

# Vieux Carré Architecture Committee Meeting

Tuesday, October 13, 2020

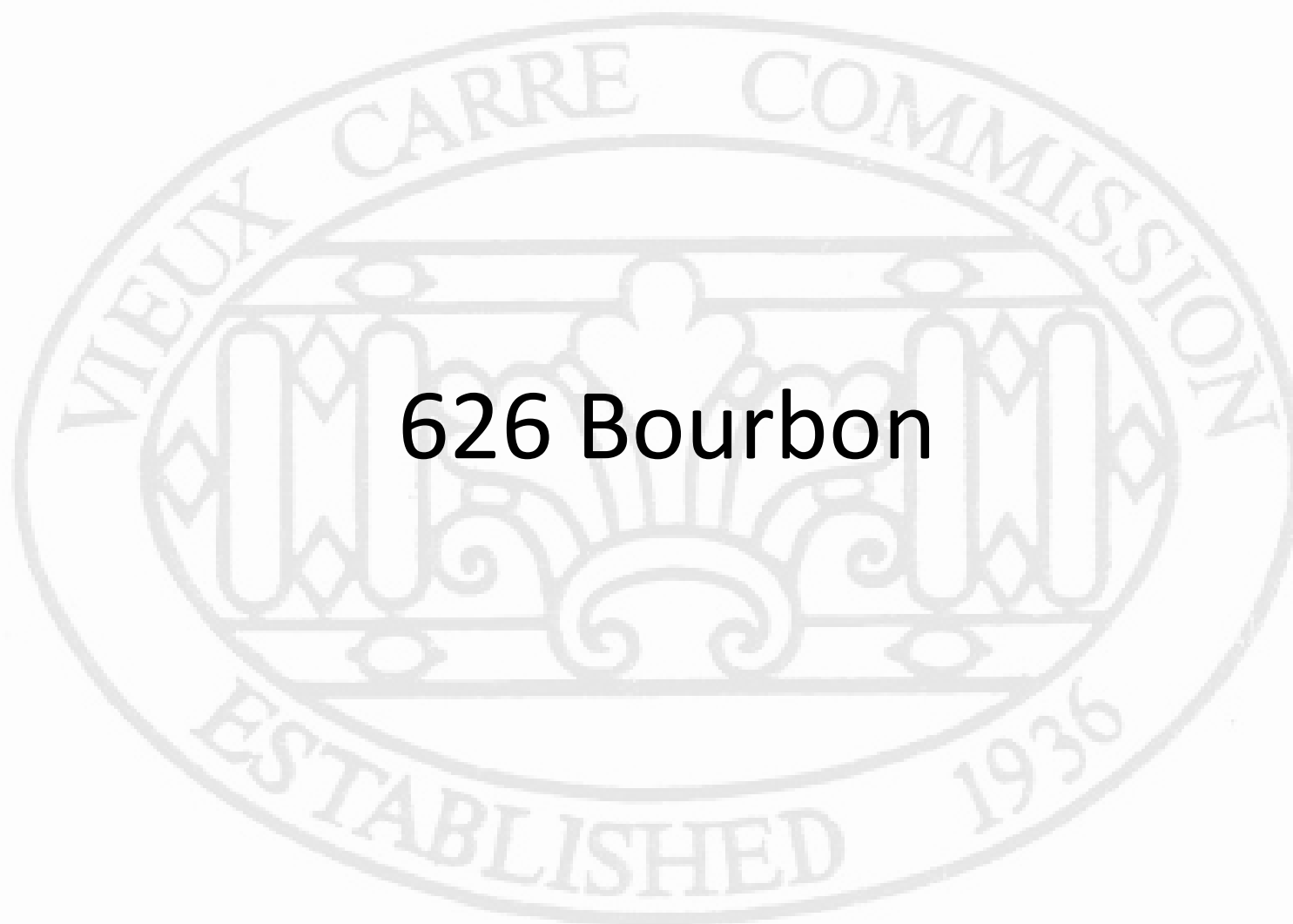




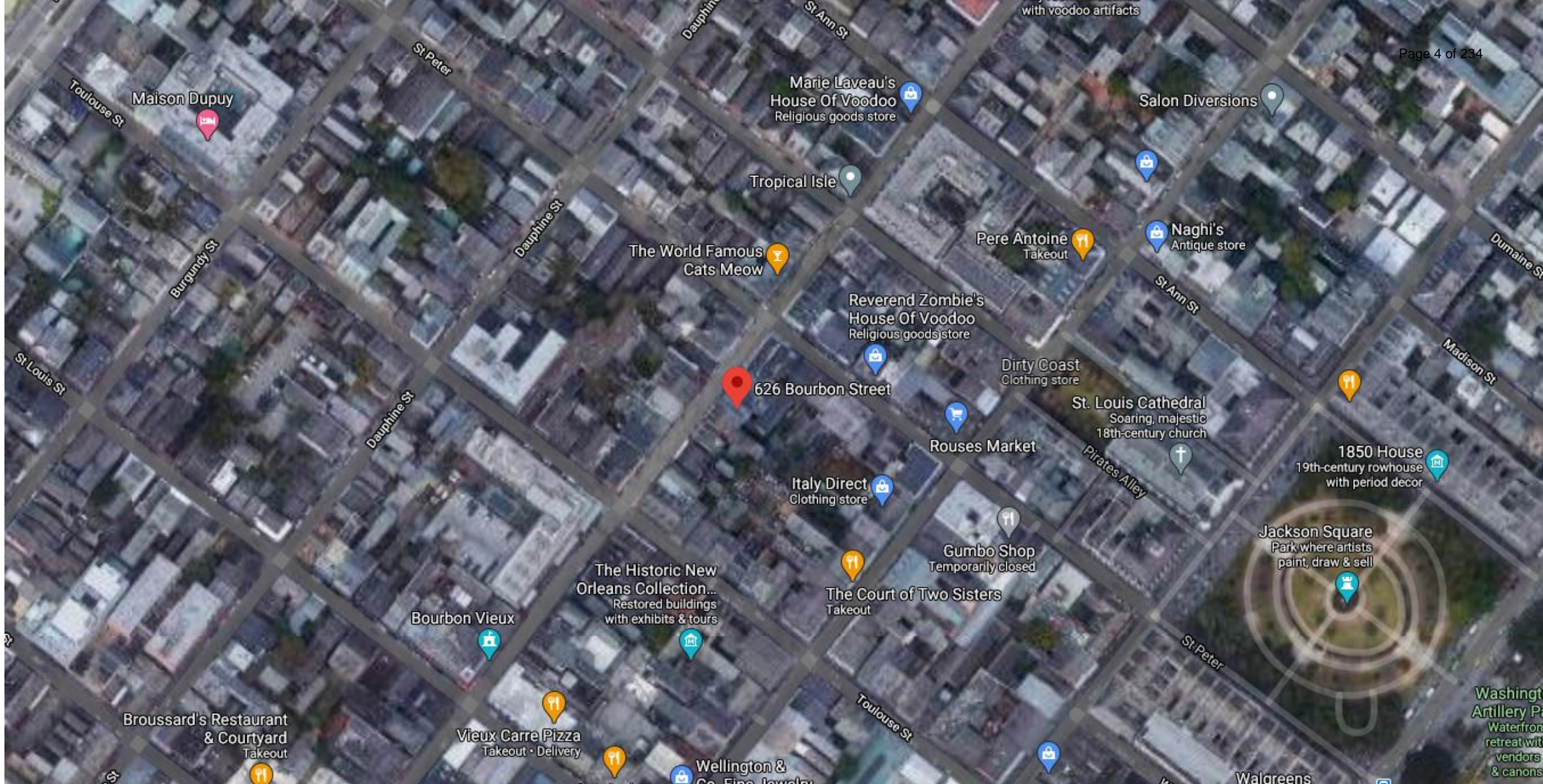
# Old Business



626 Bourbon







## 626 Bourbon

VCC Architectural Committee

September 22, 2020







626 Bourbon

VCC Architectural Committee

September 22, 2020





626 Bourbon

VCC Architectural Committee



September 22, 2020







626 Bourbon

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September 22, 2020







626 Bourbon – current conditions

VCC Architectural Committee

September 22, 2020







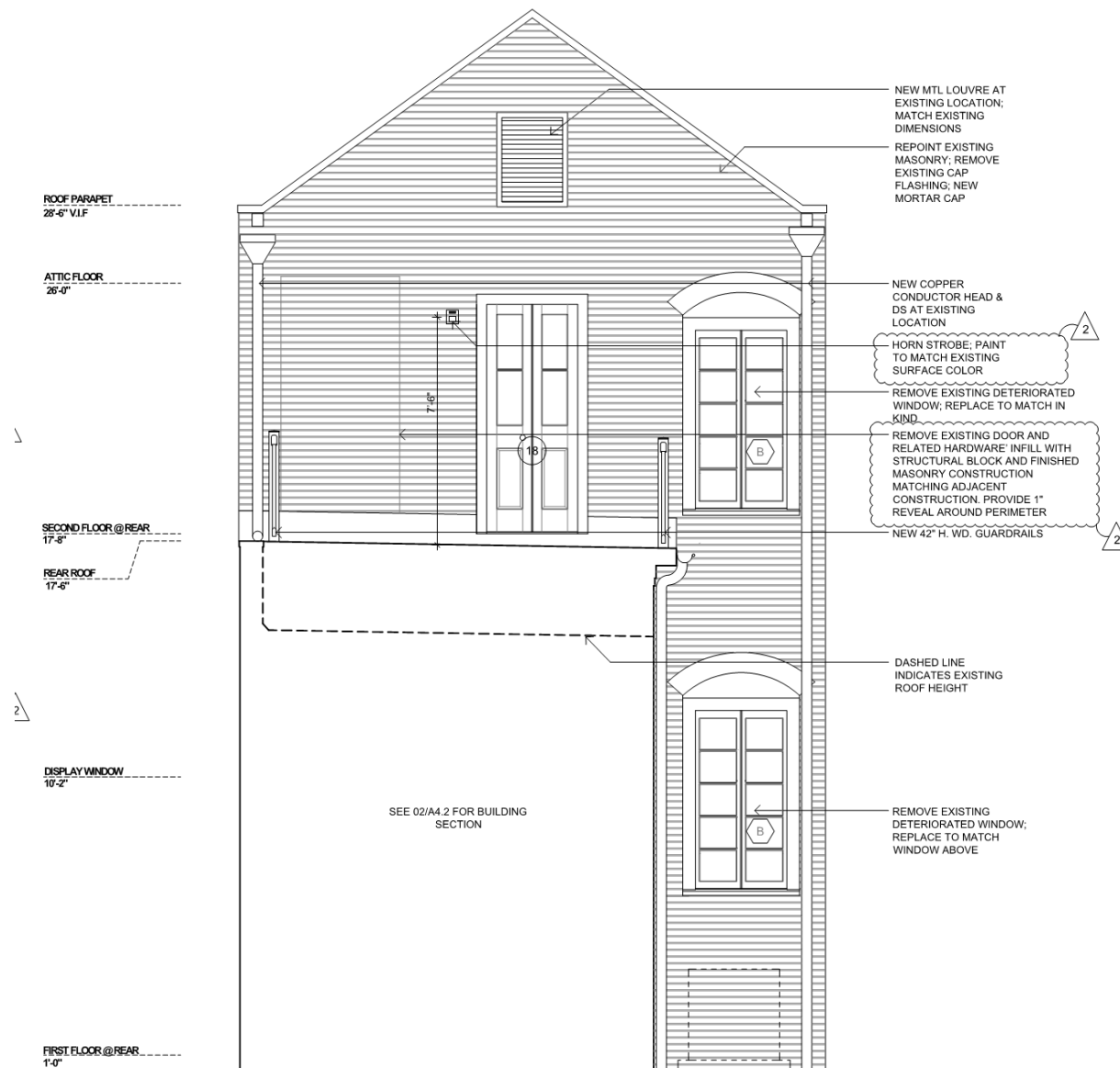
626 Bourbon – prior to removal





626 Bourbon – second floor casement window





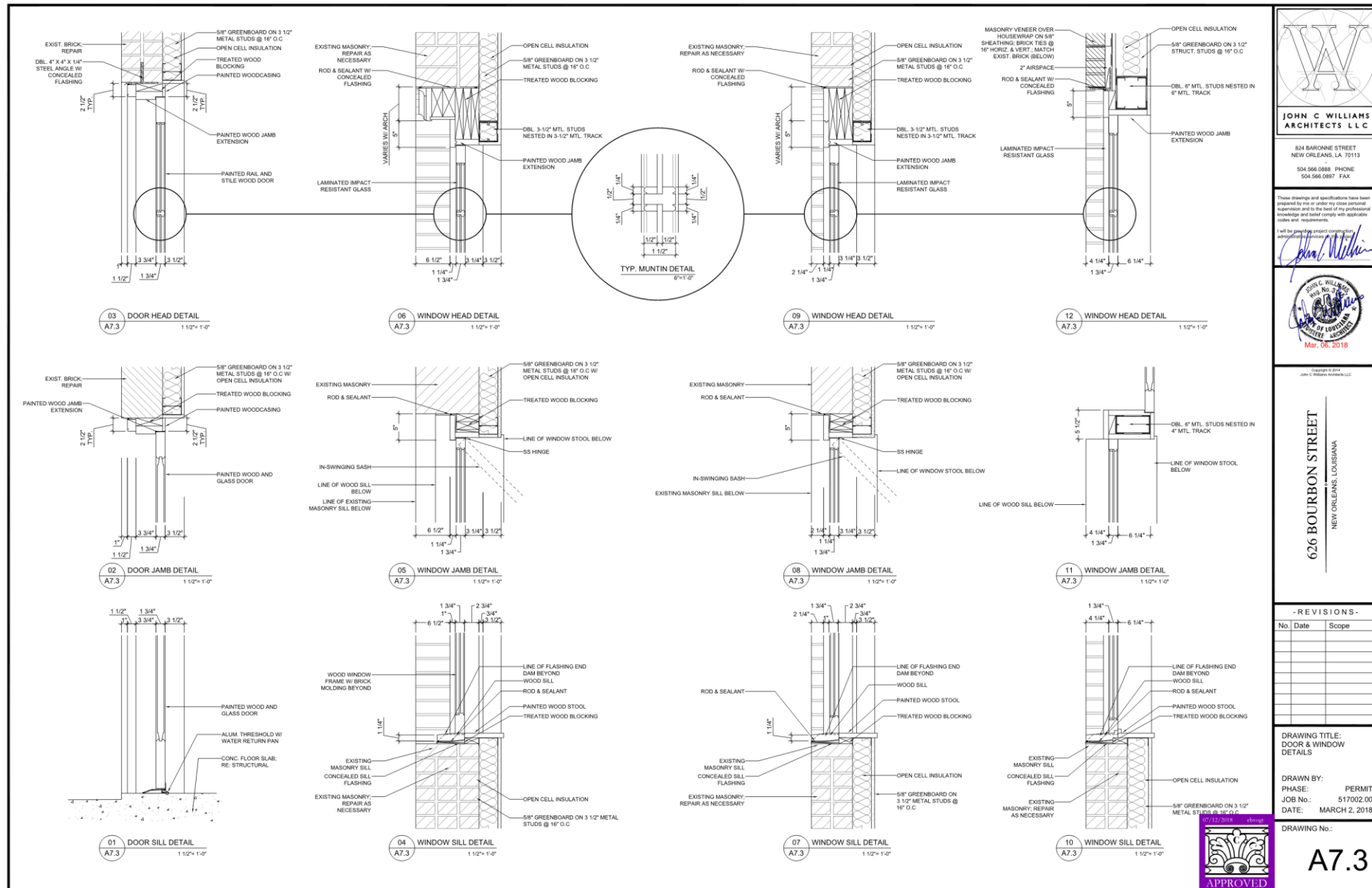
626 Bourbon

VCC Architectural Committee

September 22, 2020

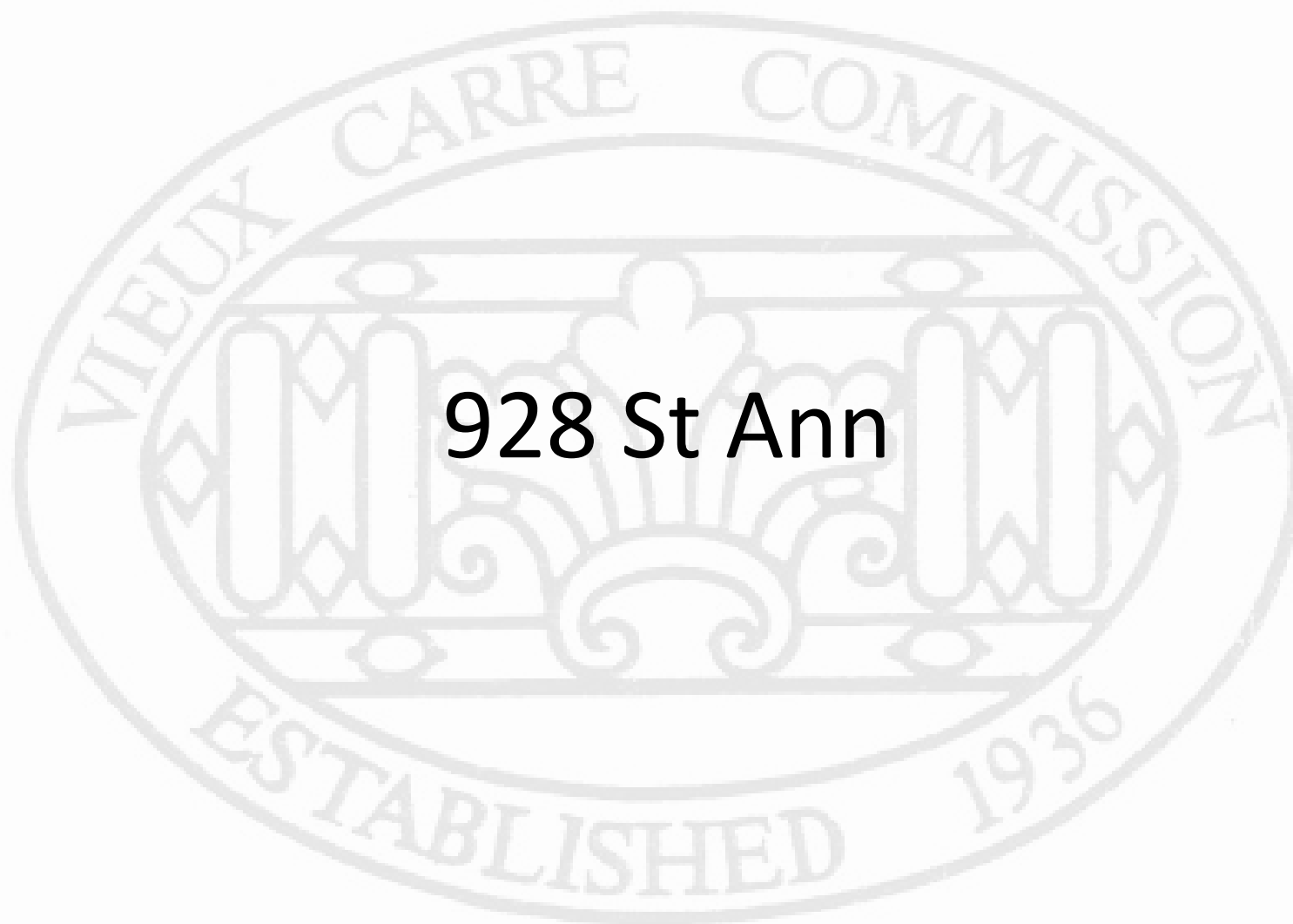




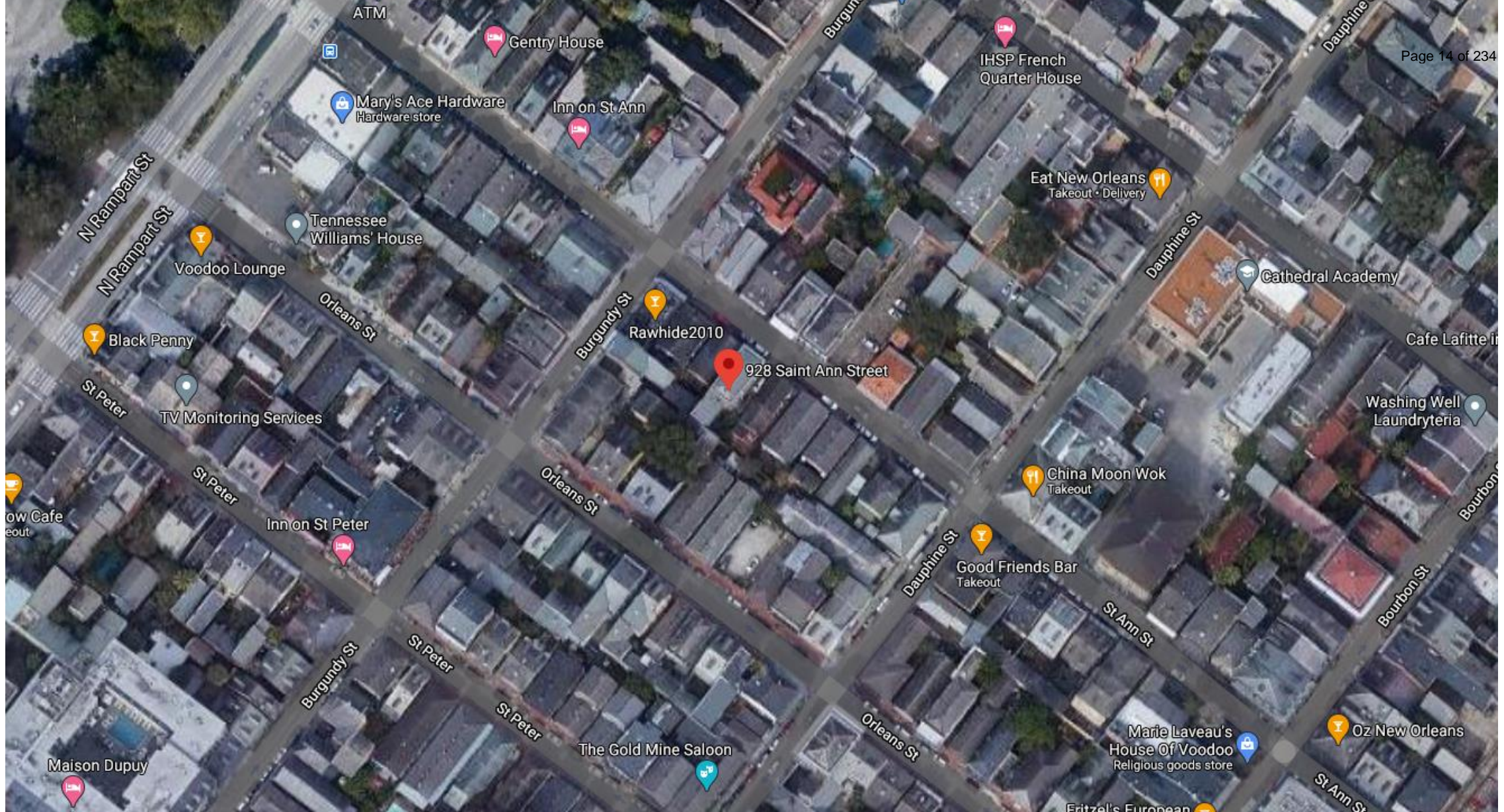




928 St Ann







928 St Ann

VCC Architectural Committee

September 22, 2020







928 St Ann

VCC Architectural Committee

September 22, 2020







928 St Ann

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September 22, 2020







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September 22, 2020







928 St Ann

VCC Architectural Committee

September 22, 2020





Attachment A  
Page 1

## 928 St. Ann Street

Building contract between L. Cordier, builder, and Gabriel Montamat, owner  
Charles V. Foulon, notary  
January 20, 1842

### Page 1:

L. Cordier agrees to build a house on a parcel belonging to Gabriel Montamat, located on St. Ann Street between Dauphine and Burgundy Street. The said house will be 23 feet 8 inches [1 pouce=1.066 in] facing St. Ann Street by 50 feet in depth, and a kitchen building [service wing] the full depth of the property in which the rooms will be 10 feet by 12 feet on the interior and partitioned according to the floor plan. The walls of the house facing the street and the courtyard, and facing the main passage [carriageway], as well as the common walls, will be a brick and a half thick, and the partition walls will be one brick thick. Two vents will be located on the street and on the courtyard side to provide ventilation beneath the floorboards. The house will have a ground floor (rez de chausee), a 2<sup>nd</sup> floor (premier etage), and an attic [amended in November 10, 1842 agreement to replace attic with a full 3<sup>rd</sup> story]. The ground floor will have 13-foot ceilings; the openings facing the street will be cased openings with board-and-batten shutters and sliding sashes, and those facing the main passage [carriageway] will also be cased openings with shutters and sliding sashes. The openings onto the interior hallway will be paneled doors as will be those onto the [rear] gallery, but the entrance door to this hall will be the same as the one at Mr. Taney's house on St. Louis Street between Dauphine and Burgundy [908 St. Louis Street], with a transom. The carriageway gates will be two inches thick, and a grille will be installed in one of the doors. There will be a sliding door [likely pocket doors] separating the two rooms. All of the openings on this floor will be 10 feet tall, including transoms. The paneled doors will be single leaves 3 feet wide, and the openings on the gallery side will be 2 leaves totaling 4 feet wide and will be cased with glazed doors [French doors]. The joists will be 3x12 inches, the floor boards about 6 inches [wide]. The floor will be elevated 2 feet above the sidewalk. The baseboards will be 12 inches wide, and the pilastered wood mantels

Kitchen: The kitchen will have a ground floor, 2<sup>nd</sup> floor, and 3<sup>rd</sup> floor with balconies. The ground floor will have 10-foot ceilings; the 2<sup>nd</sup> and 3<sup>rd</sup> floors will have 9-foot ceilings. The common wall will be one foot thick up to the attic; the wall facing the courtyard will be 12 inches up to the top of the 1<sup>st</sup> floor; all of the other walls will be one brick thick only. The joists on the first and 2<sup>nd</sup> floors will be 3x8 inches and those in the attic will be 3x6 inches; the floors and baseboards will be 6 to 7 inches approximately. All of the openings will be barred [barrés] doors and board-and-batten shutters. The ground floor will have one glazed window per room; all of the other openings

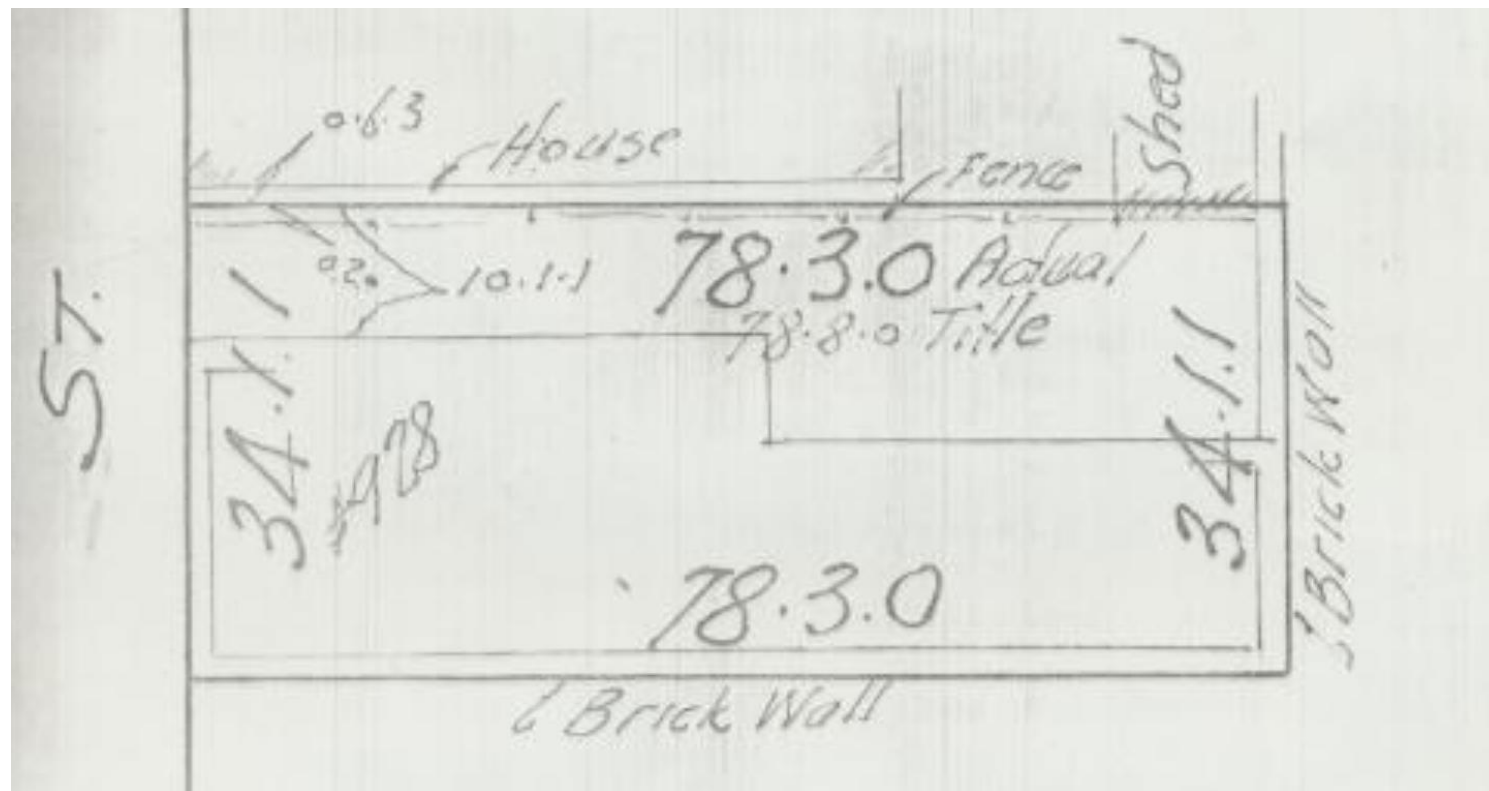
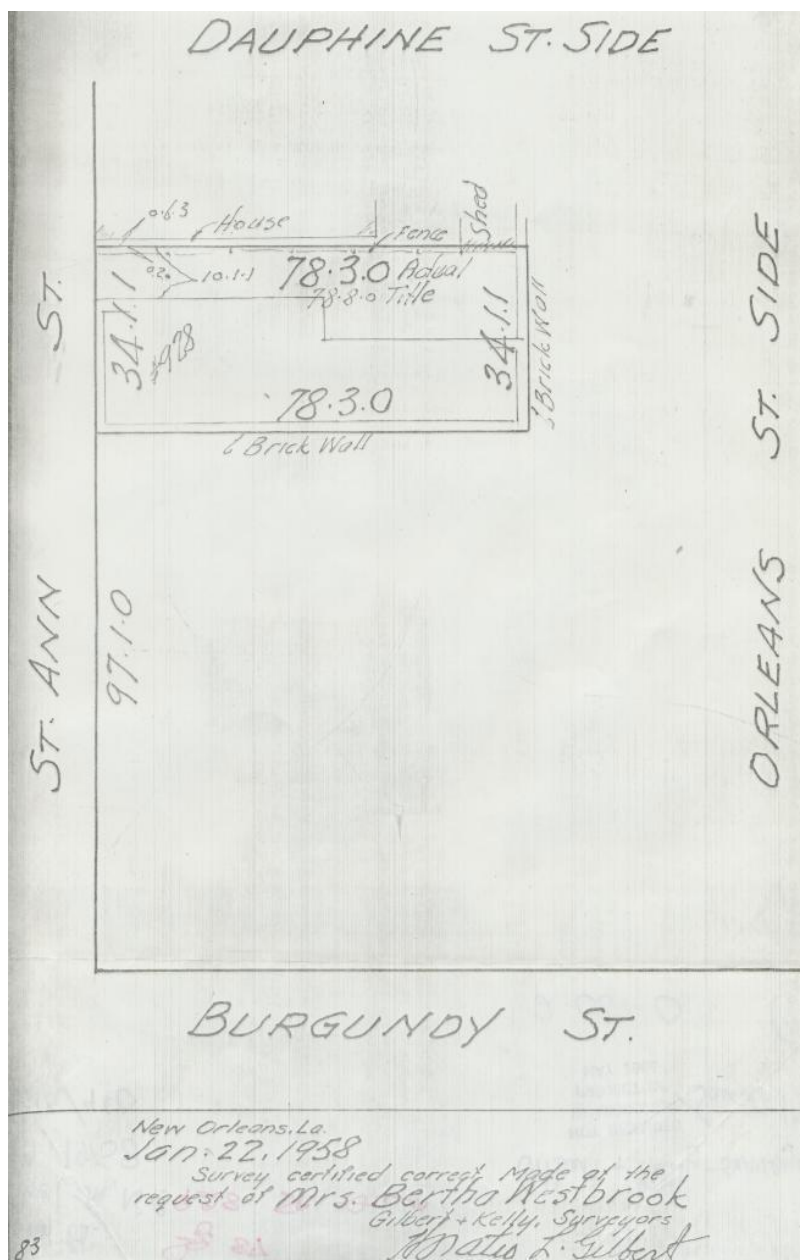
### Page 3:

will be glazed. There will be an 11-foot enclosing wall around the perimeter of the courtyard. It is understood, however, that the bricks for this wall from the street to the rear depth of the house will be provided by Mr. Montamat. The courtyard will be paved with flat stones as well as the main passage [carriageway] which is 8 feet wide. All of the buildings will be covered with slate roofing tiles. On the wall facing the street and at the kitchen building there will be copper gutters with leaderheads and tin downspouts; and on the courtyard side a tin gutter with tin downspouts like the others; all glazed and painted with three coats. The wall facing the street will be painted a plain color. All of the materials, including the ironwork [hardware, etc.], will be of premium quality. The joinery will be done correctly, and the door and window frames will be worked into the form of pilasters; everything done and provided and supplied in conformance with the plan for the sum of \$7,500 [piastres] as follows:

Attachment A  
page 2







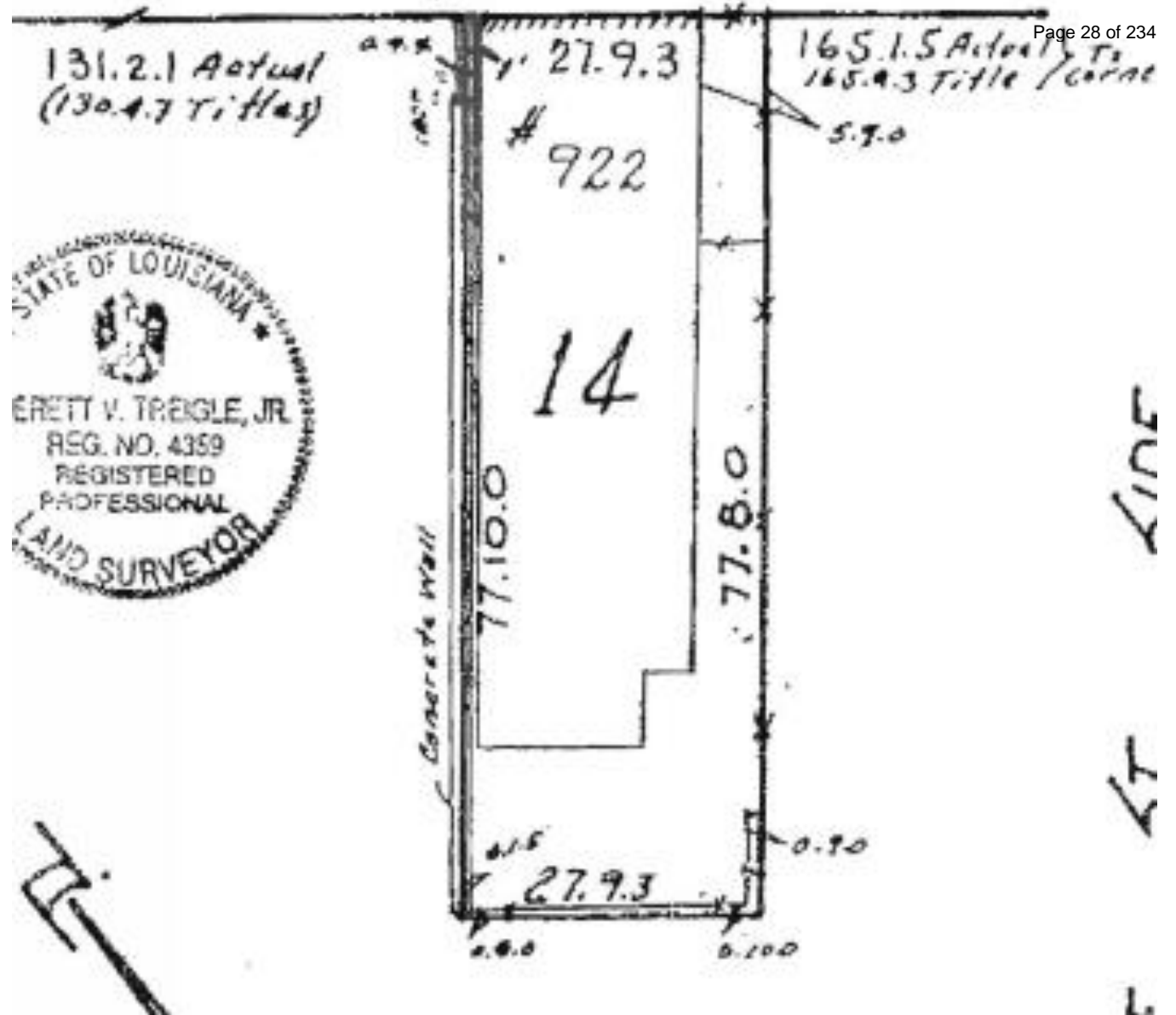
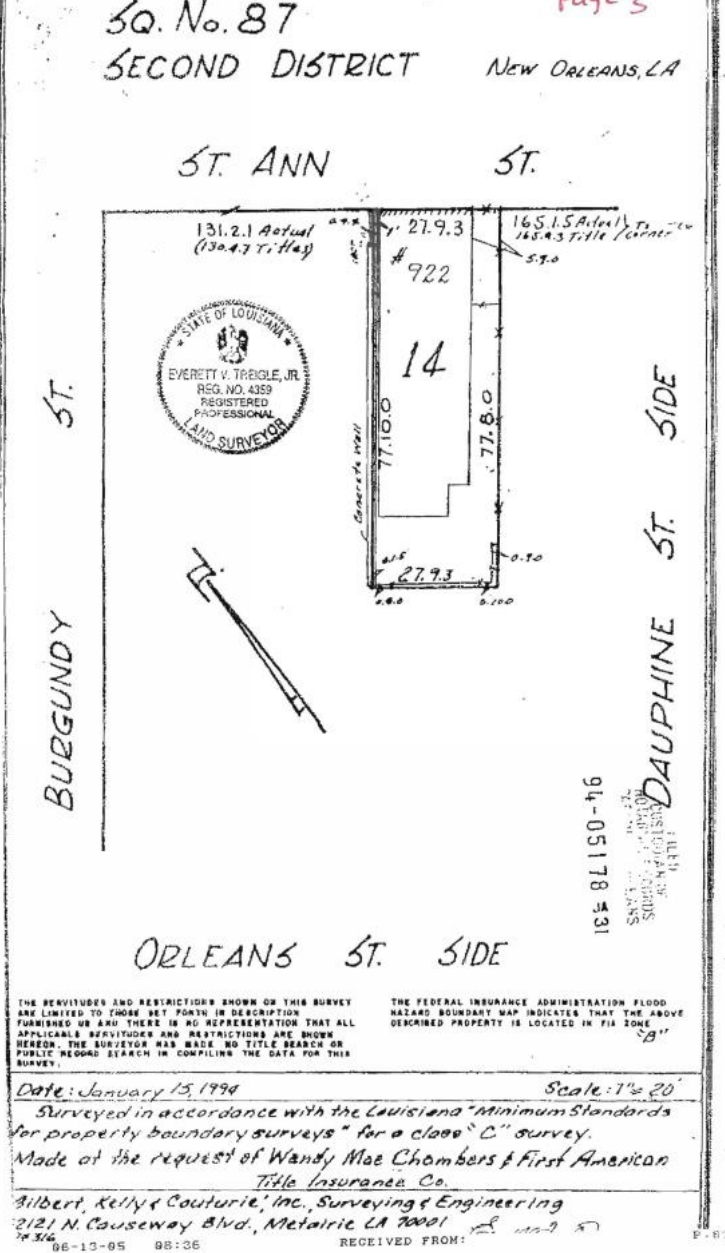
928 St Ann – 1958 survey

VCC Architectural Committee

September 22, 2020







922 St Ann – 1994 survey

VCC Architectural Committee

September 22, 2020







Attachment C

928 St Ann – 2008

VCC Architectural Committee

September 22, 2020







# Vieux Carré Commission

354 Royal Street - 2<sup>nd</sup> Floor  
New Orleans, LA 70130  
Telephone: (504) 658-1420 Fax: (504) 658-6742  
(website e-mail) <http://www.cityofno.com/Portals/Portals00/portal.aspx>



## GENERAL WORK APPLICATION

(Please Print)  
ADDRESS OF PROPERTY 922 St. Ann St.  
APPLICANT Syzzy Construction, LLC (Contractor)  
536 Washington Ave., New Orleans  
E-MAIL ADDRESS travis@syzygyconstruction.com  
OWNER OF PROPERTY Sharon Heiman  
7523 Brookview Circle Indianapolis, IN  
ARCHITECT NONE  
CONTRACTOR Syzzy Construction, LLC  
536 Washington Ave., New Orleans

902-5200  
DAYTIME TELEPHONE  
401-8214  
BEER/CELL PHONE  
371-413-6697  
DAYTIME TELEPHONE  
408-55  
ZIP CODE  
DAYTIME TELEPHONE  
402-5300  
DAYTIME TELEPHONE  
703-55  
ZIP CODE

### DETAILED DESCRIPTION OF PROPOSED WORK:

- Build 16 foot fence of "seven-board" per drawing sent by Steve McNair
- Paint both sides of fence french quarter green to match house trim

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- Build 16 foot fence of "seven-board" per drawing sent by Steve McNair
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\* THE DRS OFFERS A JOB REHABILITATION TAX CREDIT (RTC) ON CONSTRUCTION COSTS AND ARCHITECT'S FEES, FOR EXISTING-PRODUCING PROPERTIES. FOR INFORMATION CONCERNING RTC APPLICATIONS, CONTACT THE LOUISIANA DIVISION OF HISTORIC PRESERVATION AT (225) 342-6300.  
\* A RESTORATION TAX ABATEMENT, APPLICABLE TO LOCAL PROPERTY TAXES, IS ALSO AVAILABLE. FOR INFORMATION, CONTACT THE NEW ORLEANS OFFICE OF ECONOMIC DEVELOPMENT, 1540 PULASKI ST., ZIP 70119, (504) 658-1099 OR THE LOUISIANA DIVISION OF BUSINESS INCENTIVES AT (225) 342-6300.  
\* IS THE PROPOSED WORK IN RESPONSE TO A Vieux Carré Commission Violation Notice? YES ☒ NO ☐  
\* ESTIMATED COST OF PROPOSED WORK: \$1500.00

NOTE: PROPOSED WORK MUST NOT BEGIN PRIOR TO THE ISSUANCE OF THE PERMIT REQUESTED. PERMITS ARE ISSUED IN PERSON AT THE Vieux Carré Commission Office. ALL PERMITS EXPIRE SIX (6) MONTHS FROM DATE OF ISSUANCE UNLESS OTHERWISE NOTED. AN ADDITIONAL PERMIT WILL BE REQUIRED FROM THE DEPARTMENT OF SAFETY AND PERMITS EXCEPT AS NOTED IN THE CITY BUILDING CODE. REMOVAL/DISTURBANCE OF EXISTING LEAD-BASED PAINT/SUBSTANCES IS REGULATED BY THE DEPARTMENT OF SAFETY & PERMITS. LEAD-BASED PAINT/SUBSTANCES ARE NOT PERMITTED FOR USE.

WHEN REQUIRED BY VCC STAFF, APPLICATIONS MUST BE ACCOMPANIED BY CLEARLY DRAWN PLANS AND SPECIFICATIONS. WHEN ARCHITECTURAL DRAWINGS ARE REQUIRED, THEY MUST BE STAMPED BY A LOUISIANA REGISTERED ARCHITECT, SIGNED AND DATED.

### Applicant's Declaration of Use

A change in use which also involves any exterior change requires a public hearing before the Vieux Carré Commission as per Section 8.1, Article 9 of the 1996 N.O. Comprehensive Zoning Ordinance.

Please fill in blanks below or this application will not be processed:

Address of Property: 922 St. Ann St.  
Current Use: Single Family Residential  
Proposed Use: Same

I CERTIFY THAT I HAVE THE AUTHORITY OF THE CURRENT PROPERTY OWNER(S) TO APPLY FOR THE WORK PROPOSED, AND ALL INFORMATION GIVEN IS TRUE AND CORRECT.

Travis Marking  
PRINT NAME

*[Signature]*  
SIGNATURE

3/6/09  
DATE

Law revised 02/1987

0117

922 St Ann – fence application

VCC Architectural Committee

September 22, 2020







# Vieux Carré Commission

334 Royal Street, Second Floor  
New Orleans, LA 70130  
(504) 658-1420



Permit No. 090117

The Vieux Carré Commission hereby grants permission  
for the approved work specified below.

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets Commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

Address: 922 St. Ann Street

Applicant: Travis Marking

Owner: Sharron Heiman

Contractor: Syzygy Construction, LLC

## Work approved:

- Remove remnants and rubble from collapsed CMU wall on the lake side of the property running parallel to the main building
- Install new seven board fence in same location as previously standing CMU wall
- New wood fence will be 16' long and 8' high
- Both sides of new fence to be painted dark green to match trim on the main building
- New fence to follow details on attached VCC Detail Sheets 27 and 28

All work must conform to standard VCC policies & guidelines

Estimated cost: \$1,500

MSM, March 11, 2009

This permit expires six (6) months from date of issuance, and may be renewed if work is proceeding satisfactorily. A permit may still be required from the City of New Orleans, Department of Safety and Permits. A Vieux Carré surcharge will be assessed against all city building permits which also require a Vieux Carré Commission permit. This project will be inspected on a regular basis by the Vieux Carré Commission staff to guarantee that the work executed conforms to this permit.

I, the undersigned, understand that the work must be executed exactly as specified on this permit. If it is determined that changes are necessary, I will apply for those modifications prior to the commencement of any work on those changes.

I certify that I have the authority of the current property owner(s) to perform the "permitted" work.

Signature: Nicole N. Nasson

Print Name: Nicole N. Nasson

Approved: Director

Date: 3/11/09

Attachment D  
Page 2

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets Commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

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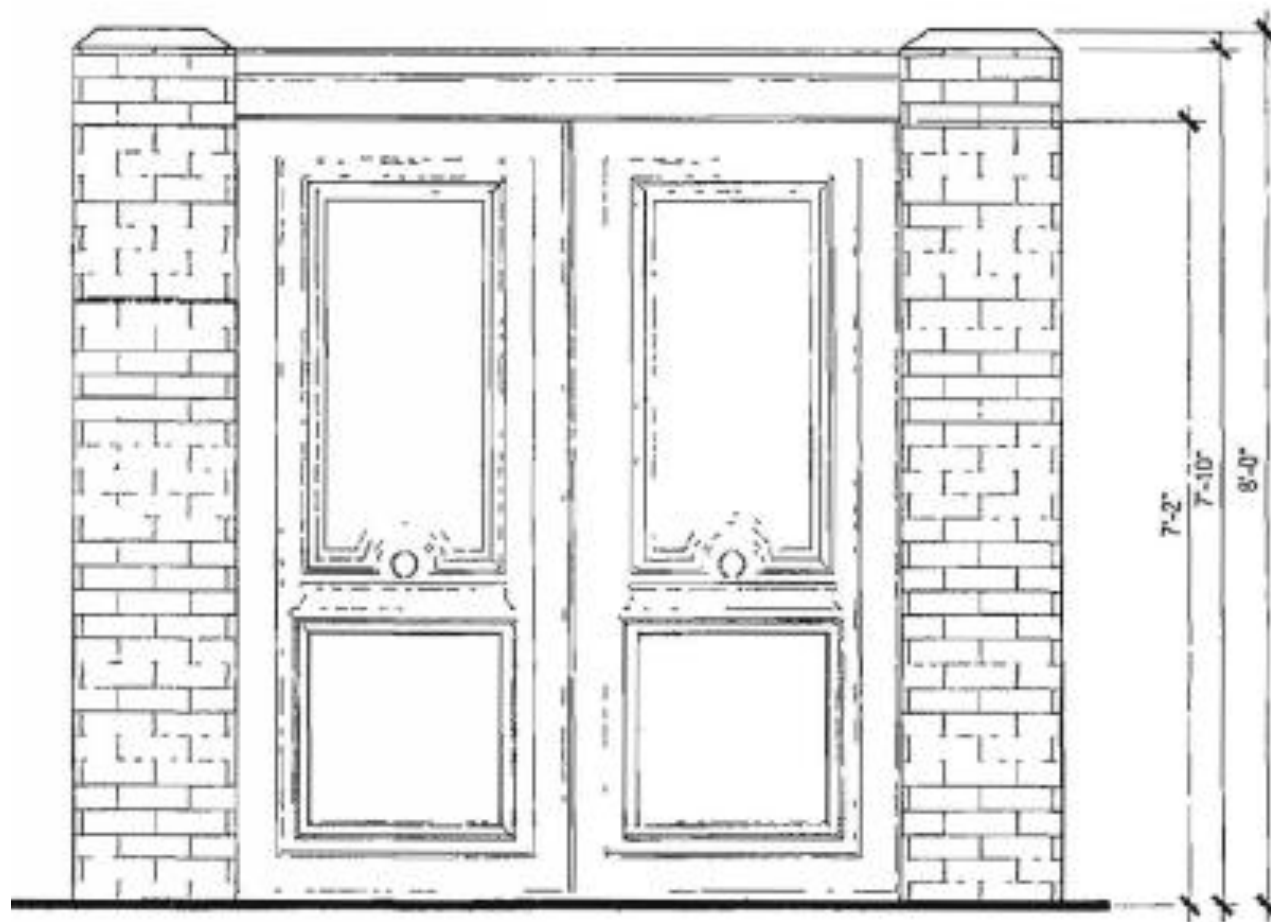
922 St Ann – 2009 fence permit, seven board fence, 8' tall

VCC Architectural Committee

September 22, 2020

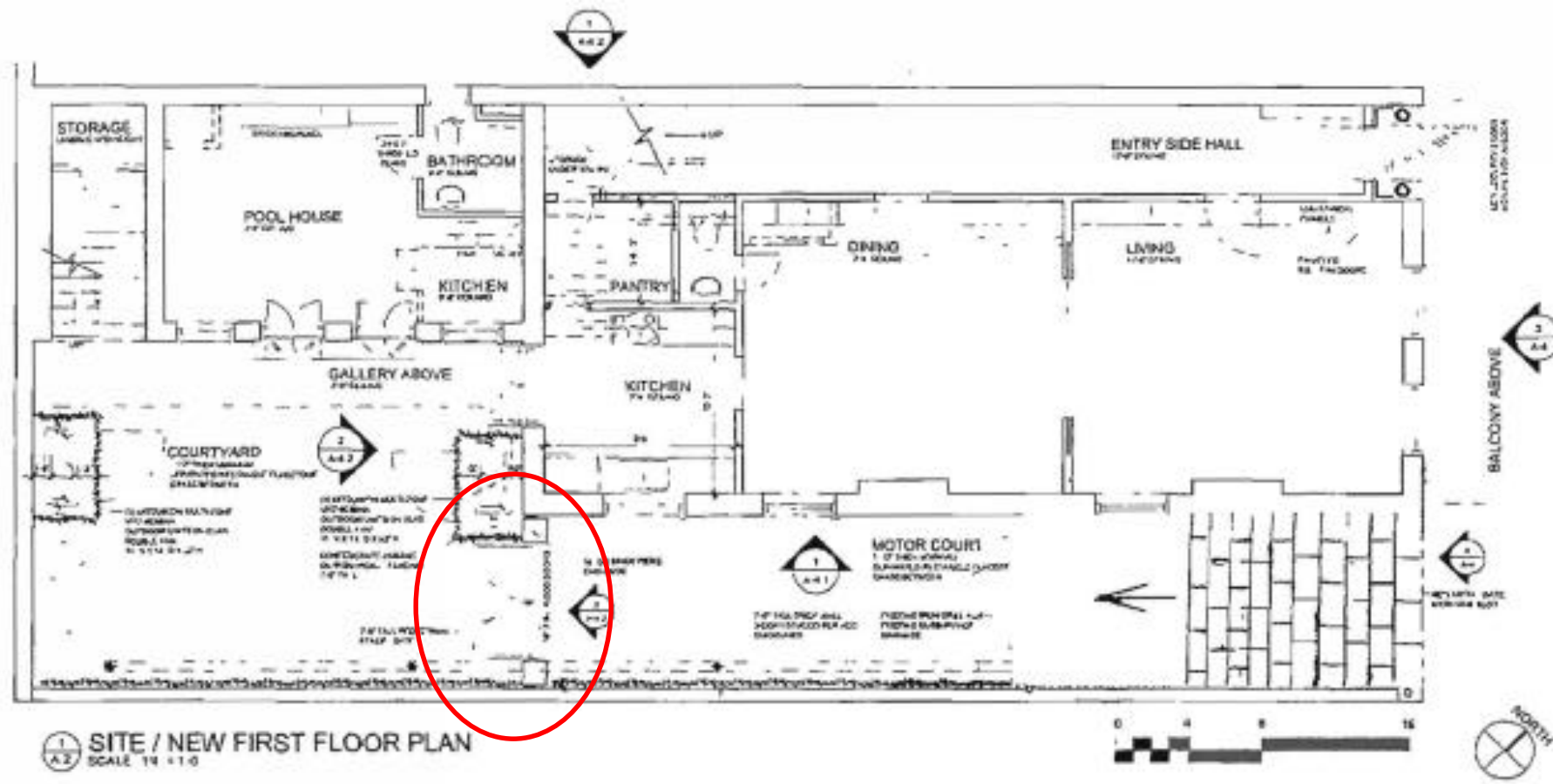






3 COURTYARD GATE ELEVATION





*Living area and Courtyard  
Stone layout*

*18 x 24" FLAGSTONE  
2.5" GRASS SPACING*



GENERAL FLOOR PLAN NOTES

- A. DO NOT SCALE DRAWINGS
- B. GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- C. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- D. UNLESS OTHERWISE INDICATED, WALL THICKNESSES ARE AS FOLLOWS:  
ALL INTERIOR WALLS ARE CONSTRUCTED OF 2X4 SOUTHERN YELLOW PINE WITH (1) LAYER OF 1/2" SHEETROCK ON EACH SIDE. FOR CLARITY, DIMENSIONS WILL BE MADE FROM FACE OF FINISHED WALL.  
CONTRACTOR TO MAKE SURE ROOM DIMENSIONS WILL BE ACCURATE TO PLANS PRIOR TO INSTALLING SHEETROCK.

- E. FINISHED FLOOR REFERS TO TOP OF ACTUAL FINISHED FLOOR.
- F. REFRIGERATIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- G. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 76" FROM FACE OF STUD WALL TO FACE OF ROUGH OPENING. DIMENSION SHALL BE 103" FROM FACE OF WALL TO EDGE OF ROUGH OPENING AT CONCRETE WALLS.
- H. AT SECURITY WALLS, FULL HEIGHT PARTITIONS SHALL BE SEALED BOTH SIDES WITH ACOUSTIC SEALANT. TOP BOTTOM INTERSECTION, DOOR FRAMES, GLAZED OPENING FRAMES, AND ALL OTHER PENETRATIONS.
- I. LINE OF EXISTING GRADES, AS SHOWN ON THE BUILDING ELEVATIONS AND SECTIONS ARE APPROXIMATE.
- J. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS.

- K. VERIFY SIZE / LOCATION / FINISH / PRESERVING, ETC. AND PROVIDE COMPLETE ALL REQUIRED OPENINGS THROUGH FLOORS AND WALLS, ACCESS DOORS, FURNING, CURBS, ANCHORS AND INSERTS. PROVIDE ALL BARS AND BLOCKING REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL, AND OTHER EQUIPMENT.
- L. REFER TO CONTRACTOR / OWNER FOR FINISH SCHEDULES AND COLOR LISTS FOR WALL FINISH DESIGNATIONS.
- M. FOR BRACING REQUIREMENTS, SEE GENERAL STRUCTURAL NOTES & PROJECT SPECIFICATIONS IF APPLICABLE.
- N. 3" STUD WALLS SHOULD BE PLACED 2" IN FRONT OF EXISTING MASONRY WALL WHERE APPLICABLE.
- O. ALL WALLS FINISHED WITH SHEET ROCK, REMOVE SHEET ROCK IN ORDER TO ACCESS HISTORIC PLASTER WALL BELOW. REPAIR ALL PLASTER WALLS AS NEEDED.
- P. ALL HISTORIC WOOD ELEMENTS ARE TO BE PRESERVED AND RECYCLED PER OWNERS REQUESTS. HANDLE WITH CARE. CONTRACTOR TO REPLACE IF LOST OR DAMAGED.

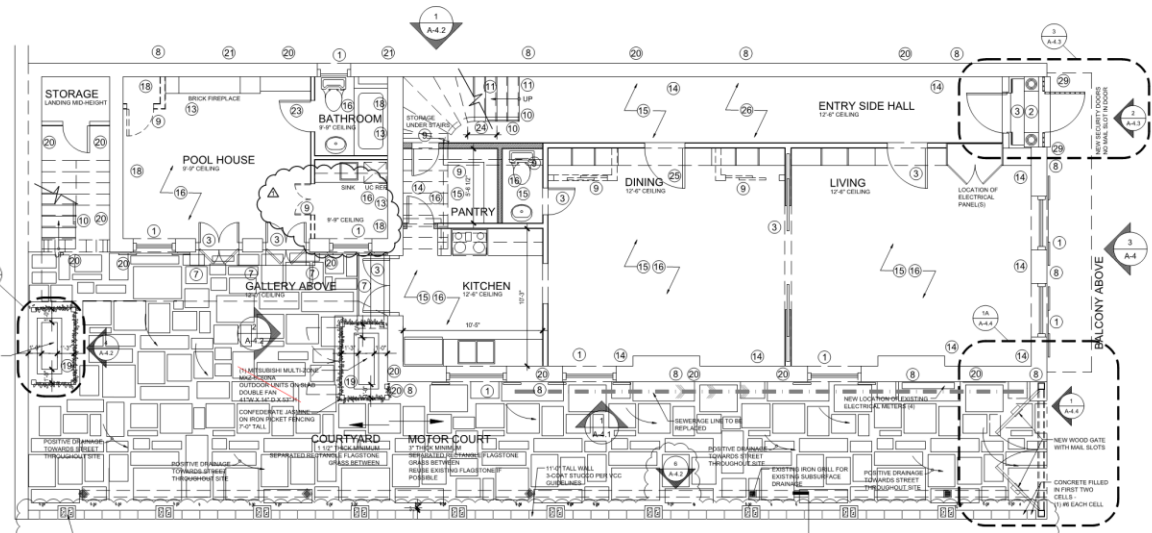
- Q. ALL EXISTING FLAGSTONE IN DRIVEWAY / COURTYARD TO BE REMOVED AND STACKED CAREFULLY. PRODUCTS TO BE RECYCLED ON SITE PER THE OWNERS REQUESTS.
- R. ATTIC WOOD WORK TO BE REPAIRED AS NEEDED. 3/4" PLYWOOD FLOORING TO BE PLACED ABOVE CEILING JOISTS.

WALL TYPES

- EXISTING MASONRY  
EXISTING PLASTER  
DEMO  
NEW DWP WALL 24"  
FLUORIM WALL 24"

KEY NOTES

1. EXISTING WINDOWS / SHUTTERS / HARDWARE / HEADER / JAMBS AND SILLS TO BE INSPECTED. SEE NOTE ON BOTTOM OF EACH FLOOR PLAN.
2. ALL CUSTOM MILLWORK AT SAINT ANN ENTRY TO BE SANDED AND REPAINTED.
3. EXISTING GRANITE AT ENTRY TO BE CLEANED.
4. EXISTING DOOR / SHUTTERS / HARDWARE TO BE INSPECTED. SEE NOTE ON BOTTOM OF EACH FLOOR PLAN.
5. REMOVE PAINT ON GALLERIES AND BALCONY FLOORINGS. REFINISH PROPERLY.
6. BALCONY AND GALLERIES TO BE INSPECTED FOR MISSING ORNAMENTATION.
7. BALCONY / RAILING TO REMAIN HAND SAND AND REFRESH ALL IRONWORK.
8. CONCRETE STAIRS TO REMAIN. REMOVE PAINT, REFINISH. NOTE: AT REAR ENTRY, TRIM CONCRETE STAIRS TO ACCOMMODATE FOR OUTDOOR UNIT.
9. INSPECT ALL MASONRY JOINTS AND UNITS. PREPARE FOR STUCCO OR MINERAL COATING. COLOR TO BE DETERMINED.
10. DEMO WALL.
11. WOOD RAILS AND PICKETS TO BE SANDED AND REFINISHED.
12. WOOD RISERS, TREADS, AND ORNAMENTAL STRINGERS TO BE SANDED AND REFINISHED.
13. NEW CLOSET WITH DOORS, RODS AND SHELVES PER OWNER.
14. ALL SEALANT ON INTERIOR BRICK TO BE REMOVED.
15. REPAIR INTERIOR PLASTER AS NEEDED. PREPARE FOR MINERAL COATING. COLOR TO BE DETERMINED.
16. REPAIR PLASTER CEILING AS NEEDED. REPAIR / REPLACE ALL DAMAGED MOLDING.
17. REPAIR ALL WOOD FLOORING AS NEEDED. SAND, STAIN, AND REPLACE PER OWNER.
18. REPAIR ALL WOOD FASCIA ON FRONT OF BALCONY.
19. INTERIOR FACE OF BRICK TO BE RESTORED. REPORT AS NEEDED. PREPARE FOR MINERAL COATING. COLOR TO BE DETERMINED.
20. NEW SPLIT SYSTEMS.
21. REMOVE DELAMINATED PLASTER IF EASILY REMOVABLE. IF REMOVED, EXPECT BRICKS BELOW AND RE-PLASTER WITH PROPER MIXTURE.
22. REMOVE ALL EXISTING MPT/PCP / DELAMINATED PLASTER PATCHWORK ON EXTERIOR WALLS.
23. REMOVE CEILING FRESH AND EXPOSE STRUCTURAL ABOVE.
24. 2'-4" WIDE X 7'-0" TALL SOLID WOOD DOOR TO MATCH EXISTING ENTRY DOORS IN STYLE AND DESIGN.
25. DOOR OR ACCESS PANEL FOR SMALL STORAGE. COORDINATE WITH OWNER.
26. OPENING FROM SIDE HALL INTO DINING ROOM IS BASED ON HISTORIC PRECEDENT. DETERMINED DURING DEMOLITION. USE EXISTING DOOR / TRANSOM FROM SECOND FLOOR.
27. NEW TILE FLOORING.
28. BEAD BOARD AT CEILING TO BE REMOVED. CEILING TO BE DETERMINED BY OWNER.
29. NEW PICKET DOORS AND TRANSOM TO MATCH FIRST AND SECOND FLOORS.
30. REMOVE ALL GAS LINES AND CONDUIT FROM FRONT ELEVATION.



DOORS AND TRANSOMS:  
IF REPLACEMENT OF A DOOR OR TRANSOM IS NECESSARY, REPLACE WITH DOOR OR TRANSOM EXACTLY IN-KIND. DOOR/TRANSOM SHOULD MATCH THE HISTORIC DOOR IN MATERIAL, TYPE, SIZE, SHAPE, CONFIGURATION, PANEL PATTERN, GLAZED WINDOW TYPE AND PATTERN, PROPORTIONS, PROFILES AND DETAILS.  
IF REPLACEMENT IS REQUIRED, PROVIDE SHOP DRAWINGS FOR VCC REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

WINDOWS AND SHUTTERS:  
IF REPLACEMENT OF WINDOW IS NECESSARY, REPLACE WITH A TRUE DIVIDED LIGHT WINDOW WITH TYPE, CONFIGURATION, STYLE, PROPORTIONS, MATERIAL AND PROFILES TO MATCH EXISTING. NEW WINDOW TO RETAIN EXISTING FABRIC AND FUNCTION. AN IN-KIND SASH, SILL, OR JAMB CAN BE CUSTOM MADE TO REPLACE A DETERIORATED SECTION IF NECESSARY. HISTORIC PROPORTIONS, DIMENSIONS, PROFILES CAN BE RETAINED AND MATCHED EXACTLY. IF REPLACEMENT IS REQUIRED, PROVIDE SHOP DRAWINGS FOR VCC REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

\*\*VCC: FINAL HVAC UNITS MUST BE SELECTED. SUBMIT SPEC SHEET FOR FINAL REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION.



CONSTRUCTION DOCUMENTS



Guns Modern  
4519 S. Claiborne Avenue  
New Orleans, LA 70125  
504 810 2221

NEW SITE / FIRST FLOOR PLAN  
**Aura, LLC**  
**928-40 Saint Ann**  
First - Third Floor Renovation - Single Family  
New Orleans, LA 70116

Dr. John Kwan  
5996 Lakeside Drive  
Scottsdale, AZ 85260

DATE:



SAFETY N PERMITS 06/23/2019  
VCC 001/2019

PROJECT NUMBER: 18-STA  
DRAWN BY: GPO  
ISSUE DATE: 02/26/2019

A-2

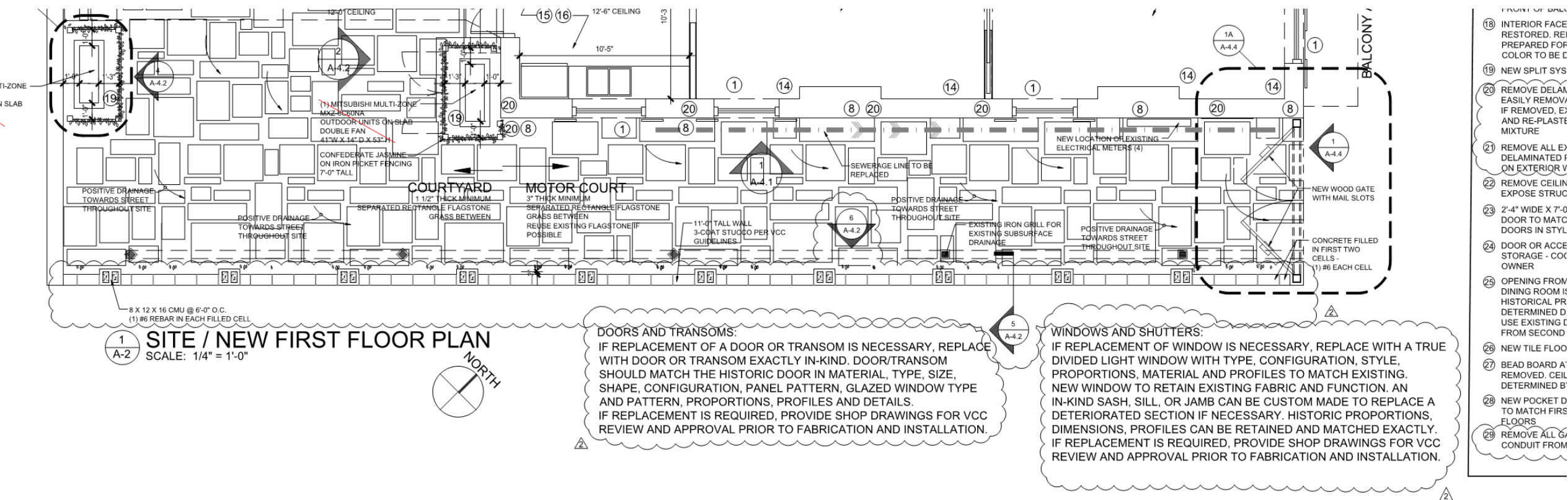
928 St Ann

VCC Architectural Committee

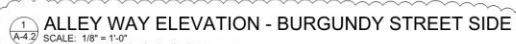
September 22, 2020



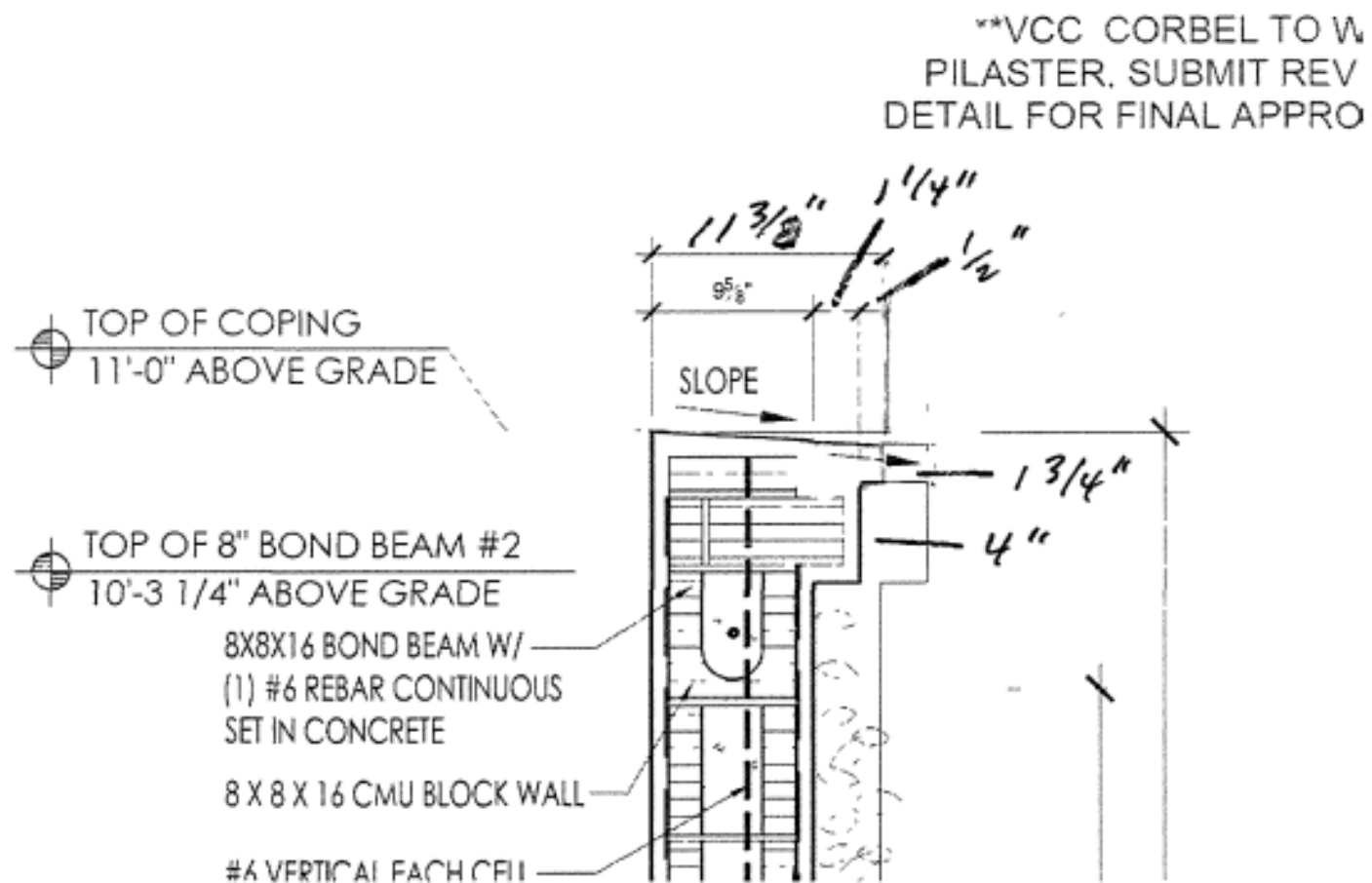














BY-LAWS OF THE VIEUX CARRE COMMISSION  
OF  
THE CITY OF NEW ORLEANS  
CREATED BY ACT 139 OF THE REGULAR SESSION OF

1936

SECTION XII

General Rules

Any Commission member or the Director may place a matter which has previously been voted on by the Commission on the agenda of a duly called meeting of the Commission for reconsideration if:

- (a) Circumstances and conditions have substantially changed since its original consideration, or
- (b) Inaccurate data was contained in the report on the matter, or
- (c) Additional information has been presented since its original consideration.

The Commission shall, by motion determine whether or not the matter is eligible for reconsideration in accordance with the above. If the Commission determines, by an affirmative vote, the reconsideration is warranted, the Commission may then reconsider its prior action.



928 St Ann

VCC Architectural Committee

September 22, 2020

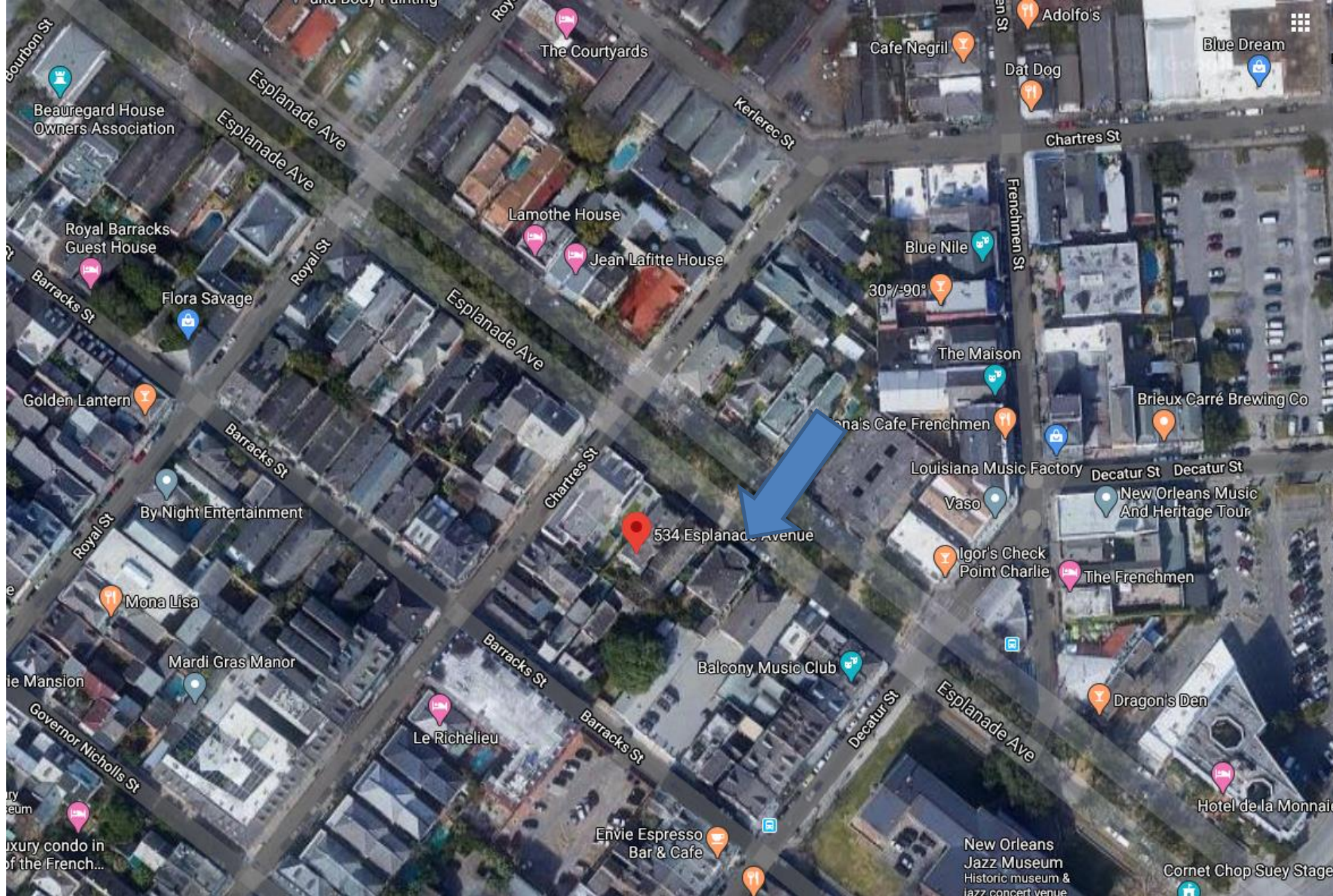






**524 Esplanade**

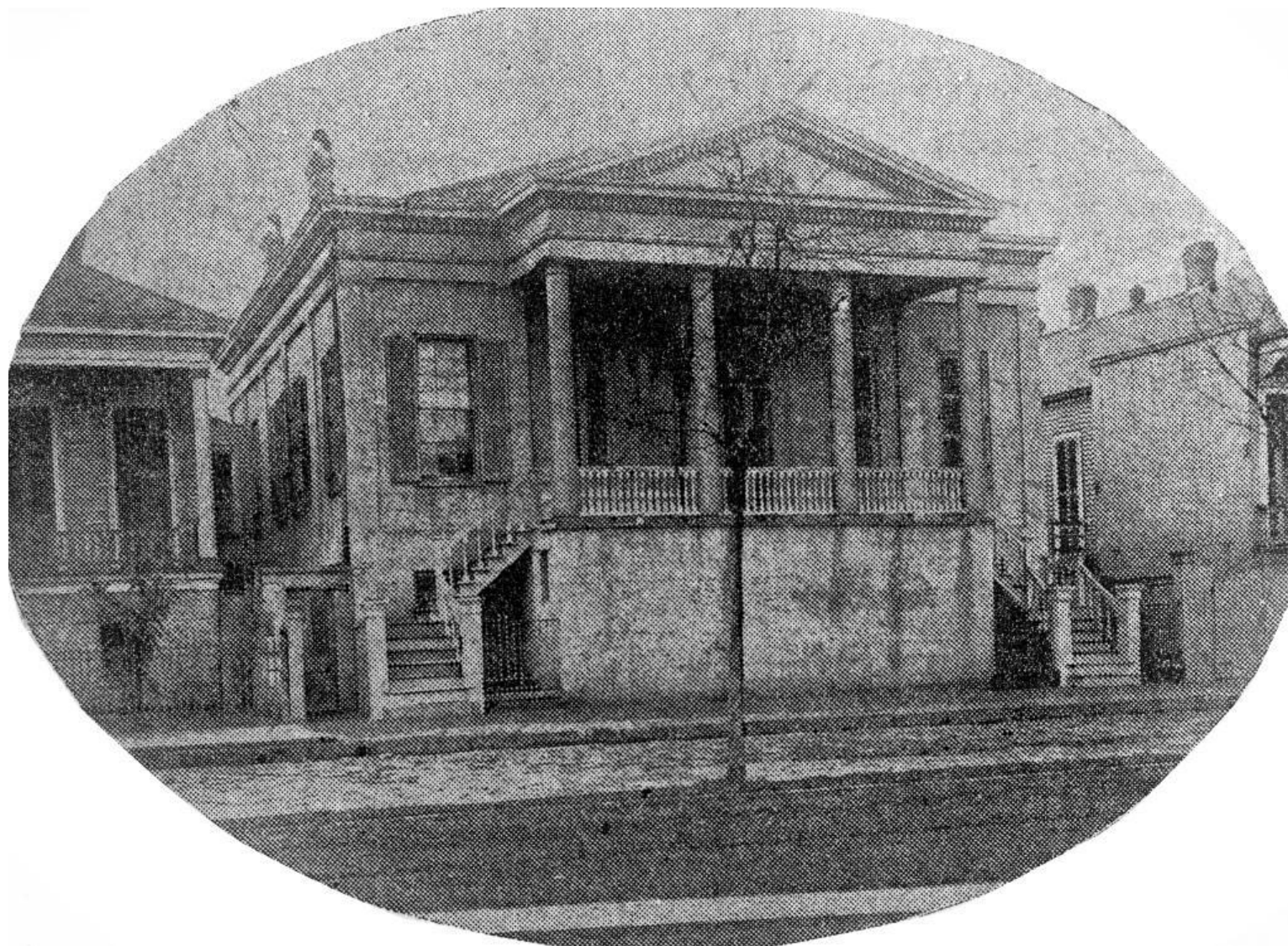




524 Esplanade







524 Esplanade – ca. 1902

VCC Architectural Committee

October 13, 2020







524 Esplanade - 1939

VCC Architectural Committee

October 13, 2020







524 Esplanade - 1972

VCC Architectural Committee

October 13, 2020





524 Esplanade - 1990

VCC Architectural Committee



October 13, 2020







524 Esplanade - 2005

VCC Architectural Committee

October 13, 2020







524 Esplanade - 2005

VCC Architectural Committee

October 13, 2020







524 Esplanade - 2005

VCC Architectural Committee

October 13, 2020







524 Esplanade





524 Esplanade

VCC Architectural Committee

04 24 2020

October 13, 2020







524 Esplanade

VCC Architectural Committee

08 21 2017

October 13, 2020







524 Esplanade

VCC Architectural Committee

October 13, 2020







524 Esplanade

VCC Architectural Committee

04 24 2020

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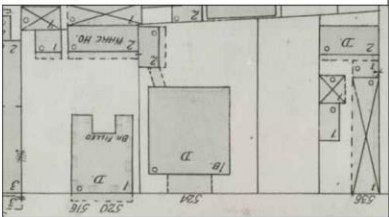
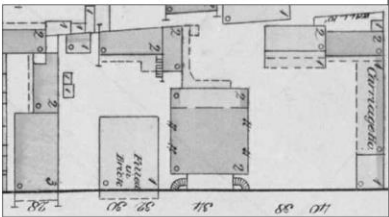
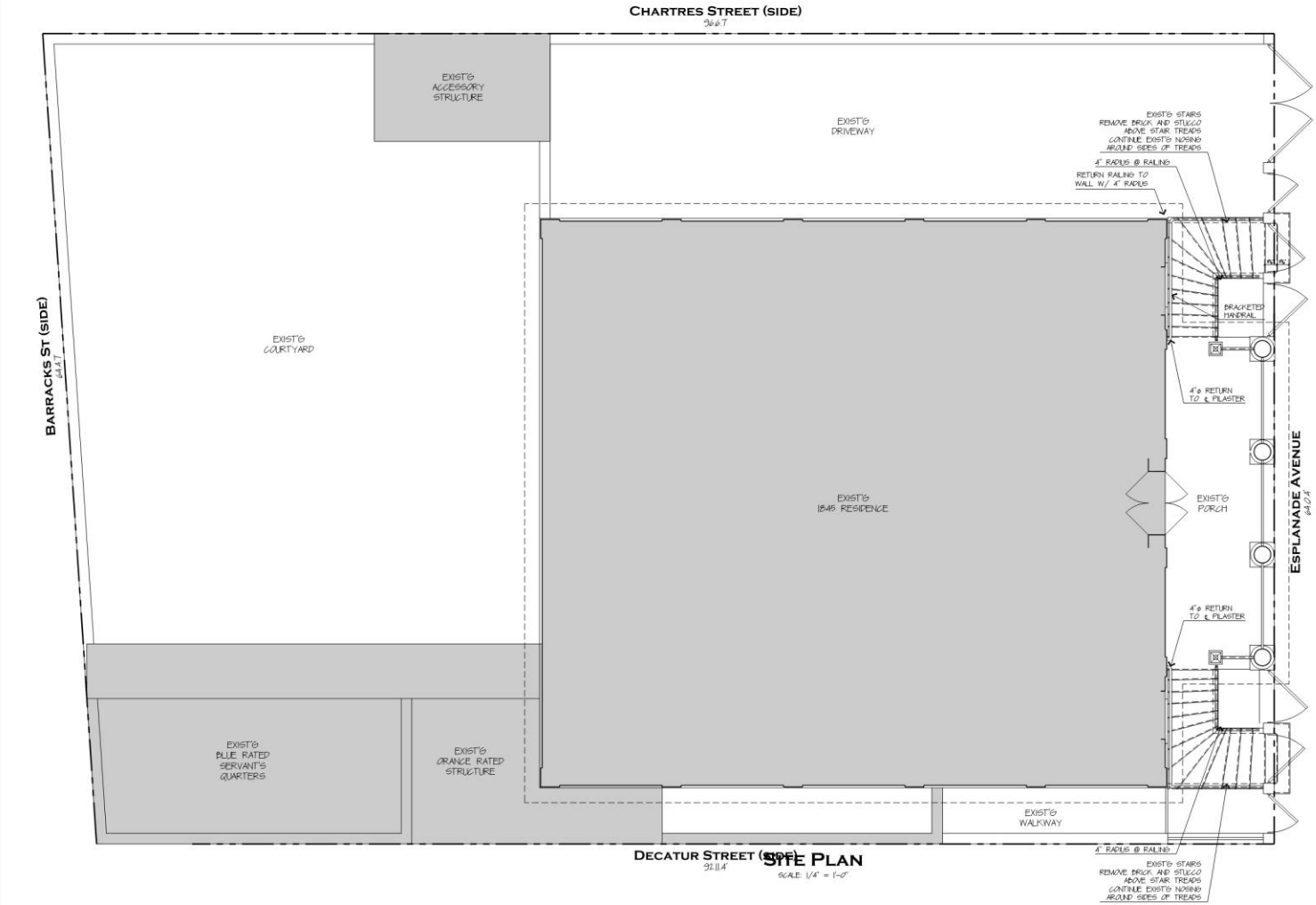
524 Esplanade

VCC Architectural Committee

October 13, 2020







This raised basement masonry house has two rooms on each side of its forty-foot long center hall, and the interior and exterior embellishments described in the specifications remain with minor changes. The front Balcony with its gable to be made in a good looking stile [sic], supported by four large well turned columns and to rest at their bottom on a row of slate slabs to be projected one inch over the Basement Wall, protected with a good looking iron railing between the columns [either never installed or changed to turned balusters], the Cornice around the House will be made in the best and proportioned manner, provided it being not less than Four feet in height."

ORIGINAL BUILDING CONTRACT EXCERPT  
BY MARY LOUISE CHRISTOVICH, 1977

"Known today as the old Cusachs home from the fact that Gaspar Cusachs who purchased it in 1893 was president of the Louisiana Historical Society for many years. A student of history of the city and state, his collection of documents, books, portrait and other historical relics was a noted one, being bequeathed to the state museum upon his death and are now on display in the Cabildo. The old residence which has been extensively repaired, appears to have had its foundations laid in 1810 by its first owner, Laurent Buzard, and if this is true, it is the oldest structure on the Esplanade."

[N.B. Despite this notation, the building contract dates to 1845 and also denotes the pouring of a new foundation. The architectural style also reflects that of the latter period.]

— Source: Old New Orleans: A History of the Vieux Carré, p. 157-158. Author: Stanley Cistby Arthur. Date: Friday, January 1st 1937

After Thirty-eight years and constant rehabilitation, 524 Esplanade holds few secrets from the Ronstroms, both of whom have been prominent New Orleansians in their adopted city. Mrs. Ronstrom is the well-known newspaper columnist Maud O'Bryan, originally from Sulphur, Louisiana, and Dr. Ronstrom, from Chicago, has recently retired after holding a thirty-year post as professor of anatomy at the Louisiana State University Medical Center. At the time the Ronstroms purchased the house, it had neither electricity nor plumbing, alterations to the original structure were minor. A fire in the attic shortly after 1929 had destroyed ceilings and damaged the roof. A fireplace in the back bedroom had to be bricked; its cypress mantel, exactly like the cypress one in the front bedroom, is still on the premises. The marble ones in the living room and dining room remain in place. The Cusachs heirs reported that their father removed the wooden entrance steps, replacing them with the present cement ones, and enclosed the back gallery with glass in 1900.

HISTORICAL CITATION INDICATING EXTENSIVE REPAIRS AFTER 1893

COLUMN AND FENCE MODIFICATIONS		Revised
524 ESPLANADE AVENUE NEW ORLEANS, LA		
STUDIO L+R, LLC 1208 BARRACKS STREET NEW ORLEANS, LA 70116 504.609.4313		
DATE SEPT. 3, 2020	PROJECT SEPT. 3, 2020	
NO. 654 ESPLANADE FLOOR PLANS		
PROJECT NO. LEK	DATE LEK	
SITE PLAN		Sheet No. 1

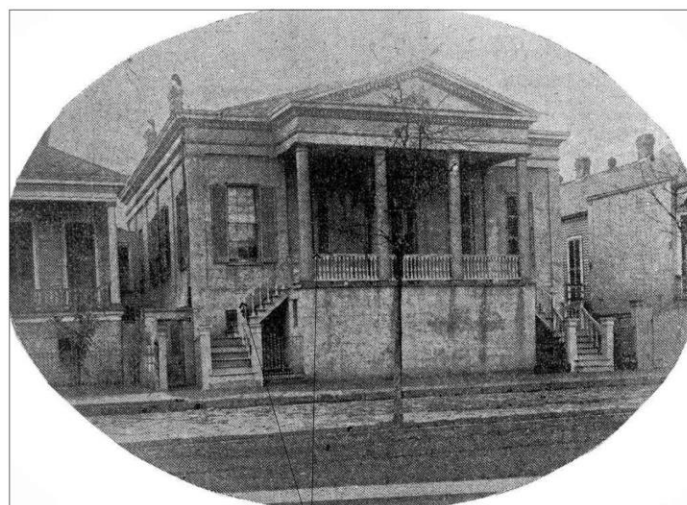
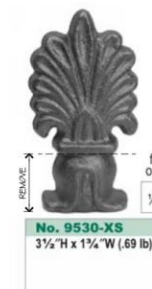
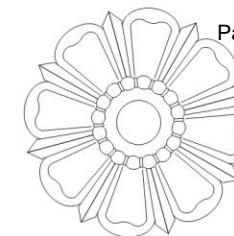
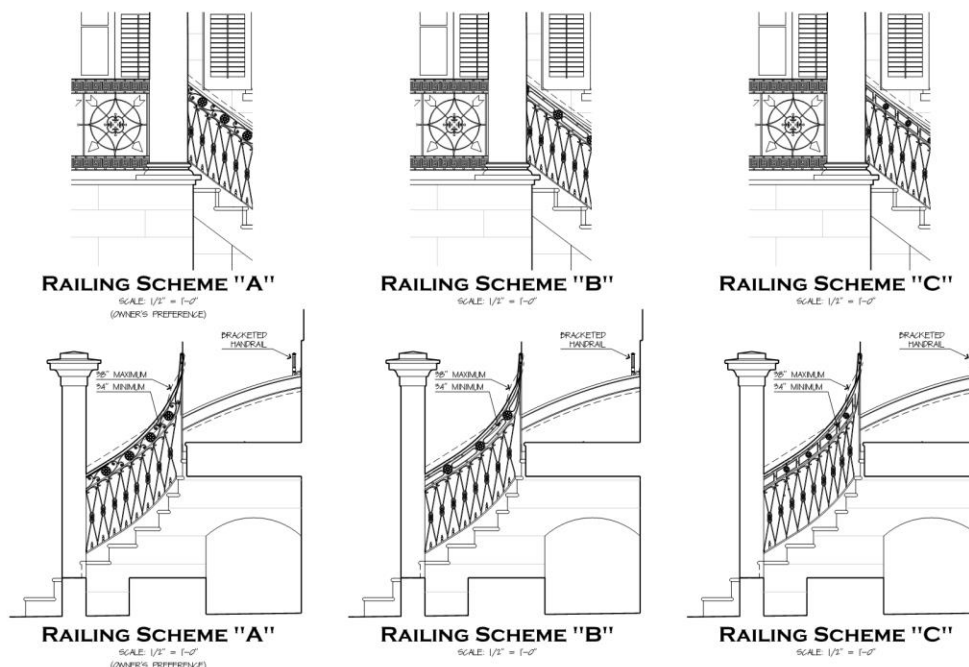


524 Esplanade

VCC Architectural Committee

October 13, 2020





**PHOTO AFTER 1901**

NOTE:  
STAIRS AS SHOWN ARE FROM AN ITALIANATE PERIOD  
RENOVATION AND DO NOT CORRESPOND TO THE  
ORIGINAL CURVED STAIRS DOCUMENTED IN THE  
1939 SHADSTONE MAP. SIMILAR IN DESIGN TO THE  
DEARBORN-KEYES AND VIGOR'S HOUSES FRONT STAIRS



**PHOTO AFTER 1939**

ITALIANATE PERIOD RAILING  
VICTORIAN ERA IRON FENCE REMOVED  
CURRENT STAIR AND RAILING



COLUMN AND FENCE MODIFICATIONS		Revised
<b>524 ESPLANADE AVENUE</b> NEW ORLEANS, LA		
<b>STUDIO L+R, LLC</b> 1208 BARRACADE STREET NEW ORLEANS, LA 70116 256.609.4313	DATE	JULY 16, 2020
	DATE	JULY 16, 2020
	DATE	JULY 16, 2020
	DATE	JULY 16, 2020
ELEVATIONS		2

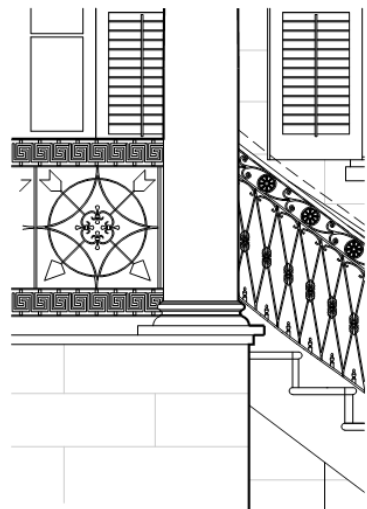


524 Esplanade

VCC Architectural Committee

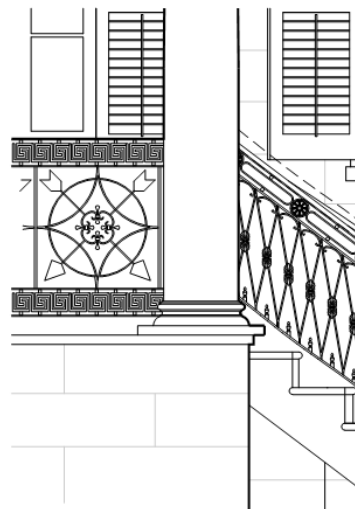
October 13, 2020





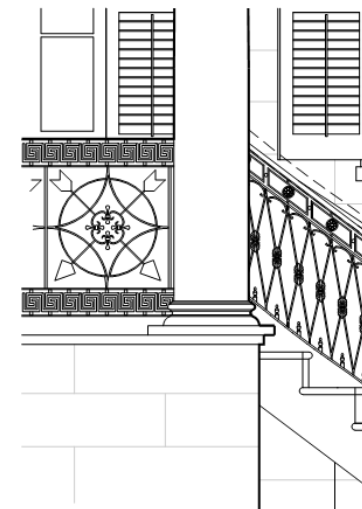
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SCALE: 1/2" = 1'-0"  
(OWNER'S PREFERENCE)



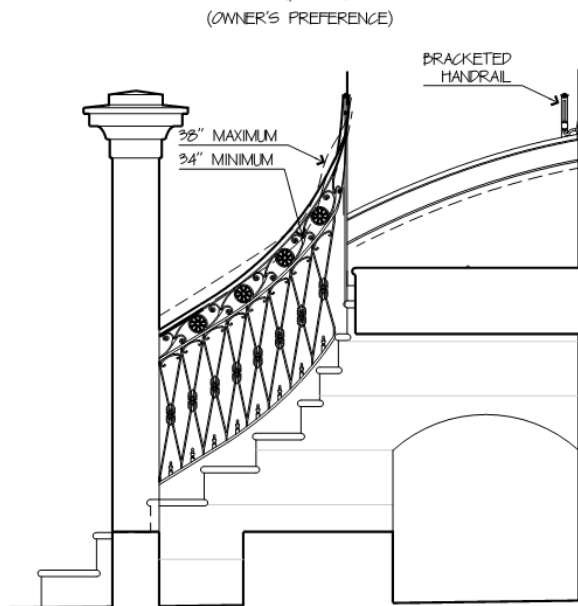
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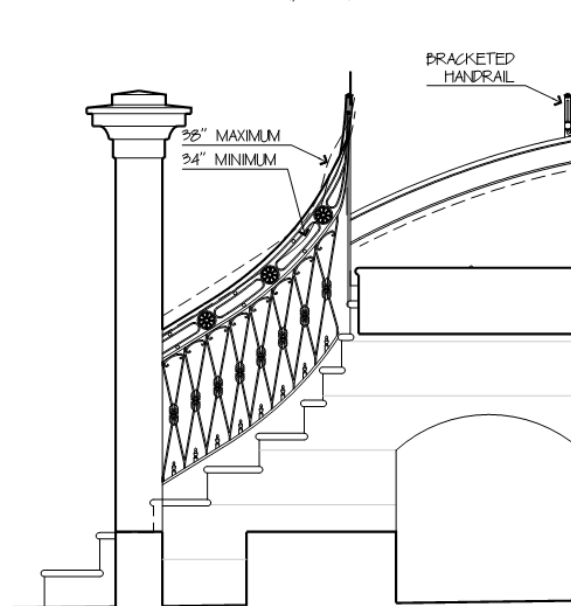
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SCALE: 1/2" = 1'-0"



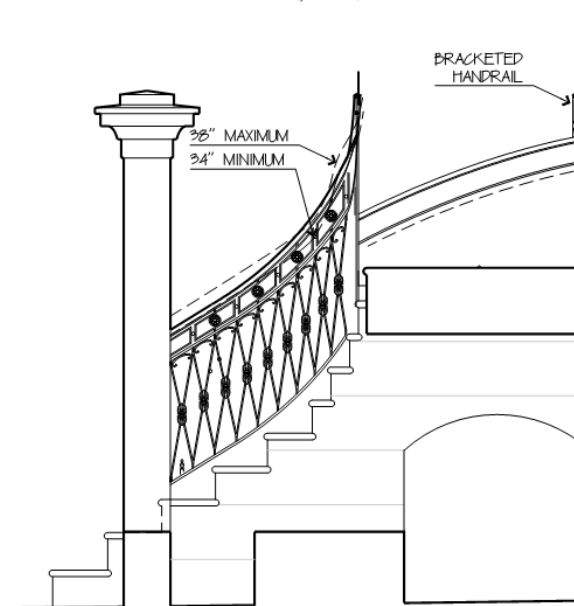
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SCALE: 1/2" = 1'-0"  
(OWNER'S PREFERENCE)



**RAILING SCHEME "B"**

SCALE: 1/2" = 1'-0"



**RAILING SCHEME "C"**

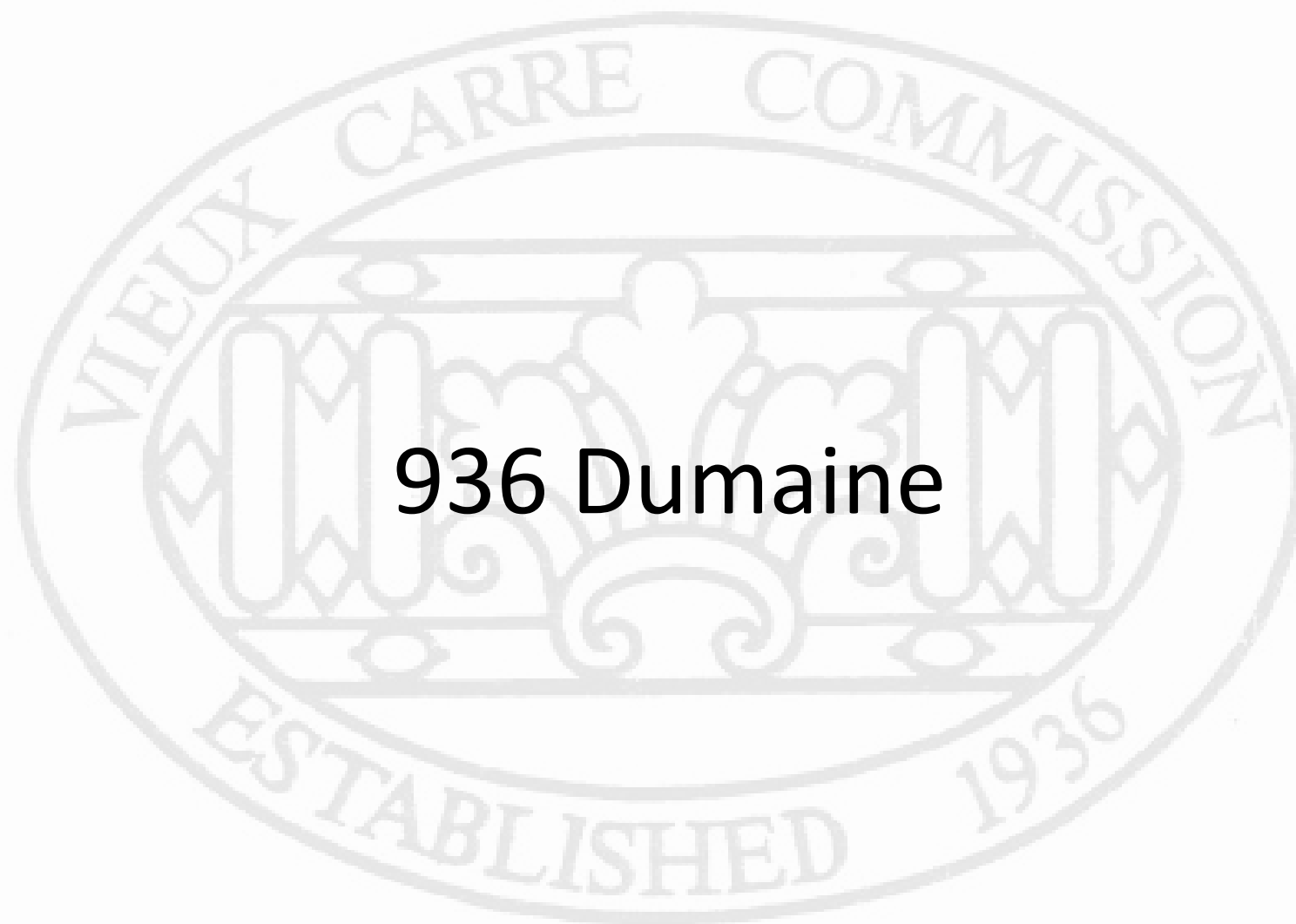
SCALE: 1/2" = 1'-0"





**New Business**









936 Dumaine

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September 22, 2020







936 Dumaine

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September 22, 2020







936 Dumaine

VCC Architectural Committee

September 22, 2020







936 Dumaine

VCC Architectural Committee

September 22, 2020







936 Dumaine

VCC Architectural Committee

September 22, 2020





936 Dumaine

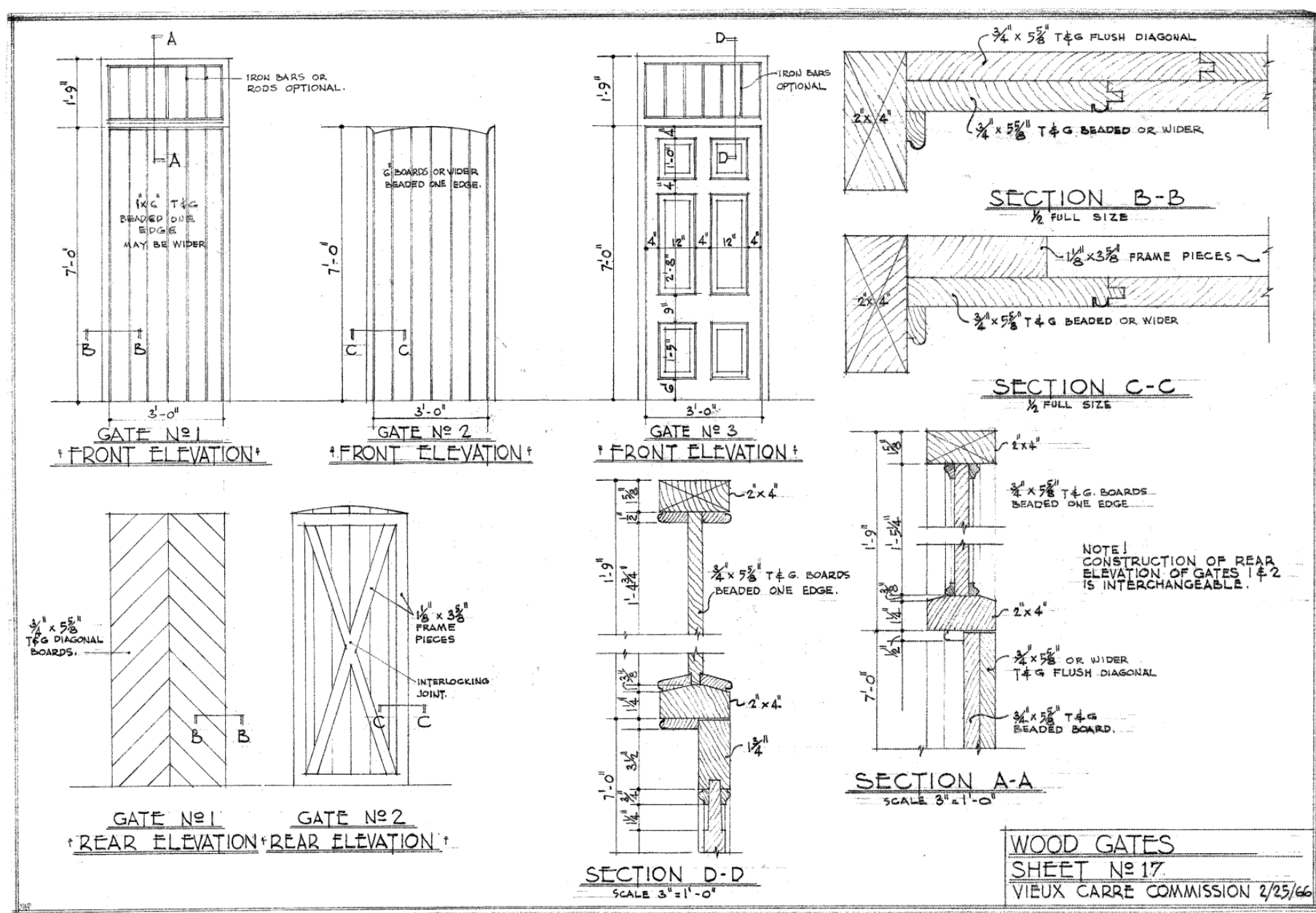
VCC Architectural Committee



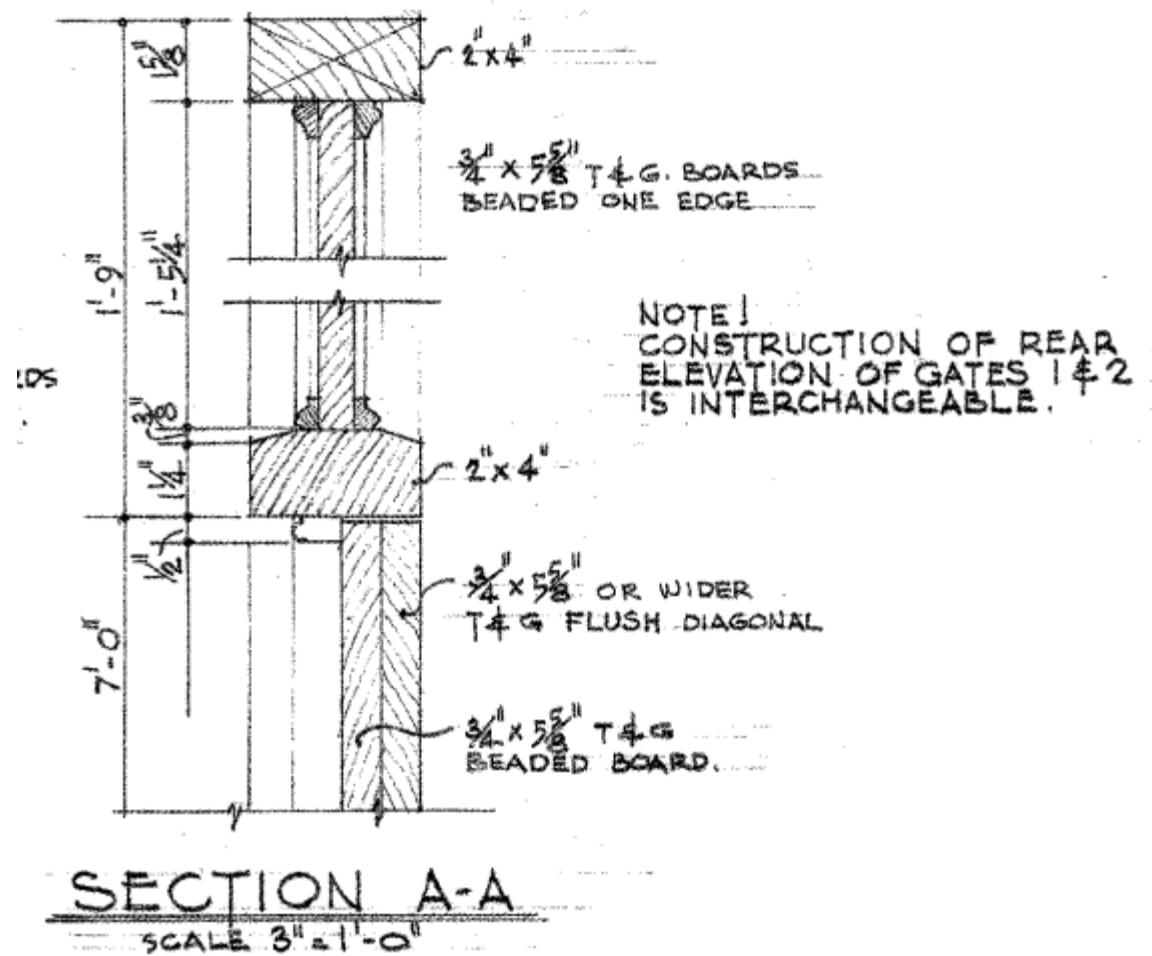
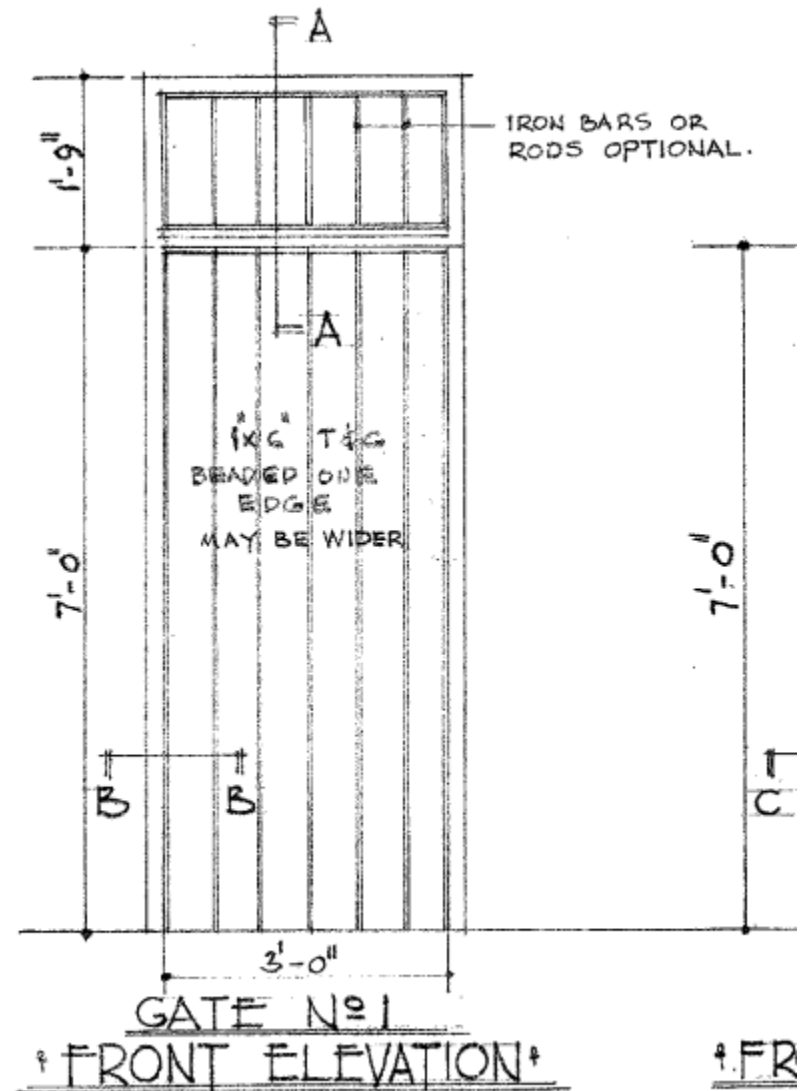
September 22, 2020



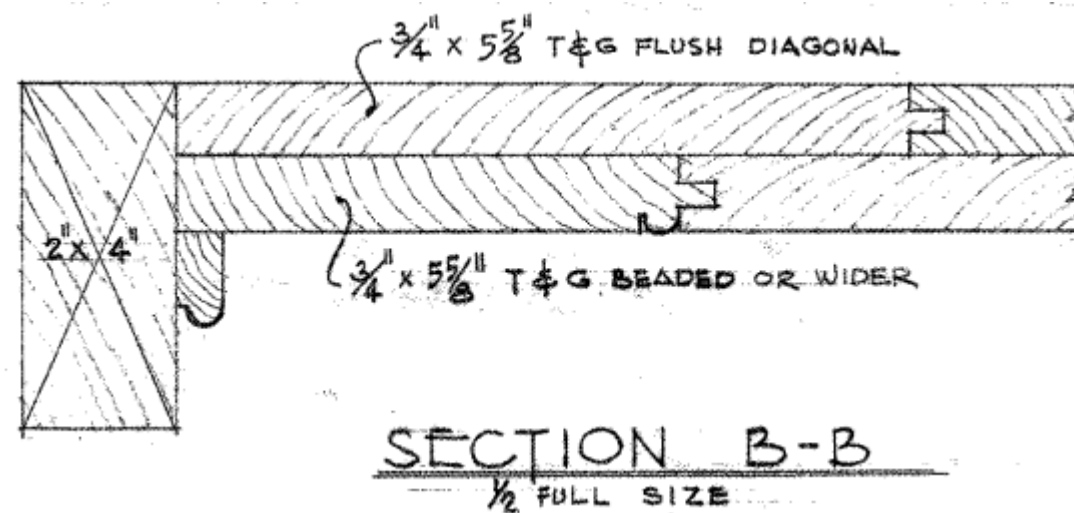
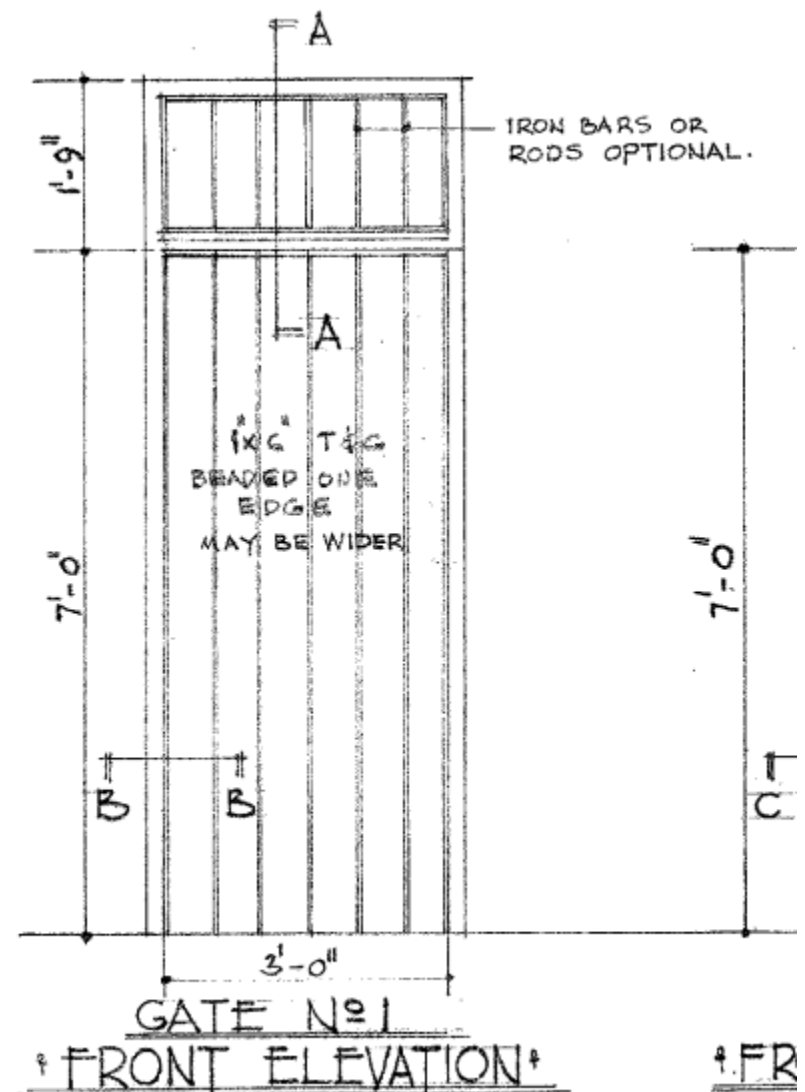




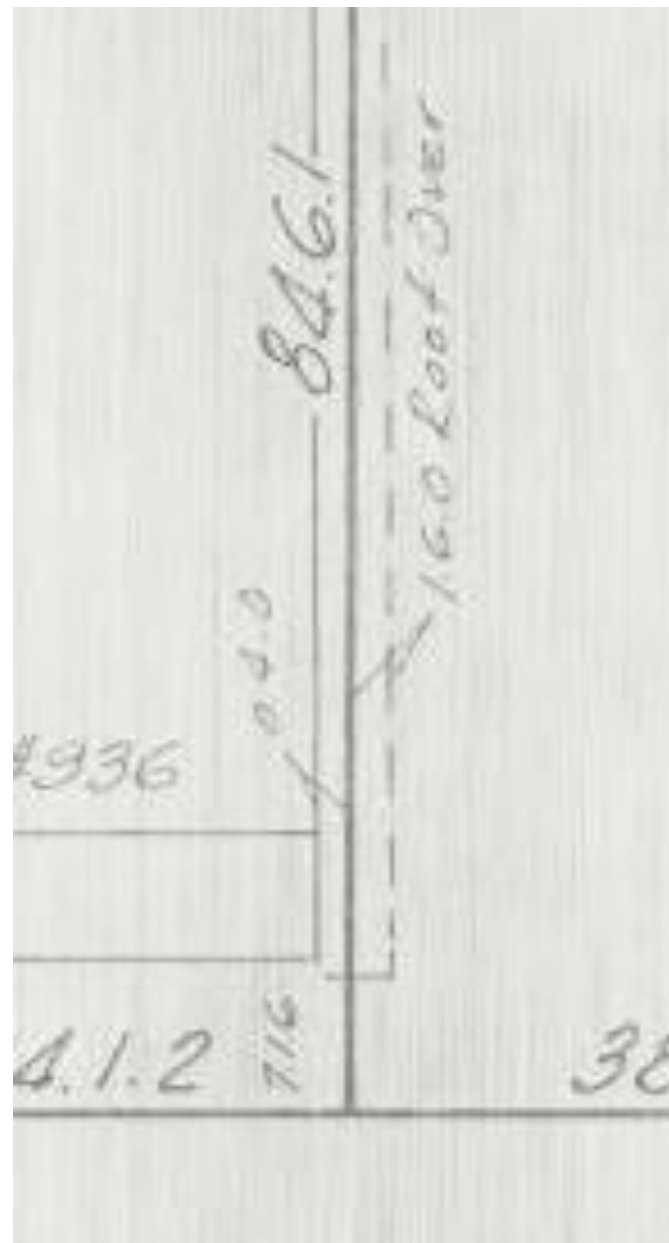
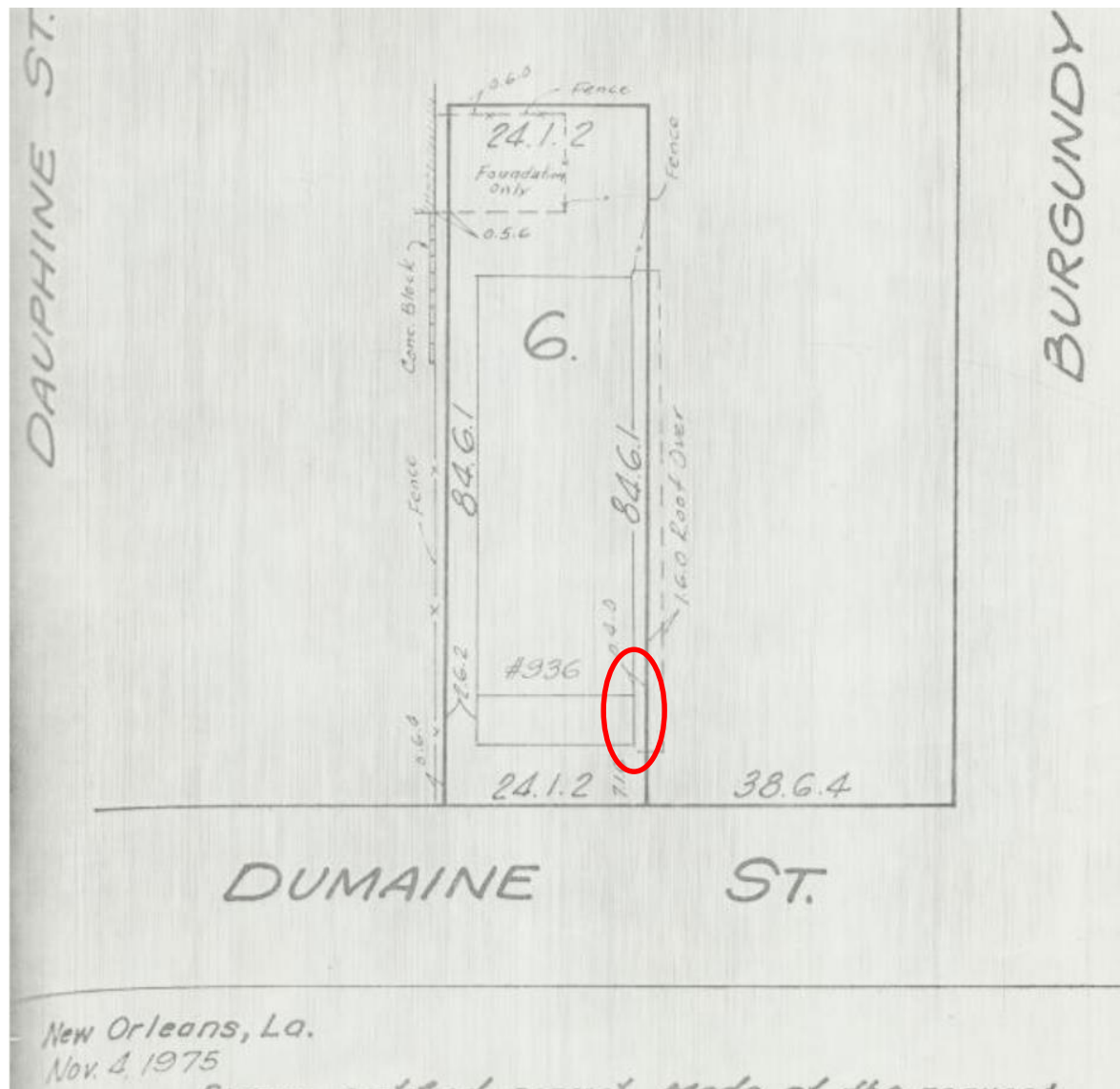












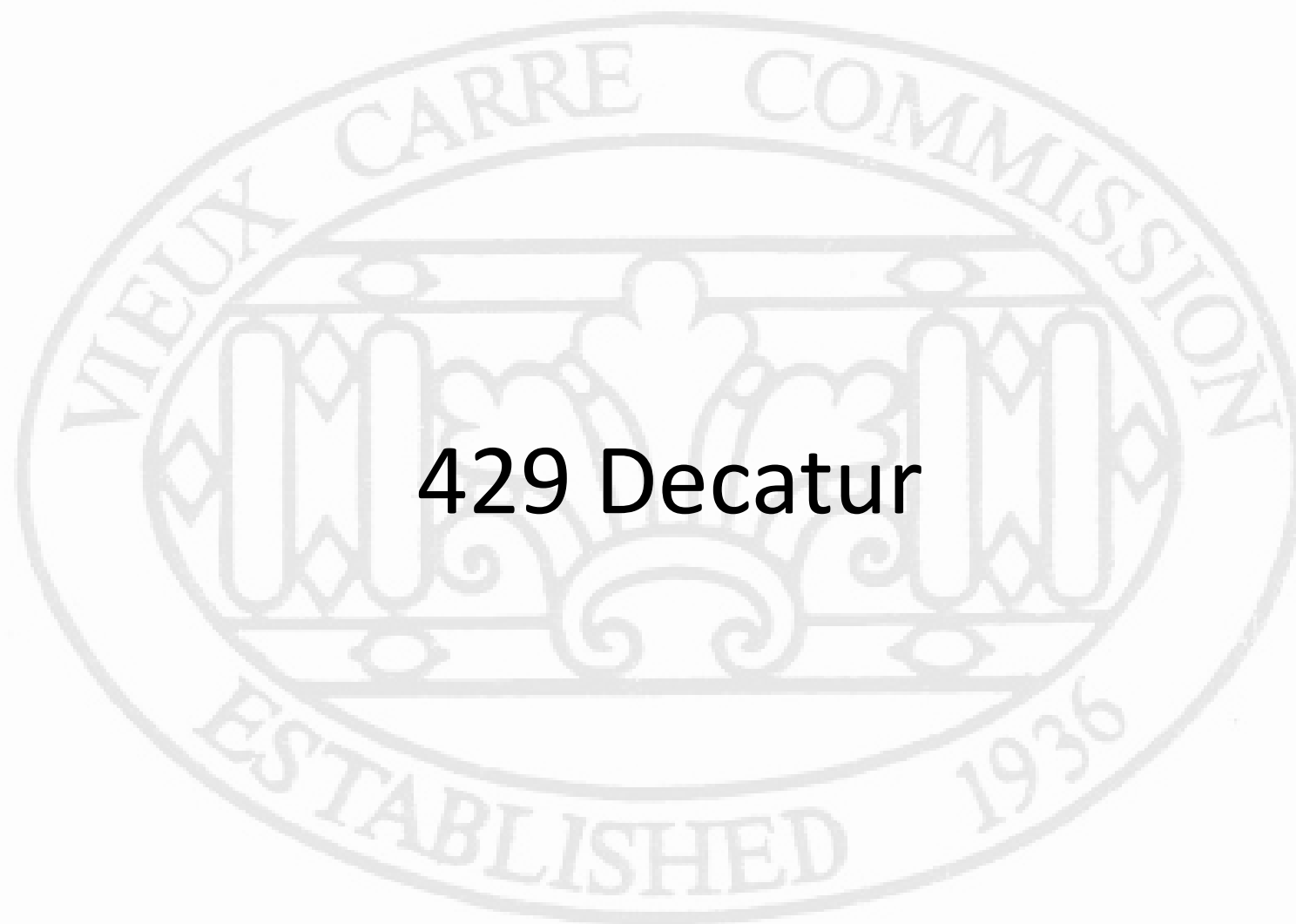
936 Dumaine

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September 22, 2020

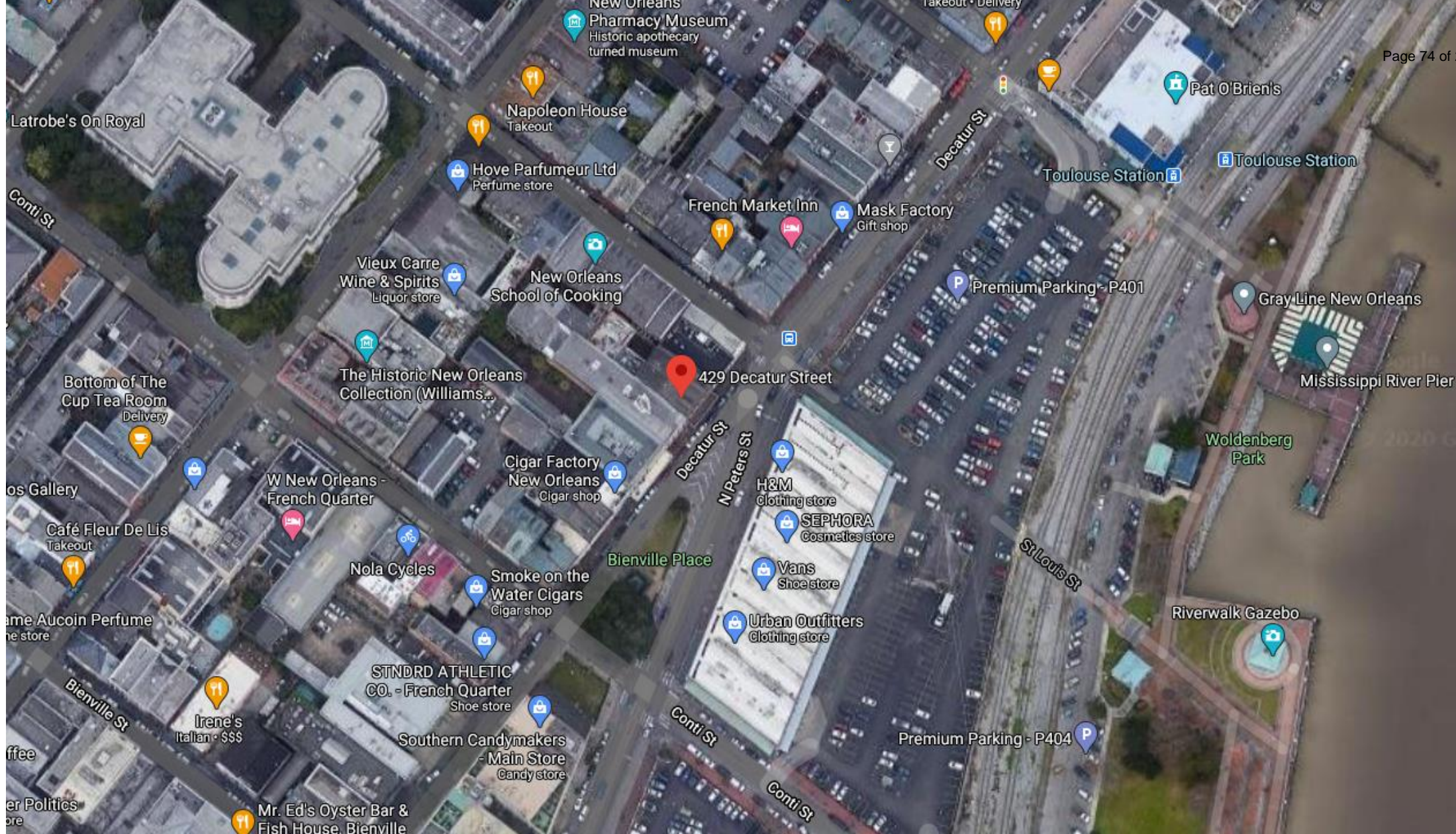






429 Decatur





429 Decatur

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September 22, 2020





**woodward design group**  
 1000 S. JEFFERSON DAVIS PARKWAY  
 WOODWARD/BOSSONVILLE.COM | 504-885-4448  
**Donald Funt**  
 ARCHITECT AIA, LEED AP

**TUJAGUE'S RESTAURANT RELOCATION**  
 New Orleans, Louisiana

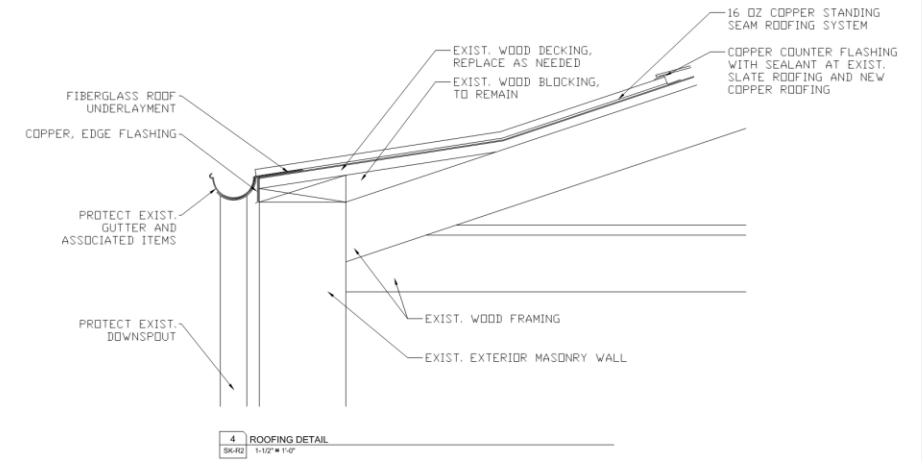
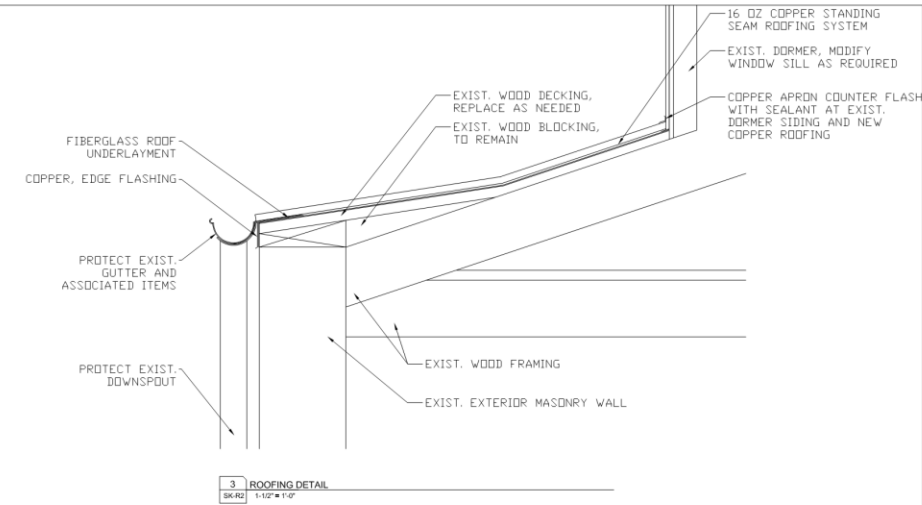
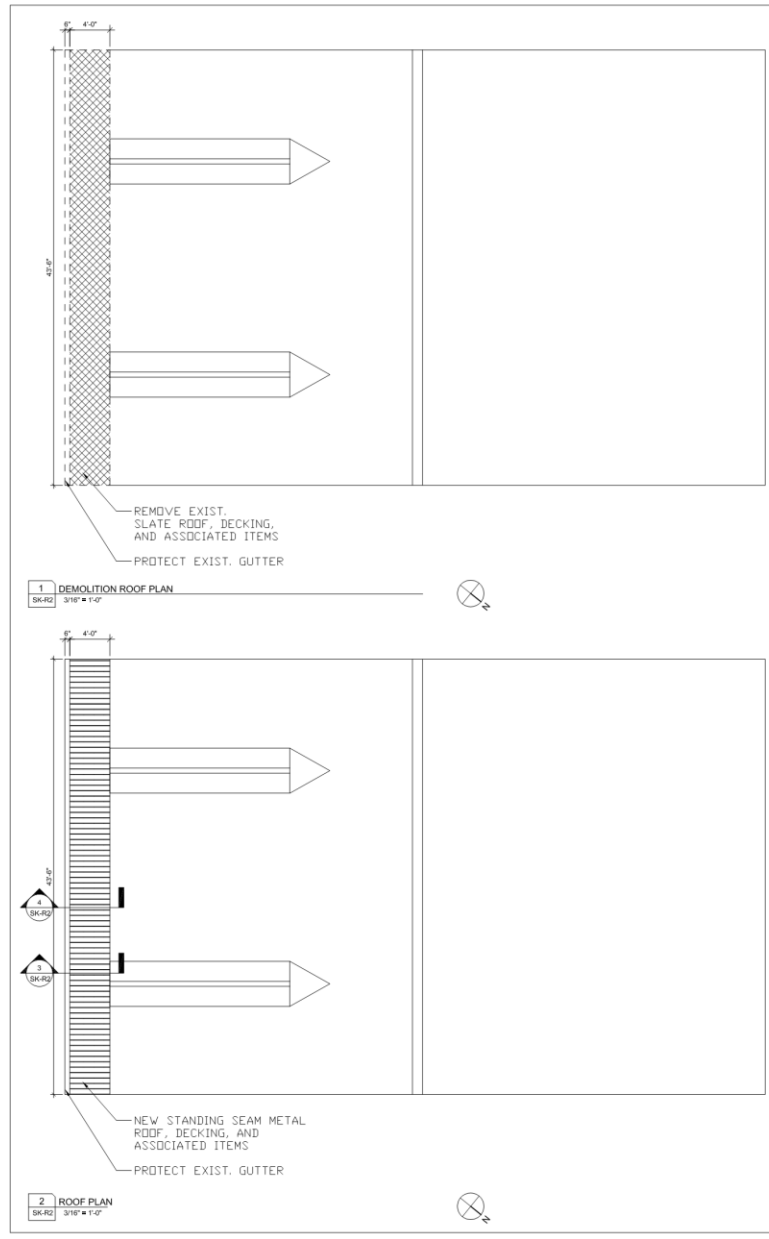
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 2020-045  
 drawn by:  
 ST  
 checked by:  
 ST

date: 09/22/20  
 issue:  
 CONSTRUCTION DOCUMENTS

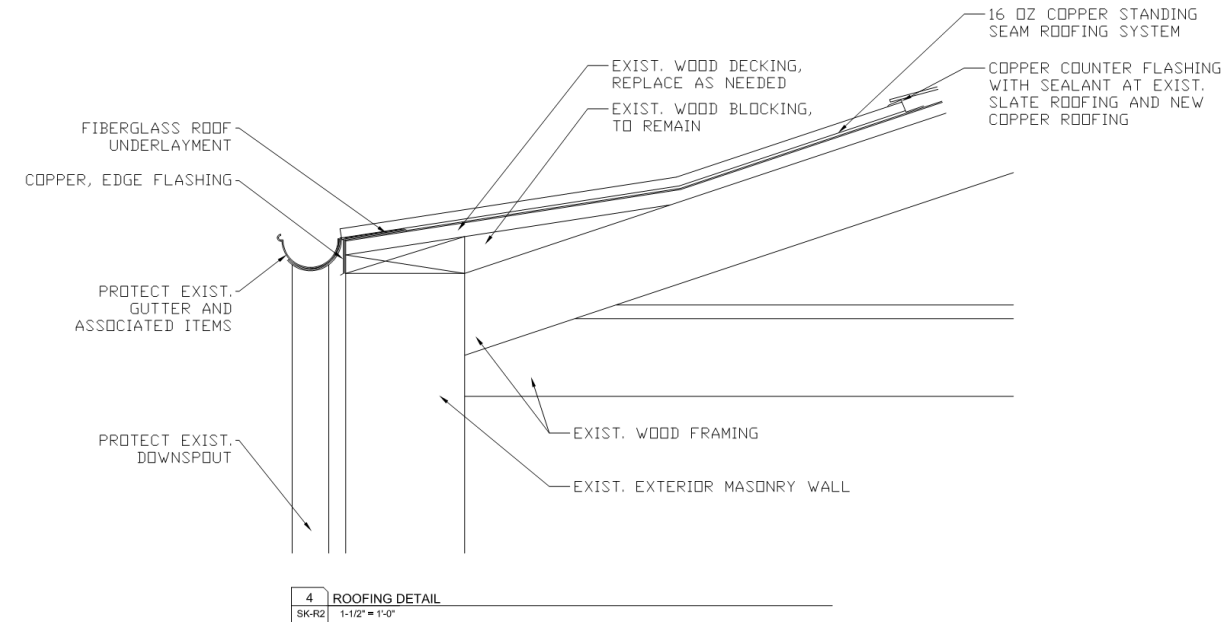
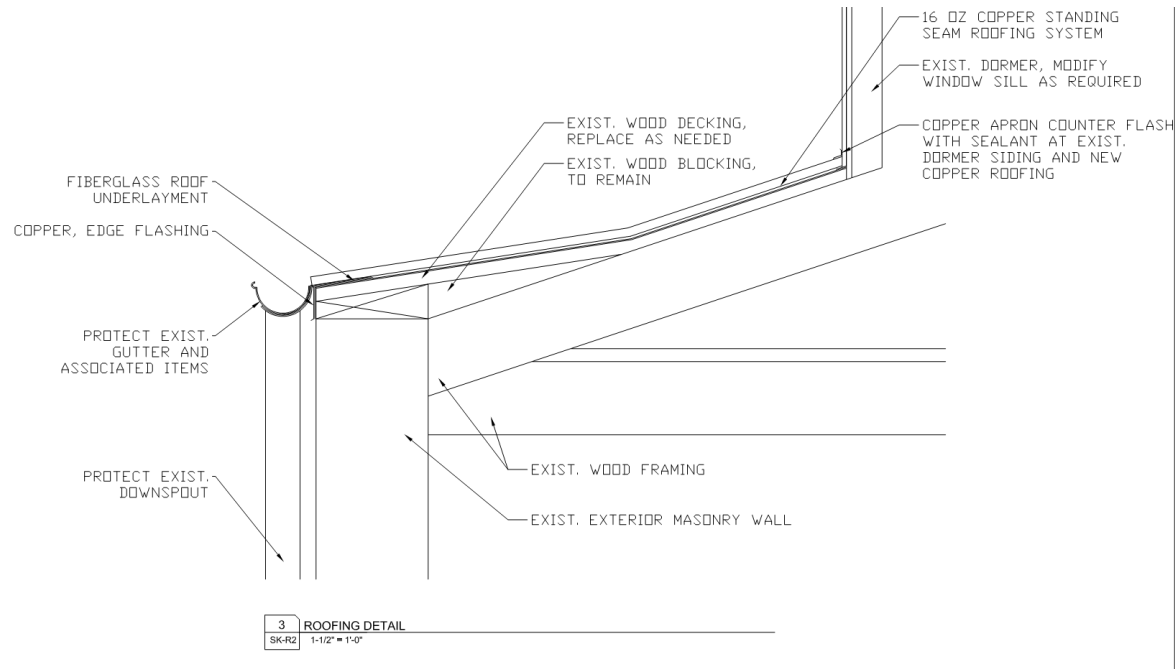
revisions		
no.	description	date

short contents  
 ROOF PLAN AND DETAILS

**SK-R2**











woodward design group  
WOODWARD DESIGN GROUP, INC.  
1000 ALABAMA AVENUE, SUITE 1000  
HOUSTON, TEXAS 77002  
713.596.8844  
DONALD F. FOSTER  
ARCHITECT AIA, LEED AP

TUJAGUE'S RESTAURANT  
RELOCATION  
New Orleans, Louisiana

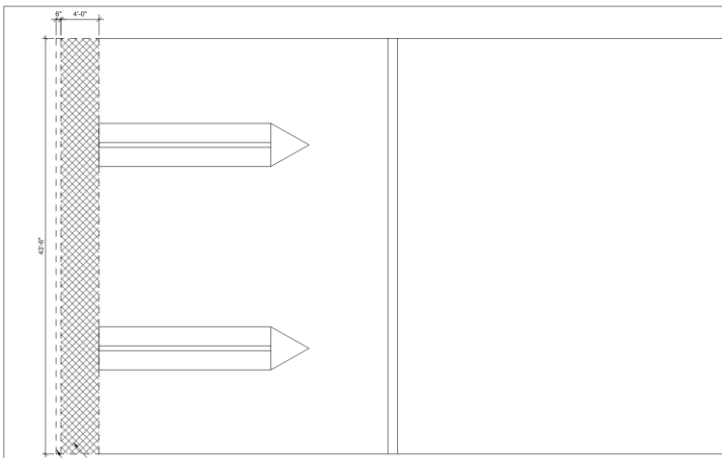
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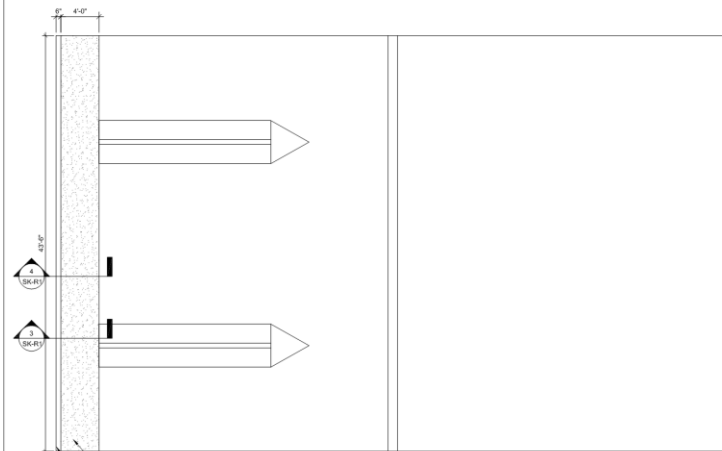
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ROOF PLAN AND  
DETAILS

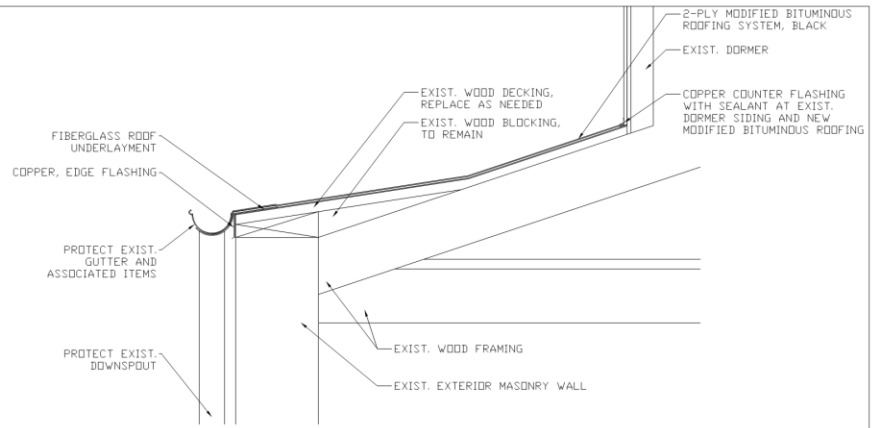
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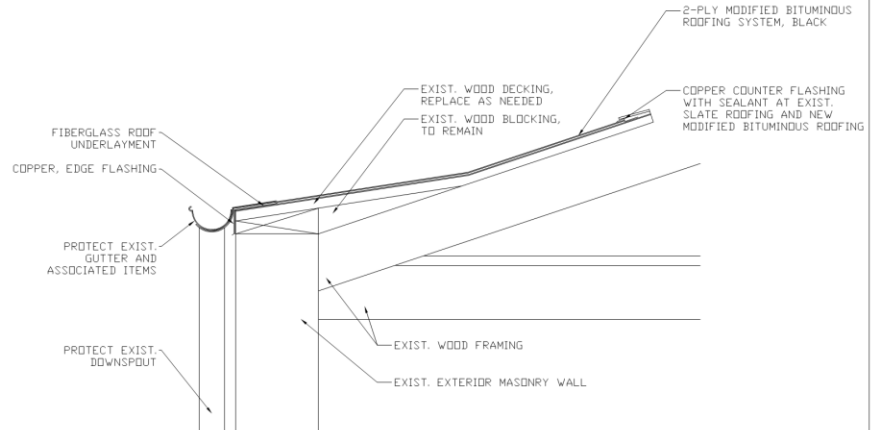
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SK-R1 3/16" = 1'-0"



2 ROOF PLAN  
SK-R1 3/16" = 1'-0"



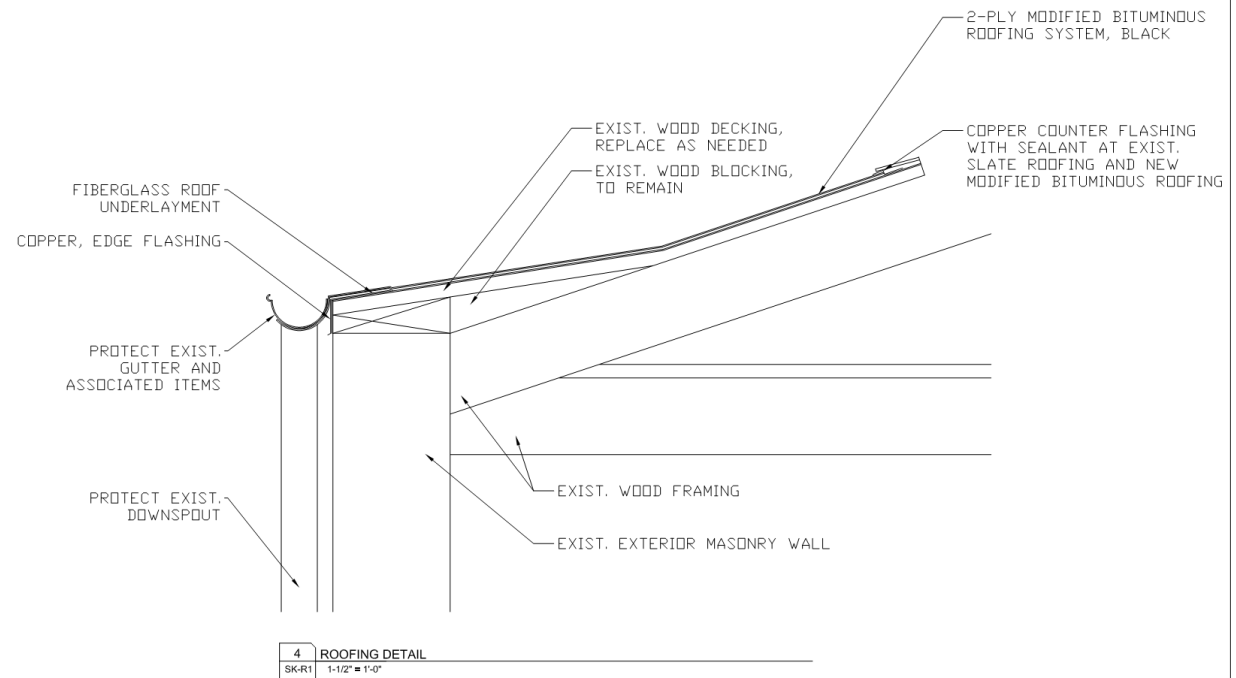
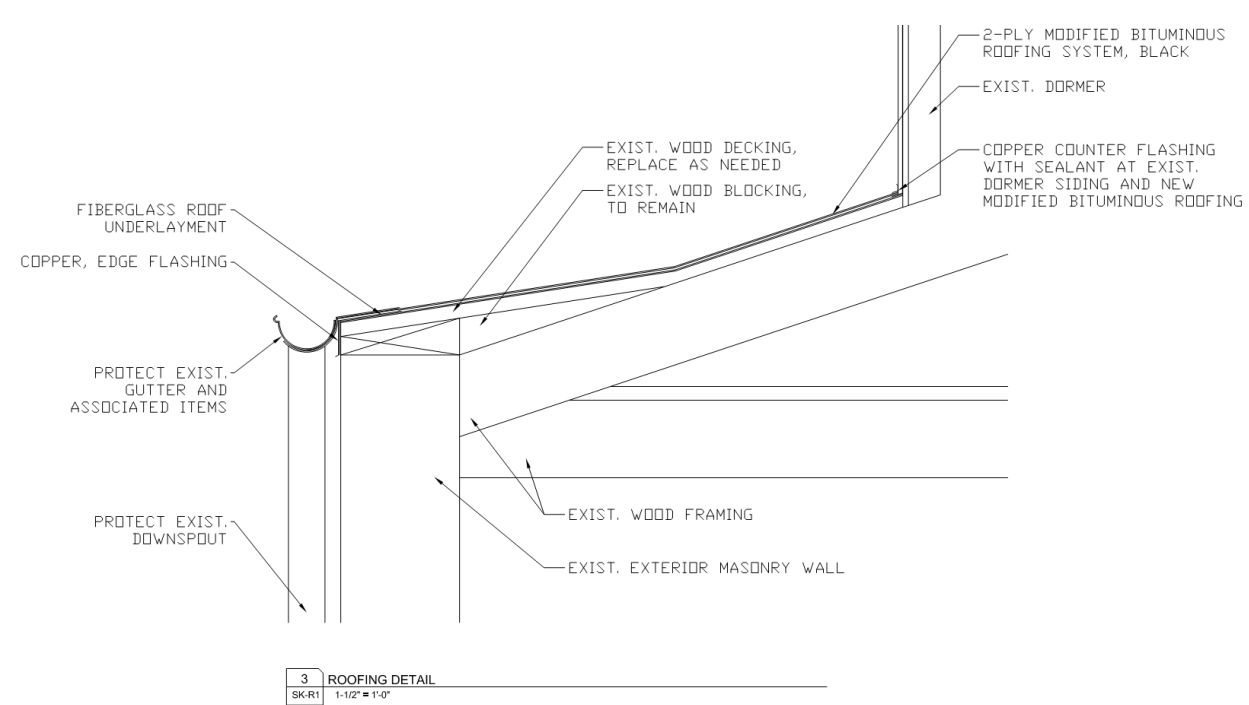
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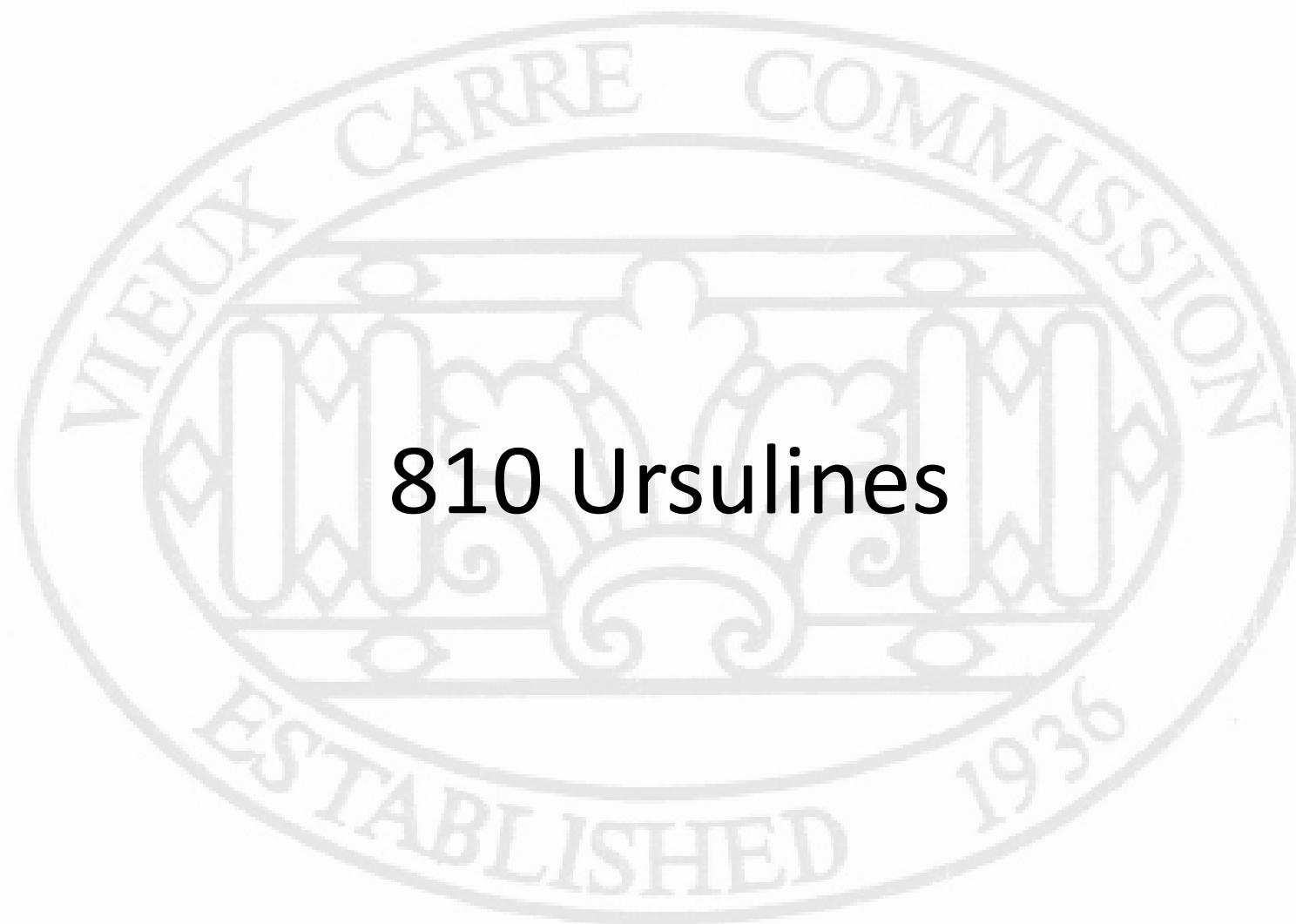
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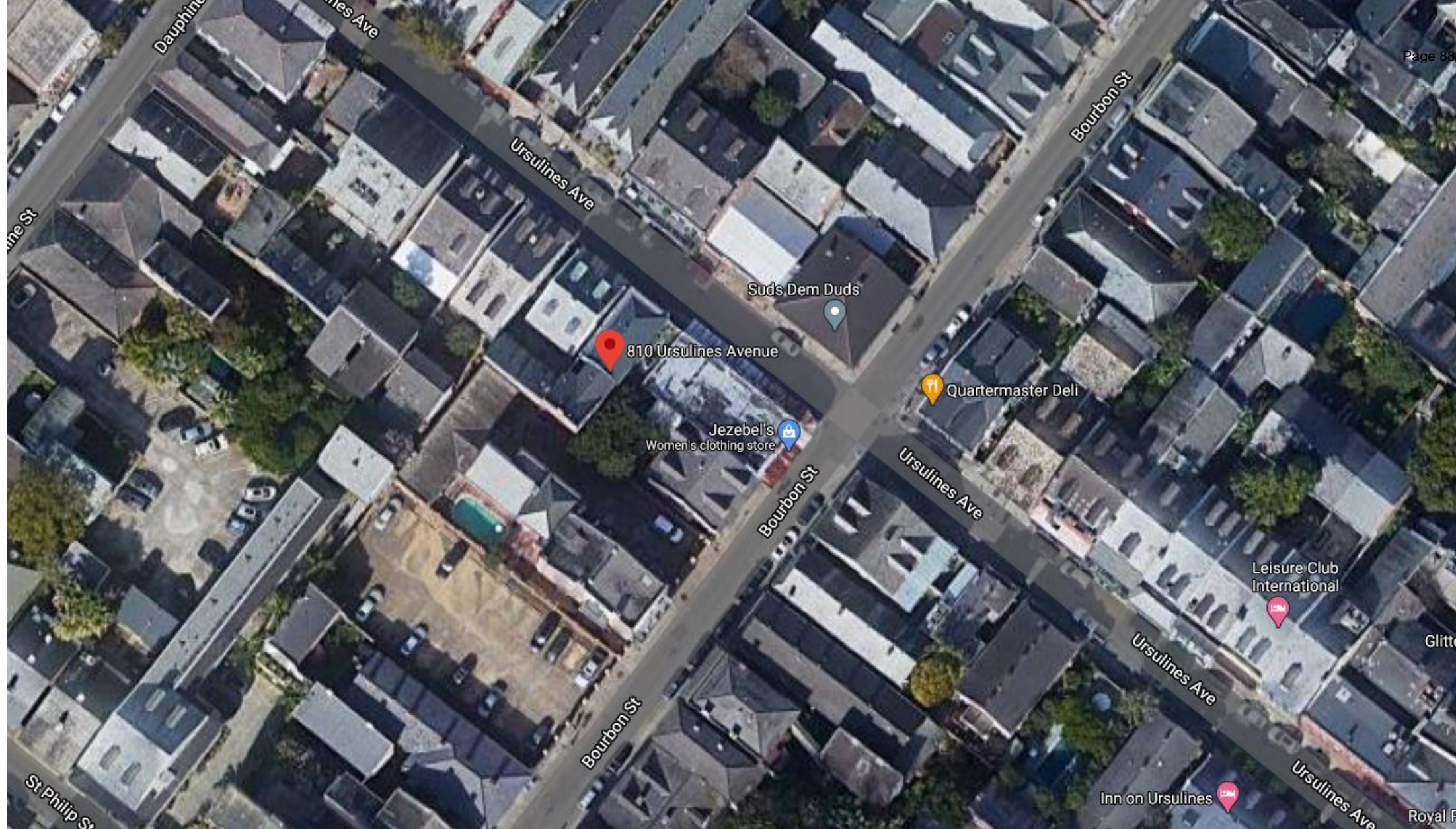






**810 Ursulines**





810 Ursulines

VCC Architectural Committee

October 13, 2020







810 Ursulines - 1963

VCC Architectural Committee

October 13, 2020







810 Ursulines – ca. 1950

VCC Architectural Committee

October 13, 2020







810 Ursulines

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03 17 2020

October 13, 2020







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October 13, 2020







810 Ursulines

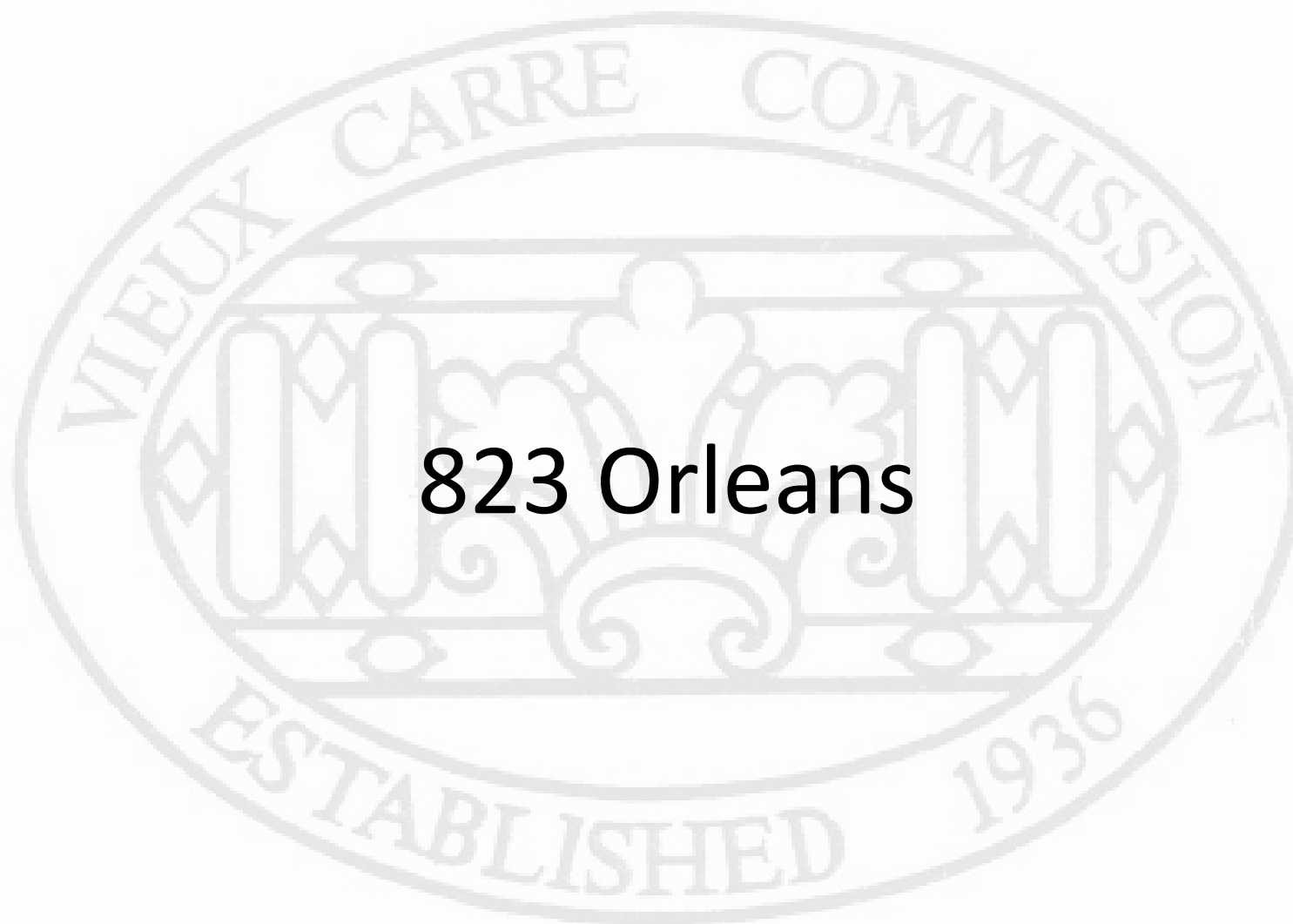
VCC Architectural Committee

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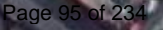




823 Orleans







## VCC Architectural Committee





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September 22, 2020







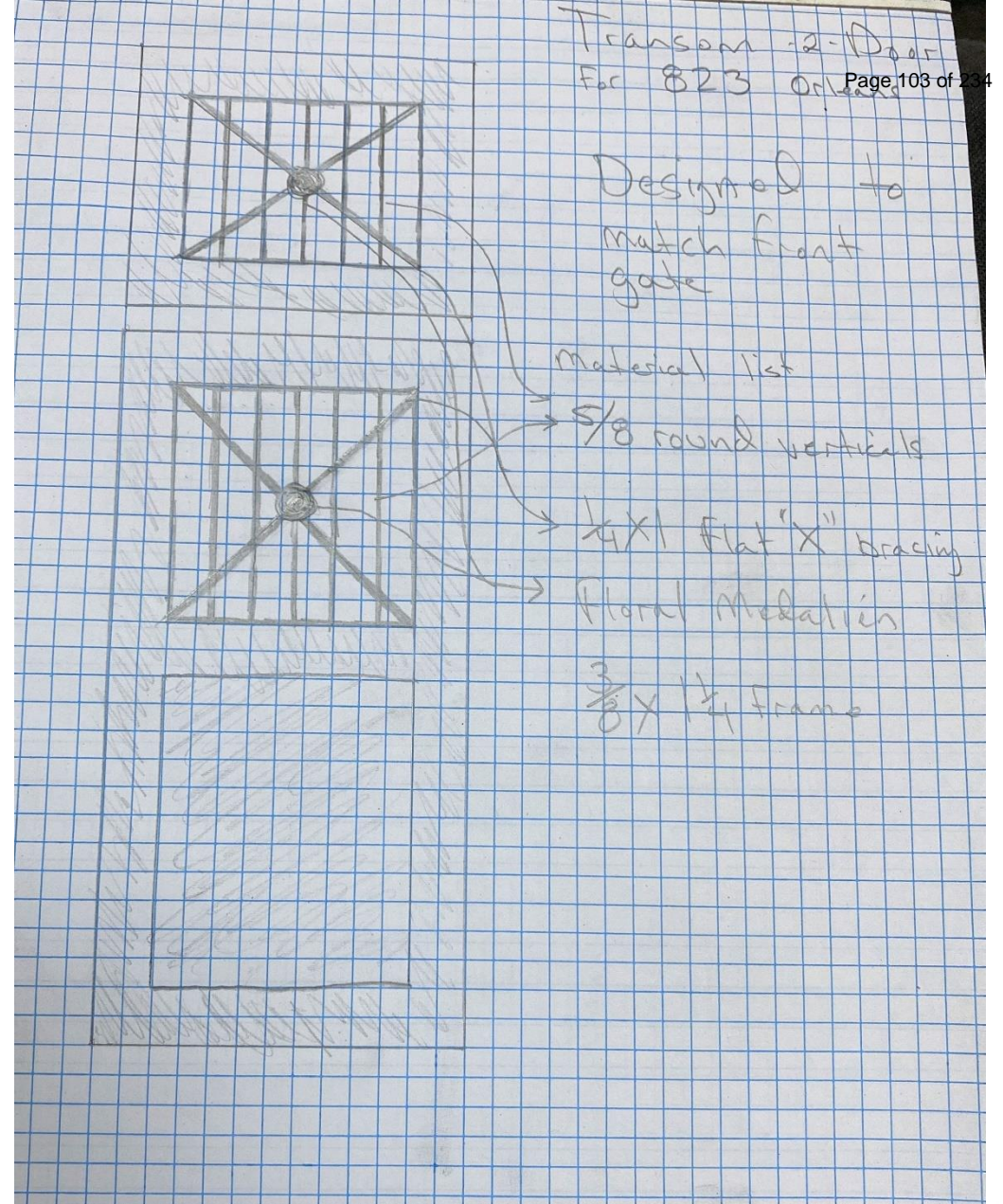
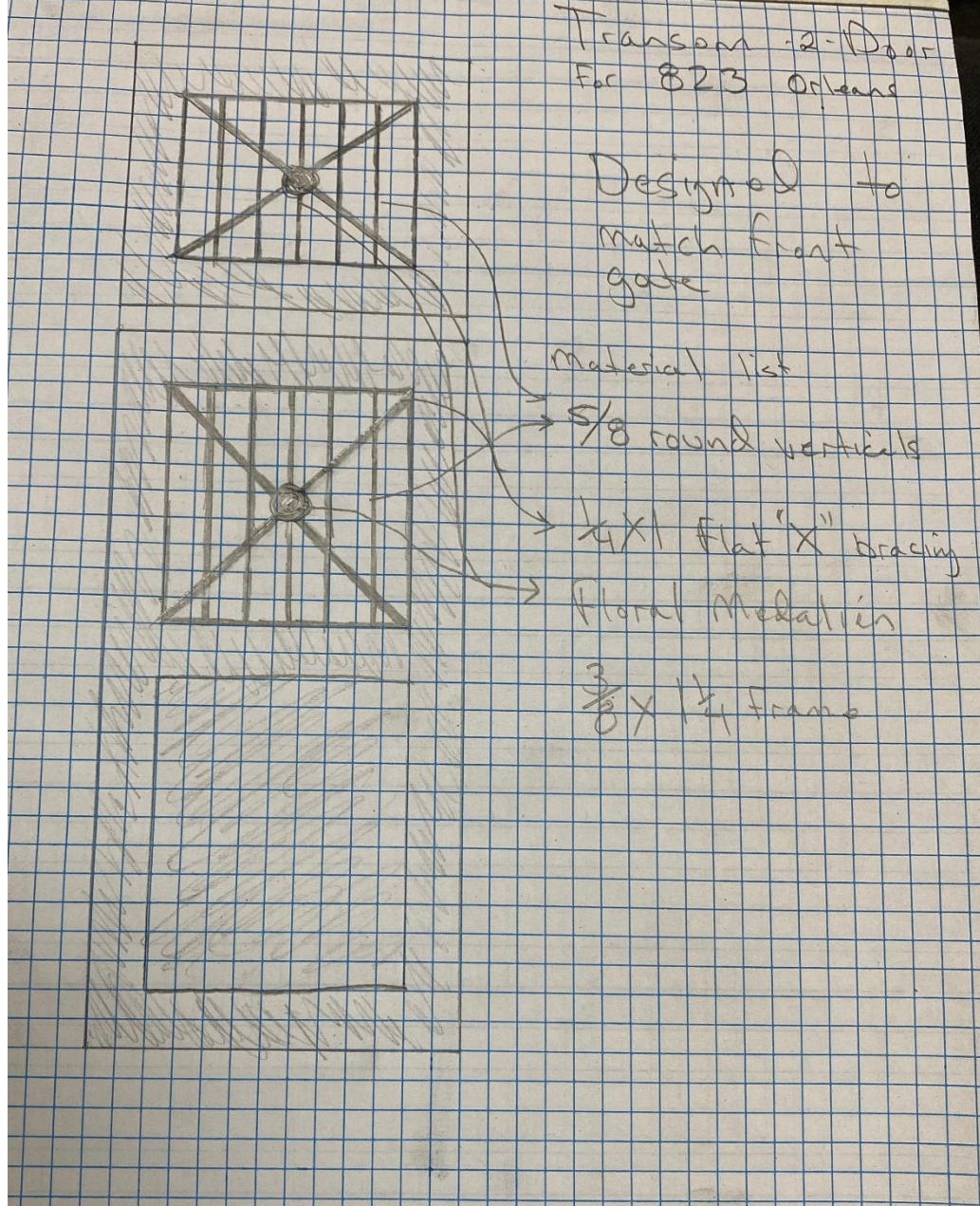
823 Orleans

VCC Architectural Committee

September 22, 2020







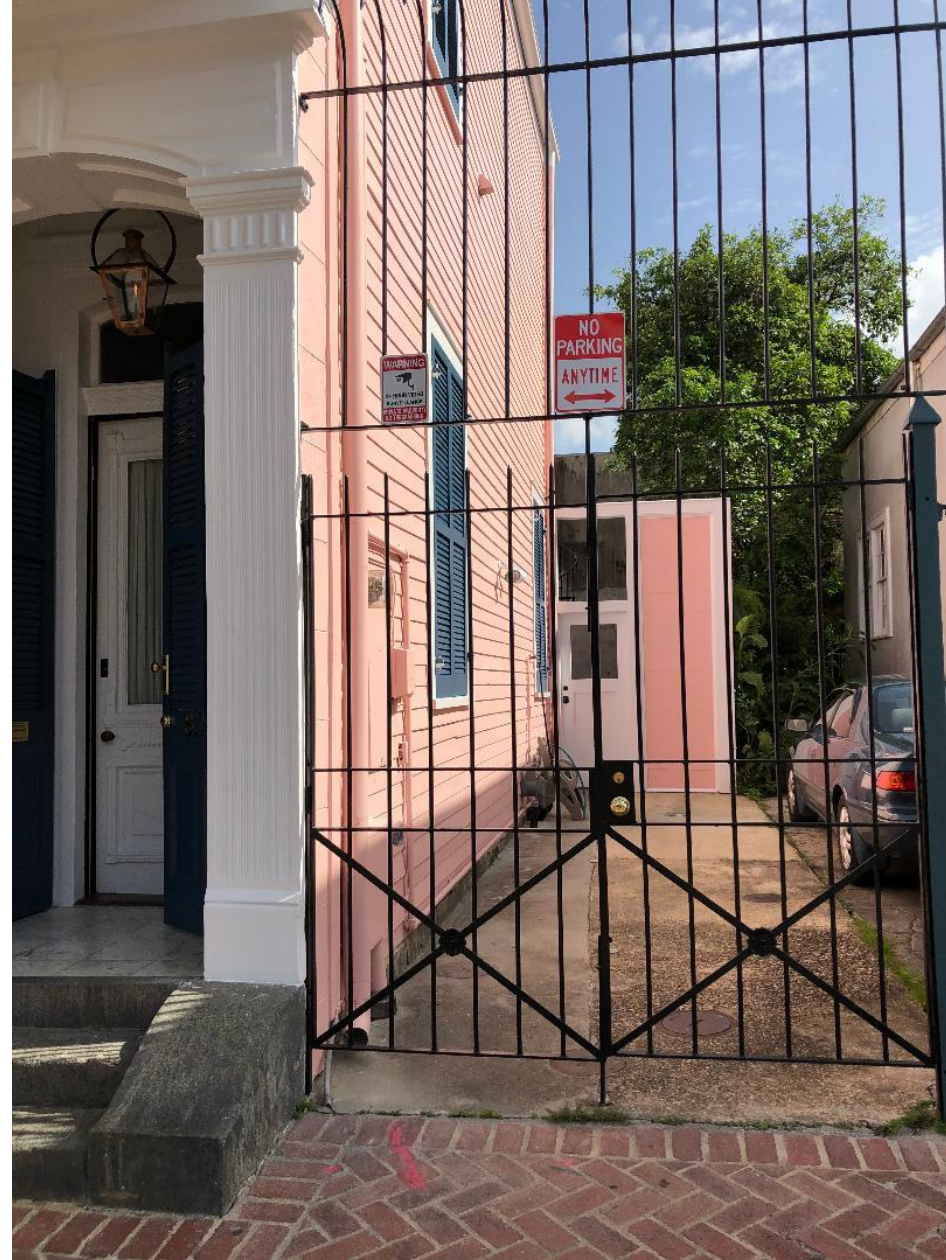
823 Orleans

VCC Architectural Committee

September 22, 2020







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September 22, 2020

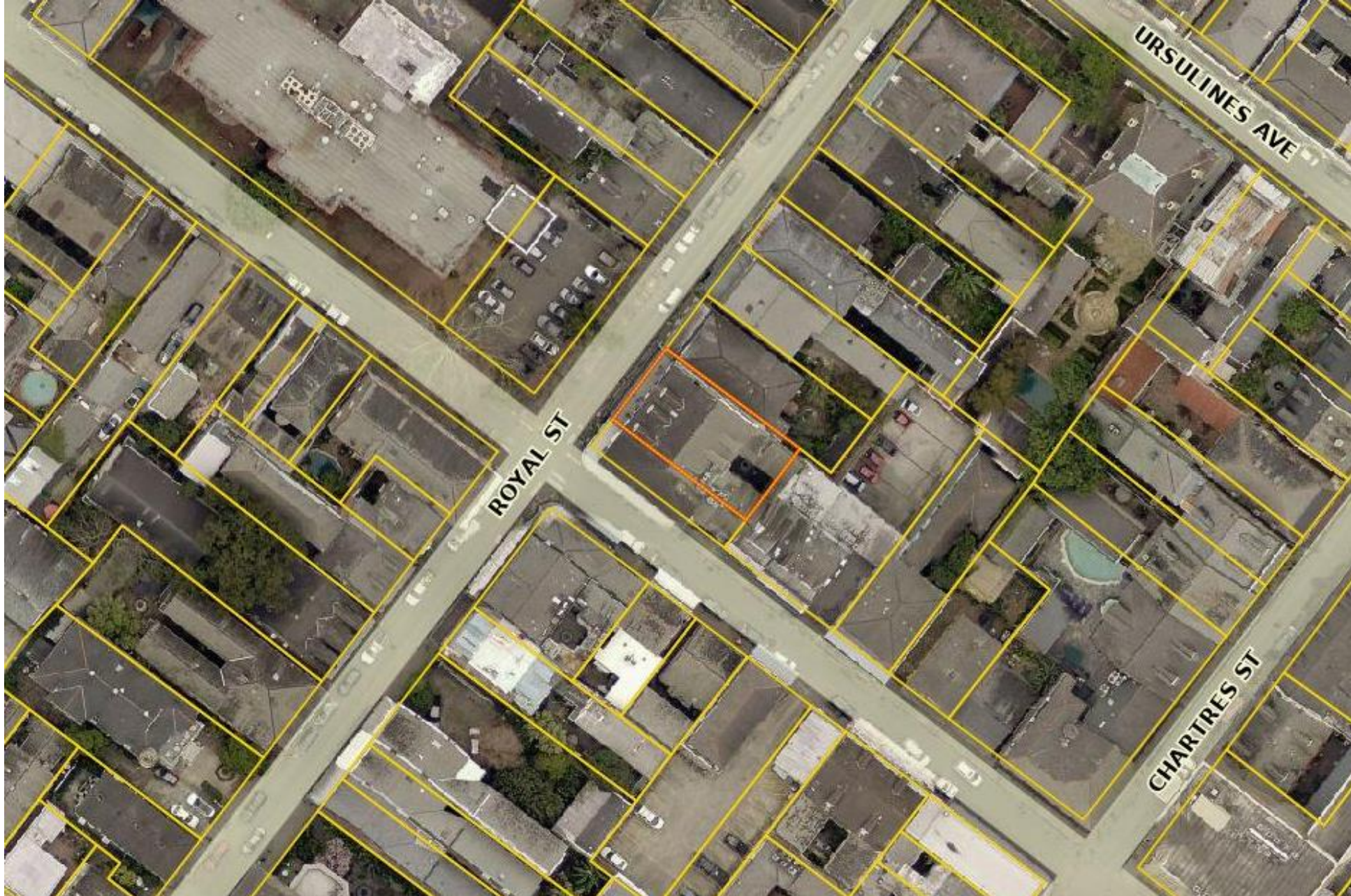






**1006 Royal**





1006 Royal

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October 13, 2020







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October 13, 2020







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October 13, 2020







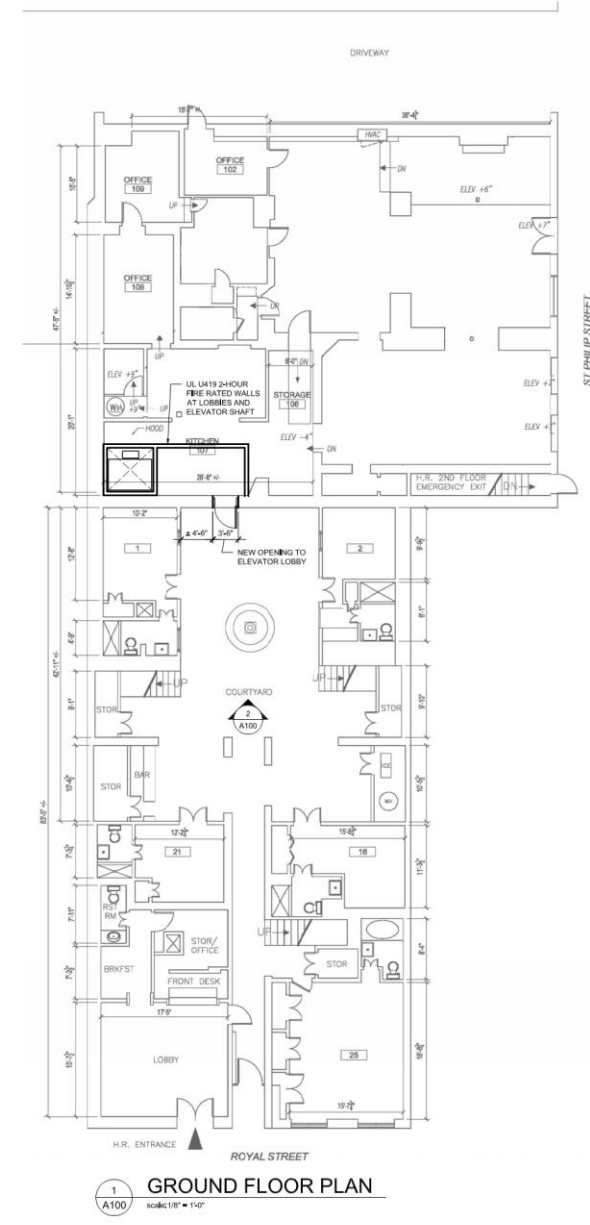
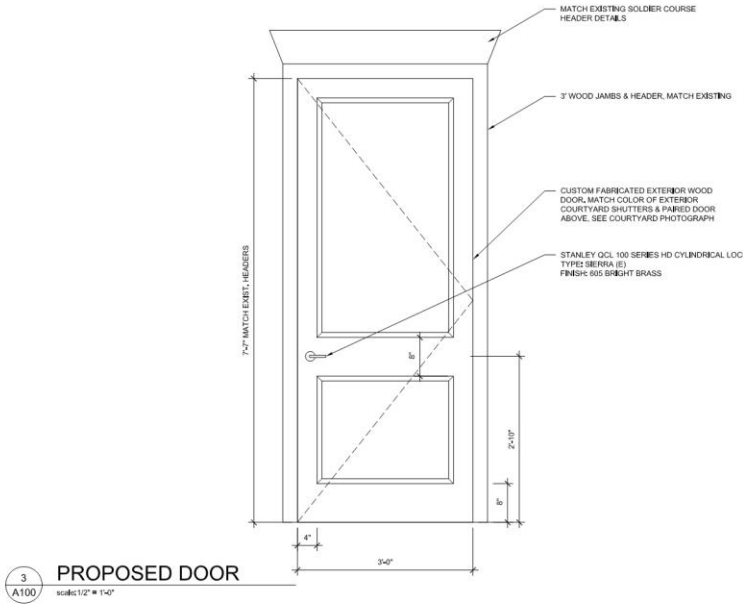
1006 Royal

VCC Architectural Committee

October 13, 2020





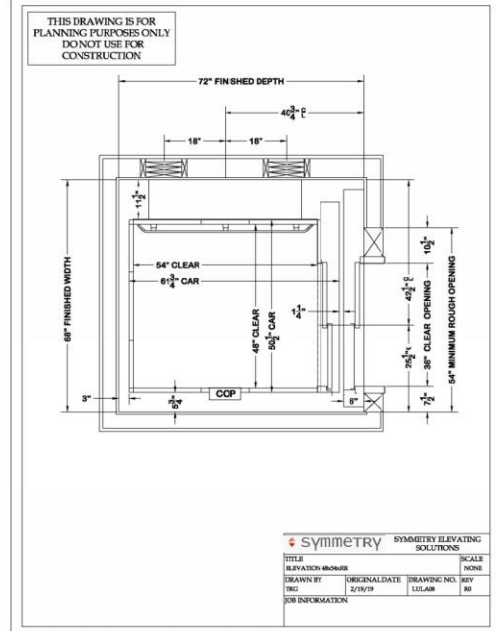
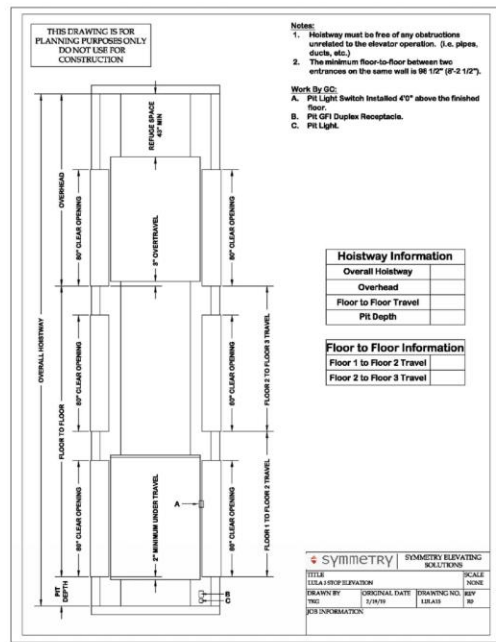




1006 Royal

VCC Architectural Committee

January 13, 2020 P:\520228.00 - 1006 Royal\425 St Philip\Drawings\02\_ACAD\10\_Other\A2.0 Site Line Diagram.dwg



## NEW ELEVATOR PENTHOUSE



2 ARIEL PERSPECTIVE  
scale: 1/8" = 1'-0"



1 SIGHT LINE DIAGRAM  
scale: 3/16" = 1'-0"

Page 111 of 234

**WILLIAMS ARCHITECTS**  
824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504-566-0888  
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I shall not be providing project representation outside the scope of this project.

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John C. Williams Architects LLC

**HOTEL ROYAL  
ELEVATOR IMPROVEMENTS**  
1006 ROYAL STREET  
NEW ORLEANS, LA 70116

-REVISIONS-		
No.	Date	Scope

DRAWING:  
SITE LINE DIAGRAM

DRAWING BY: JWA  
SCALE: AS INDICATED  
JOB NO.: 520228.00  
DATE: 9/28/2020  
Sheet No.

**A200**

ESTABLISHED 1930

October 13, 2020





2  
A200

ARIEL PERSPECTIVE

scale: N.T.S.

1006 Royal

VCC Architectural Committee

October 13, 2020





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824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504-566-0888  
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I am not providing project construction administration services on this project.

NOT FOR CONSTRUCTION

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**HOTEL ROYAL  
ELEVATOR IMPROVEMENTS**  
1006 ROYAL STREET  
NEW ORLEANS, LA 70116

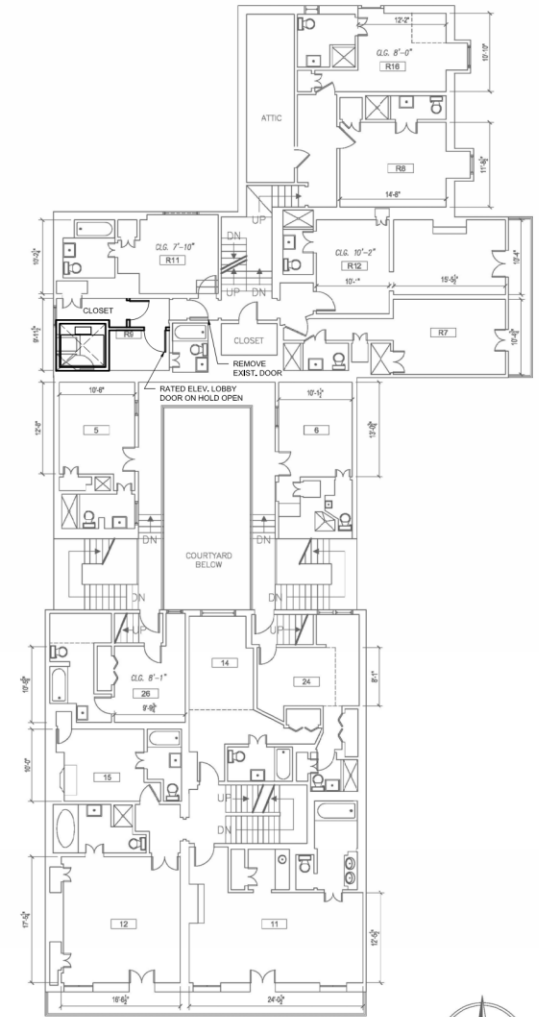
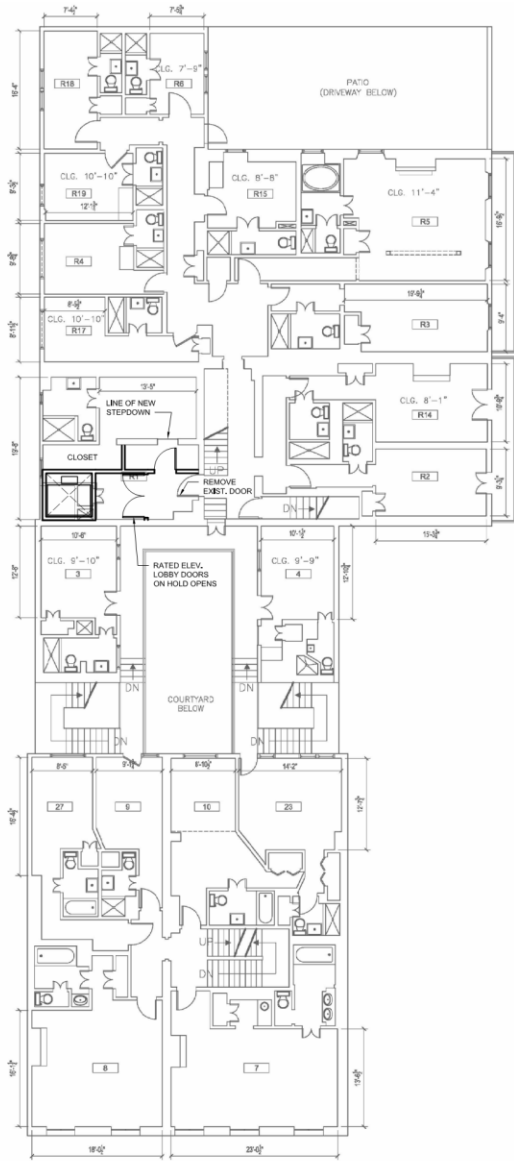
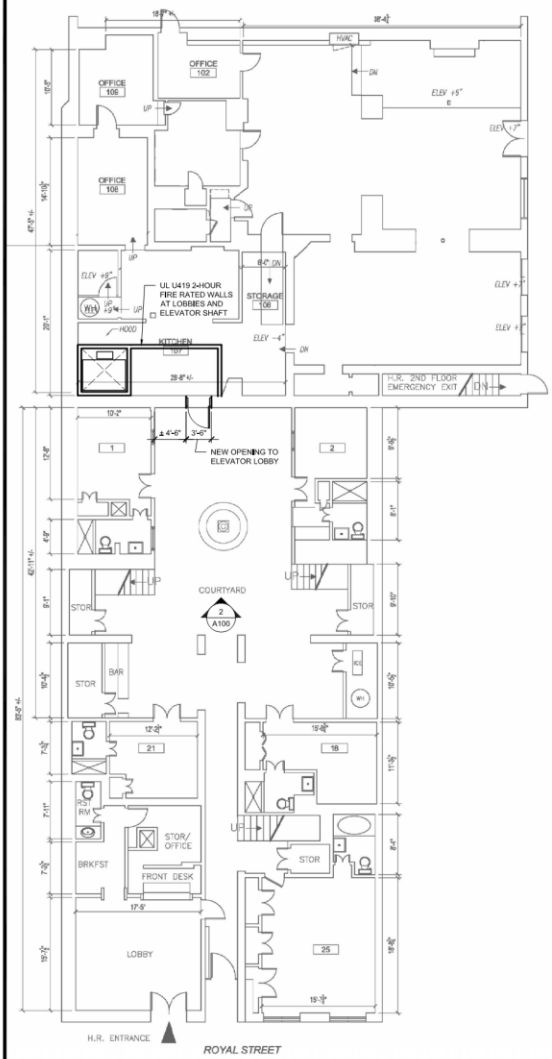
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No.	Date	Scope

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FLOOR PLANS

DRAWING BY: JWA  
SCALE: AS INDICATED  
JOB No.: S20028.00  
DATE: 9/28/2020

Sheet No.

**A100**



NOT FOR CONSTRUCTION - REVIEW / DISCUSSION ONLY

1006 Royal

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October 13, 2020





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October 13, 2020

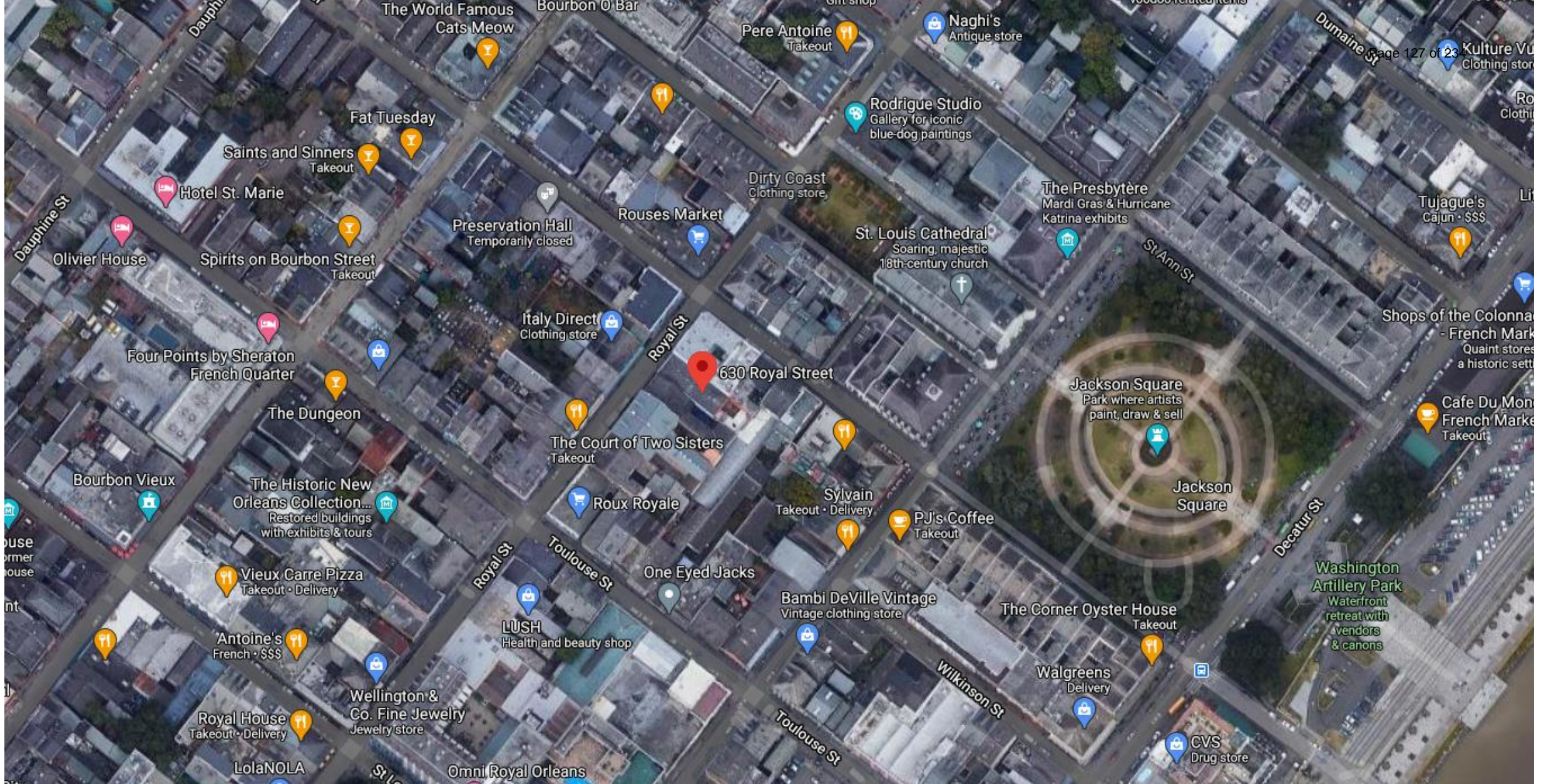






630 Royal





630 Royal

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October 13, 2020







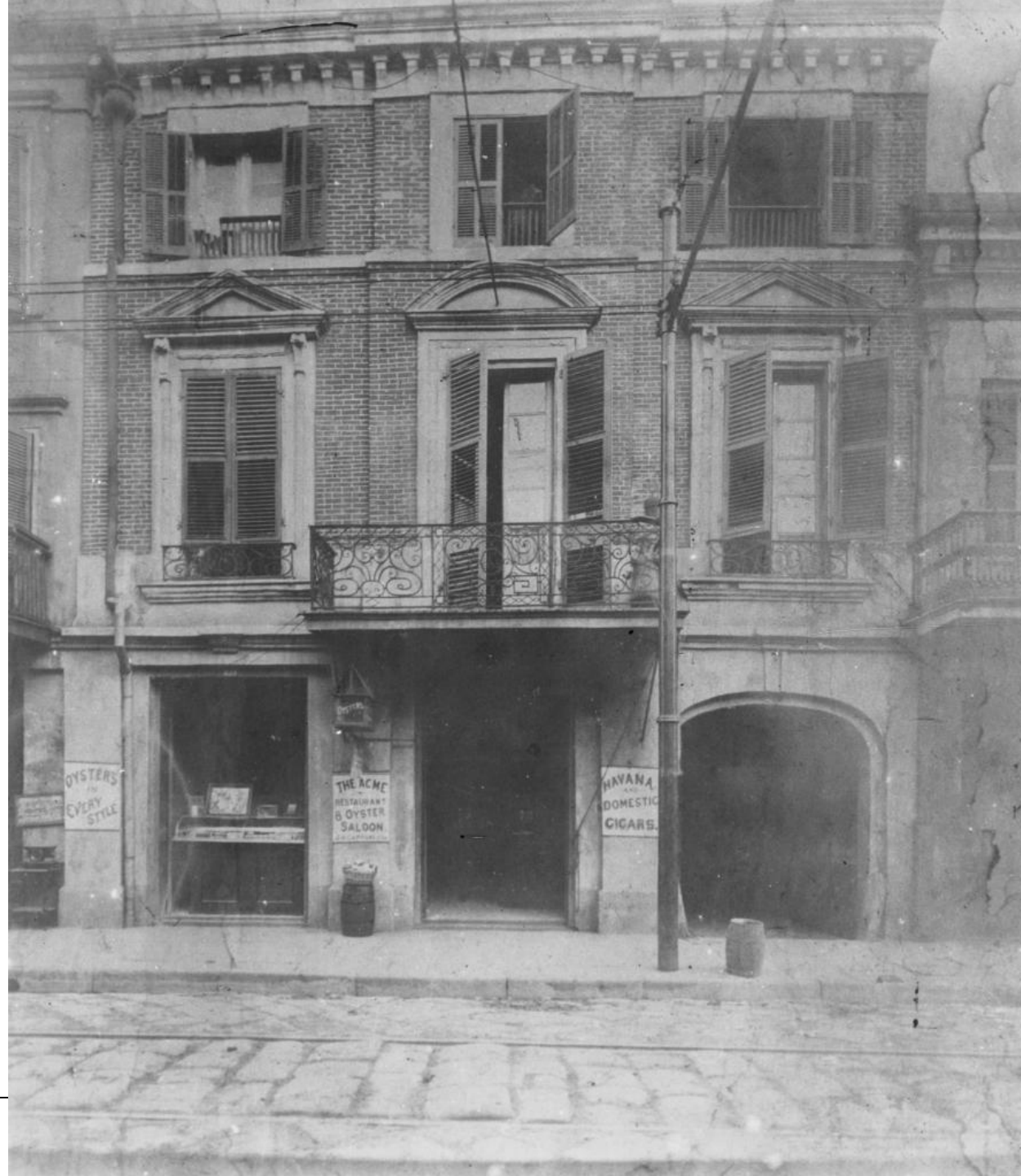
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October 13, 2020







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October 13, 2020







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October 13, 2020







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October 13, 2020







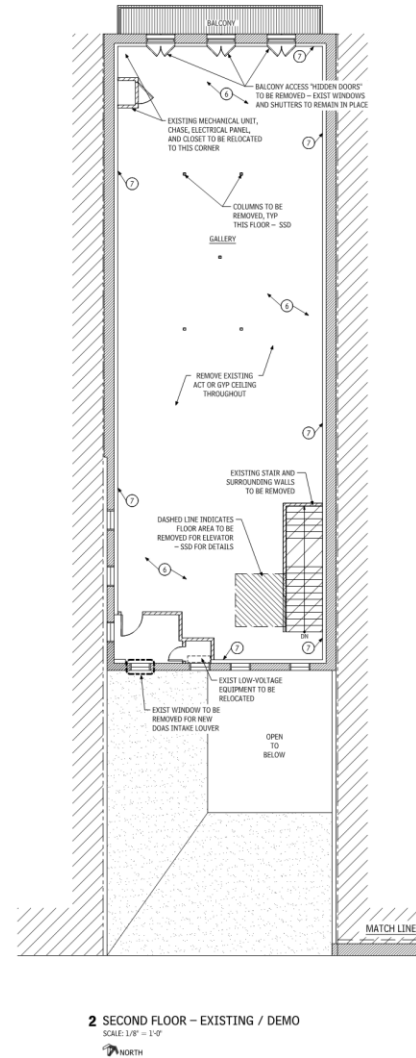
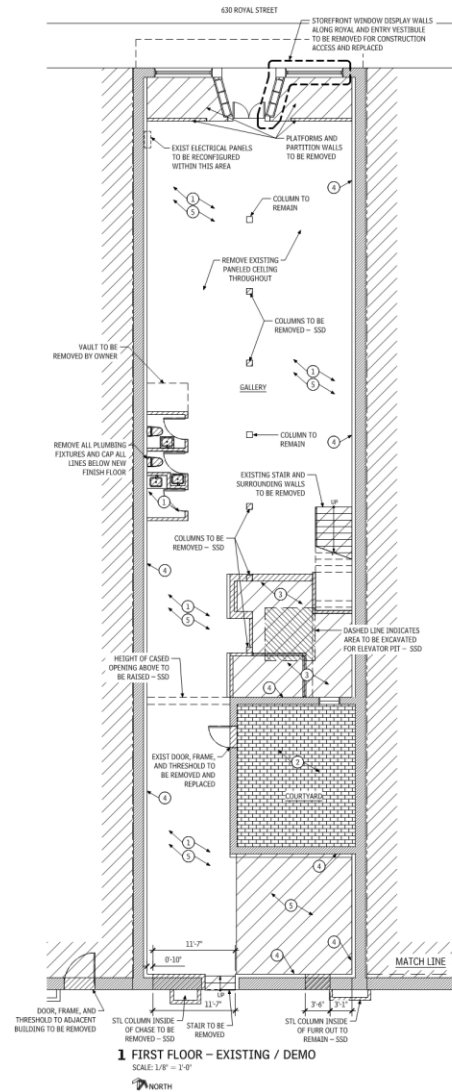
630 Royal

VCC Architectural Committee

October 13, 2020







GENERAL NOTES

- A. SEE HISTORIC TAX CREDIT GENERAL NOTES ON G001 FOR ADDITIONAL REQUIREMENTS.
- B. ALL EXISTING CASEWORK TO BE REMOVED AND STORED PRIOR TO START OF CONSTRUCTION.

SHEET NOTES:

3. FINISH FLOORING AND CONCRETE SLAB TO BE REMOVED. SEE AJ01 FOR FLOOR INFORMATION.
4. EXISTING COURTYARD BRICK PAVES TO BE REMOVED, AND LARGE FOUNTAIN TO BE STORED FOR REINSTALL. COURTYARD SHALL BE EXCAVATED AND FURRED UP TO NEW FINISH FLOOR ELEVATION AT MINIMUM. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
5. WOOD CEILING TO BE REMOVED.
6. DOWN TO MASONRY EXTERIOR WALL.
7. ALL CLOTH MATERIAL, ELECTRICAL, MECHANICAL DUCTS TO BE REMOVED.
8. EXISTING CARPET TO BE REMOVED AND FLOOR TO BE PREPARED FOR NEW FINISH FLOORING.
9. EXISTING FURNITURE THAT SITS ON FLOOR-FURRED WALLS ARE ACCEPTABLE FOR CONTINUED USE AS-IS, IF NOT DEEMED ACCEPTABLE, THEN DEMO FURRED WALLS DOWN TO MASONRY EXTERIOR WALL.

#### HATCH LEGEND

 WALLS TO BE DEMOLISHED  
 FLOOR TO BE DEMOLISHED  
 EXISTING MASONRY WALL

**OJT**

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1336 MAGAZINE ST SUITE 1  
NEW ORLEANS 70130  
504 383 4203  
OFFICEJT.COM

PROFESSIONAL OF RECORD

CIVIL AND STRUCTURAL ENGINEER:  
BATTURE, LLC  
500 CRYSTAL STREET  
NEW ORLEANS, LA 70124  
480 522 9502  
BATTURE-ENG.COM

MECHANICAL AND PLUMBING ENGINEER:  
BERNHARD MCC - NEW ORLEANS  
3002 17TH STREET  
METAIRIE, LA 70002  
504 833 8292  
BERNHARD.COM

**ELECTRICAL ENGINEER:**  
CARRAS ELECTRIC, INC  
3739 FLORIDA AVENUE  
KENNER, LA 70065  
504-661-8030

**INTERIORS CONSULTANT:**  
SCOTT TRUETT BRAND DESIGN  
2948 ROOKERY LANE  
BOISE, ID 83706

206.704.5972  
SCOTTTRUET.COM

MS RAU  
ANTIQUES

PHASE FOUR

630 ROYAL STREET  
NEW ORLEANS, LA 70130



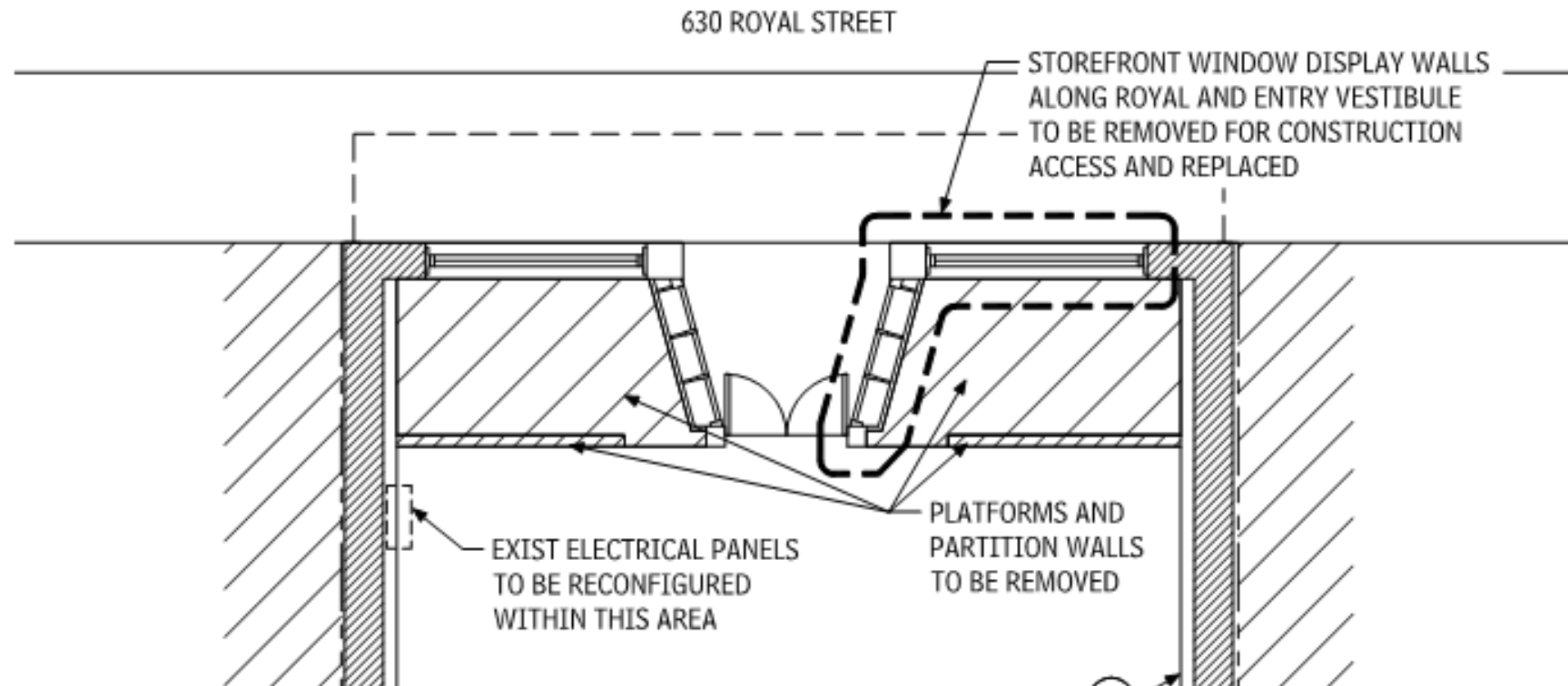
10 APRIL 20 - PERMIT / DD RELEASE

10 JUNE 2020  
75% CO. RELEASE

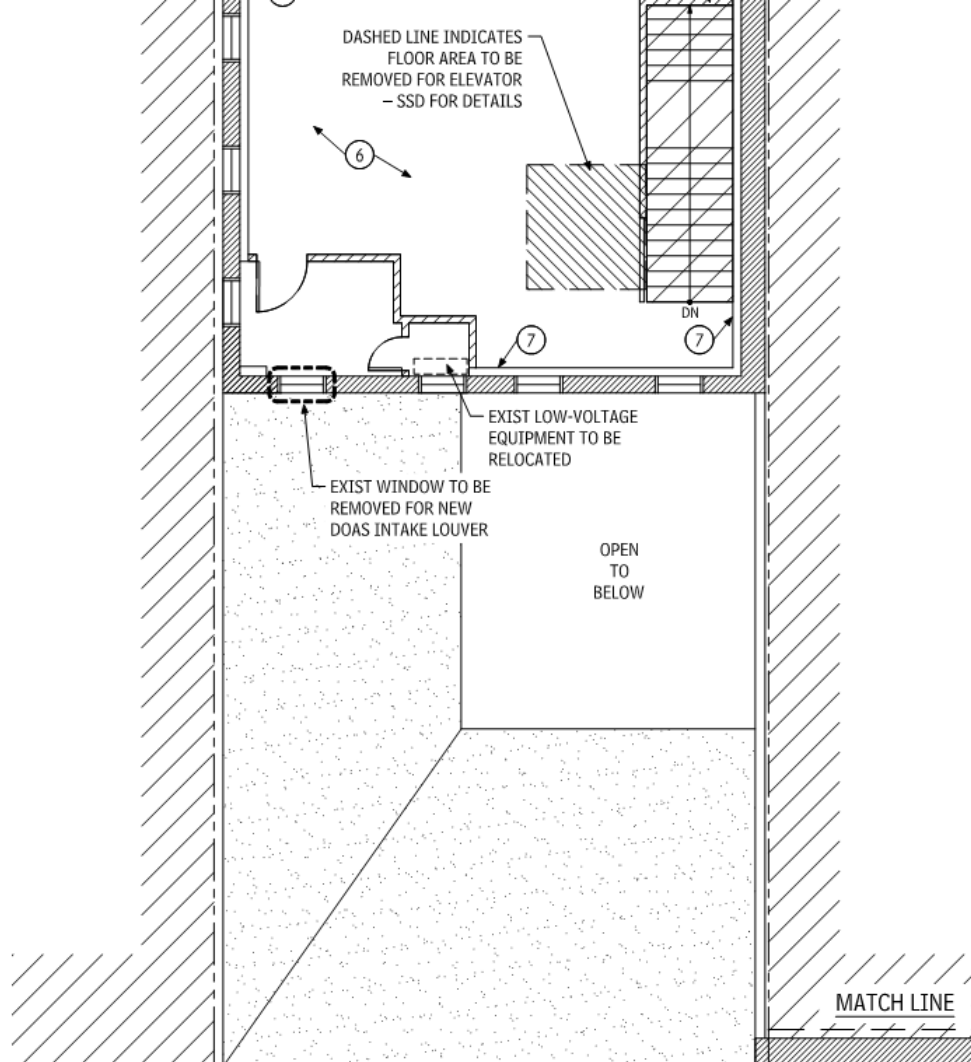
A011











## 2 SECOND FLOOR – EXISTING / DEMO

SCALE: 1/8" = 1'-0"







630 Royal

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9/27/19, 8:26 AM

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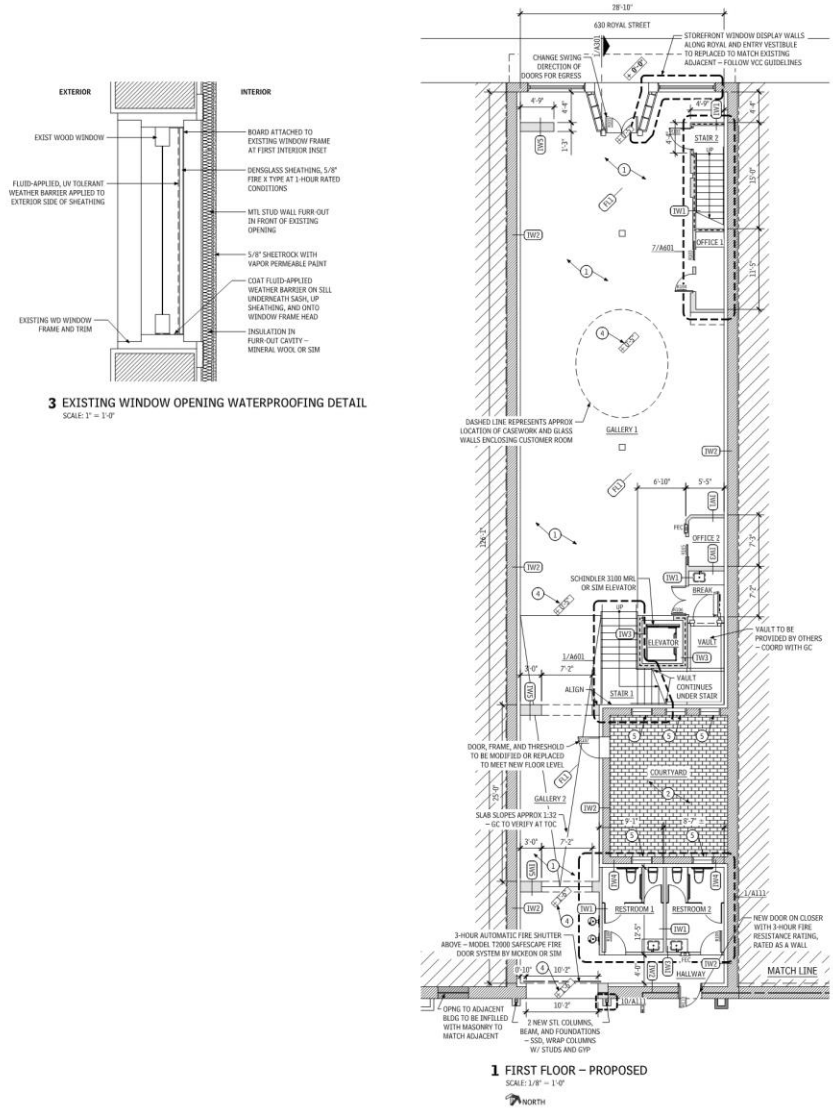
630 Royal

VCC Architectural Committee

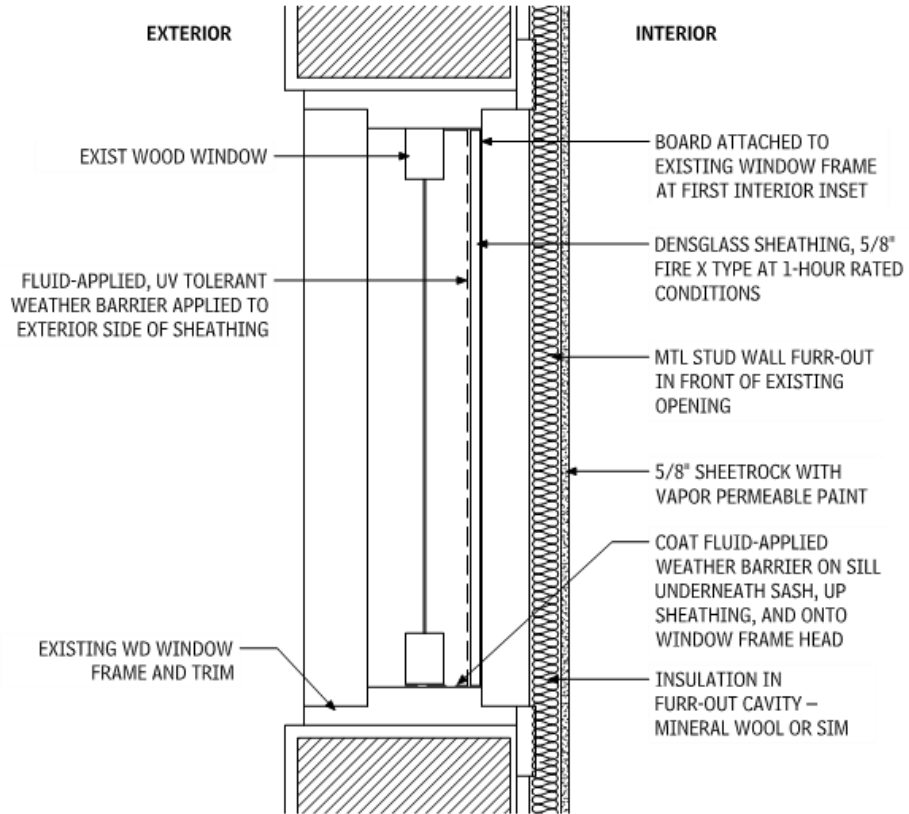
October 13, 2020



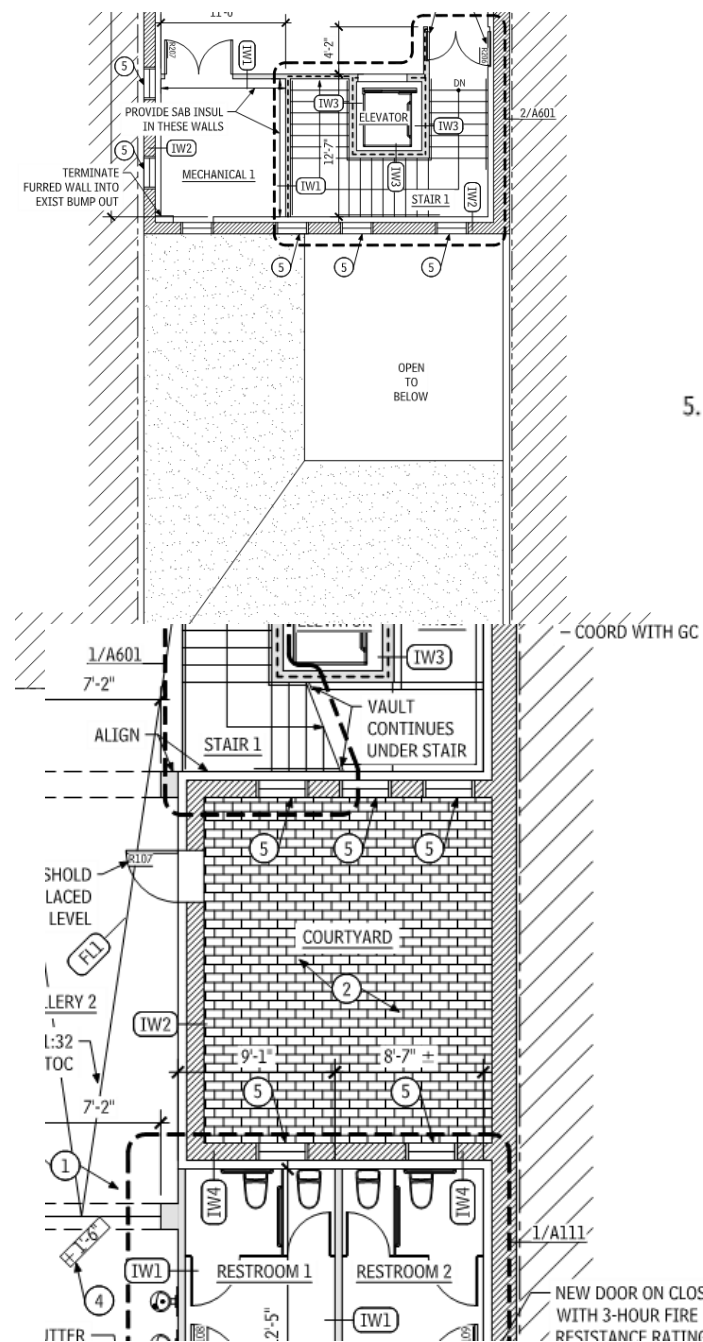








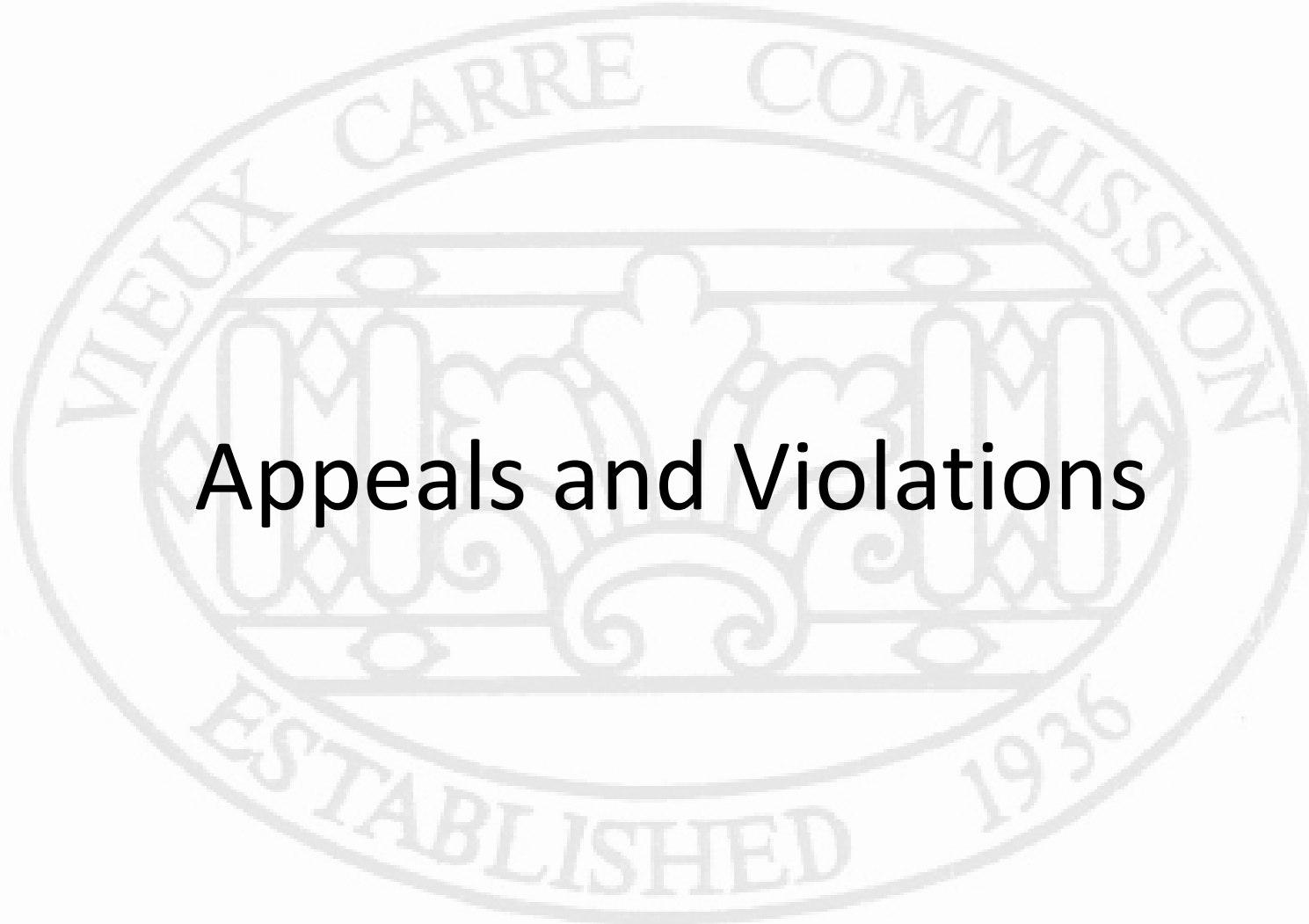
**3** EXISTING WINDOW OPENING WATERPROOFING DETAIL  
SCALE: 1" = 1'-0"



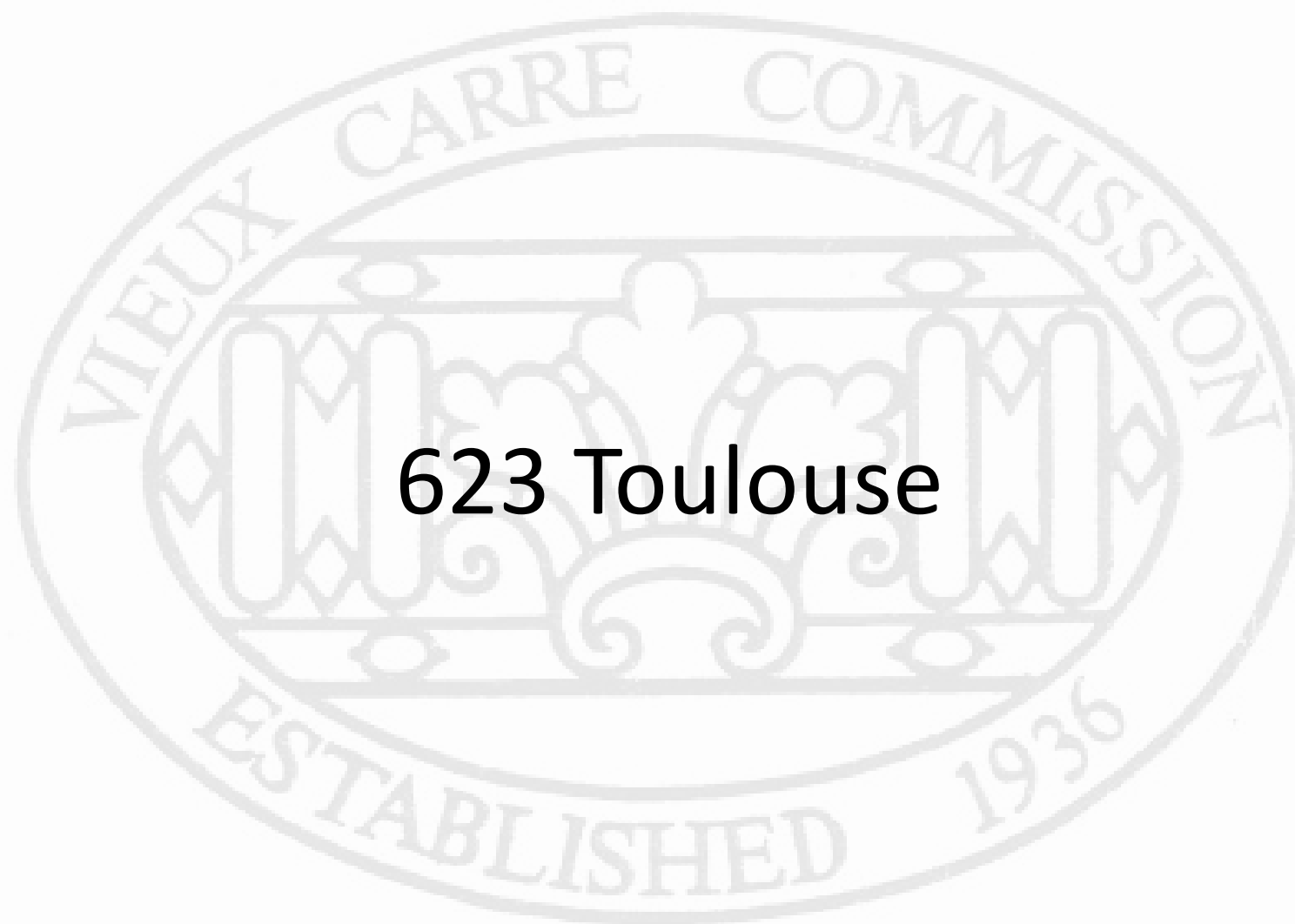
STRUCTURES.  
5. EXIST EXTERIOR OPENING TO BE FURRED OVER – USE DETAIL 3/A101.



# Appeals and Violations

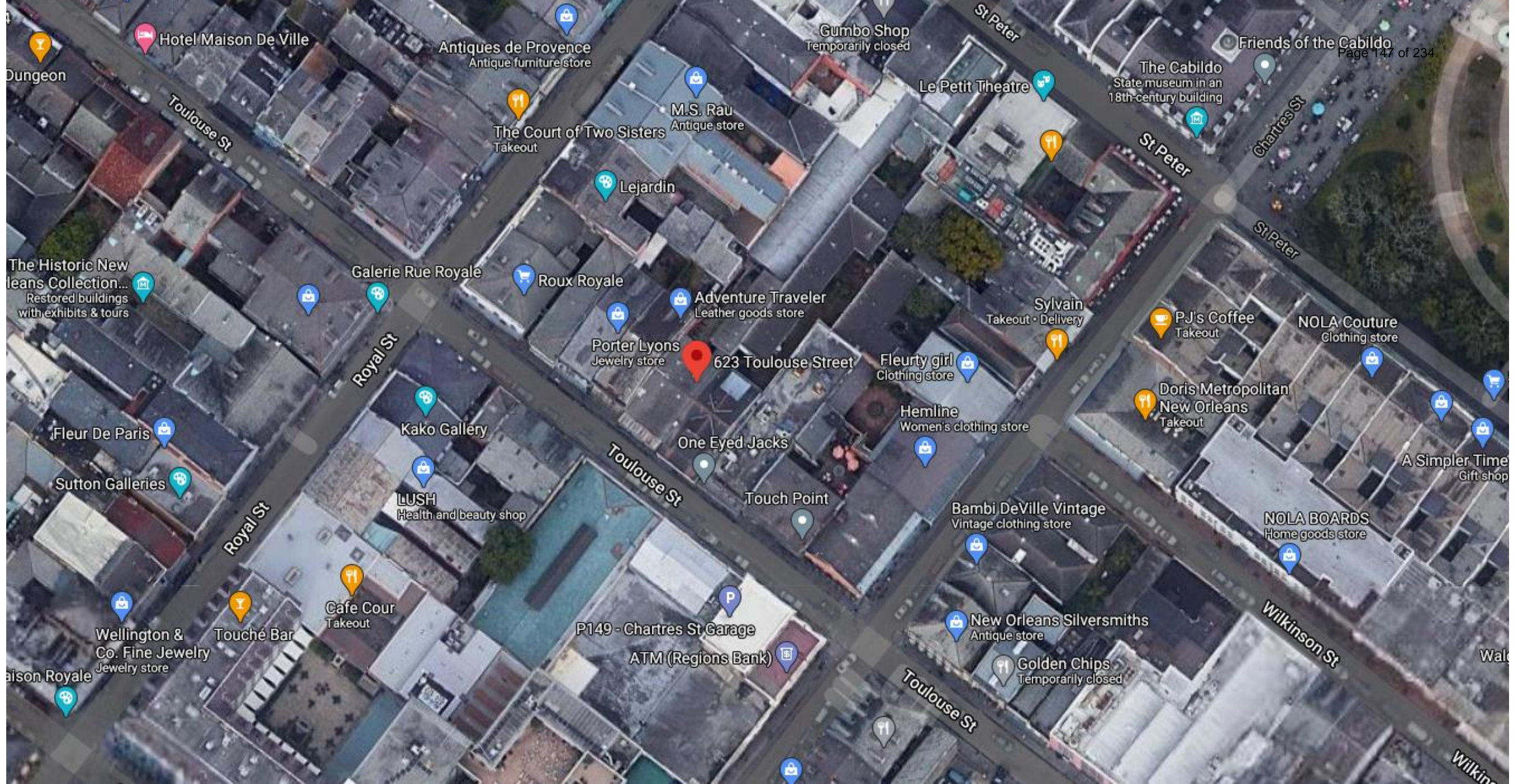






**623 Toulouse**





623 Toulouse

VCC Architectural Committee

October 13, 2020







623 Toulouse

VCC Architectural Committee

October 13, 2020







623 Toulouse

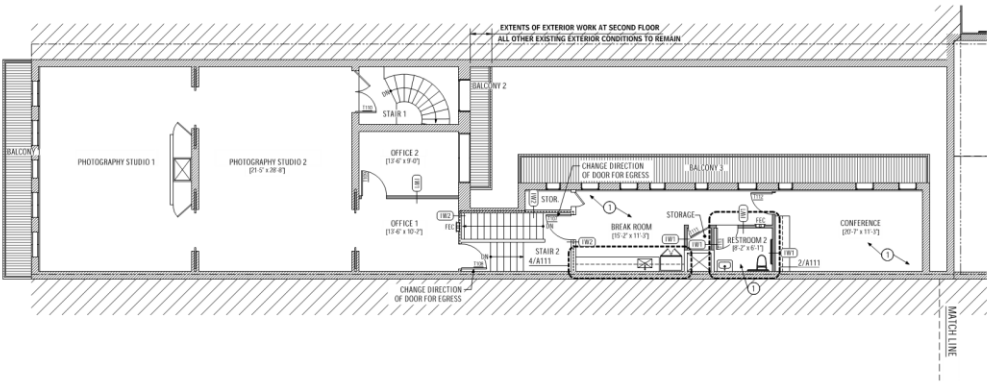
VCC Architectural Committee

October 13, 2020

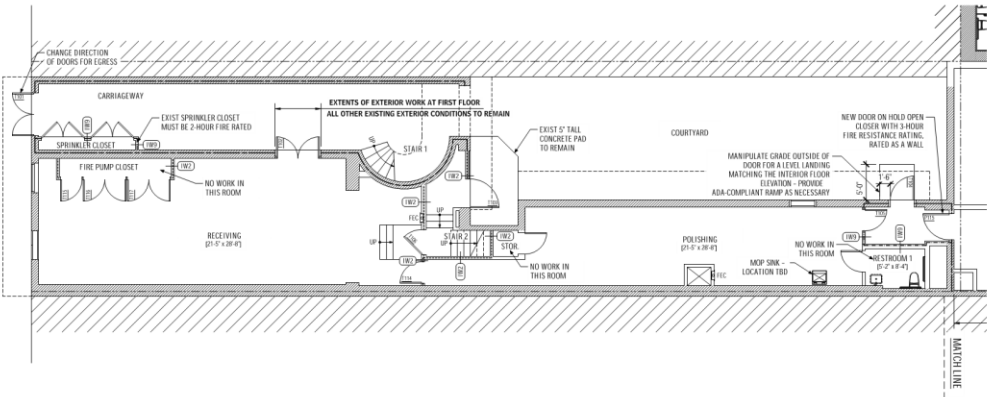




GENERAL NOTES  
A. SEE HISTORIC TAX CREDIT GENERAL NOTES ON GRID FOR ADDITIONAL REQUIREMENTS.  
SHEET NOTES  
1. NEW FINISH FLOORING INSTALLED IN THIS ROOM. SEE FINISH SCHEDULE FOR MATERIAL.



2 SECOND FLOOR - PROPOSED  
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR - PROPOSED  
SCALE: 1/8" = 1'-0"

- FIRE AND SMOKE PROTECTION
- 1-HR RATED WALL
  - 2-HR RATED WALL
  - 3-HR RATED WALL
- HATCH LEGEND
- EXISTING MASONRY WALL
  - NEW WALL
  - TILE

MATERIAL LIST  
FOLLOWING IS AN ABBREVIATED LIST OF SPEC SECTIONS USED FOR THIS PROJECT. NOT ALL SECTIONS ARE INCLUDED IN LIST OR NOTED IN DRAWING SET. THE USE OF MATERIAL NOTES IS TO REFERENCE THE ASSOCIATED SPEC SECTION THAT PROVIDES REQUIREMENTS AND INFO ON PRODUCTS AND EXECUTION. LIST IS FOR REFERENCE ONLY.

- 033000 CAST-IN-PLACE CONCRETE
- 040000 UNIT MASONRY
- 051000 STRUCTURAL STEEL FRAMING
- 050000 METAL FABRICATIONS
- 061000 ROUGH CARPENTRY
- 061513 WOOD PATIO DECKING
- 061600 SHEATHING
- 062000 FINISH CARPENTRY
- 072000 THERMAL INSULATION
- 075000 WEATHER BARRIERS
- 076460 FIBER CEMENT SIDING
- 075200 MODIFIED BITUMINOUS MEMBRANE
- 076200 ROOFING
- 076200 SHEET METAL FLASHING AND TRIM
- 077000 ROOF SPECIALTIES
- 078000 JOINT SEALANTS
- 081410 FLUSH WOOD DOORS
- 083113 ACCESS DOORS AND FRAMES
- 085000 WINDOW
- 087000 DOOR HARDWARE
- 088000 MIRRORS
- 092716 NON STRUCTURAL METAL FRAMING
- 090000 GYPSUM BOARD
- 090000 TILING
- 090500 ACoustICAL CEILING
- 096400 WOOD FLOORING
- 096513 RESILIENT RUBBER STAIR TREADS & RISERS
- 099000 PAINTING
- 102000 TOILET, BATH AND LAUNDRY ACCESSORIES
- 102019 TUB AND SHOWER DOORS
- 113000 RESIDENTIAL APPLIANCES
- 120400 STONE COUNTERTOPS
- 142400 HYDRAULIC ELEVATORS
- 313116 TERMINAL CONTROL
- 316279 TIMBER PILES
- 321243 POROUS FLEXIBLE PAVING
- 321513 CONCRETE PAVING
- 323126 CONCRETE PAVING JOINT SEALANT
- 323526 WOOD FENCING AND GATES
- 329000 PLANTS

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OFFICE@JT.COM

PROFESSIONAL OF RECORD

CIVIL AND STRUCTURAL ENGINEER  
BATTISTONE, LLC  
1000 PONTCHARTRAIN BLVD  
NEW ORLEANS, LA 70114  
504.527.8800  
BATTISTONE.ENG.COM

MECHANICAL AND LIGHTING ENGINEER  
BONNARD, INC. - NEW ORLEANS  
3001 17TH STREET  
METairie, LA 70002  
504.882.8241  
BONNARD.COM

ELECTRICAL ENGINEER  
CARBASS ELECTRIC, INC.  
2715 CEDAR AVENUE  
KENNER, LA 70146  
504.461.4600  
CARBASS.ELECTRIC.COM

INTERIORS CONSULTANT  
SCOTT THOMAS DESIGN  
2040 ROCHERLY LANE  
BRIAR, LA 70007  
504.794.1877  
SCOTTTHOMAS.COM

MS RAU  
ANTIQUES

PHASE TWO  
4027 TROUSDALE STREET  
NEW ORLEANS, LA 70130



20 SEPT 18 - SD REVIEW  
16 NOV 18 - SPN PRELIM REVIEW  
1 DECEMBER 18 - SD - N/C RELEASE  
4 JANUARY 19 - PERMIT RELEASE

4 FEBRUARY 2019  
NOLA CD RELEASE

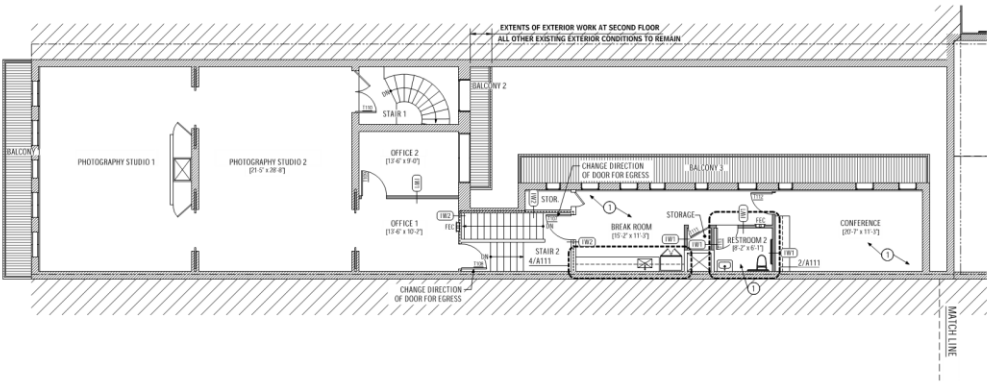
A101

October 13, 2020

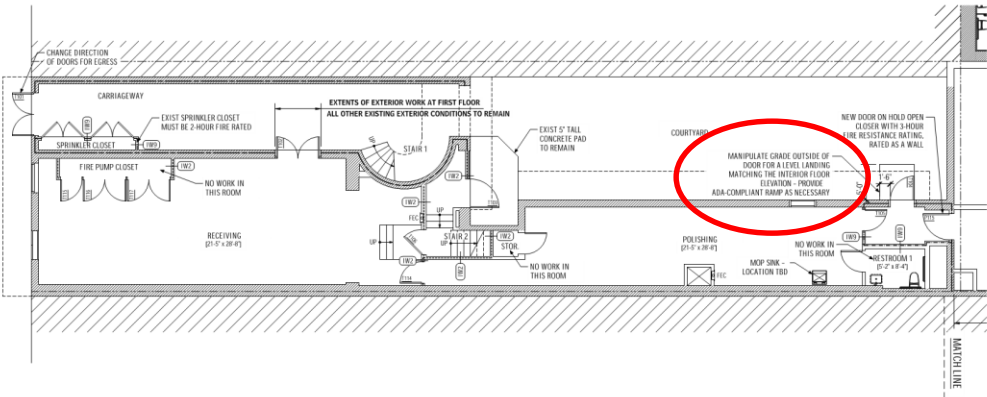




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SHEET NOTES  
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2 SECOND FLOOR - PROPOSED  
SCALE: 1/8" = 1'-0"  
NORTH



1 FIRST FLOOR - PROPOSED  
SCALE: 1/8" = 1'-0"  
NORTH

- FIRE AND SMOKE PROTECTION
- 1-HR RATED WALL
  - 2-HR RATED WALL
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- HATCH LEGEND
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- 061600 SHEATHING
- 062000 FINISH CARPENTRY
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2115 LEBLANC AVENUE  
KENNER, LA 70146  
504.461.8600  
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2040 BOULEVARD LANE  
BRIAR, LA 70007  
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MS RAU  
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PHASE TWO  
4027 TROUSDALE STREET  
NEW ORLEANS, LA 70110



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16 NOV 18 - SPN PRELIM REVIEW  
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4 FEBRUARY 2019  
100% CD RELEASE

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VCC Architectural Committee

05 06 2020

October 13, 2020







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October 13, 2020





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October 13, 2020

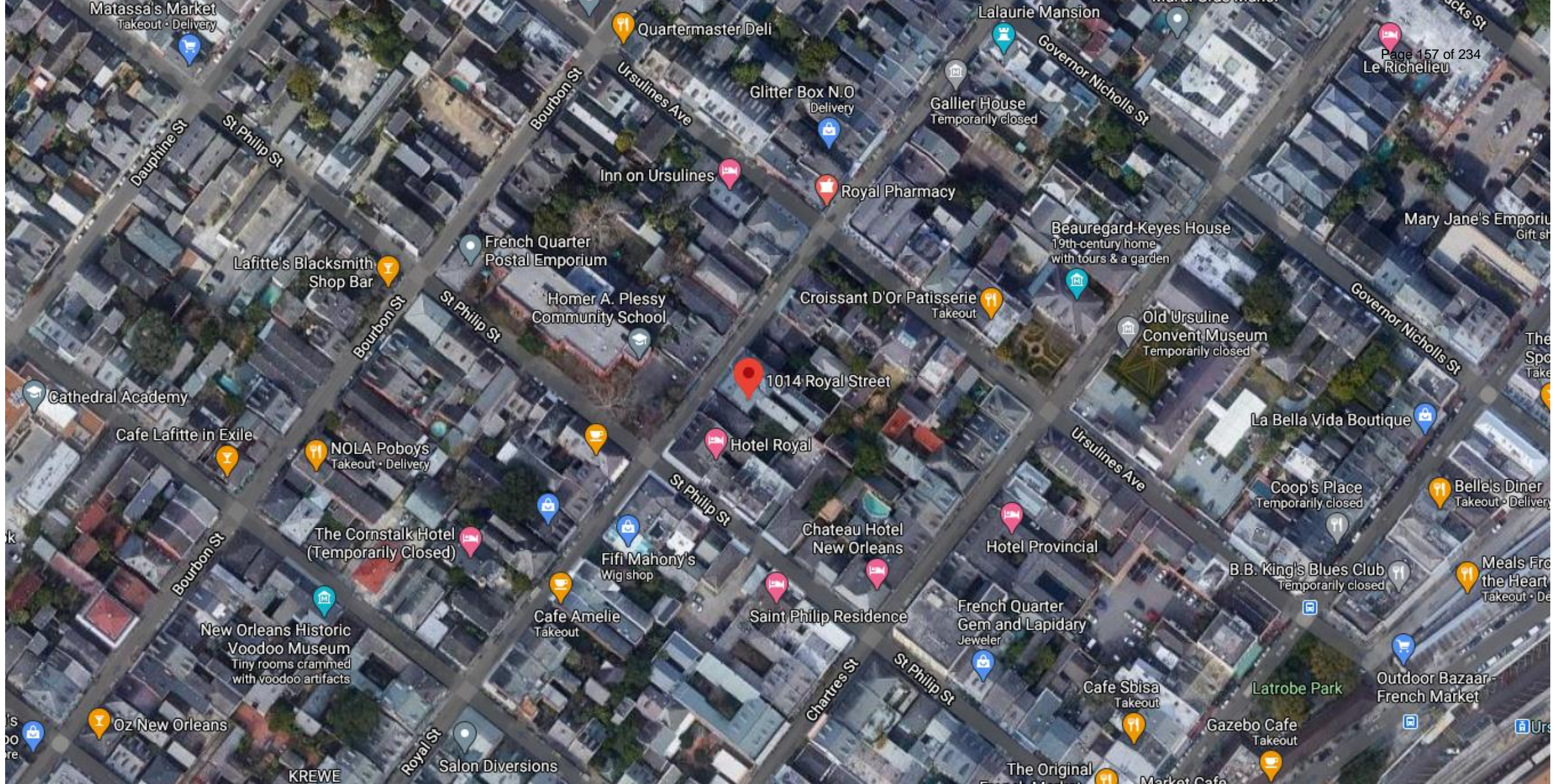






**1014 Royal**





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VCC Architectural Committee

October 13, 2020







1014 Royal

VCC Architectural Committee

October 13, 2020





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VCC Architectural Committee



October 13, 2020







1014 Royal

VCC Architectural Committee

October 13, 2020







1014 Royal

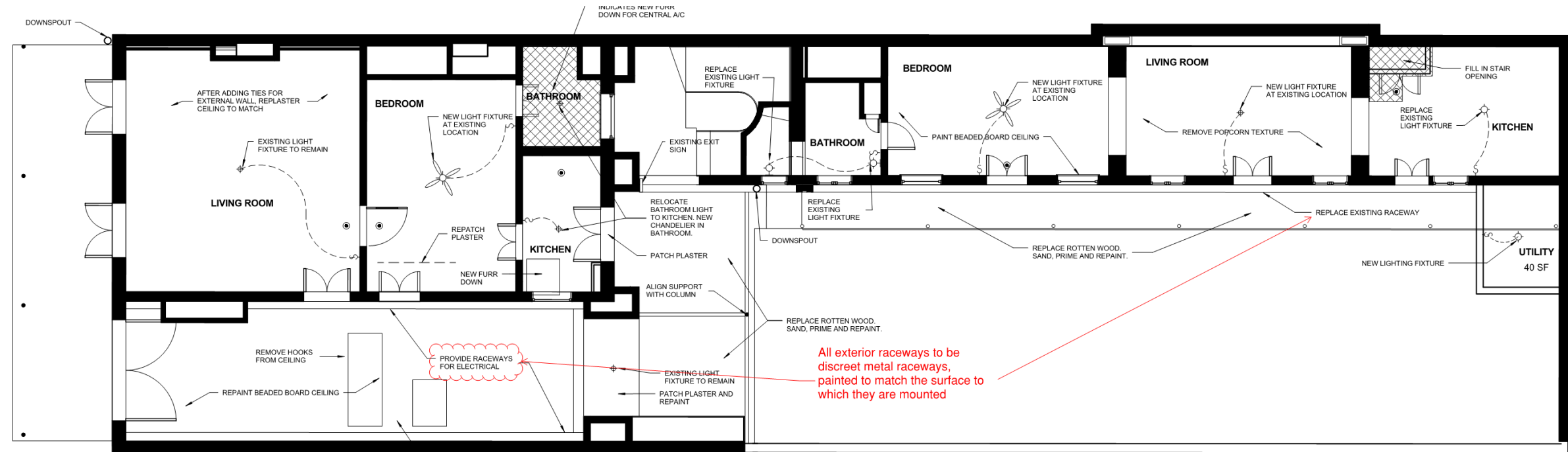
VCC Architectural Committee

08 21 2020

October 13, 2020







② FIRST FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"

WALL LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

ELECTRICAL LEGEND

	42" Ceiling Fan with Light Kit - To Be Selected by Owner
	Recessed Ceiling Fixture
	Pendant or Decorative Fixture - To Be Selected by Owner
	Surface Mounted Fixture - To Be Selected by Owner
	Recessed Heat, Vent, Light
	Under Counter or in Cabinet Lighting

	Wall Mounted Fixture - To Be Selected by Owner
	Single Pole Switch Mounted 52" A.F.F.
	Dimmer - Contractor to Verify Load and Derating Requirements
	3-Way Wall Switch Mounted 52" A.F.F.
	120 V Duplex Grounding Receptacle
	Smoke Detector

All exterior raceways to be discreet metal raceways, painted to match the surface to which they are mounted

All new exterior light fixtures to be permitted separately

NOTE:

BATHROOMS:  
-REPLACE BATHROOM FIXTURES (SINKS, TUBS, TOILETS)  
-REPLACE BATH SURROUND  
-REPLACE LIGHTING FIXTURES  
-NEW ACCESSORIES AND MIRRORS

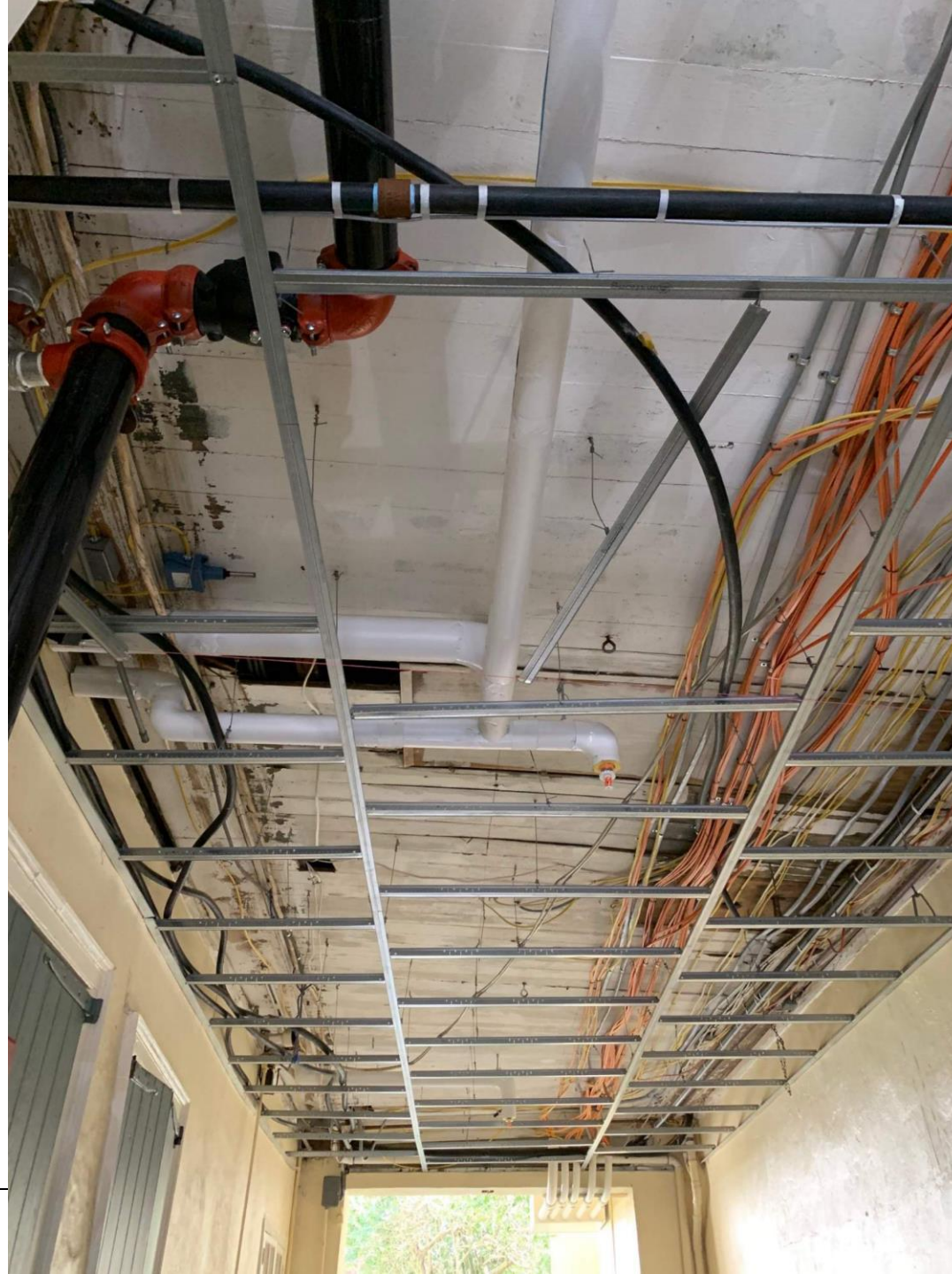
KITCHENS:  
-REPLACE CABINETS, COUNTERTOPS, FULL BACKSPASHES WITH NEW APPLIANCES  
-REPLACE CERAMIC TILE FLOORING

UTILITY ROOM:  
-NEW PLUMBING  
-NEW COUNTERTOPS AND WASHER/DRYERS  
-NEW WATERPROOFING  
-NEW INSULATION AND PLYWOOD SHEATHING  
-NEW ROOF  
-PUT ALL NEW ELECTRICAL WORK IN UTILITY ROOM ON EXISTING HOUSE METER.

PROPERTY OF GARRITY+ACCARDO ARCHITECTS  
OR OTHER USE OF THE DRAWINGS OR ANY OF ITS  
WITHOUT THE WRITTEN CONSENT OF  
ARCHITECTS.  
GARRITY+ACCARDO ARCHITECTS  
ALL RIGHTS RESERVED.







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VCC Architectural Committee

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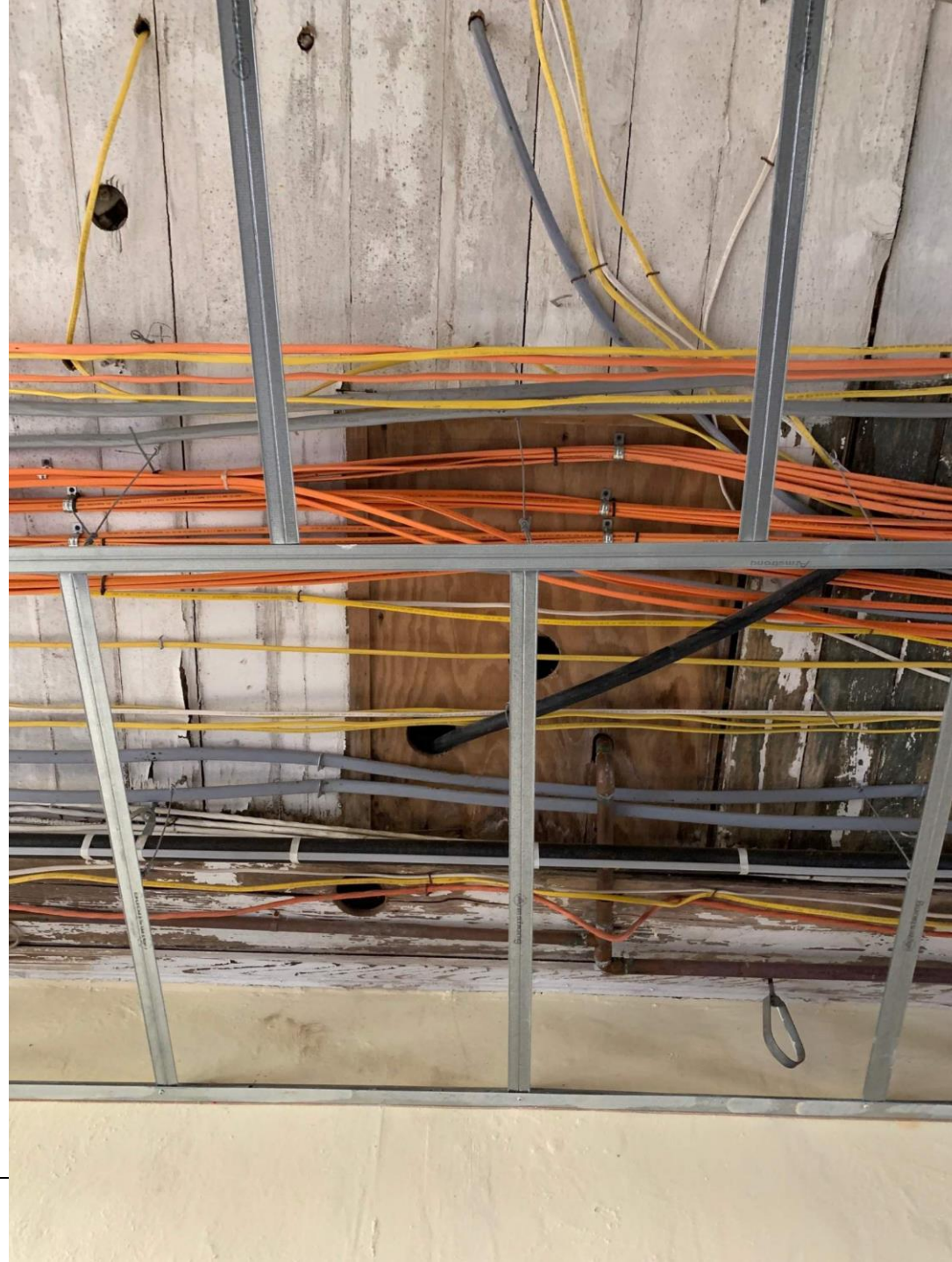
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October 13, 2020







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October 13, 2020





# 1014 ROYAL ST. RENOVATION OF EXISTING APARTMENTS

## PROJECT NOTES:

### GENERAL NOTES

1. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.
2. ALL WORK SHALL BE IN COMPLIANCE WITH THE IBC RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE APPLICABLE CODES.
3. TO THE BEST OF OUR KNOWLEDGE, THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2012 LIFE SAFETY CODE AND 2012 EXISTING I.B.C. LIFE SAFETY CODE.
4. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR BUILDING THIS PROJECT IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS UNLESS WRITTEN NOTIFICATION FROM THE OWNER OR ARCHITECT TO THE CONTRARY IS RECEIVED.
5. THE ARCHITECT DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT IN ANY RESPECT OTHER THAN THAT OUR ARCHITECTURAL WORK AND JUDGMENT RENDERED MEET THE STANDARDS OF CARE OF OUR PROFESSION.
7. THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND ACTUAL LOCATION OF SUCH UTILITIES SHOW HEREON OR NOT PRIOR TO ANY EXCAVATION. ANY DAMAGES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL WORK DURING THE CONSTRUCTION PERIOD.
9. ALL INTERIOR FINISHES SHALL BE AS PER TABLE 903.5.2012 IBC.
10. PROVIDE AT LEAST 1 CLASS ABC 5 POUND FIRE EXTINGUISHER TO BE MOUNTED WHERE READILY VISIBLE AND ACCESSIBLE IN EACH UNIT.
11. PROVIDE SEPARATION BETWEEN ALL DISSIMILAR METALS INCLUDING SCREWS, NAILS AND OTHER FASTENING DEVICES.
12. WHERE MATERIAL FASTENERS ARE NOT INDICATED, PROVIDE AS SPECIFIED BY THE MATERIAL MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
13. USE ONLY LEAD-FREE PIPE AND SOLDER FOR NEW DOMESTIC WASTE SYSTEM. (SAFE DRINKING WATER ACT OF 1986 AND S.P.C., SECTION 1210.1.4).
14. VENT ALL DRIVERS TO THE EXTERIOR.

### PAINTING AND REPAIR

1. ALL EXTERIOR AND INTERIOR ITEMS TO BE PAINTED. PLEASE REFER TO PAINT SPECS AND ADDRESS ANY LEAD PAINT ISSUES AS NEEDED-SEE PAGE 1-101.
2. SAND ALL SURFACES TO REMOVE EXCESS OR CHIPPED PAINT. REMOVE RUST ON ALL METAL.
3. ANY ITEMS THAT NEED REPAIR (LACKING STRUCTURAL INTEGRITY) ARE TO BE REPAIRED OR REPLACED.
4. COLORS SHALL BE CHOSEN BY THE OWNER OR ARCHITECT. ALL SELECTIONS MUST BE APPROVED BY THE VCC CARE COMMITTEE.

### ELECTRICAL

1. ALL ELECTRICAL WORK TO BE UNDER \$15,000. ENGINEERED DRAWINGS ARE NOT PROVIDED.
2. ALL EXISTING CONDITIONS AND PANEL CONFIGURATIONS TO BE VERIFIED. VERIFY THAT EACH APARTMENT IS WIRE SEPARATELY.
3. REMOVE ALL TELEPHONE, ELECTRICAL AND LOW VOLTAGE WIRING THAT IS NOT IN USE.
4. PROVIDE A NEW RACEWAY FOR WIRING FROM PANEL TO UNITS.
5. ALL OUTLETS AND LIGHT FIXTURES ARE TO REMAIN UNLESS NOTED SPECIFICALLY, OR IF THEY DO NOT MEET CODE, ARE UNGROUNDED OUTLETS, OR EXPOSED HIGH VOLTAGE WIRING, ETC.
6. NEW GFI OUTLETS ADDED WHERE INDICATED AT BATHROOMS AND AT ALL OUTDOOR LOCATION, BATH OUTLETS, KITCHEN COUNTERTOPS AND LOCATIONS WITHIN 6' OF PLUMBING FIXTURES.
7. NEW OUTLETS TO BE ADDED TO NEW KITCHEN IN APARTMENT C.
8. NEW LIGHTING AND POWER FOR WASHER AND DRYERS ADDED TO EXISTING UTILITY ROOM AND TO THE KITCHEN OF APARTMENT D.
9. ALL OUTLETS TO BE GROUNDED.
10. ALL OPEN SPACES SHOULD BE REPLACED WITH NEW WIRES.
11. REPAIR ALL JUNCTION BOXES WITH MISSING COVERS TO PREVENT SHOCK OR FIRE FROM EXPOSED, LIVE WIRES.
12. CHECK FOR OUTLETS WITH REVERSE POLARITY AND CORRECT.
13. REPLACE ALL SMOKE DETECTORS.
14. PUT ALL NEW ELECTRICAL WORK IN UTILITY ROOM ON EXISTING HOUSE METER.

### MECHANICAL

1. SEE SHEET M FOR NEW MECHANICAL WORK.

### PLUMBING

1. ALL PLUMBING WORK TO BE UNDER \$15,000. ENGINEERED DRAWINGS ARE NOT PROVIDED.
2. ALL PLUMBING FIXTURES TO BE REPLACED IN EXISTING LOCATIONS WITH THE EXCEPTION OF THE RELOCATED SINK IN APARTMENT E.
3. NEW PLUMBING FOR WASHER AND DRYERS ADDED TO EXISTING UTILITY ROOM AND TO KITCHEN OF APARTMENT D.
4. VERIFY CONDITIONS OF ALL EXISTING SUPPLY AND SEWER LINES. PLACE AND REPAIR AS NEEDED.
5. PROVIDE DRAIN LINES AS REQUIRED FOR ALL NEW MECHANICAL WORK.
6. INSTALL A NEW 1/2" SPRINKLER THROUGHOUT. SHOP DRAWINGS WILL BE SUBMITTED FOR REVIEW AND SUBMITTED TO THE LA STATE FIRE MARSHAL.
7. ALL EXISTING TANK WATER HEATERS TO BE REPLACED WITH NEW GAS OR ELECTRIC TANKLESS UNITS (VERIFY EXISTING ELECTRICAL AND GAS SERVICE).

### LANDSCAPING

1. REMOVE VEGETATION AT REAR BALCONIES. RE-LANDSCAPE BY OTHERS.

## PROJECT DIRECTORY:

### PROJECT LOCATION:

1014 ROYAL ST.  
NEW ORLEANS, LA 70116

### OWNER:

RATHBORNE PROPERTIES  
100 PALET DRIVE  
HARVEY, LA 70056  
PH: 504.368.6355  
CONTACT: GREG LIER

### ARCHITECT:

GARRITY + ACCARDO  
ARCHITECTS  
2401 WHITNEY AVENUE  
GRETN, LA 70056  
PH: 504.368.4475  
CELL: 504.234.1388  
EMAIL:  
decardos@garriyyaccardo.com  
CONTACT: DONNA ACCARDO

## DRAWING INDEX:

Sheet List	
Sheet Number	Sheet Name
T-100	TITLE SHEET
T-101	MATERIAL REQUIREMENTS
C-100	SITE PLAN
D-100	DEMO PLAN
A-100	FIRST FLOOR
A-100A	PICS AND ELEVATIONS
A-101	SECOND FLOOR
A-101A	PICS AND ELEVATIONS
A-102	THIRD FLOOR
A-102A	PICS AND ELEVATIONS
A-103	ROOF PLAN
A-300	UTILITY ROOM DETAILS
M-100	MECHANICAL PLAN
P-100	PLUMBING PLAN
S-100	STRUCTURAL FRAMING DIAGRAMS

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE REGULATIONS AND REQUIREMENTS. I AM NOT ADMINISTERING THE CONTRACT.

DONNA M. ACCARDO LA LICENSE # 4924

### ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH:

INTERNATIONAL BUILDING CODE  
2012 EDITION  
LIFE SAFETY CODE (NFPA 101)  
2012 EDITION  
INTERNATIONAL EXISTING BUILDING CODE 2012 EDITION

## DESIGN SUMMARY:

### SCOPE OF WORK

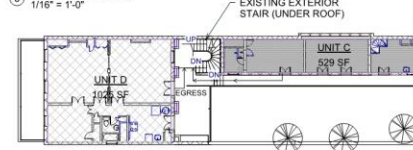
This is a renovation of an existing historic apartment building in the French Quarter of New Orleans. The scope of work includes:

1. Structural reinforcement of existing front masonry wall and Ursuline Ave side party wall- see sheets S-100 and S-101.
2. Full renovation- 3,665sf of level 1 renovation (cosmetic and repairs) and 130sf of level 2 renovation (reconfiguration of space)- including repair of any damaged building elements, painting all surfaces, updating of existing bathrooms and kitchens, and upgrading mechanical and electrical systems. All units shall have separate utilities. If it is found that the existing conditions do not comp, please notify Owner.
3. Adding a new 1/2" SPRINKLER (improving safety of existing non conforming conditions).
4. Separating existing 2 story unit in the rear building to the original layout of separate units (circular stair not compliant). 4 existing apartments will now return to 5.
5. Modifications to existing 50sf utility room to change roof for better drainage and the addition of two washer/ dryers.

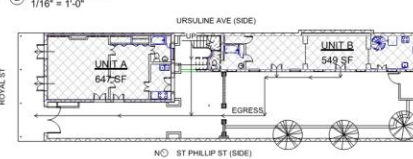
	CITATION	ALLOWED / REQUIRED	PROVIDED	COMMENTS
OCCUPANCY	IBC: 310 NFPA 101: 31.1	GROUP R-2 EXISTING APARTMENTS	GROUP R-2 - 5 APARTMENTS	
CONSTRUCTION TYPE	IBC: 601 NFPA 101:	TYPE V-8 N/A		
AREA AND HEIGHT	IBC: TABLE 503 NFPA 101: 31.1.6	R-2IV-B 2 STORES - 7,000SF R-2IV-B 3 STORES - 14,000SF TOTAL: 5,897 SF NO SPECIAL REQUIREMENTS	1ST FLOOR: 1,495 SF 2ND FLOOR: 2607 SF 3RD FLOOR: 1,695 SF TOTAL: 5,897 SF IBC 504.2 ALLOWS FOR BUILDINGS EQUIPPED WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM TO BE INCREASED BY 1 FLOOR AND 200%.	
OCCUPANCY SEPARATION	IBC: TABLE 508 NFPA 101: 6.1.14.1	NONE NONE		
UNIT SEPARATION	IBC: 708.3 WALLS PH: 504.368.4475 NFPA 101: 30.7.2	EXCEPTION - ALLOWS FOR 1/2 HR RATING WITH A SPRINKLER 1/2 HR RATED	1/2 HR RATED EXISTING 1/2 HR RATED EXISTING	
FIRE RATING OF MATERIALS	IBC: TABLE 601 IBC: TABLE 602 NFPA 101: N/A	TYPE V-8 NOT REQUIRED X-1.5 2 HRS N/A	N/A 1" THICK EXISTING MASONRY WALLS	
INTERIOR WALLS / CEILING FINISHES	IBC: TABLE 903.9 NFPA 101: 31.3.3.2	EXIT ENCLOSURES - C CORRIDORS - C ROOMS - C ENCLOSED SPACES - C EXITS - A OR B LOBBIES/CORRIDORS - A OR B OTHER SPACES - A,B OR C	EXIT ENCLOSURES - C EXIT PASSAGEWAYS - C CORRIDORS - C ROOMS - C ENCLOSED SPACES - C EXITS - A OR B LOBBIES/CORRIDORS - A OR B OTHER SPACES - A,B OR C	
AUTOMATIC SPRINKLER SYSTEM	IBC: 903.2.8 NFPA 101: 31.3.5.2	NFPA 13 R REQUIRED REQUIRED	NFPA 13R PROVIDED IN ACCORDANCE WITH 903.3.1.1 PROVIDED IN ACCORDANCE WITH NFPA 13R	
FIRE ALARMS	IBC: 907.2.9 IBC: 907.5.2.3.4	R-2 - NOT REQUIRED BY SPRINKLER AND AUTOMATIC OCCUPANT NOTIFICATION APPLIANCES WILL ACTIVATE UPON SPRINKLER FLOW VISUAL ALARMS SHALL BE PROVIDED IN COMMON AREAS ALL DWELLING UNITS SHALL BE CAPABLE OF PROVIDING VISUAL ALARMS	PROVIDED IN ACCORDANCE WITH NFPA 101: 9.8 A MANUAL PULL STATION SHALL BE INSTALLED ON EACH RESIDENTIAL FLOOR SEE PLANS FOR PLACEMENT OF VISUAL ALARMS	DWELLING UNITS SHALL BE PRE WIRED.
	NFPA 101: 30.3.4 NFPA 101: 30.3.4.3.2	REQUIRED IN ACCORDANCE WITH 9.8 ANNUNCIATION AND ZONING SHALL BE PROVIDED FOR EMERGENCY RESPONSE	PROVIDED IN ACCORDANCE WITH NFPA 101: 9.8 AND NFPA 72 ANNUNCIATION AND ZONING SHALL BE PROVIDED	FIRE ALARM DRAWINGS TO BE PROVIDED BY OTHERS AND SUBMITTED THROUGH THIS OFFICE
SMOKE ALARMS	IBC: 907.2.11.2 GROUP R-2 NFPA 101: 31.3.4.5.1	PERSONNEL SHALL - ON CEILING OR WALL OUTSIDE SEPARATE SLEEPING AREAS IN EACH SLEEPING ROOM - IN EACH STORY WITHIN A DWELLING UNIT REQUIRED	PROVIDED WITH CARBON MONOXIDE DETECTOR PROVIDED	
ALARM MONITORING	IBC: 907.14 EXCEPTION 1 GROUP R-2 NFPA 101: 31.3.4.5.5	SMOKE ALARMS SHALL NOT BE REQUIRED TO BE MONITORED REQUIRED	PROVIDED PROVIDED	PROVIDED IN ACCORDANCE WITH 101: 9.8.4
OCCUPANT LOAD	IBC: TABLE 1004.1 NFPA 101: 7.3.1.2	RESIDENTIAL - 200 GROSS 200 GROSS	1ST FLOOR: 1495 / 200 + 8 2ND FLOOR: 2607 / 200 + 8 3RD FLOOR: 1695 / 200 + 8 TOTAL: 30	
EGRESS WIDTHS	IBC: 1005.1 & 1009.1 NFPA 101: 7.2.2.1.2 NFPA 101: 7.2.2.1.2 DOORWAYS	STARWAYS 22 x 2 + 4" PER STAIR OR 36" MINIMUM OTHER COMPONENTS 22 x 15 + 4" 99" 44" MIN 33 x 23 + 30" MIN PER STAIR	EXISTING EXTERIOR HISTORIC STARWAY- 40" WIDE EXISTING EXTERIOR HISTORIC STARWAY EXISTING EXTERIOR HISTORIC STARWAYS	
TRAVEL DISTANCE	IBC: TABLE 1016.1 NFPA 101: 31.2.6.2 NFPA 101: 31.2.6.1	25' WITH SPRINKLER DISTANCE TO EXIT ENTRANCE FROM UNIT DOOR TO EXIT ENTRANCE TRAVEL DISTANCE IN DWELLING TO CORRIDOR	SEE EGRESS PLANS SEE EGRESS PLANS SEE EGRESS PLANS	



3) THIRD FLOOR PLAN  
1/16" = 1'-0"



2) SECOND FLOOR  
1/16" = 1'-0"

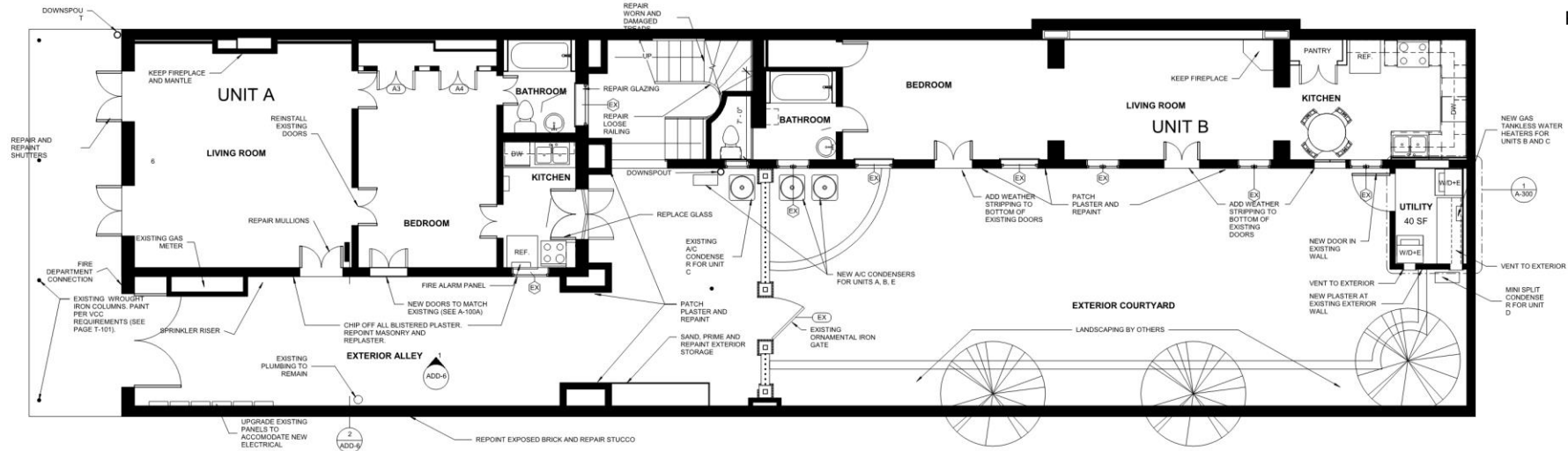


1) FIRST FLOOR  
1/16" = 1'-0"

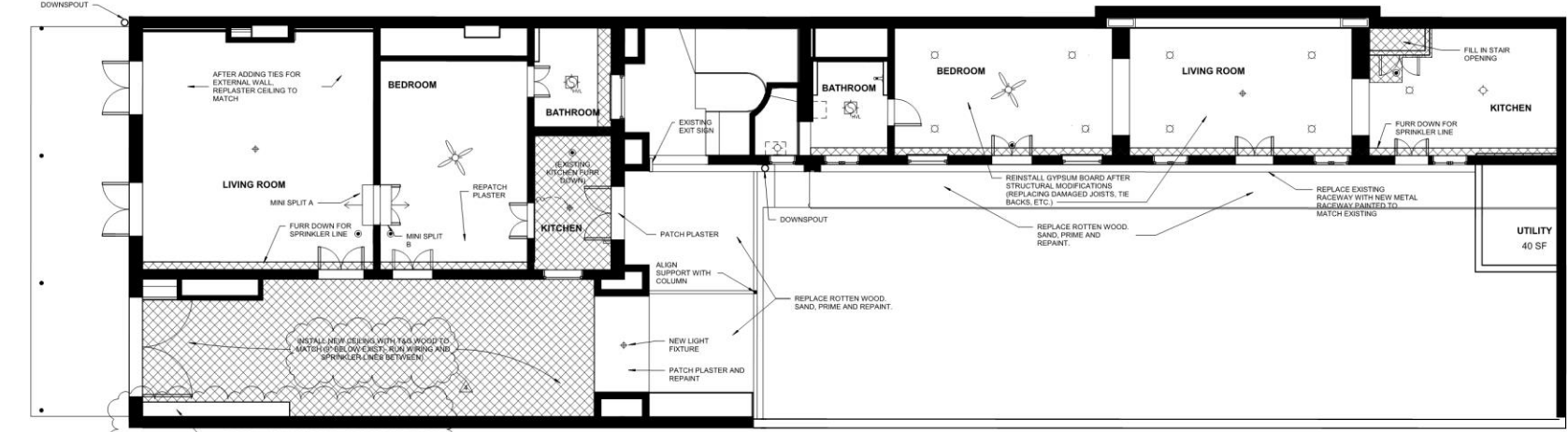
Square Footages and Egress		
Area	Square Footage	Egress Distance
UNIT A	645 SQ FT	0' 0"
UNIT B	1025 SQ FT	100' 6"
UNIT C	1055 SQ FT	123' 10"
UNIT D	558 SQFT	81' 2"
UNIT E	529 SQFT	118' 6"







1 FIRST FLOOR PLAN  
1/4" = 1'-0"



2 FIRST FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"

**WALL LEGEND**  
 NEW WALL  
 EXISTING WALL TO REMAIN

**ELECTRICAL LEGEND**

<p>42" Ceiling Fan with Light Kit - To Be Selected by Owner</p> <p>Recessed Ceiling Fixture</p> <p>Pendant or Decorative Fixture - To Be Selected by Owner</p> <p>Surface Mounted Fixture - To Be Selected by Owner</p> <p>Recessed Heat, Vent, Light</p> <p>Under Counter or in Cabinet Lighting</p>	<p>Wall Mounted Fixture - To Be Selected by Owner</p> <p>Single Pole Switch Mounted 52" A.F.F.</p> <p>Dimmer - Contractor to Verify Load and Derating Requirements</p> <p>3-Way Wall Switch Mounted 52" A.F.F.</p> <p>120 V Duplex Grounding Receptacle</p> <p>Smoke Detector</p>
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 2401 WHITNEY AVENUE  
 GRETNA, LOUISIANA 70056  
 PHONE 504-368-4475 FAX 504-368-4299  
 www.garrityaccardo.com



PROJECT  
**ROYAL ST. RENOVATION**  
 NEW ORLEANS, LA 70116

SHEET TITLE  
**FIRST FLOOR**

REVISIONS

1)	11.15.17
2)	02.19.18
3)	03.23.18
4)	06.15.18
5)	07.11.18

DATE  
 10.10.2017

PROJECT NUMBER  
 17130

SHEET NUMBER  
**A-100**

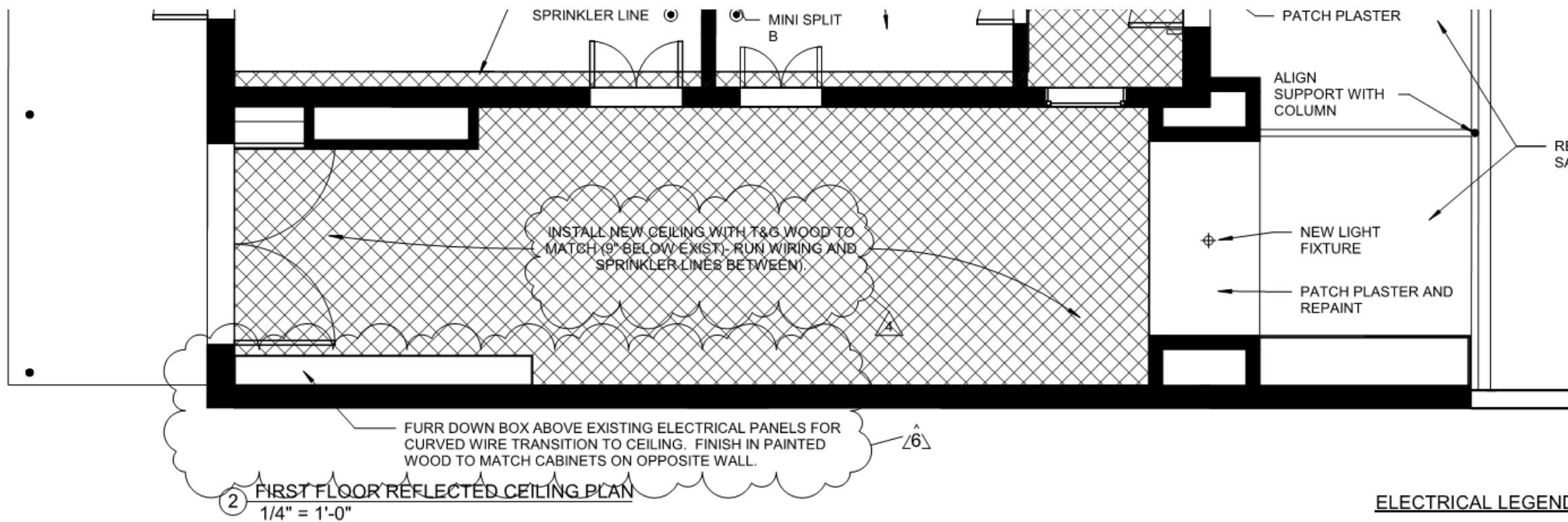


1014 Royal

VCC Architectural Committee

October 13, 2020





#### WALL LEGEND

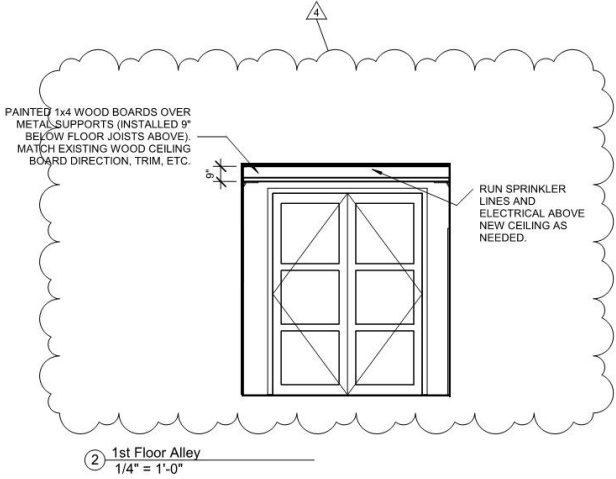
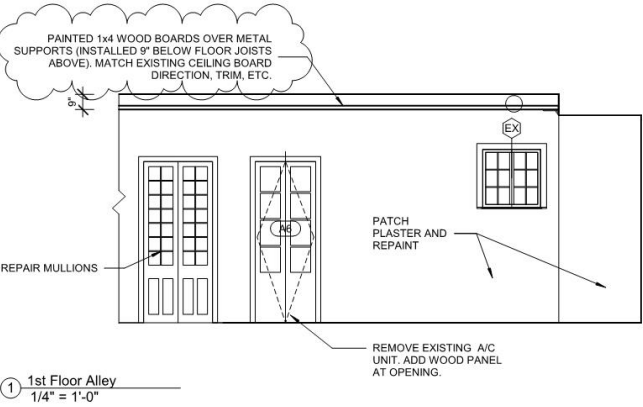
- NEW WALL
- EXISTING WALL TO REMAIN

#### ELECTRICAL LEGEND



42" Ceiling Fan with Light Kit -









Garritty & Accardo Architects  
2401 Whitney Avenue  
Gretna, Louisiana 70056  
Phone 504-366-4475

## ADDENDUM 06

Date: October 5, 2020

Project Name: **1014 Royal Street  
New Orleans, LA**

Project No. 17130

**The written data contained herein shall be considered a part of the contract documents:**

Items altered:

1. Carriageway Ceiling: Provide a wood box above electrical panels to hide the curved transition of existing electrical wires and cables from the new lowered ceiling. (The false ceiling to match the existing was to hide the large amount of existing wires and cables that were economically unfeasible to reroute, with the added sprinkler lines). Wrap box in wood. Paint to match existing cabinetry at opposite wall (trim color-cream).

End of Addendum 06

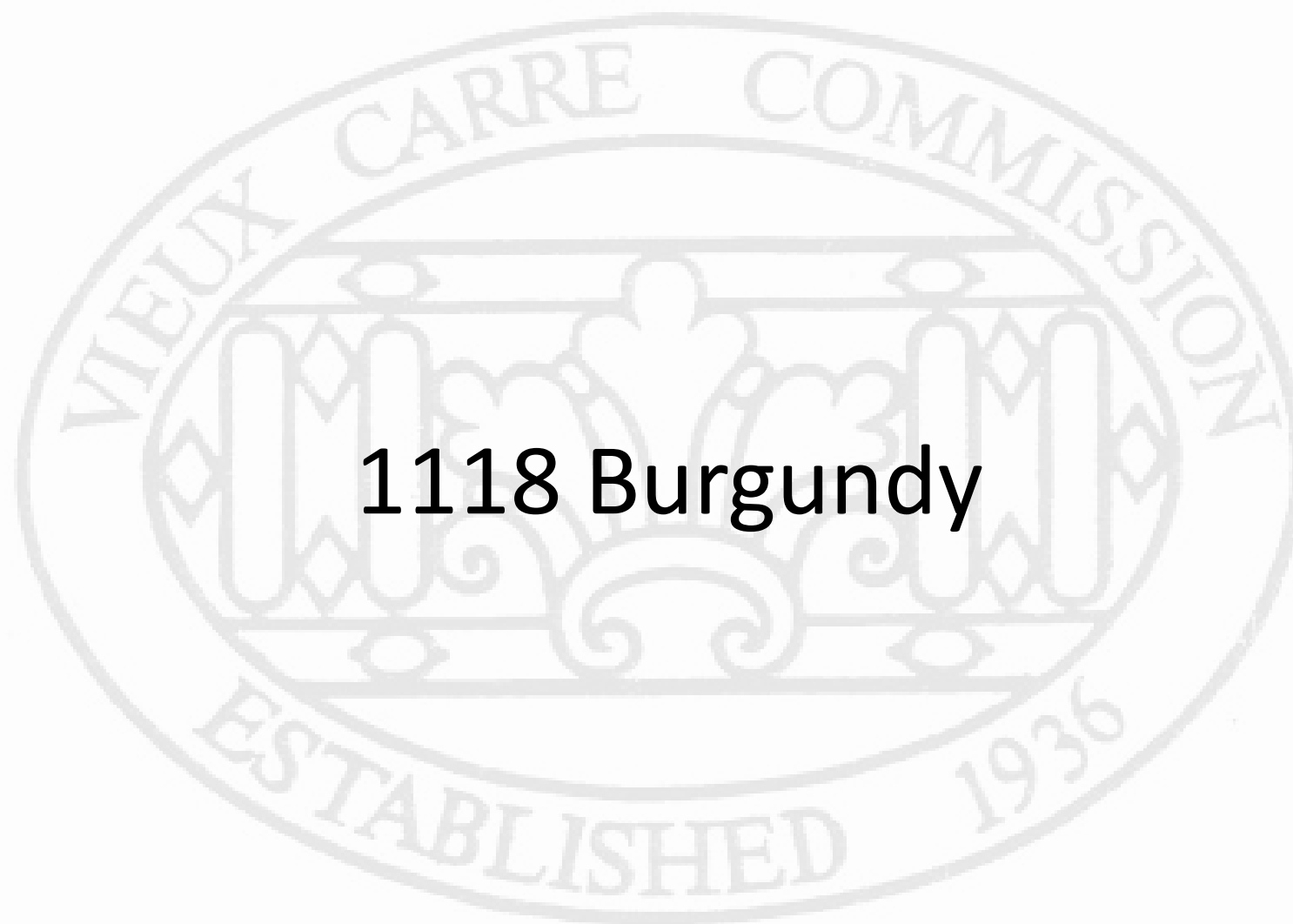
1014 Royal

VCC Architectural Committee

October 13, 2020

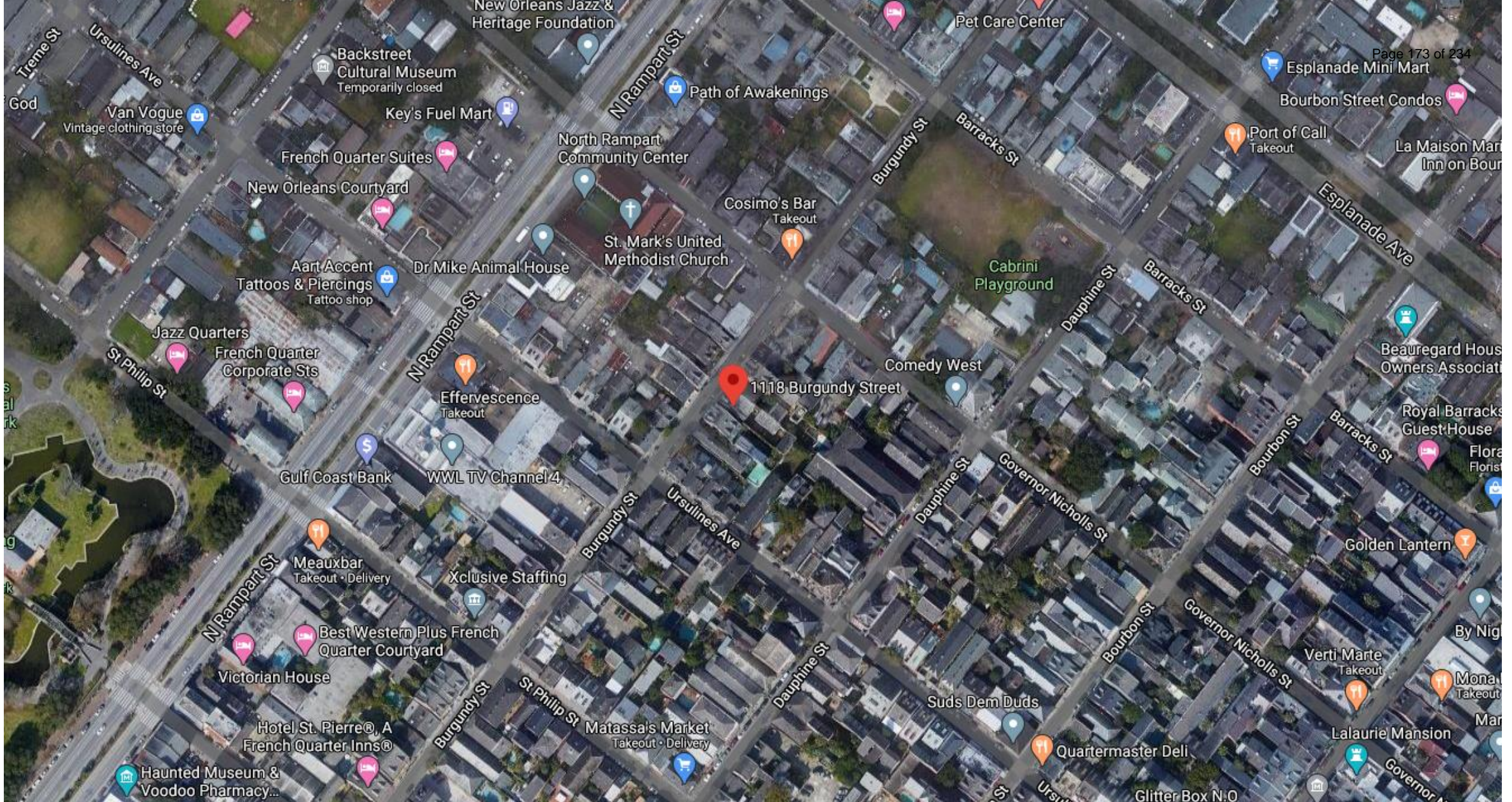






**1118 Burgundy**





1118 Burgundy

VCC Architectural Committee

September 22, 2020







1118 Burgundy

VCC Architectural Committee

September 22, 2020







1118 Burgundy

VCC Architectural Committee

September 22, 2020







## 1118 Burgundy

VCC Architectural Committee

September 22, 2020







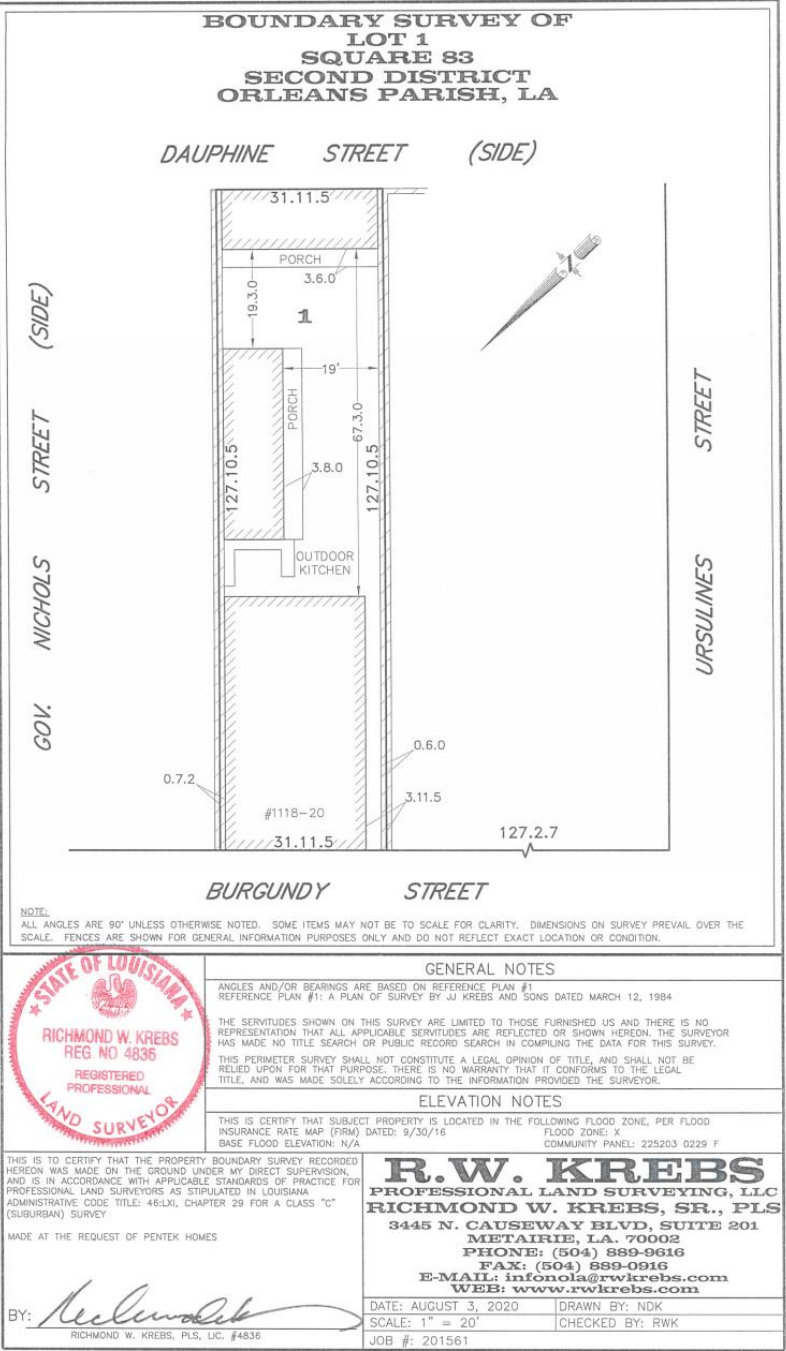
1118 Burgundy

VCC Architectural Committee

September 22, 2020







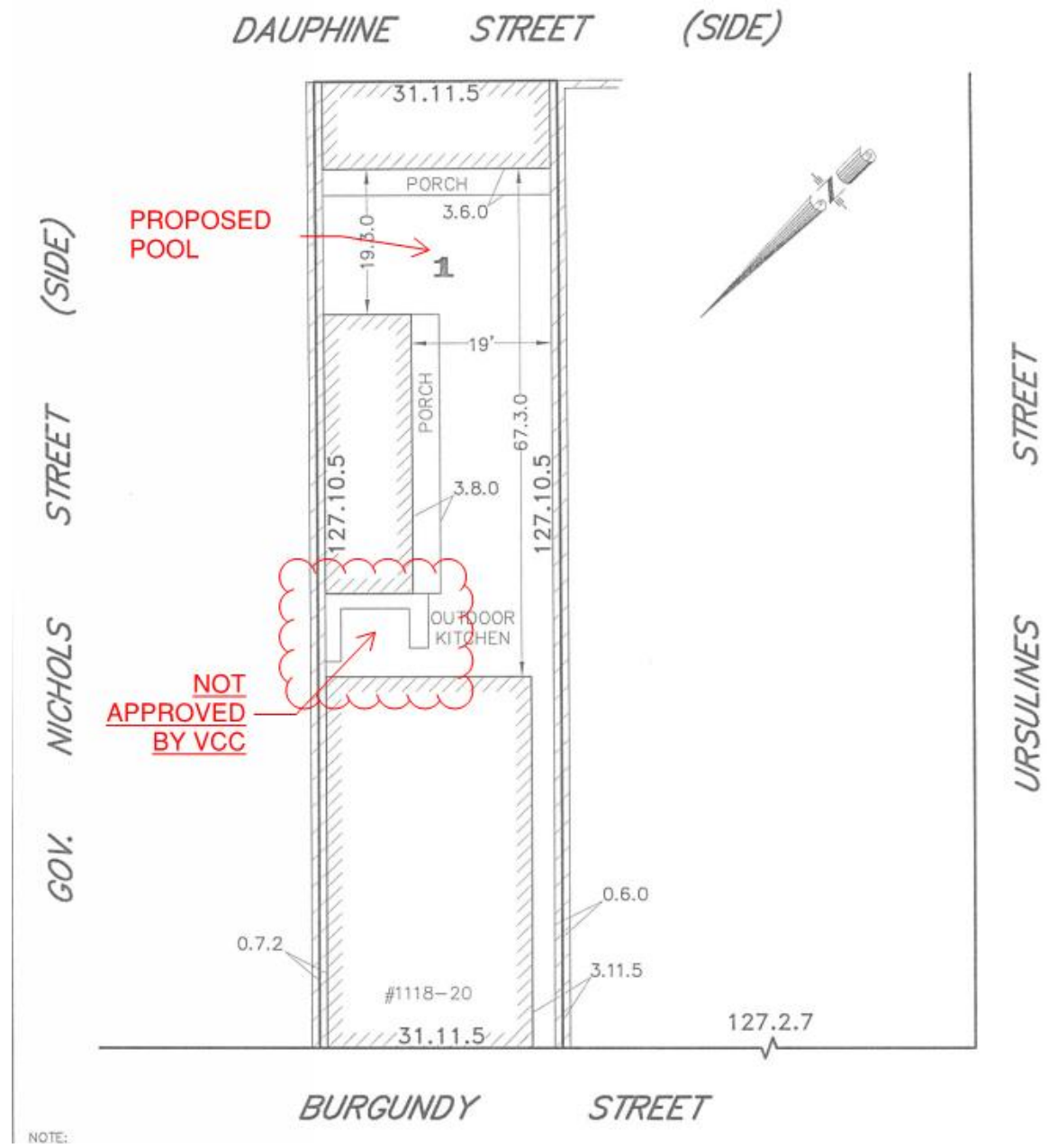
1118 Burgundy

VCC Architectural Committee

September 22, 2020







1118 Burgundy

VCC Architectural Committee

September 22, 2020







1118 Burgundy

VCC Architectural Committee

September 22, 2020







1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







1118 Burgundy – unpermitted exterior kitchen





1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







1118 Burgundy – unpermitted exterior kitchen





1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







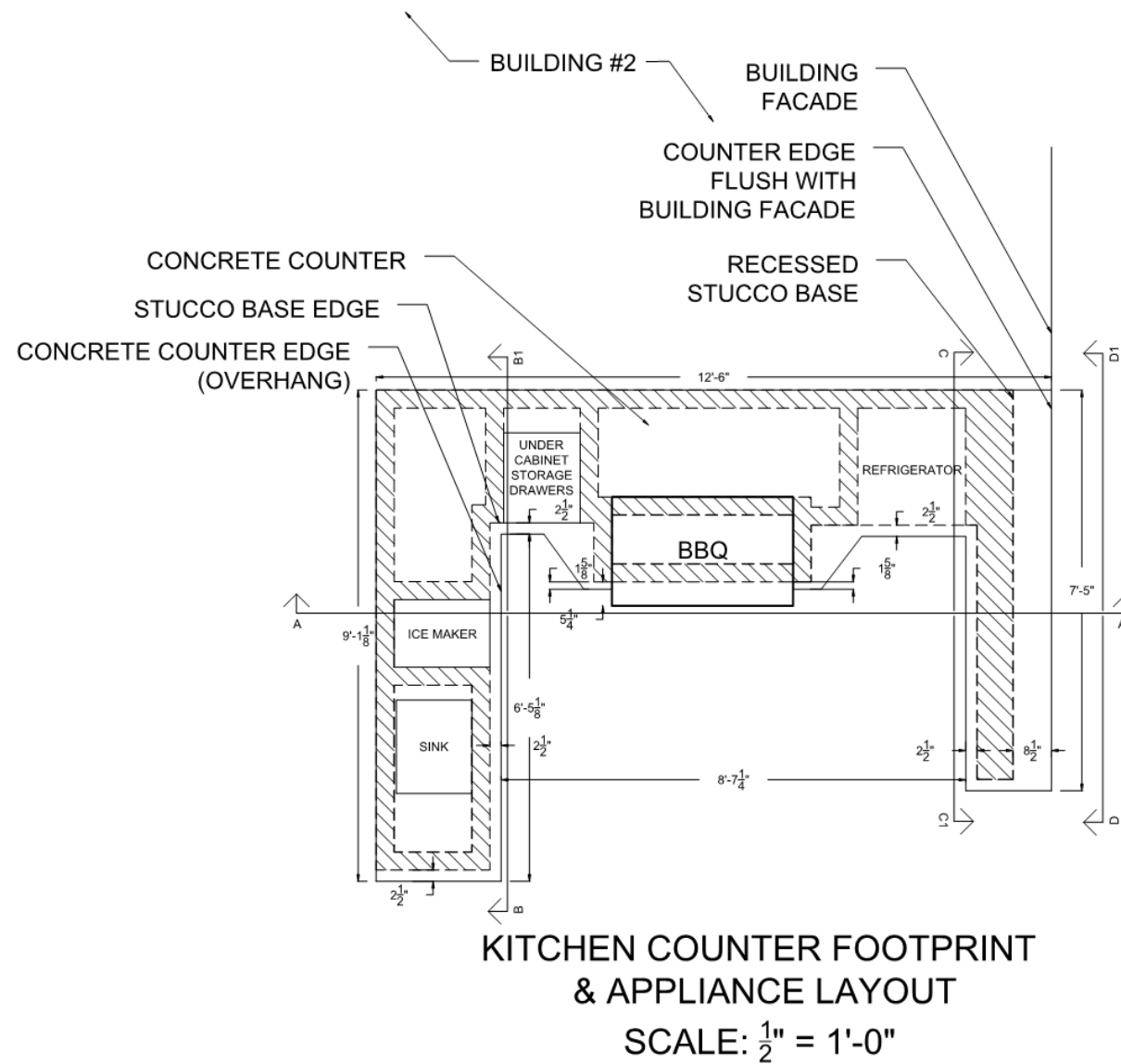
1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020







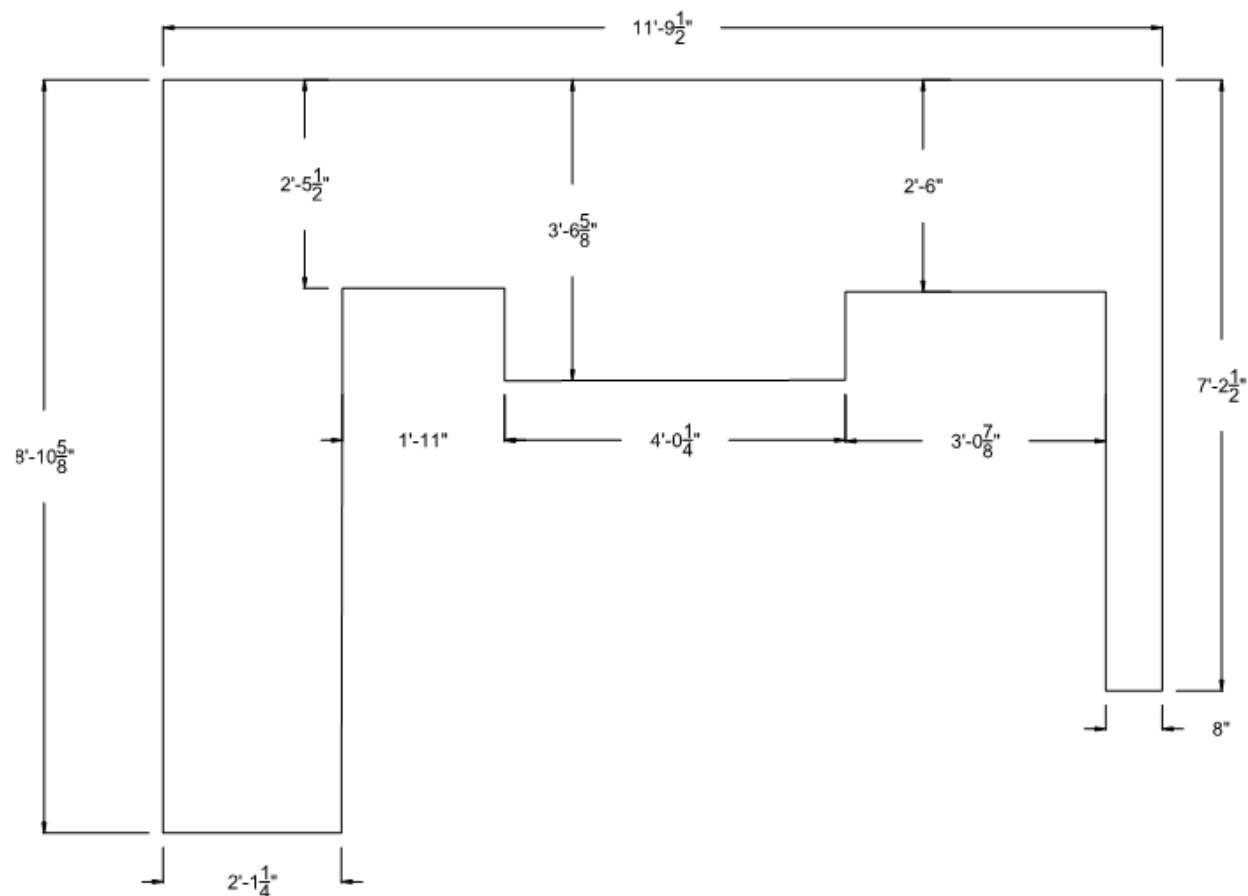
## 1118 Burgundy – proposed kitchen plan

## VCC Architectural Committee

September 22, 2020







KITCHEN CONCRETE LEVELING BASE

SCALE:  $\frac{1}{2}" = 1'-0"$

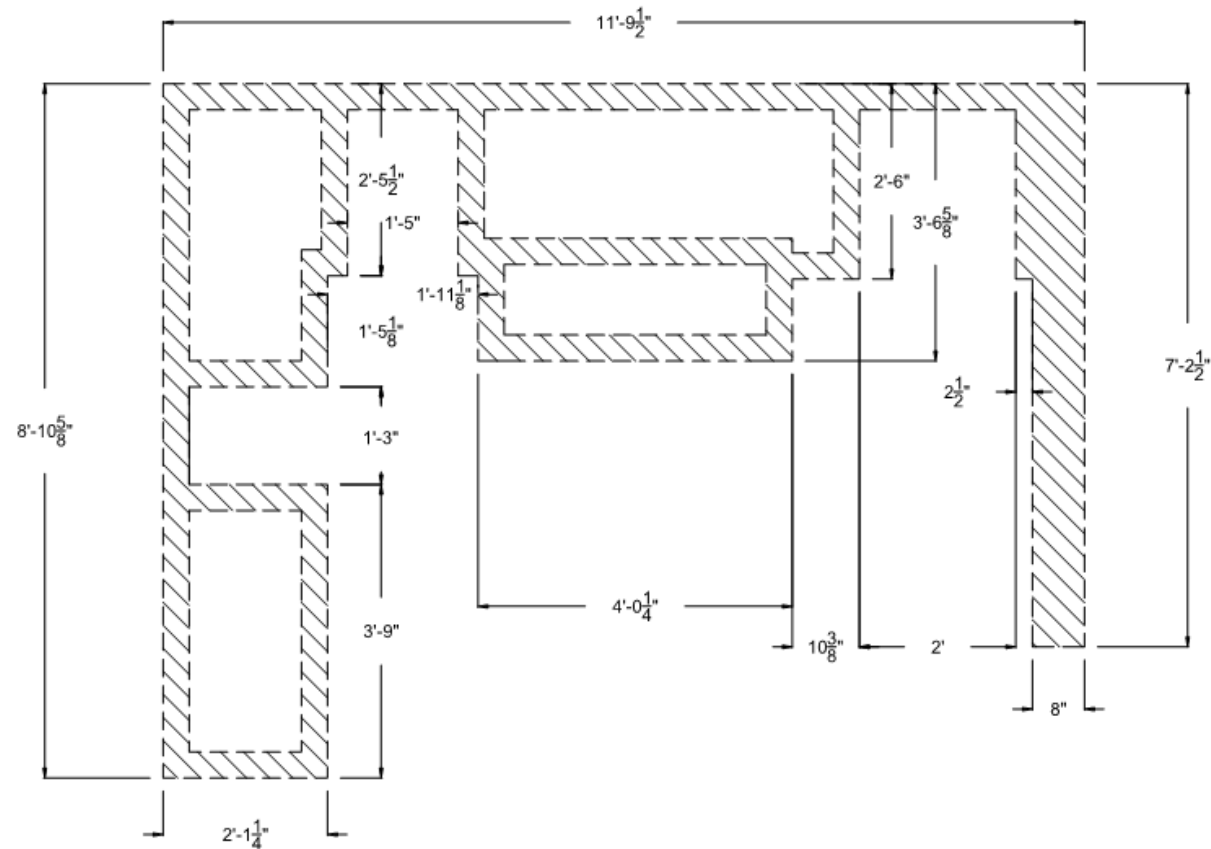
1118 Burgundy – proposed kitchen plan

VCC Architectural Committee

September 22, 2020







KITCHEN COUNTER WALLS, CMU CONSTRUCTION

SCALE:  $\frac{1}{2}" = 1'-0"$

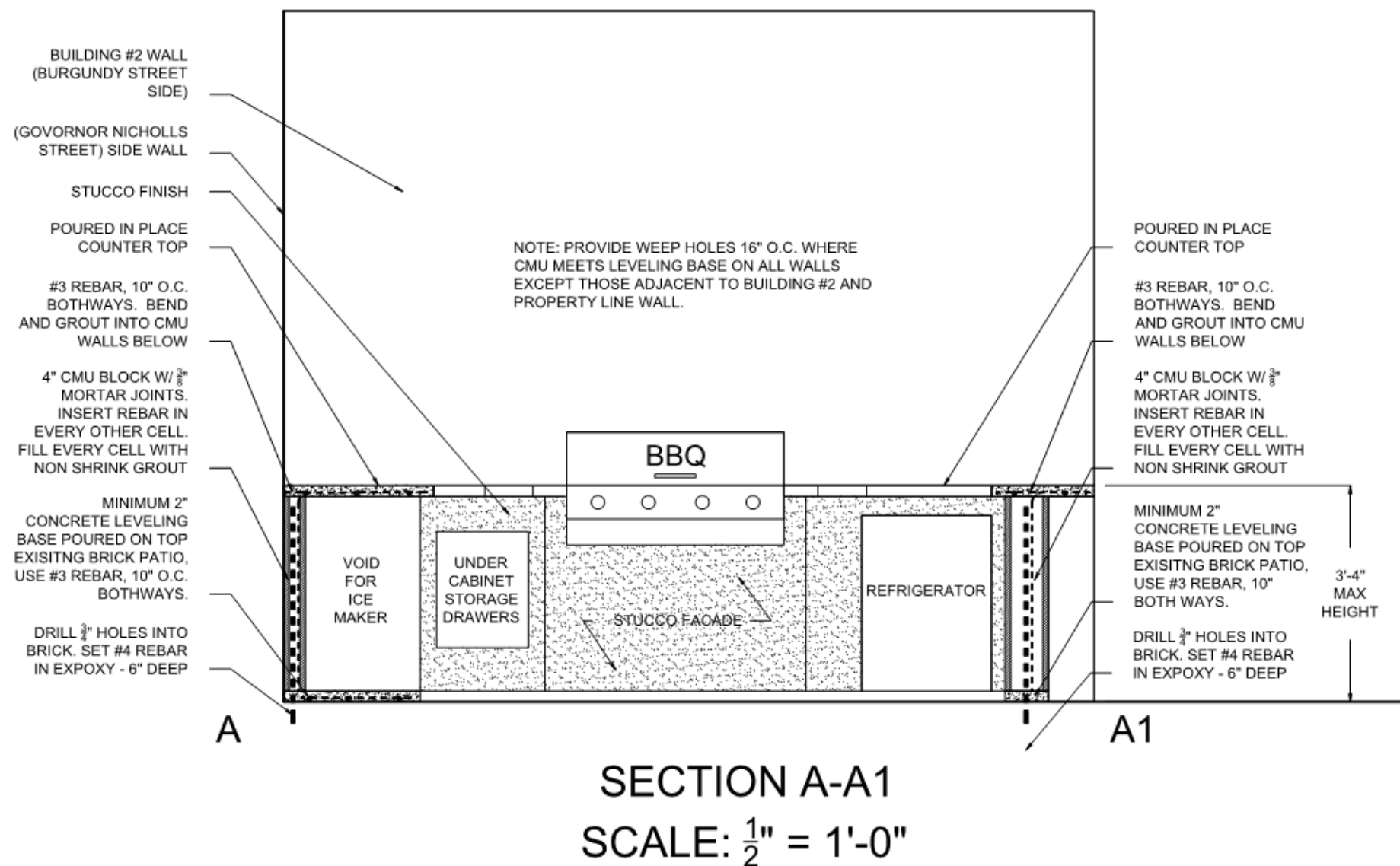
1118 Burgundy – proposed kitchen plan

VCC Architectural Committee

September 22, 2020







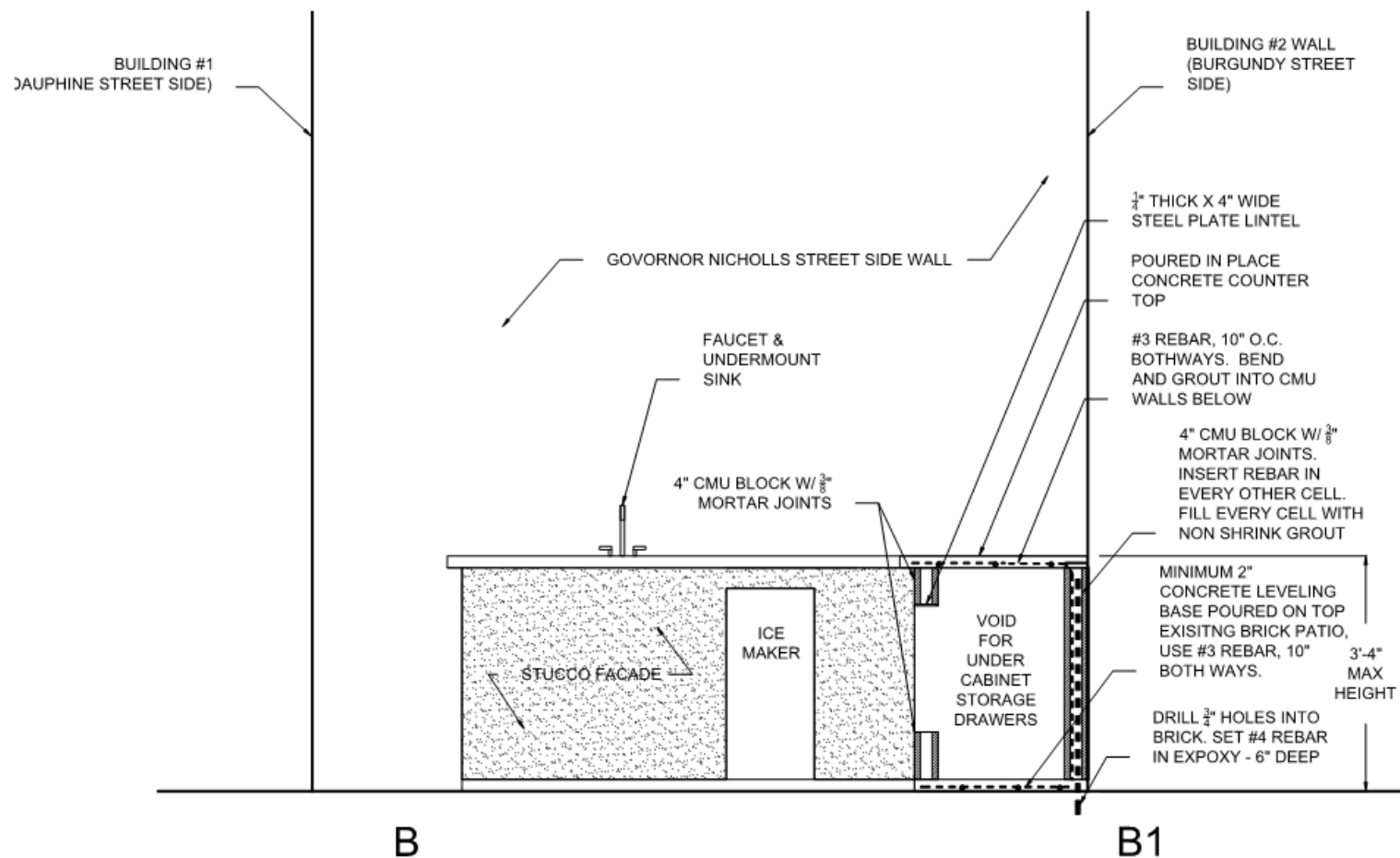
1118 Burgundy – proposed kitchen plan

VCC Architectural Committee

September 22, 2020







SECTION B-B1  
SCALE:  $\frac{1}{2}$ " = 1'-0"

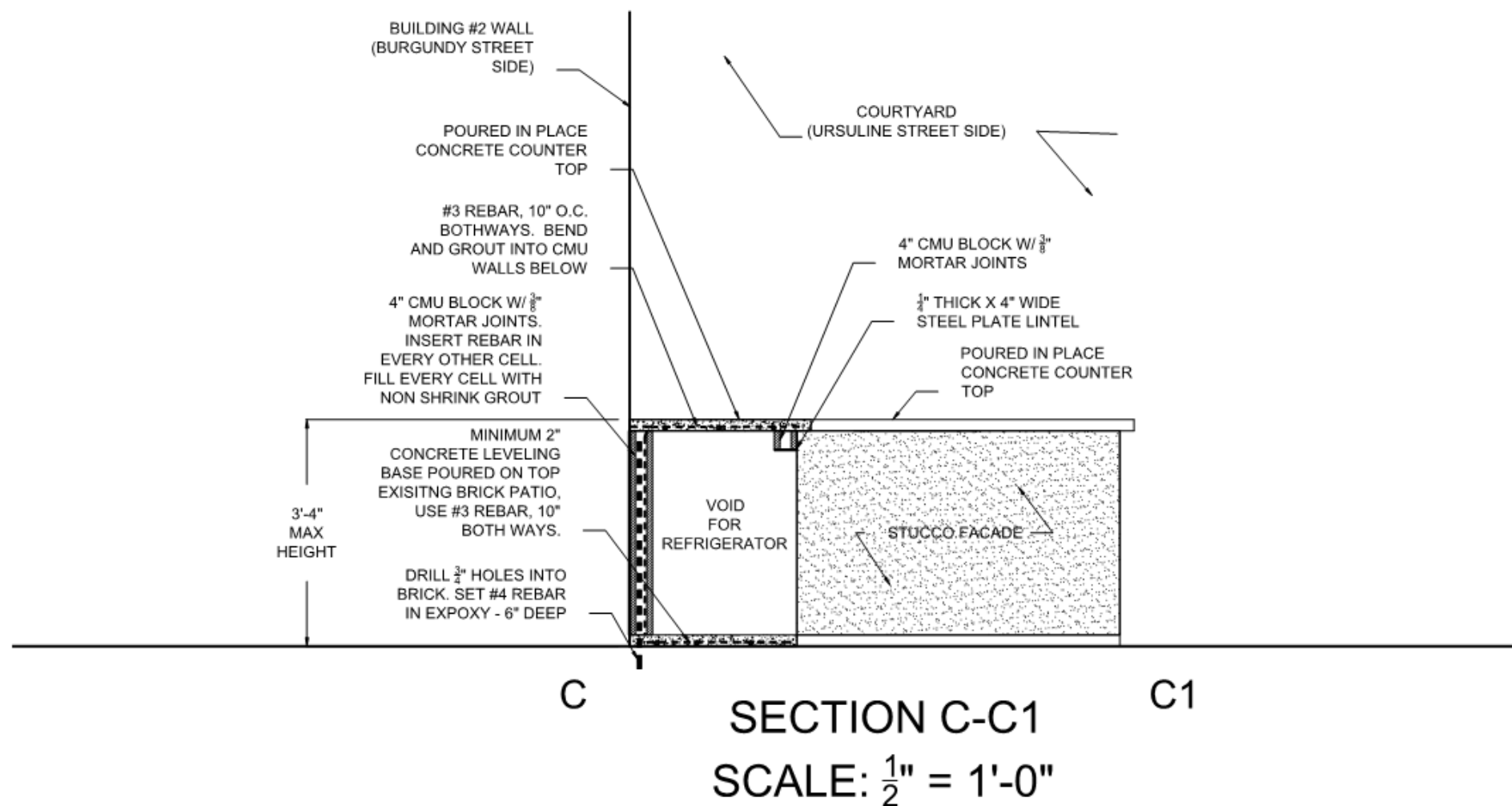
1118 Burgundy – proposed kitchen plan

VCC Architectural Committee

September 22, 2020







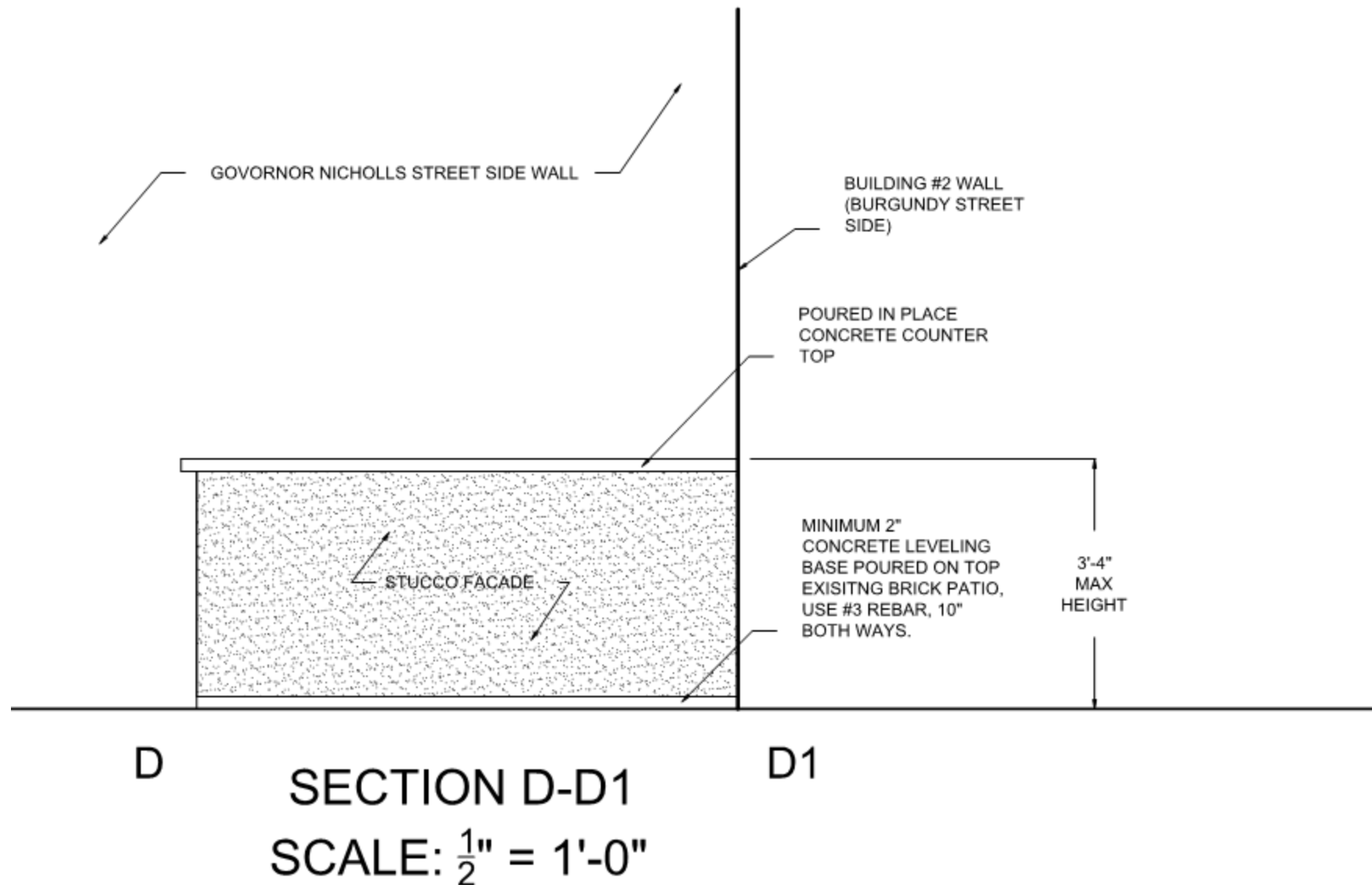
1118 Burgundy – proposed kitchen plan

VCC Architectural Committee

September 22, 2020







1118 Burgundy – proposed kitchen plan

VCC Architectural Committee

September 22, 2020





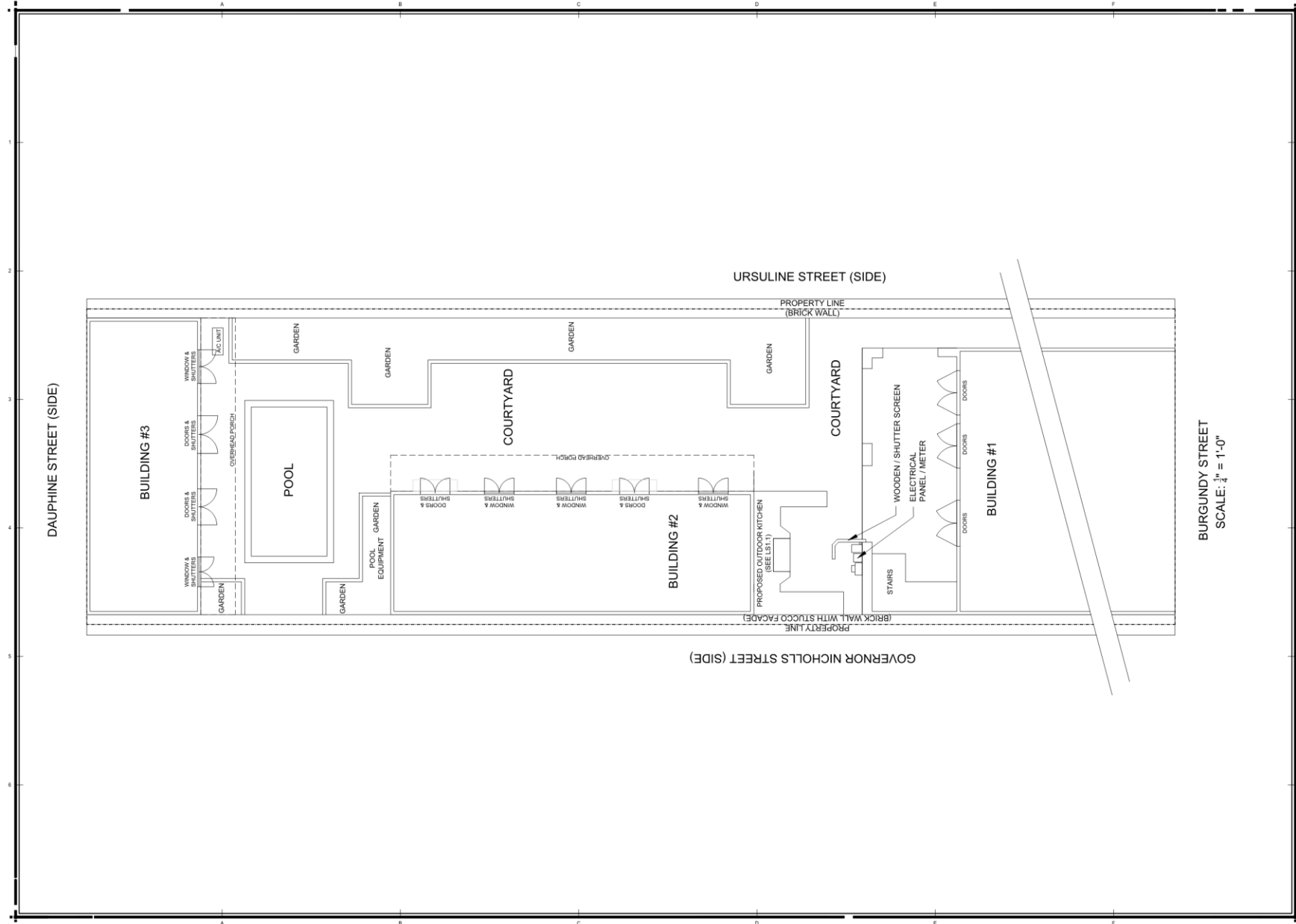


1118-1120 BURGUNDY STREET  
New Orleans, Louisiana

[illegible]

## SITE PLAN

LS 1.0

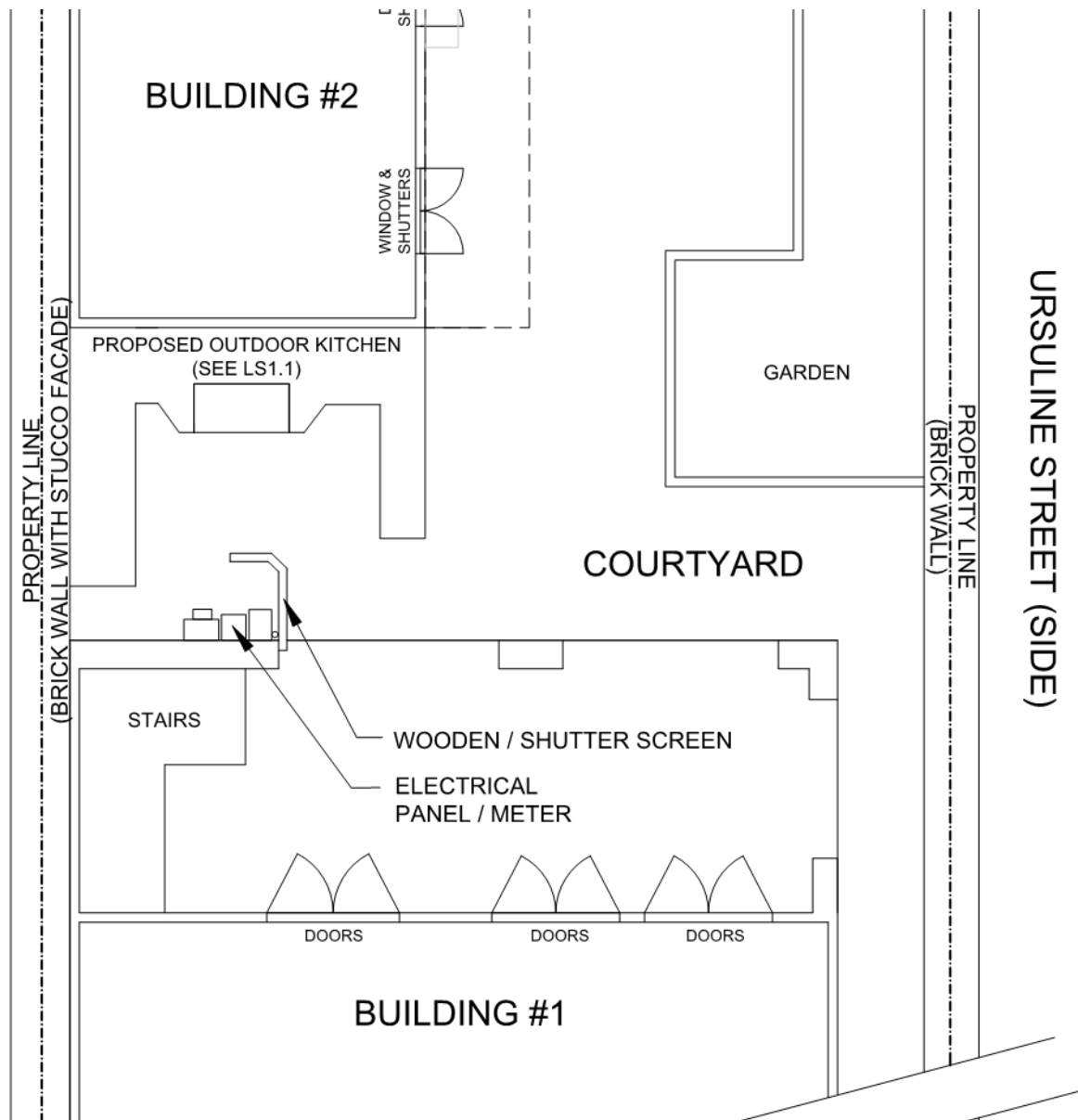


## 1118 Burgundy – proposed kitchen plan





GOVERNOR NICHOLLS STREET (SIDE)



## 1118 Burgundy – proposed kitchen plan







1118 Burgundy – unpermitted exterior kitchen

VCC Architectural Committee

September 22, 2020

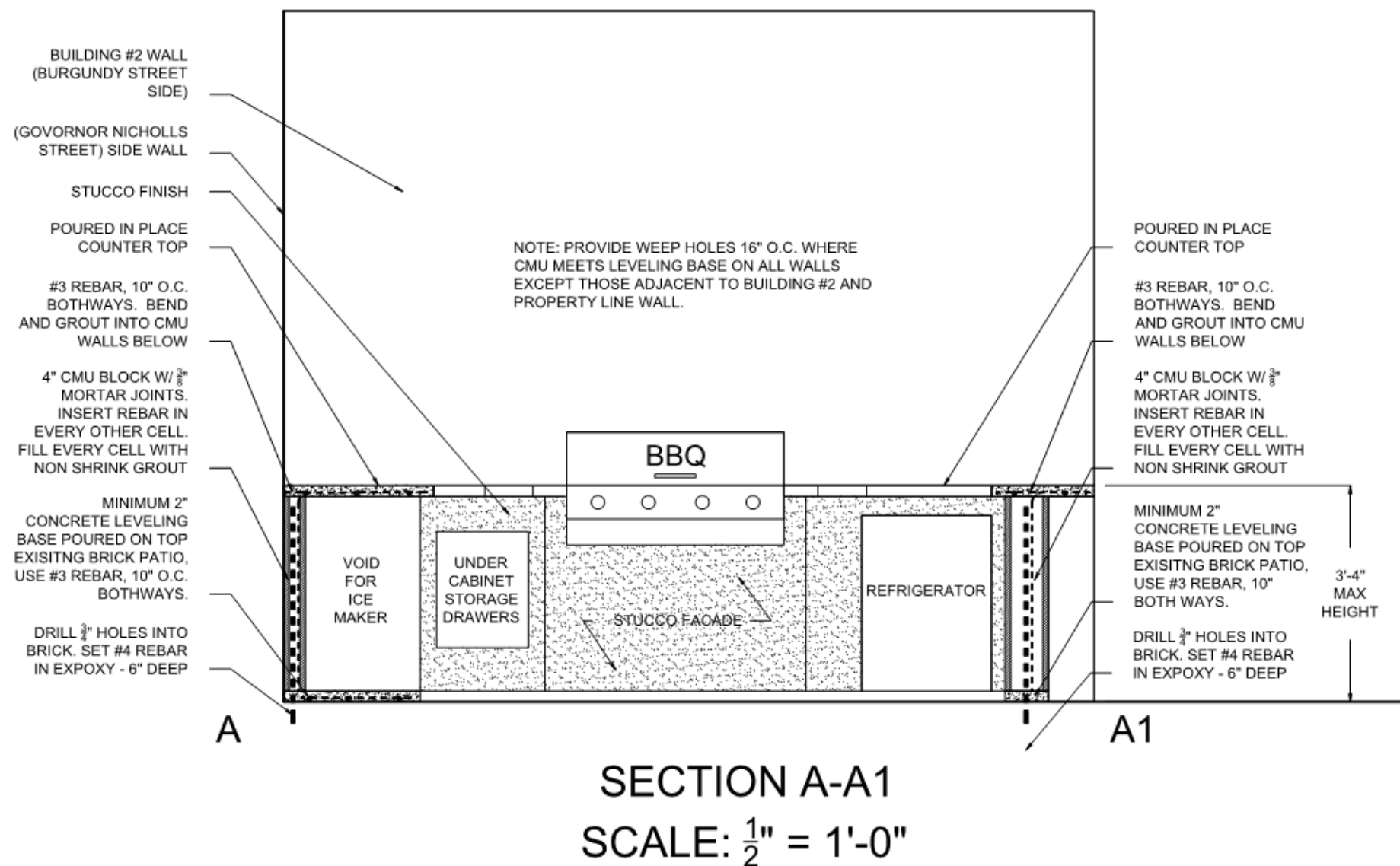






1118 Burgundy – unpermitted kitchen (denied)





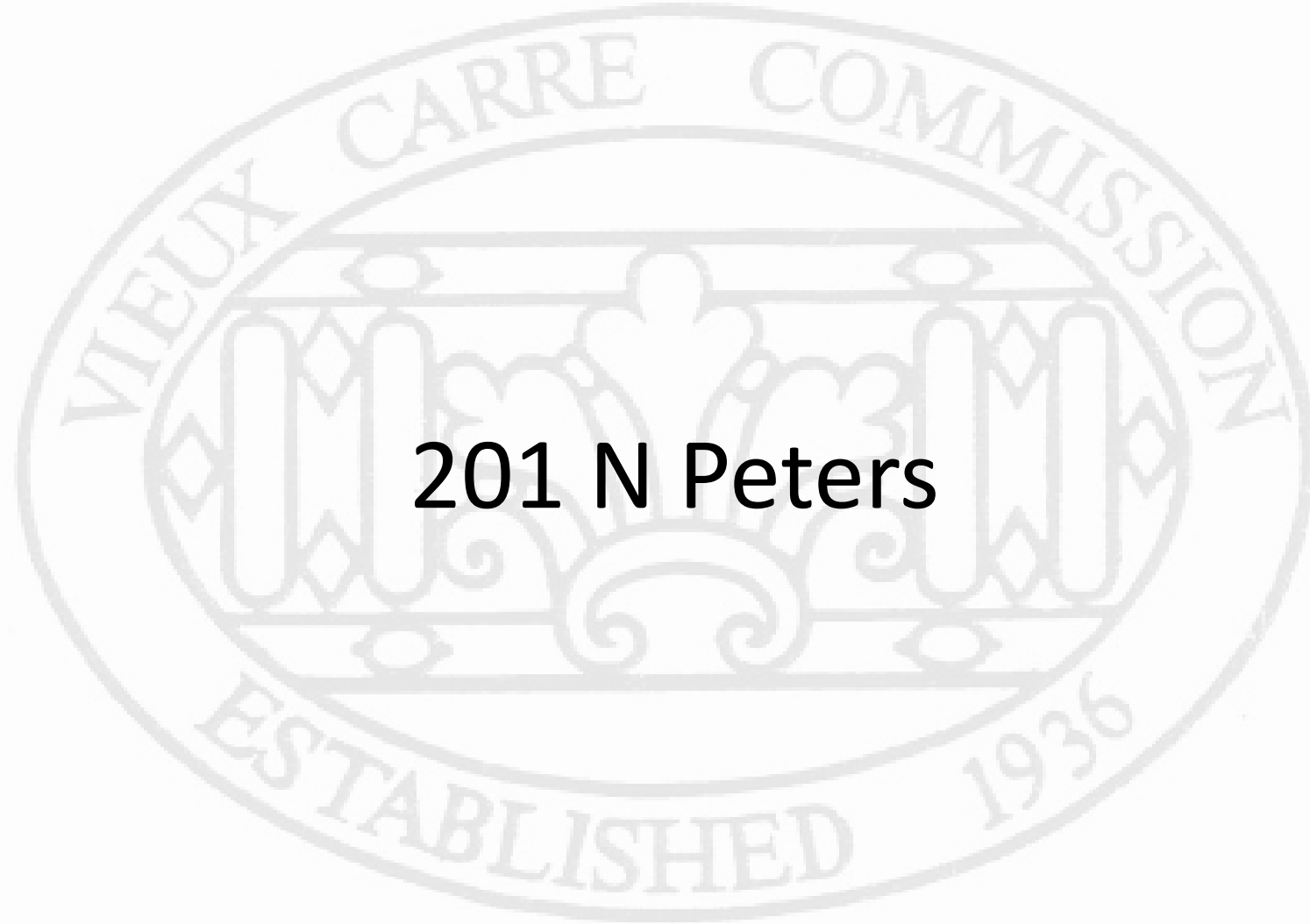
1118 Burgundy – proposed kitchen plan

VCC Architectural Committee

September 22, 2020

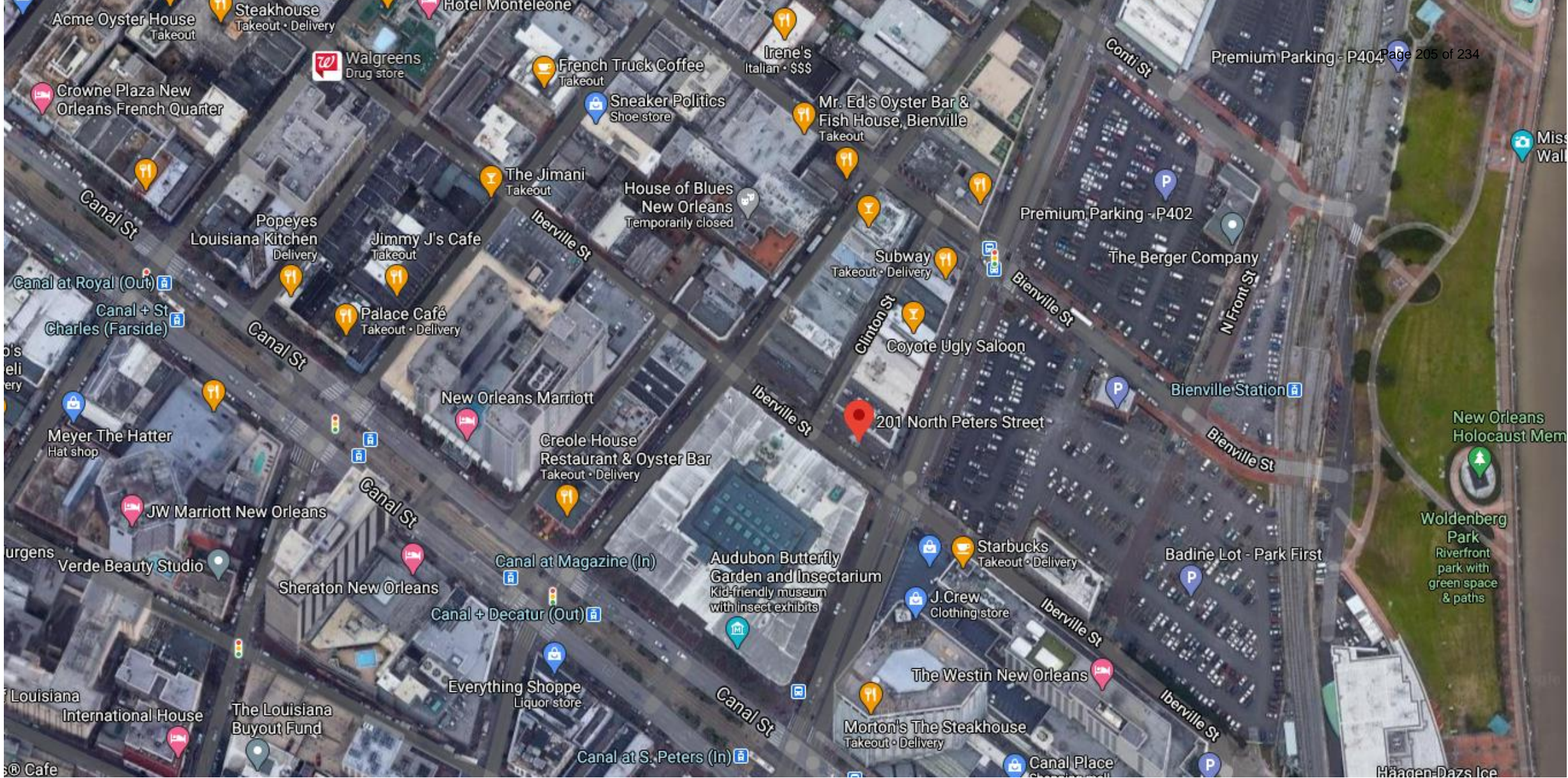






**201 N Peters**





201 N Peters

VCC Architectural Committee

October 13, 2020







201 N Peters

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October 13, 2020







201 N Peters – Nov. 2001

VCC Architectural Committee

October 13, 2020







201 N Peters – Jan. 2005

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201 N Peters – 2011





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201 N Peters

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201 N Peters

VCC Architectural Committee

09 23 2020

October 13, 2020







201 N Peters

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October 13, 2020







201 N Peters

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October 13, 2020





SCOPE OF WORK:

- 1. THIS APPLICATION IS TO RETAIN THE TWENTY (20) EXISTING WALL MOUNTED ELECTRIC FIXTURES ALONG THE THREE (3) FACADES.
- 2. REMOVE ALL EXISTING NON-COMPLIANT LIGHT BULBS AND REPLACE ALL W/ 12 WATT L.E.D. BULBS W/ MATCHING TEMPERATURES BETWEEN 2700k AND 4000k.
- 3. REPLACE BROKEN GLASS IN FIXTURES W/ EITHER MISSING OR BROKEN GLASS.



REAR ELEVATION:  
CLINTON STREET  
SC: 1/8" = 1'-0"



FRONT ELEVATION:  
NORTH PETERS STREET  
SC: 1/8" = 1'-0"



SIDE ELEVATION:  
IBERVILLE STREET  
SC: 1/8" = 1'-0"

201 NORTH PETERS  
V.C.C. LIGHTING APPLICATION  
New Orleans, Louisiana 70130



**LKHarmon Architects**  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans Louisiana 70124  
504.485.5870 harmon@lkharchitects.com

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9.14.2020

A1

LKH #2304.2

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201 N Peters

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October 13, 2020

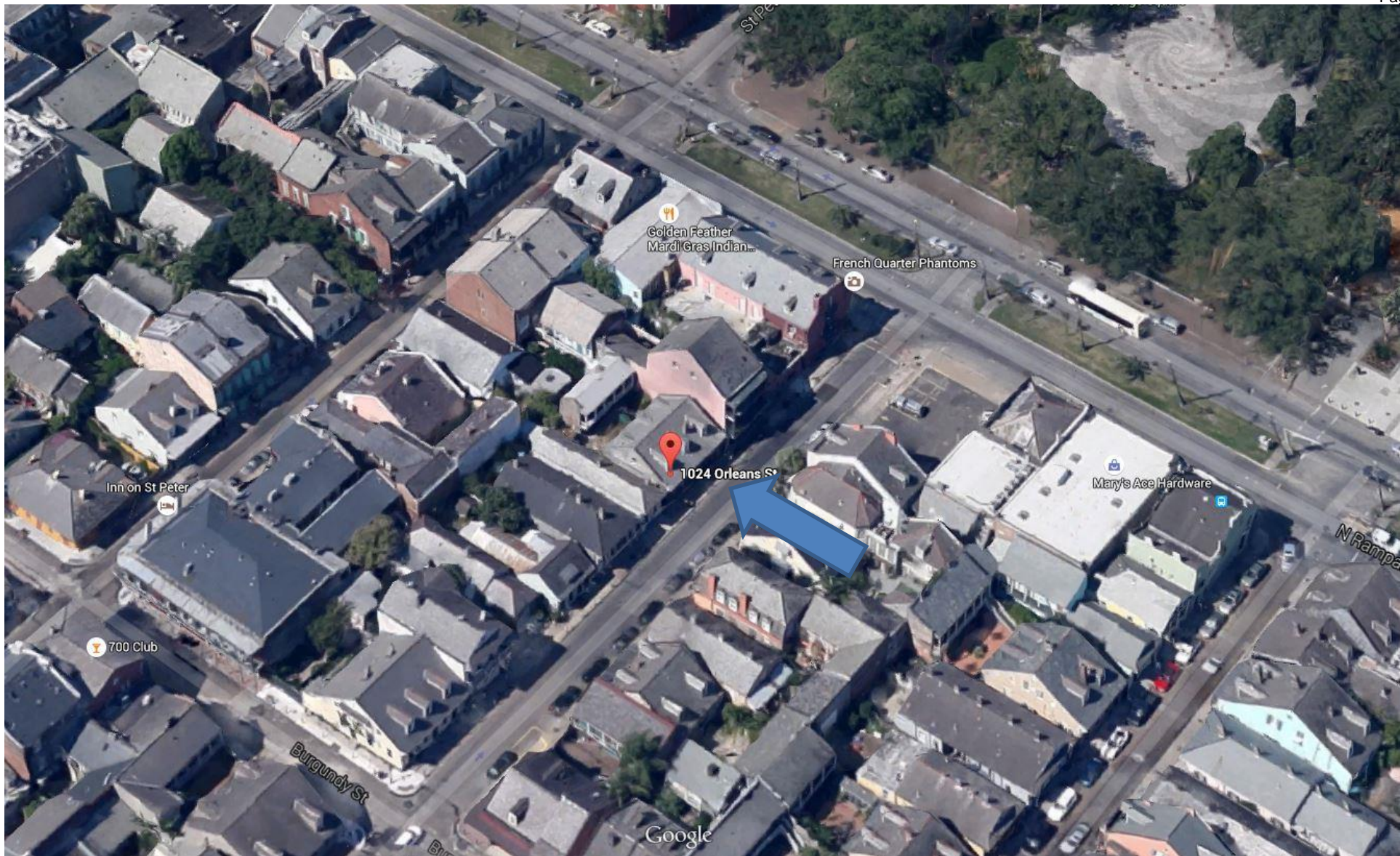




1028 Orleans







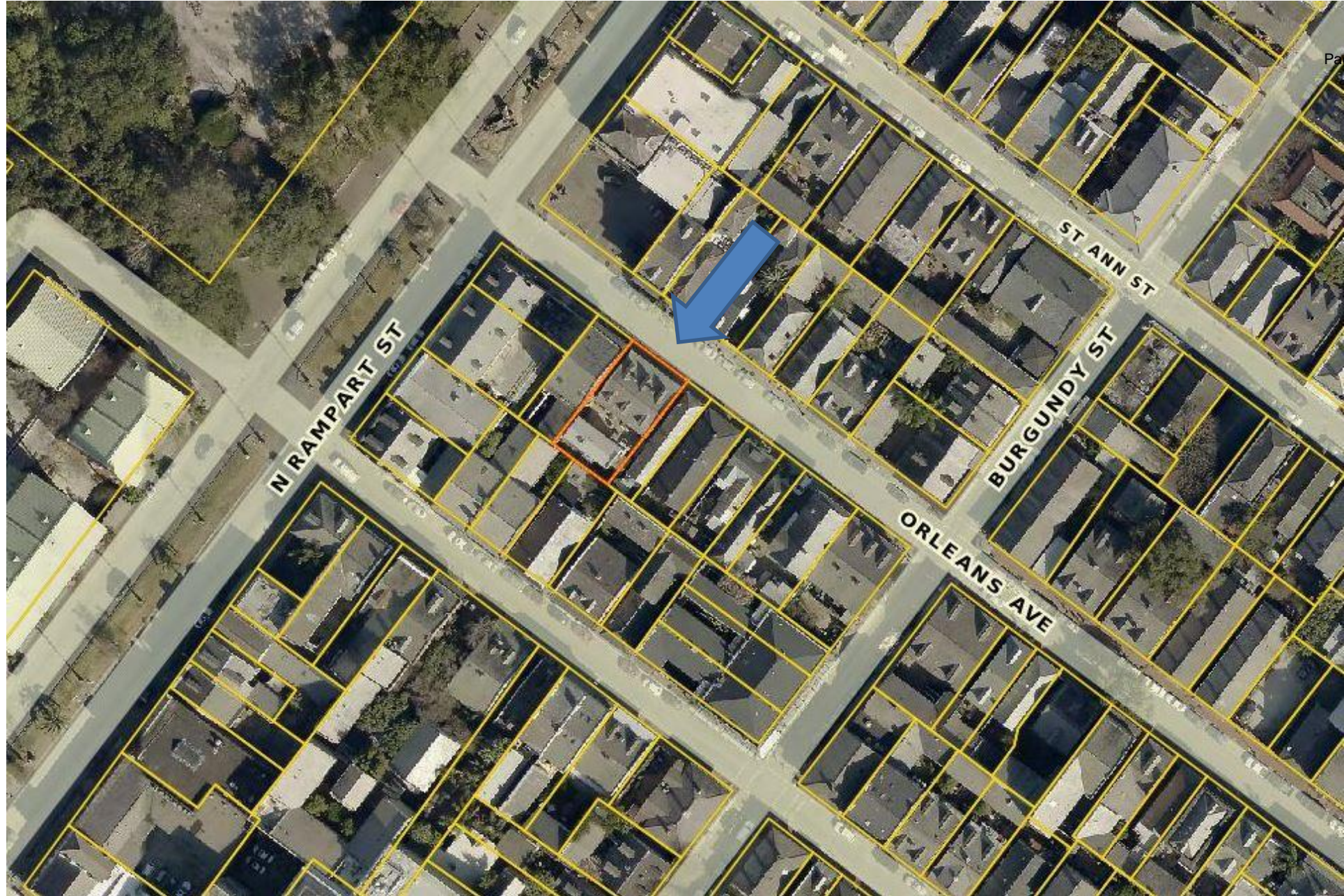
1024 Orleans

VCC Architectural Committee

October 13, 2020







1024 Orleans

VCC Architectural Committee

October 13, 2020







1024 Orleans, c. 1940s  
VCC Architectural Committee

October 13, 2020







1024 Orleans, 1963





1024 Orleans, 2009





1024 Orleans, 2013





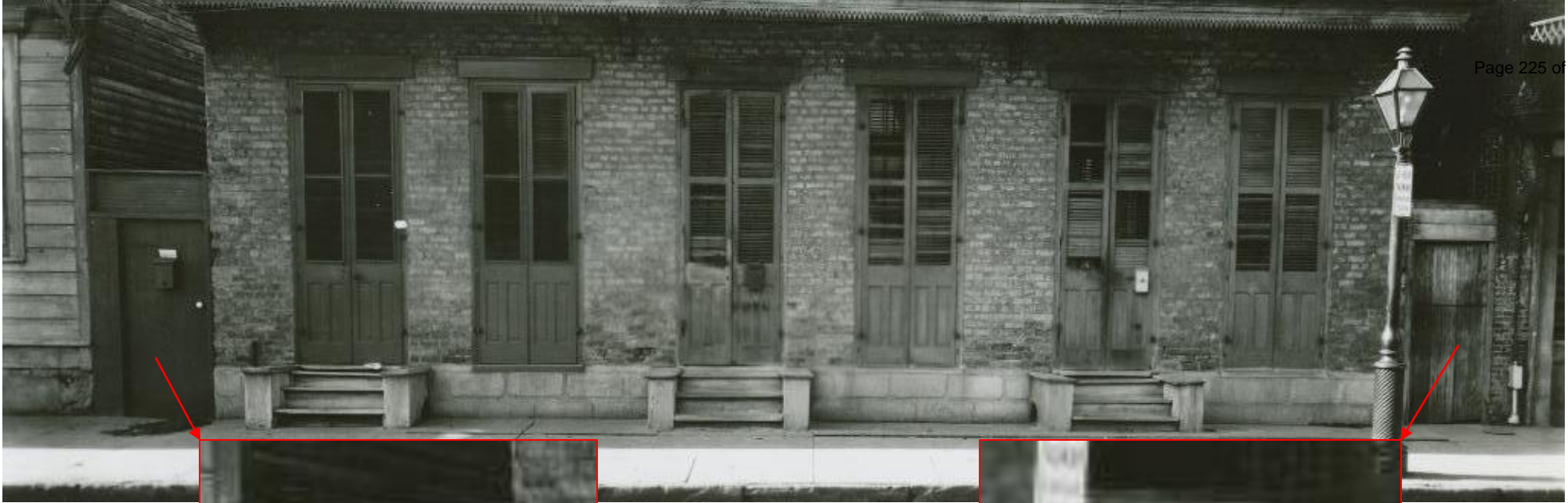
1024 Orleans, 2014





1024 Orleans, 2014





1024 Orleans, c. 1940s  
– Wood Gates

VCC Architectural Committee







1024 Orleans





1024 Orleans

VCC Architectural Committee

October 13, 2020







1024 Orleans

VCC Architectural Committee

October 13, 2020







1024 Orleans

VCC Architectural Committee

October 13, 2020







1024 Orleans

VCC Architectural Committee

October 13, 2020







1024 Orlear  
VCC Architect





## 1 THE GATES AT 1024 ORLEANS AVE



We would like to be permitted to keep the metal backing on the lower gates on each side of the building. We were told that if we removed the metal backing off the top fence parts we could ask for a permit to have it on the bottom part. Two houses on my block have metal gates with metal backing





08 29 2019

1024 -1028 Orleans

VCC Architectural Committee

October 13, 2020





### 3 CHANGE THE LOCKS 1024 ORLEANS AVE



-We will replace door hardware with the round bronze Kwik Set type listed in those approved by VC if permitted to do so..