



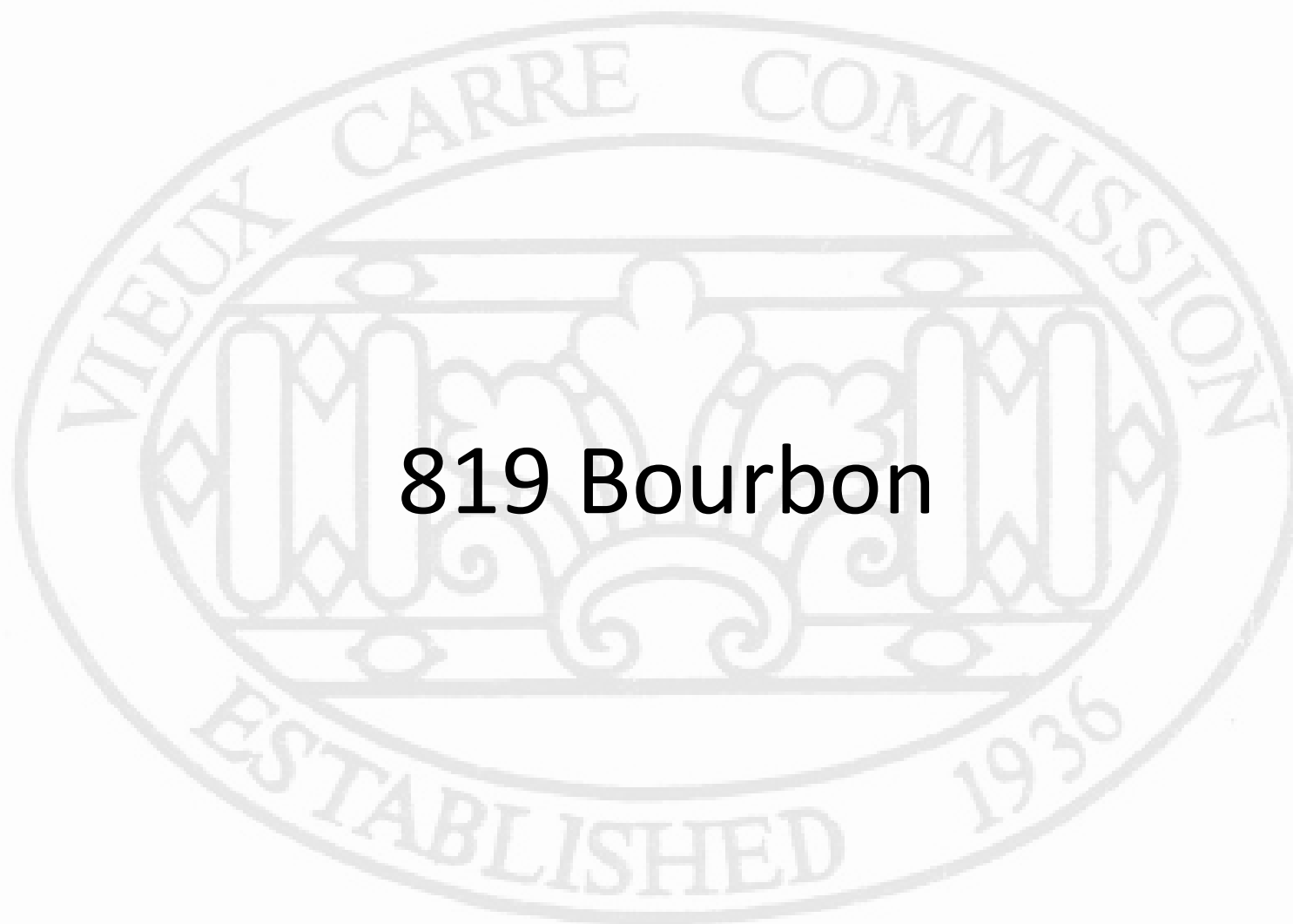
Vieux Carré Commission Architecture Committee Meeting

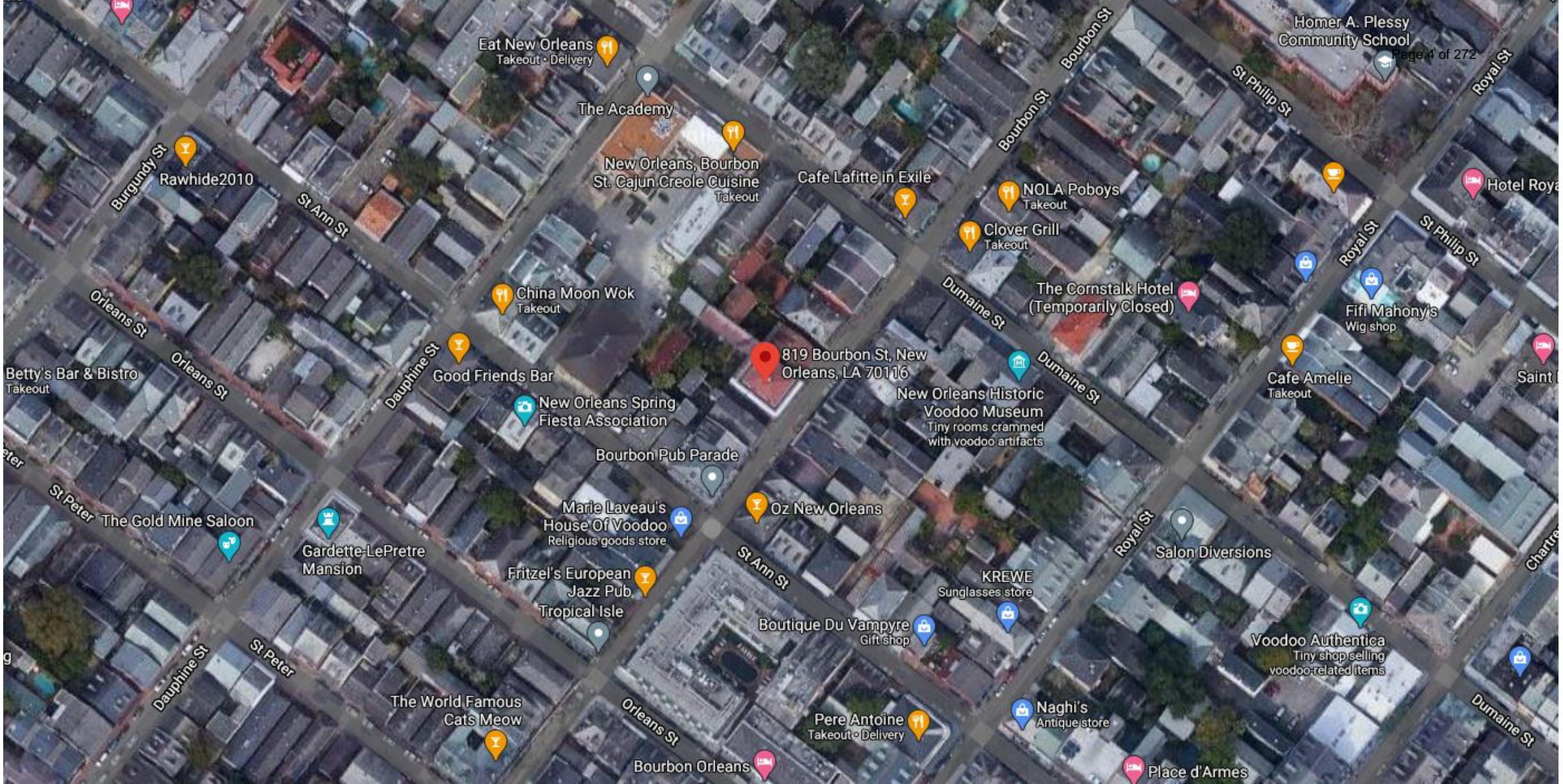
Tuesday, January 12, 2021



Old Business

819 Bourbon





819 Bourbon

VCC Architectural Committee

December 8, 2020





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December 8, 2020





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December 8, 2020



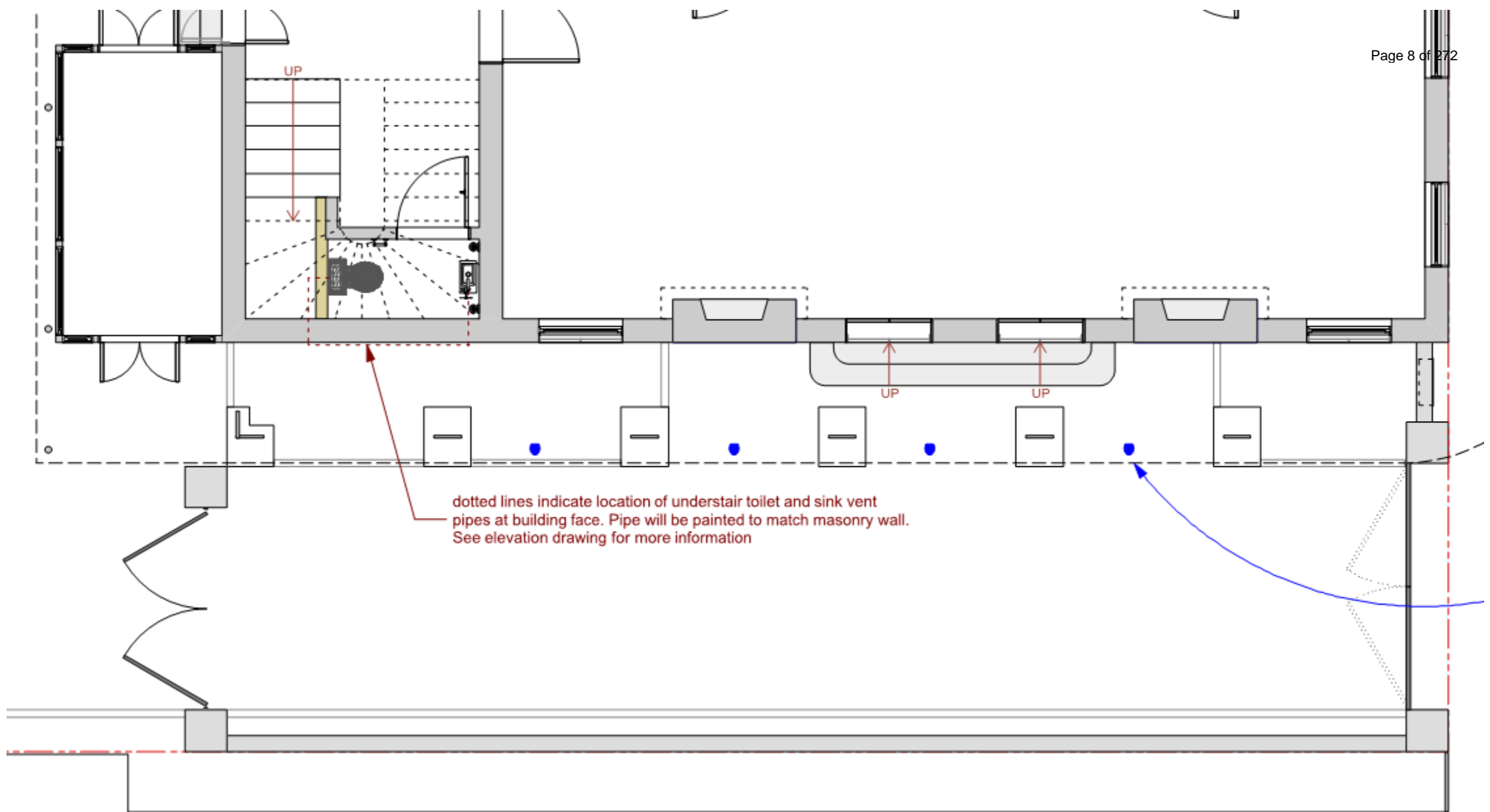


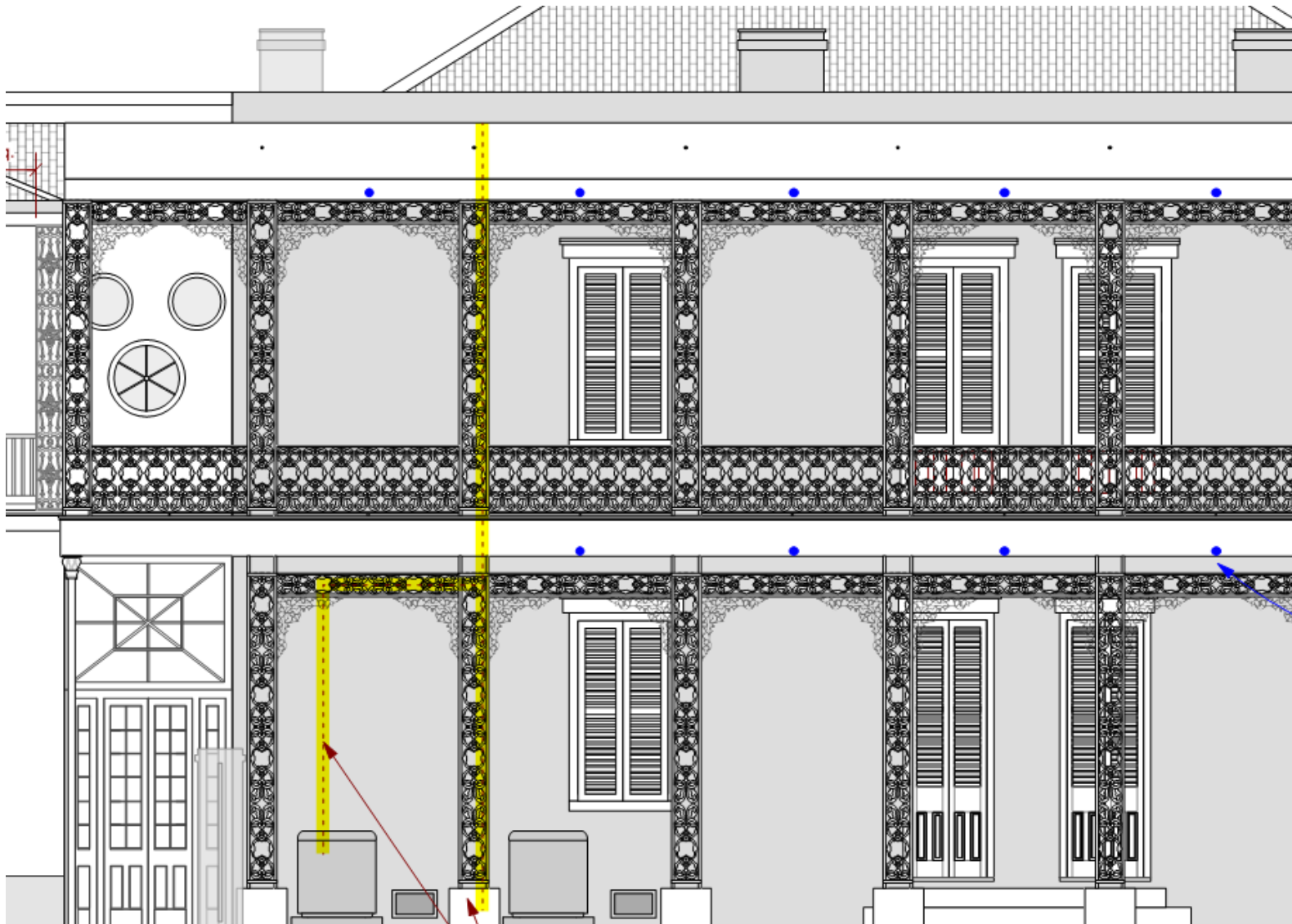
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dotted lines indicate location of understair toilet and sink vent pipes at building face [which is behind ironwork, gallery fascia/floor boards/roof/etc, and HVAC equipment. dotted lines shown overlaid on drawing to show comprehensive location of vent pipe and what is in front of vent pipe]. Pipe will be painted to match masonry wall.

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low profile path-illuminating wall sconce light @ main bldg masonry wall
[see elevation for height]
6" x 5 1/4" WAC Lighting 'Mod' LED fixture
DIMMABLE 90CRI
3000K
Bronze finish [least visible on bare masonry wall]



underbalcony/overhang @ main bldg front / driveway facades
[see elevation drawings for height]
8 3/4" max WAC Lighting 'Endurance' LED fixture
DIMMABLE 85CRI
3000K
White finish [least visible on balcony and overhang underside structure]

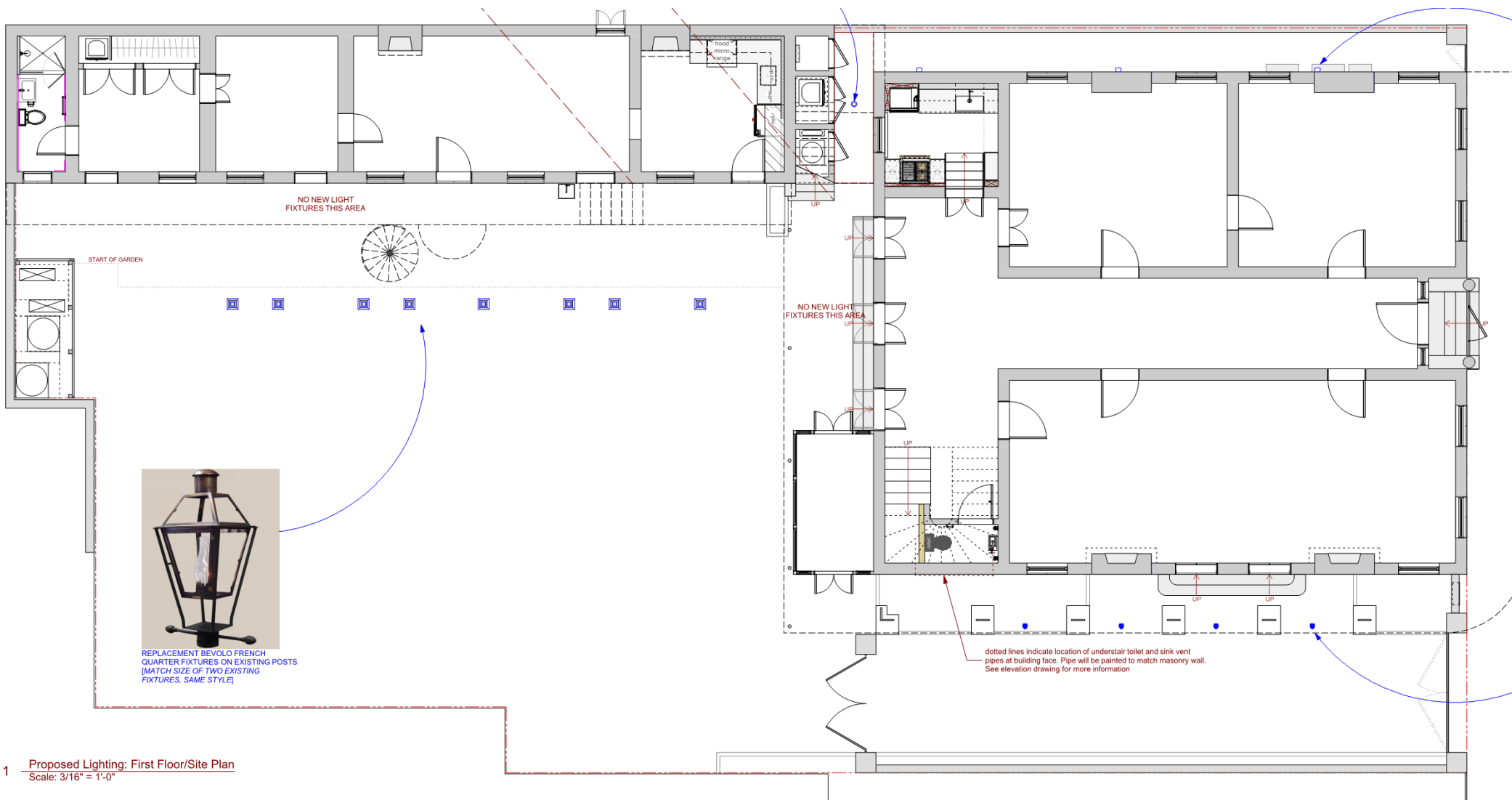


REPLACEMENT BEVOLO FRENCH
QUARTER FIXTURES ON EXISTING POSTS
[MATCH SIZE OF TWO EXISTING
FIXTURES, SAME STYLE]

NO NEW LIGHT
FIXTURES THIS AREA

NO NEW LIGHT
FIXTURES THIS AREA

dotted lines indicate location of understair toilet and sink vent
pipes at building face. Pipe will be painted to match masonry wall.
See elevation drawing for more information



1 Proposed Lighting: First Floor/Site Plan
Scale: 3/16" = 1'-0"

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2) LIGHTING PLAN

- The existing lighting throughout the property is composed mainly of nonconforming uncovered floodlights
 - Some hanging electrical fixtures of varying sizes located at courtyard-size facades of both buildings, first and second floors.
- Removal of two rear building first floor electrical wall sconces flanking an entry door
 - No replacement fixtures at this location [replace any damaged bricks, patch mortar]
- Removal of electrical hanging fixtures:
 - one at rear bldg. second floor balcony near back of site [to be replaced]
 - one at second floor inside corner between front and rear buildings
 - one at mezzanine unit entry door [to be replaced with “recessed look” fixture]
 - one at second floor main building [courtyard/driveway corner]
- Replacement of two post-mounted fixtures at courtyard [walkway alongside rear building]



ABOVE LEFT: Remove rear bldg. wall sconces shown [no replacement, patch brick and mortar]

ABOVE RIGHT: Replace existing rear balcony hanging fixture w/ exposed conduit + add 4 more along balcony per drawings [cannot recess lights at rear bldg. balcony soffit]



ABOVE LEFT: Remove hanging fixture between front and rear building courtyard-side balconies.

ABOVE RIGHT: Replace mezzanine unit entry hanging fixture w/ a 'recessed look' fixture to match same to be added beneath the bulkhead at the alley directly adjacent the stairs



ABOVE LEFT: Remove hanging fixture at front bldg. corner [courtyard and driveway]

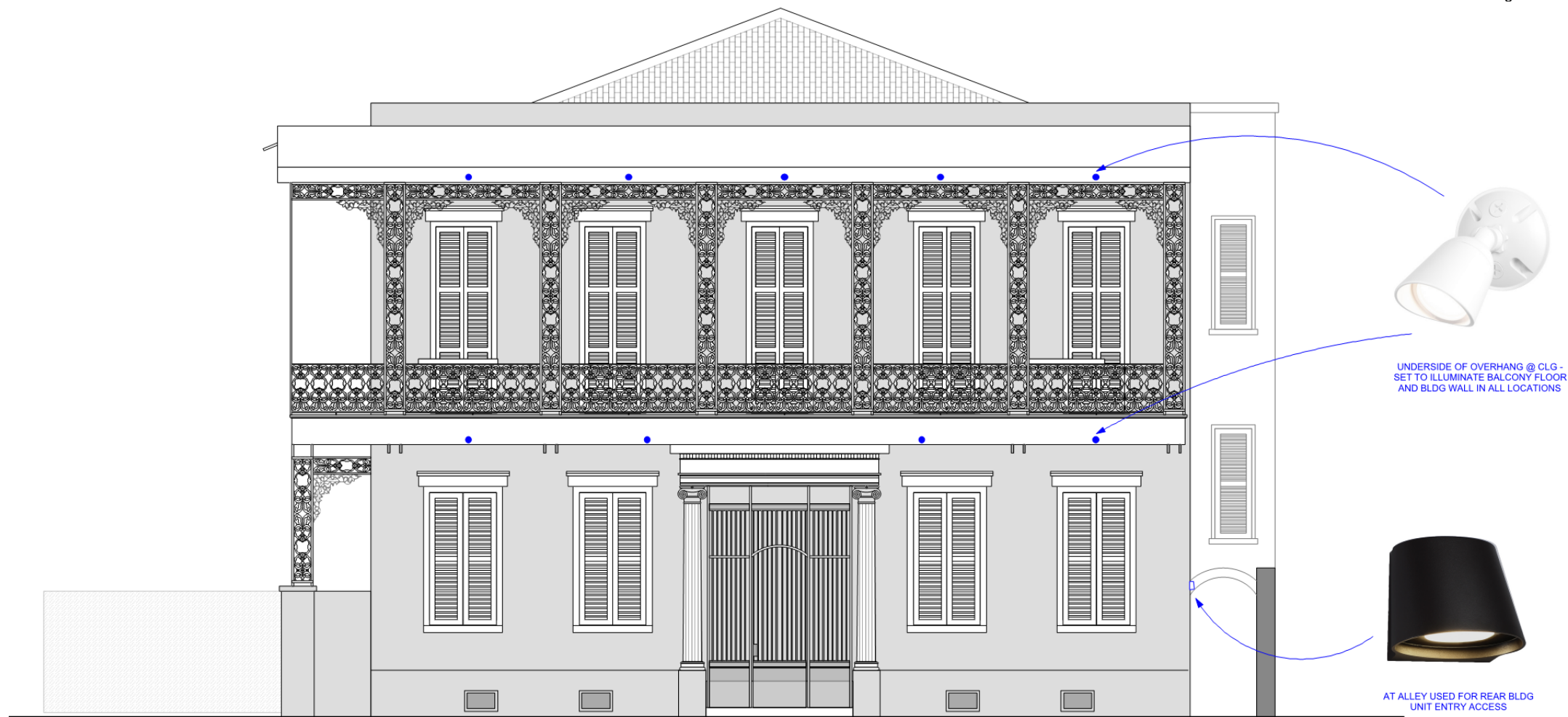
ABOVE RIGHT: Remove all existing bare floodlights [replace w/ approved fixtures as shown in dwgs]

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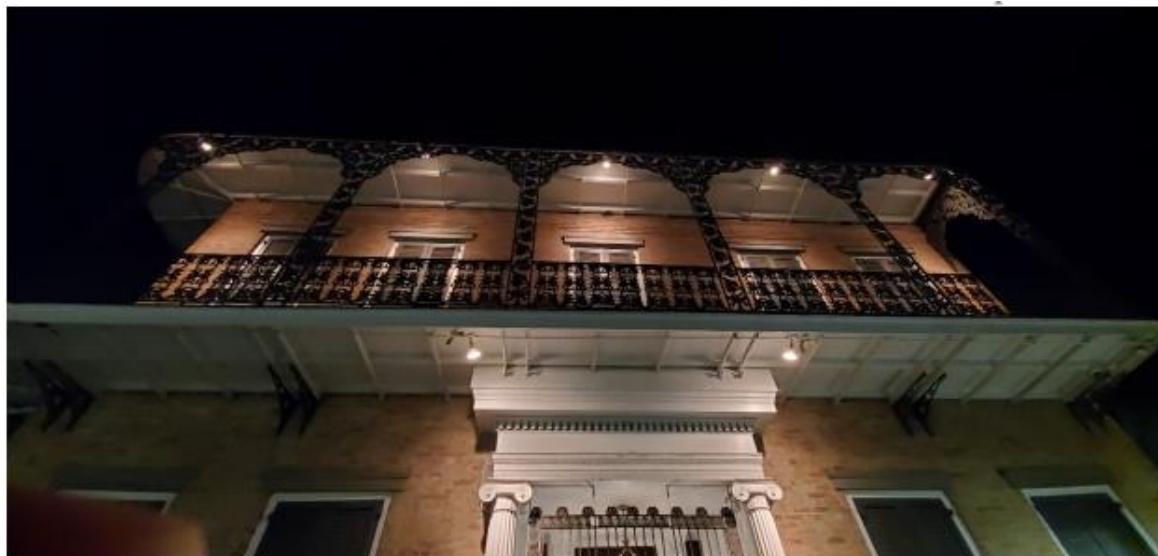
2 Front [Street] Elevation: Exterior Lighting
Scale: 1/4" = 1'-0"

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ABOVE: Remove all existing bare floodlights [replace w/ approved fixtures as shown in dwgs]



ABOVE: Remove all existing bare floodlights [replace w/ approved fixtures as shown in dwgs]

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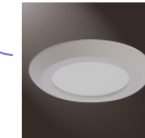
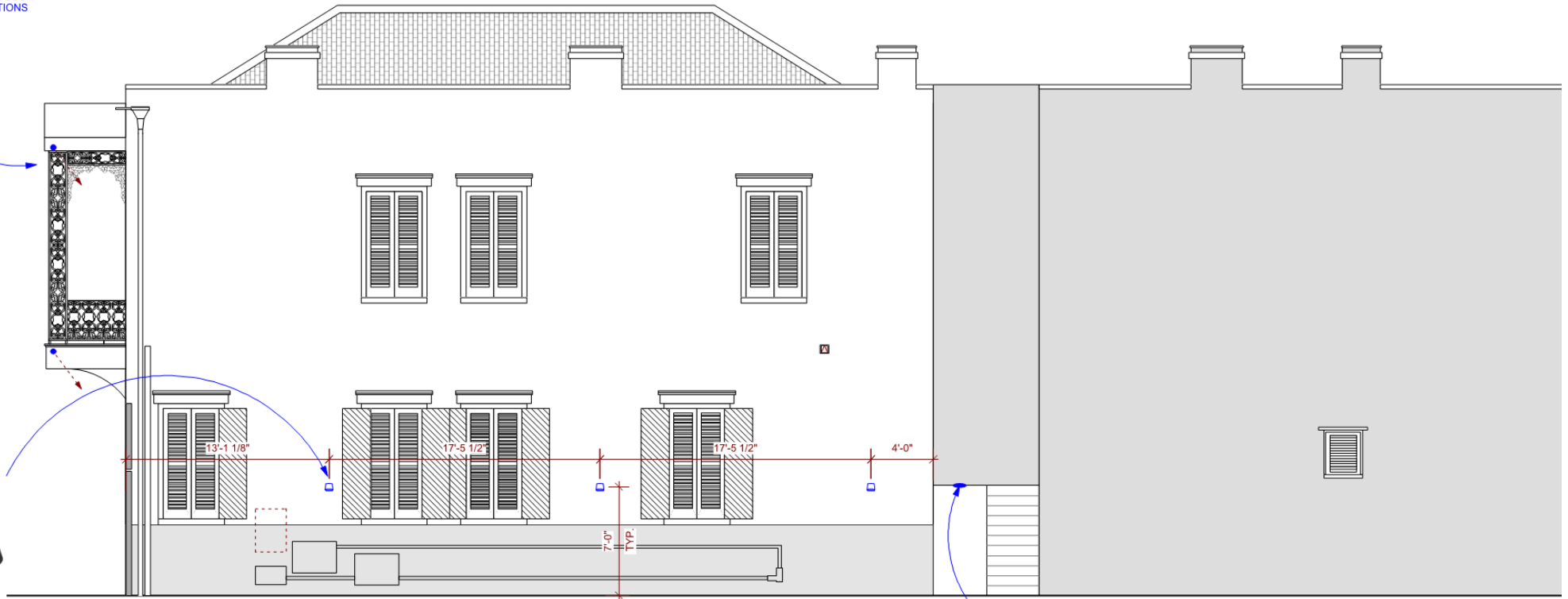




UNDERSIDE OF OVERHANG @ CLG -
SET TO ILLUMINATE BALCONY FLOOR
AND BLDG WALL IN ALL LOCATIONS
[SIDEWALK AT STREET]



AT ALLEY USED FOR REAR BLDG
UNIT ENTRY ACCESS



UNDER BULKHEAD NEAR
COURTYARD AT WALKWAY



THIS PAGE: views of various bare floodlights around property to be removed

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SINGLE SPOT Endurance

WP-LED415

WAC LIGHTING

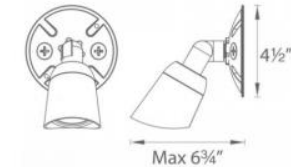


Fixture Type:

Catalog Number:

Project:

Location:



PRODUCT DESCRIPTION

Die cast aluminum factory sealed housings with patent pending design for a water and dust proof IP66 rated outdoor luminaire

FEATURES

- Factory-Sealed LED Light Engine
- Die-cast aluminum construction
- Photo/Motion Sensor Compatible (Sold Separately)
- 120V Direct Wire - No Driver Needed
- 85 CRI
- 39,000 hour rated life

SPECIFICATIONS

Construction: Die-cast aluminum

Power: Line Voltage input (120V)

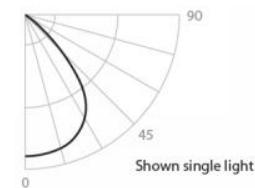
Dimming: 100% - 10% with Electronic Low Voltage (ELV) dimmer

Finish: Architectural Black, Bronze, White and Graphite

Standards: IP66, Wet Location, ETL & cETL Listed

Operating Temperature: -40°C (-40°F) to 40°C (104°F)

PHOTOMETRY



ORDER NUMBER

Model	Wattage	Comparable	Color temp	Delivered Lumens	Finish
WP-LED415	Single	15W	75W	30 3000K 50 3000K	965 1030
					aBK Architectural Black aBZ Architectural Bronze aGH Architectural graphite aWT Architectural White

Example: WP-LED415-30-aWT

wacighting.com
Phone (800) 526-2588
Fax (800) 526-2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC LIGHTING retains the right to modify the design of our products at any time as part of the company's continuous improvement program, Feb 2018

WAC LIGHTING

Fixture Type: Page 17 of 272
 Catalog Number:
 Project:
 Location:

Mod

6" Outdoor Wall Sconce 3000K

Model & Size	Color Temp & CRI	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W65607 7"	3000K 90	16.5W	120-277 VAC	1165	850	BK Black BZ Bronze GH Graphite WT White

Example: WS-W65607-BK

DESCRIPTION

Expertly crafted from die-cast aluminum, The Mod family features a smooth curved modern shape. ADA Compliant and Dark Sky friendly. Ideal for exterior residential, hospitality and commercial applications.

FEATURES

- Weather resistant powder coat finish
- Low profile with effective path illumination
- Light engine is factory sealed for maximum protection from the elements
- Driver concealed within the fixture
- 5 year warranty

SPECIFICATIONS

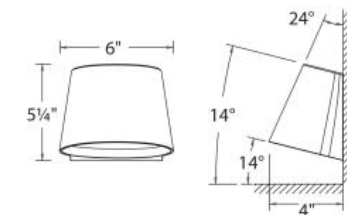
Color Temp: 3000K
Input: 120-277 VAC, 50/60Hz
CRI: 90
Dimming: ELV: 100-10%
Rated Life: 70000 Hours
Mounting: Can be mounted on wall in all orientations
Standards: ETL, cETL, IP65, Title 24 JA8-2016 Compliant
 Wet Location Listed
Construction: Aluminum hardware with glass diffuser



FINISHES



LINE DRAWING



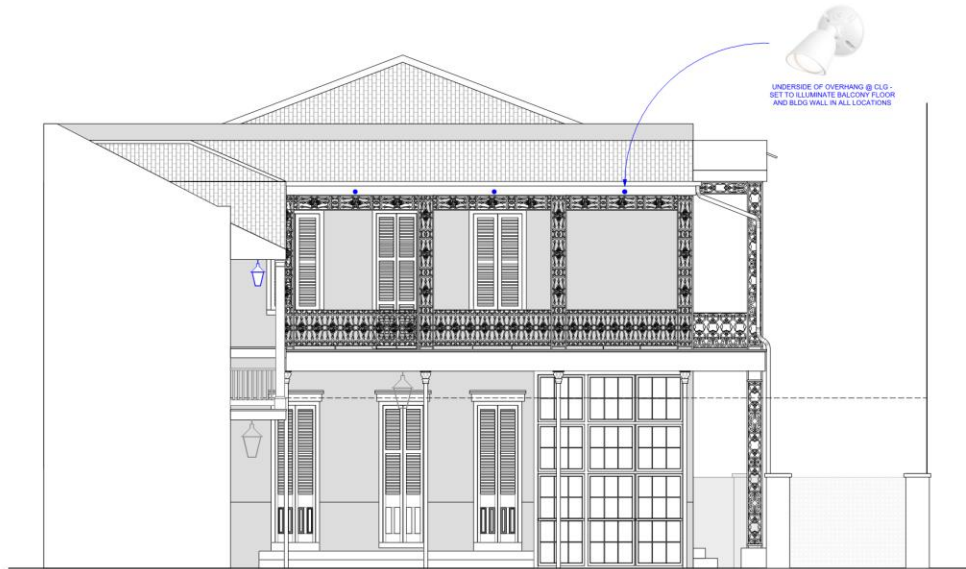
WS-W65607

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2 Rear (Courtyard) Elevation: Exterior Lighting
Scale: 1/4" = 1'-0"



'JOINT' BETWEEN MAIN AND REAR BUILDINGS AT MEZZANINE UNIT ENTRY DOOR/STAIR AND UTILITY ALLEY



1 Courtyard Elevation: Exterior Lighting
Scale: 3/16" = 1'-0"

dotted lines indicate location of underdrain, toilet and sink vent pipes at building face (which is behind frontwork gallery floor/first floor boardwalk/bleachers, and HVAC equipment. dotted lines shown overlaid on drawing to show comprehensive location of vent pipe and what is in front of vent pipe). Pipe will be painted to match masonry wall.

altbauten.design
architecture, preservation
Toni A. DiMaggio, AIA, architect
toni@altbauten.design

PARTIAL RENOVATION

819 BOURBON STREET, NEW ORLEANS, LA 70116

DATE	DESCRIPTION

PROPOSED
EXTERIOR
LIGHTING
05 JAN 2021

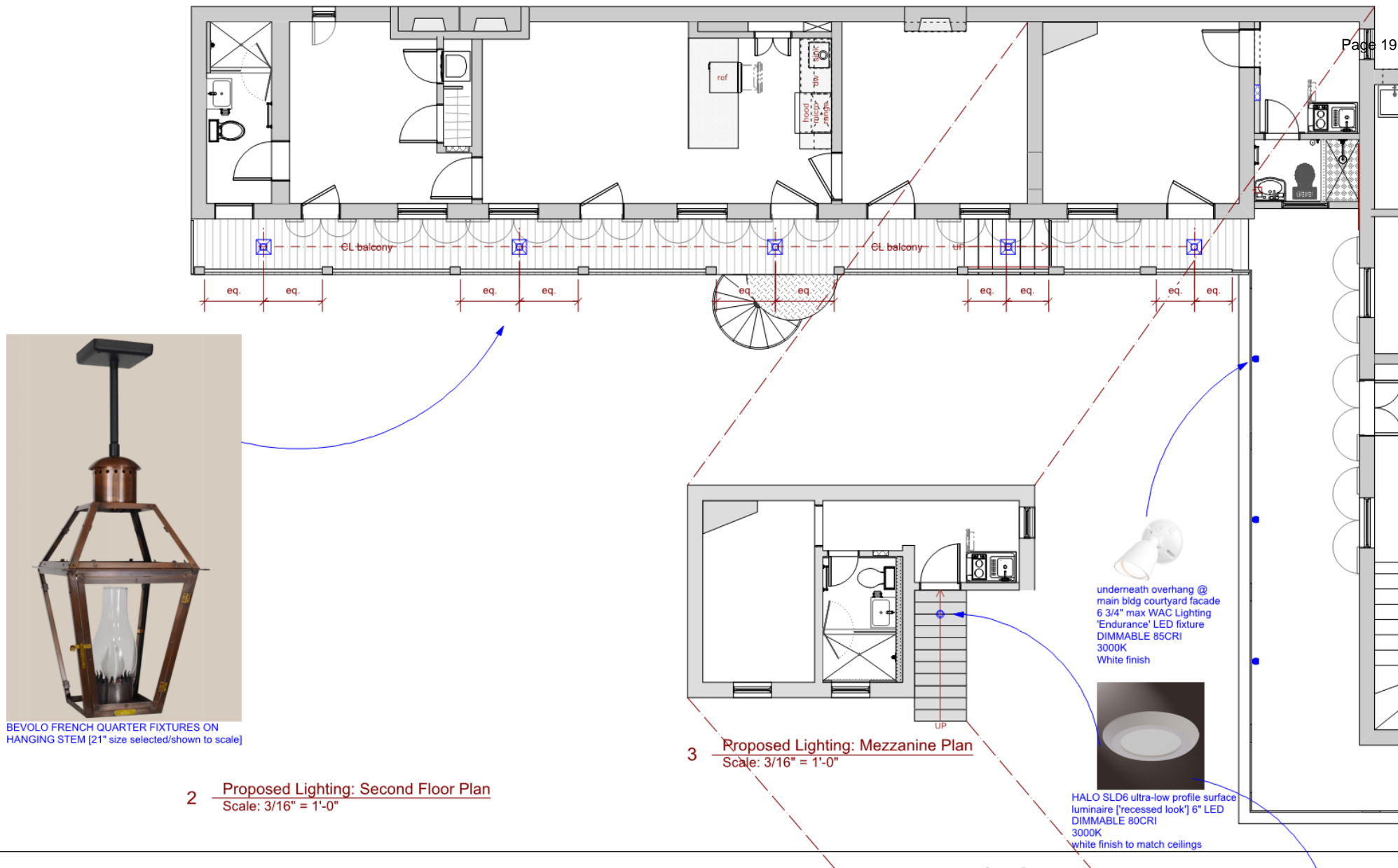
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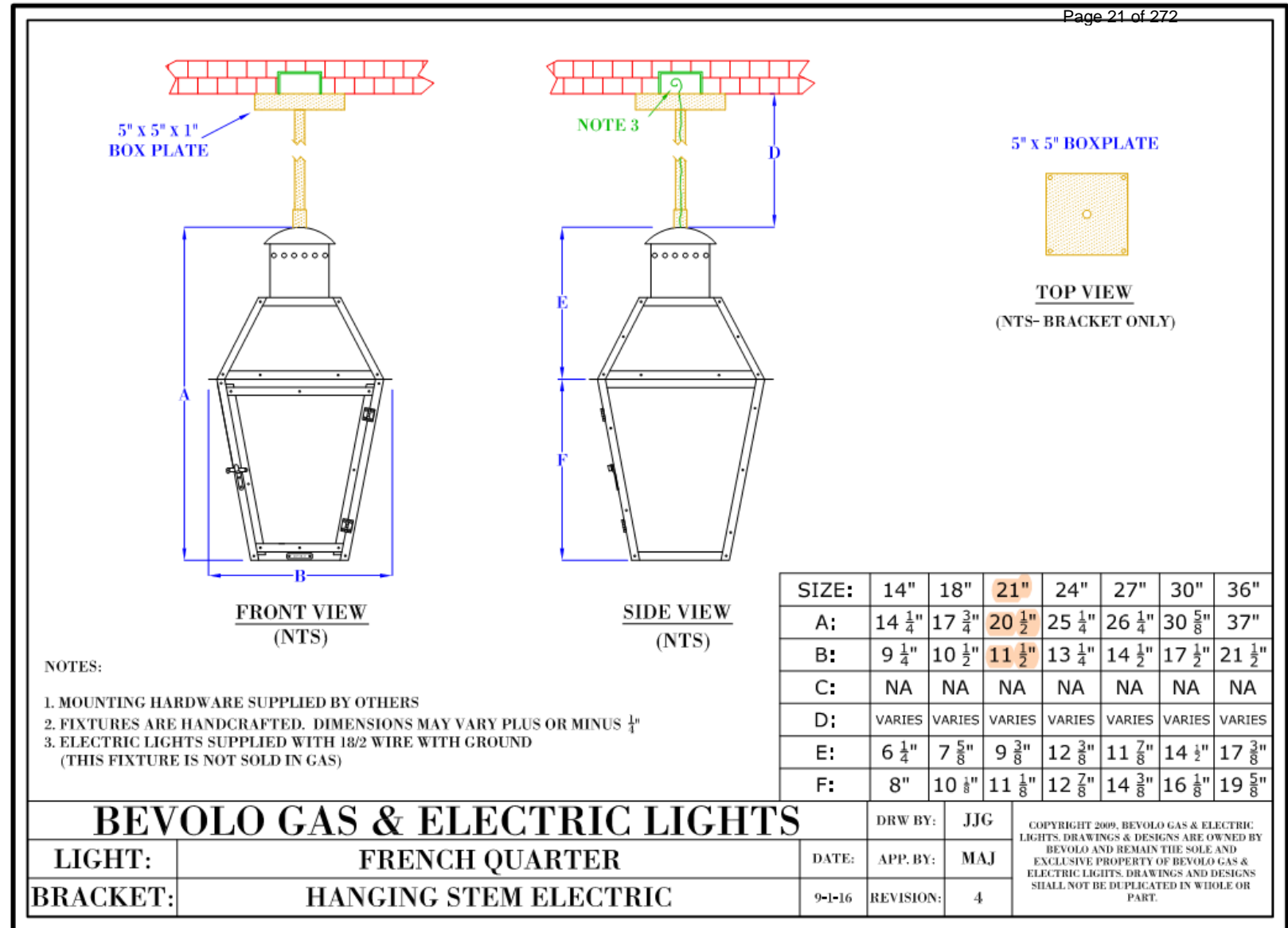
1 Courtyard Elevation: Exterior Lighting
Scale: 3/16" = 1'-0"

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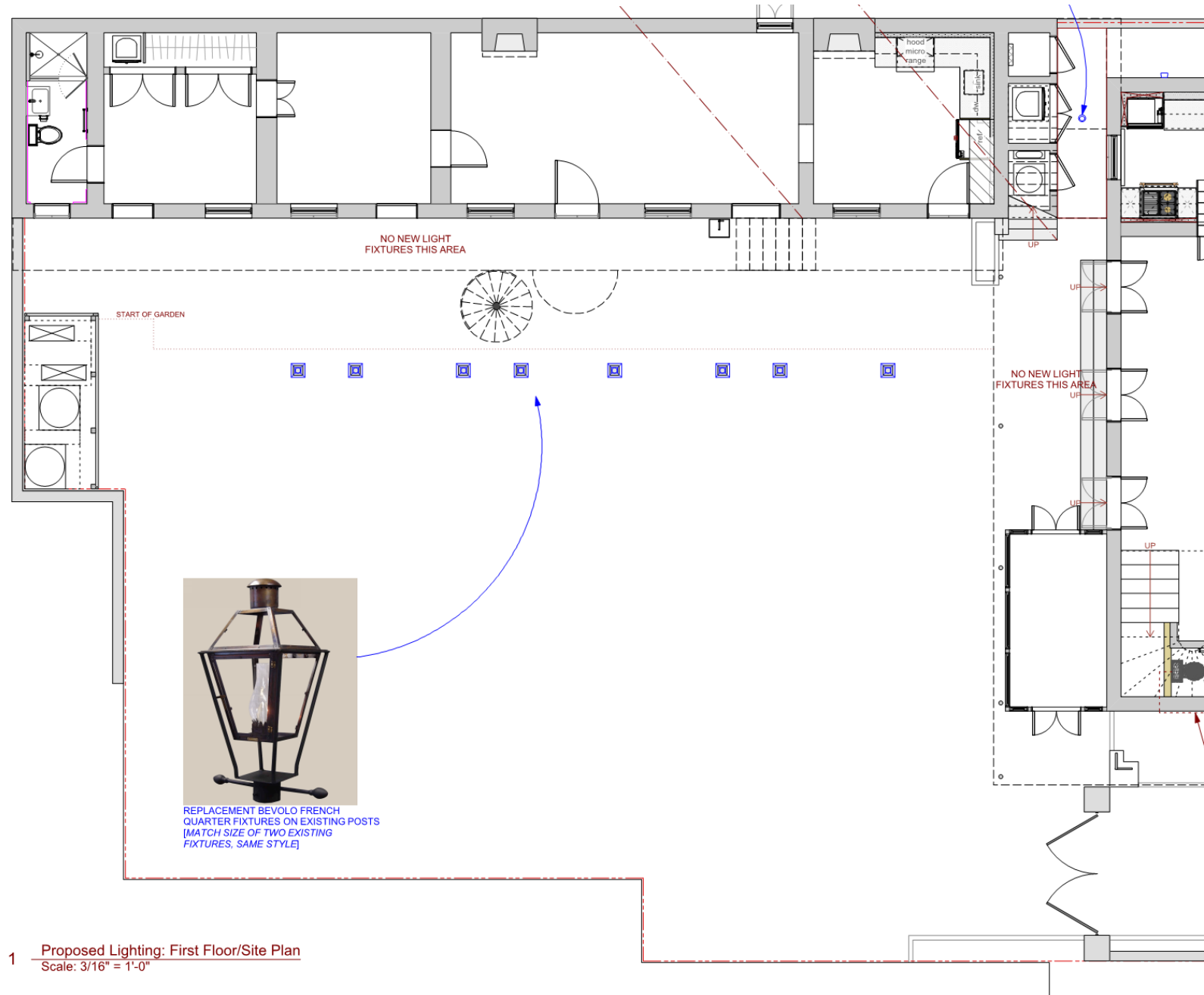


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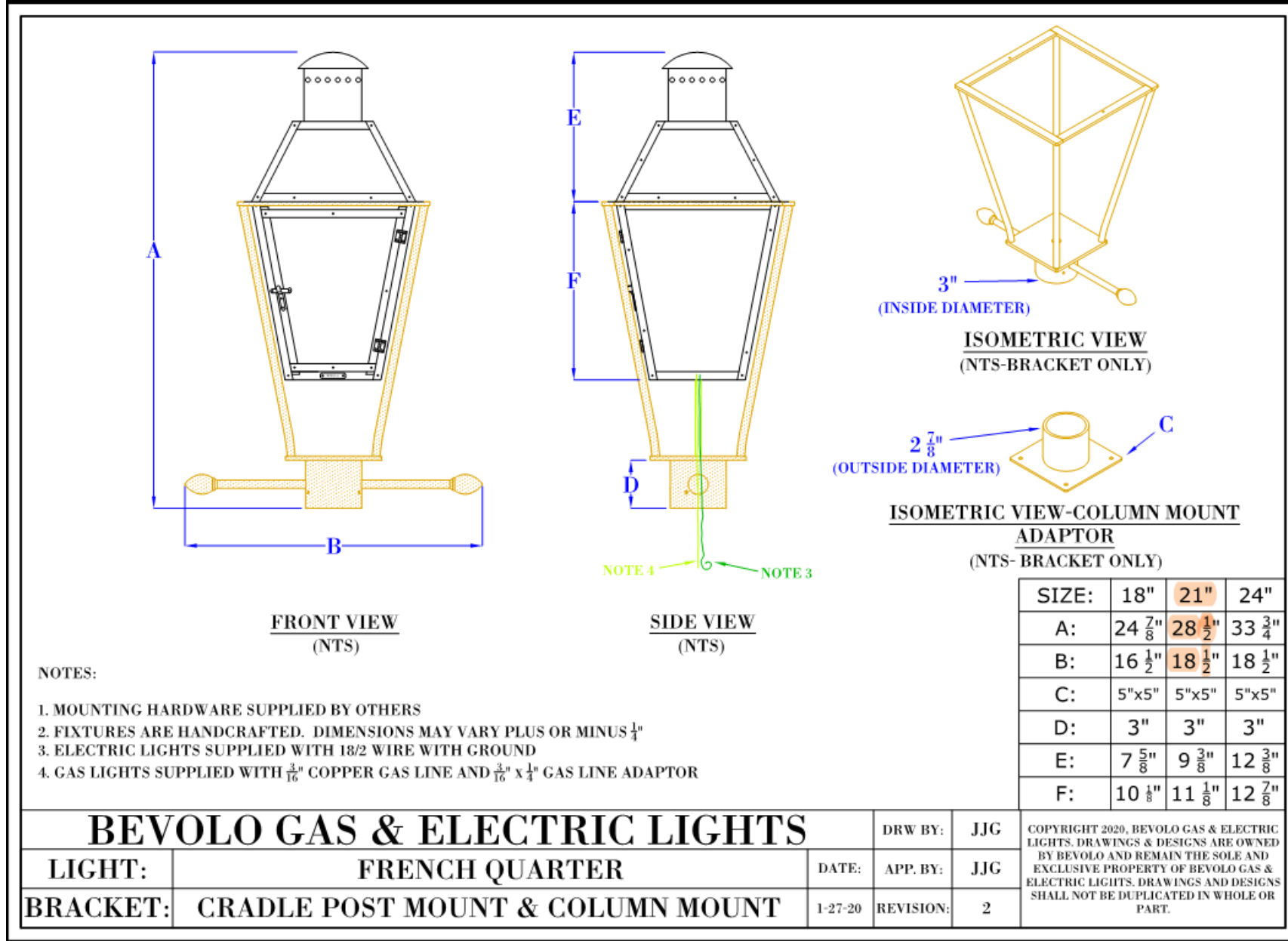


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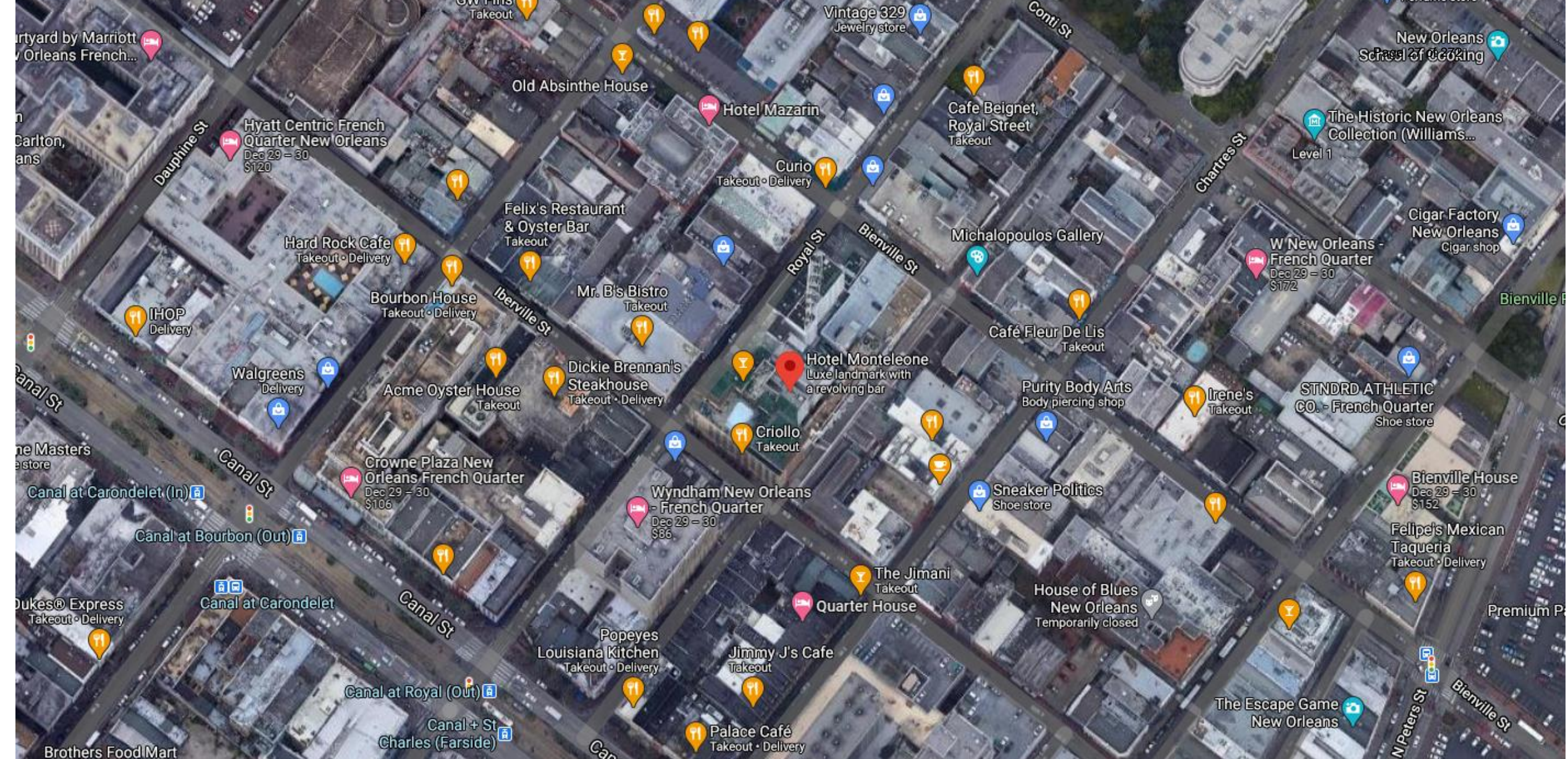
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214 Royal



214 Royal

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214 Royal

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03 24 2020

December 8, 2020



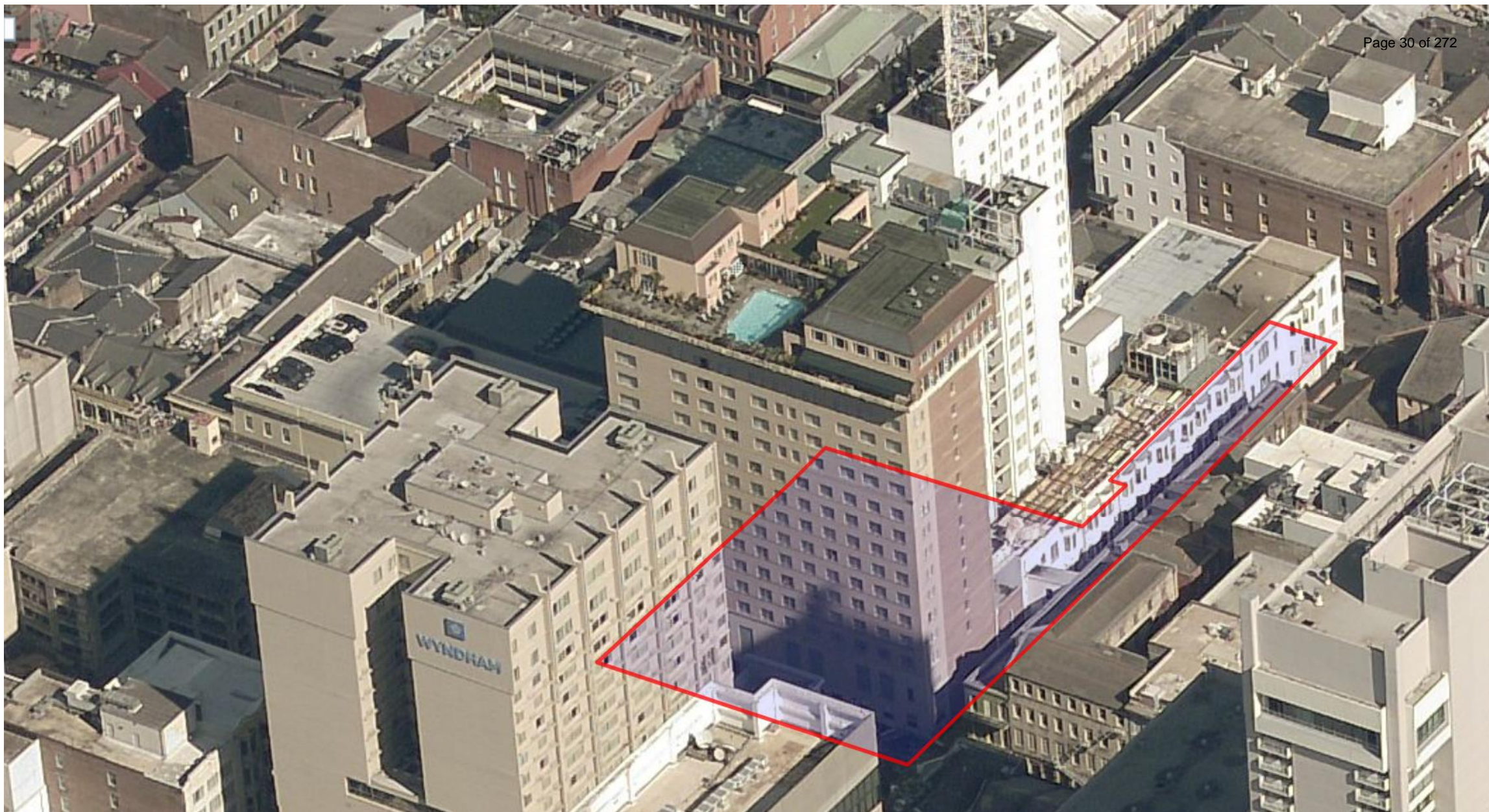


214 Royal

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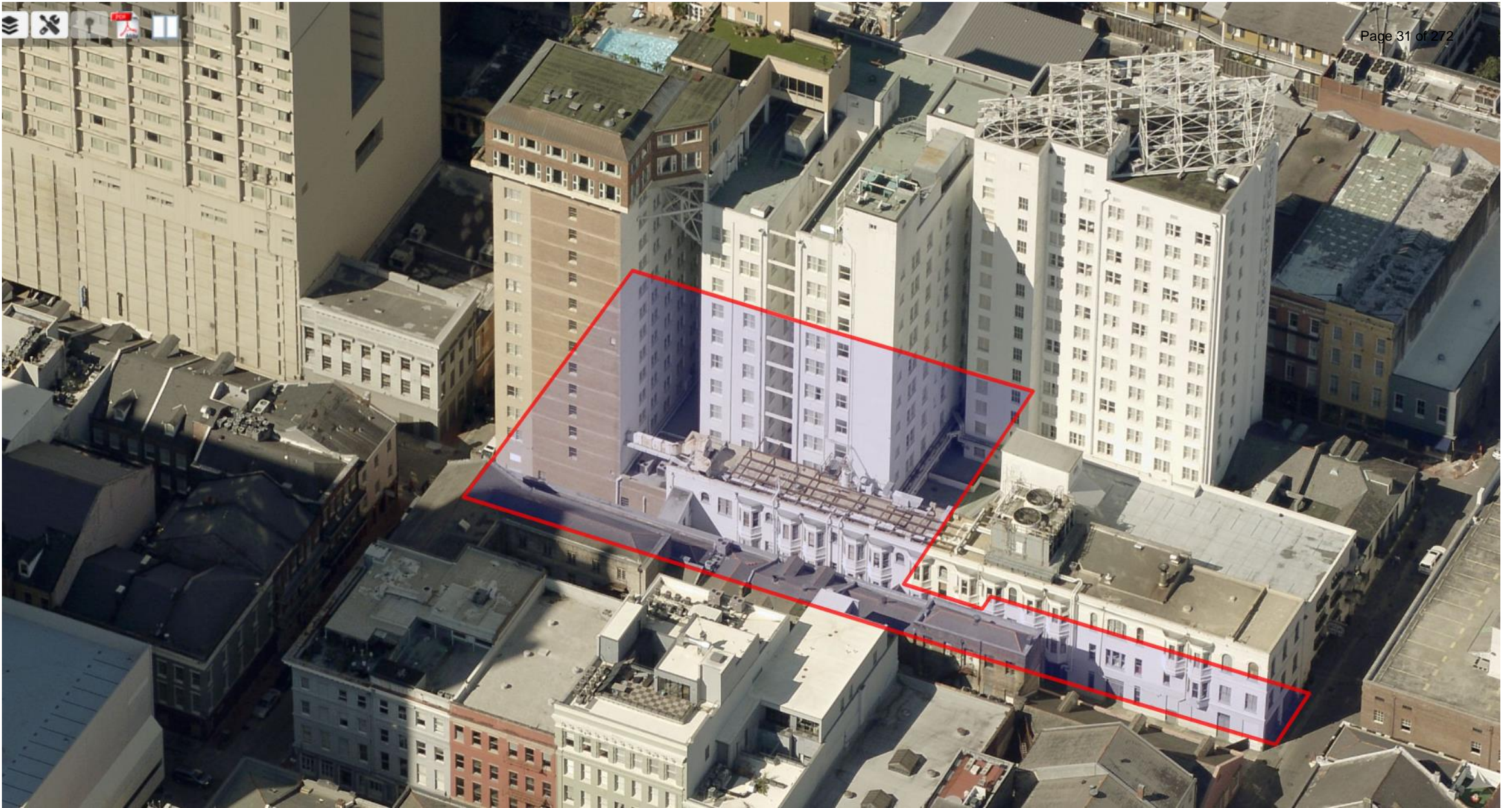


214 Royal

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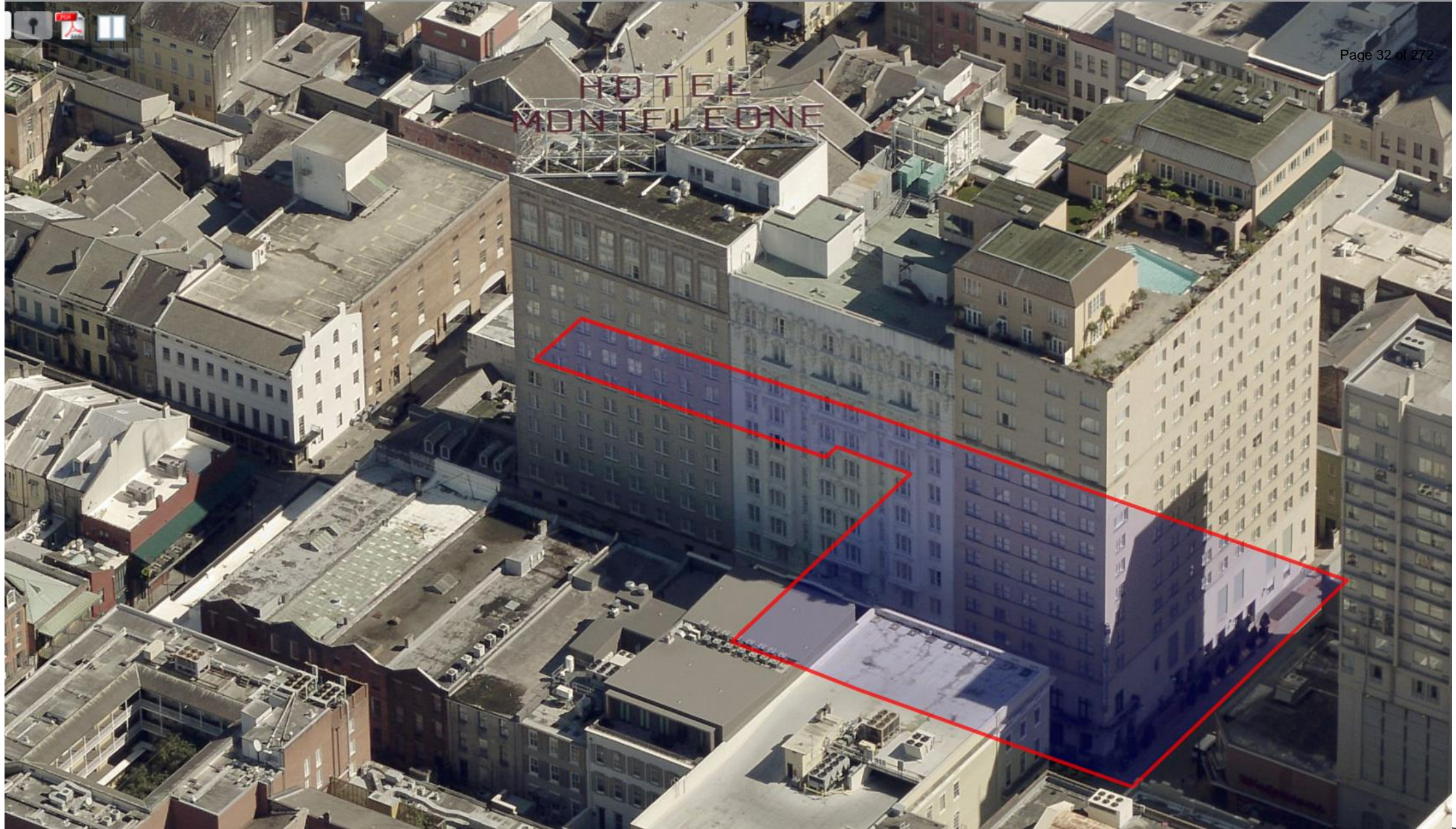


214 Royal

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214 Royal

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December 8, 2020





214 Royal

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December 8, 2020





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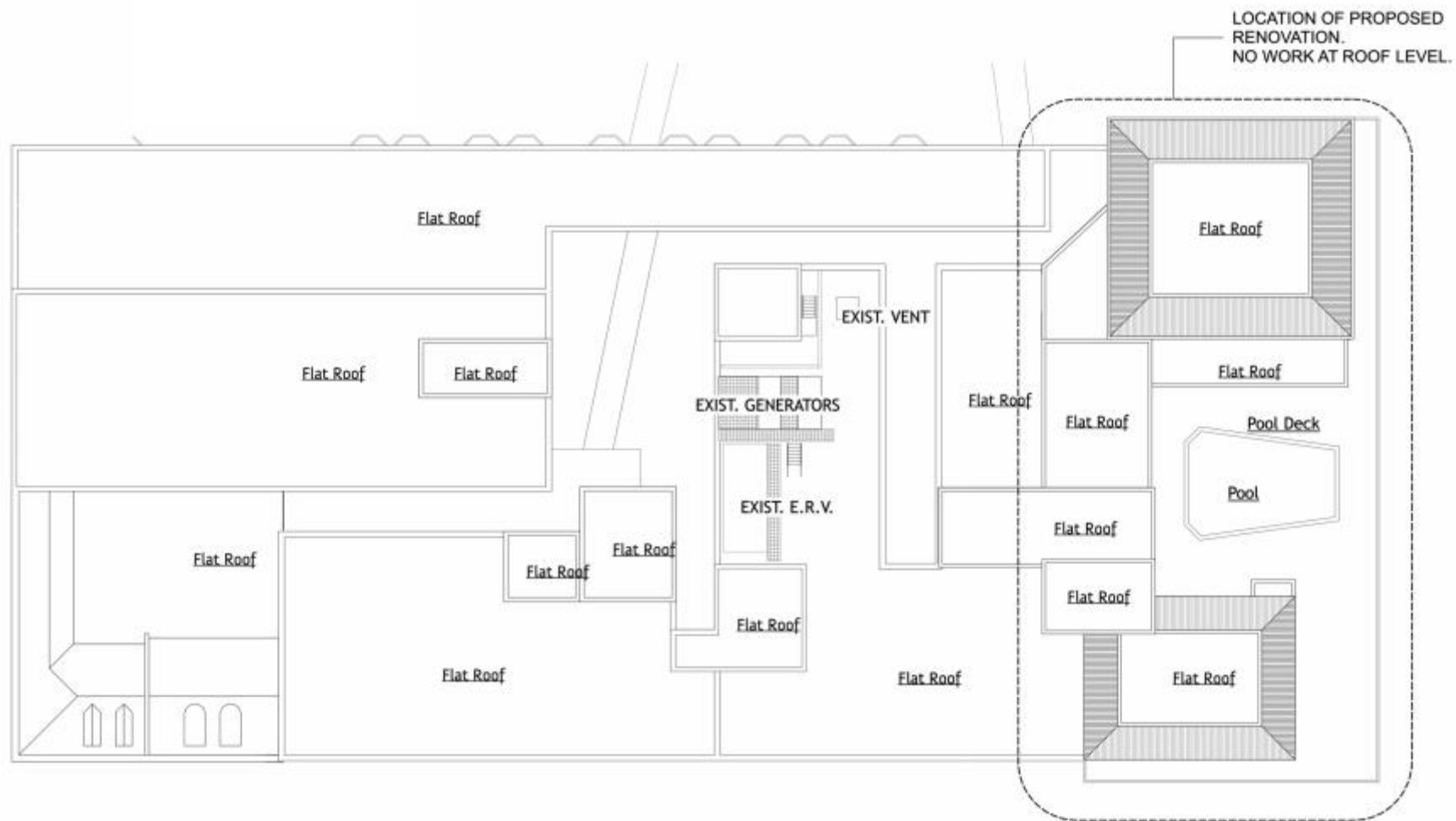


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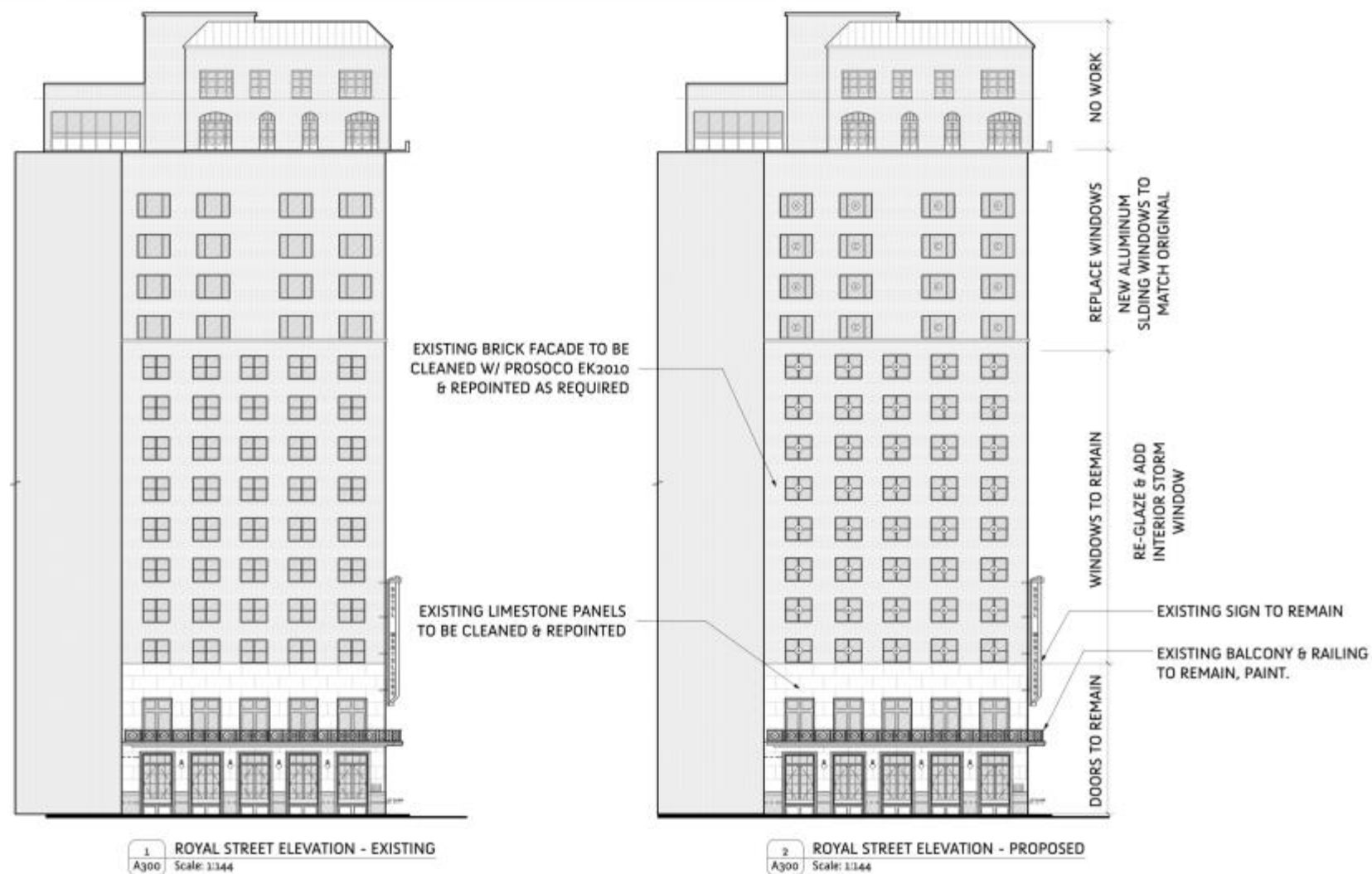
December 8, 2020



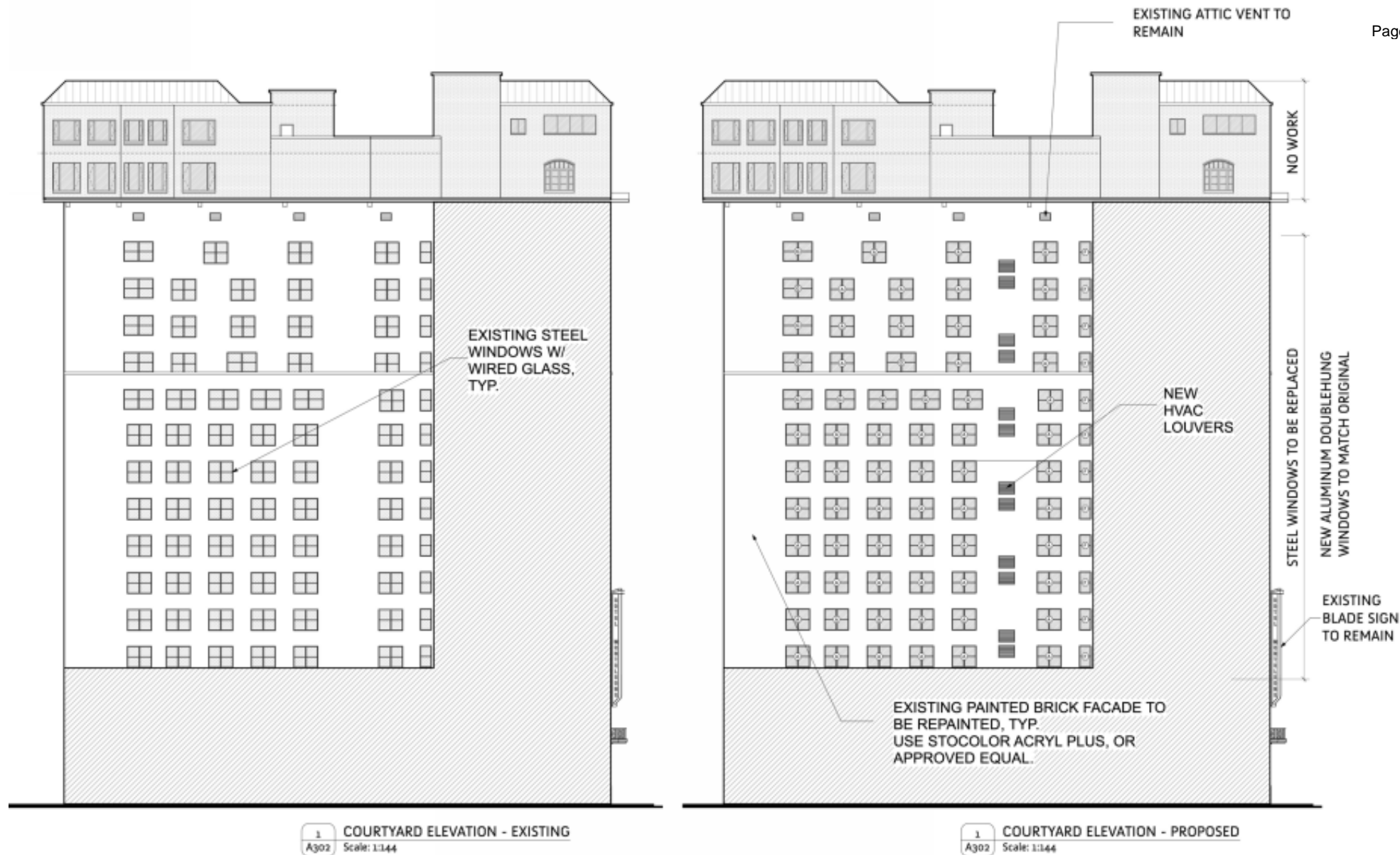


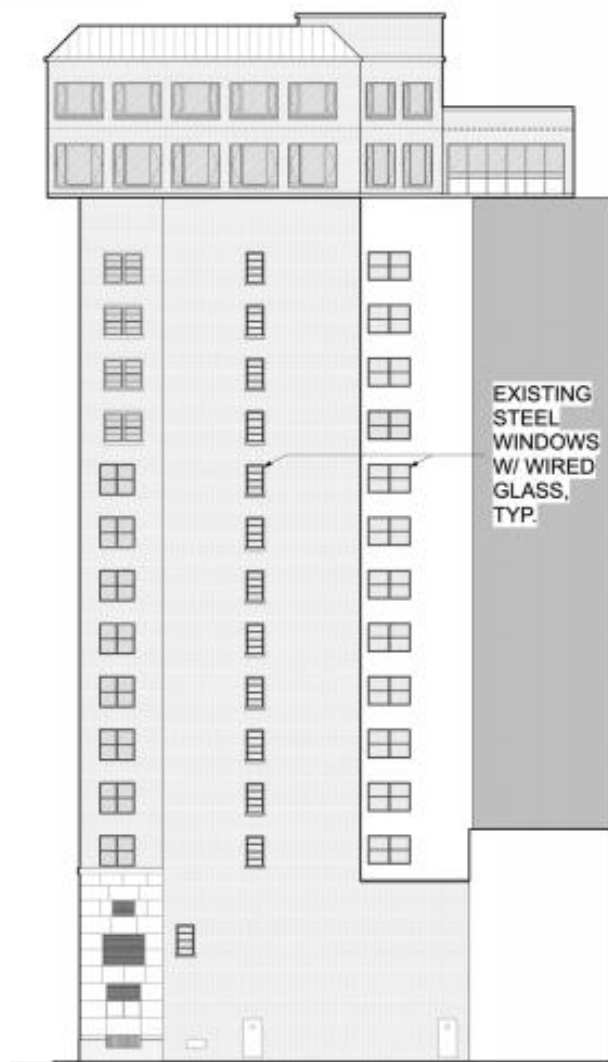
1	Roof Plan
A111	Scale: 1:144



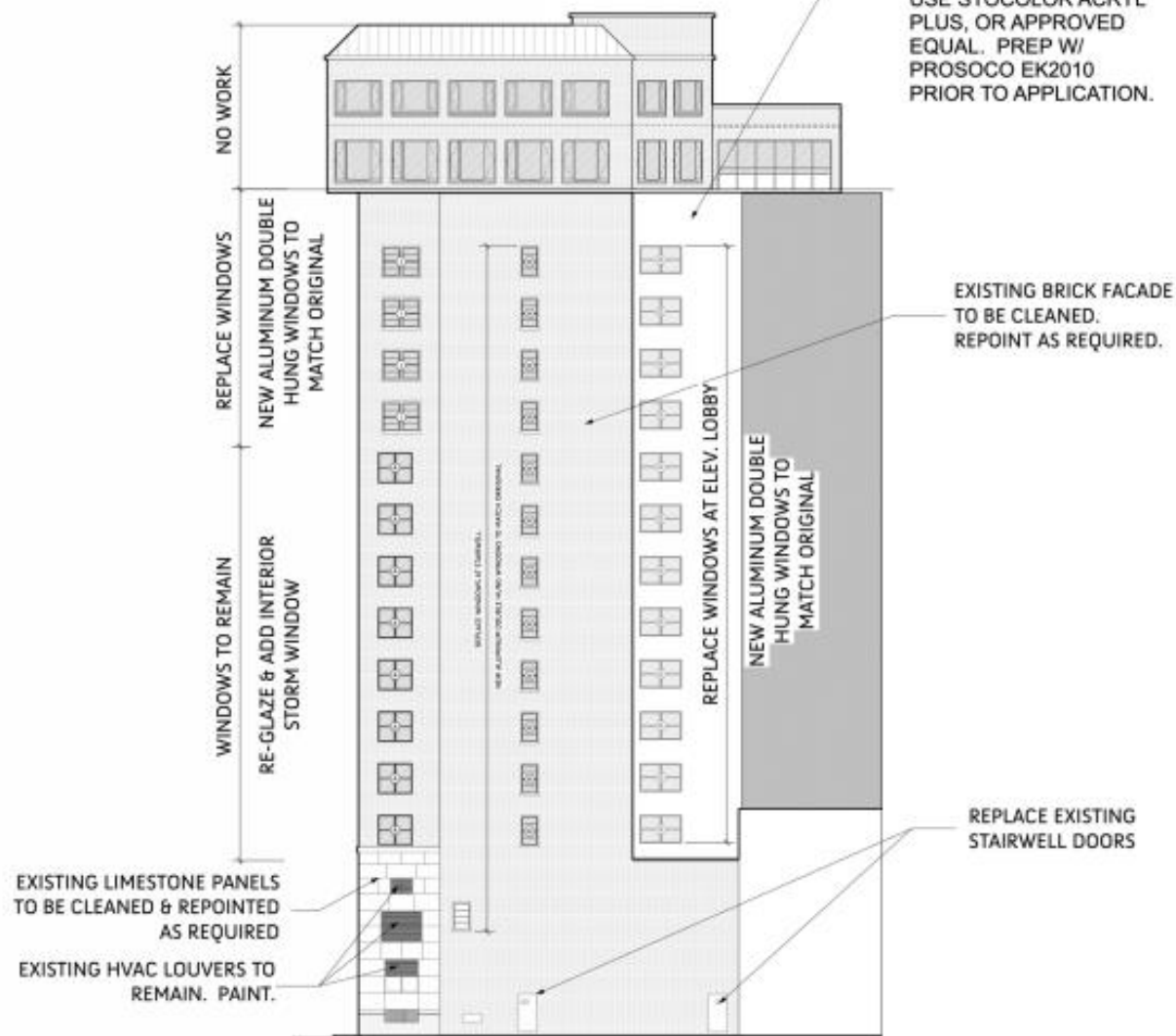




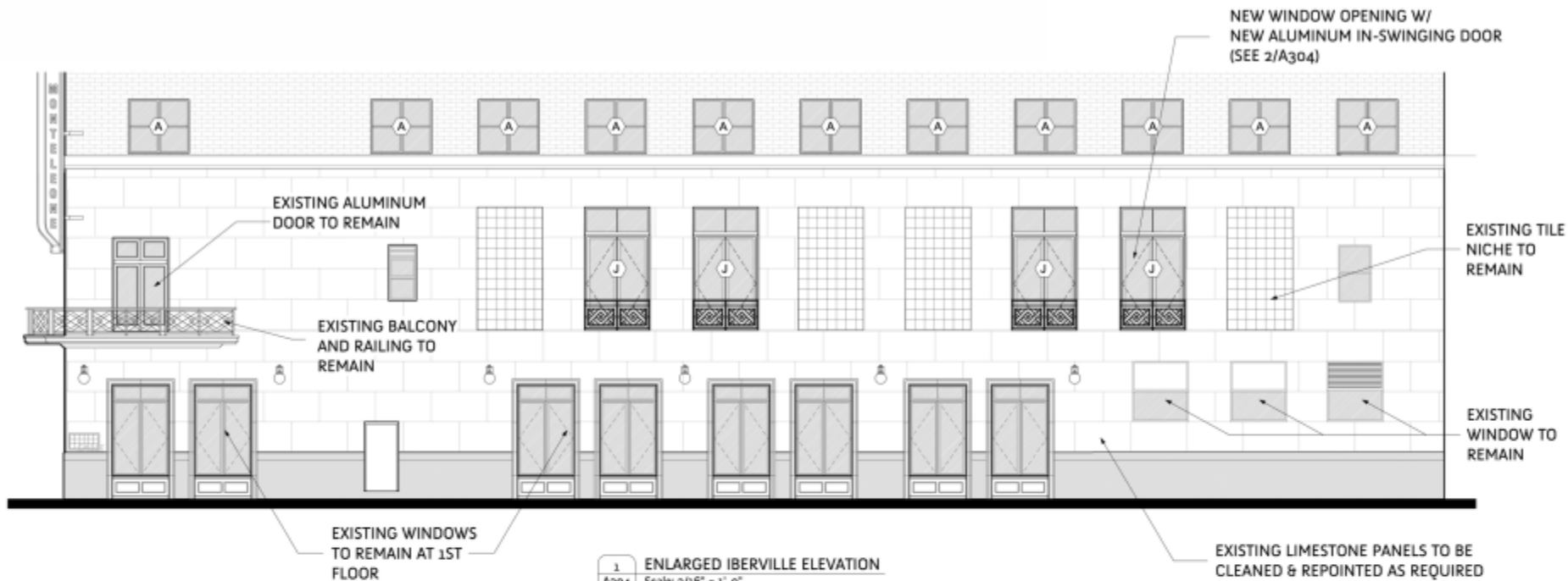




2 EXCHANGE PLACE ELEVATION - EXISTING
A303 Scale: 1:144

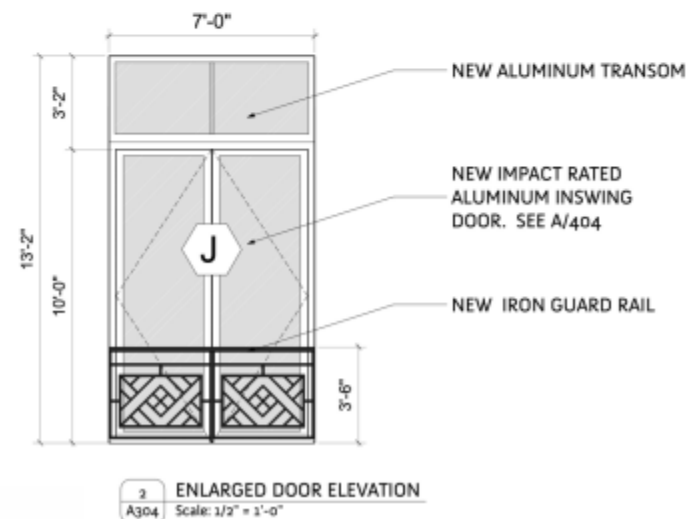


2 EXCHANGE PLACE ELEVATION - PROPOSED
A303 Scale: 1:144

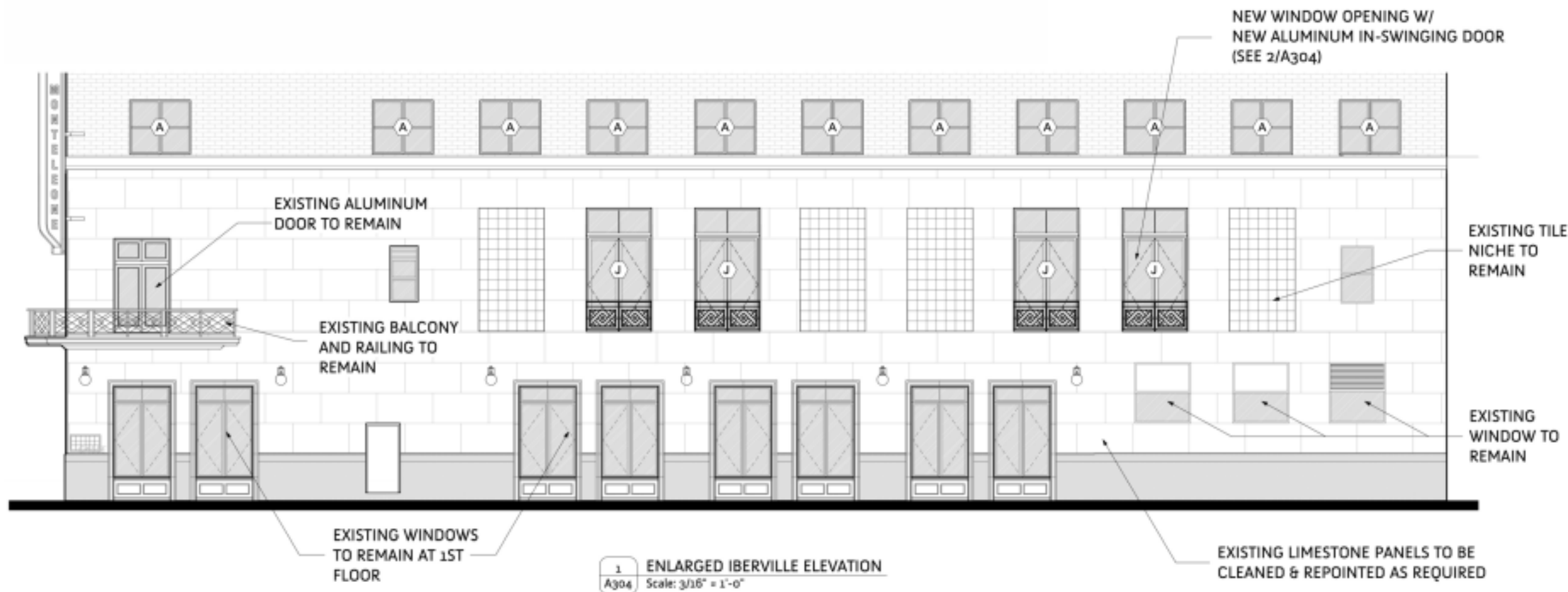


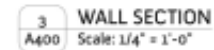
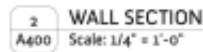
1
A304 ENLARGED IBERVILLE ELEVATION
Scale: 3/16" = 1'-0"

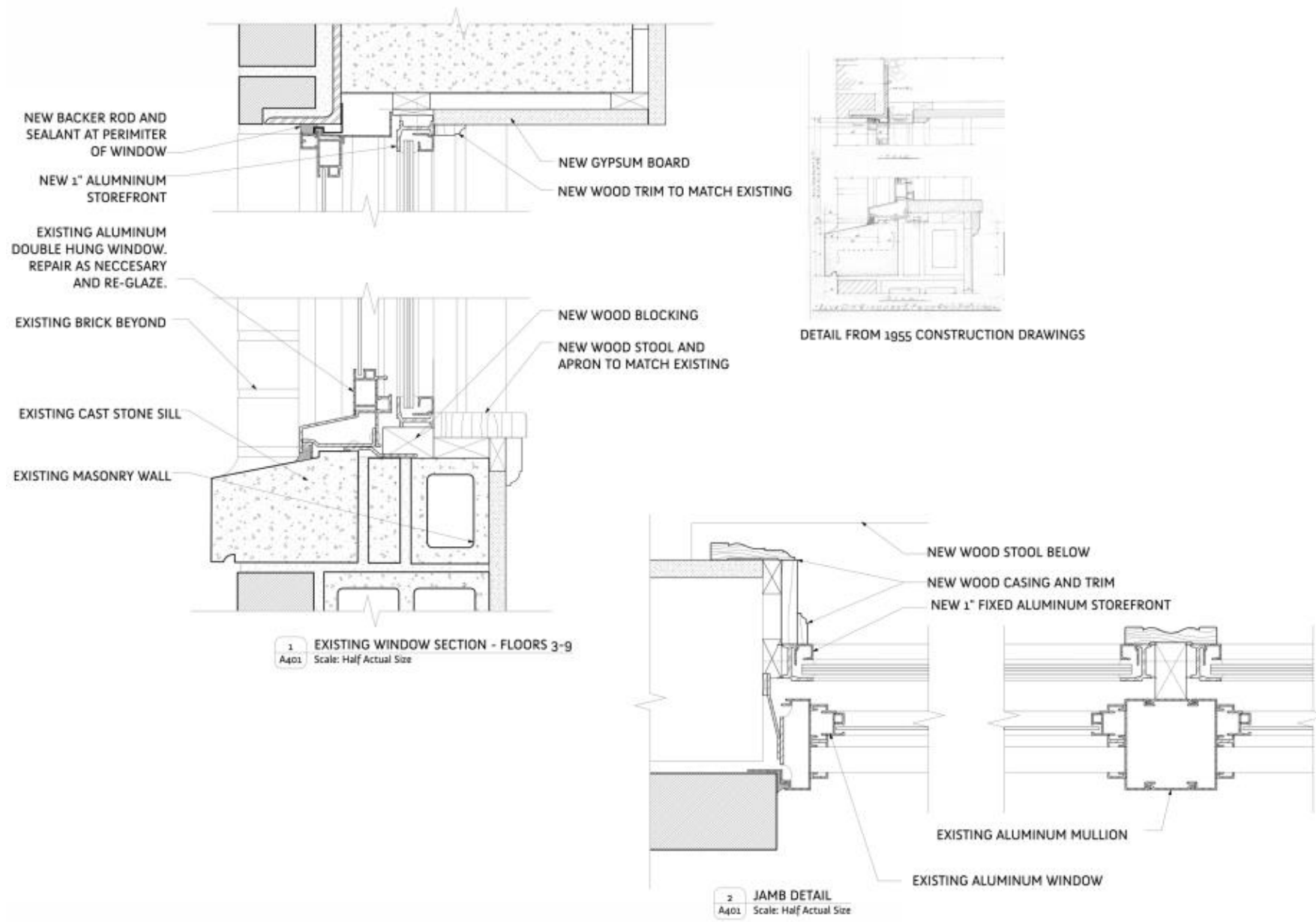
WINDOW SCHEDULE									
Mark	Width	Height	Operation	Description	Glazing	Frame	Fire Rating	Elevation	Remarks
A	6'6"	5'8 3/4"	Dbt. Hung	Existing Aluminum Window to Remain			N/A	1/A401	add interior storm window
B	10'2"	5'8 3/4"	Horz. Slider	New Aluminum Window			N/A	1/A402	
C	8'0"	5'8 3/4"	Horz. Slider	New Aluminum Window			N/A	1/A402	
D	7'4"	5'8 3/4"	Horz. Slider	New Aluminum Window			N/A	1/A402	
E	4'0"	5'8 3/4"	Horz. Slider	New Aluminum Window			N/A	1/A402	
F	3'0"	5'8 3/4"	Dbt. Hung	New Aluminum Window			N/A	1/A403	
G	7'11"	5'8 3/4"	Dbt. Hung	New Aluminum Window			N/A	1/A403	
H	3'4"	5'8 3/4"	Dbt. Hung	New Aluminum Window			N/A	1/A403	
I	7'4"	5'8 3/4"	Dbt. Hung	New Aluminum Window			N/A	1/A403	
J	7'0"	7'5"	In-Swinging	New Aluminum Door			N/A	A400	
Remarks:									

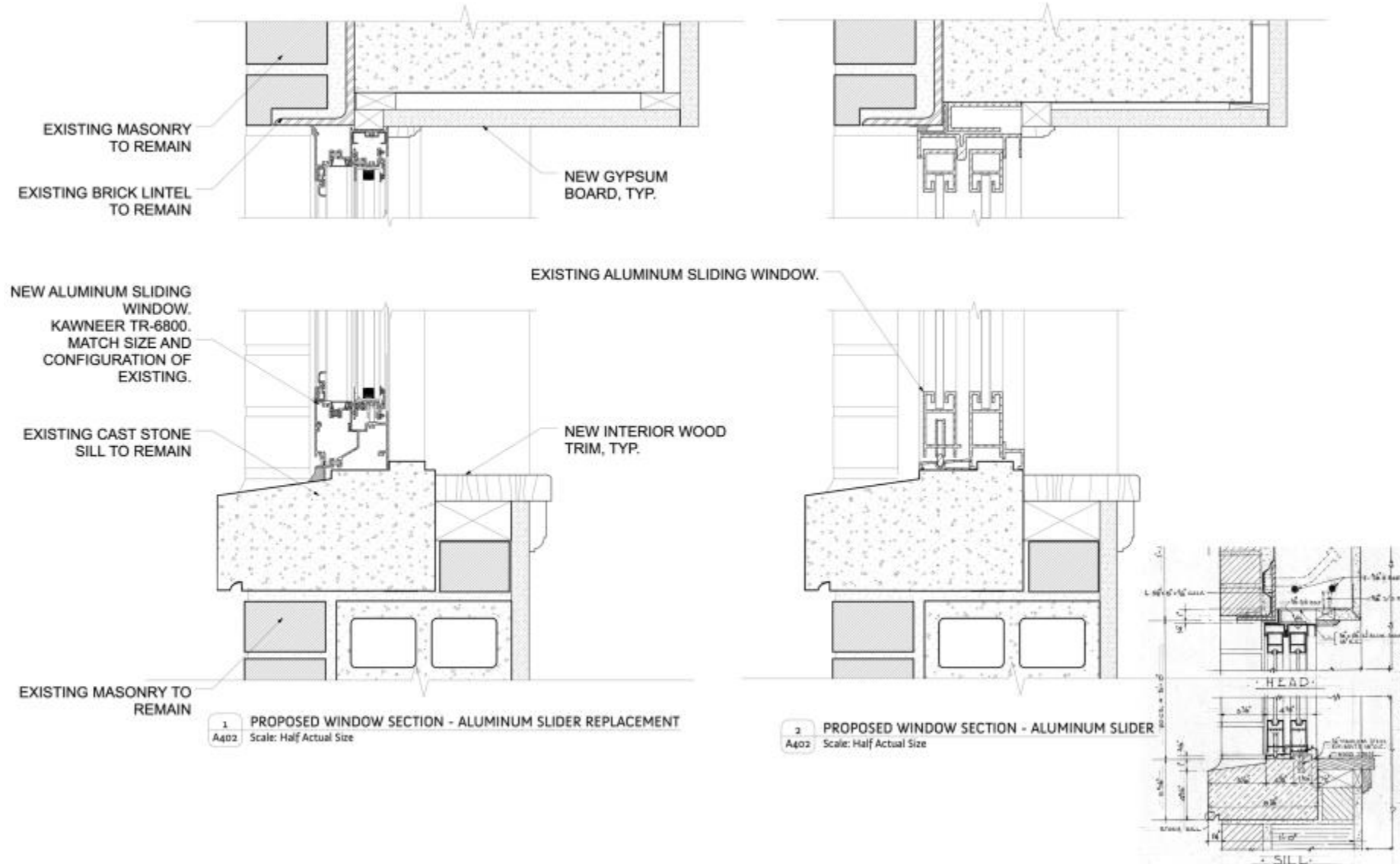


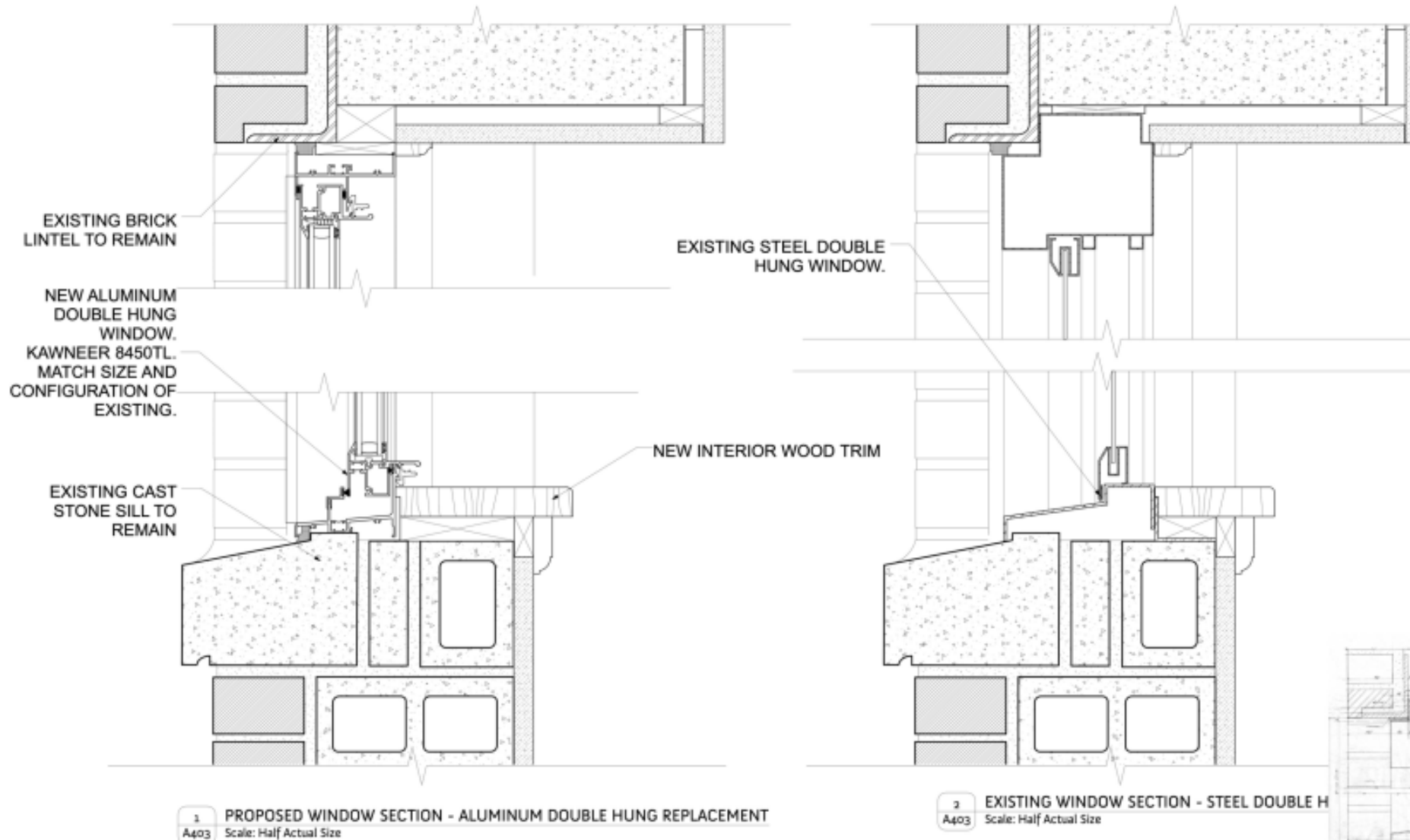
2
A304 ENLARGED DOOR ELEVATION
Scale: 1/2" = 1'-0"





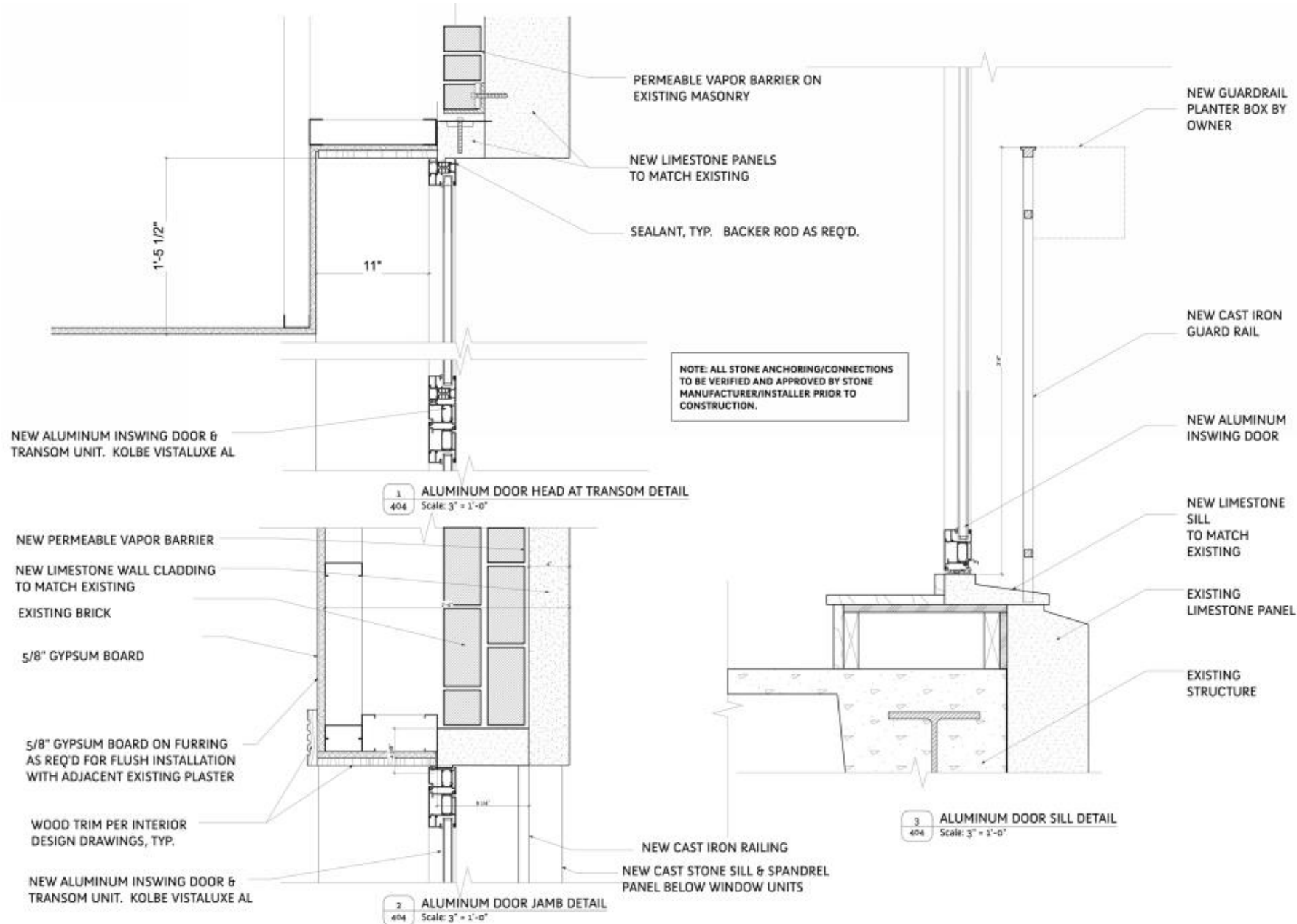


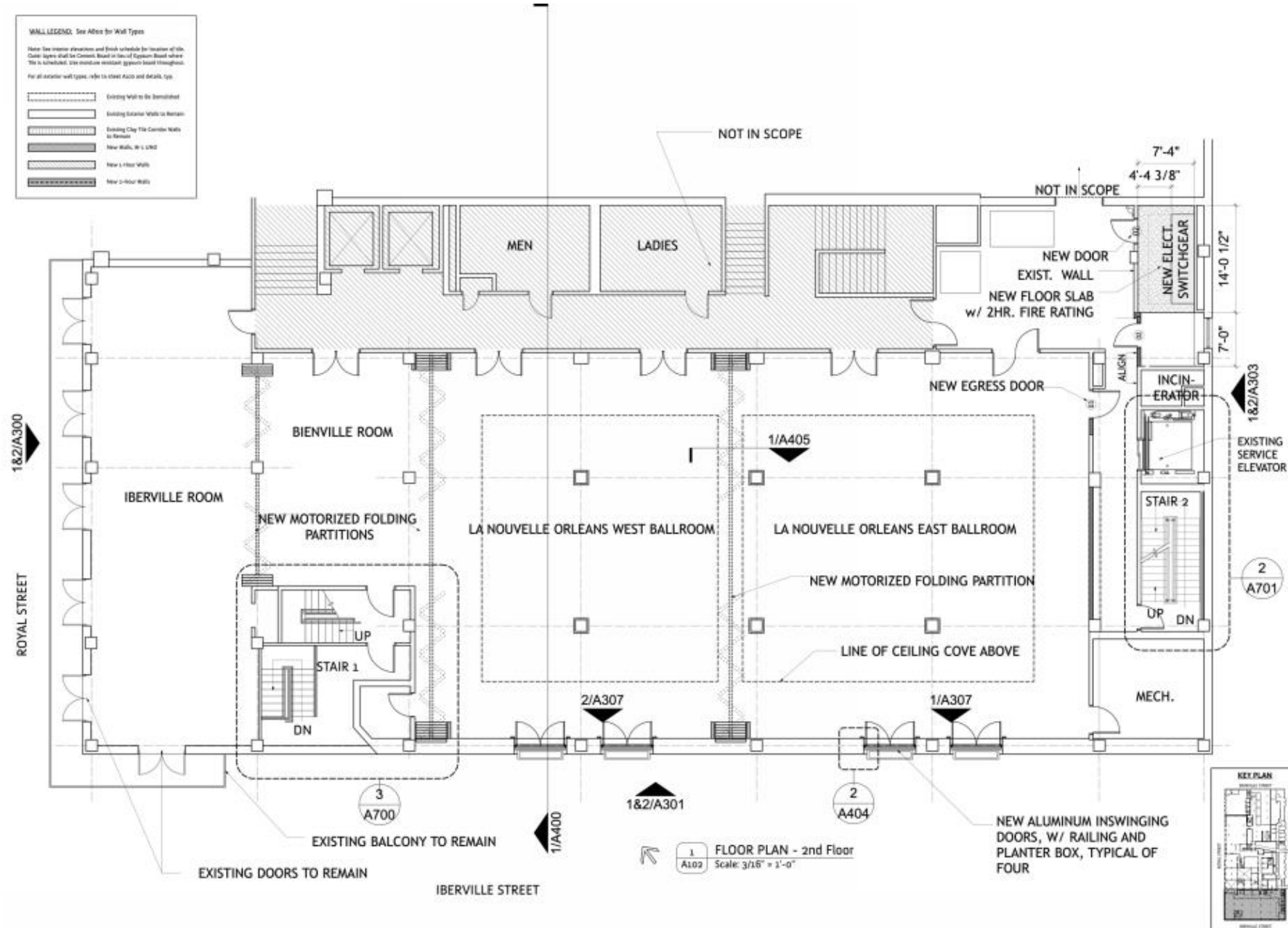




DETAIL FROM 1955 CONSTRUCTION DRAWINGS









2010 All Surface Cleaner

Enviro Klean® 2010 All Surface Cleaner is a next-generation product for cleaning and degreasing light-to-heavily soiled stone, tile, masonry and much more. Powerful enough for industrial use, flexible enough for jobs around the home, space-saving EK 2010 replaces a host of individual cleaning agents. It's concentrated for the toughest industrial cleaning jobs on concrete, metal and many other plant and warehouse surfaces. It's dilutable for home-use on windows, bathroom tub and tile, counter tops and more.

Easy-to-use EK 2010 All Surface Cleaner is water-rinsable and contains no harsh acids, caustics or solvents. EK 2010 also removes Sure Klean® Weather Seal Siloxane PD over spray from windows.

ADVANTAGES

- Cleans and degreases light-to-heavily soiled stone, tile, masonry and much more.
- Effectively removes moderate biological staining.
- Dilutable for jobs around the home.
- Replaces a host of individual cleaning agents.
- Effective cleaner for windows, bathroom tub and tile, counter tops and more.
- Easy-to-use and water-rinsable.
- Contains no harsh acids, caustics or solvents.

Limitation

- Repeated use may dull polished carbonate surfaces, including but not limited to limestone, marble and travertine.

REGULATORY COMPLIANCE

VOC Compliance

Enviro Klean® 2010 All Surface Cleaner is compliant with all national, state and district VOC regulations.

TYPICAL TECHNICAL DATA

FORM	Clear, green liquid Fresh odor
SPECIFIC GRAVITY	1.070
pH	10.5 7.8–8.2 Typical Rinse water
WT/GAL	8.90 lbs
ACTIVE CONTENT	not applicable
TOTAL SOLIDS	not applicable
VOC CONTENT	not applicable
FLASH POINT	>200° F (>93° C) ASTM D 3278
FREEZE POINT	32° F (0° C)
SHELF LIFE	3 years in tightly sealed, unopened container

SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job site controls during application and handling.

24-Hour Emergency Information:
INFOTRAC at 800-535-5053



Product Data Sheet Enviro Klean® 2010 All Surface Cleaner

PREPARATION

Before use, test all substrates not intended to be treated with 2010 All Surface Cleaner. If testing indicates adverse effects, the substrate must be protected before full scale application.

Best practices are to protect people, vehicles, property, plants and all surfaces not set for cleaning from the product, splash, rinse, residue, fumes and wind drift. Rinse non target materials with large quantities of water. Grass and plantings may be protected with sprinklers.

Divert pedestrian and auto traffic if necessary. Best practices are to clean when traffic is at a minimum.

Recommended for these substrates. Always test. Coverage is in sq.ft./m. per gallon of concentrate.			
Substrate	Type	Use?	Coverage
Architectural Concrete Block	Burnished Smooth	yes	50–150 sq.ft. 5–14 sq.m.
	Split-faced	yes	
	Ribbed	yes	
Concrete	Brick	yes	50–150 sq.ft. 5–14 sq.m.
	Tile	yes	
	Precast Panels	yes	
	Pavers	yes	
Fired Clay	Cast-in-place	yes	150–500 sq.ft. 14–46 sq.m.
	Brick	yes	
	Tile	yes	
	Terra Cotta (unglazed)	yes	
Marble, Travertine, Limestone	Polished	yes	500–1000 sq.ft. 46–93 sq.m.
	Unpolished	yes	150–500 sq.ft. 14–46 sq.m.
Granite	Polished	yes	500–1000 sq.ft. 46–93 sq.m.
	Unpolished	yes	150–500 sq.ft. 14–46 sq.m.
Sandstone	Unpolished	yes	150–500 sq.ft. 14–46 sq.m.
Slate	Unpolished	yes	150–500 sq.ft. 14–46 sq.m.
Always test to ensure desired results. Coverage estimates depend on surface texture and porosity.			

Surface and Air Temperatures

Best air and surface temperatures for cleaning are 50°F (10°C) or above. Cleaning when temperatures are below freezing or will be overnight may harm masonry. If freezing conditions exist before application, let masonry thaw.

Equipment

Apply with low-pressure sprayer, brush or heavy nap roller. Scrub heavily soiled surfaces with a nonabrasive brush or synthetic scrubbing pad.

Rinse with enough water and pressure to flush spent cleaner and dissolved soiling from the masonry surface and surface pores without damage. Masonry-washing equipment generating 400–1000 psi with a water flow rate of 6–8 gpm is the best water/pressure combination for rinsing porous masonry. Use a 15–45° fan spray tip. Heated water (150–180°F; 65–82°C) may improve cleaning efficiency.

Use adjustable equipment for reducing water flow rates and rinsing pressure for sensitive surfaces. Rinsing pressures greater than 1000 psi and fan spray tips smaller than 15° may permanently damage sensitive masonry. Water flow rates less than 6 gpm may reduce cleaning productivity and contribute to uneven cleaning results.

Storage and Handling

Store in a cool, dry place. Always seal container after dispensing. Do not alter or mix with other chemicals. Published shelf life assumes upright storage of factory-sealed containers in a dry place. Maintain temperature of 45–100°F (7–38°C). If product freezes, allow to thaw and mix well. Do not double stack pallets. Dispose of in accordance with local, state and federal regulations.

APPLICATION

Read “Preparation” and the Safety Data Sheet before use.

ALWAYS TEST a small area of each surface to confirm suitability, coverage rate and desired results before beginning overall application. Test with the same equipment, recommended surface preparation and application procedures planned for general application. Let surface dry thoroughly before inspection.



Product Data Sheet Enviro Klean® 2010 All Surface Cleaner

Dilution & Mixing

When removing heavy soiling, use in concentrate.

When used as a light-duty cleaner, dilute up to 1 part cleaner to 10 parts clean water.

Application Instructions

1. Working from the bottom to the top, prewet the surface with clean water.
2. Apply the appropriately diluted solution to the masonry surface using a brush or low-pressure spray.
3. Let the cleaner stay on the surface 1–10 minutes, based on testing. Gently scrub heavily soiled areas.
NOTE: Do not let EK 2010 dry on the surface. If drying occurs, lightly wet surfaces with fresh water and reapply the cleaner in a gentle scrubbing manner.
4. Working from the bottom to the top, rinse the surface thoroughly with clean water.
5. Repeat steps 1 through 4 if necessary.

Cleanup

Clean tools and equipment using fresh water.

WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such products for a particular purpose.

PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied warranties of merchantability or fitness for particular purpose.** The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular purpose. PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves PROSOCO from any other liability, from whatever source, including liability for incidental, consequential or resultant damages whether due to breach of warranty, negligence or strict liability. This warranty may not be modified or extended by representatives of PROSOCO, its distributors or dealers.

CUSTOMER CARE

Factory personnel are available for product, environment and job-safety assistance with no obligation. Call 800-255-4255 and ask for Customer Care – technical support.

Factory-trained representatives are established in principal cities throughout the continental United States. Call Customer Care at 800-255-4255, or visit our web site at www.prosoco.com, for the name of the PROSOCO representative in your area.

BEST PRACTICES

Apply with low-pressure sprayer, brush or heavy nap roller. Scrub heavily soiled surfaces with a nonabrasive brush or synthetic scrubbing pad.

Rinse with enough water and pressure to flush spent cleaner and dissolved soiling from the masonry surface and surface pores without damage. Masonry-washing equipment generating 400–1000 psi with a water flow rate of 6–8 gpm is the best water/pressure combination for rinsing porous masonry. Use a 15–45° fan spray tip. Heated water may improve cleaning efficiency.

Do not let EK 2010 dry on the surface. If drying occurs, lightly wet surfaces with fresh water and reapply the cleaner in a gentle scrubbing manner.

Repeated use may dull polished carbonate surfaces, including but not limited to limestone, marble and travertine.

Never go it alone. If you have problems or questions, contact your local PROSOCO distributor or field representative. Or call PROSOCO technical Customer Care, toll-free, at 800-255-4255.



StoColor® Acryl Plus

Product Number: 80648

PRODUCT DESCRIPTION

StoColor Acryl Plus is an acrylic-based, high performance decorative, and protective wall coating that protects against weather, salts and environmental pollutants. Use it for protecting prepared vertical above grade concrete, concrete masonry, EIFS, stucco, and previously painted wall surfaces.

FEATURES	BENEFITS
Acrylic Based	Excellent adhesion; weather-resistant; promotes color stability
Weather/Pollution Resistant	Repels water; increases service life of substrate
Carbon Dioxide Resistant	Reduces CO ₂ diffusion into concrete, protecting embedded reinforcing steel
Vapor Permeable	Allows substrate to breathe naturally; resists blisters caused by trapped vapor
Easily Sprayable	Increases job-site productivity
Cleans up with Water	Tools can be reused; no hazardous solvents needed; environmentally friendly
Low VOC	Safe for workers and the environment

COVERAGE

720-940 ft² (65-90 m²) per pail per coat. Coverage will vary depending on substrate condition and texture, application technique, waste factor, final film thickness, and other variables that may exist.

Packaging: 5 gallon pail (19L)

Color: 800 Standard Colors or Custom Color Match

Sheen: Eggshell (sheen may vary slightly with colorant load and from roller versus spray application)

Shelf Life: 18 months, if properly stored in original unopened packaging.

Storage: Store in a dry area, between 50°F (10°C) and 85°F (29°C). Protect from direct sunlight, extreme heat [90°F (32°C)] and freezing.



SURFACE PREPARATION

All surfaces must be structurally sound, clean, dry, and free of frost and surface contamination such as dust, dirt, salts, grease, oils, efflorescence, mold, algae, mildew, or any other condition that may affect adhesion. Use appropriate repair methods for the substrate to repair pitting, spalls, cracks, peeling, blistering, delamination, weak surface conditions such as laitance, water damage, or other defects that may exist. If pressure washing, follow necessary safety precautions and adjust pressure to avoid damage to the underlying substrate. For mold, algae, and mildew removal, treat surfaces with a compatible commercial mildew removal and/or wash product, carefully following manufacturer's application and safety directions for use and handling, including any special requirements when used in preparation for application of paints or coatings.

MIXING

Use at a preconditioned temperature of 70 ± 5°F (21 ± 3°C). Mix undiluted product for 3 minutes using a slow-speed drill and a mixing paddle. Mix thoroughly to a uniform consistency.

HEALTH & SAFETY

WARNING: Causes eye and skin irritation.

Precautionary Statement: Wash hands thoroughly after handling. Wear protective gloves/protective clothing/eye protection/face protection.

FIRST AID MEASURES: Eye Contact: Immediately flush eyes with plenty of water for at least 15 to 20 minutes. Ensure adequate flushing of the eyes by separating the eyelids with fingers. Get immediate medical attention.

Skin Contact: Immediately wash skin with plenty of soap and water for 15 to 20 minutes, while removing contaminated clothing and shoes. Get medical attention if irritation develops or persists.

Inhalation: If inhaled, remove to fresh air. If not breathing, give artificial respiration or give oxygen by trained personnel. Seek immediate medical attention. Ingestion: If swallowed, do NOT induce vomiting. Call a physician or poison control center immediately. Never give anything by mouth to an unconscious person. Store locked up.

Spills: Collect with suitable absorbent material such as cotton rags.

Disposal: Dispose of in accordance with local, state or federal regulations.

Warning: KEEP CONTAINER CLOSED WHEN NOT IN USE. KEEP OUT OF THE REACH OF CHILDREN. NOT FOR INTERNAL CONSUMPTION. FOR INDUSTRIAL USE ONLY. Consult the Safety Data Sheet (SDS) on www.stocorp.com for further health and safety information.

StoColor® Acryl Plus

Product Number: 80648

APPLICATION

Apply only to sound and clean, dry, properly prepared, frost-free surfaces. Do not apply over damp surfaces or during rain, hail, or snow events or if rain, hail, or snow is imminent. For best results apply in two uniform coats by brush, roller or with proper spray equipment to prepared substrate or primed substrate at 8-10 WFT to achieve 3.3-4.1 DFT per coat. For 1 coat applications apply appropriate primer to the prepared surface. Refer to Sto primer product bulletin. Apply coating in a continuous application, always working from a wet edge or architectural break to eliminate cold joints. Back roll open texture surfaces such as concrete masonry. Uncoated concrete masonry generally requires three coats (1 coat of StoPrime Block Surfer HP and 2 coats of StoColor Acryl Plus). Allow sufficient time for drying between coats.

Substrate	Min. Age	Primer	WFT(DFT)
Concrete	7d	StoPrime Hot	5 (2.1)
Stucco	7d	StoPrime Hot	5 (2.1)
CMU	28d	StoPrime Block Surfer HP	14-16 (7.3-8.3)
EIFS	N/A	StoPrime Sand	4-6 (1.6-2.3)
Painted Surface Primer	N/A	Depends on paint & its condition. Test to determine best primer	

Note: Selection of proper primer can vary depending actual substrate conditions such as pH, absorption, texture, and desired aesthetic look. In some cases, a primer may not be necessary. Evaluate surface condition and adhesion to surface.

IMPORTANT

ALWAYS check color for proper match. If color does not match, STOP-call your Sto representative. Avoid installing separate batches side-by-side and avoid application in direct sunlight. See Tech Hotline Nos. 0694-C, 0893-EC and 1202-CF for helpful tips on prevention of color problems. Prepare a job site mock-up of the final coating assembly to verify aesthetics and adhesion to properly prepared/primed surfaces as specified by design professional or owner's quality assurance agent.

Curing/Drying

Product dries within 24 hours under normal drying conditions [70°F (21°C), 50% RH]. Drying time varies with temperature/humidity and surface conditions. Protect installed product from rain, freezing, and continuous high humidity until completely dry.

Clean Up

Clean tools and equipment with water immediately after use. Dried material can only be removed mechanically.

Maintenance

Repair cracks or other damage to façade and recoat at intervals as needed to maintain fresh appearance. Repair balconies, scuppers, flashing and similar water shedding elements that lack drip edges or that fail to shed water from the façade surface. Prevent or repair leaks from roofs, parapets, windows, sealants, or other components of construction, and prevent accumulation of water inside the wall assembly during and after construction. Water accumulation behind the coating can cause damage to the coating and/or underlying construction.

LIMITATIONS

- Apply when ambient and surface temperatures are 40°F (4°C) and rising, and below 100°F (38°C).
- Do not apply if the surface temperature is less than 5°F (2.8°C) above the ambient dew point temperature.
- Do not use below grade or in areas subjected to hydrostatic pressure, water immersion, ponding, or puddling.
- Do not overcoat with solvent-based materials.
- Efflorescence of Portland cement-based substrates such as concrete, stucco, and concrete masonry sometimes causes staining or discoloration on the surface of applied coatings. Efflorescence is neither caused nor prevented by the Sto coating.
- Not for use on wood or metal surfaces

LIMITED WARRANTY

This product is subject to a written limited warranty which can be obtained free of charge from Sto Corp.

StoColor® Acryl Plus

Product Number: 80648

TECHNICAL DATA

REPORT	TEST METHOD	TEST CRITERIA	TEST RESULT*
Salt Spray	ASTM B117	300 hours	No deleterious effects at 1000 hours
Tensile Strength psi (MPa)	ASTM D2370	2 coats at 10 WFT each	932 (6.42)
Flexibility, Mandrel Bend	ASTM D522	at 70°F (21°C) at -14°F (-26°C)	No cracking No cracking
Alkali Resistance	ASTM D1308	4 hours exposure	No lifting, wrinkling, disintegration, or color change
Mold Resistance	ASTM D3273	28-day exposure	Rating=10, No growth at 90 days
Efflorescence Blocking	ASTM D7072	48 hours in humidity cabinet at 100°F (39°C)	No efflorescence observed
Adhesion to Concrete psi (MPa)	ASTM D7234	> 50 (0.344)	296 (2.04)
Resistance to Wind Driven Rain	ASTM D6904	No visible water leaks after 24-hour water spray with 98 mph (158 km/h) equivalent wind speed	No visible water leaks: -2 coats (0.02 lbs. gain) -1 coat over StoPrime Hot (0.04 lbs. gain) -1 coat over StoPrime Block Surfacers HP (0.08 lbs. gain)
Surface Burning	ASTM E84	Flame Spread: ≤ 25 Smoke Develop: ≤ 450	FS: 0 SD: 0
Water Vapor Permeability Perms (ng/Pa-s-m²)	ASTM D1653** Wet-cup method	Unprimed	2 coats: 20.6 (1178)
Water Vapor Permeability (w primer) Perms (ng/Pa-s-m²)	ASTM D1653 Wet-cup method	StoPrime Block Surfacers HP StoPrime Hot	1 topcoat: 22 (1259) 2 topcoats: 20 (1144) 1 topcoat: 16 (915) 2 topcoats: 13 (744)
Freeze Thaw Resistance	ASTM E2485	60 cycles	Pass, no deleterious effects at 90 cycles when viewed under 5X magnification
Accelerated Weathering	ASTM G154	2000 hours	No deleterious effects at 5000 hours
CO2 Diffusion Resistance	PR EN 1062-6	Measure 2 coats at 8-10 WFT each	S _D = 150 m
Chloride Ion Penetration	NCHRP 244 Series 1	Measure percent change 2 coats at 8-10 WFT each	64% less chloride ion content on average compared to uncoated test specimens
% Solids by Volume	ASTM D2697	N/A	41%
VOC (g/L)	This product complies with US EPA (40 CFR 59) and South Coast AQMD (Rule 1113) VOC emission standards for architectural coatings. VOC less than 50 g/L.		

* Results are based on lab testing under controlled conditions. Results can vary between labs or from field tests.

**D1653 results are estimates based on E96 wet cup method

214 Royal

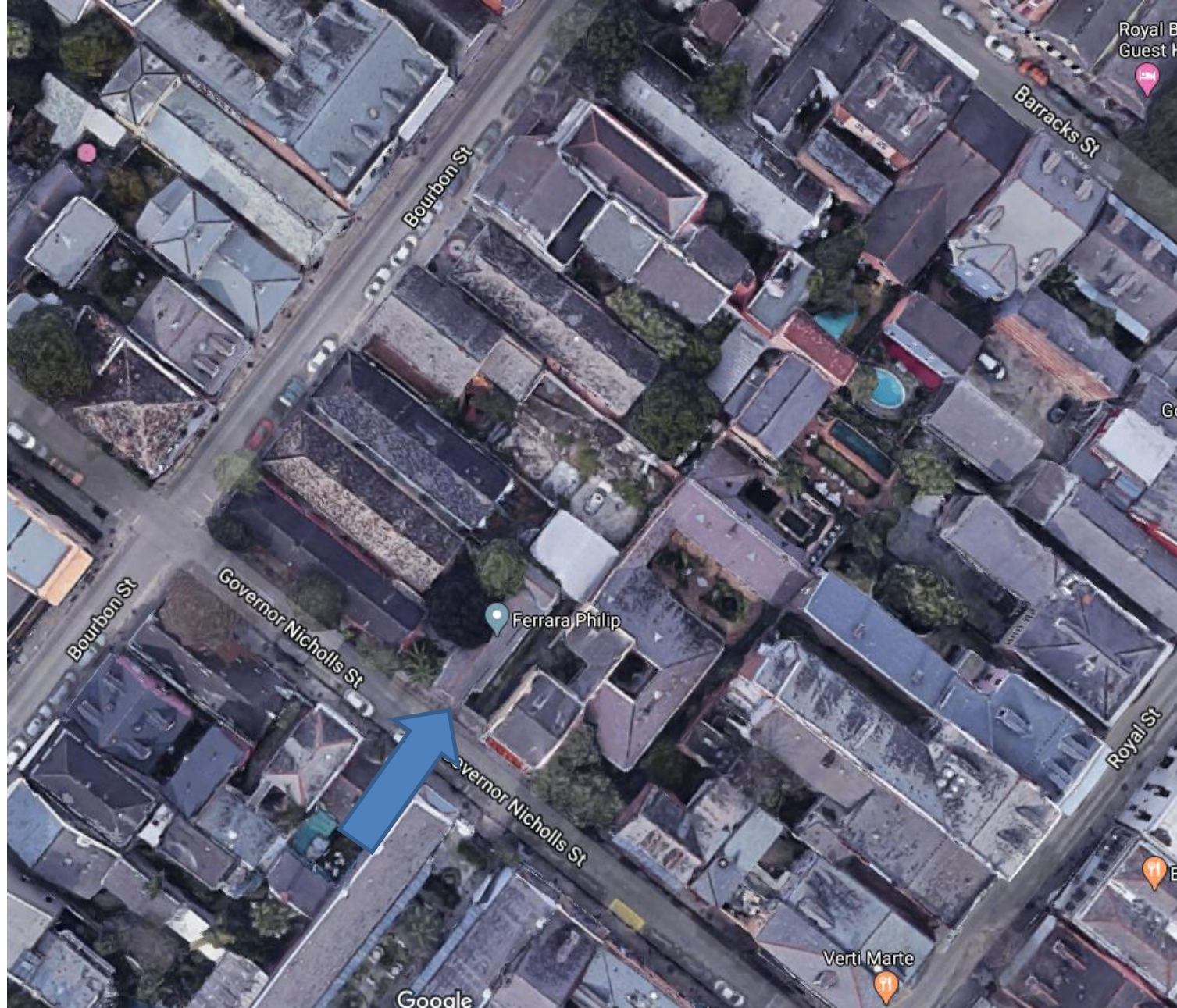
VCC Architectural Committee

December 8, 2020



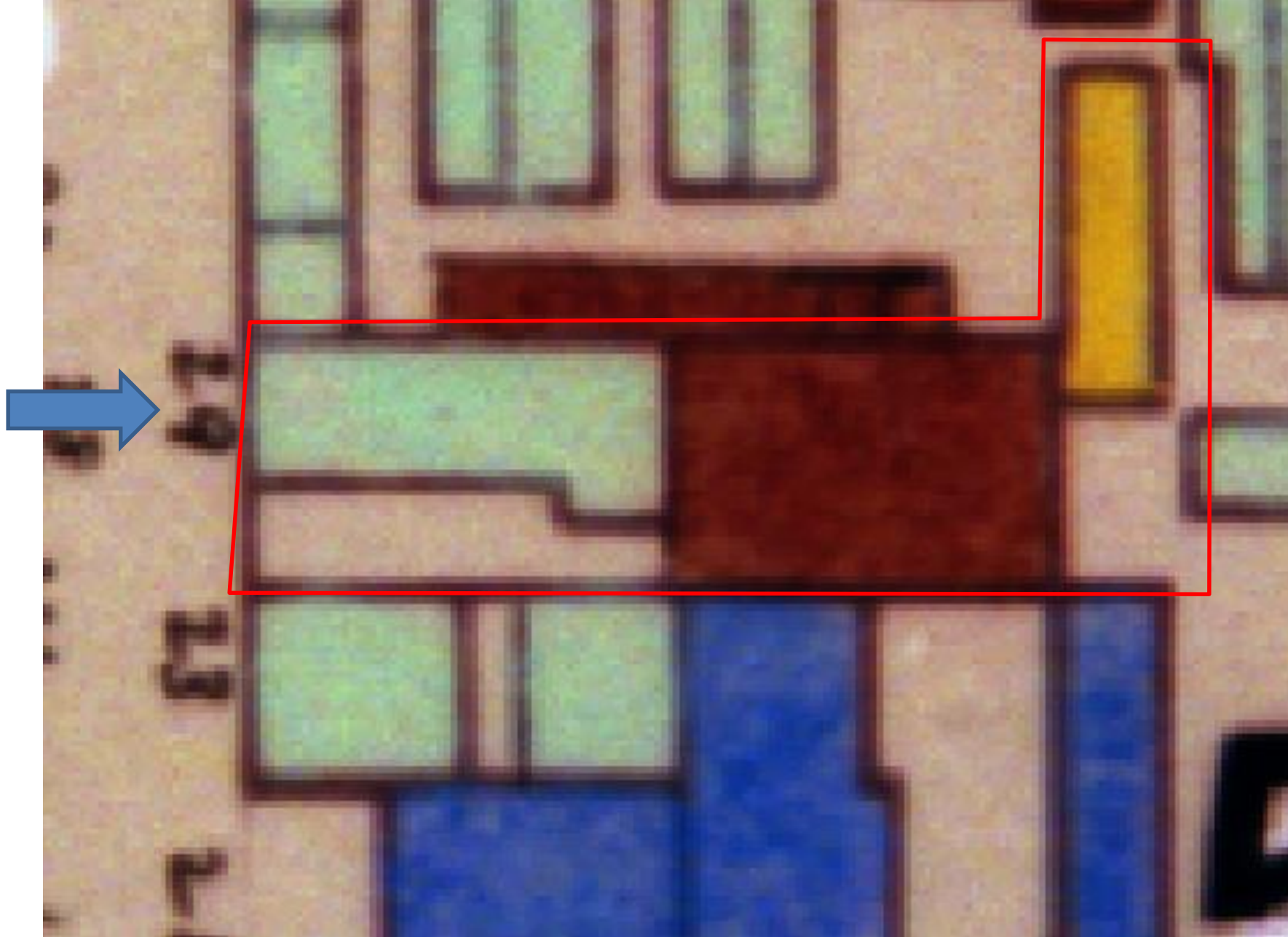
The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal features a stylized, symmetrical design that resembles a fleur-de-lis or a decorative crest, with vertical bars and ornate scrollwork.

729 Governor Nicholls



729 Gov. Nicholls





729 Gov. Nicholls



729 Gov. Nicholls - 1962



729 Gov. Nicholls



729 Gov. Nicholls



729 Gov. Nicholls

VCC Architectural Committee

January 12, 2020





729 Gov. Nicholls

VCC Architectural Committee

January 12, 2020





729 Gov. Nicholls

VCC Architectural Committee

January 12, 2020



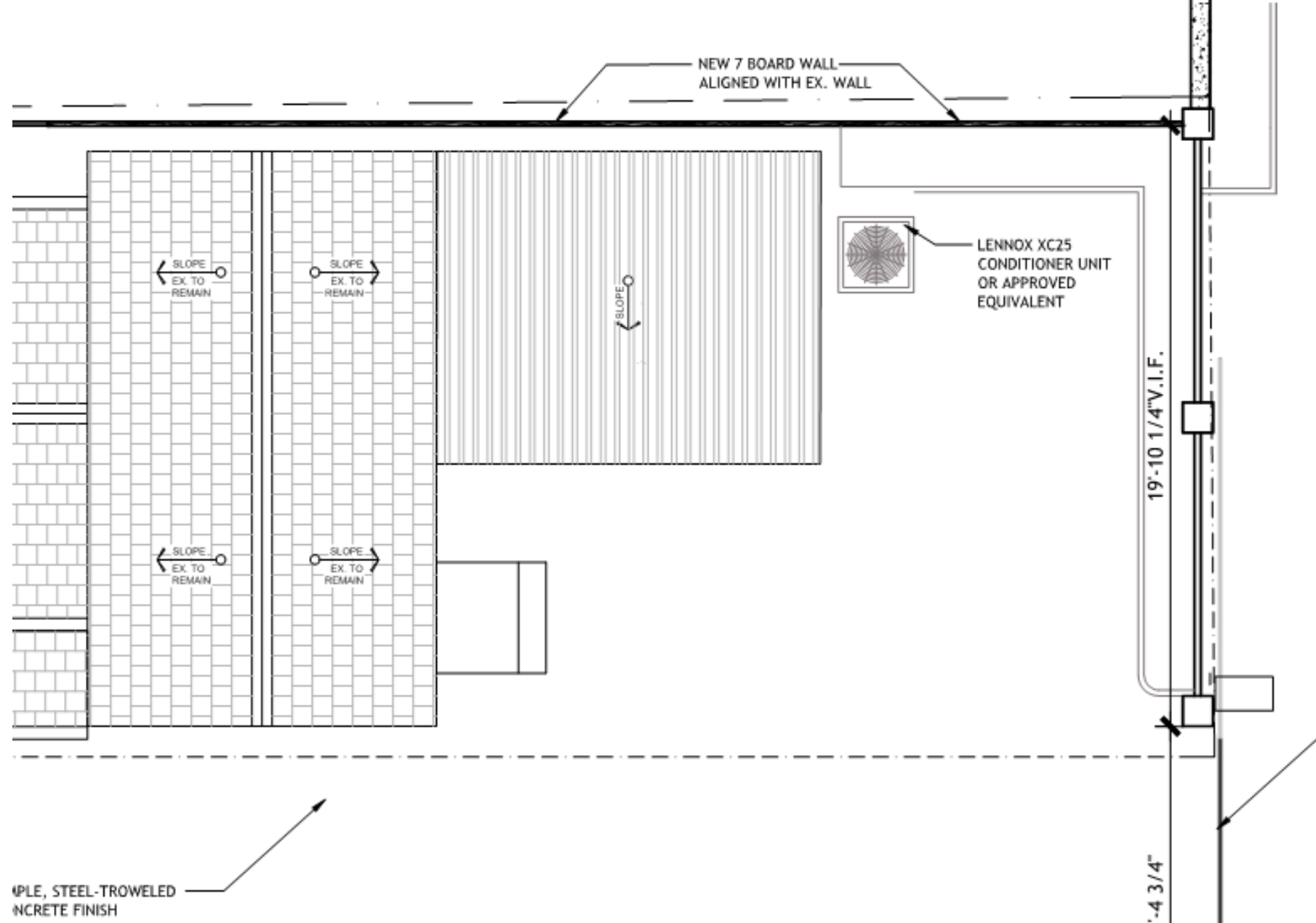


729 Gov. Nicholls

VCC Architectural Committee

January 12, 2020



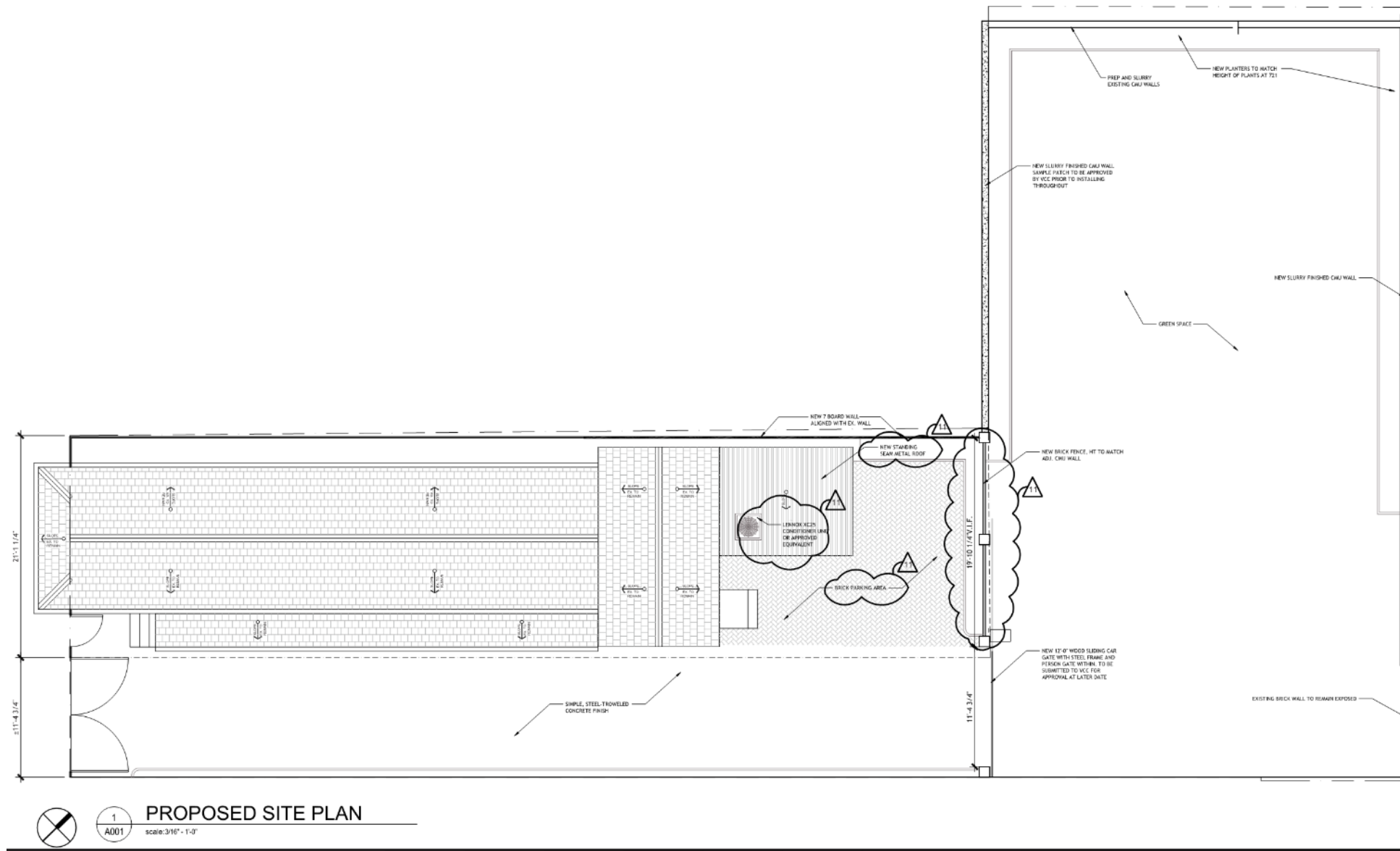


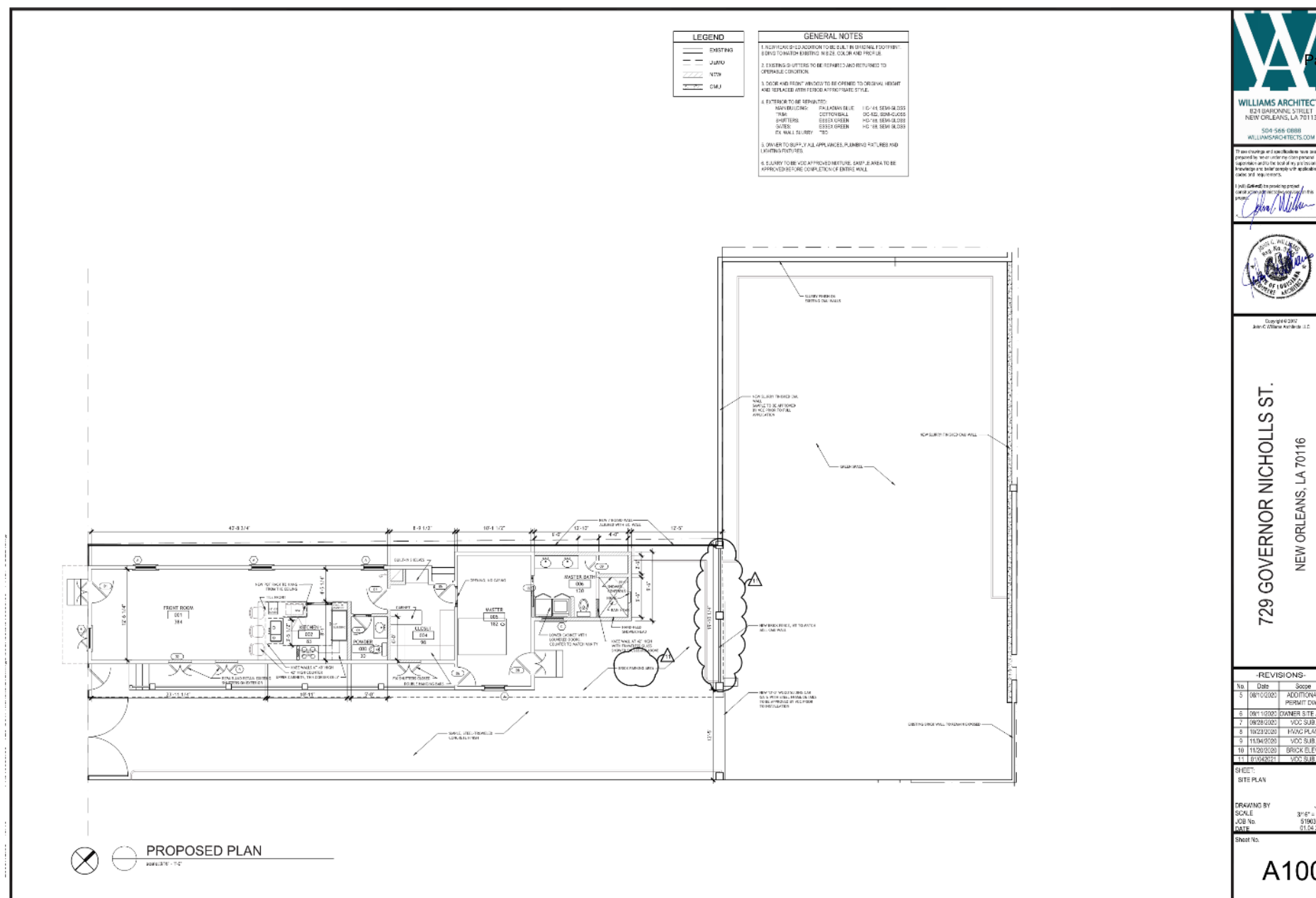
729 Gov. Nicholls – from plans approved 12/15/2020

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January 12, 2020







729 Gov. Nicholls – Revised Proposal

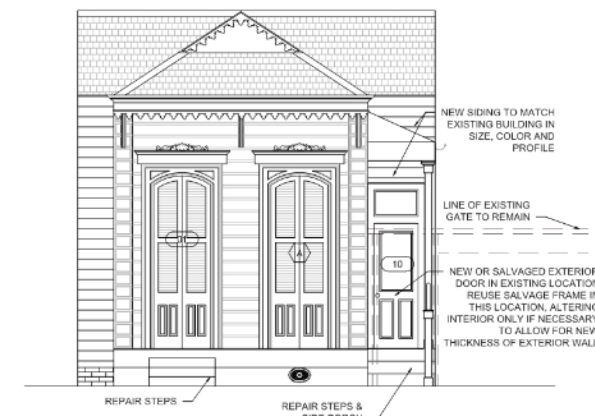
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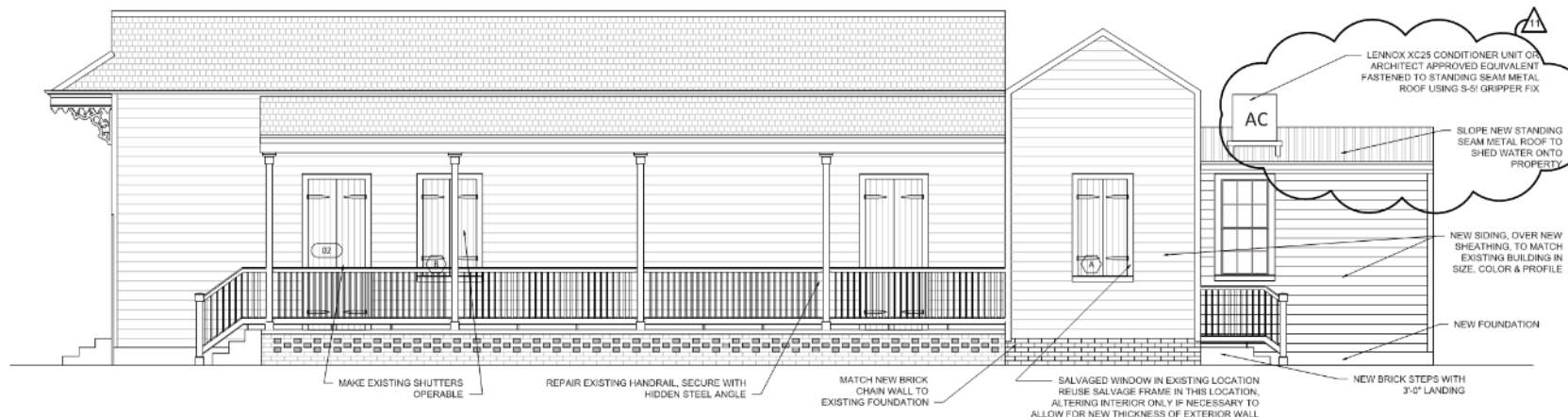




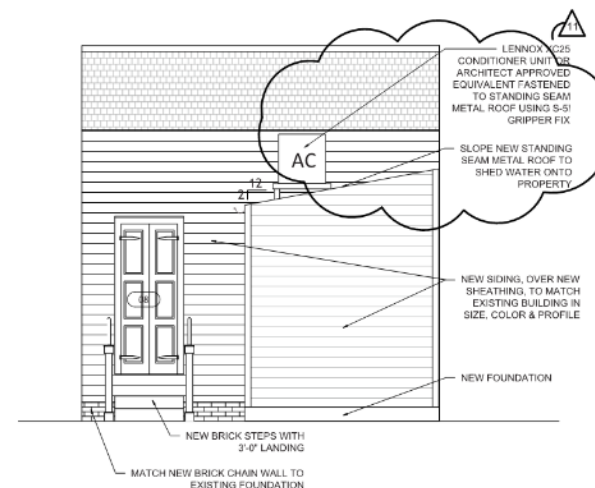
1 PROPOSED BOURBON ST (SIDE) ELEVATION
scale: 1/4" = 1'-0"



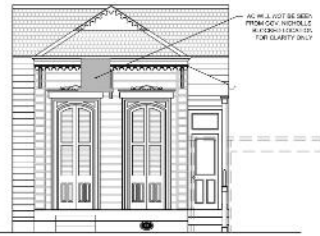
2 PROPOSED GOV NICHOLLS ST ELEVATION
scale: 1/4" = 1'-0"



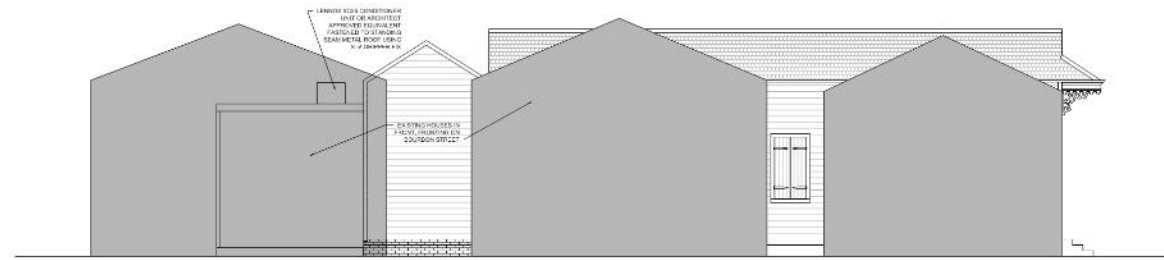
3 PROPOSED ROYAL ST (SIDE) ELEVATION
scale: 1/4" = 1'-0"



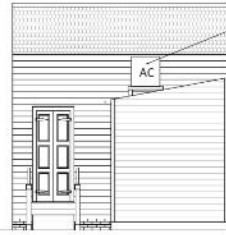
4 PROPOSED BARRACKS ST ELEVATION
scale: 1/4" = 1'-0"



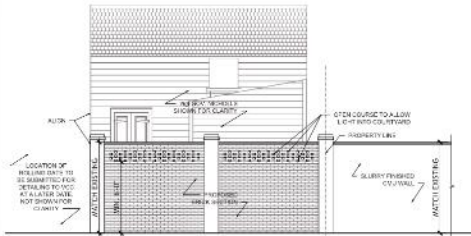
1 PROPOSED GOV. NICHOLLS ST ELEVATION
scale: 3/8" = 1'-0"



2 PROPOSED BOURBON ST (SIDE) ELEVATION
scale: 3/8" = 1'-0"



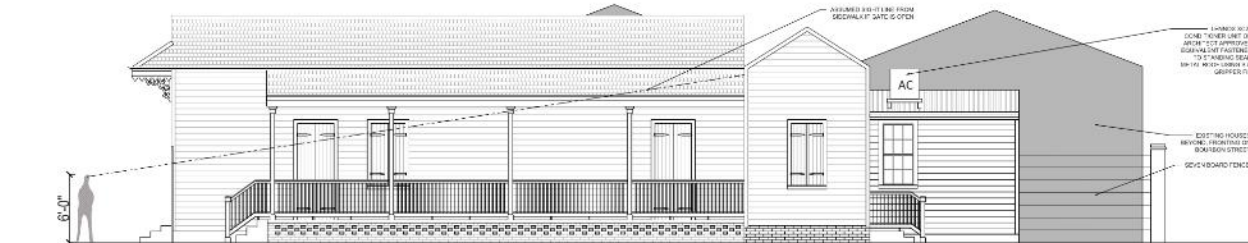
3 SIGHT LINE, BARRACKS ST ELEVATION
scale: 3/8" = 1'-0"



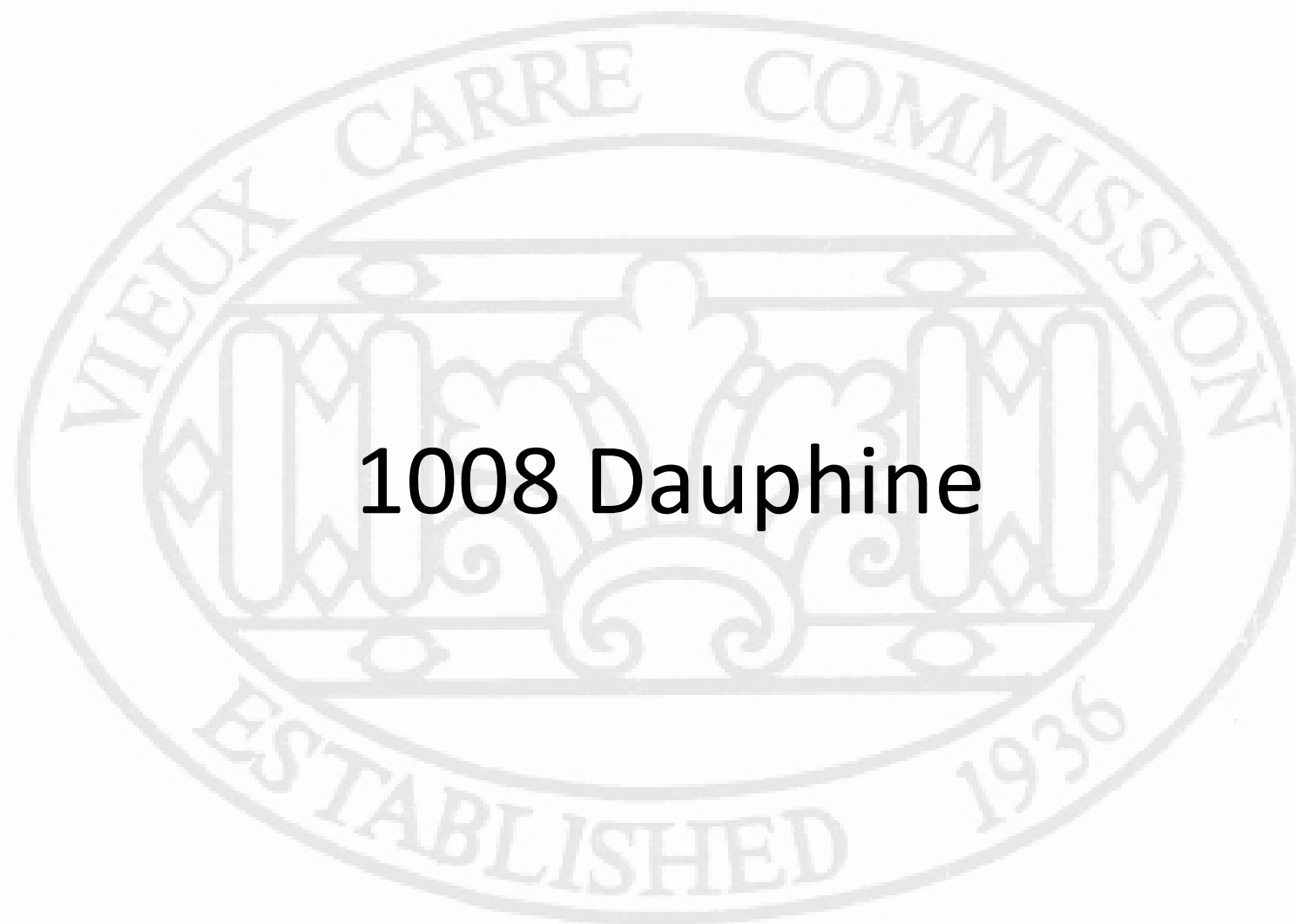
4 PROPOSED REAR BRICK WALL
scale: 3/8" = 1'-0"



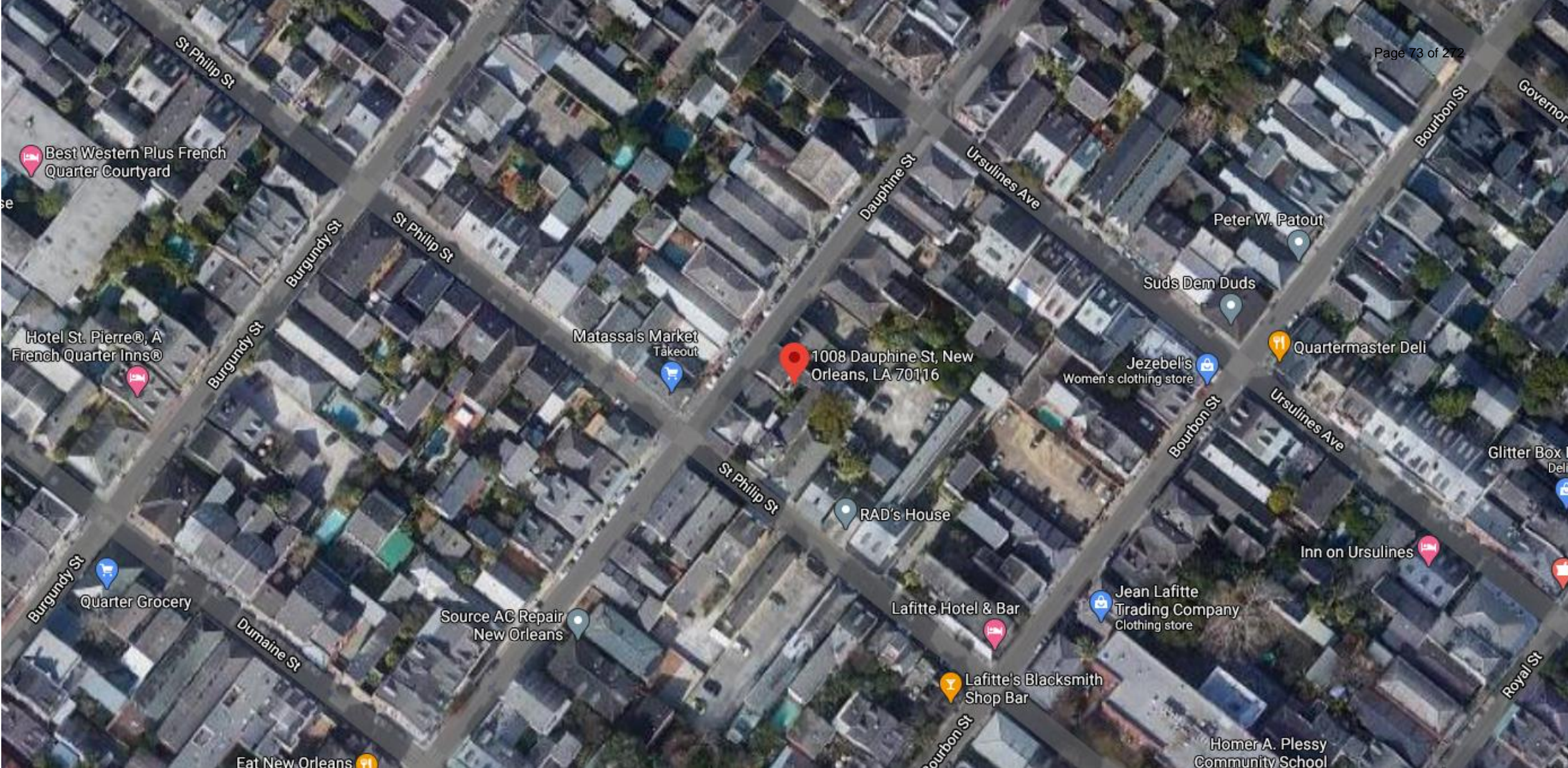
6 PRECEDENT FENCE IMAGE
scale: N/A



5 PROPOSED GOV. NICHOLLS ST ELEVATION
scale: 3/8" = 1'-0"



1008 Dauphine



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BUILDING CODE INFORMATION	
PROJECT NAME:	REPAIRS AND RESTORATIONS TO 1008-1010 DAUPHINE STREET
ADDRESS:	1008 DAUPHINE STREET NEW ORLEANS, LA 70116 VIEUX CARRE DISTRICT
APPLICABLE CODES:	BUILDING CODE.....2018 INTERNATIONAL BUILDING CODE PLUMBING CODE.....2018 INTERNATIONAL PLUMBING CODE MECHANICAL CODE.....2018 INTERNATIONAL MECHANICAL CODE NEC CODE.....NFPA 70-2017 ENERGY CODE.....ASHRAE 90-2009 EDITION LIFE SAFETY CODE.....2018 NFPA 101 MUNICIPAL CODE.....ORLEANS PARISH NFPA FIRE CODE.....2015 IFC
CONSTRUCTION TYPE:	TYPE IIB (EXISTING)
OCCUPANCY TYPE/USE:	RESIDENTIAL GROUP R-2 (EXISTING)
FIRE ALARM	NOT REQUIRED PER NFPA 101 SECTION 10.3.1.2 - DUE TO EACH APARTMENT UNIT BEING SEPARATED FROM ADJACENT APARTMENT UNITS WITH A 1/2 HOUR FIRE RATED ASSEMBLY AND EACH APARTMENT UNIT HAVING ITS OWN INDEPENDENT EXIT ON ITS OWN STAIRWAY DISCHARGING AT FINISHED GRADE.
SPRINKLER	NOT PROVIDED PER NFPA 101 SECTION 10.3.1.1 OPTION (1)
SMOKE DETECTORS	YES: INSTALL IN EACH BEDROOM AND OUTSIDE EACH BEDROOM AS SHOWN IN THESE DOCUMENTS.
MEANS OF EGRESS	PER NFPA 101 SECTION 10.2.2.1 IN DWELLING UNITS OF TWO ROOMS OR MORE, EVERY SLEEPING ROOM AND EVERY LIVING AREA SHALL HAVE NOT LESS THAN 1 PRIMARY MEANS OF ESCAPE AND ONE SECONDARY MEANS OF ESCAPE. IN BEDROOMS OR LIVING AREA THAT HAS DOOR LEADING DIRECTLY TO THE OUTSIDE OF THE BUILDING AT OR TO THE FINISHED GRADE LEVEL. PER NFPA 101 SECTION 10.2.2.2 PRIMARY MEANS OF ESCAPE SHALL BE A DOOR, STAIRWAY OR RAMP. PER NFPA 101 SECTION 10.2.2.3 SECONDARY MEANS OF ESCAPE SHALL BE A WINDOW WITH A CLEAR OPENING OF NOT LESS THAN 5.7 SQ. FT. AND THE HEIGHT NO LESS THAN 44" AND THE WIDTH NO LESS THAN 20" AND THE BOTTOM OF THE OPENING NO LESS THAN 44" ABOVE THE FLOOR. THIS IS ACCEPTABLE PER ITEM 1018 WHERE WINDOW SHALL BE DIRECTLY ACCESSIBLE TO FIRE DEPARTMENT RESCUE OPERATIONS AS APPROVED BY THE AUTHORITY HAVING JURISDICTION. PER NFPA 101 10.2.2.3.2 ARRANGEMENT OF MEANS OF ESCAPE: ANY REQUIRED PATH OF TRAVEL IN A MEANS OF ESCAPE FROM ANY ROOM TO THE OUTSIDE SHALL NOT PASS THROUGH ANOTHER ROOM NOT UNDER THE CONTROL OF THE OCCUPANT OR THROUGH A BATHROOM OR OTHER SPACE SUBJECT TO LOCKING.
SHEET INDEX	
ARCHITECTURAL	A1.1 BUILDING CODE INFORMATION & SCOPE OF WORK A2.1 FLOOR PLANS - EXISTING/REMO A2.2 FLOOR PLANS - PROPOSED A3.1 ROOF PLAN A3.1 EXTERIOR ELEVATIONS - EXISTING A3.2 EXTERIOR ELEVATIONS - NEW A3.3 EXTERIOR PHOTOS OF MAIN BUILDING A3.4 EXTERIOR PHOTOS OF REAR BUILDING & ANNEX BUILDING A4.1 BUILDING SECTIONS & COURTYARD ELEVATIONS A5.1 STAIR SECTIONS & DETAILS A5.2 SECTIONS

SCOPE OF WORK	
THE SCOPE OF WORK FOR THIS PERMIT ENTAILS THE REPAIR AND RESTORATION OF THE BUILDINGS LOCATED AT 1008-1010 DAUPHINE STREET. THE FOLLOWING IS THE INTENDED SCOPE OF WORK:	
FOUNDATION	1. REPAIR PIERS AND TERMITE DAMAGE IN WOOD FRAMING. 2. SHORE EXISTING FLOOR AND FRONT WALL AT MAIN BUILDING.
FRAMING	1. RE-FRAME "ANNEX" BUILDING DUE TO EXTENSIVE WATER DAMAGE TO STRUCTURE. 2. LEVEL FLOORS AS REQUIRED.
EXTERIOR FACADE	1. FULLY SCOUR EXISTING STUCCO AND ONLY REPLACE DELAMINATED STUCCO WITH THE VICE APPROVED MIX DESIGN. 2. RE-FRONT ALL EXISTING MASONRY THROUGHOUT WITH VICE APPROVED MIX DESIGN. 3. REPLACE EXISTING WOOD HEADERS THAT ARE ROTTED OR TERMITE DAMAGED AT EXTERIOR WINDOWS AND DOORS. 4. INSTALL STRUCTURAL TIE-ROD BRACING AT MASONRY WALL ALONG DAUPHINE STREET. 5. REPAIR EXISTING STUCCO AT REAR BUILDING. 6. INSTALL NEW STUCCO AT "ANNEX BUILDING" WHERE WALLS WILL BE RE-FRAMED. 7. REMOVE EXISTING STEEL STAIR ON FRONT FACADE OF MAIN BUILDING.
ROOFING	1. REPLACE ASBESTOS SHINGLES WITH NEW SYNTHETIC SLATE TILES. 2. REPLACE ALL GUTTERS AND DOWNSPOUTS. 3. REMOVE EXISTING SKYLIGHT AT THE MAIN BUILDING & REAR BUILDING.
WINDOWS & DOORS	1. REFURBISH ALL EXISTING INTERIOR & EXTERIOR WOOD WINDOWS AND DOORS. 2. REFURBISH ALL EXISTING SHUTTERS. 3. REPLACE ALL WOOD TRIM THAT MATCHES THE EXISTING.
BALCONY	1. REPLACE FLOORING WITH T&G COMPOSITE WOOD BOARDS. 2. REFURBISH RAILING ON FRONT BALCONY FACING DAUPHINE STREET. 3. REPLACE ALL WOOD RAILING WITH NEW WOOD RAILING. 4. REPLACE ALL STEEL RAILING WITH NEW STEEL RAILING.
WALLWORK	1. REFURBISH AND/OR REPLACE ALL EXISTING WOOD TRIM AT EXTERIOR OPENINGS. 2. REMOVE ALL EXISTING CABINETRY AND REPLACE WITH NEW. 3. REPLACE ALL EXISTING WOOD TRIM THAT'S ROTTED AND/OR TERMITE DAMAGED.
FLOORING	1. REFURBISH EXISTING WOOD FLOORS WHERE POSSIBLE. 2. INSTALL NEW HARDWOOD FLOORS IN LIVING AREAS AND BEDROOMS. 3. INSTALL NEW TILE FLOORING IN BATHROOMS.
COURTYARD	1. DEMO EXISTING CONCRETE PATIO/DECK & REPLACE WITH PERMEABLE PAVING SYSTEM THAT'S SLOPED TOWARDS THE EXISTING TRENCH DRAIN ALONG THE ST. PHILIP STREET SIDE PROPERTY LINE.
MECHANICAL	1. REMOVE ALL EXISTING HVAC AND REPLACE WITH (H)OUTDOX SPLIT SYSTEM UNITS AT THE MAIN BUILDING & ANNEX BUILDING AND (H)INDOOR SPLIT SYSTEMS AT THE REAR BUILDING. 2. REMOVE ALL EXISTING EXPOSED MECHANICAL PIPING AND INSTALL NEW PIPING IN CONCEALED LOCATIONS.
PLUMBING	1. INSTALL NEW PLUMBING FIXTURES THROUGHOUT. 2. REMOVE EXISTING WATER HEATERS IN COURTYARD AND REPLACE WITH TANKLESS GAS WATER HEATERS. 3. REPLACE ALL SUPPLY LINES WITH PEX PIPING. 4. REPLACE ALL WASTE AND VENT PIPING WHERE NEEDED.
ELECTRICAL	1. REMOVE ALL EXISTING ELECTRICAL AND REPLACE WITH NEW SYSTEM. 2. EXISTING METERS TO REMAIN.



REPAIRS AND RESTORATIONS TO 1008-1010 DAUPHINE STREET FRENCH QUARTER . NEW ORLEANS, LA



REPAIRS AND RESTORATIONS TO 1008-1010 DAUPHINE STREET FRENCH QUARTER . NEW ORLEANS, LA

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REVISION HISTORY	
NO.	DESCRIPTION
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10	

PROJECT # _____
PHASE: SD
DRAFTER: JC
CHECKER: JC
SCALE: AS SHOWN
ISSUED: 01/05/2021
SHEET

A-1.1



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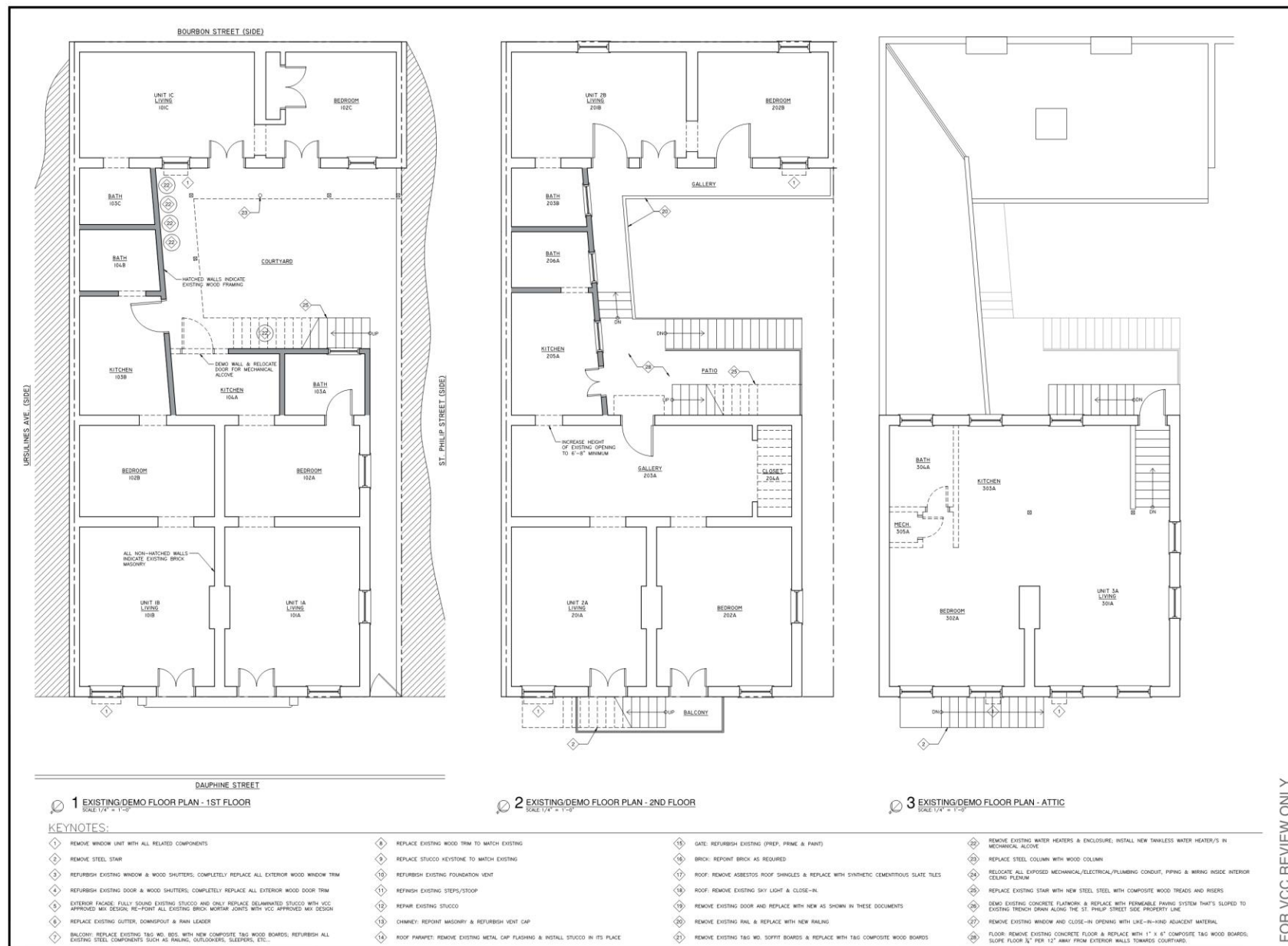
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PROJECT#:	•
PHASE:	SD
DRAFTER:	JC
CHECKER:	JC
SCALE:	AS SHOWN
ISSUED:	01/05/2021
SHEET#	

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FOR VCC REVIEW ONLY

REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA

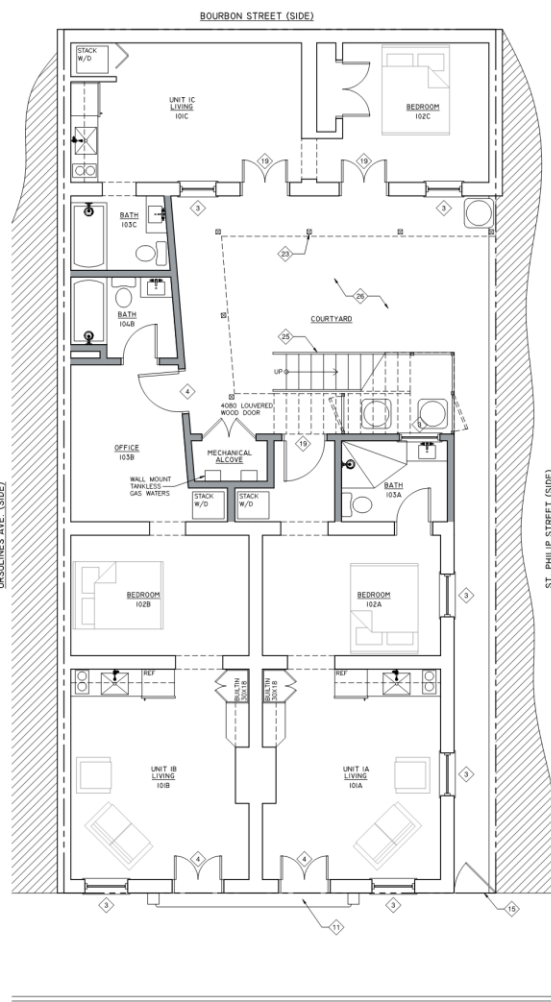
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CERTIFIED CORRECT

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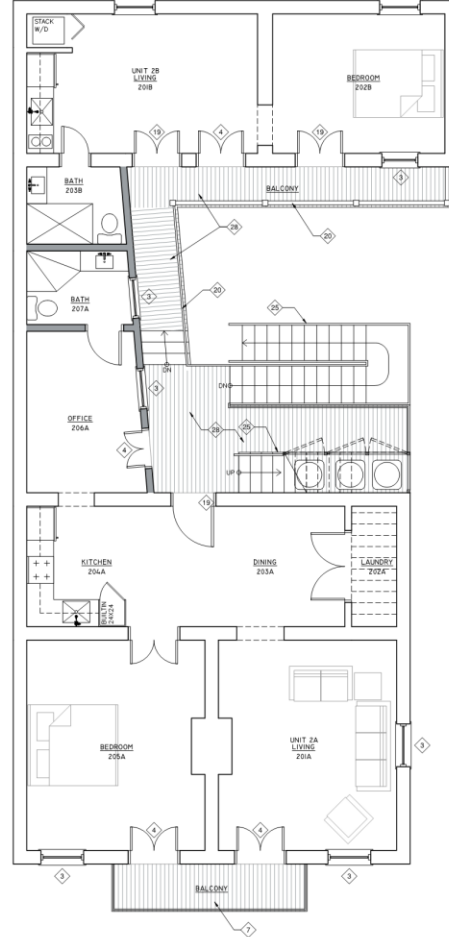
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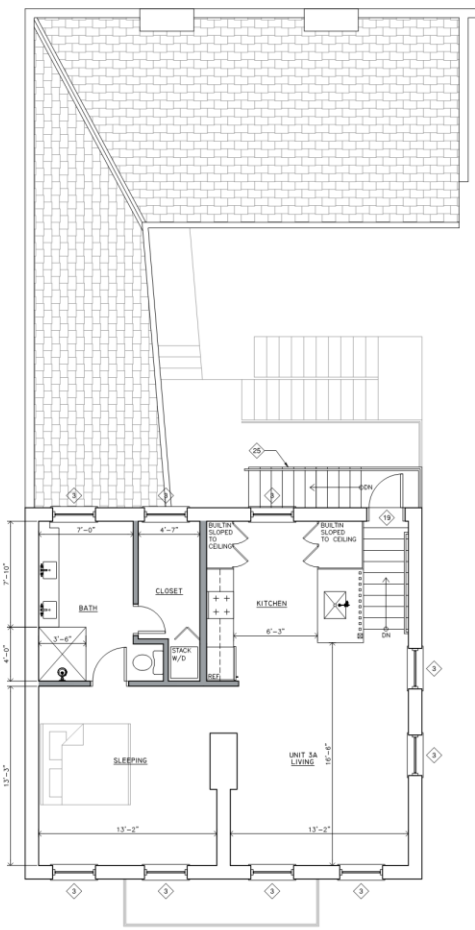
1 PROPOSED FLOOR PLAN - 1ST FLOOR
SCALE 1/4" = 1'-0"

KEYNOTES:

- 1 REMOVE WINDOW UNIT WITH ALL RELATED COMPONENTS
- 2 REMOVE STEEL STAIR
- 3 REFURBISH EXISTING WINDOW & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD WINDOW TRIM
- 4 REFURBISH EXISTING DOOR & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD DOOR TRIM
- 5 EXTERIOR FACADE: FULLY SOUND EXISTING STUCCO AND ONLY REPLACE DELAMINATED STUCCO WITH VCC APPROVED MIX DESIGN, RE-POINT ALL EXISTING BRICK MORTAR JOINTS WITH VCC APPROVED MIX DESIGN
- 6 REPLACE EXISTING GUTTER, DOWNSPOUT & RAIN LEADER
- 7 BALCONY: REPLACE EXISTING TAG W/ DOG, WITH NEW COMPOSITE TAG WOOD BOARDS, REFURBISH ALL EXISTING STEEL COMPONENTS SUCH AS RAILING, OUTDOORLIGHT, SLEEPERS, ETC.
- 8 REPLACE EXISTING WOOD TRIM TO MATCH EXISTING
- 9 REPLACE STUCCO KEYSTONE TO MATCH EXISTING
- 10 REFURBISH EXISTING FOUNDATION VENT
- 11 REFURBISH EXISTING STEPS/STOOP
- 12 REPAIR EXISTING STUCCO
- 13 CHIMNEY: REPOINT MASONRY & REFURBISH VENT CAP
- 14 ROOF PARAPET: REMOVE EXISTING METAL CAP FLASHING & INSTALL STUCCO IN ITS PLACE
- 15 GATE: REFURBISH EXISTING (PREP, PRIME & PAINT)
- 16 BRICK: REPOINT BRICK AS REQUIRED
- 17 ROOF: REMOVE ASBESTOS ROOF SHINGLES & REPLACE WITH SYNTHETIC CEMENTITIOUS SLATE TILES
- 18 ROOF: REMOVE EXISTING SKY LIGHT & CLOSE-IN
- 19 REMOVE EXISTING DOOR AND REPLACE WITH NEW AS SHOWN IN THESE DOCUMENTS
- 20 REMOVE EXISTING RAIL & REPLACE WITH NEW RAILING
- 21 REMOVE EXISTING TAG W/ DOG SOFFIT BOARDS & REPLACE WITH TAG COMPOSITE WOOD BOARDS
- 22 REMOVE EXISTING WATER HEATERS & ENCLOSURE, INSTALL NEW TANKLESS WATER HEATER/S IN MECHANICAL ALCOVE
- 23 REPLACE STEEL COLUMN WITH WOOD COLUMN
- 24 RELOCATE ALL EXPOSED MECHANICAL/ELECTRICAL/PLUMBING CONDUIT, PIPING & WIRING INSIDE INTERIOR CEILING PLASTER
- 25 DEMO EXISTING STAIR WITH NEW STEEL STEEL WITH COMPOSITE WOOD TREADS AND RISERS
- 26 REPLACE EXISTING CONCRETE FLOORS & REPLACE WITH PERMEABLE PAVING SYSTEM THAT'S SLOPED TO EXISTING TRENCH DRAIN ALONG THE ST. PHILIP STREET SIDE PROPERTY LINE
- 27 REMOVE EXISTING WINDOW AND CLOSE-IN OPENING WITH LIKE-IN-KIND ADJACENT MATERIAL
- 28 FLOOR: REMOVE EXISTING CONCRETE FLOOR & REPLACE WITH 1" x 6" COMPOSITE TAG WOOD BOARDS, SLOPE FLOOR 1/4" FOR 1/2" DRAIN FROM EXTERIOR WALLS TOWARDS COURTYARD



2 PROPOSED FLOOR PLAN - 2ND FLOOR
SCALE 1/4" = 1'-0"



3 PROPOSED FLOOR PLAN - ATTIC
SCALE 1/4" = 1'-0"

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504.885.4437 | info@maple-ridge.com

REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA

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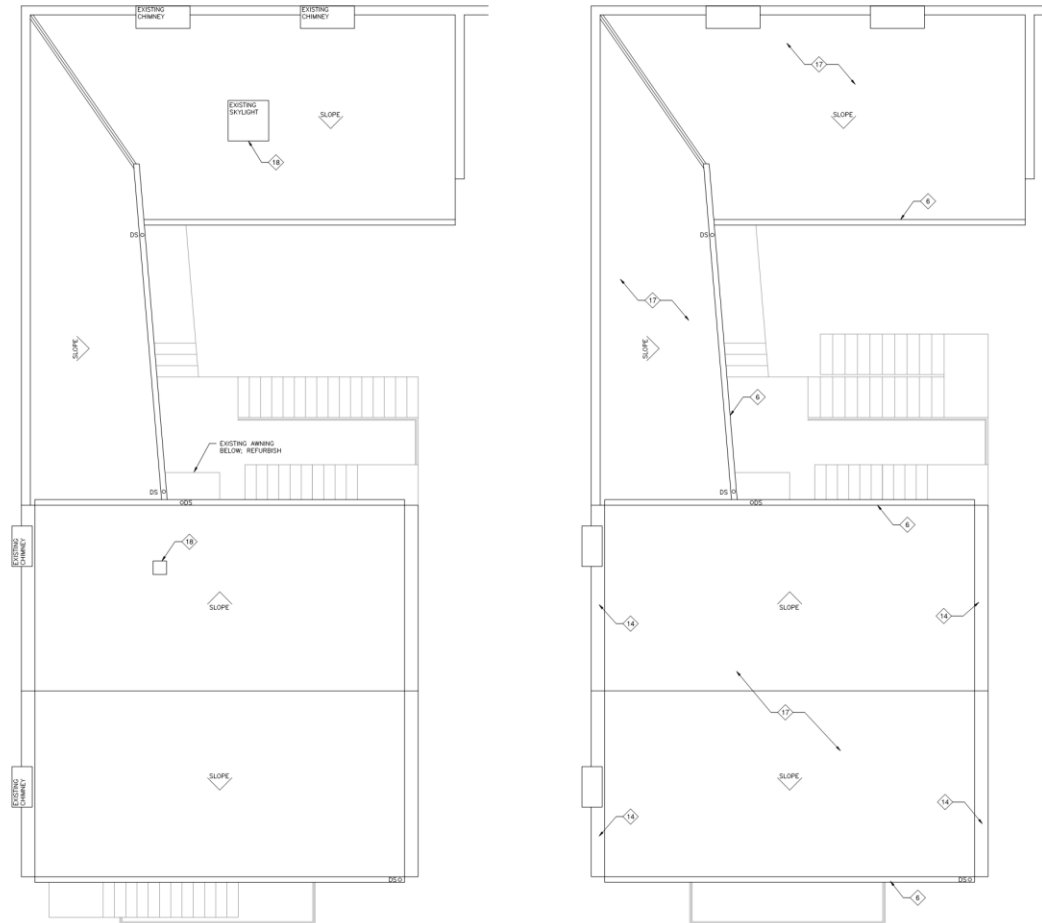
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SHEET#

A-2.3



1 ROOF PLAN - EXISTING
SCALE: 1/4" = 1'-0"

2 ROOF PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

KEYNOTES:

- | | | | |
|---|---|--|---|
| 1 REMOVE WINDOW UNIT WITH ALL RELATED COMPONENTS | 8 REPLACE EXISTING WOOD TRIM TO MATCH EXISTING | 16 GATE: REFURBISH EXISTING (PREP, PRIME & PAINT) | 22 REMOVE EXISTING WATER HEATERS & ENCLOSURE. INSTALL NEW TANKLESS WATER HEATER/S IN MECHANICAL ALCOVE |
| 2 REMOVE STEEL STAIR | 9 REPLACE STUCCO KEYSTONE TO MATCH EXISTING | 17 BRICK: REPORT BRICK AS REQUIRED | 23 REPLACE STEEL COLUMN WITH WOOD COLUMN |
| 3 REFURBISH EXISTING WINDOW & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD WINDOW TRIM | 10 REFURBISH EXISTING FOUNDATION VENT | 18 ROOF: REMOVE ASBESTOS ROOF SHINGLES & REPLACE WITH SYNTHETIC CEMENTITIOUS SLATE TILES | 24 RELOCATE ALL EXPOSED MECHANICAL/ELECTRICAL/PLUMBING CONDUIT, PIPING & WIRING INSIDE INTERIOR CEILING PLENUM |
| 4 REFURBISH EXISTING DOOR & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD DOOR TRIM | 11 REFINISH EXISTING STEPS/STOOP | 19 ROOF: REMOVE EXISTING SKY LIGHT & CLOSE-IN | 25 REPLACE EXISTING STAIR WITH NEW STEEL STEEL WITH COMPOSITE WOOD TREADS AND RISERS |
| 5 EXTERIOR FACADE: FULLY SOUND EXISTING STUCCO AND ONLY REPLACE DELAMINATED STUCCO WITH VCC APPROVED MIX DESIGN. RE-POINT ALL EXISTING BRICK MORTAR JOINTS WITH VCC APPROVED MIX DESIGN | 12 REPAIR EXISTING STUCCO | 20 REMOVE EXISTING DOOR AND REPLACE WITH NEW AS SHOWN IN THESE DOCUMENTS | 26 DEMO EXISTING CONCRETE PLATFORM & REPLACE WITH PERMEABLE PAVING SYSTEM THAT'S SLOPED TO EXISTING TRENCH DRAIN ALONG THE ST. PHILIP STREET SIDE PROPERTY LINE |
| 6 REPLACE EXISTING GUTTER, DOWNSPOUT & RAIN LEADER | 13 CHIMNEY: REPORT MASONRY & REFURBISH VENT CAP | 21 REMOVE EXISTING RAIL & REPLACE WITH NEW RAILING | 27 REMOVE EXISTING WINDOW AND CLOSE-IN OPENING WITH LIKE-IN-KIND ADJACENT MATERIAL |
| 7 BALCONY: REPLACE EXISTING TAG WOOD BOARDS WITH NEW COMPOSITE TAG WOOD BOARDS. REFURBISH ALL EXISTING STEEL COMPONENTS SUCH AS RAILING, OUTLOOKERS, SLEEPERS, ETC. | 14 ROOF PARAPET: REMOVE EXISTING METAL CAP FLASHING & INSTALL STUCCO IN ITS PLACE | 28 REMOVE EXISTING TAG WOOD SOFFIT BOARDS & REPLACE WITH TAG COMPOSITE WOOD BOARDS | 28 FLOOR: REMOVE EXISTING CONCRETE FLOOR & REPLACE WITH 1" x 6" COMPOSITE TAG WOOD BOARDS. SLOPE FLOOR IN FOR 12" AWAY FROM EXTERIOR WALLS TOWARD COURTYARD. |

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REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA

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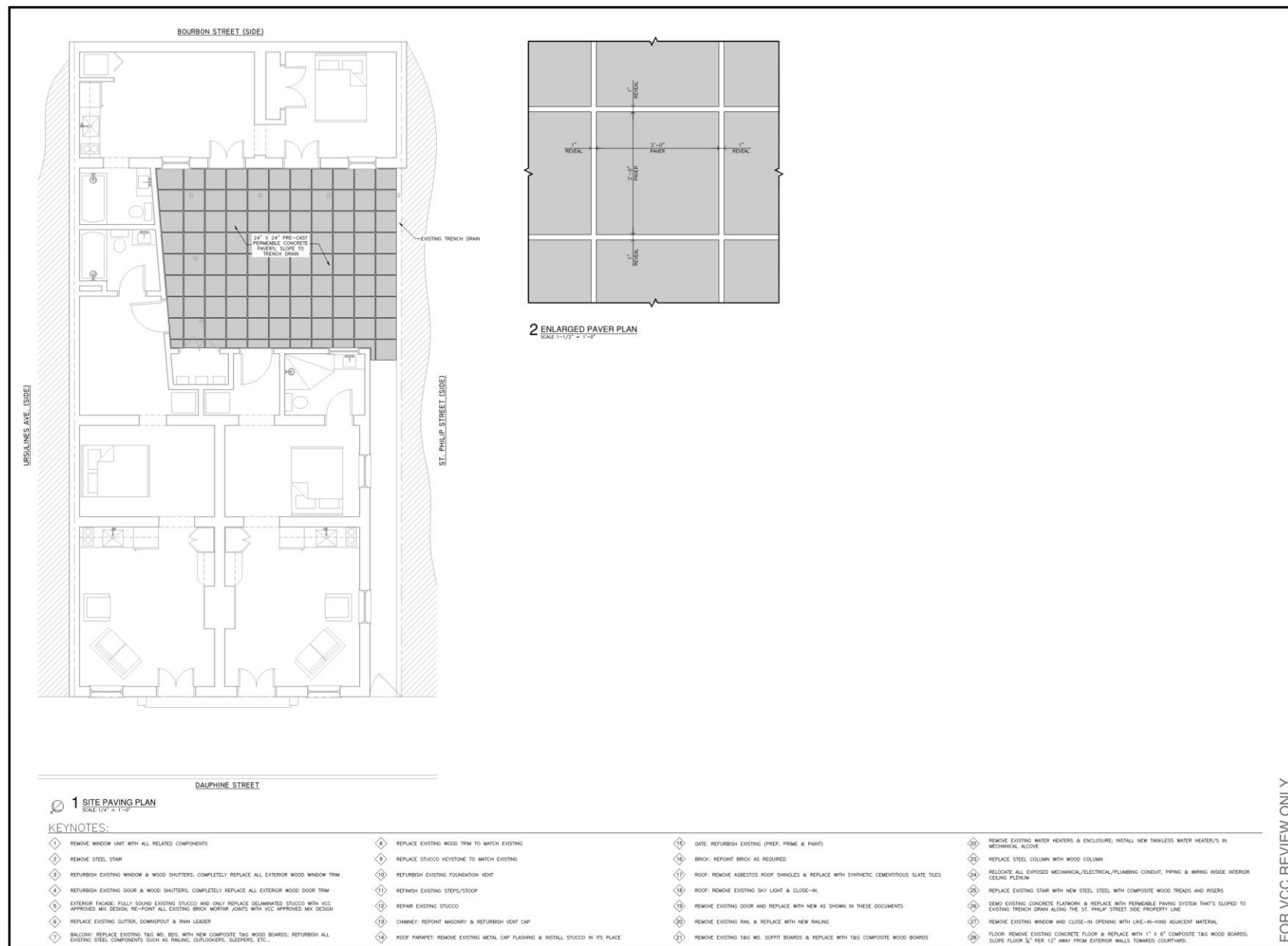
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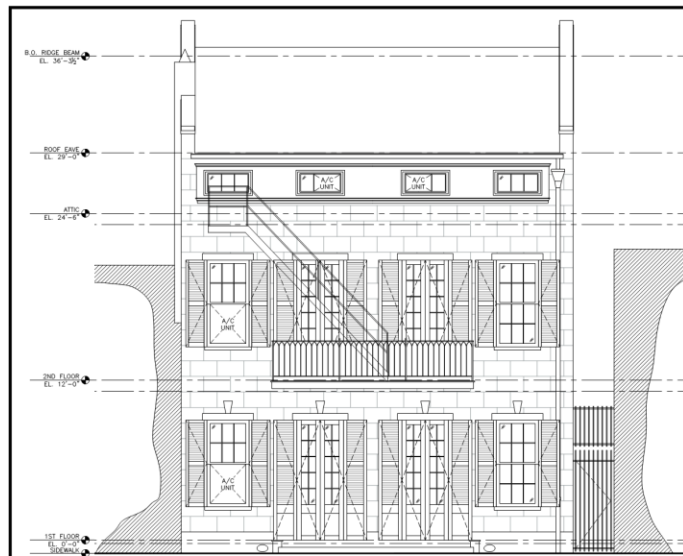
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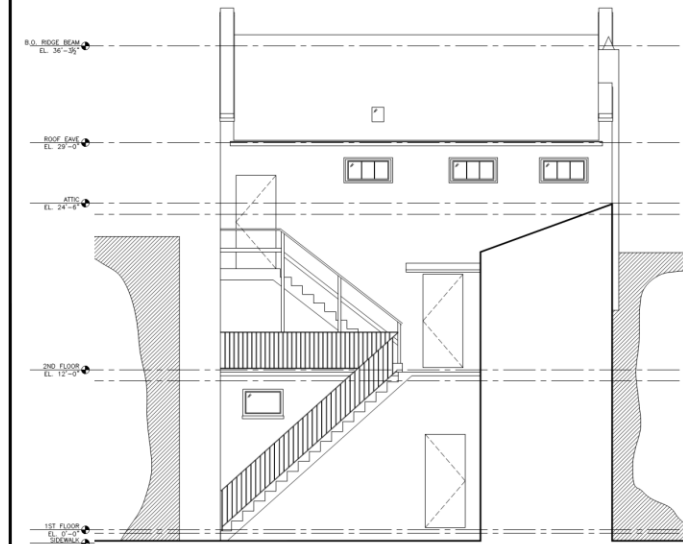
REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER - NEW ORLEANS, LA



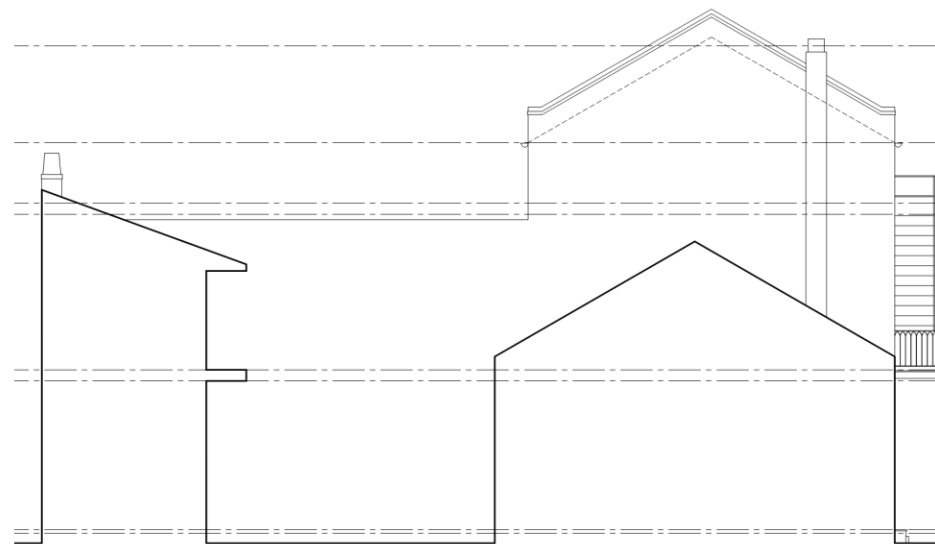
1 EXISTING ELEVATION - FRONT (DAUPHINE STREET)
SCALE 1/4" = 1'-0"



3 EXISTING ELEVATION - SIDE (ST. PHILIP STREET SIDE)
SCALE 1/4" = 1'-0"



2 EXISTING ELEVATION - REAR (BOURBON ST. SIDE)
SCALE 1/4" = 1'-0"



4 EXISTING ELEVATION - SIDE (URSULINES AVE. SIDE)
SCALE 1/4" = 1'-0"

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SHEET

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REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER - NEW ORLEANS, LA

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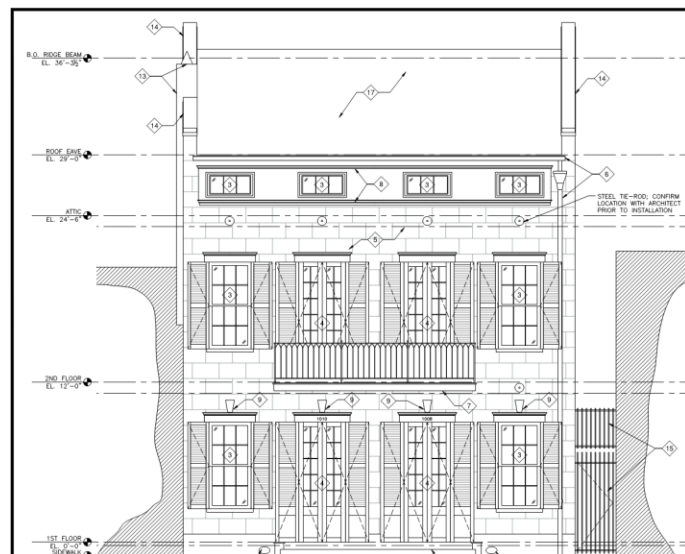
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A-3.2

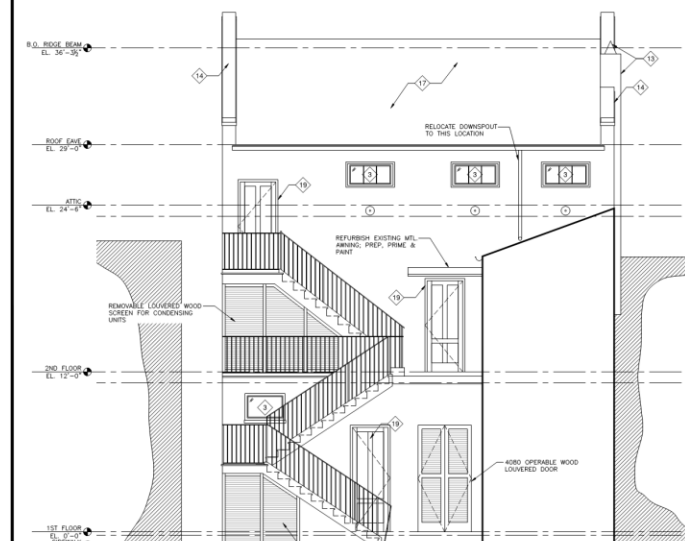
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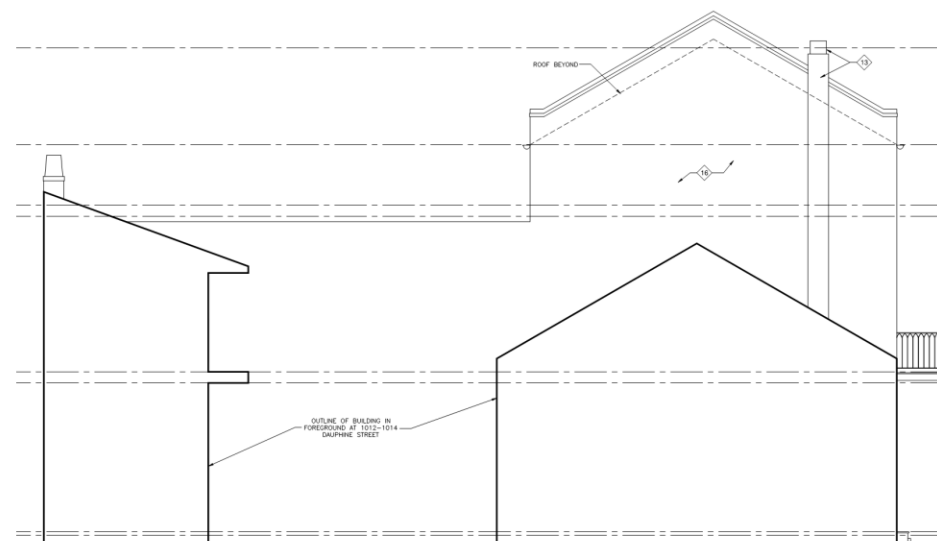
1 ELEVATION - FRONT (DAUPHINE STREET)
SCALE 1/4" = 1'-0"



3 ELEVATION - SIDE (ST. PHILIP STREET SIDE)
SCALE 1/4" = 1'-0"



2 ELEVATION - REAR (BOURBON ST. SIDE)
SCALE 1/4" = 1'-0"



4 ELEVATION - SIDE (URSULINES AVE. SIDE)
SCALE 1/4" = 1'-0"

REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA

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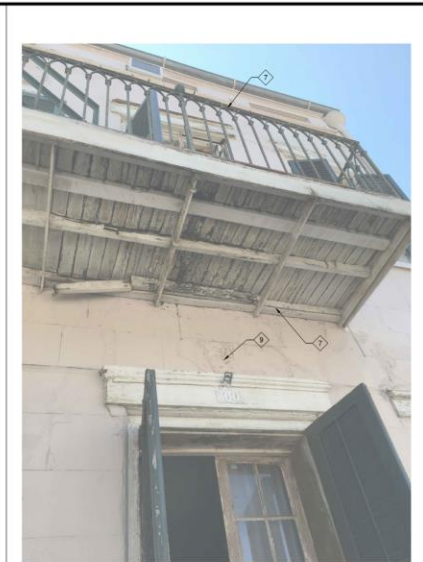


- KEYNOTES:
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 - 2 REMOVE STEEL STAIR
 - 3 REFURBISH EXISTING WINDOW & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD WINDOW TRIM
 - 4 REFURBISH EXISTING DOOR & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD DOOR TRIM
 - 5 EXTERIOR FACADE: FULLY SOUND EXISTING STUCCO AND ONLY REPLACE DELAMINATED STUCCO WITH VCC APPROVED MIX DESIGN; RE-FORM ALL EXISTING BRICK MORTAR JOINTS WITH VCC APPROVED MIX DESIGN
 - 6 REPLACE EXISTING GUTTER, DOWNSPOUT & RAIN LEADER
 - 7 BALCONY: REPLACE EXISTING TAG W/ BOB. WITH NEW COMPOSITE TAG WOOD BOARDS; REFURBISH ALL EXISTING STEEL COMPONENTS SUCH AS RAILING, OUTLOOKERS, SLEEPERS, ETC...
 - 8 REPLACE EXISTING WOOD TRIM TO MATCH EXISTING
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 - 10 REFURBISH EXISTING FOUNDATION VENT
 - 11 REFRESH EXISTING STEPS/STOOP
 - 12 REPAIR EXISTING STUCCO
 - 13 CHIMNEY: REPOINT MASONRY & REFURBISH VENT CAP
 - 14 ROOF PARAPET: REMOVE EXISTING METAL CAP FLASHING & INSTALL STUCCO IN ITS PLACE
 - 15 GATE: REFURBISH EXISTING (PREP, PRIME & PAINT)
 - 16 BRICK: REPOINT BRICK AS REQUIRED
 - 17 ROOF: REMOVE ASBESTOS ROOF SHINGLES & REPLACE WITH SYNTHETIC CEMENTITIOUS SLATE TILES
 - 18 ROOF: REMOVE EXISTING SKYLIGHT & CLOSE-IT
 - 19 REMOVE EXISTING DOOR AND REPLACE WITH NEW AS SHOWN IN THESE DOCUMENTS
 - 20 REMOVE EXISTING RAIL & REPLACE WITH NEW RAILING
 - 21 REMOVE EXISTING TAG W/ BOB. SLEEPERS & REPLACE WITH TAG COMPOSITE WOOD BOARDS
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 - 26 DEMO EXISTING CONCRETE PLATFORM & REPLACE WITH PERMEABLE DRAINING SYSTEM THAT'S SLOPED TO EXISTING TRENCH DRAIN ALONG THE ST. PHILIP STREET SIDE PROPERTY LINE
 - 27 REMOVE EXISTING WINDOW AND CLOSE-IN OPENING WITH LIKE-IN-KIND ADJACENT MATERIAL
 - 28 FLOOR: REMOVE EXISTING CONCRETE FLOOR & REPLACE WITH 1" x 8" COMPOSITE TAG WOOD BOARDS, SLOPE FLOOR 3/4" PER 12" AWAY FROM EXTERIOR WALLS TOWARDS COURTYARD

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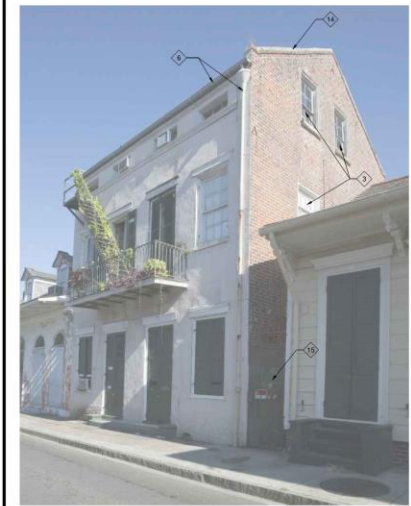
1 PHOTO - FRONT (DAUPHINE STREET)
SCALE: N.T.S.



2 PHOTO - FRONT BALCONY
SCALE: N.T.S.



3 PHOTO - FRONT LEFT SIDE
SCALE: N.T.S.



4 PHOTO - FRONT RIGHT (DAUPHINE STREET)
SCALE: N.T.S.



1 PHOTO - REAR BUILDING (2ND FLOOR)
SCALE: N.T.S.



2 PHOTO - REAR BUILDING (2ND FLOOR)
SCALE: N.T.S.



3 PHOTO - COURTYARD
SCALE: N.T.S.



4 PHOTO - ANNEX BUILDING 2ND FLOOR
SCALE: N.T.S.



5 PHOTO - ANNEX BUILDING 2ND FLOOR
SCALE: N.T.S.

KEYNOTES:

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REPAIRS AND RESTORATIONS TO 1008-1010 DAUPHINE STREET FRENCH QUARTER - NEW ORLEANS, LA

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A-3.4

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Tel: 504.887.1234 | www.mapleridge.com

REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER - NEW ORLEANS, LA

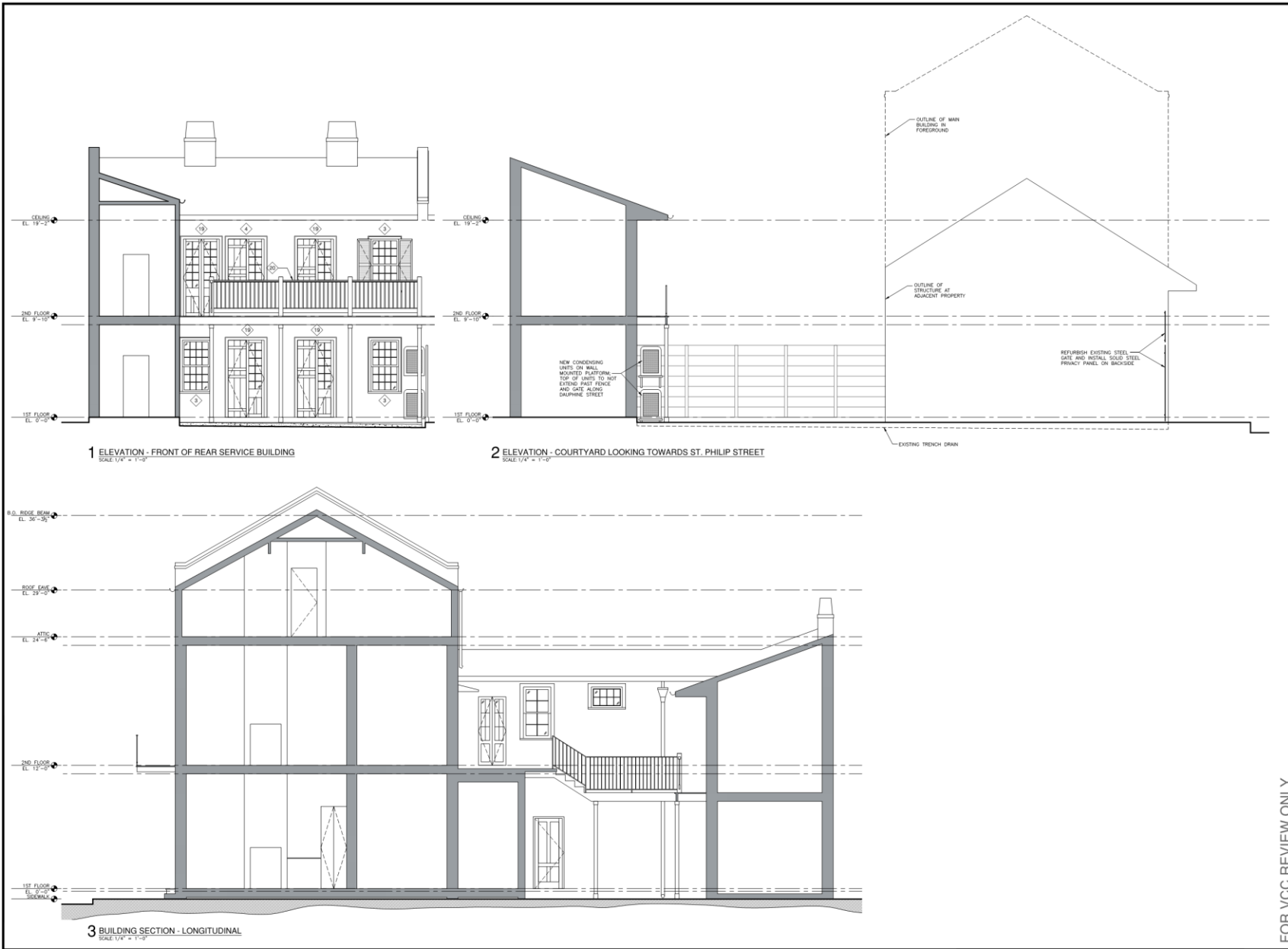
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SHEET#

A-4.1



FOR VCC REVIEW ONLY

REPAIRS AND RESTORATIONS TO
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FRENCH QUARTER - NEW ORLEANS, LA

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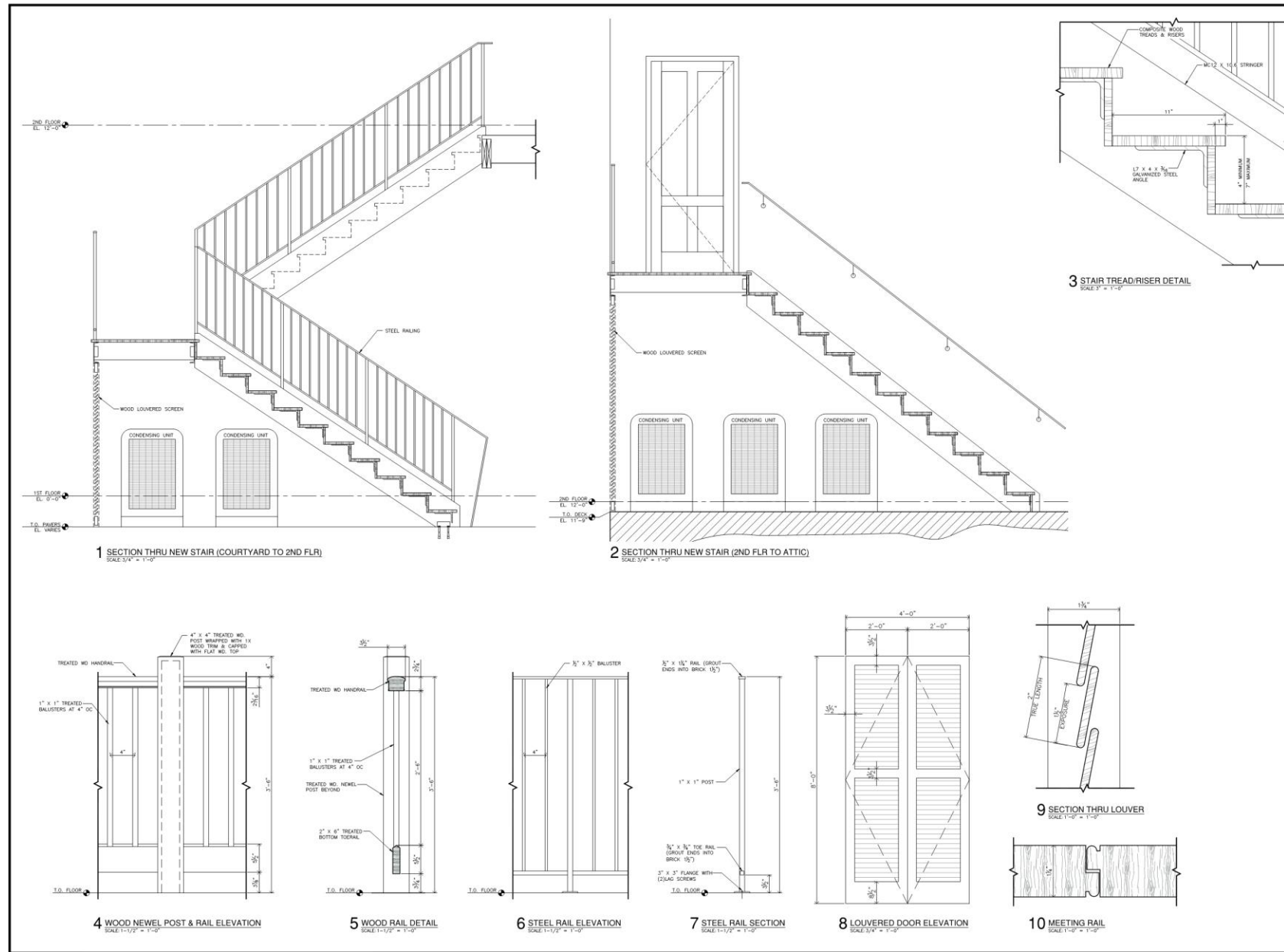
CERTIFIED CORRECT

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REVISION HISTORY		
NO.	DATE	DESCRIPTION

PROJECT# -
PHASE: SD
DRAFTER: JC
CHECKER: JC
SCALE: AS SHOWN
ISSUED: 01/05/2021
SHEET#

A-5.1



FOR VCC REVIEW ONLY



100 Maple Ridge Drive Metairie, LA 70001
504.885.4477 | info@mapleridge.com

REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT.

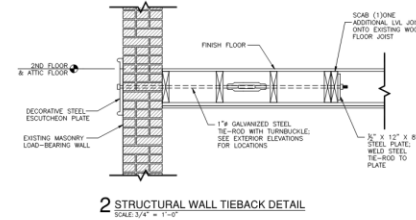
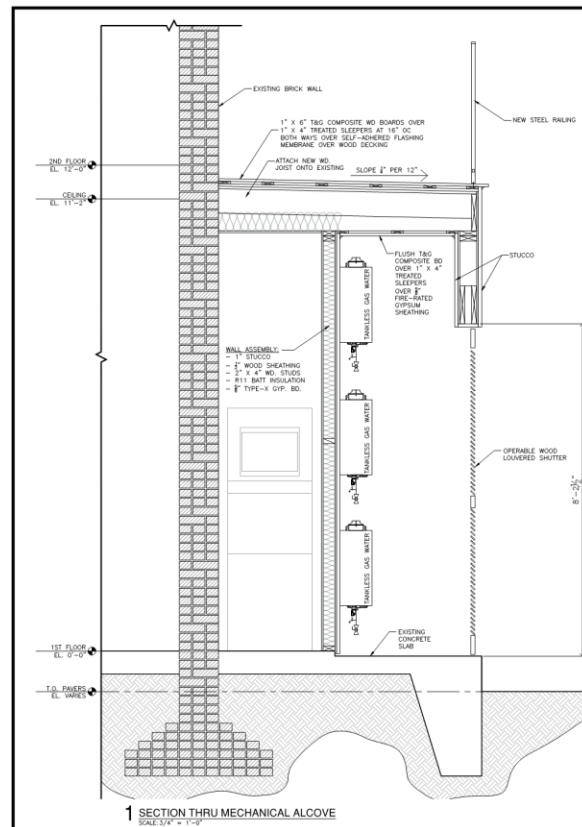
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REVISION HISTORY				
NO.	DESCRIPTION	DATE	NAME	

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DRAFTER: JC
CHECKER: JC
SCALE: AS SHOWN
ISSUED: 01/05/2021
SHEET#

A-5.2



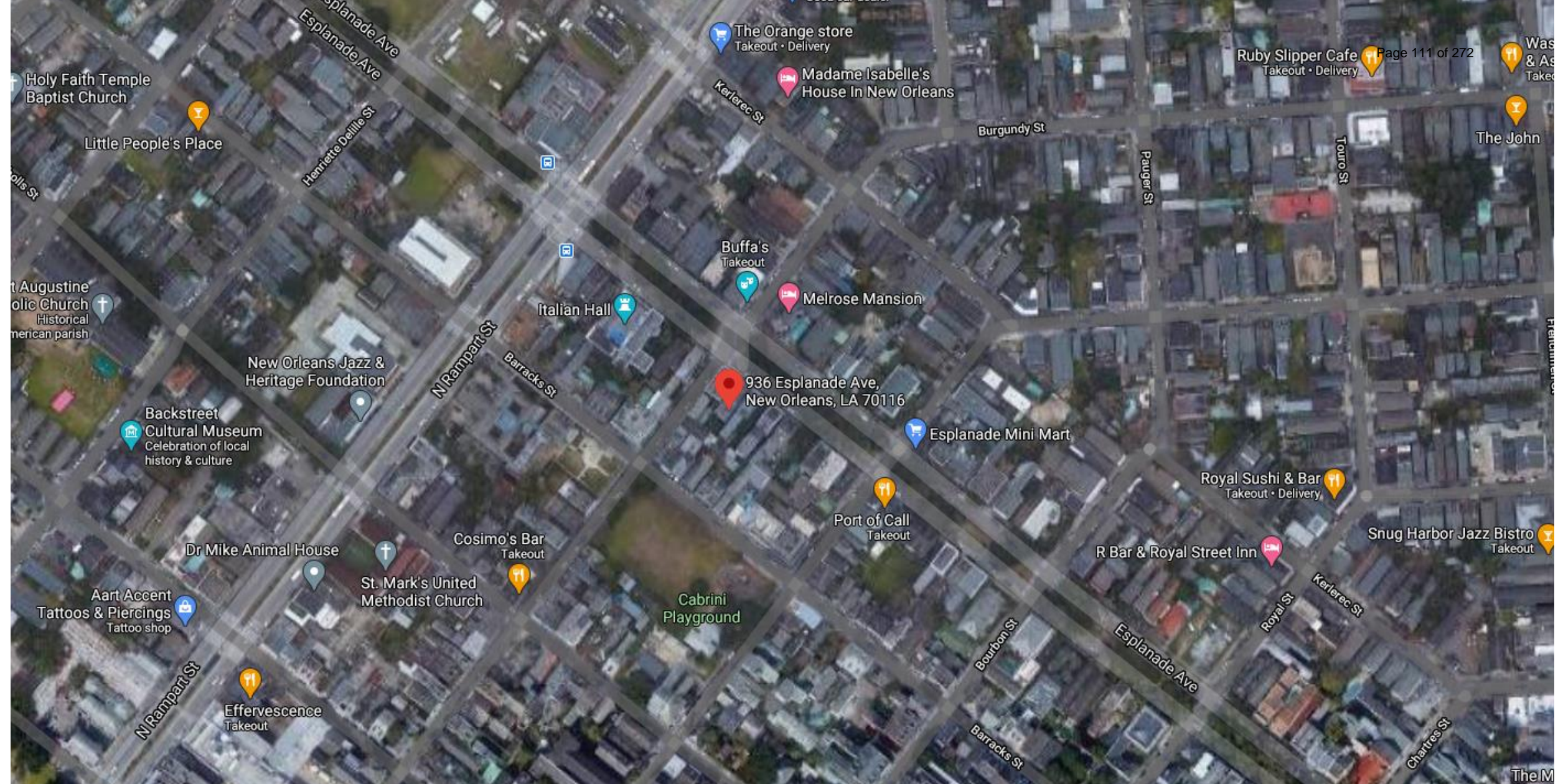
FOR VCC REVIEW ONLY



New Business



936 Esplanade



936 Esplanade

VCC Architectural Committee

December 8, 2020



936 Esplanade

VCC Architectural Committee



December 8, 2020





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December 8, 2020





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December 8, 2020





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December 8, 2020





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VCC Architectural Committee

December 8, 2020



Existing balcony
mounted CUS

Balcony Rail Rail needed here:

Scope: remove rotted square ballustrade segments and re-attach to existing column. Salvage spindles and mill new as needed to match per VCC Guidelines for Balconies, Galleries Porches 08-7.

Prepare, prime and paint to match: BM Alpine White OC-124

alpine white

Showing 1 - 10 of 355 results for "alpine white"

Alpine White OC-124

Alpine White
OC-124

COLOR DETAIL SEE IN ROOM BUY SAMPLES & PAINT

AC Platform and Screen:

Relocate existing CUs balcony: Fabricate new wood AC platform and screen in first floor rear courtyard per VCC Guidelines for Site Elements & Courtyards 10-11.

Screen with conventional wood lattice.

Remove non-compliant above ground jacuzzi.

EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Jacuzzi
To be removed

New AC Platform & Screen



Screening is often required to conceal ground-mounted equipment. Air conditioner units are located behind the wood lattice.

WATER FEATURES; MOUNTED EQUIPMENT GUIDE
All water features and equipment installations are subject to review under the CDS. Contact the City Planning Commission and the Department of Safety and Permits to review allowable water feature construction areas for a parcel prior to submission of an application to the VCC.
THE VCC RECOMMENDS:
• A pool or hot tub to be an in-ground installation with the curb flush with the adjacent ground level.
• A simple geometric form for the pool or hot tub such as a rectangle or oval.
• A fountain or a fish pond to be compatible with the historic and architectural character of the property.

THE VCC RECOMMENDS:
• Minimizing the visibility and quantity of mounted equipment on a parcel.
• Minimizing equipment noise bleed over to a neighboring property.
• Locating equipment so that it is raised above the ground plane with surge protection at all electrical connections.
THE VCC DOES NOT ALLOW:
• Installing visually obtrusive mounted equipment.
• Installing an above-ground pool or hot tub with the exception of a readily movable, plastic "tubular" pool, which is generally limited to approximately 4 feet in diameter and 18 inches in depth.

EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"





December 10, 2020

Ryan D. Mayer
Mayer Building Company
1000 North Broad Street
New Orleans, Louisiana 70119

Subject: 936 Esplanade Ave – Brackets Under Balcony

Ryan,

On December 7, 2020, we visited the site above to inspect the existing conditions at the rear of the balcony. The existing cantilevered balcony framing was retrofitted with (2) steel brackets to support an A/C unit. The A/C unit has been removed. We performed a visual inspection of the existing framing to determine the feasibility of removing the steel bracket. During our inspection we did not see any indication of damage to the existing framing that would prevent the removal of the brackets. It is our opinion that the brackets can be removed and the cantilevered joist will be able to support it was originally designed for, similarly to the rest of the balcony framing.

I hope this letter adequately relates our findings related to the specific items listed. Please bear in mind that it is based upon investigations consisting only of visual observations of those features of the structure that were exposed and accessible. Neither my investigation nor this letter should be considered to warrant or guarantee the structure or its components. Future investigation, observations, or occurrences may reveal other conditions of note or may indicate changes in the conditions mentioned above.

If you have any questions, please contact the undersigned at (504) 533-8644 at your convenience.

Thank You,
BATTURE, LLC

Hermann Alb, P.E.
Senior Engineer

936 Esplanade

VCC Architectural Committee

December 8, 2020





THIS MANUAL MUST BE LEFT WITH THE HOMEOWNER FOR FUTURE REFERENCE

General

This SL18XC1 outdoor air conditioner with **all-aluminum coil** is designed for use with HFC-410A refrigerant only. This unit must be installed with an approved indoor air handler or coil. See the Lennox SL18XC1 Product Specifications bulletin (EHB) for approved indoor component match ups.

These instructions are intended as a general guide and do not supersede local codes in any way. Consult authorities having jurisdiction before installation.

NOTICE !

For more in-depth information, consult the Installation and Service Procedures manual, available as Corp. 1405-L10 on DaveNet or through the Technical Support department at 800-453-6669.

INSTALLATION INSTRUCTIONS

Dave Lennox *Signature*® Collection SL18XC1 System

AIR CONDITIONERS
507353-01
10/2014

Technical Publications
Litho U.S.A.

⚠ WARNING

Improper installation, adjustment, alteration, service or maintenance can cause property damage, personal injury or loss of life.

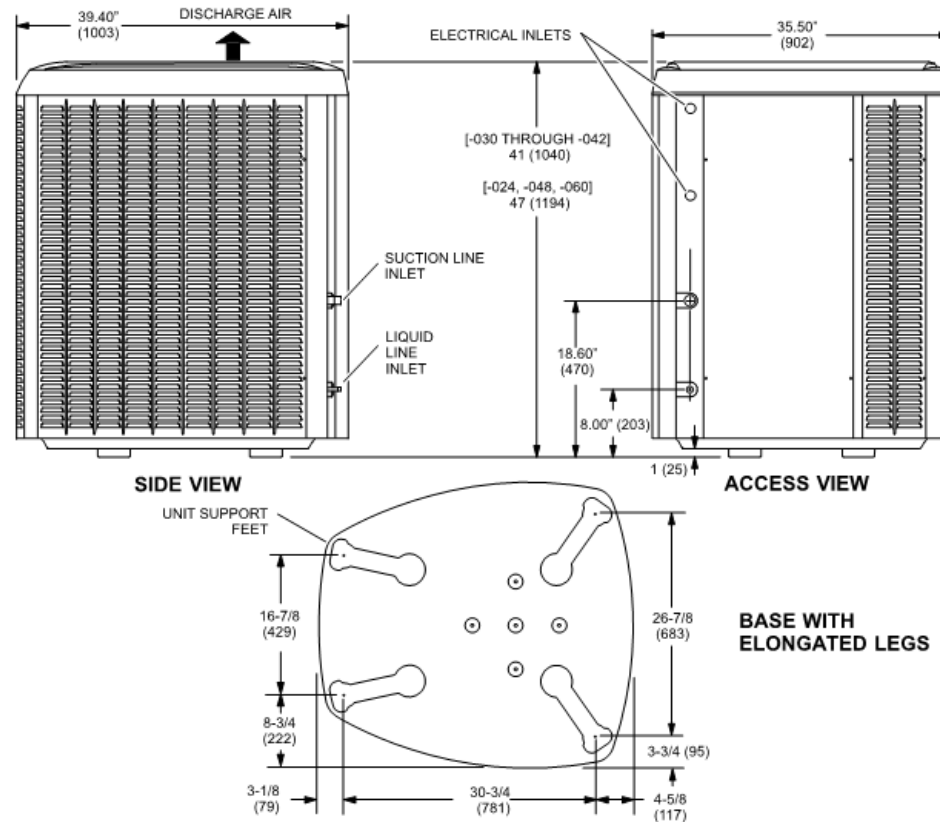
Installation and service must be performed by a licensed professional installer (or equivalent) or service agency.

⚠ CAUTION

Before attempting to perform any service or maintenance, turn the electrical power to unit OFF at disconnect switch.

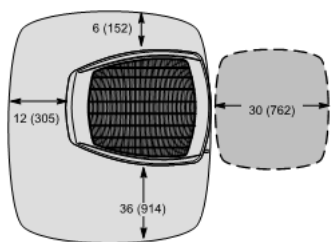
STEP 1 -- SETTING THE UNIT (Continued) -- Dimensions / Placement

UNIT DIMENSIONS - INCHES (MM)



STEP 1 -- SETTING THE UNIT -- Clearances

CLEARANCE ON ALL SIDES — INCHES (MILLIMETERS)



NOTES:

- Clearance to access panel must be 30 inches (762mm).
- Clearance to one of the other three sides must be 36 inches (914mm).
- Clearance to one of the remaining two sides may be 12 inches (305mm) and the final side may be 6 inches (152mm).

MINIMUM CLEARANCE ABOVE UNIT



MINIMUM CLEARANCE BETWEEN TWO UNITS

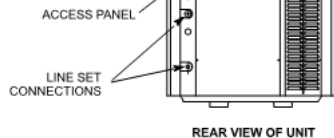
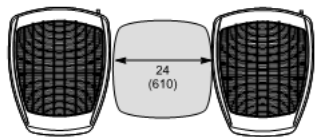


FIGURE 1

Esplanade:

AC Platform to be constructed of treated southern yellow pine, with 4X4 posts set in to existing exposed soil. The platform will be 6' deep x 8' wide. The deck of the platform will be at the same elevation of the existing floor deck (20" above grade) and the screen (to obscure the 48" condenser) will be 49" and include three sides and a removable panel.

The screen will be constructed of wood lattice to match VCC Guideline 10-11:

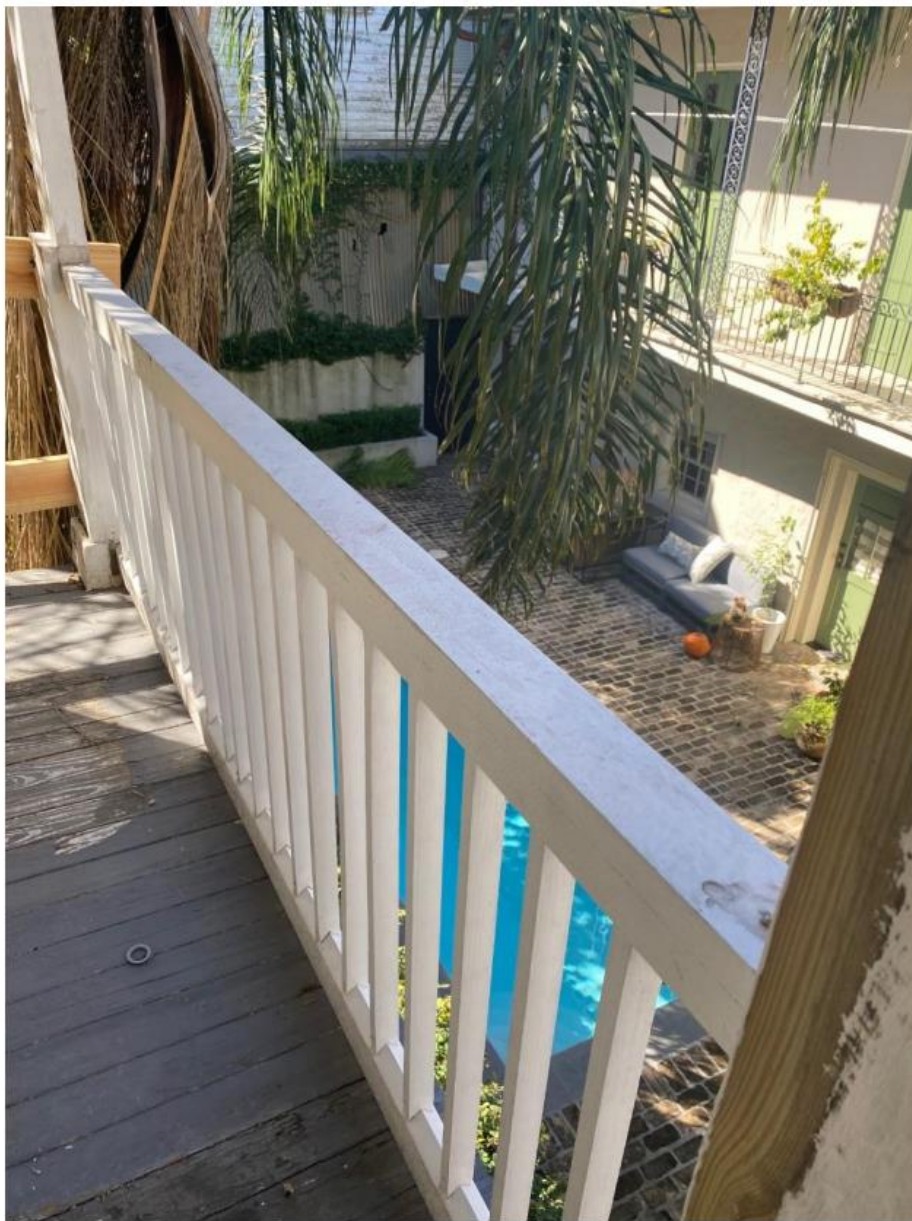
In addition to the review of a water feature, the VCC reviews all associated equipment such as a pump and/or filter. (Refer to *Mounted Equipment*.) This equipment might require screening with a wall, fence, shed or screen enclosure or perhaps with landscaping. (Refer to *Walls, Fences & Gates*, page 10-4 and *Small Structures, Sheds & Enclosures*, page 10-10.)

Screening is often required to conceal ground-mounted equipment. Air conditioner units are located behind the wood lattice.



We would also like to prepare and paint the entire assembly to match the shutters there: Benjamin Moore HC-178.



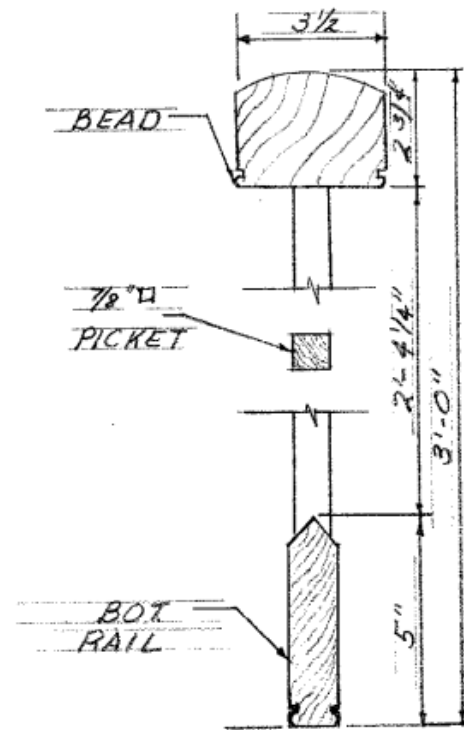


936 Esplanade

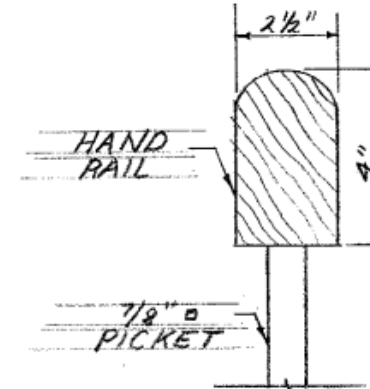
VCC Architectural Committee

December 8, 2020

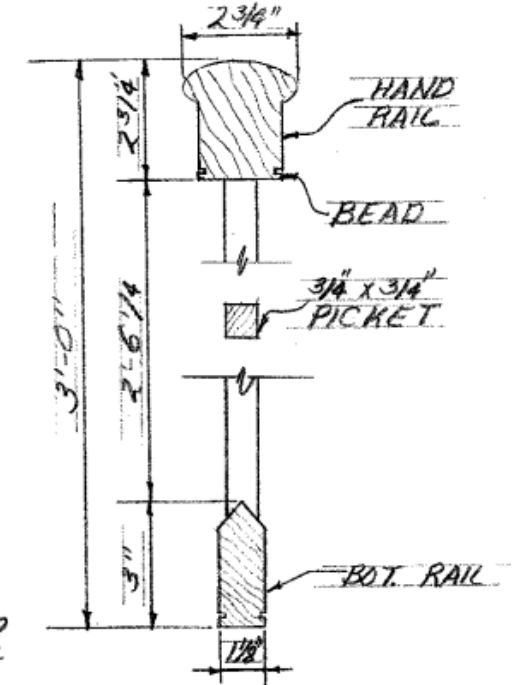




HAND RAIL N^o1
SCALE: 3"=1'-0"



HAND RAIL N^o2
SCALE: 3"=1'-0"



HAND RAIL N^o3
SCALE: 3"=1'-0"



936 Esplanade

VCC Architectural Committee

December 8, 2020





936 Esplanade

VCC Architectural Committee

December 8, 2020





936 Esplanade

VCC Architectural Committee

December 8, 2020



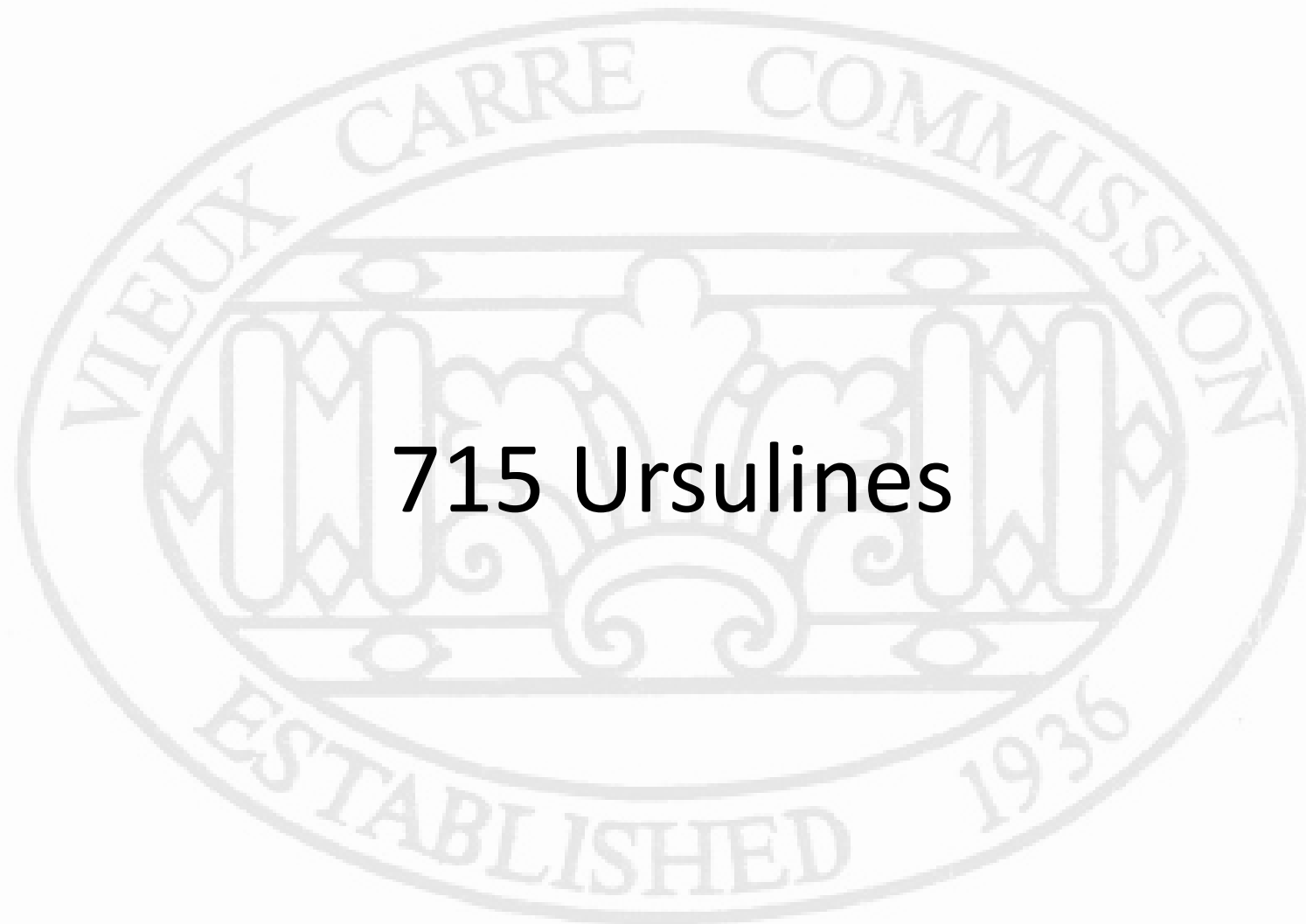


936 Esplanade

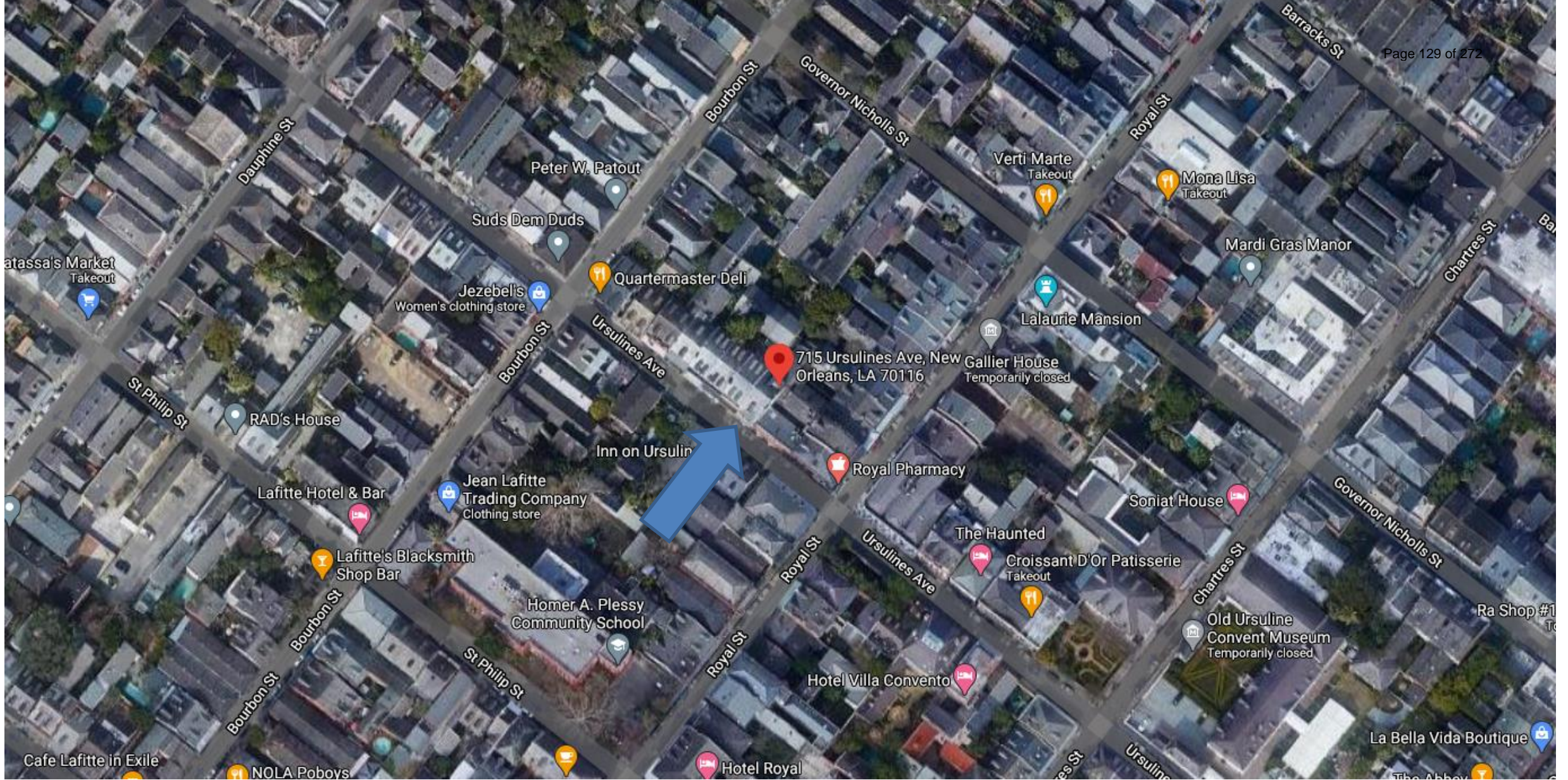
VCC Architectural Committee

December 8, 2020





715 Ursulines



715 Ursulines

VCC Architectural Committee

January 12, 2020





715 Ursulines

VCC Architectural Committee

January 12, 2020





715 Ursulines

VCC Architectural Committee

January 12, 2020





715 Ursulines

VCC Architectural Committee

January 12, 2020





715 Ursulines

VCC Architectural Committee

January 12, 2020



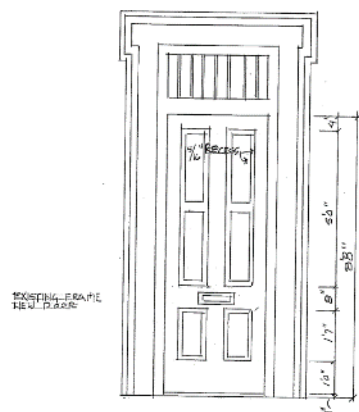


715 Ursulines
VCC Architectural Committee

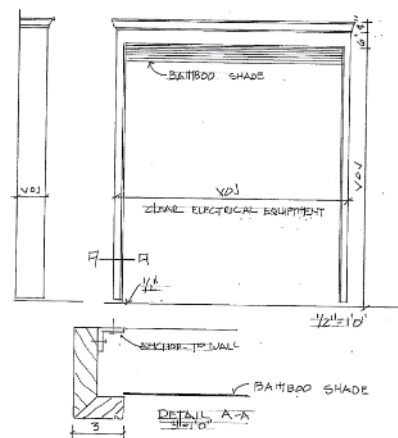
11 09 2020

January 12, 2020

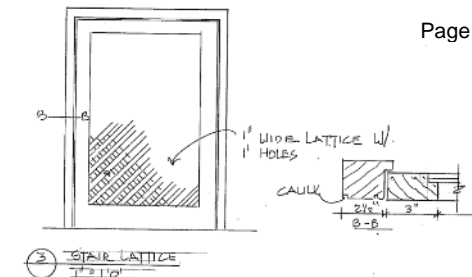




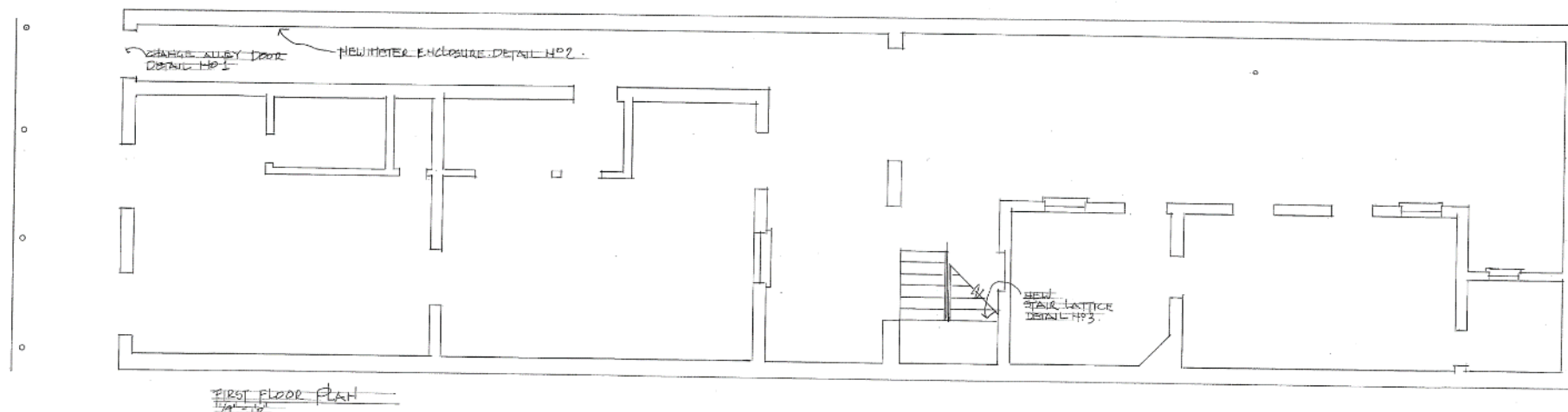
1 ALLEY DOOR
10'0" x 3'0"



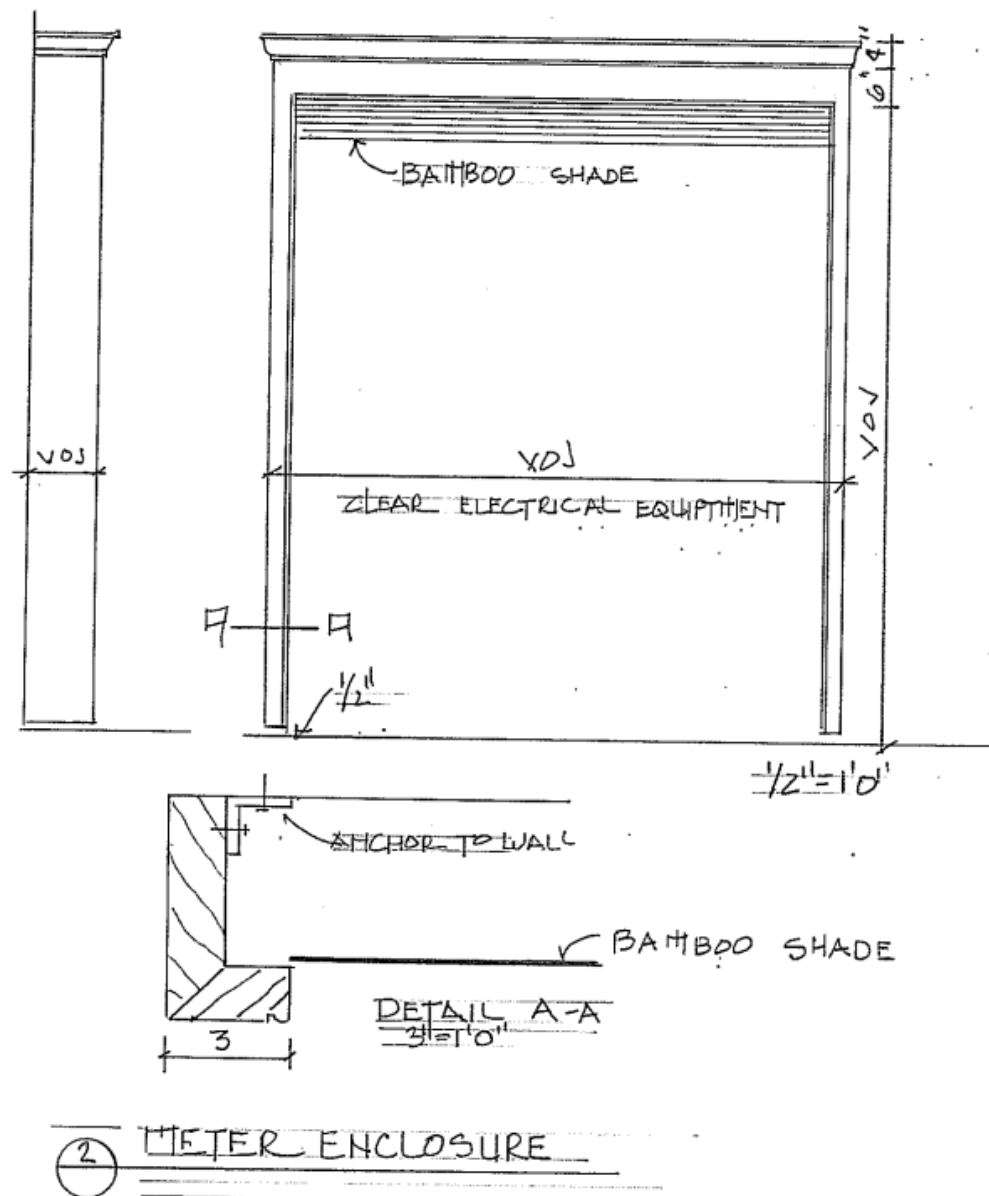
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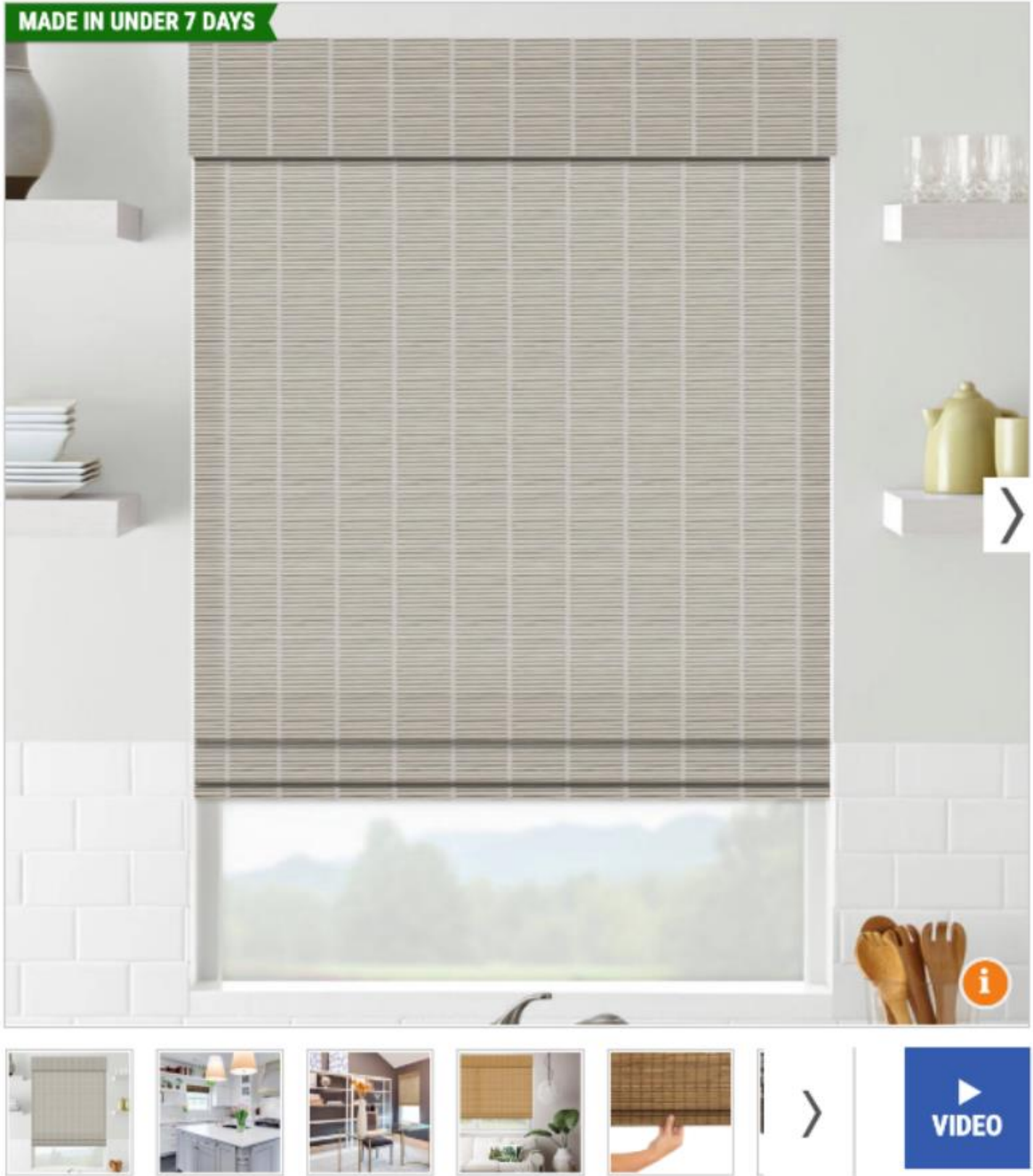


3 STAIR LATTICE
10'0" x 3'0"



FIRST FLOOR PLAN
10'0" x 3'0"





715 Ursulines

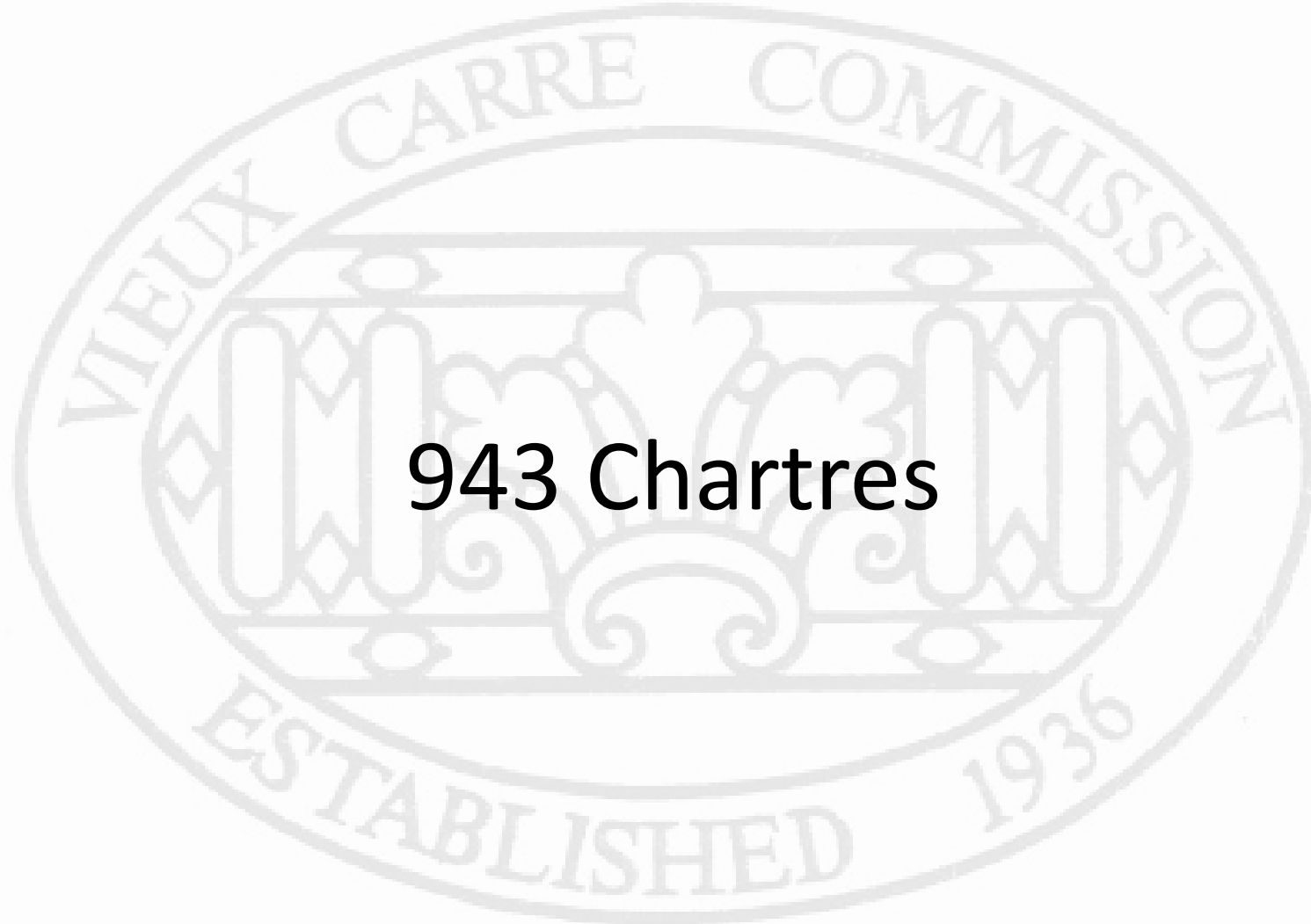
VCC Architectural Committee

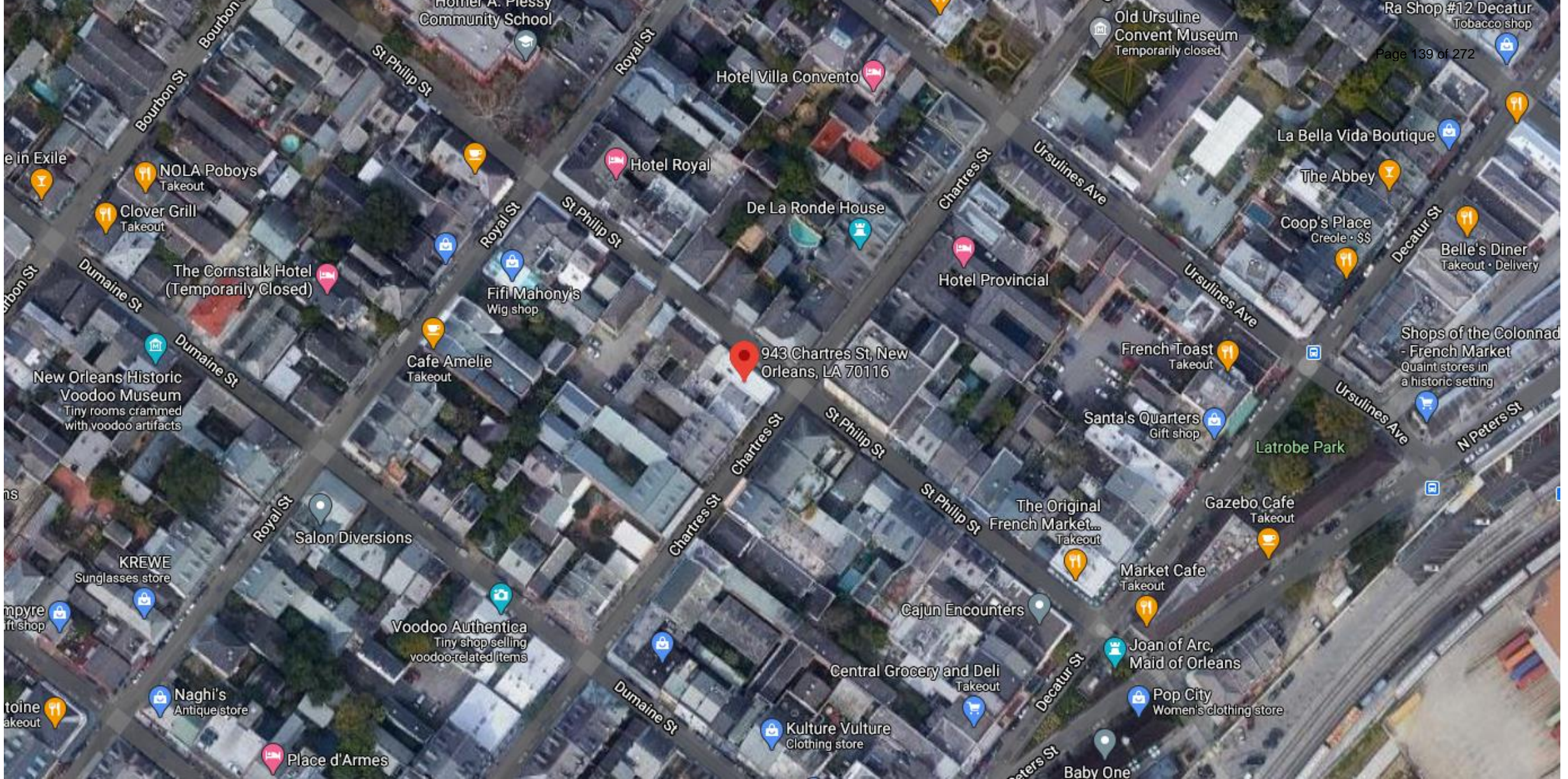
Color Shown: *Pickled Teakwood*
Image May Include Upgraded Options

January 12, 2020



943 Chartres





943 Chartres

VCC Architectural Committee

January 12, 2020





943 Chartres

VCC Architectural Committee

January 12, 2020





943 Chartres

VCC Architectural Committee

05 06 2020

January 12, 2020





943 Chartres

VCC Architectural Committee

January 12, 2020





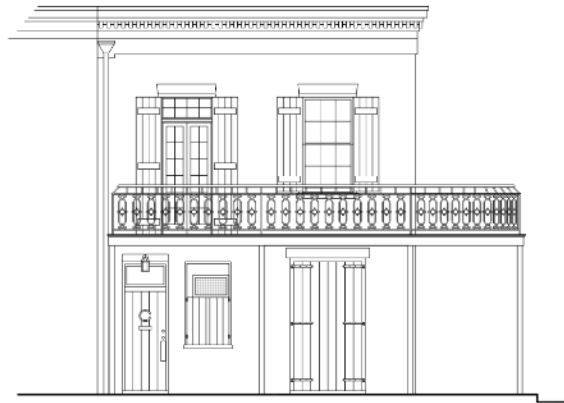
943 Chartres

VCC Architectural Committee

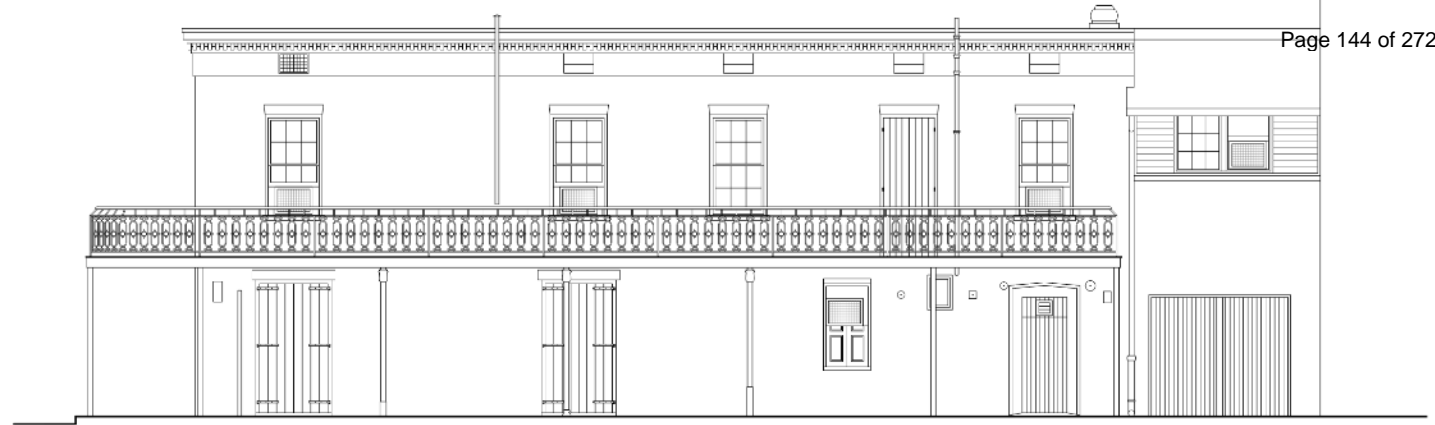
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January 12, 2020

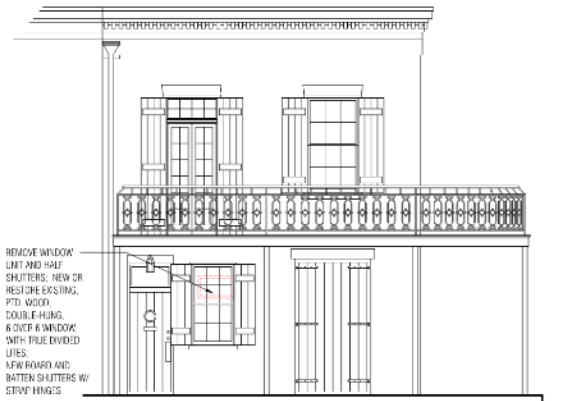




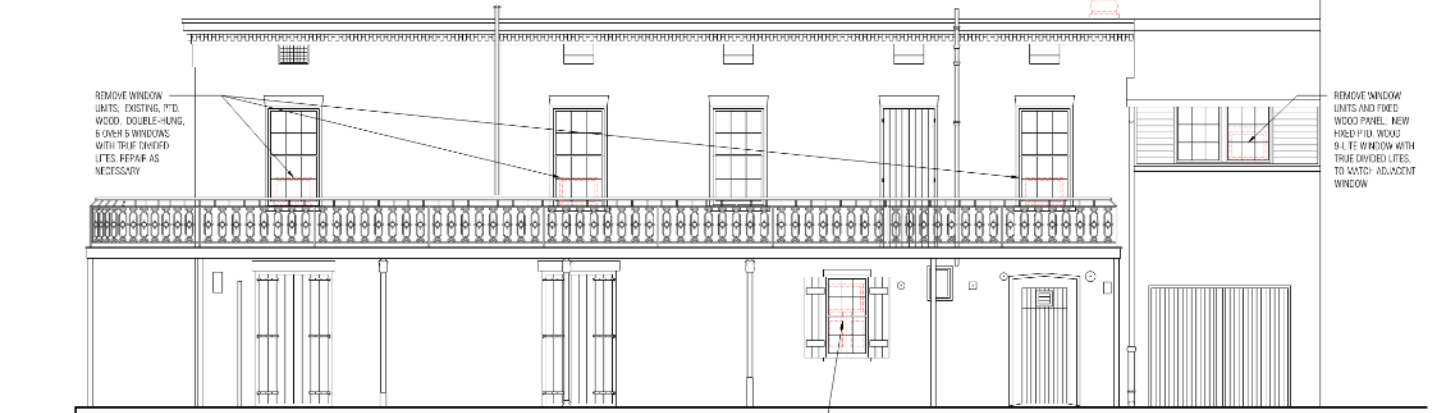
EXISTING CHARTRES STREET FRONT ELEVATION
SC: 1/4" = 1'-0"



EXISTING ST. PHILIP STREET SIDE ELEVATION
SC: 1/4" = 1'-0"



PROPOSED CHARTRES STREET FRONT ELEVATION
SC: 1/4" = 1'-0"



PROPOSED ST. PHILIP STREET SIDE ELEVATION
SC: 1/4" = 1'-0"

THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED UNDER MY CLOSE SUPERVISION, THEY COMPLY WITH ALL CITY REQUIREMENTS TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT PROVIDING A GUARANTEE OF ANY KIND.

ADMINISTERING THE Vieux Carré National Historic District is the responsibility of the National Historic Preservation Act, 16 U.S.C. 460, and the National Historic Preservation Act, 16 U.S.C. 460, and the National Historic Preservation Act, 16 U.S.C. 460.

1/4/2020



943 CHARTRES STREET
EXTERIOR MODIFICATIONS
New Orleans, Louisiana 70116



LKHarmon Architects
A Professional Architectural Corporation
6236 Argonne Boulevard
New Orleans, Louisiana 70124
504.485.5876 harmon@lkharmearchitects.com

NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24x36" SHEETS

12.21.2020

A1

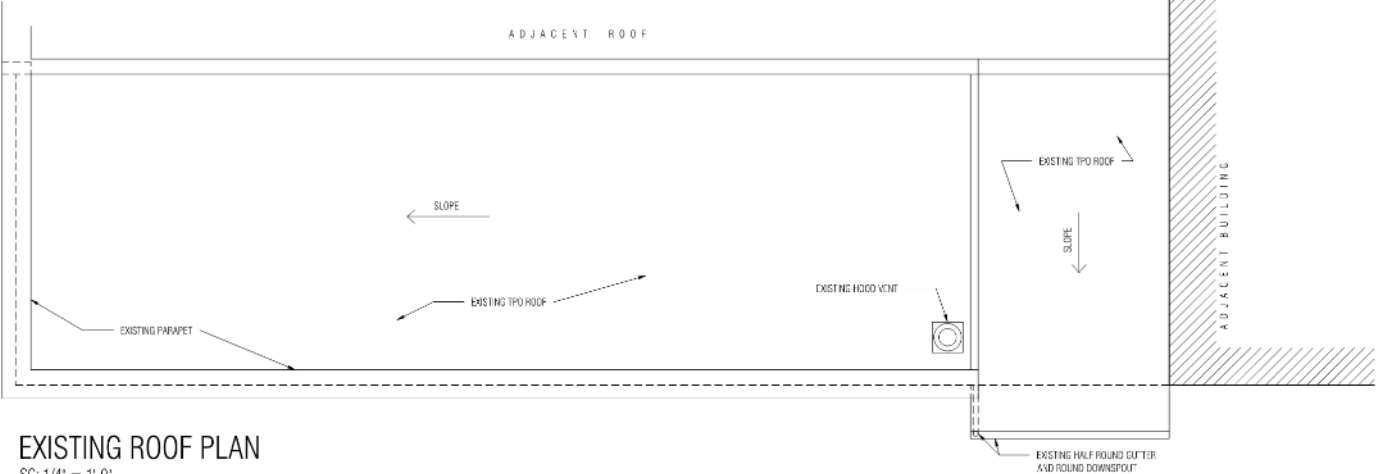
LKH #7520.1

943 Chartres

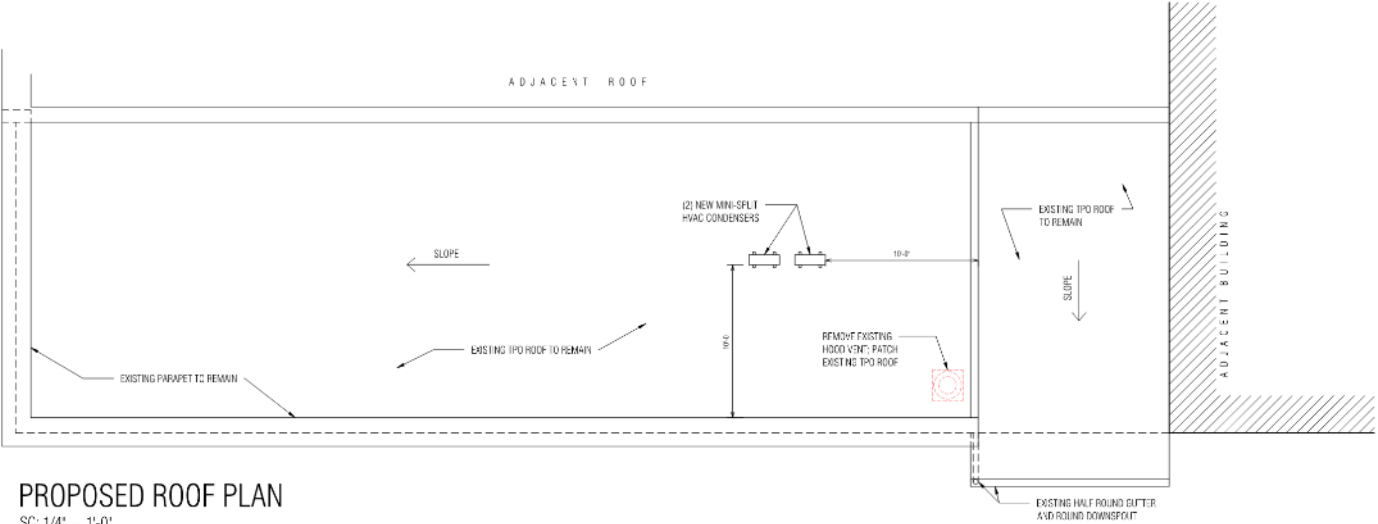
VCC Architectural Committee

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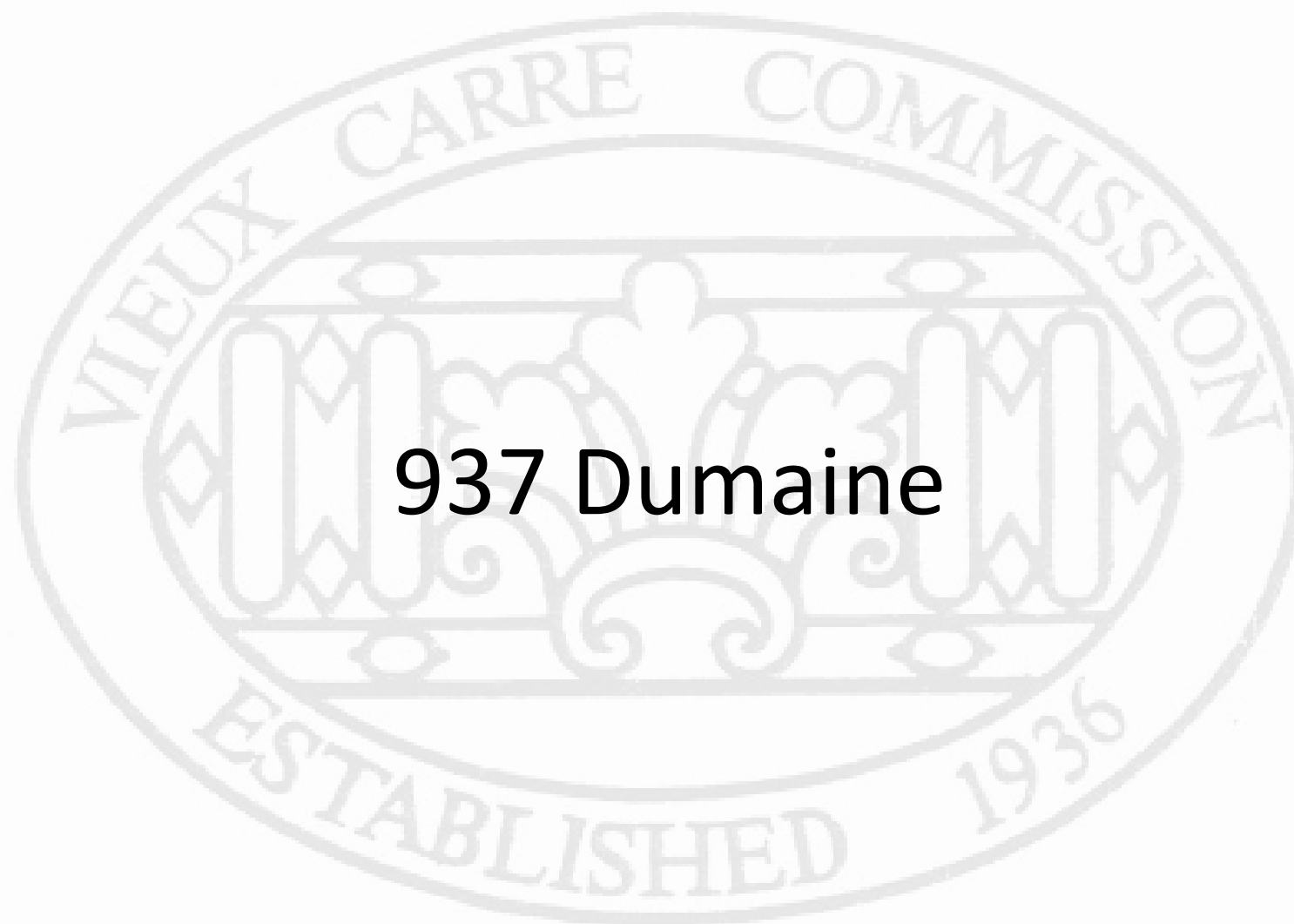


EXISTING ROOF PLAN
SC: 1/4" = 1'-0"

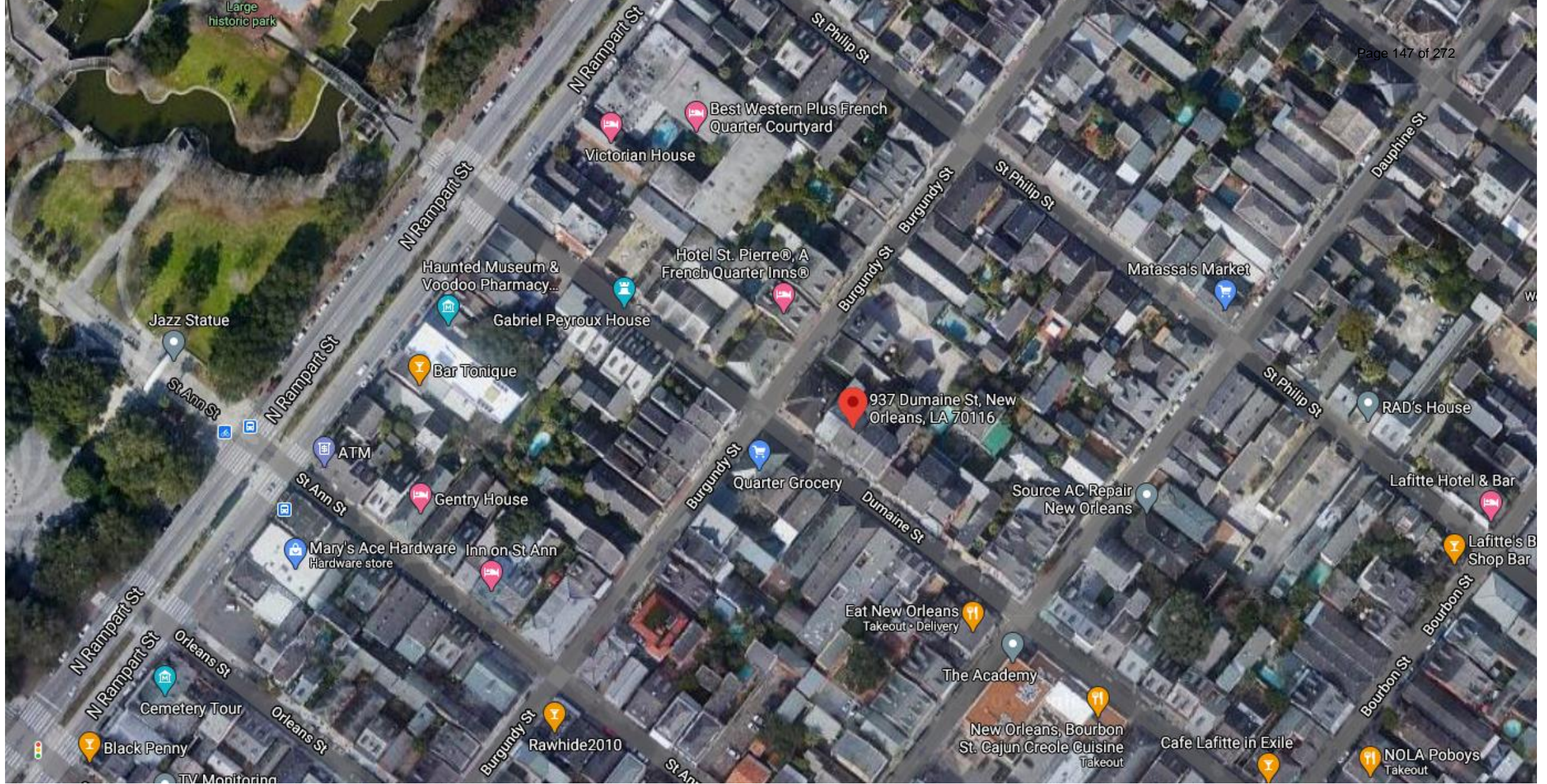


PROPOSED ROOF PLAN
SC: 1/4" = 1'-0"





937 Dumaine



937 Dumaine

VCC Architectural Committee

December 8, 2020





937 Dumaine

VCC Architectural Committee

December 8, 2020



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December 8, 2020





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December 8, 2020



937 Dumai
VCC Architect





04 19 2018





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04 30 2019

December 8, 2020







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937 Dumai
VCC Architect





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December 8, 2020



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04 30 2019

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04 30 2019





04 30 2019





937 Dumaine

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04 30 2019

December 8, 2020





937 Dumai
VCC Architect

04 30 2019



937 Dumai
VCC Architect



04 30 2019





937 Dumai
VCC Architect

04 30 2019



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable laws and requirements.

I have left no part of this project construction administrative services on this project.

SFM & CITY N.O. PERMIT SET

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 John C. Williams Architects LLC

937 DUMAINE STREET IMPROVEMENTS
 937 Dumaine Street New Orleans LA, 70116

BENCHMARK INFO

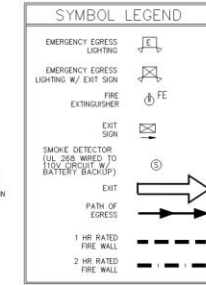
-REVISIONS-		
No.	Date	Scope

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 LIFE SAFETY DRAWINGS

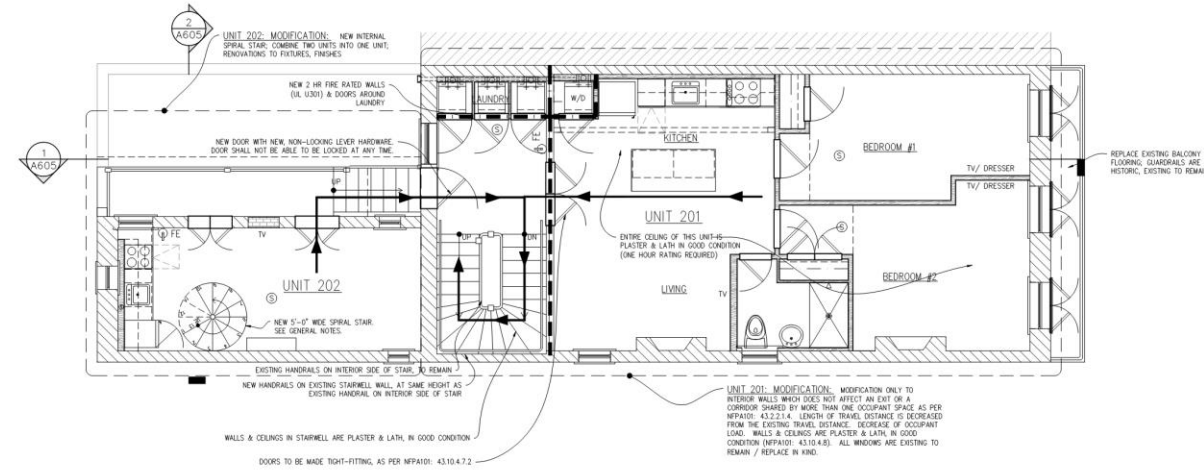
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 JCS No. S20035.00
 DATE 12.20.2020

Sheet No.

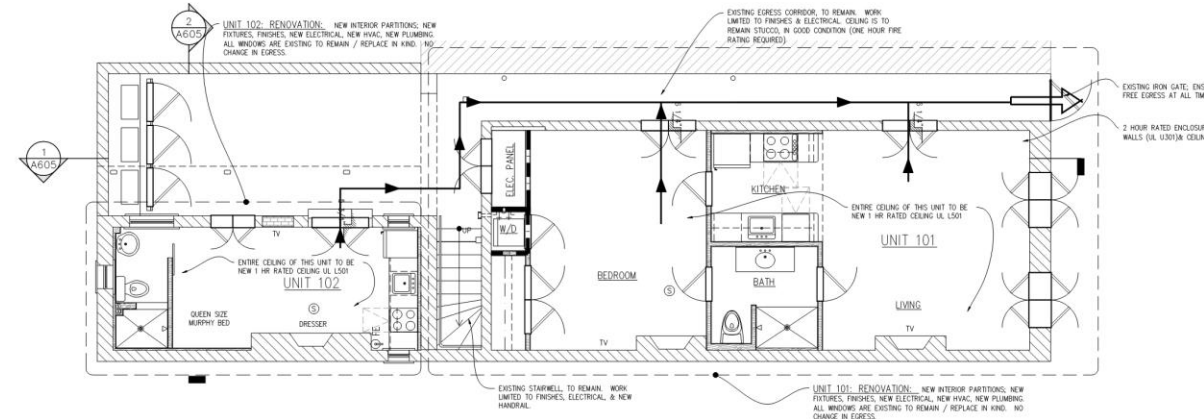
LS101



- GENERAL NOTES:**
- THE PROPOSED SPIRAL STAIR SHALL MEET THE FOLLOWING REQUIREMENTS OF 2018 NFPA 101:
 - THE CLEAR WIDTH OF THE STAIRS SHALL BE NOT LESS THAN 36 IN.
 - THE HEADROOM SHALL BE NOT LESS THAN 8 FT 6 IN. (2.93M).
 - THE HEADROOM SHALL BE NOT LESS THAN 8 FT 6 IN. (2.93M) AND AT A POINT 12 IN. (305MM) FROM THE HANDRAILS.
 - ALL HEADS SHALL BE DETECTED.
 - HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF THE STAIRWAY.
 - ALL DOORS WITH CHAMFELS TO BE MADE TO BE SIGN-STOPPING.
 - ALL PLASTER & LATH SHALL BE IN GOOD CONDITION TO REMAIN. ALL NEW AND BE FIRE-STOPPED AS PER CODE.
 - EXISTING GLAZING TO REMAIN. ALL NEW GLAZING IN HATCHWAYS LOCATING TO BE TAMPED GLAZES.
 - ALL SMOKE DETECTORS TO BE INTERCONNECTED THROUGHOUT THE BUILDING.



2 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

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These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not be providing project construction administrative services on this project.

SFM & CITY N.O. PERMIT SET

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937 DUMAINE STREET IMPROVEMENTS
 937 Dumaine Street New Orleans LA, 70116

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

DRAWING TITLE

LIFE SAFETY DRAWINGS

DRAWN BY: DBJ
 SCALE: VARIES
 JOB No.: 520035.00
 DATE: 12-29-2020

Sheet No.

LS102

SYMBOL LEGEND

EMERGENCY EGRESS LIGHTING

EMERGENCY EGRESS LIGHTING W/ EXIT SIGN

FIRE EXTINGUISHER

EXIT SIGN

SMOKE DETECTOR (UL 268, WIRED TO TYP. CIRCUIT W/ BATTERY BACKUP)

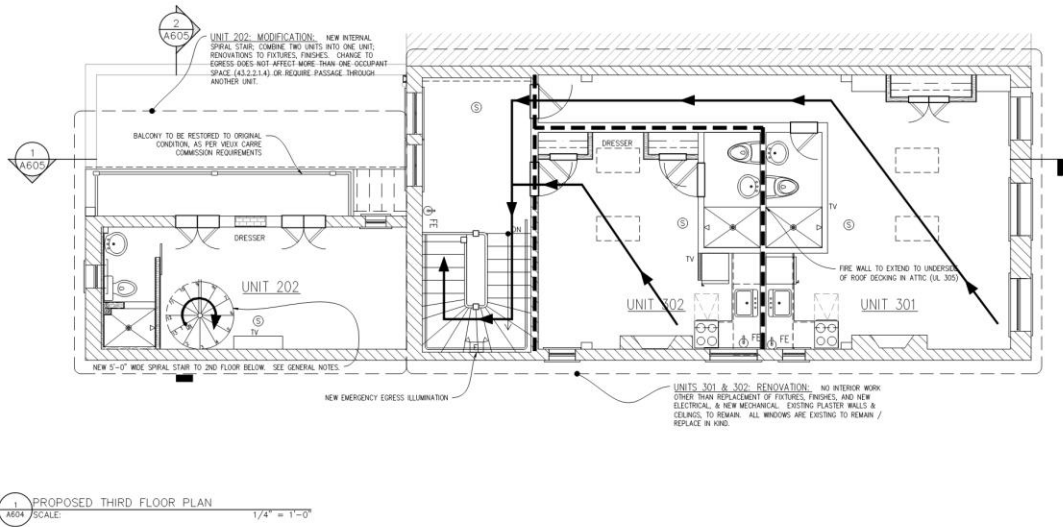
EXIT

PATH OF EGRESS

1 HR. RATED FIRE WALL

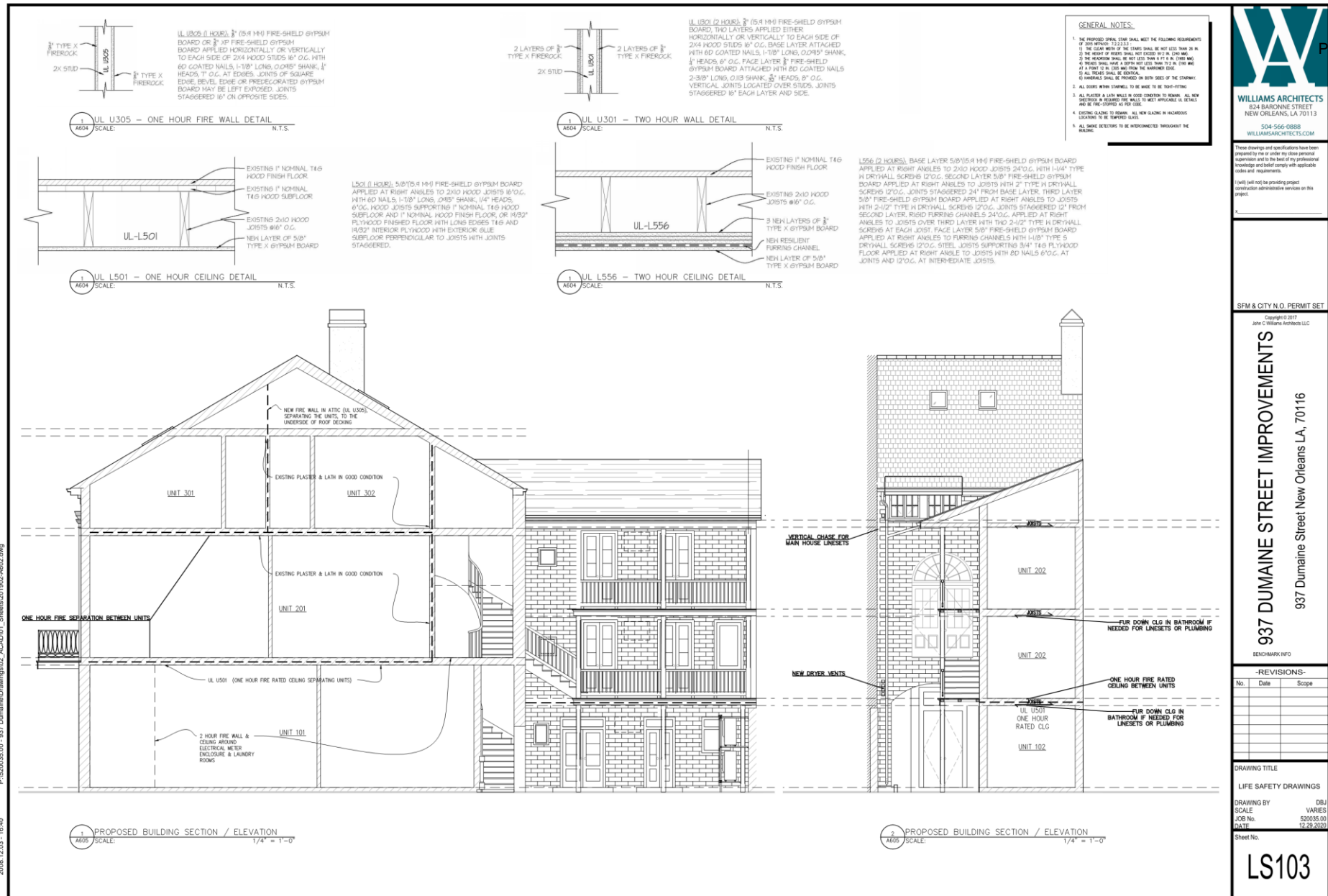
2 HR. RATED FIRE WALL

- GENERAL NOTES:**
1. THE PROPOSED SPIRAL STAIR SHALL MEET THE FOLLOWING REQUIREMENTS OF CITY ORDINANCE 12-12.1.1:
 - (1) THE CLEAR WIDTH OF THE STAIRS SHALL BE NOT LESS THAN 36 IN.
 - (2) THE HEIGHT OF RISERS SHALL NOT EXCEED 8 IN. CLEARING.
 - (3) THE HEADROOM SHALL BE NOT LESS THAN 8 FT 6 IN. (THIRD HAND) AS MEASURED FROM A STEPPED FLOOR FINISH TO THE TOP OF THE HEAD.
 - (4) A RAIL TO BE LOCATED FROM THE OUTSIDE OF THE STAIRS.
 - (5) ALL RISERS SHALL BE IDENTICAL.
 - (6) HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF THE STAIRS.
 2. ALL DOORS WITHIN STAIRWELL TO BE MADE TO BE TIGHT-FITTING.
 3. ALL PLASTER & LATH WALLS IN GOOD CONDITION TO REMAIN. ALL NEW STAIRWELL IN EXISTING FIRE WALLS TO MEET APPLICABLE CITY CODES AND BE FIRE-STOPPED AS PER CODE.
 4. EXISTING GLAZING TO REMAIN. ALL NEW GLAZING IN HEADROOMS LOCATIONS TO BE TAMPONED GLASS.
 5. ALL SMOKE DETECTORS TO BE INTERCONNECTED THROUGHOUT THE BUILDING.



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 2008.12.03 - 16:40





GENERAL NOTES:

1. THE PROPOSED SPECIAL STUDS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - (a) THE CLEAR WIDTH OF THE STUDS SHALL BE NOT LESS THAN 3 1/2" IN.
 - (b) THE HEIGHT OF STUDS SHALL NOT EXCEED 8 1/2" IN. OVERHANG.
 - (c) STUDS SHALL HAVE A TOP FLAT NOT LESS THAN 1/2" IN. (1/4" MAX) AT EACH END TO PREVENT THE STUDS FROM SLIDING.
 - (d) ALL STUDS SHALL BE IDENTICAL.
 - (e) STUDS SHALL BE PROVIDED IN BOTH SIDES OF THE STUDS.
2. ALL STUDS WITHIN STAMMELS TO BE MADE TO BE TIGHT-FITTING.
3. ALL PLASTER & LATH WALLS IN GOOD CONDITION TO REMAIN. ALL NEW PARTITIONS IN EXISTING FIRE WALLS TO BE SET APPLICABLE TO DETAILS AS PER CODE.
4. EXISTING CEILING TO REMAIN. ALL NEW CEILING IN HANGING LOCATIONS TO BE TAMPED SLABS.
5. ALL NEW CEILING TO BE INTERCONNECTED THROUGHOUT THE BUILDING.



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

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937 DUMAINE STREET IMPROVEMENTS
 937 Dumaine Street New Orleans LA, 70116

BENCHMARK INFO

-REVISIONS-		
No.	Date	Scope

DRAWING TITLE

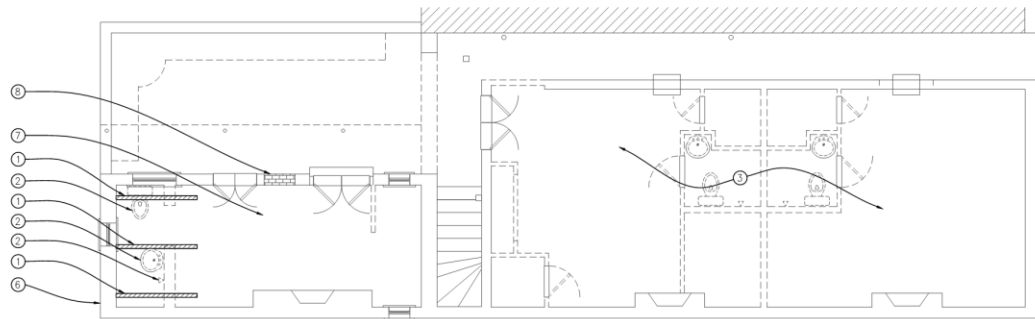
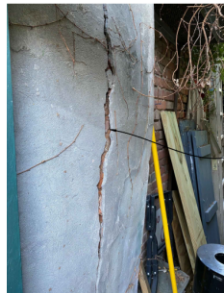
LIFE SAFETY DRAWINGS

DRAWING BY: DBI
 SCALE: VARIES
 JOB No.: 520035.00
 DATE: 12-29-2020

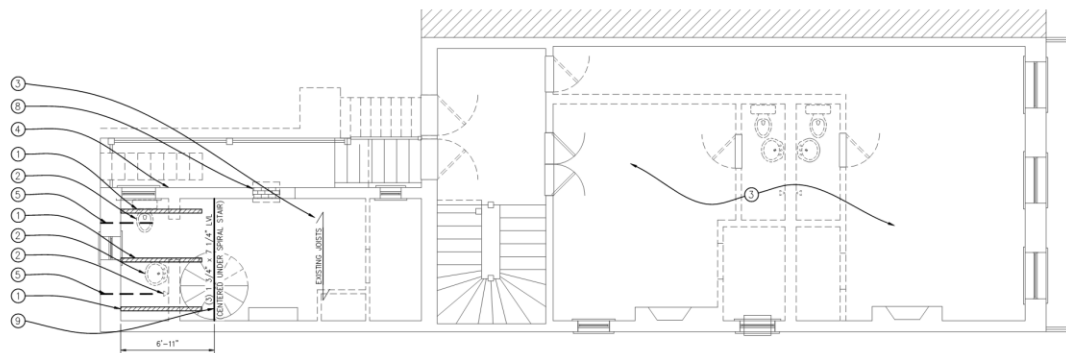
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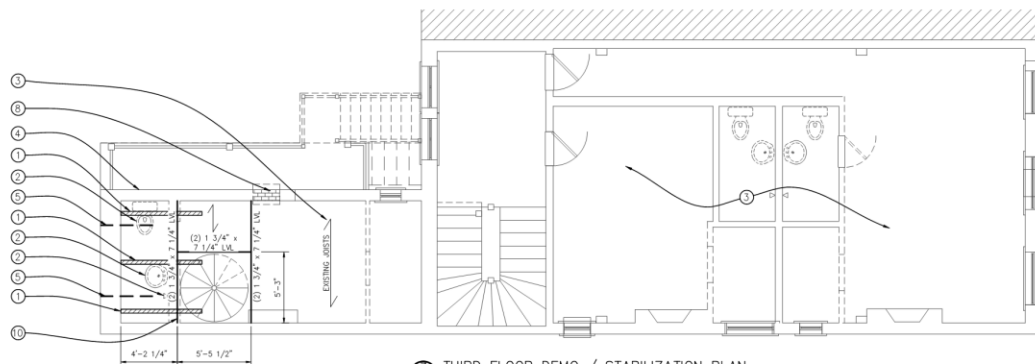




1 FIRST FLOOR DEMO / STABILIZATION PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR DEMO / STABILIZATION PLAN
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR DEMO / STABILIZATION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION SEQUENCE SCHEDULE	
SYMBOL	DESCRIPTION
1	SHORE IN PLACE AT THREE LOCATIONS WITH 24 @ 18" O.C. WALL SYSTEM. WALLS SHALL BE ERECTED STARTING AT THE GROUND FLOOR AND CONSTRUCTED UP TO THE THIRD FLOOR. 1. EXTERIOR WALL CONNECTION 2. CENTER OF JOIST 3. EXTERIOR WALL CONNECTION
2	ALL EXISTING BATHROOM SINKS, TOILETS, AND SHOWERS MAY BE REMOVED STARTING FROM THE THIRD FLOOR TO THE GROUND FLOOR.
3	INSPECT AND REPAIR EXISTING DAMAGED JOISTS AS NEEDED PER DETAIL 401.2. IF EXTENSIVE DAMAGE, THEN REPLACE JOISTS PER DETAIL 301.2.
4	TUCKPOINT ALL DAMAGED MASONRY AS NEEDED PER DETAILS 301.2 OR 301.2.
5	INSTALL TIE-BACKS AS SHOWN PER DETAIL 601.2.
6	EXISTING DAMAGED MASONRY WALL TO BE REPAIRED AS SHOWN PER DETAIL 301.2.
7	REMOVE EXISTING FLOORING TO INSTALL NEW CONCRETE SLAB ON GROUND FLOOR AS SHOWN PER DETAIL 701.2.
8	REPAIR EXISTING HVAC UNIT OPENING AS NEEDED PER DETAIL 301.2.
9	INSTALL LVL BEAM IN SECOND FLOOR FRAMING TO SUPPORT NEW SPIRAL STAIRS ABOVE. SEE DETAIL 801.2 FOR CONNECTION DETAIL.
10	INSTALL LVL BEAMS IN THIRD FLOOR FRAMING FOR OPENING FOR NEW SPIRAL STAIRS. SEE DETAILS 801.2 & 901.2 FOR CONNECTION DETAILS.

axis
ENGINEERING
CIVIL & STRUCTURAL
504.380.0800 INFO@AXISENGR.COM
3500 N. CAUSEWAY BLVD. #200
METairie, LOUISIANA 70002

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SCALED FROM SCHEDULES.
NOTES AND DIMENSIONS SHOULD
BE FOLLOWED AND NOT SCALED.

Proposed Renovations to
937 Dumaine St., New Orleans
Orleans Parish, Louisiana

SCALE:

REVISIONS:

TITLE:
DEMO /
STABILIZATION
FLOOR PLAN

Drawn By: MMF Checked By: JBR
Date: 12/04/2020 Proj. # 20180

S1.1

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MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL
LOCAL, REGIONAL AND NATIONAL REQUIREMENTS.
I AM NOT OBSERVING THE WORK.
ENGINEER: JAMES S. HEALUP
LICENSE NUMBER: 31593



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SCALED FROM SCHEDULES.
NOTES, AND DIMENSIONS SHOULD
BE FOLLOWED AND NOT SCALED.

**Proposed Renovations to
937 Dumaine St., New Orleans
Orleans Parish, Louisiana**

SEAL:

REVISIONS:

TITLE:

**REPAIR
DETAILS**

Drawn By: JMF Checked By: JMH
Date: 12/04/2020 Proj. # 20185

S1.2

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LOCAL, REGIONAL AND NATIONAL REQUIREMENTS.
I AM NOT OBSERVING THE WORK.
ENGINEER: JAMES B. HEADSLIP
LICENSE NUMBER: 31593

1. MULTI-WYTHE BRICK WALL REPAIR DETAIL
S1.2 SCALE: N.T.S.

2. CRACK REPAIR AT CORNER DETAIL
S1.2 SCALE: N.T.S.

3. REPAIR OF MASONRY WALLS DETAIL
S1.2 SCALE: N.T.S.

4. DAMAGED JOIST REPAIR DETAIL
S1.2 SCALE: 3/4" = 1'-0"

5. DAMAGED JOIST REPLACEMENT DETAIL
S1.2 SCALE: 3/4" = 1'-0"

6. JOIST TIE-BACK DETAIL
S1.2 SCALE: 3/4" = 1'-0"

7. GROUND FLOOR CONCRETE FLOORING DETAIL
S1.2 SCALE: 3/4" = 1'-0"

8. SPIRAL STAIRS LVL CONNECTION DETAIL
S1.2 SCALE: 3/4" = 1'-0"

9. SPIRAL STAIRS OPENING DETAIL
S1.2 SCALE: 3/4" = 1'-0"

DETAIL
SCALE: 1 1/2" = 1'-0" S1.2 S1.2

DETAIL
SCALE: 1 1/2" = 1'-0" S1.2 S1.2



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BENCHMARK INFO

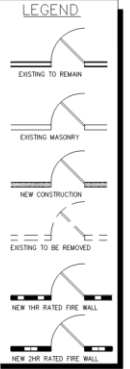
-REVISIONS-

No.	Date	Scope

DRAWING TITLE
 EXISTING / DEMO PLANS

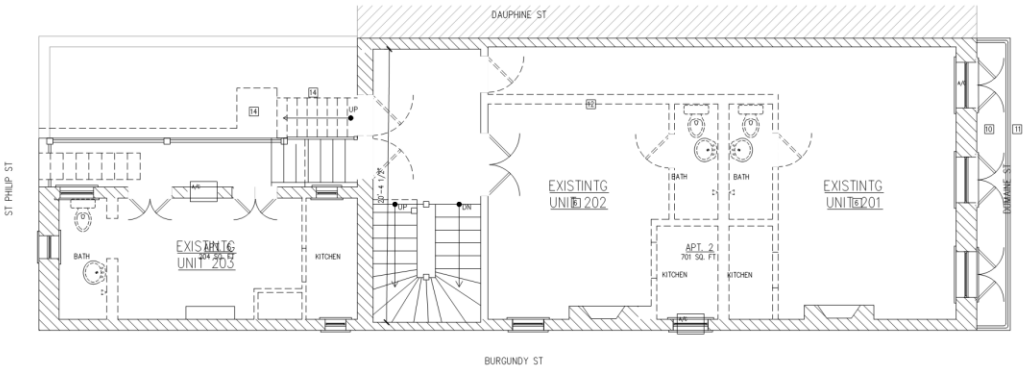
DRAWING BY DBJ
 SCALE VARIES
 JOB No. 620018.00
 DATE 12-29-2020

Sheet No.
A101

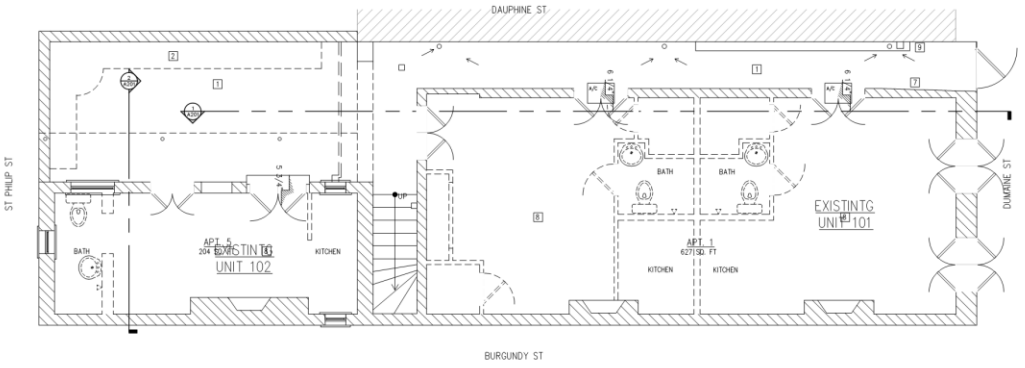


- DEMOLITION NOTES, GENERAL:**
1. REMOVE ALL WINDOW A/C UNITS AND INFILL OPENINGS
 2. REMOVE ALL DEFUNCT ELECTRICAL, PLUMBING, AND GAS LINES. REMOVE ELECTRICAL & GAS METERS
 3. REMOVE ALL VEGETATION FROM THE BUILDING
 4. REMOVE SIDEWALK AND REINSTALL AS REQUIRED TO REACH UNDERGROUND UTILITIES
 5. CONTACT GREEN PROJECT (504)945-0240 TO ARRANGE PICKUP OF SALVAGEABLE MILLWORK, APPLIANCES, ETC.

- DEMOLITION NOTES, SPECIFIC:**
- 1ST FLOOR PLAN**
1. REMOVE CONCRETE PAVING IN ALLEY & COURTYARD AS NECESSARY TO RUN NEW SUBSURFACE DRAINAGE & PLUMBING LINES
 2. REMOVE DETEIORATED BRICK PLANTER BEDS
 3. INVESTIGATE CONDITION OF CHIMNEY CAPS AND FLASHING. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 4. INVESTIGATE CONDITION OF BRICK AND TERRACOTTA ROOF PARAPET FOR LEAKS. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 5. REPLACE DOWNSPOUT.
 6. REMOVE CARPET THROUGHOUT AND INVESTIGATE CONDITION OF WOOD FLOORING
 7. FIRST FLOOR: REMOVE AREA OF BRICK WALL TO RECEIVE NEW OPENING FOR ELECTRICAL CLOSET
 8. REMOVE FIRST FLOOR JOISTS THROUGHOUT, TO ALLOW FOR NEW CONCRETE FLOOR
 9. REMOVE ELECTRICAL ENCLOSURE AND METERS
- SECOND FLOOR**
10. REMOVE FRONT BALCONY DECKING
 11. REMOVE FRONT BALCONY RAILING AND SAVE FOR REINSTALLATION
 12. CONTACT ARCHITECT DURING DEMOLITION, PRIOR TO WALL REMOVAL, TO ENSURE THAT IT IS NOT LOAD-BEARING
- THIRD FLOOR**
13. REMOVE WATER HEATER
 14. REMOVE STAIRS TO THIRD FLOOR, LANDING, AND LANDING SUPPORT BRACKETS
 15. REMOVE SKYLIGHT DRAIN SYSTEM & SEAL SHUT



2 EXISTING / DEMO SECOND FLOOR PLAN
 A101 SCALE: 1/4" = 1'-0"



1 EXISTING / DEMO FIRST FLOOR PLAN
 A101 SCALE: 1/4" = 1'-0"

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BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

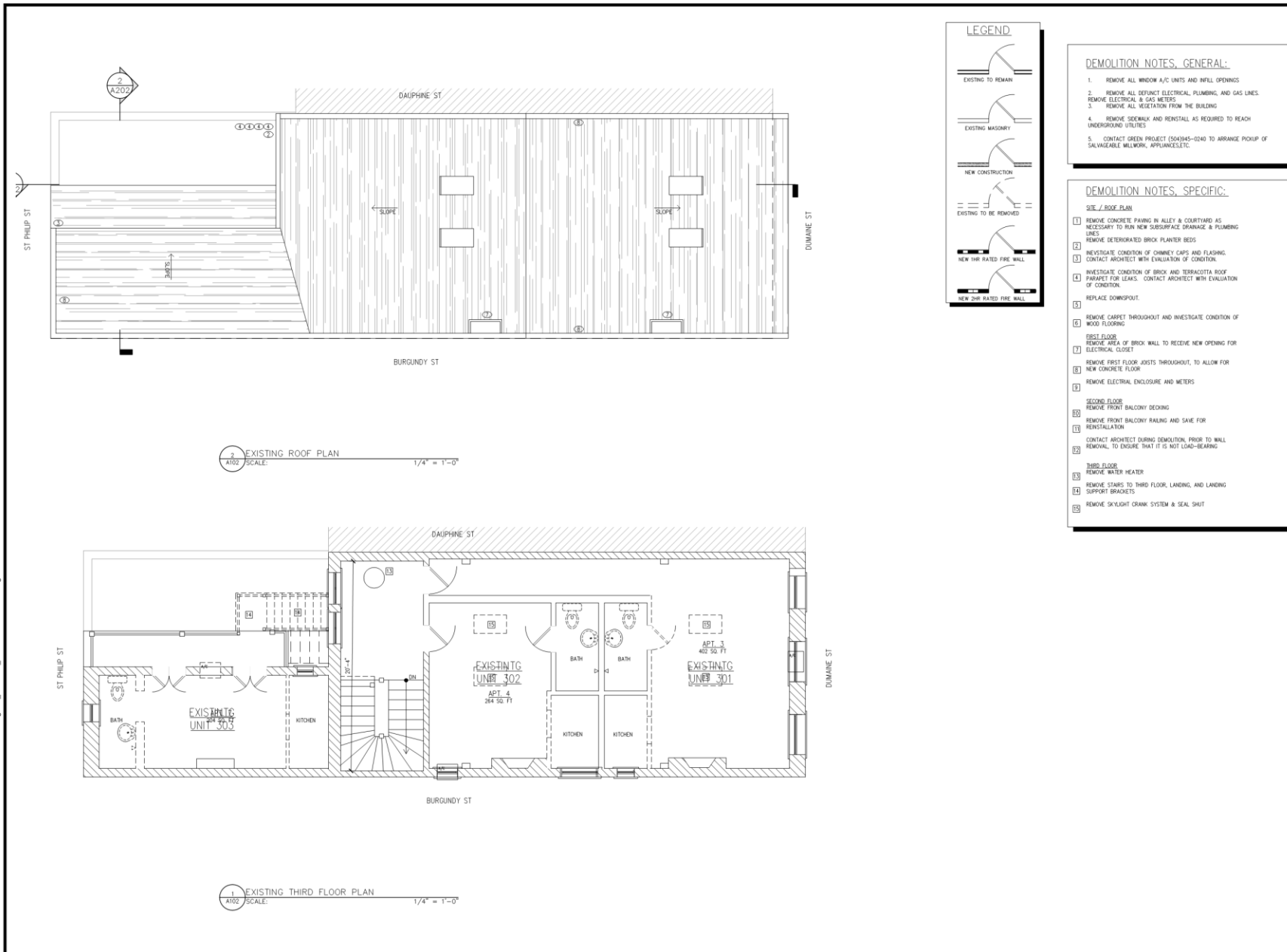
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EXISTING / DEMO PLANS

DRAWING BY DBJ
SCALE VARIES
JOB No. 520035.00
DATE 12-29-2020

Sheet No.

A102



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BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

DRAWING TITLE

PROPOSED FLOOR PLANS

DRAWING BY: DBU
SCALE: VARIOUS
JOB NO: 520035.00
DATE: 12.29.2020

Sheet No.

A103

LEGEND

EXISTING TO REMAIN

EXISTING MASONRY

NEW CONSTRUCTION

EXISTING TO BE REMOVED

NEW 1HR RATED FIRE WALL

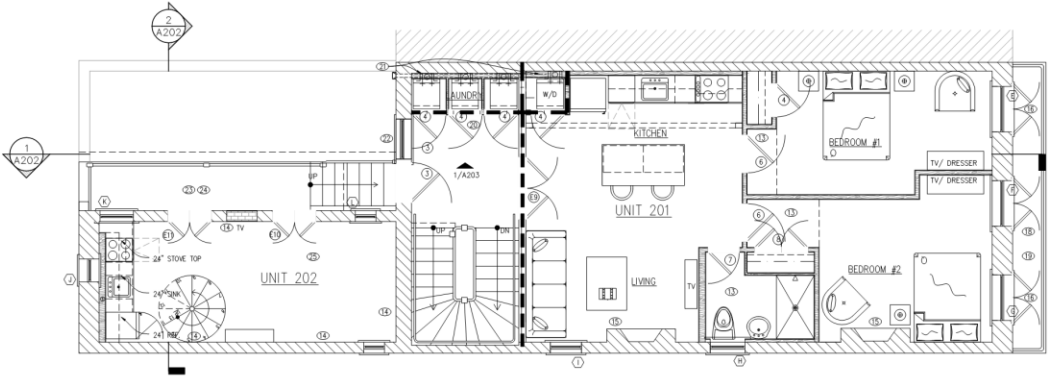
NEW 2HR RATED FIRE WALL

- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS INDICATED OTHERWISE
 2. ALL WORK TO MEET THE STANDARDS OF, AND BE INSPECTED AND APPROVED BY:
STATE FIRE MARSHAL
NEW ORLEANS COMMISSION
STATE HISTORIC PRESERVATION OFFICE / NATIONAL PARK SERVICE
(HISTORIC TAX CREDITS)
CITY OF NEW ORLEANS DEPT. OF SAFETY AND PERMITS
INTERIORITY, SEWERAGE & WATER BOARD
 3. SEE STRUCTURAL, MECHANICAL, ELECTRICAL & PLUMBING ENGINEERING DRAWINGS
 4. INSTALL INTERCONNECTED SMOKE DETECTORS THROUGHOUT BUILDING
 5. ALL BEDROOMS TO INCLUDE EITHER ONE EXPRESSIBLE WINDOW OR SECONDARY DOOR

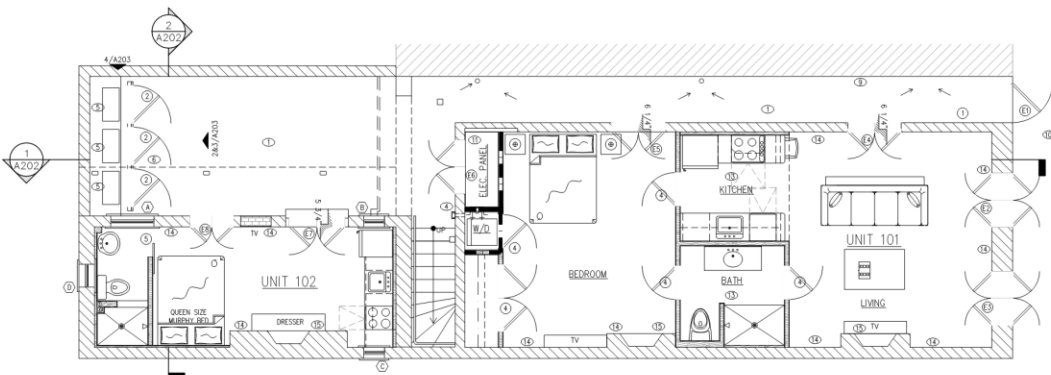
- PROPOSED NOTES, SPECIFIC:**
- ROOF / SITE PLAN**
- 1. INSTALL BRUSHED CONCRETE IN ALLEY AND COURTYA
 - 2. REPLACE ROUND DOWNSPOUT
 - 3. NEW CONDENSER LINES CONCEALED IN BAKED FINISH ALUMINUM CONE
 - 4. BAKED FINISH ALUMINUM DRIVER VENT
 - 5. 10' NEW CONDENSERS ON RACED PLATFORM
 - 6. #1.5 WOOD ENCLOSURE WITH LATTICE SCREEN & DOORS AROUND CONDENSERS. SEE SHEET A203.
 - 7. INVESTIGATE CONDITION OF CHIMNEY CAPS AND FLASHING. CONTACT ARCHITECT WITH EVALUATION OF CONDITION
 - 8. WATERPROOF PARAPET CAPS WITH NEW MORTAR CAPS W/ EMBEDDED MESH. SEE DETAIL
 - 9. WATER METER FOR ENTIRE BUILDING. SEE MEP ENGINEERING DRAWINGS
 - 10. INFILL SIDEWALK AS REQUIRED AFTER WORK ON UNDERGROUND UTILITIES HAVE BEEN COMPLETED
- FIRST FLOOR**
- 11. NEW ELECTRICAL METERS IN NEW 2 HR RATED ENCLOSURE. SEE SHEET A203.
 - 12. NOT USED
 - 13. LOWER CEILING (IF MINIMUM) TO ACCOMMODATE HVAC AND ELECTRIC WATER HEADERS
 - 14. NEW PLASTER OVER EXISTING BRICK WALLS
 - 15. NEW PAINTED WOOD MANTLE & FIREPLACE SURROUND
 - 16. OPERABLE EGRESS WINDOW. SEE WINDOW SCHEDULE FOR SIZE REQUIREMENTS
 - 17. NEW CONTINUOUS ROUND HANDRAIL ALONG WALL. MATCH HEIGHT AND PROFILE OF EXISTING HANDRAIL
- SECOND FLOOR**
- 18. NEW AERATIS HERITAGE TAG BALCONY DECKING. SEE SHEET A203.
 - 19. REPAIR, REPAINT, AND REINSTALL IRON RAILING
 - 20. 2 HR RATED ENCLOSURE FOR COMMON LAUNDRY
 - 21. FUR OUT WALL FOR VENTS
 - 22. NEW WOOD GUARDRAIL, TO MATCH REAR BALCONY
 - 23. REPAIR & REPLACE DAMAGED TAG FLOOR BOARDS. PAINT TO MATCH
 - 24. REPAIR & REPLACE TRIM, RAILING, AND BALUSTERS
 - 25. NEW 1'-0" WIDE CODE COMPLIANT IRON SPIRAL STAIR WITH WOOD TREADS. PROVIDE SHOP DRAWINGS
- THIRD FLOOR**
- 26. NEW TAG #1.5 WOOD SUFFIT, RUN PERPENDICULAR TO BUILDING. VENT CAVITY WITH NEW BAKED FINISH ALUMINUM SUFFIT SMOKE VENTS ALONG OUTSIDE EDGE OF OVERHANG. PAINT TO MATCH SUFFIT.

- MASONRY / PLASTER NOTES:**
1. EXISTING EXPOSED BRICK (INTERIOR) WALLS TO BE REPAIRED AND COVERED WITH PLASTER
 2. EXISTING INTERIOR PLASTER WALLS AND CEILINGS TO BE REPAIRED
 3. NEW INTERIOR WALLS TO RECEIVE SHEETROCK
 4. SEPARATION BETWEEN THE UNITS SHALL BE ONE HOUR FIRE RATED. PLASTER CEILINGS AND WALLS IN GOOD CONDITION SUFFICE FOR 1 HOUR RATING
 5. EXISTING EXTERIOR BRICK WALLS TO BE TOUCHUPPED WITH LOW PORTLAND, TYPE O MORTAR
 6. EXISTING EXTERIOR PLASTER WALLS ARE COVERED WITH A NON-BREATHABLE PAINT. WORK WITH ARCHITECT, MEP, AND VCC TO DETERMINE BEST COURSE OF ACTION TO REMOVE NON-BREATHABLE PAINT AND RESTORE PLASTER WALLS
 7. INFILL OPENINGS FROM A/C UNITS WITH MATCHING BRICK, LACED IN EXISTING BRICK, USING LOW-PORTLAND, TYPE O MORTAR

- MILLWORK NOTES:**
1. WINDOWS, EXTERIOR DOORS, AND SHUTTERS TO BE CUSTOM MILLED TO MATCH EXISTING. DETAILS SUBJECT TO APPROVAL OF VCC AND NPS. SHOP DRAWINGS REQUIRED
 2. INTERIOR DOORS TO BE NEW SOLID WOOD. SEE DOOR SCHEDULE
 3. FLOORING THROUGHOUT (EXCEPT BATHROOMS) TO BE SOLID WOOD, TO MATCH EXISTING
 4. BASEBOARDS TO BE FURRED OUT ON PLASTER WALLS TO RECEIVE WIRING AND OUTLETS
 5. WOOD BASEBOARDS AND CASINGS TO MATCH EXISTING
 6. INSTALL NEW VAPOR BARRIER UNDER NEW FLOORING, FIRST FLOOR



2. PROPOSED SECOND FLOOR PLAN
A103 SCALE: 1/4" = 1'-0"



1. PROPOSED FIRST FLOOR PLAN
A103 SCALE: 1/4" = 1'-0"

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BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

DRAWING TITLE

PROPOSED FLOOR PLANS

DRAWING BY: DBU
SCALE: VARIES
JOB No: 520035.00
DATE: 12.29.2020

Sheet No.

A104

LEGEND

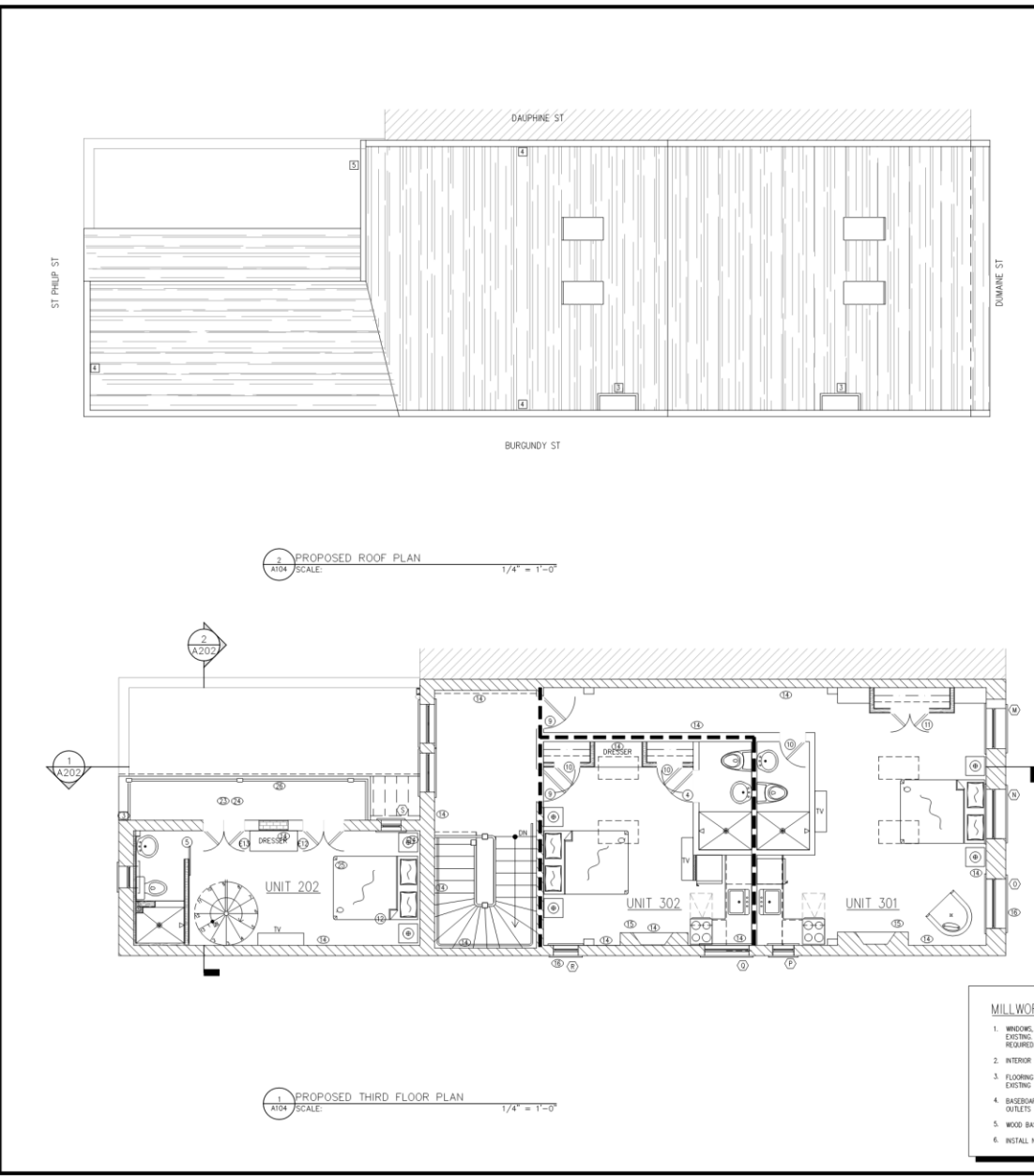
- EXISTING TO REMAIN
- EXISTING MASONRY
- NEW CONSTRUCTION
- EXISTING TO BE REMOVED
- NEW 1HR RATED FIRE WALL
- NEW 2HR RATED FIRE WALL

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS INDICATED OTHERWISE
 - ALL WORK TO MEET THE STANDARDS OF, AND BE INSPECTED AND APPROVED BY:
STATE FIRE MARSHALL
NEW ORLEANS COMMISSION
STATE HISTORIC PRESERVATION OFFICE / NATIONAL PARK SERVICE
(HISTORIC TAX CREDITS)
CITY OF NEW ORLEANS DEPT. OF SAFETY AND PERMITS
INTERIOR, SEWERAGE & WATER BOARD
 - SEE STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING ENGINEERING DRAWINGS
 - INSTALL INTERCONNECTED SMOKE DETECTORS THROUGHOUT BUILDING
 - ALL BEDROOMS TO INCLUDE EITHER ONE EXPRESSIBLE WINDOW OR SECONDARY DOOR

- PROPOSED NOTES, SPECIFIC:**
- ROOF / SITE PLAN**
- ① INSTALL BRUSHED CONCRETE IN ALLEY AND COURTYA
 - ② REPLACE ROUND DOWNGROUT
 - ③ NEW CONDENSER LINES CONCEALED IN BAKED FINISH ALUMINUM CONE
 - ④ BAKED FINISH ALUMINUM DRYER VENT
 - ⑤ (6) NEW CONDENSERS ON RAISED PLATFORM
 - ⑥ P-T WOOD ENCLOSURE WITH LATTICE SCREEN & DOORS AROUND CONDENSERS. SEE SHEET A201
 - ⑦ INVESTIGATE CONDITION OF CHIMNEY CAPS AND FLASHING. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 - ⑧ WATERPROOF PARAPET CAPS WITH NEW MORTAR CAPS W/ EMBEDDED MESH. SEE DETAIL
 - ⑨ WATER METER FOR ENTIRE BUILDING. SEE MEP ENGINEERING DRAWINGS
 - ⑩ INFILL SIDEWALK AS REQUIRED AFTER WORK ON UNDERGROUND UTILITIES HAVE BEEN COMPLETED
- FIRST FLOOR**
- ⑪ NEW ELECTRICAL METERS IN NEW 2 HR RATED ENCLOSURE. SEE SHEET A201
 - ⑫ NOT USED
 - ⑬ LOWER CEILING (IF MINIMUM) TO ACCOMMODATE HVAC AND ELECTRIC WATER HEATERS
 - ⑭ NEW PLASTER OVER EXISTING BRICK WALLS
 - ⑮ NEW PAINTED WOOD MANTLE & FIREPLACE SURROUND
 - ⑯ OPERABLE EXPRESS WINDOW. SEE WINDOW SCHEDULE FOR SIZE REQUIREMENTS
 - ⑰ NEW CONTINUOUS ROUND HANDRAIL ALONG WALL. MATCH HEIGHT AND PROFILE OF EXISTING HANDRAIL
- SECOND FLOOR**
- ⑱ NEW HERATOS HERITAGE TAG BALCONY SICKING. SEE SHEET A201
 - ⑲ REPAIR, REPAINT, AND REINSTALL IRON RAILING
 - ⑳ 2 HR RATED ENCLOSURE FOR COMMON LAUNDRY
 - ㉑ FUR OUT WALL FOR VENTS
 - ㉒ NEW WOOD GUARDRAIL, TO MATCH REAR BALCONY
 - ㉓ REPAIR & REPLACE DAMAGED TAG FLOOR BOARDS. PAINT TO MATCH
 - ㉔ REPAIR & REPLACE TRIM, RAILING, AND BALUSTERS
 - ㉕ NEW 5'-0" WIDE CODE COMPLIANT IRON SPIRAL STAIR WITH WOOD TREADS. PROVIDE SHOP DRAWINGS
- THIRD FLOOR**
- ㉖ NEW TAG P.T. WOOD SOFFIT, RUN PERPENDICULAR TO BUILDING. VENT CAVITY WITH NEW BAKED FINISH ALUMINUM SOFFIT STRIP VENTS ALONG OUTSIDE EDGE OF OVERHANG. PAINT TO MATCH SOFFIT.

- MASONRY / PLASTER NOTES:**
- EXISTING EXPOSED BRICK (INTERIOR) WALLS TO BE REPAIRED AND COVERED WITH PLASTER
 - EXISTING INTERIOR PLASTER WALLS AND CEILINGS TO BE REPAIRED
 - NEW INTERIOR WALLS TO RECEIVE SHEETROCK
 - SEPARATION BETWEEN THE UNITS SHALL BE ONE HOUR FIRE RATED. PLASTER CEILING AND WALLS IN GOOD CONDITION SUITABLE FOR 1 HOUR RATING
 - EXISTING EXTERIOR BRICK WALLS TO BE TUCKPOINTED WITH LOW PORTLAND, TYPE 0 MORTAR
 - EXISTING EXTERIOR PLASTER WALLS ARE COVERED WITH A NON-BREATHABLE PAINT. WORK WITH ARCHITECT, NP&A, AND VCC TO DETERMINE BEST COURSE OF ACTION TO REMOVE NON-BREATHABLE PAINT AND RESTORE PLASTER
 - WALLS INFILL OPENINGS FROM A/C UNITS WITH MATCHING BRICK, LACED IN EXISTING BRICK USING LOW-PORTLAND, TYPE 0 MORTAR

- MILLWORK NOTES:**
- WINDOWS, EXTERIOR DOORS, AND SHUTTERS TO BE CUSTOM MILLED TO MATCH EXISTING. DETAILS SUBJECT TO APPROVAL OF VCC AND NP&S SHOP DRAWINGS REQUIRED
 - INTERIOR DOORS TO BE NEW SOLID WOOD. SEE DOOR SCHEDULE
 - FLOORING THROUGHOUT (EXCEPT BATHROOMS) TO BE SOLID WOOD, TO MATCH EXISTING
 - BASEBOARDS TO BE FURRED OUT ON PLASTER WALLS TO RECEIVE WIRING AND OUTLETS
 - WOOD BASEBOARDS AND CASINGS TO MATCH EXISTING
 - INSTALL NEW VAPOR BARRIER UNDER NEW FLOORING, FIRST FLOOR





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BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

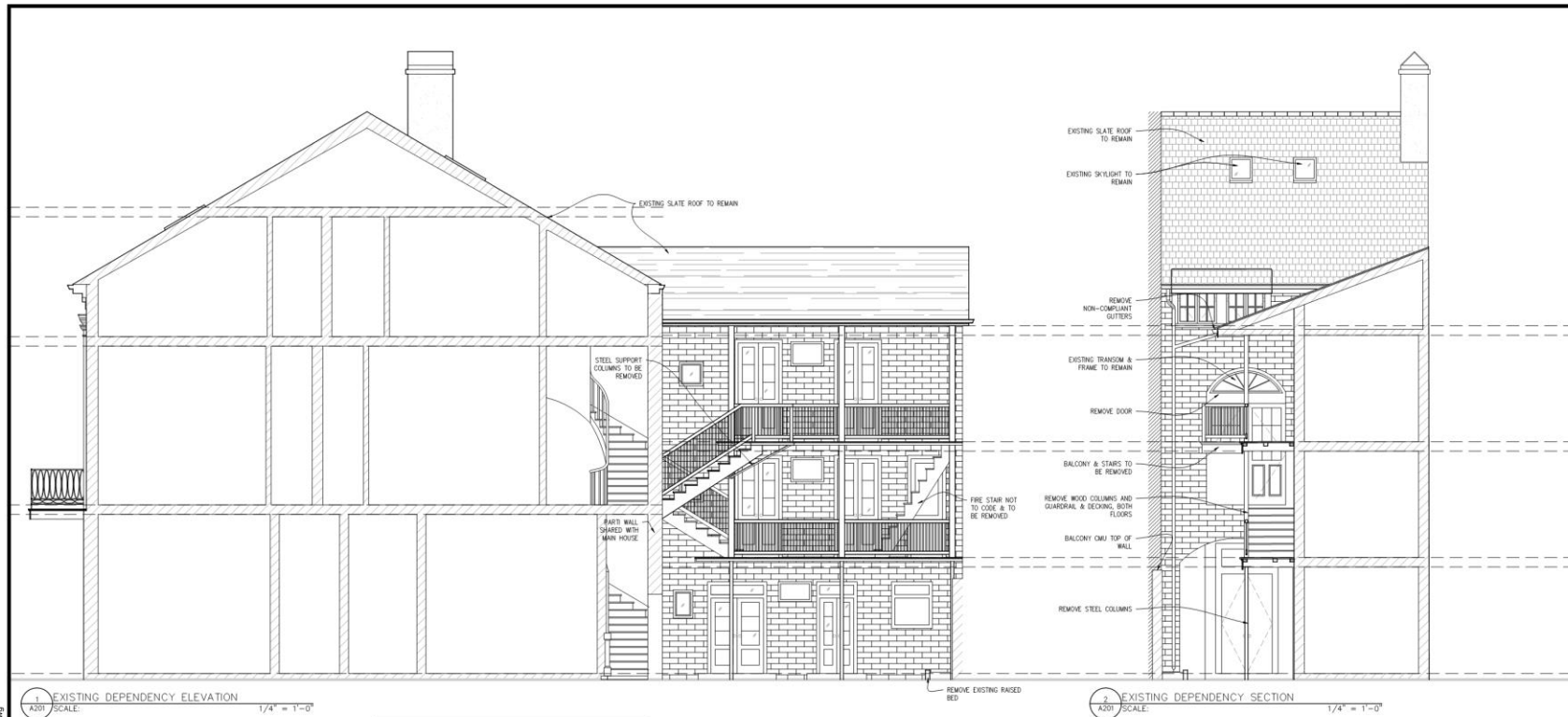
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EXISTING SECTIONS & ELEVATIONS

DRAWING BY DBJ
SCALE VARIES
JOB No. 520035.00
DATE 12.29.2020

Sheet No.

A201



DEMOLITION NOTES, GENERAL:

1. REMOVE ALL WINDOW A/C UNITS AND INFILL OPENINGS
2. REMOVE ALL DEFUNCT ELECTRICAL, PLUMBING, AND GAS LINES. REMOVE ELECTRICAL & GAS METERS
3. REMOVE ALL VEGETATION FROM THE BUILDING
4. REMOVE SIDEWALK AND REINSTALL AS REQUIRED TO REACH UNDERGROUND UTILITIES
5. CONTACT GREEN PROJECT (504)945-0340 TO ARRANGE PICKUP OF SALVAGEABLE MILLWORK, APPLIANCES, ETC.

DEMOLITION NOTES, SPECIFIC:

- SITE / ROOF PLAN**
- ☐ REMOVE CONCRETE PAVING IN ALLEY & COURTYARD AS NECESSARY TO RUN NEW SUBSURFACE DRAINAGE & PLUMBING LINES.
 - ☐ REMOVE DETERIORATED BRICK PLANTER BEDS
 - ☐ INVESTIGATE CONDITION OF CHIMNEY CAPS AND FLASHING. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 - ☐ INVESTIGATE CONDITION OF BRICK AND TERRAZZOTA ROOF PARAPET FOR LEAKS. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 - ☐ REPLACE DOWNSPOUT.
 - ☐ REMOVE CARPET THROUGHOUT AND INVESTIGATE CONDITION OF WOOD FLOORING
 - ☐ REMOVE AREA OF BRICK WALL TO RECEIVE NEW OPENING FOR ELECTRICAL CLOSET
 - ☐ REMOVE FIRST FLOOR JOISTS THROUGHOUT, TO ALLOW FOR NEW CONCRETE FLOOR
 - ☐ REMOVE ELECTRICAL ENCLOSURE AND METERS
 - ☐ **SECOND FLOOR**
 - ☐ REMOVE FRONT BALCONY DECKING
 - ☐ REMOVE FRONT BALCONY RAILING & SAVE FOR REINSTALLATION
 - ☐ CONTACT ARCHITECT DURING DEMOLITION, PRIOR TO WALL REMOVAL, TO ENSURE THAT IT IS NOT LOAD-BEARING
 - ☐ **THIRD FLOOR**
 - ☐ REMOVE WATER HEATER
 - ☐ REMOVE STAIRS TO THIRD FLOOR, LANDING, AND LANDING SUPPORT BRACKETS
 - ☐ REMOVE SKYLIGHT CRANK SYSTEM & SEAL SHUT





WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.
I will not be providing project construction administration services on this project.

SPM & CITY N.O. PERMIT SET

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John C. Williams Architects LLC

937 DUMAINE STREET IMPROVEMENTS

937 Dumaine Street New Orleans LA, 70116

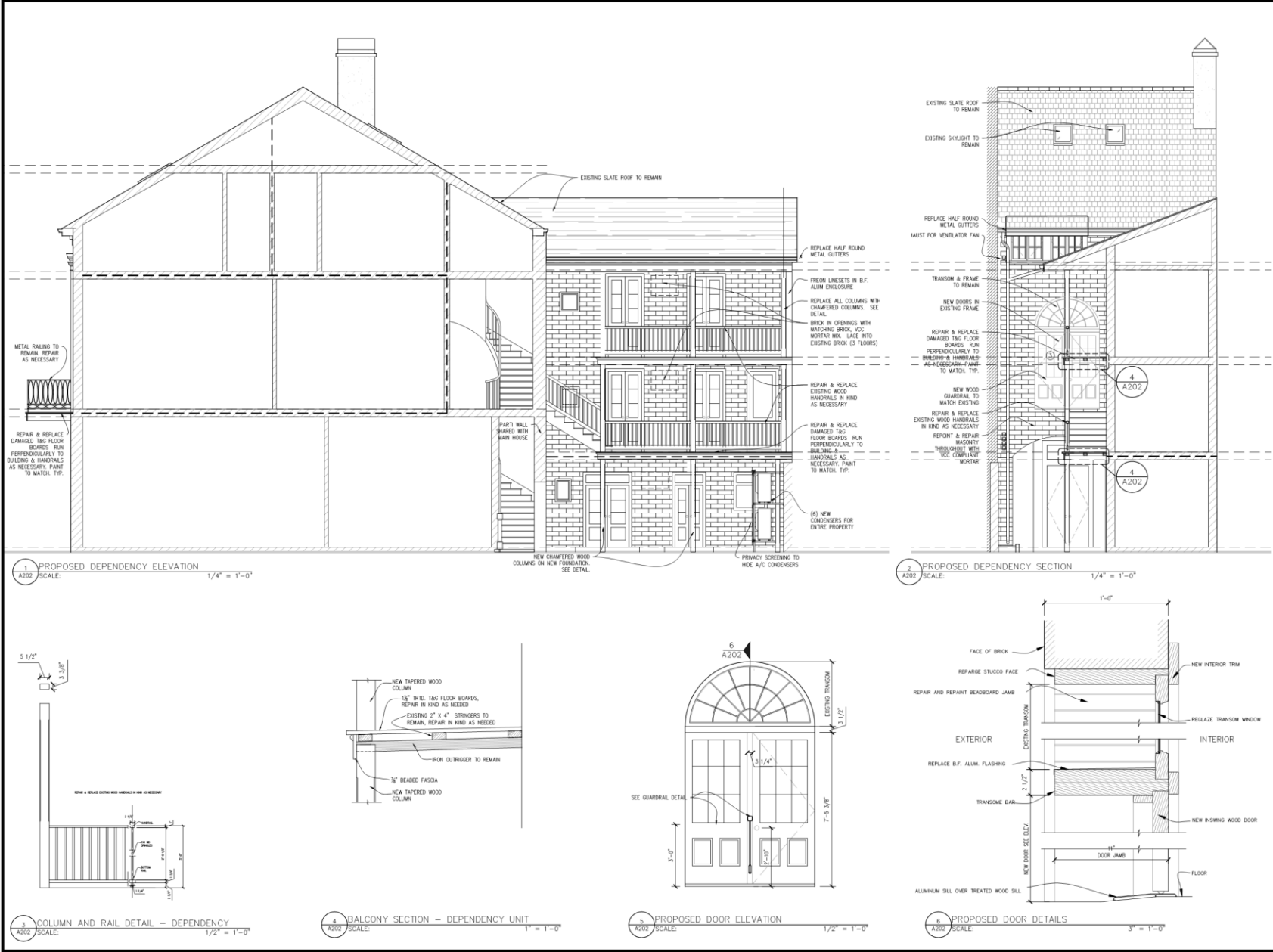
BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

DRAWING TITLE
SECTIONS, ELEVATIONS & DETAILS
DRAWING BY DBJ
SCALE VARIES
JOB No. 520035.00
DATE 12-29-2020
Sheet No.

A202



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.
 I do not warrant that these drawings and specifications will result in a project that complies with applicable codes and requirements.

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937 DUMAINE STREET IMPROVEMENTS
 937 Dumaine Street New Orleans LA 70116

BENCHMARK INFO

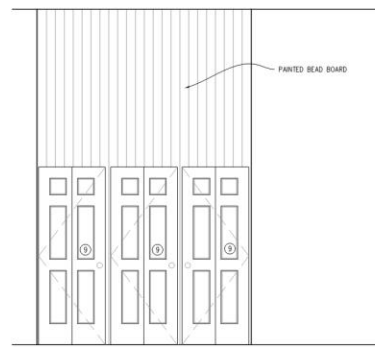
-REVISIONS-		
No.	Date	Scope

DRAWING TITLE

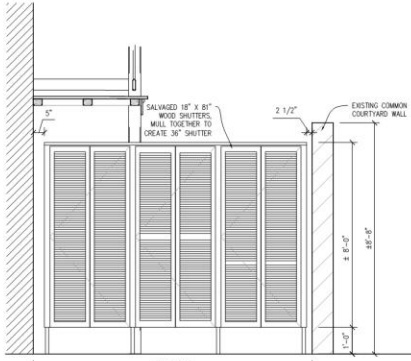
HVAC SCREEN DETAILS
 DRAWING BY: DJU
 SCALE: VARIES
 JOB No. 520035.00
 DATE 12.09.2020

Sheet No.

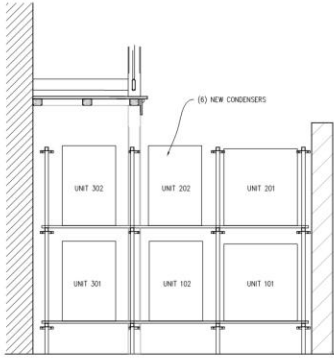
A203



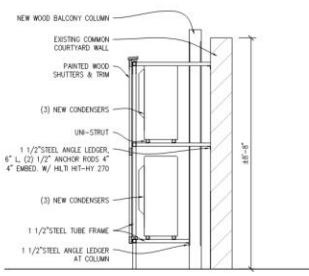
1 LAUNDRY ELEVATION
 A203 SCALE: 1/2" = 1'-0"



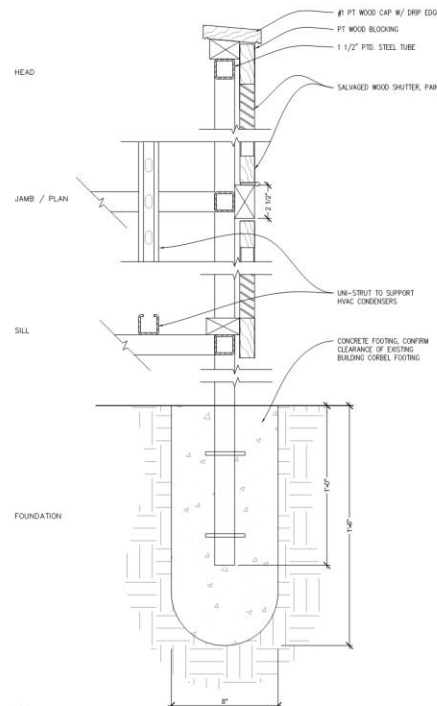
2 COURTYARD ELEVATION
 A203 SCALE: 1/2" = 1'-0"



3 COURTYARD ELEVATION
 A203 SCALE: 1/2" = 1'-0"



4 COURTYARD ELEVATION
 A203 SCALE: 1/2" = 1'-0"



5 SECTION DETAILS
 A203 SCALE: 3" = 1'-0"

P:\020035.00 - 937 Dumaine\Drawings\02_A203\01_Sheets\021902-A204.dwg
 2008.12.03 - 16:40

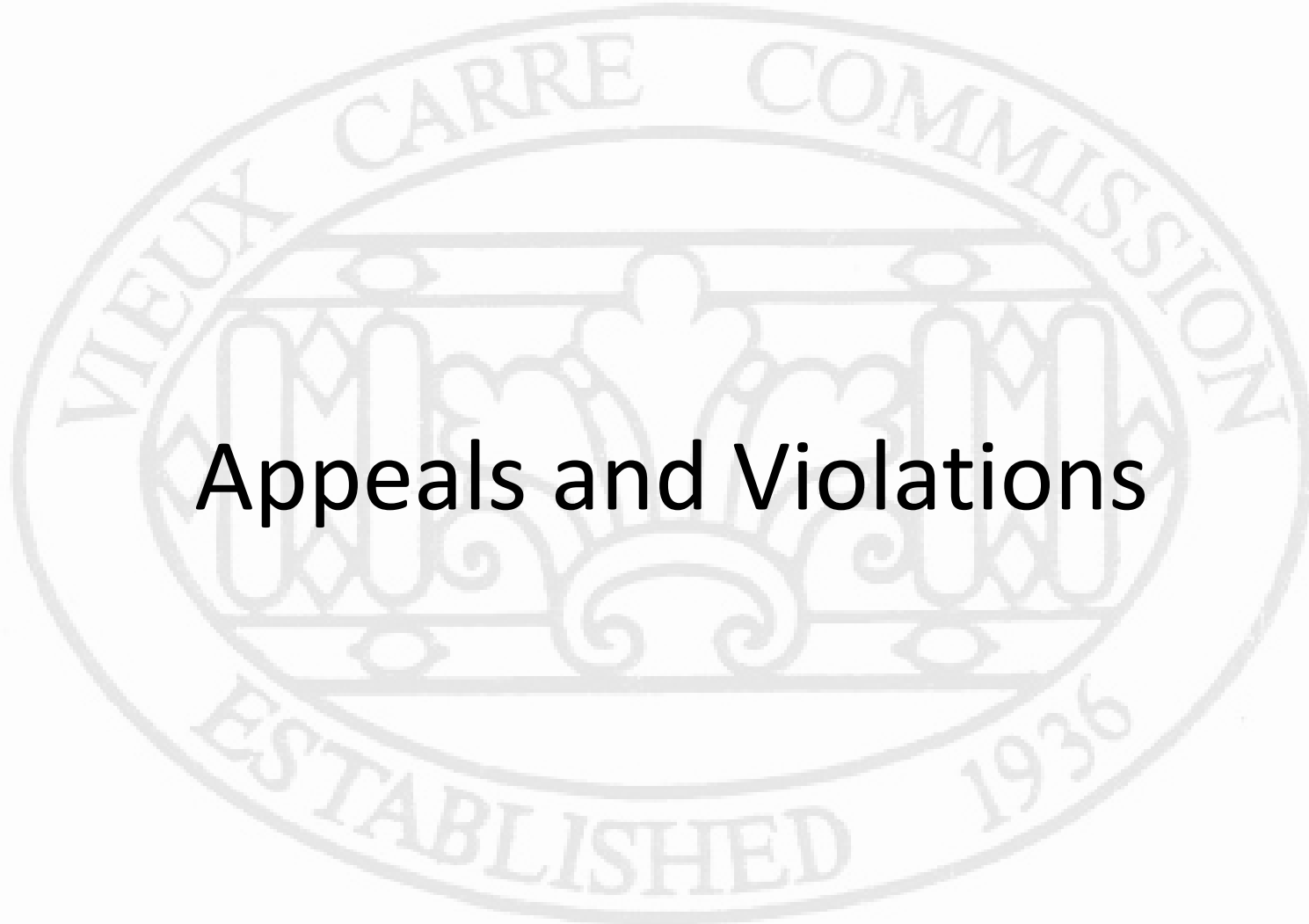


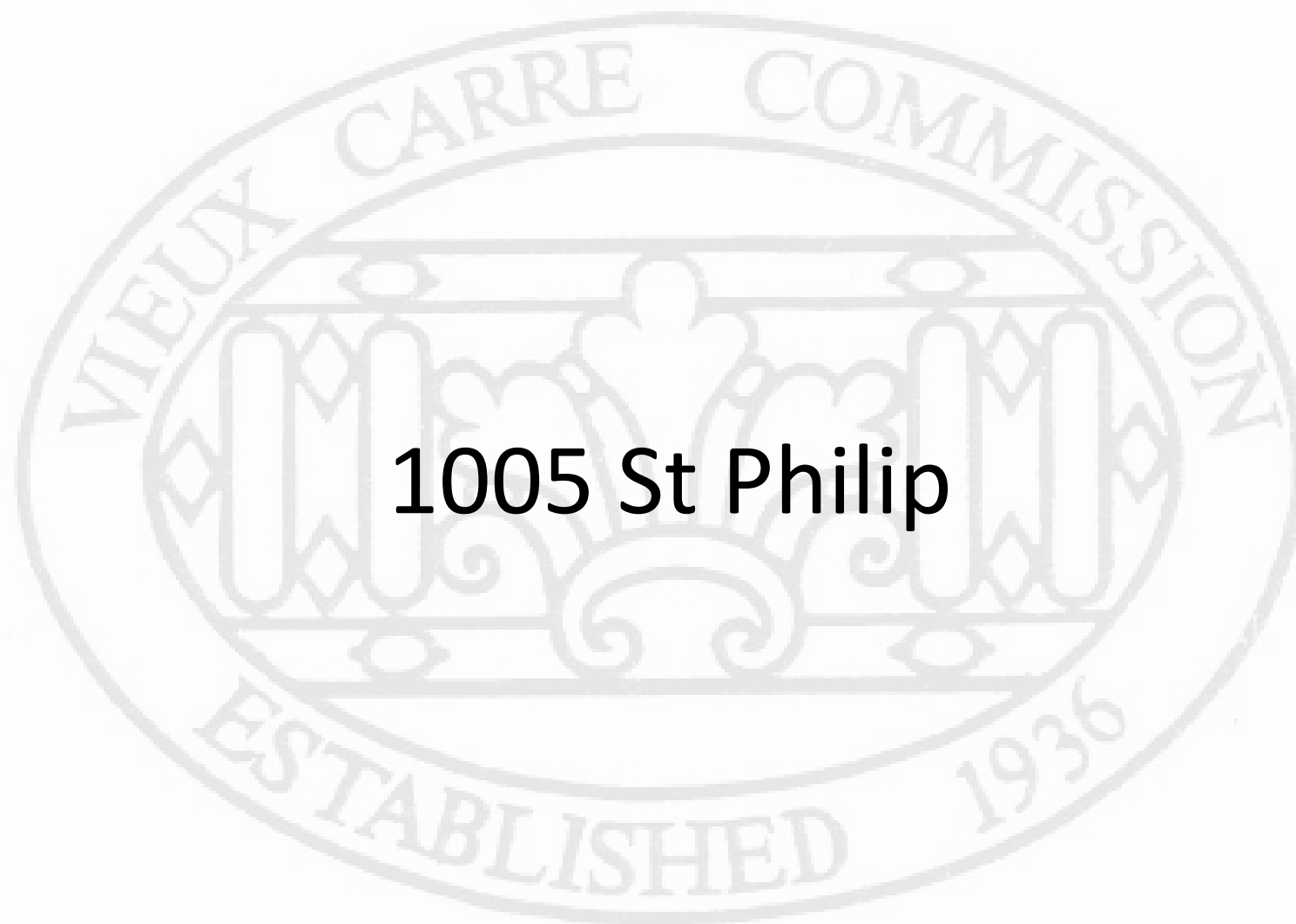
WINDOW SCHEDULE								
NUMBER	TYPE	WIDTH	WINDOW HEIGHT	MATERIAL	SOLAR HEAT GAIN COEFFICIENT	CASING	COLOR	REMARKS
A	EXISTING PAIR OF WINDOWS	2'-10"	5'-0"	EXISTING	N/A	EXISTING	TBD	REPLACE IN KIND. EVALUATE EACH CONDITION AND OBTAIN VCC APPROVAL
B	SINGLE HUNG WINDOW	2'-9.5"	4'-11.5"	REPAIR OR REPLACE WOOD WINDOW	" "	MATCH EXISTING	" "	" "
C	SINGLE HUNG WINDOW	2'-9.5"	4'-11.5"	" "	" "	MATCH EXISTING	" "	" "
D	FIXED WINDOW	2'-9.5"	1'-11.5"	" "	" "	" "	" "	" "
E	FIXED WINDOW	4'-11.5"	1'-5.5"	" "	" "	" "	" "	" "
F	SINGLE HUNG WINDOW	2'-11.5"	3'-11.5"	" "	" "	" "	" "	" "

2008.12.03 - 16:40

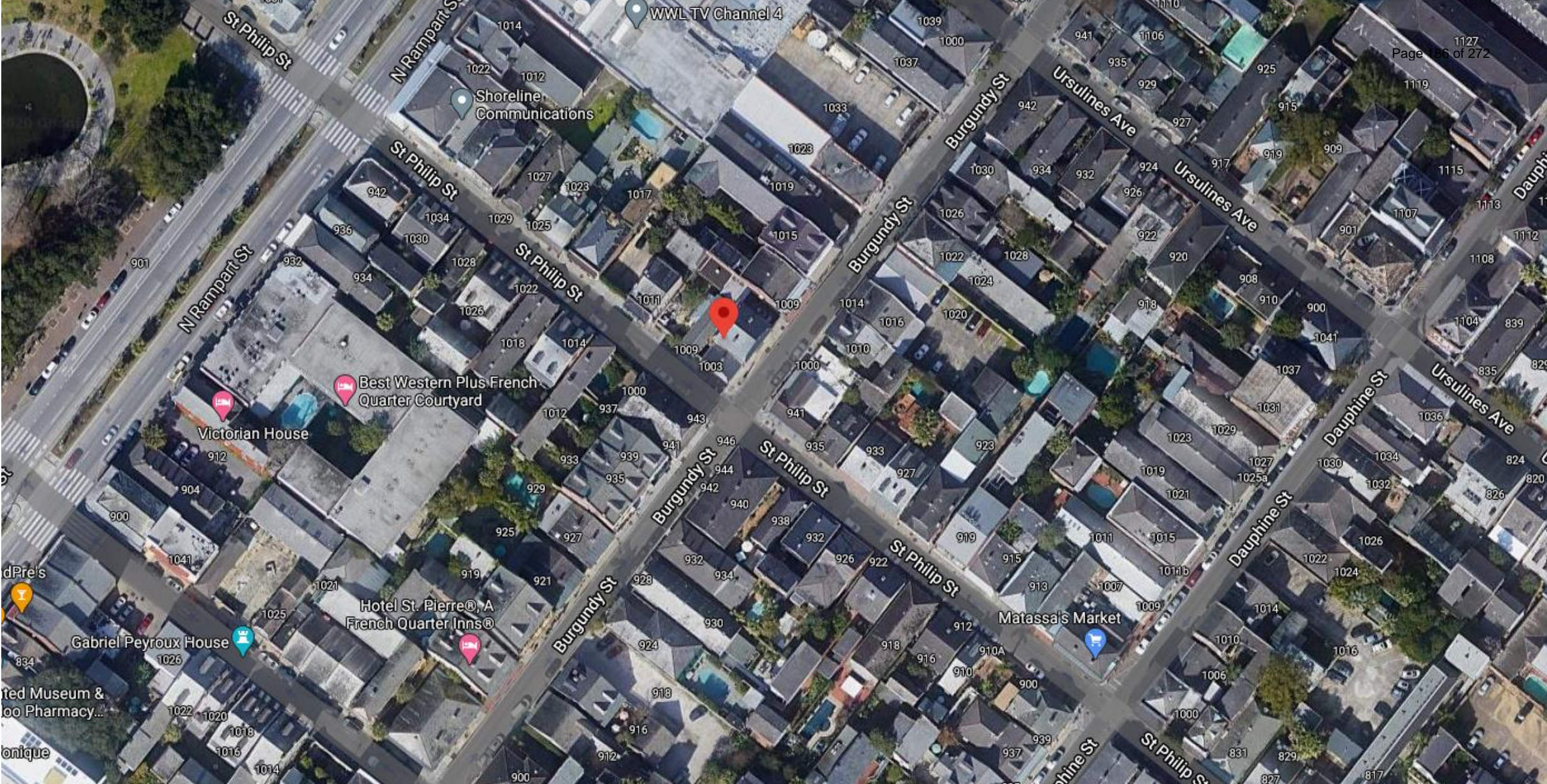
December 8, 2020

Appeals and Violations





1005 St Philip



1005 St Philip

VCC Architectural Committee

December 8, 2020





1005 St Philip

VCC Architectural Committee

December 8, 2020





1005 St Philip

VCC Architectural Committee

December 8, 2020





1005 St Philip

VCC Architectural Committee

December 8, 2020





1005 St Philip
VCC Architectural Committee

December 8, 2020





1005 St Philip – from appellant
VCC Architectural Committee

December 8, 2020





1005 St Philip

VCC Architectural Committee

December 8, 2020





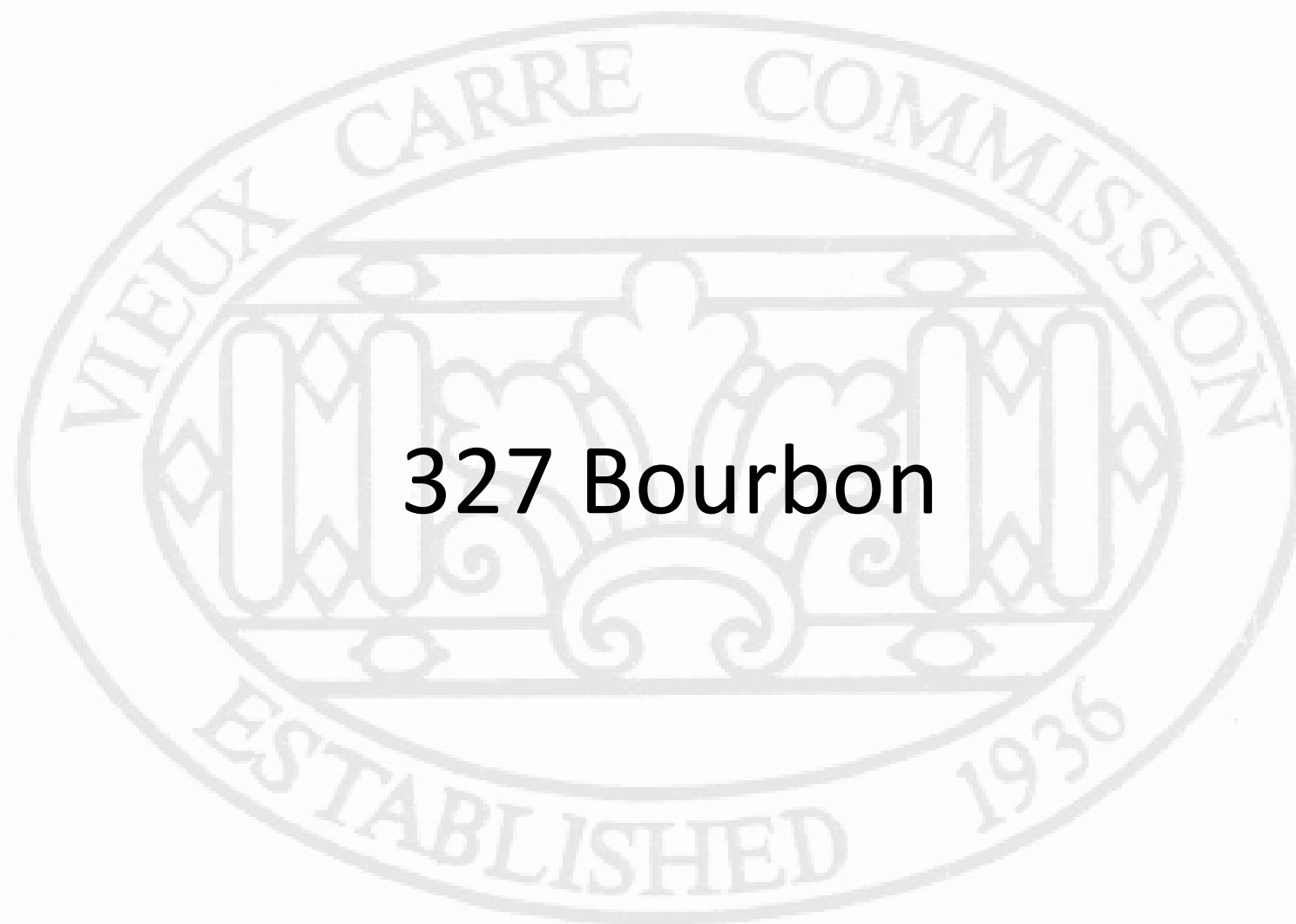
1005 St Philip

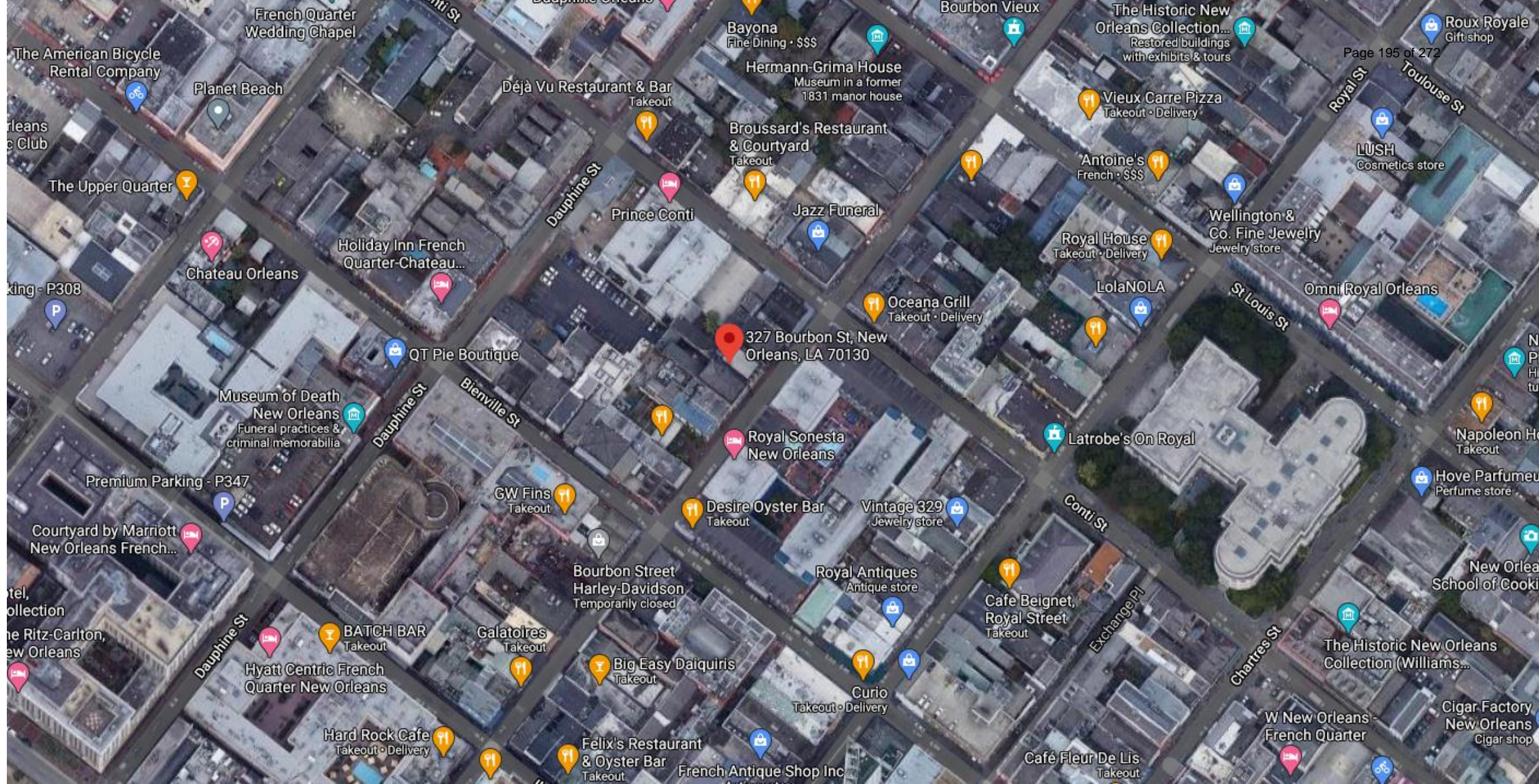
VCC Architectural Committee

December 8, 2020



327 Bourbon





327 Bourbon

VCC Architectural Committee

January 12, 2020





327 Bourbon

VCC Architectural Committee

January 12, 2020



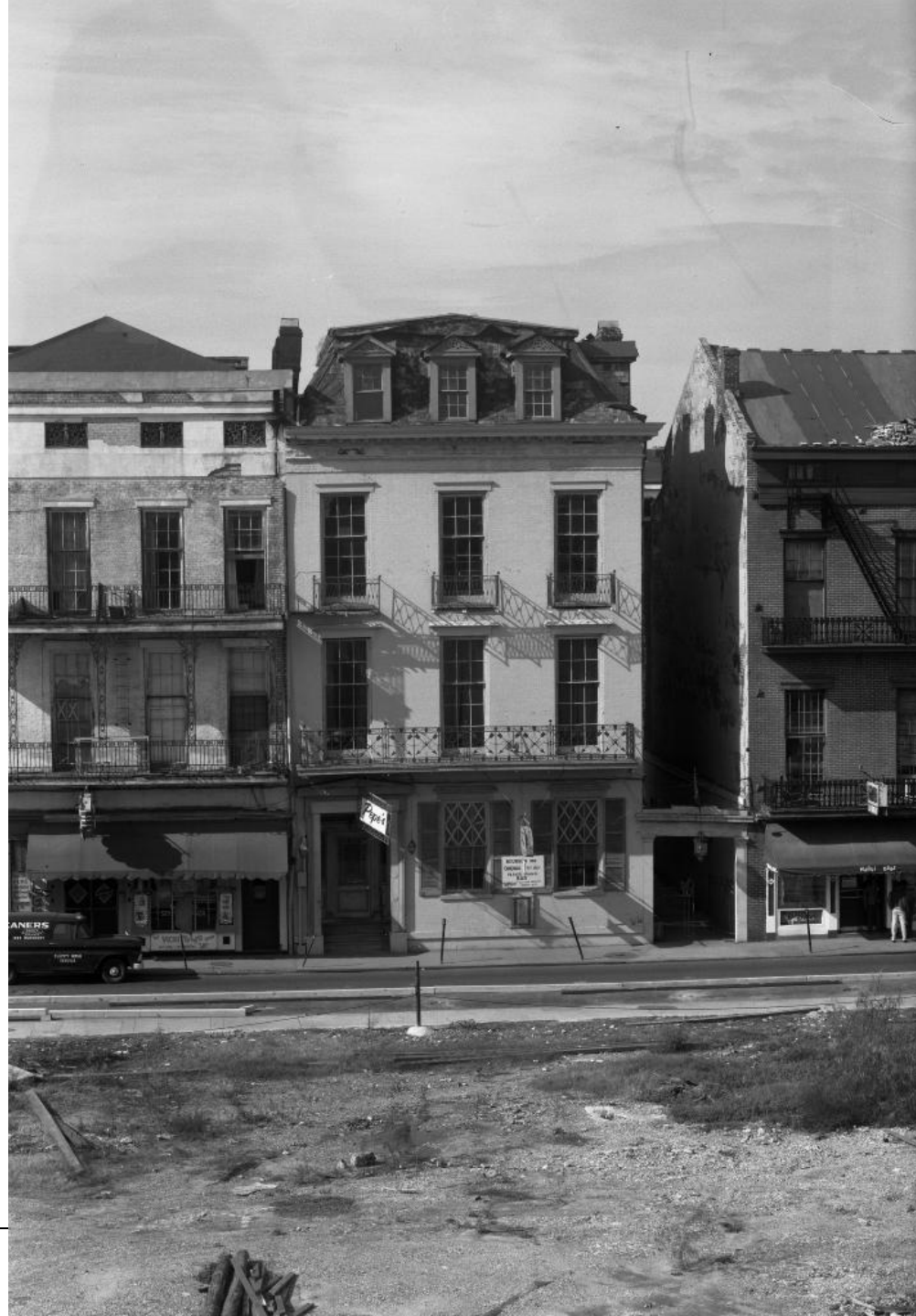


327 Bourbon

VCC Architectural Committee

January 12, 2020





327 Bourbon

VCC Architectural Committee

January 12, 2020





327 Bourbon

VCC Architectural Committee

January 12, 2020





327 Bourbon - 2018

VCC Architectural Committee

January 12, 2020





327 Bourbon - 2018

VCC Architectural Committee

January 12, 2020





327 Bourbon - 2019

VCC Architectural Committee

January 12, 2020



327 Bourbon – July, 2020
VCC Architectural Committee



January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020





327 Bourbon – November, 2020

VCC Architectural Committee

January 12, 2020



Tap cons to be used to fast from Left to Right to zip the cornice back in place. Each black line represent the location of attachment. Careful selection will be made within the design to ensure no visible signs of bolts or attachments.

Approved by: Walter Zehner (504) 488-1442



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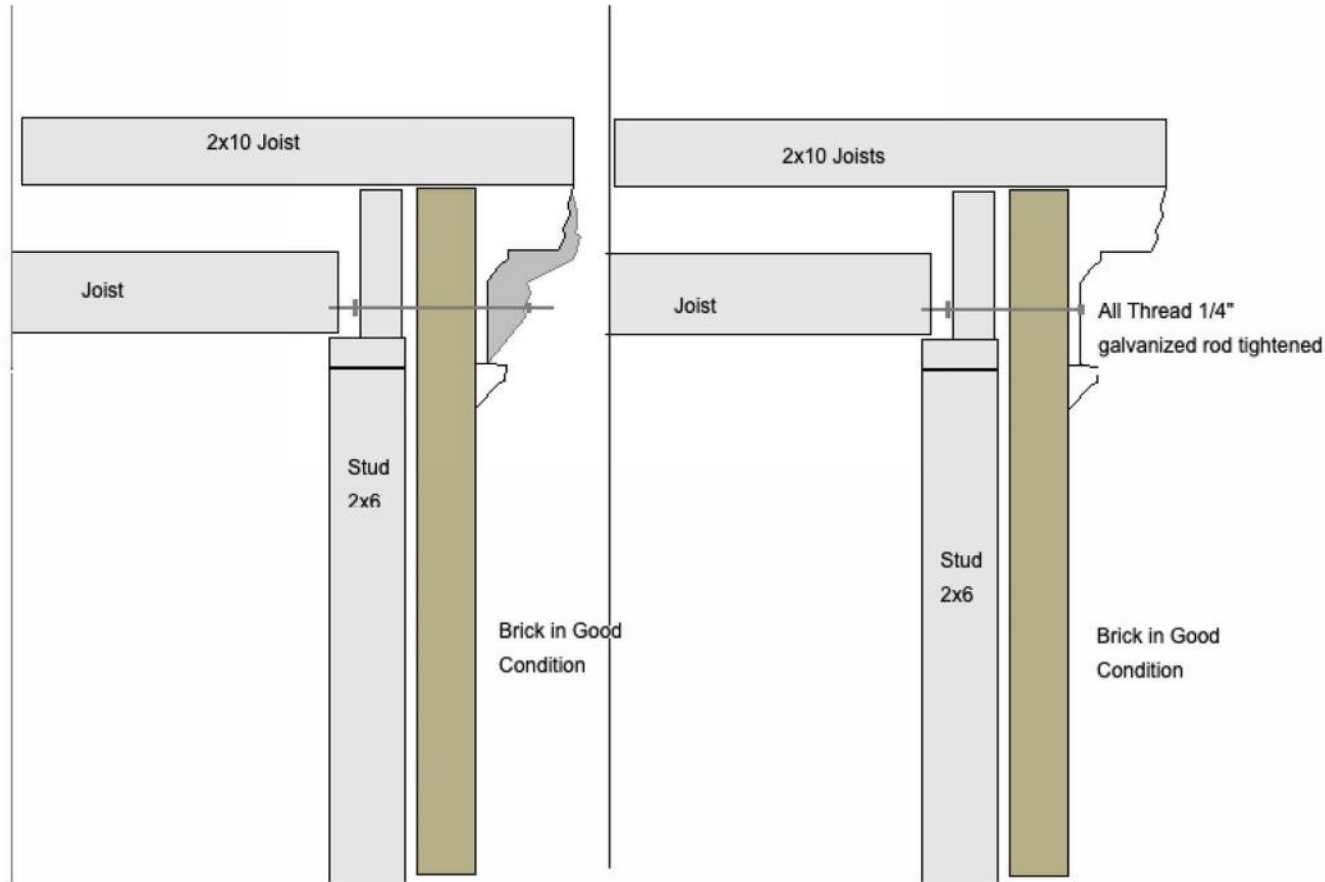


327 Bourbon

VCC Architectural Committee

January 12, 2020





Randy Heath and New Orleans Custom Home Design assumes no liability for any structure built from these plans. Although every effort has been made in preparing these plans, the contractor must check all details for accuracy or errors and be responsible for same. Any deviation from these plans must first receive approval from the Owner.

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327 BOURBON STREET
 CORNICE REPAIR



12/15/20

SHEET 1 of 1

327 Bourbon

VCC Architectural Committee

January 12, 2020





327 Bourbon

VCC Architectural Committee

January 12, 2020





327 Bourbon

VCC Architectural Committee

January 12, 2020



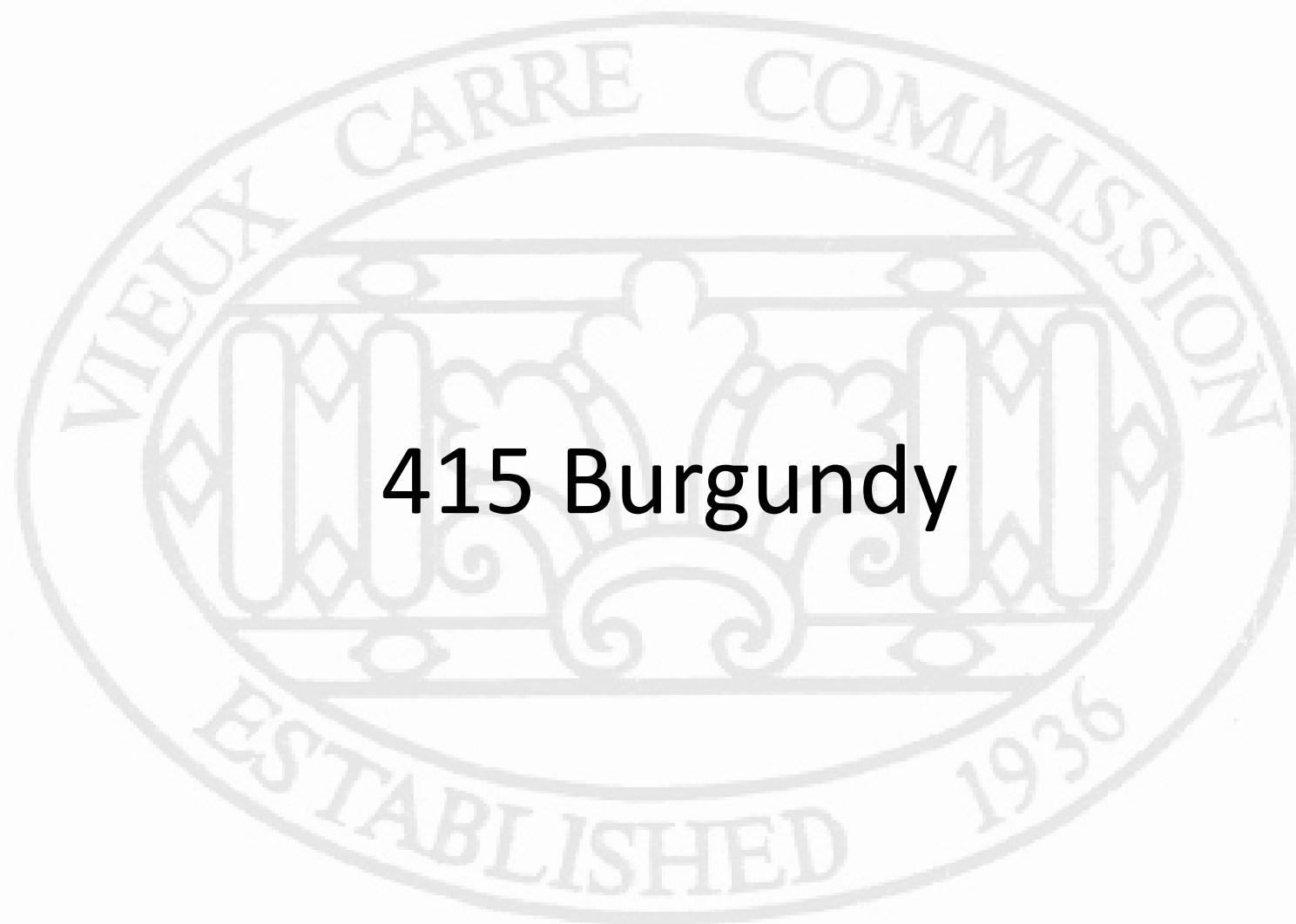


327 Bourbon

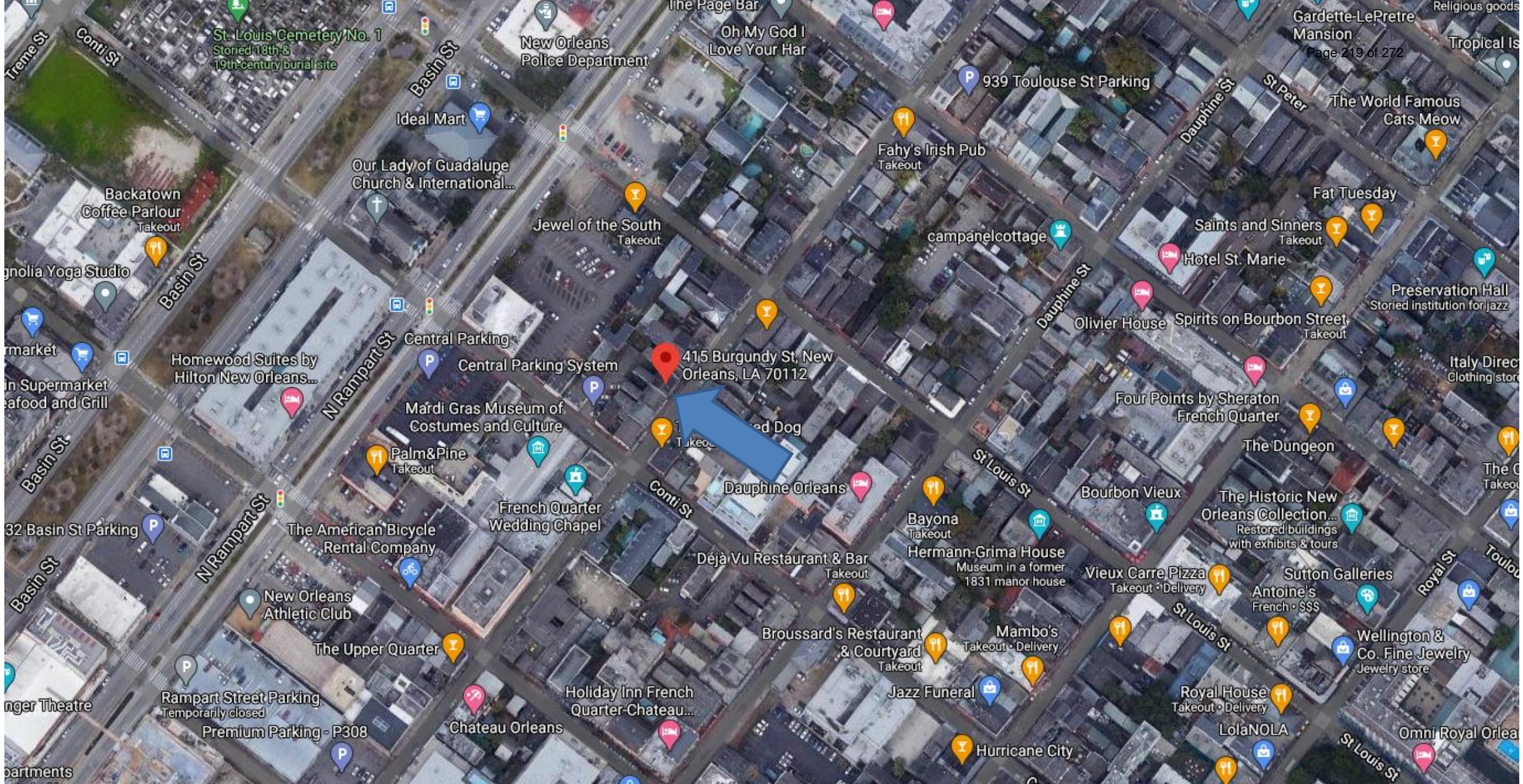
VCC Architectural Committee

January 12, 2020





415 Burgundy



415 Burgundy

VCC Architectural Committee

January 12, 2020





415 Burgundy

VCC Architectural Committee

January 12, 2020





415 Burgundy

VCC Architectural Committee

January 12, 2020





415 Burgundy

VCC Architectural Committee

January 12, 2020





415 Burgundy – Wall Location

VCC Architectural Committee

January 12, 2020





415 Burgundy

VCC Architectural Committee

09 09 2020

January 12, 2020





415 Burgundy

VCC Architectural Committee

09 09 2020

January 12, 2020





415 Burgundy

VCC Architectural Committee

09 09 2020

January 12, 2020





415 Burgundy

VCC Architectural Committee

09 09 2020

January 12, 2020





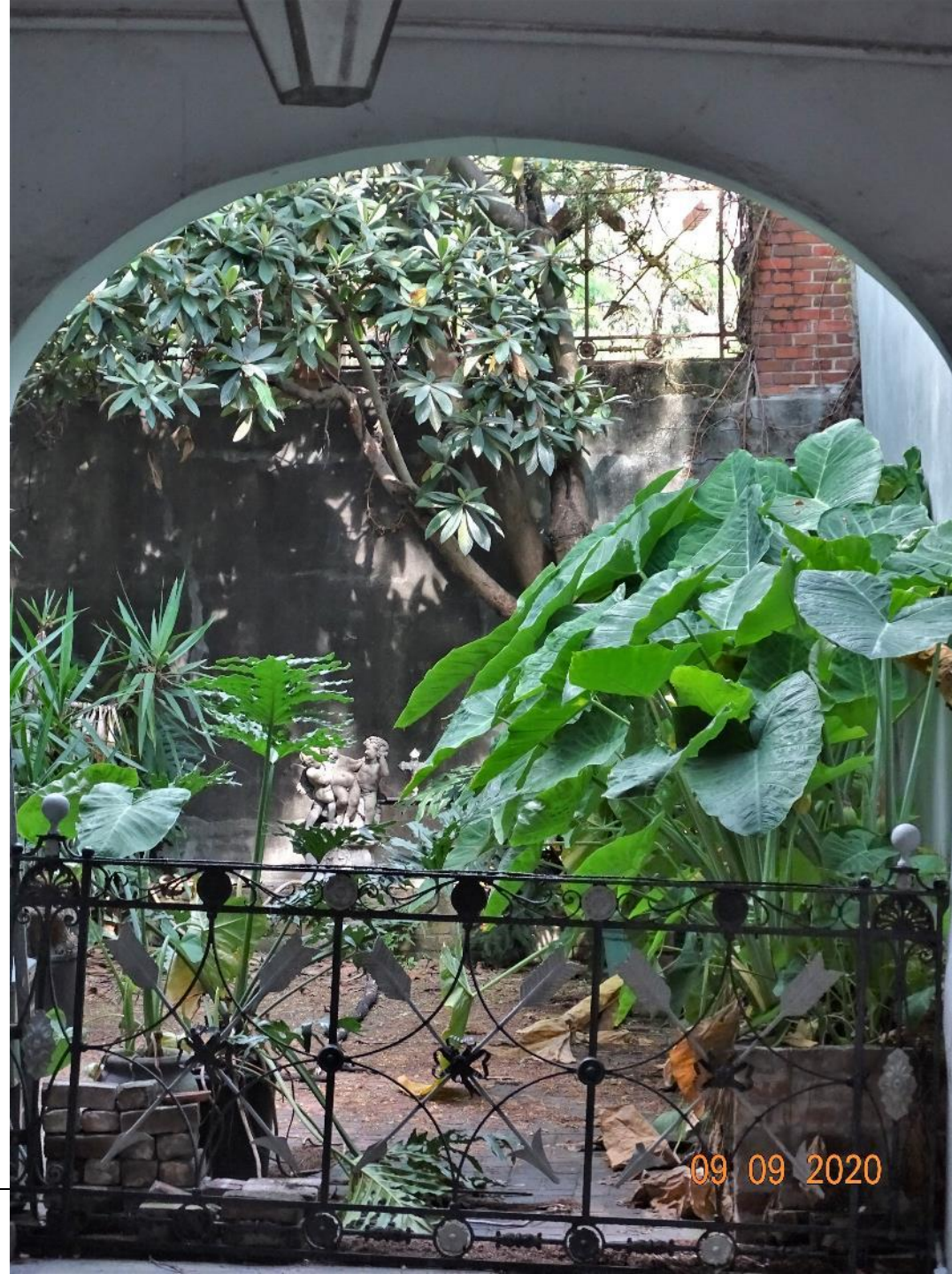
415 Burgundy

VCC Architectural Committee

09 09 2020

January 12, 2020





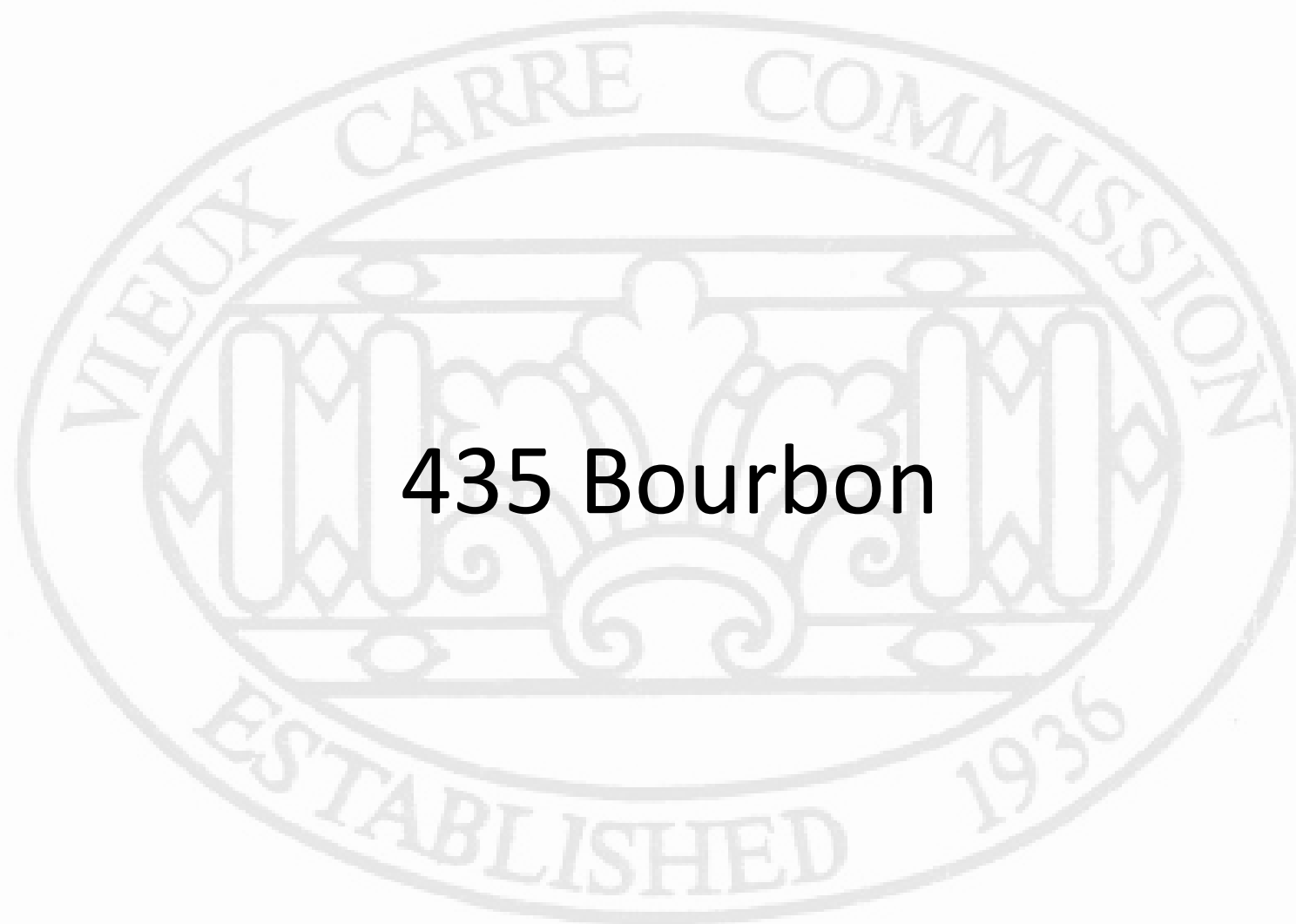
415 Burgundy

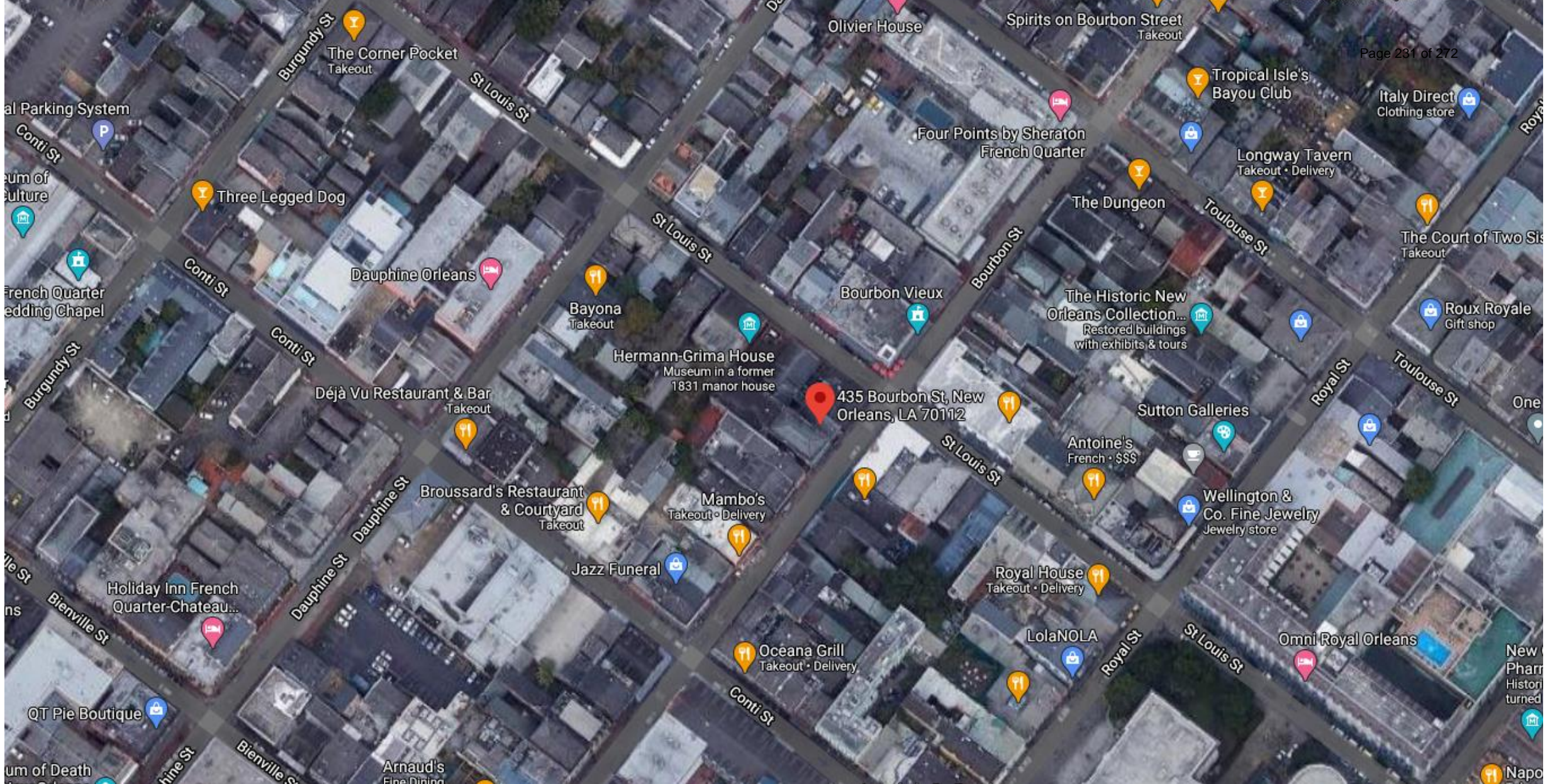
VCC Architectural Committee

January 12, 2020



435 Bourbon





435 Bourbon

VCC Architectural Committee

January 12, 2020





435 Bourbon

VCC Architectural Committee

January 12, 2020





435 Bourbon

VCC Architectural Committee

January 12, 2020





435 Bourbon

VCC Architectural Committee

January 12, 2020





435 Bourbon

VCC Architectural Committee

January 12, 2020





435 Bourbon

VCC Architectural Committee

09 25 2020

January 12, 2020





435 Bourbon – 1970 Photograph

VCC Architectural Committee

January 12, 2020





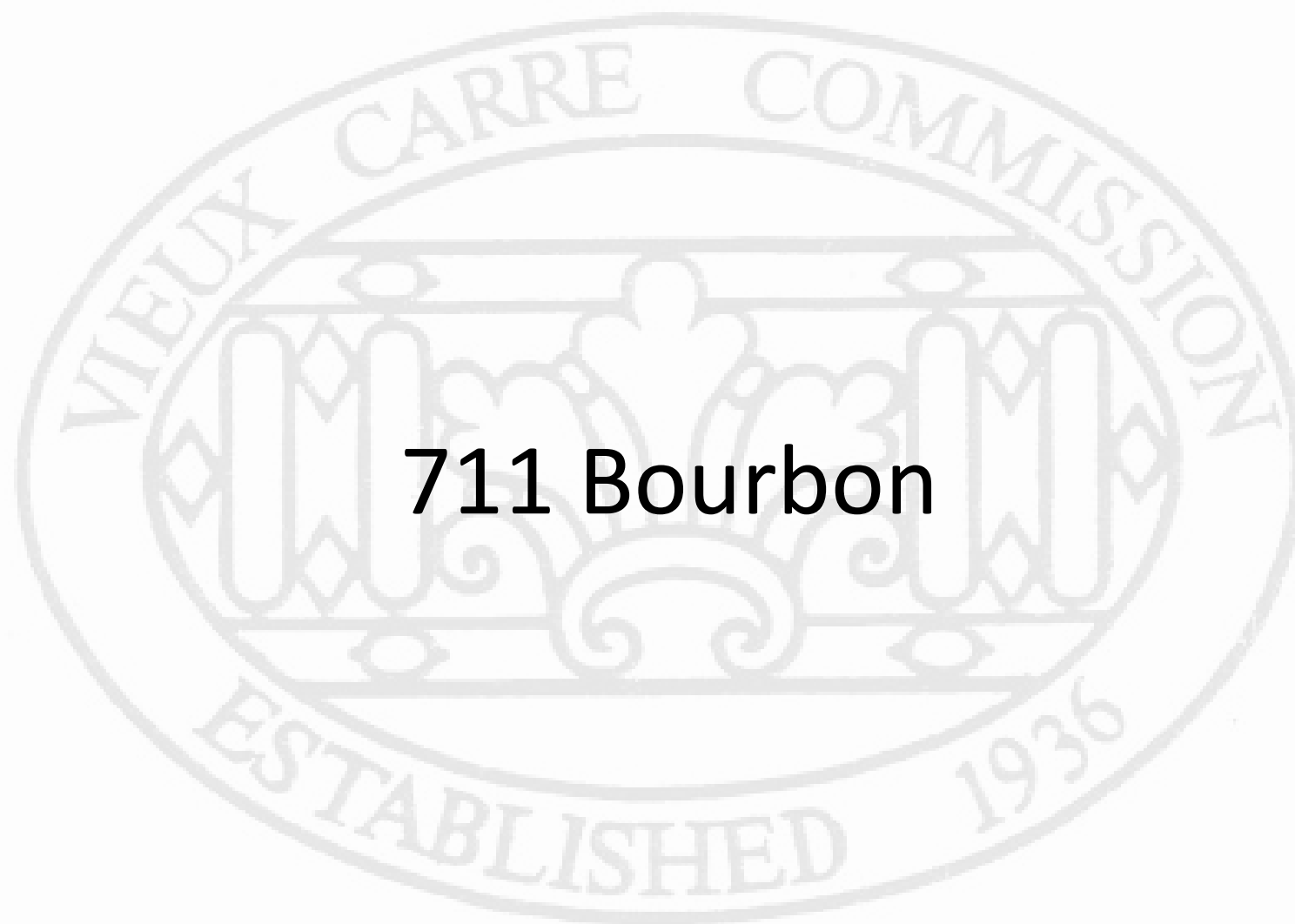
435 Bourbon – 1970 Photograph

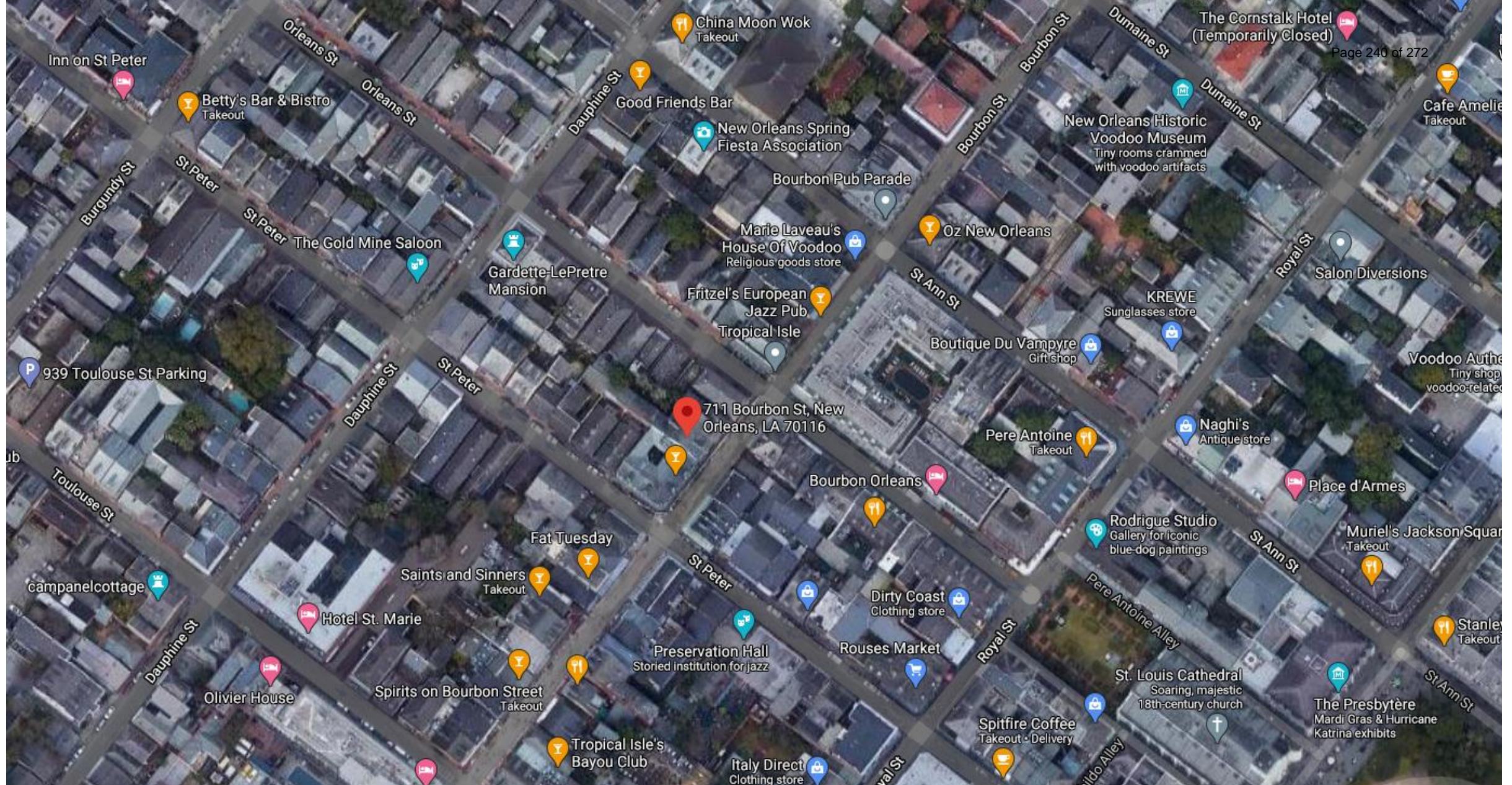
VCC Architectural Committee

January 12, 2020



711 Bourbon





711 Bourbon

VCC Architectural Committee

January 12, 2020





711 Bourbon

VCC Architectural Committee

January 12, 2020





711 Bourbon

VCC Architectural Committee

January 12, 2020





711 Bourbon

VCC Architectural Committee

January 12, 2020





711 Bourbon

VCC Architectural Committee

January 12, 2020





711 Bourbon

VCC Architectural Committee

January 12, 2020





711 Bourbon
VCC Architectural Committee

January 12, 2020

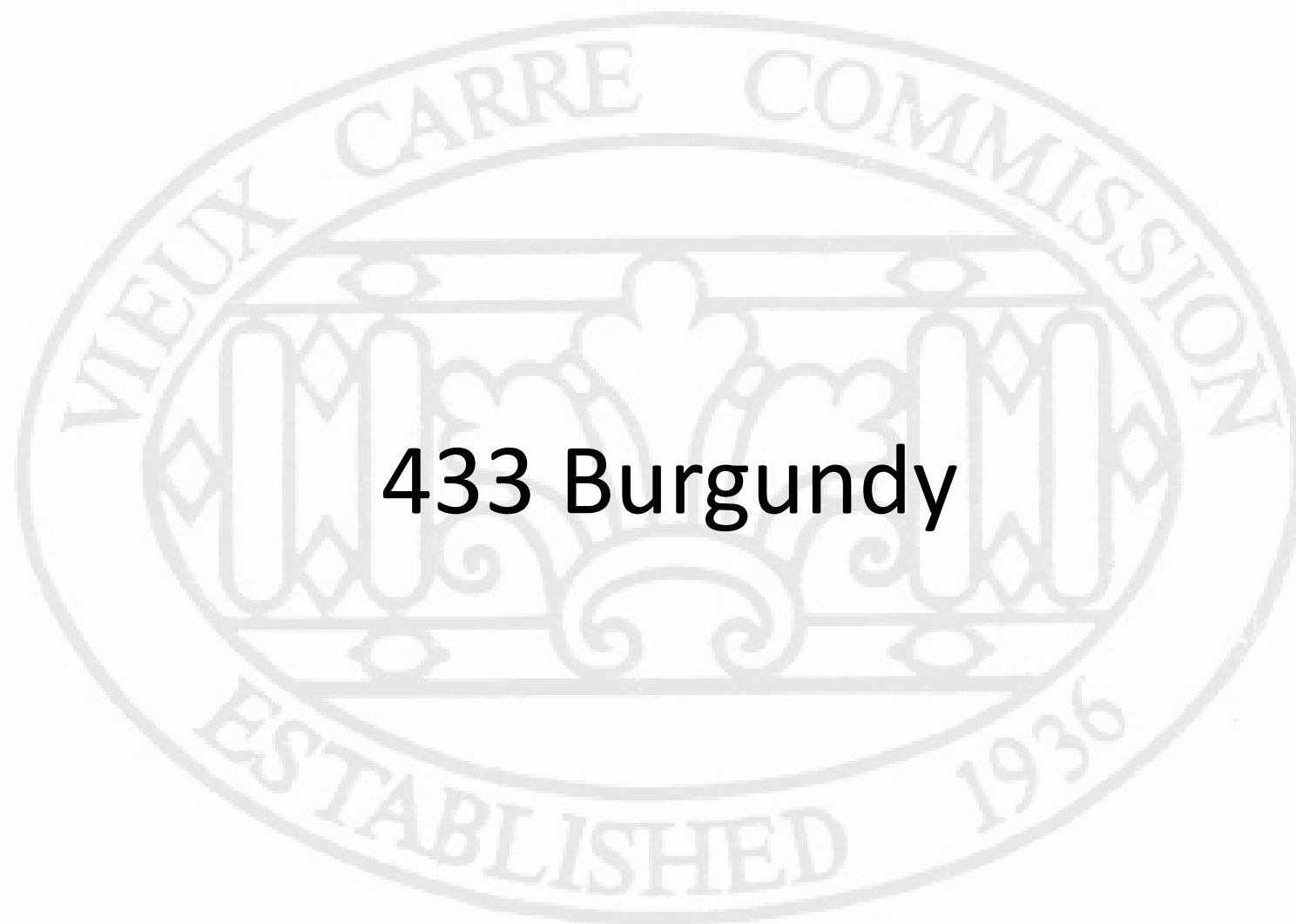




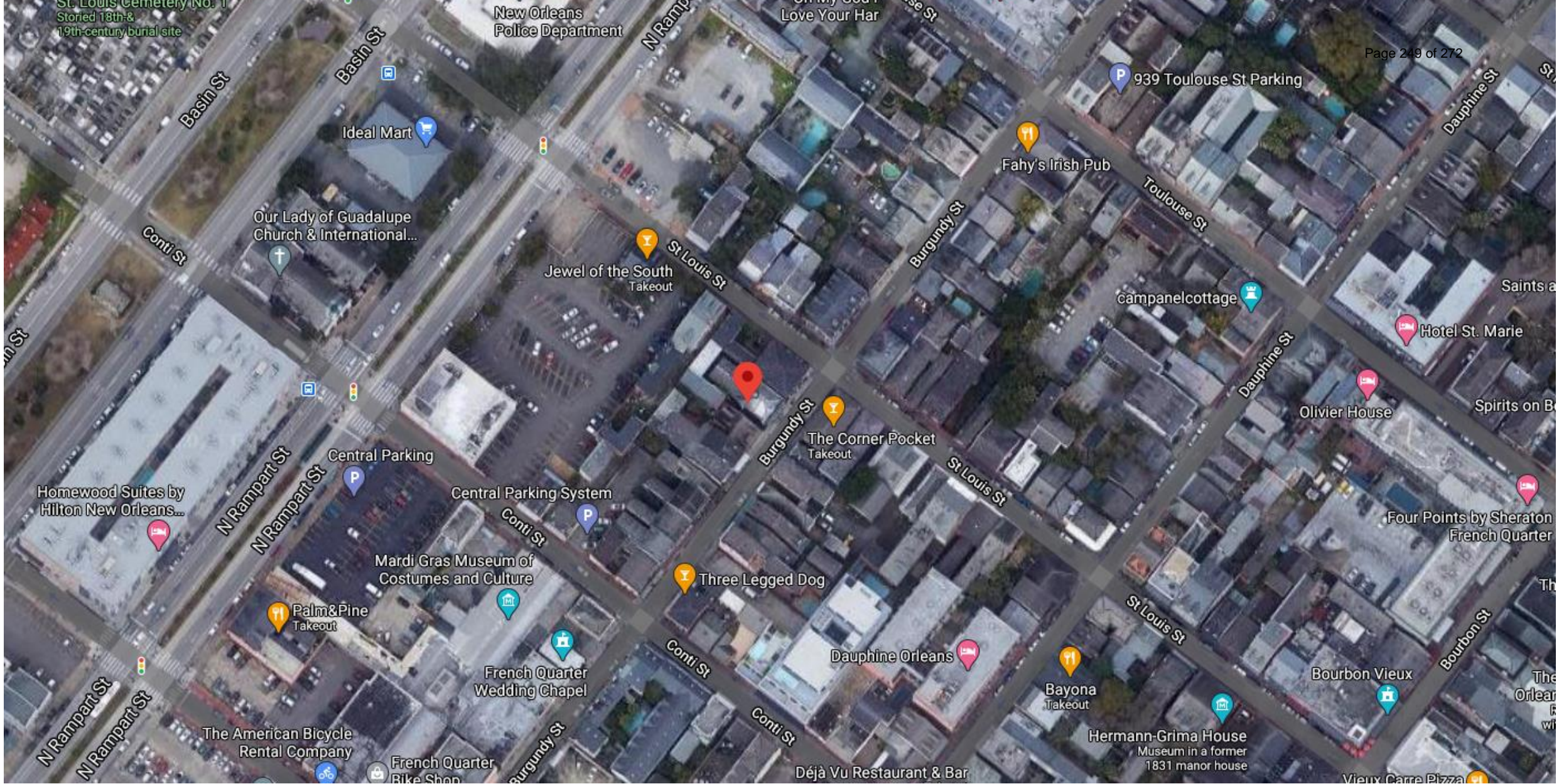
711 Bourbo
VCC Architect

10 15 2020





433 Burgundy



433 Burgundy

VCC Architectural Committee

January 12, 2021





433 Burgundy

VCC Architectural Committee

January 12, 2021





433 Burgundy

VCC Architectural Committee

January 12, 2021



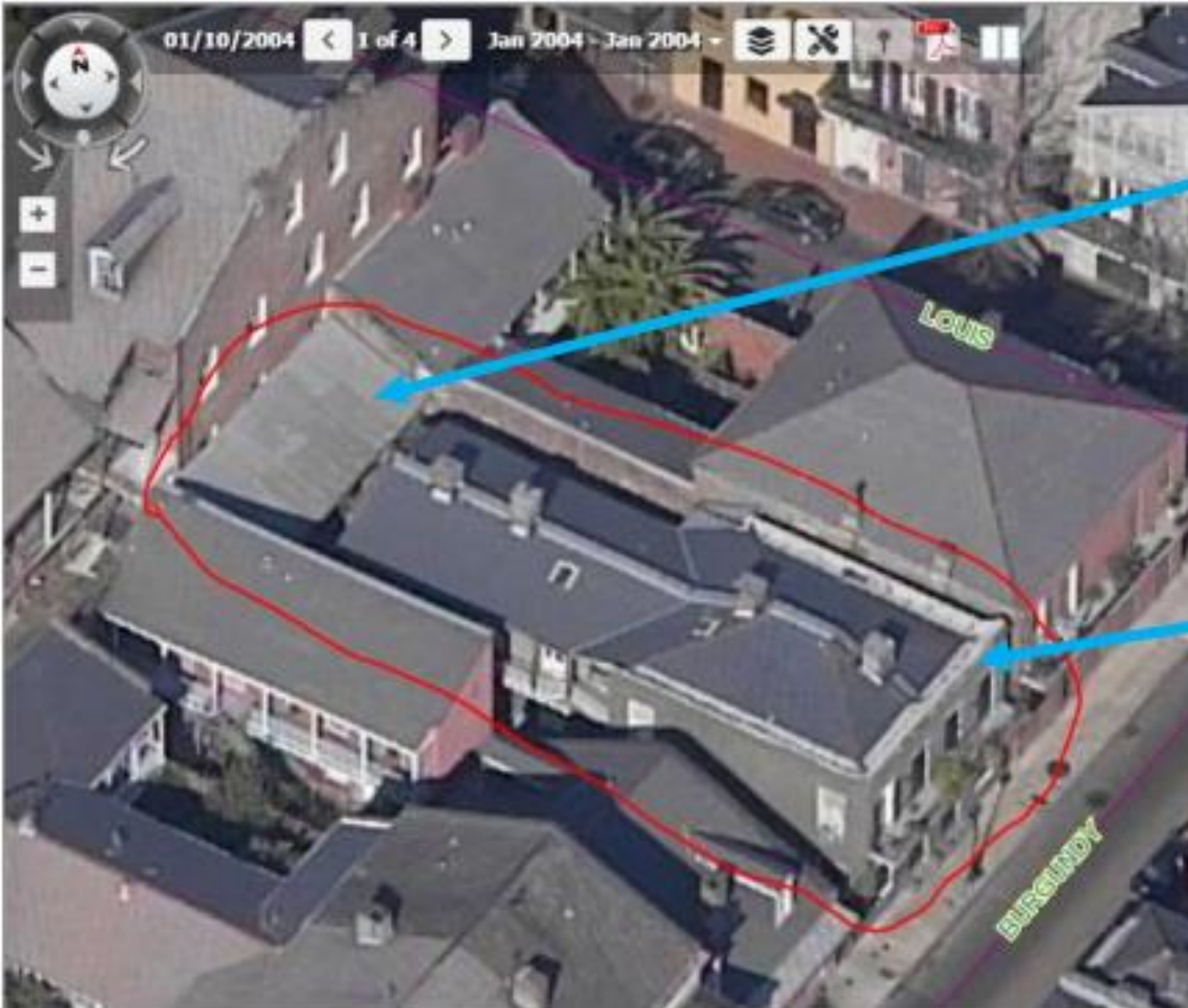


Photo from 2004.
Rear building roof
with unknown
material installed.
Installed prior to
2004.

Photo from 2004,
showing roof of
main building prior
to roof alterations.



Photo from 2005,
showing roof
alterations in
process.

433 Burgundy

VCC Architectural Committee

January 12, 2021





Photo from 2008,
showing 3 slopes
of hipped roof with
new unknown
material installed.

433 Burgundy

VCC Architectural Committee

January 12, 2021





Most recent aerial photo from 2020, showing both roof with unknown materials installed without VCC review and approval.

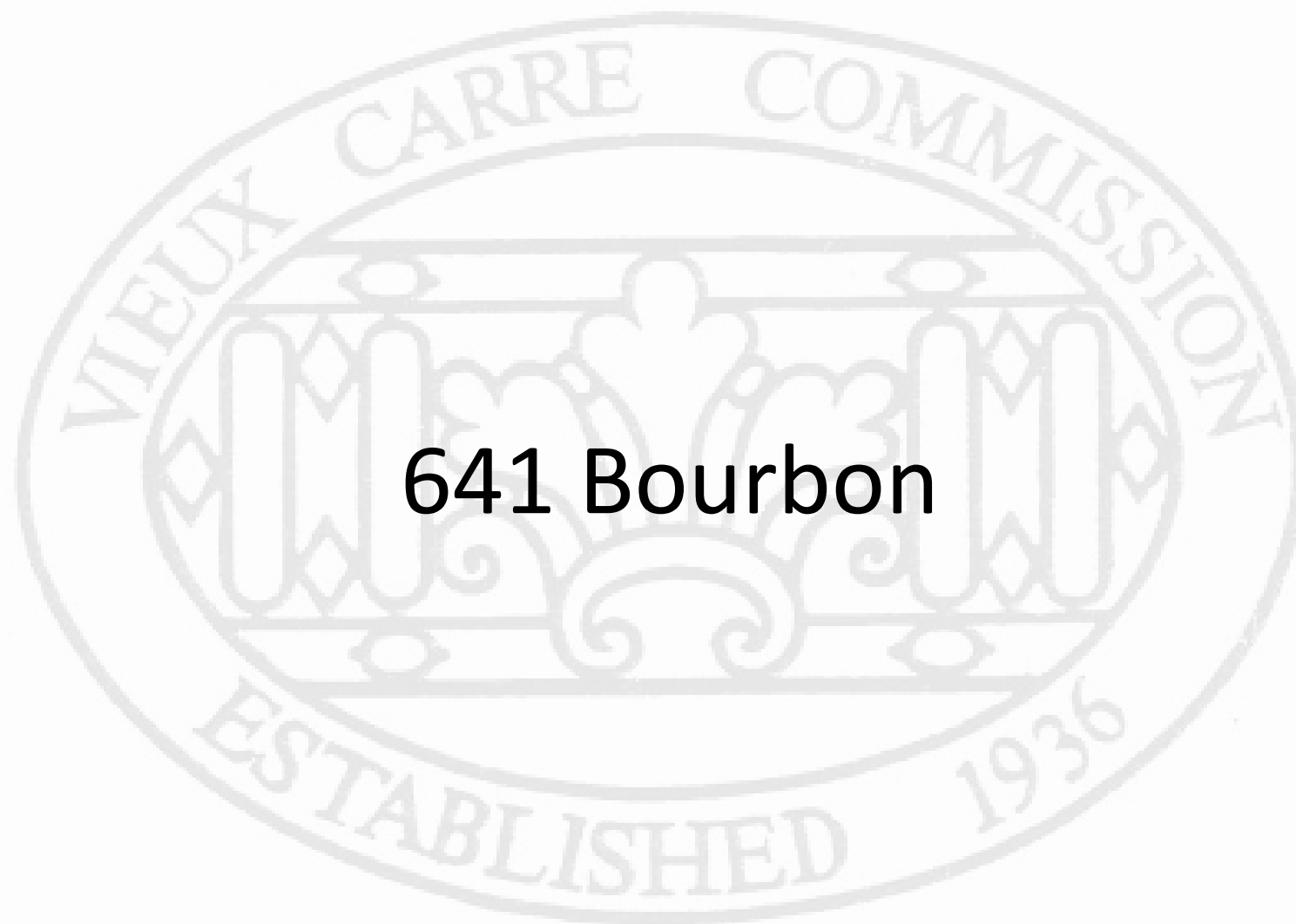
433 Burgundy

VCC Architectural Committee

January 12, 2021



641 Bourbon





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon, 1934

VCC Architectural Committee

January 12, 2020





Title: 639-641 Bourbon (side/rear elevation = 800-806 St. Peter)
Date: 07/02/1964

641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon

VCC Architectural Committee

11 15 2018

January 12, 2020





641 Bourbon

VCC Architectural Committee

January 12, 2020





641 Bourbon – Rear Building

VCC Architectural Committee

January 12, 2020





641 Bourbon – Rear Building

VCC Architectural Committee

January 12, 2020



641 Bourbon – Rear Building
VCC Architectural Committee



January 12, 2020

