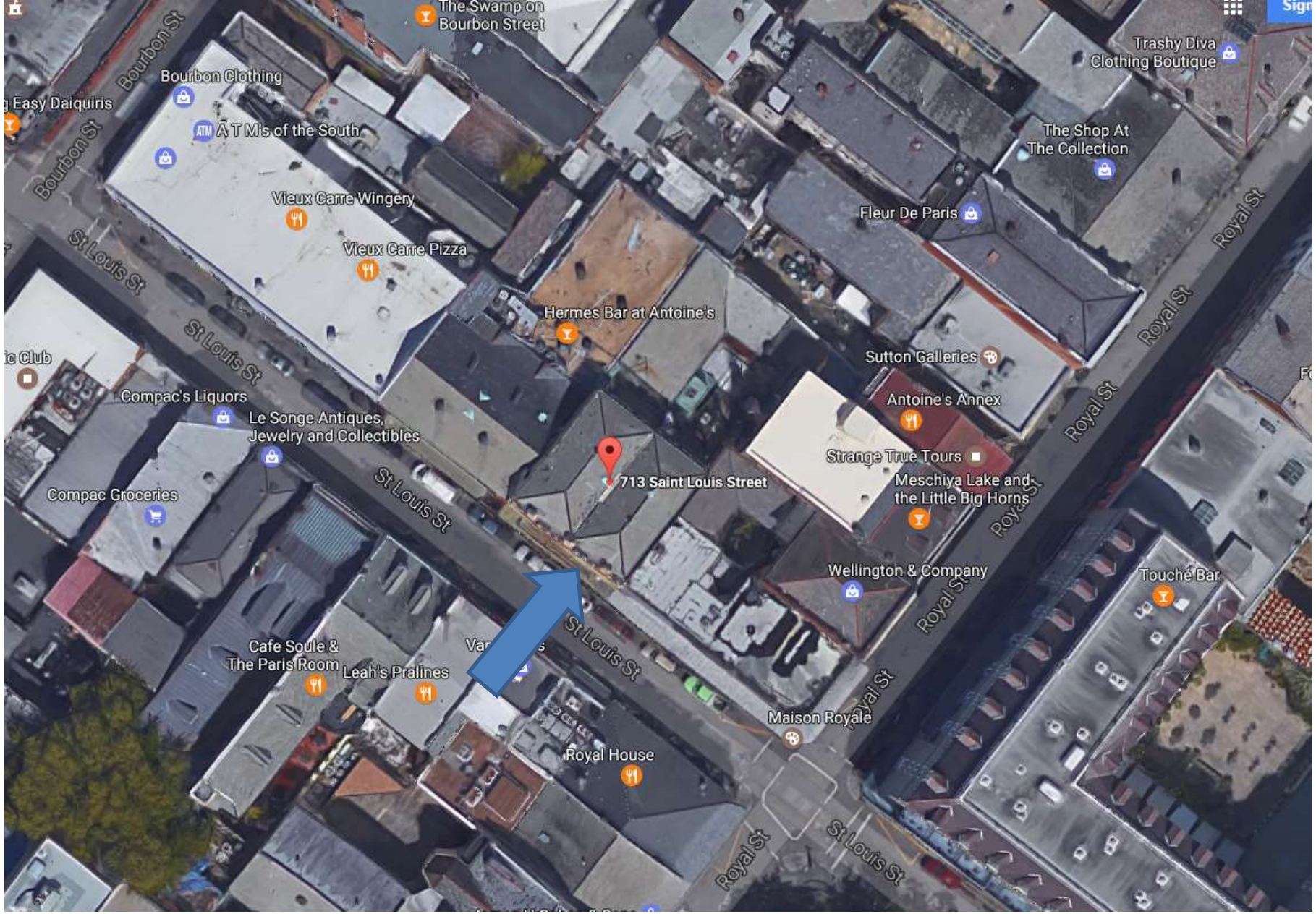
400 Chartres

400 Chartres

400 Chartres

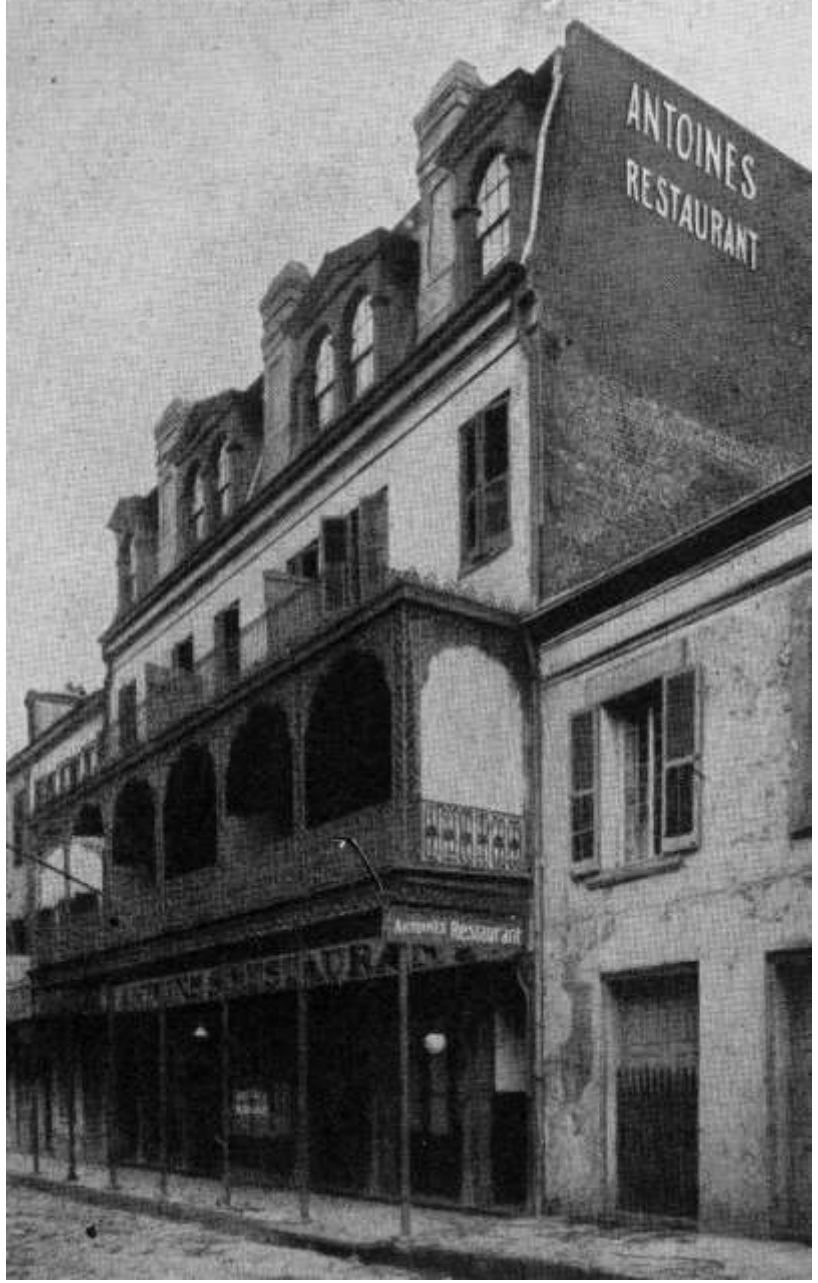
400 Chartres

713 St Louis


The Swamp on Bourbon Street
Bourbon St
Bourbon Clothing
Easy Daiquiris
A T M's of the South
Vieux Carre Wingery
Vieux Carre Pizza
St Louis St
Hermes Bar at Antoine's
Compac's Liquors
Le Songe Antiques, Jewelry and Collectibles
Compac Groceries
713 Saint Louis Street
Cafe Soule & The Paris Room
Leah's Pralines
Royal House
Maison Royale
Wellington & Company
Strange True Tours
Meschiya Lake and the Little Big Horns
Antoine's Annex
Sutton Galleries
Fleur De Paris
The Shop At The Collection
Trashy Diva Clothing Boutique
Royal St
Touché Bar

713 St Louis

713 St Louis



713 St Louis

713 St Louis

713 St Louis

713 St Louis

VCC Architectural Committee

January 24, 2017

713 St Louis

713 St Louis

713 St Louis

VCC Architectural Committee

January 24, 2017

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January 24, 2017

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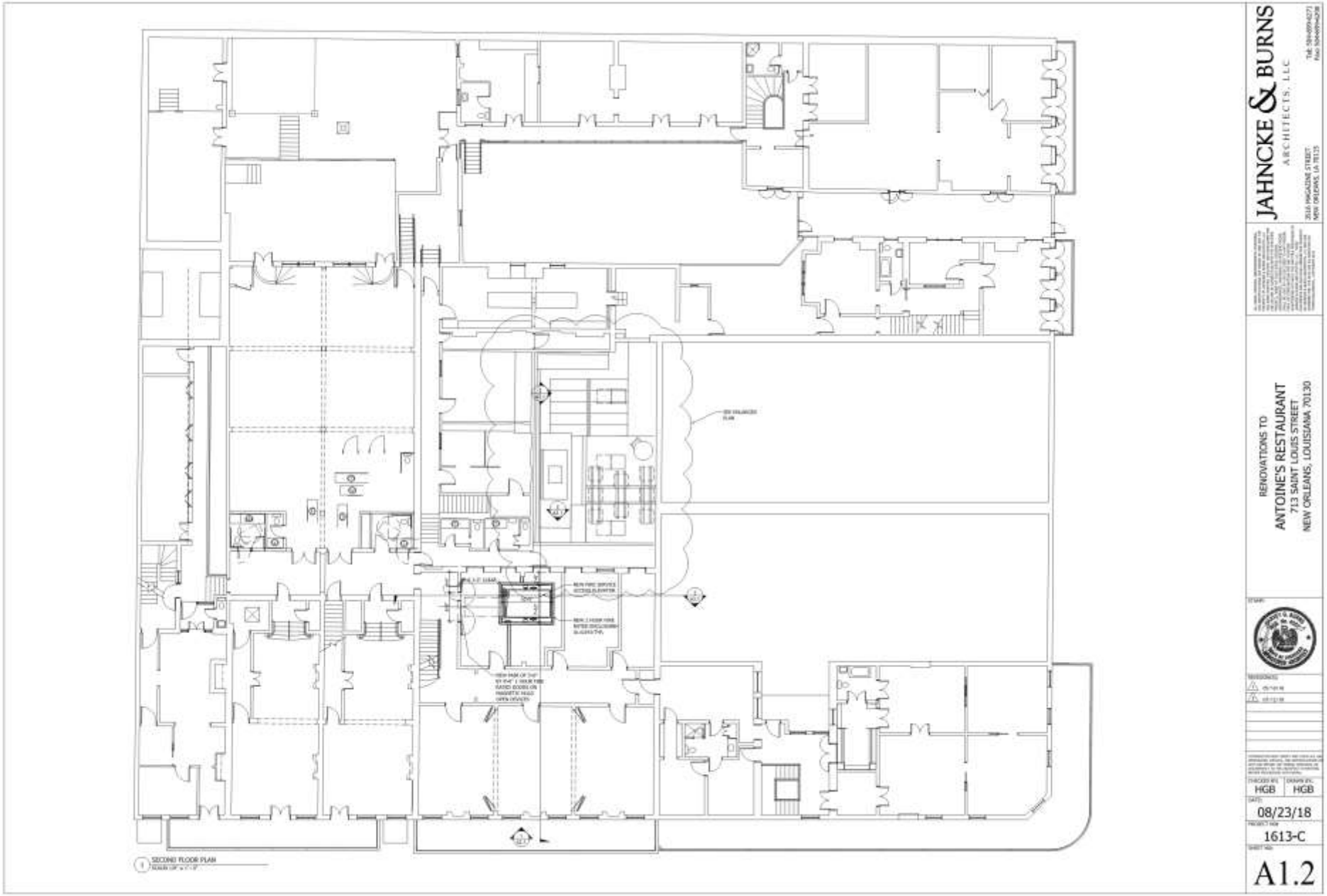
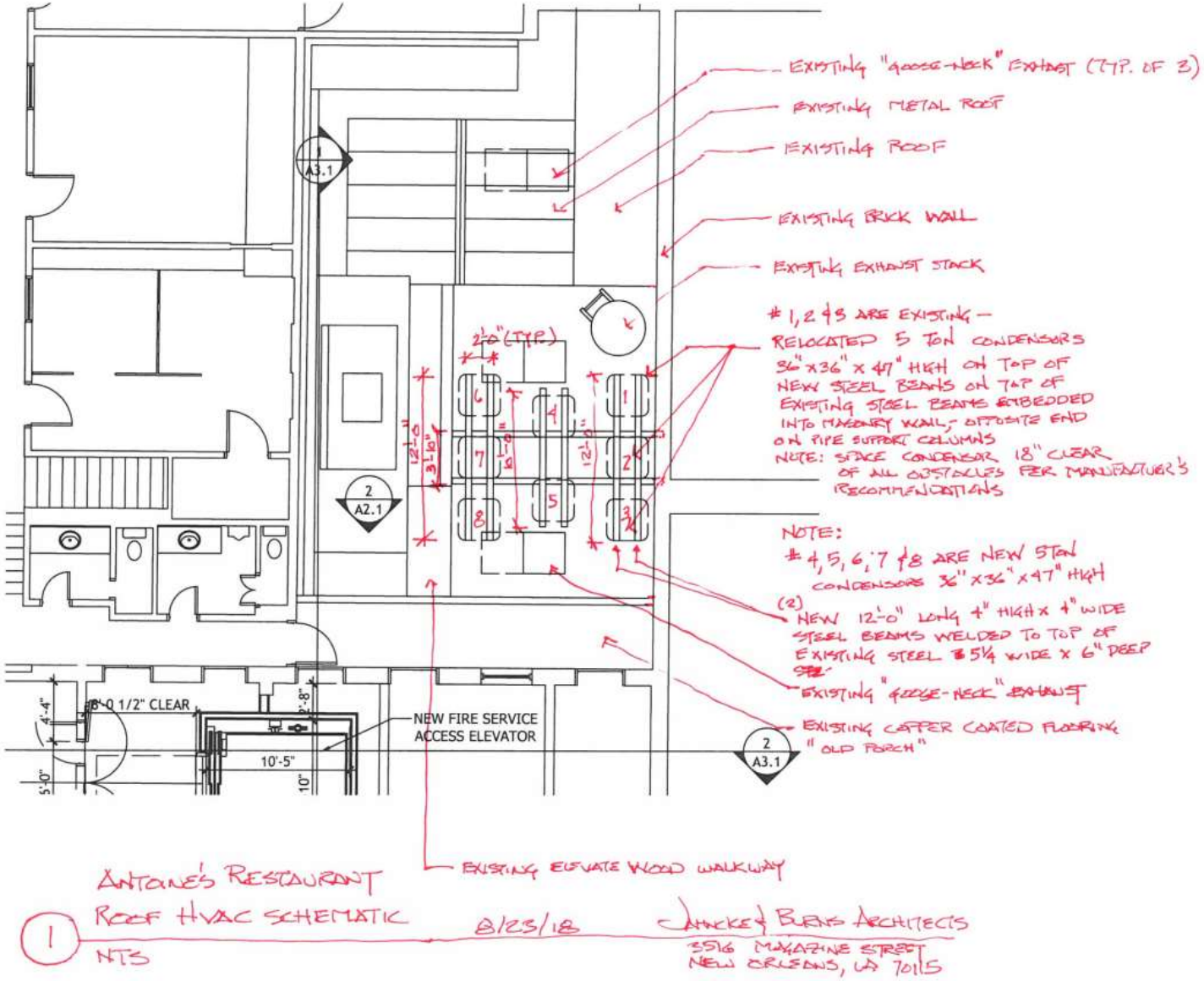
January 24, 2017



713 St Louis

VCC Architectural Committee

January 24, 2017



713 St Louis

VCC Architectural Committee

January 24, 2017

AIR CONDITIONERS

TS

T-CLASS™ SPLIT SYSTEM UNITS

Standard Efficiency - R-410A - 60 HZ

PRODUCT SPECIFICATIONS

Bulletin No. 210461
November 2017
Supersedes August 2017

SEER up to 14.50
3 to 5 Tons
Cooling Capacity - 32,800 to 92,000 Btuh

MODEL NUMBER IDENTIFICATION

T S A 036 S 4 N 4 1 Y

- **Brand/Family** — T = T-Class™ Product Line
- **Unit Type** — S = Split System Air Conditioner
- **Major Design Sequence** — A = 1st Generation; B = 2nd Generation
- **Nominal Cooling Capacity – Tons** — 036 = 3 Tons; 042 = 3.5 Tons; 048 = 4 Tons; 060 = 5 Tons
- **Cooling Efficiency** — S = Standard Efficiency
- **Voltage** — Y = 208/230V-3 phase-60hz; G = 460V-3 phase-60hz; J = 575V-3 phase-60hz
- **Minor Design Sequence** — 1 = 1st Revision; 2 = 2nd Revision; 3 = 3rd Revision
- **Coil Type** — 4 = Four-Sided
- **Part Load Capability** — N = No part load, Single Circuit
- **Refrigerant Type** — 4 = R-410A

SPECIFICATIONS

		Model No.	TSA036S4	TSA042S4	TSA048S4	TSA060S4
General Data		Nominal Tonnage	3	3.5	4	5
Connections (sweat)		Liquid line o.d. - in.	3/8	3/8	3/8	3/8
		Suction line o.d. - in.	7/8	7/8	7/8	1-1/8
[1] Refrigerant (R-410A) furnished			5 lbs. 9 oz.	6 lbs. 6 oz.	7 lbs. 8 oz.	10 lbs. 0 oz.
Outdoor Coil	Net face area sq. ft.	Outer coil	13.22	16.33	21.00	18.67
		Inner coil	- - -	- - -	- - -	17.96
		Tube diameter - in.	5/16	5/16	5/16	5/16
		Number of rows	1	1	1	2
		Fins per inch	26	26	26	22
Outdoor Fan		Diameter - in.	18	22	22	22
		Number of blades	4	4	4	4
		Motor hp	208/230V - 1/5 460/575V - 1/6	1/4	1/4	1/4
		Cfm	2400	3500	3670	3600
		Rpm	1090	825	825	830
		Watts	185	310	295	285
Shipping Data - lbs. 1 package			135	178	194	218

ELECTRICAL DATA

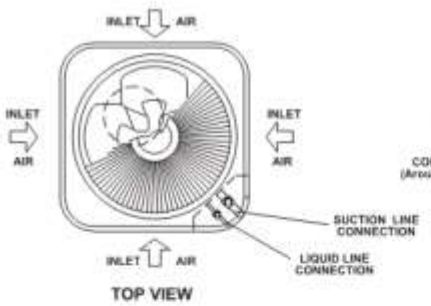
	Line voltage data - 60 hz - 3ph	208/230V	460V	575V	208/230V	460V	208/230V	460V	575V	208/230V	460V	575V
	[2] Maximum overcurrent protection (amps)	20	15	15	30	15	30	15	15	35	15	15
	[3] Minimum circuit ampacity	14.2	7.8	5.3	18.6	8.4	18.8	8.8	7.0	21.3	10.7	8.3
Compressor	Rated load amps	10.4	5.8	3.8	13.5	6	13.7	6.2	4.8	15.6	7.8	5.8
	Locked rotor amps	73	38	36.5	88	44	83.1	41	30.4	110	52	35.5
	Power factor	.85	.84	.83	.88	.83	.90	.92	.88	.90	.91	.90
Condenser Fan Motor	Full load amps	1.1	.55	.55	1.7	1.0	1.7	1.0	1.0	1.7	1.0	1.0
	Locked rotor amps	1.9	1.1	1.1	3.1	2.3	3.1	2.3	2.3	3.1	2.3	2.3

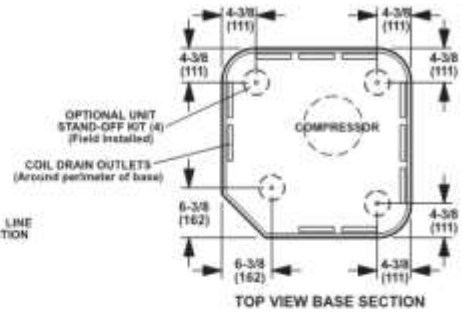
OPTIONAL ACCESSORIES - ORDER SEPARATELY

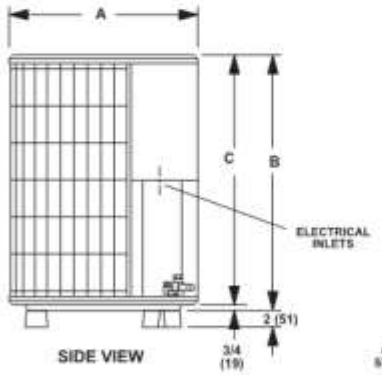
Compressor Low Ambient Cut-Off Switch		45F08	•	•	•	•
Compressor Sound Cover		69J03	•	•	•	•
Compressor Time-Off Control		47J27	•	•	•	•
Freezestat	3/8 in. tubing	93G35	•	•	•	•
	5/8 in. tubing	50A93	•	•	•	•
Hail Guards	24 x 24 x 28 in.	14X09	•			
	28 x 28 x 28 in.	14X16		•		
	28 x 28 x 36 in.	14X14			•	
	28 x 28 x 32 in.	14X19				•
Indoor Blower Off Delay Relay		58M81	•	•	•	•
Loss of Charge Switch		84M23	•	•	•	•
[4] Low Ambient Kit (Fan Cycling) (30°F)		34M72	•	•	•	•
[4] Low Ambient Control (0°F) 208/230V only	Speed Control	X5867	•	•	•	•
	Weatherproof Kit	56N41	•	•	•	•
Refrigerant Line Sets		L15-65-30, L15-65-40, L15-65-50	•	•	•	
		Field Fabricate				•
Unit Stand-Off Kit		94J45	•	•	•	•

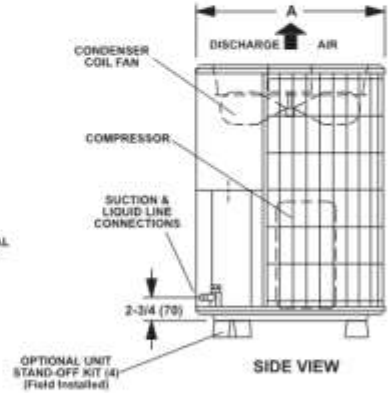
NOTE - Extremes of operating range are plus 10% and minus 5% of line voltage.
[1] Refrigerant charge sufficient for 15 ft. length of refrigerant lines.
[2] HACR type circuit breaker or fuse.
[3] Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements.
[4] Freezestat is recommended with Low Ambient Control.

DIMENSIONS - INCHES (MM)



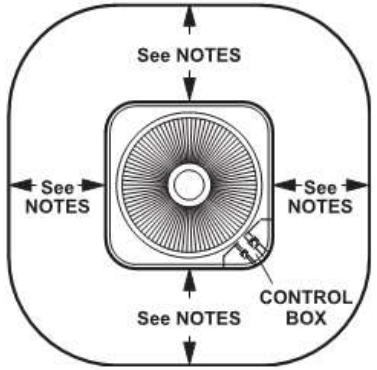






Model No.	A		B		C	
	inches	mm	inches	mm	inches	mm
TSA036S4	24-1/4	616	29-1/4	743	28-1/2	724
TSA042S4	28-1/4	718	29-1/4	743	28-1/2	724
TSA048S4	28-1/4	718	37-1/4	946	36-1/2	927
TSA060S4	28-1/4	718	33-1/4	845	32-1/2	826

INSTALLATION CLEARANCES - INCHES (MM)



NOTES:

Service clearance of 30 in. (762 mm) must be maintained on one of the sides adjacent to the control box.

Clearance to one of the other three sides must be 36 in. (914 mm)

Clearance to one of the remaining two sides may be 12 in. (305 mm) and the final side may be 6 in. (152 mm).

A clearance of 24 in. must be maintained between two units.

48 in. (1219 mm) clearance required on top of unit.

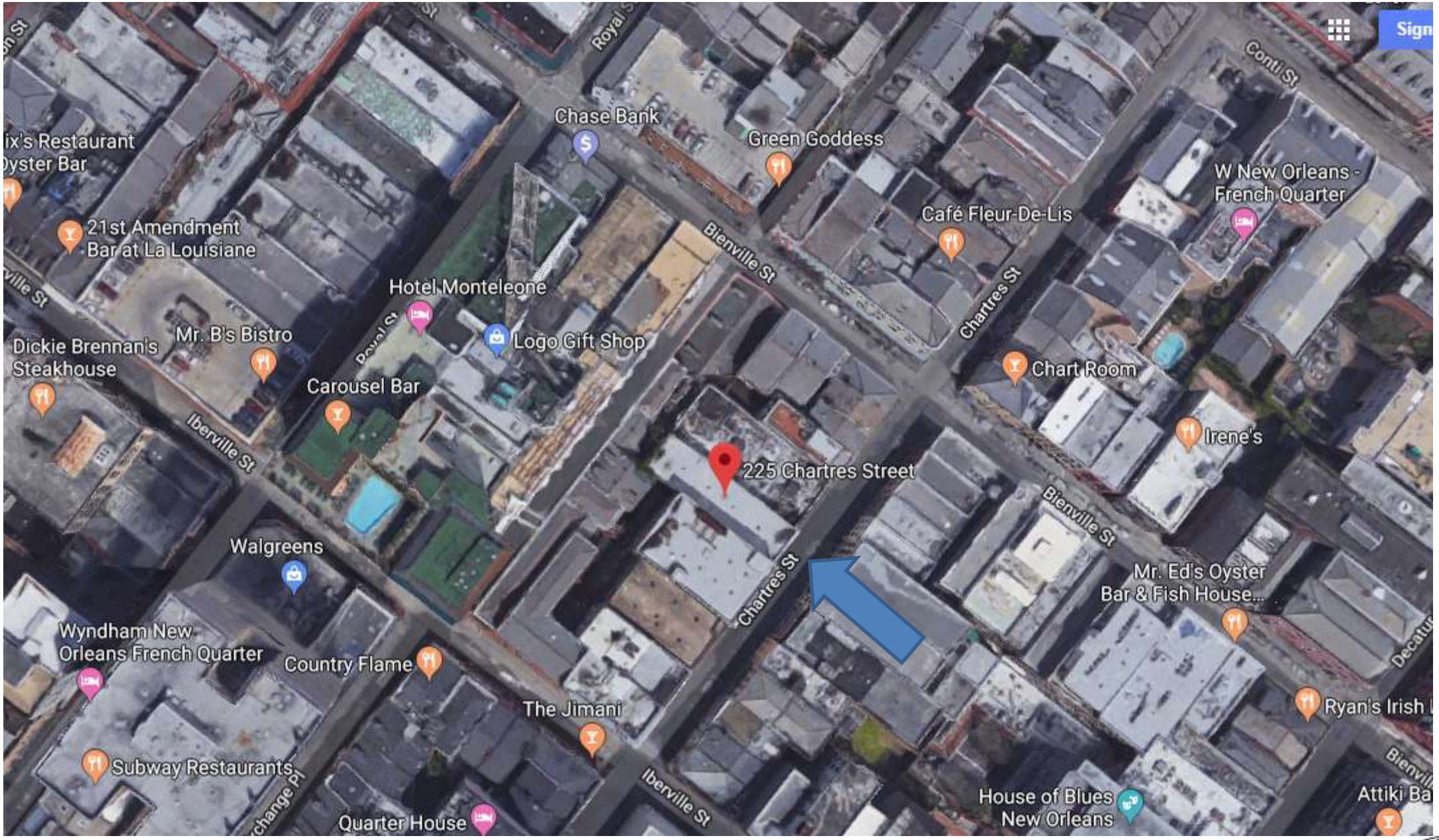
SOUND DATA

[1] Unit Model No.	Octave Band Linear Sound Power Levels dB, re 10^{-12} Watts Center Frequency - HZ							[1] Sound Rating Number (dB)
	125	250	500	1000	2000	4000	8000	
TSA036S4	70.5	67.5	69.5	72.5	69.5	63	59	76
TSA042S4	74	76.5	76.5	75.5	72	68	63.5	80
TSA048S4	73.5	76	76	76.5	72.5	69.5	64.5	80
TSA060S4	73.5	74.5	77	75	72	69	64.5	80

NOTE - the octave sound power data does not include tonal correction.

[1] Tested according to AHRI Standard 270-2008 test conditions.

225 Chartres



225 Chartres

VCC Architectural Committee

January 24, 2017

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GENERAL STRUCTURAL NOTES

I. GENERAL

A. The contractor shall be responsible for all final dimensions and fit-up of the structure, including verifying all existing conditions and dimensions before commencing work. No change in size or dimension of structural members shall be made without the written approval of the professional of record.
B. The contractor shall verify the location of all existing utilities before commencing any work. Any interference shall be brought to the attention of the structural engineer.
C. The contractor shall be responsible for the design, placement, maintenance, etc. of any and all shoring, bracing, tie backs, etc. needed to support any part of the new or existing construction during the entire construction process to ensure the safety and integrity of the structure until the necessary permanent elements are in place. The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
D. Structural drawings are intended to be used with architectural,mechanical, and electrical drawings. See these drawings for exact location of all depressions, slopes, openings, penetrations, etc. Penetrations not shown on the structural drawings shall be brought to the attention of the structural engineer.
E. Dimensions - Do not scale these drawings, use written dimensions only. Verify all dimensions at job site before commencing work and report any discrepancies. Where no dimensions are provided obtain clarification prior to proceeding with work.
F. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
G. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.
H. With the exception of defects discovered by us or pointed out to us by others to date, our design and the work shown here assumes that the existing structural elements are sound and capable of supporting loads to their full, theoretical, code-allowed capacities. EDR is not responsible for any additional costs, damages, or injuries resulting from discovery or failure of any element that is found to be damaged, deteriorated, or otherwise structurally impaired.
I. The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.
J. Note: If any items herein are not understandable or clear as to intent, the contractor must notify the Engineer of Record for clarification and/or supplemental information prior to actual installation.
K. DESIGN BASIS

A. Applicable Codes and Standards
International Residential Code 2012; ASCE 7-2010

B. Design Loads

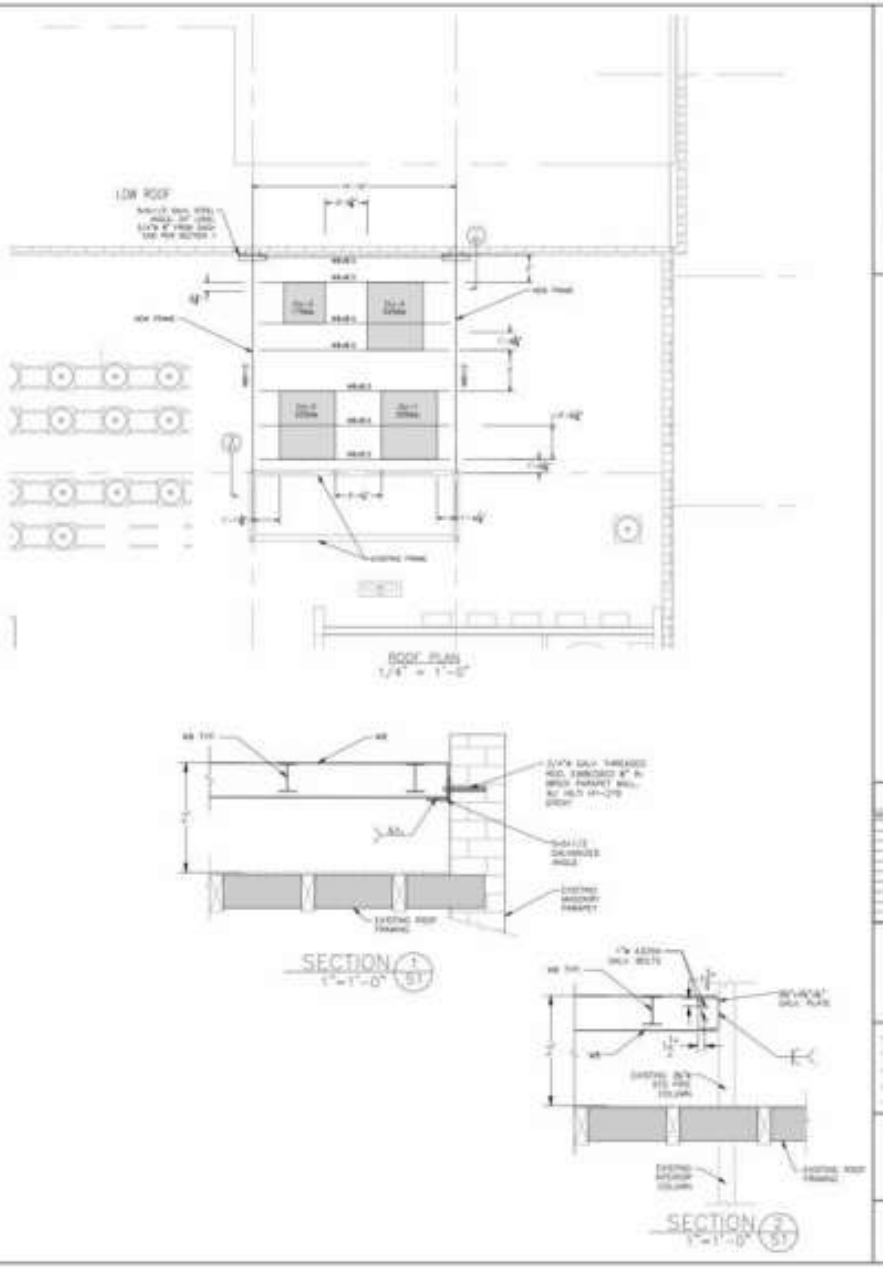
Roof			
Live Load	20 psf;	Dead Load	10 psf
Decks			
Live Load	40 psf;	Dead Load	10 psf
Living Floors			
Live Load	40 psf		

Wind Load
The criteria is based on ASCE 7-2010 Minimum Design Loads for Buildings and Other Structures:
Basic Wind Velocity 145 mph
Risk Category II
Exposure B
For Main Wind Force Resisting System - Enclosed Building, Method 1, Simplified Procedure
For Components and Cladding - Partially Enclosed Building, Method 2, Analytical Procedure

II. MATERIALS

A. LIGHT GAUGE METAL FRAMING ACCESSORIES
Joist and beam hangers, hurricane clips, and other ties, anchors, or connectors shall be as manufactured by Simpson Strong-Tie Co., Inc. and shall be attached with nails of the size and type recommended by the manufacturer. Roofing nails may not be used. All hangers, clips, connectors, anchors, ties, etc. shall be galvanized or stainless steel. All such units that will be exposed to weather, in contact with earth or water, or below the first floor level shall be stainless or meet G-185 rating.
B.

B. STRUCTURAL STEEL
1. Fabrication and erection of structural steel shall conform to "The Manual of Steel Construction", Fourteenth Edition, American Institute of Steel Construction (AISC) including Specifications for Structural Steel Buildings, Specification for Structural Joints Using ASTM A325 or A490 Bolts, and AISC Code of Standard Practice.
2. All welding shall be performed by certified welders and shall conform to "Structural Welding Code AWS/D1.1-92", American Welding Society (AWS).
3. Wide Flange and S shapes ASTM A992 or A572, Grade 50
4. Structural C and L shapes & plates ASTM A36
5. Steel pipe ASTM A53, Grade B (35 ksi yield)
6. Steel tubing (square or rect.) ASTM A500, Grade B (46 ksi yield)
7. Steel tubing (round) ASTM A500
8. Galvanized structural steel:
A. Structural shapes and rods ASTM A123
B. Bolts, fasteners and hardware ASTM A153
9. Anchor rods shall conform to ASTM F1554, unless noted otherwise.
10. Anchor bolts shall be headed with a nut and washer at the lower end.
11. Steel members shown on plan shall be equally spaced unless noted otherwise.
12. All connections shall be "Framed Beam Connections" designed in accordance with the AISC Manual and the ends reactions from the "Uniform Load Table", but not less than 6 kips. Provide double angle connections or knife plates connections full depth of supporting beam, unless otherwise approved. Minimum two (2) bolts per connection. Unless otherwise noted, composite beams to be designed for 80 percent of the "total" uniform load capacity. Single angle connections are not acceptable. All beam to column connections shall be designed for the minimum shear reaction indicated above in combination with a 10 kip axial force (acting in both tension and compression).
13. The Fabricator shall be responsible for the design and adequacy of all connections that are not designed or fully detailed on the Contract Documents. Shop Drawings, depicting the configuration and fabrication details, along with calculations sealed by a Registered Professional Engineer licensed to practice in the state in which the project is located, shall be submitted to the structural Engineer of Record for review.
14. All bolted connections shall be with ASTM A325 high strength bolts, 3/4" minimum diameter, unless noted otherwise.
15. Field not bolted connections and shear studs in accordance with AISC.
16. Where possible, all bolt holes in structural steel shall be drilled or punched in the shop. Any holes required to be made a the project site shall be mechanically drilled or punched. No burning of holes shll be allowed.
17. All connections shall be symmetrical about the axis of the member connected. Provide only one grade of bolt for each bolt diameter to be used in the connections. Do not mix grades of bolts.
18. Unless noted otherwise, all cap and base plates shall be welded to the columns continuously all around with a 1/4" fillet weld.
19. Welding electrodes shall be E7018X for manual arc welding and F7X-EXXX for submerged arc welding. All welders shall be certified by the AWS. Minimum weld size shall be 3/16" unless noted otherwise.
20. Existing framing requiring welding shall be thoroughly cleaned to ensure proper welding. Provide temporary shoring when welding to existing steel.
21. Use low hydrogen electrodes when welding to existing steel.
22. Field welded surfaces within 4 inches of weld shall be cleaned and ground smooth. After welding coat the exposed area with appropriate primer/paints as specified.
23. Visually inspect all fillet welds. 10 percent of all field fillet welds in primary connections and multipass welds shall be tested by the magnetic particle method, complying with ASTM E709, performed on the root pass and on the finished weld.
24. 100 percent of full penetration welds shall have ultrasonic inspection, complying with ASTM E164.
25. 100 percent of welds in beam and column moment connections shall have ultrasonic inspection, complying with ASTM E164.
26. Unless noted otherwise, every weld shall develope the full strength of the lesser of the members it joints. All butt, groove, or bevel welds shall be complete, full penetration.
27. Erector shall provide a Certified Welding Inspector and Quality Control Expert (AWS Certified).
28. Submit shop drawings for fabrication and erection of structural steel. Clearly indicate coordinated dimensions of mechanical unit and roof penetration sizes. Shop and Erection drawings must show all shop/floor and field welds. Initial shop drawing submittal shall include proposed connection details and job standards. Provide signed and sealed calculations for all non-standard connection details showing design capacities.
29. Splices in structural steel not shown on the structural drawings will not be accepted without specific approval of the structural Engineer.
30. The General Contractor and Steel Erector shall notify the Structural Engineer of any fabrication or erection errors or deviations and receive written approval before any field corrections are made.
31. Alternate connection details may be used if such details are submitted to the engineer for review and approval. However, the engineer shall be the sole judge of acceptance and the Contractor's bid shall anticipate the use of these details shown on the drawings. The Contractor is responsible for the design of such alternate details which he proposes.
32. Main support members for the metal deck are shown. During preparation, submission, and review of shop drawings, any additional angles or miscellaneous attachment details required to support the metal deck at the required elevation shall be provided by the Structural Steel Contractor.
33. All steel shall be painted with shop standard primer unless noted otherwise.
34. Steel angles and plates along with bolts and washers, in direct contact with exterior finish masonry, and all exterior exposed structural steel, shall be hot-dipped galvanized per ASTM A123 and A153.
35. Spandrels and columns adjacent to masonry shall have adjustable masonry ties.
36. Use low hydrogen electrodes when welding to existing steel.
37. The steel structure is a non self-supporting steel frame and is dependent upon diaphragm action of the metal roof deck and attachment to the masonry walls for stability and for resistance to wind and seismic forces. Provide all temporary supports required for stability and for resistance to wind and seismic forces until these elements are complete and are capable of providing this support.
38. All dissimilar metals shall be treated or properly separated to prevent galvanic and/or corrosive effects.
39. All handrails shall be designed per IBC Chapter 16 including a 200 lb concentrated point load and, in public spaces, a 50 pound per linear foot live load. See Chapter 16 for all design requirements for handrails. Stamped calculations by an Engineer licensed in the State where the project is located shall be provided by the Fabricator.
40. All vehicle barriers shall be design per IBC Chapter 16 including a 6000 lb concentrated point load. See Chapter 16 for all design requirements for vehicle barriers. Stamped calculations by an Engineer licensed in the State where the project is located shall be provided by the Fabricator.



BATTURE
engineers • land surveyors

ROOF TOP EQUIPMENT
221 CHARTRES STREET
NEW ORLEANS, LA

REVISIONS

GENERAL NOTES AND DETAILS

S1

225 Chartres

VCC Architectural Committee

January 24, 2017

Vieux Carré Commission Review

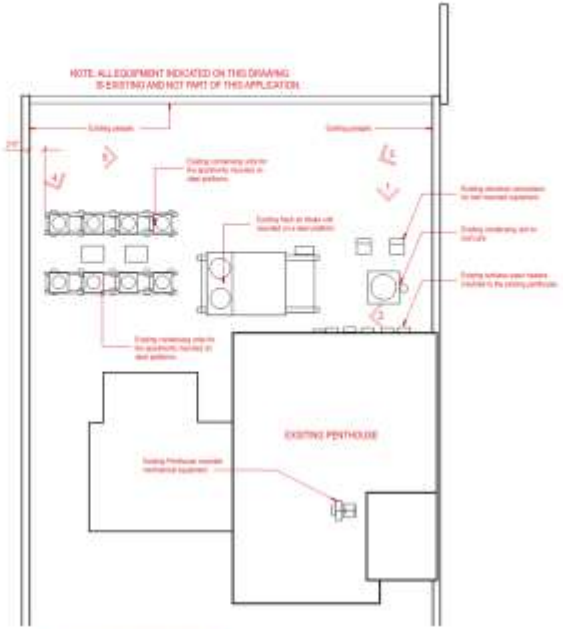
Additional Roof Equipment

217-225 Chartres Street

New Orleans, Louisiana

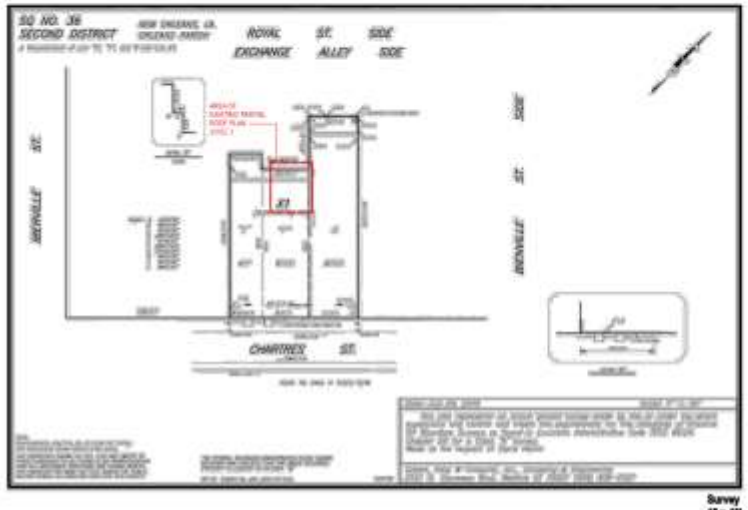
Building Permit Number: 17-30377-RNV5

Previous VCC Permit Number: 14-36868-VCGEN

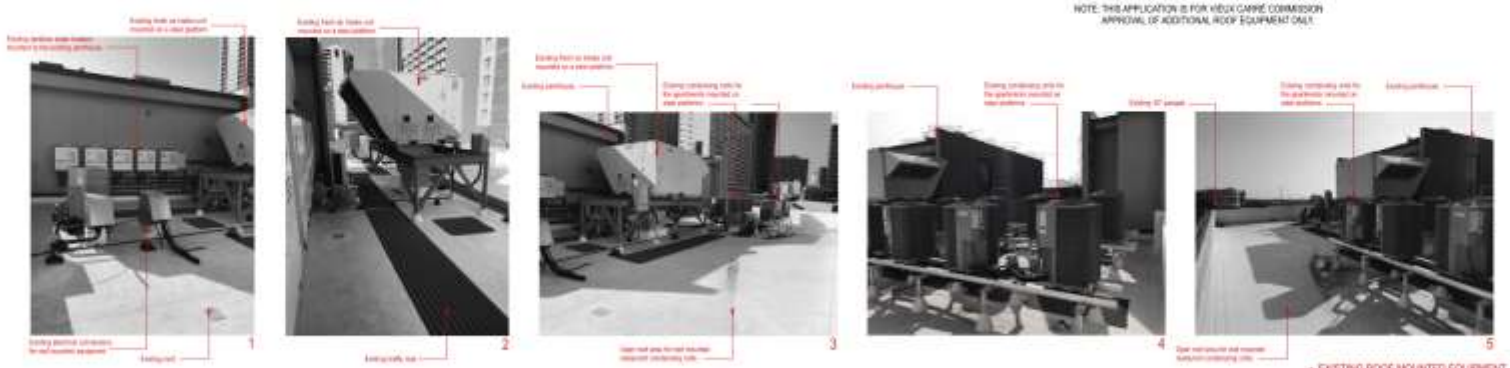


2 EXISTING PARTIAL ROOF PLAN

NOTE: ALL EQUIPMENT INDICATED ON THIS DRAWING IS EXISTING AND NOT PART OF THIS APPLICATION



NOTE: THIS APPLICATION IS FOR VIEUX CARRÉ COMMISSION APPROVAL OF ADDITIONAL ROOF EQUIPMENT ONLY.



1 EXISTING ROOF MOUNTED EQUIPMENT

Graham/Little/Studio

Project Directory

Owner

Tenant

Architect

Building Data

Property Information

Bounding Streets

Existing Zoning

Site Area

Building Footprint Area

Number of Stories

Construction Type

Total Area Retail A

These plans and specifications were prepared by or under my direct personal supervision. They comply with all State, Parish and City requirements to the best of my knowledge.

I will generally administer the work.

24 August 2016

Roof Equipment

217-225 Chartres St.

New Orleans, Louisiana

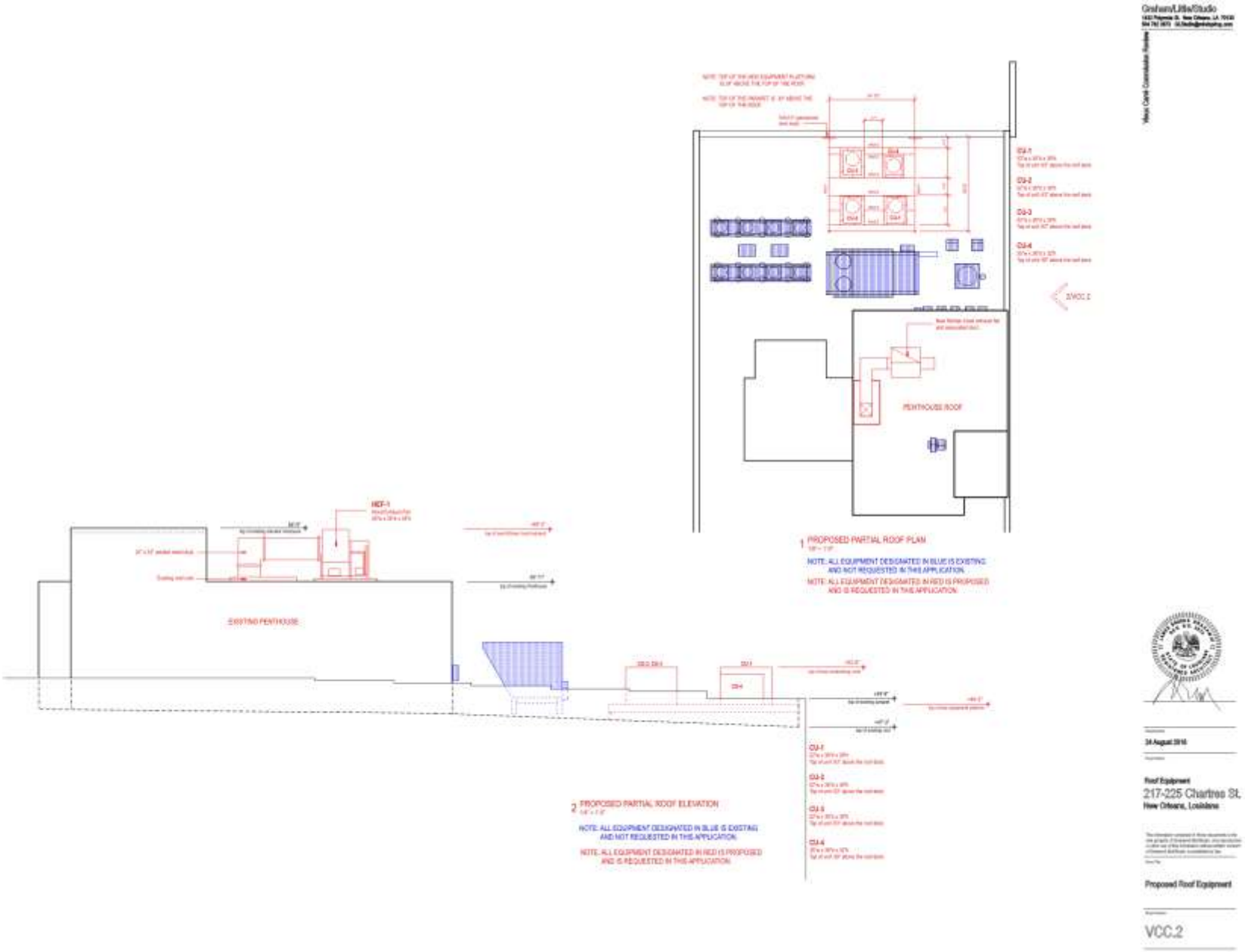
Existing Roof Equipment

VCC.1

225 Chartres

VCC Architectural Committee

January 24, 2017



225 Chartres

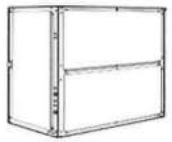
VCC Architectural Committee

January 24, 2017

Unit Report For CU-1,2, 3

Project: 221 Charters
Prepared By: Ricky Perret

02/09/2018
12:34PM



Outdoor Unit Parameters

- Unit Quantity: 1
- Unit Model: 38AUD
- Unit Size: 10 Tons
- Voltage: 208-3-60 V-Ph-Hz
- Condenser Coil: Al/Cu
- No. of DX Circuits: 2

System Parameter

- System Quantity: 2
- Refrigerant Type: PURON
- Compressor Quantity: 2
- Compressor Type: Scroll
- Std. Capacity Steps: 50, 100
- Std. Min. Outdoor Temp(Cooling): 35.0 °F
- No. of Outdoor fans: 2

Outdoor Unit Dimensions and Weight

- Unit Length: 4' 11.4"
- Unit Width: 3' 9.9"
- Unit Height: 4' 2.4"
- Unit Shipping Weight: 516 lb
- Unit Operating Weight: 516 lb

Indoor Unit Parameters

- Unit Model: 40RUA
- Unit Size: 10 Tons
- No. of Splits: 2
- Voltage: 208-3-60 V-Ph-Hz

M-K ENGINEERING, INC.
CONSULTING ENGINEERS

___ CONFIRMS WITH CONCEPT
___ REJECTED
___ SUBMIT SPECIFIED ITEM
✓ CONFORMS AS NOTED
___ REVISE AND RESUBMIT

Checking is only for general conformance with the design concept of the project and general compliance with the information given in the contract documents. Any action shown is subject to the requirements of the plans and specifications. Contractor is responsible for: dimensions, which shall be confirmed and correlated at the job site; fabrication processes and techniques of construction; coordination of his work within that of all other trades; and the satisfactory performance of his work.

REVIEWED BY Mazen Kharrouf DATE 5-11-18

Indoor Unit Dimensions and Weight

- Unit Length: 4' 1.0"
- Unit Width: 2' 4.2"
- Unit Height: 4' 8.1"
- Unit Shipping Weight: 425 lb
- Unit Operating Weight: 425 lb
- Add Service Clearance for Accy Heater 2' 6.0"

Warranty Information (Note: for US & Canada only)

DUAL CIRCUITS SYSTEMS.

NOTE: Please see Warranty Catalog 808-218 for explanation of policies and ordering methods.

Ordering Information

Part Number	Description	Quantity
Base Unit - Outdoor		
38AUDA12A0A5-0A0A0		2
	Base Unit	
	Al/Cu Condensing Coil	2
	Standard Refrigerant Options	2
	Service Options - None	2
	Electrical Options - None	2
	Packaging Options - Standard	2
	Standard Electrical Mechanical Controls	2
	Refrig Circ/Compressor Staging - Two Circuits/ Dual Stage	2
Accessories		
CALVHLGD011A00	Louvered Condenser Coil Hail Guard for Outdoor Unit	2
33CS2PP2S-03	Thermostat for Outdoor Unit	2
Base Unit - Indoor		

Commercial Split Systems Builder 1.39i Page 1 of 34

Acoustics

Sound Power Levels, db re 10E-12 Watts

	Outdoor Unit (dB)	Indoor Unit (dB,Ducted)
A-Weighted Total Level	84.2	91.7
63Hz	86.3	98.6
125Hz	85.8	94.6
250Hz	81.4	90.6
500Hz	81.9	89.6
1000Hz	79.5	85.6

Commercial Split Systems Builder 1.39i

Performance Summary For CU-1,2 ,3

Project: 221 Charters
Prepared By: Ricky Perret

02/09/2018
12:34PM

2000Hz	75.1	83.6
4000Hz	71.9	79.6
8000Hz	68.9	NA
Sound Message	Sound for AUD012	Sound for RUA012

Acoustic Notes:

1. The acoustic center of the unit is located at the geometric center of the unit.
2. All estimated sound power levels, dB re 1 Pico watt should not be guaranteed or certified as being the actual sound power levels.

EXHAUST FAN INFORMATION – Job#3396885

FAN UNIT NO.	TAG	FAN UNIT MODEL #	CFM	ESP.	RPM	H.P.	B.H.P.	ø	VOLT	FLA	DISCHARGE VELOCITY	WEIGHT (LBS.)	SONES
1	HEF-1	USBI30DD-RM	6600	3.000	936	7.500	5.0580	3	208	22.3	1267 FPM	957	29

MUA FAN INFORMATION – Job#3396885

FAN UNIT NO.	TAG	FAN UNIT MODEL #	BLOWER	HOUSING	MIN CFM	DESIGN CFM	ESP.	RPM	H.P.	B.H.P.	ø	VOLT	FLA	WEIGHT (LBS.)	SONES
2	HSF-1	INLINE3-G18	G18-PB	INLINE.3	-	5280	0.750	642	2.000	1.7400	3	208	5.9	407	8.8

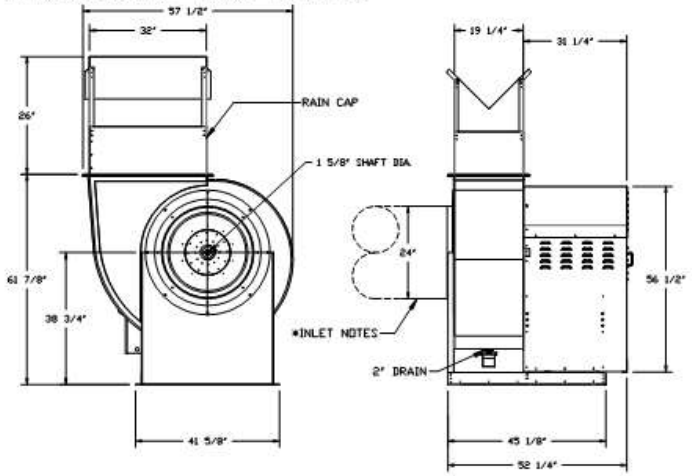
FAN OPTIONS

FAN UNIT NO.	TAG	OPTION (Qty. – Descr.)
1	HEF-1	1 – BI – Discharge Orientation Vertical Upper Left – CW Inlet Side.
		1 – BI30 – Inlet Connection Standard 24" Flanged Grease Duct.
		1 – Utility Set Grease Cup
		1 – BI30 – Rain Cap Assembly.
2	HSF-1	1 – INLINE3 Indoor Hanging Option – Includes 2 HSA200 Hanging Spring Isolators per Uni-Strut

FAN ACCESSORIES

FAN UNIT NO.	TAG	EXHAUST			SUPPLY			
		GREASE CUP	GRAVITY DAMPER	WALL MOUNT	SIDE DISCHARGE	GRAVITY DAMPER	MOTORIZED DAMPER	WALL MOUNT
1	HEF-1	YES						
2	HSF-1				YES			

FAN #1 USBI30DD-RM – EXHAUST FAN (HEF-1)



FEATURES:

- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL705
- UL762 AND ULC-S645
- HIGH HEAT OPERATION DIRECT DRIVE 350°F (176°C)
- HIGH HEAT OPERATION BELT DRIVE 350°F (176°C)
- HEAT SLINGER
- WEATHERPROOF DISCONNECT
- GREASE CLASSIFICATION TESTING
- 2" DRAIN
- MOTOR WEATHER COVER
- FULLY SEALED SCROLL HOUSING
- SCROLL ACCESS DOOR
- FLANGE 1 1/4" – 11 THRU 20.
- FLANGE 2" – 24 THRU 36.

OPTIONS

BI – DISCHARGE ORIENTATION VERTICAL UPPER LEFT – CW INLET SIDE.
BI30 – INLET CONNECTION STANDARD 24" FLANGED GREASE DUCT.
UTILITY SET GREASE CUP
BI30 – RAIN CAP ASSEMBLY.

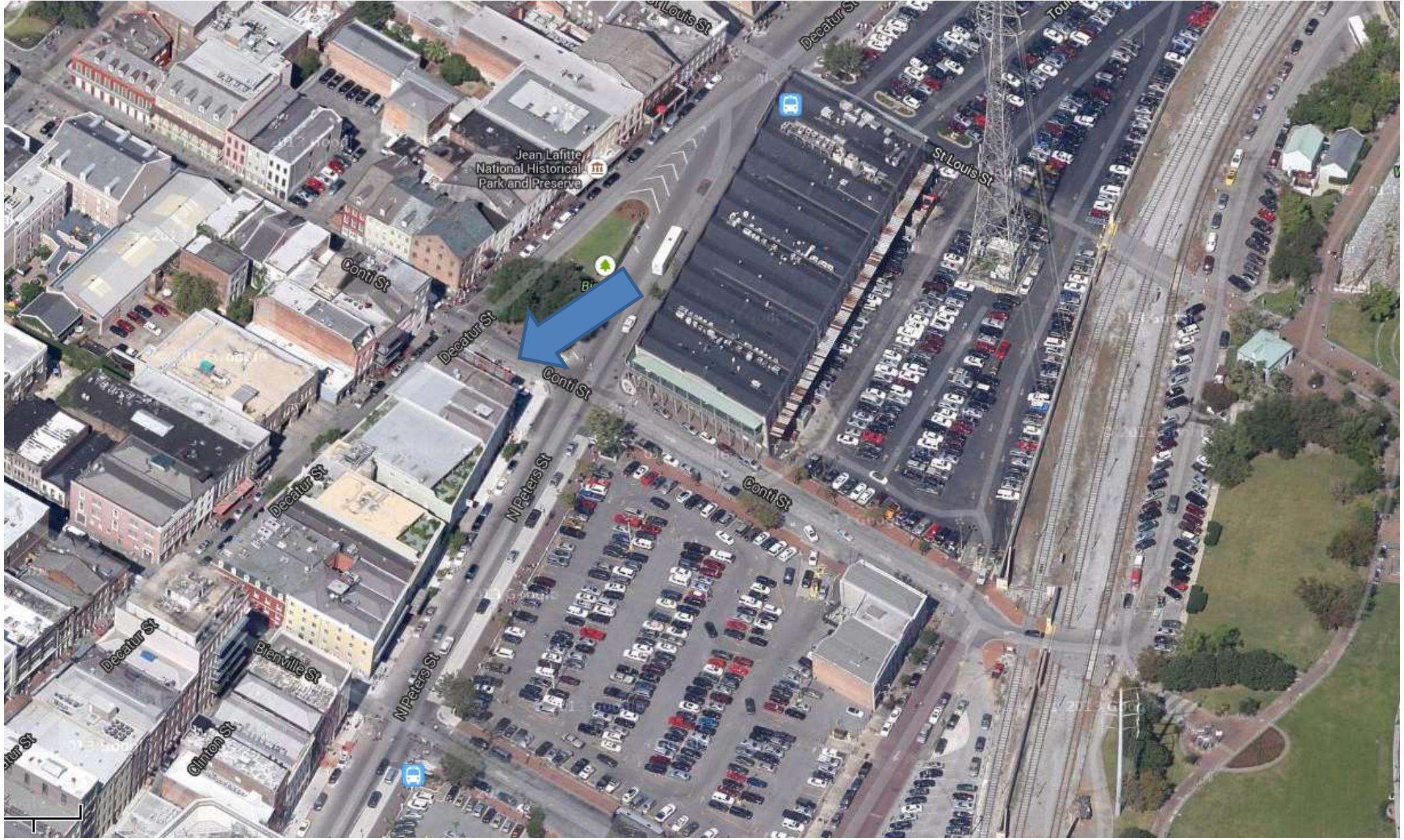
NORMAL TEMPERATURE TEST DIRECT DRIVE
EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 350°F (176°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

* INLET NOTES:
LENGTH OF THE STRAIGHT DUCT ON THE INLET TO BE 3 TIMES THE EQUIVALENT DUCT DIAMETER BEFORE CONNECTING TO ANY FITTINGS SUCH AS ELBOWS TO AVOID SYSTEM EFFECT.

CAPTIVEAIRE

JOB Brasserie	
LOCATION NEW ORLEANS, LA, 70114	
DATE 5/24/2018	JOB # 3396885
DWG # 5	DRAWN BY
REV.	SCALE 3/8" = 1'-0"

336 Decatur



336-40 Decatur /400 Conti / 341 N. Peters Street

VCC Architectural Committee

September 11, 2018

336-40 Decatur /400 Conti / 341 N. Peters Street

VCC Architectural Committee

September 11, 2018

336-40 Decatur /400 Conti / 341 N. Peters Street

VCC Architectural Committee

September 11, 2018

336-40 Decatur /400 Conti / 341 N. Peters Street

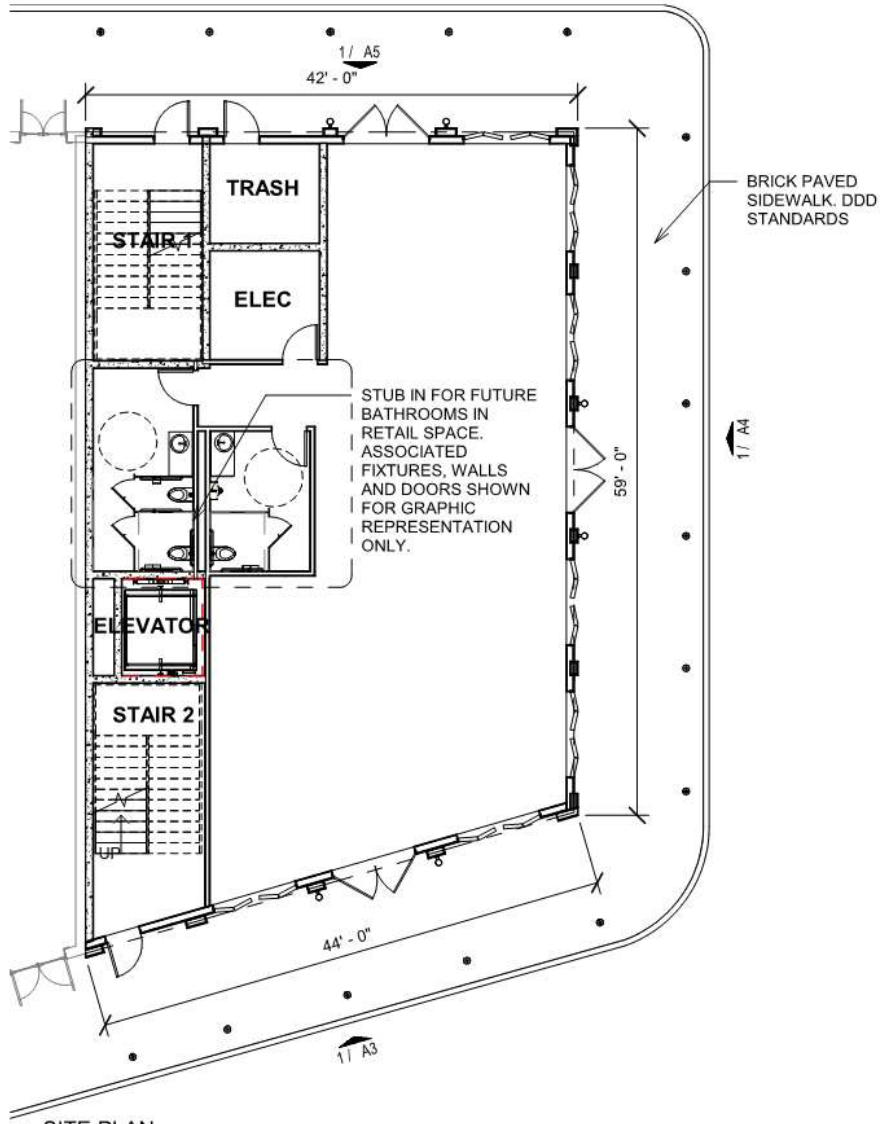
VCC Architectural Committee

September 11, 2018

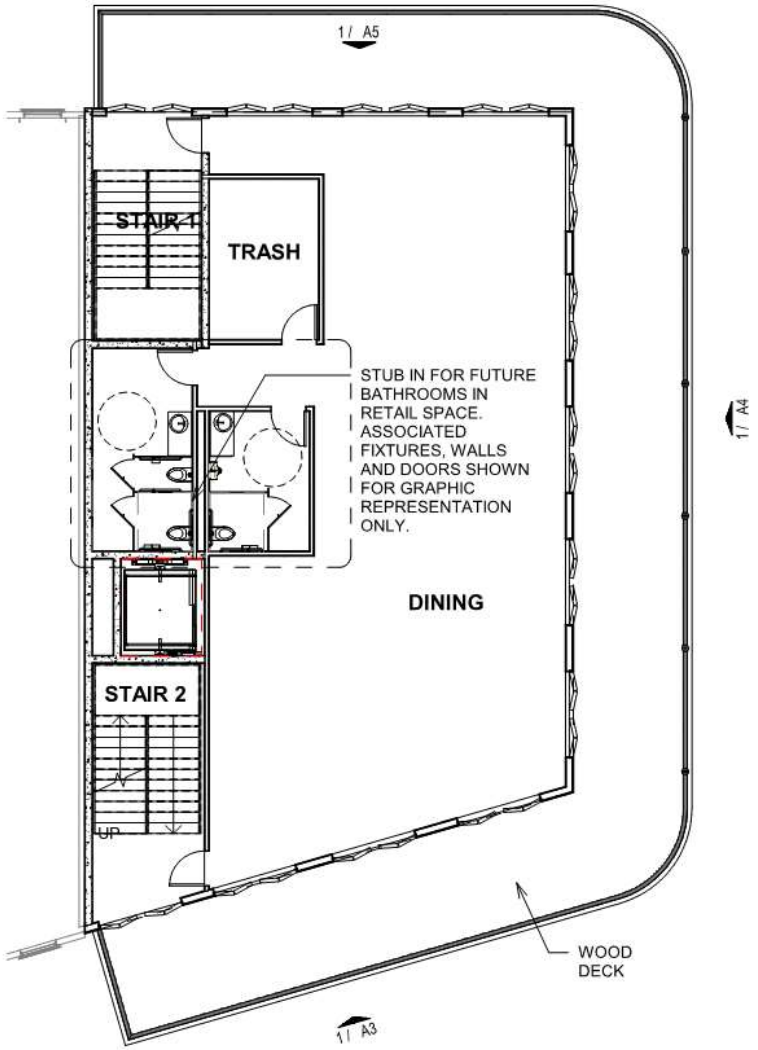
336-40 Decatur /400 Conti

VCC Architectural Committee

September 11, 2018



1 SITE PLAN
3/32" = 1'-0"



2 2ND FLOOR
3/32" = 1'-0"

ROZAS WARD architects

336 DECATUR - OPTION 1

NEW ORLEANS, LA 70130

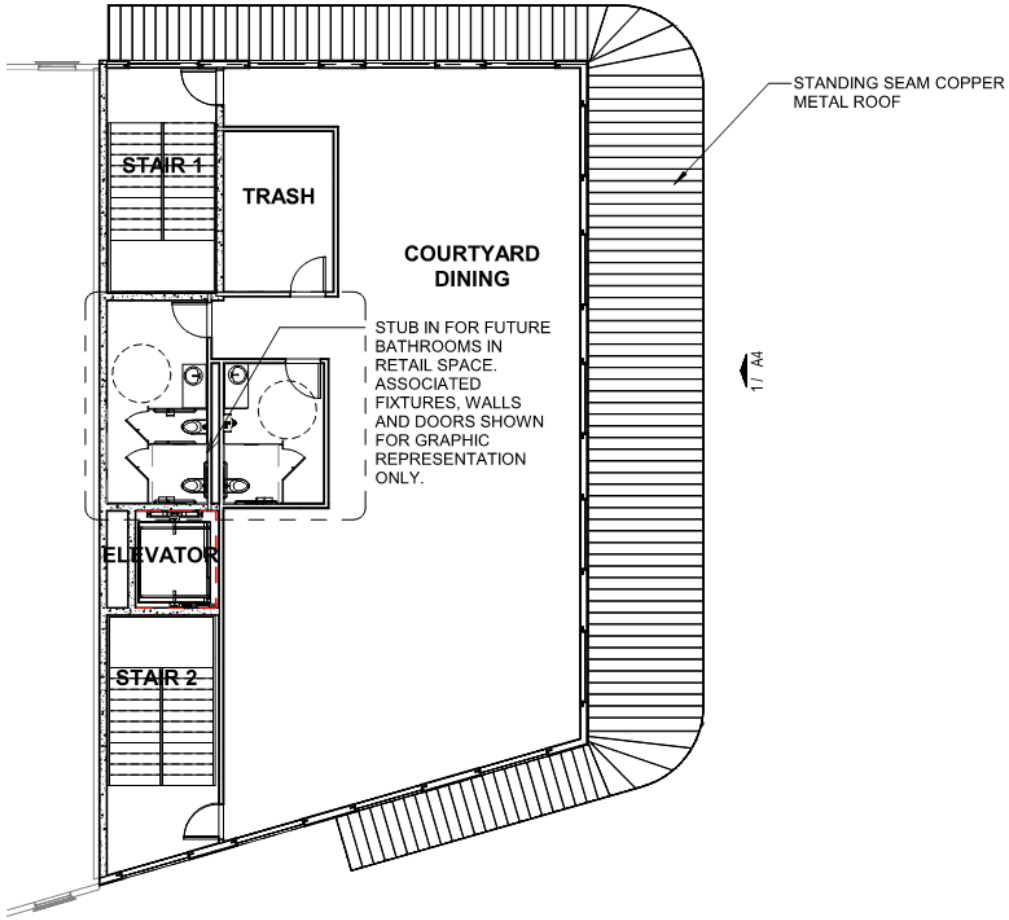
SITE PLAN & 2ND FLOOR PLANS
SCALE: 3/32" = 1'-0"
JOB NO: 18031
DATE: 08/28/18

A1

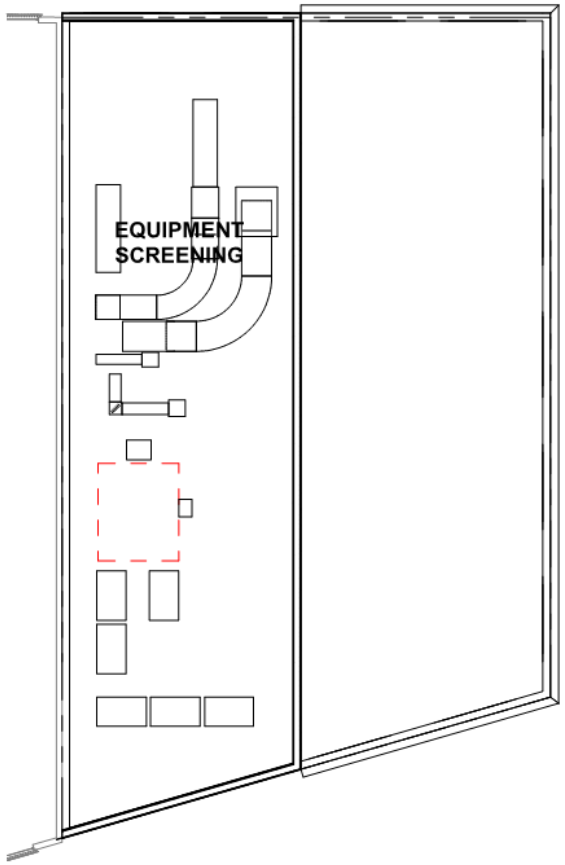
336-40 Decatur /400 Conti

VCC Architectural Committee

September 11, 2018



1 3RD FLOOR
3/32" = 1'-0"



2 ROOF PLAN
3/32" = 1'-0"

ROZAS WARD architects

336 DECATUR - OPTION 1

NEW ORLEANS, LA 70130

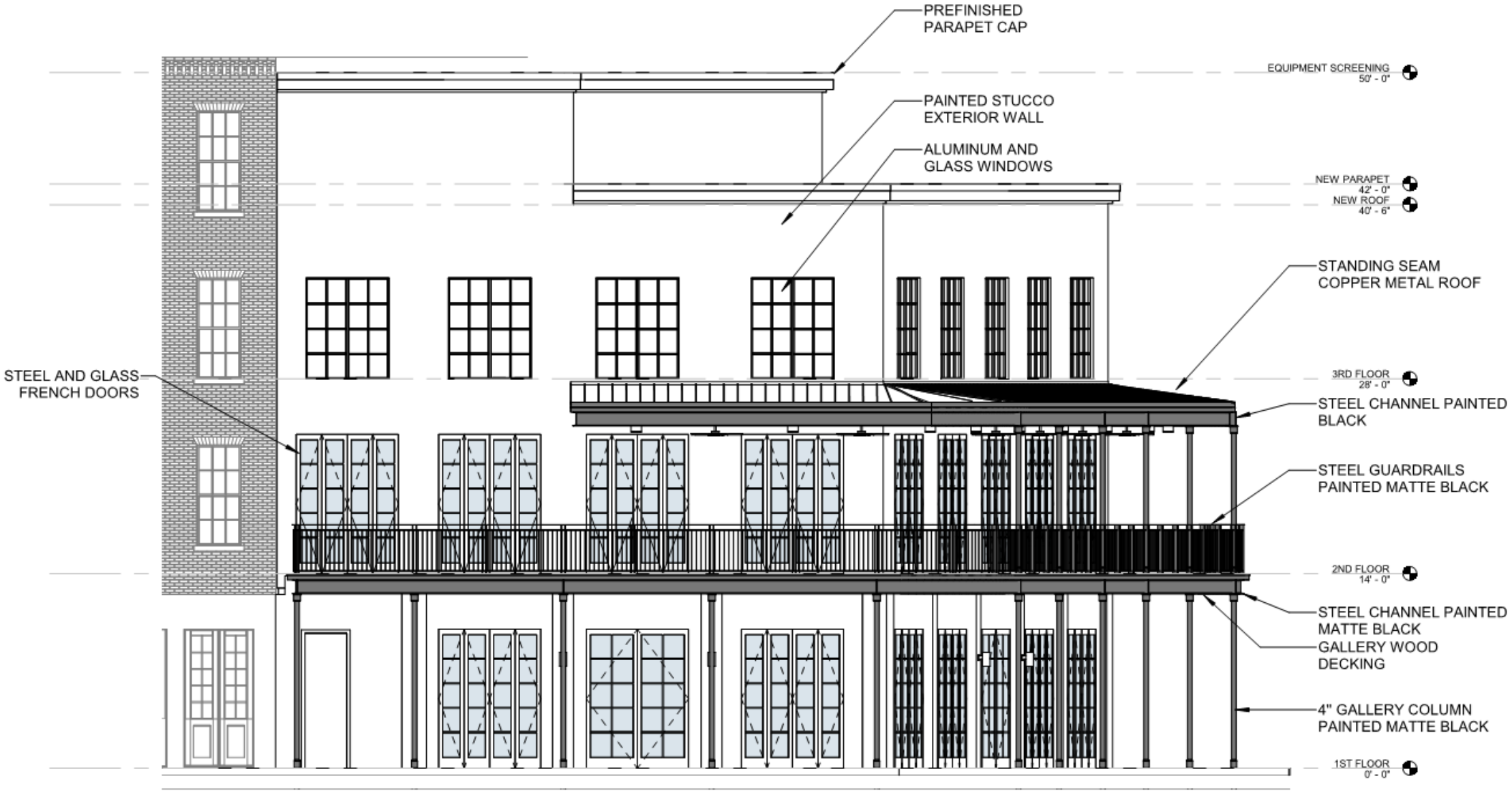
3RD FLOOR & ROOF PLANS
SCALE: 3/32" = 1'-0"
JOB NO: 18031
DATE: 08/28/18

A2

336-40 Decatur /400 Conti

VCC Architectural Committee

September 11, 2018

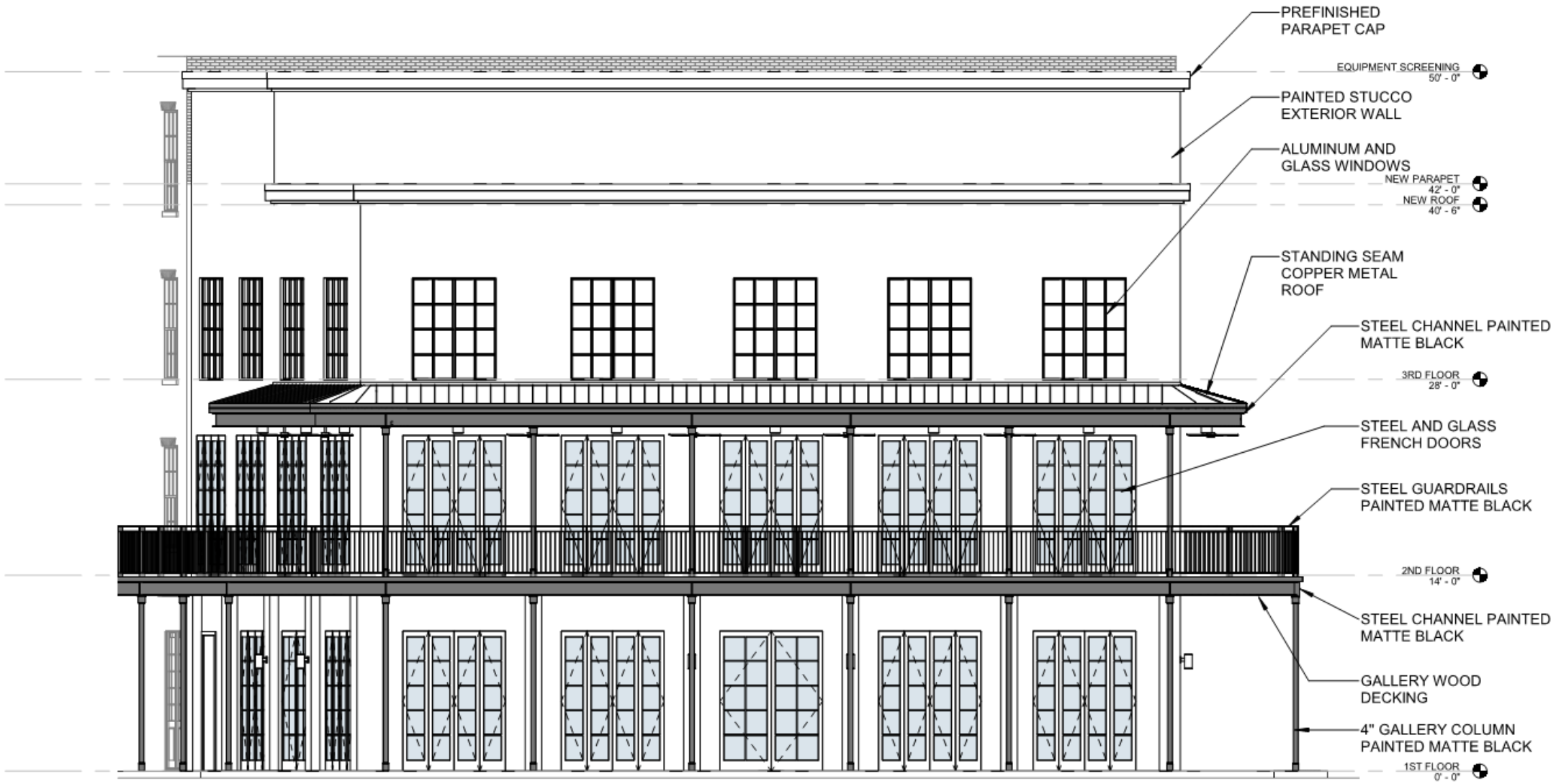


1 DECATUR STREET ELEVATION
1/8" = 1'-0"

336-40 Decatur /400 Conti

VCC Architectural Committee

September 11, 2018

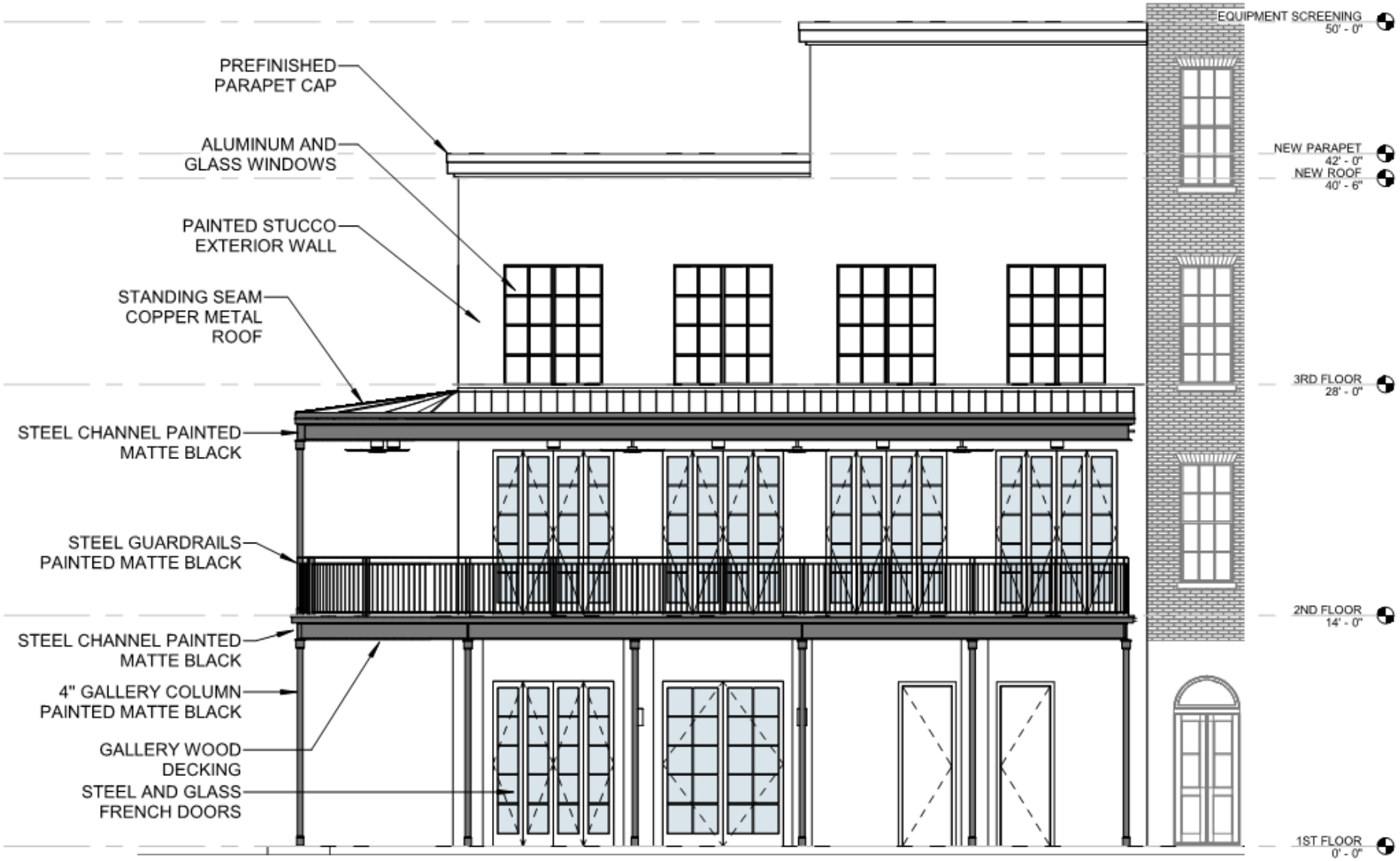


1 N. PETERS ELEVATION
1/8" = 1'-0"

336-40 Decatur /400 Conti

VCC Architectural Committee

September 11, 2018



1 CONTI ELEVATION
1/8" = 1'-0"

336-40 Decatur /400 Conti

VCC Architectural Committee

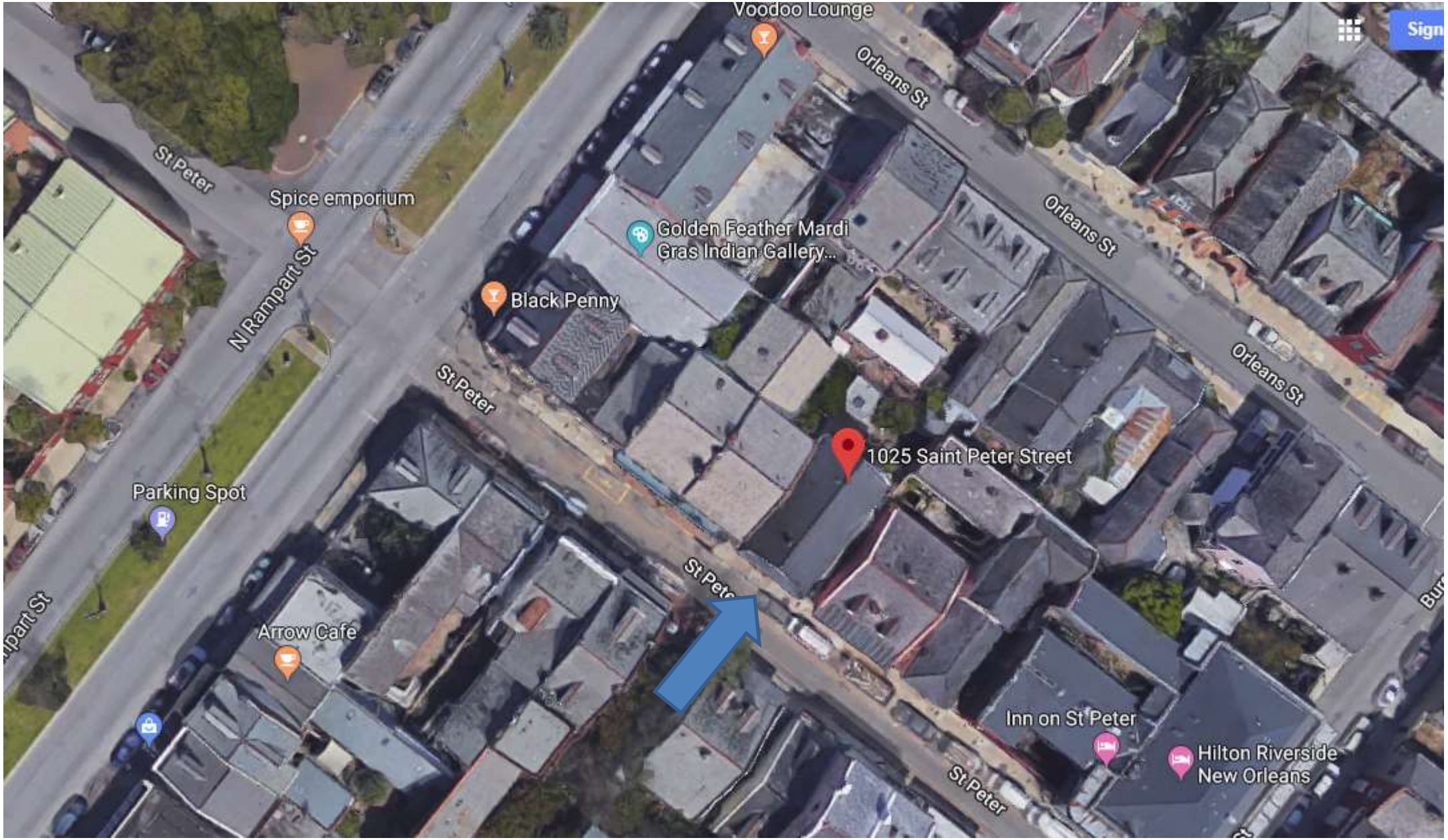
September 11, 2018

336-40 Decatur /400 Conti

VCC Architectural Committee

September 11, 2018

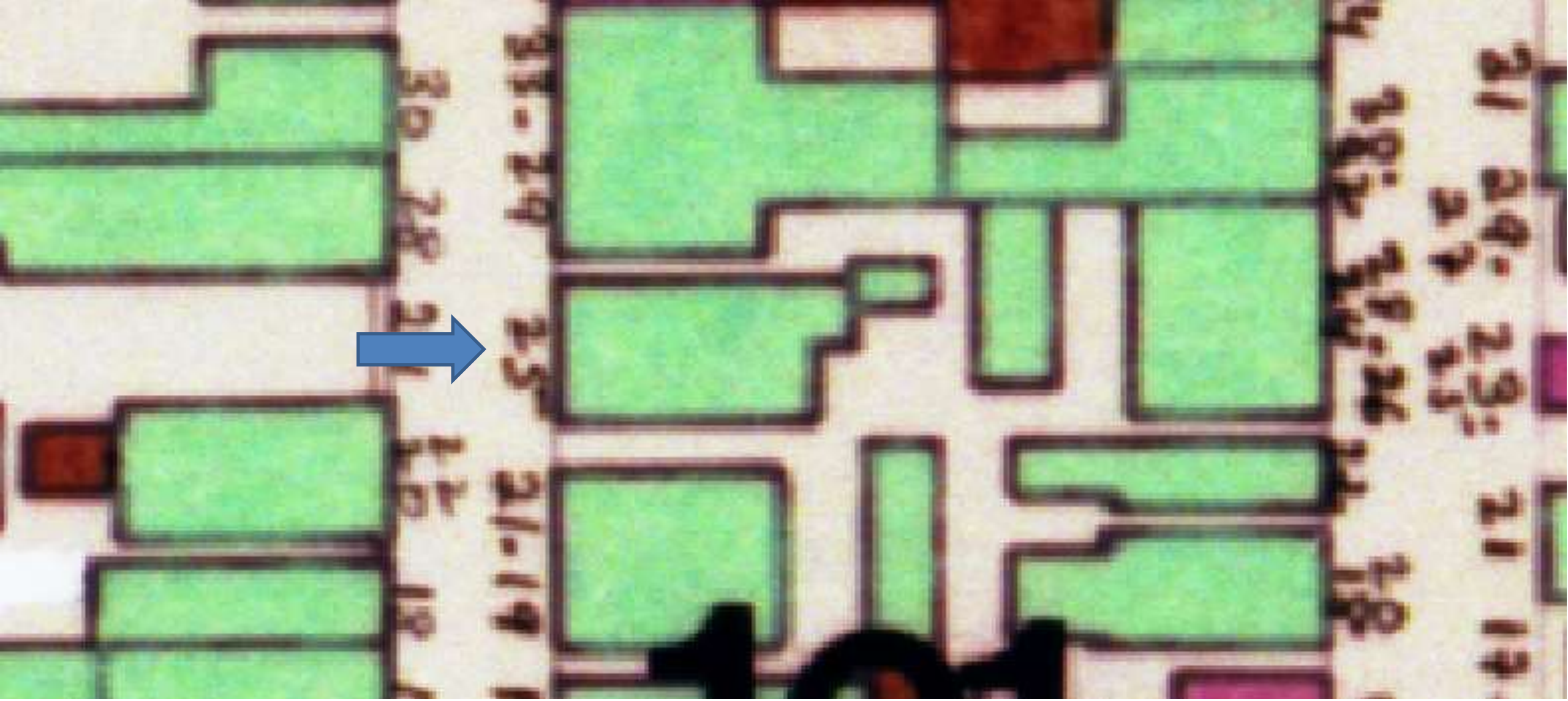
1025 St Peter



1025 St Peter

VCC Architectural Committee

September 11, 2018

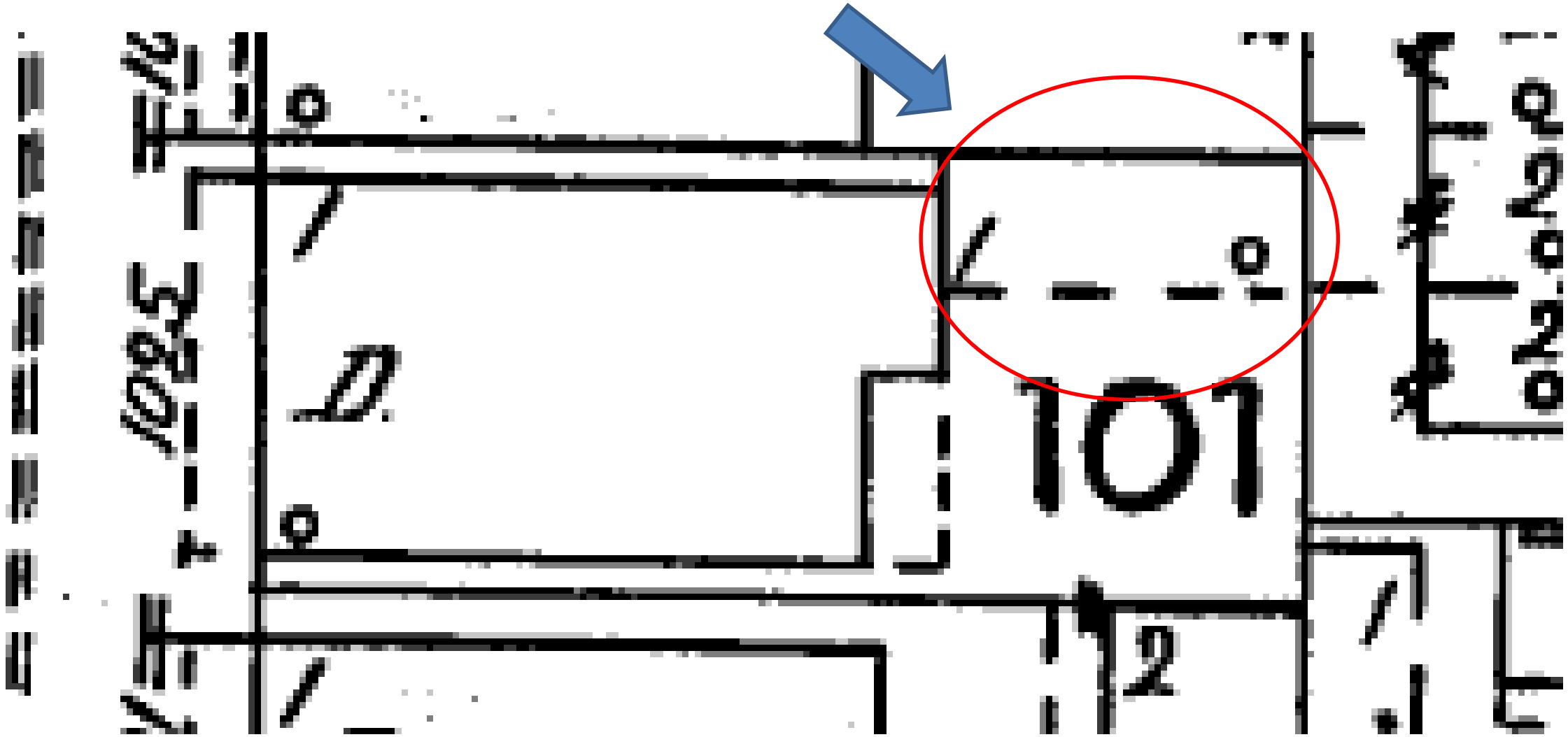


1025 St Peter

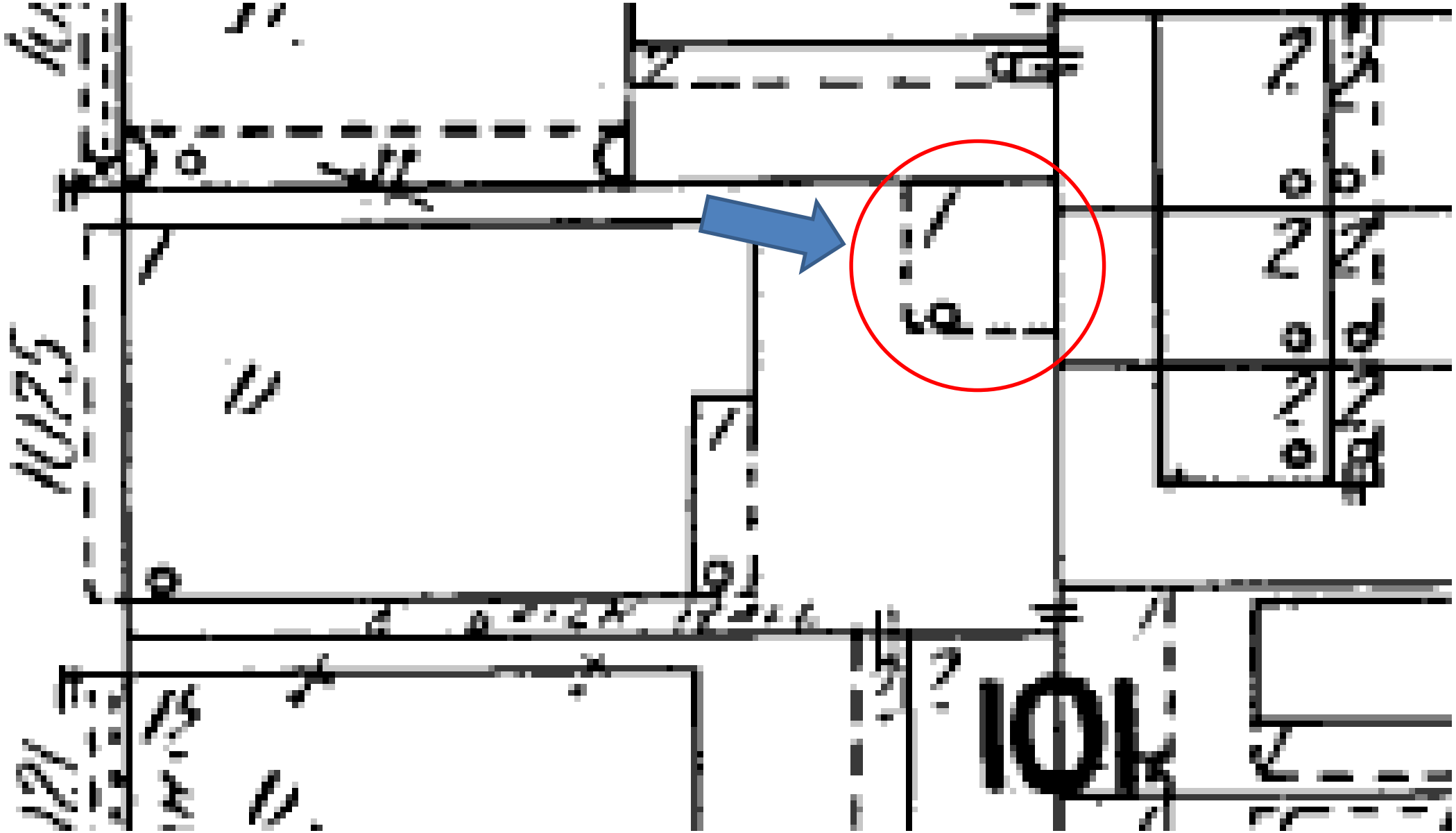
VCC Architectural Committee

September 11, 2018

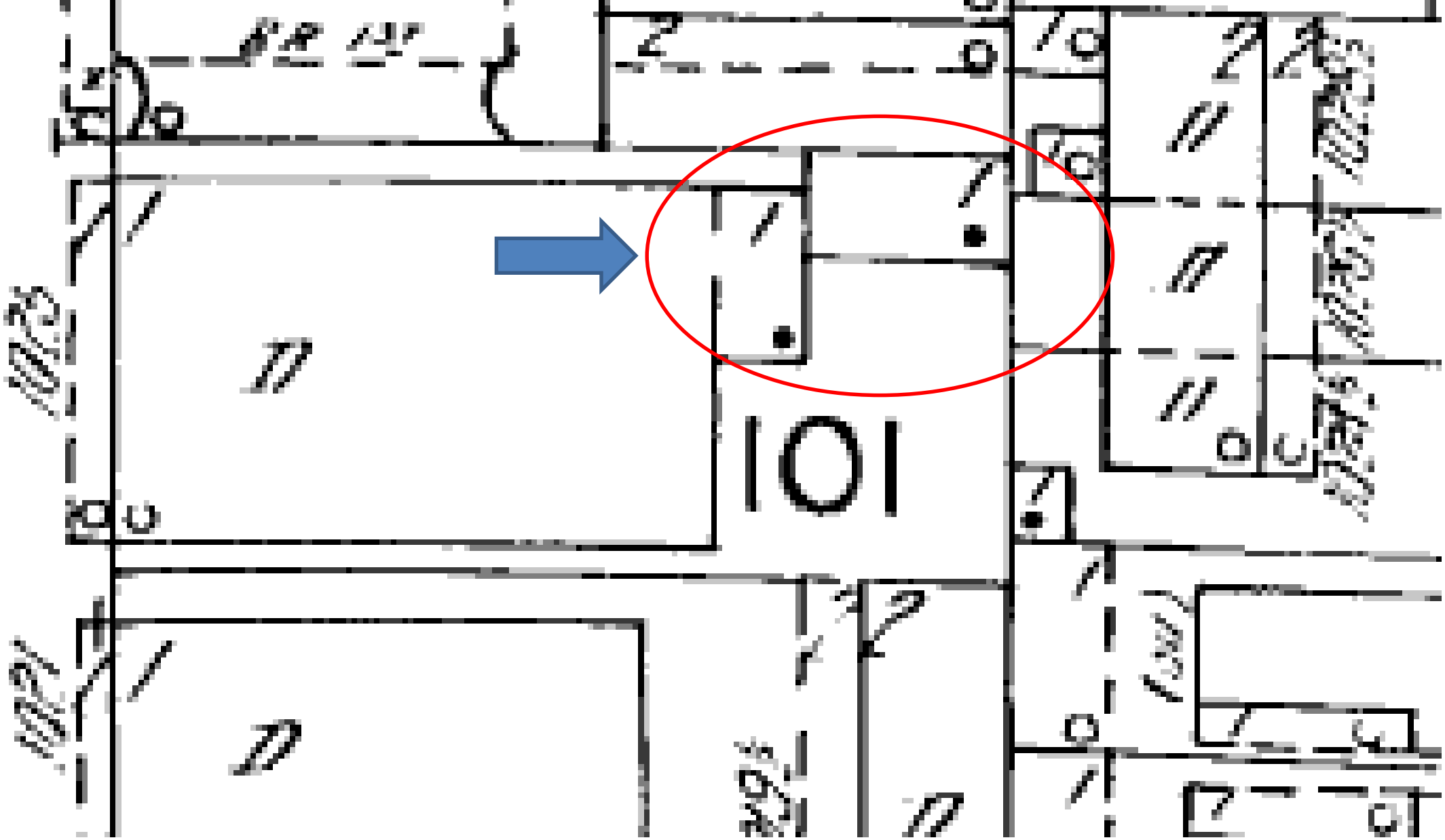
1025 St Peter – Portions of Building Proposed for Demolition



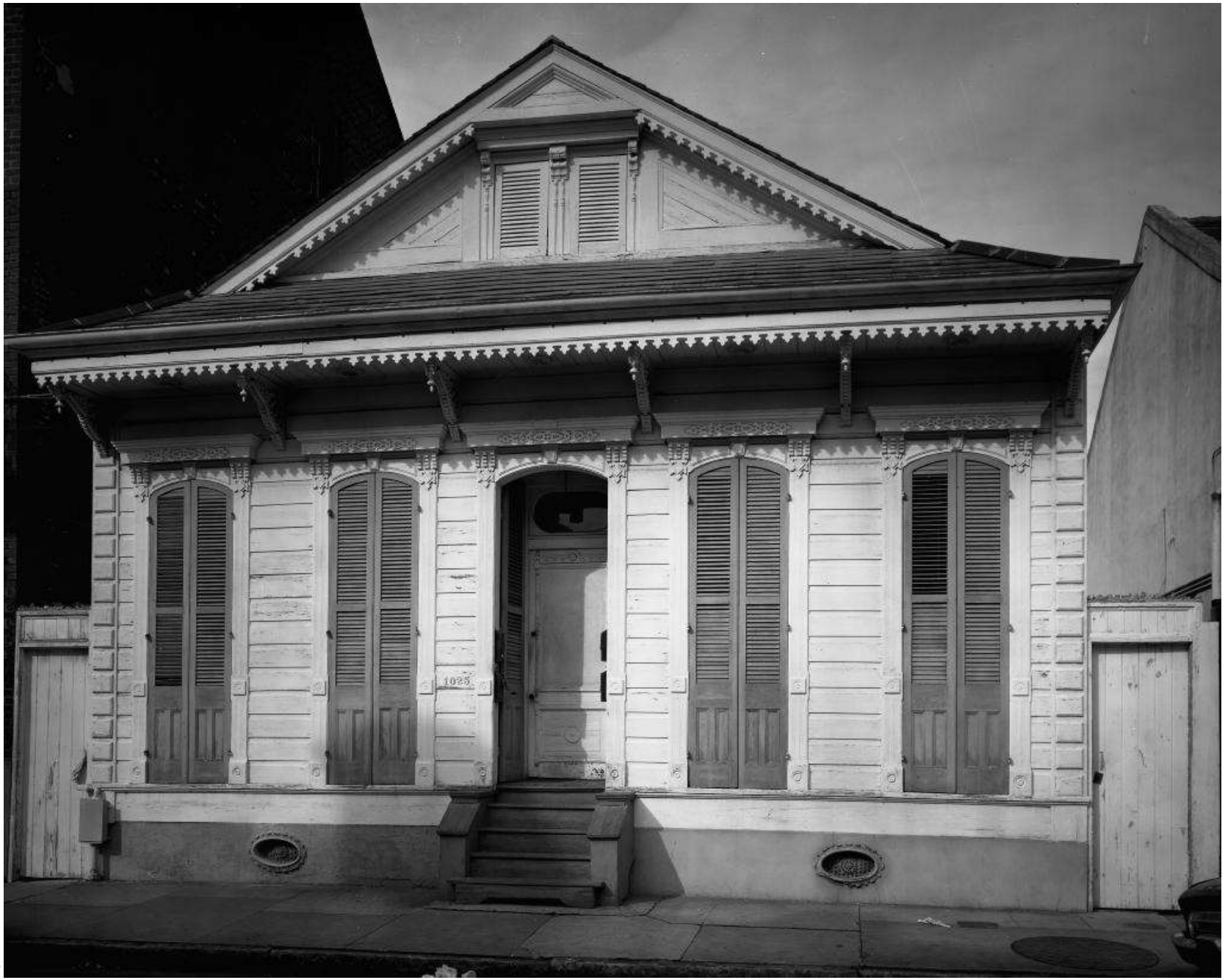
1025 St Peter – One Story open air structure seen in 1896 Sanborn



1025 St Peter – One Story open air structure in corner of property only; seen in 1908 Sanborn



1025 St Peter – One Story structures similar to current arrangement; seen in 1940 Sanborn



1025 St Peter - 1964

1025 St Peter

VCC Architectural Committee

September 11, 2018

1025 St Peter

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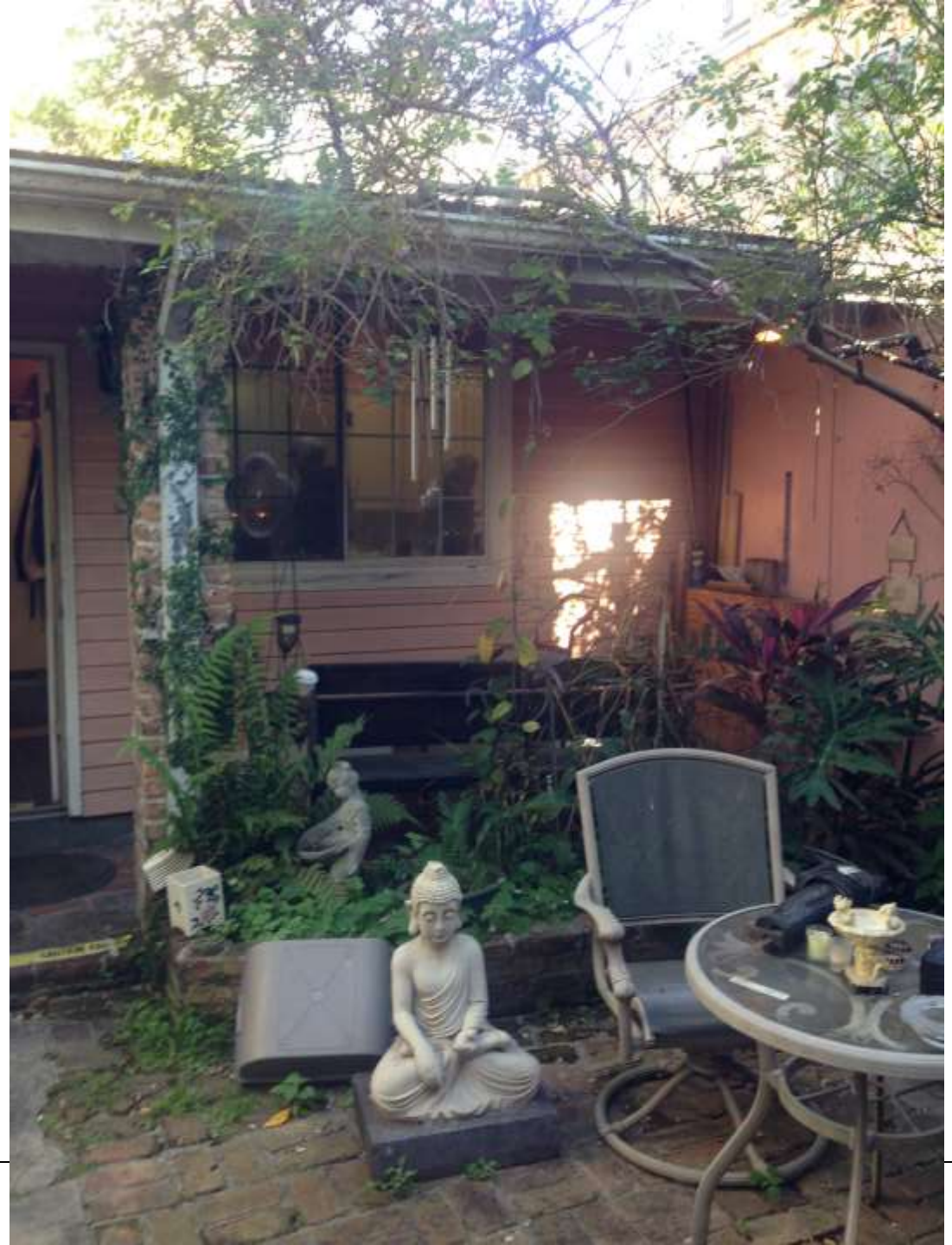
September 11, 2018



1025 St Peter

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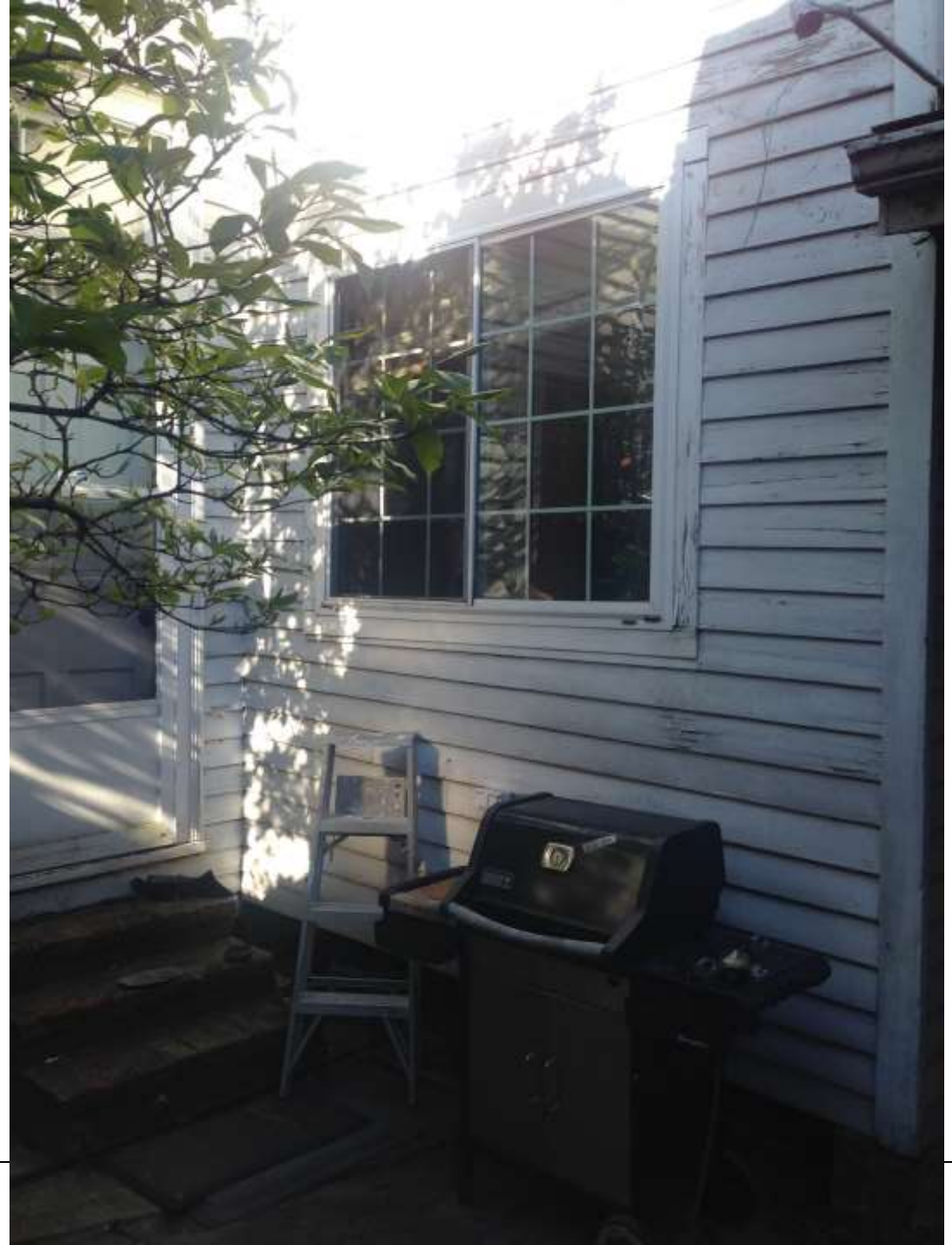
September 11, 2018



1025 St Peter

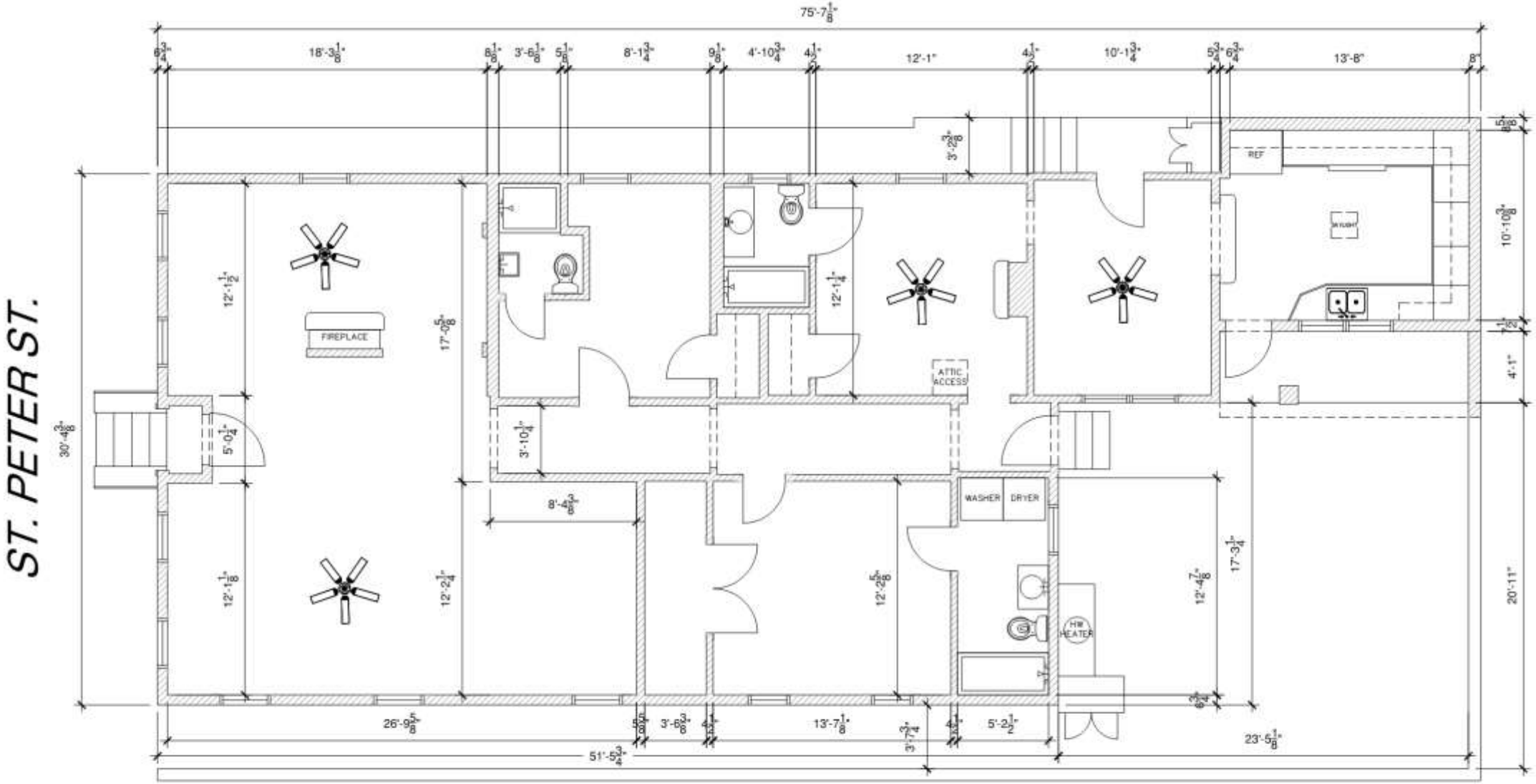
VCC Architectural Committee

September 11, 2018

1025 St Peter - 2004

1025 St Peter - 2004

1025 St Peter - 2004



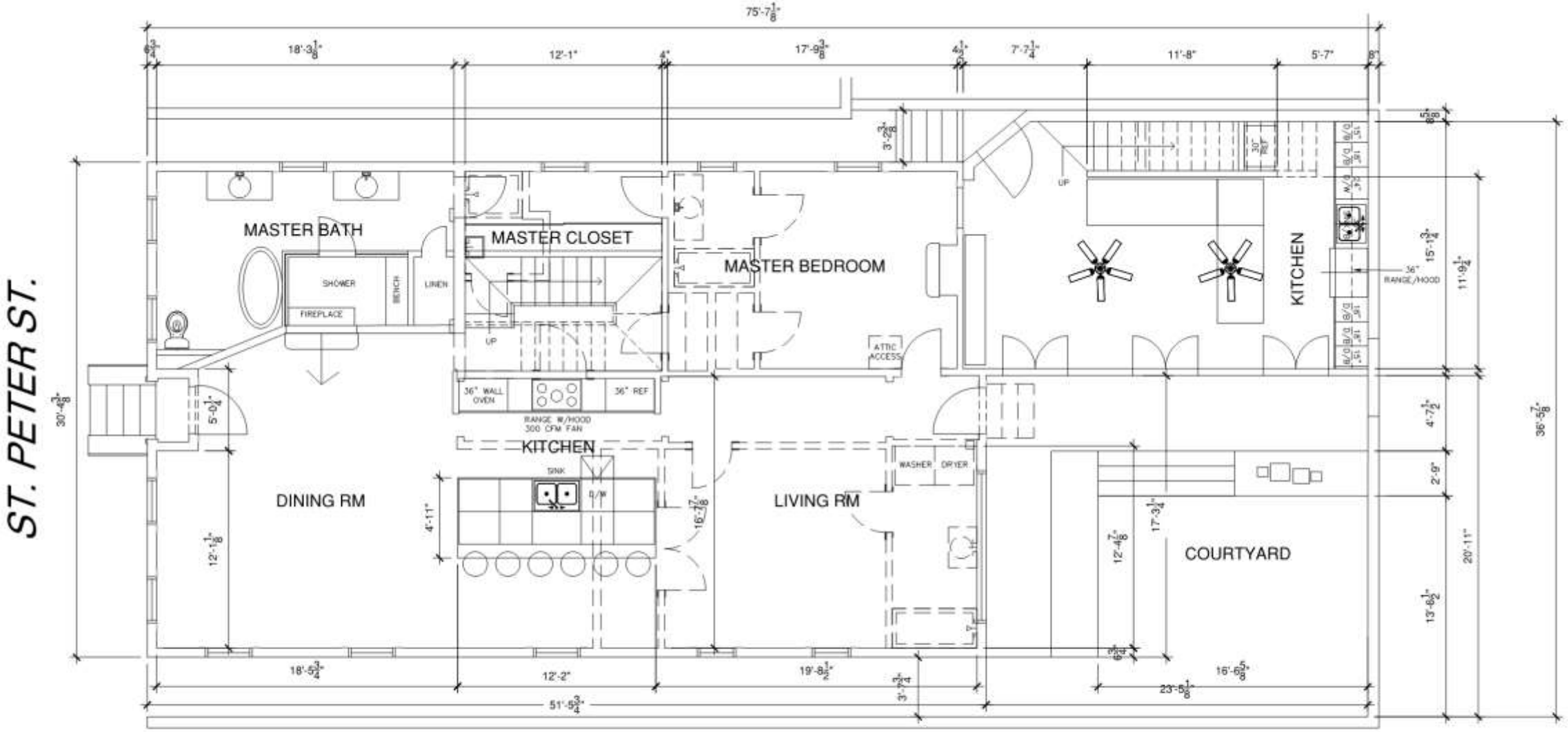
1 EXISTING FIRST FLOOR PLAN
1/4"=1'-0"
1025 ST. PETER ST.

FIRST FLOOR AREA: 1,865 SF

1025 St Peter

VCC Architectural Committee

September 11, 2018



1 NEW FIRST FLOOR PLAN

1/4"=1'-0"

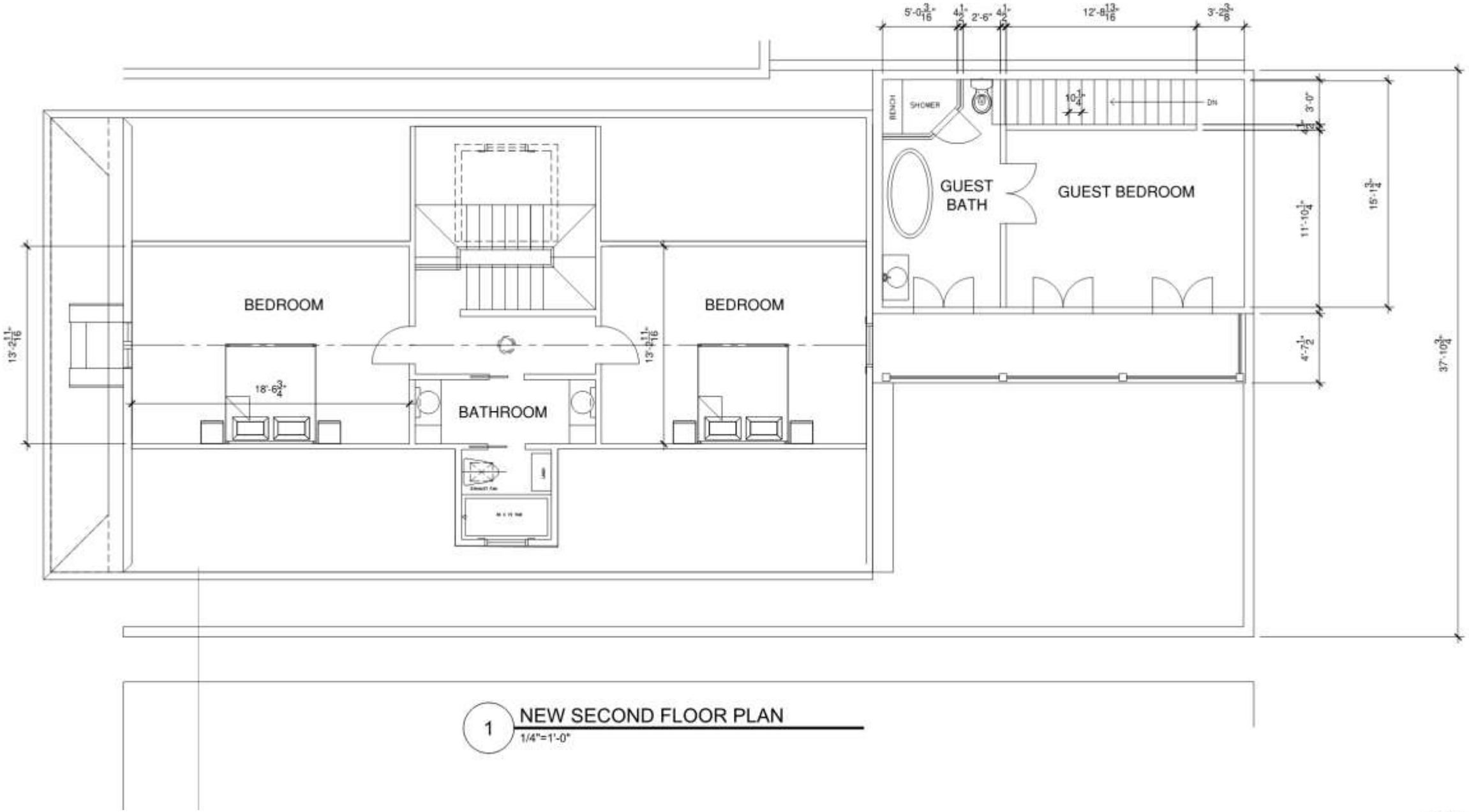
1025 ST. PETER ST.

FIRST FLOOR AREA: 1,865 SF

1025 St Peter

VCC Architectural Committee

September 11, 2018

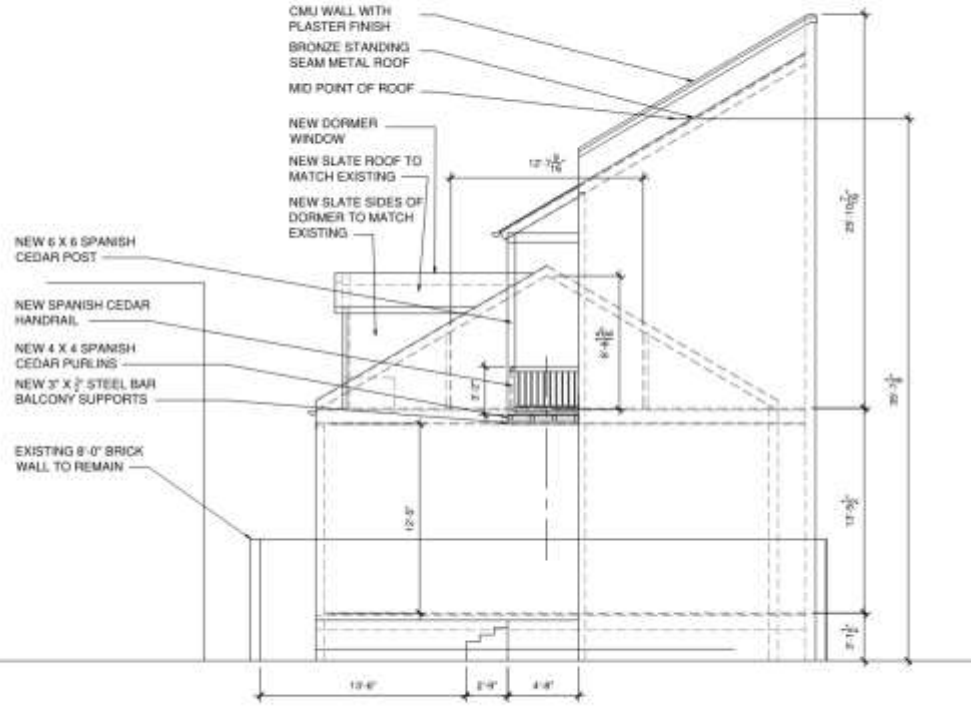


1025 St Peter

VCC Architectural Committee

September 11, 2018

1 SIDE ELEVATION (RIGHT SIDE)
3/16"=1'-0"



1 REAR ELEVATION
3/16"=1'-0"

1025 St Peter

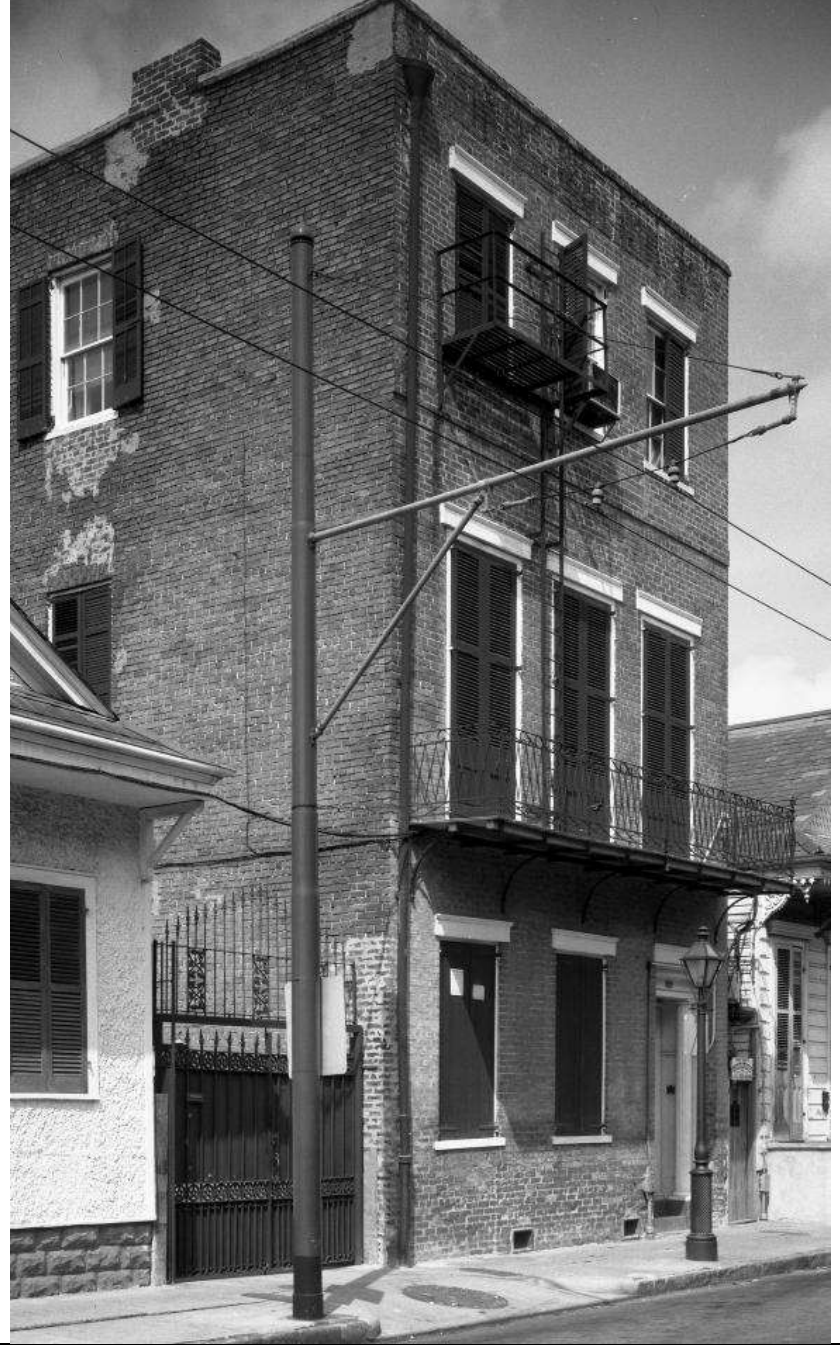
VCC Architectural Committee

September 11, 2018

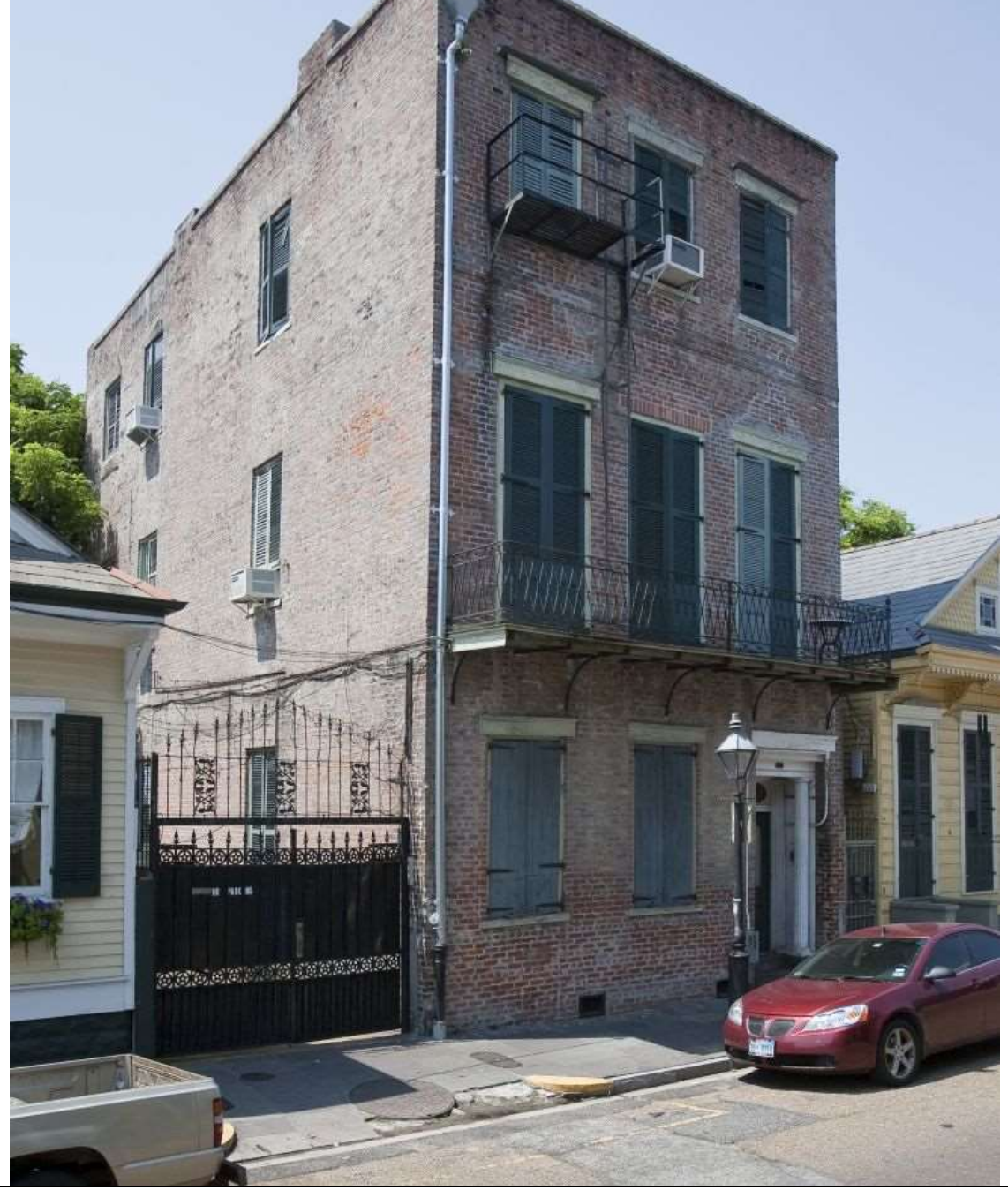
928 St Ann

N. Rampart + St. Ann
N Rampart St
St. Ann St.
Original Spot Of
The Home Of MARIE...
Inn on St Ann
St Ann St
Burgundy St
Dumaine St
Eat New Orleans
Dauphine St
Voodoo Lounge
Orleans St
ack Penny
928 Saint Ann Street
St Ann St
Orleans St
St Ann St
Dauphine St
St Peter
Inn on St Peter
Burgundy St
Good Friends Bar
Orleans St
New Orleans Spring
Fiesta Association
700 Club
St Peter
St Ann St

928 St Ann



928 St Ann



928 St Ann

928 St Ann

928 St An

VCC Architect

928 St An

VCC Architect

928 St An

VCC Architect

928 St An

VCC Architect

928 St Ann

VCC Architectural Committee

September 11, 2018

928 St An

VCC Architect

928 St An

VCC Architect

928 St Ann

VCC Architectural Committee

September 11, 2018

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September 11, 2018

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VCC Architect

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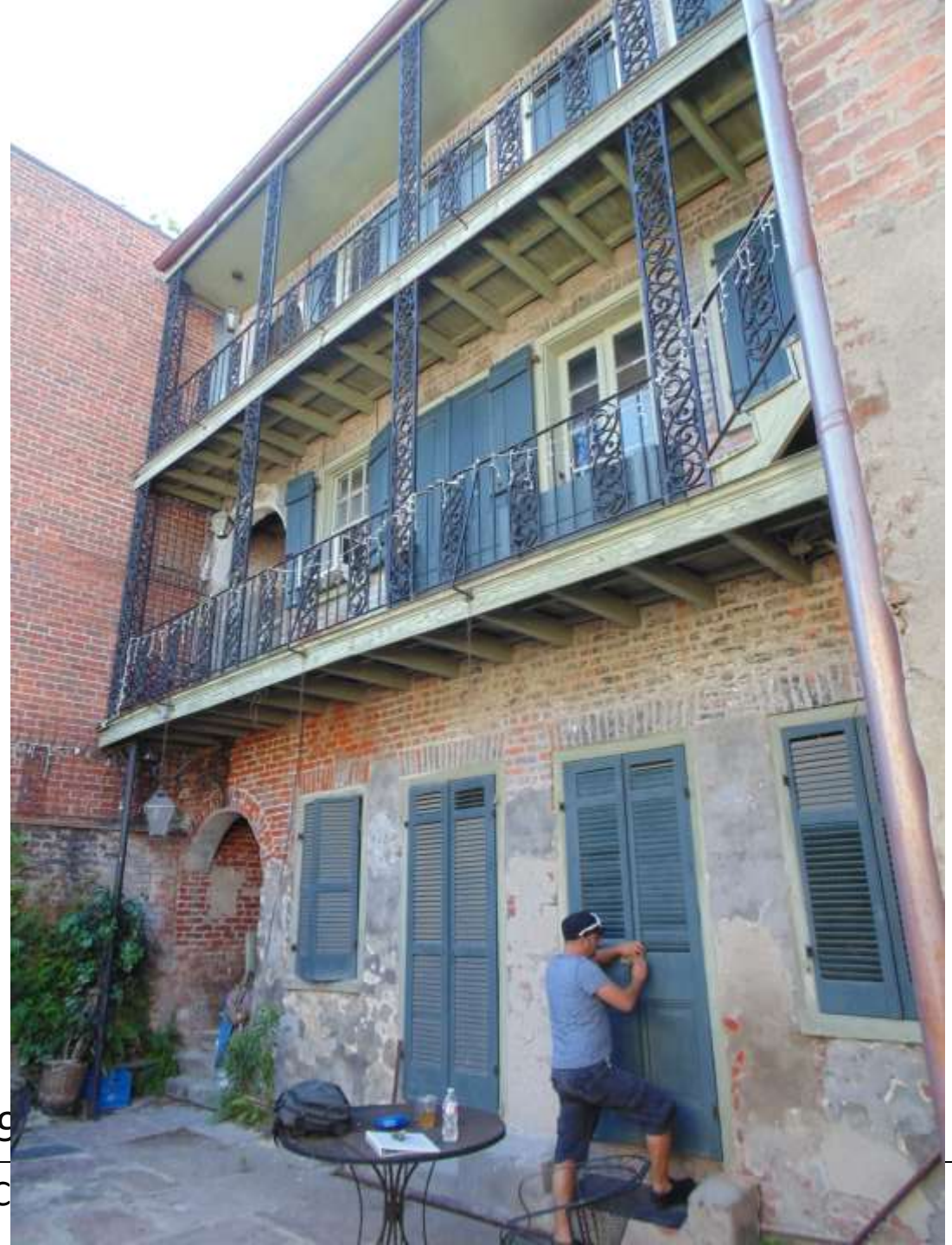
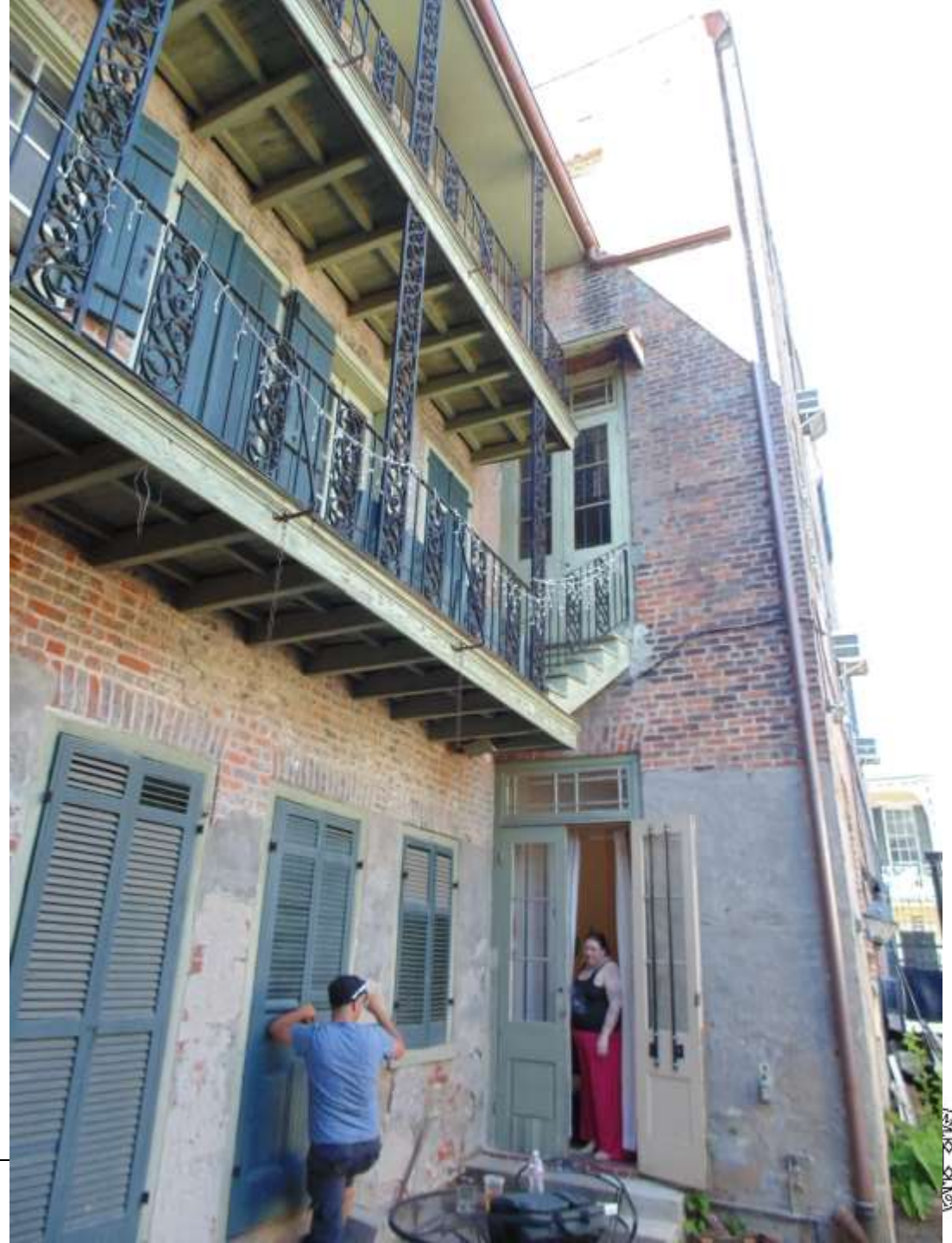
VCC Architect





928 St Ann

VCC Architectural Committee

September 11, 2018

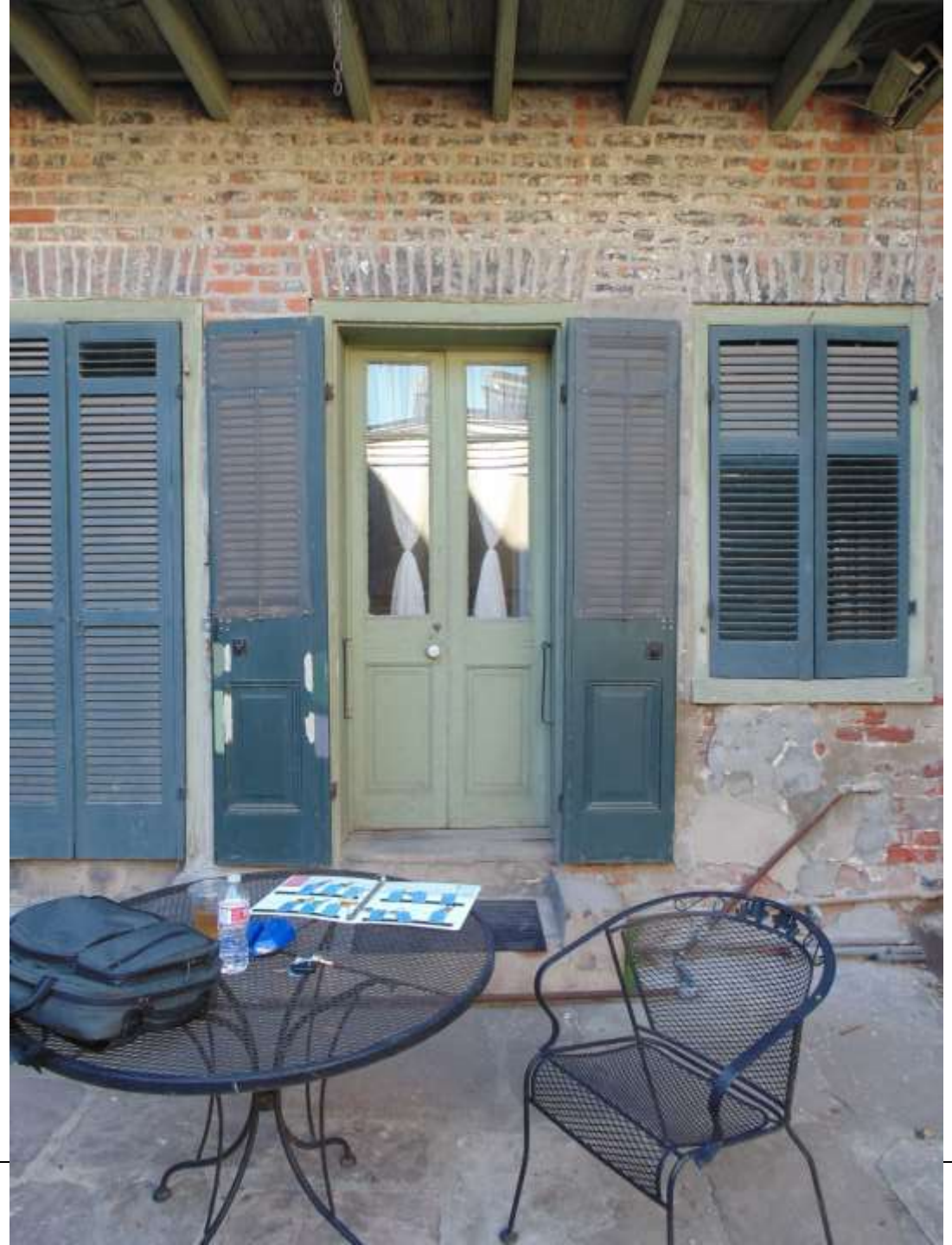
928 St An

VCC Architect

928 St Ann

VCC Architectural Committee

September 11, 2018



928 St Ann

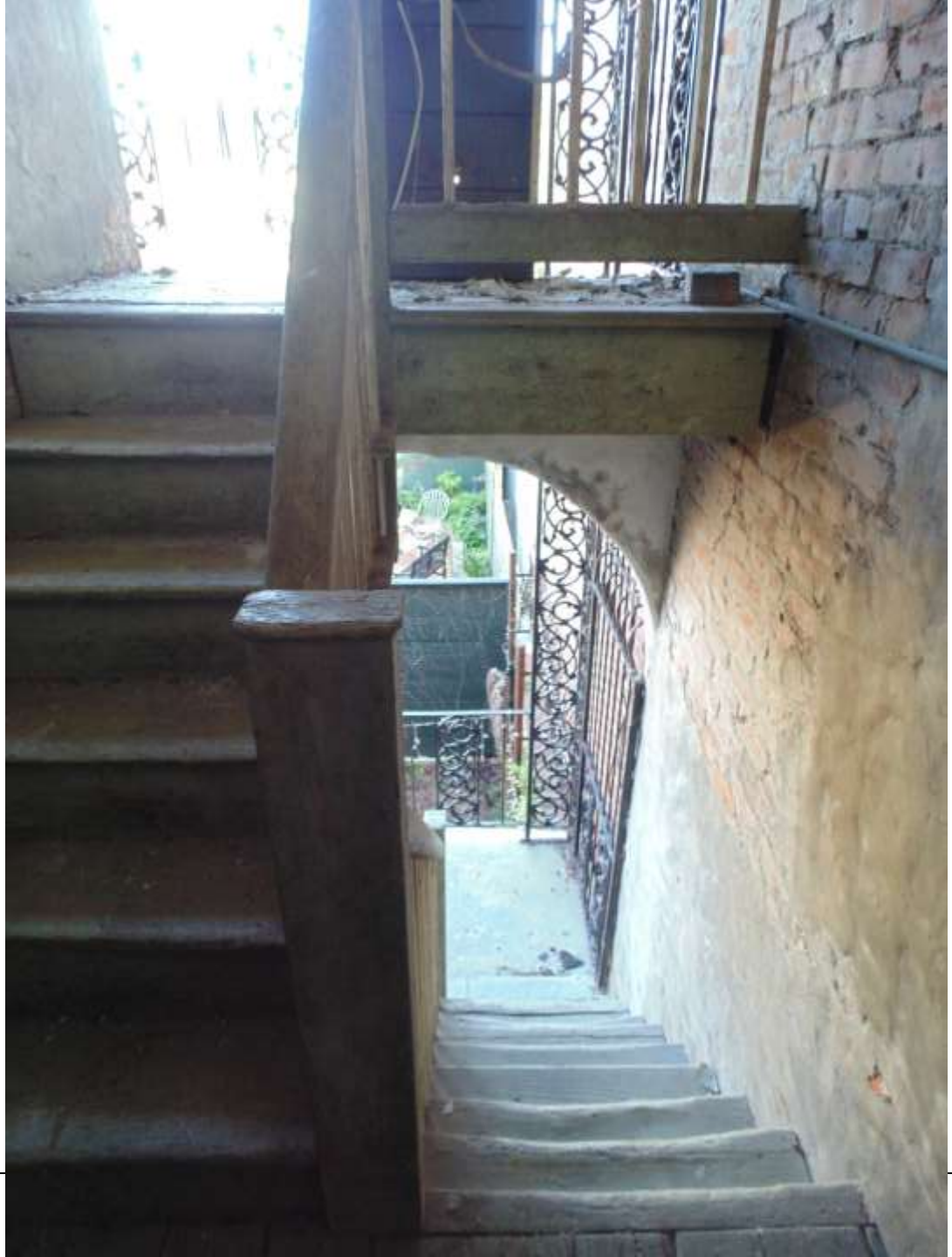
VCC Architectural Committee

September 11, 2018

928 St Ann

VCC Architectural Committee

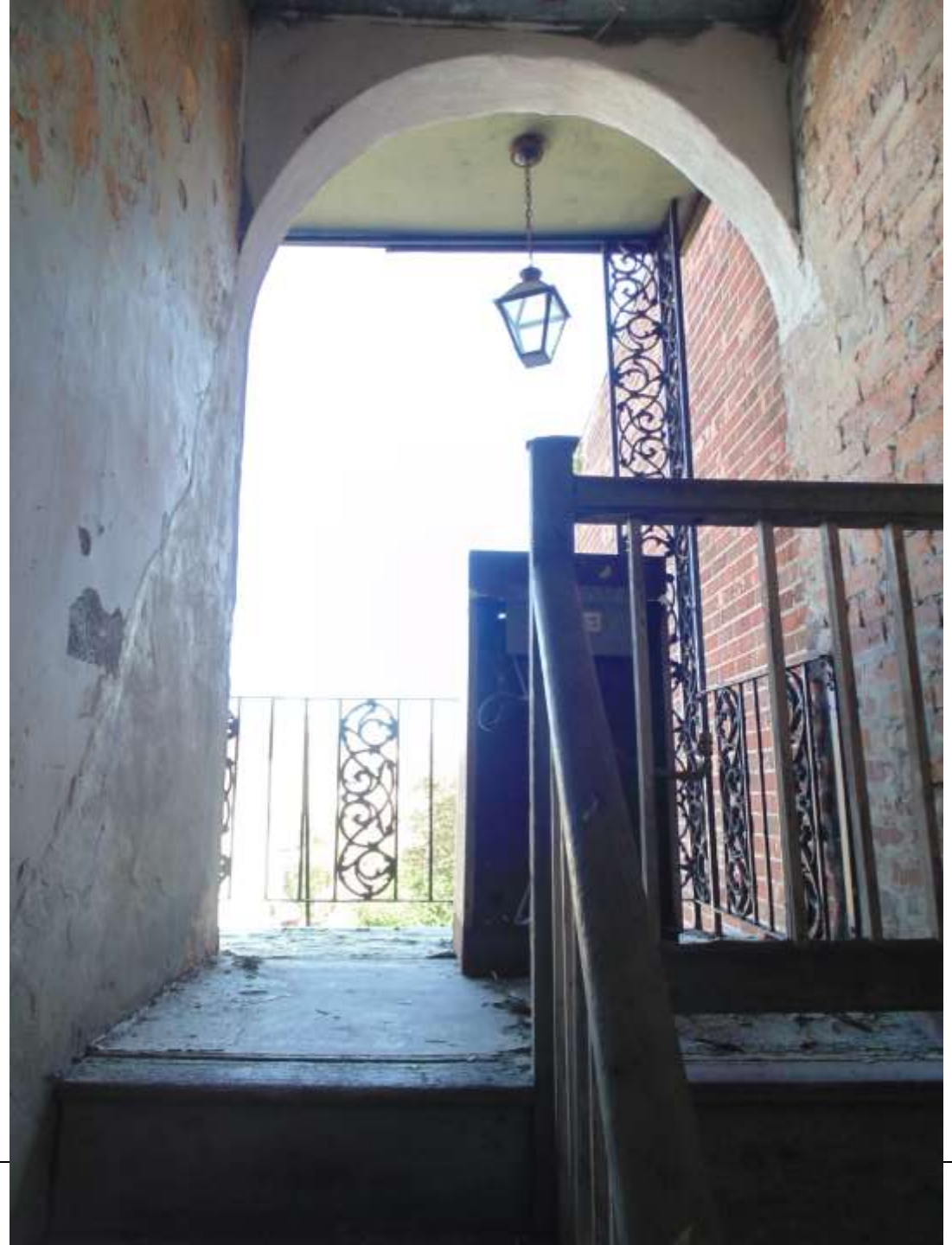
September 11, 2018



928 St Ann

VCC Architectural Committee

September 11, 2018



928 St Ann

VCC Architectural Committee

September 11, 2018

928-40 Saint Ann Street

3-Story Townhouse Rehabilitation
New Orleans, LA 70116

PROJECT INFORMATION

AREA CALCULATIONS

INDEX OF DRAWINGS

A-1	INFO / EXISTING FIRST - THIRD FLOOR PLANS
A-2	SITE / FIRST FLOOR PLAN
A-2.1	SECOND FLOOR PLAN
A-2.2	THIRD FLOOR PLAN
A-4	FRONT ELEVATION
A-4.1	SIDE ELEVATION - DAUPHINE STREET SIDE
A-4.2	ALLEY SIDE ELEVATION - REAR ELEVATION

ARCHITECTURAL LEGEND

EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXISTING THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

VICINITY
NTS

SURVEY
NTS

WALL TYPES

Vieux Carre Architectural Committee Meeting
Issued: August 28, 2018

Guns Modern
4519 S. Claiborne Avenue
New Orleans, LA 70125
504 616 2221

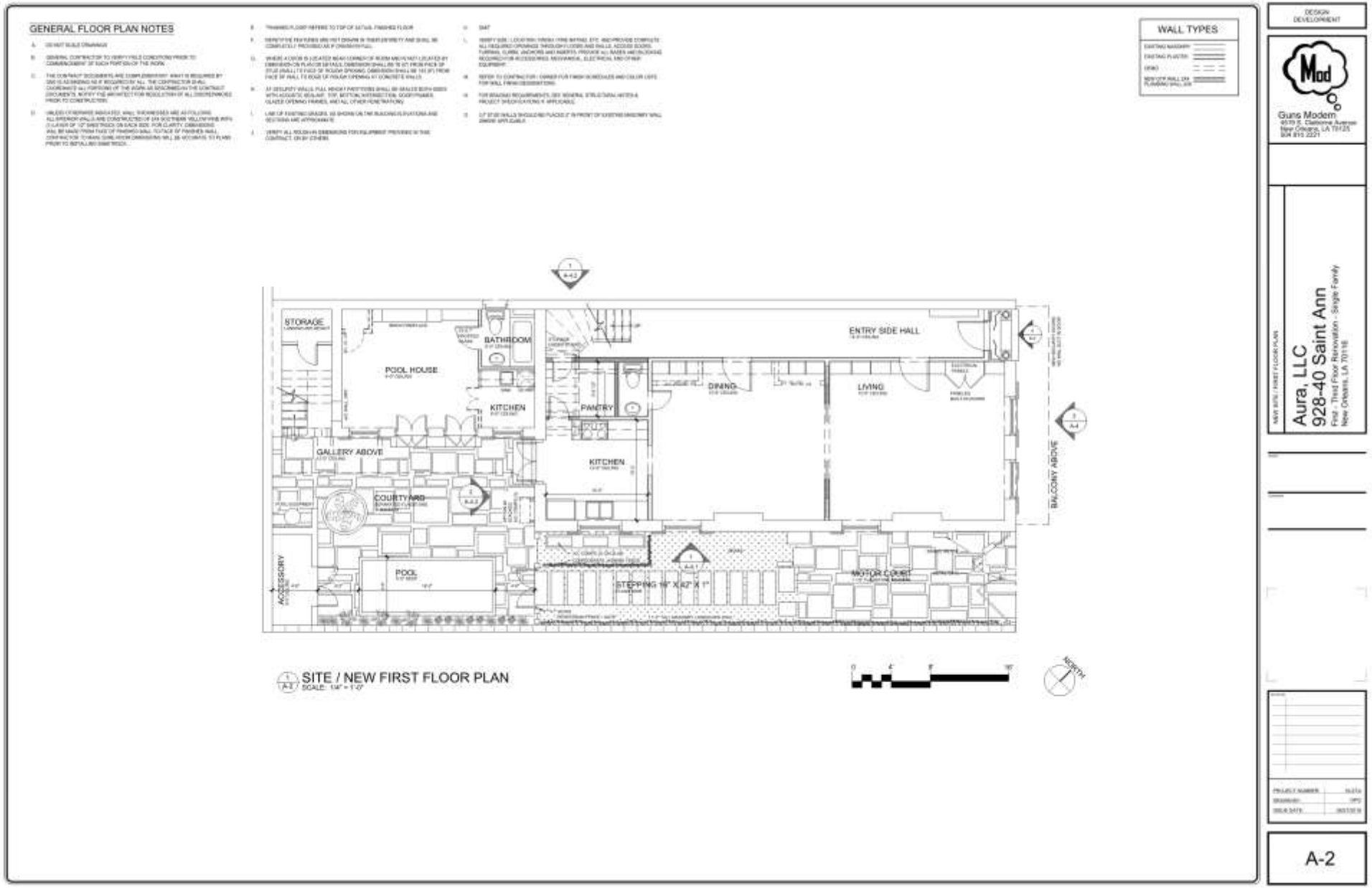
Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70116

A-1

928 St Ann

VCC Architectural Committee

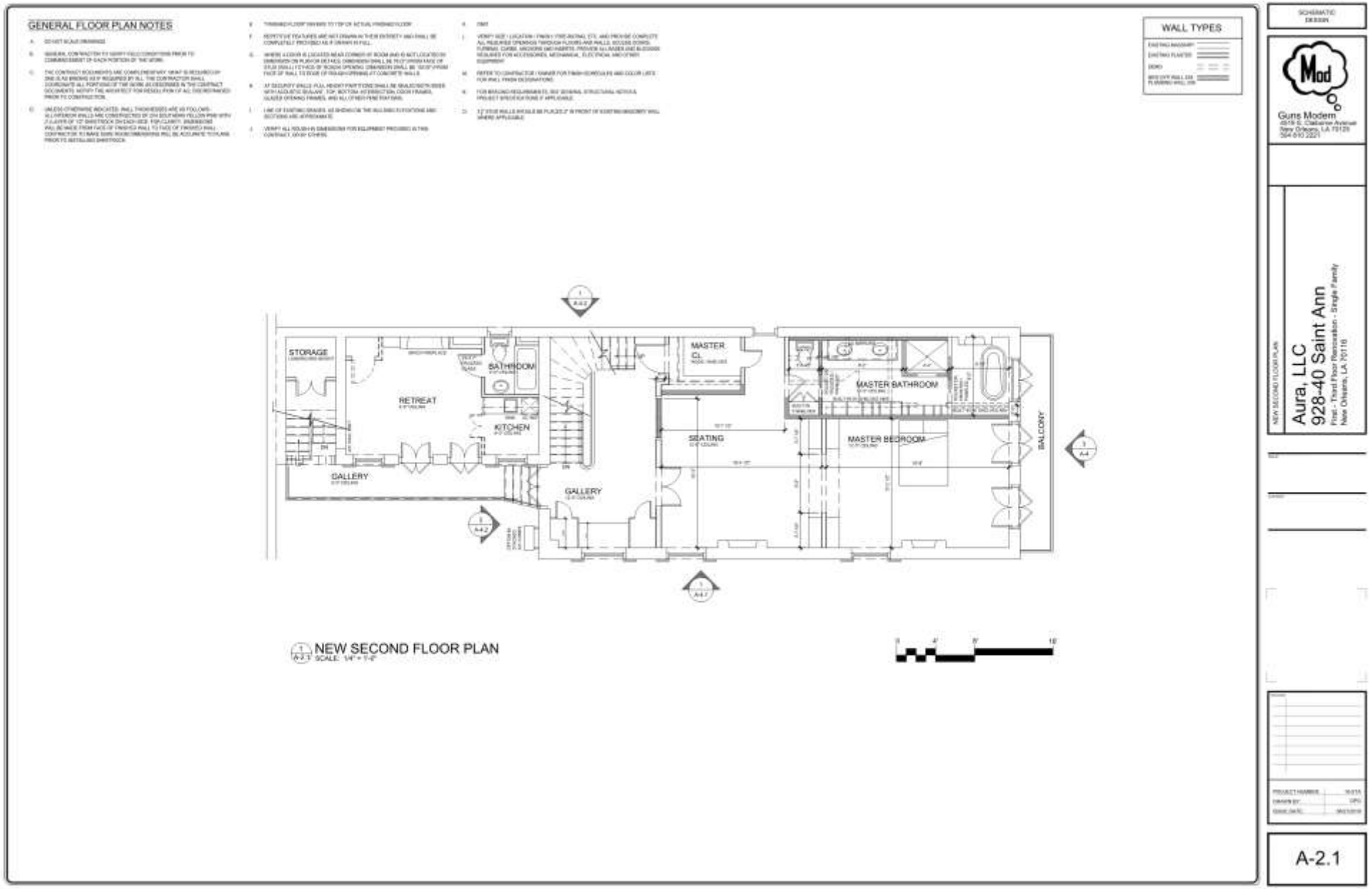
September 11, 2018



928 St Ann

VCC Architectural Committee

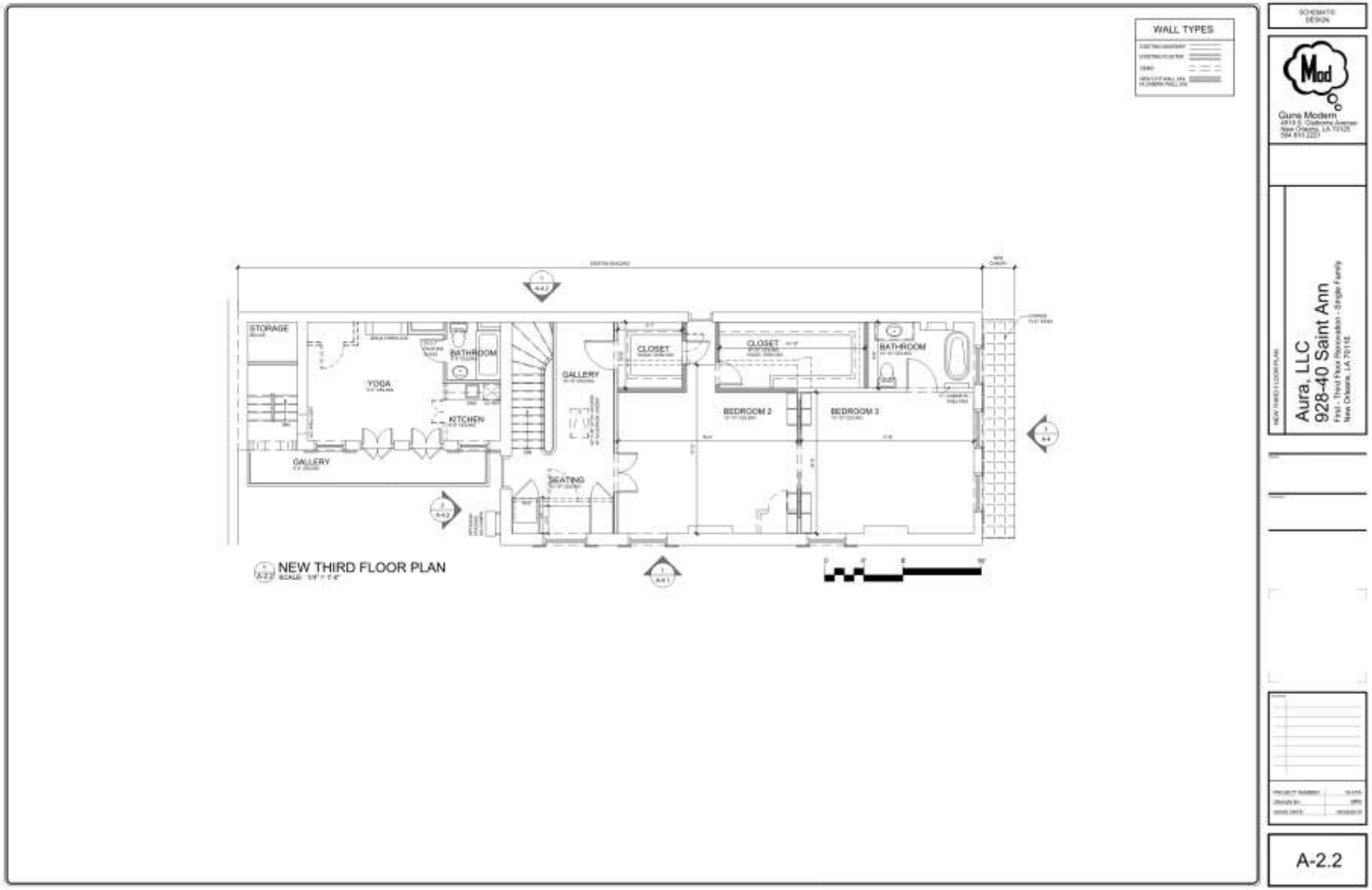
September 11, 2018



928 St A....

VCC Architectural Committee

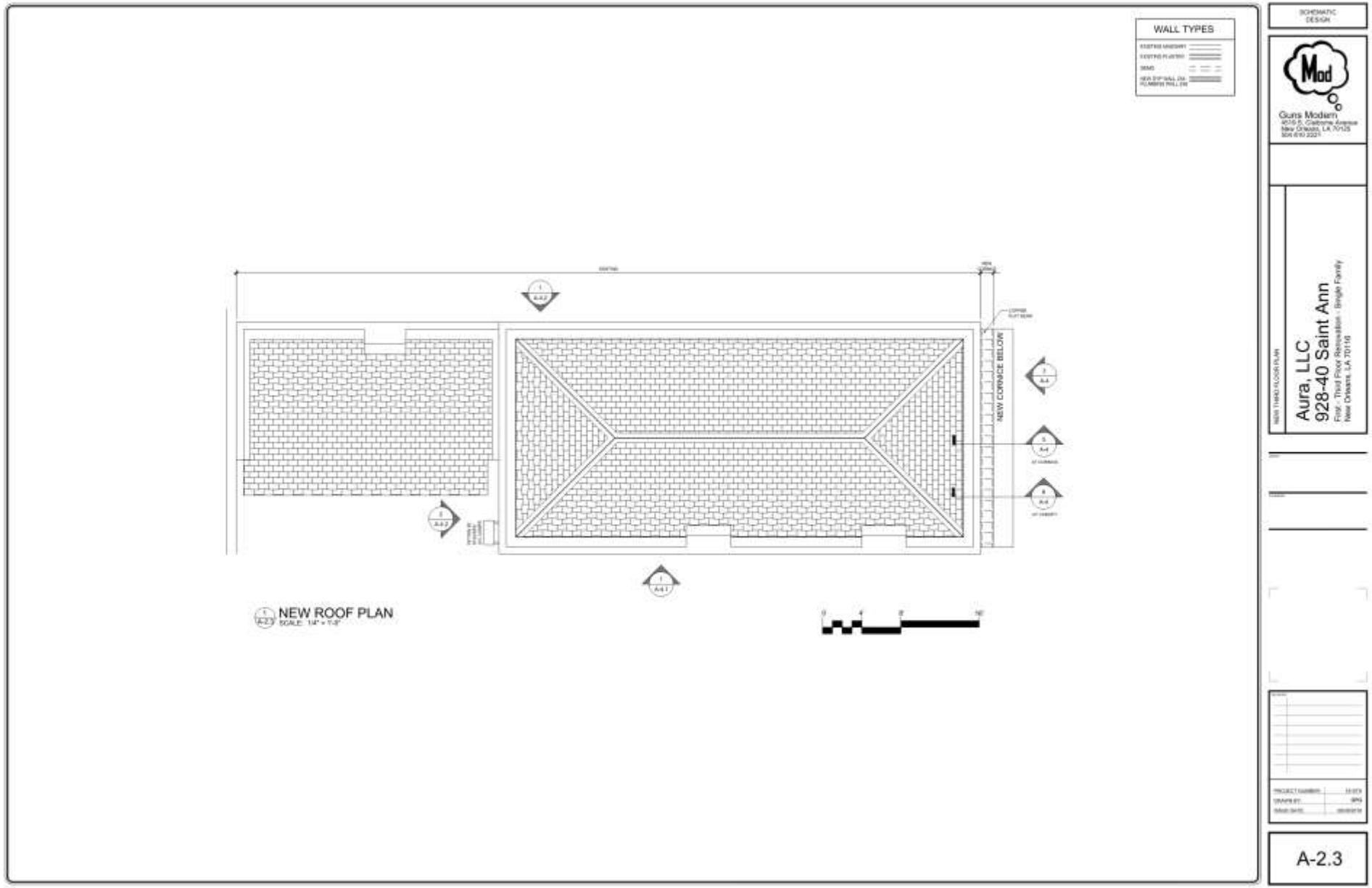
September 11, 2018



928 St Ann

VCC Architectural Committee

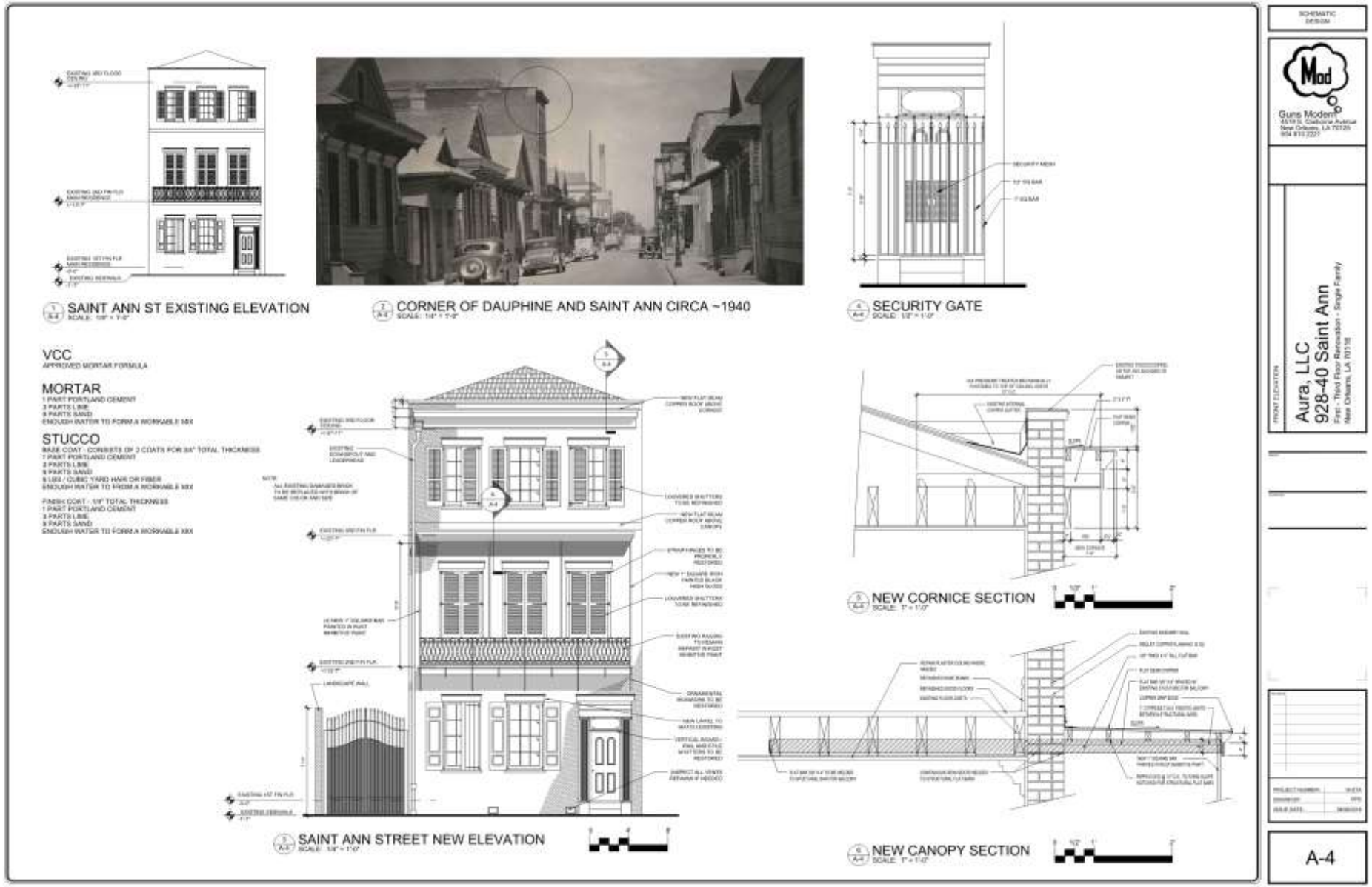
September 11, 2018



928 St Ann

VCC Architectural Committee

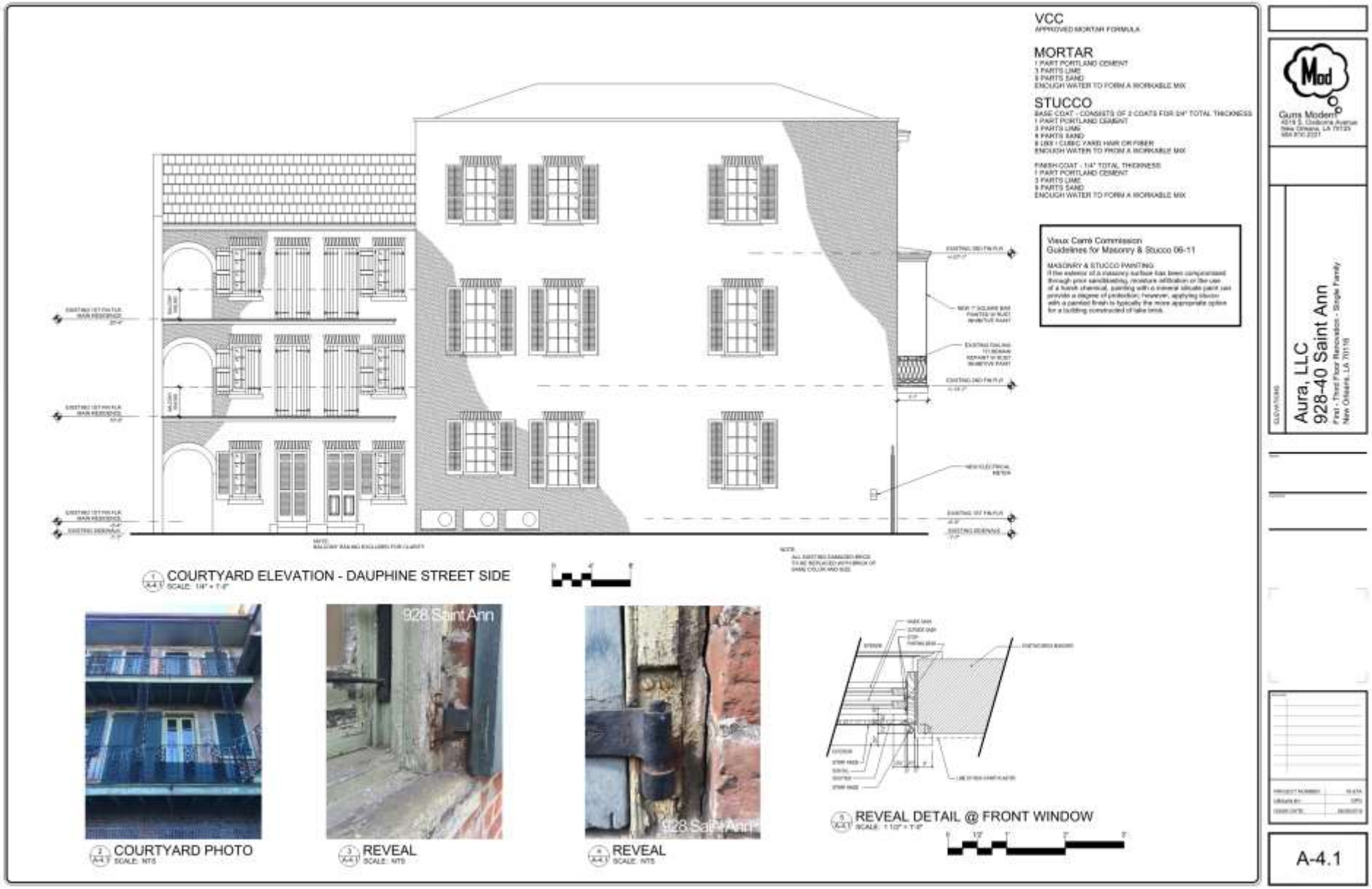
September 11, 2018



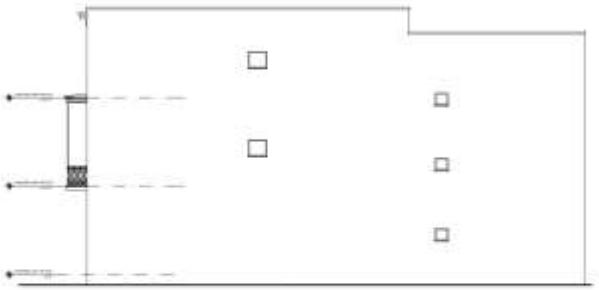
928 St Ann

VCC Architectural Committee

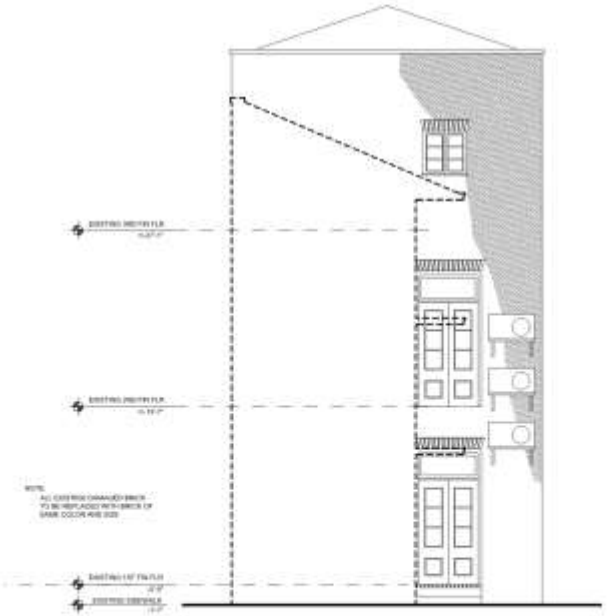
September 11, 2018


VCC
APPROVED MORTAR FORMULA
MORTAR
1 PART PORTLAND CEMENT
3 PARTS LIME
9 PARTS SAND
ENOUGH WATER TO FORM A WORKABLE MIX
STUCCO
BASE COAT - CONSISTS OF 2 COATS FOR 3/4" TOTAL THICKNESS
1 PART PORTLAND CEMENT
3 PARTS LIME
9 PARTS SAND
6 LBS / CUBIC YARD HAIR OR FIBER
ENOUGH WATER TO FROM A WORKABLE MIX
FINISH COAT - 1/4" TOTAL THICKNESS
1 PART PORTLAND CEMENT
3 PARTS LIME
9 PARTS SAND
ENOUGH WATER TO FORM A WORKABLE MIX
Vieux Carré Commission
Guidelines for Masonry & Stucco 06-11
MASONRY & STUCCO PAINTING
If the exterior of a masonry surface has been compromised through prior sandblasting, moisture infiltration or the use of a harsh chemical, painting with a mineral silicate paint can provide a degree of protection; however, applying stucco with a painted finish is typically the more appropriate option for a building constructed of lake brick.
COURTYARD ELEVATION - DAUPHINE STREET SIDE
COURTYARD PHOTO
928 Saint Ann
REVEAL
REVEAL
REVEAL DETAIL @ FRONT WINDOW
Mod
Guns Modern
Aura, LLC
928-40 Saint Ann
A-4.1

928 St Ann



1 A-4.2 OPPOSITE COURTYARD ELEVATION - BURGUNDY STREET SIDE
SCALE: 1/8" = 1'-0"



2 A-4.2 COURTYARD PARTIAL SECTION ELEVATION
SCALE: 1/4" = 1'-0"

3 A-4.2 SIDE ELEVATION REVEALS
SCALE: NTS

VCC
APPROVED MORTAR FORMULA

MORTAR
1 PART PORTLAND CEMENT
3 PARTS LIME
9 PARTS SAND
ENOUGH WATER TO FORM A WORKABLE MIX

STUCCO
BASE COAT - CONSISTS OF 2 COATS FOR 3/4" TOTAL THICKNESS
1 PART PORTLAND CEMENT
3 PARTS LIME
9 PARTS SAND
6 LBS / CUBIC YARD HAIR OR FIBER
ENOUGH WATER TO FROM A WORKABLE MIX

FINISH COAT - 1/4" TOTAL THICKNESS
1 PART PORTLAND CEMENT
3 PARTS LIME
9 PARTS SAND
ENOUGH WATER TO FORM A WORKABLE MIX

4 A-4.2 REAR ELEVATION REVEAL
SCALE: NTS

5 A-4.2 SIDE ELEVATION REVEALS
SCALE: NTS

SCHEMATIC DESIGN

Mod
Guns Modern
4519 S. Galvez Avenue
New Orleans, LA 70125
504.616.2221

Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70116

A-4.2

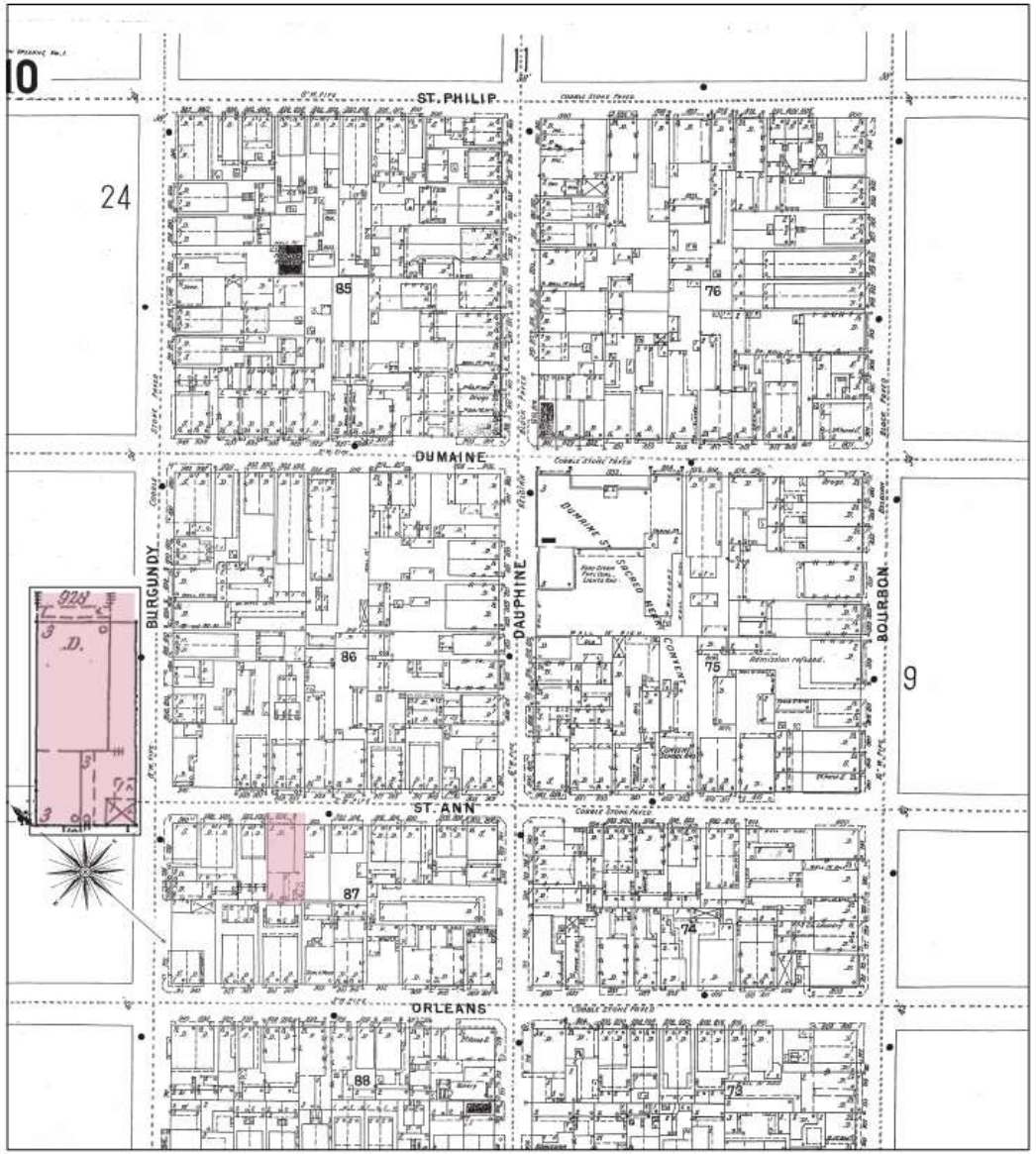
928 St Ann

VCC Architectural Committee

September 11, 2018

928 St. Ann Street, 2018

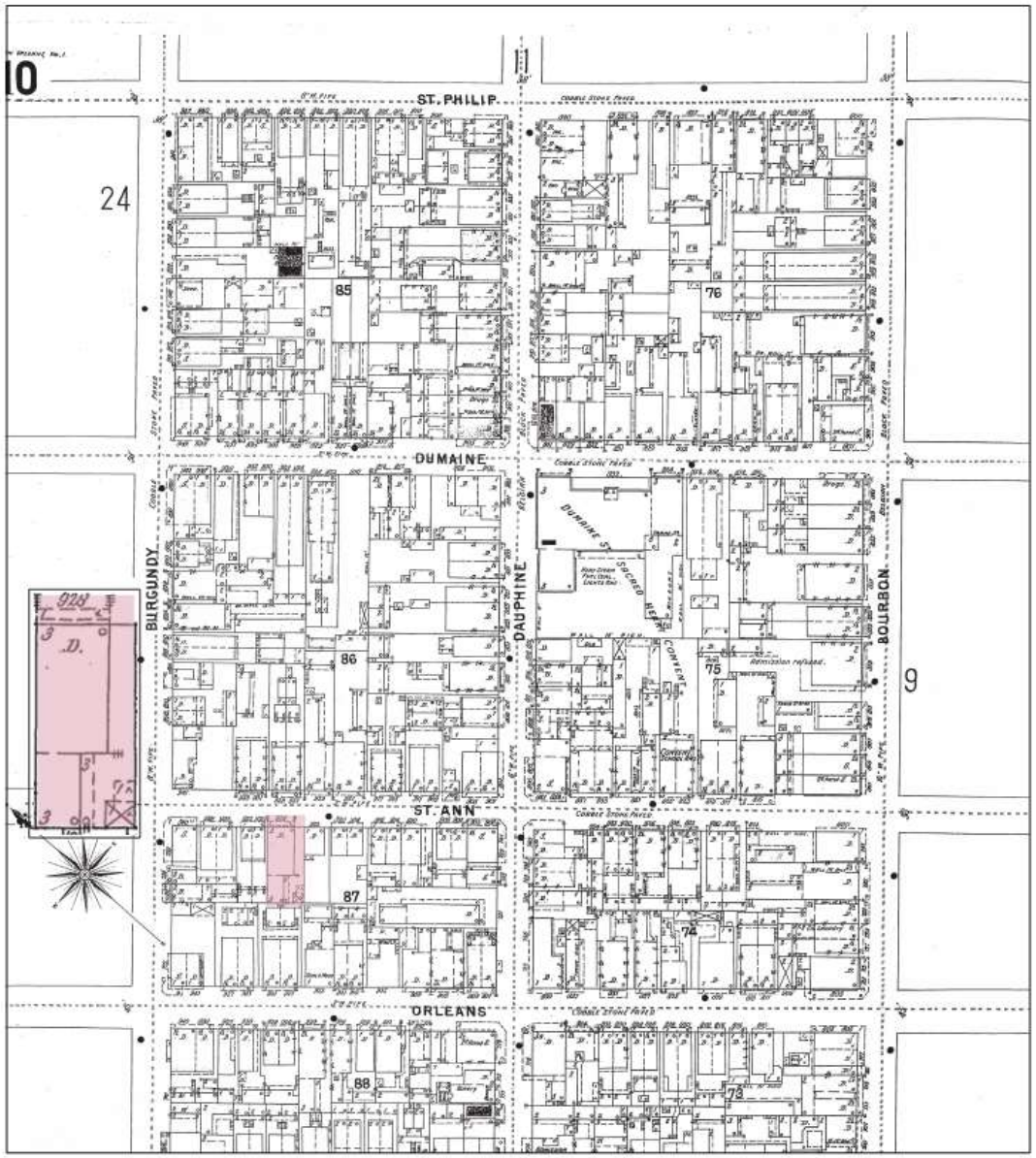
928 St. Ann Street, New Orleans, LA



928 St Ann

VCC Architectural Committee

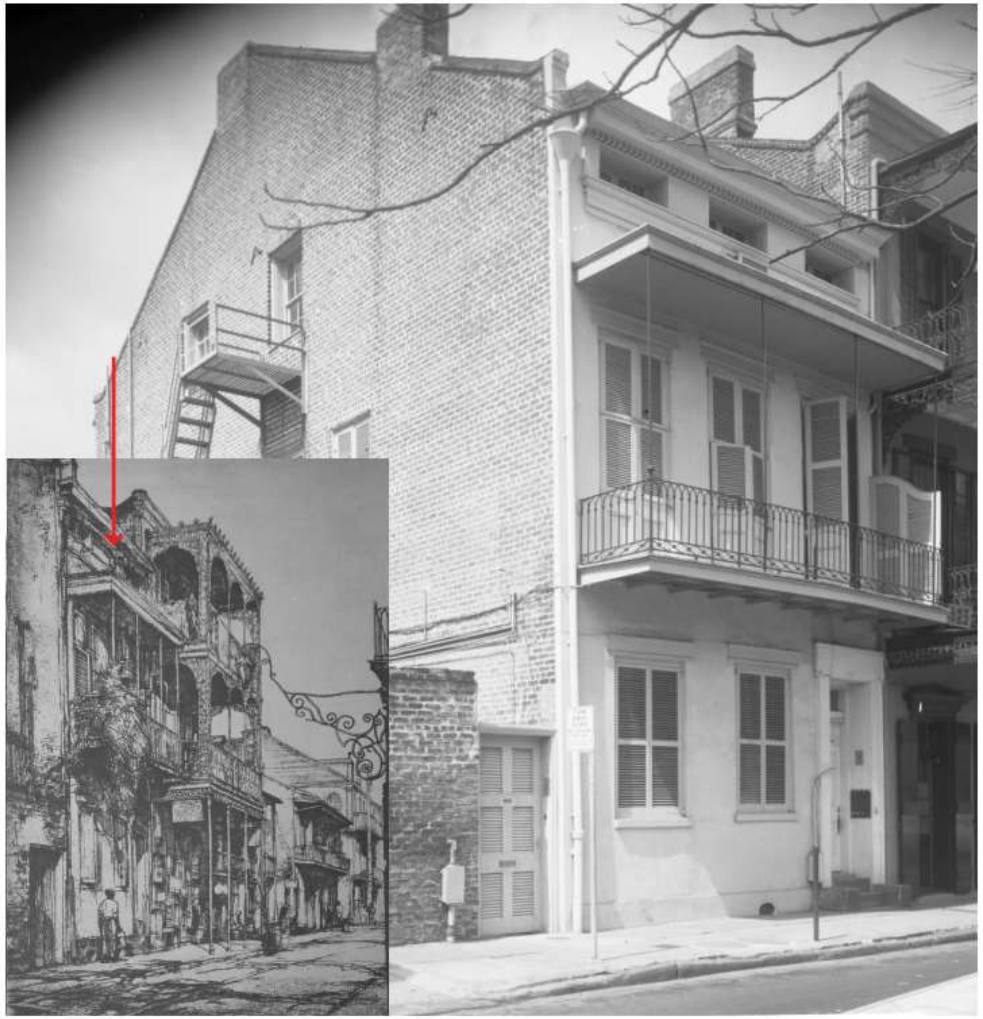
September 11, 2018



COMPARABLE NO. 1: 827 BURGUNDY STREET (built 1830s)
Photo: c.1940s-50s (Walter Cook Keenan, Vieux Carre Survey)

928 St Ann

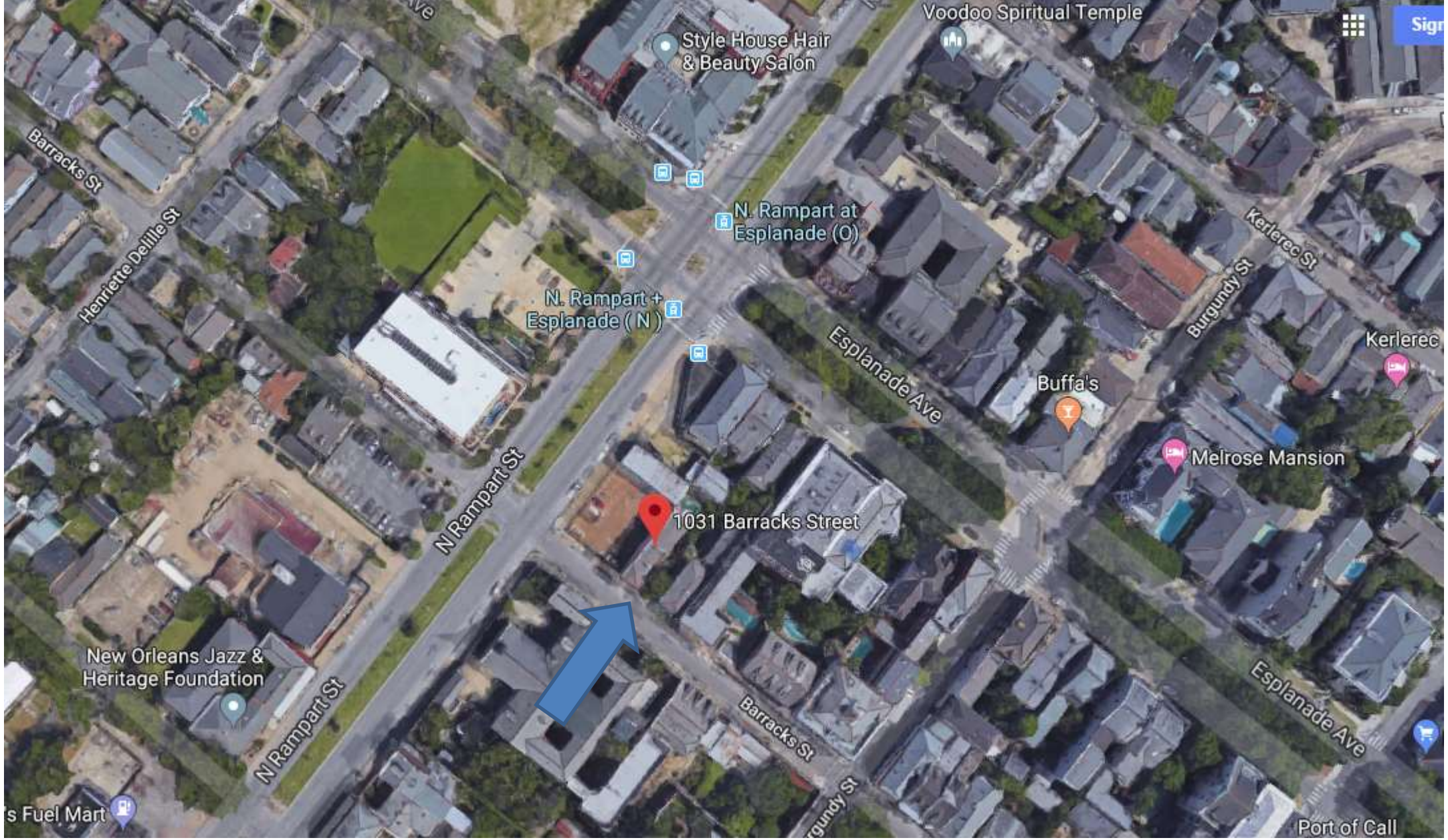
COMPARABLE NO. 2: 620-22 DUMAINE STREET (built c. 1840)
Photo: 1963 (Dan S. Leyrer, Vieux Carre Survey)
Inset illustration: c.1915 (Earl Horter, Vieux Carre Survey)



928 St Ann

Appeals and Violations

1031 Barracks



1031 Barracks

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528 N Rampart

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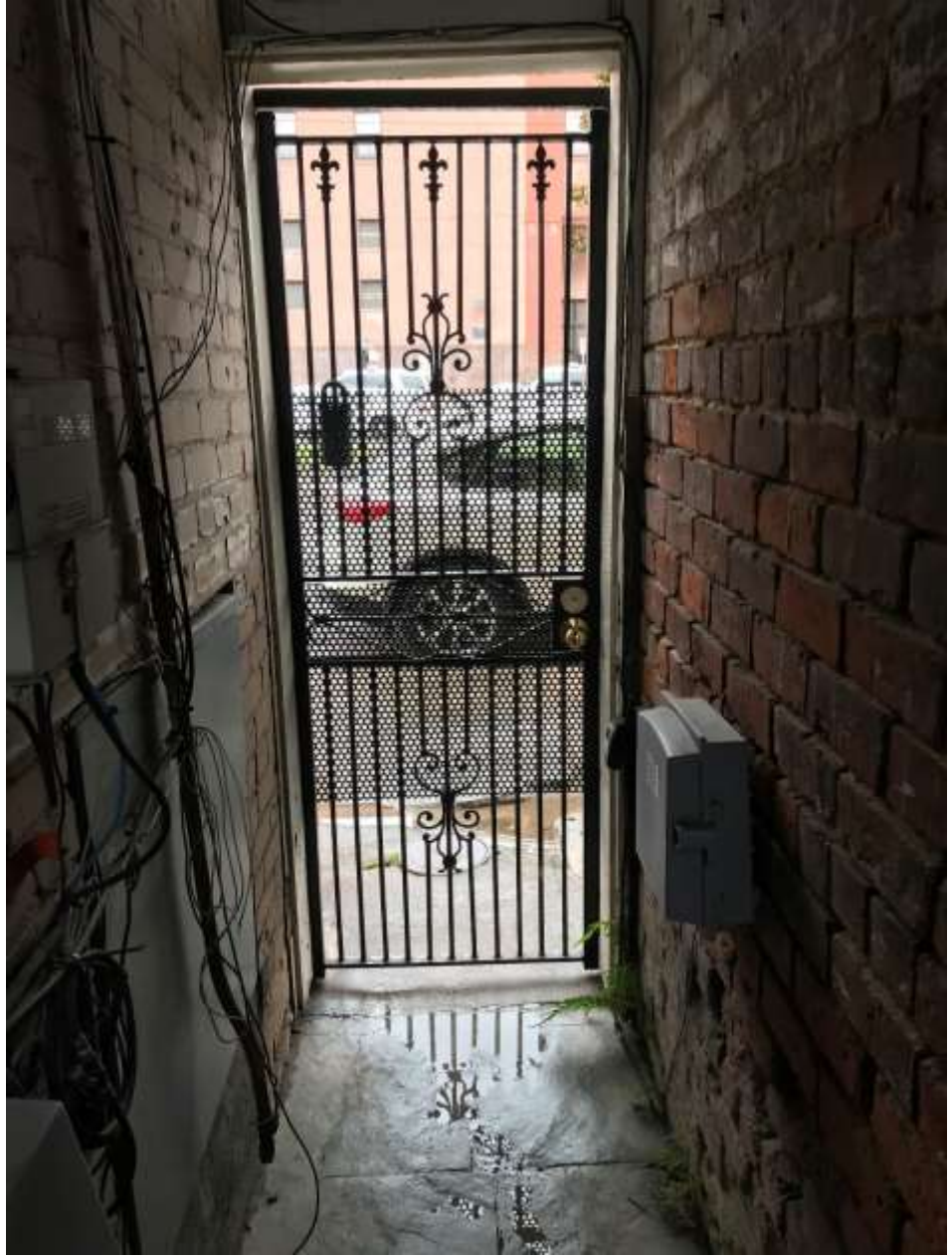
528 N Rampart – Alleyway door in 2014

528 N Rampart – Alleyway gate installed without permits



528 N Rampart – Alleyway gate installed without permits

700 Bourbon

Bourbon St
Voodoo
Blues
St Peter St
Cat's Meow
Embers
Steak House
Bourbon St
St Peter St

700 Bourbon

700 Bourbon

700 Bourbon

700 Bourbon

700 Bourbon

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December 12, 2017

700 Bourbon

VCC Architectural Committee

December 12, 2017

700 Bourbon

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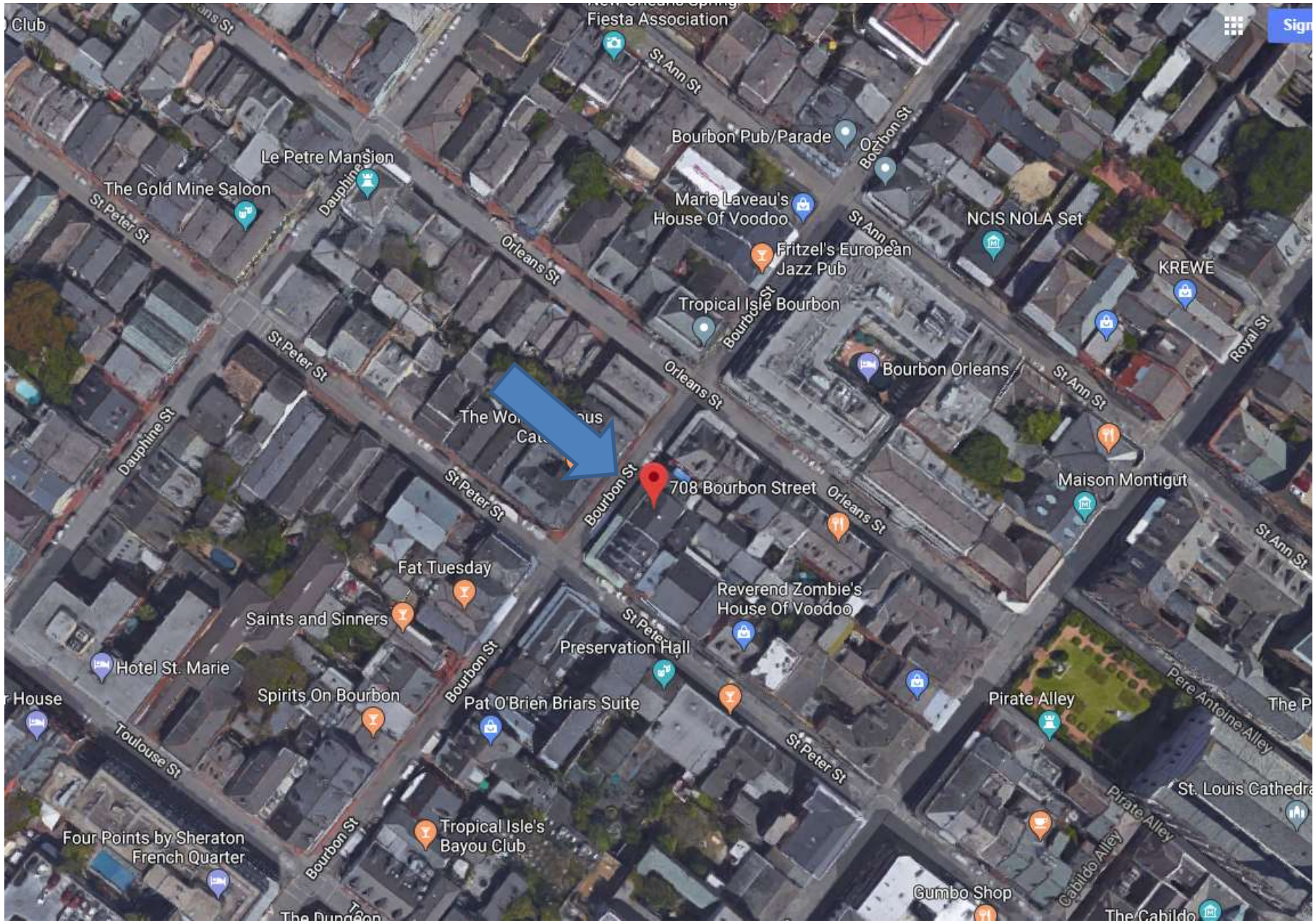
December 12, 2017

706-08 Bourbon


Fiesta Association
St Ann St
Bourbon Pub/Parade
Bourbon St
Le Petre Mansion
The Gold Mine Saloon
St Peter St
Dauphine St
Marie Laveau's House Of Voodoo
NCIS NOLA Set
Fritzel's European Jazz Pub
Orleans St
KREWE
Tropical Isle Bourbon
Royal St
Bourbon Orleans
St Ann St
708 Bourbon Street
Maison Montigut
Fat Tuesday
Saints and Sinners
Reverend Zombie's House Of Voodoo
Preservation Hall
Hotel St. Marie
Spirits On Bourbon
Pat O'Brien Briars Suite
Pirate Alley
Pere Antoine Alley
Toulouse St
St. Louis Cathedra
Four Points by Sheraton French Quarter
Tropical Isle's Bayou Club
Gumbo Shop
Cabildo Alley
The Cabildo

708 Bourbon

708 Bourbon

708 Bourbon

708 Bourbon

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811 Toulouse

811 Toulouse

601-605 Bourbon, 811 Toulouse

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811 Toulouse

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811 Toulouse – 2009 Prior to Awning Installation

811 Toulouse – 2009 Prior to Awning Installation

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