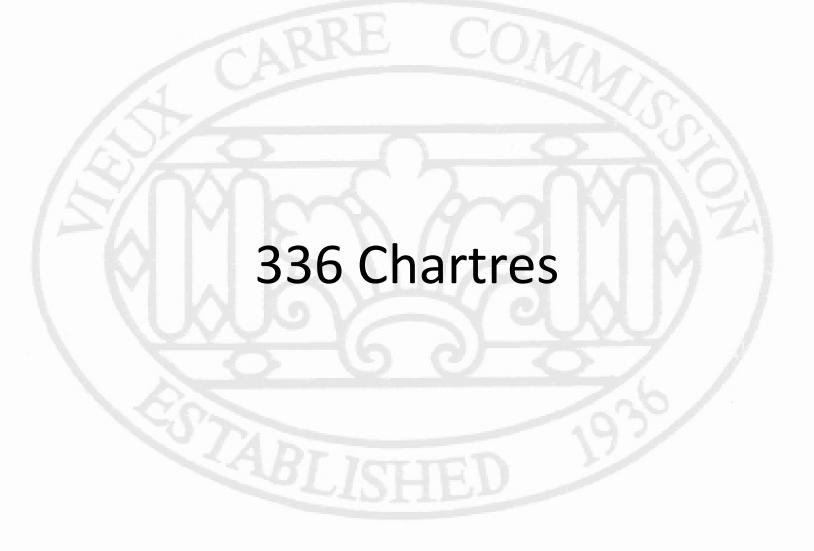
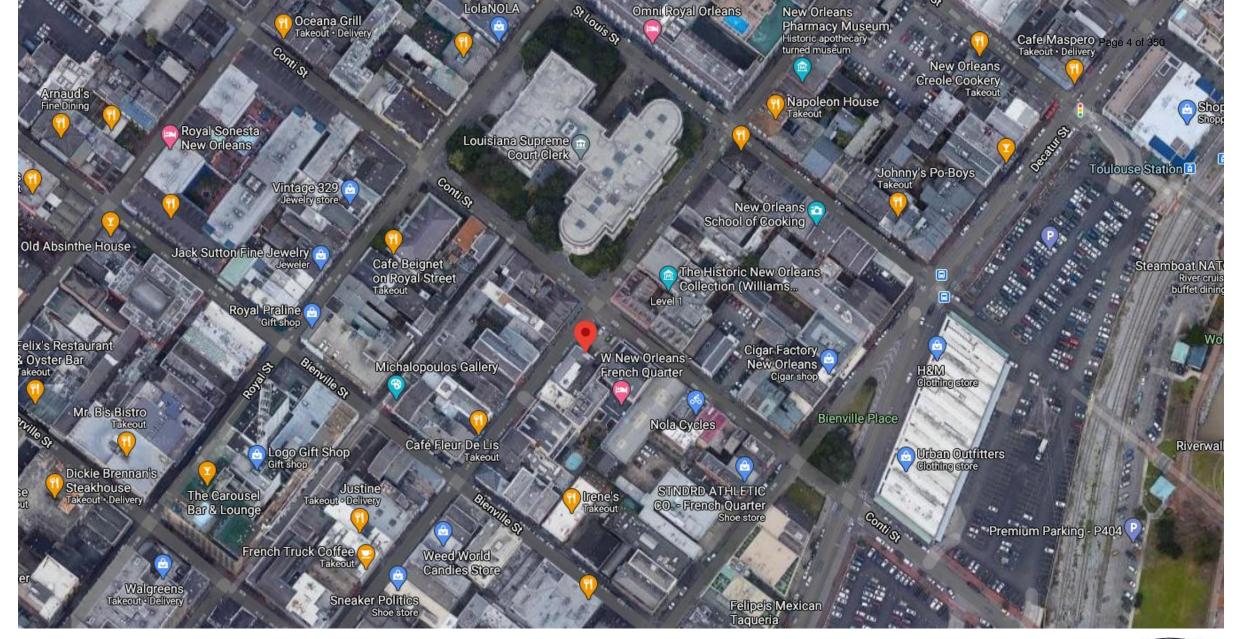
Vieux Carré Commission Architecture Committee Meeting

Tuesday, January 26, 2021







336 Chartres





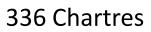














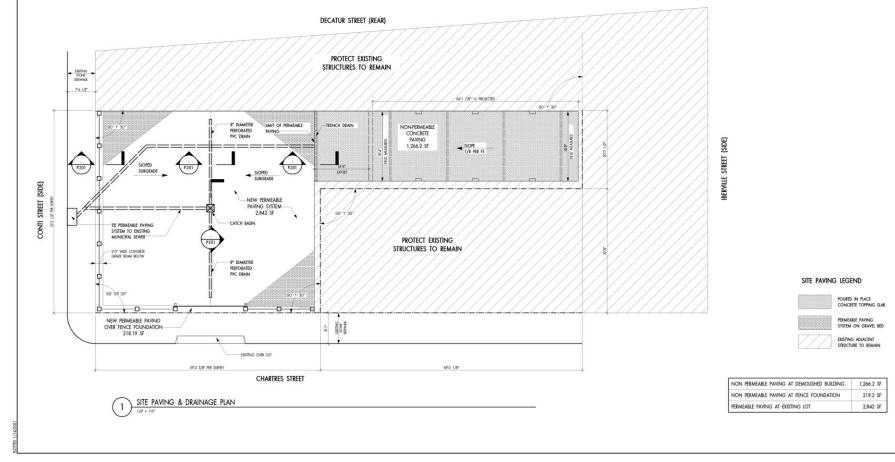


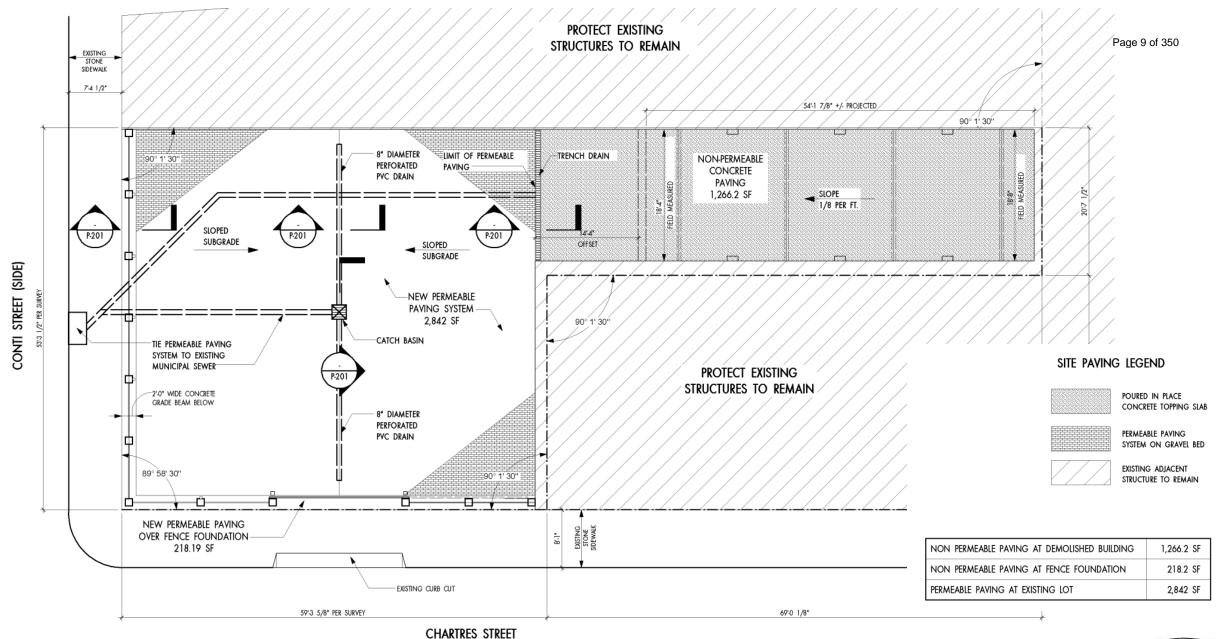
PROJECT: #2020-08

PROGRESS DRAFT

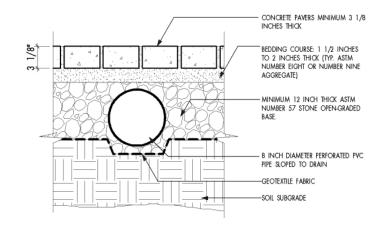
1/14/2021

P-101

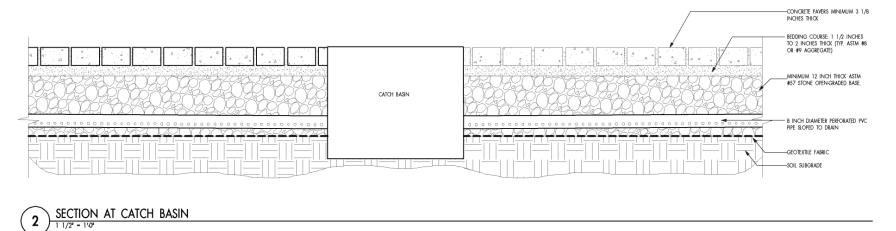












PROPOSED CON	PROPOSED CONDITIONS					
SUB-CATCHMENT AREA	AREA (SQ. FT.)	REQUIRED VOLUME: 1.25" STORMWATER (CU. FT.)	COMPOSITE "C" VALUE	CAPTURED/TREAT ED VOLUME (CU.FT.)	BYPASS VOLUME (CU.FT.)	RECEIVING BMP
IMPERVIOUS	-	-	-	-	0	CB-1
PERVIOUS	-	-	-	-	-	CB-1
TOTAL	-	-	-	-	-	-



COLOR: ANTIQUE PEWTER



- Smooth surfaces and classical chamfers define each stone to create texture and visual structure with timeless appeal
- Square shape easily forms stacked and runner patterns
- Suitable for heavy vehicular applications, such as municipal streets and minor arterials, with proper pavement design and installation
- Joints and surfaces meet ADA gap and lippage requirements
- Made of durable concrete that won't decay, distort, or attract pests. Iron oxide pigments won't fade with extended UV exposure. Meets or exceeds applicable requirements of ASTM C936 and C1782

PALLET LAYOUT

The CityStone series shares a common architectural look in which texture is defined by the joint pattern. The extensive range - from 4x4 to 24x24 - of CityStone shapes yields unlimited creative control to satisfy your design intent. CityStone's generous charmfers control lippage even in challenging large-format / non-planar insitallations, and units are available in a range of paver heights to suit a variety of traffic conditions and base preparations.

The Cth-Stone series shares a common architectur al look in which texture is defin

CITY STONE 6X9 8CM

Page 11 of 350

- Smooth surfaces and classical charmfers define each stone to create texture and
- visual structure with timeless appeal • Square shape easily forms stacked and
- Suitable for heavy vehicular applications, such as multipal streets and minor arterials, with proper pavement design and installation
- Joints and surfaces meet ADA gap and lippage requirements
- Made of durable concrete that won't decay, distort, or attract pests, iron oxide pigments won't facie with extended UV exposure. Meets or exceeds applicable requirements of ASTM CS06 and C1782

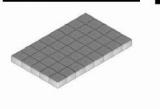
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3.15

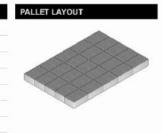
8.86 225 5.91

STONE(S) | Fig. |

in	ln.	3.15
mm	MM.	80
in	IN.	5.91
mm	MM	150
in	IN	5.91
mm	MM	150
/of	OTY	320
	mm in mm in	mm MM. in IN. mm MM in IN mm MM



Height	in	in.	
	mm	MM.	
Length	in	IN.	
	mm	MM	
Width	in	IN	
	mm	MM	
22.00	0.02020	1000000	



NOTES

Weights are approximate and do not include shipping pallet. Installation to applicable CPP standards is required for warranty coverage. Made with natural materials, which vary in color, and Portland cement, which may effloresce - any implied warranty to the contrary is discibilined.

PALLET SPECS			
Pallet Weight	2772 lbs		
Sq Ft/Pallet	77 sq.t.		



Weights are approximate and do not include shipping pallet, installation to applicable CPI standards is required for warranty coverage. Made with natural materials, which vary in color, and Portland cement, which may effloresce - any implied warranty to the contrary is disclaimed.

PALLET SPEC	CS
Pallet Weight	2660 lbs
Sq Ft/Pallet	72 sq.t.





www.pavestone.com



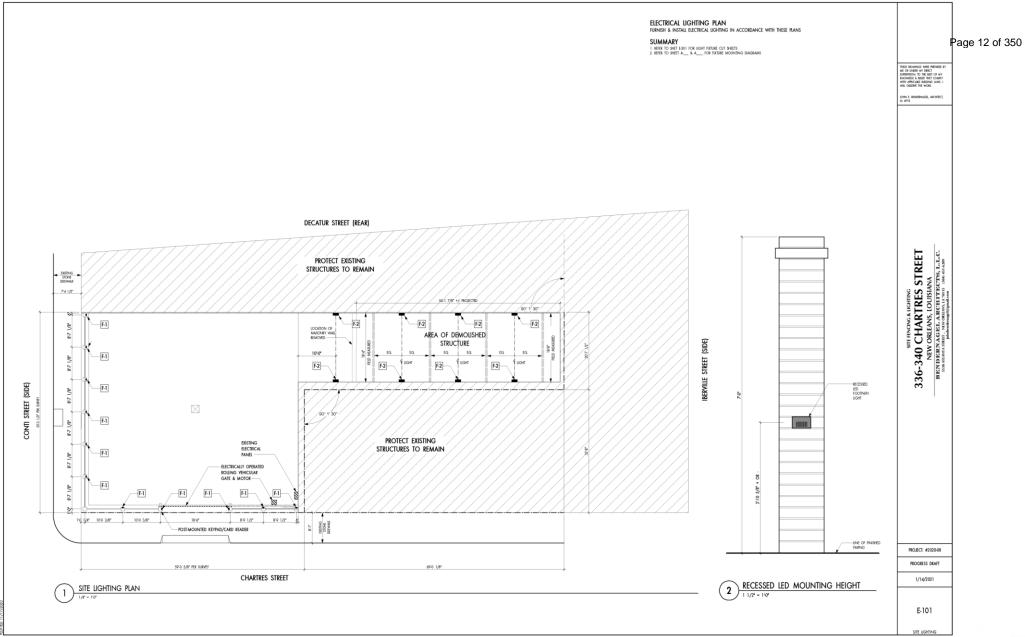


www.pavestone.com

6 X 6 PAVERS

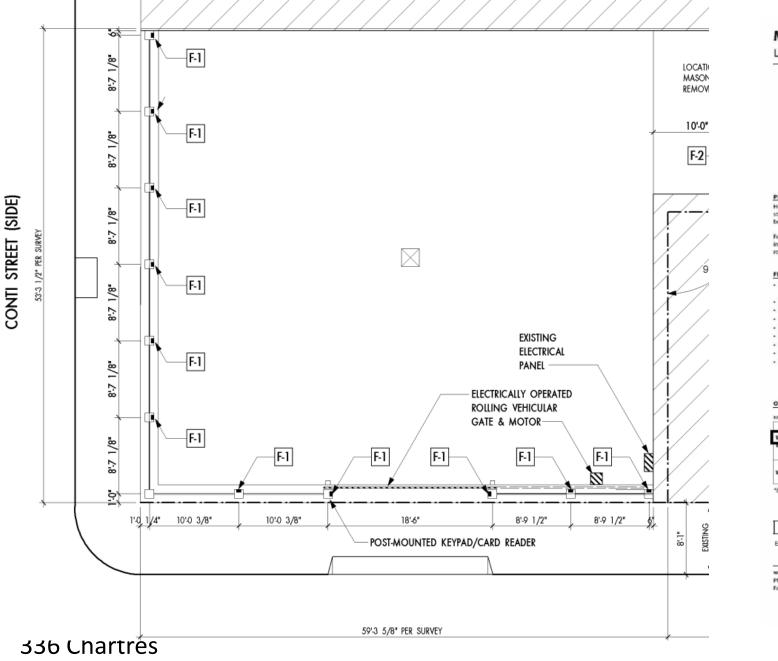
6 X 9 PAVERS











Model: WL-LED100

LEDme® Step Light

WAC LIMING

Responsible Lighting®



Fixture Type:

Catalog Number:

Project:

Location:

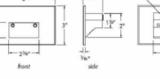
PRODUCT DESCRIPTION

Horizontal rectangle LEDme[®] Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- · Solid diecast brass, corrosion resistant aluminum alloy,
- or cast stainless steel construction
- · Direct wiring, no driver needed
- . Low profile, flush to wall aesthetics with no visible hard ware
- 40,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated, Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- Replaceable LED module
- 5 year WAC Lighting product warranty



SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage:

120V or 277VAC 50/60Hz

Light Source: 3000K CCT Samsung HV-AC High Power LED, CRI: 85 Optional color lenses. Total power consumption of 3.9W

ng: Fits into 2"× 4" J-Box with minimum inside dimensions of

3"L× 2"W× 2"H

Includes bracket for J-Box mount.

ming: Dim to 10% with electronic low voltage (ELV) dimmer Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600,

Lutron Vietri VTELV-600, Lutron Diva DVELV-300P;

Lutron Skylark S ELV-300P, Lutron Maestro MA ELV-600

Standards: IP66, UL & cUL Listed for wet locations

ORDER NUMBER



*Brushed Nickel Finish is for interior use only

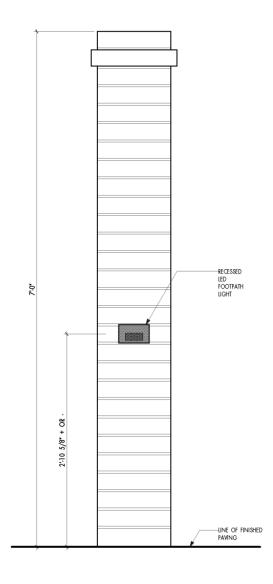


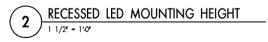
Example: WL-LED100F-BL-SS

wac lighting.com Phone (800) 5262588 Fax (800) 5262585 Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050 Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122 Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

WACLighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. AUG 2016







Model: WL-LED100

LEDme® Step Light

WAC LIGHTING Responsible Lighting®



Fixture Type: Catalog Number

- 7/2"NPT threaded hole

Project:

Location:

PRODUCT DESCRIPTION

Horizontal rectangle LEDme* Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- · Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- · Direct wiring, no driver needed
- · Low profile, flush to wall aesthetics with no visible hard ware
- 40,000 hour rated life
- · Balanced lighting, free of shadows with minimum glare
- · IP66 rated, Protected against high-pressure water jets
- · Up to 200 fixtures can be connected in parallel
- Replaceable LED module
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Direct wiring, no remote driver needed. I nput voltage:

120V or 277VAC 50/60Hz

Light Source: 3000K CCT Samsung HV-AC High Power LED, CRI: 85 Optional color lenses. Total power consumption of 3.9W

Fits into 2"x 4"J-Box with minimum inside dimensions of

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Standards: IP66, UL&cULListed for wet locations

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Example: WL-LED100F-BL-SS

waclighting.com Phone (800) 526.2588 Fax (800) 526.2585

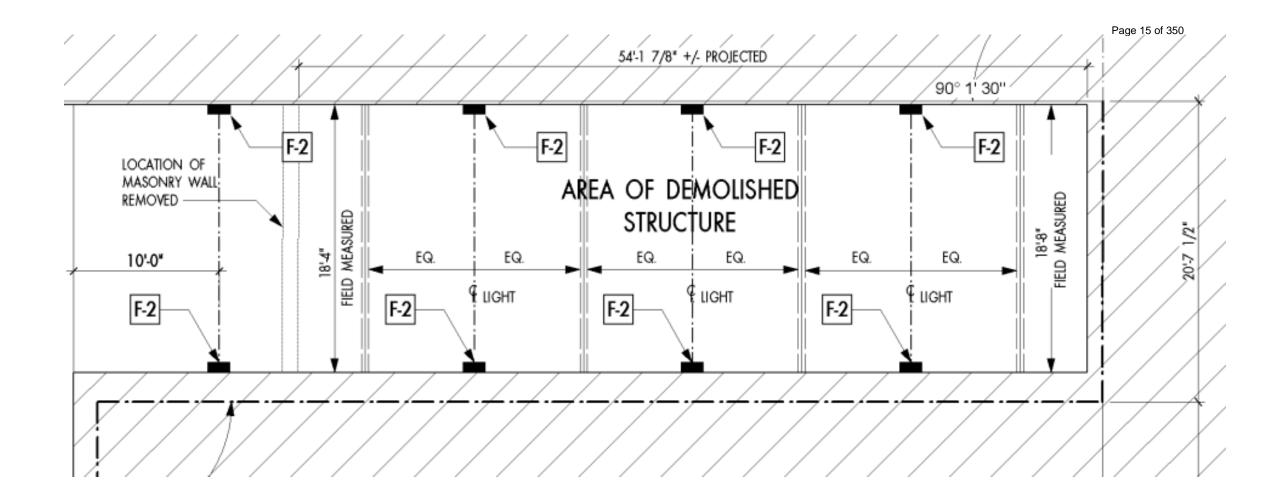
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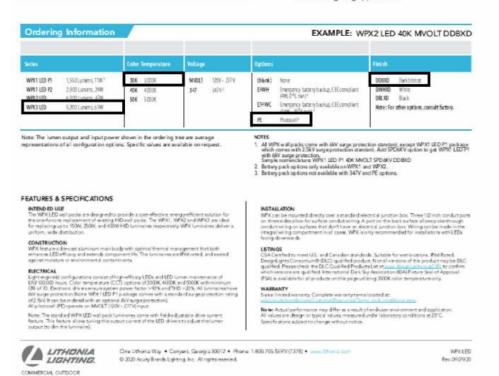




Introduction

The WPX LED wall packs are energy-efficient, costeffective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.



Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	2887	2407	2377	3479
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	039	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate ILF; use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Mainteeance Factor	>0.94	>0.92	>0.90

HID Replacement Guide

Photometric Diagrams

Lumin also	Equivalent HD Lamp	NPX Input Preser
WPX1:LEBP1	100W	11 W
MPXT LEBP2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Lumen Output

	Temperature	Output
	300000	1,537
WPKI LED PI	4000K	1,568
	5000K	1,602
	3000 K	2748
WPX1 LED P2	4000K	2,912
	SOUR	2,954
	3000K	5,719
WP12	400K	5,8%
	5000K	6,207
	3000K	8,984
WPIS	4000K	9,269
	5000K	9,395

Lumen Ambient Temperature (LAT) Multipliers Page 16 of 350

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32'F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1,02
20°C	68°F	1.01
Σť	77°F	1.00
JUE	86°F	0.99
78	95°F	0.98
WT	1047	0.97

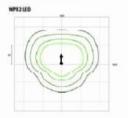
Emergency Egress Battery Packs

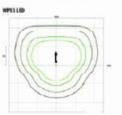
To see complete photometric reports or clownbaid Jes Res for this product, visit the Lithonia Lighting WPX LED homepage. Tested in accordance with ESNALM-79 and LM-80 standards

The emergency battery backup is integal to the luminarie — no external housing or back box is required. The emergency battery will power the luminaire for a minimum dustion of 90 minutes and deliver minimum initial output of 550 lumers. Both battery pack options are CEC compilare.

Battery Type	Minimum Temperatum Rating	Power (Watts)	Controls Option	Or dering Example
Standard	0,0	4W	E4WH	WPX2 LED-40K MIVOUT E4WH DOBKD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MWOLT E14WC DDBXD

ECEND WPX1LED P1 WPX1LED P2 0.2 fc 0.5 fc 1.8 fc





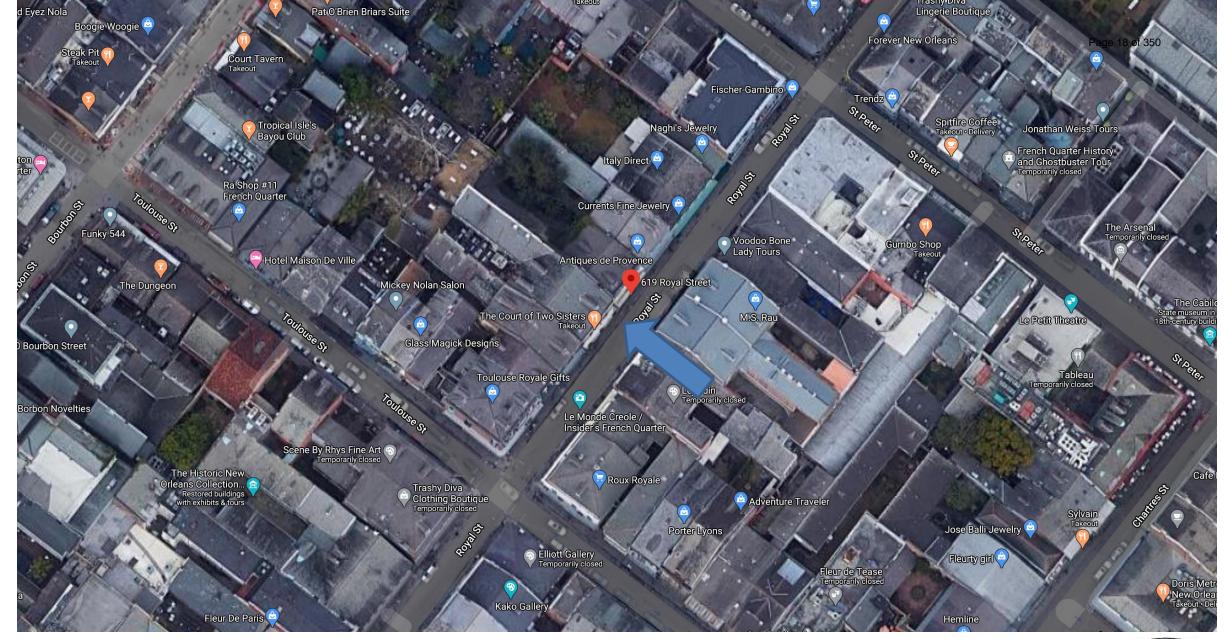
Mounting Height = 12 Feet.



WPX LED Box 39/29/20







619 Royal





619 Royal









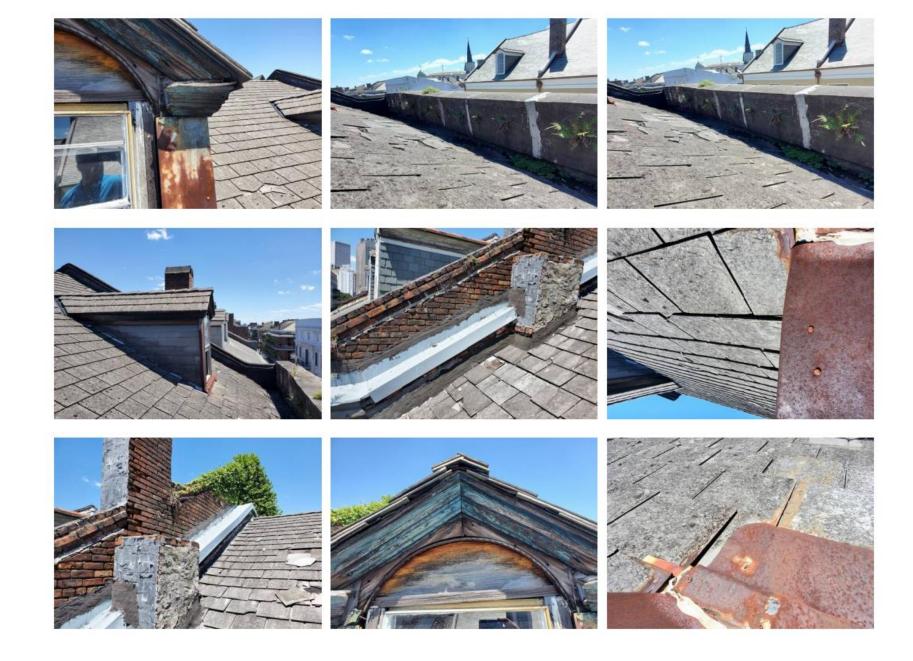
















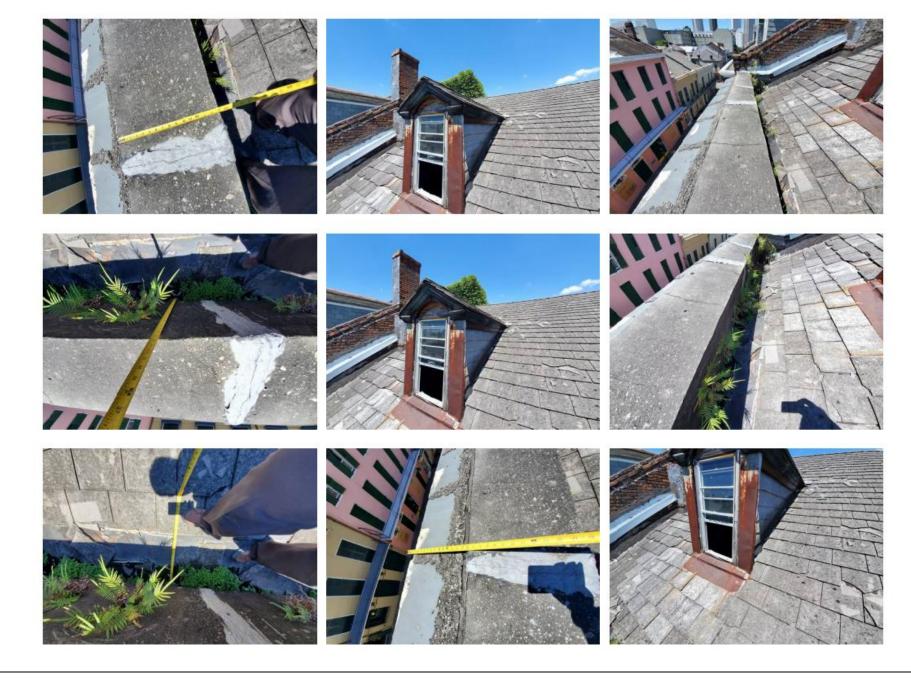






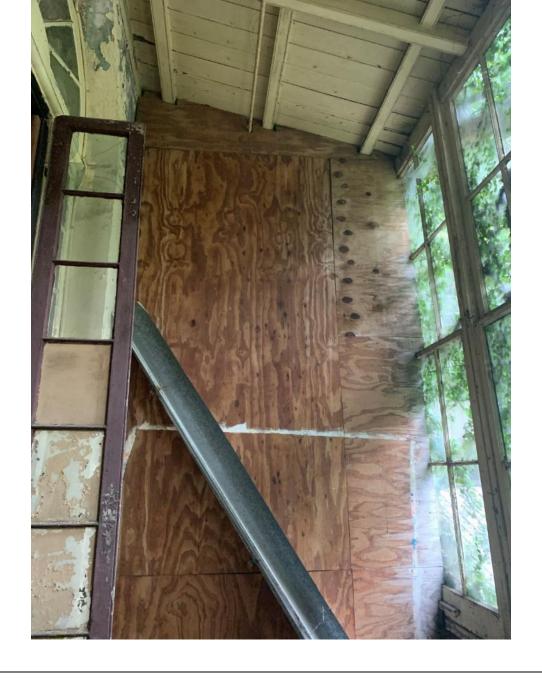














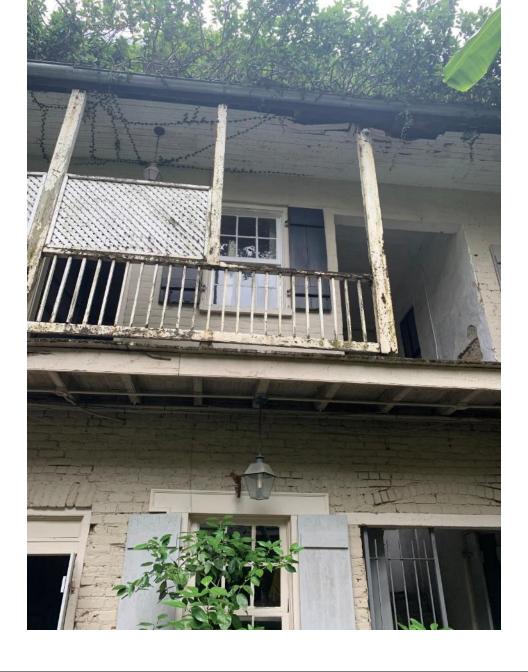


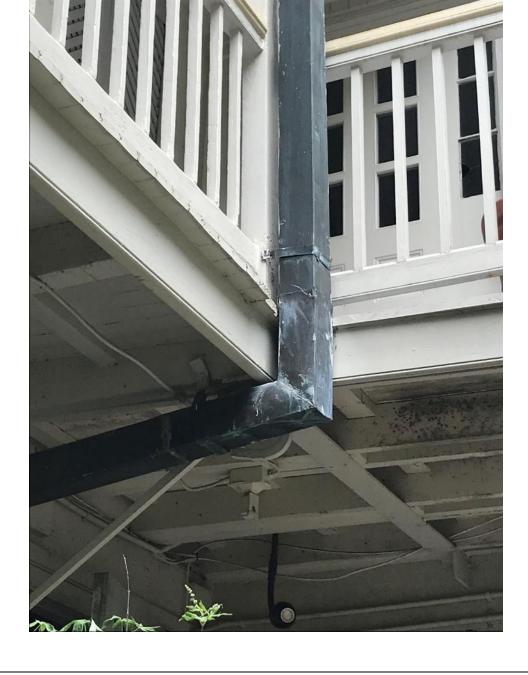


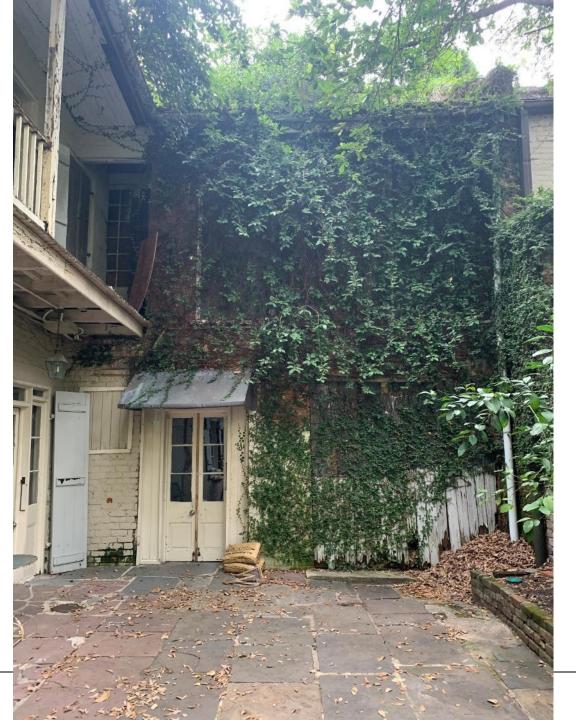






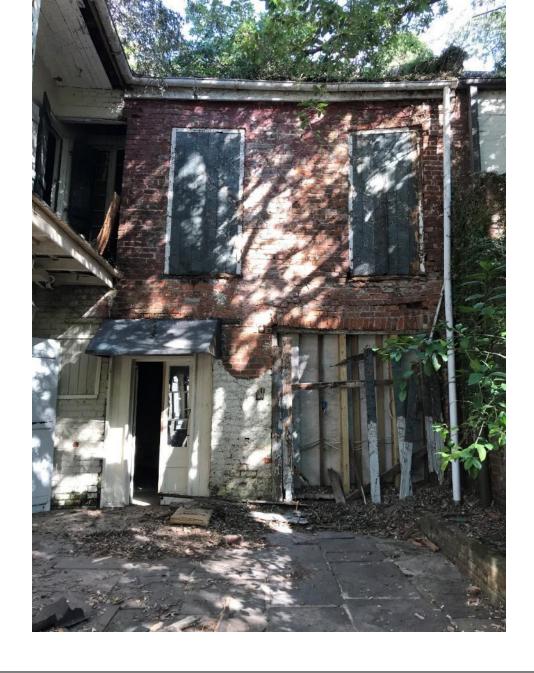


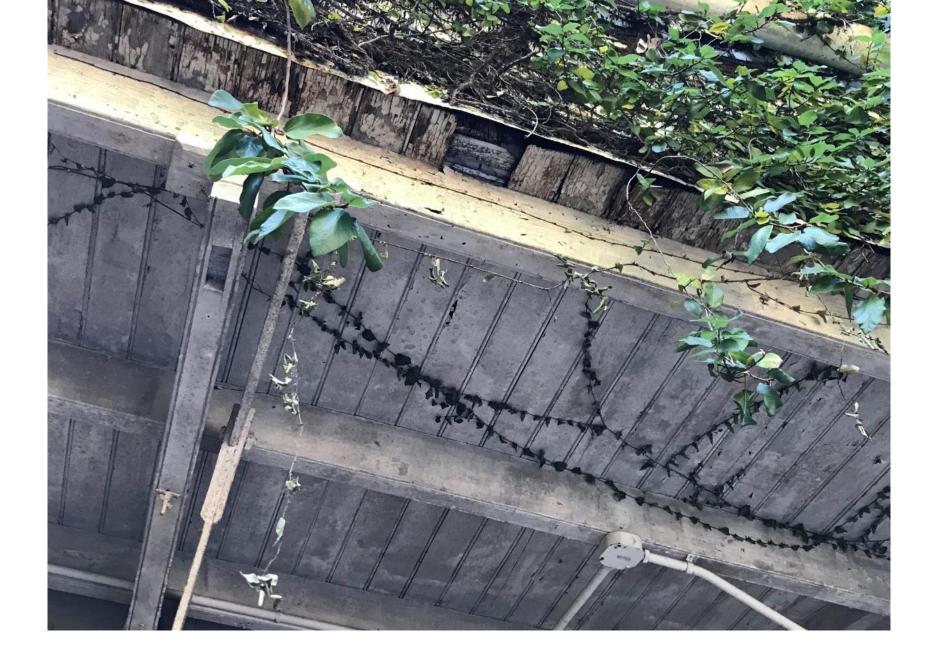








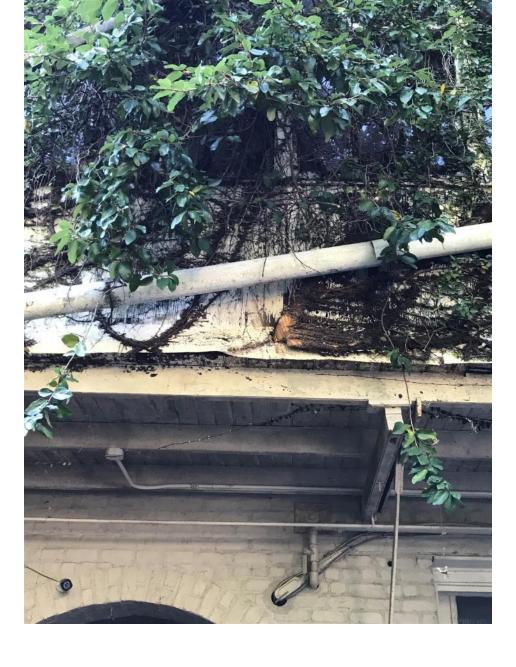














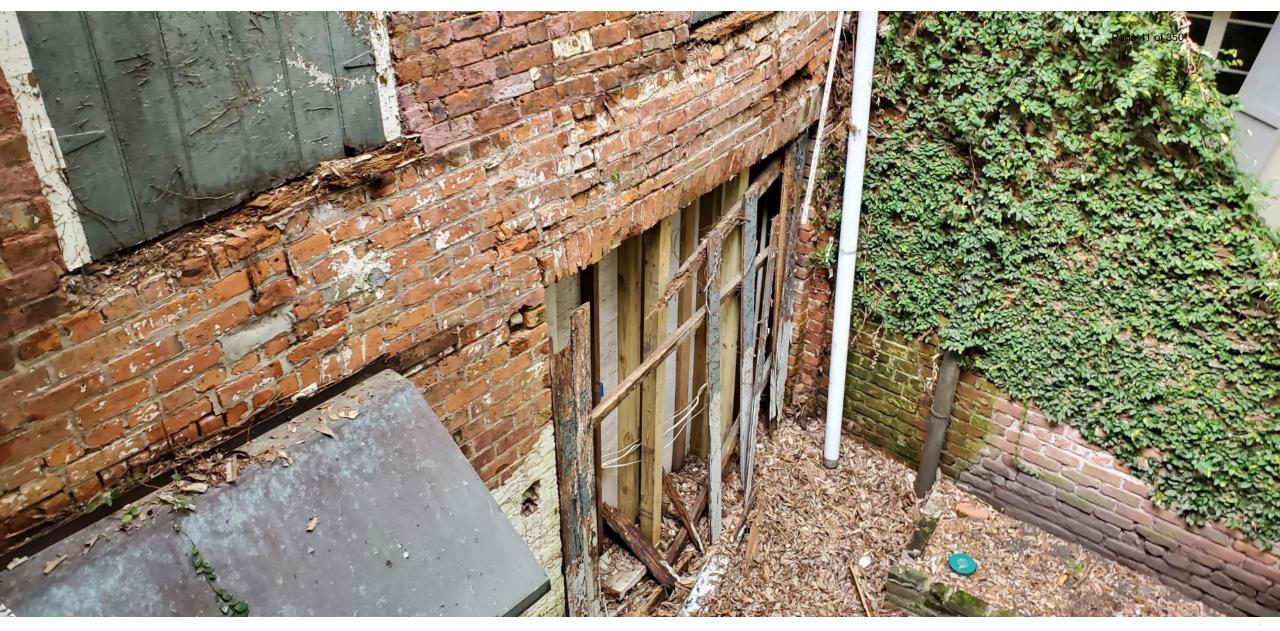










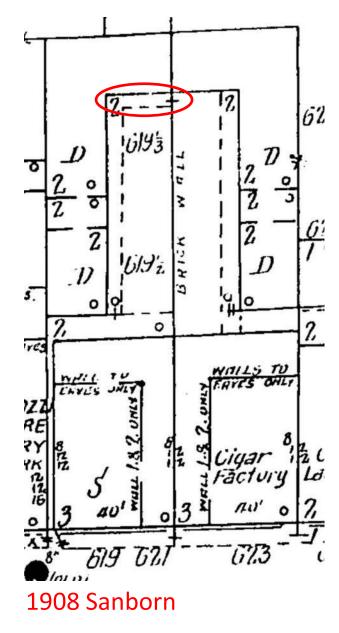










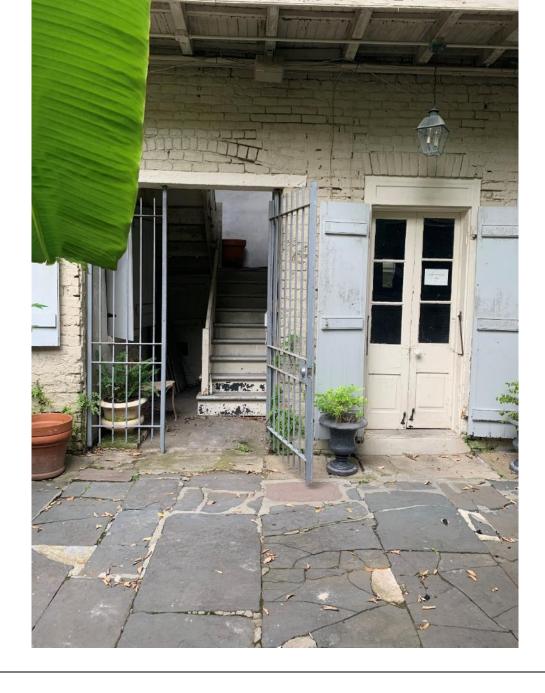


DC BR o lo 36' 623 625 # C

1940 Sanborn

619 Royal



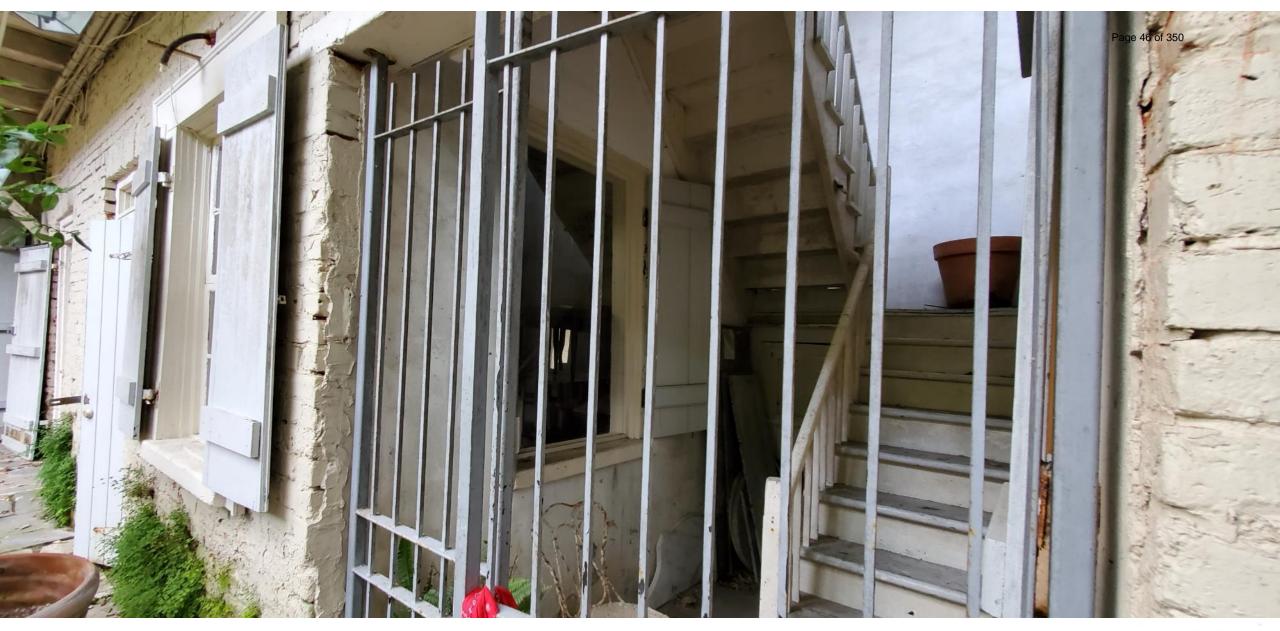


















619 Royal





619 Royal







VCC Architectural Committee









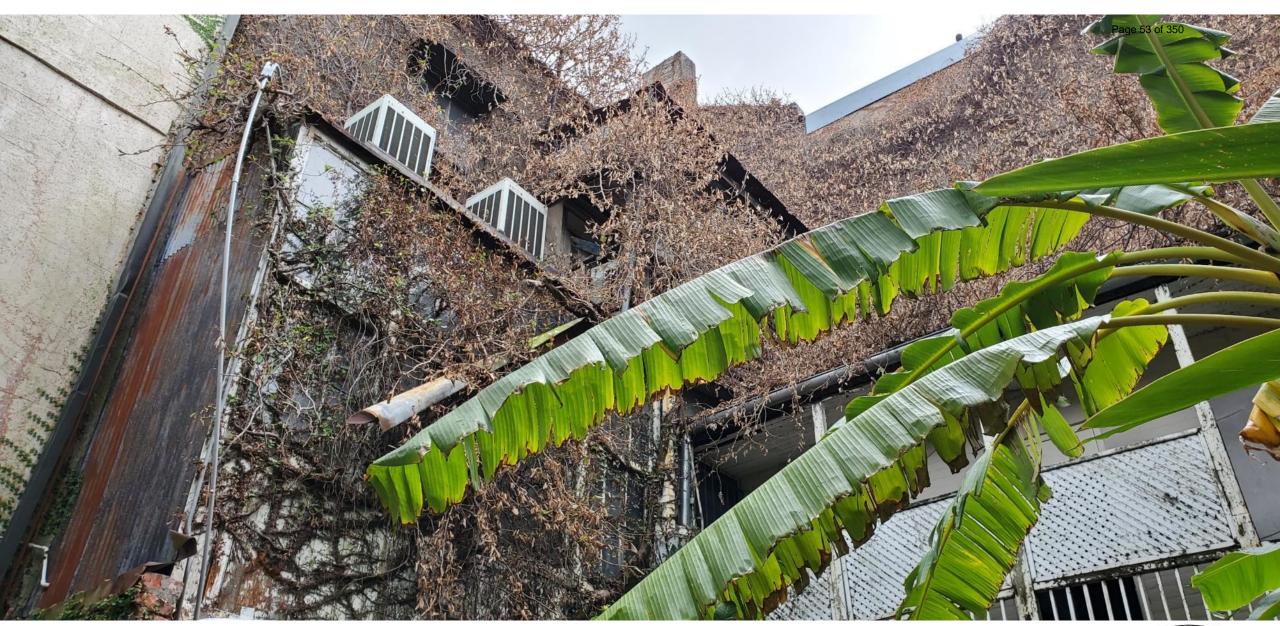












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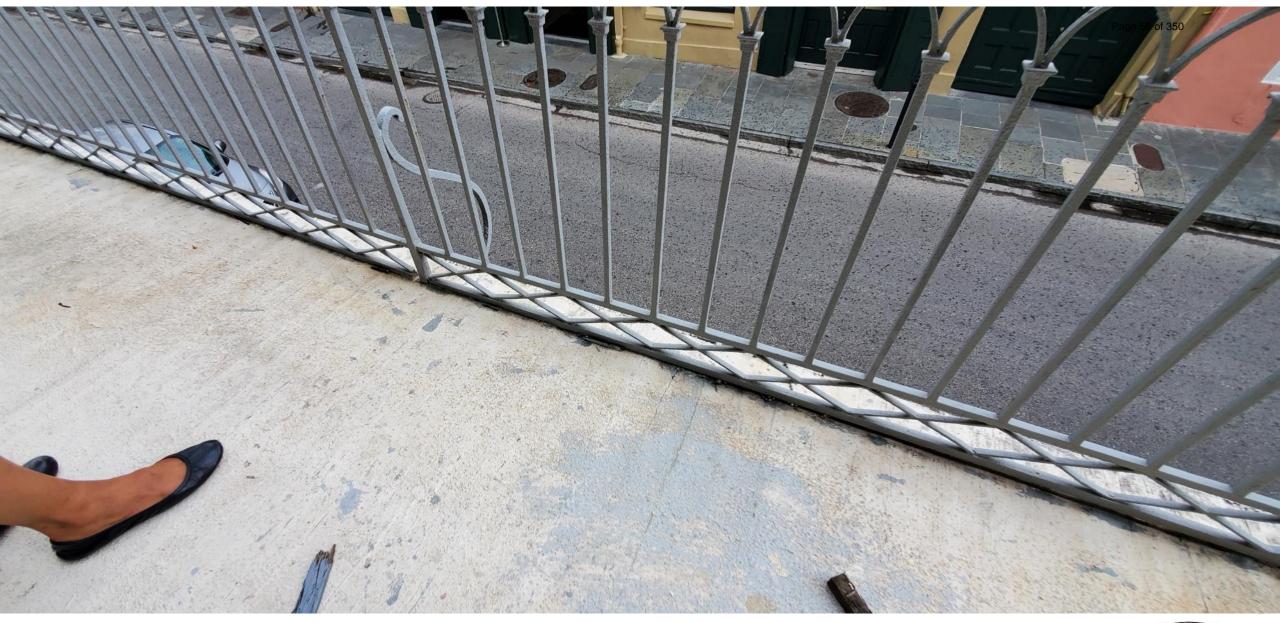
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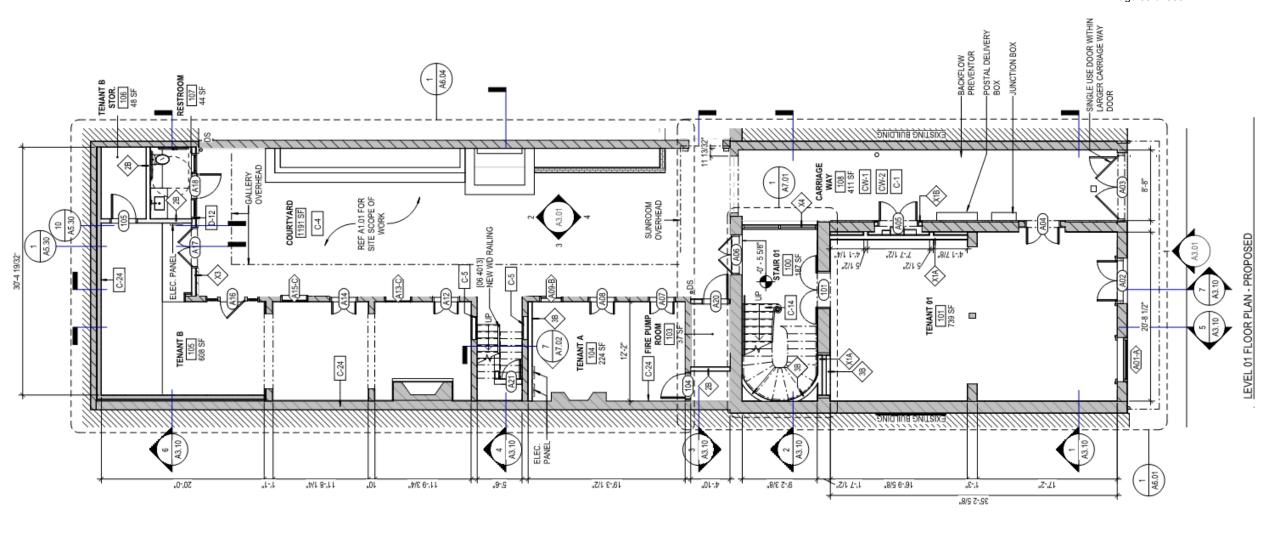




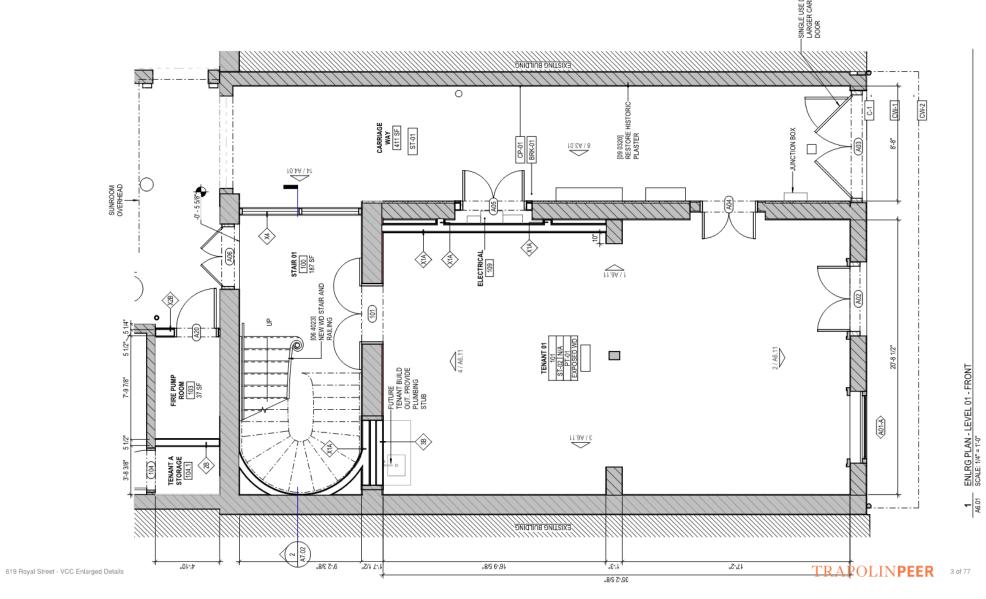
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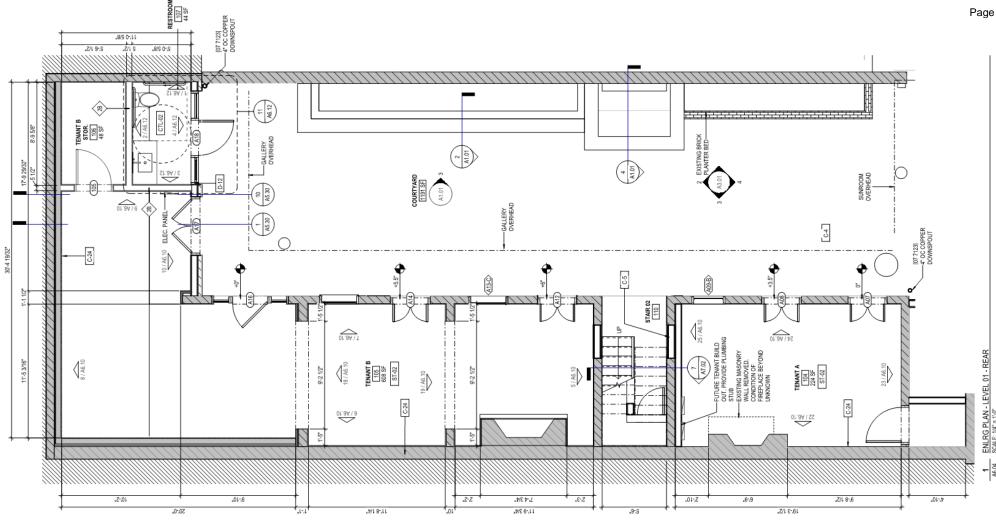








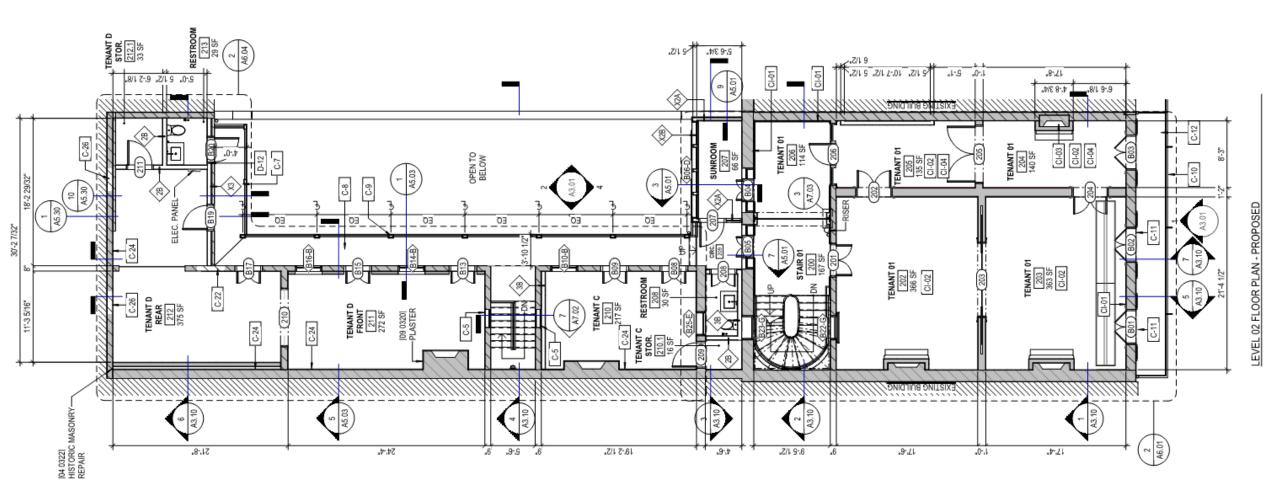


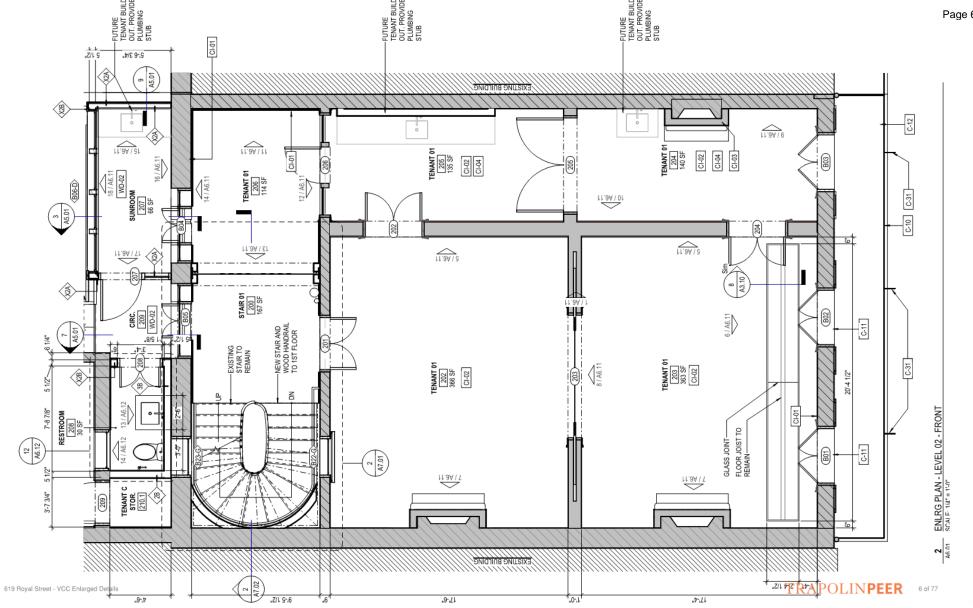


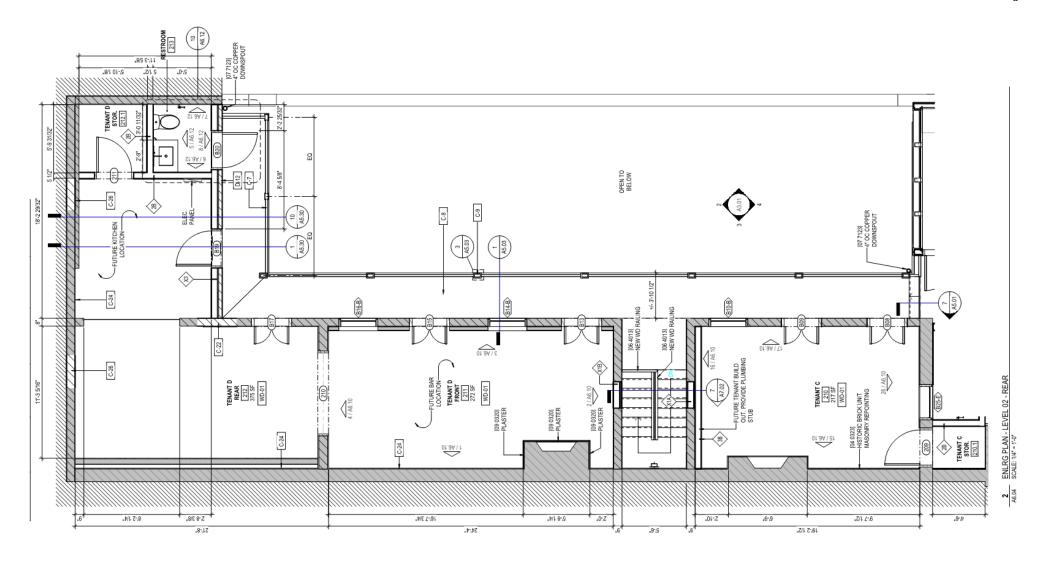
619 Royal Street - VCC Enlarged Details

TRAPOLIN**PEER** 4 of 77





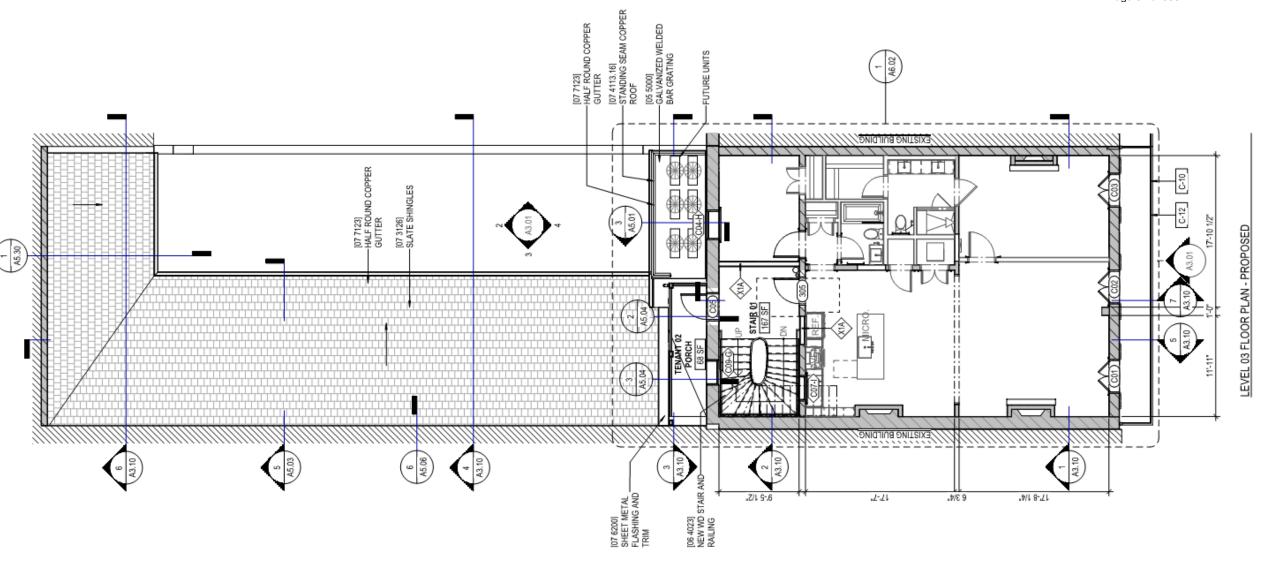




619 Royal Street - VCC Enlarged Details

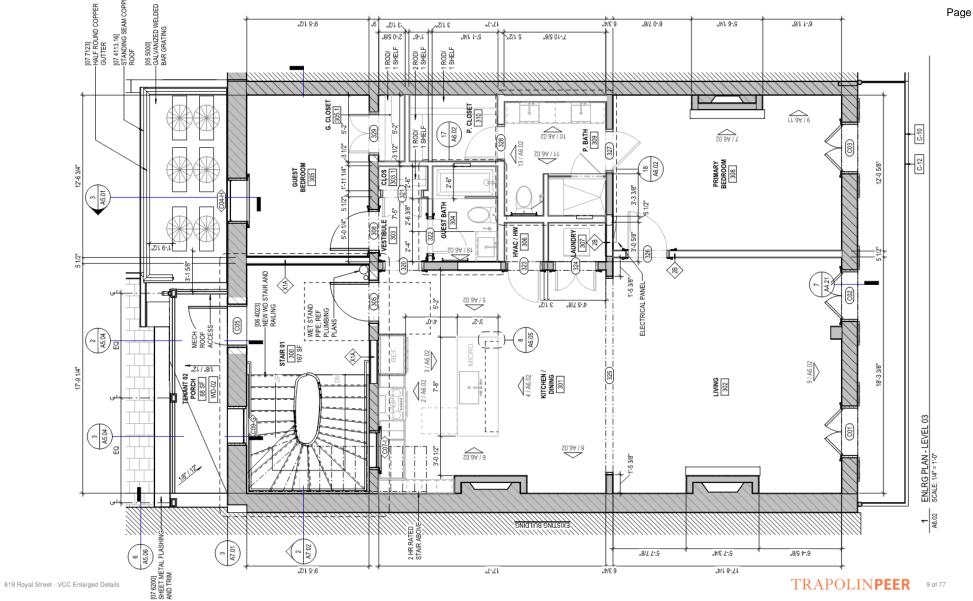
TRAPOLIN**PEER** 7 of 77





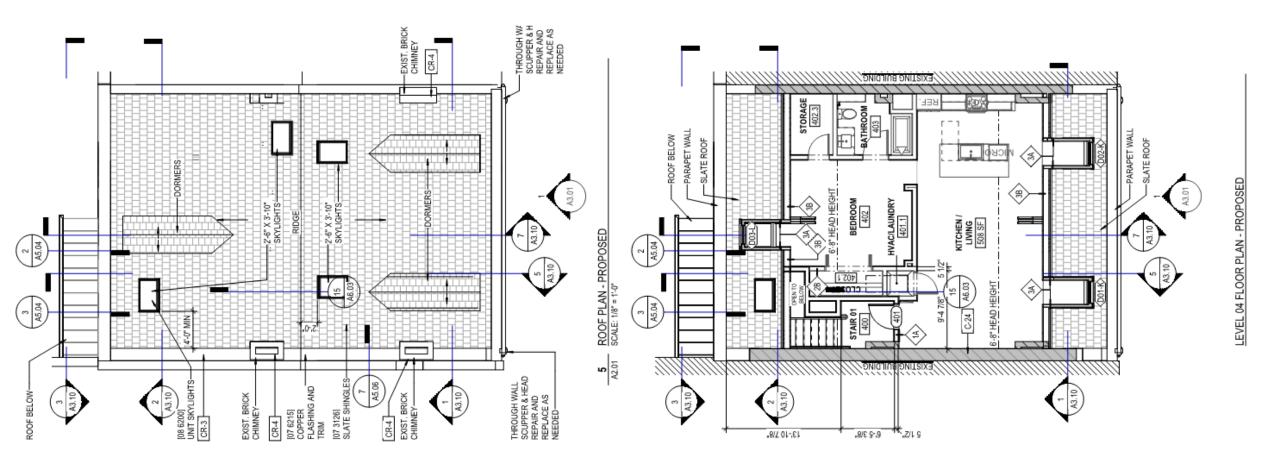




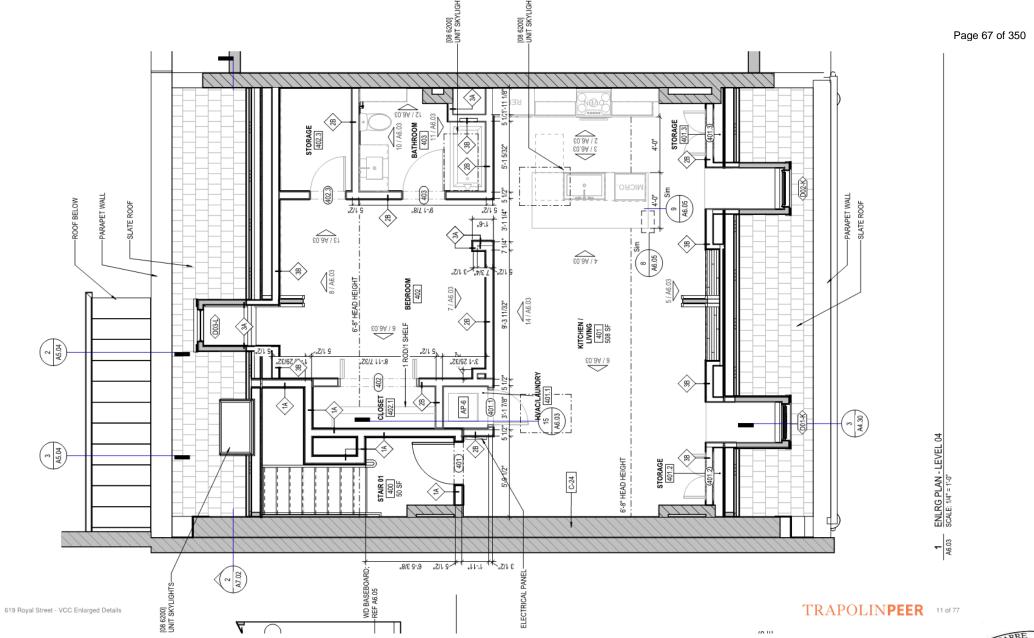


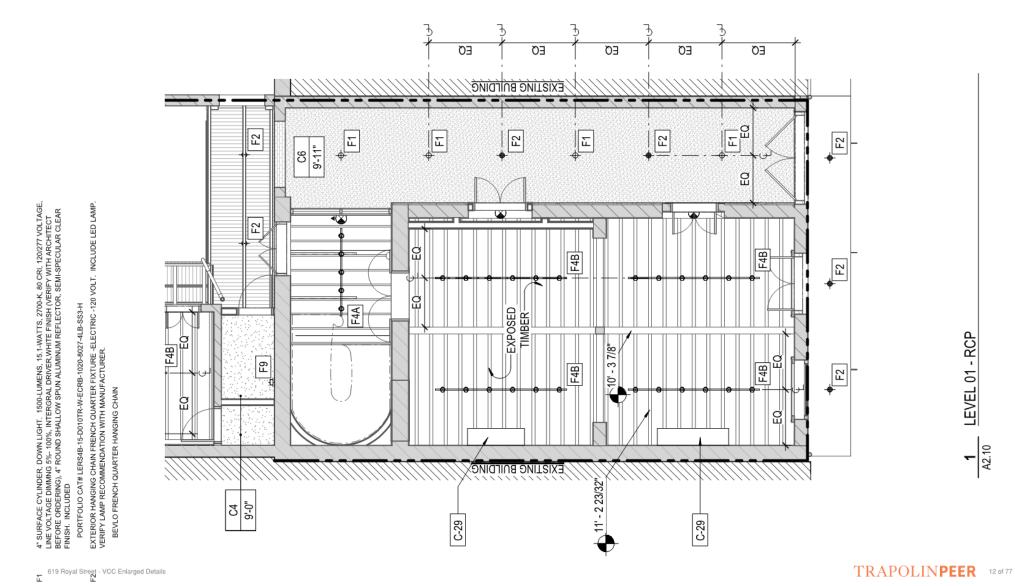




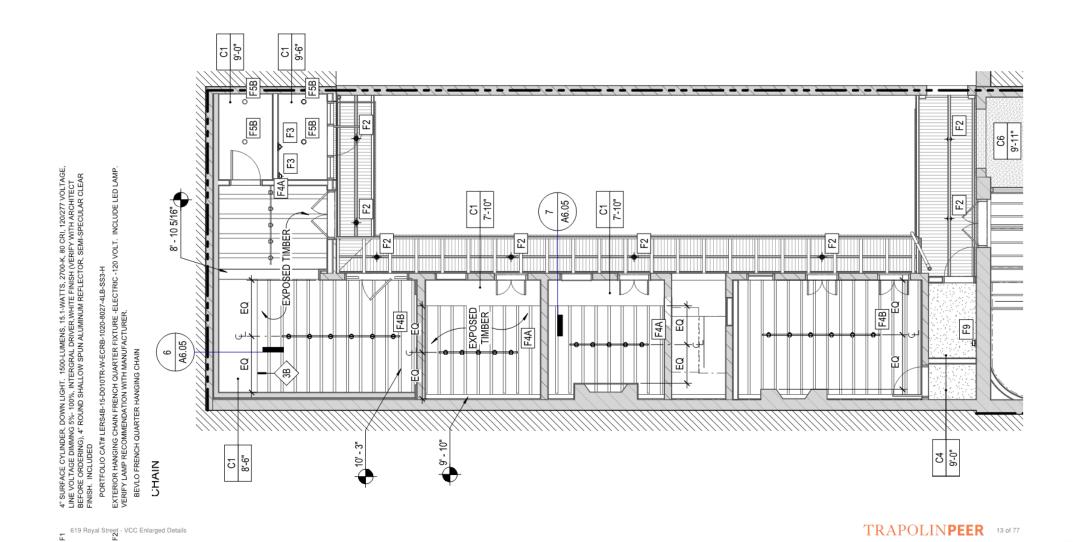






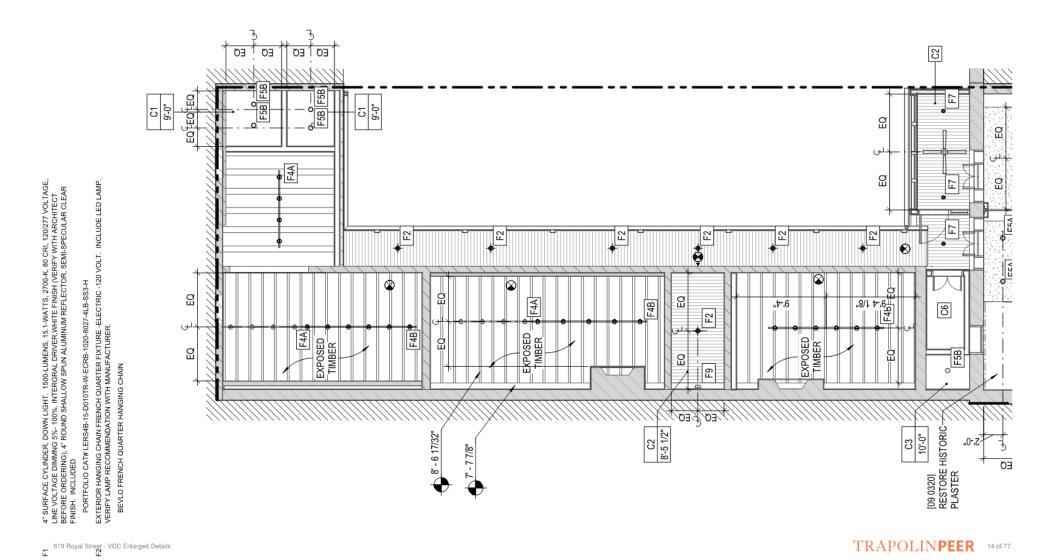


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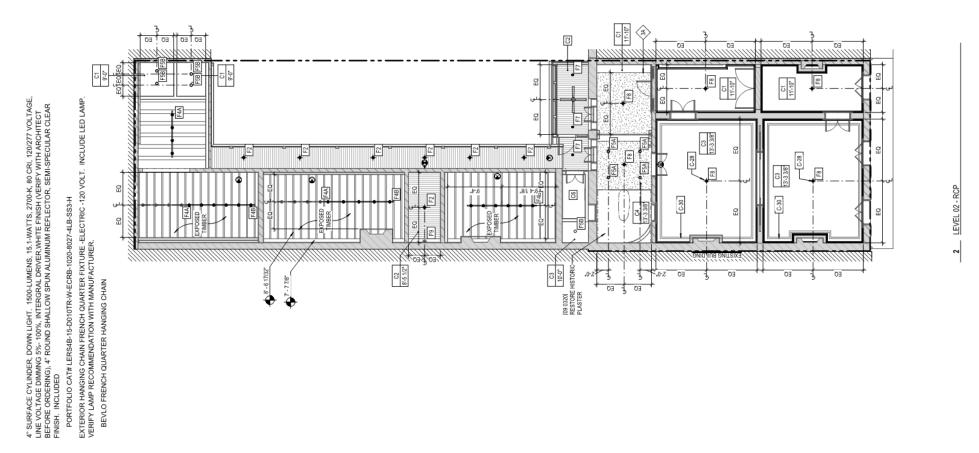


619 Royal





619 Royal



TRAPOLINPEER 15 of 77



619 Royal Street - VCC Enlarged Details

KEYNOTE SCHEDULE (SHEET)		
Keynote Text		
NEW GALLERY W OUTRIGGERS & T&G DECKING INSTALLED		
NEW T&G FLOOR GALLERY TO BE INSTALLED TO MATCH EXISTING ROTTED GALLERY		
NEW COLUMN AND RAILING TO BE INSTALLED TO MATCH ORIGINAL DESIGN (REFERENCE 623 BUILT CONDITIONS)		
EXISTING RAILING TO BE RAISED WITH NEW POSTS AT BOTTOM TO MAKE RAILING CODE COMPLIANT		
REPAIR AND REPLACE IN KIND WARPED OR ROTTEN DECKING; CLEAN AND PAINT ALL BALCONY DECKING		
NEW LIGHTING TO BE INSTALLED UNDER GALLERY DECK		
SOUND EXISTING STUCCO FAÇADE AND REMOVE ANY LOOSE STUCCO. REPLACE MISSING STUCCO, REPAIR CRACKS, CLEAN AND REPOINT STUCCO, PAINT.		
NEW WOOD SIDING WITH PANELING		
REMAINING BRACKET TO BE REPLACED IN KIND AND MISSING BRACKETS (2) TO BE REPLACED		
NEW SOFFIT, GUTTER AND FASCIA BOARDS		

LEGEND - PHASE ELEVATION

[]	DEMOLISHED
7772	DEMOLISHED SURFACE
	EXISTING OPENING, REPLACED IN KIND
	EXISTING OPENING, REPAIR
	NEW CONSTRUCTION

GENERAL NOTES

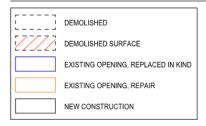
- REFER TO OPENING SCHEDULES FOR ALL REPAIR,
 REPLACEMENT, MAINTENANCE OF EXISTING WOOD DOORS,
 WINDOWS, AND SHUTTERS
- ALL SHUTTERS TO BE CAREFULLY REMOVED AND SALVAGED FOR REUSE.



619 Royal Street - VCC Enlarged Details

KEYNOTE SCHEDULE (SHEET)		
Key Value	Keynote Text	
C-7	NEW GALLERY W OUTRIGGERS & T&G DECKING INSTALLED	
C-8	NEW T&G FLOOR GALLERY TO BE INSTALLED TO MATCH EXISTING ROTTED GALLERY	
C-9	NEW COLUMN AND RAILING TO BE INSTALLED TO MATCH ORIGINAL DESIGN (REFERENCE 623 BUILT CONDITIONS)	
C-10	EXISTING RAILING TO BE RAISED WITH NEW POSTS AT BOTTOM TO MAKE RAILING CODE COMPLIANT	
C-12	REPAIR AND REPLACE IN KIND WARPED OR ROTTEN DECKING; CLEAN AND PAINT ALL BALCONY DECKING	
C-18	NEW LIGHTING TO BE INSTALLED UNDER GALLERY DECK	
C-20	SOUND EXISTING STUCCO FAÇADE AND REMOVE ANY LOOSE STUCCO. REPLACE MISSING STUCCO, REPAIR CRACKS, CLEAN AND REPOINT STUCCO, PAINT.	
C-23	NEW WOOD SIDING WITH PANELING	
C-31	REMAINING BRACKET TO BE REPLACED IN KIND AND MISSING BRACKETS (2) TO BE REPLACED	
CR-2	NEW SOFFIT, GUTTER AND FASCIA BOARDS	

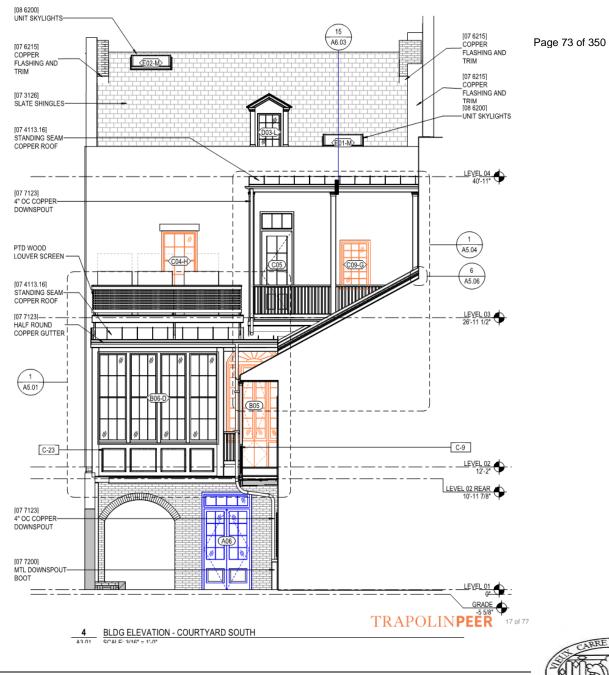
LEGEND - PHASE ELEVATION



GENERAL NOTES

- REFER TO OPENING SCHEDULES FOR ALL REPAIR, REPLACEMENT, MAINTENANCE OF EXISTING WOOD DOORS, WINDOWS, AND SHUTTERS
- ALL SHUTTERS TO BE CAREFULLY REMOVED AND SALVAGED FOR REUSE.

619 Royal Street - VCC Enlarged Details





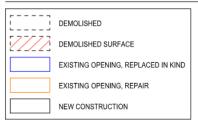


TRAPOLIN**PEER** 18 of 77



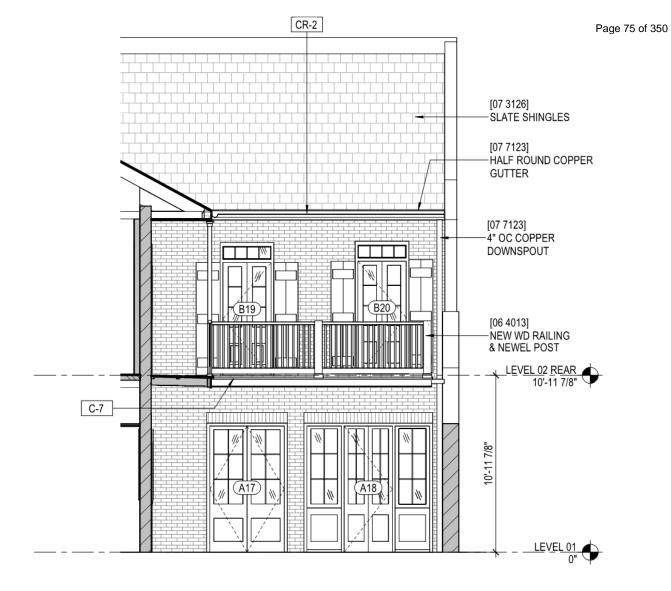
KEYNOTE SCHEDULE (SHEET)		
Key Value	Keynote Text	
C-7	NEW GALLERY W OUTRIGGERS & T&G DECKING INSTALLED	
C-8	NEW T&G FLOOR GALLERY TO BE INSTALLED TO MATCH EXISTING ROTTED GALLERY	
C-9	NEW COLUMN AND RAILING TO BE INSTALLED TO MATCH ORIGINAL DESIGN (REFERENCE 623 BUILT CONDITIONS)	
C-10	EXISTING RAILING TO BE RAISED WITH NEW POSTS AT BOTTOM TO MAKE RAILING CODE COMPLIANT	
C-12	REPAIR AND REPLACE IN KIND WARPED OR ROTTEN DECKING; CLEAN AND PAINT ALL BALCONY DECKING	
C-18	NEW LIGHTING TO BE INSTALLED UNDER GALLERY DECK	
C-20	SOUND EXISTING STUCCO FAÇADE AND REMOVE ANY LOOSE STUCCO. REPLACE MISSING STUCCO, REPAIR CRACKS, CLEAN AND REPOINT STUCCO, PAINT.	
C-23	NEW WOOD SIDING WITH PANELING	
C-31	REMAINING BRACKET TO BE REPLACED IN KIND AND MISSING BRACKETS (2) TO BE REPLACED	
CR-2	NEW SOFFIT, GUTTER AND FASCIA BOARDS	

LEGEND - PHASE ELEVATION



GENERAL NOTES

- REFER TO OPENING SCHEDULES FOR ALL REPAIR, REPLACEMENT, MAINTENANCE OF EXISTING WOOD DOORS, WINDOWS, AND SHUTTERS
- 2. ALL SHUTTERS TO BE CAREFULLY REMOVED AND SALVAGED



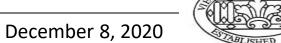
BLDG ELEVATION - COURTYARD NORTH

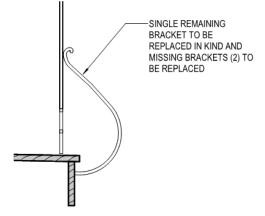
TRAPOLINPEER 19 of 77

619 Royal Street - VCC Enlarged Details

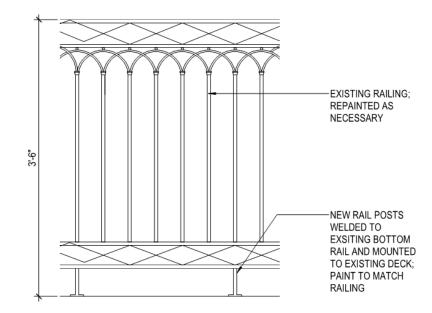
A3.01 SCALE: 3/16" = 1'-0"







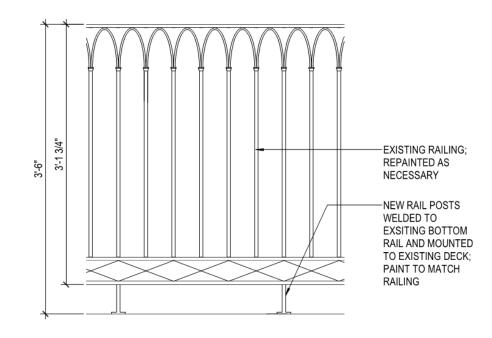
7 ELEV - 2ND FLR MTL RAILING BRACKET A3.01 SCALE: 1" = 1'-0"



ELEV - 2ND FLR MTL RAILING - PROPOSED

A3.01 SCALE: 1" = 1'-0"

619 Royal Street - VCC Enlarged Details

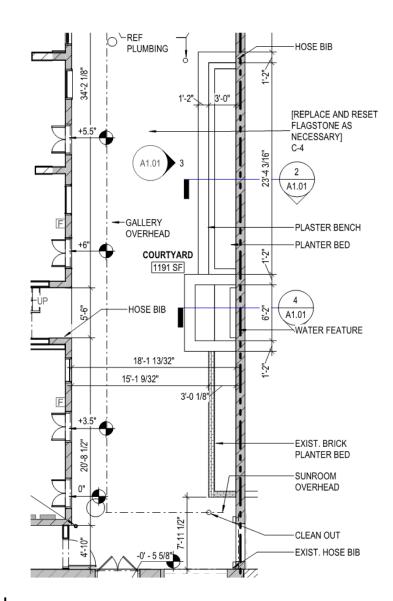


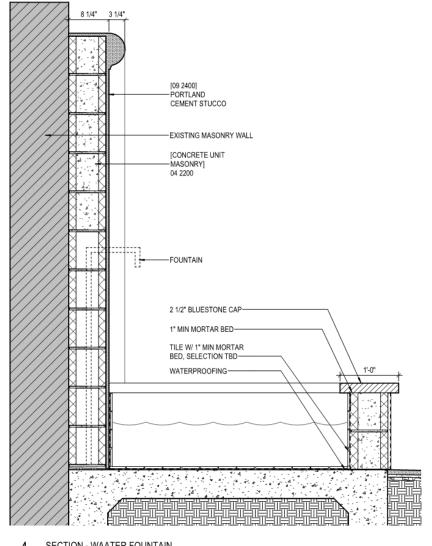
ELEV - 3RD FLR MTL RAILING - PROPOSED

A3.01 SCALE: 1" = 1'-0"

TRAPOLINPEER 20 of 77



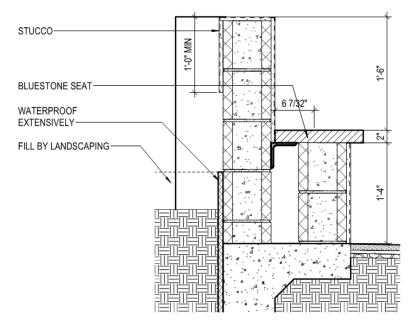


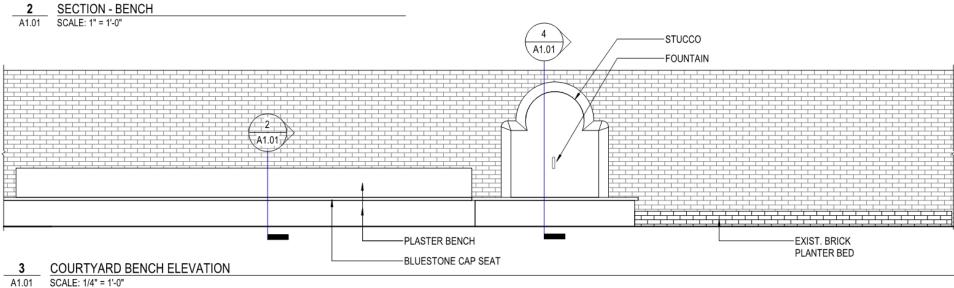


4 SECTION - WAATER FOUNTAIN SCALE: 1" = 1'-0"



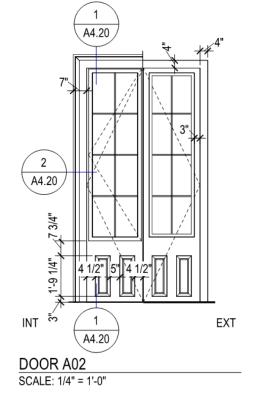


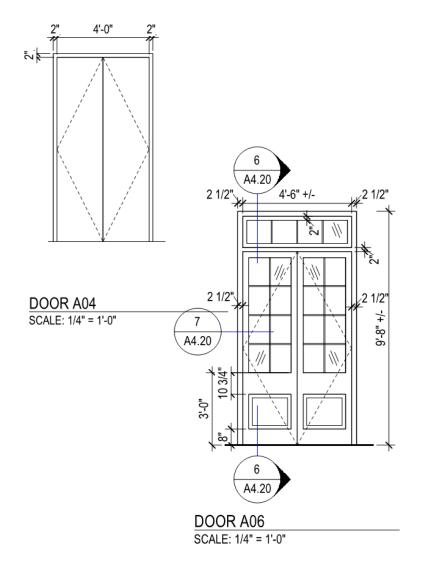


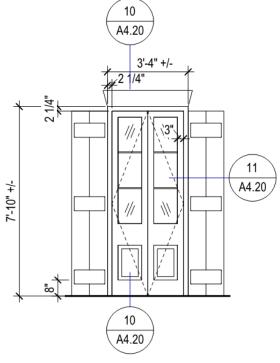


619 Royal









COURTYARD FRENCH DOOR

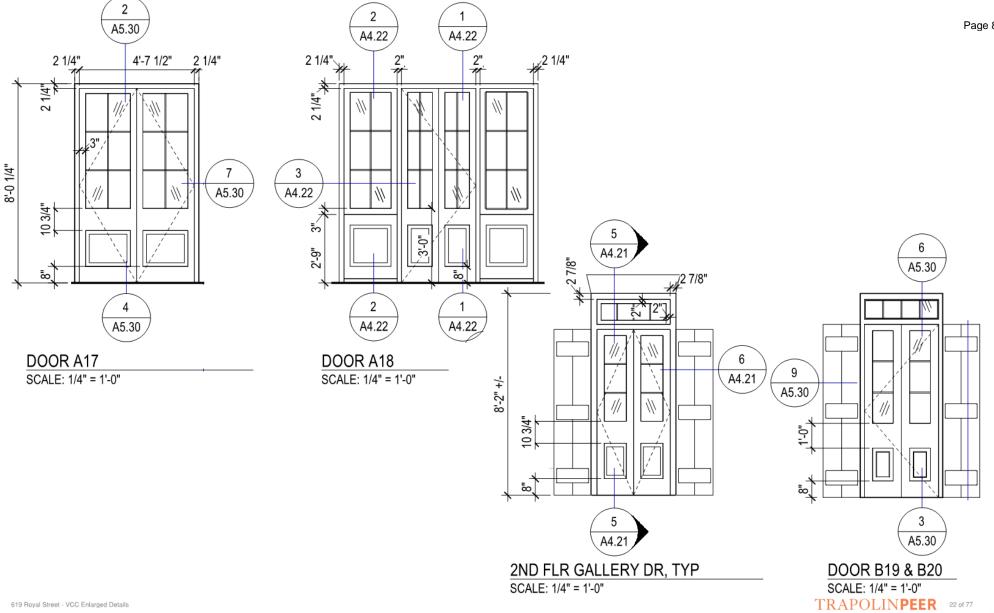
SCALE: 1/4" = 1'-0"

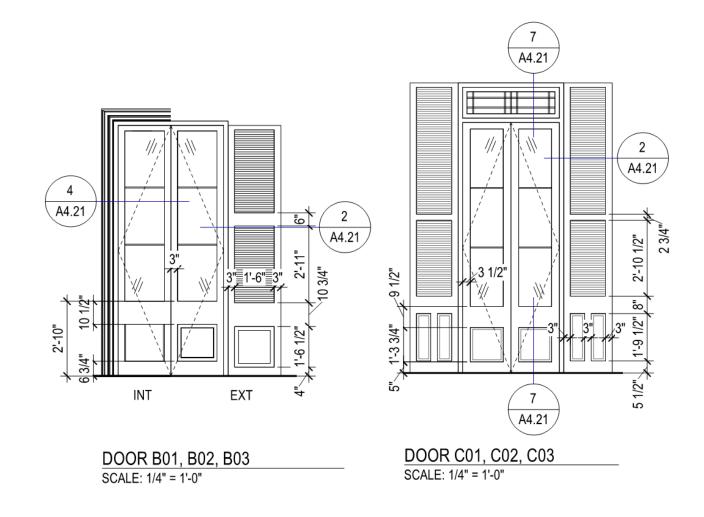
TRAPOLINPEER 21 of 77

619 Royal Street - VCC Enlarged Details



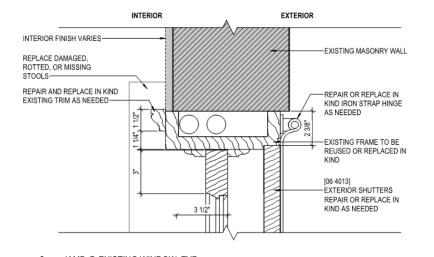


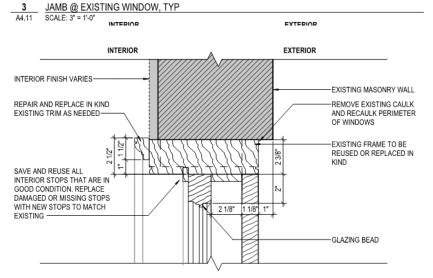




TRAPOLIN**PEER** 23 of 77

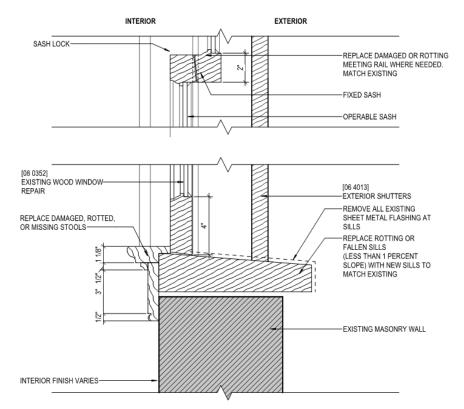






HEAD @ EXISTING WINDOW, TYP A4.11 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details



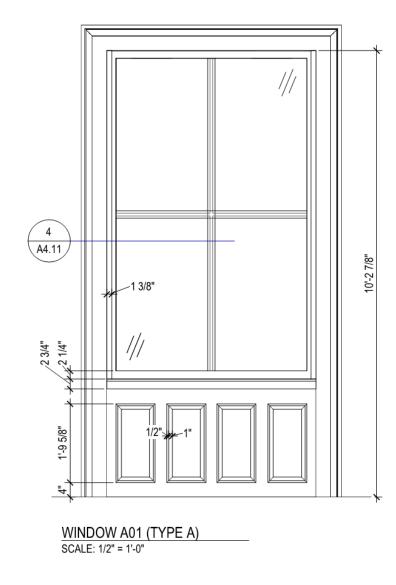
SILL & MEETING RAIL @ EXISTING WINDOW, TYP

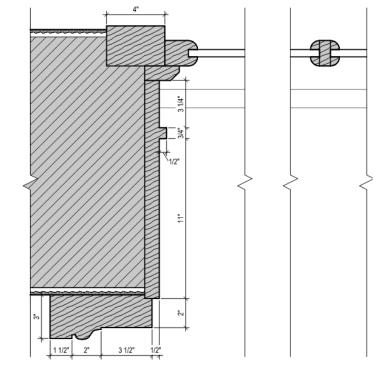
SCALE: 3" = 1'-0"

TRAPOLINPEER 24 of 77









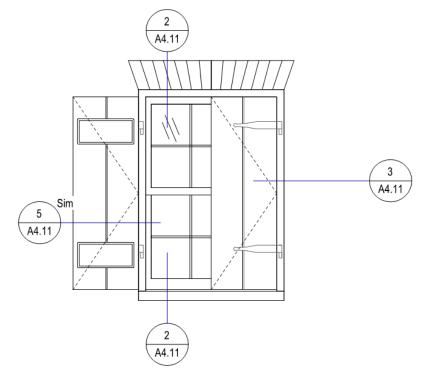
4 JAMB @ A01 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

TRAPOLIN**PEER** 25 of 77







NEW SURFACE MOUNTED PINTEL AS NEEDED

REPAIR OR REPLACE IN KIND IRON STRAP HINGE AS NEEDED

VARIES

ALL EXISTING SHUTTERS TO BE REPAIRED, SANDED AND REPAINTED

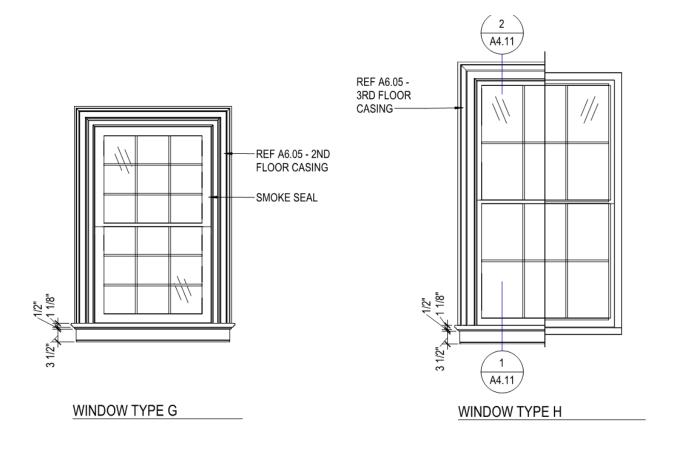
WINDOW (TYPE B & C) @ SERVICE BUILDING SCALE: 1/2" = 1'-0"

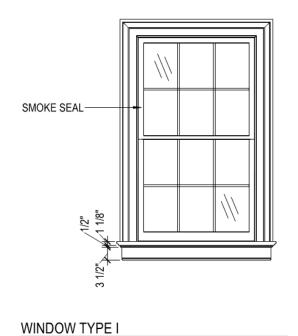
5 TYP. SHUTTER DETAIL SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

2020

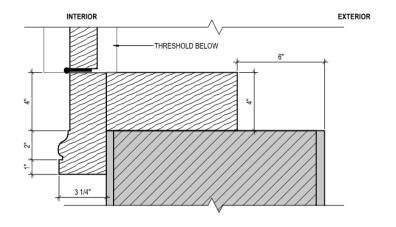
TRAPOLINPEER 26 of 77

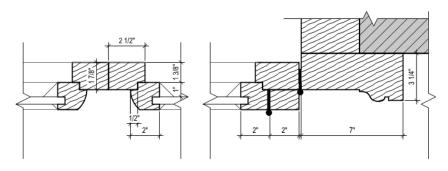




TRAPOLINPEER 27 of 77



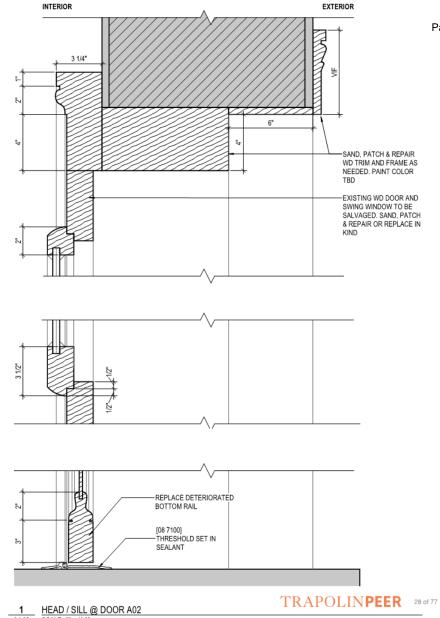




3 A4.20 JAMB @ DOOR A02 @ WINDOW SCALE: 3" = 1'-0"

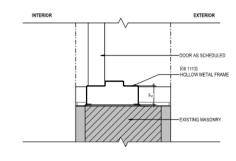
2 A4.20 JAMB @ DOOR A02 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

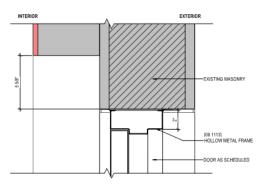


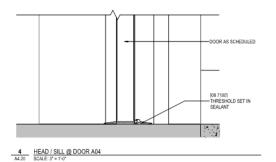
1 HEAD / SILL @ DOOR A02 SCALE: 3" = 1'-0"

INTERIOR



5 JAMB @ DOOR A04

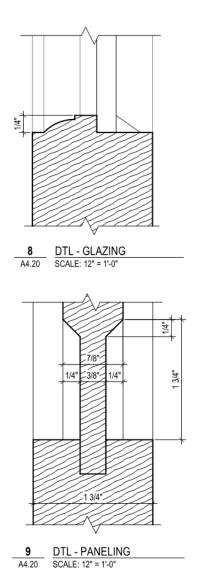


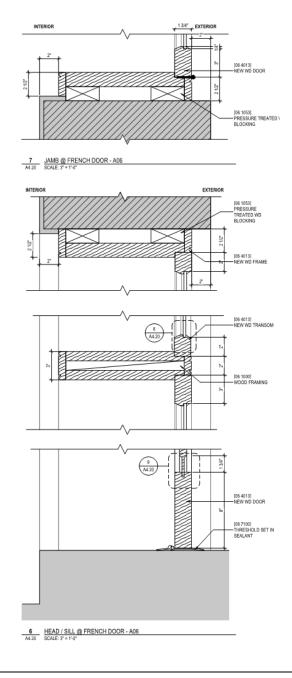


619 Royal Street - VCC Enlarged Details

TRAPOLIN**PEER** 29 of 77

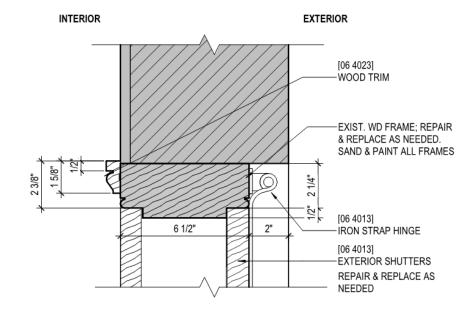






TRAPOLINPEER 30 of 77





11 JAMB @ COURTYARD FRENCH DOOR, TYP SCALE: 3" = 1'-0"

EXTERIOR INTERIOR [06 4023] -WOOD TRIM -EXIST. WD FRAME; REPAIR & REPLACE AS NEEDED. SAND & PAINT ALL FRAMES A4.20

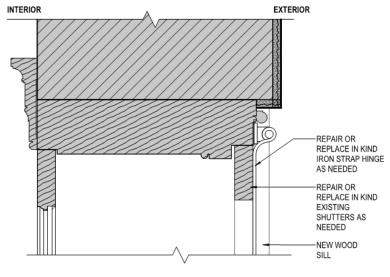
[06 4013] -EXTERIOR SHUTTERS REPAIR & REPLACE AS NEEDED [06 4013] -NEW WD DOOR AS SCHEDULED [08 7100] -THRESHOLD SET IN SEALANT SILL CONDITION VARIES

619 Royal Street - VCC Enlarged Details

10 HEAD / SILL @ COURTYARD FRENCH DOOR, TYP SCALE: 3" = 1'-0"

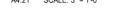
TRAPOLINPEER 31 of 77

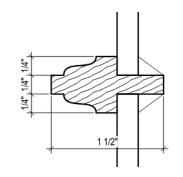


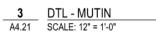


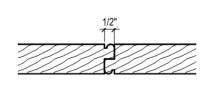
INTERIOR **EXTERIOR** Page 90 of 350 [09 0320] -RESTORE HISTORIC PLASTER [06 4013] —EXTERIOR SHUTTERS 1 7/8" | 1 3/8" NEW OR EXISTING WOOD DOOR; REF SCHEDULE REPAIR OR REPLACE IN KIND AS NEEDED

JAMB @ ROYAL ST BALCONY, TYP SCALE: 3" = 1'-0"

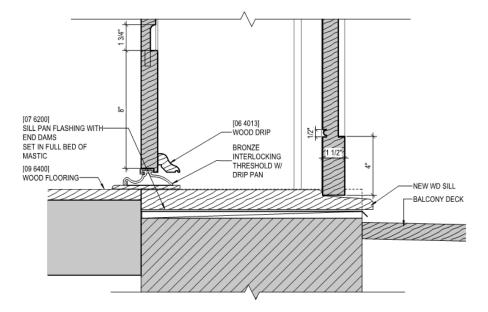








DTL - DOOR MEETING RAIL SCALE: 3" = 1'-0"



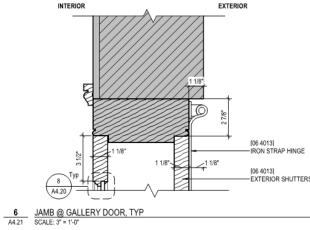
1 A4.21 HEAD / SILL @ ROYAL ST BALCONY (B01, B02, B03)

619 Royal Street - VCC Enlarged Details

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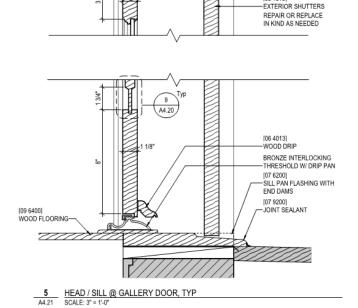






EXTERIOR SHUTTERS

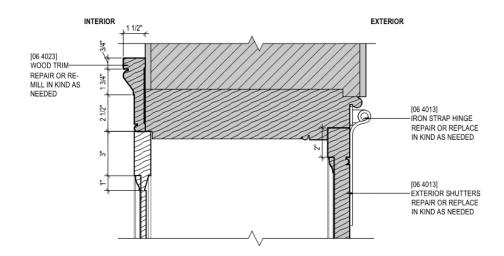
619 Royal Street - VCC Enlarged Details



EXTERIOR

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JAMB @ ROYAL ST BALCONY (C01, C02, C03), TYP

[09 0320] -- RESTORE HISTORIC [06 4013] -EXTERIOR SHUTTERS REPAIR OR REPLACE IN KIND AS NEEDED NEW OR EXISTING WD DOOR; REF SCHEDULE [06 4013] -WOOD DRIP SILL PAN FLASHING WITH END DAMS BRONZE INTERLOCKING THRESHOLD W/ DRIP PAN [09 6400] WOOD FLOORING--NEW WD SILL BALCONY DECK

7 HEAD / SILL @ ROYAL ST BALCONY (C01, C02, C03), TYP

A4.21 SCALE: 3" = 1'-0"

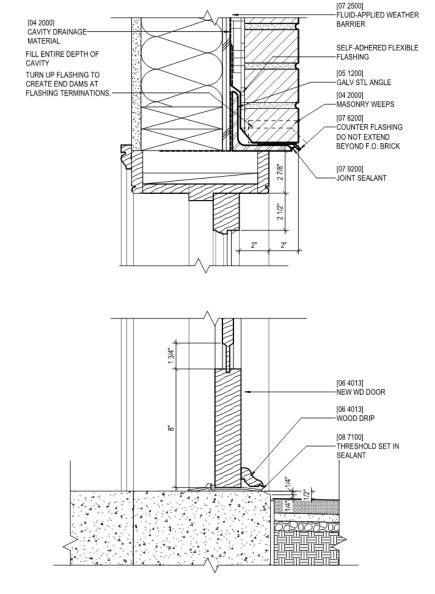
TRAPOLINPEER 34 of 77



619 Royal

A4.21 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

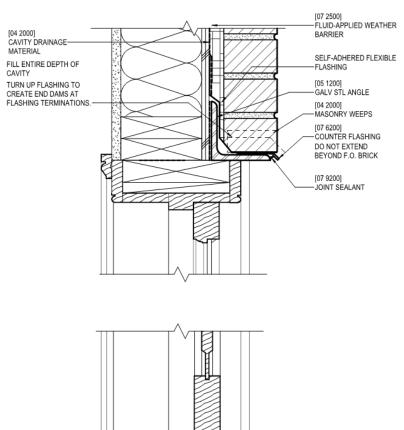


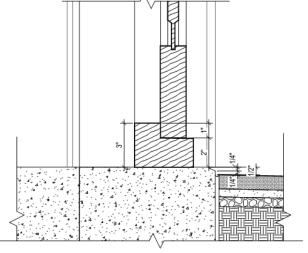
1 A4.22 A18 DOOR HEAD SILL SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

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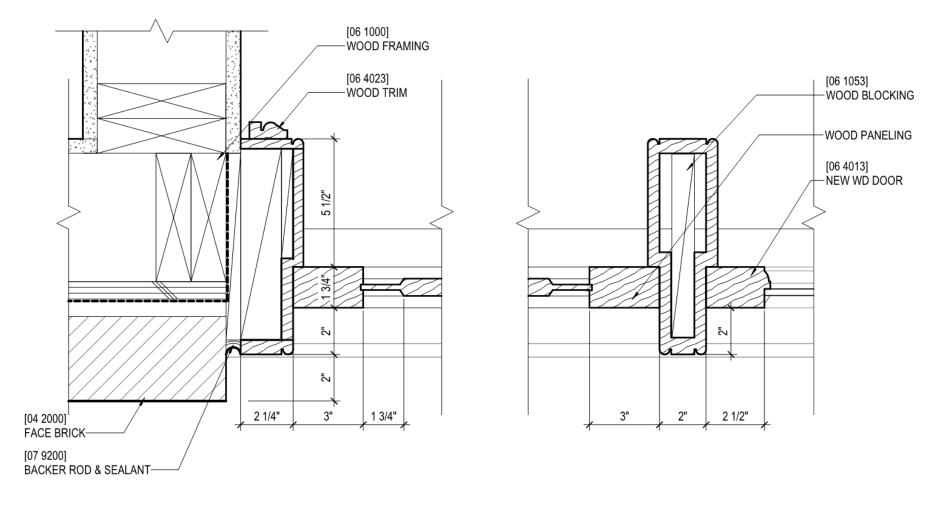




A18 SIDELITE HEAD SILL

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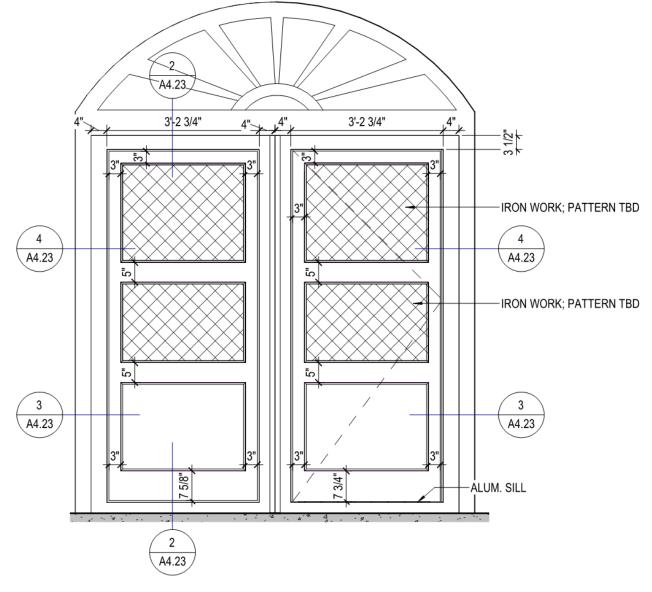


3 A18 - JAMB

619 Royal Street - VCC Enlarged Details

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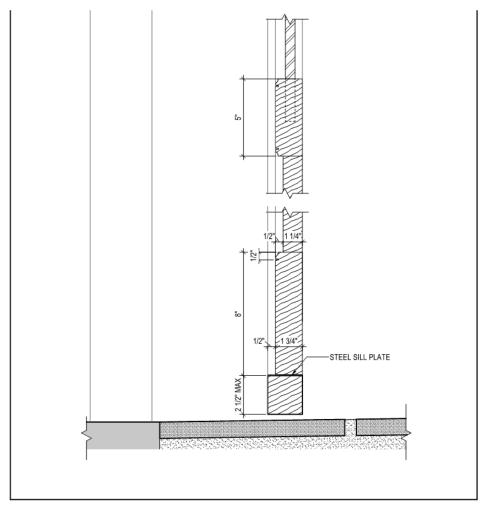


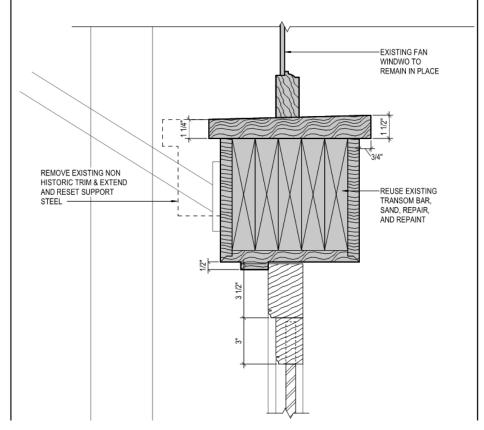
CARRIAGE WAY DOOR ELEVATION A4.23

SCALE: 1/2" = 1'-0"

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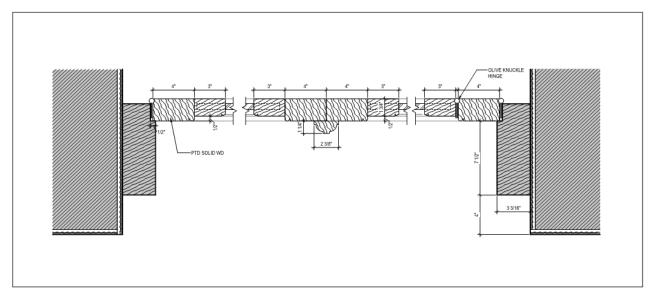


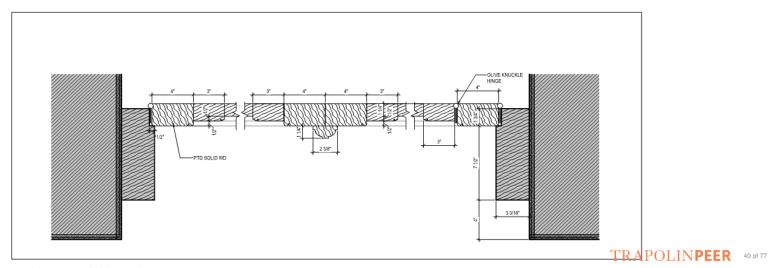


619 **2**2941 Str. SIL-LV & FEAD & CARRIAGE WAY DOOR
A4.23 SCALE: 3" = 1"-0"

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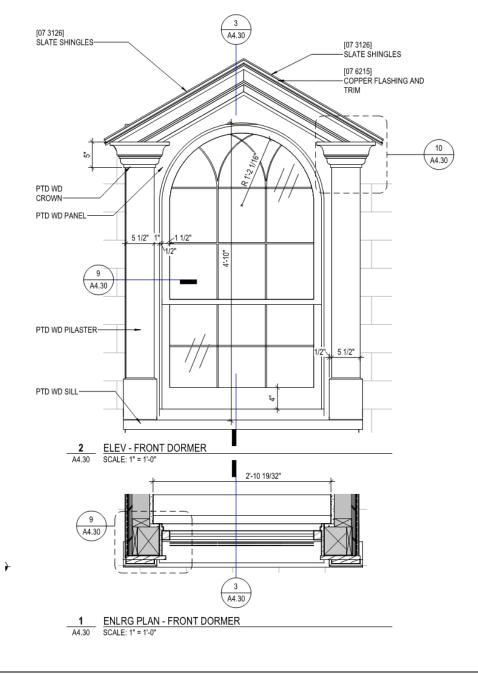
- COMPANIENTED ST





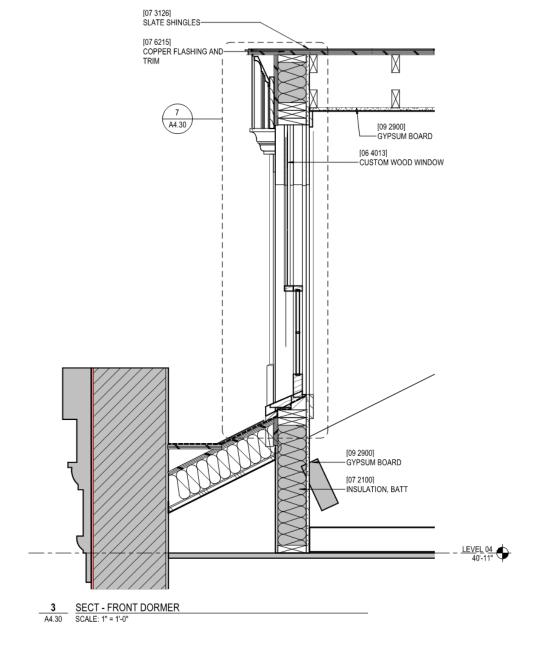
JAMB @ CARRIAGE WAY DOOR @ PANELING



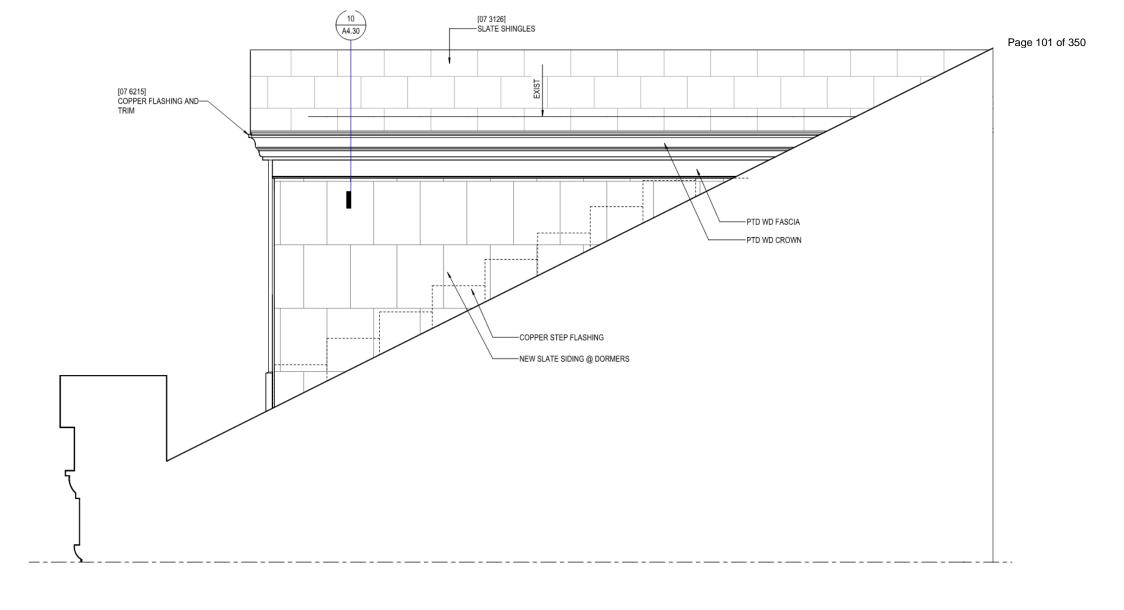


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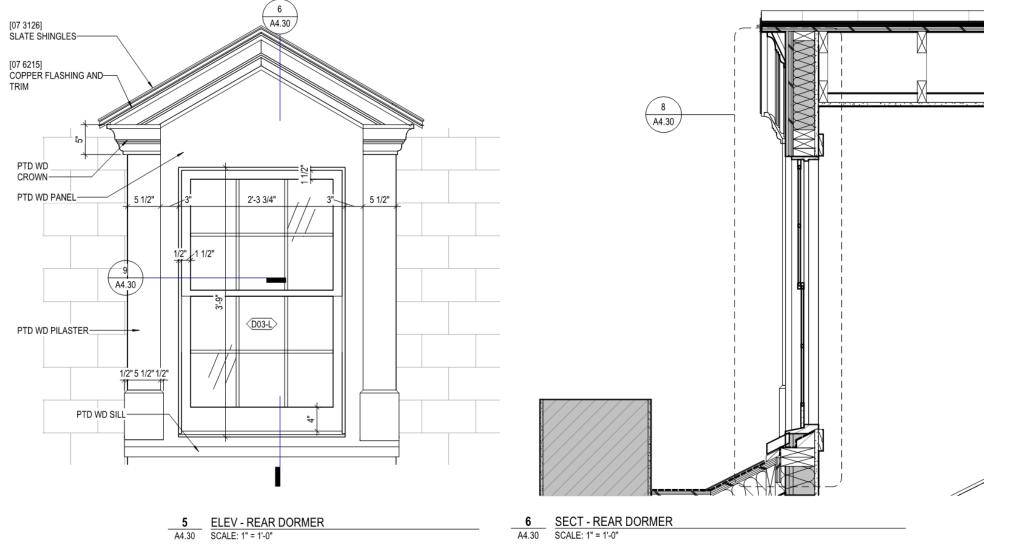


619 Roy 4 Street ELEV_ISIDE et al. SCALE: 1" = 1'-0"

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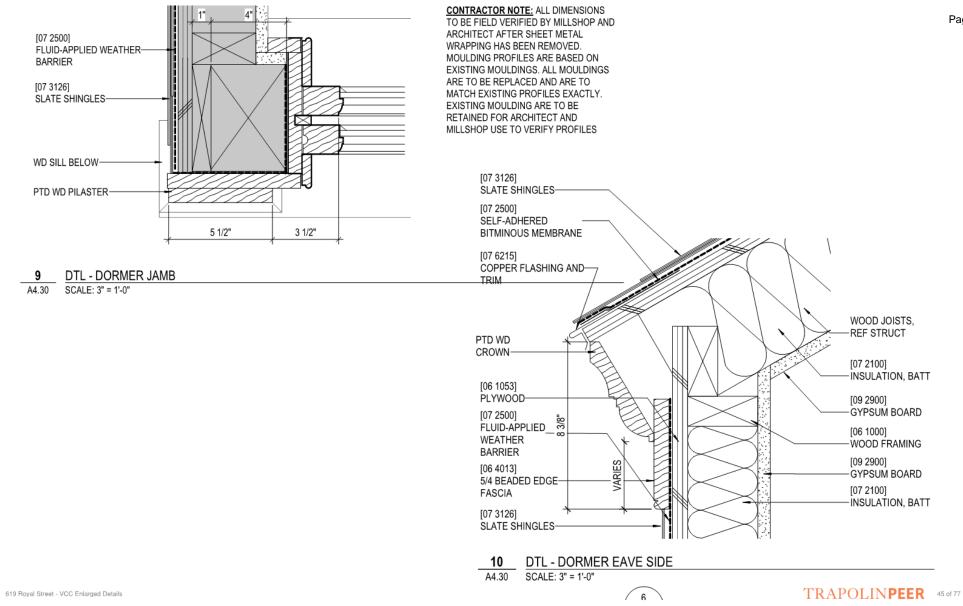
619 Royal





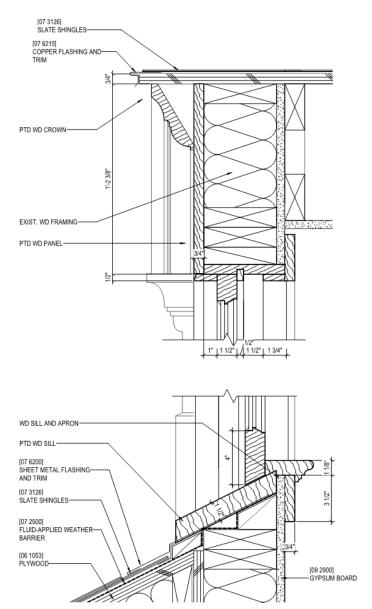
TRAPOLINPEER 44 of 77





619 Royal

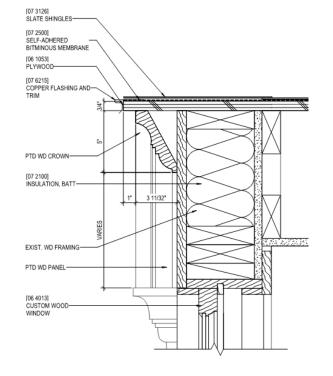


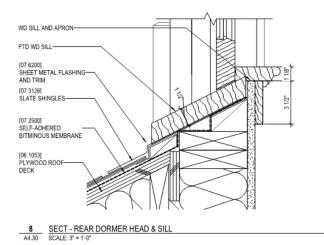


7 A4.30 SECT - FRONT DORMER HEAD & SILL SCALE: 3" = 1'-0"

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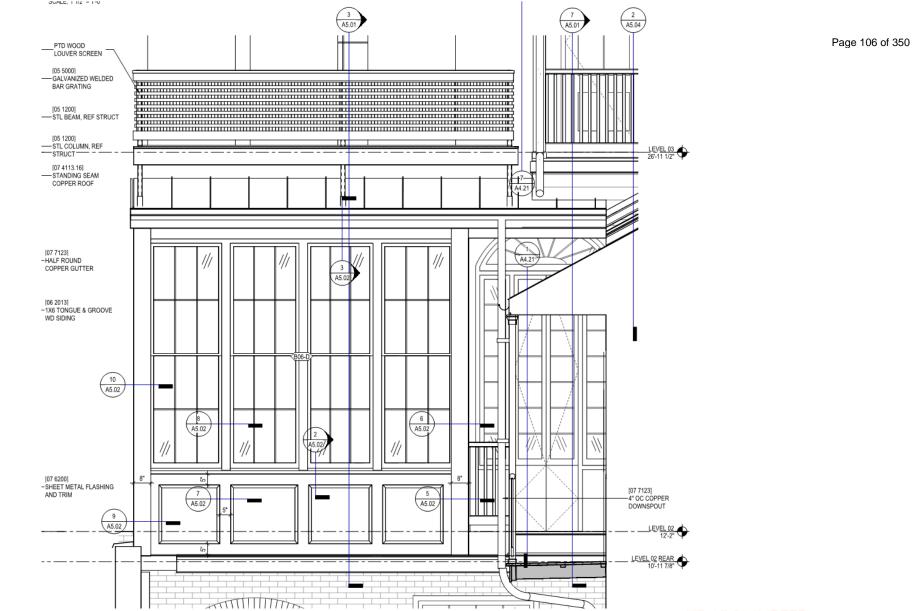






TRAPOLIN**PEER** 47 of 77

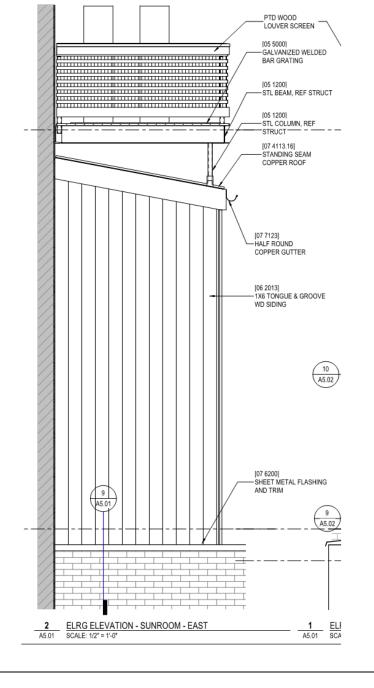
CARI



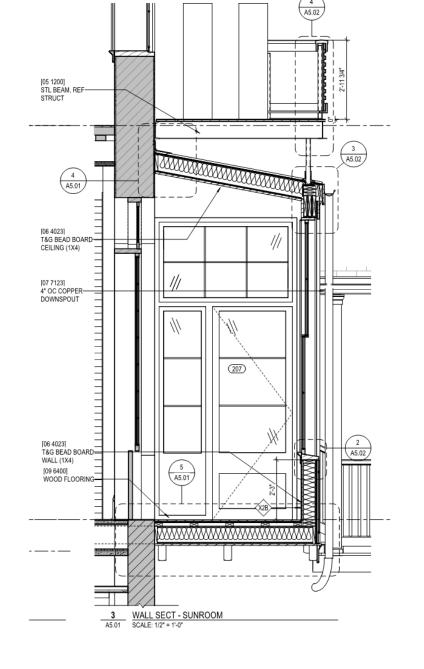
1 A5.01 ELRG ELEVATION - SUNROOM SCALE: 1/2" = 1'-0"

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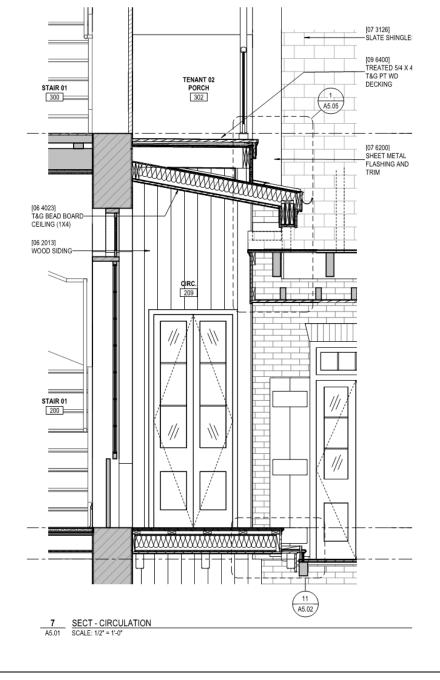


TRAPOLINPEER 49 of 77



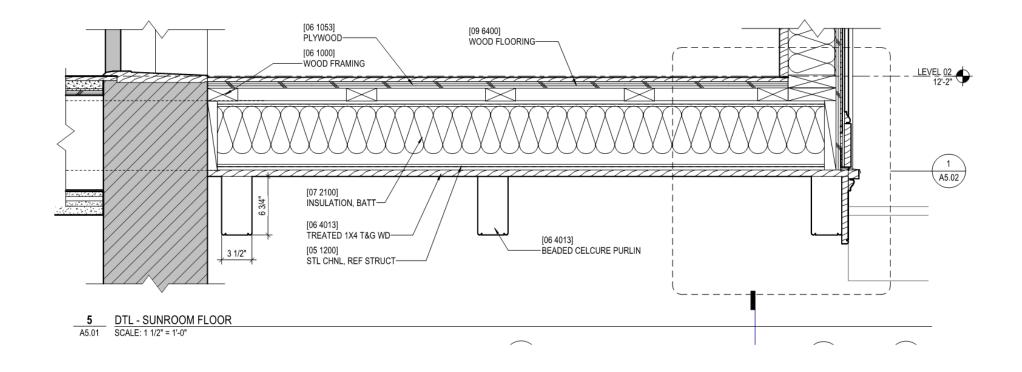
TRAPOLINPEER 50 of 77

CARI



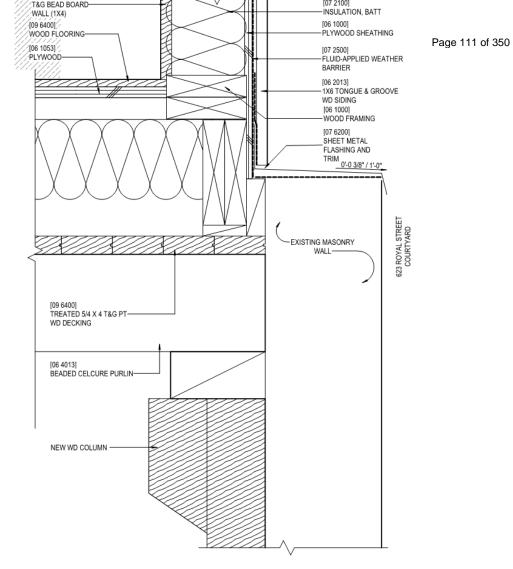
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619 Royal



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[05 1200] --STL CHNL, REF STRUCT

RESTORE HISTORIC PLASTER

STANDING SEAM COPPER

BOLT - REF STRUCTURAL

[06 1000] -PLYWOOD SHEATHING

INSULATION, BATT

[09 0320]

[07 4113.16]

REGLET [07 4113.16] -METAL TRIM [07 4113.16]

ROOF

[07 2100]

[06 1000] -WOOD FRAMING

T&G BEAD BOARD WALL (1X4)

9 DTL - SUNROOM FLASHING @ DOURTYARD WALL
A5.01 SCALE: 3" = 1'-0"

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619 Royal

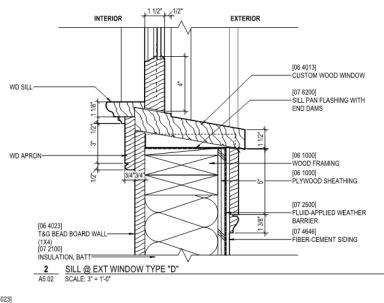
DTL - SUNROOM ROOF

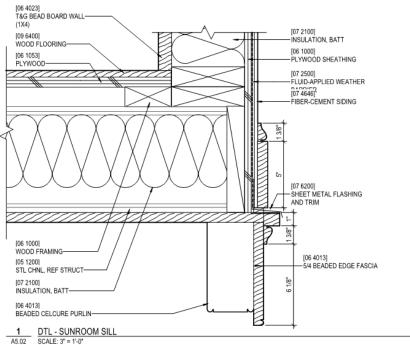
A5.01 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

EXISTING MASONRY

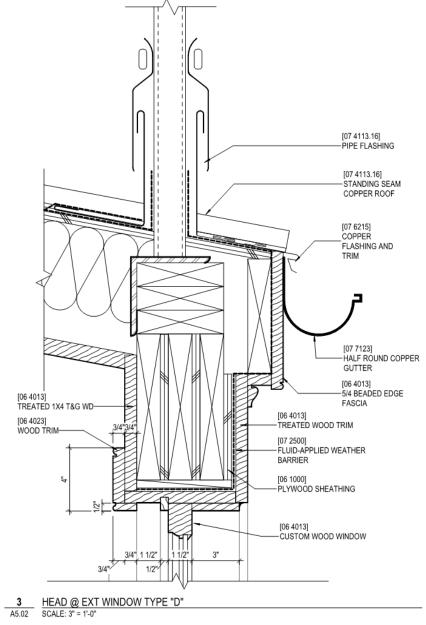
WALL





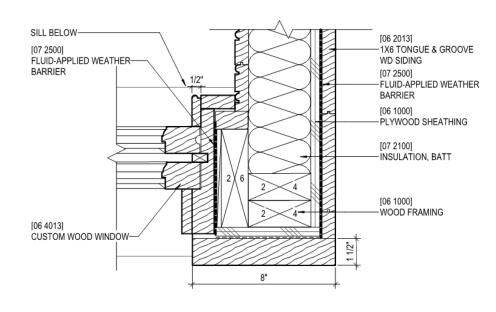
TRAPOLIN**PEER** 54 of 77





TRAPOLIN**PEER** 55 of 77





[06 1000] WOOD FRAMING-[07 2100] INSULATION, BATT-[06 1000] [06 2013] PLYWOOD SHEATHING-1X6 TONGUE & GROOVE WD SIDING [07 2500] FLUID-APPLIED WEATHER-BARRIER [07 4646] FIBER-CEMENT SIDING— -RAILING -DECK BELOW 5" -FLASHING AND TRIM BELOW PLN DTL - SUNROOM SIDING INTERIOR CORNER

A5.02 SCALE: 3" = 1'-0"

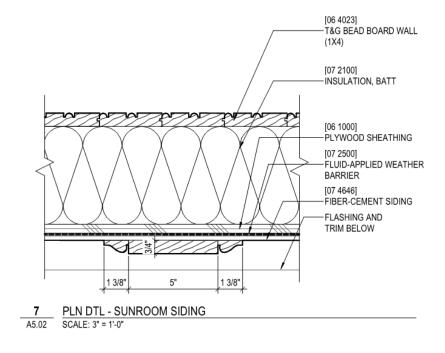
6 JAMB @ EXT WINDOW TYPE "D"

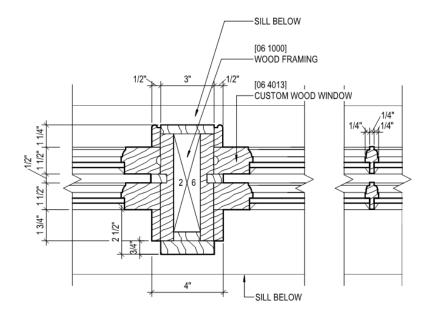
A5.02 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

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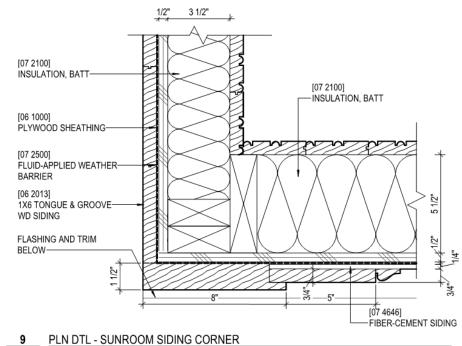


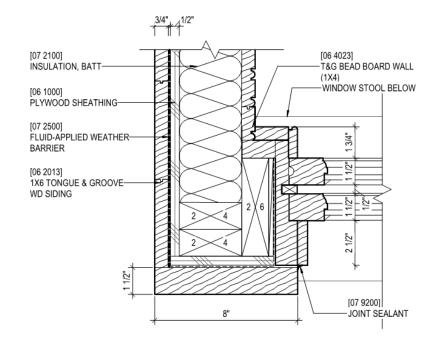


8 MID JAMB @ EXT WINDOW TYPE "D" SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

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A5.02 SCALE: 3" = 1'-0"

10 JAMB @ EXT WINDOW TYPE "D" 02

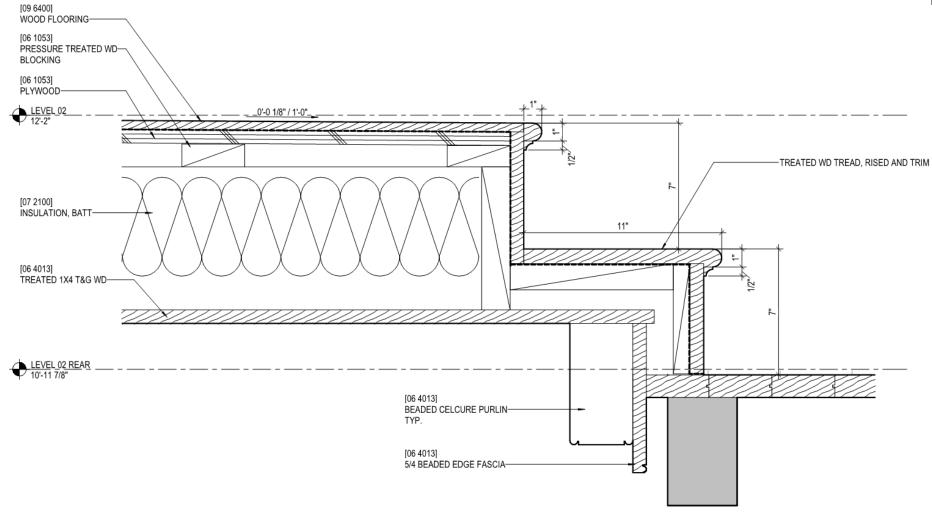
A5.02 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

TRAPOLINPEER 58 of 77







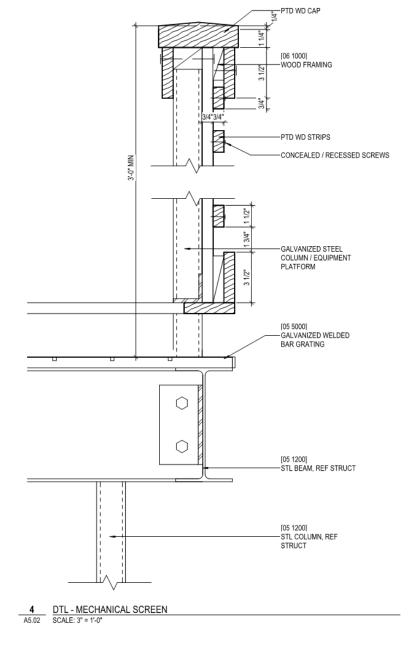
11 DTL - GALLERY TO CIRCULATION STEP

A5.02 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

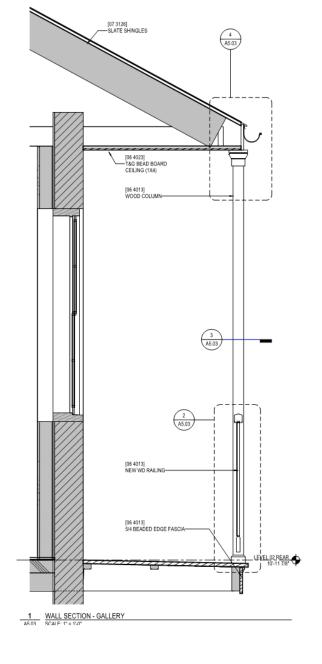
TRAPOLINPEER 59 of 77





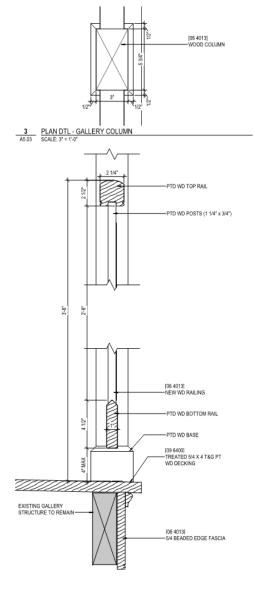
TRAPOLINPEER 60 of 77





TRAPOLIN**PEER** 61 of 77

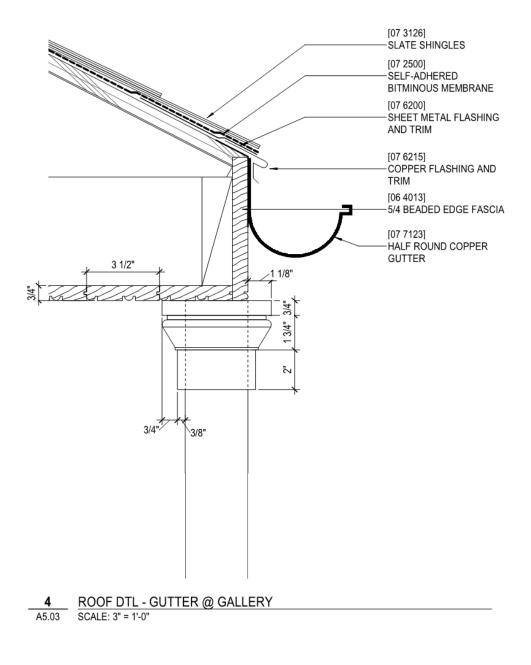




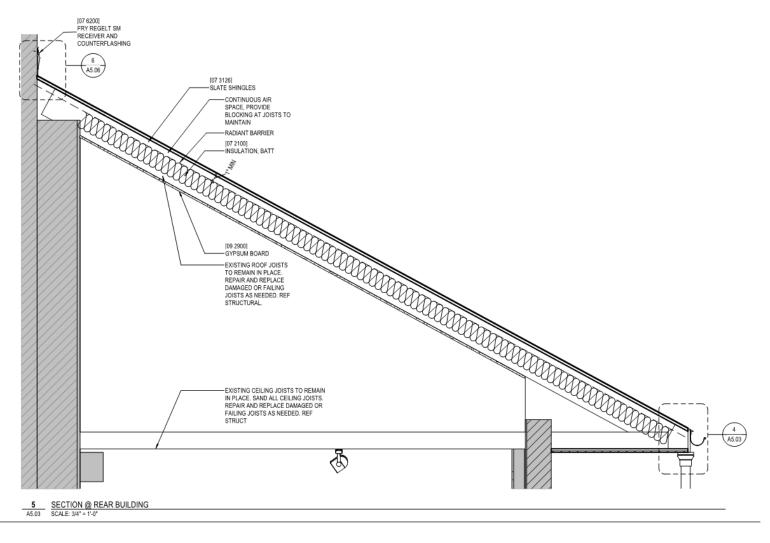
2 SECT DTL - GALLERY RAILING

TRAPOLIN**PEER** 62 of 77





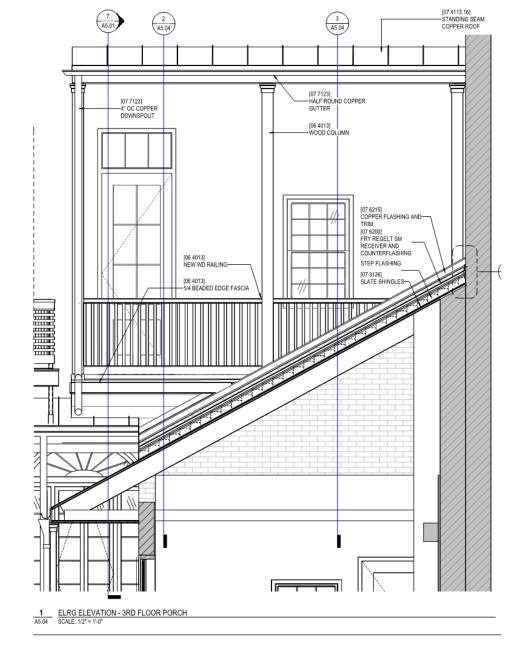
TRAPOLIN**PEER** 63 of 77



619 Royal

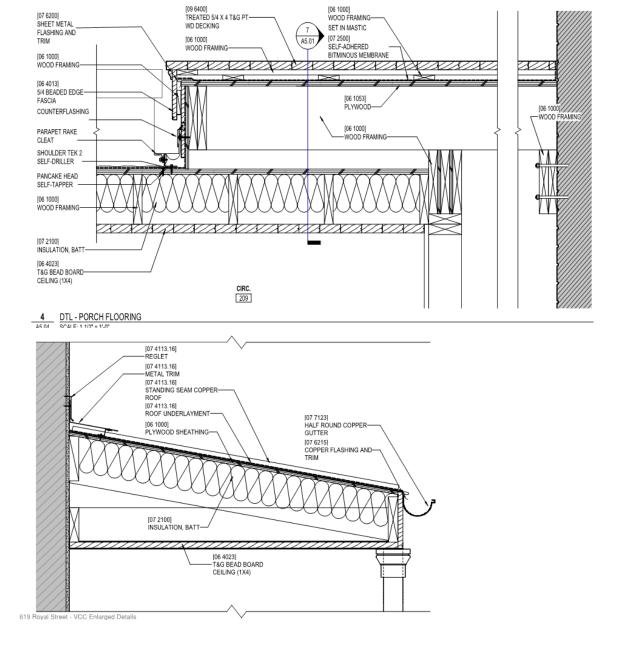
TRAPOLINPEER 64 of 77





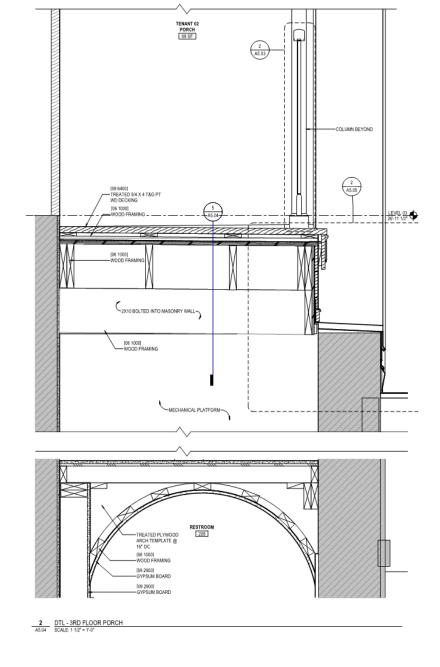
TRAPOLIN**PEER** 65 of 77

f 77



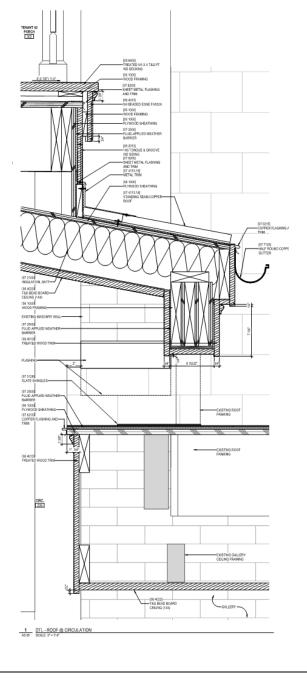
TRAPOLINPEER 66 of 77





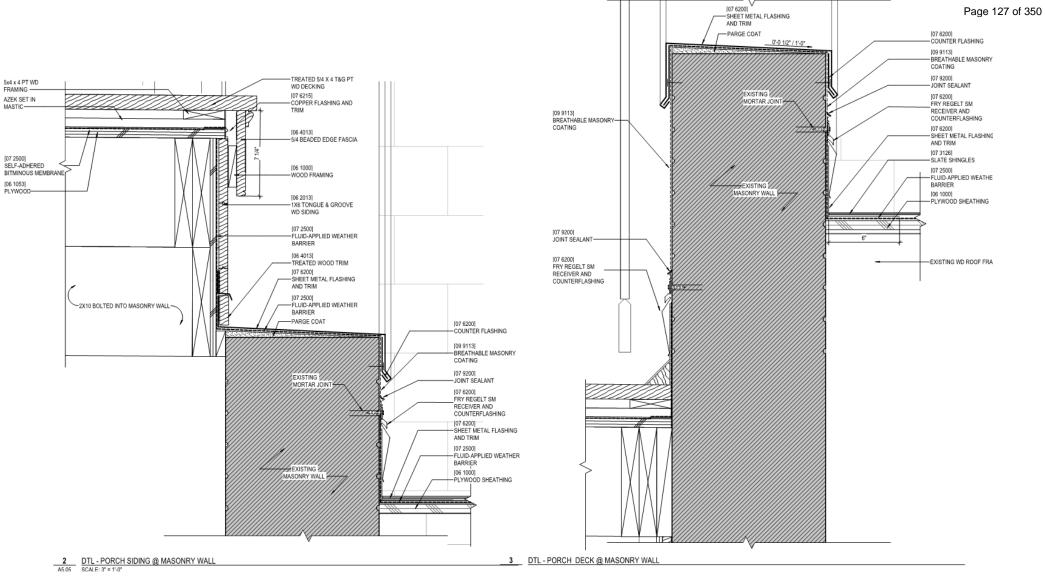
TRAPOLIN**PEER** 67 of 77





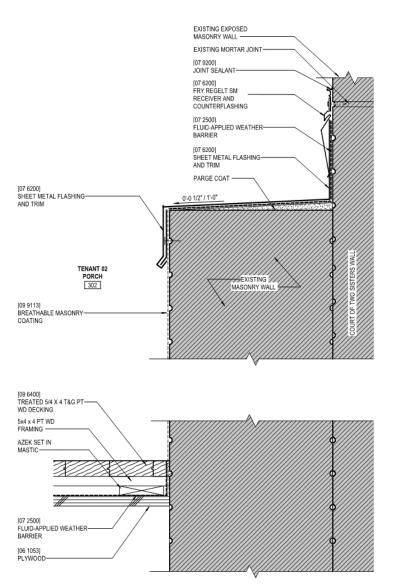
TRAPOLIN**PEER** 68 of 77





TRAPOLINPEER 69 of 77



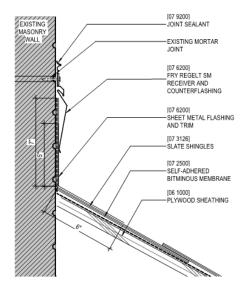


4 DTL - PORCH @ PARTY WALL SCALE: 3" = 1'-0"

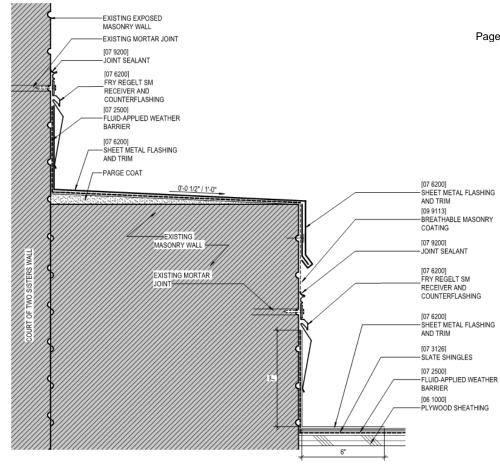
619 Royal Street - VCC Enlarged Details

TRAPOLINPEER 70 of 77



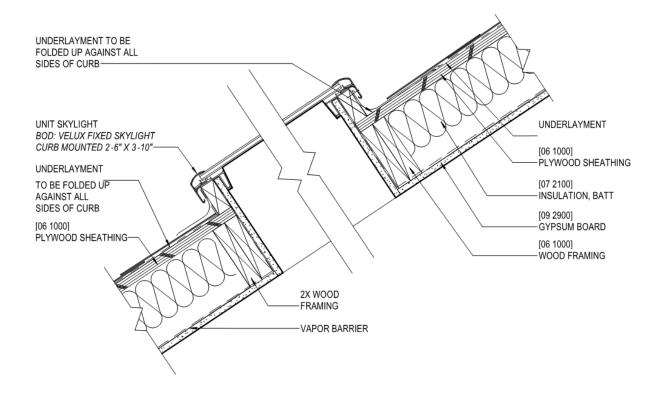


6 DTL - FLASHING @ MASONRY WALL
A5.06 SCALE: 3" = 1"-0"



7 DTL - FLASHING ON DEMISING WALL @ COURT OF TWO SISTERS

619 Royal Street - VCC Enlarged Details

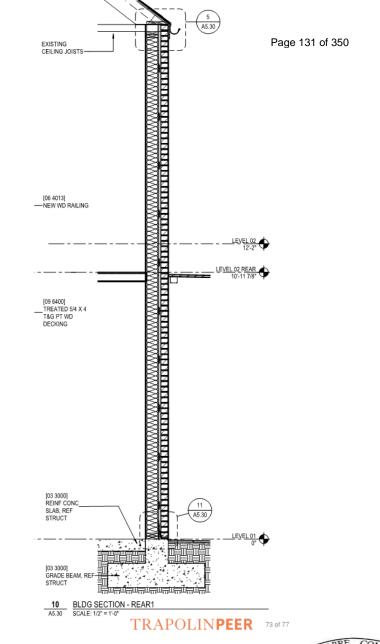


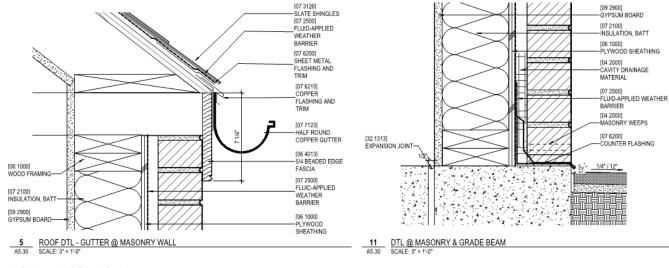
8 DTL - SKYLIGHT SCALE: 1 1/2" = 1'-0"

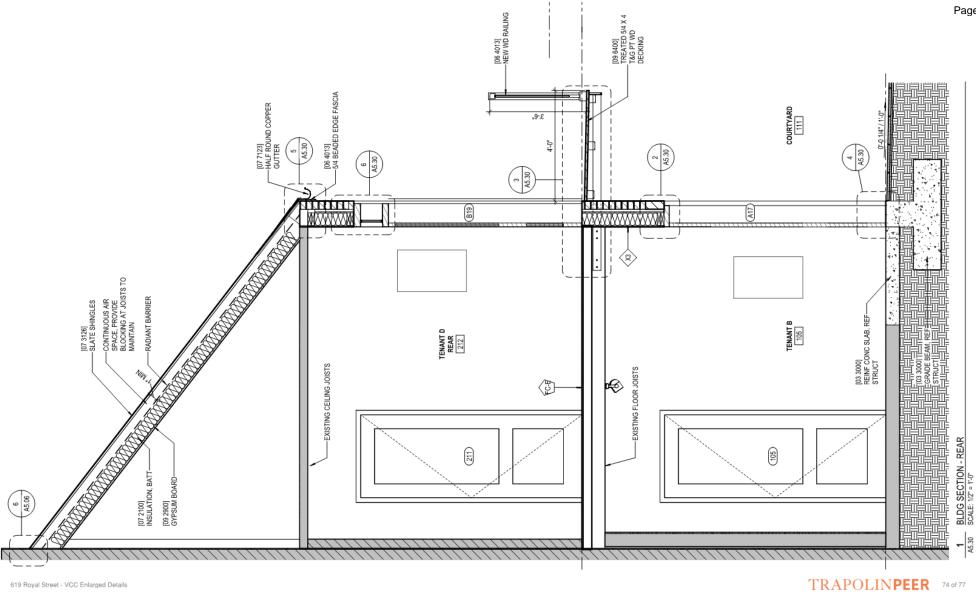
619 Royal Street - VCC Enlarged Details

TRAPOLINPEER 72 of 77



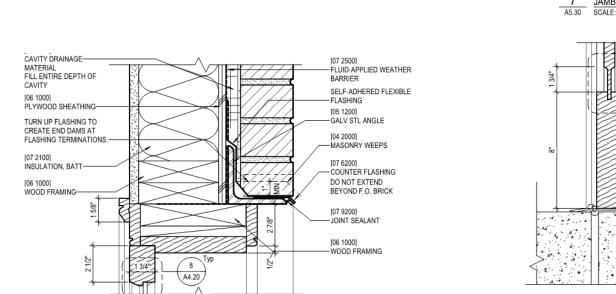






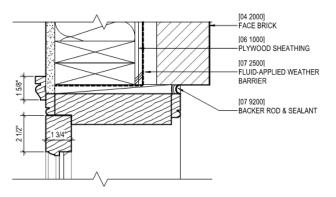
619 Royal



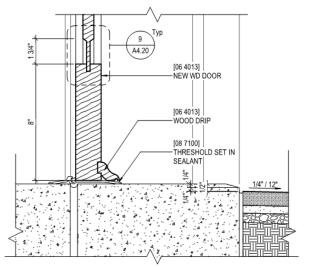


4 SILL DTL @ DOOR A17

A5.30 SCALE: 3" = 1'-0"



JAMB DTL - DOOR A17 SCALE: 3" = 1'-0"

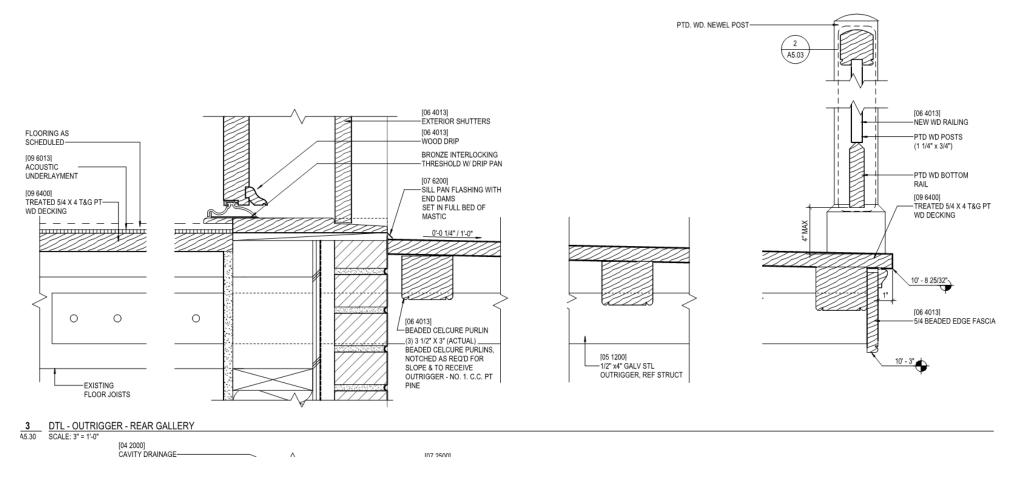


TRAPOLIN**PEER** 75 of 77



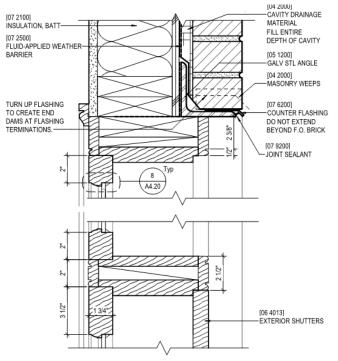
2 HEAD DTL @ DOOR A17 A5.30 SCALE: 3" = 1'-0"

619 Royal Street - VCC Enlarged Details

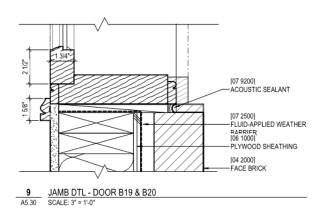


TRAPOLINPEER 76 of 77





6 A5.30 HEAD DTL - DOOR B19 & B20 SCALE: 3" = 1'-0"



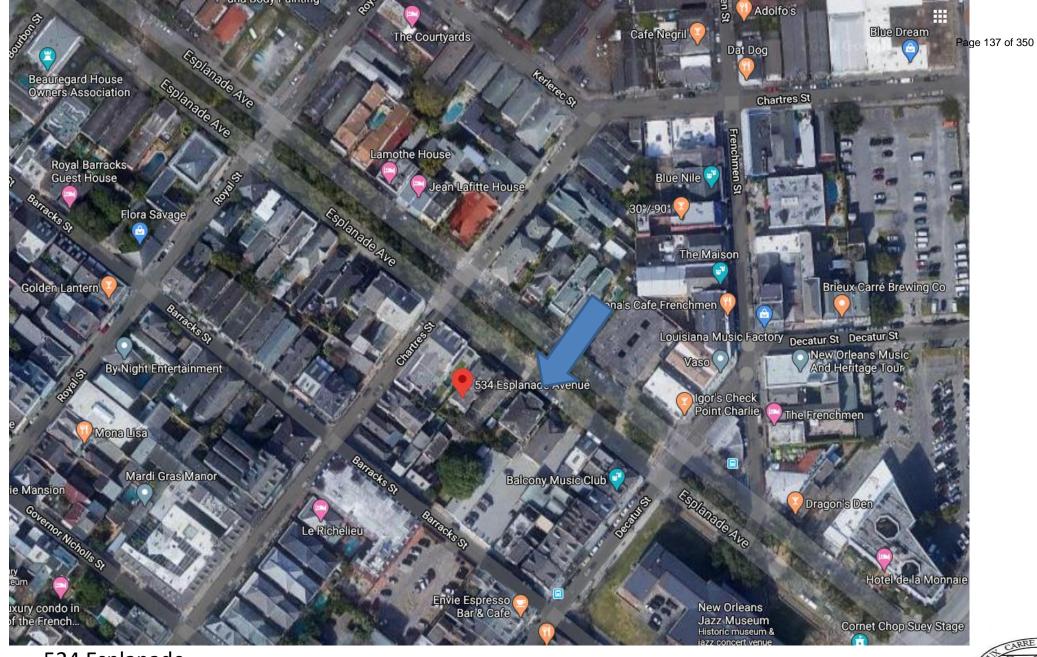
619 Royal Street - VCC Enlarged Details

TRAPOLIN**PEER** 77 of 77



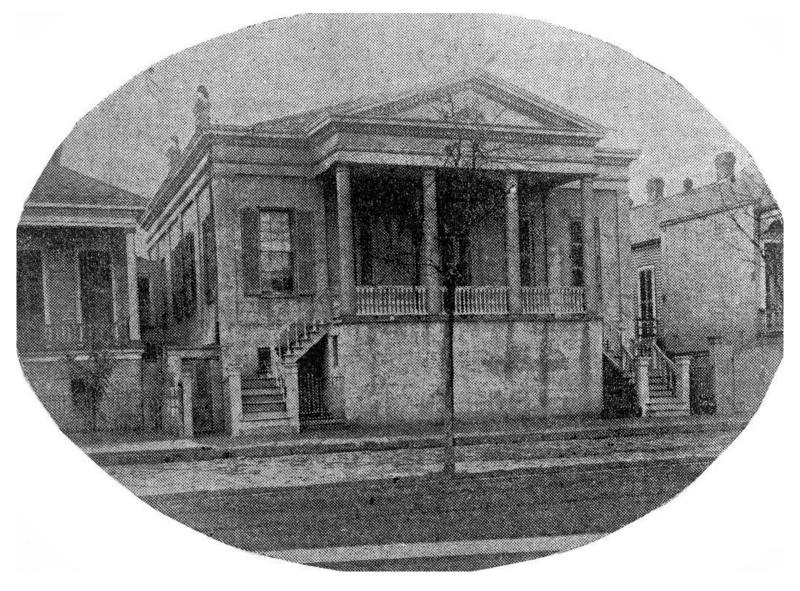






524 Esplanade

1 TARLISHED

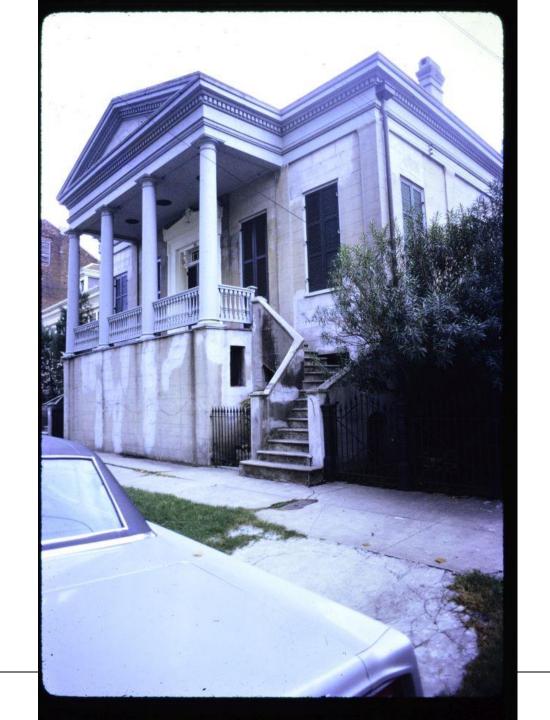


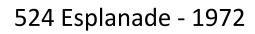




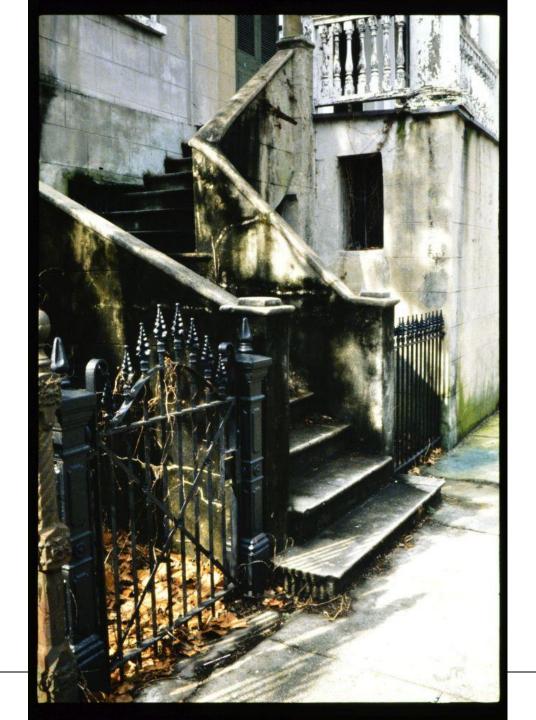
524 Esplanade - 1939

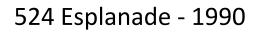












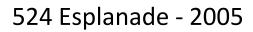




524 Esplanade - 2005

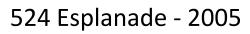
















524 Esplanade









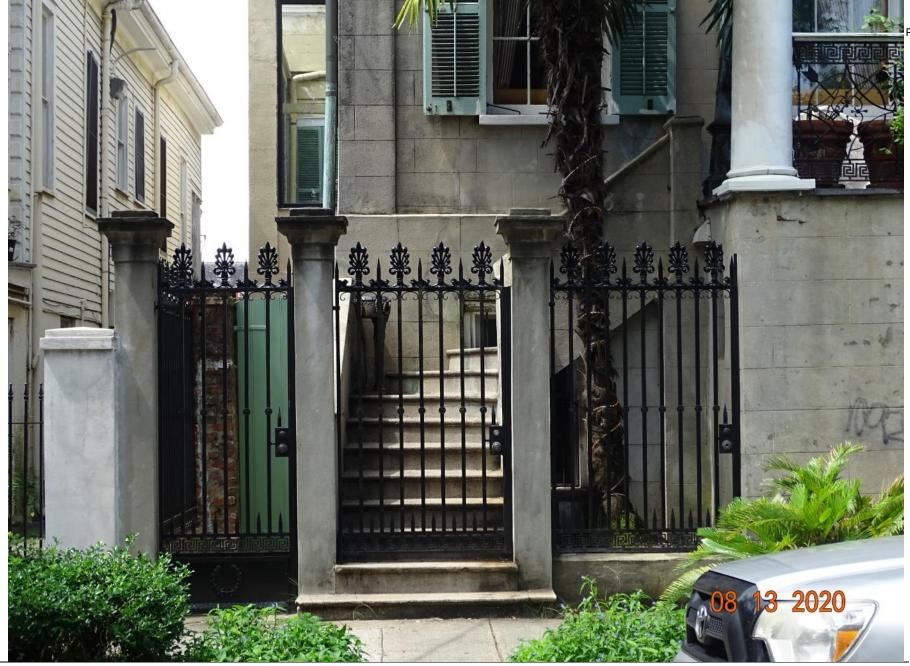




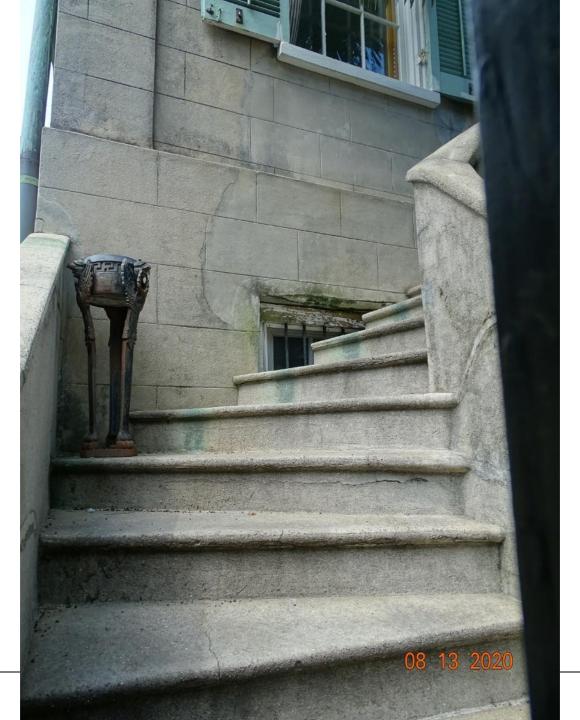






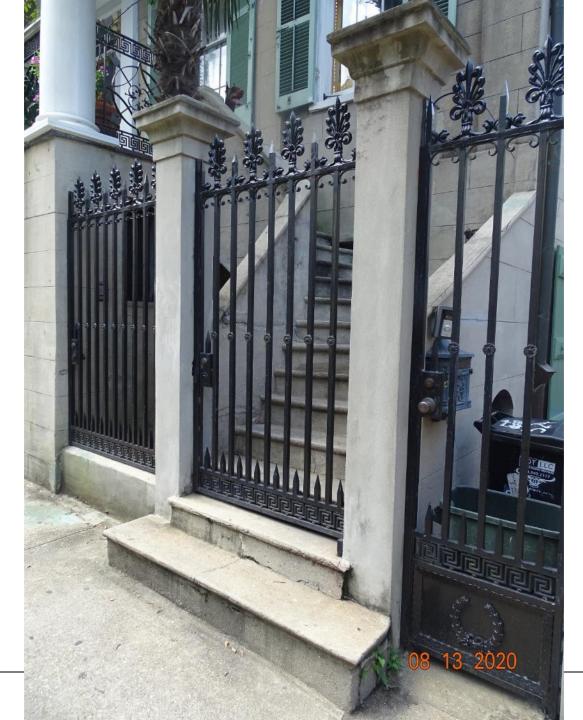








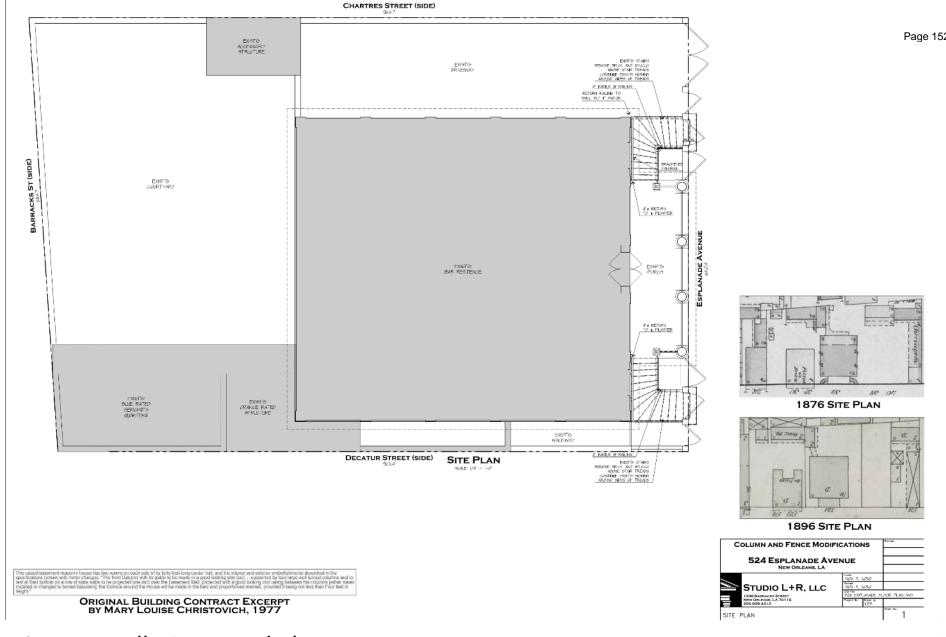






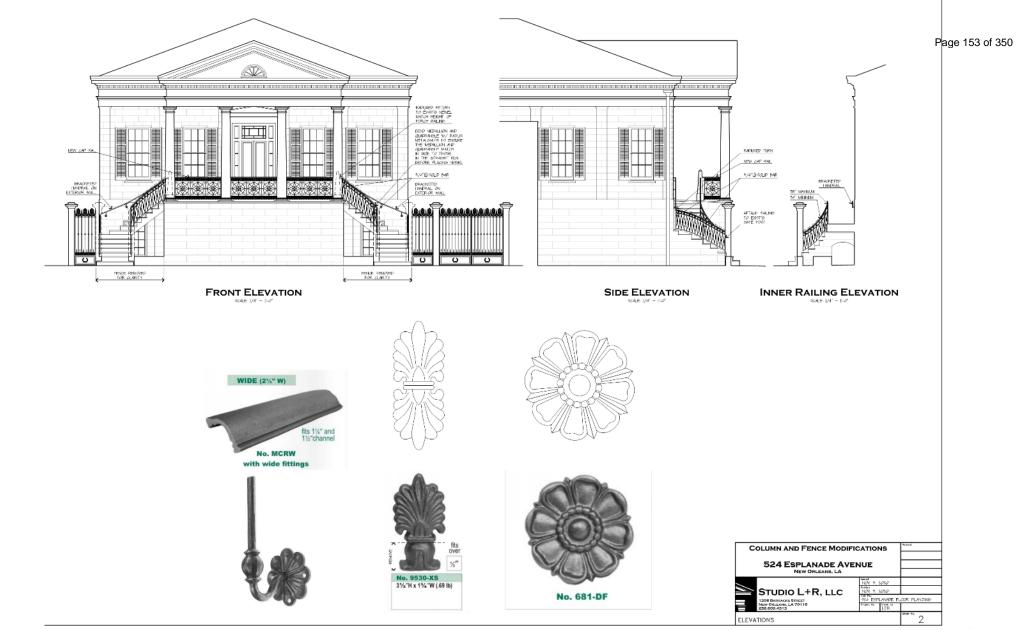






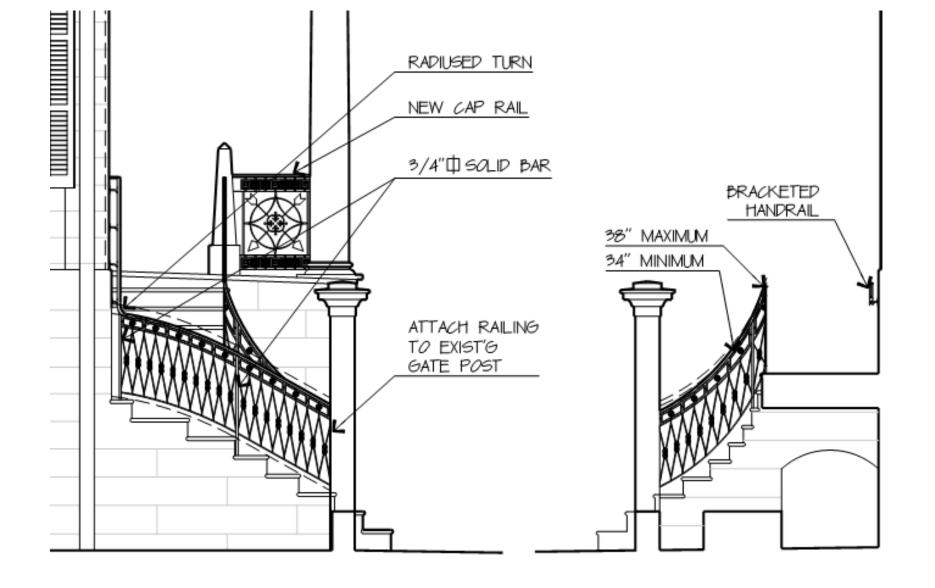
524 Esplanade – Conceptually Approved Plans





524 Esplanade – Conceptually Approved Plans

















Chapter 1: a good beginning

I hire an architect with interest in classical revival architecture for my Palladian inspired house, Lewis Robinson. We have similar taste. He is a very reassuring since he stated that he's never had a project turned down by the commission. He does his research and shows me several fancy designs from a catalog that was printed in the 1840s. My home was constructed in 1845.

Lewis consults with a senior member of the staff and reports to me that since the staircase was a later addition, that there would be no problem in removing the railing or the entire staircase.

Since the 1879 survey showed a semi circular staircase, I asked him to design an iron staircase similar to the one in my home. Unfortunately, after doing measurements, he concluded that a new staircase would not meet current code standards of width and rise. I find this baffling that I am not allowed to construct a staircase that would be far safer then the current staircase which has irregular, variable rises. Certainly, a new staircase with the same riser heights would be safer. He advised me to only remove the railing and leave the steps.

Chapter 2: rejection

The historic design is brought to the architectural committee. The staff historian objects to the removal of the railing since it has been there over 50 years. She states that the commission is following the recommendations of the national park service.

The chairman of the commission was encouraging when he stated:(This is not an exact quote) since 524 Esplanade already has an historic design railing on the gallery and along the sidewalk, it would be reasonable to have a railing of similar design.

I read the national parks service manifesto. I would like to stress that this is not a mandate or a law. It is a guideline, which they say can be modified by local historic districts. Saving something that is 50 years old in a newer city might be appropriate, but I disagree that it is appropriate in one of the oldest cities in the United States.

When I was restoring 915 Bourbon St., I saved the two 1950s expensive bathrooms. One of the bathrooms was blue, the other was pink, a color I don't like! Nevertheless, I had the pitted chrome, re-chromed. I had a row of cracked pink tiles replaced. Finding the same discontinued tile was very time-consuming. Fortunately, when I sold the house, the new owners did not replace the bathrooms with modern ones.

The architectural committee rejected the removal of the concrete railing unanimously. I was advised to appeal it to the full commission .

Chapter 3: reversal

The issue of removing the concrete railing was appealed to the full commission. Fortunately, one of the members asked what was the height of the railing. This was a issue not addressed by my architect or the three architects on the committee. It seems that my concrete railing was too short, therefore unsafe according to current codes. Commission commission approved unanimously the removal of the concrete railing.

I would like to bring up the issue that the architects sit on both the architectural committee and the full commission. So, appeals are voted on by members that have already rejected the design. This does not seem right to me.



Chapter 4: back to the drawing board

The staff negotiates with my architect on simpler and simpler designs. This is beginning to look to me like something from Levittown, NY! But then, the staff is wearing me down, I'm willing to agree to anything. Unfortunately, due to the length of this process, the decorative element that was agreed to by the staff, has now been discontinued! My architect who never considers cost, tells me to have it replicated from the last three pieces that he bought. He also states that it should be one and a half inches thick.

My Iron man made up one sample, the cost is \$200 each . At this point, I've already spent over \$10,000 on one set after another of simpler drawings demanded by the staff. The staff has now made this project so expensive, that it is unaffordable.

I would like to point out that I have been actively involved in restoring buildings in the French quarter since 1975. This is the third building. I have always maintained using the buildings according to their original use as a private home. My first renovation at 1012 Royal St., I turned four apartments in the main building back to a single residence.

At 524 Esplanade Ave., I have, by myself, repaired the plaster, painted all the rooms, sanded and varnished the floors, stripped off over 10 coats of paint off the wood risking lead poisoning, repaired the roof multiple times risking cancer from asbestos tiles, replaced termite eaten wood. Instead of playing golf or tennis, my physical exercise is working on my home.

Chapter 5: desertion

I discuss cost with my architect and tell him we need a more affordable design. He understands my concerns, but is unwilling to submit any appeals to the full commission and the city Council. He is unwilling to risk his relationship with the staff members. This might make it difficult for him to get future projects approved in the French Quarter, or even in another part of the city.

This is a complaint that I've heard multiple times in the past from architects who are unwilling to work in the French quarter. They have explained to me that they receive little guidance, rules are not clear, the rules continually change with changes in the staff or the changing members on the architectural committee.

Chapter 6: Bauhaus Humbug

This change to modernism reverses 70 years of the policies of the commission. For 70 years, historical designs have not only been approved but were required. This staff is, in effect, saying that for 70 years the citizens that served on the architectural committee's and the commission were wrong. Also, the architects and the commission members who approved my balcony railing and my sidewalk fence were wrong. Bauhaus humbug!!

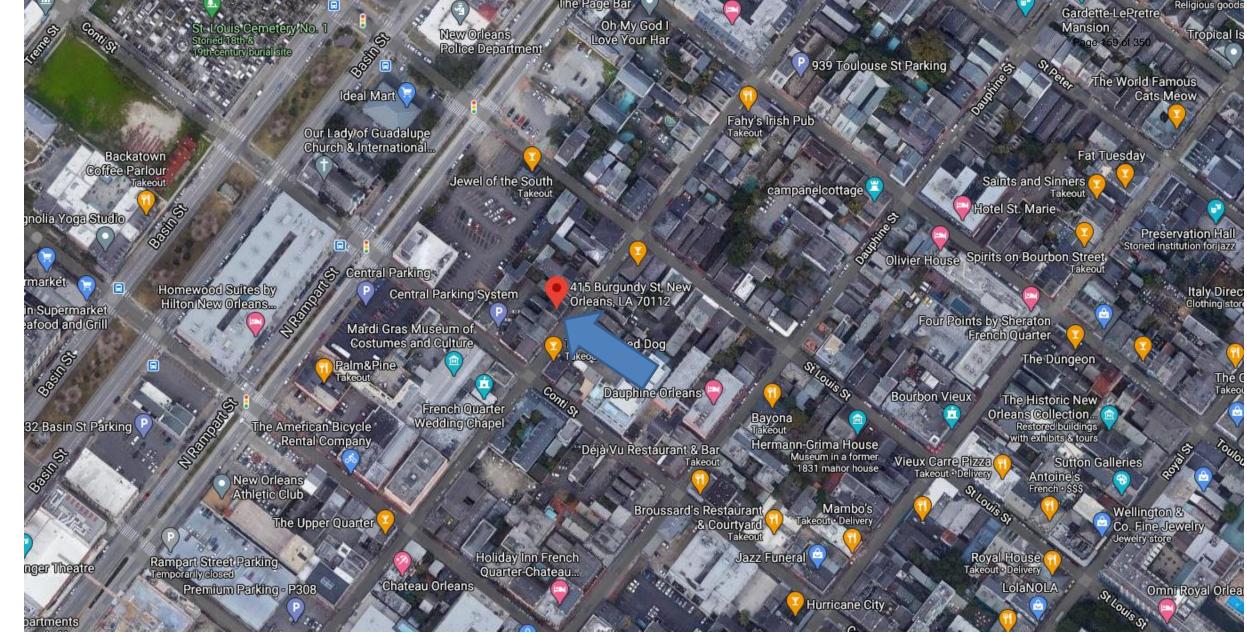
Many of these volunteers were my friends, for example, Mary Morrison who lived in and who fought for the French Quarter from the 1930s and helped Save it along with her husband Jake. I was also friends with the previous owners of the house, the Ronstroms, who bought the house in the 1930s. I had been entertained more than 50 times by this couple with their stories of the French quarter and our house. They had seen my renovation at 1012 Royal St. through the many stages. Dr.Ronstrom was very pleased that I was buying his precious home.

Please approve the affordable and historic design.

Please include this letter in my application.

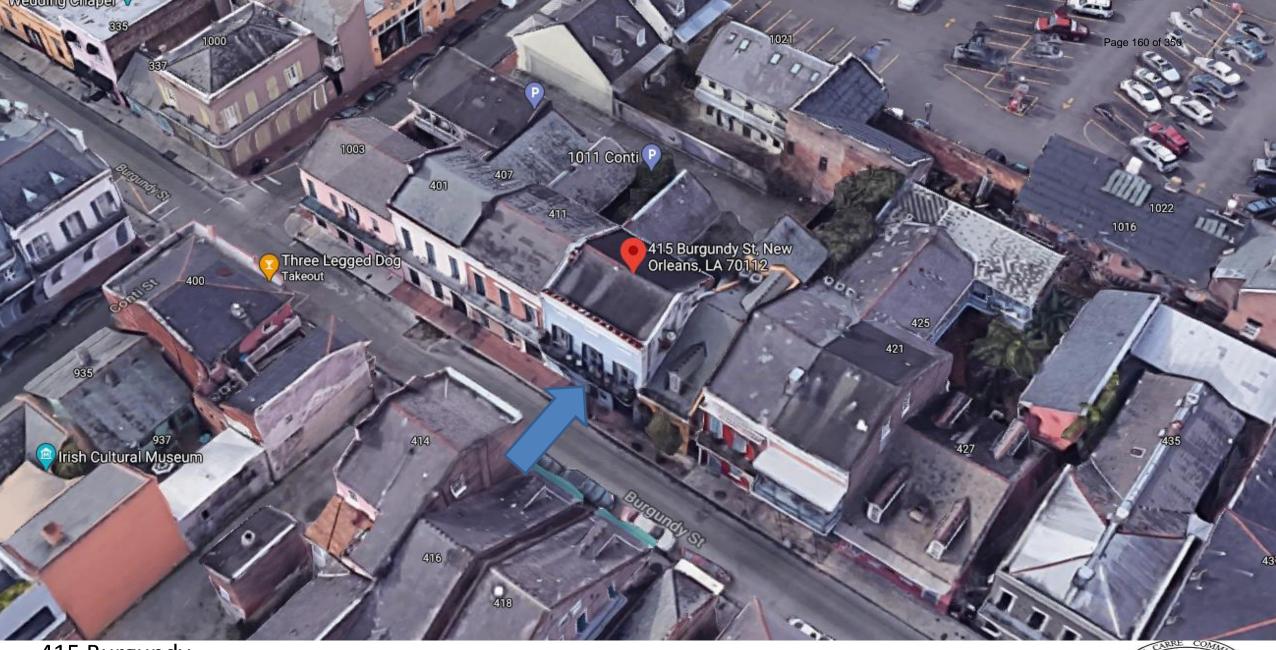






415 Burgundy



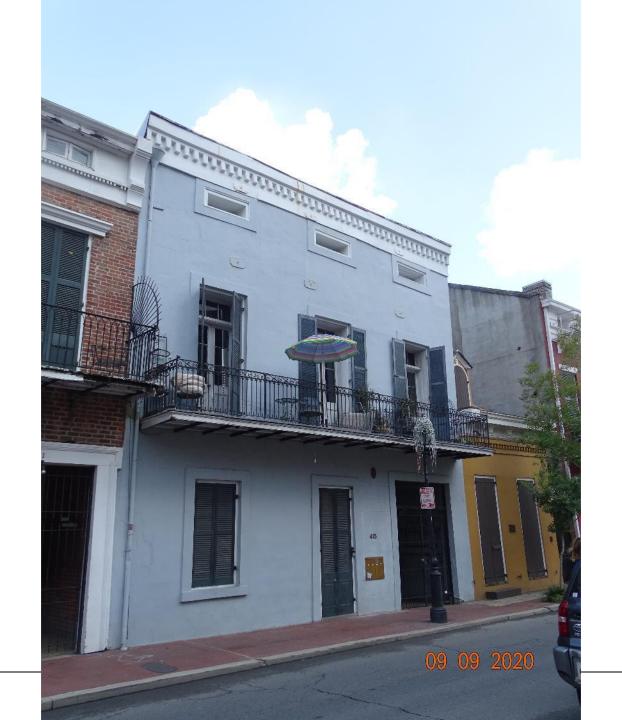


415 Burgundy















415 Burgundy – Wall Location













WESTERN STATES

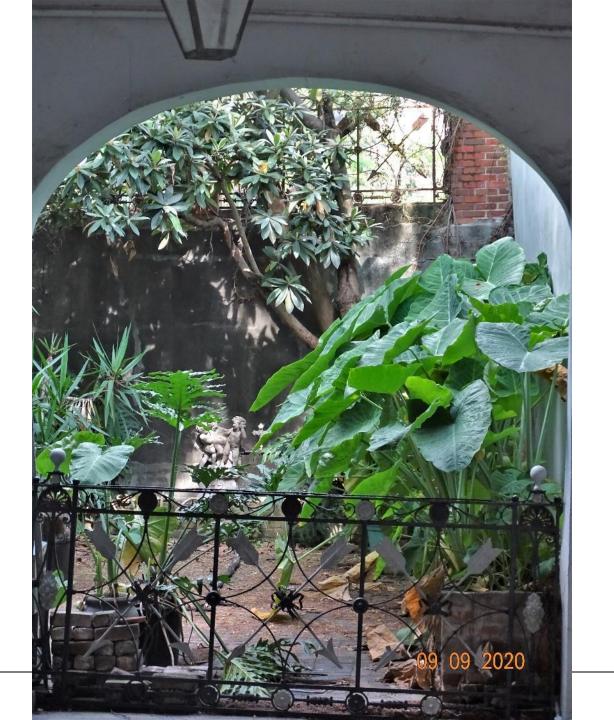


January 26, 2021



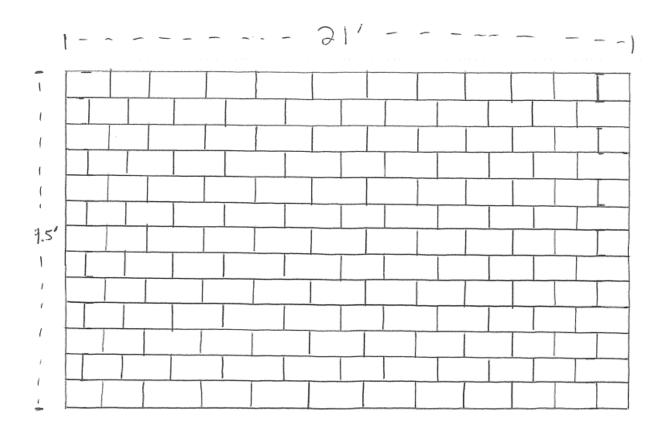








415 Burgundy - Rear Wall















415 Burgundy – 1963 Photograph





415 Burgundy – 1963 Photograph (Detail)

VCC Architectural Committee

January 26, 2021



415 Burgundy – 1963 Photograph (Detail)

VCC Architectural Committee

January 26, 2021



415 Burgundy – 1987 Photograph



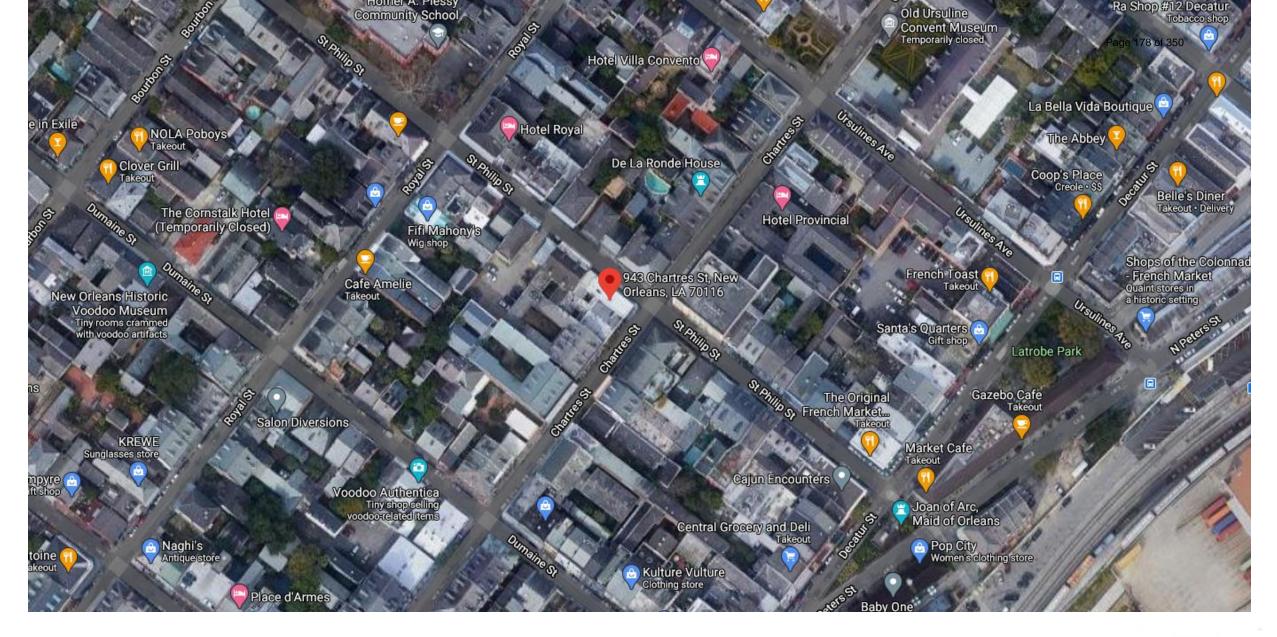




415 Burgundy – 1987 Photograph (Details)

















943 Chartres





943 Chartres







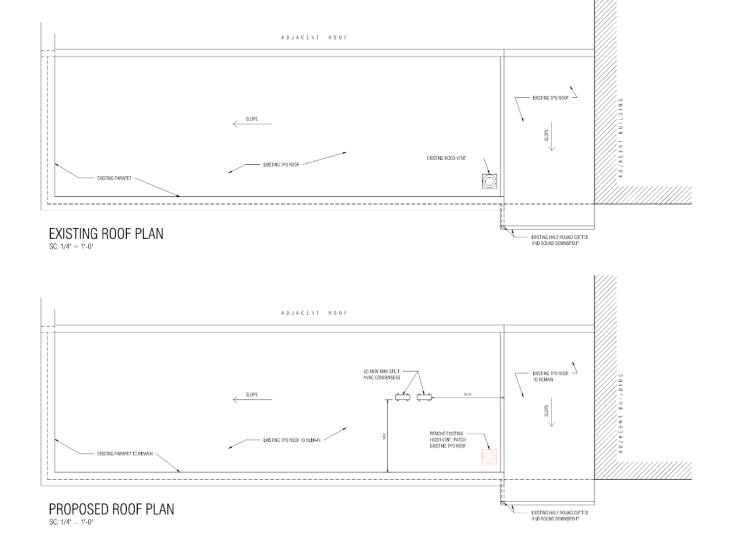
943 Chartres





943 Chartres – Previously Reviewed Plans







943 CHARTRES STREET EXTERIOR MODIFICATIONS New Orleans, Louisiana 70116 LKHarmon Architectural

A Professional Architectural Corporation

6239 Argonne Boulevard

New Orleans Louisians 70124

504.465.670 harmon@fikharmonarchiteck.com

A2

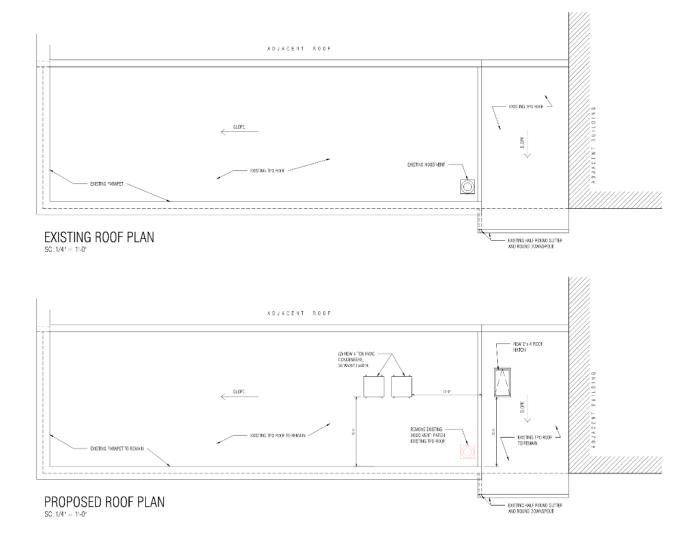
943 Chartres – Previously Reviewed Plans



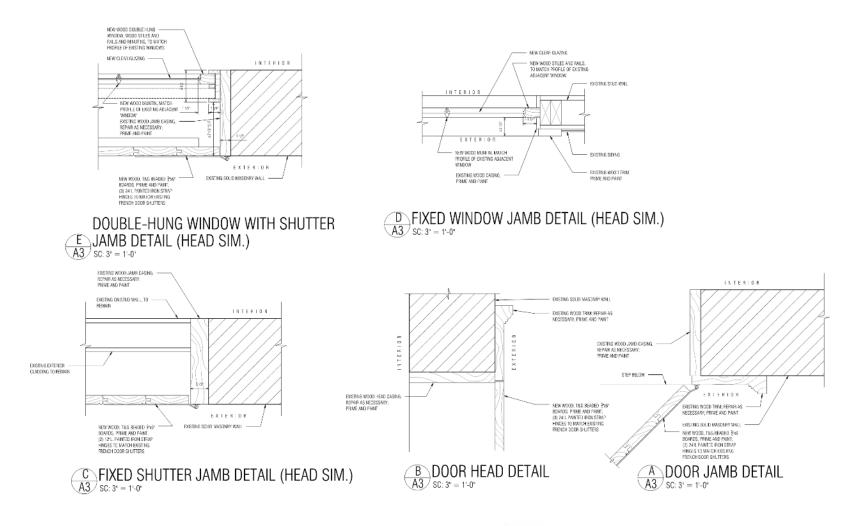


943 Chartres – Revised Plans











943 CHARTRES STREET EXTERIOR MODIFICATIONS New Orleans, Louisiana 70116 ACT DRIANG SCULS INCIDENT ON CALL CHAY FRANCIS CHEEN LIKHARMON Architects

A Professional Architectural Corporation
CSUB Arganne Houleway
New Orleans Louislan.
New Orleans Louislan.
SUB-455-2670 harmon-Wikharmonarchitects.com
LKH 47520.1

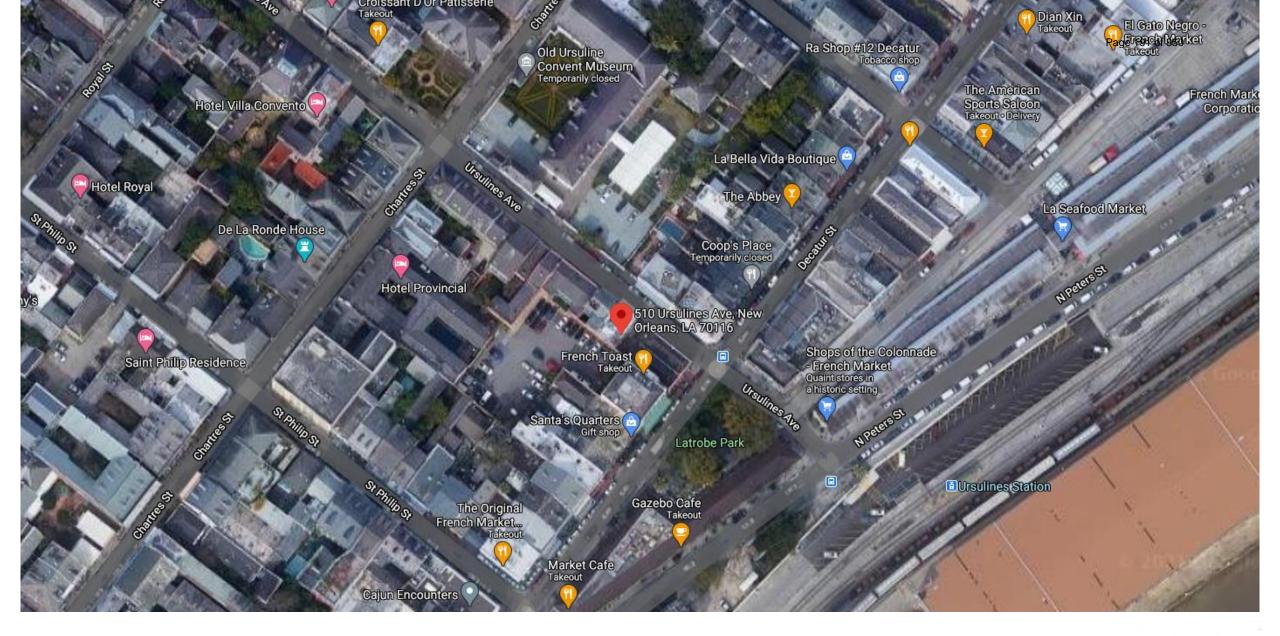
943 Chartres – Revised Plans





1310 N Rampart (Returned for revision by Staff)







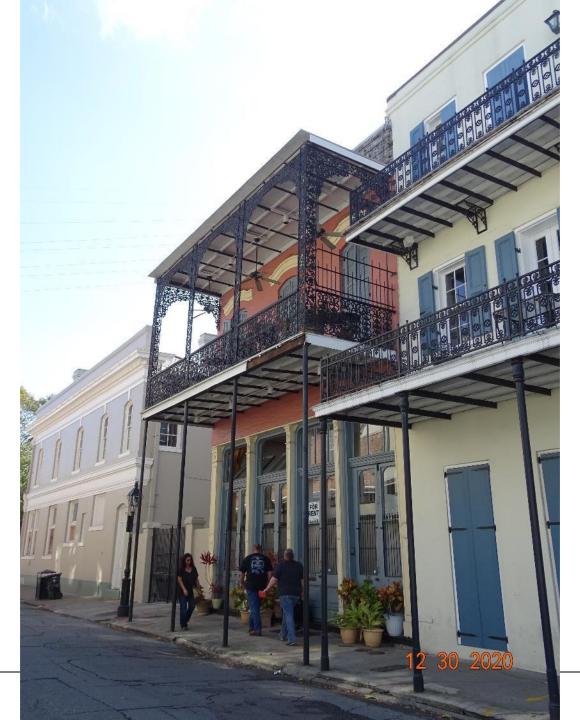


















510 Ursulines





510 Ursulines – 809 Royal – No Gutters





510 Ursulines – 809 Royal – No Gutters





510 Ursulines – 940 Chartres – Spitters





510 Ursulines – 940 Chartres – Spitters





510 Ursulines – 530 Ursulines – Downspout returns to building wall





510 Ursulines – 530 Ursulines – Downspout returns to building wall





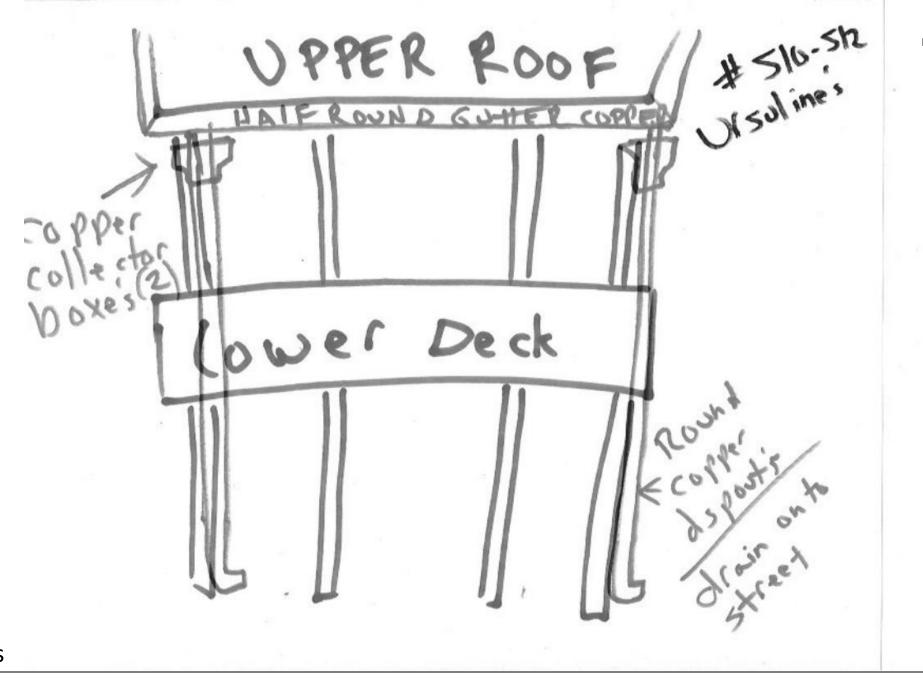
510 Ursulines – 919 Chartres– Gutters wrap sides of gallery roof





510 Ursulines – 919 Chartres– Gutters wrap sides of gallery roof

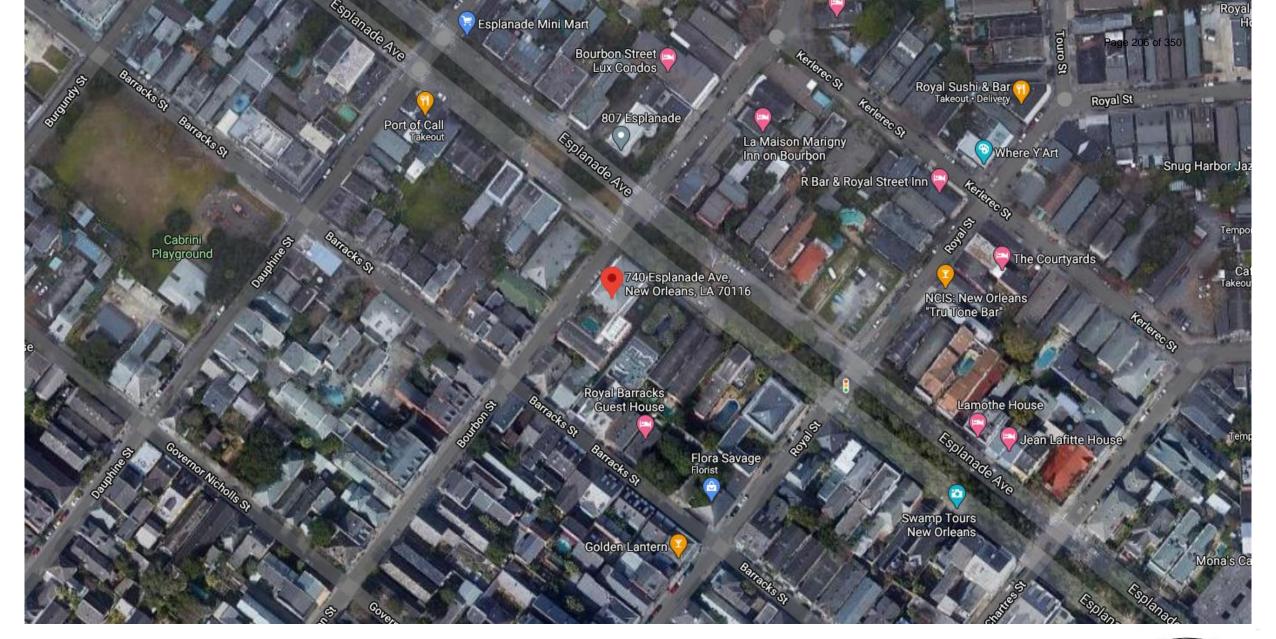


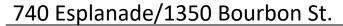


510 Ursulines



740 Esplanade/ 1350 Bourbon St.





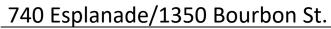




740 Esplanade/1350 Bourbon St. – Approximate Location of Proposed Work











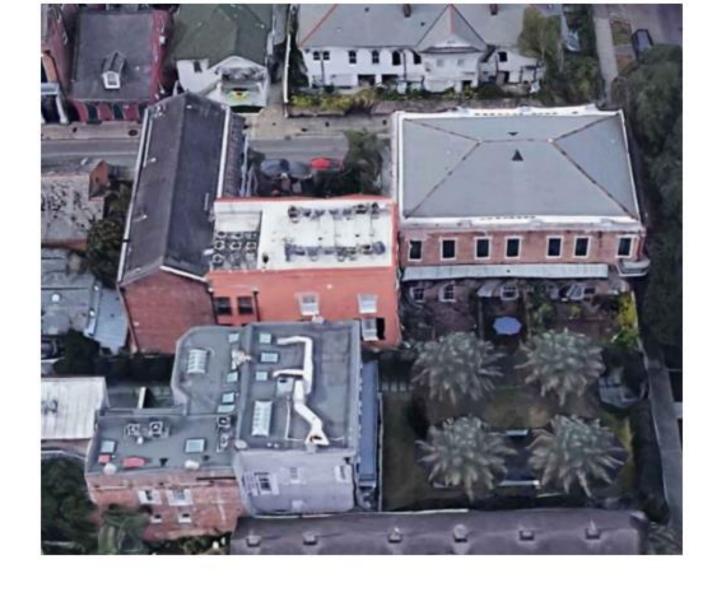
740 Esplanade/



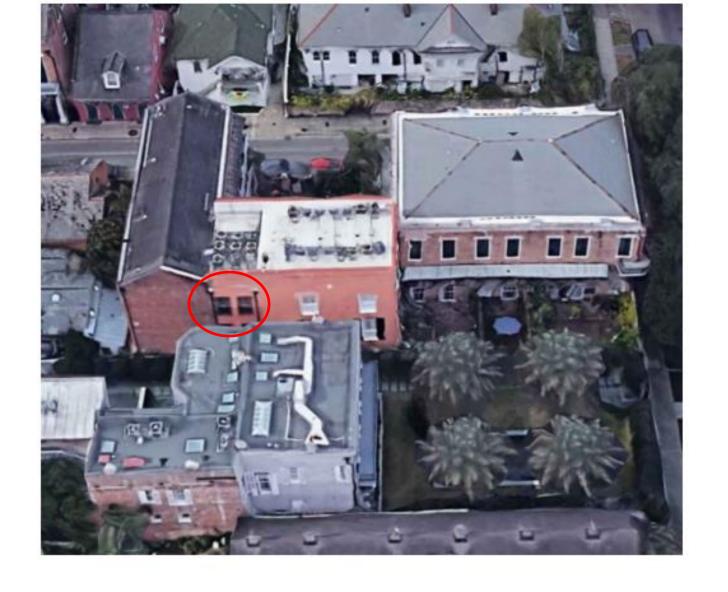


740 Esplanade/1350 Bourbon St. – Orange-Rated Rear Buildings





 $3_{\frac{\text{SCALE: NTS}}{\text{SCALE: NTS}}}$



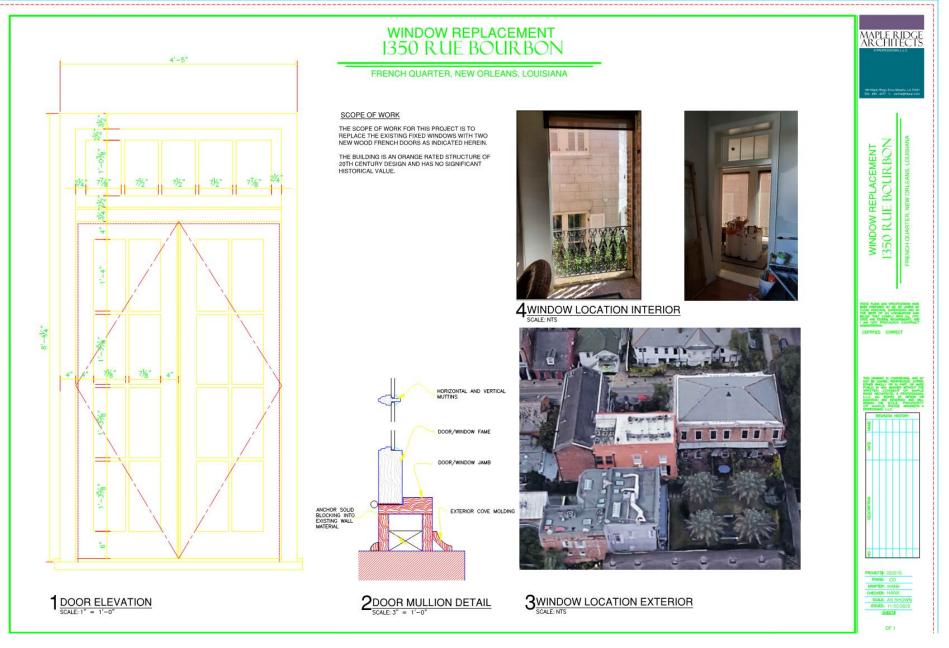
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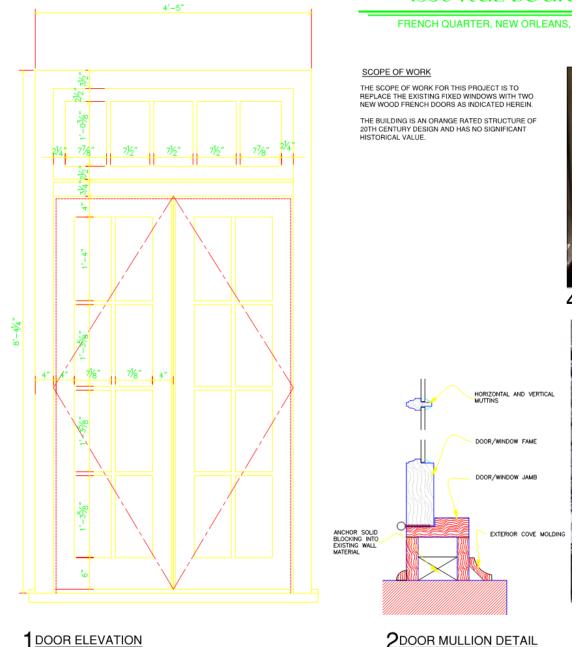
740 Esplanade/1350 Bourbon St.



740 Esplanade/1350 Bourbon St.

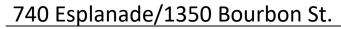


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1 DOOR ELEVATION
SCALE: 1" = 1'-0"







c/o Carriage House Realty, 640 Congress Street, New Orleans, LA 70117 (504) 941-7751 FAX: (504) 947-6325

January 11, 2021

Via E-Mail

Mr. Bryan Block, Director Vieux Carré Commission 1300 Perdido St, 7th Floor New Orleans, LA 70112

Re: 1350 Bourbon Street, Unit 20 Reference Code W0H44R

Dear Mr. Block:

Beauregard House Homeowner's Association, through its Board of Directors, hereby approves and supports the application of Nofio Pecoraro to remove fixed-glass windows on the south-facing wall of the property and install French doors and transom in both openings. The members of the Board of Directors have reviewed the plans and believe that the proposed replacement of the plate-glass windows with French doors and transoms is an improvement to the property and is in keeping not only with its architecture but also with the tout ensemble of the French Quarter.

If you have any questions, please contact me.

Mary ann Hannett

Yours very truly,

Mary Ann Hammett

Manager

Carriage House Realty

640 Congress Street New Orleans, Louisiana 70117

Mobile: (504) 421-8096 maryannhammett@cox.net

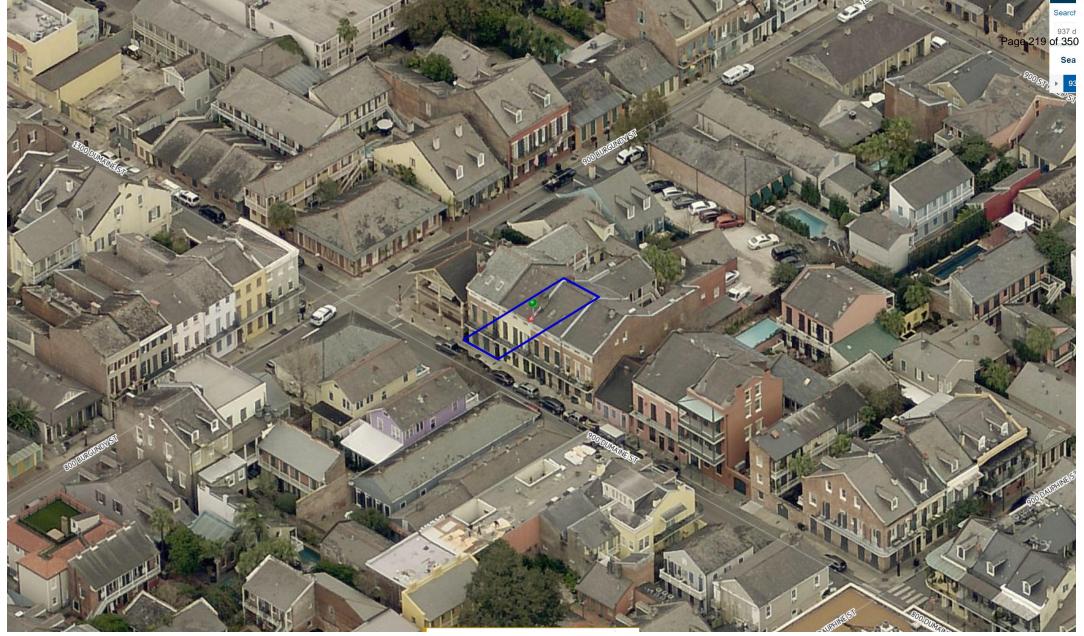
cc: Linda Neal, President
Will Lyman, Treasurer
Maria de Lourdes, Secretary
Mark Rivero, At-large
Angie Tocco, At-large





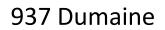












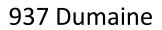


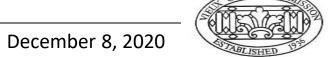


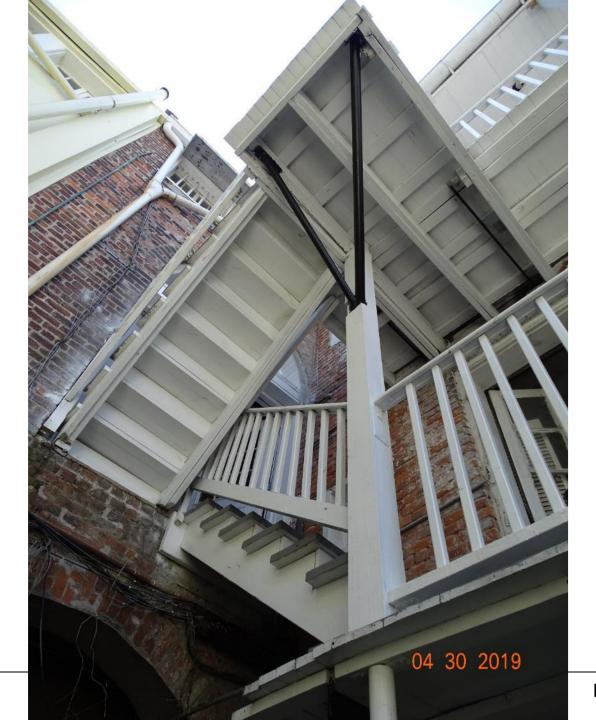




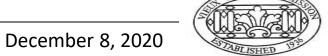






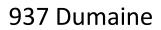






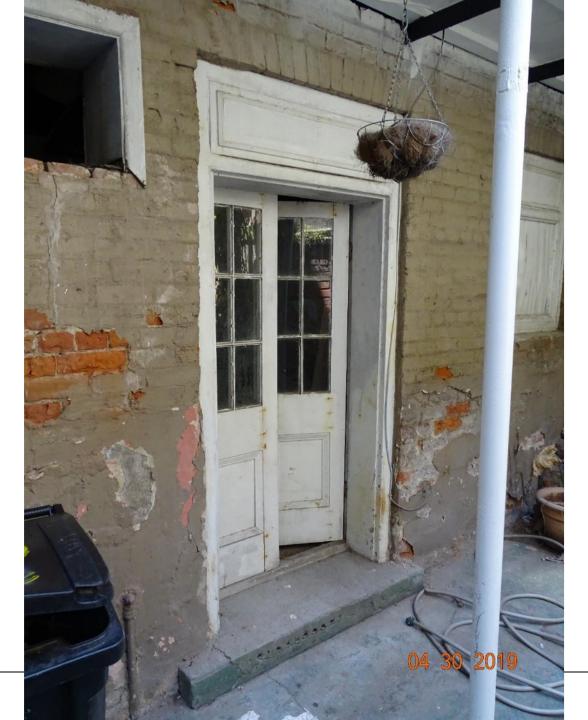


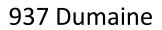


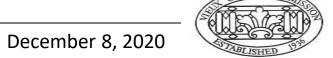










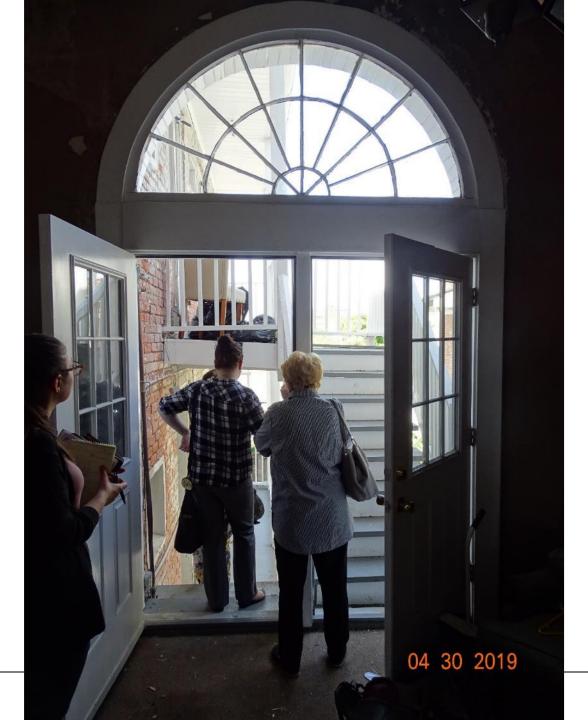




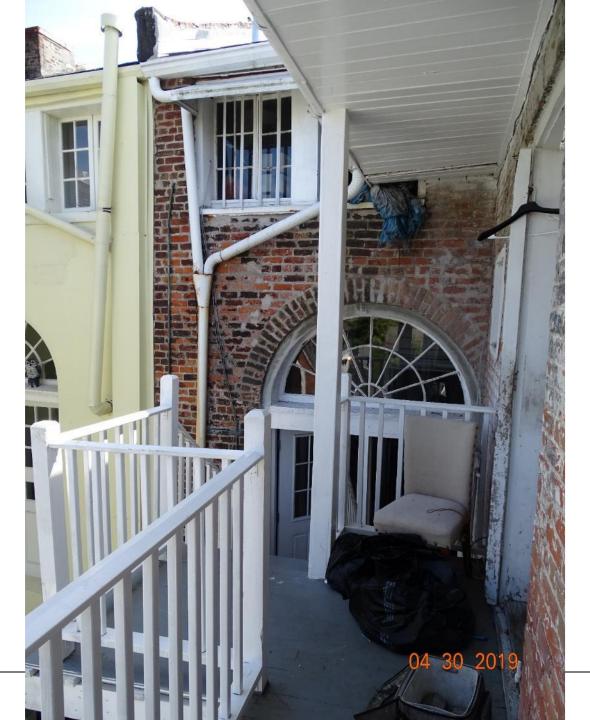


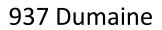


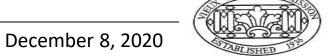


























RENOVATION TO:

DUMAINE

ORLEANS, LA

- * NO CHANGE OF USE
- * NO CHANGE OF FOOTPRINT
- * NO CHANGE OF OCCUPANCY
 - * HISTORIC BUILDING

SCORE OF HANDERK EXISTING EIGHT (8) UNIT MULTI-FAMILY HISTORIC BUILDING. MODIFICATIONS TO INCLUDE WORK TO INTERIOR PARTITION WALLS & STAIRS TO REDUCE THE NUMBER OF UNITS FROM EIGHT (8) TO SIX (6). REMOVAL & REPLACEMENT OF NON-COMPULANT STAIR IN REAR. MODIFICATIONS TO PLASTER, MILLWORK, DOORS & WINDOWS, MASONRY & BRICK REPAIR, FLOORING, AND FINISHES. REMOVAL OF EXISTING (9) ELECTRICAL METERS AND EXISTING GAS METERS. INSTALLATION OF NEW ELECTRICAL METERS IN FIRE RATED ENCLOSURE. NEW ELECTRICAL; NEW PLUMBING; NEW LIGHTING. REMOVAL OF WALL MOUNTED HVAC SYSTEMS; INSTALLATION OF FOUR (4) CENTRAL ELECTRICAL HVAC SYSTEMS AND TWO (2) NEW MINI-SPLIT HVAC SYSTEMS. NO GAS TO BUILDING.

CODES:

INTERNATIONAL EXISTING BUILDING CODE (IEBC 2015):

CHAPTER 12: HISTORIC BUILDING

EXISTING USE: R-2 (8) UNIT MULTI-FAMILY RESIDENTIAL PROPOSED USE: R-2 (6) UNIT MULTI-FAMILY RESIDENTIAL

LIFE SAFETY CODE NFPA101 2015: CHAPTER 43.10.4: HISTORIC BUILDING (MODIFICATION)

EXISTING USE: (8) UNIT MULTI-FAMILY RESIDENTIAL PROPOSED USE: (6) UNIT MULTI-FAMILY RESIDENTIAL

ZONING:

24 VIEUX CARRE DISTRICT ZONING:

TOTAL PARKING:

SQUARE FOOTAGES:

EXISTING SQUARE FOOTAGES A/C:

MAIN BUILDING 1ST FLOOR A/C: BACK BUILDING 1ST FLOOR A/C: MAIN BUILDING 2ND FLOOR A/C: BACK BUILDING 2ND FLOOR A/C: MAIN BUILDING 3RD FLOOR A/C: BACK BUILDING 3RD FLOOR A/C: 204 sq. ft. TOTAL EXISTING: 2645 sq. ft. COMMON SPACE 375 sq. ft EXISTING COVERED PORCHES 132 sq. ft.

PROPOSED SQUARE FOOTAGES A/C:

MAIN BUILDING 101: DEPENDENCY 102 : MAIN BUILDING 201: 408 sq. ft. 428 sq. ft. 263 sq. ft. 2645 sq. ft. DEPENDENCY 202: MAIN BUILDING 301: MAIN BUILDING 302: TOTAL PROPOSED A/C: COMMON SPACE

375 sq. ft. EXISTING COVERED PORCHES 132 sq. ft.

DRAWING INDEX:

TITLE SHEET / GENERAL NOTES / BUILDING INFO

LIFE SAFETY PLANS LIFE SAFETY SECTIONS

GENERAL STRUCTURAL NOTES DEMO / STABILIZATION PLANS

REPAIR DETAILS

EXISTING / DEMO PLANS EXISTING / DEMO PLANS PROPOSED FIRST / SECOND FLOOR PLANS

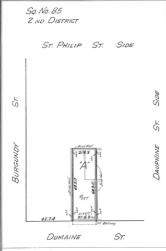
PROPOSED THIRD FLOOR / ROOF PLANS EXISTING ELEVATIONS

PROPOSED ELEVATIONS UTILITY ELEVATIONS & DETAILS

SCHEDULES

SURVEY





Survey cortilled correct. Made of the request of Michael Grandalfi i Harry W. Reineke. Gilbert, Kelly & Couturie', Inc., Surveying & Engineering



GENERAL NOTES:

- The General Confractor is responsible for supplying all subconfractors with all Construction Drawings and Specifications necessary to bid and/or construct this project. Subconfractors' bids must reflect all conditions set forth in the Confract documents.
- A set of specifications (if applicable) must accompany and be reviewed / used in conjunction with the Construction Drawings. All contractors are responsible for notifying the Architect / Building Owner of any errors, omissions, or discrepancies prior to building the project.
- Contractor shall ask for details whenever uncertain about methods of installation. Lack of details not requested shall not excuse improper installation, and correction shall be made the responsibility of the contractor.
- The sheets in these drawings are complimentary to each other. What is called for by one shall be binding as if called for by all and all parties involved shall become familiar with all sheets of drawings and specifications (if any) and not simply their own work in order to fully understand and develop the construction.
- These directors have been drown and declared to ensure a reasonable degree of sources, these-sent the Confrostic in responsible for chancing of demonstrate declared and requirements of these plans and/or specifications prior and commencing work and immediately and without daily pringing any discrepancies to the attention of the Architect / Building hower. Failure to do so shall engreemed on commencing work and attempts of the Architect / Building hower. Failure to do so shall engreemed on commencions of risk and skielly by the Confrostoctor.
- The Contractor shall provide solid blocking for any wall hung items indicated in the Construction Documents. The Owner/Fatnat shall be responsible for notifying the General Contractor of any wall hung items to be installed that are not shown on the drawing.
- Upon signing the Contract for Construction with the Owner, the General Contractor shall review all Owner selected and Young lead Terms (e.g. glass, congreting, etc.) with the Architect, (Topiene, Designer, Owner or applicable subcontractors, as appropriate, and shall ensure the timely placement of orders for these litters.
- or trees errors.

 The occupation exists in operately accepted contribution procision, the Contractor will be occupation exists of an exist and properly saving the performance of the work. This saliefy of all persons and properly saving the performance of the work. This salief was obtained to commit whereigh posteriors are properly on the performance of the person of the work of the person of
- Whether or not specifically indicated on the drawings, the Contractor shall be mercure or not specificary indicated on the drawings, the Contractor shall be responsible for removing, relocating or demolishing existing construction (including utilities which will interfere with the new work) and shall be fully responsible for the maintenance of water-tightness, oir conditioning and security of the existing
- Prior to tying into or shutting down any utility. Contractor shall obtain prior approval from the Owner.
- The Contractor shall coordinate with the Owner, the location of the Contractor's equipment and material storage as required.
- All dimensions are to face of interior study, center of columns and fenestrotion, or to face of brick and exterior face of exterior study, unless otherwise noted on the drawing. When dimensions are to an existing wall, column or feneratriation, all dimensions shall be from the face of existing finish, unless otherwise noted on the drawing.
- 3 Contractor shall be fully responsible for verifying all site conditions and structure location prior to submitting bid.
- 14 Air conditioning will conform to IBC & NFPA.
- Provide manual reset firestadt (setting not to exceed 136 degrees Forenheit) in return oir A/C streams.
- All electrical work shall be in strict occardance with National Electrical Code, GSHA, state and local regulations and ordinance ARS 40-1603.
- 7 All lighting fixtures to be selected by Owner and installed by Contractor.
- 8 Interior walls and ceilings shall have a flame spread rating of 0-75 and a smoke development rating of 0-450.
- 19 All materials shall be new and U.L. approved unless specifically designated otherwise.
- 20 No work shall be conceded until approved by regulatory inspectors.
- 2 Contractor to warrantee all work for one year.
- 23 Contractor shall pay for all water and power used toward construction, from
- 24 Caulking on exterior shall be too quality silicone caulk.
- 25 Paint grade to be Benjamin Moore or equivolent. All work to receive three (3) costs. Color and finish to be selected by owner, and verified by Contractor prior to contract signing. All paint to be highest quality by the manufacturer. 26 Orange-peel finish for all new sheetrack walls unless specified otherwise
- Confroctor to verify existing and proposed finishes of sheetrock surfaces and ascertain with Owner whether to motch existing or upgrade finish, and to include in original bid as required.
- 28 All batt insulation shall have class "A" (0-25) flame spread rating in compliance
- 29 Use 6 inch studs at plumbing walls. Provide metal "shoes" in framing to protect plumbing and electrical. No Provide a galvanized metal pan with drain at water heater and A/C evaporator locations and pur pan beneath washing machines located above first floor. Contractor to verify location of A/C drip pan drain pipe.
- Provide a top quality insulating blanket for all new water heaters.
- All corners shall be properly braced for wind loads. A 48" wide sheet of plywood sheathing shall be provided every 20 feet of wall length.
- 13 Treated wood: All exposed exterior wood shall be treated to the following
- specifications:

 25 Treated wood not in contact with the ground.

 40 Treated wood in contact with the ground.

 50 Treated wood in contact with water.

 Funited exterior wood: Shall be treated and fully or dried before back, and and edge priming until the (2) cools of permain grode exterior point.

 Natural exterior wood: Shall be fully corest, selected for straightness and quality.

 Mostly their of before, benefit, meta, and spital and breated with permitting oftic selection.
- So ner 2015 MEDS 101 Carkins 7.7.7 &-

- As per 2015 NFPA 101, Section 7.2.2.4: Nandrake Hondraks on states shall be of least 34 inches and set more than 35 Handrake Hondrake and the section of the section of the section of the section of the name the loading shall be set of the section of the section of the load 2-1/4 inches between the hondrake and the wall to which it is fastered. Individual shall have a circular cross section with on outside dometer of at feast handrake shall have a circular cross section with on outside dometer of at feast the section of Handrois shall have a circular cross section with an outside dameter of at least 1-1/2 achies and not more than 2 inches. New handrois shall be continuously grappide dong the entire leagth. New handroil ends shall be retinuned to the way on four or terminal of sweep sport. Handroil shall be provided not least on side of the status. Sport states and wisders shall have the required handroils solid be provided not least one side of the status. Sport states and wisders shall have the required handroils solid have a second hardroid shall have a second hardroid with no state; comes, Handroid shall be required on states with an elevation difference greater than 21 inches.

Condraint: Counts shall be of least 42 inches high measured vertically to the type of the upond from the surface adjusted thereto. Open quants shall have a few good from the surface adjusted thereto. Open quants shall have a few good from the shall explain the property of the property of the shall be founded to the property of the shall be founded to the open shall be of suit shall be of such so that of such good or do shall be of such so that of a spurial of discrete the shall be required and out good shall be founded and of such same shall be triangular openings. Gurdt shall be required and of such same shall be required and of such same shall be required and of such same shall be required.

Treads and risers of stairs shall be so proportioned that the sum of two risers and a tread, exclusive of nosins, is not less than 24 inches nor more than 25 inches. The height of riser shall not exceed 7 inches and treads shall not be less than 11 inches wide.

Treads shall be of uniform depth and riser of uniform height in any stairway between two floors. There shall be no variation exceeding 3/16 such in the depth of adjacent treats or in the height of adjacent inters and informice between the largest and smallest four or between the largest and smallest bread shall not exceed 3/6 index in any light. Tread leight shall be measured hardwards between the variating places of the forement projection of adjacent breath and or right uniform the treat's beding adjacent.

EXCEPTION: Where the bottom or top riser adjains a sloping public way, walk or driveway having an established grade and serving as a landing, a variation in height of not more than 3 inches for every 3 ft of a stairway width is permitte

Contractor shall keep an accurate record of all changes and shall mark some in ink on a separate, clean set of these drawings during the construction, including 36 leaction of off undergrand utilities. Contracts thall funnish Owner and Architect each a copy of this record before final completion and acceptance is recorded.

ready-energy and intillation requirements with manufactures.

The Superment Service Construction of beard deviced Construction Phase Services where an other Acceptance of these develops by the search Services where a developed the service of these develops by the search services of the Construction to discover, and the services of the Construction to discover, and the services of the Construction to discover, and the services developed the services of the Construction of the Constr

The contractor shall grade the site as required to ensure proper rain water drainings and runoff. No part of the site shall be allowed to drain onto adjacent properties, nor shall runoff be allowed to accumulate next to the existing or proposed structure.

- From Salmittes For purposes of decided conferration, the Contractor shall salm the Trant Sample Salmittes for english face(i) that need sudject a face of the Trant Sample Salmittes for english face(i) that need sudject is the decident of the designer of professions required for the sample of the salm sudject in the design of professions required for finish for finish such sudject of over. The first sample(i) all be set furthered and salm that finish has been opposed, the first engagle(i) all the salm Contract Sample (ii) all the salm Contract Sample (iii) and in a Contract Sample (iii) and in a Contract Sample (iii) and in a Contract Sample (iii) and in the Contract Sample (iii) and in the Contract Sample (iii) and in the salm contract Sample (iii) and iii) and
- All downspouts to terminate at sub-surface drainage, paving or splash blocks as
- Protect oil windows against windowne debris with wood sthuctural gonels with a 41 millionen hilluters of 7/16 km and a millionen gain of 8 leef. Frankt sold 41 millionen hilluters of 7/16 km and a millionen of 8 leef. Frankt sold Altabiments sold be provided in accordance with the following 42 Spon less than or equal to 6 left or 2 1/27 gill sould access 8 till oc. Where service are calculated to millioner or millioner left of 6 left of 1 left of
- Site flatwork (walks, drives, etc...) to be 3,000 P.S.I. Concrete, 4" to 6" th with 6/5 welded wire mesh or as per engineer's drawings / specifications.
- Wood fances shall be 7-0° high freeded it pine fance boards installed on 3 freeded 24e stringers mounted with metal strap clips to bearp gauge glownized points set into concerts feotopies. Deleth of points set leth on concerts feotopies. Deleth of points set leth on min. 4° 2 believ grades or an specified by entpierening direatings if applicables. There shall be no the both of exchanged of settings. All posts shall be capped. To go on on/for besteved on specified (see drawings for delata). Wooden members shall be concerted with 2 control of oppoper strink unless otherwise specifies (Cities a section by search. Install 2x4 blocking at mid-span within all walls that have ceiling heights greater than 8'-0".
- All utility connections including electric, natural gas, water, sever sub-surface drainage, etc. as required, are the responsibility of and must be provided for by the General Controctor within the scope of the Work. All connections to be made in a proper, correct, and workman-like manner consistent with all codes, or correct, and workman-like manner consistent with all codes, special requirements, of the utility company having purisdiction.
- For all new construction, termite protection must be provided as per Chapter 26 IBC 2015 ed., and contractor must provide owner with certificate of installation.

Date TITLE SHEET

Page 240 of 350 WILLIAMS ARCHITECTS

504-566-0888

IMPROVEMENT 5 Ш STR ш DUMAIN

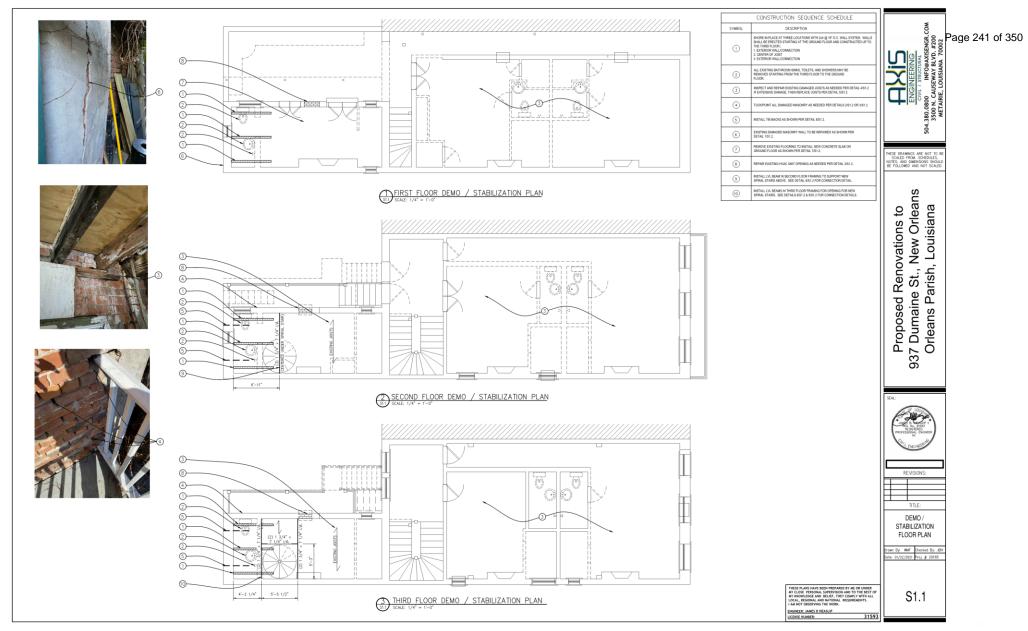
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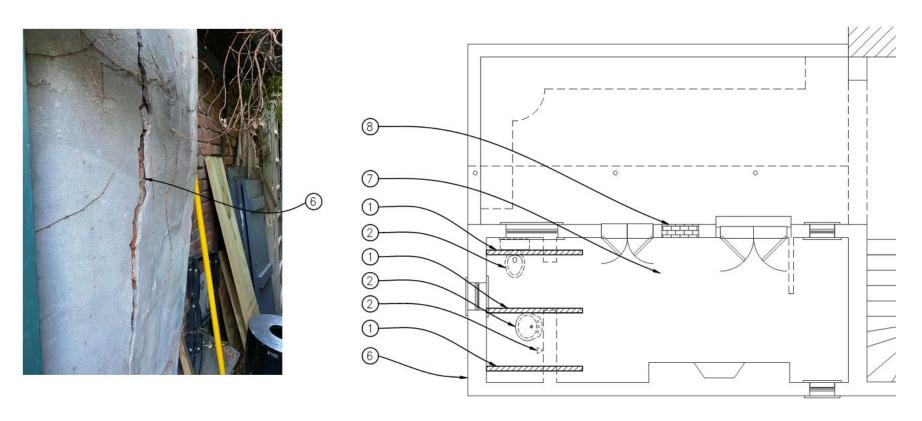
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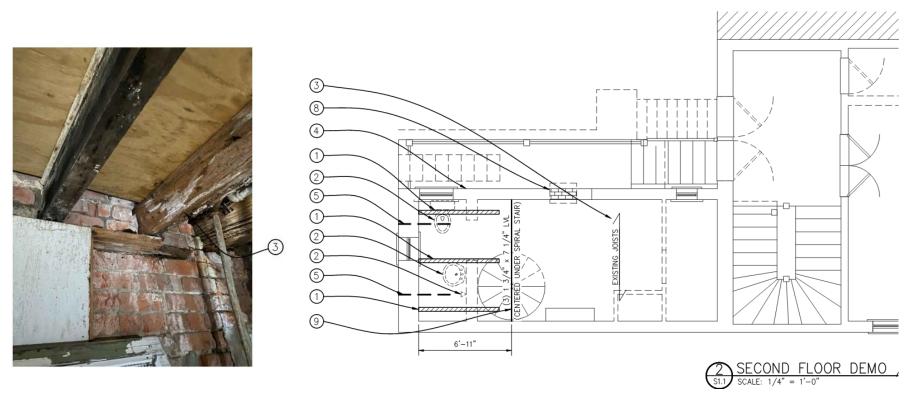


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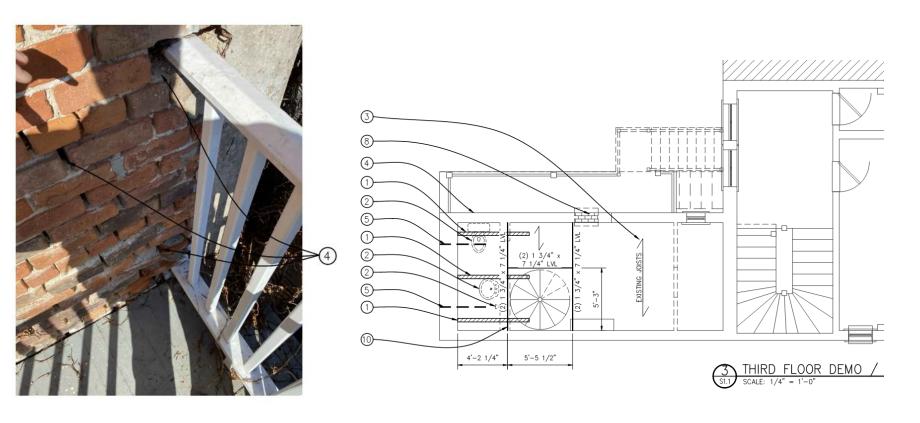




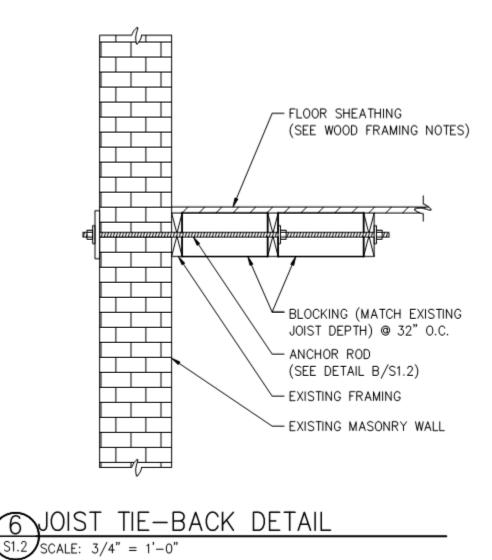
	CONSTRUCTION SEQUENCE SCHEDULE
SYMBOL	DESCRIPTION
1	SHORE IN-PLACE AT THREE LOCATIONS WITH 2x4 @ 16* O.C. WALL SYSTEM. WALLS SHALL BE ERECTED STARTING AT THE GROUND FLOOR AND CONSTRUCTED UP TO THE THIRD FLOOR.: 1. EXTERIOR WALL/CONNECTION 2. CENTER OF JOIST 3. EXTERIOR WALL/CONNECTION
2	ALL EXISTING BATHROOM SINKS, TOILETS, AND SHOWERS MAY BE REMOVED STARTING FROM THE THIRD FLOOR TO THE GROUND FLOOR.
3	INSPECT AND REPAIR EXISTING DAMAGED JOISTS AS NEEDED PER DETAIL 4/S1.2. IF EXTENSIVE DAMAGE, THEN REPLACE JOISTS PER DETAIL 5/S1.2.
4	TUCK/POINT ALL DAMAGED MASONRY AS NEEDED PER DETAILS 2/S1.2 OR 3/S1.2.
5	INSTALL TIE-BACKS AS SHOWN PER DETAIL 6/S1.2.
6	EXISTING DAMAGED MASONRY WALL TO BE REPAIRED AS SHOWN PER DETAIL 1/S1.2.
7	REMOVE EXISTING FLOORING TO INSTALL NEW CONCRETE SLAB ON GROUND FLOOR AS SHOWN PER DETAIL 7/S1.2.
8	REPAIR EXISTING HVAC UNIT OPENING AS NEEDED PER DETAIL 3/S1.2.
9	INSTALL LVL BEAM IN SECOND FLOOR FRAMING TO SUPPORT NEW SPIRAL STAIRS ABOVE. SEE DETAIL 8/S1.2 FOR CONNECTION DETAIL.
10	INSTALL LVL BEAMS IN THIRD FLOOR FRAMING FOR OPENING FOR NEW SPIRAL STAIRS. SEE DETAILS 8/S1.2 & 9/S1.2 FOR CONNECTION DETAILS.

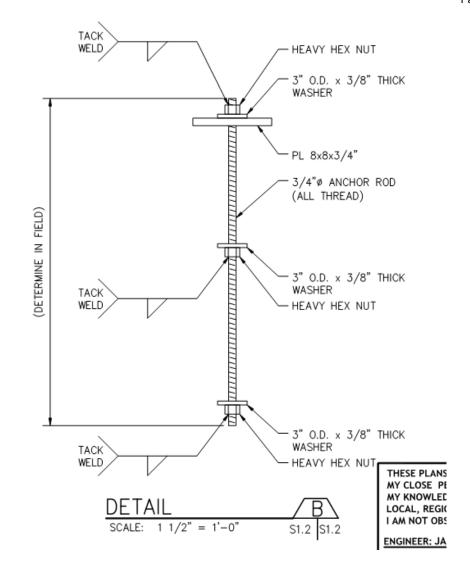


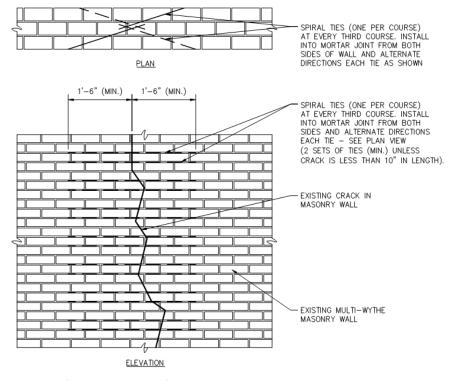
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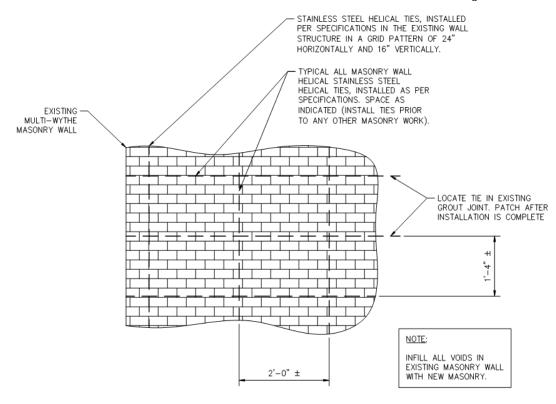




NOTES (UNLESS NOTED OTHERWISE):

- IN EXTERIOR WALLS WHERE CRACKING OCCURS IN STUCCO FINISH, DETERMINE JOINT LOCATIONS USING HAND TOOLS. USE CAUTION NOT TO DAMAGE ADJACENT FINISHES.
- WHERE REQUIRED, PATCH FINISH IN LIKE KIND AND WORKMANSHIP AS ORIGINAL, ADJACENT FINISHES.
- AFTER INSTALLATION OF TIES AND PRIOR TO INSTALLATION OF STUCCO FINISH (WHERE REQUIRED). GROUT INJECT C.I.F. INTO CRACK TO FILL CRACK AND VOIDS COMPLETELY.





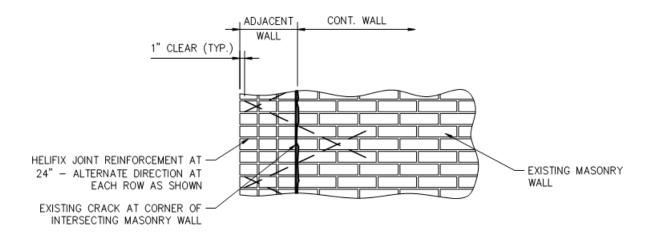
INSTALLATION PROCEDURE: (FOLLOW MANUFACTURES DIRECTIONS)

- 1. DRILL PILOT HOLE PER MANUFACTURER.
- 2. INSTALL THE HELICAL TIE PER THE SPECIFICATIONS.
- 3. PATCH THE ENTRY HOLE WITH MORTAR TO MATCH THE EXISTING.

REPAIR OF MASONRY WALLS DETAIL S1.2 SCALE: N.T.S.







DETAIL NOTES:

- HELIFIX REPAIR AT INTERSECTING WALL:
 - 1.1 PRE-DRILL HOLES AT APPROXIMATELY 30' ANGLE AT LOCATION OF HELIFIX REINFORCEMENT. LOCATE ALL HOLES IN NEAREST HORIZONTAL MORTAR JOINT.
 - 1.2 PREPARE HOLES BY FLUSHING WITH WATER. INJECT HOLES WITH HELIFIX HELIBOND GROUT.
 - 1.3 PLACE HELIFIX HELIBAR JOINT REINFORCEMENT; SPACED AT 24" O.C. (MAX.) VERTICAL, 6" O.C. (MAX.) HORIZONTAL, 2 VERTICAL ROWS, CENTERED ON CONTINUOUS WALL.
 - 1.4 EACH VERTICAL ROW OF REINFORCEMENT BARS TO ALTERNATE DIRECTION AS SHOWN.
- REINFORCEMENT TO EXTEND 16" (MIN.) CLEAR PAST CRACK EACH SIDE WHERE POSSIBLE.
- 3. FILL CRACK AND HOLES SOLID WITH COMPATIBLE MORTAR.









HeliBond

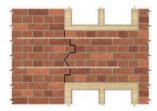
High performance, injectable, cementitious, non-shrink grout

Applications

- · Used to bond HeliBars into masonry for crack stitching, lintel repair and creation, masonry beaming and CemTie installation
- · For bonding metal components into masonry and concrete substrates



Repairing brick arch lintels



Crack stitching



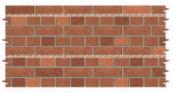
For full Product Information, Case Studies and downloadable Repair Details, giving specifications for many common structural faults, go to:

www.helifix.com/products/construction-chemicals/helibond-grout



Features

- · Non-shrink, non-gassing, thixotropic grout
- · Flows easily under pressure to fill voids
- · Rapidly develops compressive strength
- Cures to 6525 PSI (28 days at 68°F)
- · Ready-to-mix components supplied in two-pack sets to reduce waste



Creating masonry beams



Directions for use

PRODUCT DATA SHEET - PDS/HBG01



1. Empty the contents of the liquid pack



4. Check the piston is a snug fit in the cartridge and adjust in accordance with the pointing gun instructions. Load the mixture into the cartridge in the pointing gun immediately after



2. Add the contents of the powder pack



5. Inject into the slot or hole in a continuous operation. Typical working life of the mixture in the pail is around 2 hours with re-agitation. The cartridge should be emptied within 5 minutes. If the injection process is interrupted for any reason, empty any cartridge contents back into the bucket and re-mix until it again reaches a smooth injectable consistency



3. Stir thoroughly using a power-driven paddle mixer. Do not attempt to mix by hand as this will result in inadequate mixing

Note

- If the pail is to be re-used ensure that it is completely clean before loading fresh material
- Pointing may be carried out as soon as the HeliBond has started to set
- After use, clean all tools, mixers and containers with clean, fresh water For anchoring applications, a minimum clearance of 2mm all around the component will be adequate but should be increased to overcome drill wander in deeper holes, 500mm+, or to accommodate highly absorbent substrates. For Helifix bars and ties the

Hole diameter

NA 10-12mm

14-18mm

16-18mm

following will generally apply.

Slot width

6-8mm

8-12mm 12-14mm

Performance data

Compressive strength: (at 68°F)	2 days – 2175 PSI 7 days – 3625 PSI 28 days – 6525 PSI	
Pot life:	2 hours at 68°F	
Temperature conditions:	To be stored, away from direct sunlight, at 40°F to 70°F and not to be used at temperatures below 40°F or if there is a danger of frost	
Pail storage:	Pails to be stacked no more than four high	
Shelf life:	12 months under normal conditions	
Pack sizes:	3.0 litres and 4.5 litres	
RECOMMENDED TOOLI	NG	
For mixing components:	Power drill and paddle mixer	
For injection into slots:	Helifix Pointing Gun Kit - CS	
For injection into holes:	Helifix Pointing Gun Kit - HD	
Also available with pneum	atic power	

10mm	14-16mm	16-18n
12mm	16mm	NA
NB To ensure a reliable b	ond, all mortar must be re	moved from the

Health and safety

HeliBond contains Portland Cement and is therefore alkaline when wet. Unnecessary skin contact should be avoided. In case of eye contact, the eye must be irrigated with gently running clean, fresh water and medical attention sought. A separate Health & Safety Data sheet is available on request.



A Division of Halfen USA Inc. 4965 Eisenhauer Rd, Suite 101, Windcrest, TX. 78218 Toll Free: 888-992-9989 • Fax: 877-683-4910 Email: inquiry@helifix.com

Bar Diameter

4.5mm

6mm

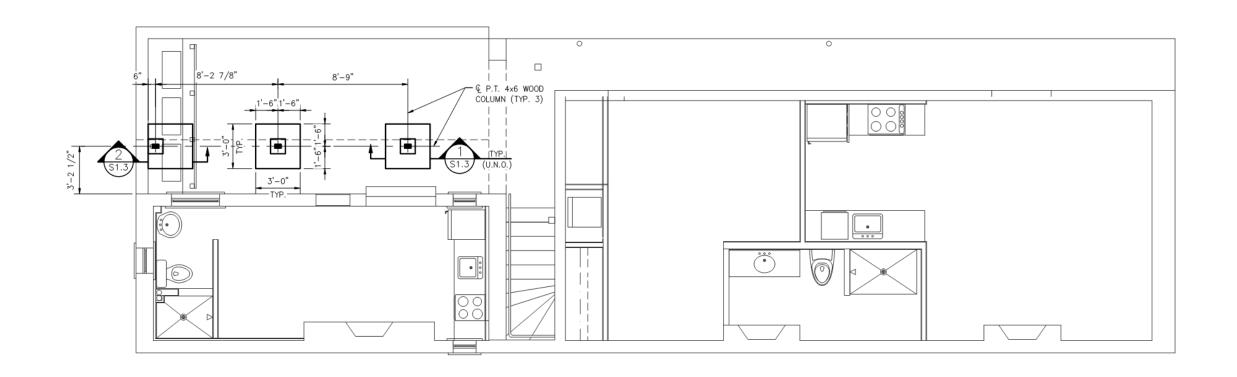






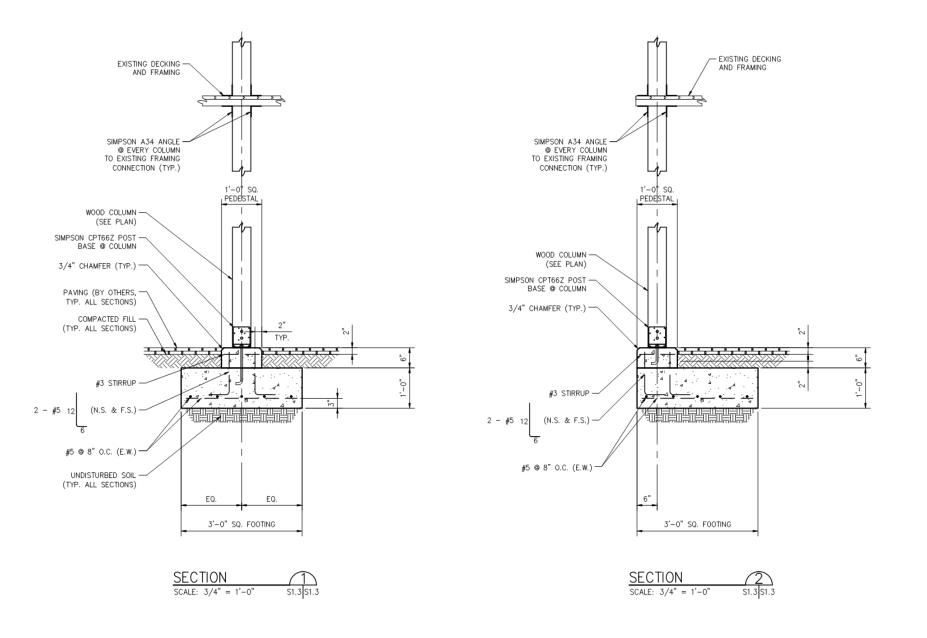
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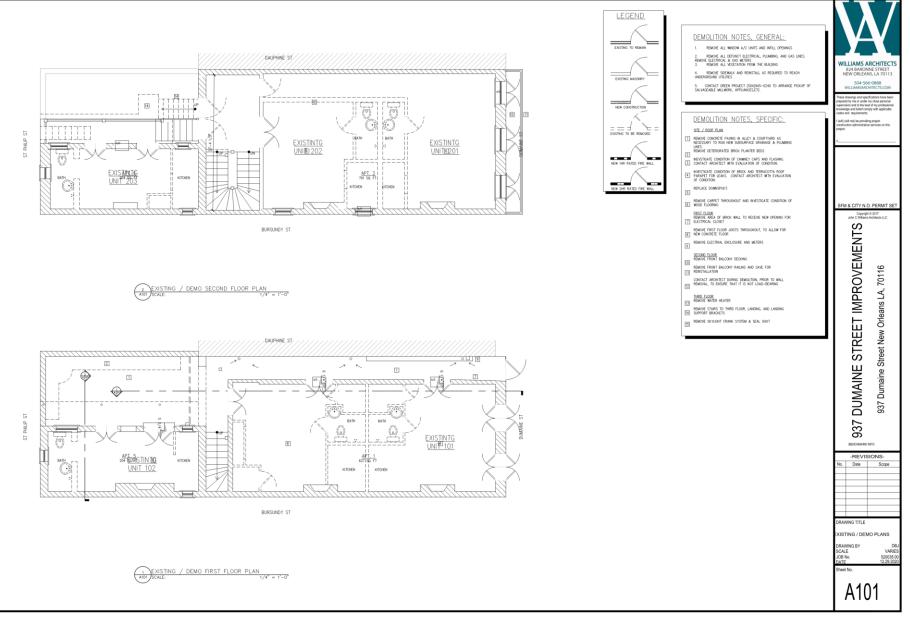




COLUMN FOOTING FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

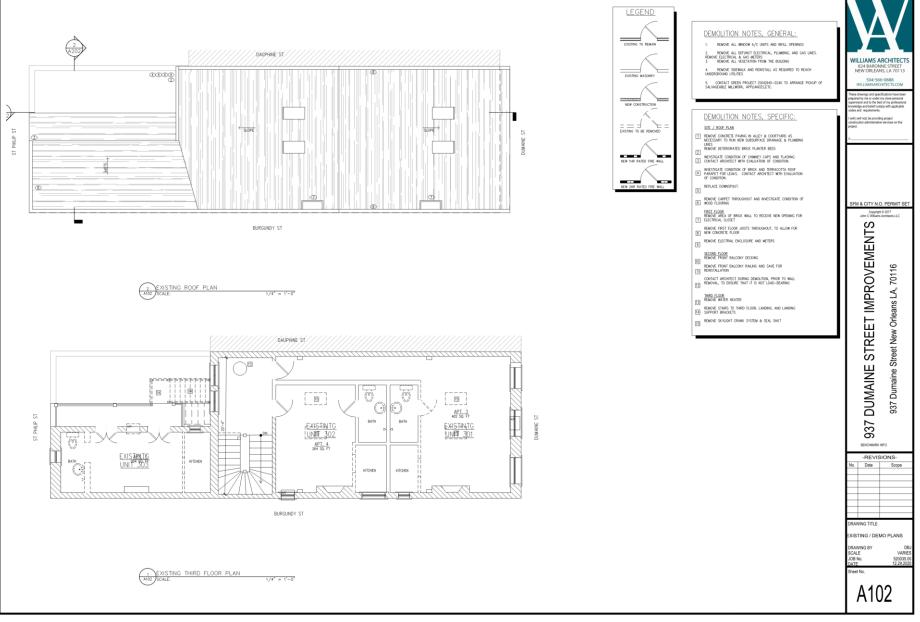






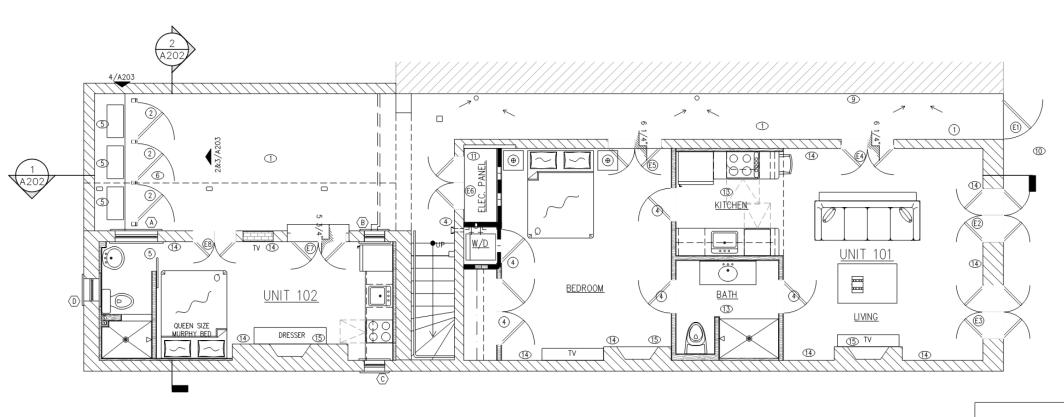






937 Dumaine





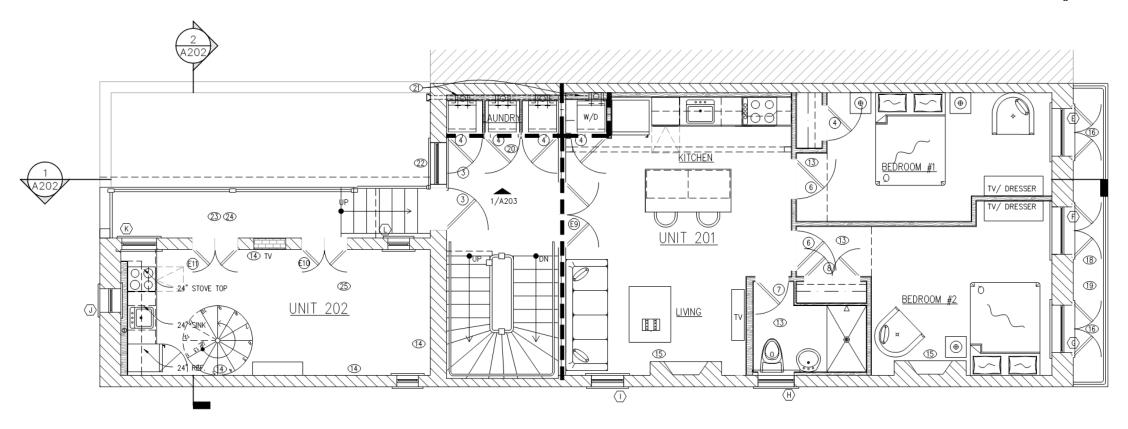
1 PROPOSED FIRST FLOOR PLAN
A103 SCALE: 1/4" = 1'-0"

MILLWORK NOTES:

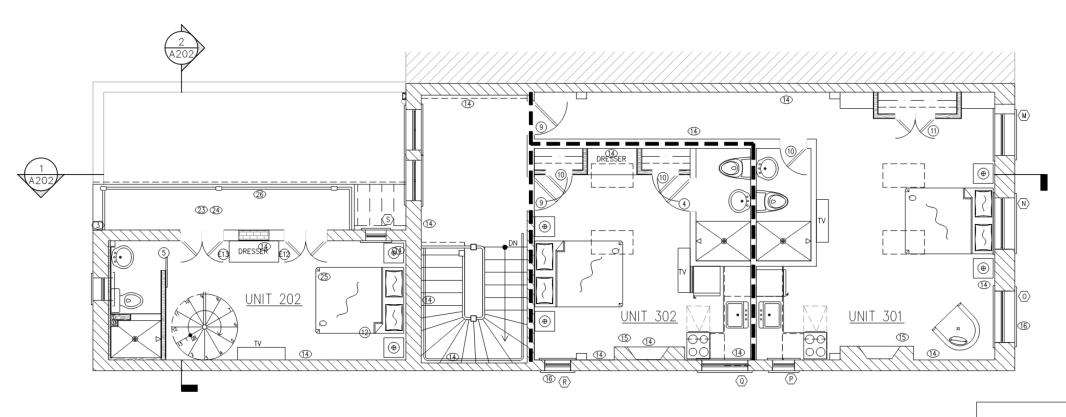
- WINDOWS, EXTERIOR DOORS, AND SHUTTERS TO BE CUSTOM MILLED TO MATCH EXISTING. DETAILS SUBJECT TO APPROVAL OF VCC AND NPS. SHOP DRAWING PEOLIPPE.
- 2. INTERIOR DOORS TO BE NEW SOLID WOOD. SEE DOOR SCHEDULE
- FLOORING THROUGHOUT (EXCEPT BATHROOMS) TO BE SOLID WOOD, TO MATCH EXISTING
- BASEBOARDS TO BE FURRED OUT ON PLASTER WALLS TO RECEIVE WIRING AND OUTLETS
- 5. WOOD BASEBOARDS AND CASINGS TO MATCH EXISTING
- 6. INSTALL NEW VAPOR BARRIER UNDER NEW FLOORING, FIRST FLOOR











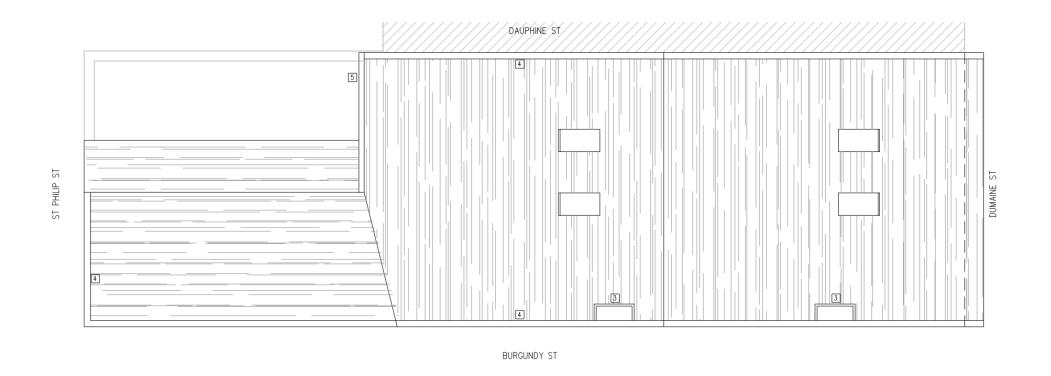
1 PROPOSED THIRD FLOOR PLAN A104 SCALE: 1/4" = 1'-0"

MILLWORK NOTES:

- WINDOWS, EXTERIOR DOORS, AND SHUTTERS TO BE CUSTOM MILLED TO MATCH EXISTING. DETAILS SUBJECT TO APPROVAL OF VCC AND NPS. SHOP DRAWINGS REQUIRED.
- 2. INTERIOR DOORS TO BE NEW SOLID WOOD. SEE DOOR SCHEDULE
- FLOORING THROUGHOUT (EXCEPT BATHROOMS) TO BE SOLID WOOD, TO MATCH EXISTING
- BASEBOARDS TO BE FURRED OUT ON PLASTER WALLS TO RECEIVE WIRING AND OUTLETS
- 5. WOOD BASEBOARDS AND CASINGS TO MATCH EXISTING
- 6. INSTALL NEW VAPOR BARRIER UNDER NEW FLOORING, FIRST FLOOR



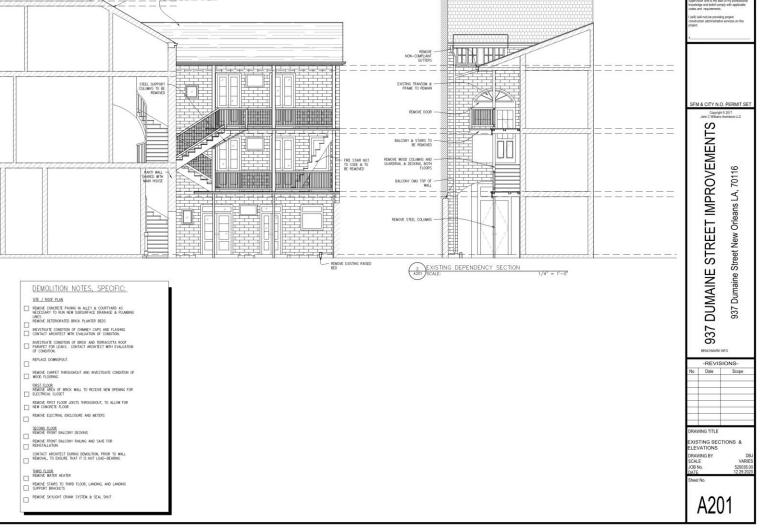












937 Dumaine

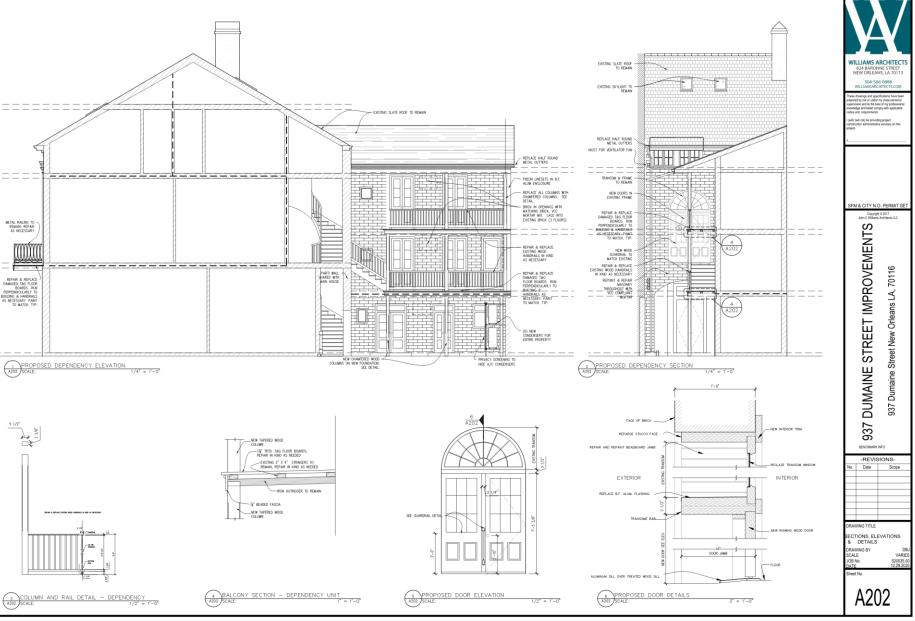


EXISTING DEPENDENCY ELEVATION

DEMOLITION NOTES, GENERAL:

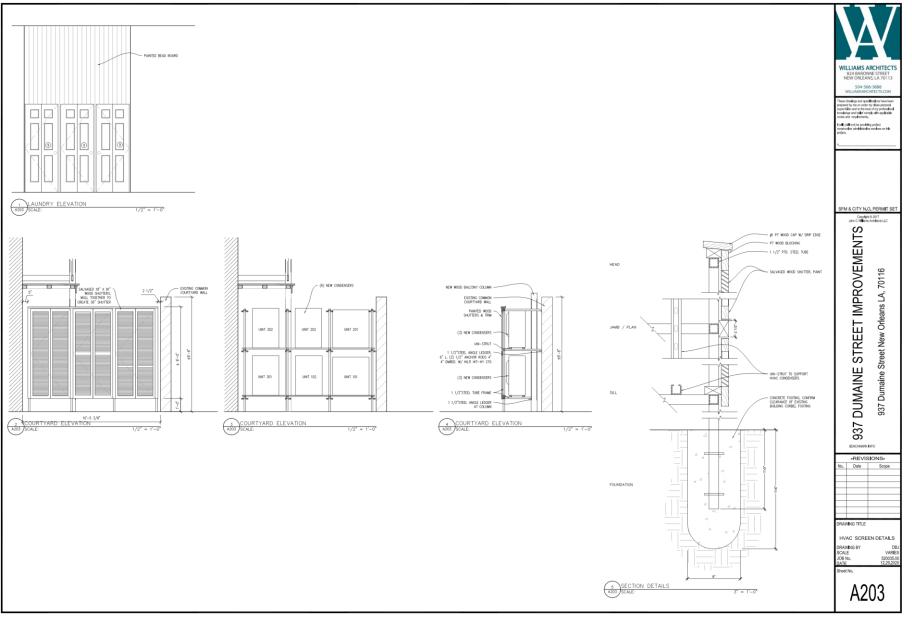
REMOVE ALL WINDOW A/C UNITS AND INFILL OPENINGS















DOOR	SCHEDULE						
NUMBER	TYPE	WIDTH	DOOR HEIGHT	MATERIAL	HARDWARE	TRIM	REMARKS
ı	PAIR OF BEADBOARD EXTERIOR DOORS	PR 2'-6"	7'-0"	BEADBOARD			
2	LATTICE DOORS	2'-10"	7'-0"	LATTICE			LATTICE SCREEN DOORS TO A/C CONDENSER ENCLOSURE
3	NEW WOOD \$ GLASS EXTERIOR DOOR	3'-0"	6'-8"	WOOD/GLASS			DOORS IN EXISTING FRAME. TRANSOM TO REMAIN. SEE DETAIL X/30 I .
4	I-I/2 HR. FIRE RATED DOORS WITH ADDITIONAL FALSE LOUVERED WOOD DOOR IN FRONT TO CONCEAL METAL DOOR	2'-10"	6'-8"	WOOD	MATCH EX.	MATCH EX.	
5	INTERIOR DOOR	2'-6"	6'-8"	11 11			
6	INTERIOR DOOR	2'-0"	6'-8"	11 11	" "	11 11	
7	PAIR OF INTERIOR DOORS	PR 2'-10"	6'-8"	11 11	н н	" "	
8	POCKET DOOR	2'-0"	6'-8"	11 11	н н	" "	
9	BIFOLD DOOR	2'-6"	6'-8"	11 11		" "	PAINTED WOOD DOORS. SEE DETAIL X/30 I
10	INTERIOR DOOR	2'-10"	6'-8"	11 11			
1.1	INTERIOR DOOR	2'-4"	6'-8"	11 11	н н		
12	PAIR OF BIFOLD DOOR	PR 2'-0"	6'-8"	11 11	н н	" "	
13	INTERIOR DOOR	2'-0"	6'-8"	11 11	" "	" "	
14	PAIR OF INTERIOR DOORS	PR 1'-6"	6'-8"	11 11	11 11	11 11	
15	POCKET DOOR	2'-0"	6'-8"	11 11	11 11	11 11	
16	INTERIOR DOOR	2'-6"	6'-8"	н	" "	" "	

WINDOW SCHEDULE

MINDON SOFIEDOEL								
NUMBER	TYPE	WIDTH	WINDOW HEIGHT	MATERIAL	SOLAR HEAT GAIN COEFFICIENT	CASING	COLOR	REMARKS
A	EXISTING PAIR OF WINDOWS	2'-10"	5'-8"	EXISTING	N/A	EXISTING	TBD	REPLACE IN KIND. EVALUATE EACH CONDITION AND OBTAIN VCC APPROVAL
В	SINGLE HUNG WINDOW	2'-9.5"	4'-11.5"	REPAIR OR REPLACE WOOD WINDOW	" "	MATCH EXISTING		» »
С	SINGLE HUNG WINDOW	2'-9.5"	4'-11.5"	и и	" "	MATCH EXISTING		22 22
D	FIXED WINDOW	2'-9.5"	1'-11.5"		" "			" "
E	FIXED WINDOW	4'-11.5"	1'-5.5"	1 1	" "			39 39
F	SINGLE HUNG WINDOW	2'- 11.5"	3'-11.5"	1.1	" "			29 29



937 Dumaine St. Existing
Existing outward swing iron security gate.
The opening is approx 10' 6" high and 43" wide to the masonry. The wood framing creates about a 2 to 3" border.



Proposed Gate Design

Arched gate and transom concept common to the French Quarter. 5/8" bar set on diamond pattern in 3/8" flatiron with classic lockset and transom scroll work derived from the existing original balcony iron work to add cohesive look (see below). All solid material to be built by Darryl Reeves of Andrew's Blacksmith Shop in NO.

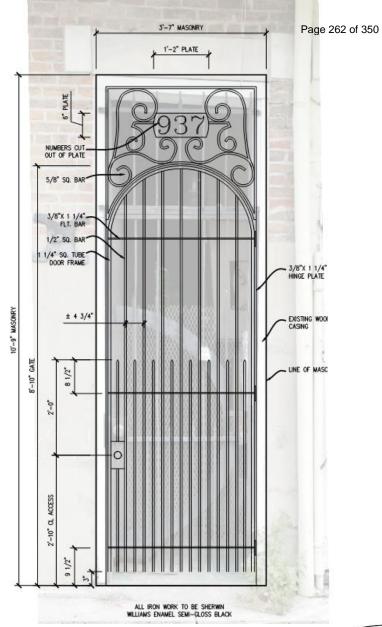
It will be heavy gauged to match other iron generally found in the FQ with heavy hinges and hardware. To avoid the use of expanded metal (I feel it lowers the visual appeal) around the lockset to prevent unauthorized access from the exterior, we plan to use an additional picket between each main bar up to 58" with pointed tops.

Please note the address numbers cut out of plate to create a silhouette of the address (example above)

Classic large gauge brass knob hardware and iron plated mortice latch around knob area have been suggested to prevent access to the internal knob from the exterior and will be added. Per Fire Marshall requirements, the interior knob will be practical to unlock gate from interior.

Please note that the additional bars were added to sketch and so the exact location of the crossmember at the lockset will be height adjusted to accommodate the lower additional pickets.









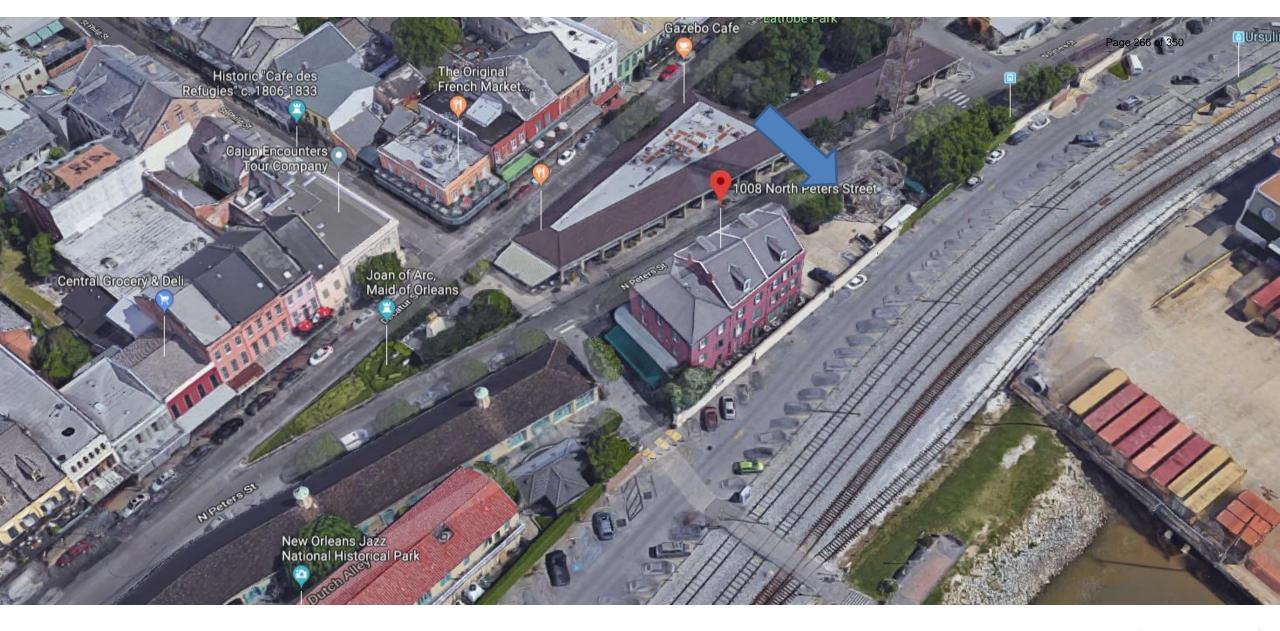






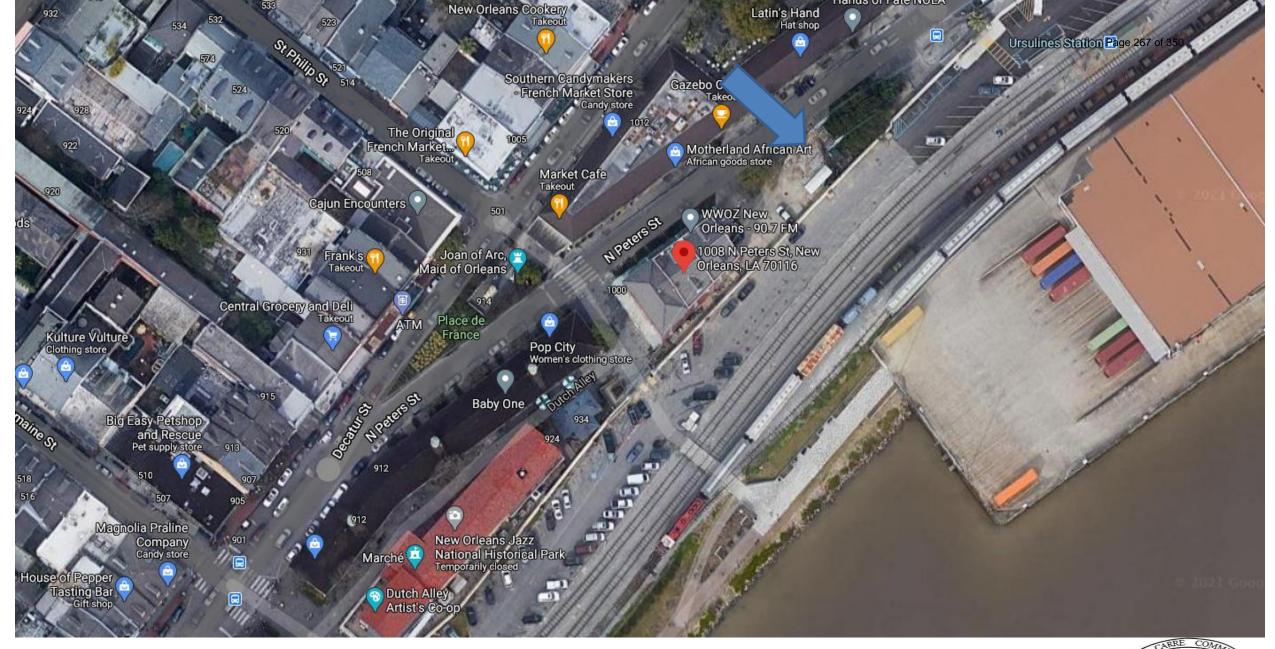
937 Dumaine



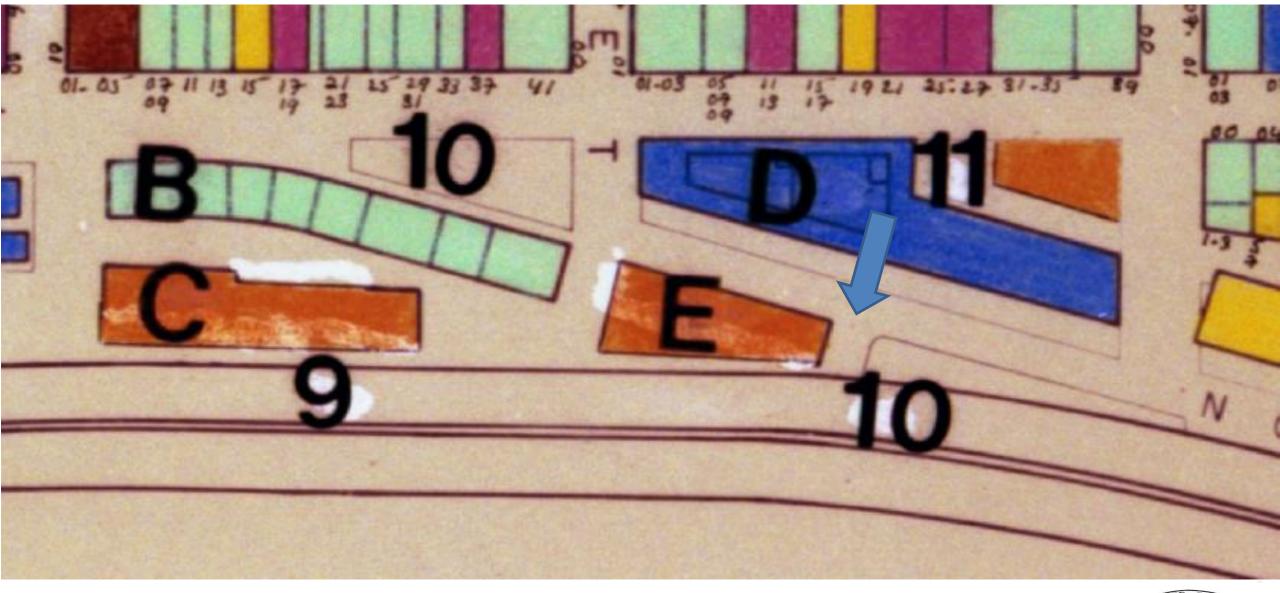






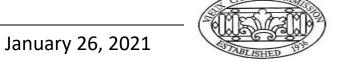


1008 N Peters









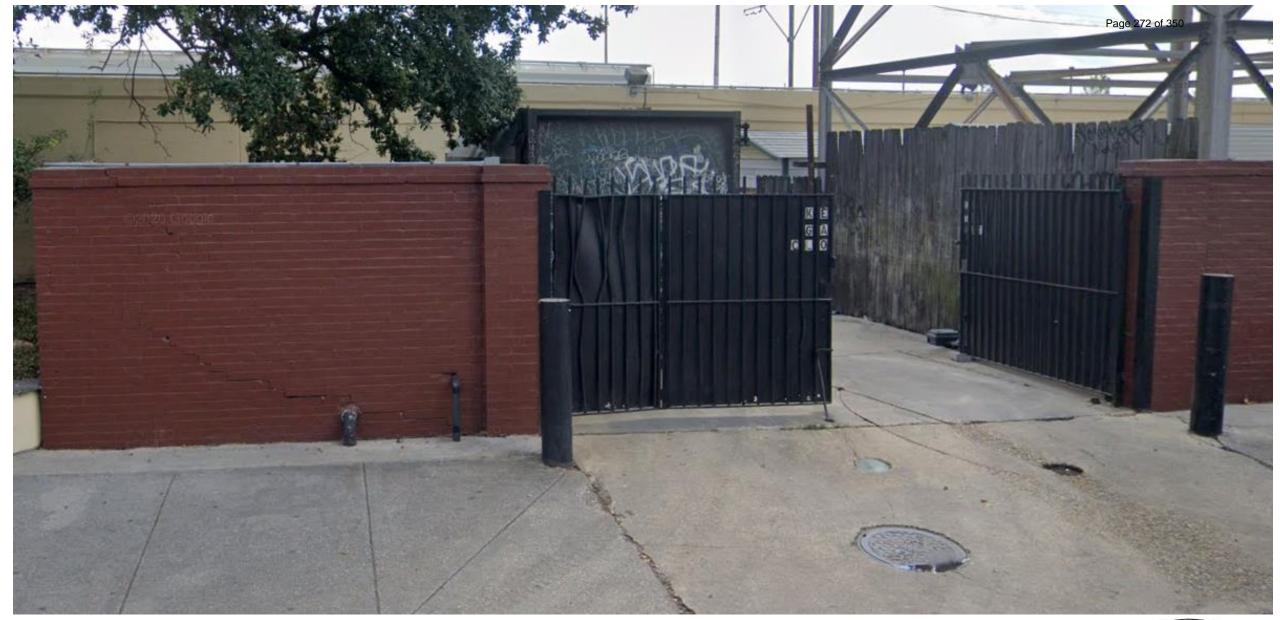






1008 N Peters Street

VCC Architectural Committee







North Peters Street Dumpster Area Improvements

1008 North Peters Street New Orleans, Louisiana, 70116



CONSTRUCTION DOCUMENTS

JANUARY 4, 2021

List of Drawings

00	COVER	PLUMBING					
	Site Work	P-0	PLUMBING NOTES, ABBREVIATIONS, &				
K-1 L-1	SURVEY	P-1	SCHEDULES PLUMBING SPECIFICATIONS				
142	DEMOLITION PLAN LAYOUT PLAN AND CURB DETAIL GRADING PLAN	P-2	PLUMBING SPECIFICATIONS PLUMBING PLAN PLUMBING DETAILS				
L=2		P-3					
L-4	NEW GATE DETAILS	P-4					
L-5	PAVEMENT, POST & BOLLARD DETAILS						
L-6	BRICK WALL DETAILS		ELECTRICAL				
		E-0	ELECTRICAL SPECIFICATIONS AND NOTES				

GENERAL NOTES

1. BASE MAP IS CREATED FROM BATTURE ENGINEERING AND LAND SURVEYORS DATED 9-4-2019; THIS SURVEY IS PROVIDED AS INFORMATION ONLY AND THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCING ANY WORK.

CONTRACTOR SHALL VERIFY THE LOCATION OF ALL ON-SITE AND ADJACENT UTILITIES AND TAKE NECESSARY
PRECAUTIONS TO PROTECT ALL UTILITIES FROM DAMAGE. CONTRACTOR SHALL BEAR THE COST OF REPAIR OF
ANY UTILITY DAMAGE FURING CONSTRUCTION.

3. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT PERSONS AND PROPERTY DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO PROVIDING CONSTRUCTION FENCING AND SIGNAGE.

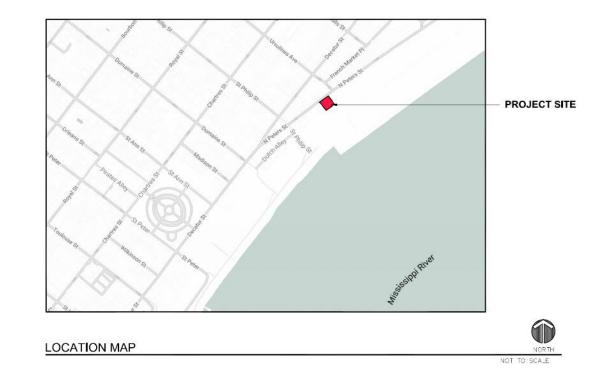
 ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND THE HIGHEST CONSTRUCTION STANDARDS.

5. IN THE CASE OF ANY DISCREPANCIES BETWEEN PLANS, SPECIFICATIONS, CODES, ORDINANCES AND REQUIREMENTS, THE HIGHER STANDARD SHALL GOVERN.

6, THE CONTRACTOR SHALL APPLY FOR AND PAY FOR ALL NECESSARY PERMITS AND FEES.

7. THE JOB SITE SHALL BE MAINTAINED CLEAN AND FREE FROM DEBRIS DURING CONSTRUCTION.

8. THE PROJECT SHALL BE WARRANTEED FOR A MINIMUM PERIOD OF ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE FOR DEFECTS DUE TO NONCOMPLIANCE WITH BUILDING STANDARDS, AND DEFECTS DUE TO MATERIALS AND/OR WORKMANSHIP. THE CONTRACTOR SHALL DILIGENTLY AND IN A TIMELY MANNER REMEDY ALL DEFECTS AT NO ADDITIONAL COST TO THE OWNER.



OWNER

FRENCH MARKET CORPORATION 1008 NORTH PETERS STREET, 3RD FLOOR NEW ORLEANS, LA 70116 504-638-6400

INTERIM EXECUTIVE DIRECTOR: LESLIE ALLEY

ARCHITECT

PEREZ, A PROFESSIONAL CORPORATION 2525 BURGUNDY STREET NEW ORLEANS, LA 70117

ELECTRICAL DEMOLITION PLAN ELECTRICAL NEW WORK PLAN

MEP ENGINEERS

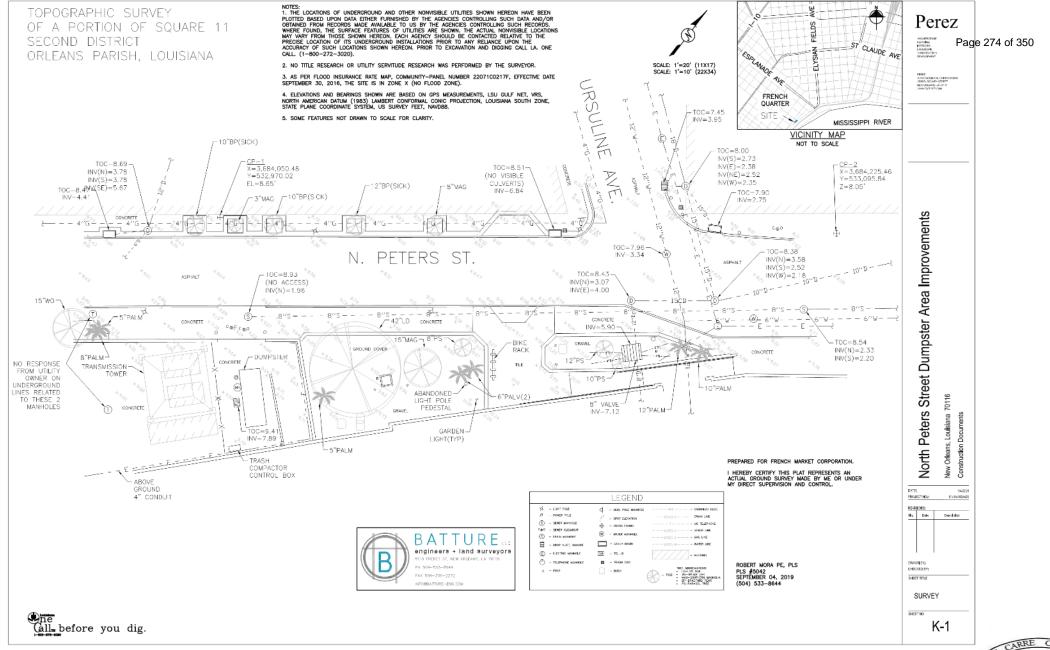
MOSES ENGINEERS 909 POYDRAS STREET, SUITE 2150 NEW ORLEANS, LA 70112

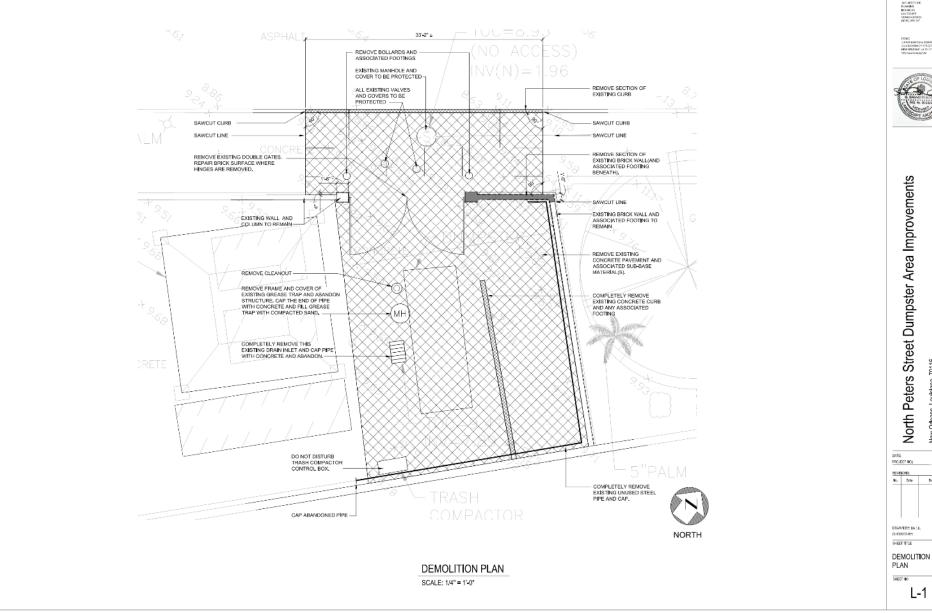
STRUCTURAL ENGINEERS

MORPHY MAKOFSKY, INC. 336 N. JEFFERSON DAVIS PARKWAY NEW ORLEANS, LA 70119









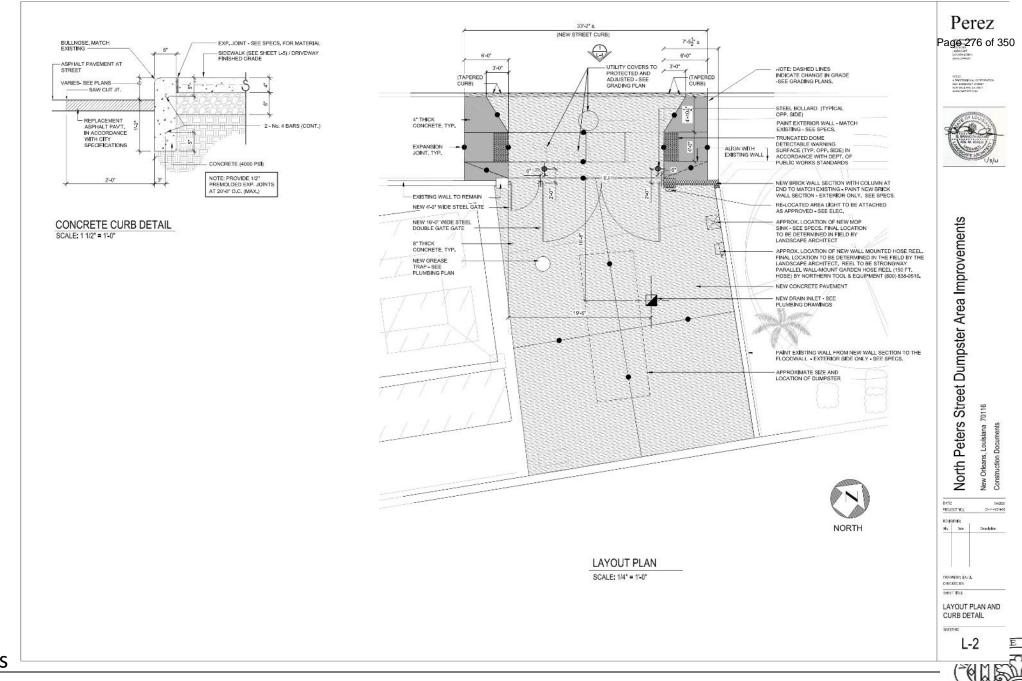
1008 N Peters

Perez

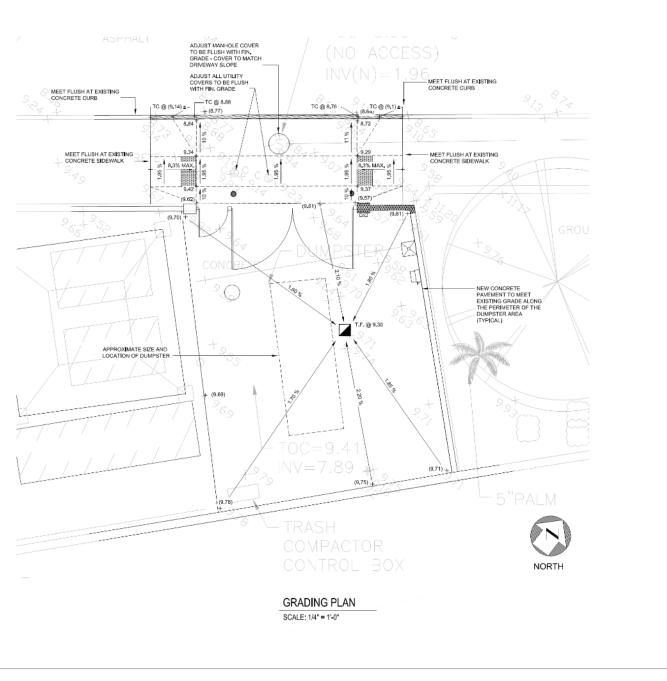
North Peters Street Dumpster Area Improvements

L-1

Page 275 of 350



1008 N Peters

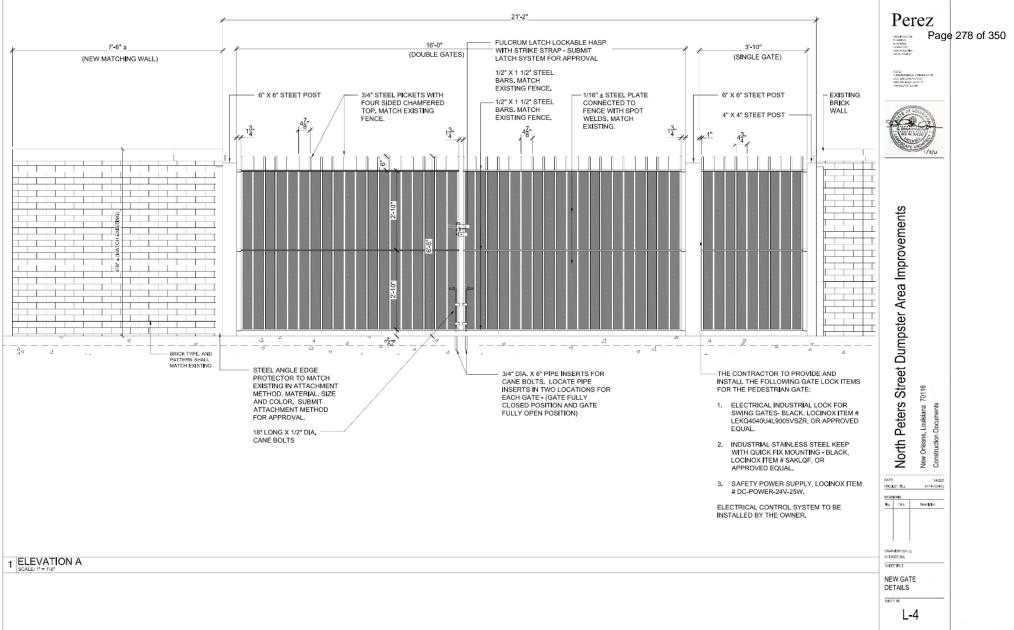


Perez ARCHITECTURE
PLANNING
INTERIORS
LANDSCAPE
CONSTRUCTION
DOVOLOTIMENT Page 277 of 350 North Peters Street Dumpster Area Improvements DRAWN BY: BATUL GRADING PLAN

CARRE COMMANDE

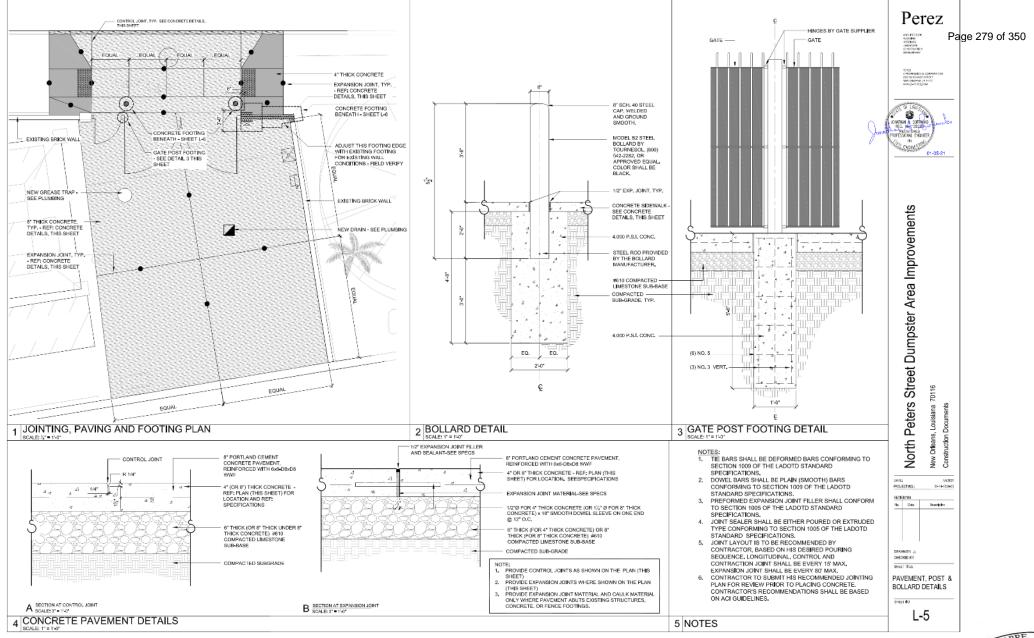
1008 N Peters

L-3

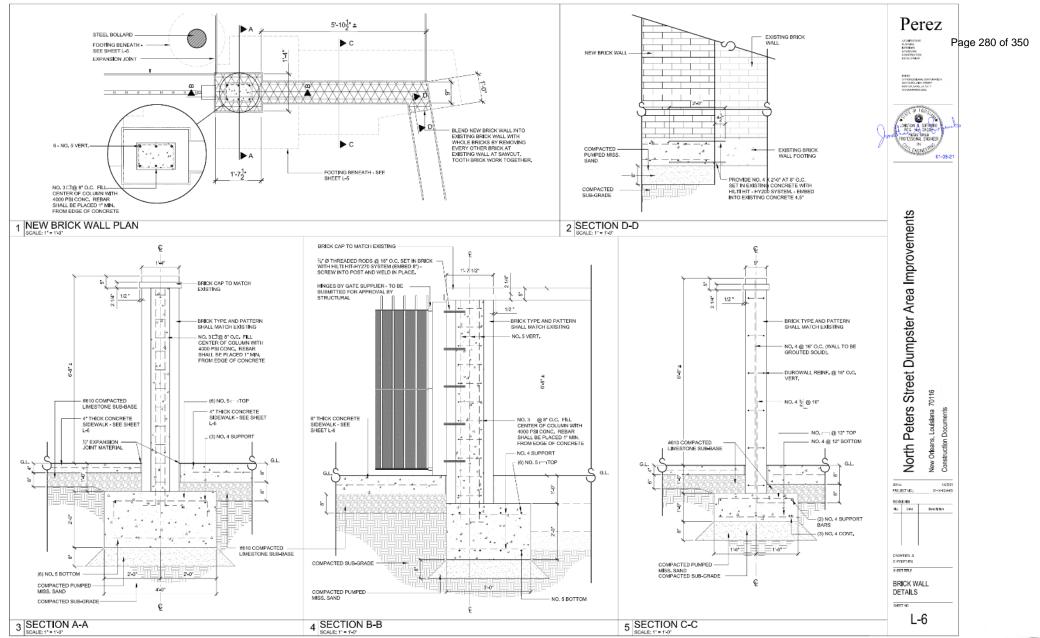








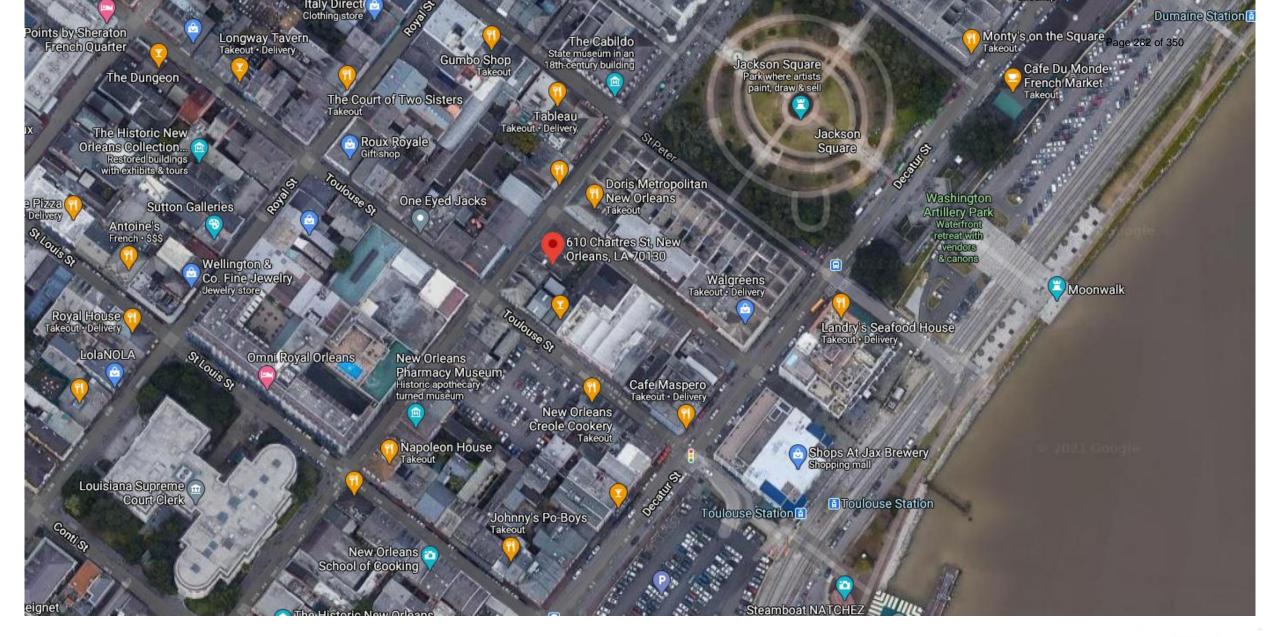


















610 Chartres

















610 Chartres

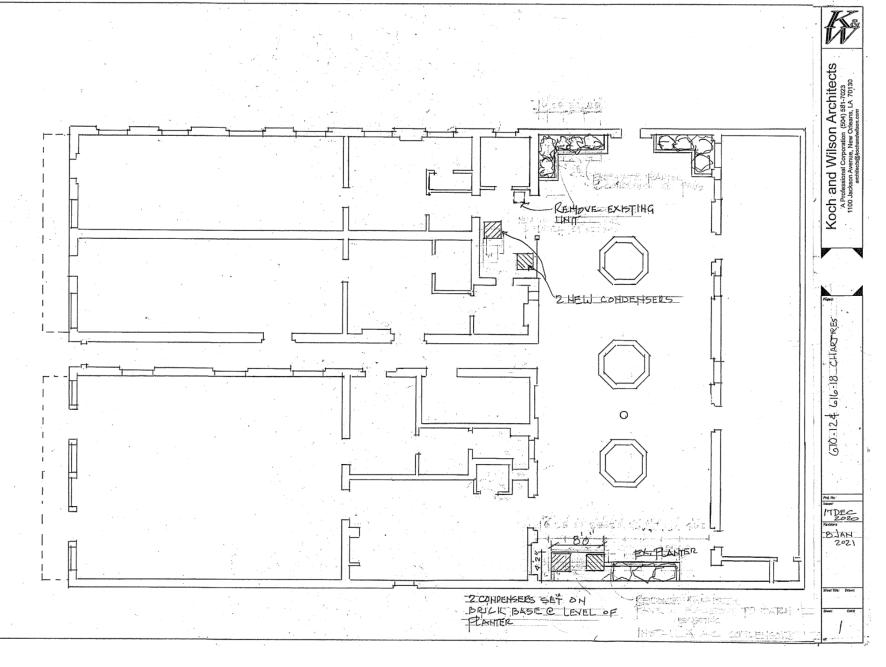


610 Chartres

VCC Architectural Committee











N4A3 Performance Series

Product Specifications

EFFICIENT 13 SEER AIR CONDITIONER ENVIRONMENTALLY SOUND R-410A REFRIGERANT

2.5 THRU 5 TONS SPLIT SYSTEM 208/230, 460 & 575 Volt, 3-phase, 60 Hz REFRIGERATION CIRCUIT

- · Scroll compressors on all models
- Filter-Drier supplied with every unit for field installation
- . Copper tube / aluminum fin coil

EASY TO INSTALL AND SERVICE

- Easy Access service valves on all models
- · External high and low refrigerant service ports
- . Only two screws to access control panel
- Factory charged with R-410A refrigerant

BUILT TO LAST

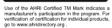
- Baked-on powder coat finish over galvanized steel
- · Post-painted (black) coil fins
- · Coated, weather-resistant cabinet screws
- Coated inlet grille with 2" (51mm) spacing standard, alternate models available with 3/8" (10mm) grille spacing for extra protection (hail guard)

WARRANTY*

- 5 year compressor limited warranty
- 5 year parts limited warranty (including compressor and coil)
- With timely registration, an additional 5 year parts limited warranty (including compressor and coil)
- * For owner occupied, residential applications only. See warranty certificate for complete details and restrictions, including warranty coverage for other applications.









Model Number	Size (tons)	Nominal BTU/hr	Min. Circuit Ampacity	Max. Fuse or Breaker	Operating Dimensions height x width x depth in. (mm)	Ship / Operating Weight lbs. (kg)
N4A330GHC	2-1/2	30,000	11.2	20	28-11/16 x 23-1/8 x 23-1/8 (729 x 587 x 587)	136 / 111 (62 / 50)
N4A336GHB		36,000	14.5	20		170 / 141 (77 / 64)
N4A336GLB	3		7.7	15	31-13/16 x 25-3/4 x 25-3/4 (808 x 654 x 654)	
N4A336GSB	1		5.3	15	(000 × 054 × 054)	170 / 141 (77 / 64)
N4A342GHA	0.4/0	42,000	18.0	30	32-5/16 x 31-3/16 x 31-3/16	218 / 190(99 / 86)
N4A342GLA	3-1/2		8.1	15	(821 x 792 x 792)	
N4A348GHB		48,000	17.8	30		224 / 186(102 / 84)
N4A348GLB	4		8.3	15	35-3/4 x 31-3/16 x 31-3/16 (908 x 792 x 792)	
N4A348GSB	1		6.0	15	(300 × 132 × 132)	
N4A360GHC		60,000	21.4	30		230 / 198(104 / 90)
N4A360GLC	5		10.5	15	28-15/16 x 31-3/16 x 31-3/16 (735 x 792 x 792)	
N4A360GSC	1		7.6	15	(133 × 132 × 132)	

Specifications subject to change without notice.

421 11 5105 04 1/25/16

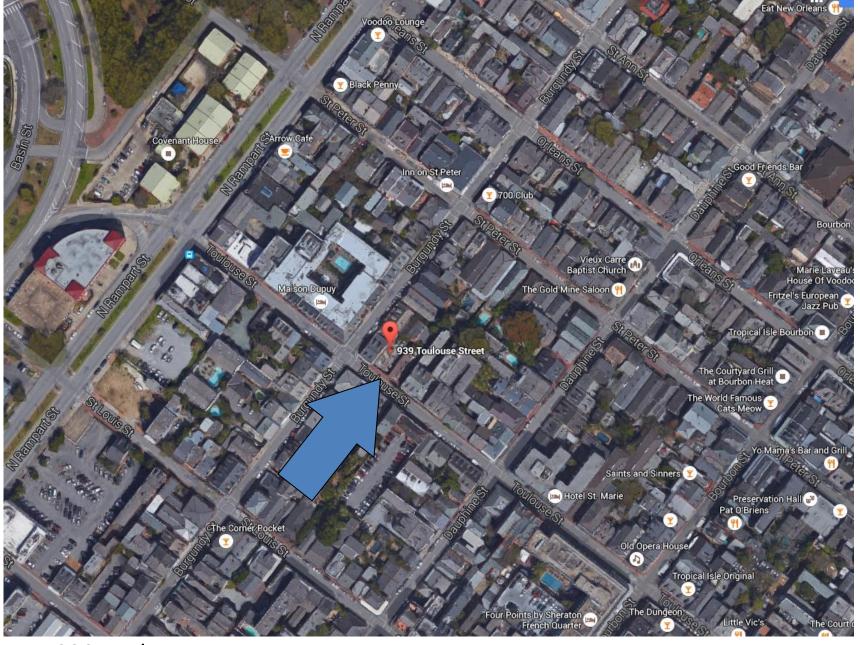
FITTSICAL DATA (3-pilase)										
Model Size	30	36	42	48	60					
Nominal Cooling Capacity (BTU/hr)	30,000	36,000	42,000	48,000	60,000					
Nominal SEER	13.0	13.0	13.0	13.0	13.0					
Sound Rating (dBA) **	74	75	78	80	79					
PSC Fan Motor HP	1/10	1/4	1/5	1/4	1/4					
Fan RPM (single speed)	1100	1100	1100	1100	1100					
Fan CFM	2218	2954	3167	3365	3365					
Coil Face Area ft ² (m ²)	9.80 (0.91)	13.13 (1.22)	17.25 (1.60)	19.40 (1.80)	15.09 (1.40)					
Coil Rows – fins per inch	1 – 25	1 – 25	1 – 25	1 – 25	2 – 20					
Liquid Line Connection Size in. (mm)	3/8 (10)	3/8 (10)	3/8 (10)	3/8 (10)	3/8 (10)					
Vapor Line Connection Size in. (mm)	3/4 (19)	7/8 (22)	7/8 (22)	7/8 (22)	7/8 (22)					
Rated Line Set Liquid Tube Diameter in. (mm)	3/8 (10) *	3/8 (10) *	3/8 (10) *	3/8 (10) *	3/8 (10) *					
Rated Line Set Vapor Tube Diameter in. (mm)	3/4 (19) *	7/8 (22) *	7/8 (22) *	7/8 (22) *	1-1/8 (29)*					
Factory Charge, R-410A lbs. (kg)	4.10 (1.86)	5.34 (2.42)	5.84 (2.65)	7.00(3.18)	8.00 (3.63)					
Required Subcooling °F (°C)	10 (6)	14 (8)	10 (6)	15 (8)	10 (6)					

PHYSICAL DATA (3-phase)



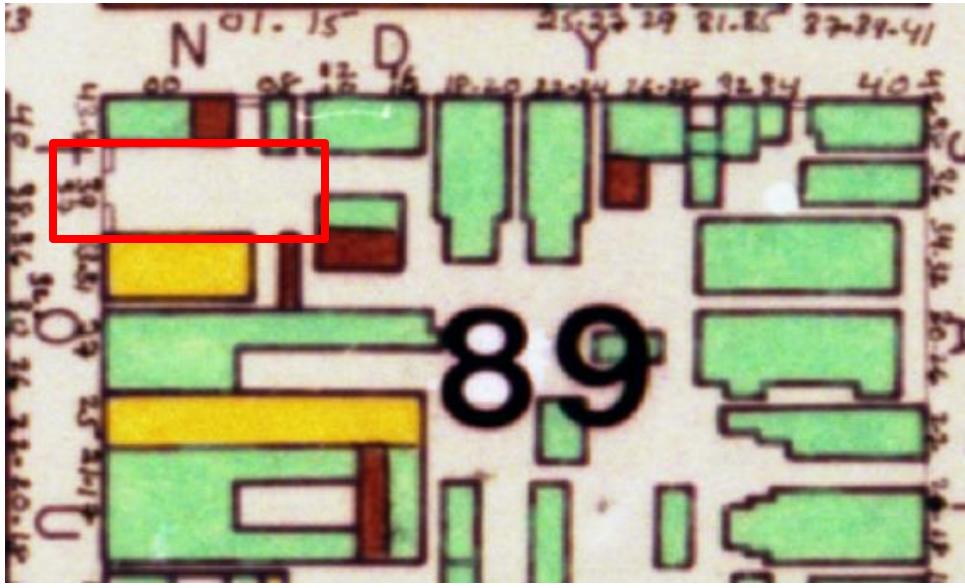
^{*} Units are rated with 25 ft (7.6 m) of lineset length. See Vapor Line Sizing and Cooling Capacity Loss table when using other sizes and lengths of lineset. Note: See unit Installation Instruction for proper installation.





939 Toulouse





939 Toulouse











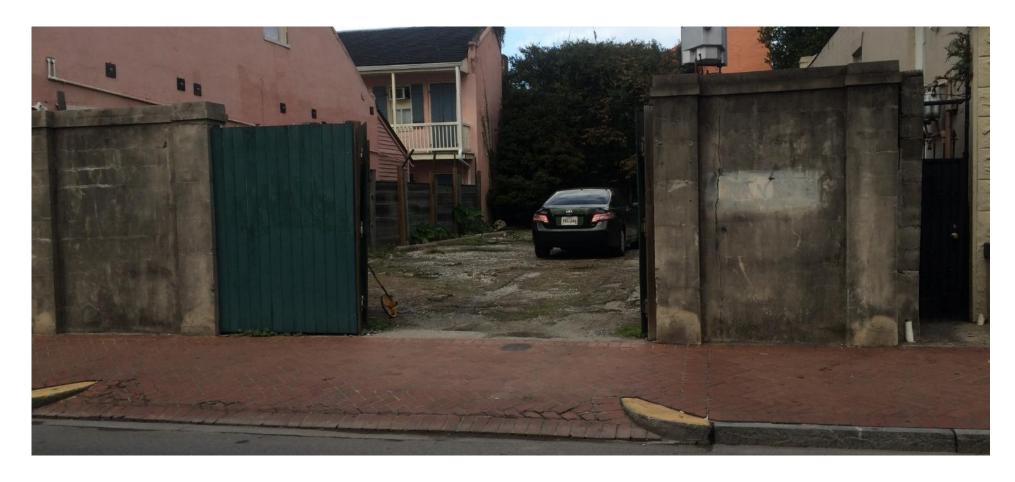


































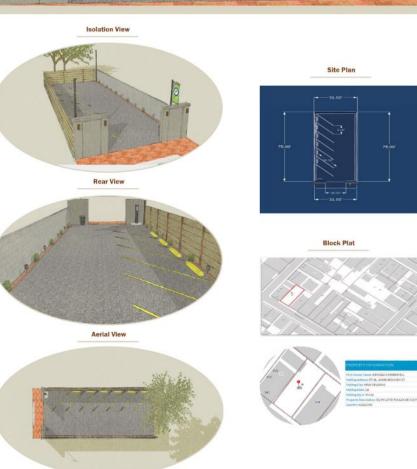












Owner: Catherine L. Arnold
Applicant: Jane G. Anderson
Designer: Stephen P. Baham





Landscaping



Signage

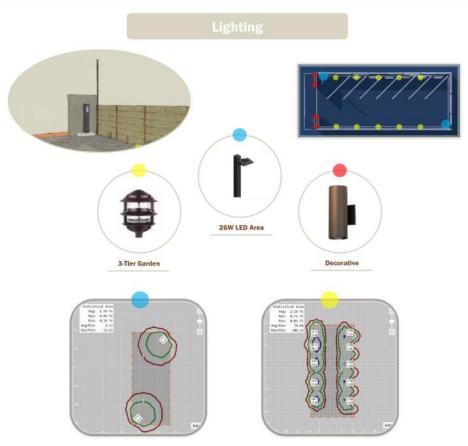


939 Toulouse

Owner: Catherine L. Arnold
Applicant: Jane G. Anderson
Designer: Stephen P. Baham







Owner: Catherine L. Arm
Applicant: Jane G. Anderso

Stephen P. Baham





Existing Conditions

Proposed Changes









- 1. Installation of (2) Area Lights, (4) Exterior Ornamental Lights, and (10) Landscape Lights. See attached for specifications.
- 2. Removal of non-compliant wooden gate located at entrance per VCC ordinances.
- 3. Removal of non-compliant chain link fence located on rear property line per VCC ordinances.
- 4. Excavation and surfacing using TRU-GRID technology for Stormwater Management. See attached for specifications.
- 5. Installation of (18"W) garden on perimeter of property. See attached for groundcover material.







909 Ursulines









909 Ursulines – 1963





909 Ursulines





909 Ursulines



909 Ursulines











909 Ursulines



909 Ursulines





909 Ursulines











909 Ursulines











909 Ursulines

















909 Ursulines







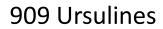




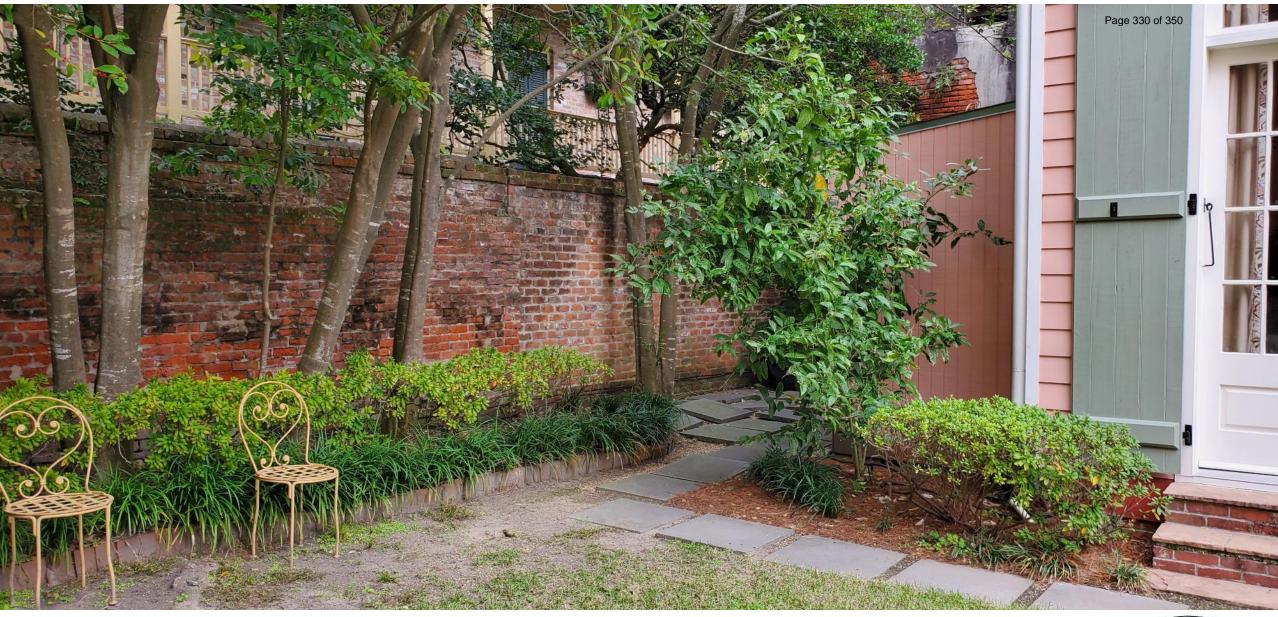












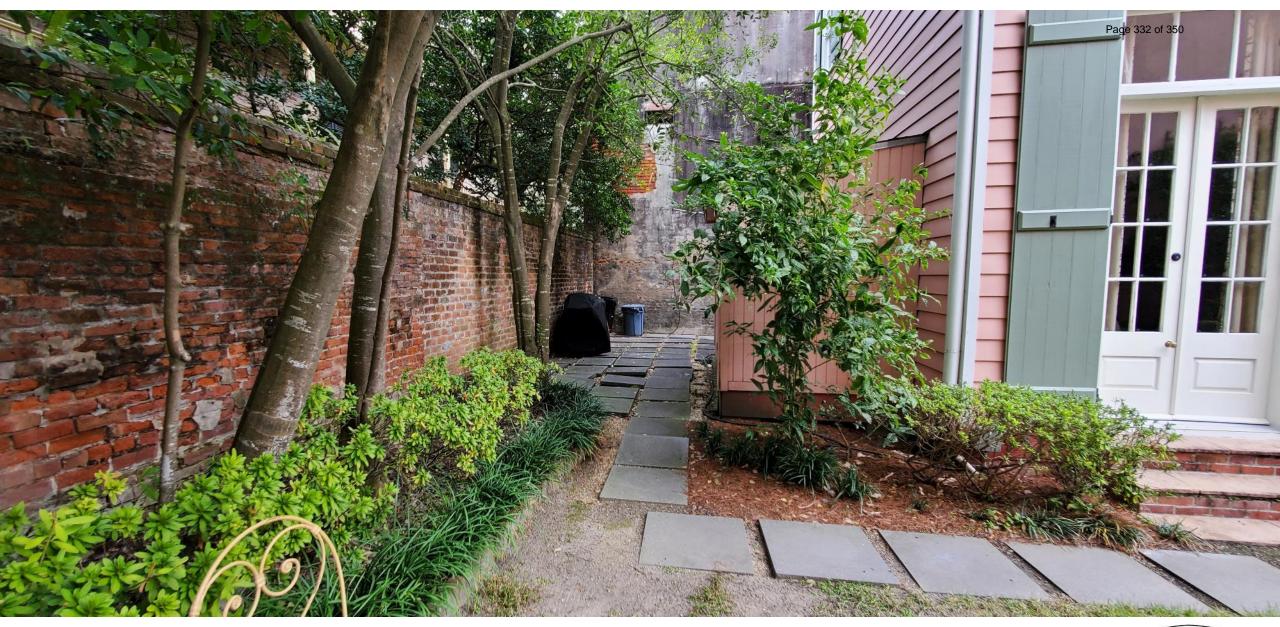
909 Ursulines





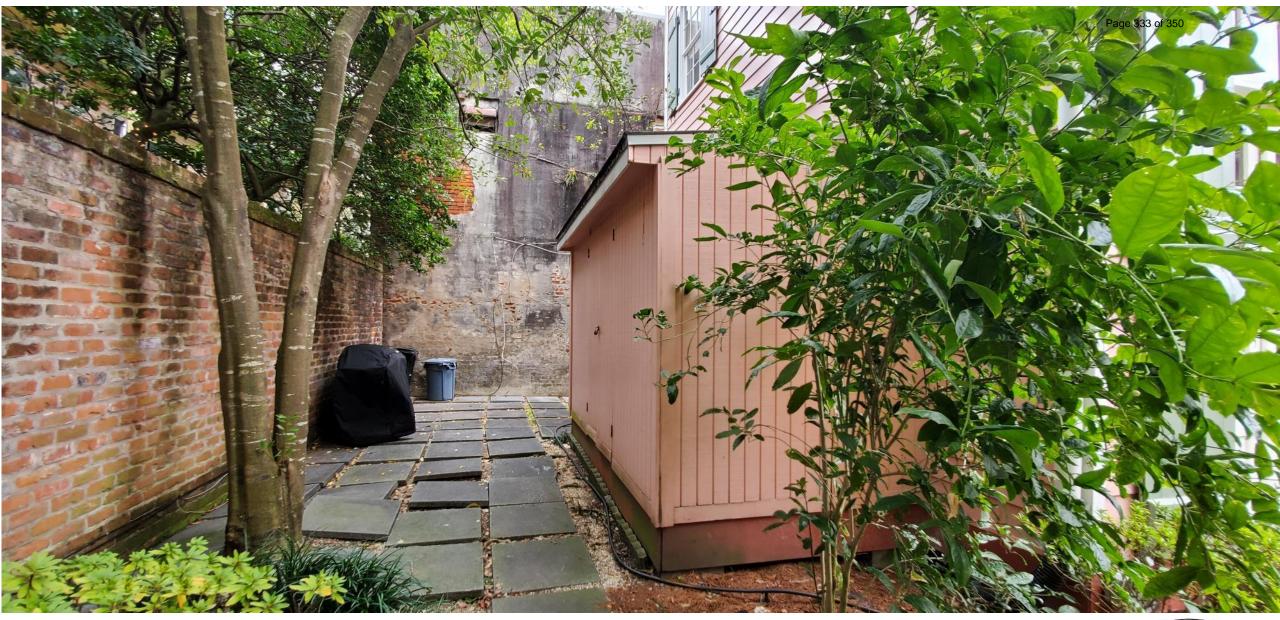






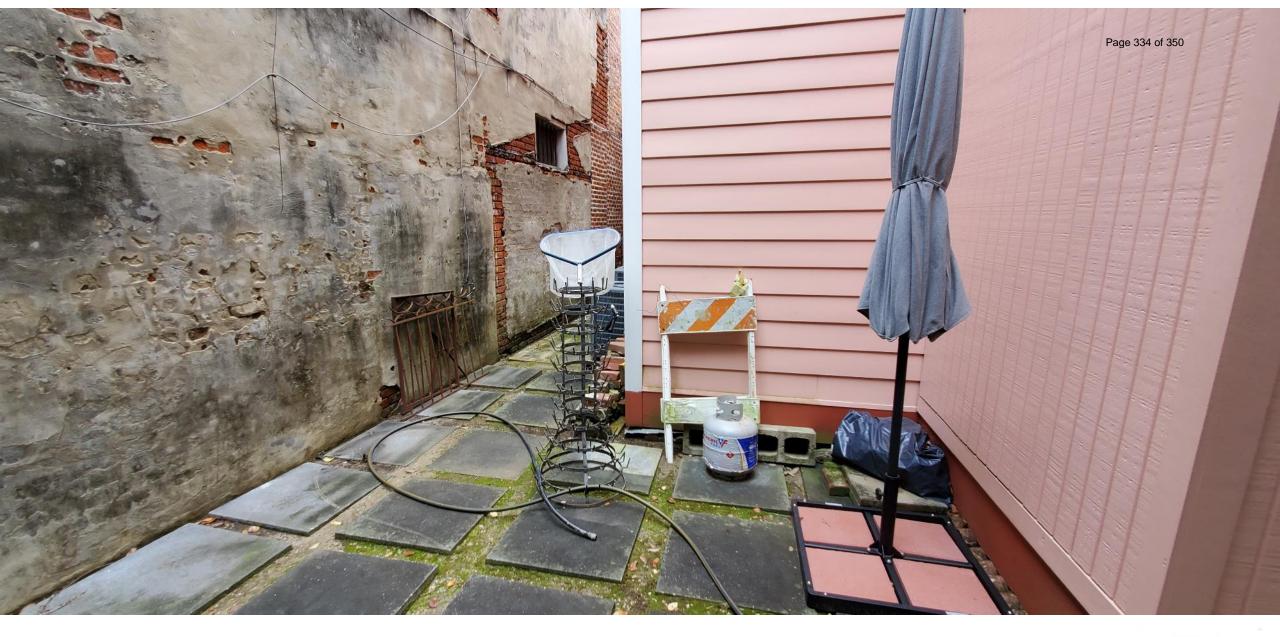
909 Ursulines





909 Ursulines





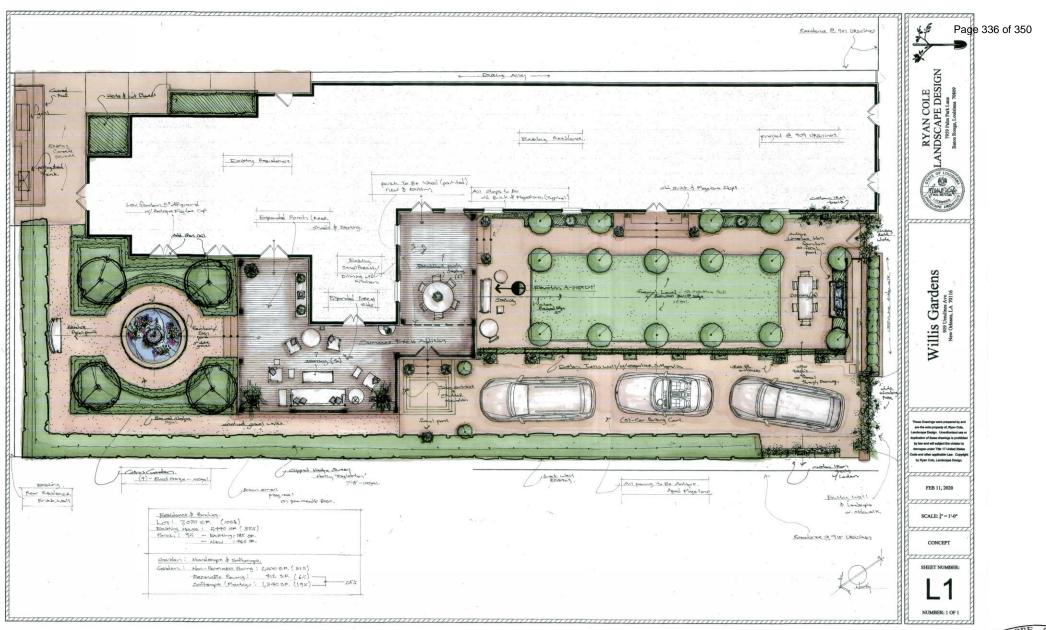




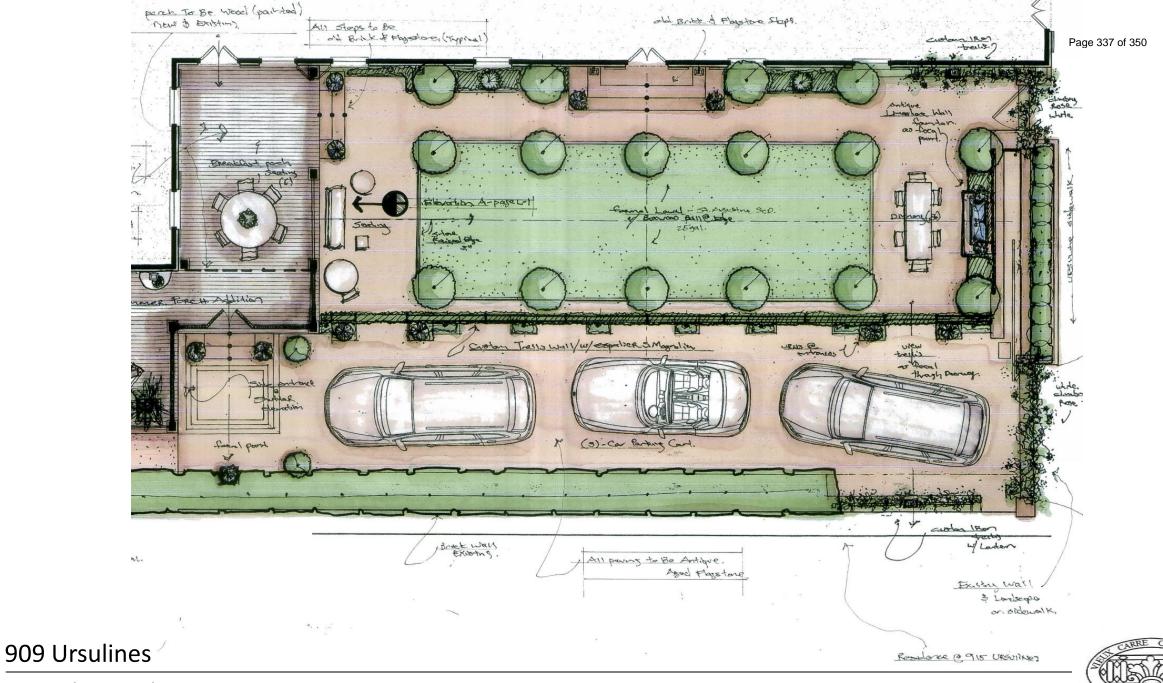


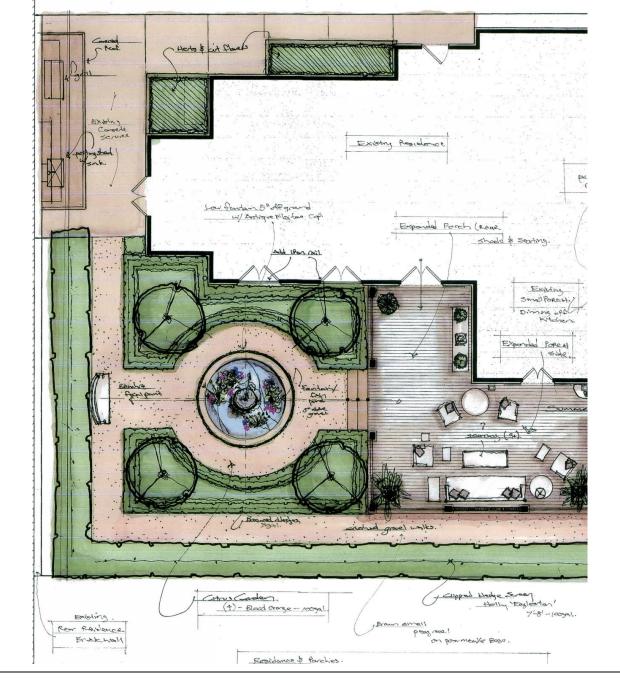
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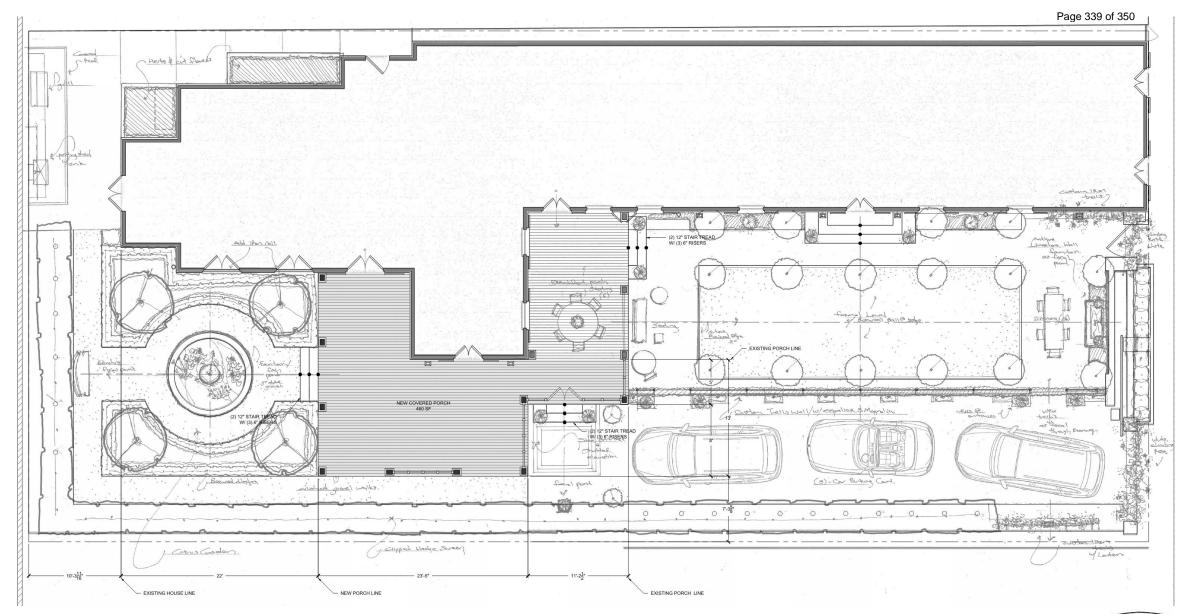


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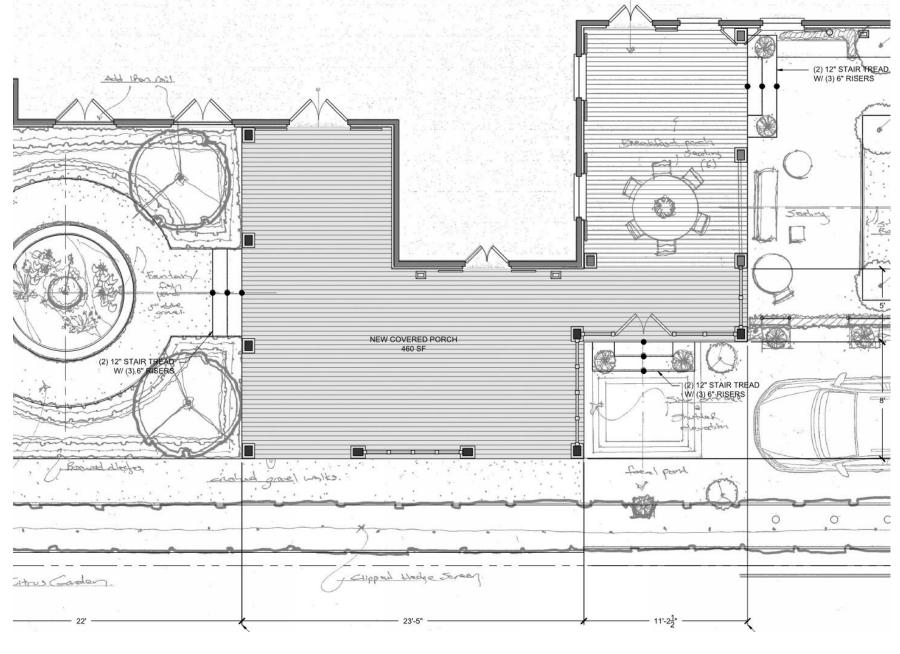


909 Ursulines

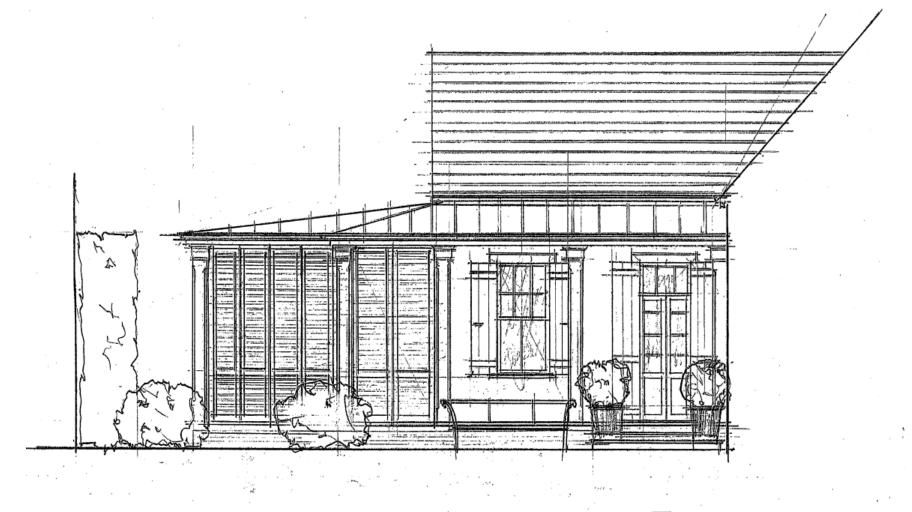




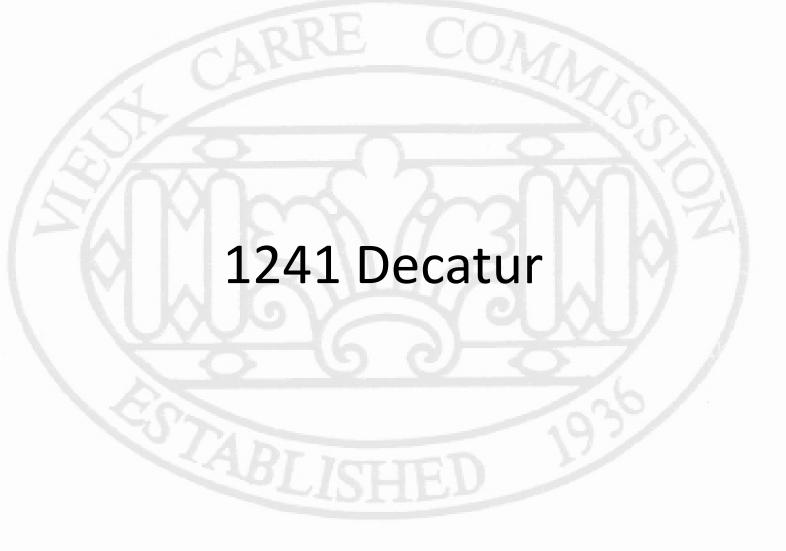


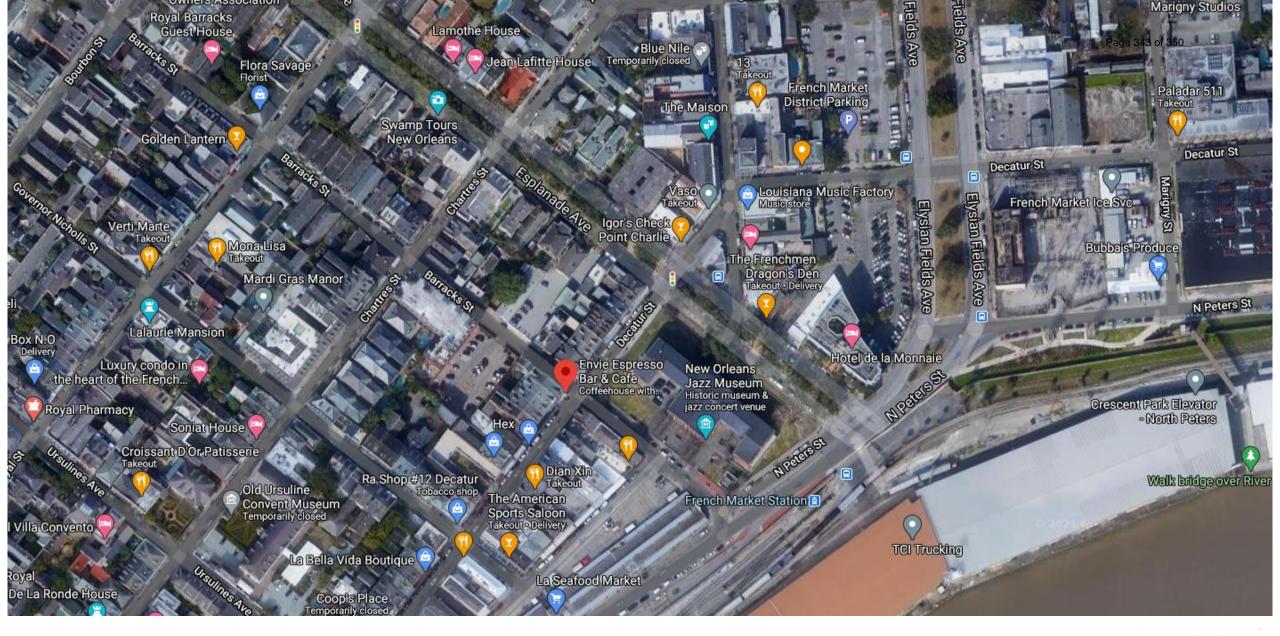


























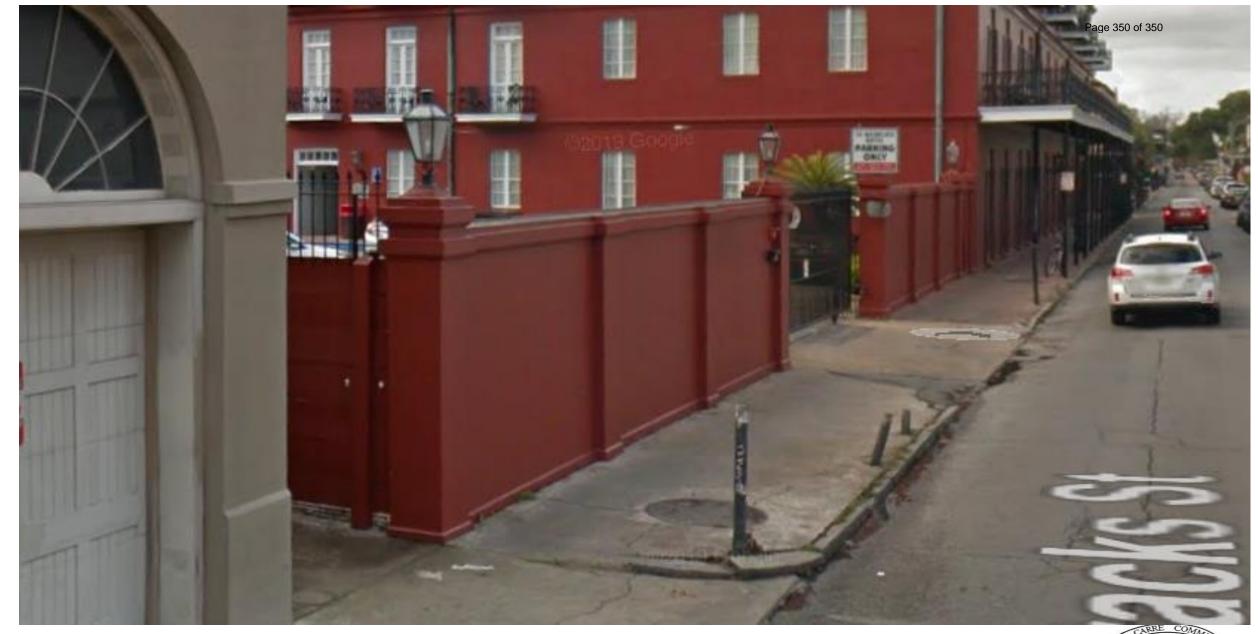








1241 Decatur



1241 Decatur