



Vieux Carré Commission Architecture Committee Meeting

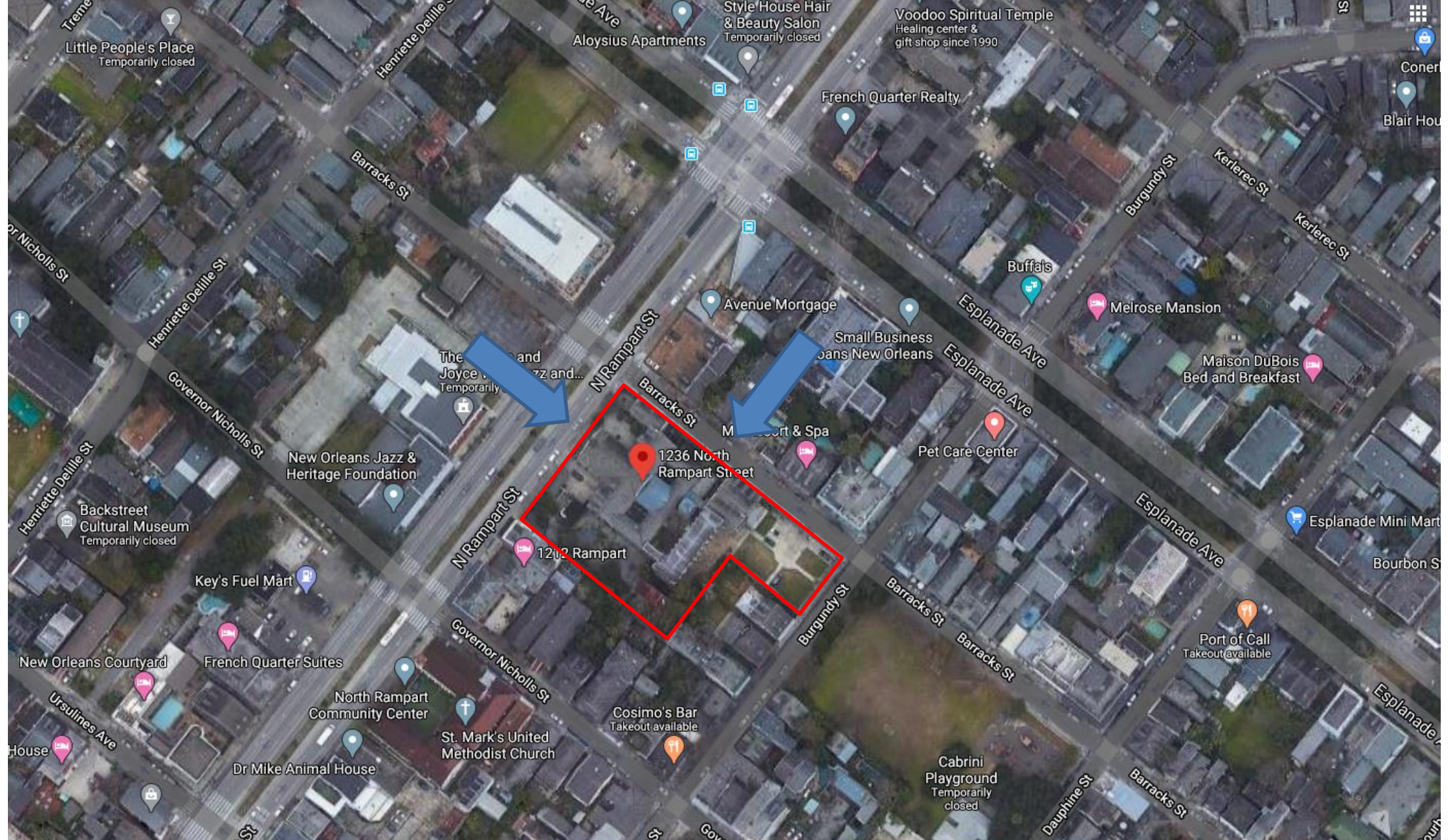
Tuesday, October 12, 2021

The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE" at the top and "COMMISSION" at the bottom. The inner circle features a stylized architectural design with columns and a central figure. At the bottom of the seal, the word "ESTABLISHED" is written on the left and the year "1936" is on the right.

Old Business



1236 N Rampart/
1022 Barracks



1236 N. Rampart

VCC Architectural Committee

October 12, 2021





1236 N. Rampart

VCC Architectural Committee

October 12, 2021





1236 N. Rampart

VCC Architectural Committee

October 12, 2021





1236 N. Rampart

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October 12, 2021





1236 N. Rampart

VCC Architectural Committee

October 12, 2021



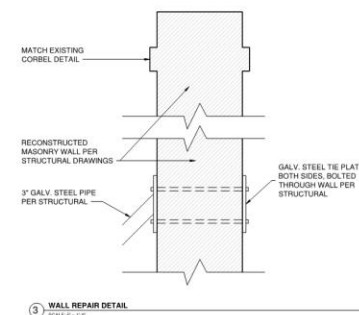
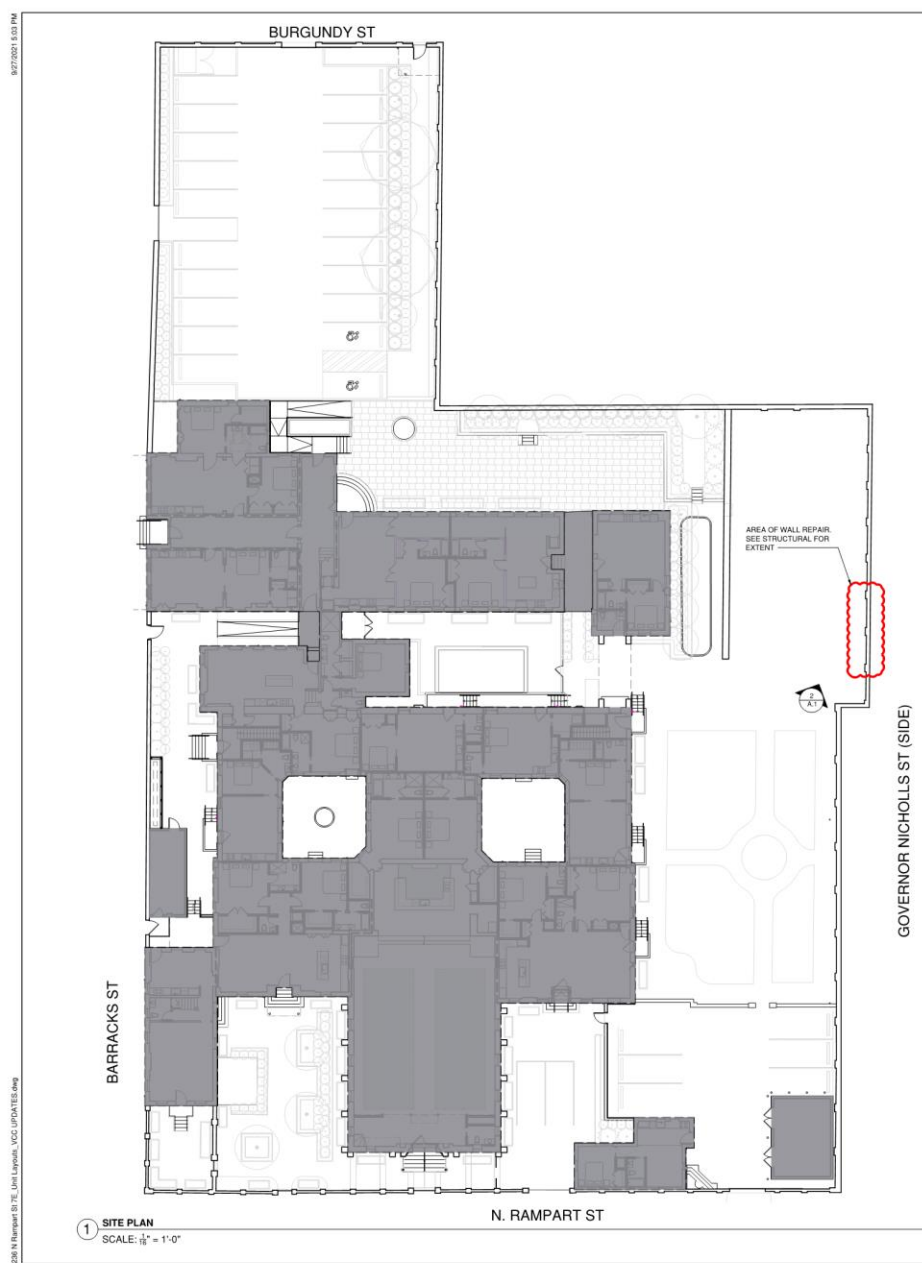


1236 N Rampart

VCC Architectural Committee

October 12, 2021





2 PHOTOGRAPH OF GOV. NICHOLLS PERIMETER WALL LOOKING TOWARDS BURGUNDY & GOV. NICHOLLS STREET

RODERICK A. FFIELD, ARCHITECT, LLC
A PROFESSIONAL ARCHITECTURE COMPANY

D.B.A. RICK FFIELD, ARCHITECT
2600 57th AVENUE
SUITE 200
MINNEAPOLIS, MN 55425
PHONE: 654.319.3221
FAX: 654.319.3221
E-MAIL: RICK.FFIELD@AECOM.COM

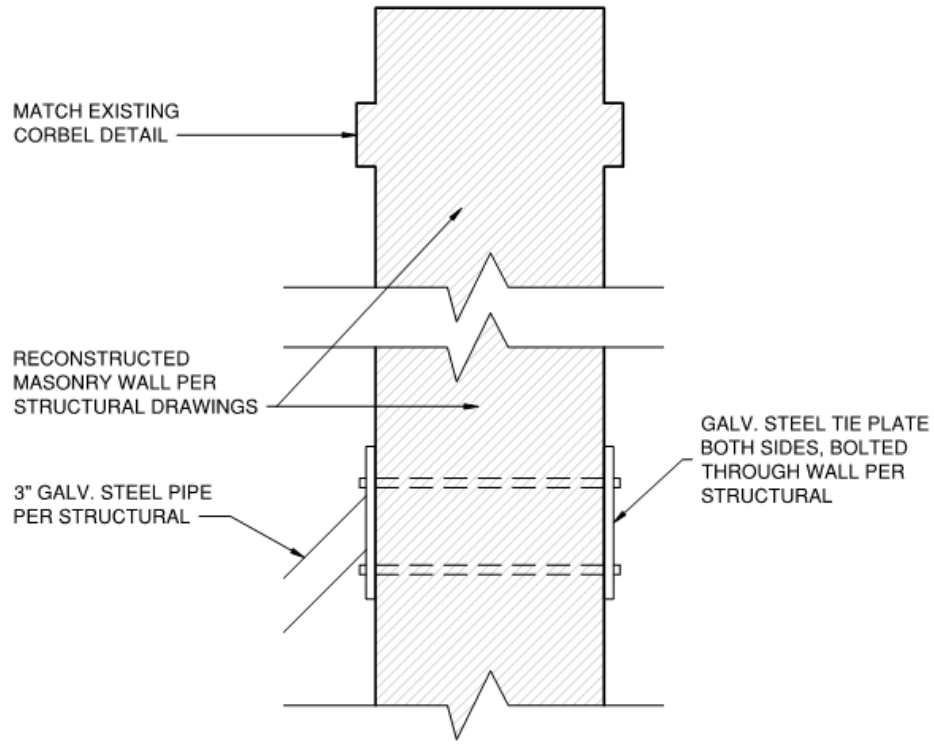
1022 BARRACKS STREET
NEW ORLEANS, LA 70116

DATE: 09/27/2021

GOV. NICHOLLS
PERIMETER WALL
REPAIR

A.1



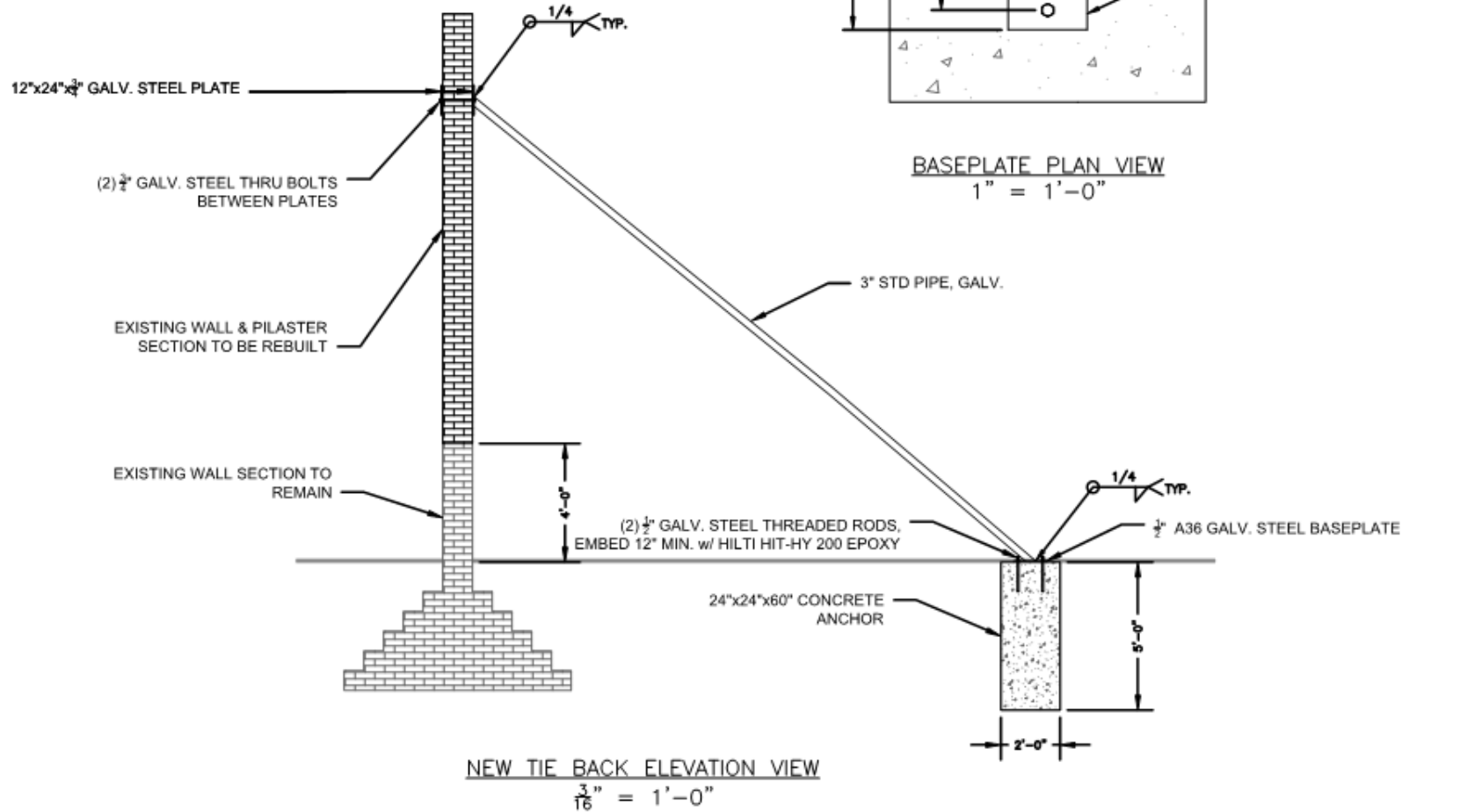


3 WALL REPAIR DETAIL
SCALE: $\frac{1}{2}" = 1'-0"$



2 PHOTOGRAPH OF GOV. NICHOLLS PERIMETER WALL LOOKING TOWARDS BURGUNDY & GOV. NICHOLLS STREETS
SCALE: $\frac{1}{2}" = 1'-0"$

- NOTE:
1. DESIGN ASSUMES BRICK MASONRY IS OF SOUND CONDITION, MINIMUM 3-WYTHES THICK. TUCKPOINT AS REQUIRED AT PLATE LOCATION.
 2. PLATE WILL PROVIDE A MAXIMUM PULLOUT CAPACITY OF 3000 LBS SERVICE LOAD.
 3. PROVIDE GALVANIZED EYEHOOK RATED FOR MINIMUM WORKING LOAD OF 3000 LBS.

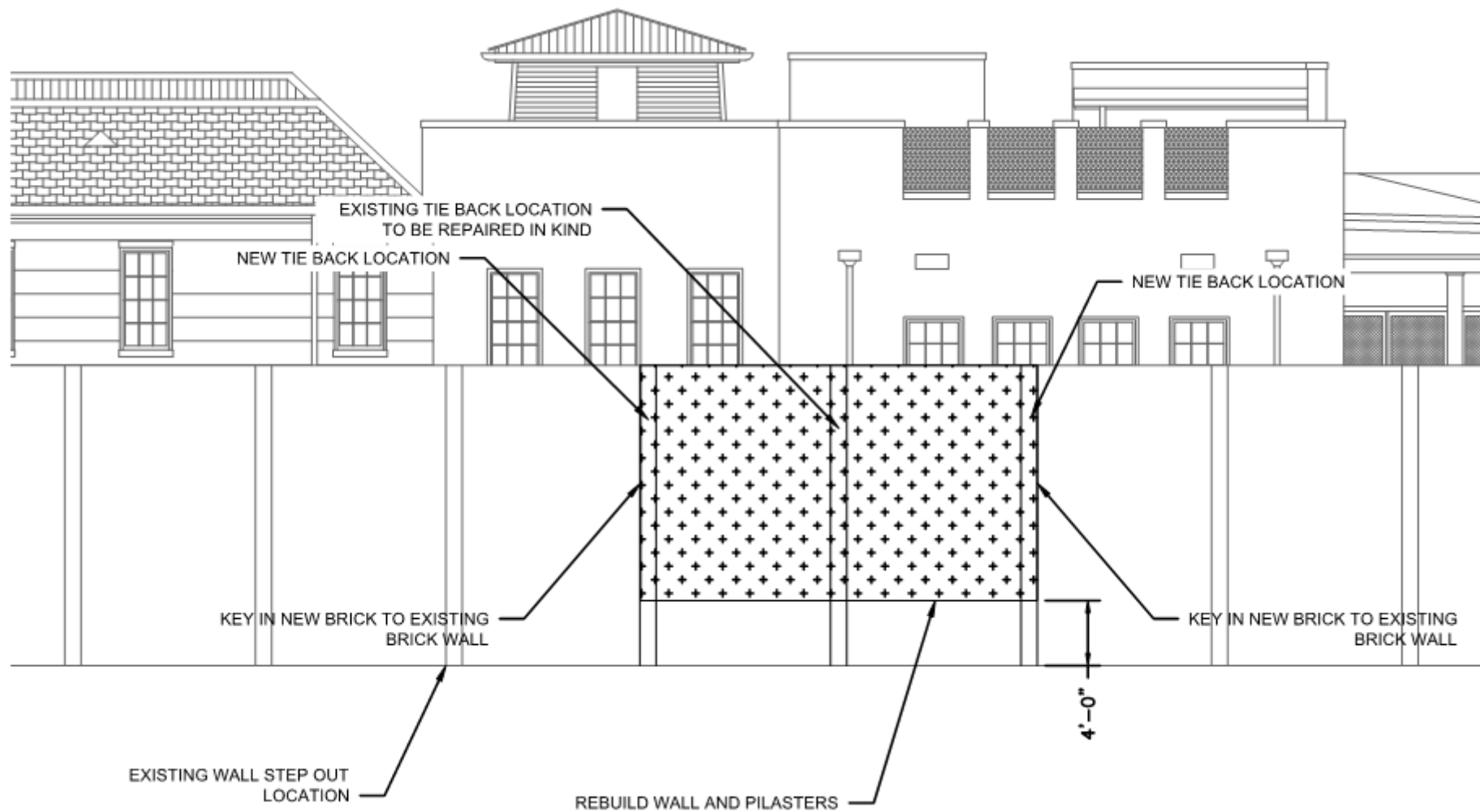


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October 12, 2021





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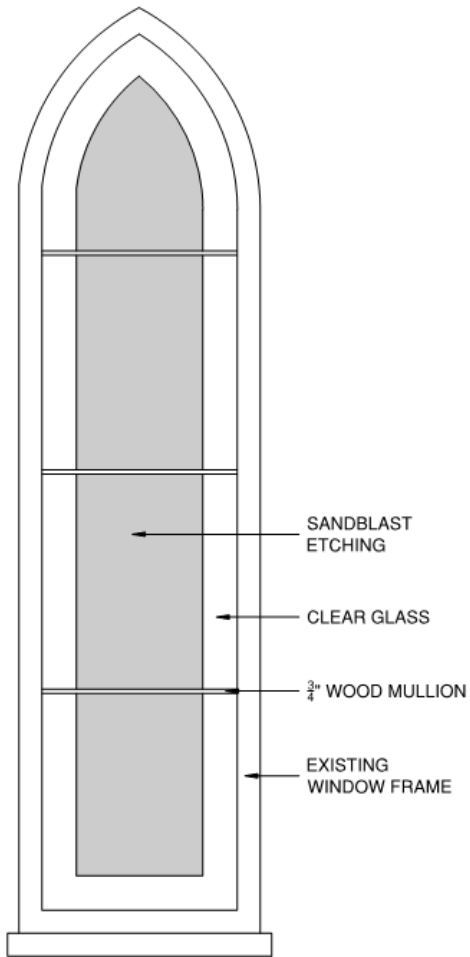


1236 N Rampart

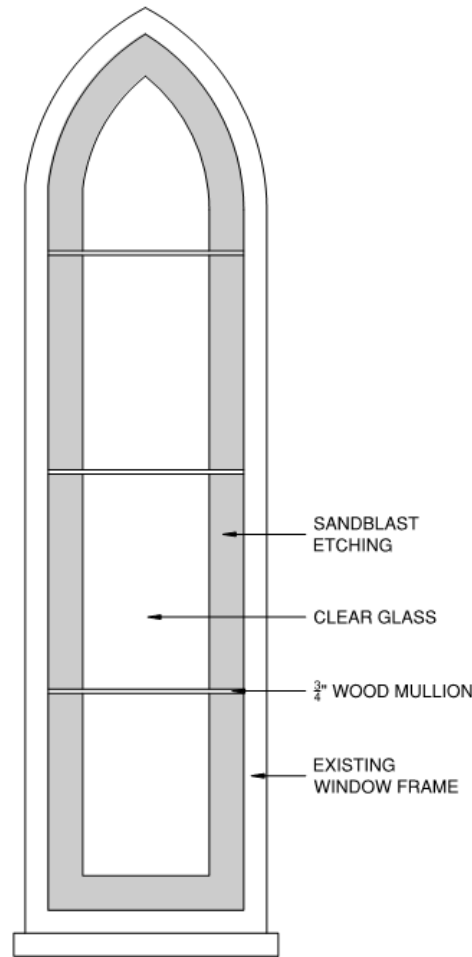
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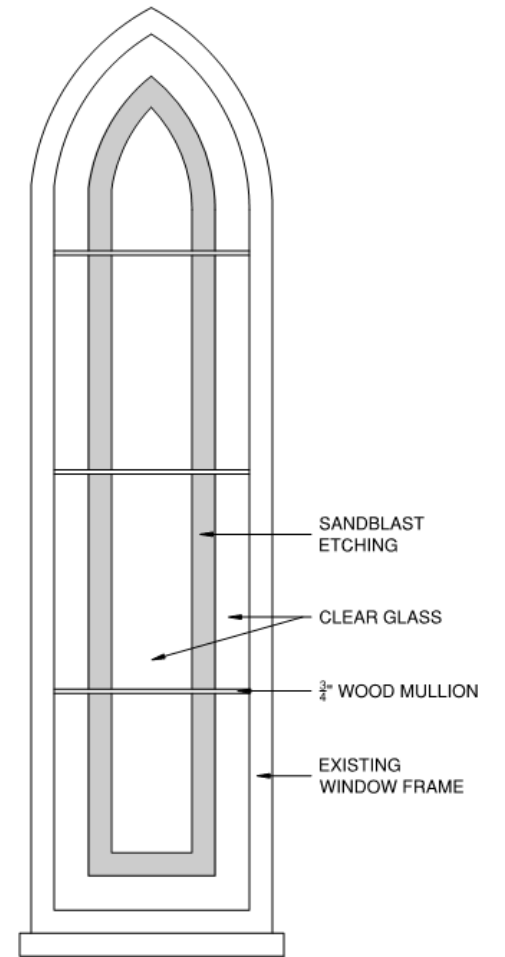




1b CHAPEL WINDOW ETCHING
SCALE: 3/4" = 1'-0"



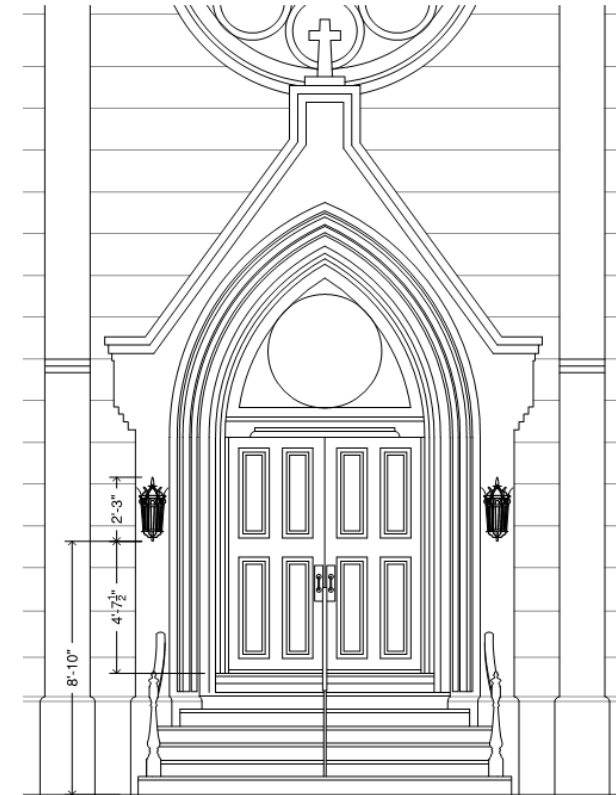
2b CHAPEL WINDOW ETCHING
SCALE: 3/4" = 1'-0"



3b CHAPEL WINDOW ETCHING
SCALE: 3/4" = 1'-0"



① CHAPEL ELEVATION (MAXIM CATHEDRAL FIXTURE - 27" H x 13.5" W)
SCALE: $\frac{1}{2}$ " = 1'-0"



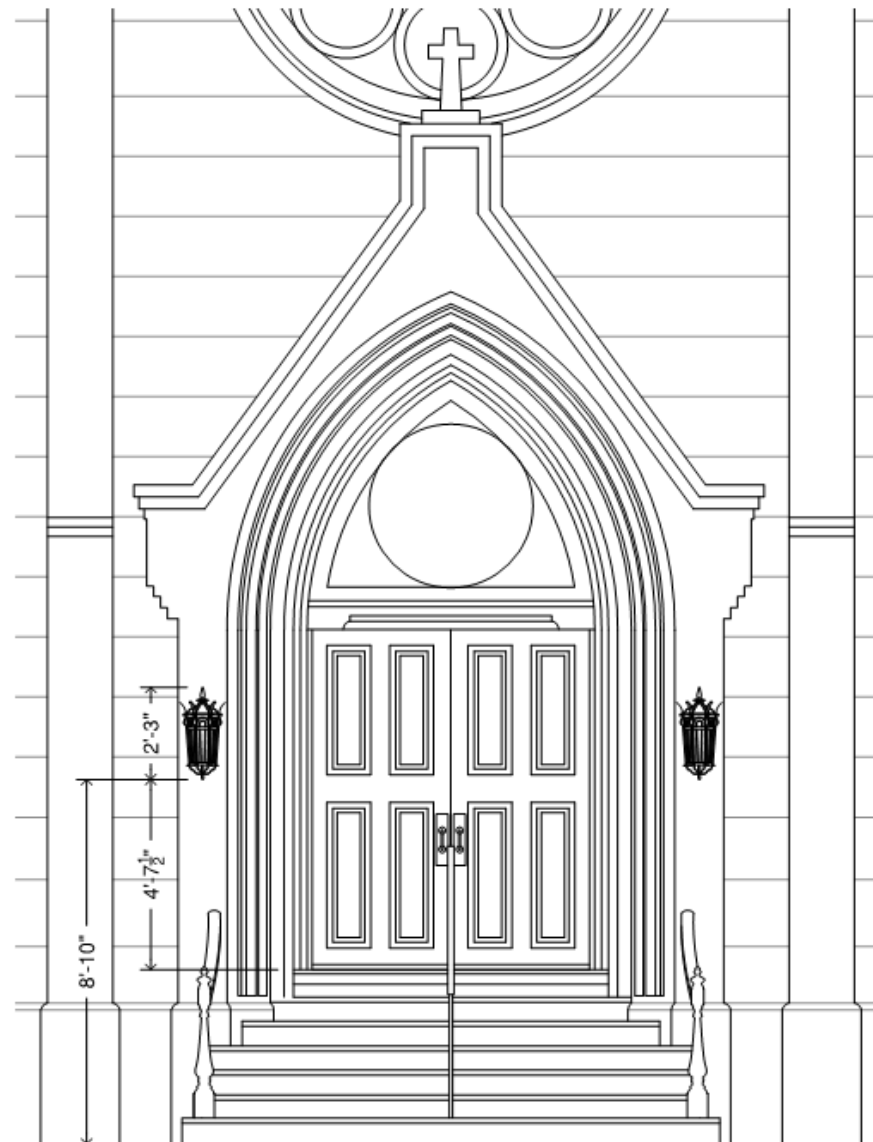
② CHAPEL ELEVATION (MAXIM CATHEDRAL FIXTURE - 27" H x 13.5" W)
SCALE: $\frac{1}{2}$ " = 1'-0"

1236 N Rampart

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October 12, 2021





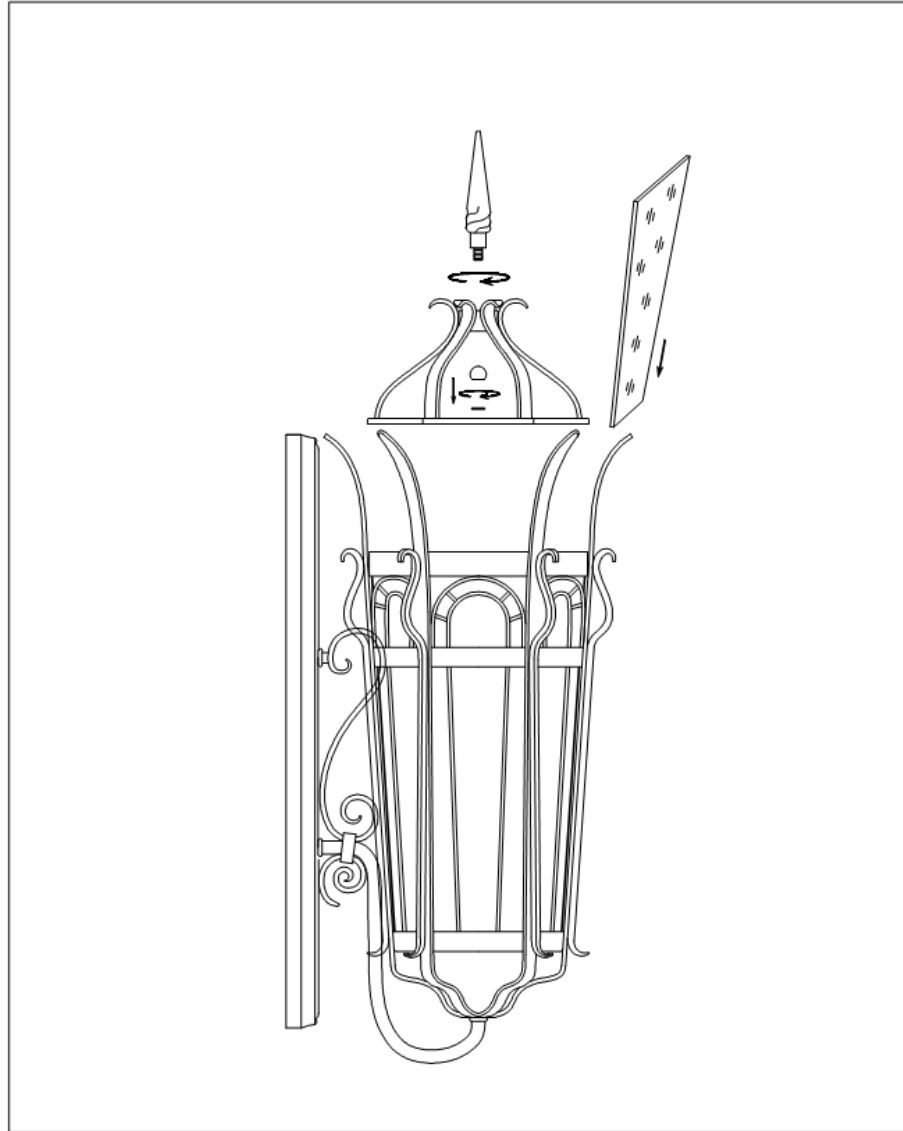
2 CHAPEL ELEVATION (MAXIM CATHEDRAL FIXTURE - 27" H x 13.5" W)
SCALE: $\frac{3}{4}$ " = 1'-0"

1236 N Rampart

VCC Architectural Committee

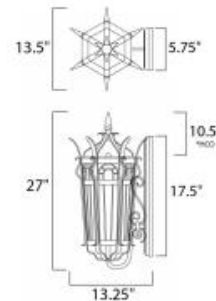
October 12, 2021





PRODUCT DESCRIPTION

Made with the same attention to quality and durability as craftsmen used ages ago, the Cathedral forged-iron collection in a powder-coated Country Forge finish is built to last. The clear Seedy glass adds authenticity to this look.



*Height from center of outlet to the top of the fixture

MEASUREMENTS

DIMENSION : 13.5" W x 27" H x 13.25" Ext
BACK PLATE : 5.75" W x 17.5" H x 10.5" HCO
HANGING WEIGHT : 18.04 lb

LAMPING

INPUT VOLTAGE : 120V
LUMENS : 2,016 Rated
BULB : 3 x 60W Incandescent E12 Candelabra, 180W Total
BULB INCLUDED : (Not Included)
DIMMABLE : Yes

FINISHES OPTION

Country Forge

GLASS

Seedy CD

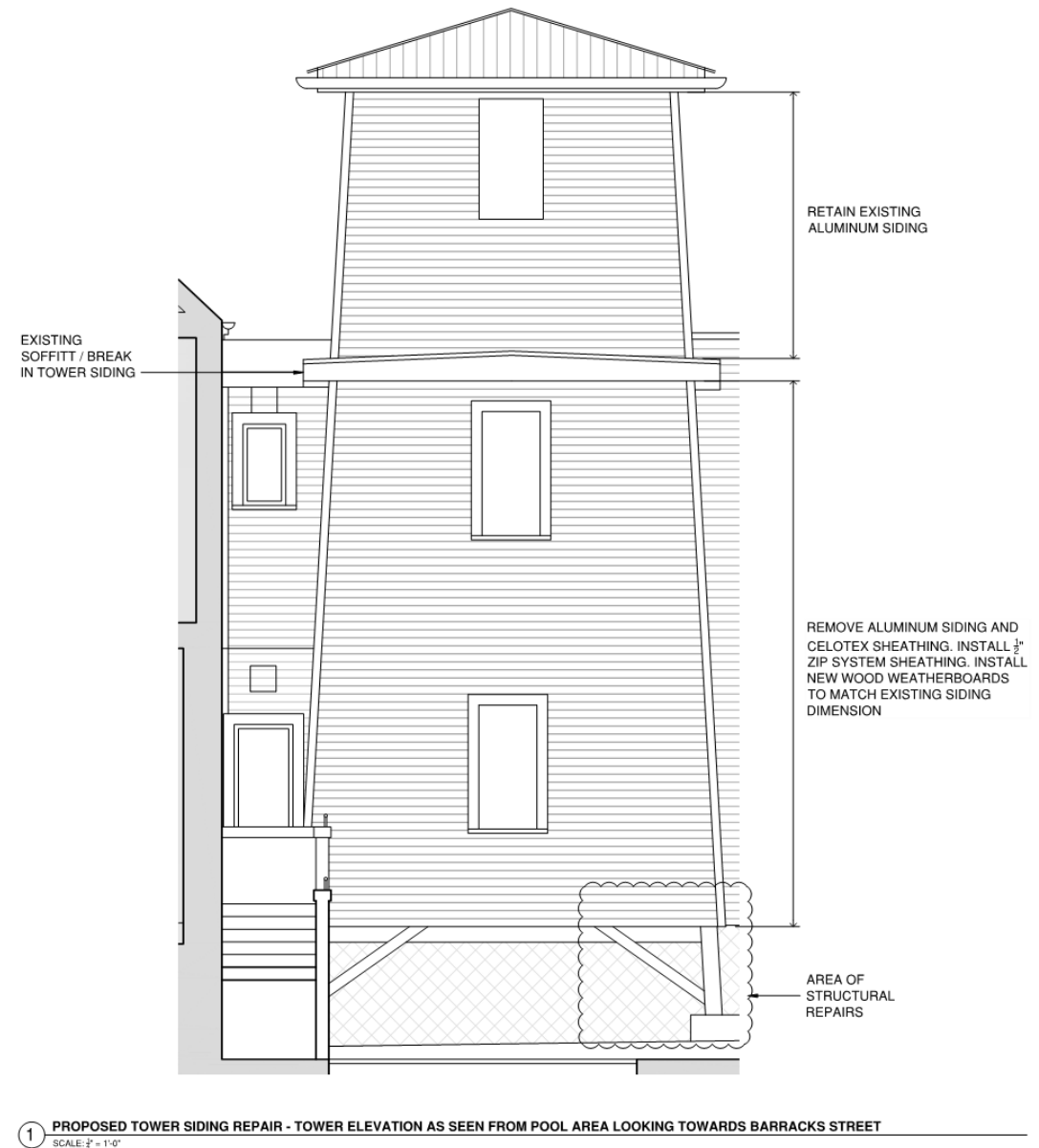
MATERIAL

Forged Steel

RATINGS

cETLus
Wet Location





1 PROPOSED TOWER SIDING REPAIR - TOWER ELEVATION AS SEEN FROM POOL AREA LOOKING TOWARDS BARRACKS STREET
SCALE: 1/2" = 1'-0"

1236 N Rampart

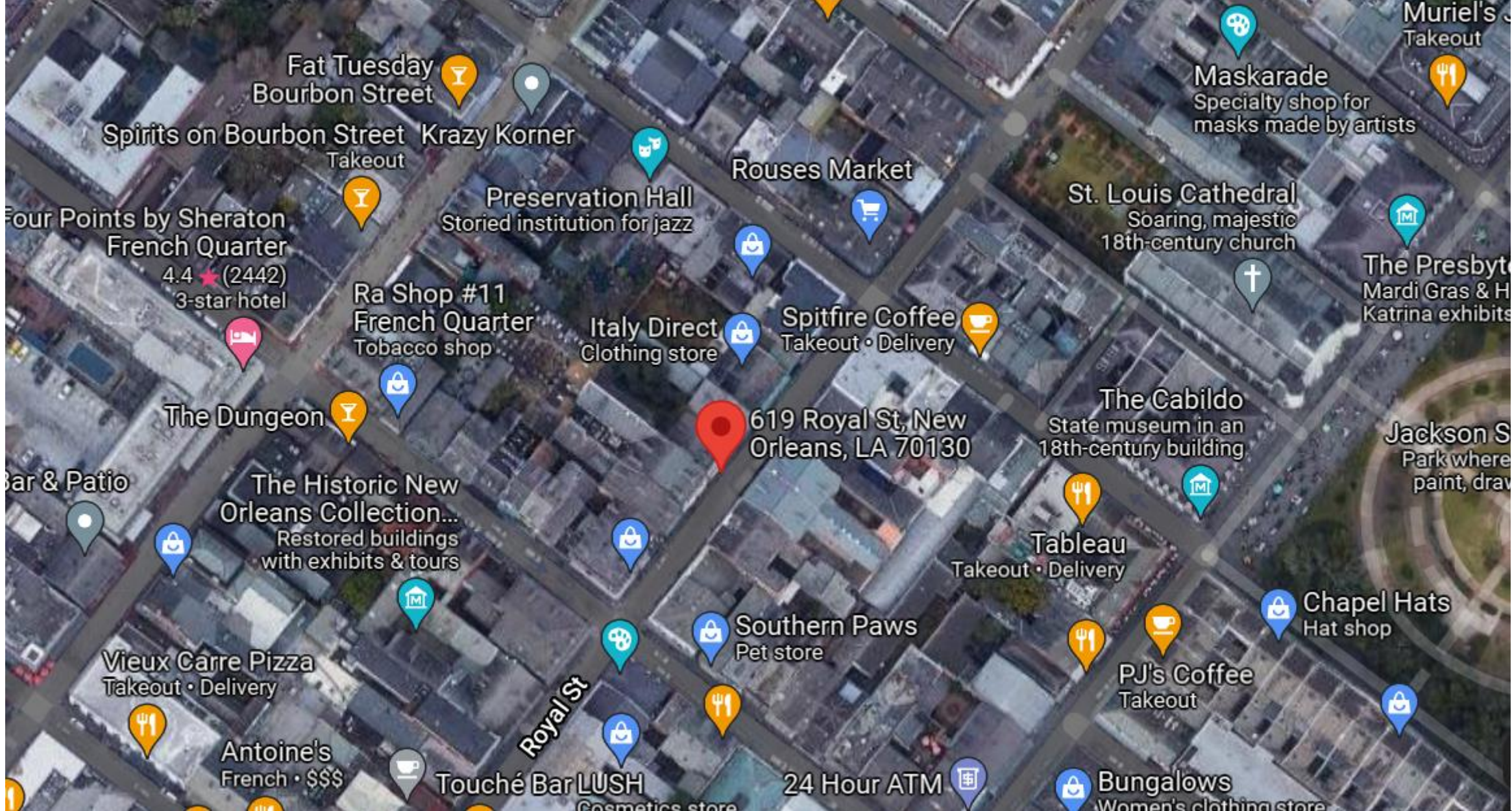
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October 12, 2021





619 Royal



619 Royal

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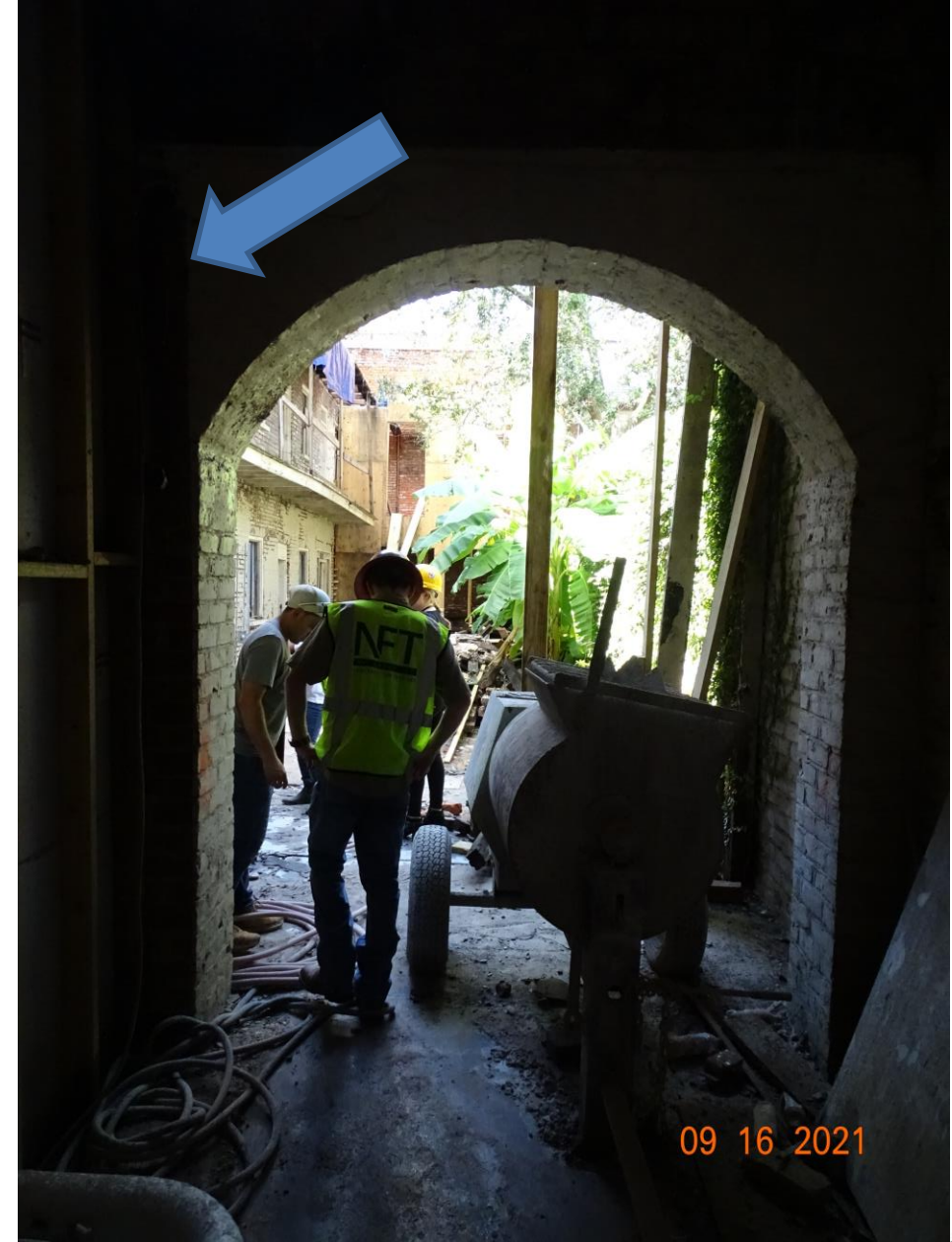


619 Royal

VCC Architectural Committee

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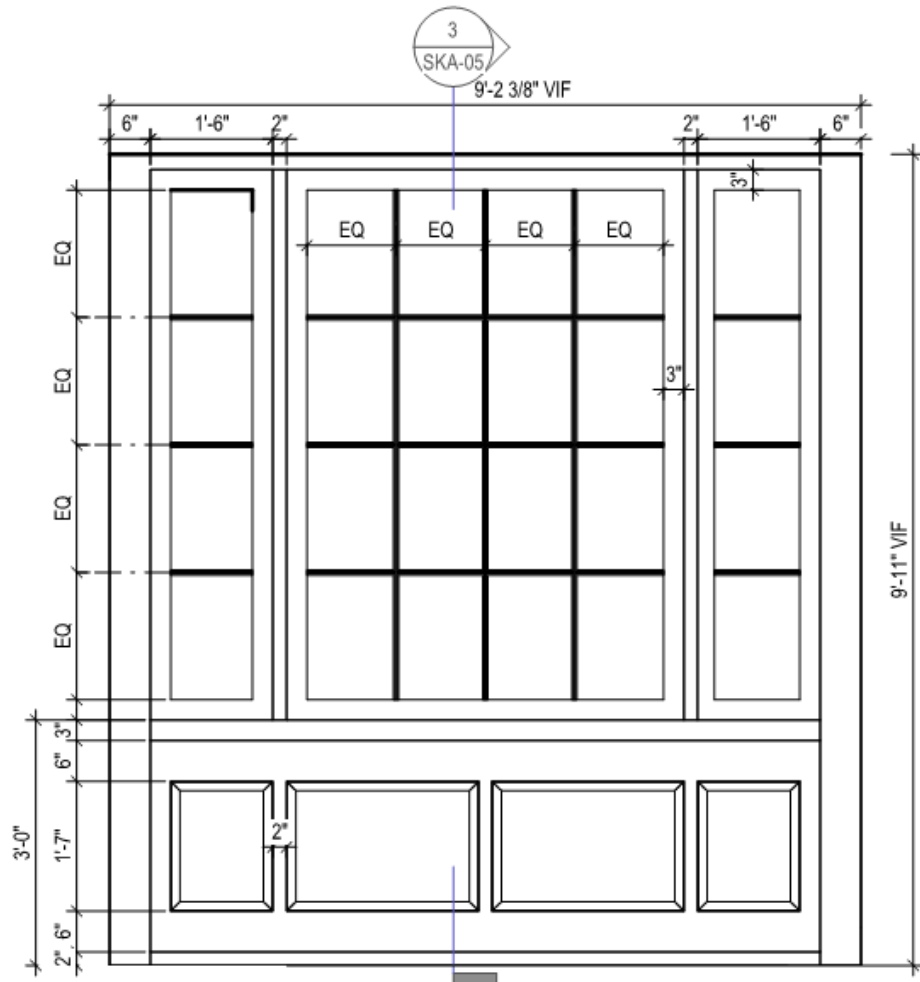


619 Royal – loggia enclosure at 623 Royal

VCC Architectural Committee

October 12, 2021



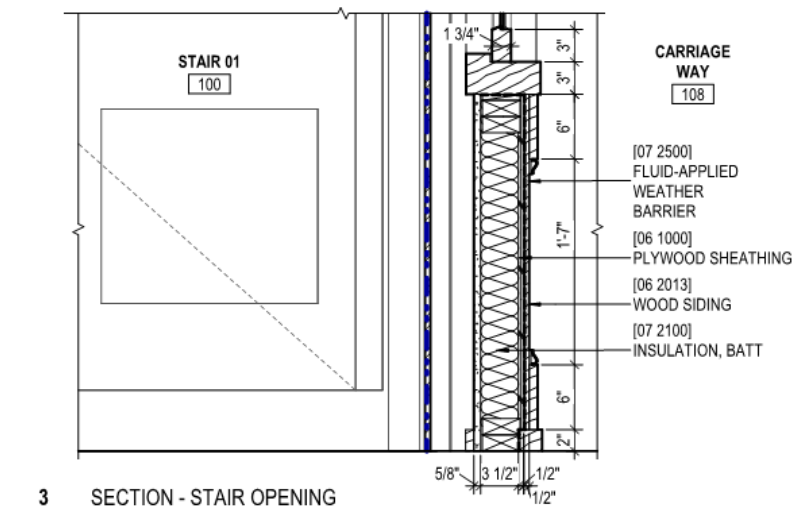
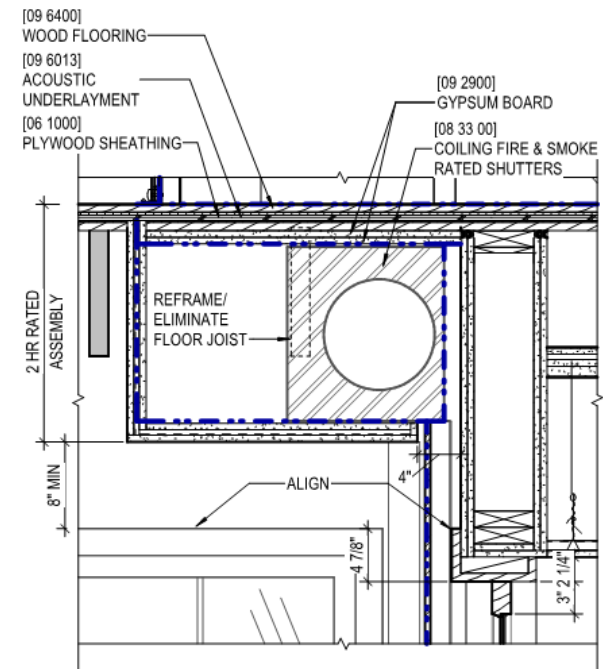


2 ELEVATION - STAIR OPENING

SKA-05 SCALE: 1/2" = 1'-0"

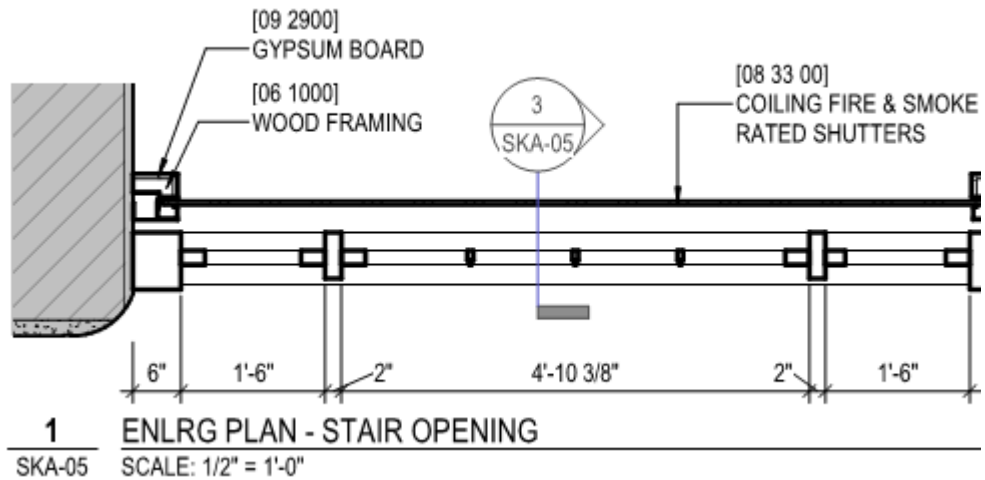
619 ROYAL STREET

Project No.: CN20046
 Date: 21_0912
 Revision No.: 1
 Revision Name: STAIR
 OPENING

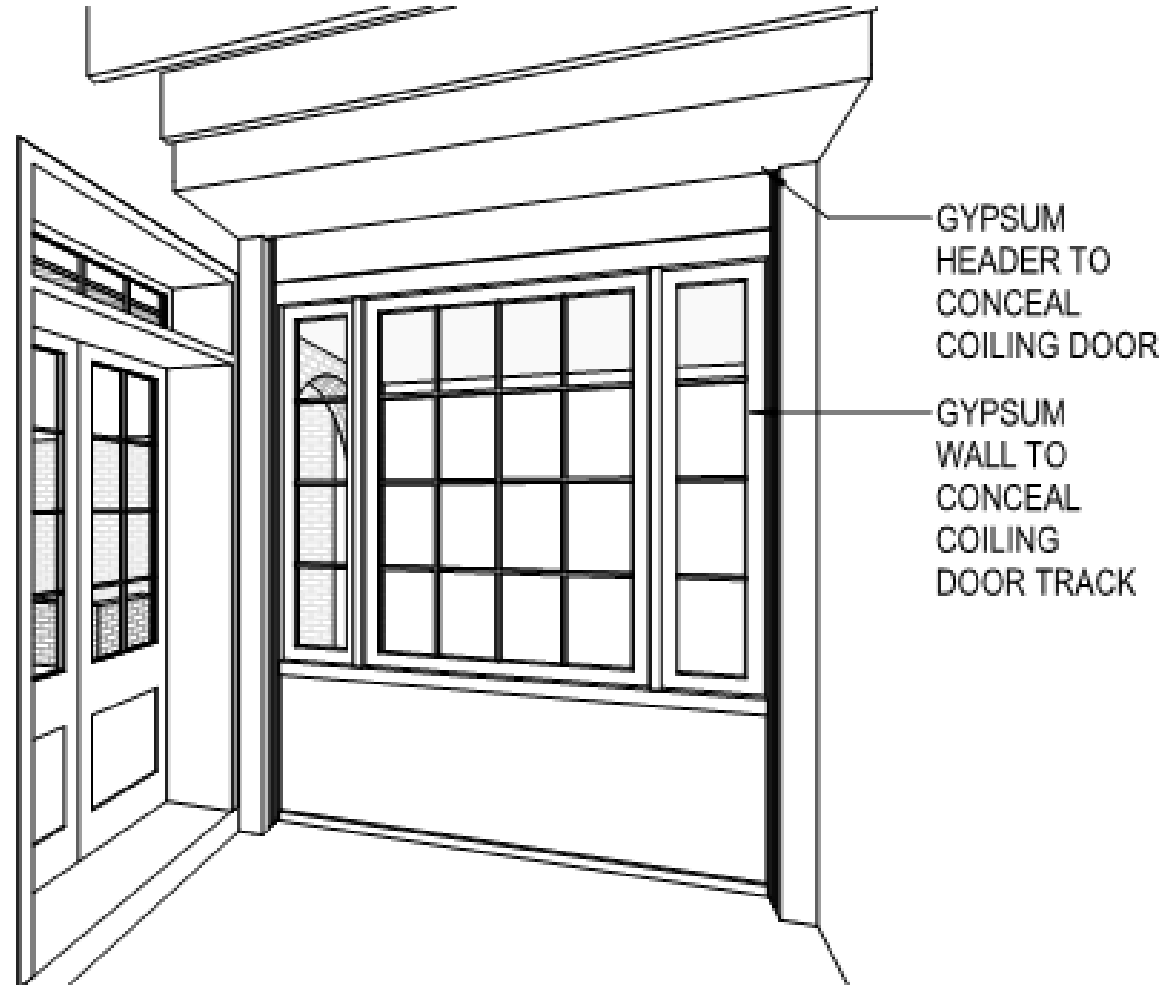


3 SECTION - STAIR OPENING

SKA-05 SCALE: 1" = 1'-0"



5 STAIN OPENING EXTERIOR
SKA-05 NTS



4 STAIN OPENING INTERIOR
SKA-05 NTS

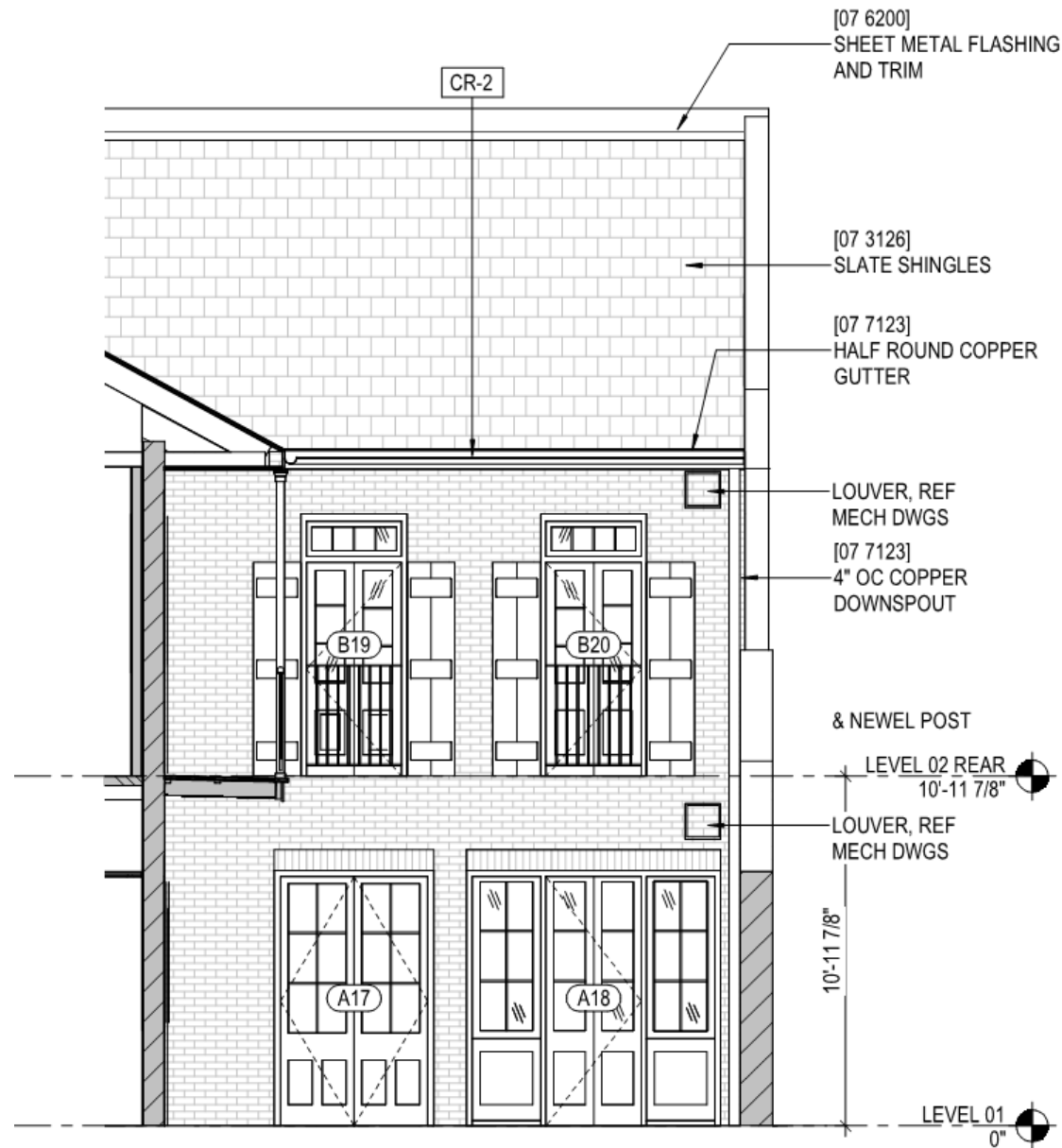


619 Royal

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October 12, 2021





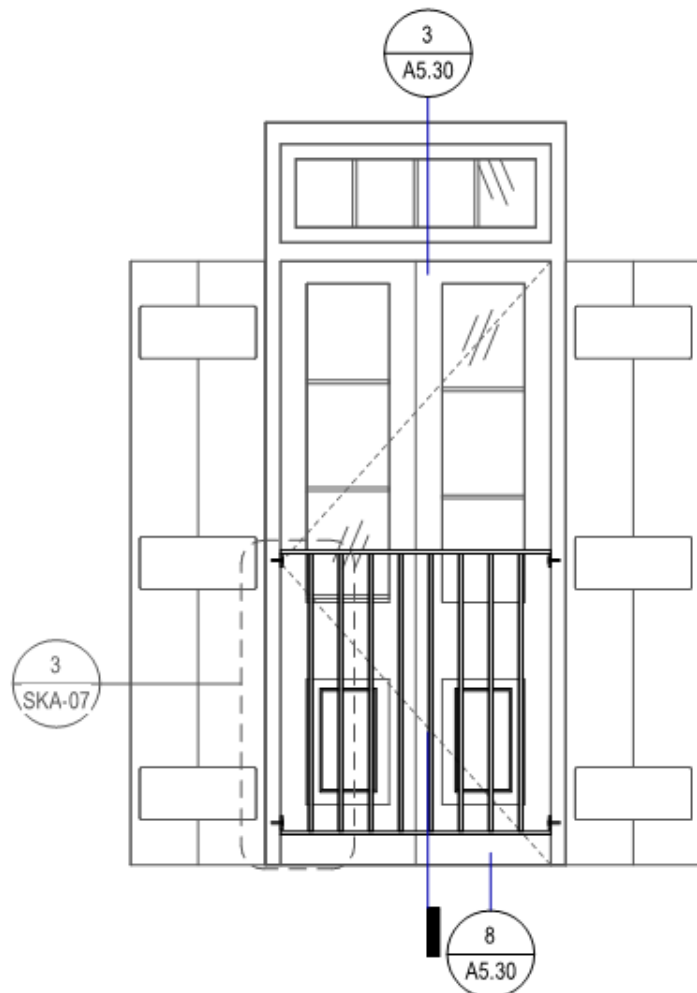
2 BLDG ELEVATION - COURTYARD NORTH
A3.01

619 Royal

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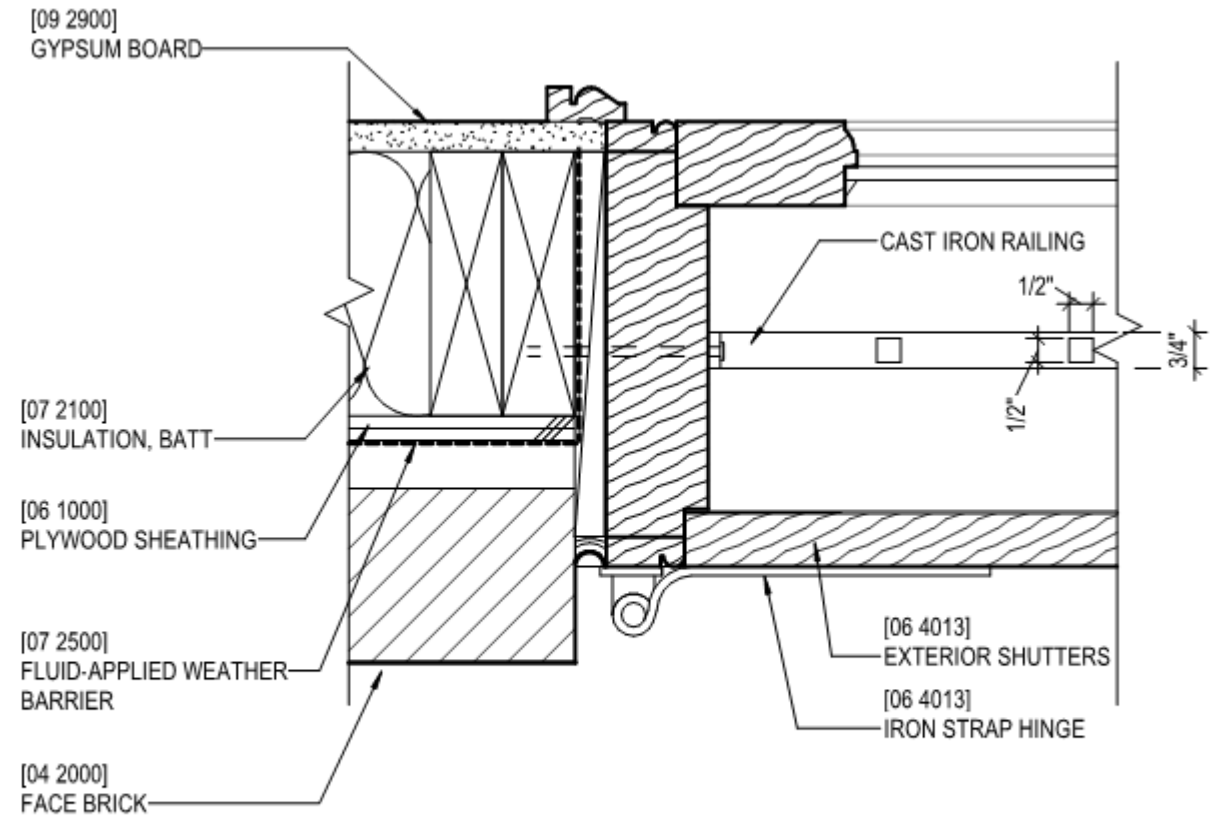




2 ELEV - DOOR B18 AND B19
SKA-07 SCALE: 1/2" = 1'-0"

619 ROYAL STREET

Project No.: CN20046
Date: 21_0914
Revision No.: 1
Revision Name: B18 & B19



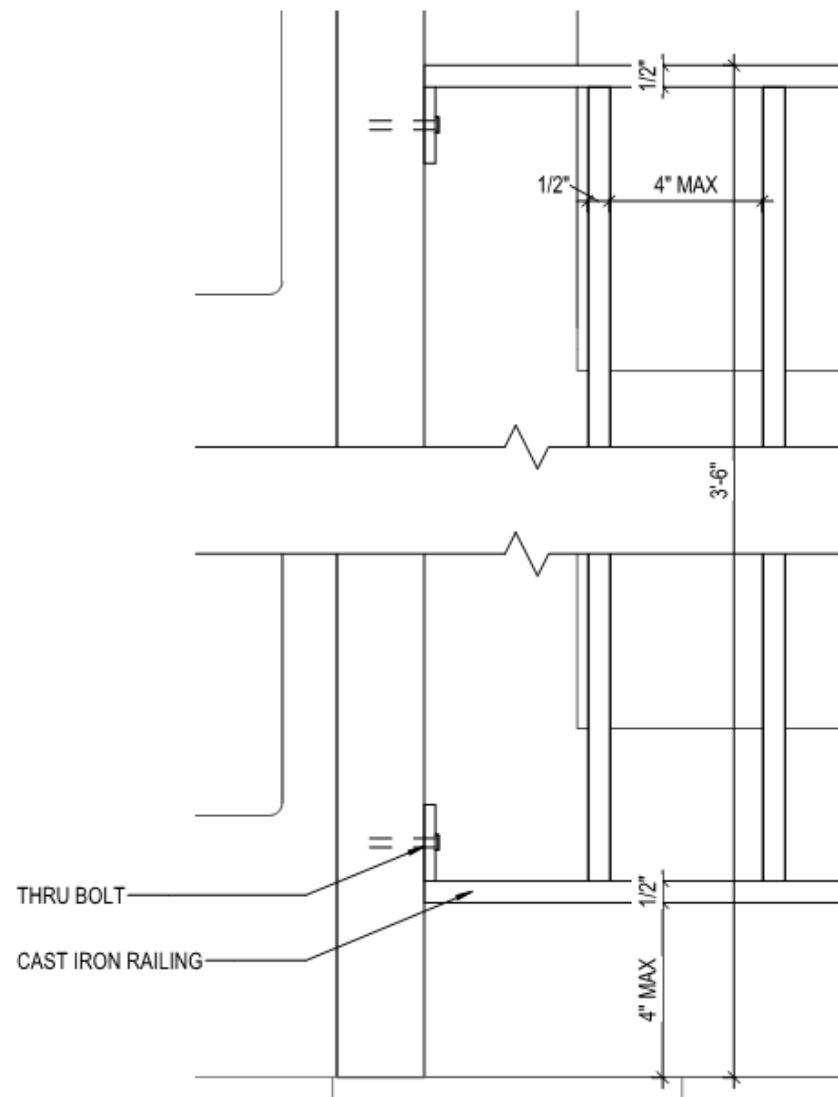
1 ENLRG PLAN - DR B18 AND B19
SKA-07 SCALE: 3" = 1'-0"

619 Royal

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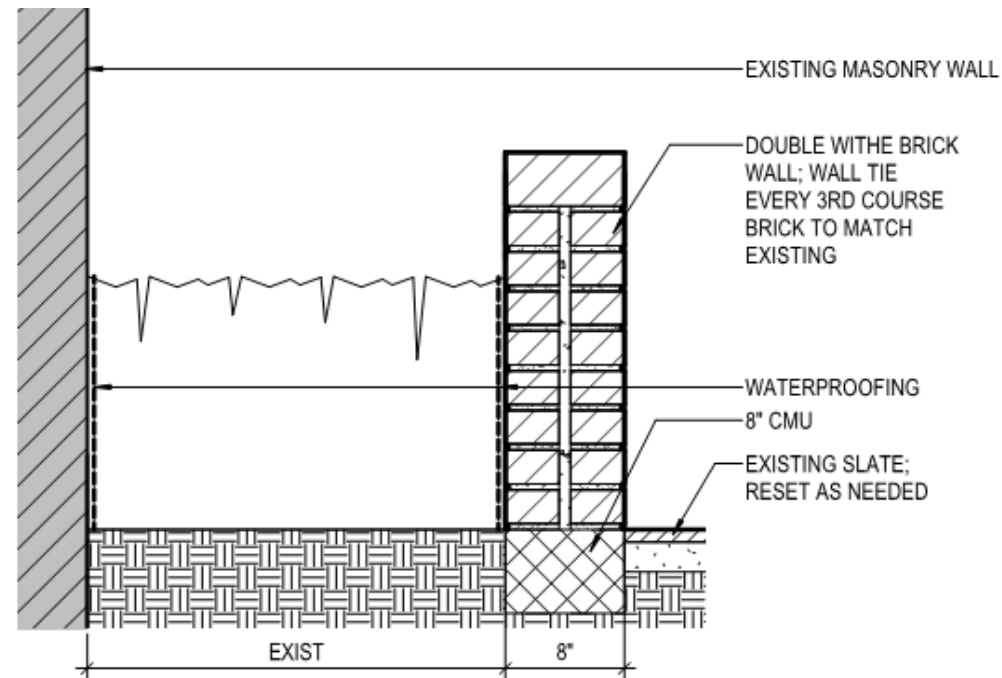
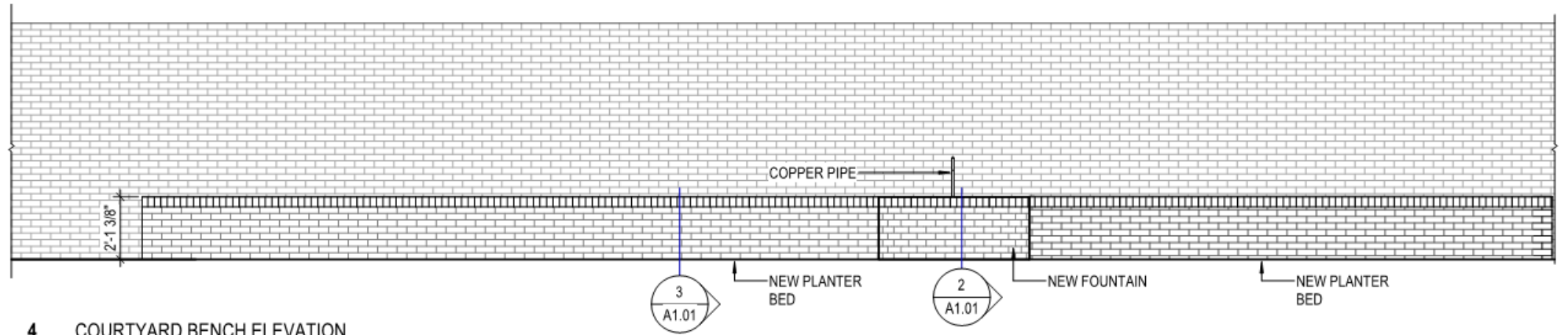
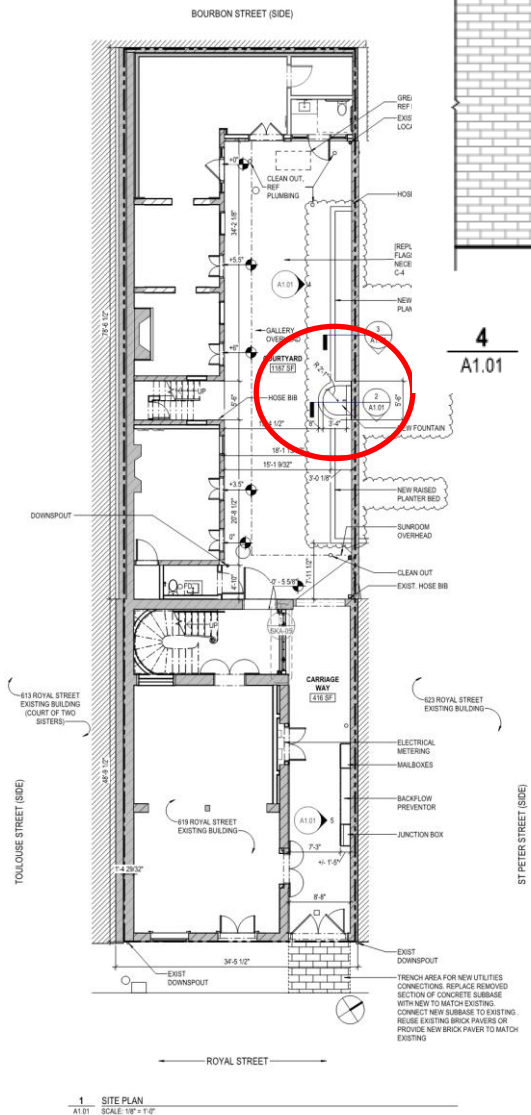




3 DTL - ENLRG ELEV @ RAILING
 SKA-07 SCALE: 3" = 1'-0"

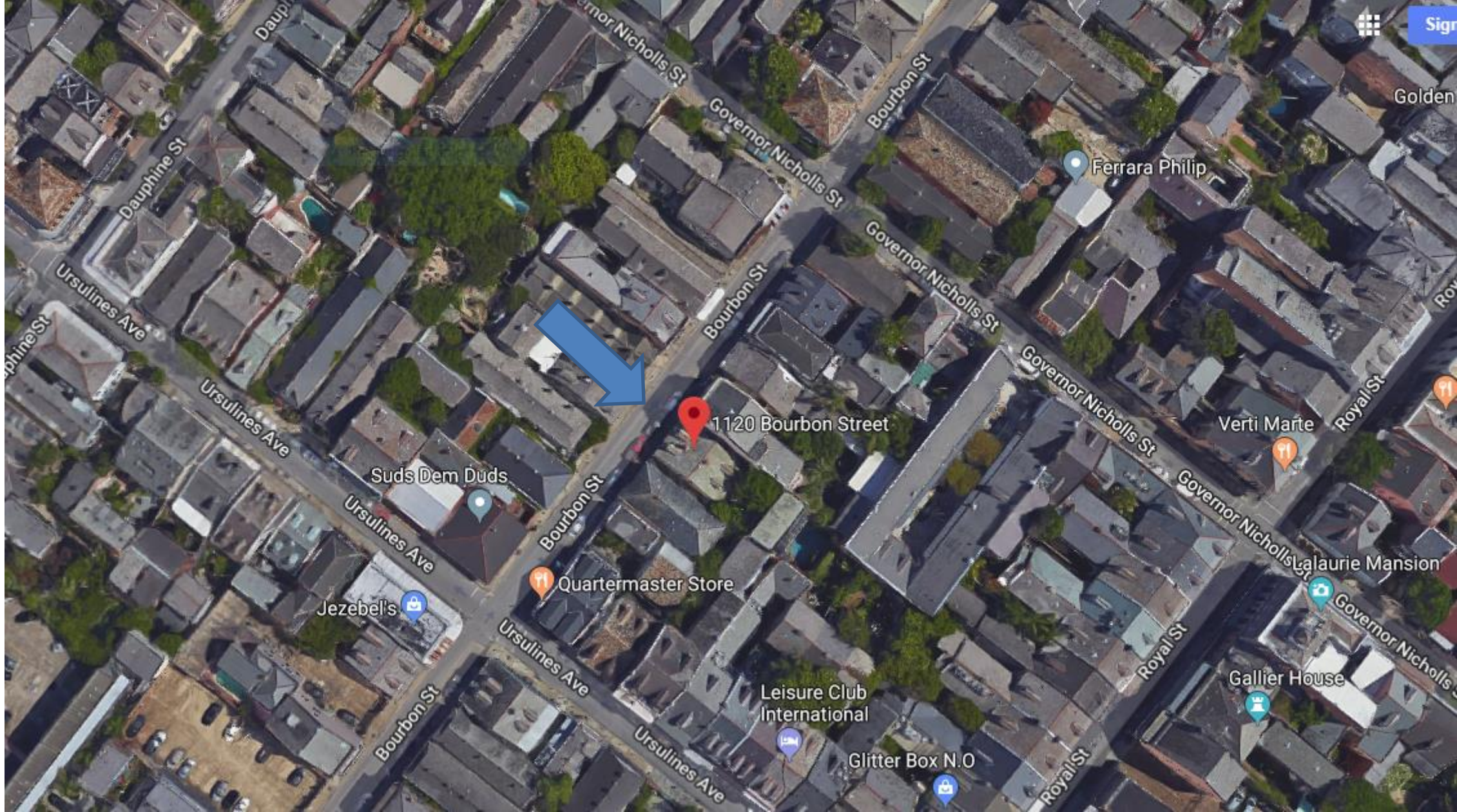
SKA-07







1118-1120 Bourbon



1120 Bourbon

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1120 Bourbon

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October 12, 2021





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October 12, 2021





1 BOURBON ST.



2 SIDE YD. GOV. NICHOLS SIDE



3 NEIGHBOR SIDE YARD

1120 Bourbon

VCC Architectural Committee

October 12, 2021





4 SIDE YD. GOV. NICHOLS SIDE



5 REAR STRUCTURE



6 REAR STRUCTURE

1120 Bourbon

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October 12, 2021





7 SIDE YARD FENCE AT REAR STRUCTURE



8 SIDE YARD FENCE

1120 Bourbon

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October 12, 2021





9 SIDE YD. URSULINES SIDE



10 REAR STRUCTURE @ REAR YD.



11 REAR YD. FENCE

1120 Bourbon

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October 12, 2021





12 REAR YD. FENCE



13 REAR STRUCTURE @ REAR YD.

1

GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS

FOR MR. & MRS. SOREN GISLESON

1118 BOURBON ST.
NEW ORLEANS, LA 70116

LAND INFORMATION:

1. ZONING: VOR-1 Vieux Carré Residential District
2. PROPERTY DESCRIPTION: 52.55 LOT 23 BOURBON 37X127
3. YARD SETBACKS:
 - FRONT YARD: NONE
 - SIDE YARD: NONE
 - REAR YARD: NONE

BUILDING INFORMATION:

1. BUILDING TYPE: CREOLE COTTAGE, GABLE ROOF WITH OVERHANG
2. HISTORICAL SIGNIFICANCE RATING: GREEN - OF LOCAL ARCHITECTURAL OR HISTORICAL IMPORTANCE

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL VISIT SITE AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., DESCRIBED HEREIN AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
2. GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL PHASES OF THE WORK, INCLUDING N.I.C. ITEMS, IF ANY.
3. GENERAL CONTRACTOR SHALL MAINTAIN THE EXISTING SITE CONDITIONS. ANY DAMAGE TO THE EXISTING SITE SCHEDULED TO REMAIN SHALL BE REPAIRED BY THE GENERAL CONTRACTOR PRIOR TO THE COMPLETION OF THE WORK AND THE FINAL PAYMENT.
4. GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ANY AND ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER.

CODE COMPLIANCE:

1. ALL CONSTRUCTION DOCUMENTS, STANDARD NOTES, RESPONSE LETTERS AND CODE CITATIONS SHALL COMPLY WITH THE 2018 EDITION OF THE IRC TO PROPERLY REFLECT THE CURRENT BUILDING CODE SECTIONS.
2. THIS STRUCTURE SHALL BE DESIGNED FOR 130 MPH BASIC WIND SPEED - INCLUDING, BUT NOT LIMITED TO, PROVISIONS FOR IMPACT RESISTANCE AT OPENINGS AND HURRICANE STRAPS AT RAFTERS AND TOP PLATES.
3. WIND BORNE DEBRIS PROTECTION FOR WINDOWS SHALL BE PROVIDED IN ACCORDANCE WITH R301.2.1.2 IRC 2018 ED. WITH THE USE OF ACCEPTED PLYWOOD COVERING & OPERABLE SHUTTERS.
4. BUILDING MATERIALS USED BELOW DESIGN FLOOD ELEVATION SHALL COMPLY WITH SEC. R322.1.8 IRC 2015 ED.
5. INSULATION SHALL BE PROVIDED AS REQUIRED BY SECTION 1102 OF THE IRC 2015 ED. (TYP. CEILING/WALL IS R-30/R-19).

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY REQUIREMENTS AND THAT I AM NOT INSPECTING THE WORK.

ARCHITECT OR ENGINEER *[Signature]*
LICENSE NUMBER 5946

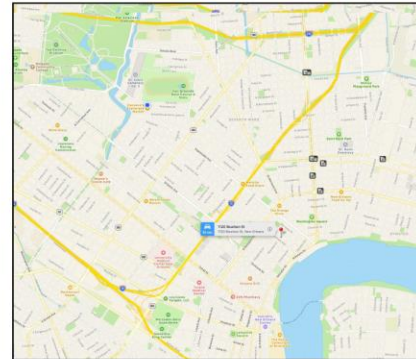
June 23, 2021
May 11, 2021

INDEX OF DRAWINGS:

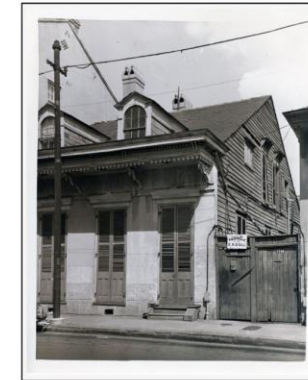
- A000 COVER SHEET
- A010 PHOTOS AND KEY PLAN

ARCHITECTURAL

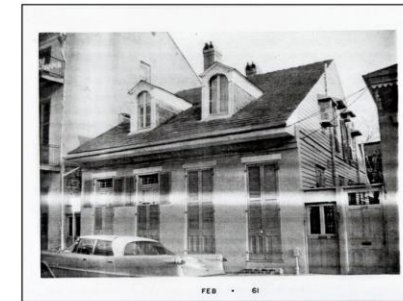
- A100 EXISTING DEMOLITION SITE PLAN, SURVEY & DETAILS
- A110 FIRST FLOOR DEMOLITION PLAN
- A120 SECOND FLOOR DEMOLITION PLAN
- A130 EXTERIOR ELEVATIONS DEMOLITION
- A131 EXTERIOR ELEVATIONS DEMOLITION
- A200 PROPOSED SITE PLAN & MASONRY NOTES
- A210 PROPOSED FIRST FLOOR PLAN & AWNING SCHEDULE
- A220 PROPOSED SECOND FLOOR PLAN & AWNING SCHEDULE
- A400 PROPOSED EXTERIOR ELEVATIONS & AWNING SCHEDULE
- A401 PROPOSED EXTERIOR ELEVATIONS & CROSS SECTION AT REAR YARD
- A410 DETAILED SECTIONS AND MASONRY NOTES



1 VICINITY MAP
NOT TO SCALE



2 HISTORIC PHOTO



3 PHOTO 1961

GRAY STUDIO

2145 Marquette Street
New Orleans, LA 70116
504.581.1234
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GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS

FOR: MR. & MRS. SOREN GISLESON

1118 BOURBON ST.
NEW ORLEANS, LA 70116

PERMIT SET

June 23, 2021
May 11, 2021

APRIL 3, 2021
Job Number: 2002

COVER SHEET

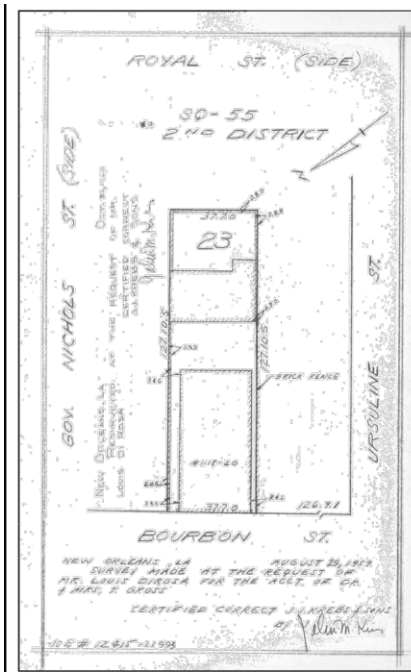
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1120 Bourbon

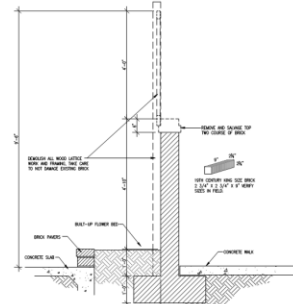
VCC Architectural Committee

October 12, 2021



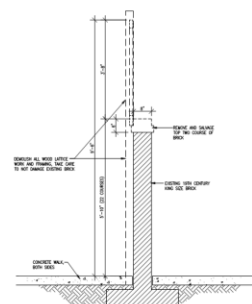


- DEMOLITION KEY NOTES:**
- DEMOLISH EXISTING CLOTH ARMINGS, ASSOCIATED METAL FRAMING AND MECHANICALS. PROTECT DOOR CASING AND WOOD JOINTS FROM DAMAGE. SHOULD DAMAGE OCCUR, REPLACE WITH MATERIALS TO MATCH THE EXISTING IN PROFILE, MATERIAL, AND PAINT COLOR. MATERIALS NOT SPECIFIED IN THESE PLANS SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF VEUX CARRE COMMISSION.
 - CAREFULLY REMOVE DAMAGED PAINT. PREPARE SURFACE FOR NEW PAINT. SOLUTION AND WITH THE USE OF A MILD DETERGENT. BRUSH CARE SHOULD BE TAKING TO AVOID CREATING DUST DURING REMOVAL. SAFETY GOGGLES AND A DUST MASK SHALL BE WORN AT ALL TIMES. THE FOLLOWING ITEMS SHALL NOT BE USED: HEAT TOOLS, POWER TOOLS OR CHEMICALS.
 - DEMOLISH EXISTING WOOD FRAMING, WOOD LATTICE WORK, WOOD COLUMNS AND ASSOCIATED HARDWARE. IF REMAINING BRICK WALL BETWEEN PROPERTIES REFER TO PLANS FOR EXACT LOCATIONS. CARE SHALL BE TAKEN NOT TO DAMAGE THE EXISTING HISTORICAL BRICK.
 - SHIELD AND PROTECT THE EXISTING MECHANICAL CONDENSING UNITS FROM DAMAGE AND EXCESSIVE DUST DURING CONSTRUCTION. IMMEDIATELY ALLOWING FOR THE PROPER VENTILATION OF THE UNIT AS RECOMMENDED BY THE MANUFACTURER. THE PROTECTION AT THE TOP OF THE UNIT SHALL BE UP A TYPE DRAIN TO A METAL DRAIN WITH BARS SPACED SUFFICIENTLY TO ALLOW THE APPROPRIATE VOLUME OF AIR TO PASS THROUGH THE FAN AND DRAIN.
 - PROTECT EXISTING ELECTRICAL PANELS AND METERS FROM DAMAGE DURING CONSTRUCTION WITH MATERIAL EQUIVALENT TO THAT NOW PROVIDED IN DURABILITY AND ATTACHED IN A WAY THAT WILL ALLOW ACCESS TO THE EQUIPMENT BY OTHER PERSONNEL.
 - ADJACENT PROPERTY SHALL BE PROTECTED FROM DAMAGE AND REPLACED IF DAMAGE OCCURS DURING CONSTRUCTION UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. ALL REPAIRS WILL BE MADE AT THE EXPENSE OF THE CONTRACTOR AND SHALL ADHERE TO THE GUIDELINES ON THE CONSTRUCTION DOCUMENTS UP AT THE DIRECTION OF AND APPROVAL FROM THE VEUX CARRE COMMISSION.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO STARTING WORK.

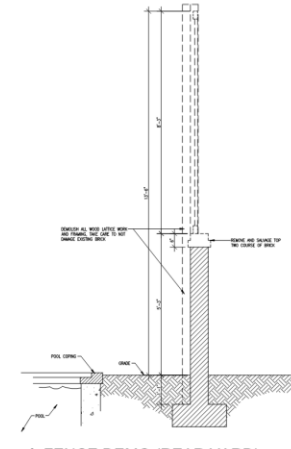


2 FENCE DEMO (SIDE YARD)
1/2" = 1'-0"

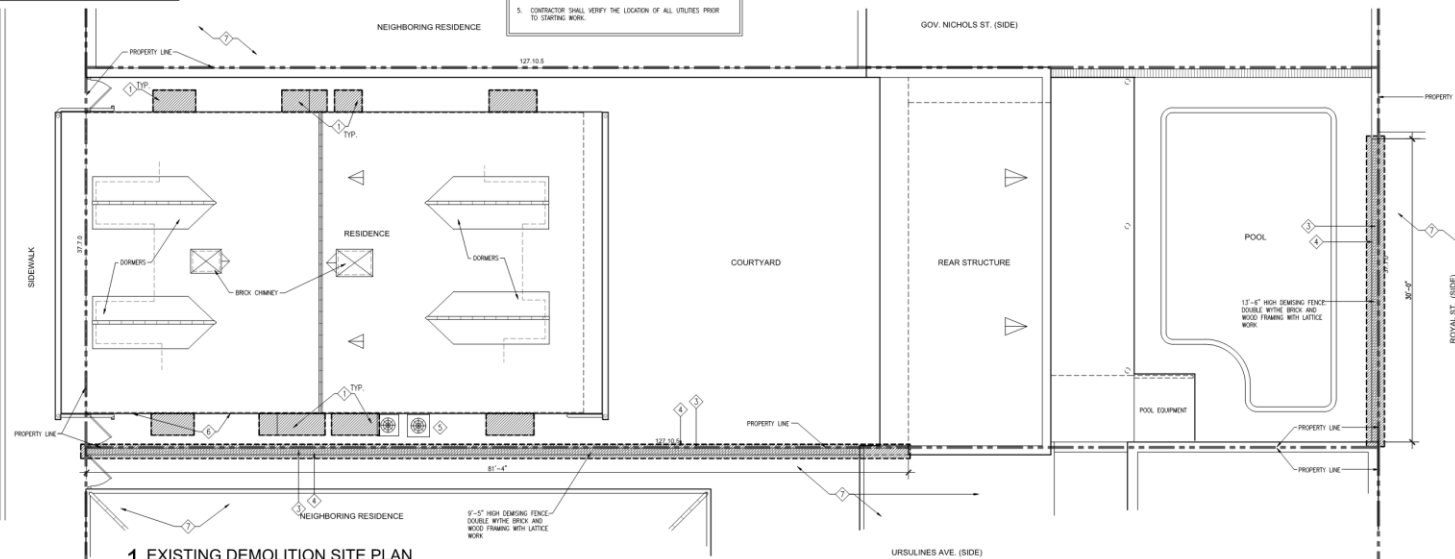
- GENERAL DEMOLITION NOTES:**
- ONLY THE MATERIAL SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL BE USED TO COMPLETE THE DEMOLITION WORK. ANY DAMAGE OCCURRING WHICH REQUIRES REPLACEMENT OF A MATERIAL SHALL BE DONE IN HAND AND NOT SPECIFIED ON THE PLANS. AND APPROVAL SHALL BE OBTAINED FROM THE VEUX CARRE COMMISSION PRIOR TO BEGINNING THE WORK REQUIRED TO COMPLETE THE REPAIR.
 - SEE FOUNDATION DEMOLITION PLAN AND PROPOSED PLAN FOR ADDITIONAL DETAILED INFORMATION.
 - ALL DIMENSIONS AND CONDITIONS SHOWN HEREIN, OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT GUARANTEED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. IF CONDITIONS AND DIMENSIONS VARY GREATLY FROM THAT SHOWN, THE ARCHITECTURAL, BE NOTIFIED PRIOR TO COMMENCING WORK.
 - PRIOR TO THE START OF DEMOLITION OR EXPLORATORY WORK, THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY. IF HAZARDOUS MATERIALS ARE EVIDENT, TO SURVEY THE EXISTING SITE CONDITIONS FOR PRESENCE OF HAZARDOUS MATERIALS SUCH AS, BUT NOT LIMITED TO, LEAD-BASED PAINT, ASBESTOS, MOLD, ETC. IF THE TEST RESULTS ARE POSITIVE FOR ANY HAZARDOUS MATERIALS, THE OWNER SHALL EMPLOY A FIRM TO REMOVE HAZARDOUS MATERIALS IN COMPLIANCE WITH THE GUIDELINES AND REGULATIONS OF LOCAL, STATE AND FEDERAL GOVERNMENTS FOR DEMOLITION OR EXPLORATORY WORK AND COMMENCE.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO STARTING WORK.



3 FENCE DEMO (SIDE YARD)
1/2" = 1'-0"



4 FENCE DEMO (REAR YARD)
1/2" = 1'-0"



1 EXISTING DEMOLITION SITE PLAN
3/16" = 1'-0"

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31-015 MAURELLE STREET
NEW ORLEANS, LA 70119
504.588.5545
graystudio.com



GISLESSEN RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: **MR. & MRS. SOREN GISLESSEN**
1118 BOURBON ST.
NEW ORLEANS, LA 70116

APRIL 1, 2021
Job Number: 2003
EXISTING DEMOLITION SITE PLAN, SURVEY & BRICK WALL SECTIONS

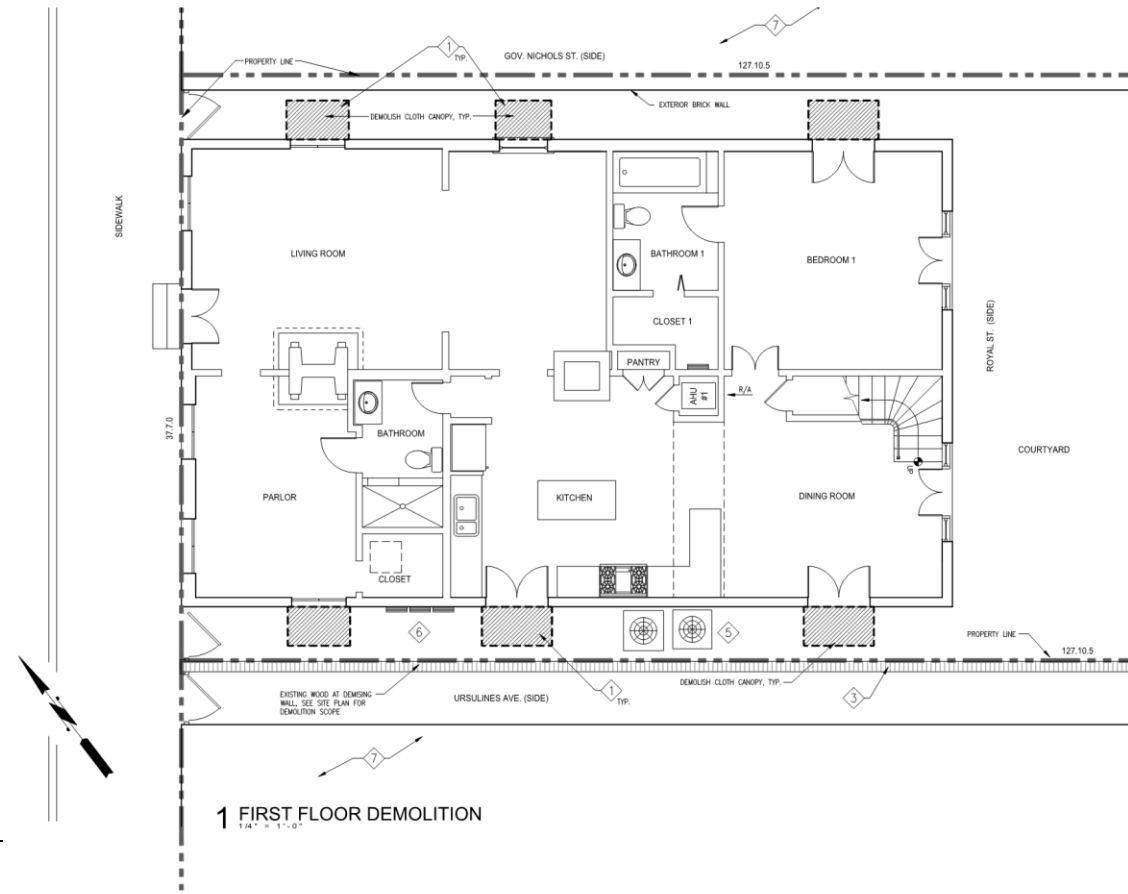
A100



1120 Bourbon

VCC Architectural Committee

October 12, 2021



1 FIRST FLOOR DEMOLITION
1/4" = 1'-0"

LEGEND

--- TO BE DEMOLISHED OR
REMOVED AND SALVAGED

◆ KEY NOTE

- GENERAL DEMOLITION NOTES:**
- ONLY THE MATERIAL SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL BE USED TO COMPLETE THE DESIGNATED WORK. ANY DAMAGE OCCURRING WHICH REQUIRES REPLACEMENT OF A MATERIAL THREATS OF LIFE IN KIND AND NOT SPECIFIED ON THE PLANS AND APPROVAL SHALL BE OBTAINED FROM THE VEIUX CARRE COMMISSION PRIOR TO INITIATING THE WORK REQUIRED TO COMPLETE THE REPAIR.
 - SEE FOUNDATION DEMOLITION PLAN AND PROPOSED PLAN FOR ADDITIONAL DETAILED INFORMATION.
 - ALL DIMENSIONS AND CONDITIONS TYPED INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT PURPORTED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. IF CONDITIONS AND DIMENSIONS VARY GREATLY FROM THAT SHOWN, THE ARCHITECTURAL BE NOTIFIED PRIOR TO COMMENCING WORK.
 - PRIOR TO THE START OF DEMOLITION OR EXPLORATORY WORK, THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY. IF HAZARDOUS MATERIALS ARE EVIDENT TO SURVEY THE EXISTING SITE CONDITIONS FOR PRESENCE OF HAZARDOUS MATERIALS SUCH AS, BUT NOT LIMITED TO, LEAD-BASED PAINT, ASBESTOS, MOLD, ETC. IF THE TEST RESULTS ARE POSITIVE FOR ANY HAZARDOUS MATERIALS, THE OWNER SHALL EMPLOY A FIRM TO REMOVE HAZARDOUS MATERIALS IN COMPLIANCE WITH THE GUIDELINES AND REGULATIONS OF LOCAL, STATE AND FEDERAL GOVERNMENTS FOR DEMOLITION OR EXPLORATORY WORK MAY COMMENCE.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO STARTING WORK.

- DEMOLITION KEY NOTES:**
- DEMOLISH EXISTING CLOTH AWNINGS, ASSOCIATED METAL FRAMING AND HARDWARE. PROTECT DOOR CASING AND WOOD TRIMMING FROM DAMAGE. SHOULD DAMAGE OCCUR, REPLACE WITH MATERIALS TO MATCH THE EXISTING IN PROFILE, MATERIAL AND PAINT COLOR. MATERIALS NOT SPECIFIED IN THESE PLANS SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF VEIUX CARRE COMMISSION.
 - CAREFULLY REMOVE DAMAGED PAINT, PREPARE SURFACE FOR NEW PAINT, AS REQUIRED, BY WASHING EXISTING FINISH WITH A MILD DETERGENT SOLUTION AND WITH THE USE OF A NATURAL BRISTLE BRUSH. CARE SHOULD BE TAKEN TO AVOID CREATING DUST DURING REMOVAL. SAFETY GOGGLES AND A DUST MASK SHALL BE WORN AT ALL TIMES. THE FOLLOWING ITEMS SHALL NOT BE USED: HEAT TOOLS, POWER TOOLS OR CHEMICALS.
 - DEMOLISH EXISTING WOOD FRAMING, WOOD LATTICE WORK, WOOD COLUMNS AND ASSOCIATED HARDWARE. IF EXISTING BRICK WALL BETWEEN PROPERTIES, REFER TO PLANS FOR EXACT LOCATIONS. CARE SHALL BE TAKEN NOT TO DAMAGE THE EXISTING HISTORICAL BRICK.
 - SHIELD AND PROTECT THE EXISTING MECHANICAL CONDENSING UNITS FROM DAMAGE AND EXCESSIVE DUST INCOME DURING CONSTRUCTION, SIMULTANEOUSLY ALLOWING FOR THE PROPER VENTILATION OF THE UNIT AS RECOMMENDED BY THE MANUFACTURER. THE PROTECTION AT THE TOP OF THE UNIT SHALL BE OF A TYPE SIMILAR TO A METAL GRATE WITH BARS SPACED SUFFICIENTLY TO ALLOW THE APPROPRIATE VOLUME OF AIR TO PASS THROUGH THE FAN AND UNIT.
 - PROTECT EXISTING ELECTRICAL PANELS AND METERS FROM DAMAGE DURING CONSTRUCTION WITH MATERIAL EQUIVALENT TO 1/2" THICK PLYWOOD IN DURABILITY AND ATTACHED IN A WAY THAT WILL ALLOW ACCESS TO THE EQUIPMENT BY OTHER PERSONNEL.
 - ADJACENT PROPERTY SHALL BE PROTECTED FROM DAMAGE AND REPLACED IF DAMAGE OCCURS DURING CONSTRUCTION UNDER THE SUPERVISION OF THE CONTRACTOR. ALL REPAIRS WILL BE MADE AT THE EXPENSE OF THE CONTRACTOR AND SHALL ADHERE TO THE GUIDELINES ON THE CONSTRUCTION DOCUMENTS OR AT THE DIRECTION OF AND APPROVAL FROM THE VEIUX CARRE COMMISSION.

GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: MR. & MRS. SOREN GISLESON
1118 BOURBON ST.
NEW ORLEANS, LA 70116

APRIL 5, 2021
Job Number: 2002
**FIRST FLOOR
DEMOLITION**

GRAY STUDIO
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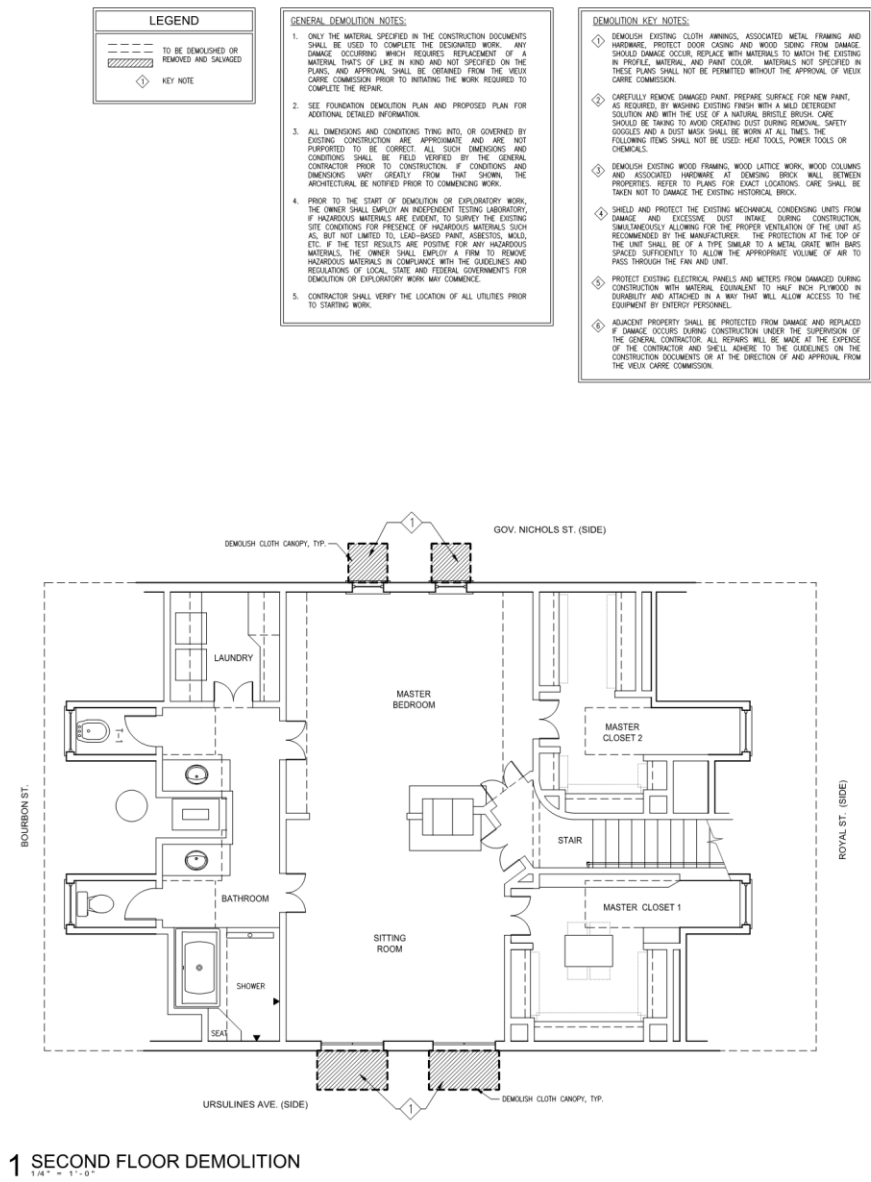


PERMIT SET

A110

October 12, 2021





LEGEND

--- TO BE DEMOLISHED OR REMOVED AND SALVAGED

◆ KEY NOTE

- GENERAL DEMOLITION NOTES:**
1. ONLY THE MATERIAL SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL BE USED TO COMPLETE THE DESIGNATED WORK. ANY DAMAGE OCCURRING WHICH REQUIRES REPLACEMENT OF A MATERIAL THATS OF LIKE IN KIND AND NOT SPECIFIED ON THE PLANS, AND APPROVAL SHALL BE OBTAINED FROM THE VEUX CARRE COMMISSION PRIOR TO INITIATING THE WORK REQUIRED TO COMPLETE THE REPAIR.
 2. SEE FOUNDATION DEMOLITION PLAN AND PROPOSED PLAN FOR ADDITIONAL DETAILED INFORMATION.
 3. ALL DIMENSIONS AND CONDITIONS TYPING INTO, OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT PURPORTED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. IF CONDITIONS AND DIMENSIONS VARY GREATLY FROM THAT SHOWN, THE ARCHITECTURAL BE NOTIFIED PRIOR TO COMMENCING WORK.
 4. PRIOR TO THE START OF DEMOLITION OR EXPLORATORY WORK, THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY, IF HAZARDOUS MATERIALS ARE EVIDENT, TO SURVEY THE EXISTING SITE CONDITIONS FOR PRESENCE OF HAZARDOUS MATERIALS SUCH AS, BUT NOT LIMITED TO, LEAD-BASED PAINT, ASBESTOS, MOLD, ETC. IF THE TEST RESULTS ARE POSITIVE FOR ANY HAZARDOUS MATERIALS, THE OWNER SHALL EMPLOY A FIRM TO REMOVE HAZARDOUS MATERIALS IN COMPLIANCE WITH THE GUIDELINES AND REGULATIONS OF LOCAL, STATE AND FEDERAL GOVERNMENTS FOR DEMOLITION OR EXPLORATORY WORK ANY COMMENCE.
 5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO STARTING WORK.

- DEMOLITION KEY NOTES:**
1. DEMOLISH EXISTING CLOTH AWNINGS, ASSOCIATED METAL FRAMING AND HARDWARE, PROTECT DOOR CASING AND WOOD SILING FROM DAMAGE. SHOULD DAMAGE OCCUR, REPLACE WITH MATERIALS TO MATCH THE EXISTING IN PROFILE, MATERIAL, AND PAINT COLOR. MATERIALS NOT SPECIFIED IN THESE PLANS SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF VEUX CARRE COMMISSION.
 2. CAREFULLY REMOVE DAMAGED PAINT, PREPARE SURFACE FOR NEW PAINT, AS REQUIRED, BY WASHING EXISTING FINISH WITH A MILD DETERGENT SOLUTION AND WITH THE USE OF A NATURAL BRISTLE BRUSH. CARE SHOULD BE TAKING TO AVOID CREATING DUST DURING REMOVAL. SAFETY GOGGLES AND A DUST MASK SHALL BE WORN AT ALL TIMES. THE FOLLOWING ITEMS SHALL NOT BE USED: HEAT TOOLS, POWER TOOLS OR CHEMICALS.
 3. DEMOLISH EXISTING WOOD FRAMING, WOOD LATTICE WORK, WOOD COLUMNS AND ASSOCIATED HARDWARE AT DAMAGING BRICK WALL BETWEEN PROPERTIES. REFER TO PLANS FOR EXACT LOCATIONS. CARE SHALL BE TAKEN NOT TO DAMAGE THE EXISTING HISTORICAL BRICK.
 4. SHIELD AND PROTECT THE EXISTING MECHANICAL CONDENSING UNITS FROM DAMAGE AND EXCESSIVE DUST INTAKE DURING CONSTRUCTION. SIMULTANEOUSLY ALLOWING FOR THE PROPER VENTILATION OF THE UNIT AS RECOMMENDED BY THE MANUFACTURER. THE PROTECTION AT THE TOP OF THE UNIT SHALL BE OF A TYPE SIMILAR TO A METAL GRATE WITH BARS SPACED SUFFICIENTLY TO ALLOW THE APPROPRIATE VOLUME OF AIR TO PASS THROUGH THE FAN AND UNIT.
 5. PROTECT EXISTING ELECTRICAL PANELS AND METERS FROM DAMAGED DURING CONSTRUCTION WITH MATERIAL EQUIVALENT TO HALF INCH PLYWOOD IN DURABILITY AND ATTACHED IN A WAY THAT WILL ALLOW ACCESS TO THE EQUIPMENT BY ELECTRICAL PERSONNEL.
 6. ADJACENT PROPERTY SHALL BE PROTECTED FROM DAMAGE AND REPLACED IF DAMAGE OCCURS DURING CONSTRUCTION UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. ALL REPAIRS WILL BE MADE AT THE EXPENSE OF THE CONTRACTOR AND SHELL ADHERE TO THE GUIDELINES ON THE CONSTRUCTION DOCUMENTS OR AT THE DIRECTION OF AND APPROVAL FROM THE VEUX CARRE COMMISSION.

GRAY STUDIO

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Gray Studio Certifications:
New Orleans Architectural Firm
State of Louisiana Business Enterprise



GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS

FOR: **MR. & MRS. SOREN GISLESON**

1118 BOURBON ST.
NEW ORLEANS, LA 70116

PERMIT SET

APRIL 1, 2021
Job Number: 2002

SECOND FLOOR DEMOLITION

A120



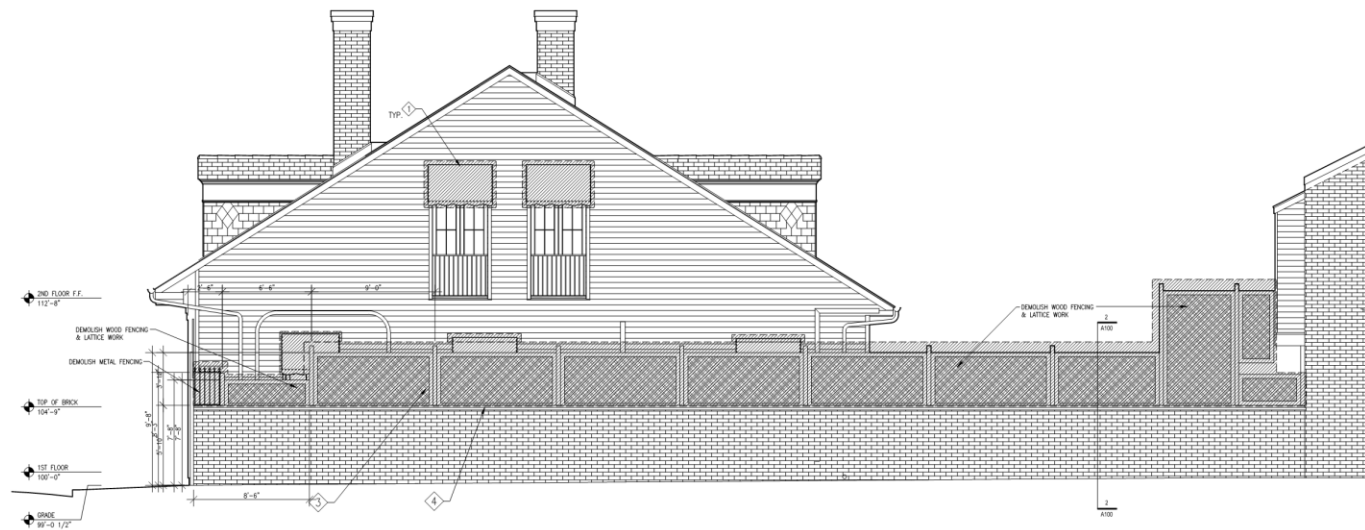


1120 Bourbon

VCC Architectural Committee

October 12, 2021





1 PARTIAL SIDE ELEVATION - GOV. NICHOLS (SIDE)
1/4" = 1'-0"

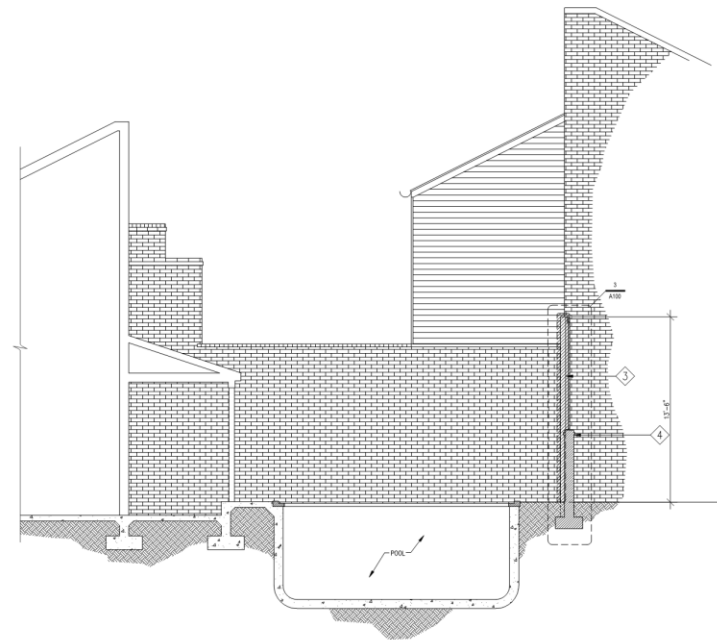
LEGEND	
	TO BE DEMOLISHED OR REMOVED AND REPAIRED
	KEY NOTE

GENERAL DEMOLITION NOTES:

- ONLY THE MATERIAL SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL BE USED TO COMPLETE THE DEMOLITION WORK. ANY DAMAGE OCCURRING WHICH REQUIRES REPLACEMENT OF A MATERIAL, PARTS OF LIFT OR AND NOT SPECIFIED ON THE PLANS, AND APPROVAL SHALL BE OBTAINED FROM THE Vieux Carre Commission PRIOR TO INITIATING THE WORK REQUIRED TO COMPLETE THE REPAIR.
- SEE FOUNDATION DEMOLITION PLAN AND PROPOSED PLAN FOR ADDITIONAL DETAILED INFORMATION.
- ALL DIMENSIONS AND CONDITIONS TYPED INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT GUARANTEED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. IF CONDITIONS AND DIMENSIONS VARY SIGNIFICANTLY FROM THAT SHOWN, THE ARCHITECTURAL BE NOTIFIED PRIOR TO COMMENCING WORK.
- PRIOR TO THE START OF DEMOLITION OR EXPLORATORY WORK, THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY. IF HAZARDOUS MATERIALS ARE EXIST TO SURVEY THE EXISTING SITE CONDITIONS FOR PRESENCE OF HAZARDOUS MATERIALS SUCH AS, BUT NOT LIMITED TO, LEAD-BASED PAINT, ASBESTOS, MOLD, ETC. IF THE TEST RESULTS ARE POSITIVE FOR ANY HAZARDOUS MATERIALS, THE OWNER SHALL EMPLOY A FIRM TO REMOVE HAZARDOUS MATERIALS IN COMPLIANCE WITH THE ORDINANCES AND REGULATIONS OF LOCAL, STATE AND FEDERAL GOVERNMENTS FOR DEMOLITION OR EXPLORATORY WORK MAY COMMENCE.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO STARTING WORK.

DEMOLITION KEY NOTES:

- DEMOLISH EXISTING CLOTH ARMING, ASSOCIATED METAL FRAMING AND HANGING. PROTECT DOOR CASING AND WOOD JOINTS FROM DAMAGE. SHOULD DAMAGE OCCUR, REPLACE WITH MATERIALS TO MATCH THE EXISTING IN PROFILE, MATERIAL, AND PAINT COLOR. MATERIALS NOT SPECIFIED IN THESE PLANS SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF Vieux Carre Commission.
- CAREFULLY REMOVE DAMAGED PAINT. PREPARE SURFACE FOR NEW PAINT, AS REQUIRED, BY WASHING EXISTING FINISH WITH A MILD DETERGENT SOLUTION AND WITH THE USE OF A NATURAL BRISTLE BRUSH. CARE SHOULD BE TAKING TO AVOID CREATING DUST DURING REMOVAL. SAFETY GOGGLES AND A DUST MASK SHALL BE WORN AT ALL TIMES. THE FOLLOWING ITEMS SHALL NOT BE USED: HEAT TOOLS, POWER TOOLS OR CHAMBERS.
- DEMOLISH EXISTING WOOD FRAMING, WOOD LATTICE WORK, WOOD COLUMNS AND ASSOCIATED HANDRAILS OR CROWDING WHICH WILL REMAIN PROPERTIES. REFER TO PLANS FOR EXACT LOCATIONS. CARE SHALL BE TAKEN NOT TO DAMAGE THE EXISTING HISTORICAL BRICK.
- SHIELD AND PROTECT THE EXISTING MECHANICAL CONDENSING UNITS FROM DAMAGE AND EXCESSIVE DUST INGRESS DURING CONSTRUCTION. SIMULTANEOUSLY ALLOWING FOR THE PROPER VENTILATION OF THE UNIT AS RECOMMENDED BY THE MANUFACTURER. THE PROTECTION AT THE TOP OF THE UNIT SHALL BE OF A TYPE SIMILAR TO A METAL COVER WITH SPACERS SPACED SUFFICIENTLY TO ALLOW THE APPROPRIATE VOLUME OF AIR TO PASS THROUGH THE FAN AND VENT.
- PROTECT EXISTING ELECTRICAL PANELS AND METERS FROM DAMAGE DURING CONSTRUCTION WITH MATERIAL EQUIVALENT TO HALF INCH PLYWOOD IN STABILITY AND ATTACHED BY A WAY THAT WILL ALLOW ACCESS TO THE EQUIPMENT BY OUTSIDE PERSONNEL.
- ADJACENT PROPERTY SHALL BE PROTECTED FROM DAMAGE AND REPLACED IF DAMAGE OCCURS DURING CONSTRUCTION UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. ALL REPAIRS WILL BE MADE AT THE EXPENSE OF THE CONTRACTOR AND MUST ADHERE TO THE GUIDELINES ON THE CONSTRUCTION DOCUMENTS OR BY THE DIRECTION OF AND APPROVAL FROM THE Vieux Carre Commission.



2 SECTION THROUGH REAR STRUCTURE & POOL - GOV. NICHOLS (SIDE)
1/8" = 1'-0"

GRAY STUDIO
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GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: **MR. & MRS. SOREN GISLESON**
1118 BOURBON ST.
NEW ORLEANS, LA 70116

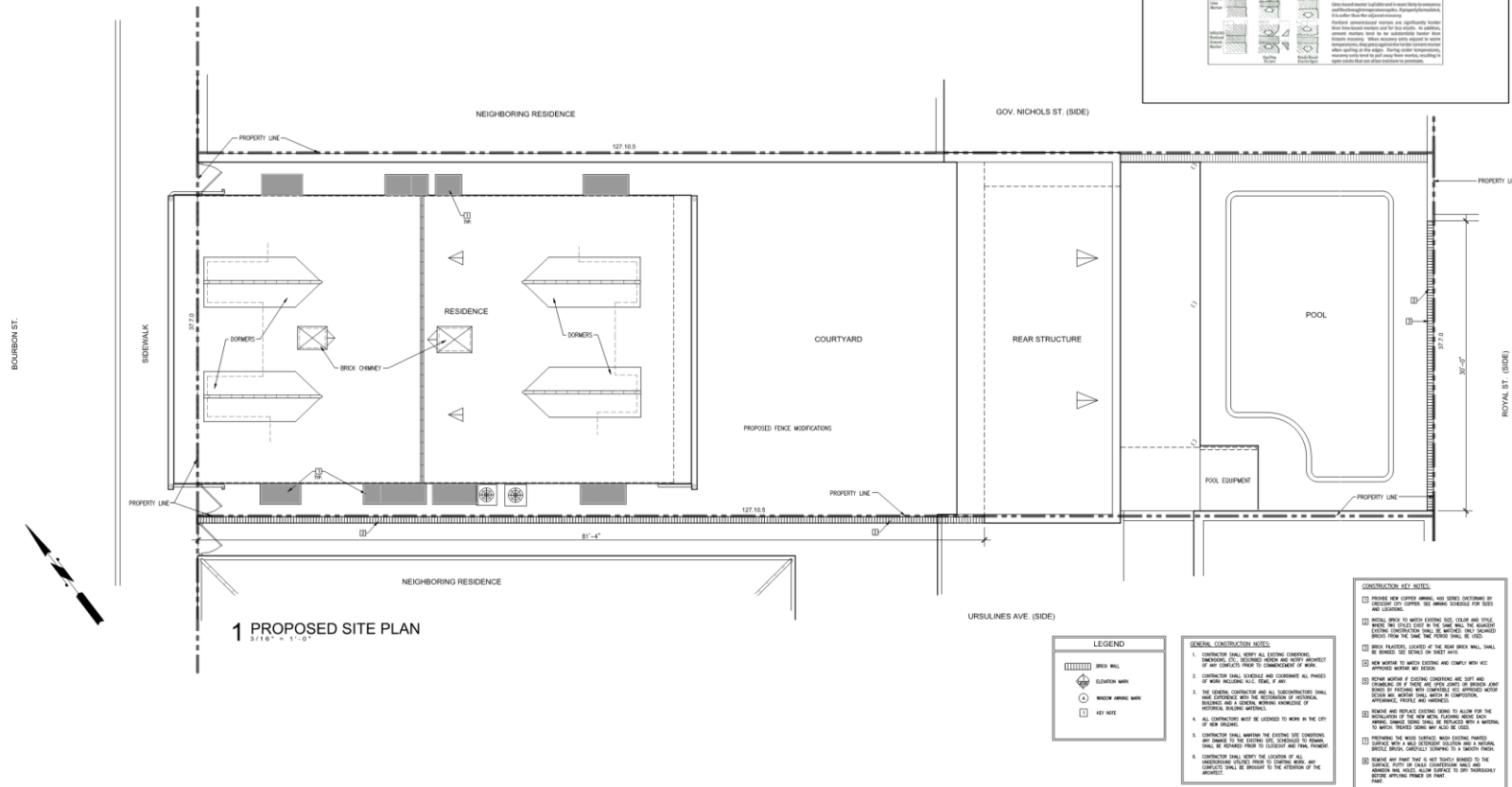
APRIL 1, 2021
Job Number: 2002
**EXTERIOR
ELEVATIONS
DEMOLITION**

A131



1120 Bourbon

VCC Architectural Committee



HDLC + VCC
APPROVED MORTAR FORMULA

MORTAR

1 part Portland Cement
3 parts lime
9 parts sand
enough water to form a workable mix

STUCCO

base coat - consists of 2 coats for 5/8" total thickness

1 part Portland Cement
3 parts lime
9 parts sand
6 lbs./cubic yard hair or fiber
enough water to form a workable mix

finish coat - 1/4" total thickness

1 part Portland Cement
3 parts lime
9 parts sand
enough water to form a workable mix

Vieux Carré Commission Approved Standard Mortar & Stucco Details

Mortar: No more than:
• 1 part Portland Cement, to
• 3 parts lime,
• 9 parts sand, and
• enough water to form a workable mix.

Propagated mixes are not permitted.

The resulting mortar should range in color from white to light gray and should not be gray or color. When requesting, all mortar to be used in work involving joint profiles, consult with VCC staff if existing joint profiles indicate same.

Stucco: Base coat consists of 2 coats, applied up to 1/2" total thickness. Proportioned as follows:
• 1 part Portland Cement, to
• 3 parts lime, and
• 9 parts sand,
• 6 lbs./cubic yard hair or fiber, and
• enough water to form a workable mix.

Finish coat is 1/4" total thickness proportioned as follows:
• No more than 1 part Portland cement,
• 3 parts lime,
• 9 parts sand,
• enough water to form a workable mix.

Propagated mixes are not permitted.

The resulting stucco should range in color from white to light gray and should not be gray or color.

Note: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12.
An incorrect mortar can damage an historic building and its materials.

REINFORCING RODS AND MESH:
Reinforcing rods and mesh should be used to repair deteriorated masonry walls and structures. The rods and mesh should be installed in the masonry walls and structures in a way that does not damage the historic fabric of the building. The rods and mesh should be installed in a way that does not damage the historic fabric of the building. The rods and mesh should be installed in a way that does not damage the historic fabric of the building.

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Gray Studio is a Vieux Carré Commission Approved Architectural Firm.



GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: **MR. & MRS. SOREN GISLESON**
1118 BOURBON ST.
NEW ORLEANS, LA 70116

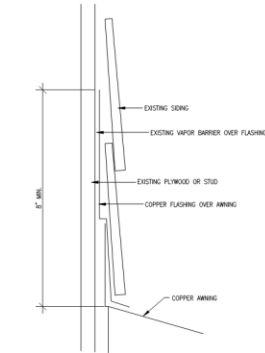
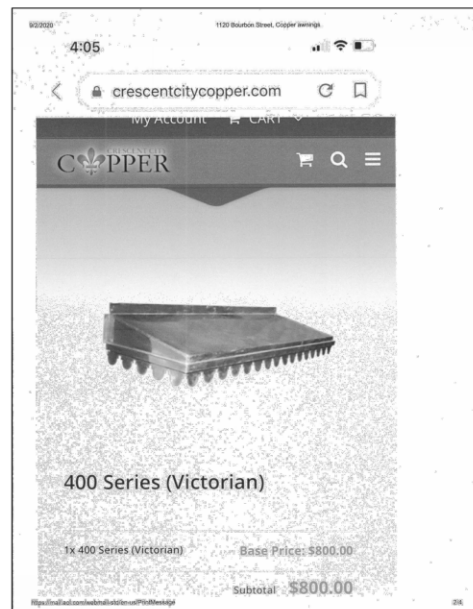
PERMIT SET

PROPOSED SITE PLAN

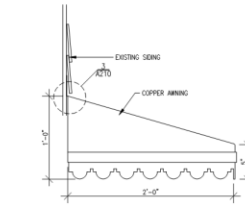
A200



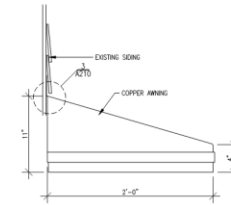
October 12, 2021



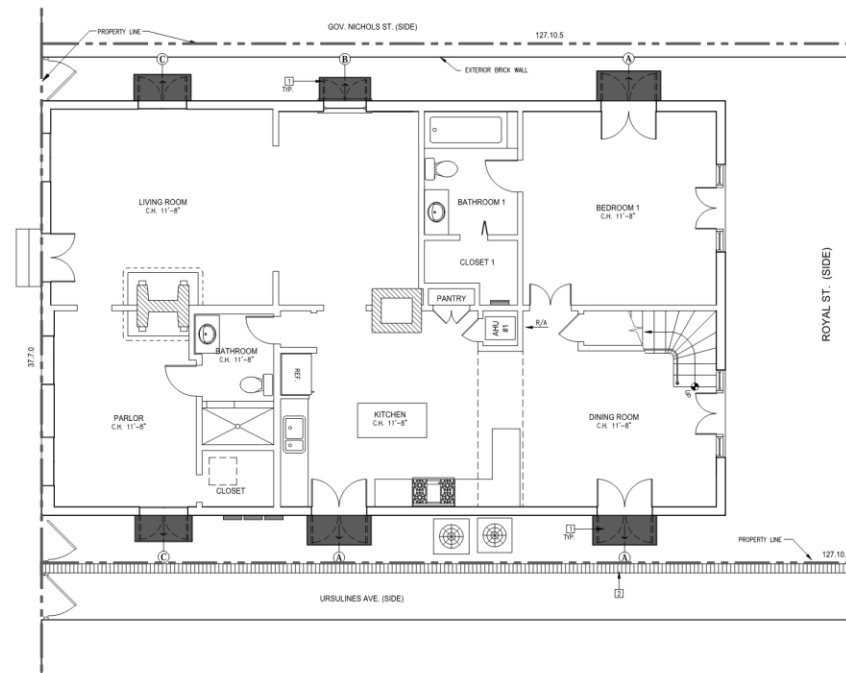
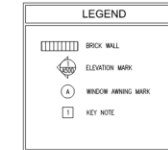
3 FLASHING DETAIL
1/2" ACTUAL SIZE



2 SECTION THROUGH AWNING
OPTION A



2B SECTION THROUGH AWNING
OPTION B



1 PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"

- GENERAL CONSTRUCTION NOTES:**
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., BEFORE BEGINNING WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL PHASES OF WORK INCLUDING A.I.C. (S&P, P&M).
 - THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL HAVE EXPERIENCE WITH THE RESTORATION OF HISTORICAL BUILDINGS AND A GENERAL WORKING KNOWLEDGE OF HISTORICAL BUILDING MATERIALS.
 - ALL CONTRACTORS MUST BE LICENSED TO WORK IN THE CITY OF NEW ORLEANS.
 - CONTRACTOR SHALL MAINTAIN THE EXISTING SITE CONDITIONS. ANY DAMAGE TO THE EXISTING SITE SCHEDULED TO REMAIN SHALL BE REPAIRED PRIOR TO CLOSEOUT AND FINAL PAYMENT.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

- CONSTRUCTION KEY NOTES:**
- PROVIDE NEW COPPER AWNING, 400 SERIES (VICTORIAN) BY CRESCENT CITY COPPER. SEE AWNING SCHEDULE FOR SIZES AND LOCATIONS.
 - METAL BRICK TO MATCH EXISTING SIZE, COLOR AND STYLE. WHERE TWO STYLES EXIST IN THE SAME WALL THE ALTERNATE EXISTING CONSTRUCTION SHALL BE MATCHED. ONLY SAWCUT BRICKS FROM THE SAME TIME PERIOD SHALL BE USED.
 - BRICK PLASTER, LOCATED AT THE REAR BRICK WALL, SHALL BE BONDED. SEE DETAILS ON SHEET #415.
 - NEW MORTAR TO MATCH EXISTING AND COMPLY WITH VCC APPROVED MORTAR MIX DESIGN.
 - REPAIR MORTAR IF EXISTING CONDITIONS ARE SOFT AND CRUMBLY OR IF THERE ARE OPEN JOINTS OR BROKEN JOINT BONDS BY PATCHING WITH COMPATIBLE VCC APPROVED MORTAR DESIGN MIX. MORTAR SHALL MATCH IN COMPOSITION, APPEARANCE, PROFILE AND HARDNESS.
 - REMOVE AND REPLACE EXISTING SIDING TO ALLOW FOR THE INSTALLATION OF THE NEW METAL FLASHING WHERE EACH AWNING. DAMAGE SIDING SHALL BE REPLACED WITH A MATERIAL TO MATCH TREATED SIDING MAY ALSO BE USED.
 - PREPARING THE WOOD SURFACE WITH EXISTING PAINTED SURFACE WITH A MILD DETERGENT SOLUTION AND A NATURAL BRISTLE BRUSH, CAREFULLY SCRAPING TO A SMOOTH FINISH.
 - REMOVE ANY PAINT THAT IS NOT TIGHTLY BONDED TO THE SURFACE. PUTTY OR CAULK COUNTERSINK NAILS AND ANCHORS NAIL HOLES. ALLOW SURFACE TO DRY THOROUGHLY BEFORE APPLYING PRIMER OR PAINT.

AWNING SCHEDULE						
MARK	AWNING SIZE W x D x H	GAUGE	OPENING TYPE	WIDTH OF ROUGH OPENING	DESCRIPTION	
A	4'-8" x 2'-2" x 1'-0"	18 GA.	DOUBLE DOOR	4'-7"	COPPER AWNING, NATURAL FINISH, 400 SERIES (VICTORIAN). MANUFACTURED & INSTALLED BY CRESCENT CITY COPPER.	
B	3'-0" x 1'-8 1/2" x 1'-0"	"	DOUBLE HUNG WINDOW	3'-8"	"	"
C	4'-2" x 1'-11" x 1'-0"	"	DOUBLE DOOR	4'-1"	"	"
D	2'-8" x 2'-2" x 1'-0"	"	PICTURE WINDOW	2'-7"	"	"

GENERAL AWNING NOTES:
1. VERIFY ALL ROUGH OPENING SIZES IN THE FIELD PRIOR TO MANUFACTURING AWNINGS.

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(504) 508-0440
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Gray Studio is a Creative Studio
Specializing in Architectural Rendering
and 3D Visualization of Business Environments



GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: **MR. & MRS. SOREN GISLESON**
1118 BOURBON ST.
NEW ORLEANS, LA 70116

PERMIT SET

APRIL 23, 2021

APRIL 1, 2021
Job Number: 2002

**PROPOSED
FIRST FLOOR
PLAN**

A210



1120 Bourbon

VCC Architectural Committee

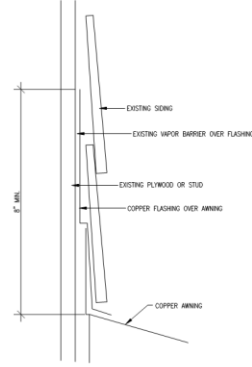
October 12, 2021

1120 Bourbon

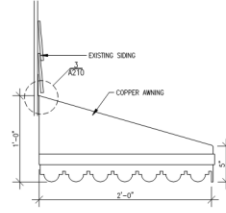
VCC Architectural Committee

- GENERAL CONSTRUCTION NOTES:**
1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., DESCRIBED HEREIN AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
 2. CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL PHASES OF WORK INCLUDING N.I.C. ITEMS, IF ANY.
 3. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL HAVE EXPERIENCE WITH THE RESTORATION OF HISTORICAL BUILDINGS AND A GENERAL WORKING KNOWLEDGE OF HISTORICAL BUILDING MATERIALS.
 4. ALL CONTRACTORS MUST BE LICENSED TO WORK IN THE CITY OF NEW ORLEANS.
 5. CONTRACTOR SHALL MAINTAIN THE EXISTING SITE CONDITIONS; ANY DAMAGE TO THE EXISTING SITE SCHEDULED TO REPAIR SHALL BE REPAIRED PRIOR TO CLOSEOUT AND FINAL PAYMENT.
 6. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- CONSTRUCTION KEY NOTES:**
1. PROVIDE NEW COPPER AWNING, 400 SERIES (VICTORIAN) BY CRESCENT CITY COPPER. SEE AWNING SCHEDULE FOR SIZES AND LOCATIONS.
 2. INSTALL BRICK TO MATCH EXISTING SIZE, COLOR AND STYLE. WHERE TWO STYLES EXIST IN THE SAME WALL, THE ADJACENT EXISTING CONSTRUCTION SHALL BE MATCHED. ONLY SAWNEED BRICKS FROM THE SAME TIME PERIOD SHALL BE USED.
 3. BRICK PLASTER, LOCATED AT THE REAR BRICK WALL, SHALL BE REPEALED. SEE DETAILS ON SHEET A410.
 4. NEW MORTAR TO MATCH EXISTING AND COMPLY WITH VCC APPROVED MORTAR MIX DESIGN.
 5. REPAIR MORTAR IF EXISTING CONDITIONS ARE SOFT AND CRUMBLY OR IF THERE ARE OPEN JOINTS OR BROKEN JOINT BONDS BY PATCHING WITH COMPATIBLE VCC APPROVED MORTAR DESIGN MIX. MORTAR SHALL MATCH IN COMPOSITION, APPEARANCE, PROFILE AND HARDNESS.
 6. REMOVE AND REPLACE EXISTING SIDING TO ALLOW FOR THE INSTALLATION OF THE NEW METAL FLASHING ABOVE EACH AWNING. DAMAGE SIDING SHALL BE REPLACED WITH A MATERIAL TO MATCH TREATED SIDING MAY ALSO BE USED.
 7. PREPARE THE WOOD SURFACE, WHICH EXISTING PAINTED SURFACE WITH A MILD DETERGENT SOLUTION AND A NATURAL BRISTLE BRUSH, CAREFULLY SCRAPING TO A SMOOTH FINISH.
 8. REMOVE ANY PAINT THAT IS NOT TIGHTLY BONDED TO THE SURFACE, PUTTY OR CAULK COUNTERSINK NAILS AND MINOR HOLE HOLES ALLOW SURFACE TO DRY THOROUGHLY BEFORE APPLYING PRIMER OR PAINT.

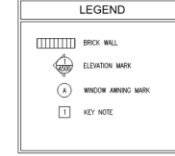
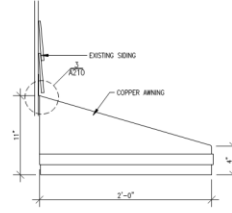
3 FLASHING DETAIL
1/2 ACTUAL SIZE



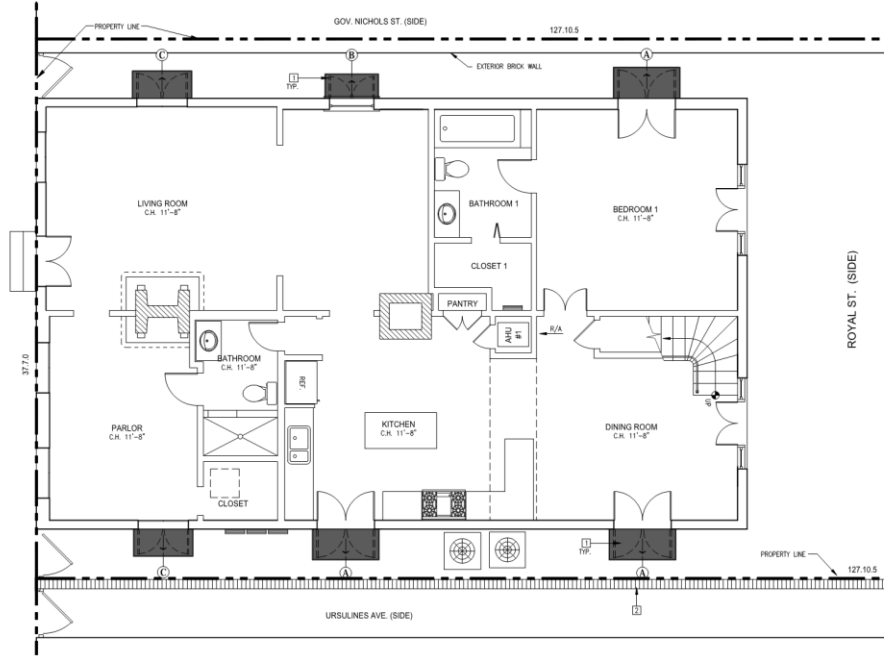
2 SECTION THROUGH AWNING
OPTION A



2B SECTION THROUGH AWNING
OPTION B



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



AWNING SCHEDULE					
MARK	AWNING SIZE W x D x H	GAUGE	OPENING TYPE	WIDTH OF ROUGH OPENING	DESCRIPTION
A	4'-8" x 2'-2" x 1'-0"	16 GA.	DOUBLE DOOR	4'-2"	COPPER AWNING, NATURAL FINISH, 400 SERIES (VICTORIAN). MANUFACTURED & INSTALLED BY CRESCENT CITY COPPER.
B	3'-8" x 1'-8" 1/2" x 1'-0"	"	DOUBLE HUNG WINDOW	3'-8"	"
C	4'-2" x 1'-11" x 1'-0"	"	DOUBLE DOOR	4'-1"	"
D	2'-8" x 2'-2" x 1'-0"	"	PICTURE WINDOW	2'-2"	"

GENERAL AWNING NOTES:
1. VERIFY ALL ROUGH OPENING SIZES IN THE FIELD PRIOR TO MANUFACTURING AWNINGS.

GISLESSEN RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: MR. & MRS. SOREN GISLESSEN
1118 BOURBON ST.
NEW ORLEANS, LA 70116

SECOND FLOOR PLAN

A220

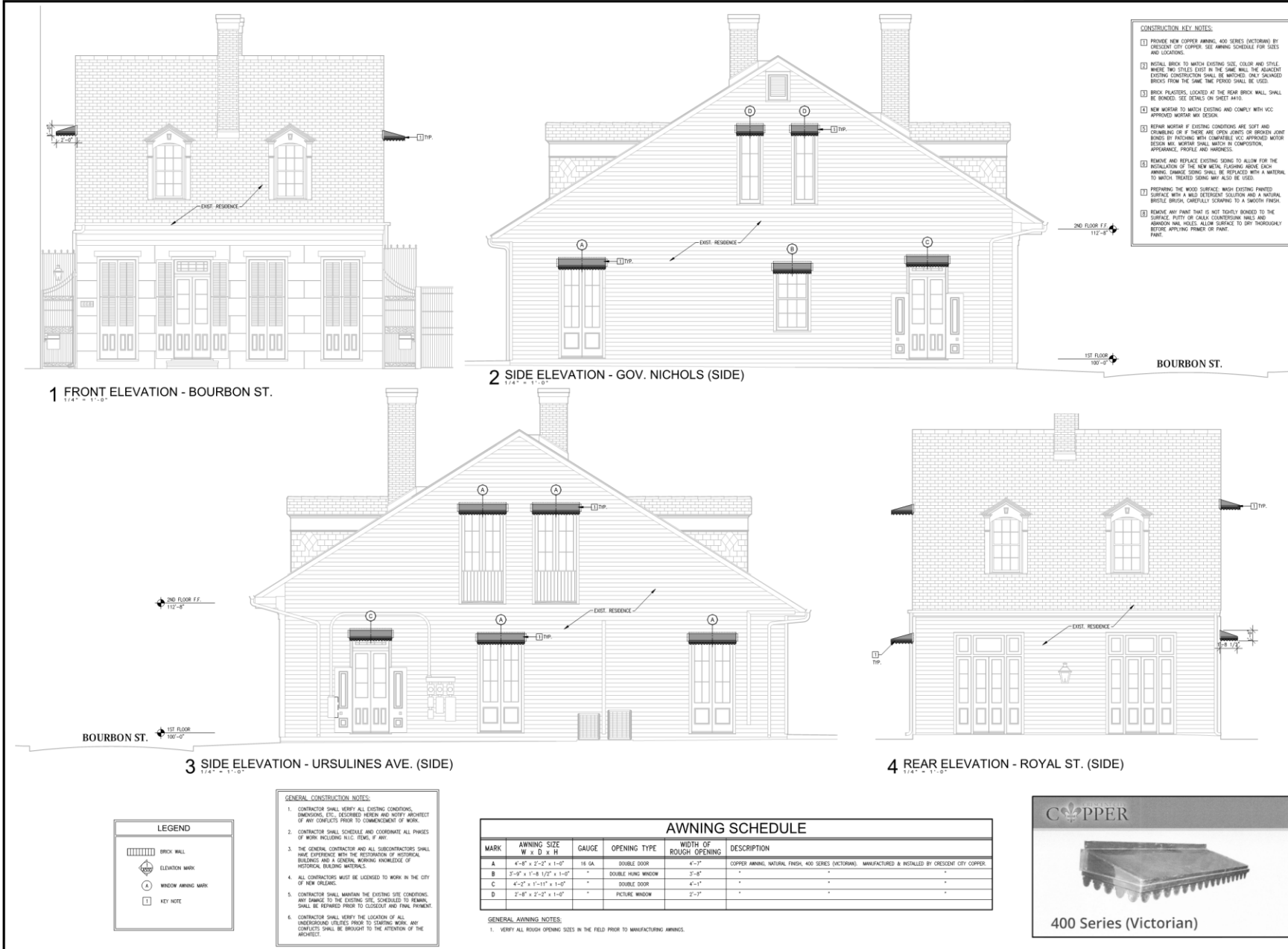
October 12, 2021

GRAY STUDIO
3145 Magazine Street
New Orleans, Louisiana 70119
504.581.1111
www.graystudio.com



PERMIT SET





GRAY STUDIO
3145 Maple Street
New Orleans, Louisiana 70119
504.581.1111
www.graystudio.com

GRAY STUDIO
Soren Soren Gisleon
Professional Engineer
State of Louisiana
No. 111111

PERMIT SET

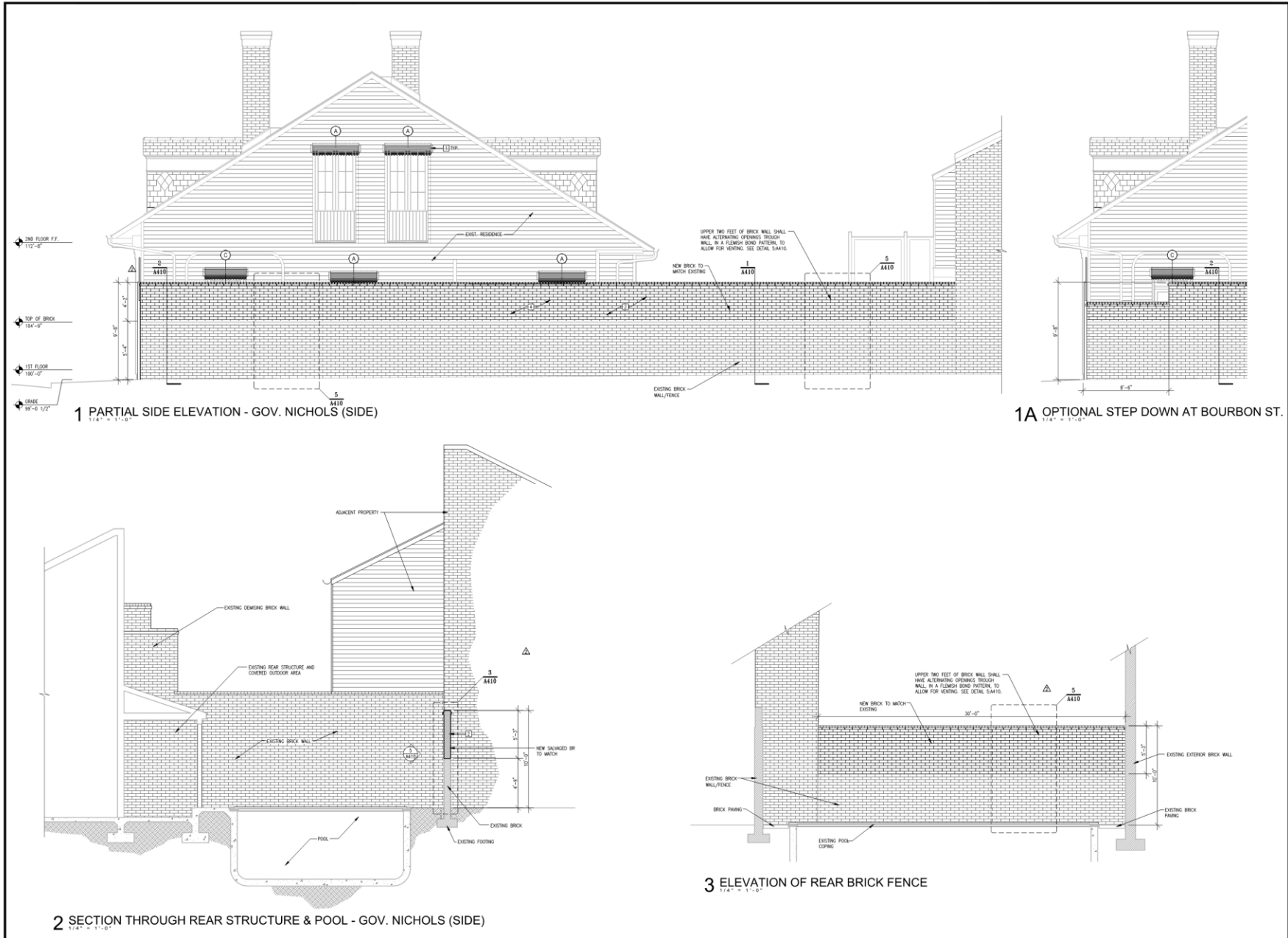
GISLEON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: **MR. & MRS. SOREN GISLEON**
1118 BOURBON ST.
NEW ORLEANS, LA 70116

APRIL 1, 2021
Job Number: 2002

PROPOSED EXTERIOR ELEVATIONS

A400





GRAY STUDIO
3145 Marquette Street
New Orleans, Louisiana 70119
504.586.1111
graystudio.com
graystudio@gmail.com

SEAL OF THE CITY OF NEW ORLEANS
OFFICE OF THE PLANNING COMMISSIONER

GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: MR. & MRS. SOREN GISLESON
1118 BOURBON ST.
NEW ORLEANS, LA 70116

PERMIT SET

APRIL 1, 2021
Job Number: 2002

PROPOSED
EXTERIOR
ELEVATIONS

A401



1120 Bourbon

VCC Architectural Committee

October 12, 2021

[illegible]

CLIENT: John Gray
PROJECT: 1120 Bourbon St., New Orleans, LA 70116



February 23, 2021

To: John Gray
1120 Bourbon St.
New Orleans, LA 70116

Project Name: 1120 Bourbon St., New Orleans, LA 70116 Masonry Fence Walls

To whom it may concern,

This letter is to address the structural nature of an existing multi-wythe brick masonry fence wall located on 3 sides of the property located at 1120 Bourbon St., New Orleans, LA 70116.

Our office was contacted by Mr. John Gray, who we met onsite on February 19th, 2021. Our scope of work was to opine on the structural nature of an existing multi-wythe brick masonry fence wall located on or about the northeast, northwest, and southeast property lines of the subject residence and considerations of adding to the height of each wall. The existing masonry fences do not have integral brick masonry pilasters at the time of the writing of this letter, however, this letter is meant to propose the use of integral brick masonry pilasters due to the new proposed heights of the 3 walls at the subject property. The pilasters are proposed to be constructed and spaced as prescribed in Figure 1- Maximum Ratio of Unsupported Length to Nominal Thickness and is based on an empirical design. The total weight imposed is below the 750psf typically observed for allowable bearing pressures without soil investigations in this area of the City of New Orleans.

The pilasters proposed to be integrated into masonry walls will provide out-of-plane lateral support to the overall system of the wall. The foundations observed underneath the masonry wall were horizontal brick masonry approximately three (3) courses deep bearing on existing clay soil.

We recommend the following references that define and clarify terms and definitions:

- 1) Masonry Columns, Piers, Pilasters - How To Engineer (<https://howtoengineer.com/masonry-column-pier-pilaster/>)
- 2) Designing and building pilasters by Kenneth A. Hooker, Publication #M950214, Concrete Construction May 1995, with additional references within (attached).

If there are any questions, please do not hesitate to contact us.

Respectfully,

Gabriel I. Cofield

02/23/2021

Gabriel I. Cofield, P.E.
PACE Group, LLC



1120 Bourbon

VCC Architectural Committee

400 S. Norman C. Francis Parkway, New Orleans, LA 70119
Phone: (504) 206-3834
info@pacegroupllc.com

October 12, 2021



ProjectName: 1120 Bourbon St., New Orleans, LA 70116 Masonry Fence Walls

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Designing and building pilasters

Venerable technique adds needed stiffness to masonry walls

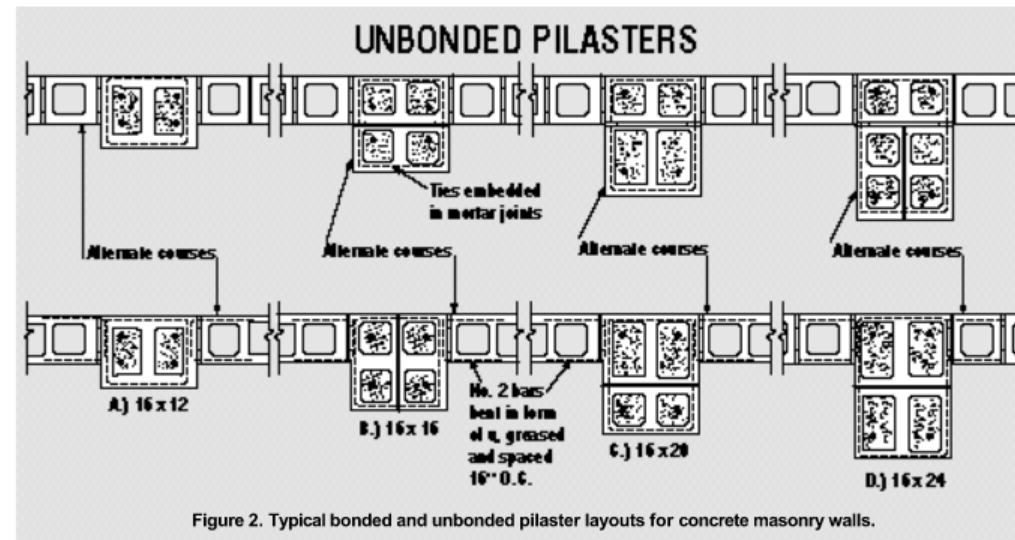
By Kenneth A. Hooker

Engaged columns, so prevalent in classical architecture, do more than simply add visual rhythm to long masonry walls. Called *pilasters*, these masonry elements serve structural as well as ornamental functions. And though today's versions typically lack the decorative bases and capitals of historical precedent, they remain an effective way to increase masonry's structural capacity.

Strong in compression but relatively weak in tension, plain (unreinforced) masonry supports vertical loads easily but has considerably less capacity to resist lateral loads from wind or seismic activity. Lateral support can be provided by horizontal elements, such as floor and roof diaphragms, or by vertical elements such as shear walls within the building. Steel reinforcement and grout in a wall also add strength

and stiffness.

Incorporating pilasters, i.e. thicker, stronger wall sections, at intervals along the wall is an alternative way to provide lateral support, in cases where other methods are impractical or uneconomical. For warehouses or industrial buildings that require high ceilings and unobstructed interior spaces, for example, pilasters can provide needed stiffness at lower cost than uniformly

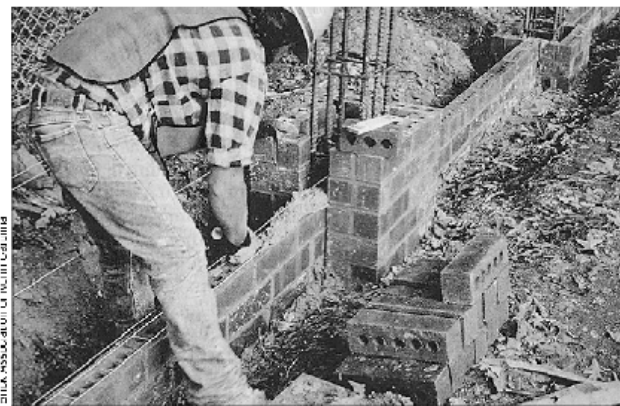


1120 Bourbon

VCC Architectural Committee

October 12, 2021





2016A-0000-0000-0000-0000-0000

This highway noise barrier wall under construction shows an unbonded reinforced brick masonry pilaster that provides lateral support for the single-wythe brick panels.

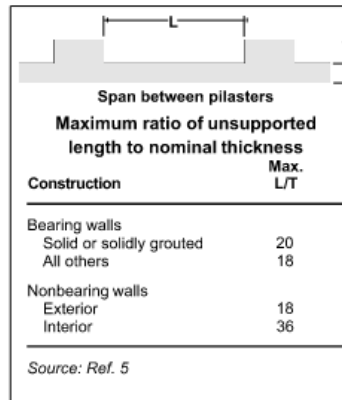
distributed reinforcement, and without the expense and wasted space of thicker masonry. In many such cases, they also are used to support vertical loads imposed by roof trusses or beams. Pilasters also are commonly used in free-standing masonry garden or noise barrier walls that have no horizontal support at the top.

Design requirements

In walls designed empirically,

the placement of pilasters is governed by maximum length-to-thickness ratios. The table in Figure 1 shows these ratios for both loadbearing and non-loadbearing walls.

For engineered design of walls with pilasters, you need to determine the magnitude of lateral loads and how they will be transmitted to the pilasters by the adjacent wall panels. Axial loads imposed by beams or trusses sup-

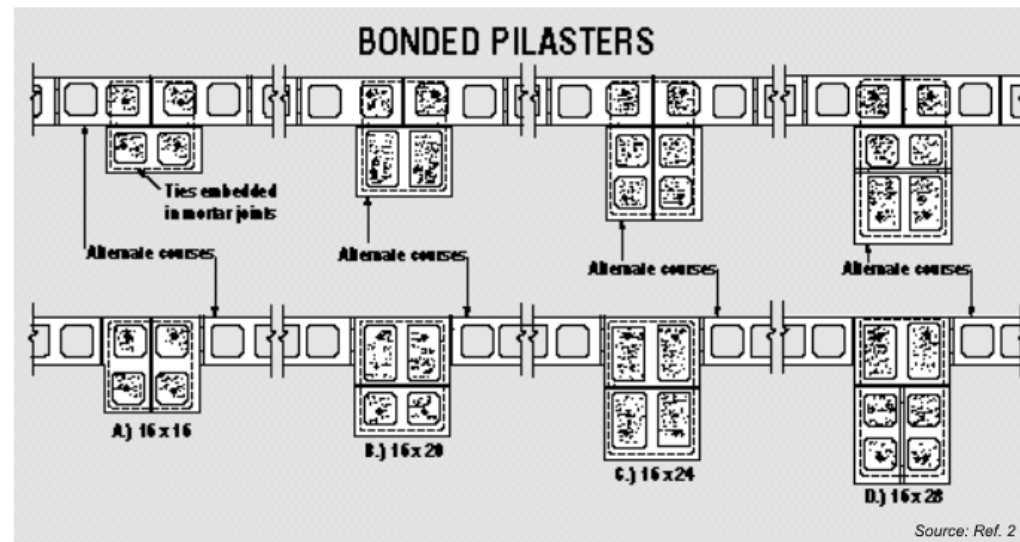


Source: Ref. 5

Figure 1. In empirically designed walls, pilaster spacing is based on maximum length-to-thickness ratios.

ported on pilasters also will affect the pilasters' behavior and should be considered in the design. More complete and detailed information on the analytical design of pilasters is available in Refs. 1, 2, and 3.

Pilasters can be built of solid units or of hollow units, with or without grout, or reinforced and grouted. In hollow-unit construction, however, pilasters typically are grouted and reinforced, be-



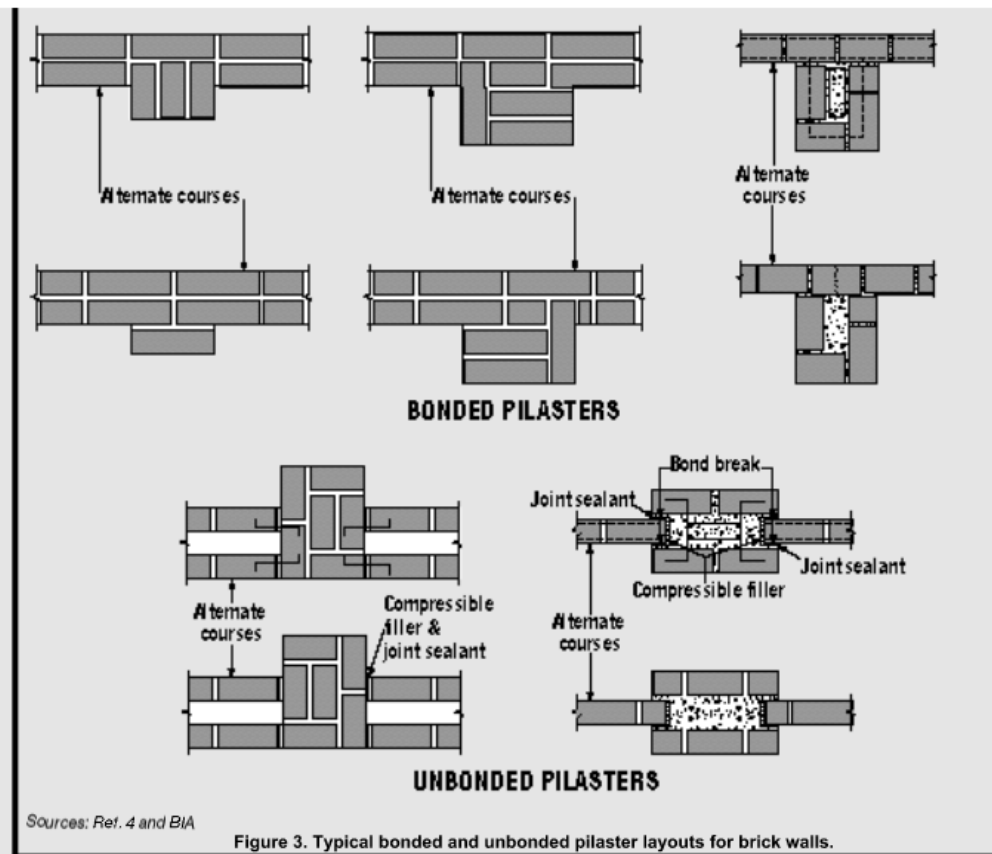


Figure 3. Typical bonded and unbonded pilaster layouts for brick walls.

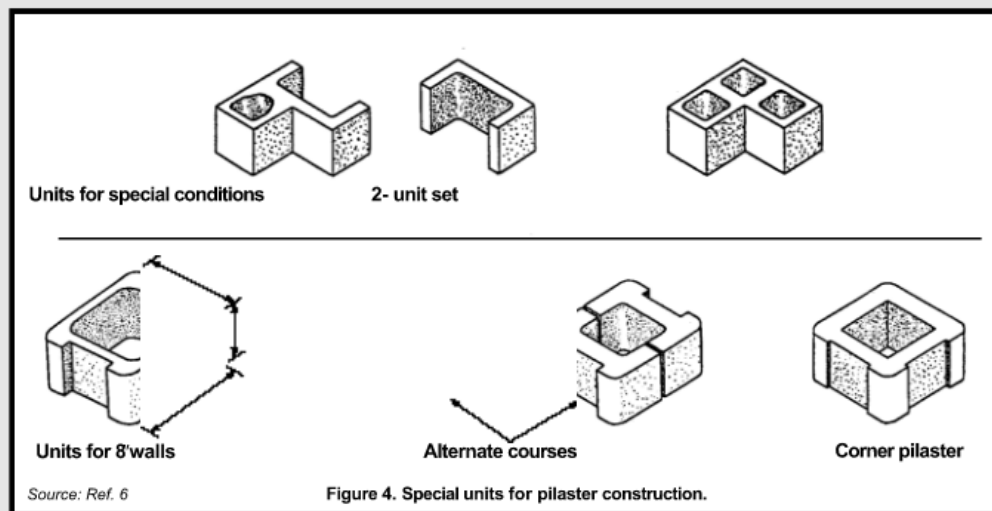


Figure 4. Special units for pilaster construction.

cause they are acting as flexural members. Vertical reinforcement greatly increases their flexural strength.

A pilaster may be centered in or through the wall, fully offset from the wall, or somewhere in between. Those that are built within the wall's thickness are called hidden or flush pilasters; those that project on one side only are called interior or exterior pilasters. Although there is some difference in the structural behavior of pilasters in different positions relative to the wall, in practice, the placement often is determined more by aesthetic preference or interior space requirements than by structural considerations.

Bonded or unbonded

Pilasters most often are constructed as an integral part of the wall, with units laid in a coursing pattern that keys in with the wall's running bond. In some cases, however, it can be preferable to build the pilaster unbonded to provide for crack control. Figures 2 and 3 show some typical layouts of both bonded and unbonded pilasters.

An unbonded pilaster would be used when a control joint is located adjacent to a pilaster in a concrete masonry wall. Another example is when a reinforced pilaster in an otherwise unreinforced clay masonry wall is designed to carry heavy vertical loads. Making the pilaster unbonded can relieve shear and tensile stresses that could result from differential movements between the pilaster and the wall (Ref. 4).

In either case, a suitable mechanical connection must be made between the pilaster and the wall to ensure the transfer of lateral loads. Under empirical design, codes require that wire ties at least 1/4 inch in diameter be embedded in bed joints at 16 inches o.c. vertically to provide the structural connection.

The soft joint between a clay brick wall and an unbonded pi-

laster should be filled with a compressible material to accommodate expansion of the brick. For control joints at pilasters in concrete masonry, U-shaped wire ties with greased legs in the mortar joints will allow in-plane movement while resisting lateral loads.

Reinforcement details

The size and number of vertical reinforcing bars in a pilaster will depend on the structural requirements. Bars need to be positioned with enough clearance from the masonry units to allow grout to flow around the bars.

If pilasters are used to carry large axial loads, they act as columns and thus must meet prescriptive requirements for masonry columns. The MSJC code (*Building Code Requirements for Masonry Structures, ACI 530/ASCE 5/TMS 402*) requires a minimum of four vertical bars enclosed by horizontal wire ties at least 1/4 inch in diameter, spaced no more than 16 inches o.c. vertically. Other prescriptive requirements may apply depending on the pilaster's size and use.

Special units

Most pilaster configurations can be built using combinations of standard units, but a variety of hollow units are produced especially for building pilasters (see Figure 4). These can ease construction by reducing the number of units needed, providing more open space for reinforcing and grout, and eliminating the need to thread units over reinforcing bars. When considering the use of special pilaster units, check with a local supplier on the availability of particular shapes. And plan the layout carefully to make sure to order everything you need; many special units require different configurations to be used in alternate courses.

Whether built with standard or special units, pilasters are an element of traditional masonry construction that contemporary designers can use to serve both aesthetic and functional purposes. ■

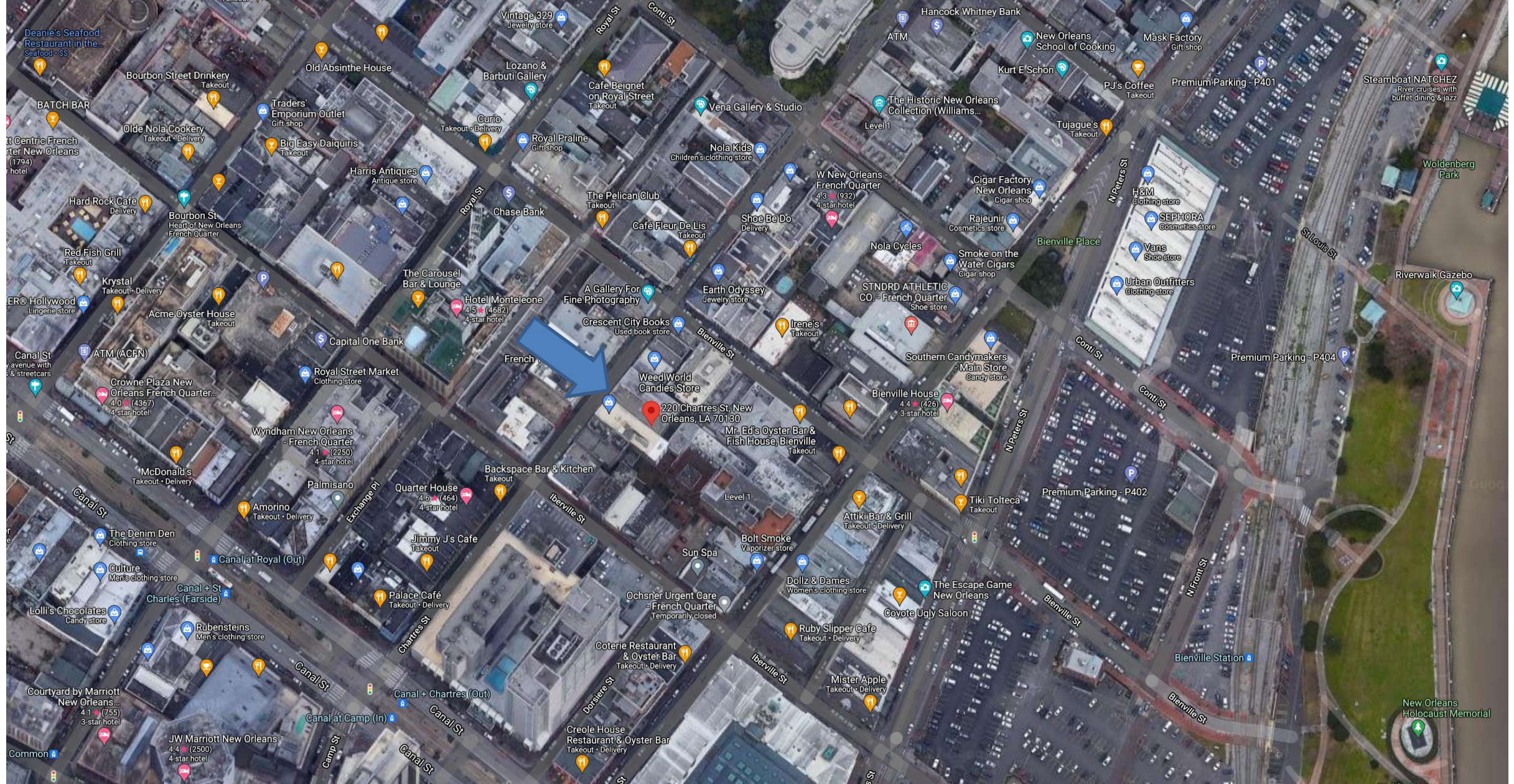
References

1. *Masonry Designers' Guide*, John H. Matthys, editor, 1993, The Masonry Society, 3775 Iris Ave., Boulder, CO 80301.
2. NCMA-TEK 17-4, "Reinforced Concrete Masonry Pilaster Design," National Concrete Masonry Association, 2302 Horse Pen Rd., Herndon, VA 22071.
3. "Reinforced Brick Masonry Columns and Pilasters," *BIA Technical Notes on Brick Construction*, Number 171, Brick Institute of America, 11490 Commerce Park Dr., Reston, VA 22091.
4. *Brick and Tile Engineering*, Harry C. Plummer, 1962, BIA.
5. *Masonry Design and Detailing, Third Edition*, Christine Beall, 1993, McGraw-Hill.
6. W.C. Panarese, S.H. Kosmatka, and F.A. Randall Jr., *Concrete Masonry Handbook, Fifth Edition*, 1991, Portland Cement Association, 5420 Old Orchard Rd., Skokie, IL 60077.



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll. The shield is flanked by two vertical bars with diamond-shaped patterns. The entire shield is enclosed within a decorative border. The text "VIEUX CARRE COMMISSION" is written in a semi-circle along the top edge of the oval, and "ESTABLISHED 1936" is written along the bottom edge.

220-22 Chartres



220-22 Chartres

VCC Architectural Committee

October 12, 2021





220-22 Chartres

VCC Architectural Committee

October 12, 2021





220-22 Chartres

VCC Architectural Committee

October 12, 2021





220-22 Chartres – 1965

VCC Architectural Committee

October 12, 2021





220-22 Chartres

VCC Architectural Committee

October 12, 2021



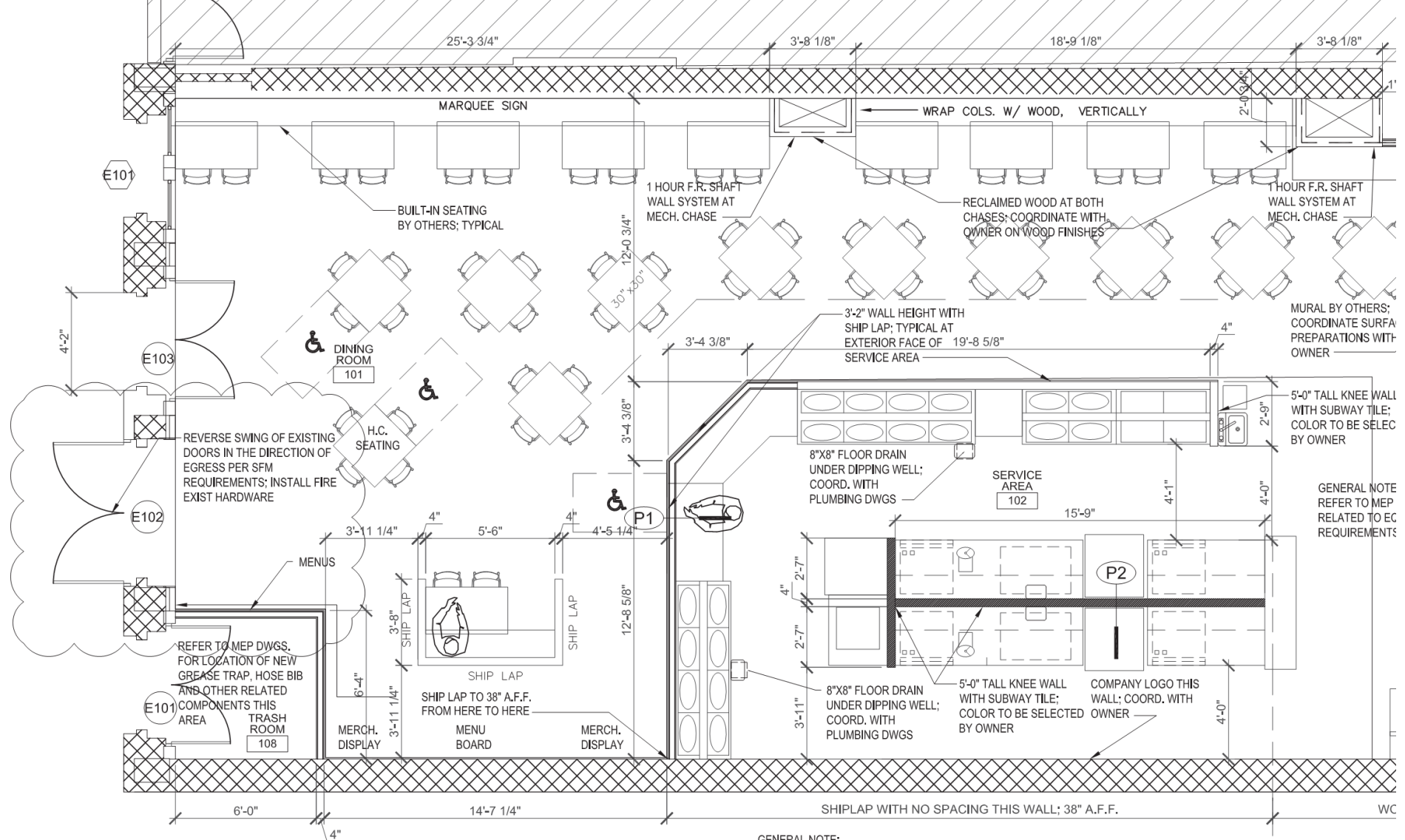


220-22 Chartres

VCC Architectural Committee

October 12, 2021





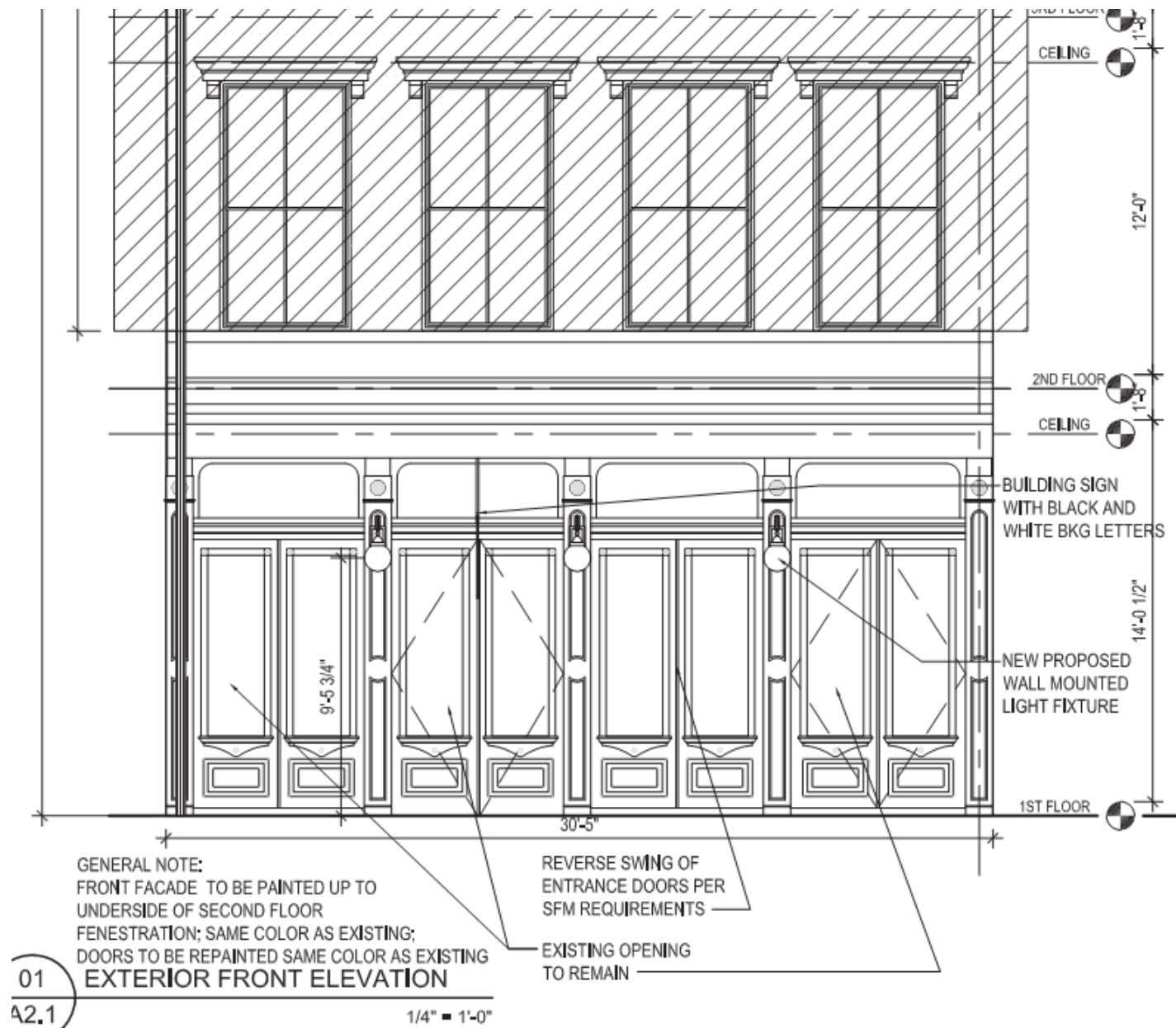
01 PROPOSED FLOOR PLAN
A1.9

1/4" = 1'-0"

GENERAL NOTE:

1. REFER TO EQUIPMENT PLAN AND MEP DRAWINGS FOR SPECIFIC INFORMATION ON EQUIPMENT.
2. ALL FURNITURE TO BE INSTALLED AND SPECIFIED BY OWNER.
3. ALL SHIP LAP TO HAVE 1/8" SPACING- EXCEPT WHERE NOTED OTHERWISE.





220-22 Chartres

VCC Architectural Committee

October 12, 2021





220-22 Chartres

VCC Architectural Committee

October 12, 2021





220-22 Chartres

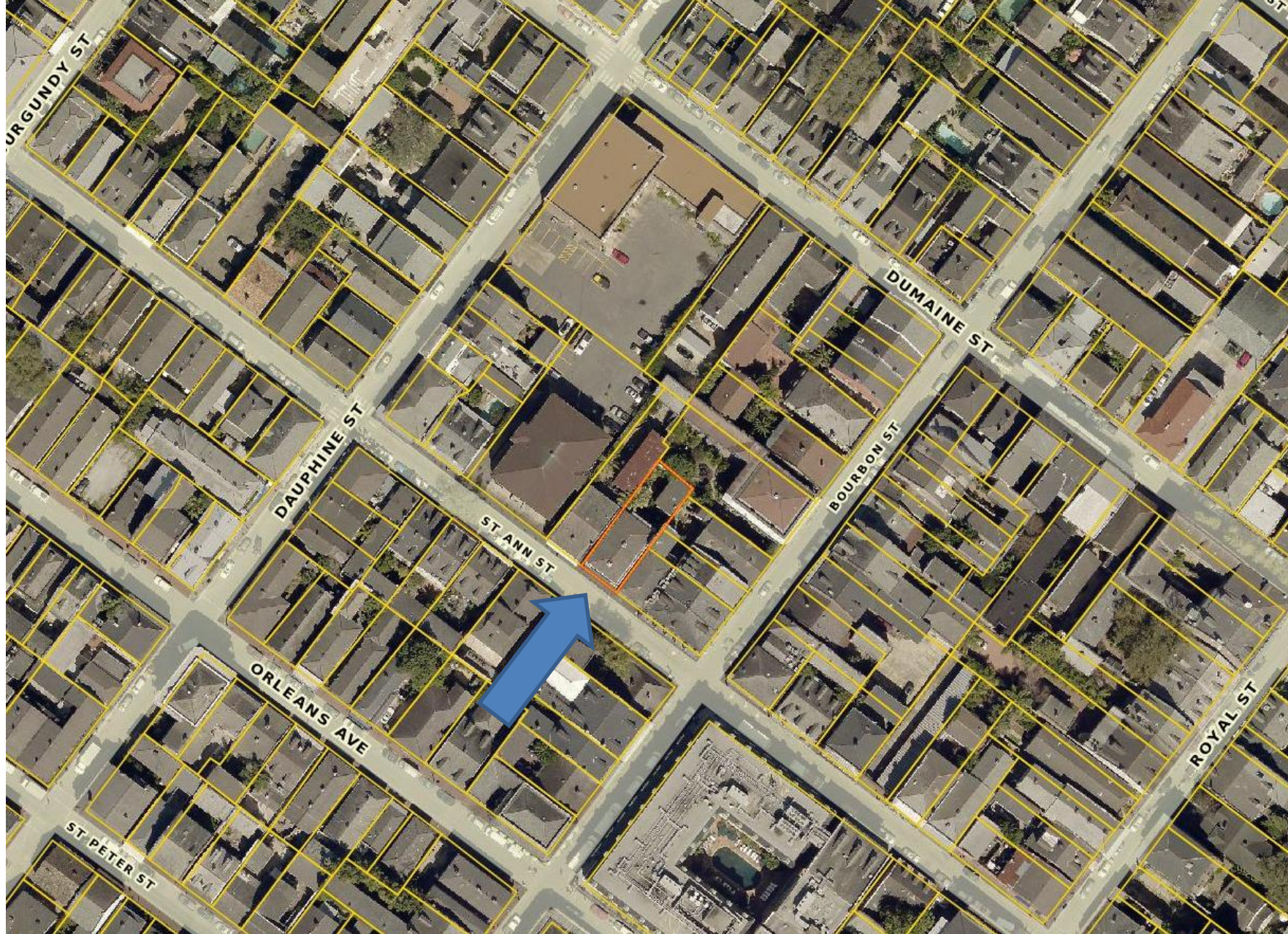
VCC Architectural Committee

October 12, 2021



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll at the base. The shield is flanked by two vertical bars with diamond-shaped details. The words "VIEUX CARRE COMMISSION" are arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

815 St Ann



815 St. Ann





815 St. Ann



815 St. Ann

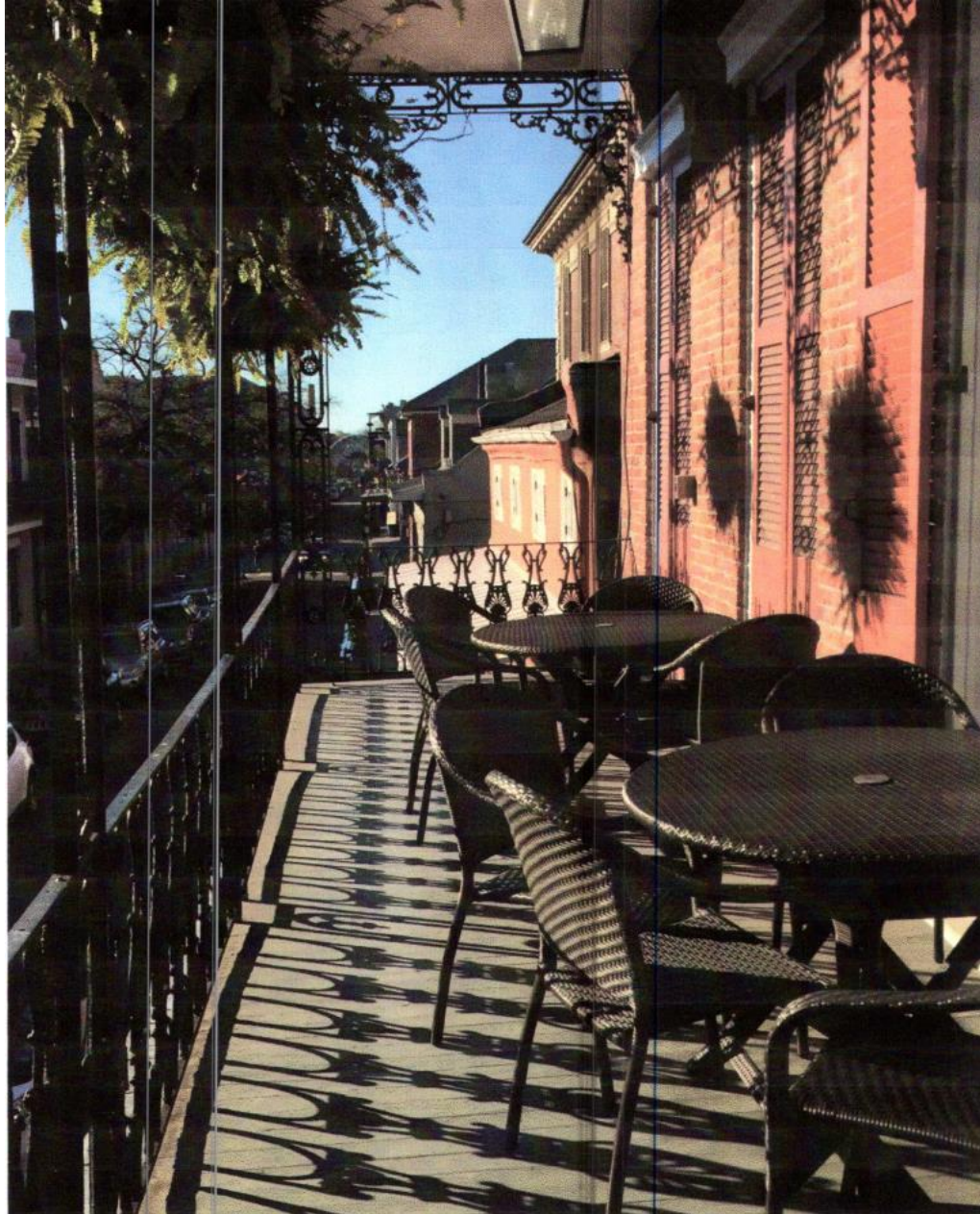
VCC Architectural Committee

October 12, 2021





815 St. Ann - 1974



815 St. Ann

VCC Architectural Committee

October 12, 2021





815 St. Ann

VCC Architectural Committee

October 12, 2021





815 St. Ann

VCC Architectural Committee

October 12, 2021





815 St. Ann

VCC Architectural Committee

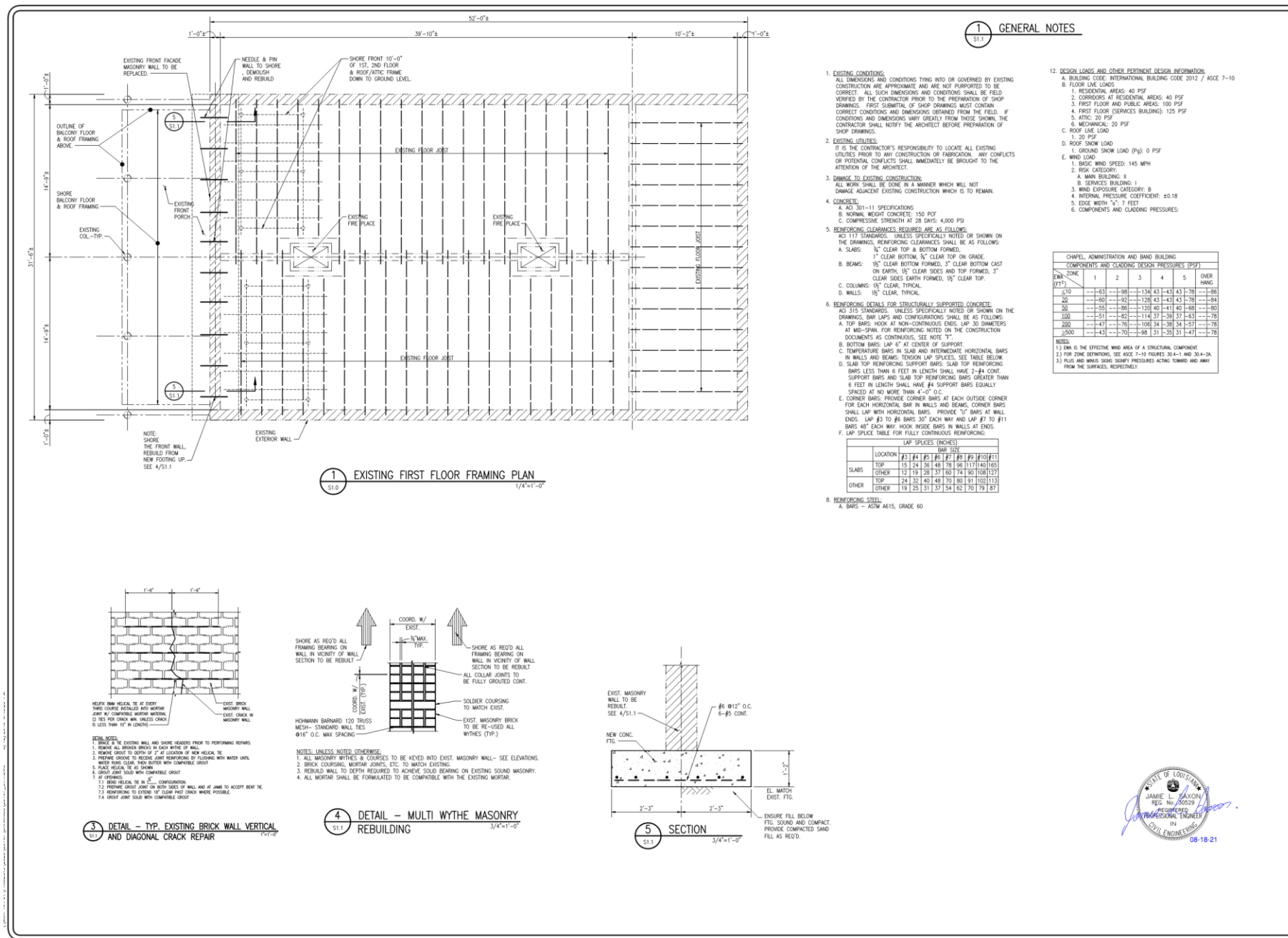
October 12, 2021



815 St. Ann

VCC Architectural Committee

October 12, 2021



REVISIONS

NO.	DESCRIPTION	DATE

MORPHY Consulting Engineers
336 N. NORMAN C. FRANCIS PARK
NEW ORLEANS, LOUISIANA 70119
PHONE: (504) 488-1317
FAX: (504) 488-0924
Web: www.mrm-eng.com

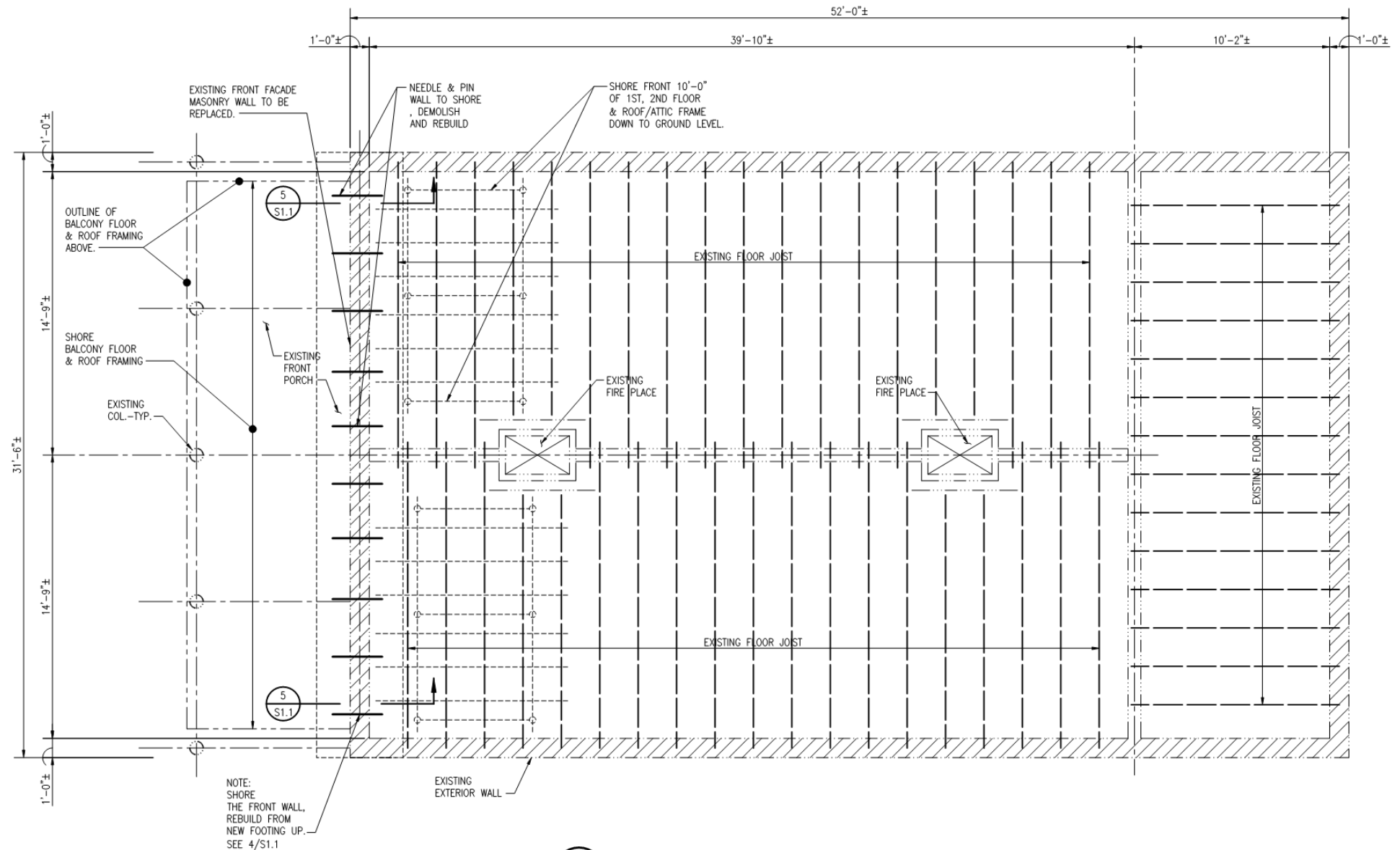
MAKOFSKY INCORPORATED

**815 ST ANN ST
MASONRY WALL REPAIRS
NEW ORLEANS, LA 70130**

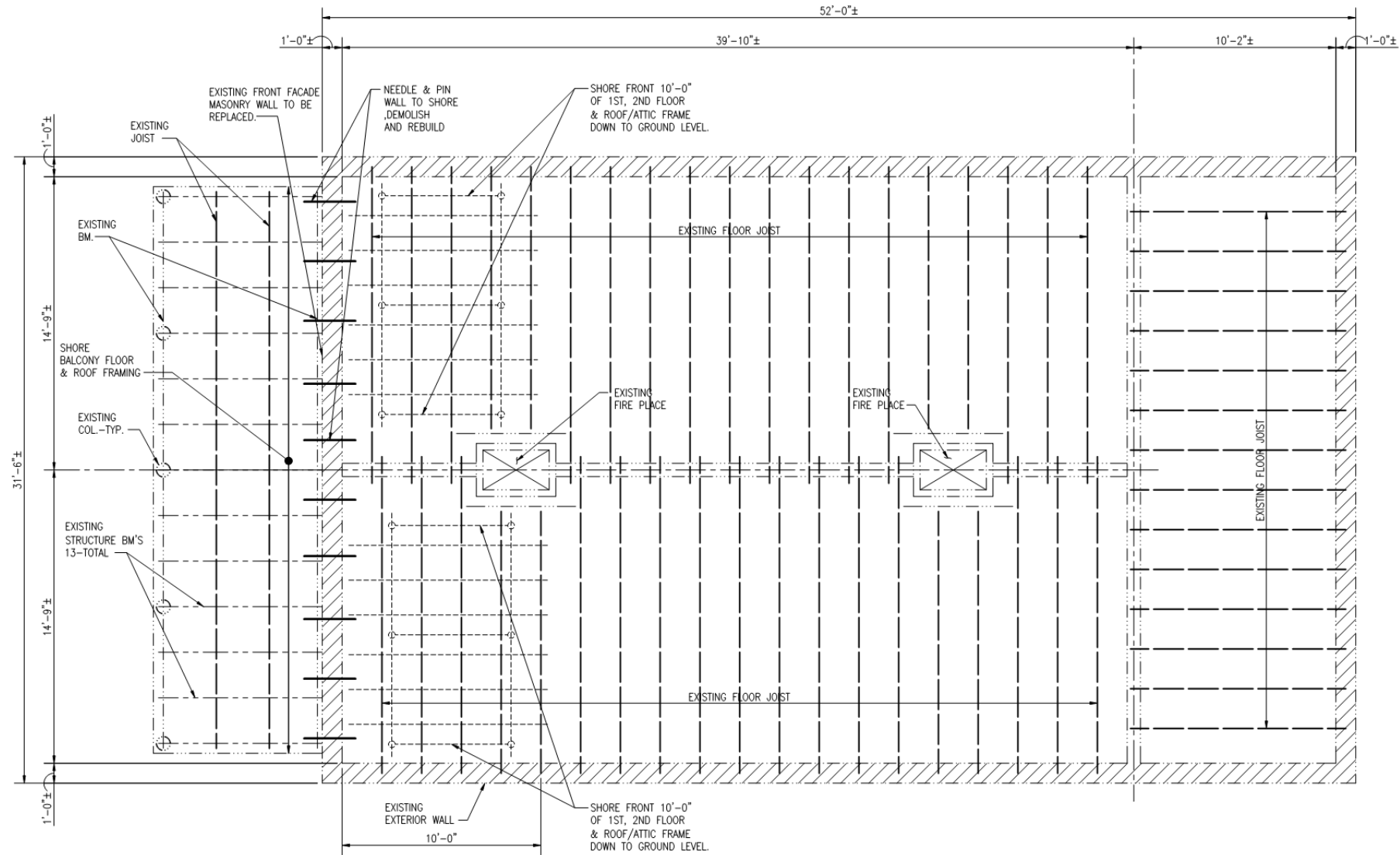
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DATE 08-18-21
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SCALE AS SHOWN
JOB NO. 20167
SHEET
S1.1
1 OF 3

APPROVED
JAMIE M. MAKOFSKY
REG. No. 50529
PROFESSIONAL ENGINEER
IN
CIVIL ENGINEERING
08-18-21

ARRE COMMISSION
ESTABLISHED 1936



1 EXISTING FIRST FLOOR FRAMING PLAN
 S1.0 1/4"=1'-0"



1
S1.2
EXISTING SECOND FLOOR FRAMING PLAN
1/4"=1'-0"

815 St. Ann

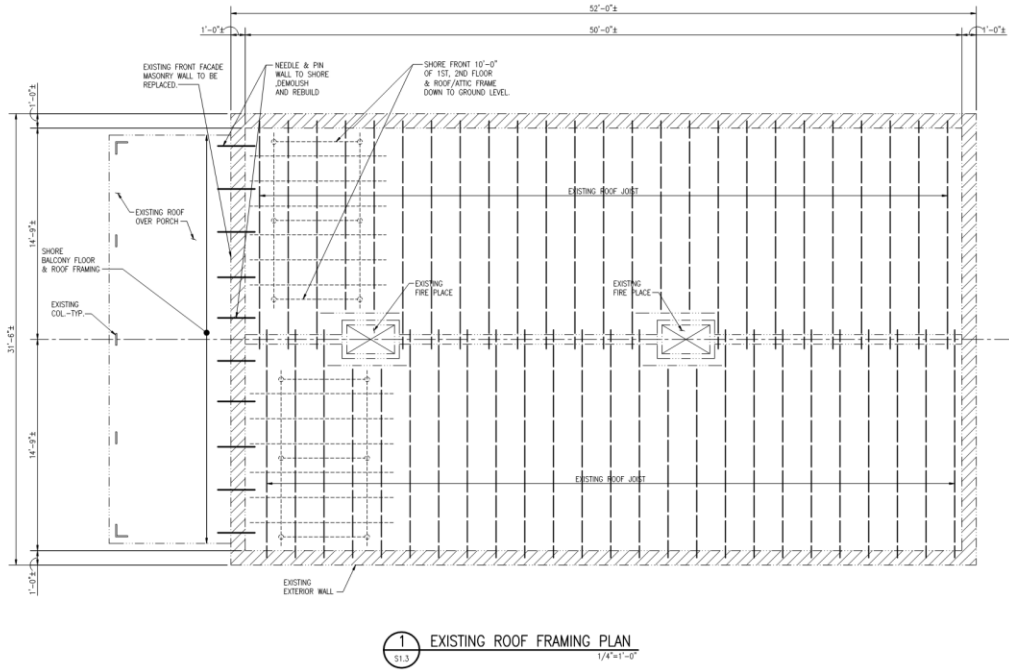
VCC Architectural Committee

October 12, 2021





\\VCC-APP01\PROJECTS\2020\20167\DRAWINGS\20167_S1.3.DWG 8/12/2020 3:43:23 PM



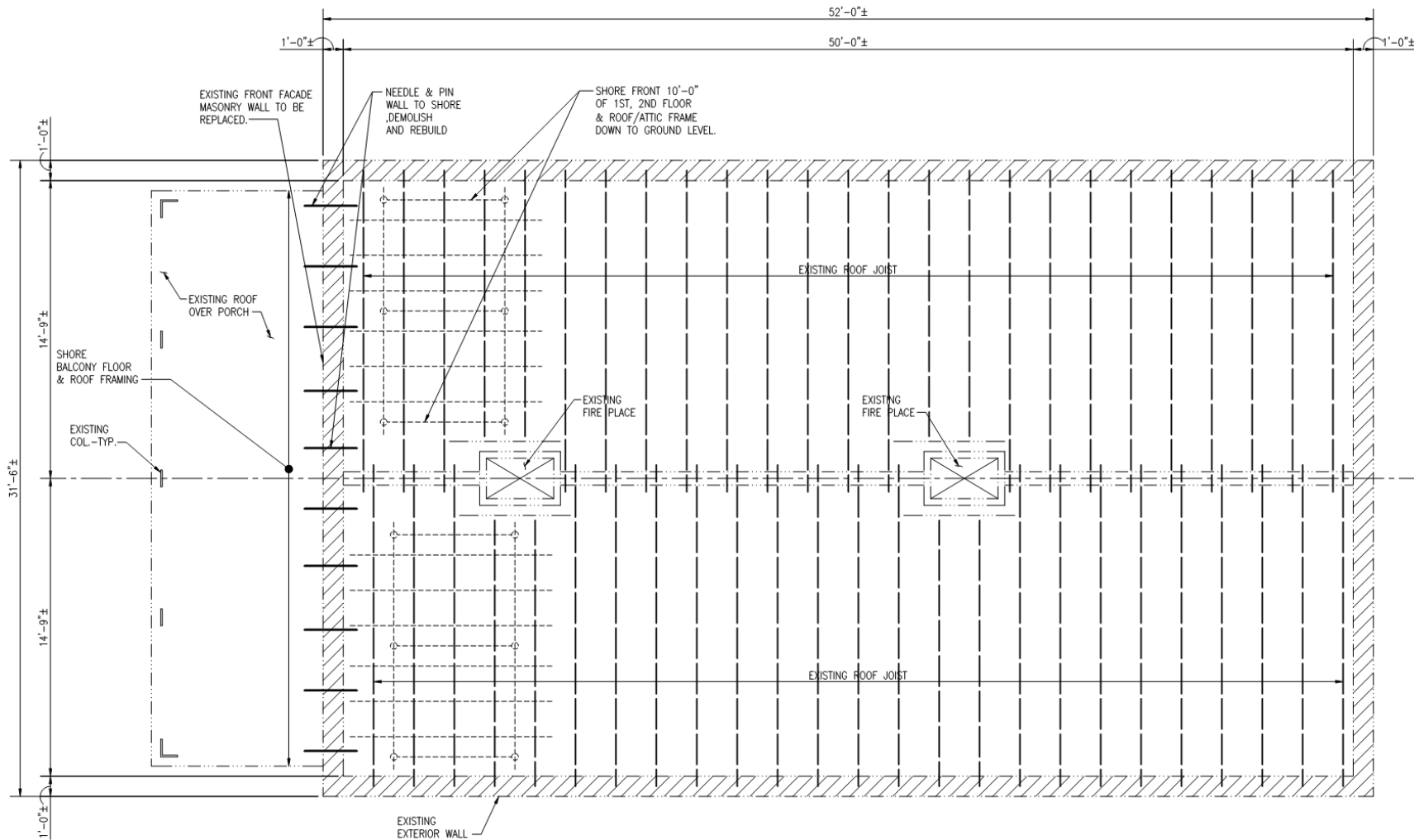
REVISIONS	BY

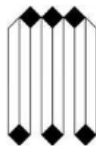
MORPHY Consulting Engineers
338 N. NORTON C. FRANCIS BLVD.
NEW ORLEANS, LOUISIANA 70119
PHONE: (504) 488-1317
FAX: (504) 488-0024
Web: www.morphi-eng.com

MAKOFSKY
INCORPORATED

815 ST ANN ST
MASONRY WALL REPAIRS
NEW ORLEANS, LA 70130

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DATE	08-18-21
ISSUE	
SCALE	AS SHOWN
JOB NO.	20167
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3	OF 3





MORPHY, MAKOFSKY, INC.

CONSULTING ENGINEERS
336 N. Norman C. Francis Parkway
New Orleans, LA 70119
P:504/488-1317 F:504/488-0924
www.mmi-eng.com

Jamie L. Saxon
Jonathan A. Sofranko
H. Stephan Bernick

September 24, 2021

John Williams
Williams Architects
824 Baronne Street
New Orleans, LA 70113

RE: 815 St Ann Street
New Orleans, La.

Dear Mr. Williams,

We are writing this letter to explain that the front façade wall will need to be rebuilt. The existing building is two stories tall with wood framing at the 1st, 2nd and roof levels. The exterior walls are multi-wythe, load bearing, clay masonry brick walls. The front of the building abuts onto St. Ann Street. The floor joists appear to span in the direction parallel with the street.

At the time of our inspection, Tuesday, October 27, 2020, we could see displacement of the front façade wall and cracking in the masonry wall. The lower section of the wall tilts outwards, and the masonry towards the Dauphine Street side has cracked and begun to separate. The front wall has actually buckled which occurred when the footing under the front wall was undermined and likely rotated. Above the second floor we can also see significant horizontal movement across the wall resulting in large cracks above and adjacent to the windows. In addition, the front wall is separating from the side and central walls.

In consideration that the lower half of the wall needs to be removed to allow for the total replacement of the footing, and theoretically, significant sections removed to allow for needle beams to be installed to support the upper portions and finally portions of the upper wall need to be removed and rebuilt to restore the integrity; the portion that would remain is insignificant and would be very difficult to maintain during all the renovations. In view of this extent of work, the entire front façade will need to be removed and rebuilt. This also provides the safest means of restoration of the front façade when you consider that this wall is on the property line and close to a very busy part of the French Quarter.

Morphy Makofsky, Inc.

Yours truly


Jamie Saxon, P.E.



815 St. Ann

VCC Architectural Committee

October 12, 2021



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Morphy Makofsky, Inc.

815 St. Ann

VCC Architectural Committee



October 12, 2021





New Business



1036 Esplanade



1036 Esplanade Ave.

VCC Architectural Committee

July 13, 2021





1036 Esplanade Ave. – 1939

VCC Architectural Committee

July 13, 2021





1036 Esplanade Ave. – 1964

VCC Architectural Committee

July 13, 2021



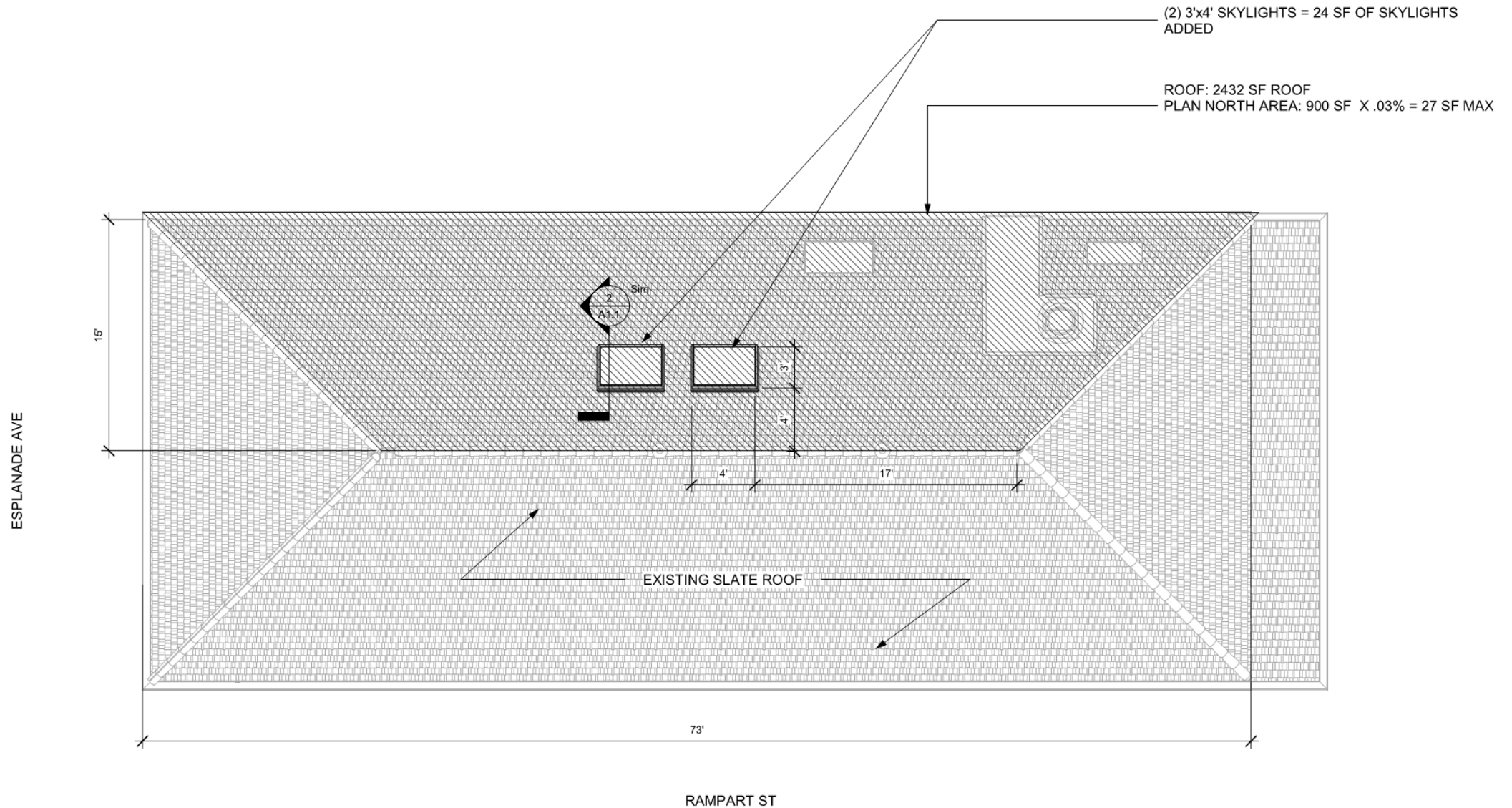


1036 Esplanade Ave.

VCC Architectural Committee

July 13, 2021





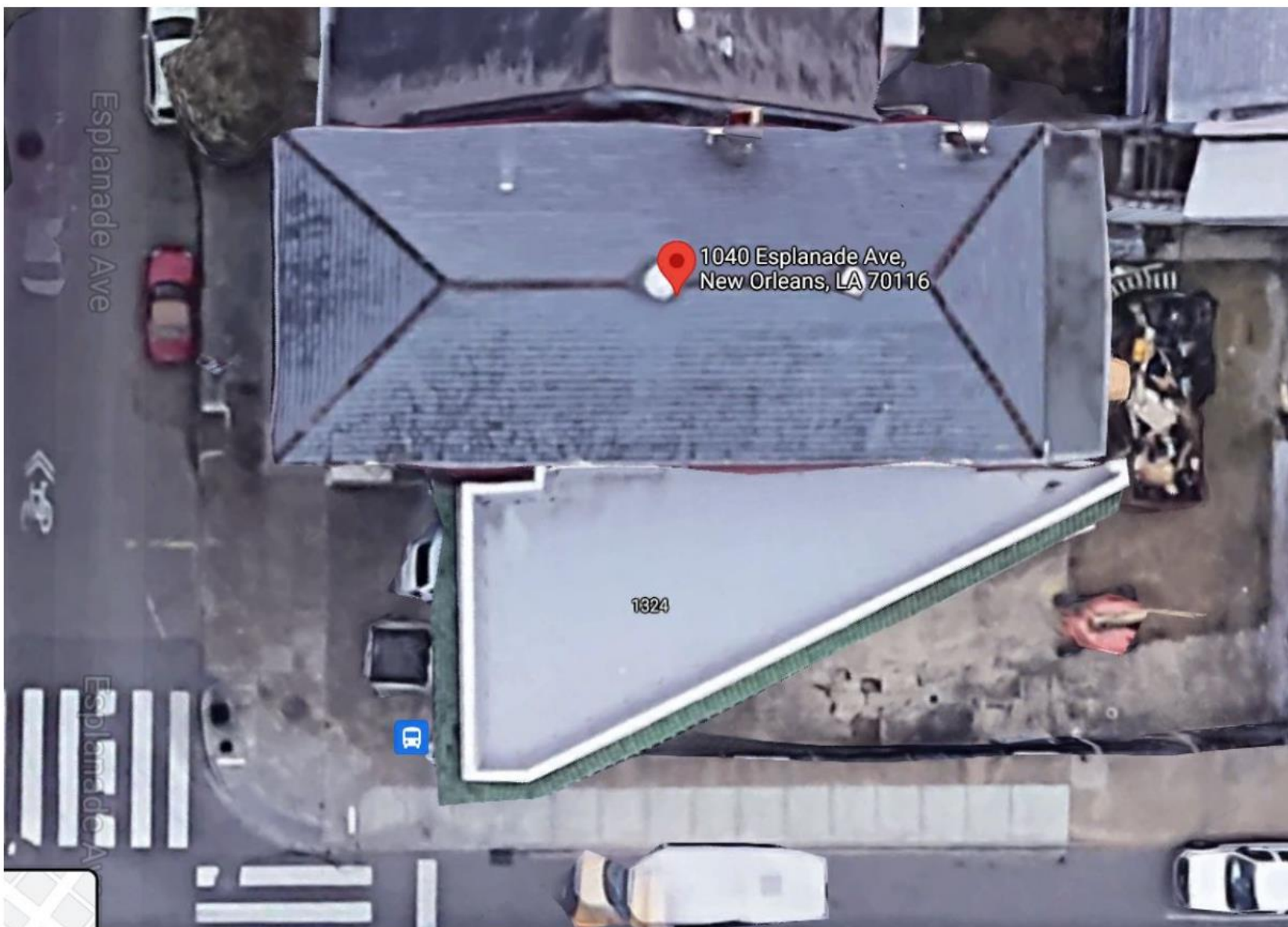
① ROOF PLAN
3/16" = 1'-0"

1036 Esplanade Ave.

VCC Architectural Committee

July 13, 2021



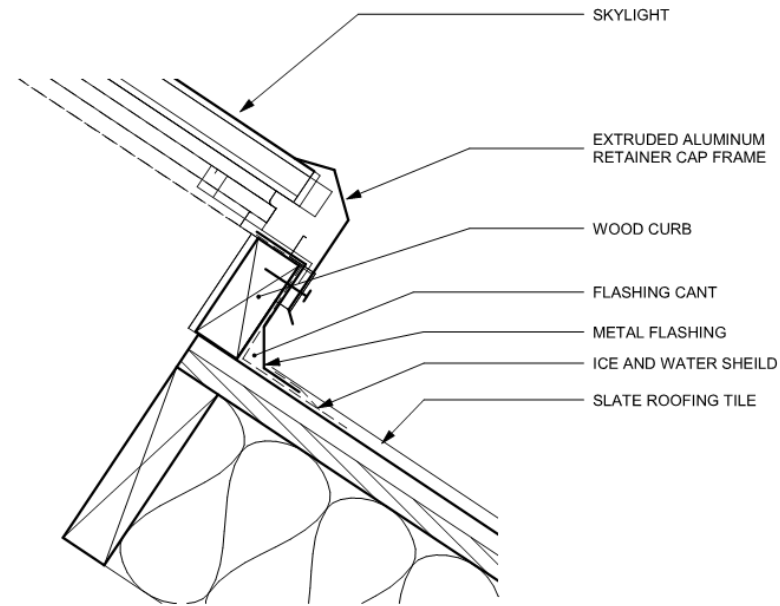


1036 Esplanade Ave.

VCC Architectural Committee

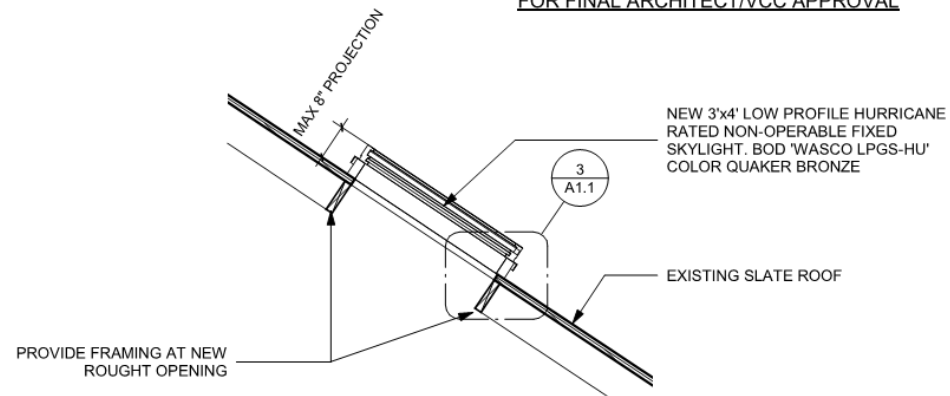
July 13, 2021





③ SKYLIGHT DETAIL
3" = 1'-0"

G.C. TO PROVIDE SKYLIGHT SUBMITTAL
FOR FINAL ARCHITECT/VCC APPROVAL



② SKYLIGHT SECTION
1/2" = 1'-0"

1036 Esplanade Ave.

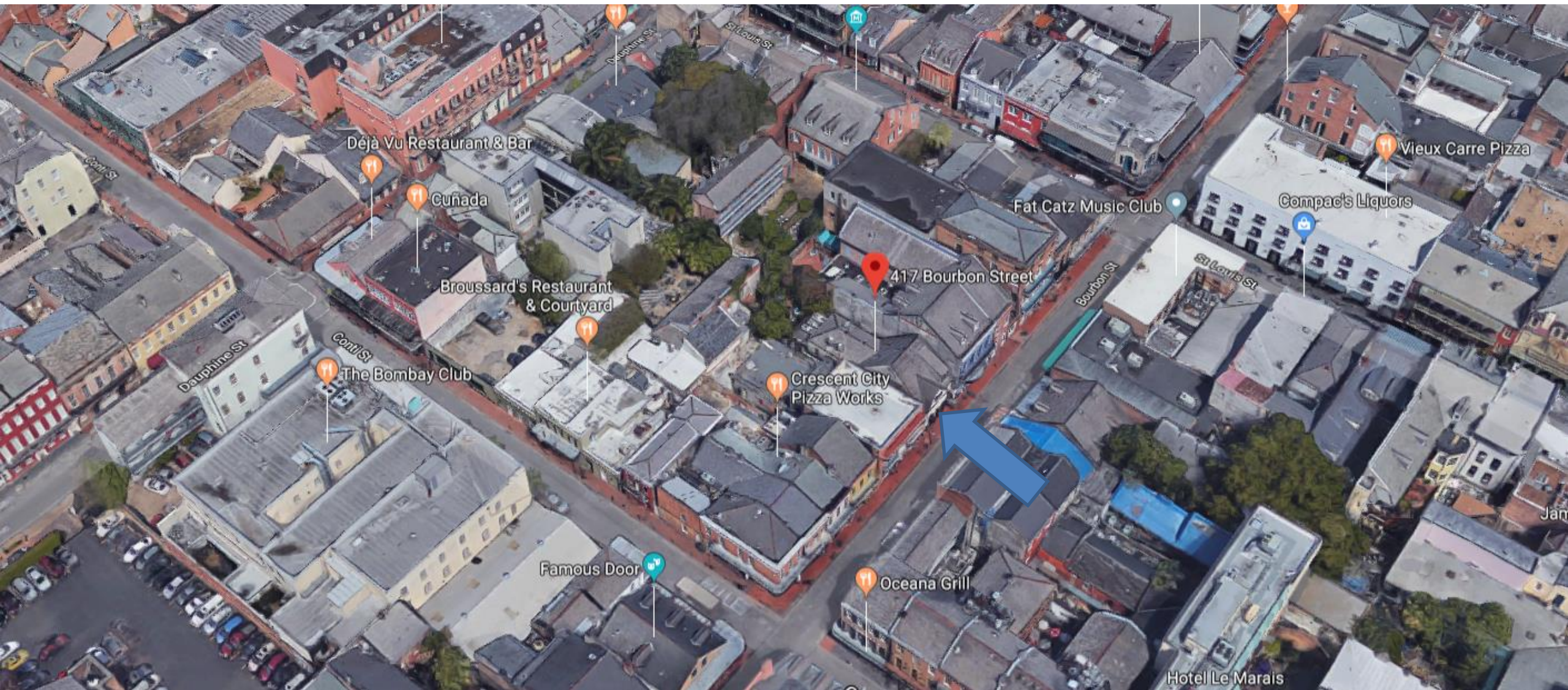
VCC Architectural Committee

July 13, 2021





417 Bourbon

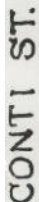


417-19 Bourbon

VCC Architectural Committee

October 12, 2021





VCC Architectural Committee



417-19 Bourbon, 1963

VCC Architectural Committee

October 12, 2021





417-19 Bourbon

VCC Architectural Committee

October 12, 2021





417-19 Bourbon

VCC Architectural Committee

October 12, 2021





417-19 Bourbon

VCC Architectural Committee

October 12, 2021





417-19 Bourbon

VCC Architectural Committee

October 12, 2021





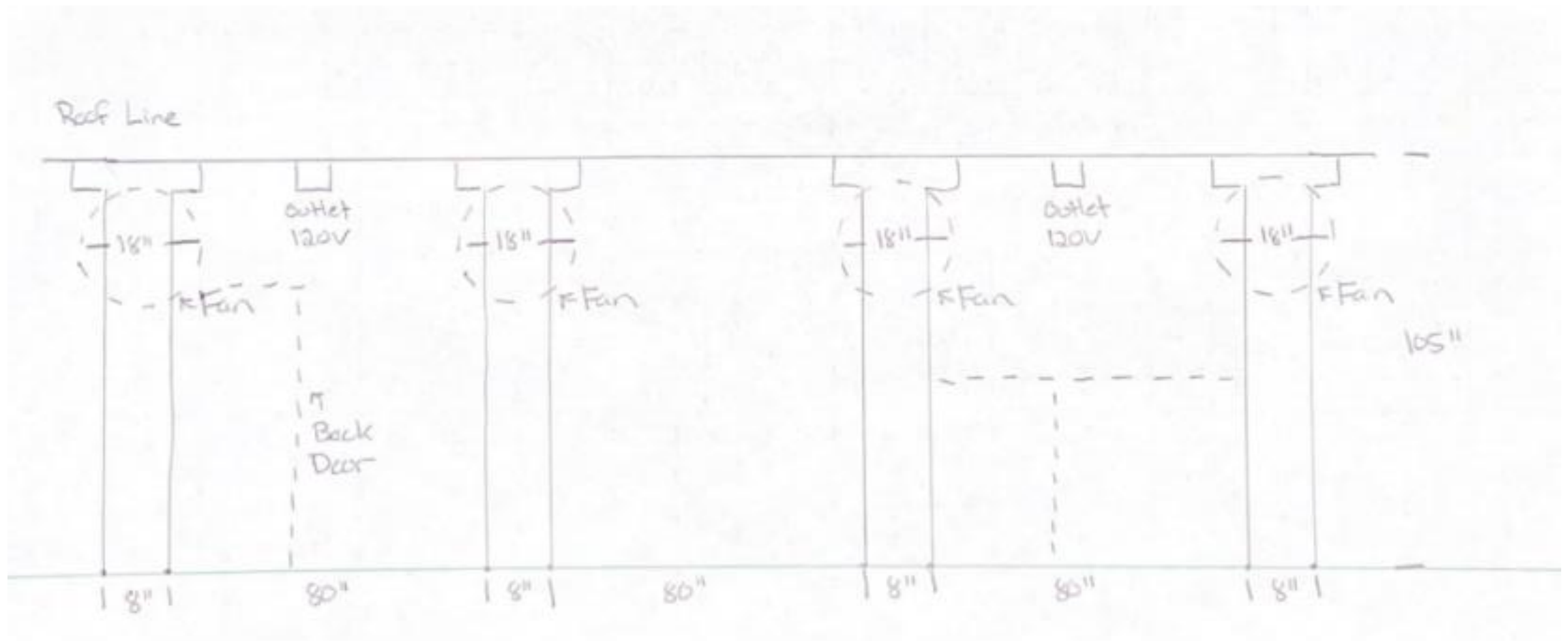
Photo of rear courtyard where fans and misting system will be installed.

417-19 Bourbon

VCC Architectural Committee

October 12, 2021





ACTIVITY	DESCRIPTION
High Pressure Misting System	<p>High Pressure Misting System including:</p> <ul style="list-style-type: none"> • High Pressure Pump - .33 HP - .25 GPM - 4.2 Amps - w/nozzle capacity up to 17 maximum using .008 nozzles (low flow) • Four (4) 18" 3-speed Mist Fans • Assorted additional parts, high pressure hose, etc. necessary to complete system
Installation	Installation of system



541 Dumaine

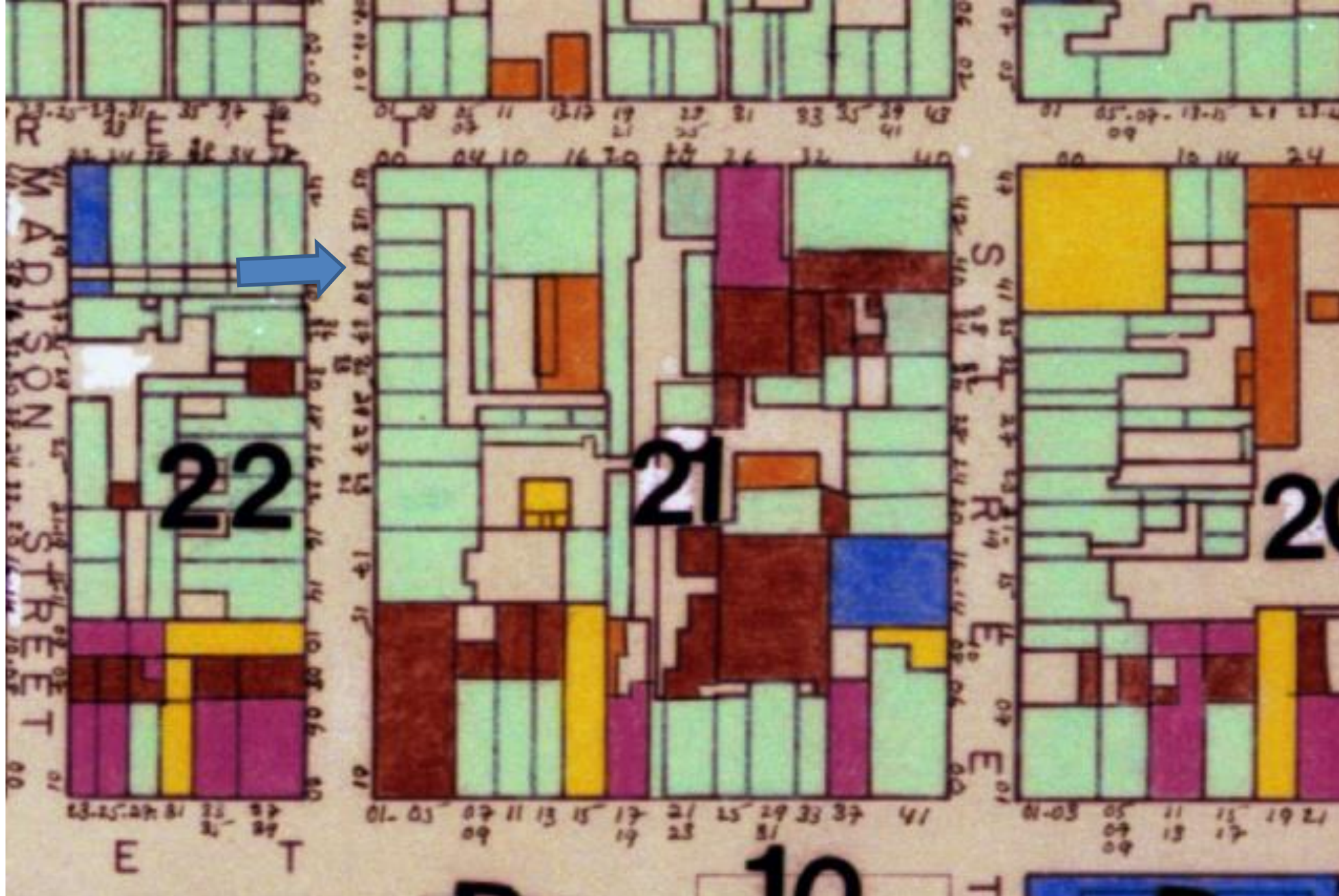


541 Dumaine

VCC Architectural Committee

October 12, 2021





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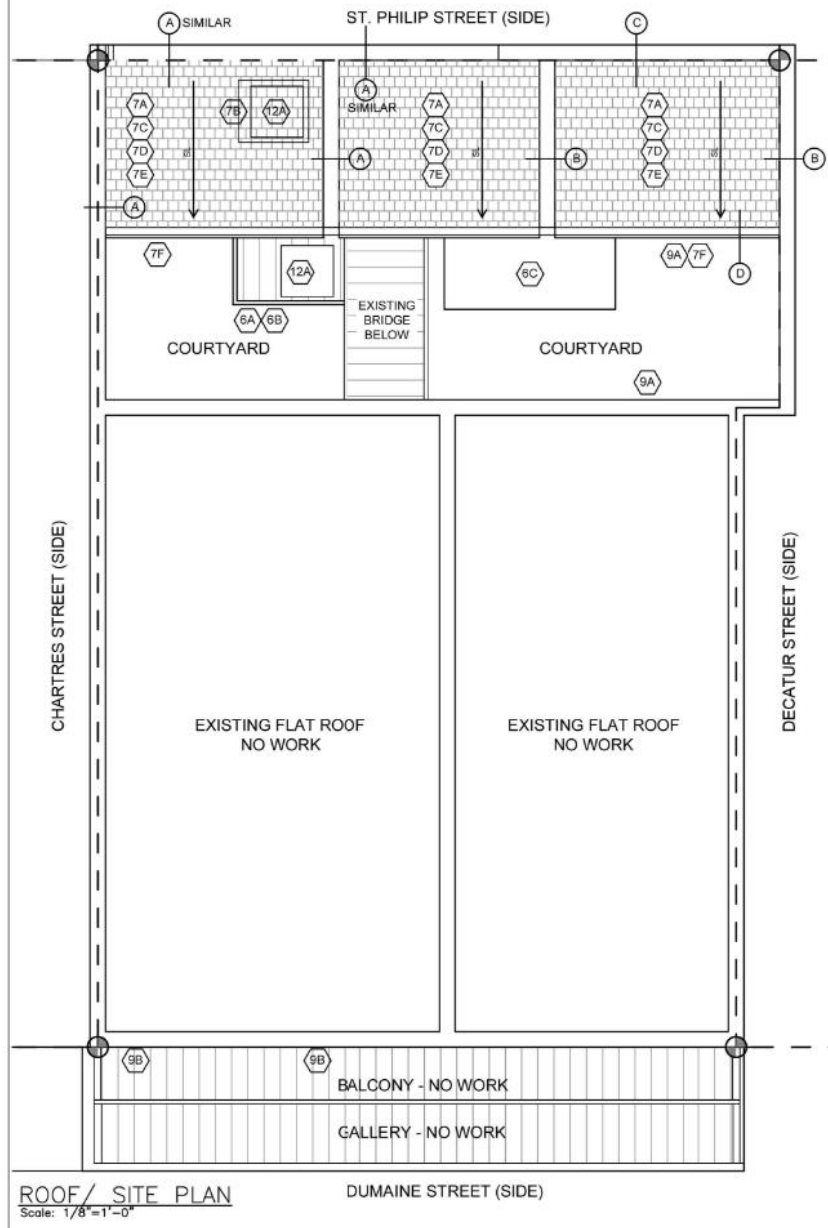


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An aerial photograph looking down into a narrow alleyway between brick buildings. A small blue car is parked in the center of the alley. The buildings have white-framed windows and doors. There are some plants and a small structure on the right side of the alley.

KEY NOTES:

- 6A EXTEND EXISTING WOOD BALCONY FRAMING AND DECK TO EXISTING WOOD BRIDGE FOR RELOCATED HVAC UNIT-PRIME AND PAINT WOOD - SEE DETAIL
- 6B REMOVE EXISTING WOOD RAILINGS AND REPAIR AND RECONNECT TO BALCONY AND BRIDGE - PRIME AND PAINT WOOD - SEE DETAIL
- 6C REMOVE PLYWOOD OVERHANG AT 1ST FLOOR- REPAIR STUCCO WALL TO MATCH
- 7A REMOVE EXISTING SHINGLES, PATCHES, MEMBRANE AND FLASHING & MASTIC
- 7B REMOVE EXISTING HVAC PLATFORM - REPAIR ROOF DECK
- 7C REPAIR AND RECOVER EXISTING ROOF DECKS WITH 3/8" EXTERIOR PLYWOOD
- 7D NEW 12" SLATE SHINGLES ON ICE AND WATER SHIELD MEMBRANE
- 7E NEW FLASHING AS PER VCC DETAILS AND GUIDELINES - MAINTAIN EXISTING BLACK RUBBERIZED MEMBRANE & COVER WITH UNIFLEX GRAY COATING
- 7F REMOVE AND REPAIR OR REPLACE EXISTING ½ ROUND SHEET METAL GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
- 9A REMOVE ALL GROWTH FROM BRICKS AND STUCCO. REPAIR MASONRY AS PER VCC GUIDELINES
- 9B REPOINT EXISTING EXPOSED BRICKS AT MISSING FRONT CORNICE WITH VCC MORTAR MIX
- 12A RELOCATE EXISTING HVAC UNIT AND RECONNECT ALL LINES

GENERAL NOTES:

- 1 ALL WORK TO CONFORM TO ALL LOCAL AND STATE CODES INCLUDING THE NEW ORLEANS BUILDING CODE (IBC 2015) AND VIEUX CARRECOMMISSION AND OSHA
- 2 CONTRACTORS ARE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, SCHEDULES, SAFETY PROGRAMS AND EQUIPMENT.
- 3 ALL NEW PLASTER PATCHES TO MATCH EXISTING WITH APPROVED VIEUX CARRE MORTAR MIX. SLBMIT MIXTURE SAMPLES FOR APPROVAL.
- 4 MATCH ALL EXISTING PAINT AND COLORS OF PLASTER AND MILLWORK
- 5 CONTRACTORS AND SUBCONTRACTORS TO VERIY ALL EXISTING CONDITIONS AND REPORT ANY NEW DAMAGE AND CHANGES TO THE OWNER AND ARCHITECT

**DONALD
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ARCHITECT
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These drawings and specifications were prepared by me or under my close personal supervision. To the best of my professional knowledge & belief, they comply with all applicable codes & requirements.

I will not be providing
on-site construction
administrative services on
this project.



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Donald Wiggins, All Rights Reserved

REAR ROOF RENOVATIONS
541-43 DUMAINE
NEW ORLEANS, LA 70112

REVISIONS

NO.	BY	DATE

		4-15-2021

DRAFTING INFOSHEET

ENTRY

SCALE:
1/4"=1'-0"

DRAWN BY:

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A-1/3





COURTYARD - BALCONY



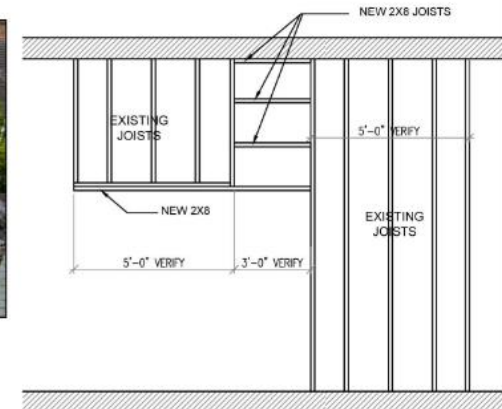
SITE

541 Dumaine

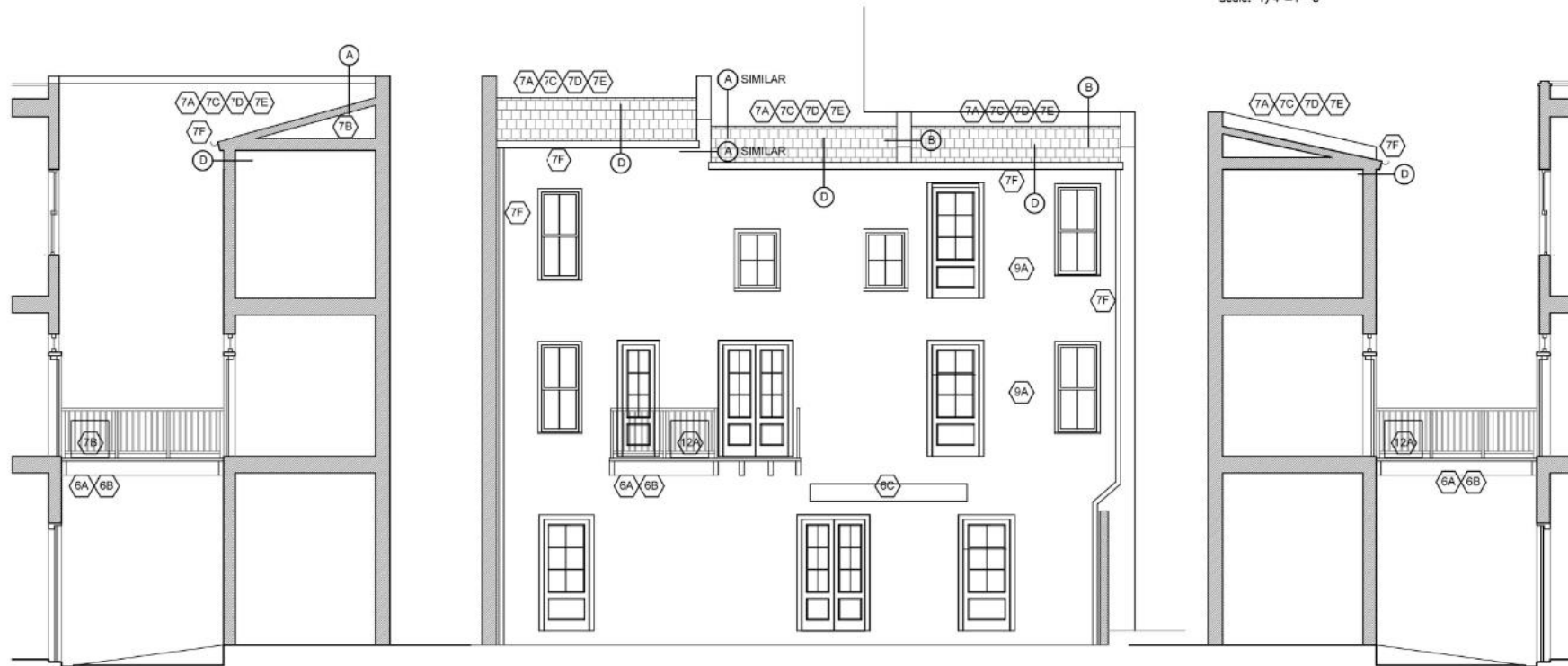
VCC Architectural Committee

October 12, 2021





BALCONY DETAIL
Scale: 1/4"=1'-0"



SECTION
Scale: 1/8"=1'-0"

REAR ELEVATION
Scale: 1/8"=1'-0"

SECTION
Scale: 1/8"=1'-0"

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REAR ROOF RENOVATIONS
541-43 DUMAINE
NEW ORLEANS, LA 70112

REVISIONS

NO.	BY	DATE
		9-15-2021

[illegible]

DRAWING INFO

ENTRY

SCALE:

1/4"=1'-0"

DRAWN BY:
JT





LEFT ROOF

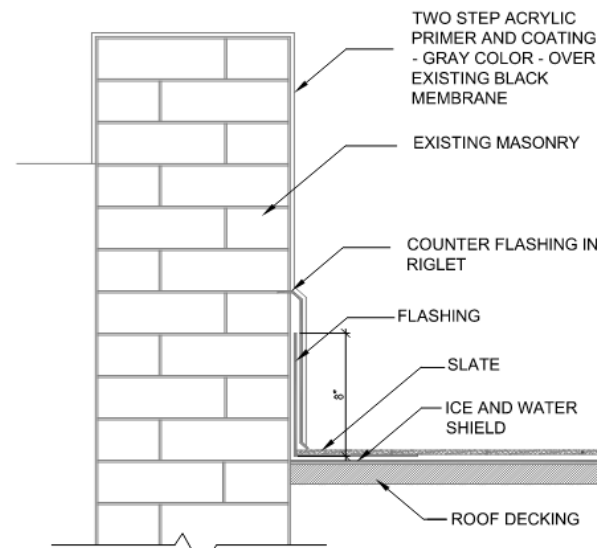


MIDDLE ROOF

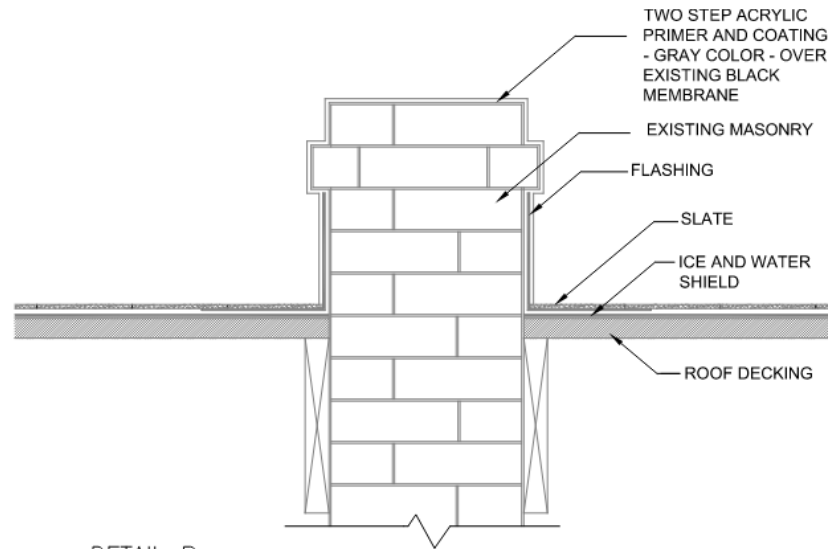


RIGHT ROOF

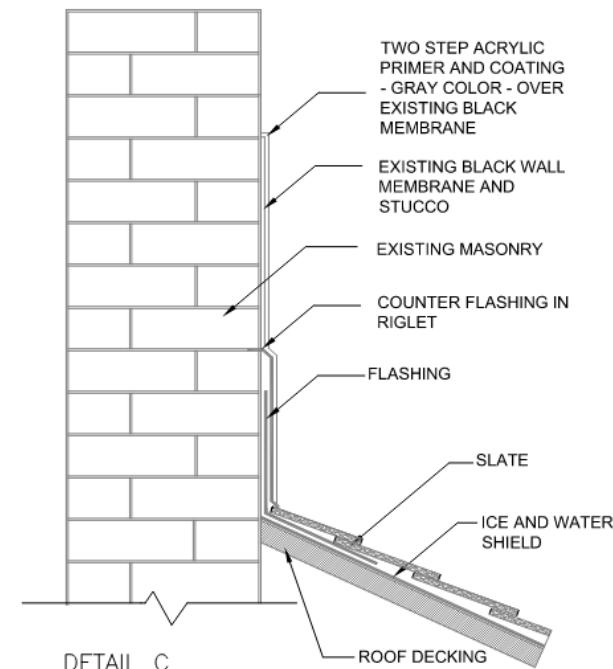




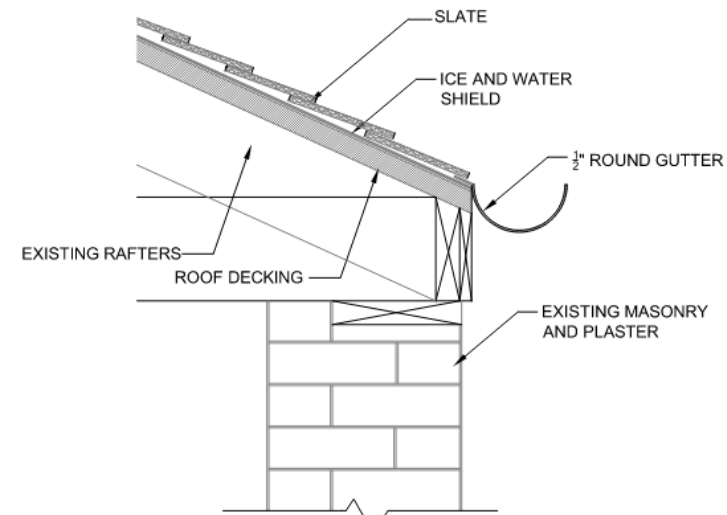
DETAIL A
Scale: 1 1/2"=1'-0"



DETAIL B
Scale: 1 1/2"=1'-0"



DETAIL C
Scale: 1 1/2"=1'-0"



DETAIL D
Scale: 1 1/2"=1'-0"

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I will not be providing project construction administration services on this project.



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541-43 DUMAINE
NEW ORLEANS, LA 70112

REVISIONS

NO. BY DATE

1 6-18-2021

DRAWING INFO

SHEET:

ENTRY

SCALE:

1 1/2"=1'-0"

DRAWN BY:

JT

A-3/3





541 Dumaine

VCC Architectural Committee

October 12, 2021





541 Dumaine

VCC Architectural Committee

09 17 2021

October 12, 2021

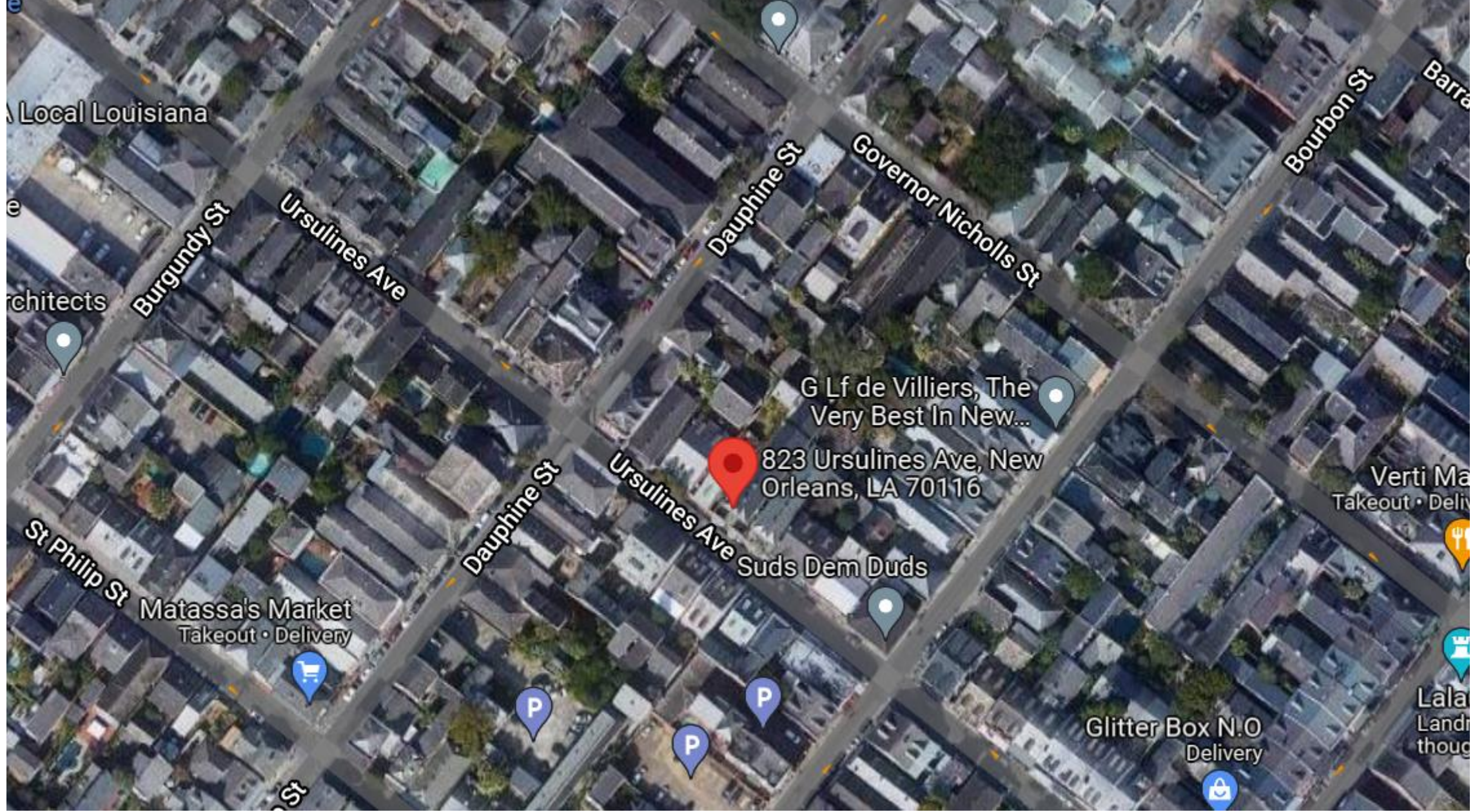


The background of the slide features a large, faint, light-gray oval seal. The seal contains the text "VIEUX CARRE COMMISSION" along the top arc and "ESTABLISHED 1936" along the bottom arc. In the center of the seal is a heraldic crest with a central shield, a crown on top, and decorative flourishes on the sides.

Appeals and Violations



823-25 Ursulines



823-825 Ursulines

VCC Architectural Committee

October 12, 2021





823-825 Ursulines
VCC Architectural Committee

October 12, 2021





823-825 Ursulines

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October 12, 2021





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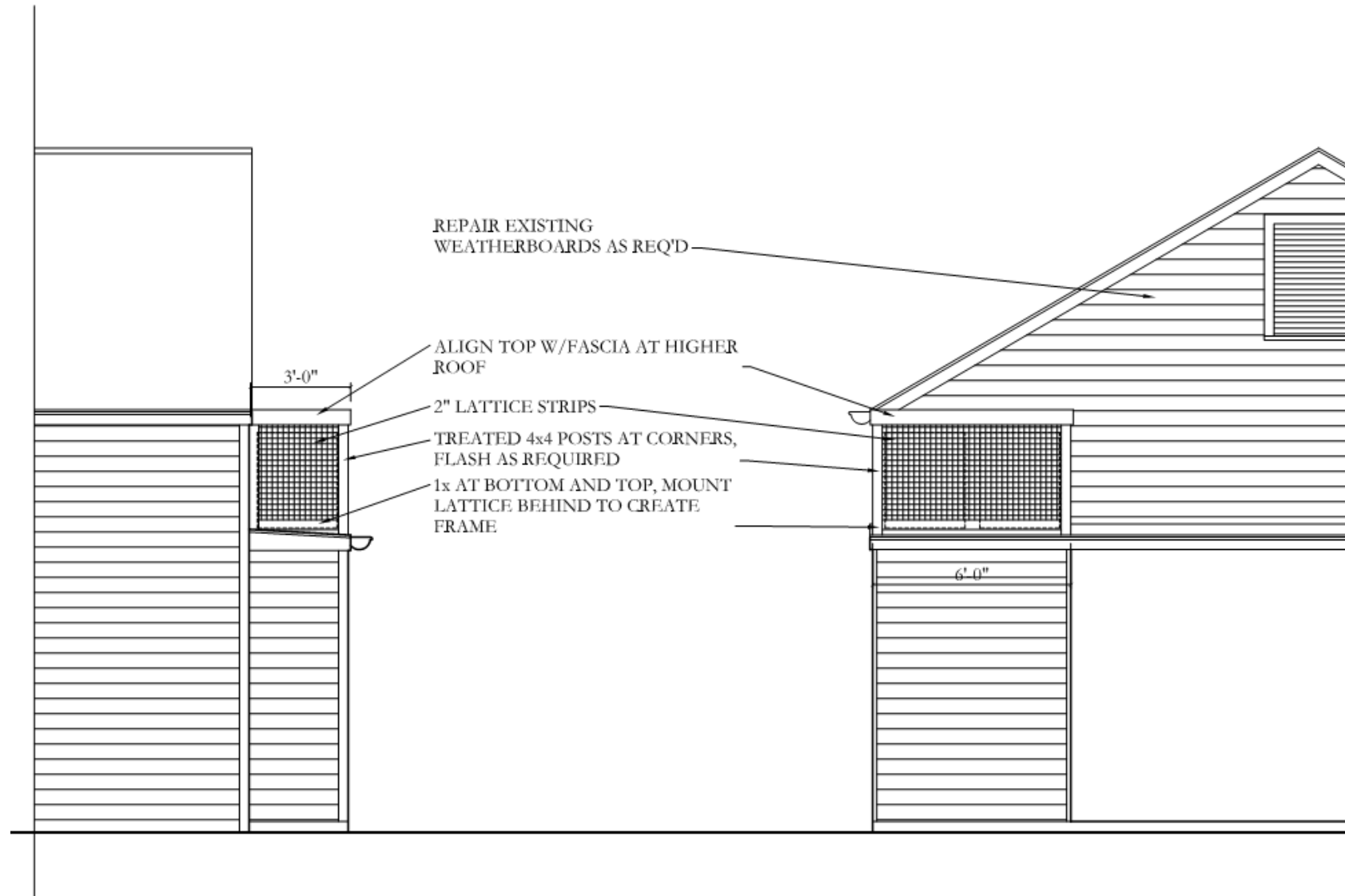




823-825 Ursulines
VCC Architectural Committee

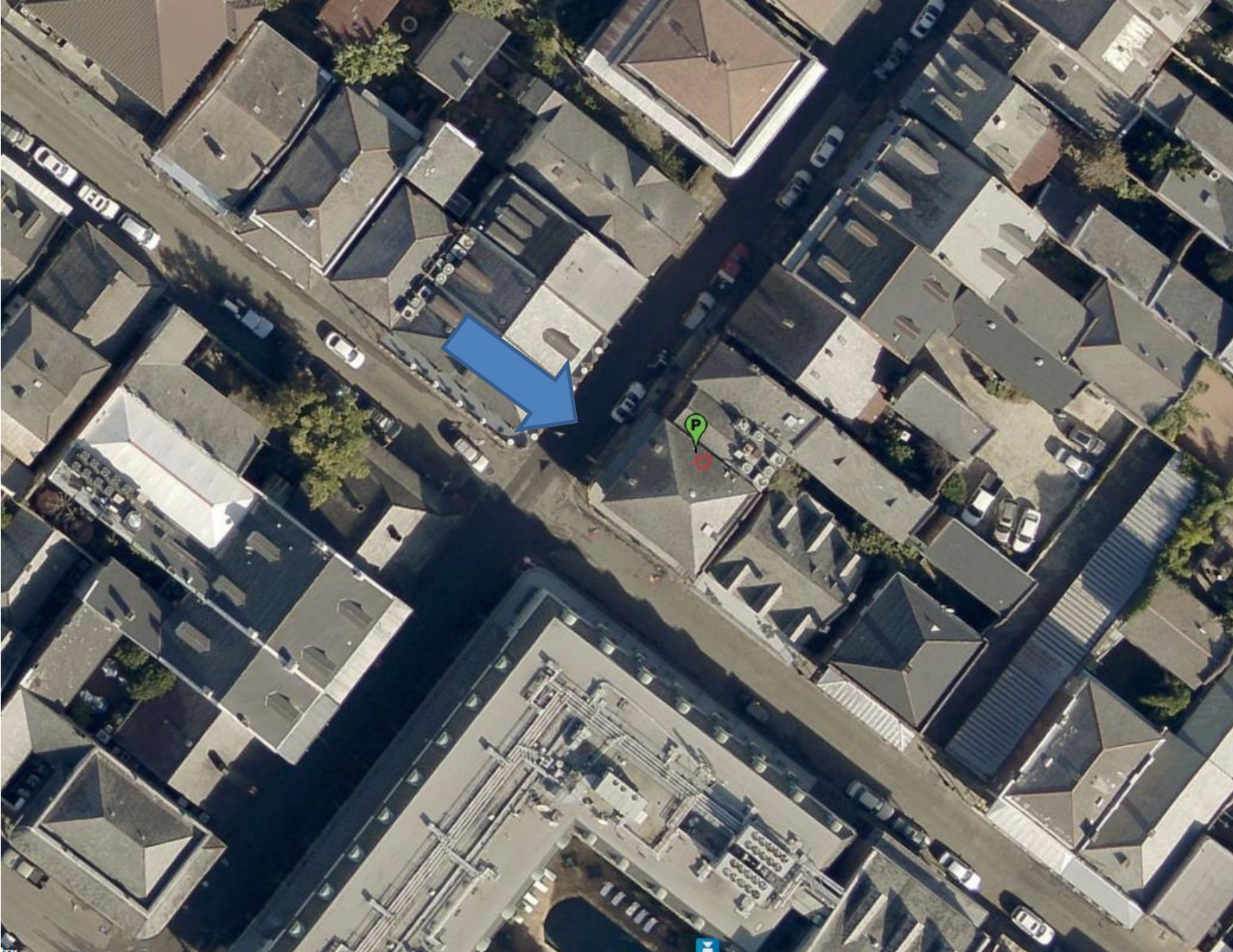
October 12, 2021







800 Bourbon



800 Decatur

VCC Architectural Committee

October 12, 2021





800 Decatur

VCC Architectural Committee

October 12, 2021





800 Decatur

VCC Architectural Committee

October 12, 2021





800 Decatur

VCC Architectural Committee

October 12, 2021





800 Decatur

VCC Architectural Committee

October 12, 2021





800 Decatur

VCC Architectural Committee

October 12, 2021





800 Decatur

VCC Architectural Committee

October 12, 2021





800 Bourbon

VCC Architectural Committee

October 12, 2021





800 Bourbon

VCC Architectural Committee

October 12, 2021





800 Bourbon

VCC Architectural Committee

October 12, 2021



ROBERT B. ANDERSON
CONSULTING ENGINEERS, LLC.

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PHONE: (504) 488-7797
(800) 476-0963
FAX: (504) 488-7846
E-MAIL: rbaeng@andersonengineers.com

August 24, 2021

Erika Gates
Gates Preservation
1026 N. Carrollton Avenue
New Orleans, LA 70119

esk.gates@gmail.com

RE: 800 Bourbon Street
New Orleans, LA

Dear Ms. Gates:

We have reviewed the condition at the above location and find the greater portion of the gallery to be in acceptable condition. The two areas of concern, as indicated on the attached sketch, have experienced impairment. However, rather than replacement, we recommend that the attached modifications be made.

For the straight outriggers, we recommend that a supplemental 2 x 2 x 1/4" angle be installed to reinforce the existing header. For the corner, we recommend a modification for the radial support outriggers to allow for a stronger and less cluttered condition as seen on the attached sketch.

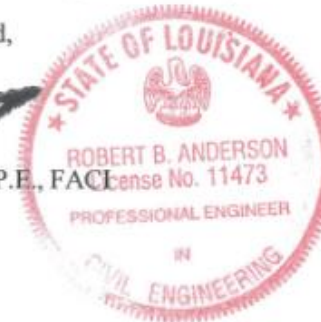
Other than the above modifications, we find the balcony condition satisfactory.

We hope the information provided meets your needs. Should you have any further questions, please do not hesitate to contact us. We thank you for this opportunity of being of service to you.

Respectfully submitted,



Robert B. Anderson, P.E., F.A.C.E.
LA Reg. #11473



800 Bourbon

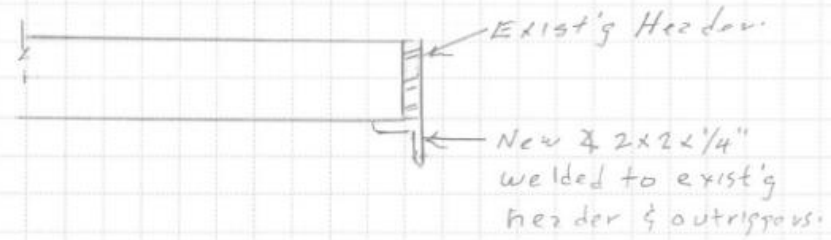
VCC Architectural Committee

RBA:ss

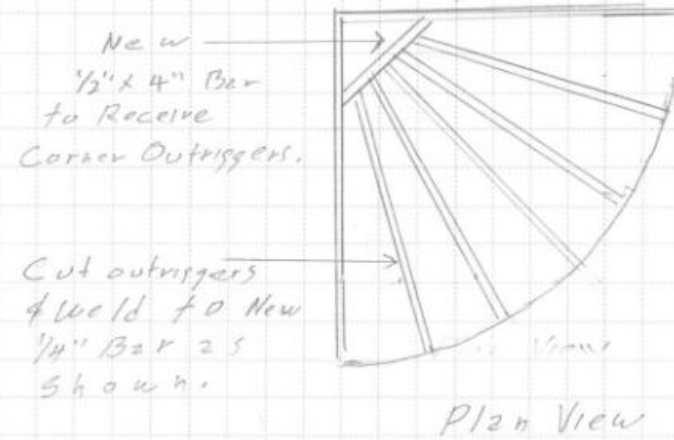
October 12, 2021



Recommended Repair
for
Header between
Outriggers 15-20



Recommended Repair for
Gallery Corner

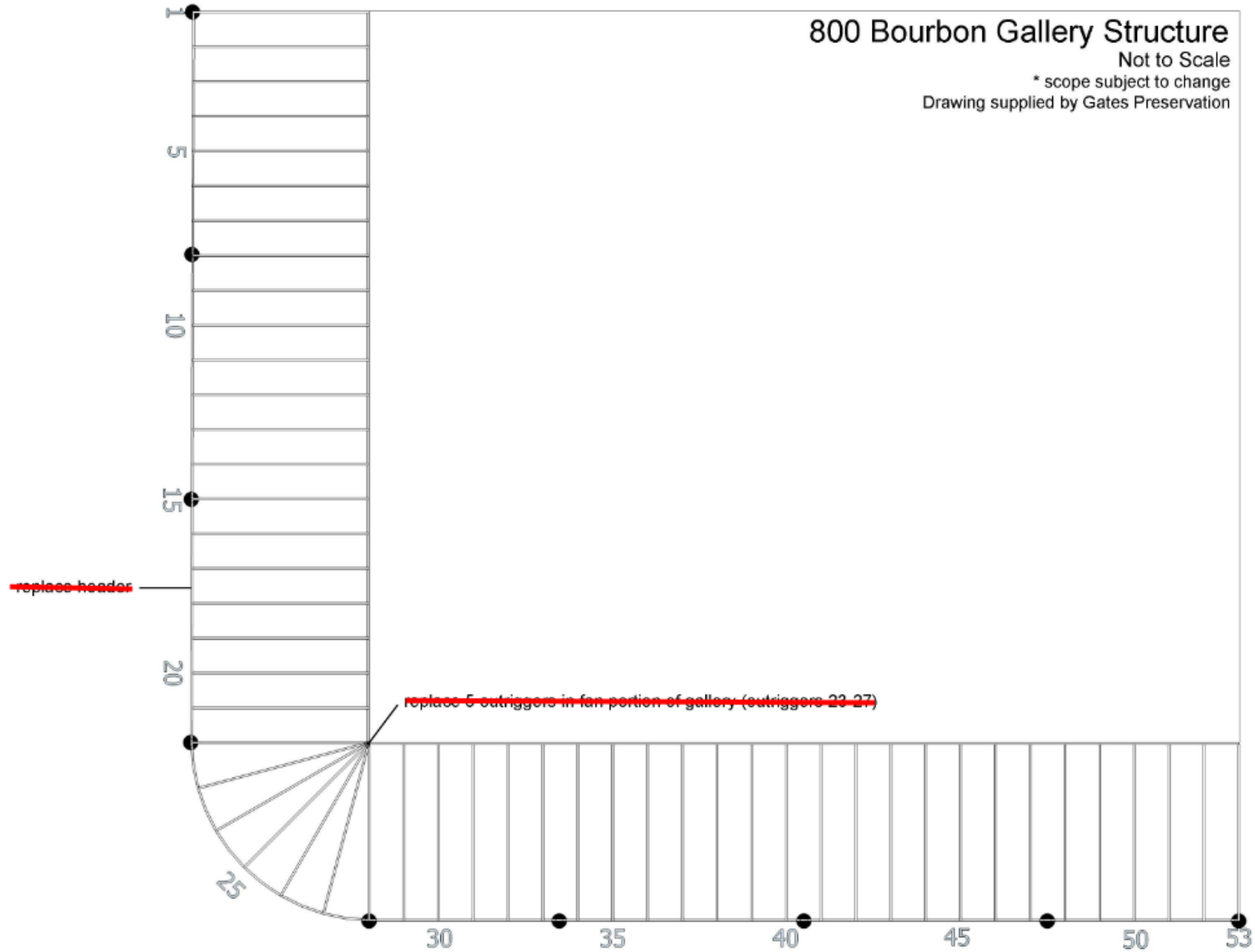


800 Bourbon Gallery Structure

Not to Scale

* scope subject to change

Drawing supplied by Gates Preservation



800 Bourbon

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Gallery Structure Survey – 536 Gov. Nicholls

VCC Architectural Committee

October 12, 2021





Gallery Structure Survey – 600 Esplanade

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October 12, 2021





Gallery Structure Survey – 943 Chartres

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Gallery Structure Survey – 1138-1140 Royal

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Gallery Structure Survey – 1139 Chartres

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Gallery Structure Survey – 1239 Chartres

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October 12, 2021





533 Toulouse

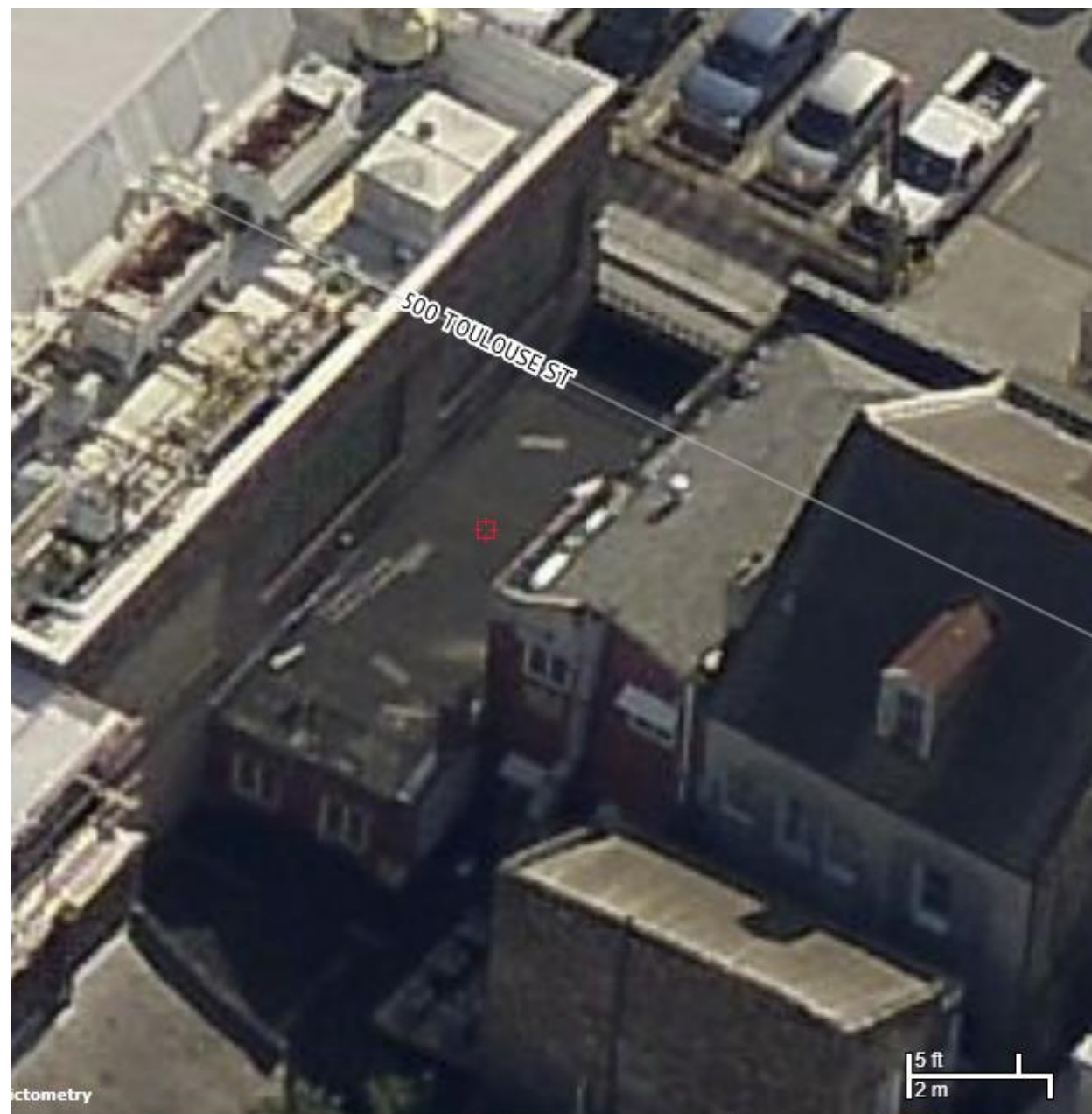


533 Toulouse

VCC Architectural Committee

October 12, 2021





map: Auto (Oblique) ▾

Jan 2013 - Jan 2013 ▾

◀ image 2 of 5 ▶

01/19/2013



533 Toulouse – 2013 prior to
deck installation

VCC Architectural Committee

October 12, 2021





533 Toulouse – September 2021

VCC Architectural Committee

October 12, 2021





533 Toulouse

VCC Architectural Committee

October 12, 2021



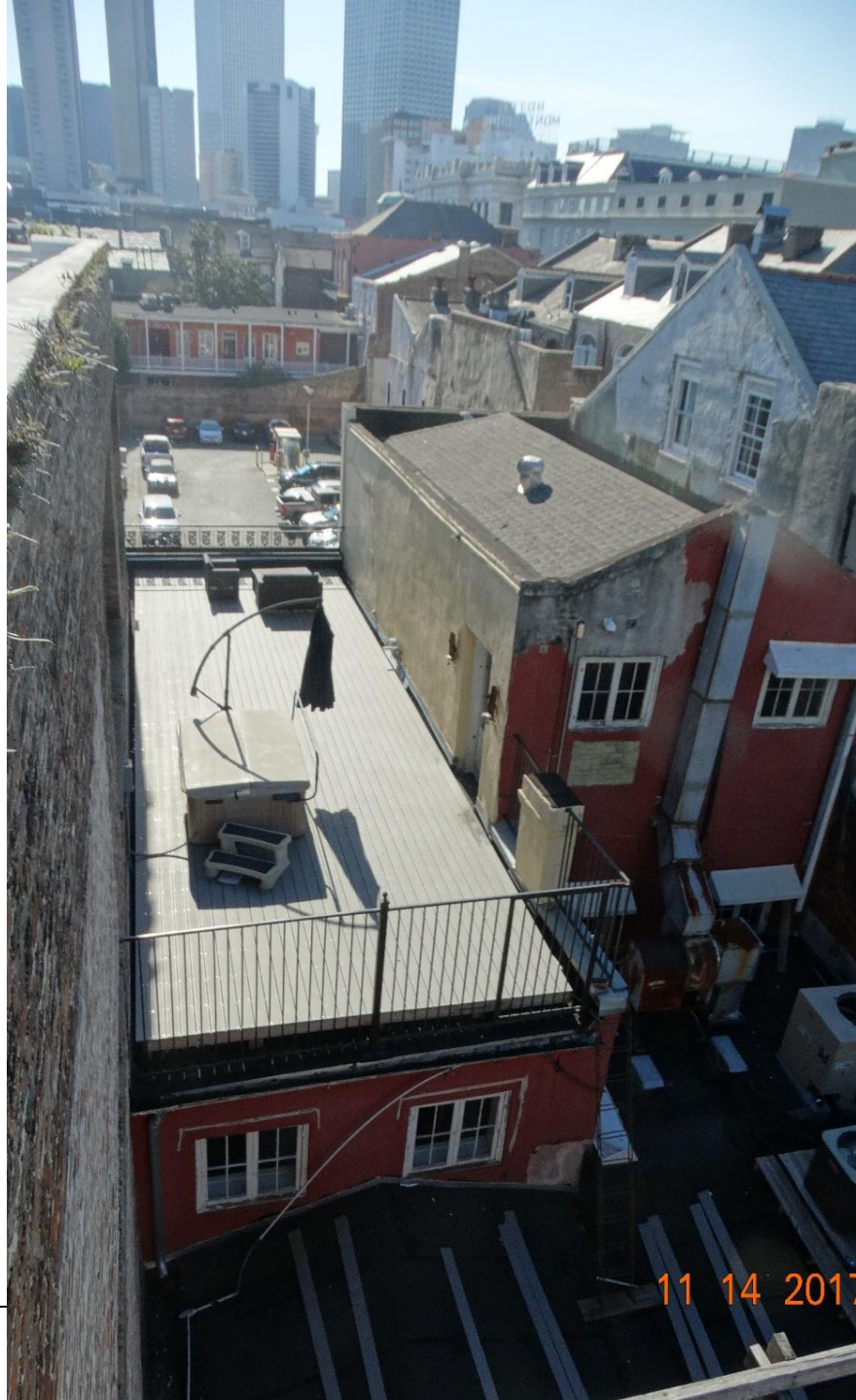


533 Toulouse

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October 12, 2021





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October 12, 2021





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October 12, 2021





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October 12, 2021





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October 12, 2021





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October 12, 2021



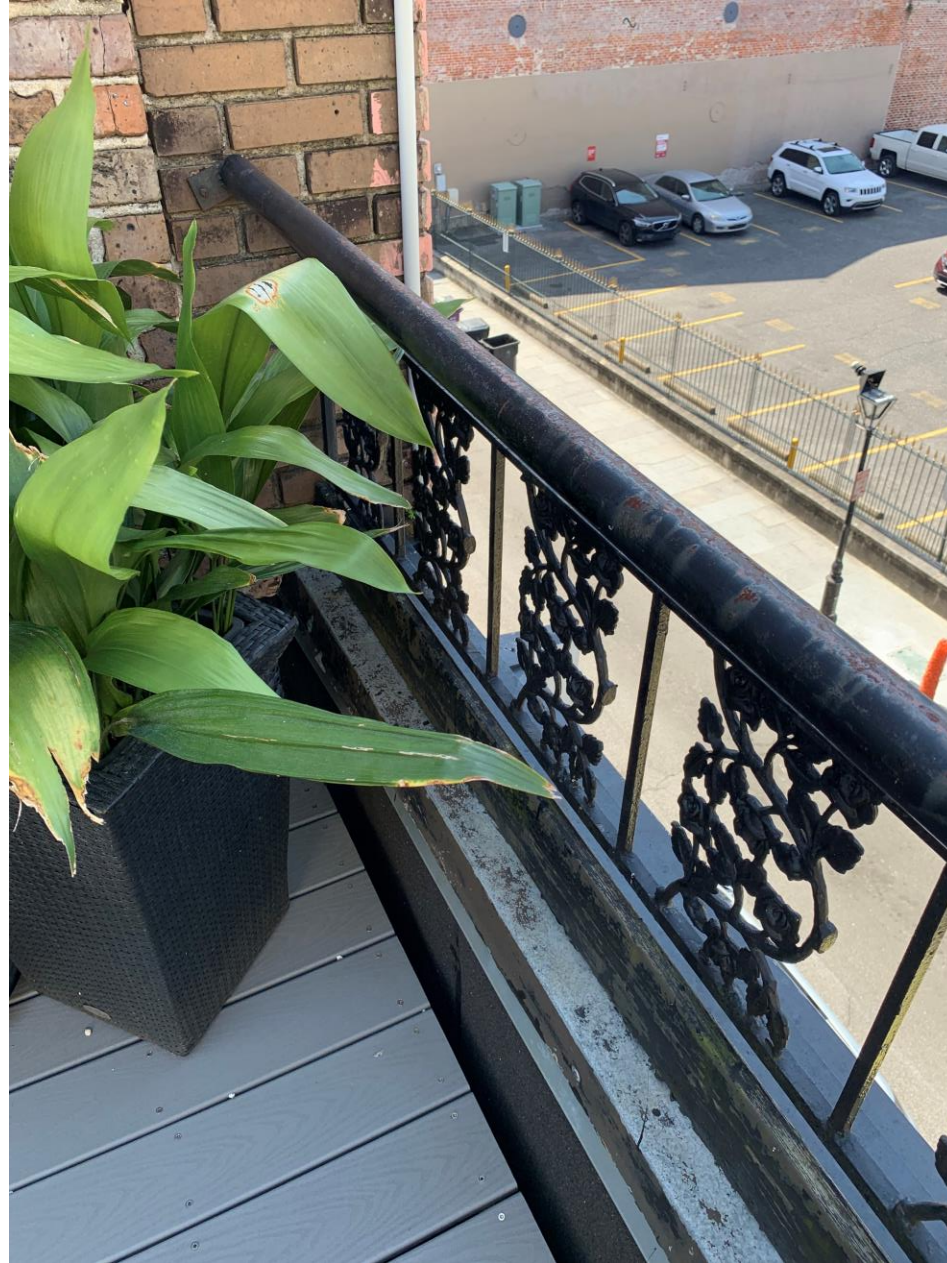


533 Toulouse

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October 12, 2021





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October 12, 2021



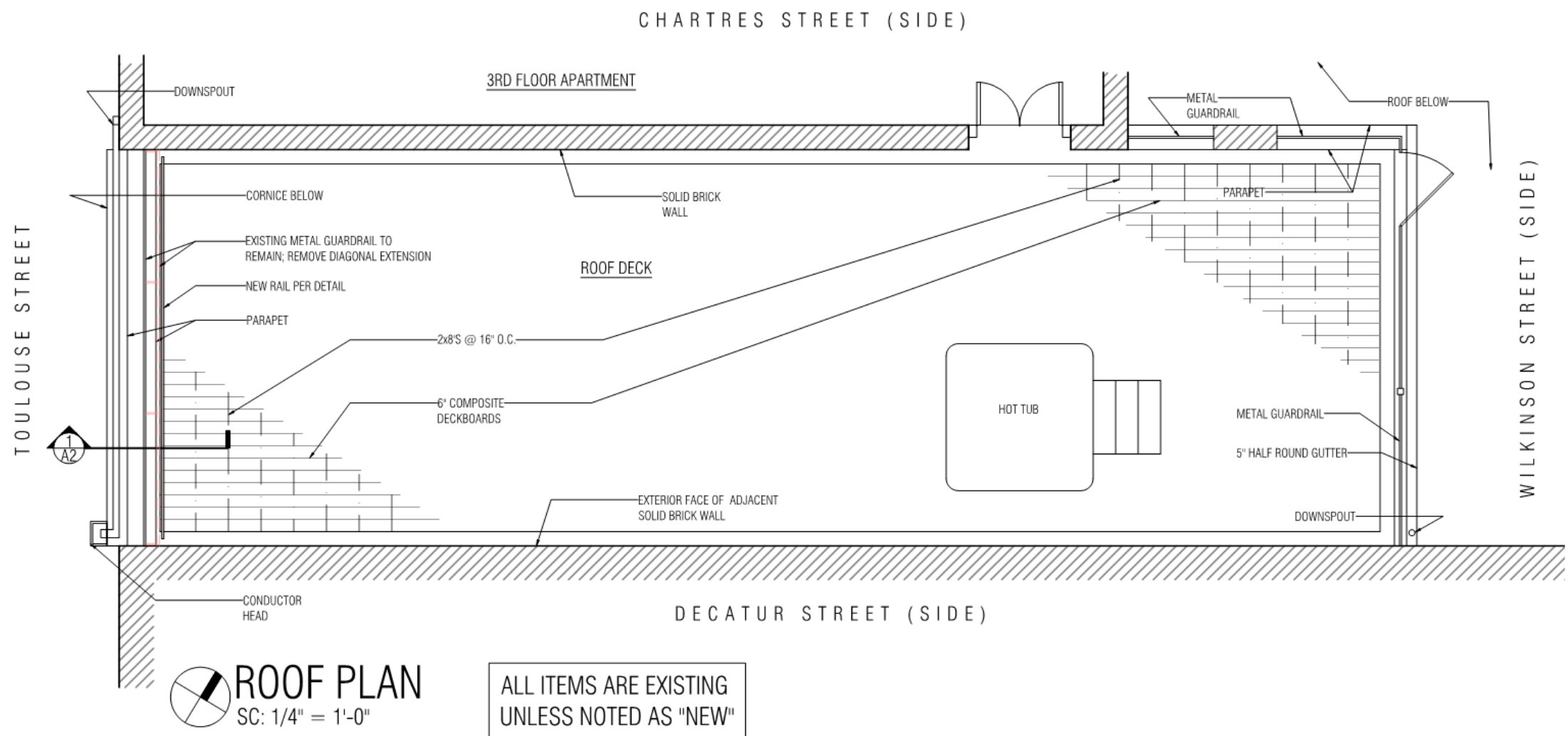


533 Toulouse

VCC Architectural Committee

October 12, 2021





NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 11"x17" SHEETS

533 TOULOUSE STREET
V.C.C. APPLICATION
New Orleans, LA 70130



LKHarmen Architects
A Professional Architectural Corporation
6238 Argonne Boulevard
New Orleans Louisiana 70124
504.485.5870 harmon@lkharmenarchitects.com

9.28.2021

A1

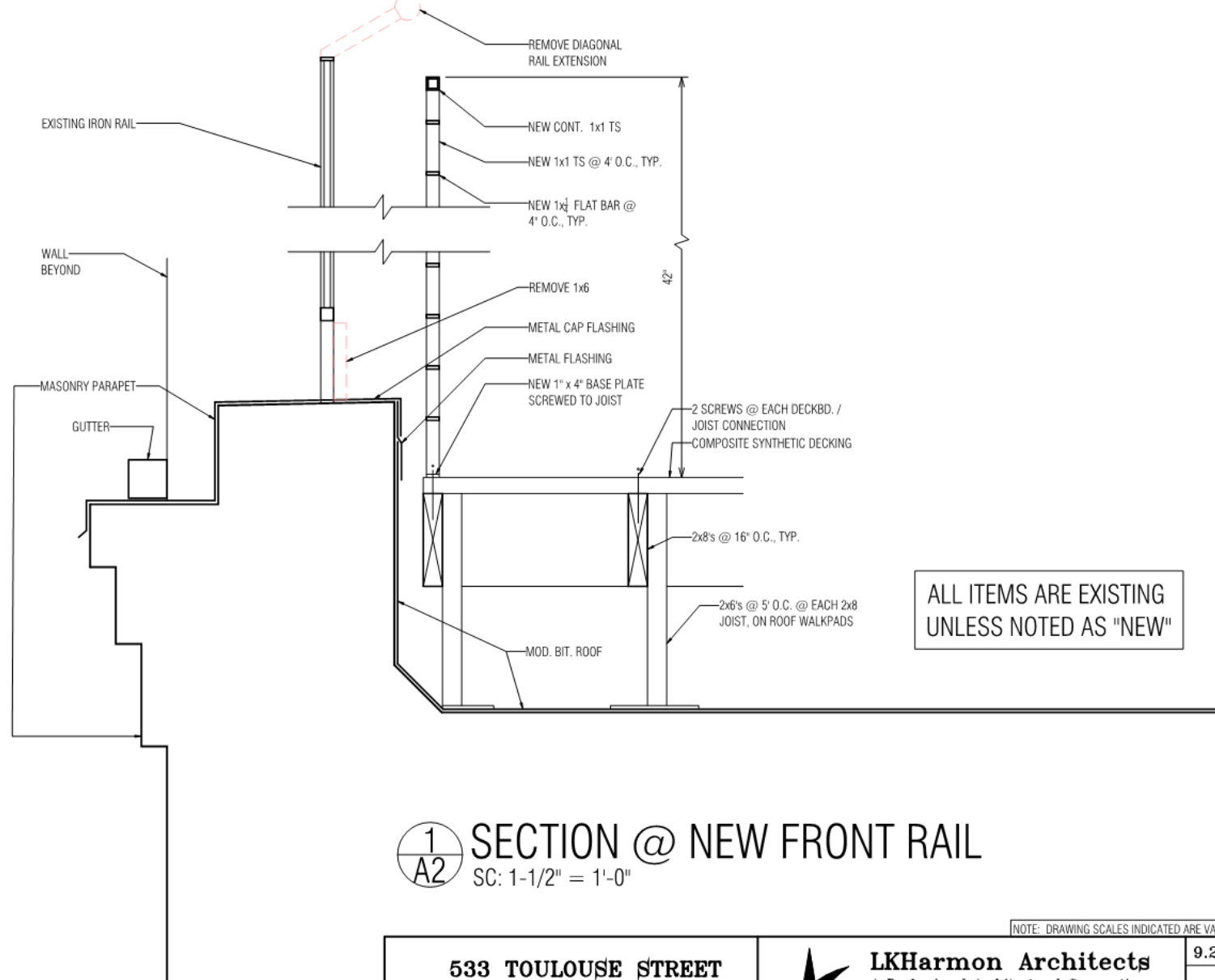
LKH#6321

533 Toulouse

VCC Architectural Committee

October 12, 2021





1
A2 SECTION @ NEW FRONT RAIL
SC: 1-1/2" = 1'-0"

533 Toulouse

VCC Architectural Committee

533 TOULOUSE STREET V.C.C. APPLICATION New Orleans, LA 70130		 LKHarmen Architects A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans Louisiana 70124 504.485.5870 harmon@lkharmenarchitects.com		9.28.2021	A2
					LKH#6321

October 12, 2021

