



Vieux Carré Commission Architecture Committee Meeting

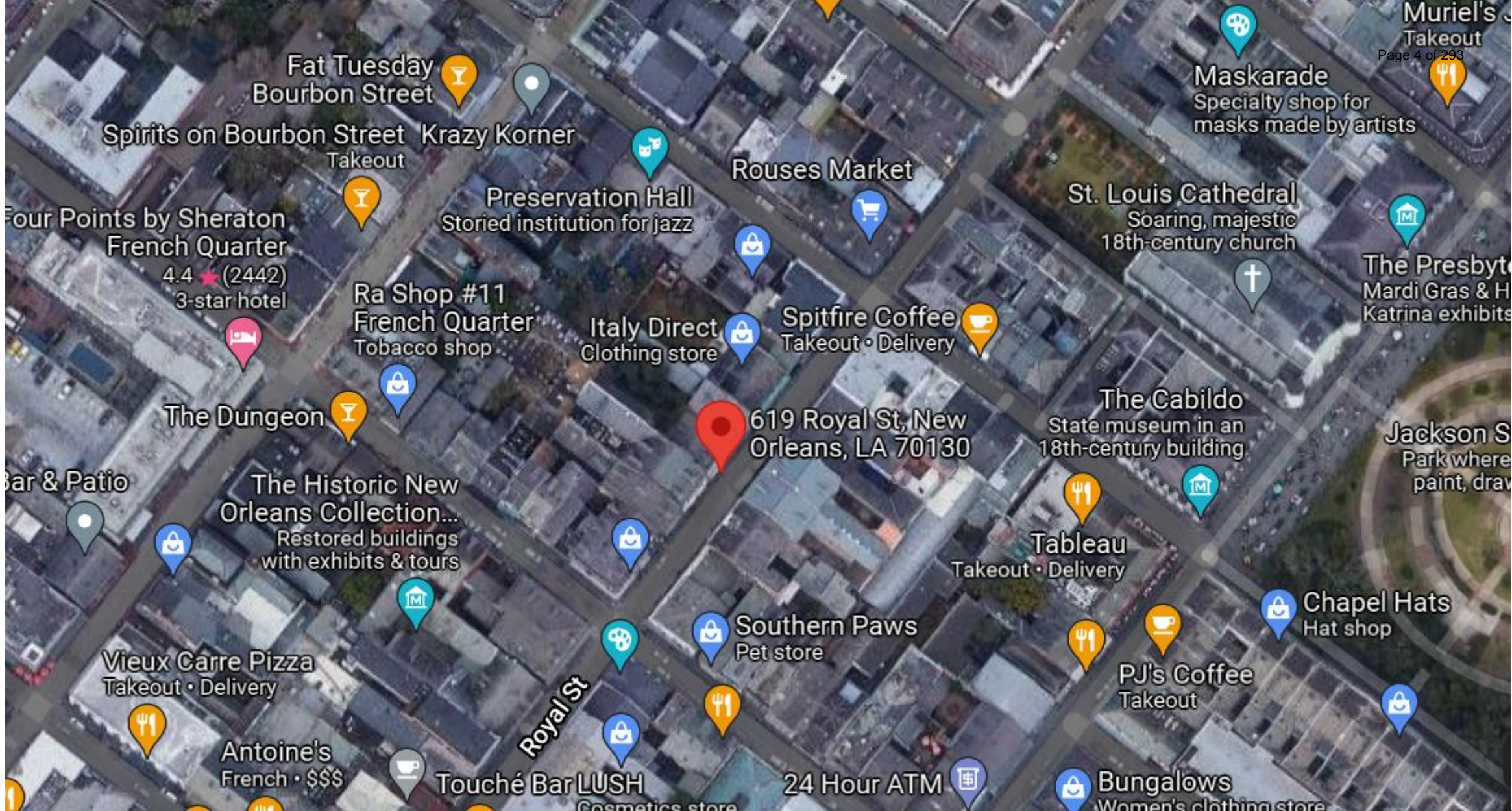
Tuesday, December 21, 2021



Old Business



619 Royal



619 Royal

VCC Architectural Committee

December 7, 2021





619 Royal

VCC Architectural Committee

December 7, 2021





619 Royal

VCC Architectural Committee

December 7, 2021





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619 Royal – loggia enclosure at 623 Royal



619 Royal

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December 7, 2021





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December 7, 2021



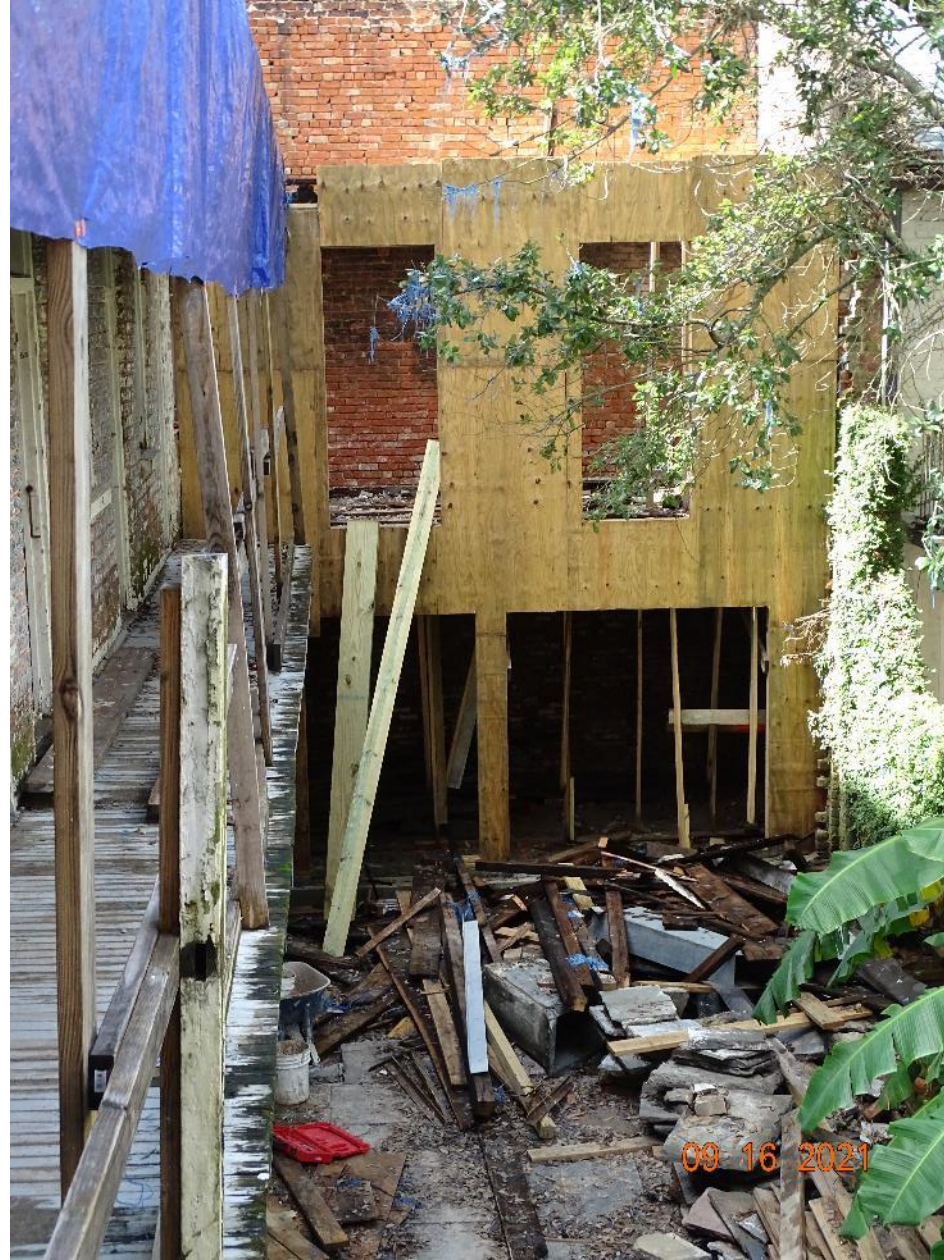


619 Royal

VCC Architectural Committee

December 7, 2021





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December 7, 2021





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VCC Architectural Committee

December 7, 2021



Dear Erin,

As part of our submission for the December 21, 2021 ARC meeting we feel that, based on the Committee's previous comments and concerns on the hybrid masonry wall system, that a masonry veneer with wood stud walls proposed at the November 9, 2021 meeting is an appropriate approach to rebuild the existing wall. We feel that this direction still maintains an exterior façade that is consistent with the original wall's appearance and contributes to the servants' quarters overall historic character. We hope that the ARC will consider the new masonry wall based on these factors:

Condition of the existing rear wall

The existing wall was deteriorated due to vegetation, water intrusion and extensive settlement due to poor foundations. This settlement can still be seen along the length of the property which was an indication of the lack of proper footings and compromised soils along the 619 and 623 Royal properties. In addition, three out of the four openings were missing doors/windows and showed a great deal of deterioration of the existing frames. The frames were constructed similar to the adjacent servants' quarters which are load bearing wood frames versus masonry or steel lintels.

Veneer Masonry Wall Approach

Due to the settlement concerns it was determined that a new modern concrete footing should be incorporated as the wall was rebuilt. Based on consultation with our Structural Engineer a brick veneer with a stud wall backing is a suitable long lasting wall assembly that can be used in place of a load bearing masonry wall. Utilizing contemporary construction techniques is generally an acceptable approach in renovation projects as long as they are not visible. The team determined the advantages of using the veneer wall included the following:

- Lessening the load on the existing compromised soils
- Incorporating existing salvaged bricks for the outer masonry veneer to tooth into the adjacent masonry wall while providing adjustable brick ties anchored to the plywood/stud walls would allow the walls to move independently given that the new wall is on a contemporary footing and the old masonry walls are on corbelled brick footings.
- Incorporating a 2 x 6 stud wall behind the veneer would provide a 11 ¼" wall assembly (existing masonry walls measured 9"-10" thick) that will provide more depth and shadow line for the new openings.

In conclusion we feel that from the exterior the wall and openings will maintain a consistent look and feel of the existing wall and will not affect the defining historic character of the servants' quarter or the property as a whole. I hope that you consider these points as you review our submission for this rear masonry wall.

If you have any questions or need anything further from us, please call us at (504) 523-2772.

Sincerely,



Gabriel Virdure, AIA
Associate

CC: file



619 ROYAL STREET
RENOVATION
619 ROYAL STREET

GARNER
Jardin Royale, LLC
5924 Coliseum Street
New Orleans, LA 70130
(504) 301-8089

ARCHITECT

TRAPOLIN-PEER
860 TCHOUPITOUS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

CONTRACTOR
NFT GROUP, LLC
831 ELYSIAN FIELDS AVE - UNIT C
NEW ORLEANS LA 70115
504-844-7742



| REVISION # | DESCRIPTION | DATE |
|------------|-------------|------|
|------------|-------------|------|

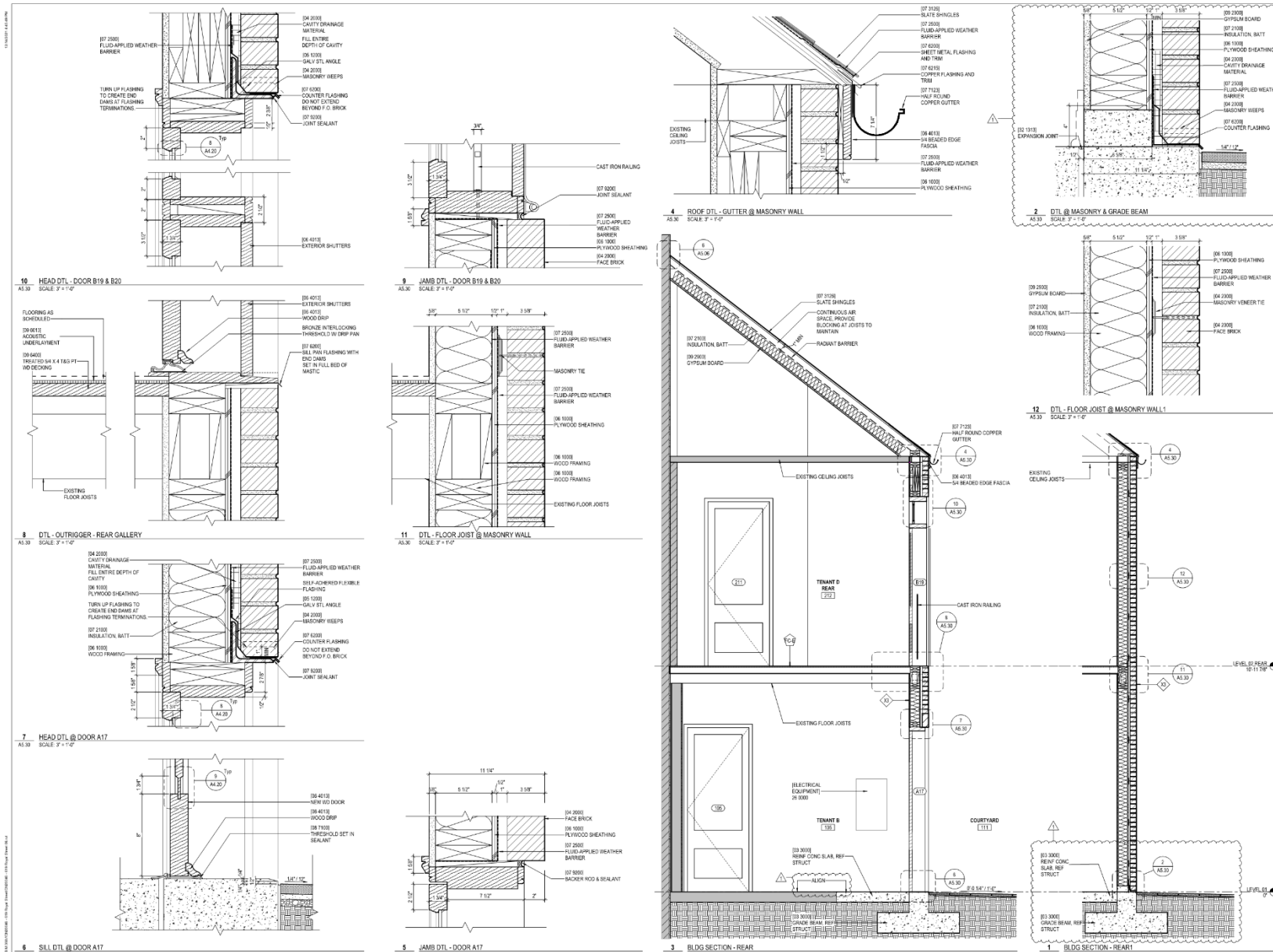
PROJECT NUMBER
CN20046

ISSUE DATE: _____

04/23/21

EXTERIOR
DETAILS - REAR
BUILDING

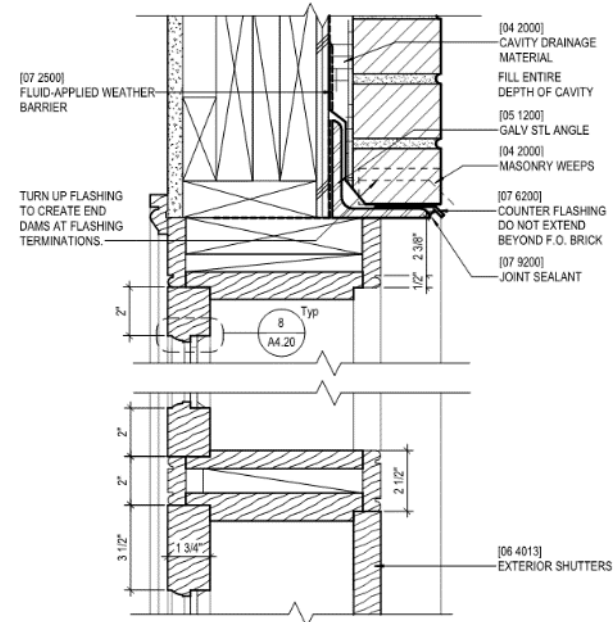
A5.30



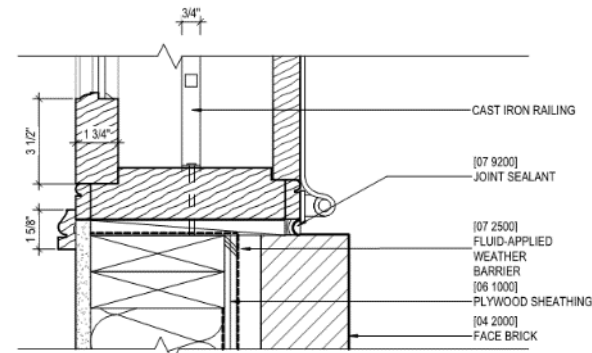
619 Royal

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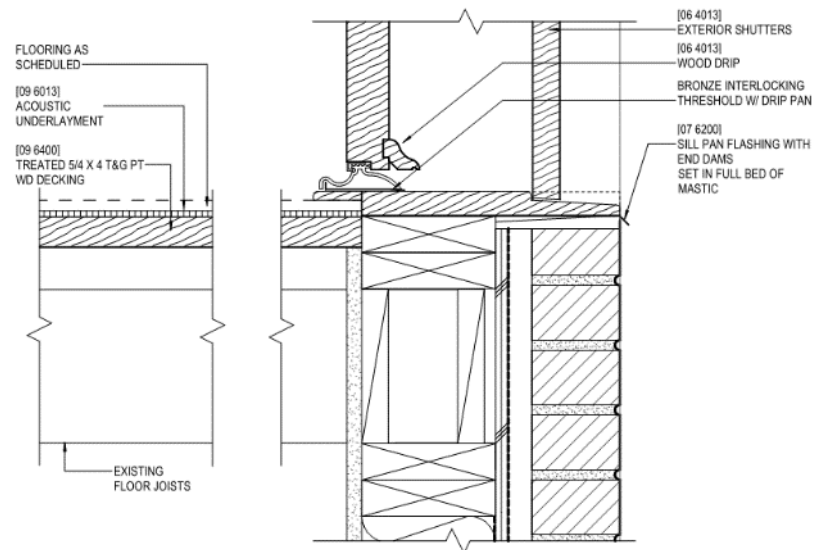
December 7, 2021



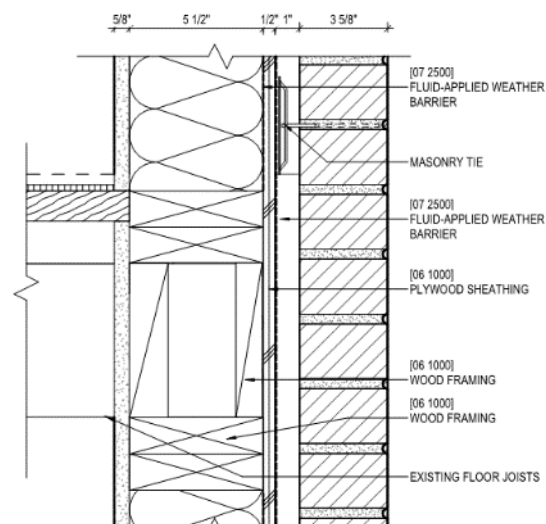
10 HEAD DTL - DOOR B19 & B20
A5.30 SCALE: 3" = 1'-0"



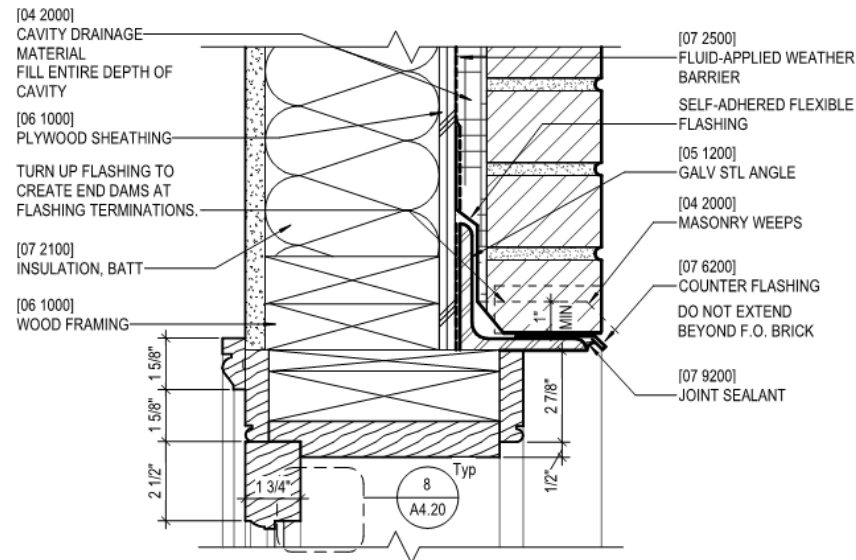
9 JAMB DTL - DOOR B19 & B20
A5.30 SCALE: 3" = 1'-0"



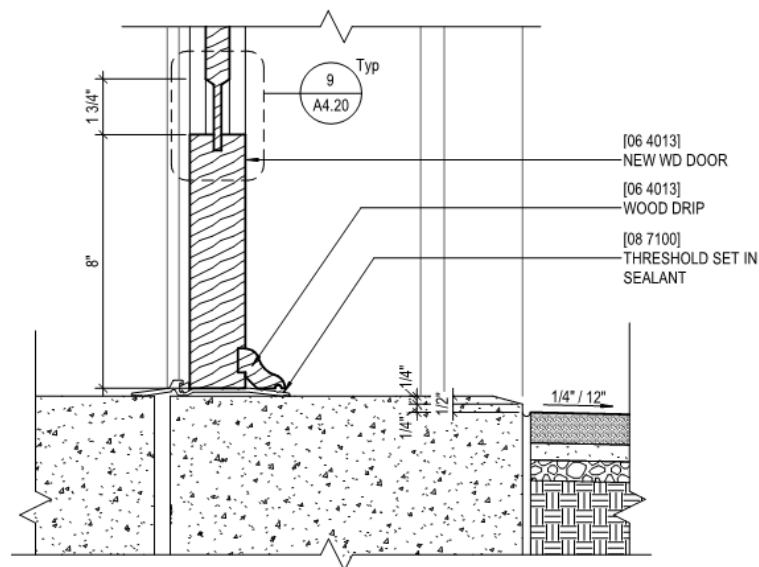
8 DTL - OUTRIGGER - REAR GALLERY
A5.30 SCALE: 3" = 1'-0"



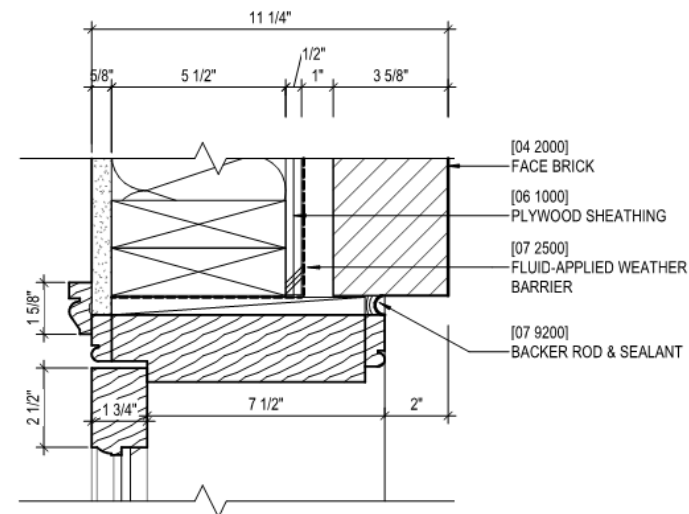
11 DTL - FLOOR JOIST @ MASONRY WALL
A5.30 SCALE: 3" = 1'-0"



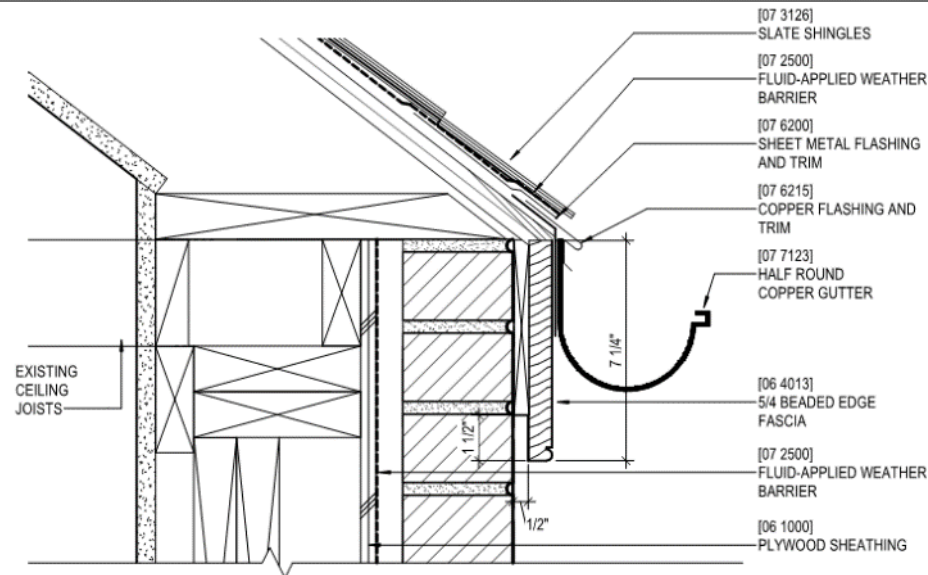
7 HEAD DTL @ DOOR A17
A5.30 SCALE: 3" = 1'-0"



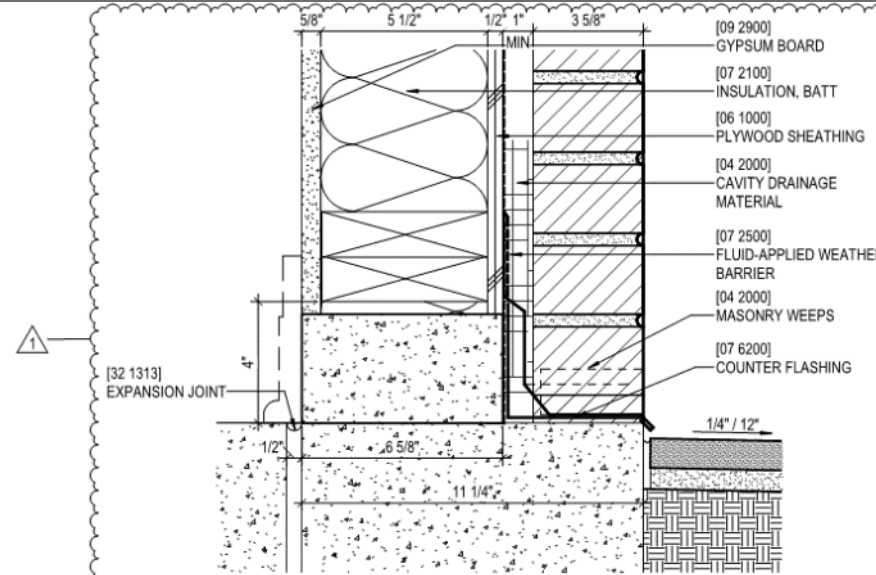
6 SILL DTL @ DOOR A17
A5.30 SCALE: 3" = 1'-0"



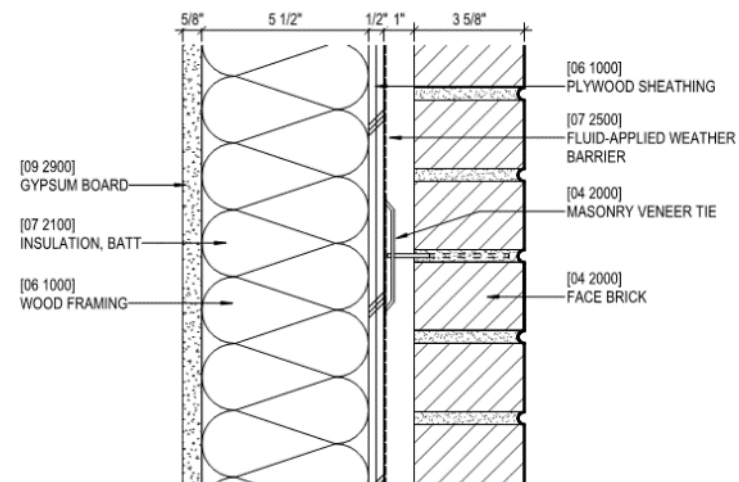
5 JAMB DTL - DOOR A17
A5.30 SCALE: 3" = 1'-0"



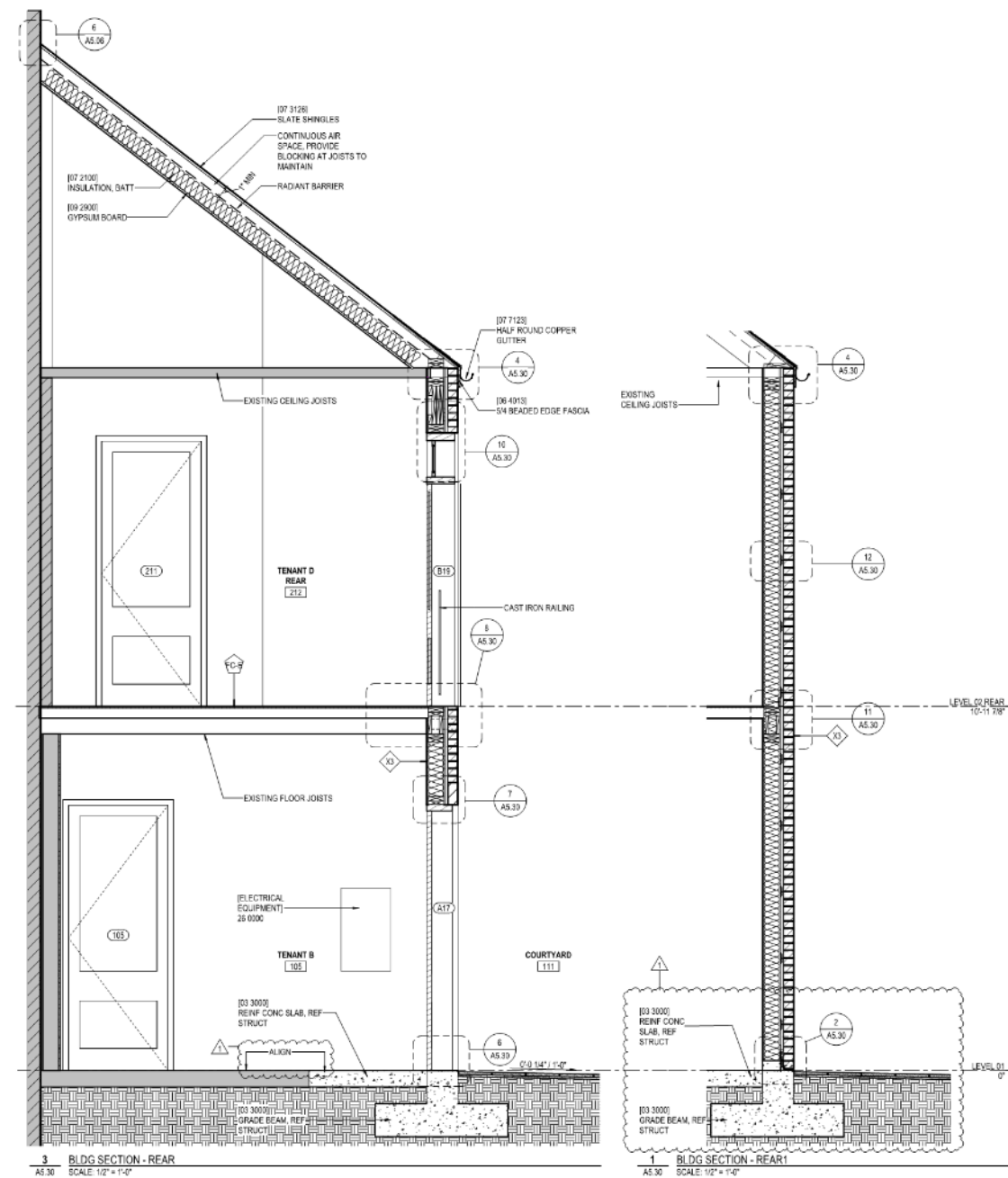
4 ROOF DTL - GUTTER @ MASONRY WALL
A5.30 SCALE: 3" = 1'-0"



2 DTL @ MASONRY & GRADE BEAM
A5.30 SCALE: 3" = 1'-0"



12 DTL - FLOOR JOIST @ MASONRY WALL1
A5.30 SCALE: 3" = 1'-0"

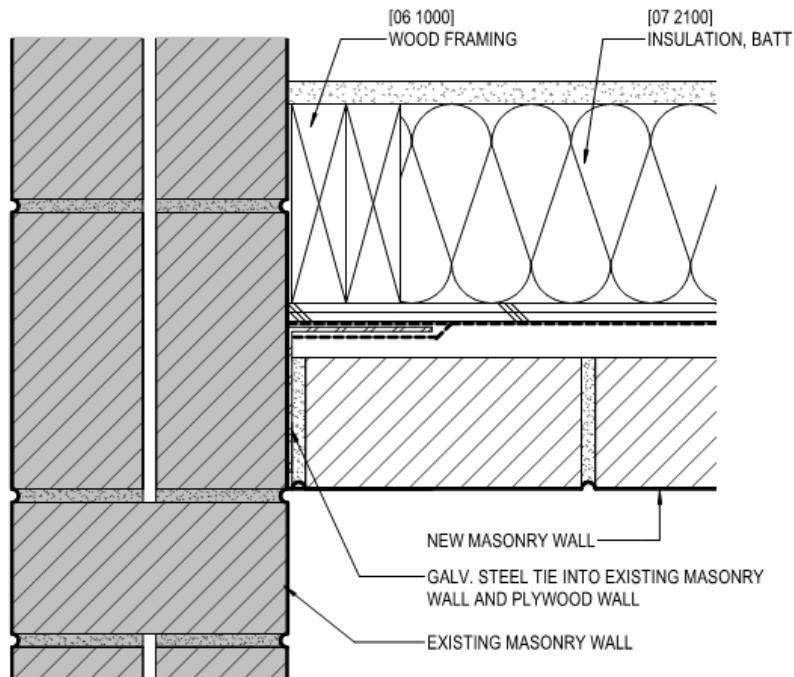


619 Royal

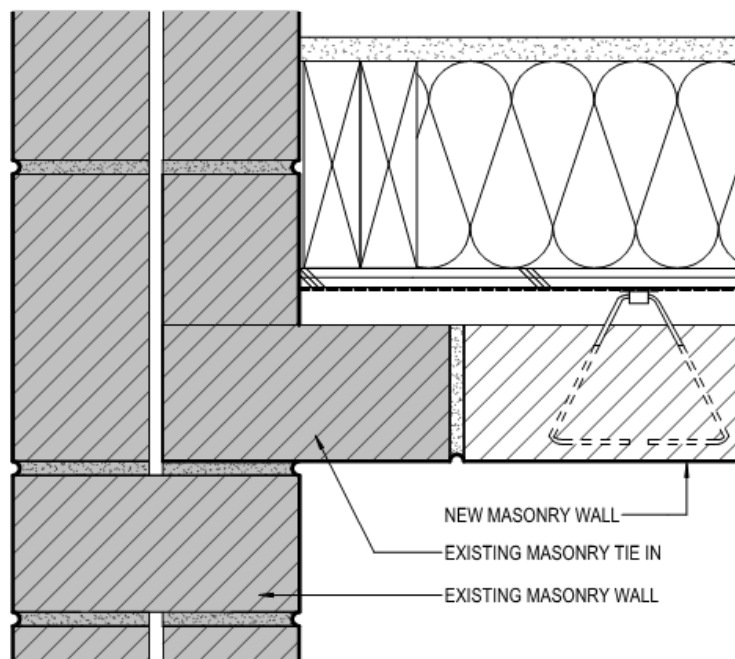
VCC Architectural Committee

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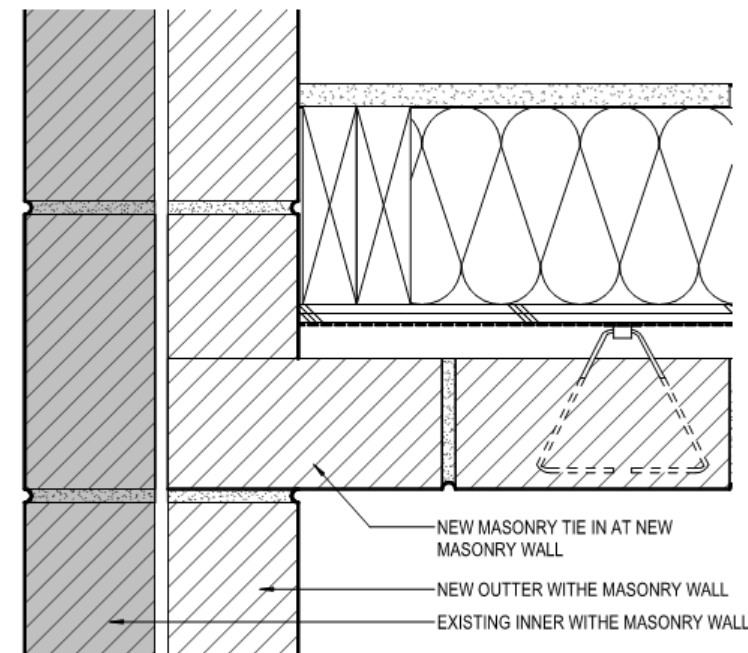




1 DTL - NEW MASONRY WALL @ MTL TIE
SKA-25 SCALE: 3" = 1'-0"



2 DTL - NEW MASONRY WALL
SKA-25 SCALE: 3" = 1'-0"



3 DTL - NEW MASONRY WALL @ 2ND FLR
SKA-25 SCALE: 3" = 1'-0"



**619 ROYAL STREET
RENOVATION**
619 ROYAL STREET
NEW ORLEANS, LA

OWNER
Jardin Royale, LLC
5624 Coliseum Street
New Orleans, LA 70130
(504) 361-0000

ARCHITECT
TRAPOLINPEER
800 TCHOUPTOULAS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

CONTRACTOR
Company Name
Street Address
City, State
Phone Number



PREPARED AT DESCRIPTION 1 DATE



APPROVED

619 ROYAL STREET ARCHITECTS, APC
PROJECT NUMBER
CN200046
ISSUE DATE
01/15/21

BLDG
ELEVATIONS

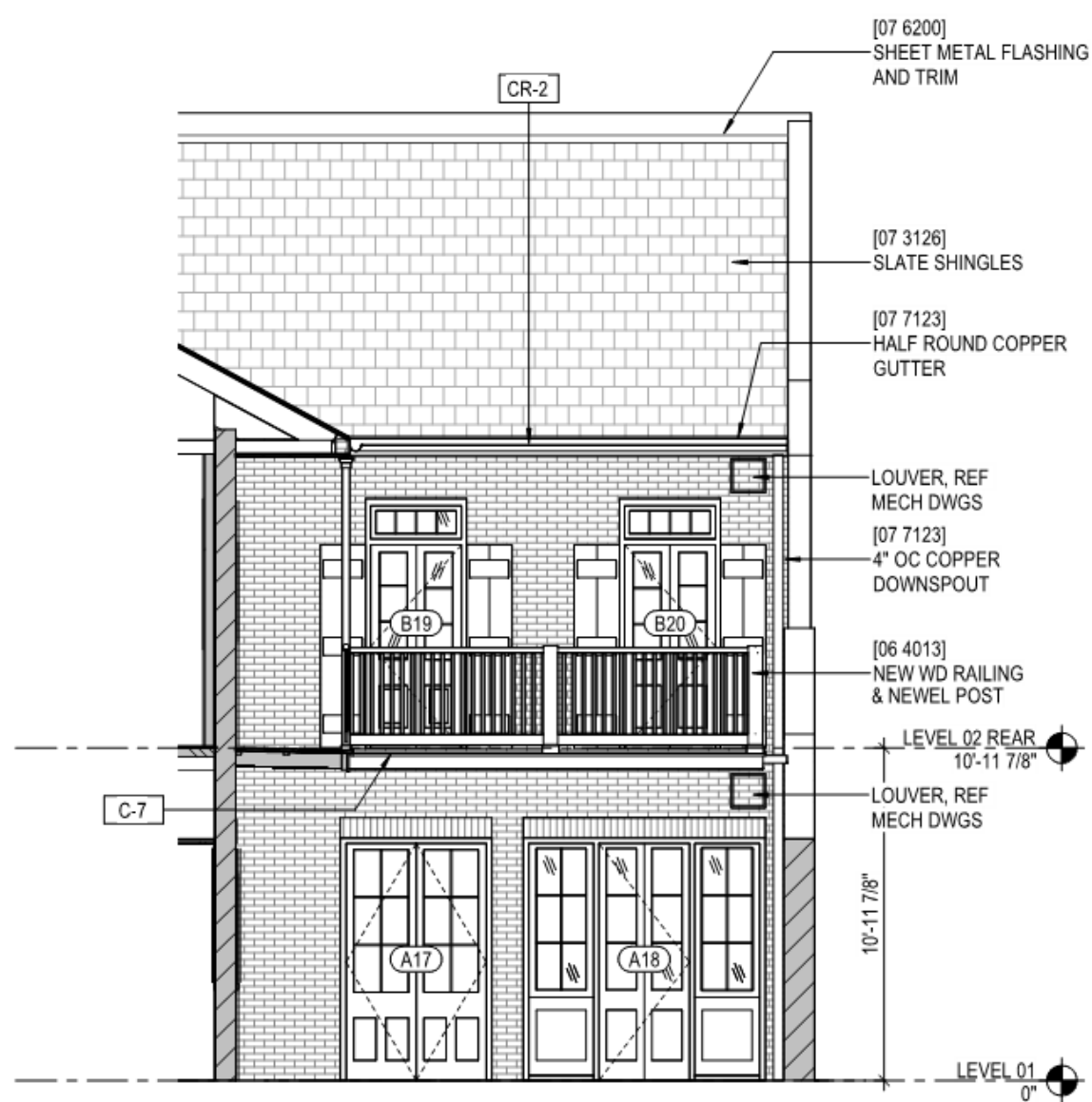
A3.01

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December 7, 2021





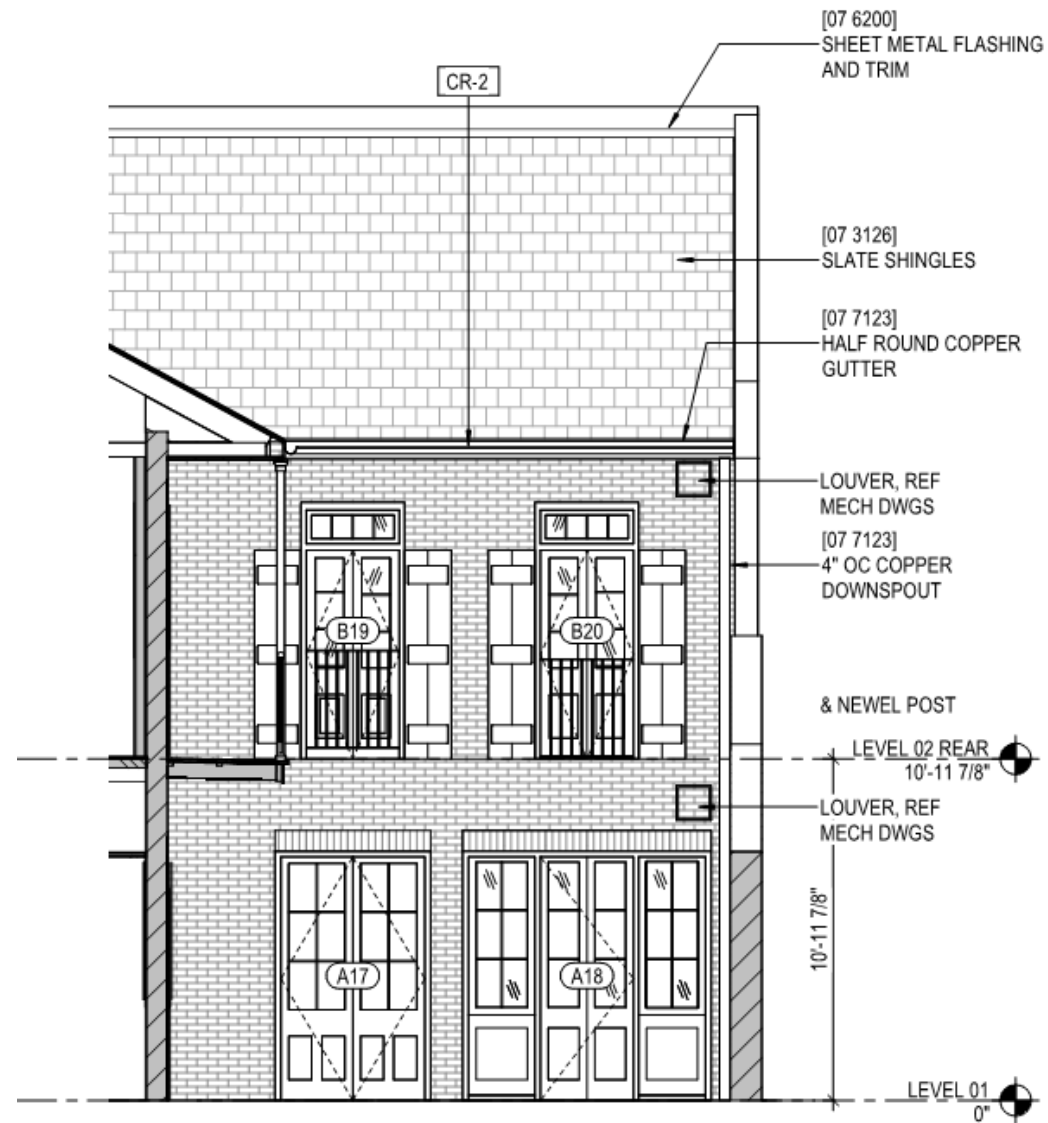
2 BLDG ELEVATION - COURTYARD NORTH
A3.01 SCALE: 3/16" = 1'-0"

619 Royal – approved elevation

VCC Architectural Committee

December 7, 2021





2 BLDG ELEVATION - COURTYARD NORTH
A3.01 SCALE: 3/16" = 1'-0"

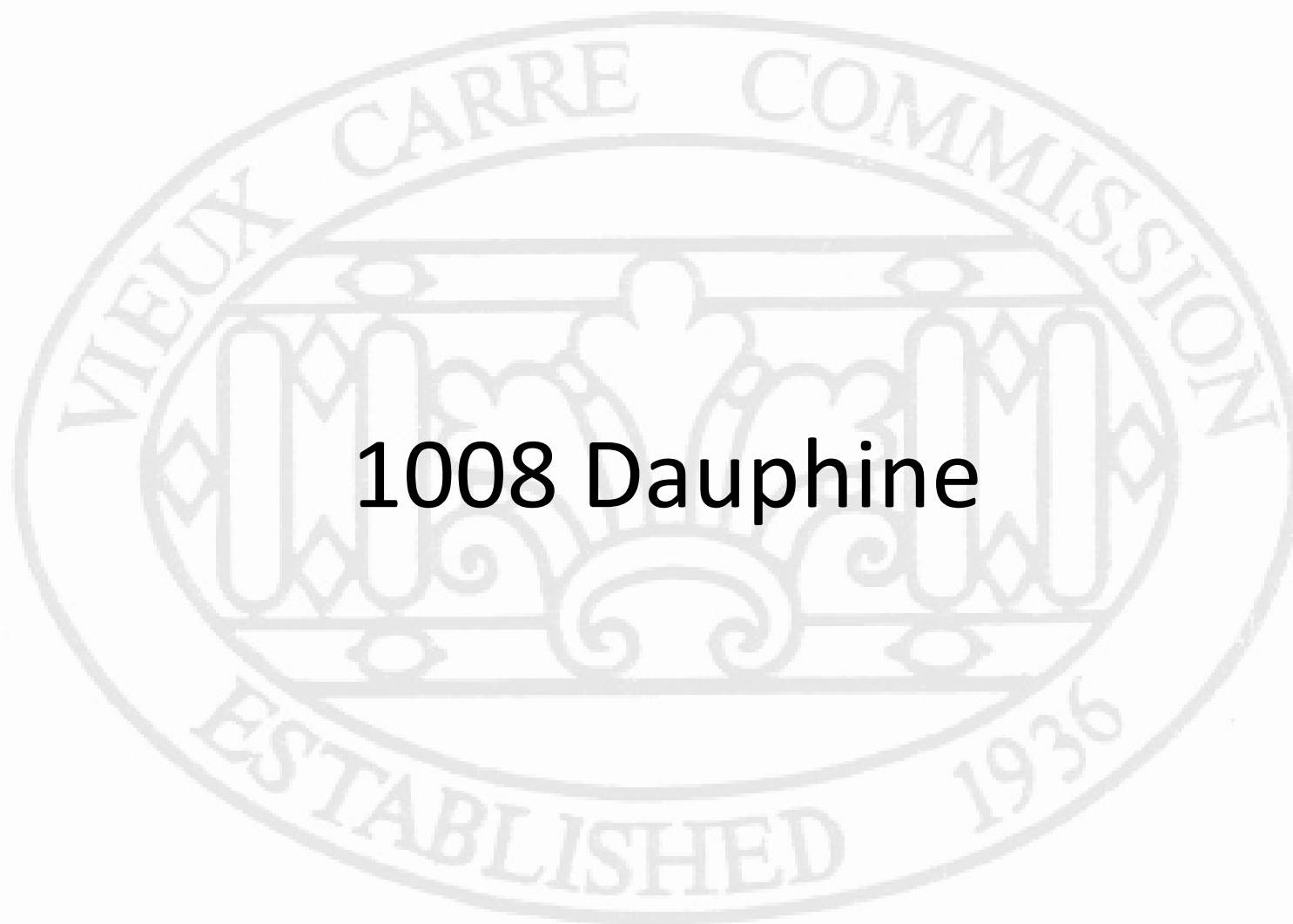
619 Royal – proposed elevation

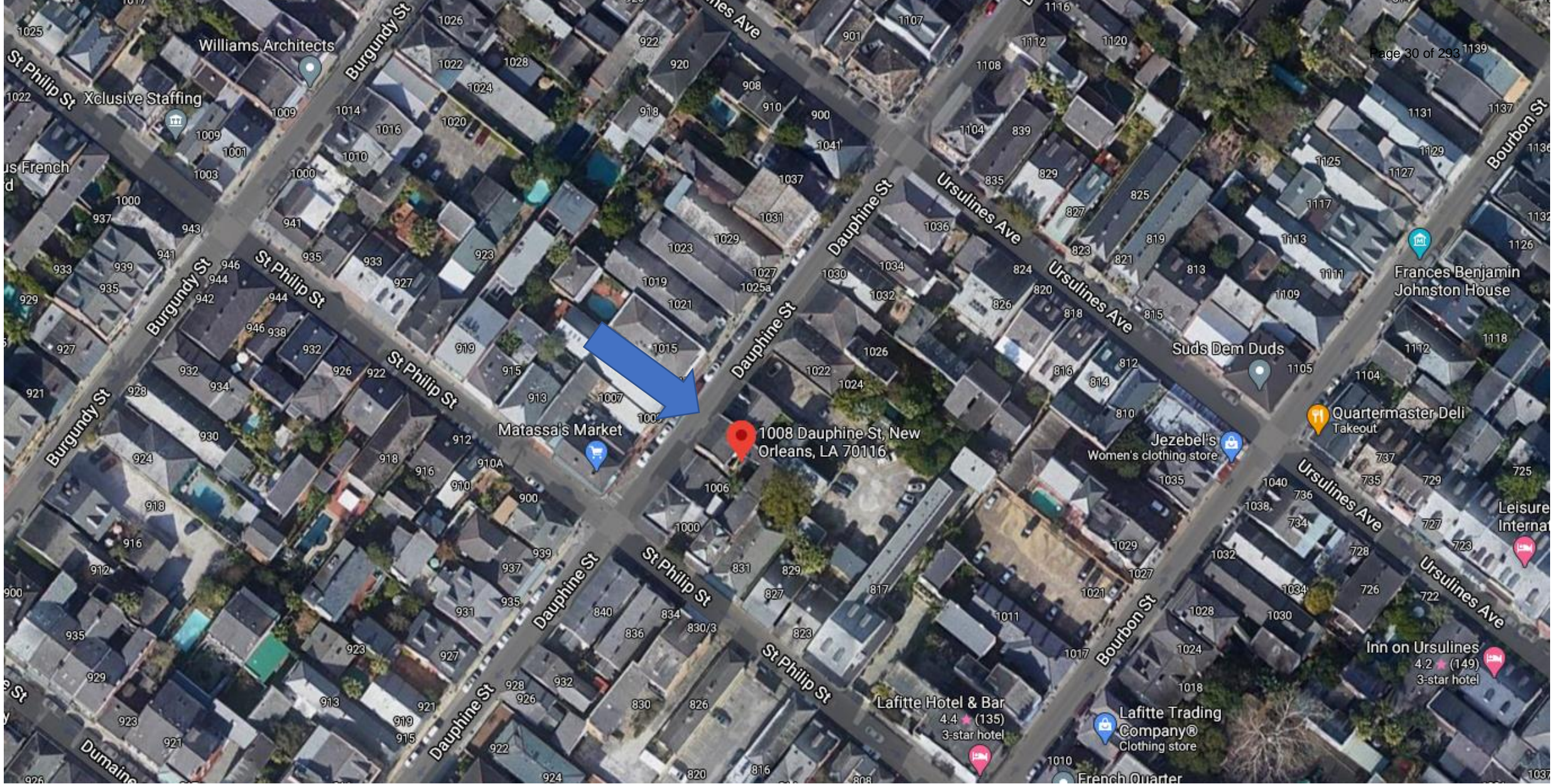
VCC Architectural Committee

December 7, 2021



1008 Dauphine





1008 Dauphine

VCC Architectural Committee

June 8, 2021





1008 Dauphine

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June 8, 2021





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June 8, 2021





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June 8, 2021





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June 8, 2021





1008 Dauphine
VCC Architectural Committee

June 8, 2021



REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA

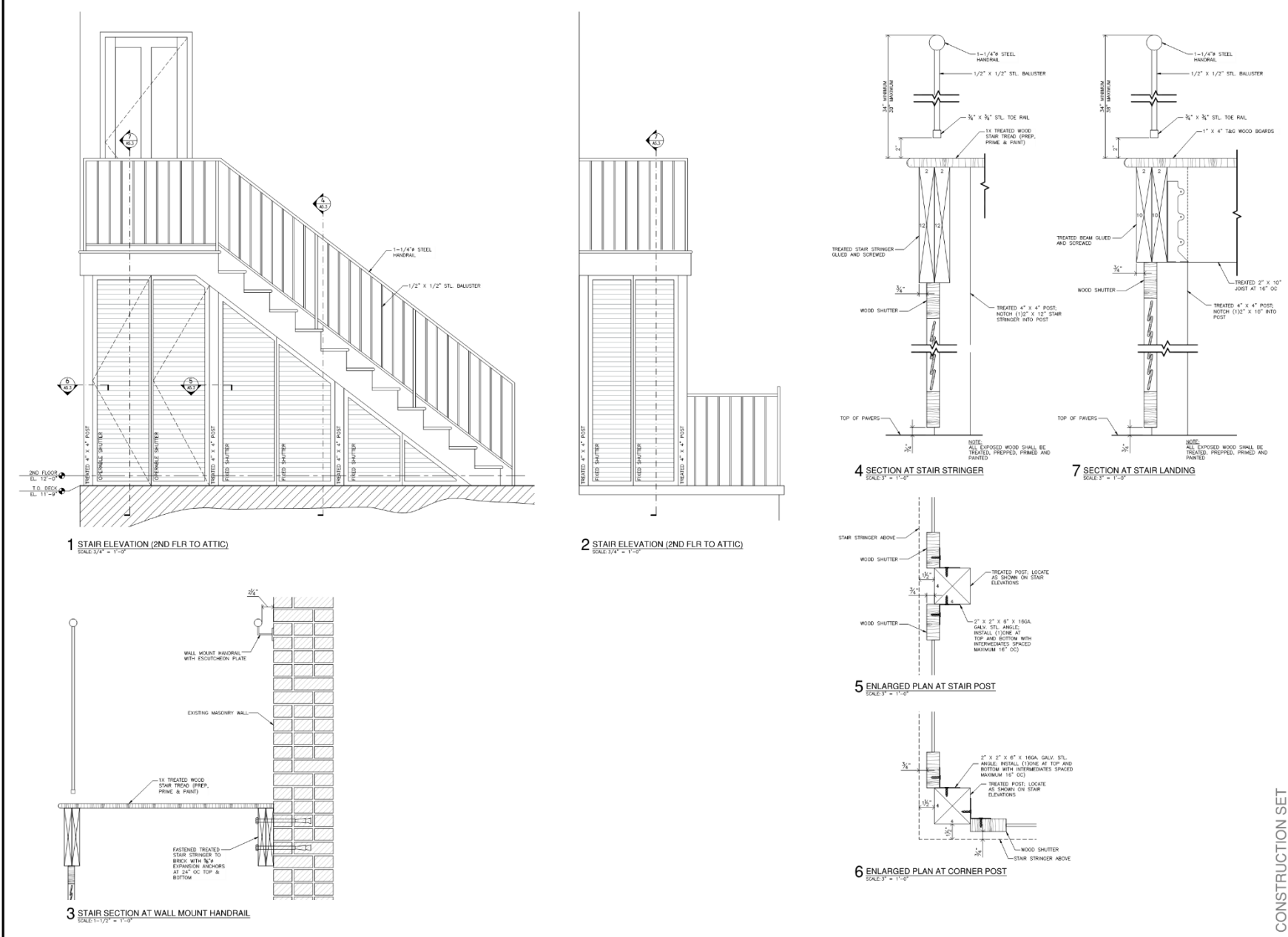
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.
CERTIFIED CORRECT

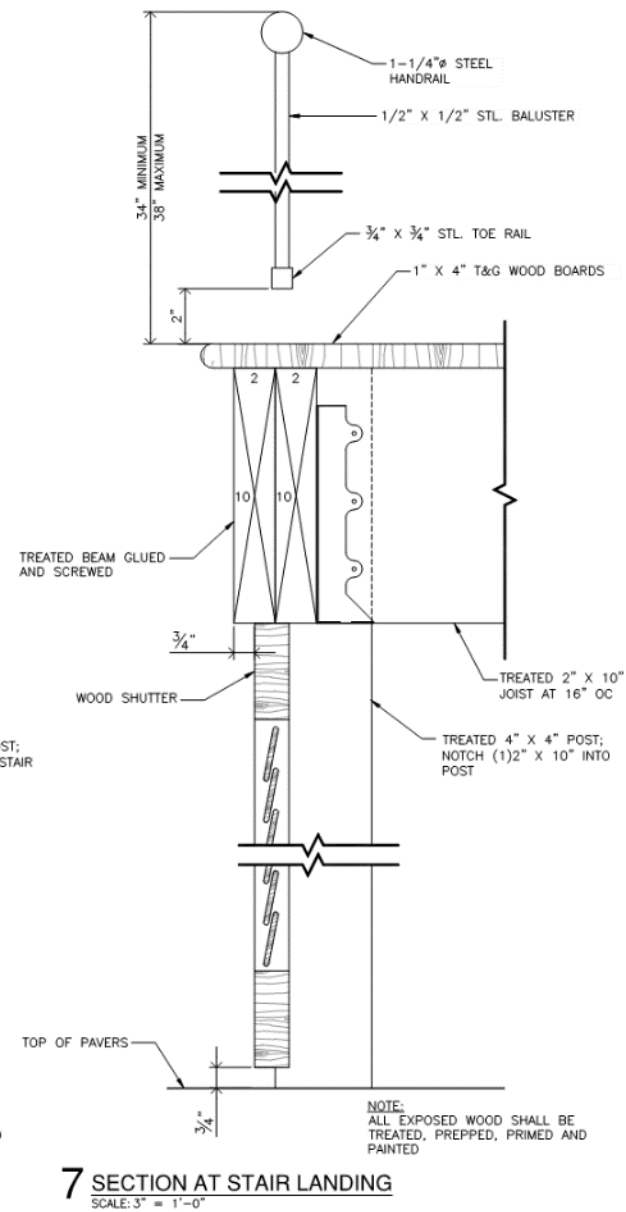
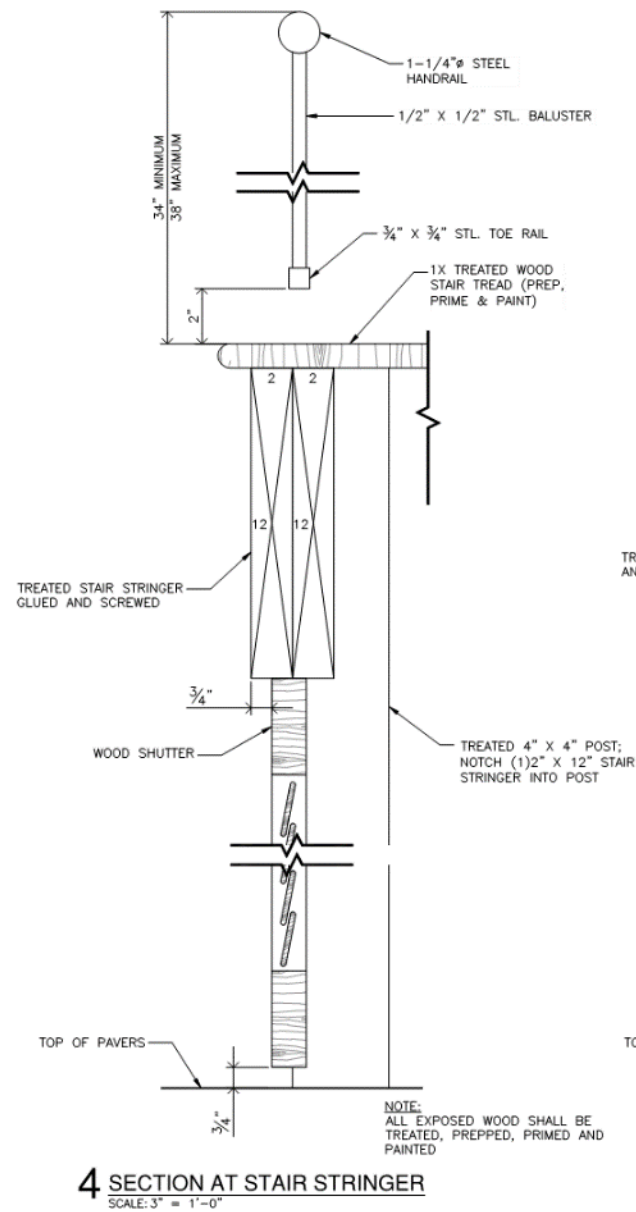
THIS DRAWING IS CONFIDENTIAL AND MAY NOT BE LOANED, REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF MAPLE RIDGE ARCHITECTS, A PROFESSIONAL L.L.C. ALL RIGHTS OF DESIGN OR INVENTION ARE RESERVED AND WILL REMAIN THE SOLE PROPERTY OF MAPLE RIDGE ARCHITECTS, A PROFESSIONAL L.L.C.

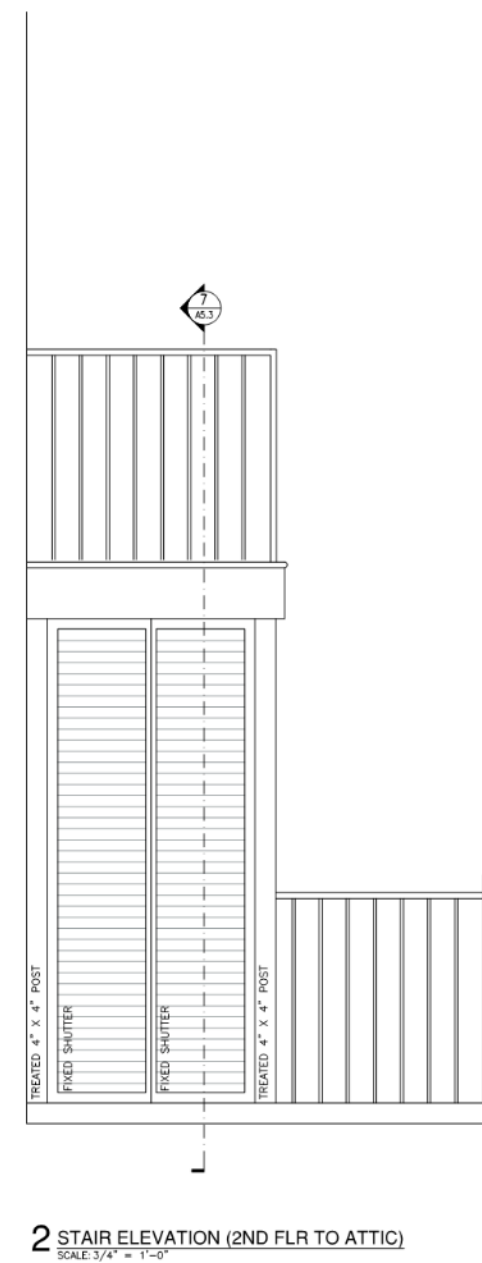
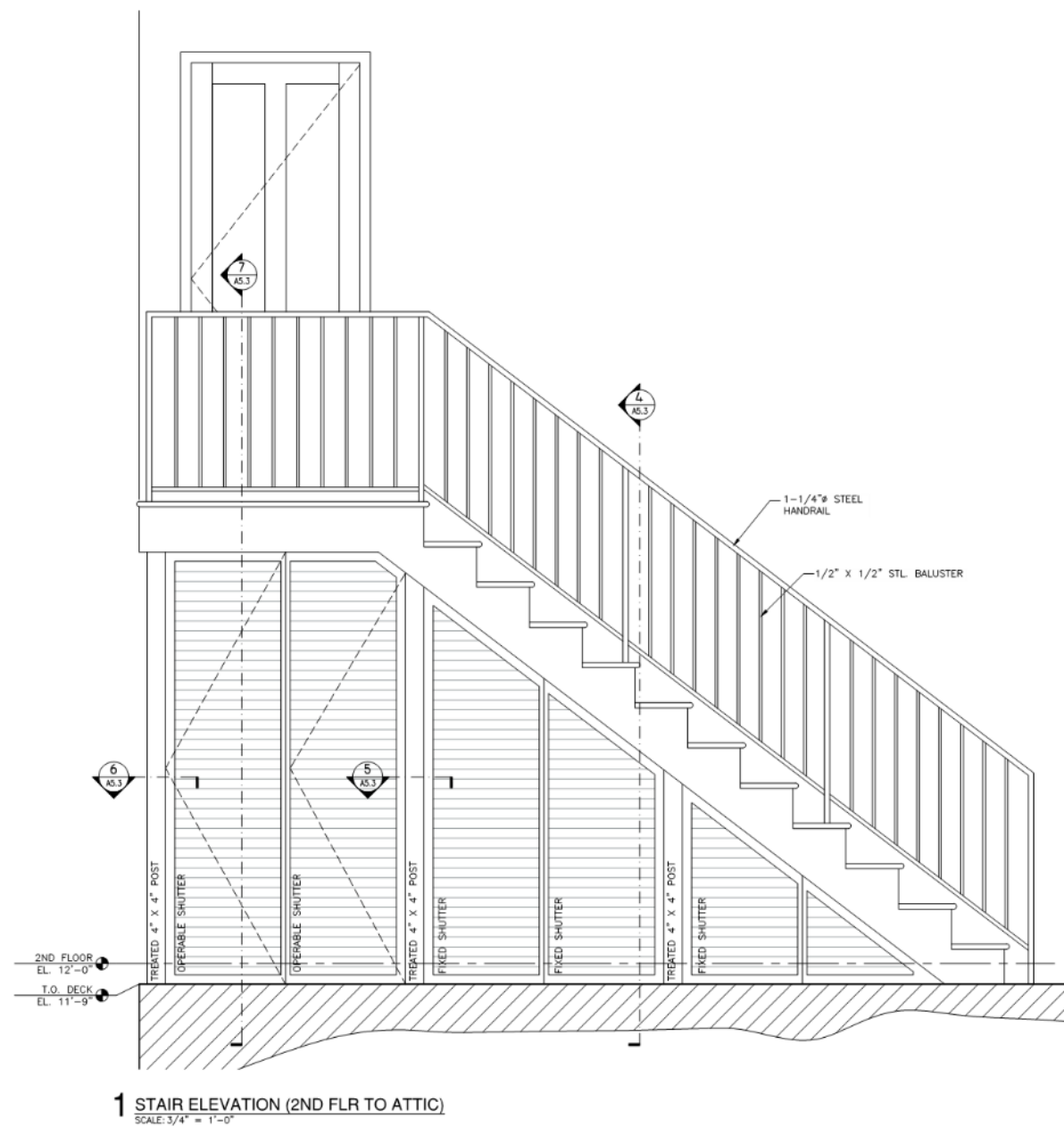
| REVISION HISTORY | | |
|------------------|------|-------------|
| NO. | DATE | DESCRIPTION |
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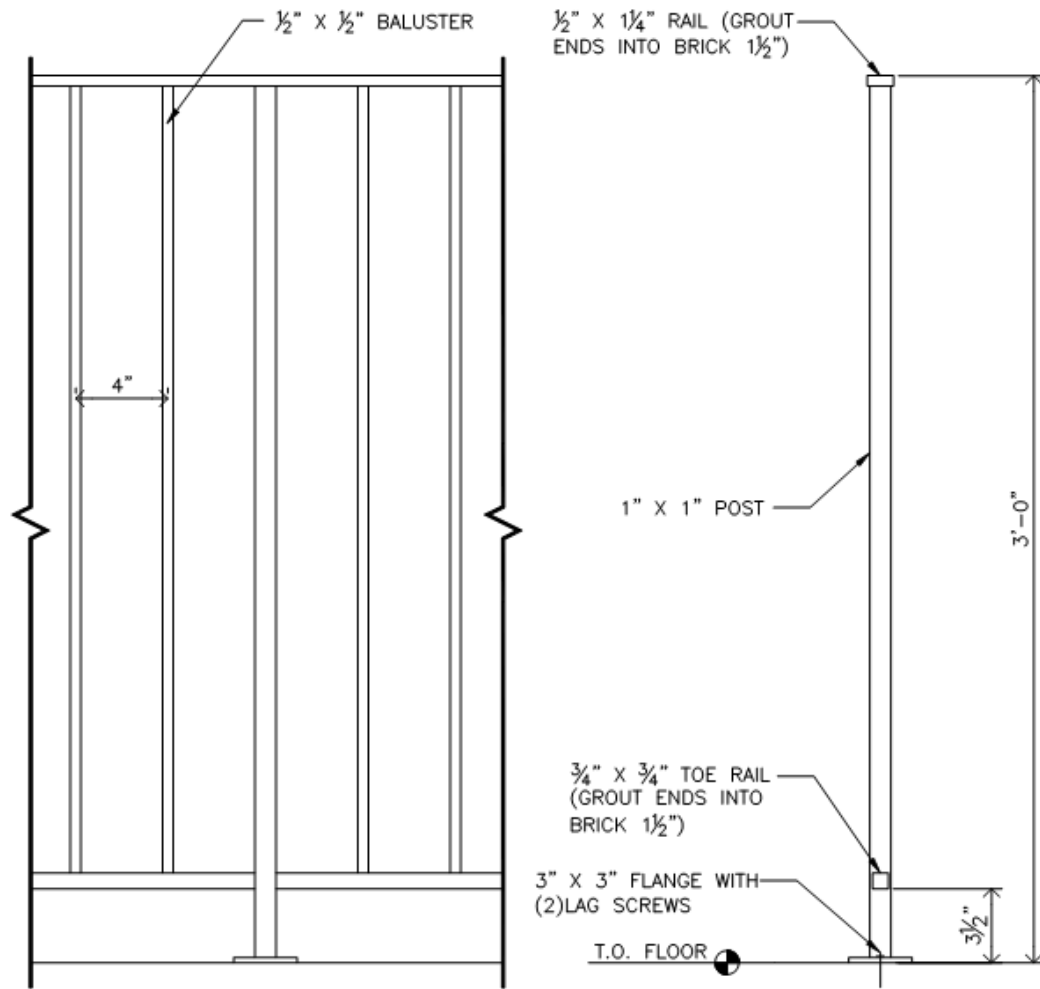
PROJECT#: 2021-13
PHASE: CD
DRAFTER: JC
CHECKER: JC
SCALE: AS SHOWN
ISSUED: 09/24/2021
SHEET#

A-5.3

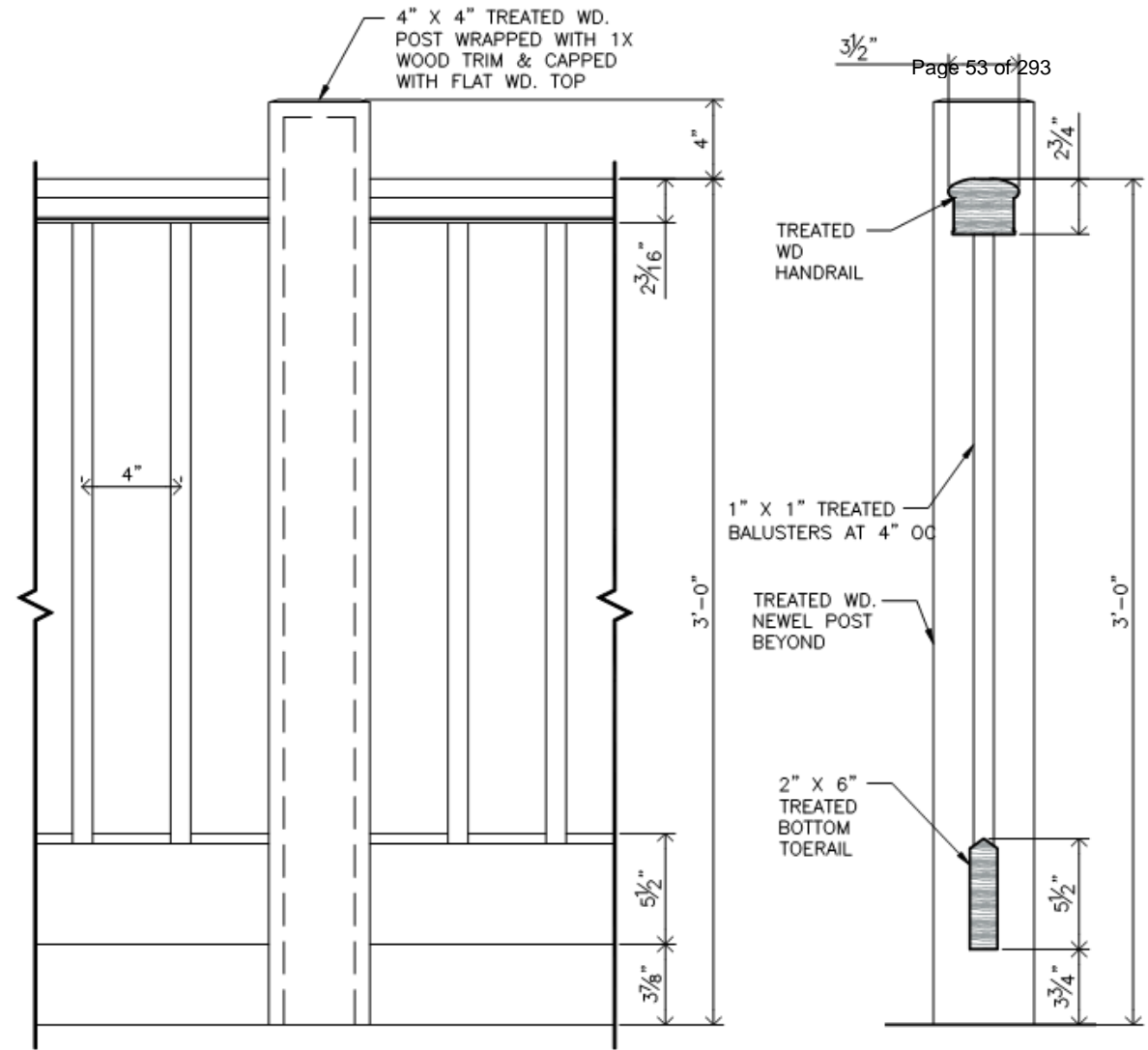




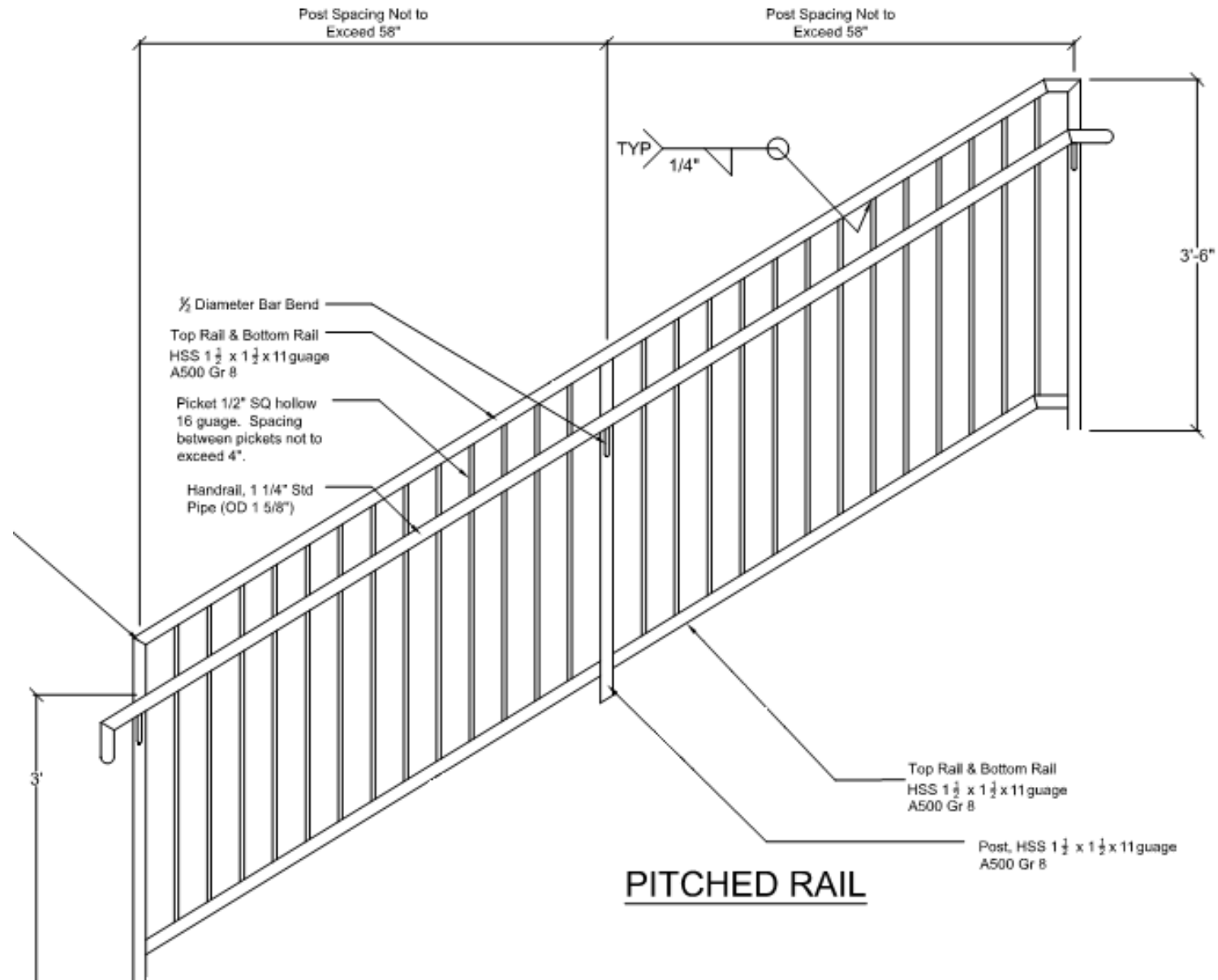




5 STEEL BALCONY RAIL ELEVATION & SECTION
SCALE: 1-1/2" = 1'-0"



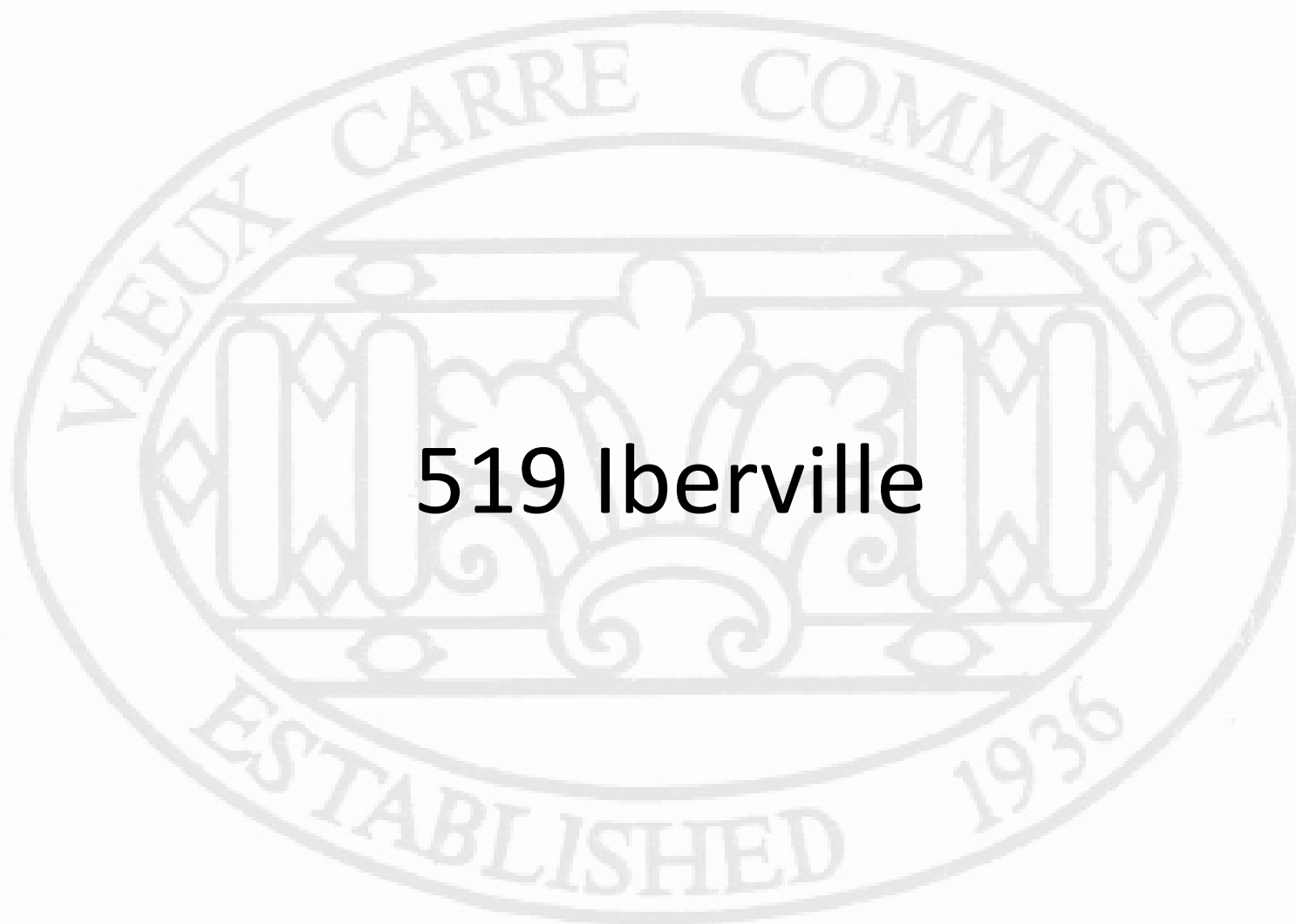
6 WOOD NEWEL POST & RAIL ELEVATION
SCALE: 1-1/2" = 1'-0"

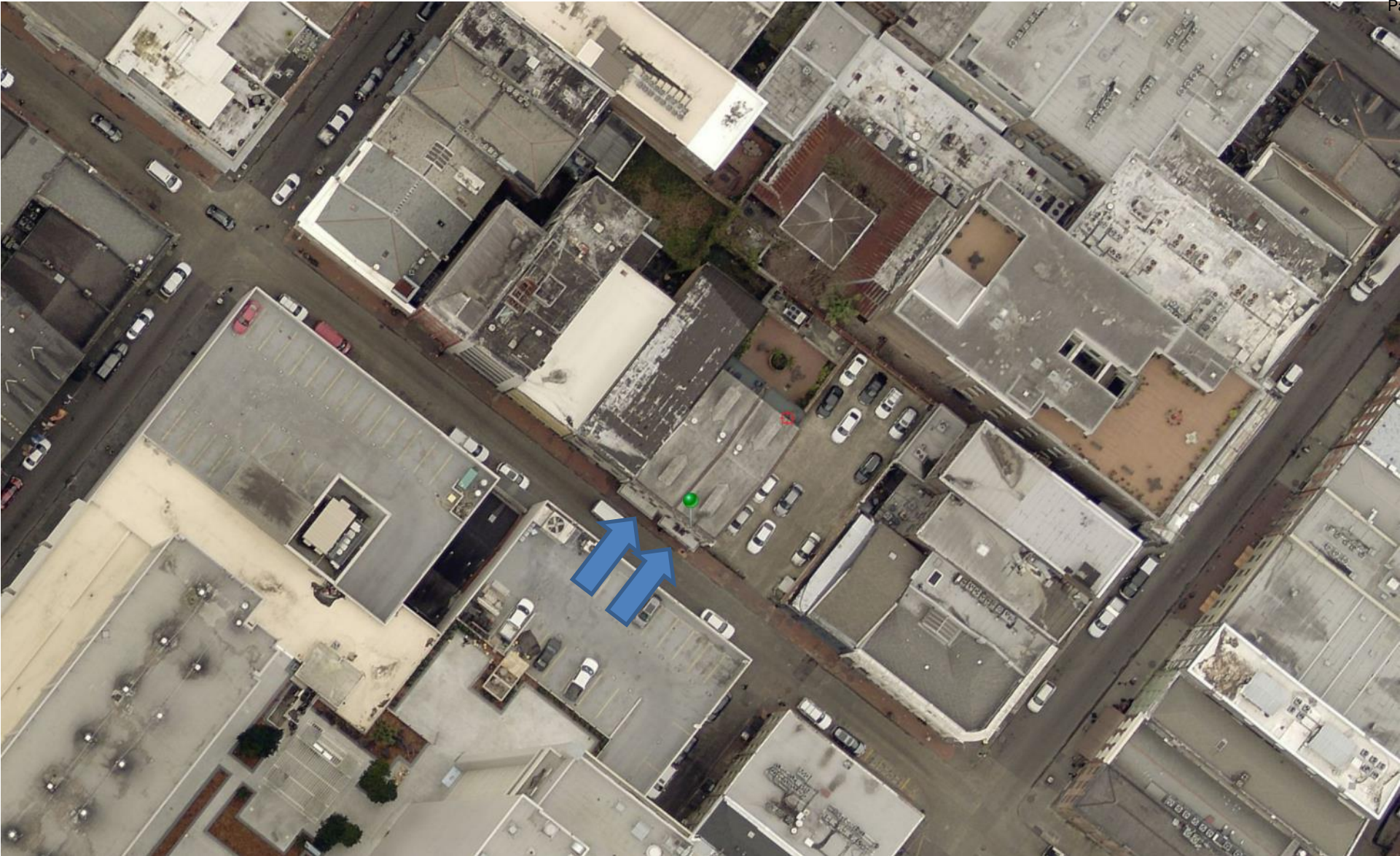




729 Governor Nicholls
Deferred at Staff's Request
(insufficient materials)

519 Iberville



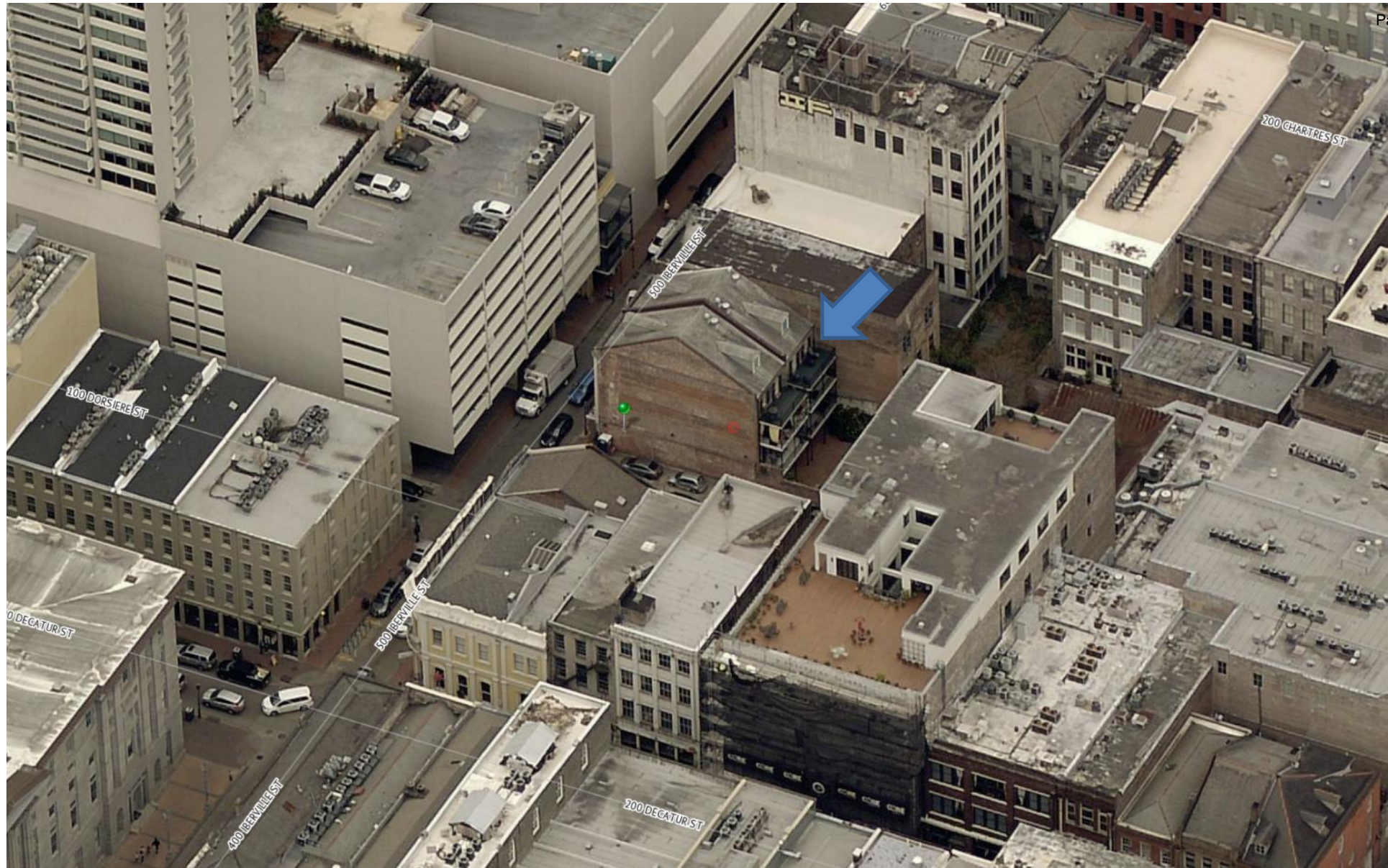


517-23 Iberville

VCC Architectural Committee

December 7, 2021



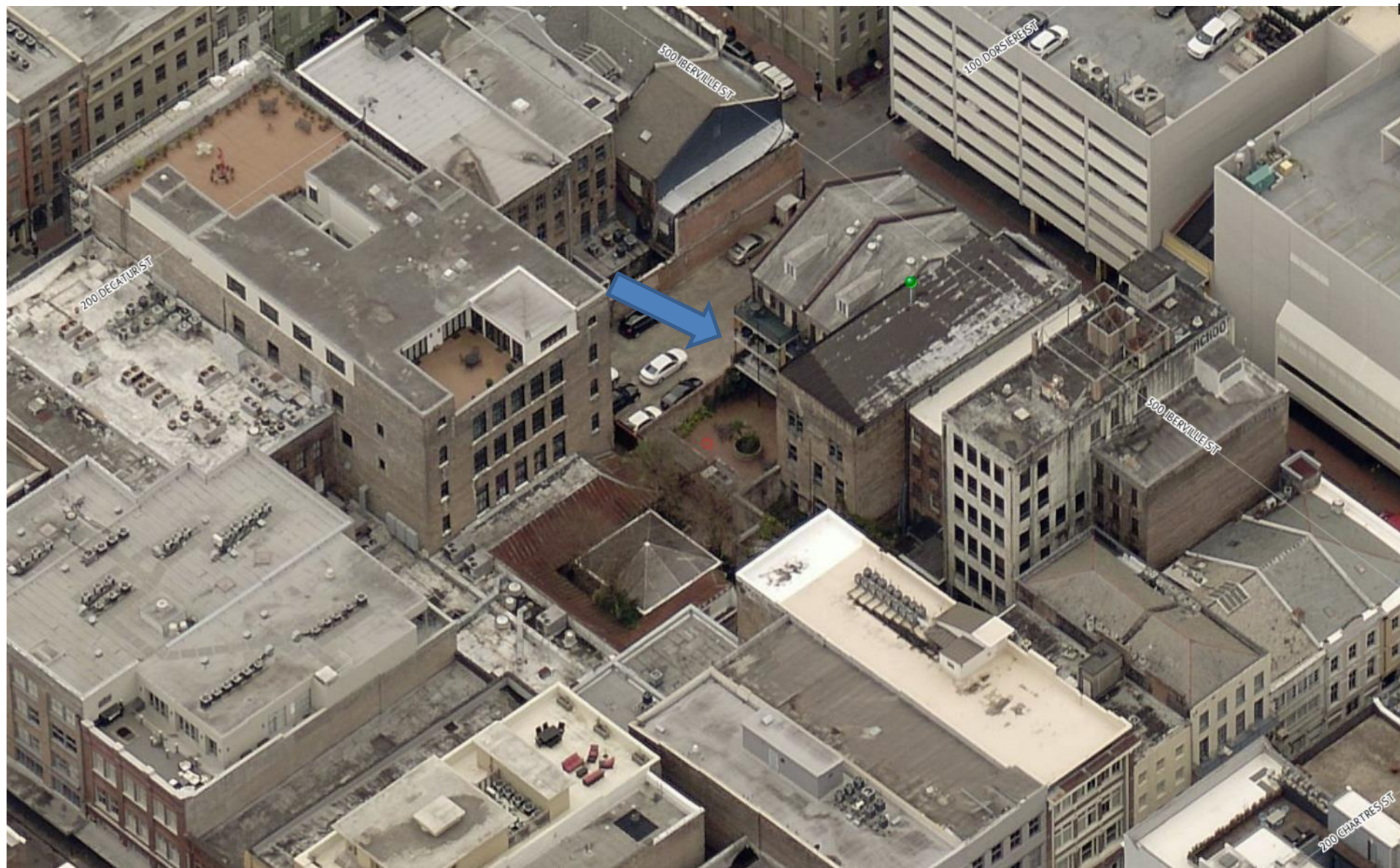


517-23 Iberville

VCC Architectural Committee

December 7, 2021





517-23 Iberville

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December 7, 2021





517-23 Iberville

VCC Architectural Committee

December 7, 2021





517-23 Iberville

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December 7, 2021



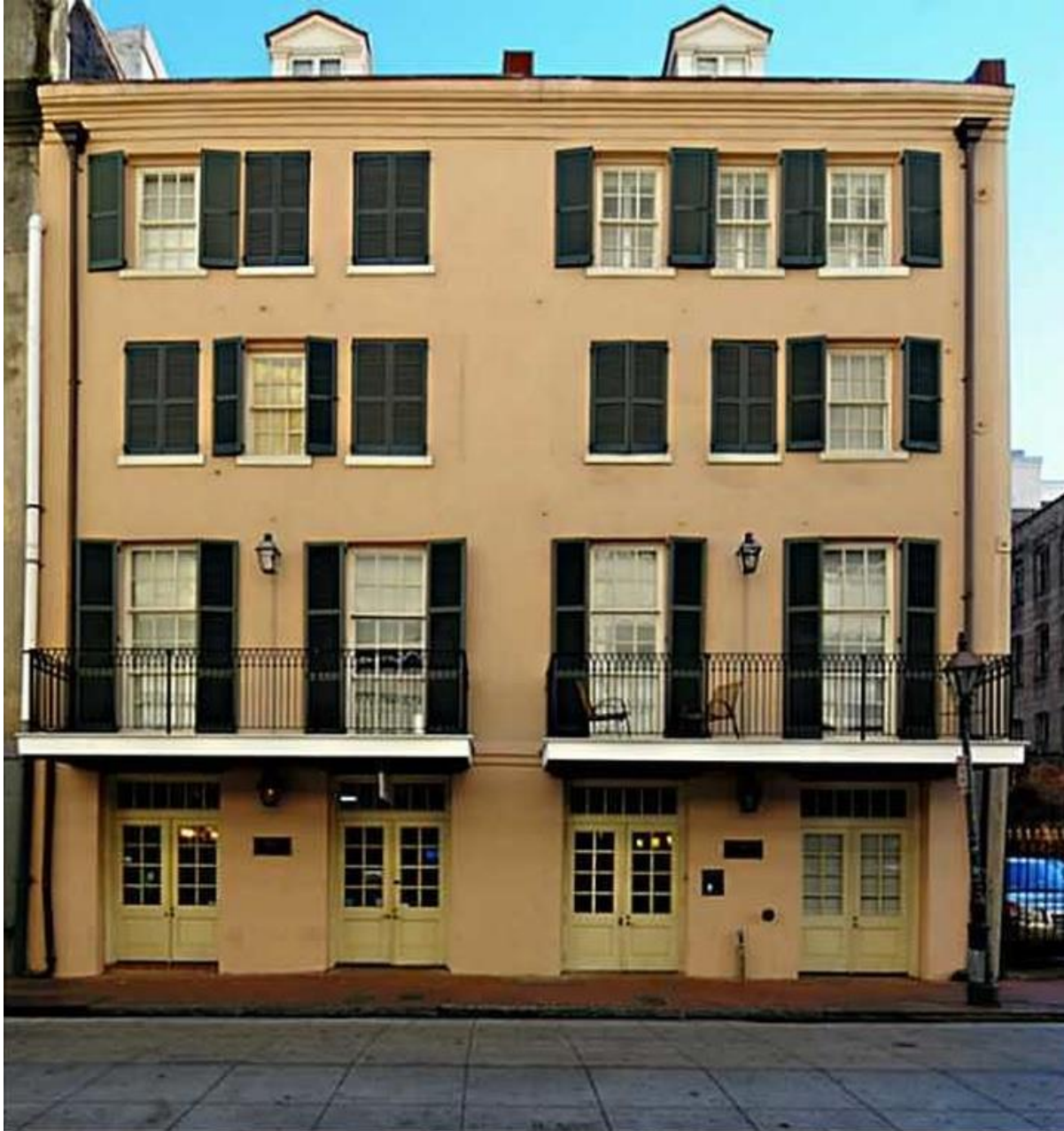


517-23 Iberville

VCC Architectural Committee

December 7, 2021





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December 7, 2021





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December 7, 2021





517-23 Iberville

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December 7, 2021





517-23 Iberville

VCC Architectural Committee

December 7, 2021





517-23 Iberville

VCC Architectural Committee

December 7, 2021





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December 7, 2021





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December 7, 2021





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December 7, 2021





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December 7, 2021



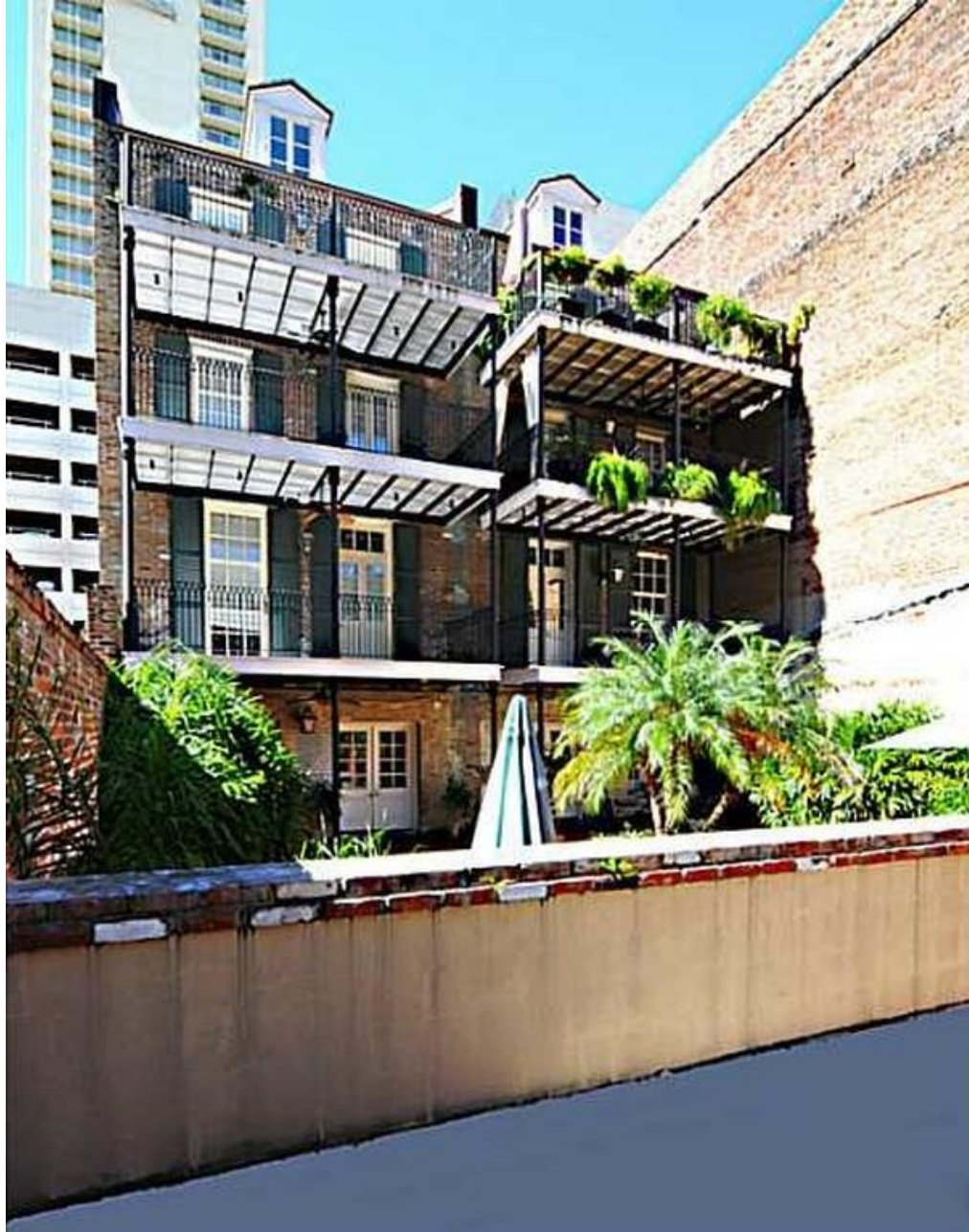


517-23 Iberville

VCC Architectural Committee

December 7, 2021





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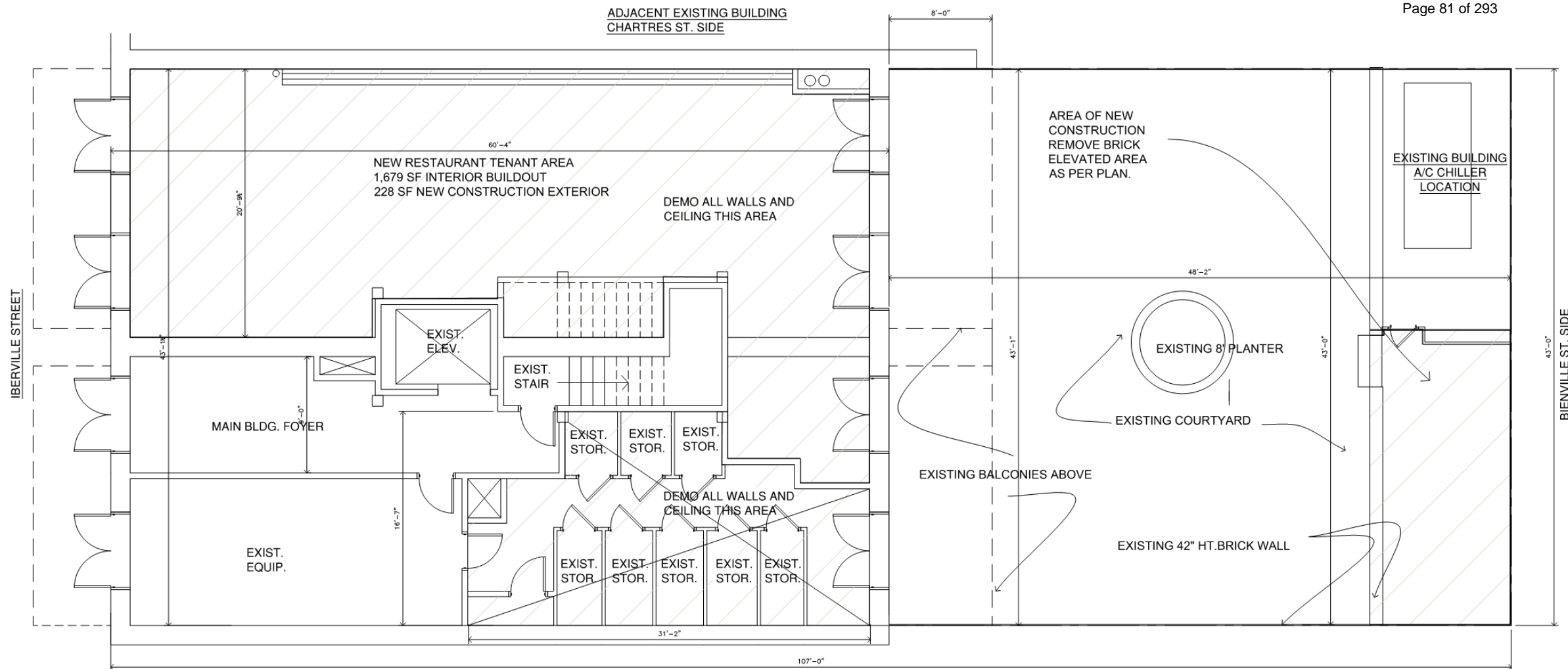
VCC Architectural Committee

December 7, 2021



I HAVE RESEARCHED THE CHAPTERS OF THE CURRENT LOUISIANA STATE AND LOCAL UNIFORM CONSTRUCTION BUILDING CODES AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THERETHW. I AM A REGISTERED ARCHITECT IN THE STATE OF LOUISIANA (#10396) AND I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS. I AM (NOT) PROVIDING PERIODIC INSPECTION FOR THIS PROJECT.

SIGNED _____ DATE _____
RAYMOND C. BERGERON, JR. ARCHITECTS, L.L.C.



1 SITE PLAN

SCALE: 3/16" = 1'-0"



SQ. 30 LOTS 1-2-A
UNIT 1

ADJACENT EXISTING PARKING LOT
DECATUR ST. SIDE

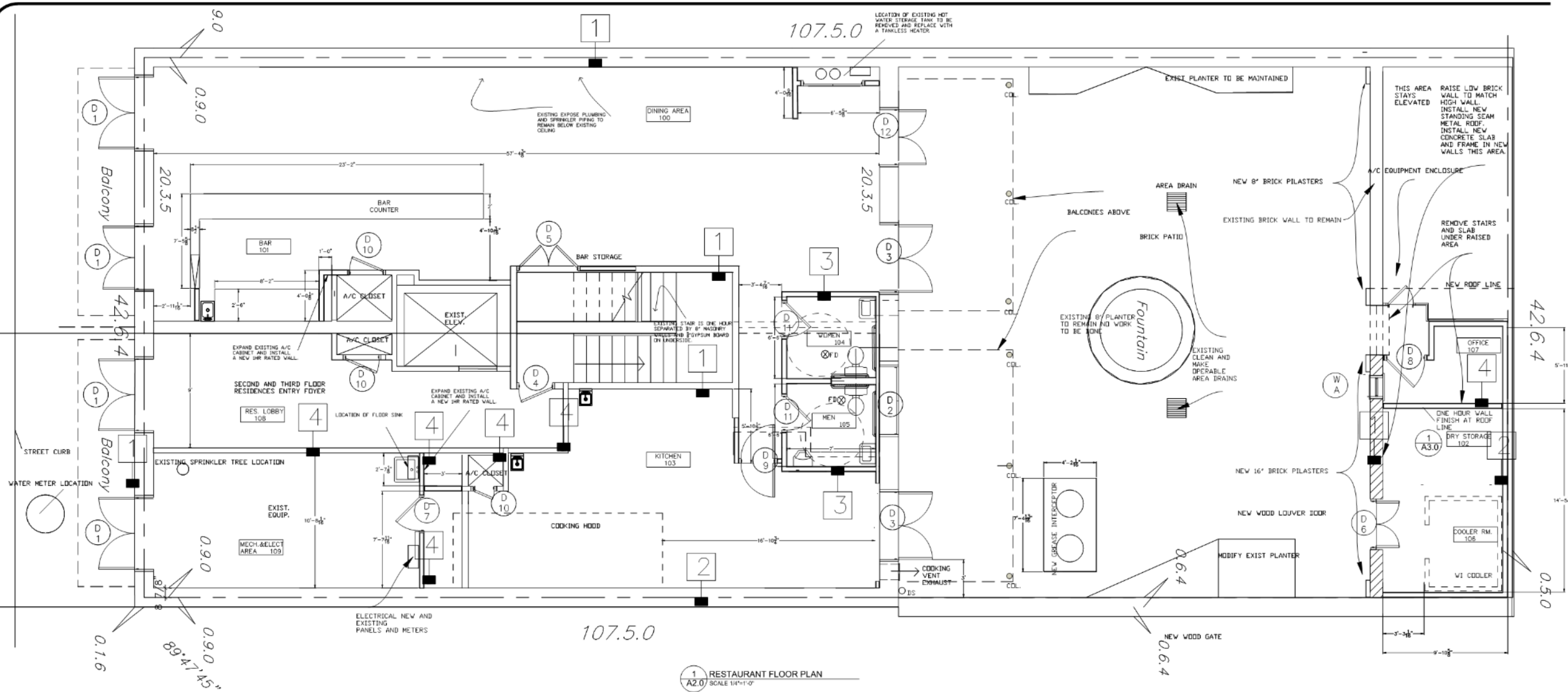
4,893 SQ.FT. AREA
OF SITE

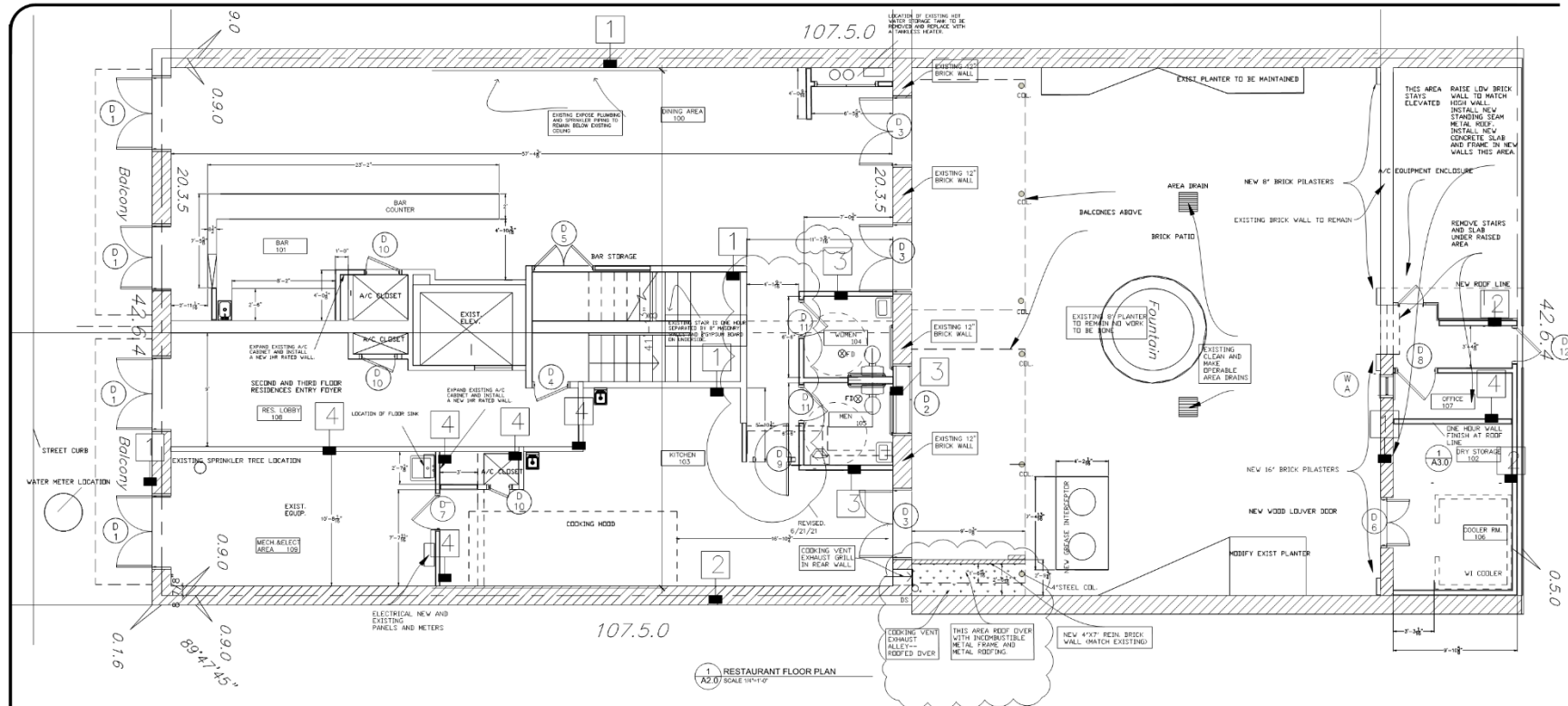
517-23 Iberville

VCC Architectural Committee

December 7, 2021







FINISH SCHEDULE

| ROOM | ROOM NAME | FLOOR | WALLS | CEILING | FINISHES |
|------|----------------|-------|-------|---------|---|
| 100 | LOBBY AREA | 1 | 10 | 12 | OPTION - KARENOLIN VINYL PLANK FLOORING |
| 101 | BAR | 12 | 10 | 8 | 12 |
| 102 | BAR STAIR | 1 | 10 | 8 | 12 |
| 103 | STAIR | 12 | 10 | 8 | 12 |
| 104 | MEN RESTROOM | 11 | 10 | 8 | 12 |
| 105 | WOMEN RESTROOM | 11 | 10 | 8 | 12 |
| 106 | COOLER AREA | 12 | 10 | 8 | 12 |
| 107 | STOCK | 1 | 10 | 8 | 12 |
| 108 | RESTROOM LOBBY | 1 | 10 | 8 | 12 |
| 109 | MECHANICAL RM. | 1 | 10 | 8 | 12 |

FINISHES KEY NOTES

1. SEAL AND STAIN CONCRETE FLOOR
2. PAINT EXISTING OVP. BD. CEILING
3. PAINT EXISTING OVP. BD. CEILING
4. FIP PANELS
5. VINYL FACED WEST TILE SUSPENDED CEILING SYSTEM 2X4 BATT INSULATION ABOVE
6. 2X2 DECORATIVE (swinging) STAINLESS METAL CEILING PANELS
7. TWO LAMPS 5/8\"/>

DOOR SCHEDULE

| MARK | SIZE | FRAME | GLASS | MATERIAL | HARDWARE | FIRE | REMARKS |
|------|---------|-------|-------|----------|----------|------|---------|
| 01 | 5'0\"/> | | | | | | |

WINDOW SCHEDULE

| MARK | SIZE | FRAME | DOOR MATERIAL | REMARKS |
|------|----------------|-------|---------------|---------|
| 01 | 2 FIXED WINDOW | WOOD | WOOD | |

WALL LEGEND

| | |
|-----|---------------------------|
| --- | EXISTING TO REMAIN |
| --- | EXISTING TO BE DEMOLISHED |
| --- | NEW 8\"/> |

GENERAL NOTES:
ALL NEW WALL DIMENSIONS ARE TO THE FACE OF STUD. ALL EXISTING WALL DIMENSIONS ARE TO FACE OF WALL.

PARTITION SCHEDULE

| MARK | DESCRIPTION |
|------|----------------|
| 01 | EXISTING 1\"/> |
| 02 | 1\"/> |
| 03 | 1\"/> |
| 04 | 1\"/> |

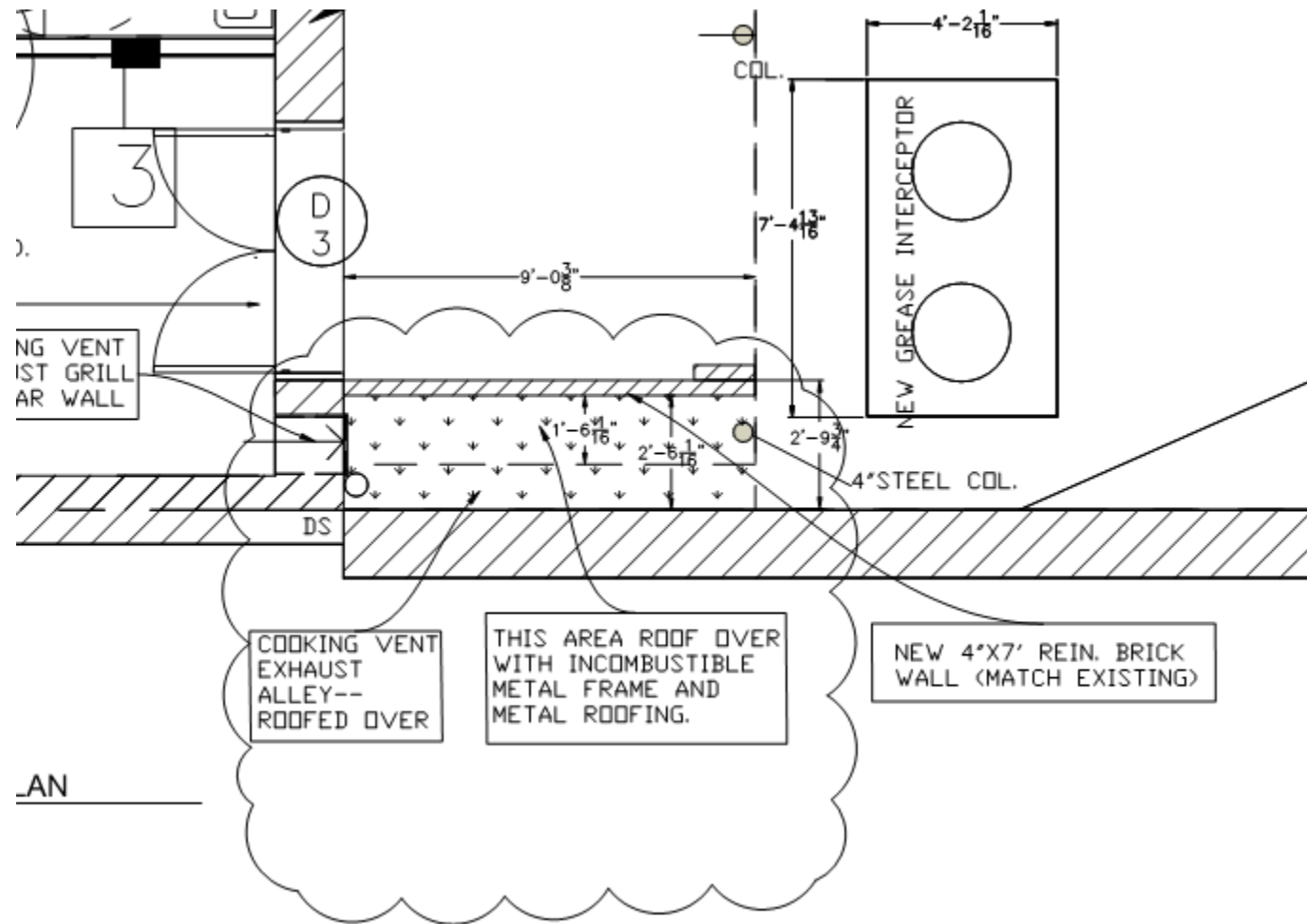


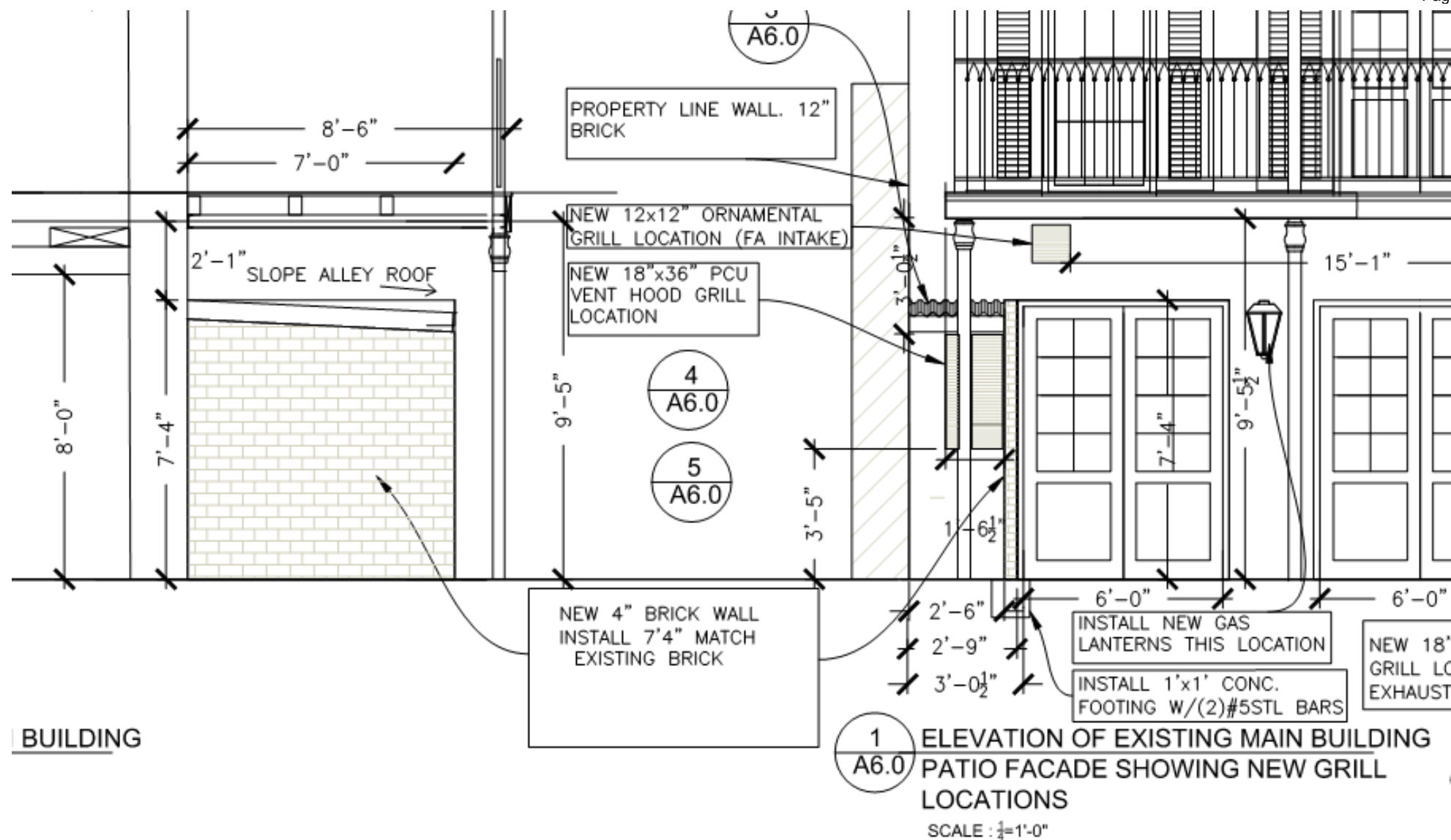
ARCHITECTS
RAYMOND C. BERGERON JR.
6725 WILHELM STREET, NEW ORLEANS, LOUISIANA
504-261-5118
RCHB@rcj.com

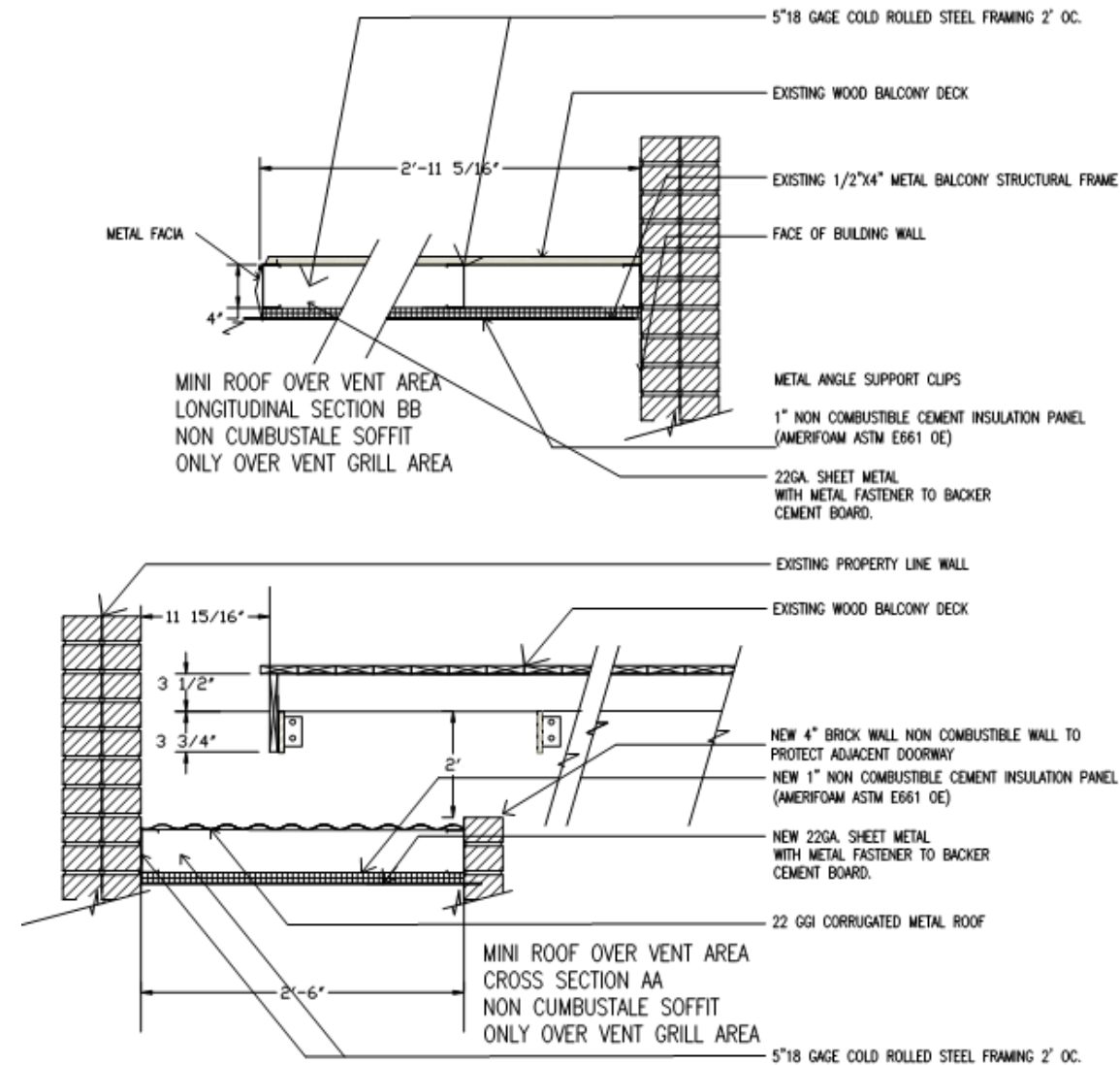
NEW RESTAURANT BUILD OUT
519-23 IBERVILLE ST. FIRST FLOOR
NEW ORLEANS, LA

RAYMOND C. BERGERON JR.
REGISTERED ARCHITECT

DRWN BY
CHKD BY
DATE
REVISED 12/3/21
A2.0
JOB NO. 0619
SHEET NO. OF





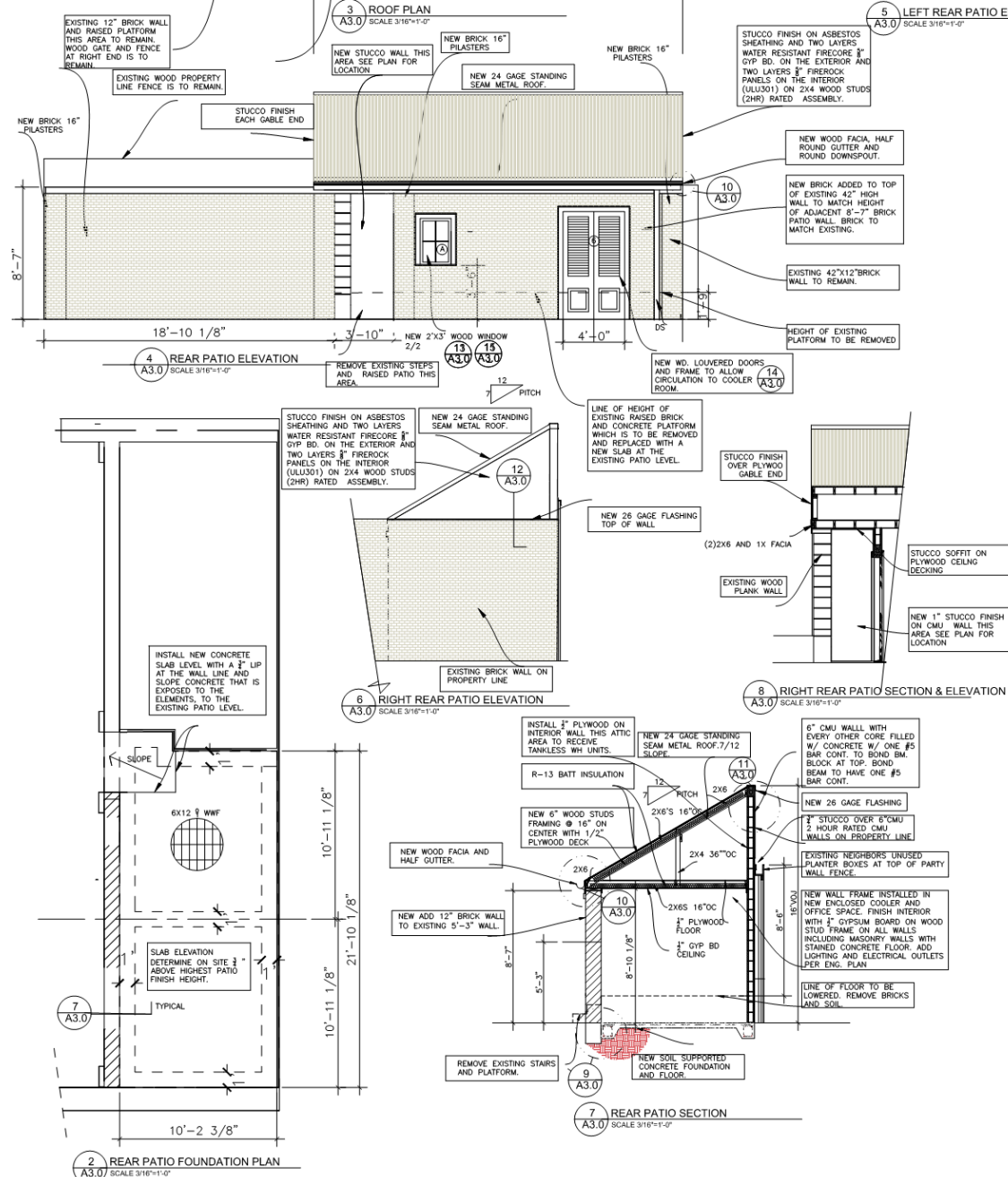


3 SECTION BALCONY SOFFIT DETAIL AA&BB
A6.0 SCALE 3/4"=1'-0"

A3.0

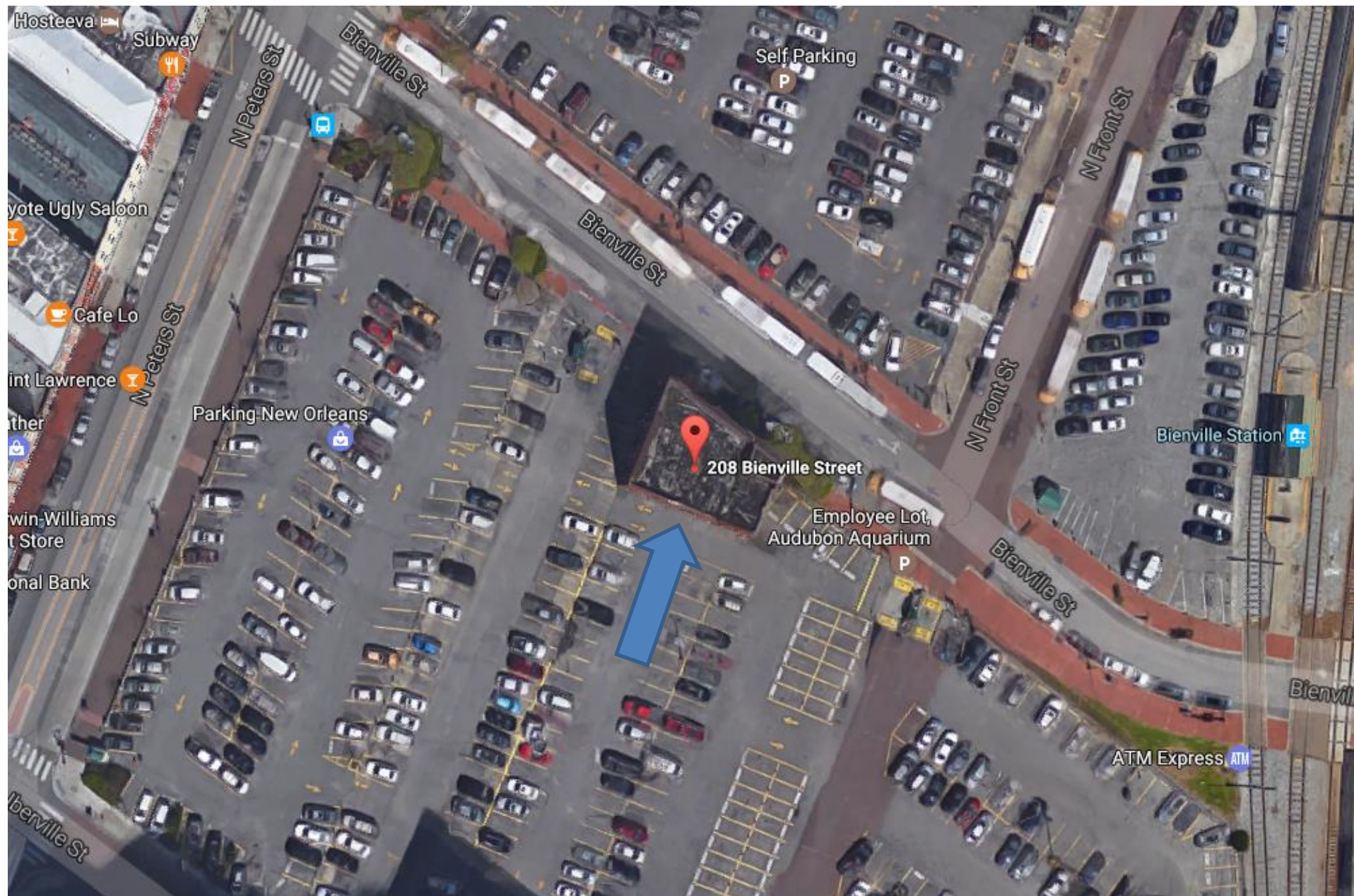
SHEET NO.





The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal features a stylized fleur-de-lis, which is a heraldic symbol consisting of three stylized leaves or petals arranged in a symmetrical pattern.

208 Bienville

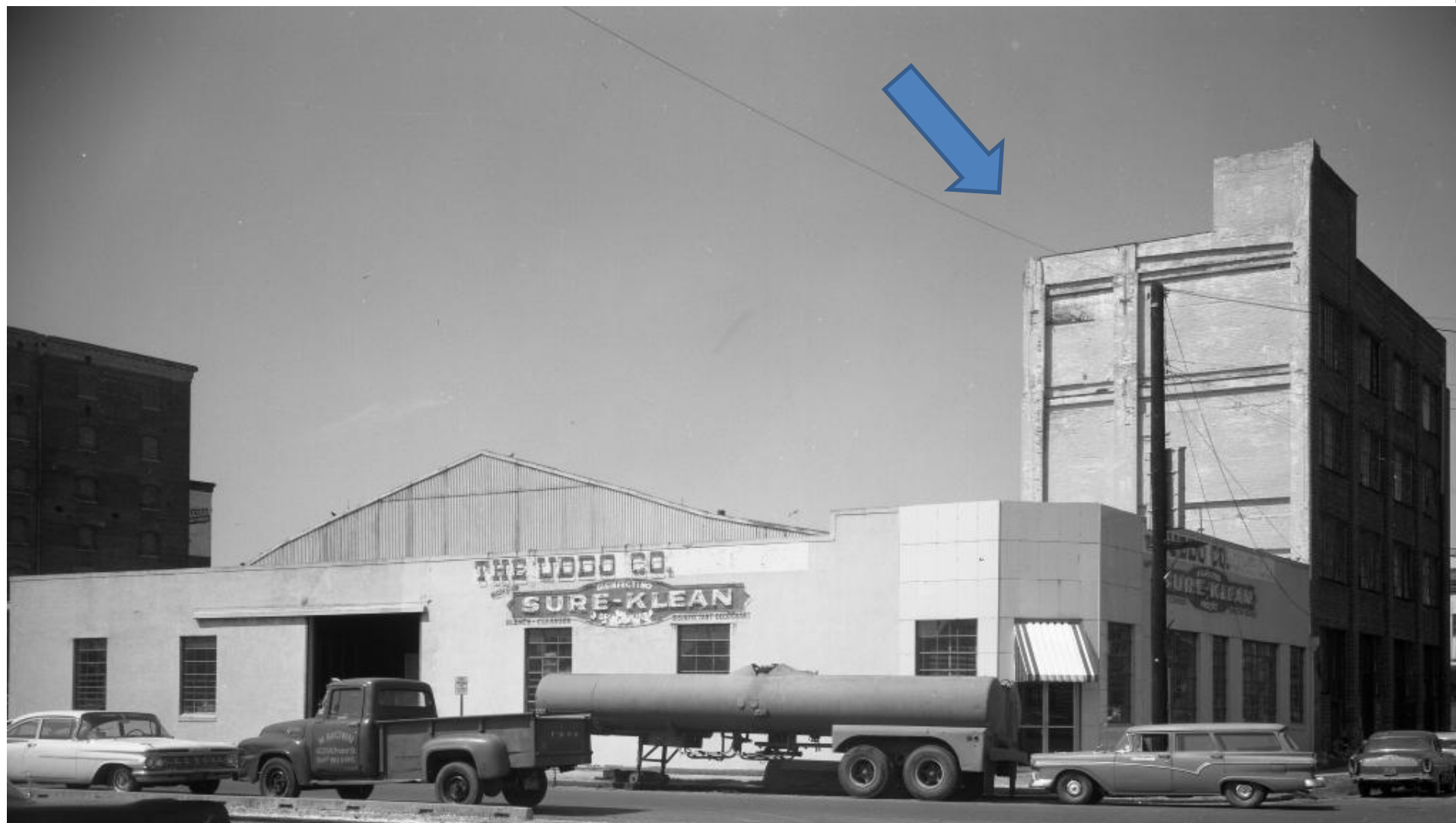


208 Bienville

VCC Architectural Committee

December 7, 2021





208 Bienville, 1962

VCC Architectural Committee

December 7, 2021



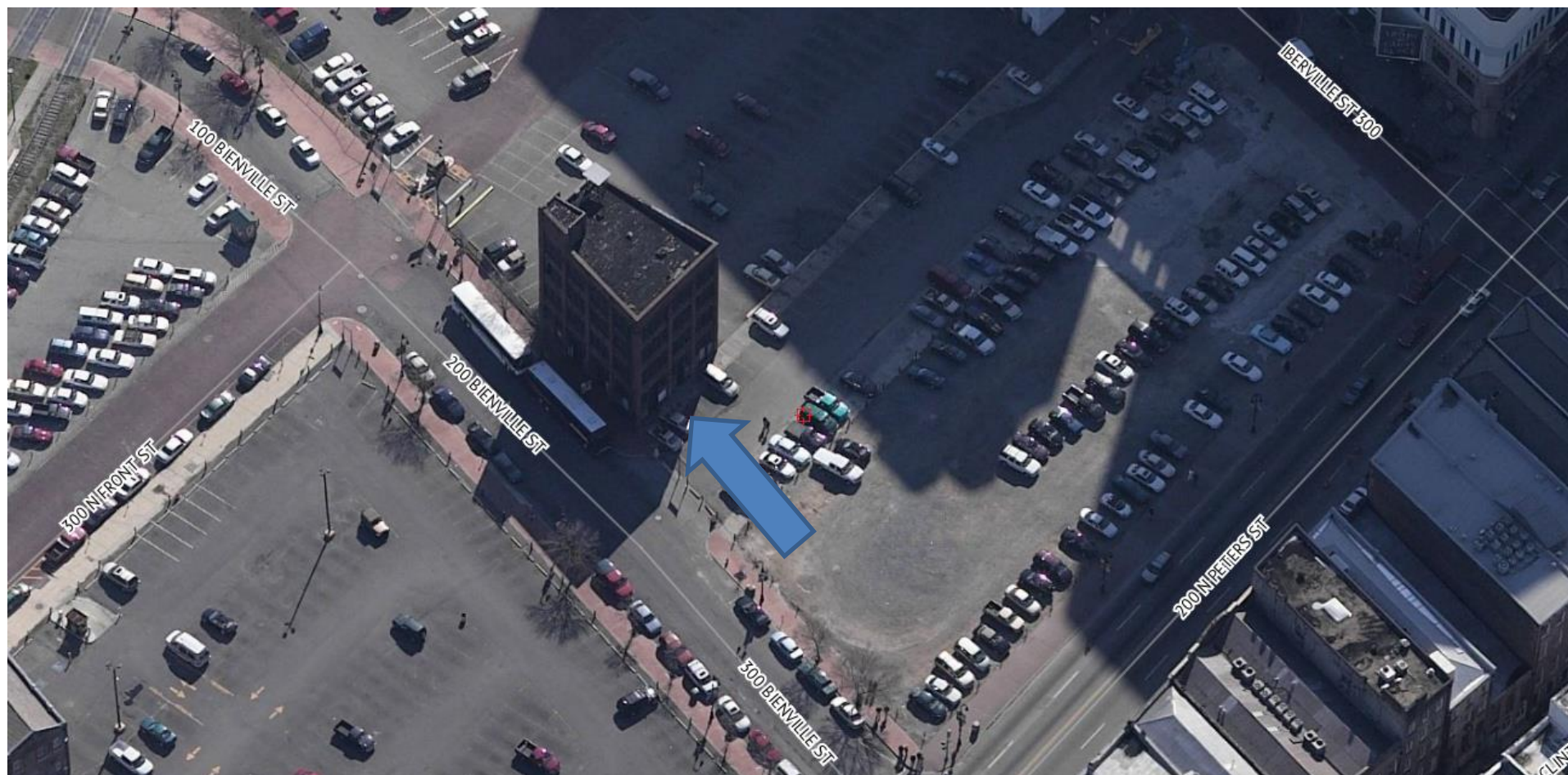


208 Bienville

VCC Architectural Committee

December 7, 2021





208 Bienville

VCC Architectural Committee

December 7, 2021





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December 7, 2021





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December 7, 2021



208 Bienville

VCC Architectural Committee



December 7, 2021





208 Bienville

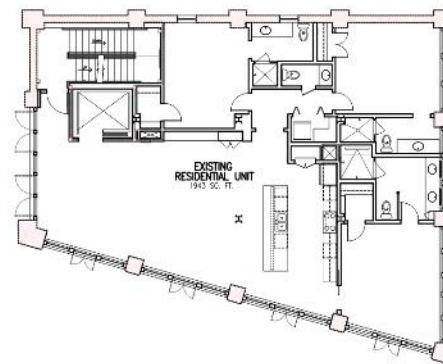
VCC Architectural Committee

December 7, 2021

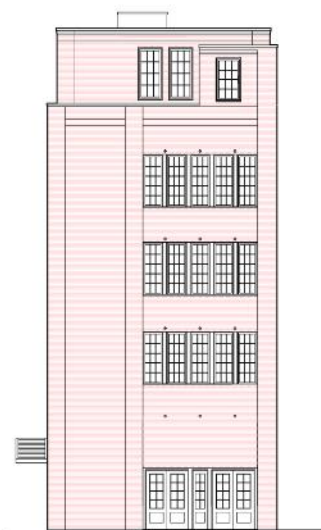
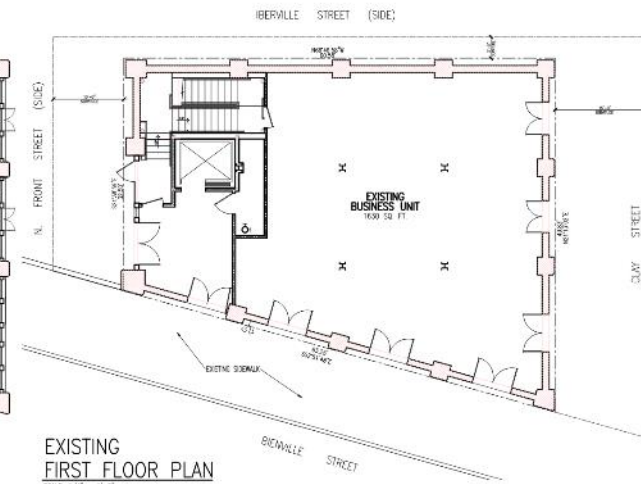




EXISTING
2ND/3RD/4TH FLOOR PLAN
SCALE 1/8" = 1'-0"



EXISTING
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project: (will not) be situated adjacent to

GALLERY PROPOSAL
208 BIENVILLE ST.
NEW ORLEANS, LOUISIANA

| NO. | REVISIONS |
|-----|-----------|
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CHECKED BY: _____

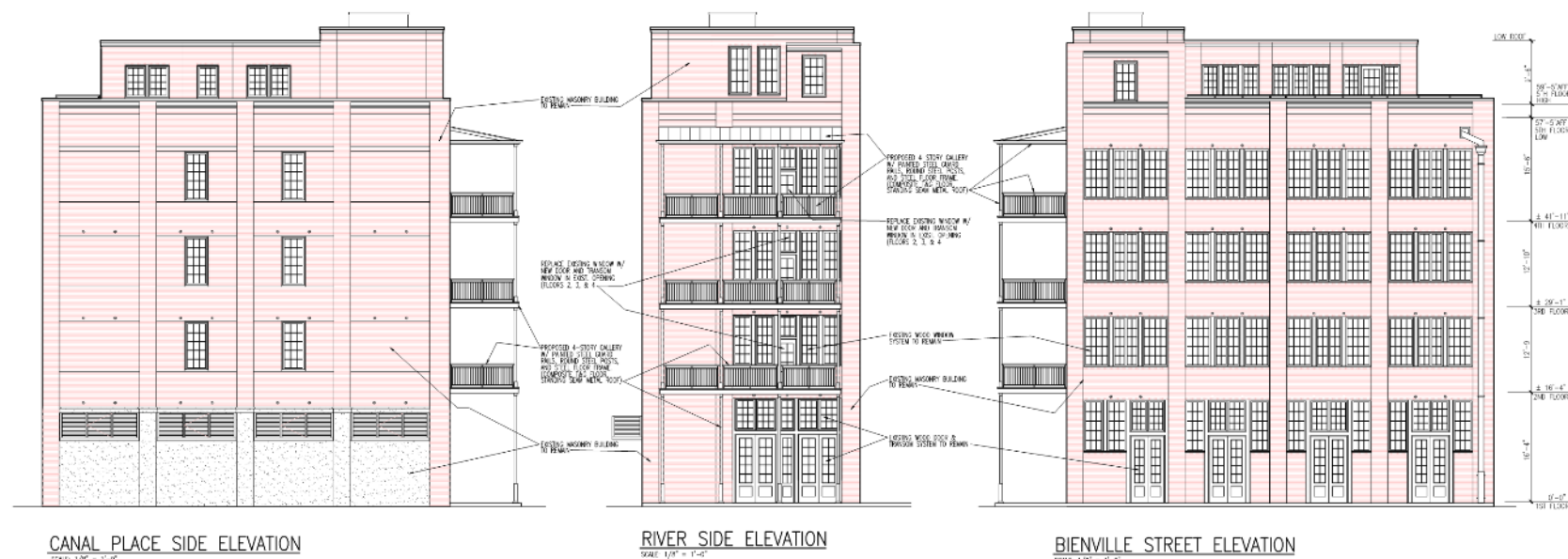
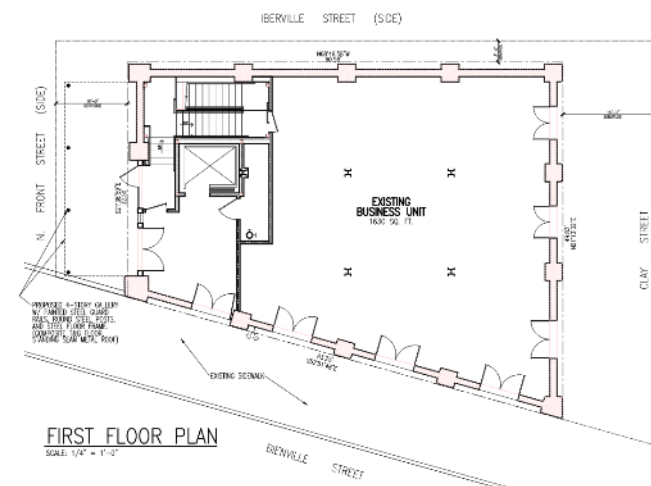
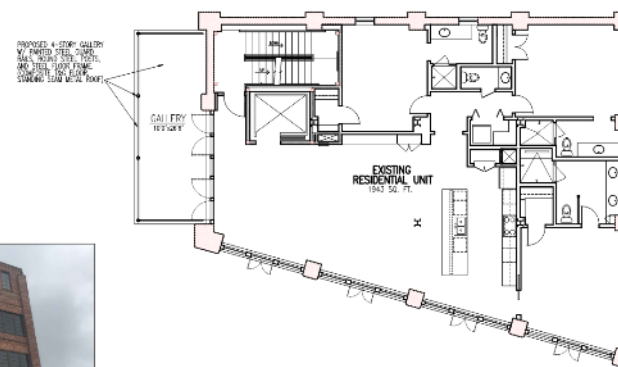
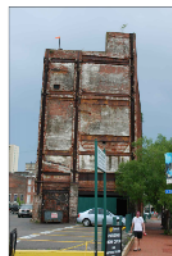
DRAWN BY: _____

DATE: 7-27-21

JCR NO.: _____

EX1





these plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

GALLERY PROPOSAL
208 BIENVILLE ST.
NEW ORLEANS, LOUISIANA

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| 20 | EP4502 |
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DRYAN, SY.

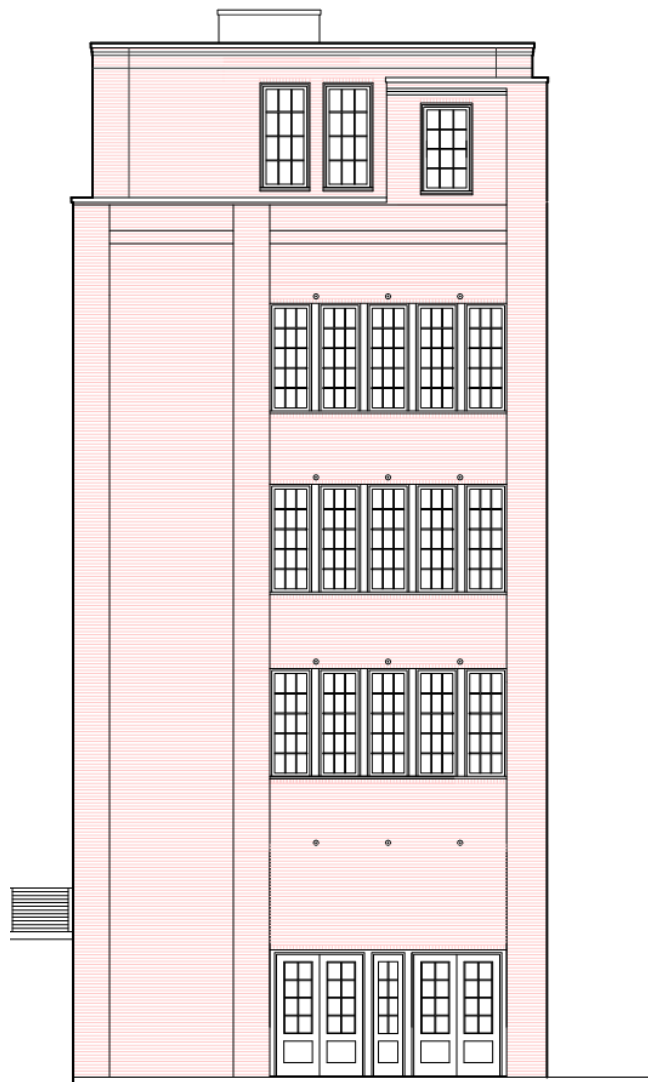
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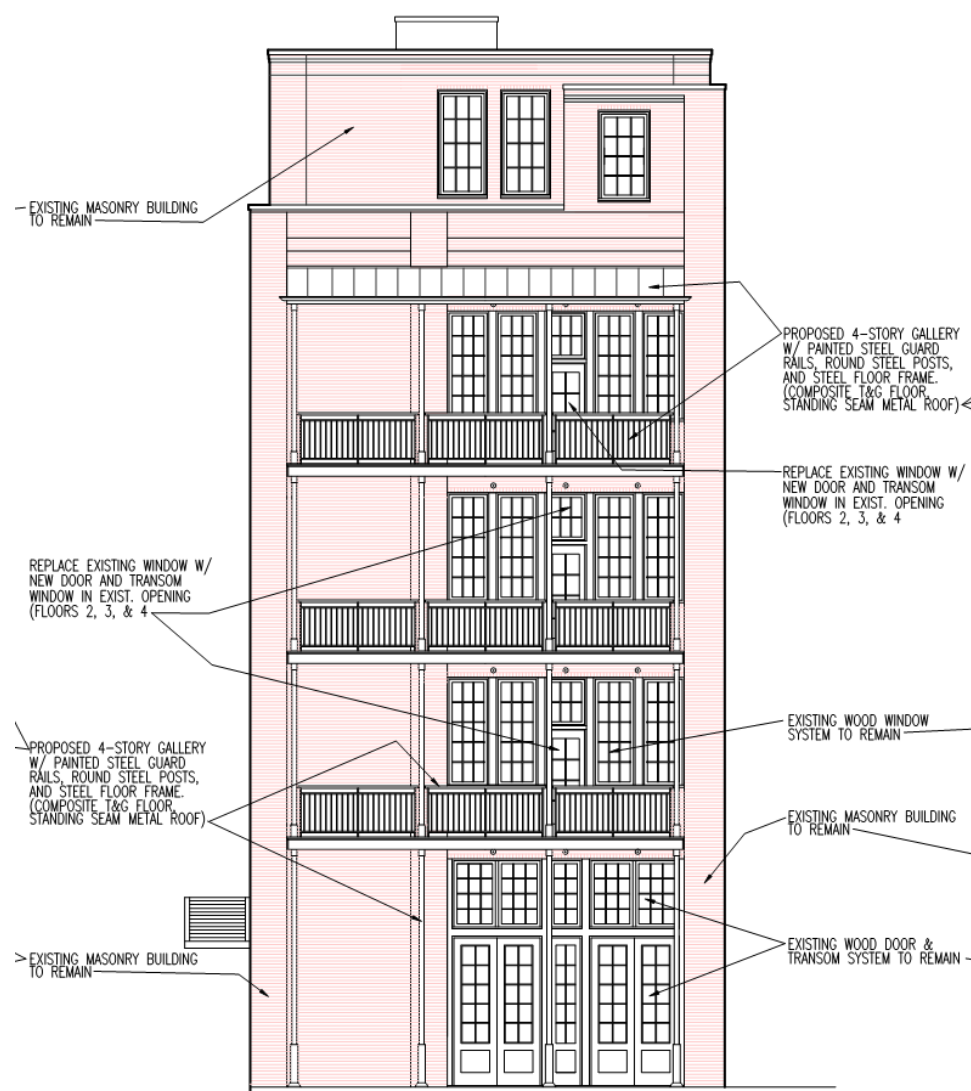
SHEET





EXISTING
RIVER SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIVER SIDE ELEVATION

SCALE: 1/8" = 1'-0"

208 Bienville

VCC Architectural Committee

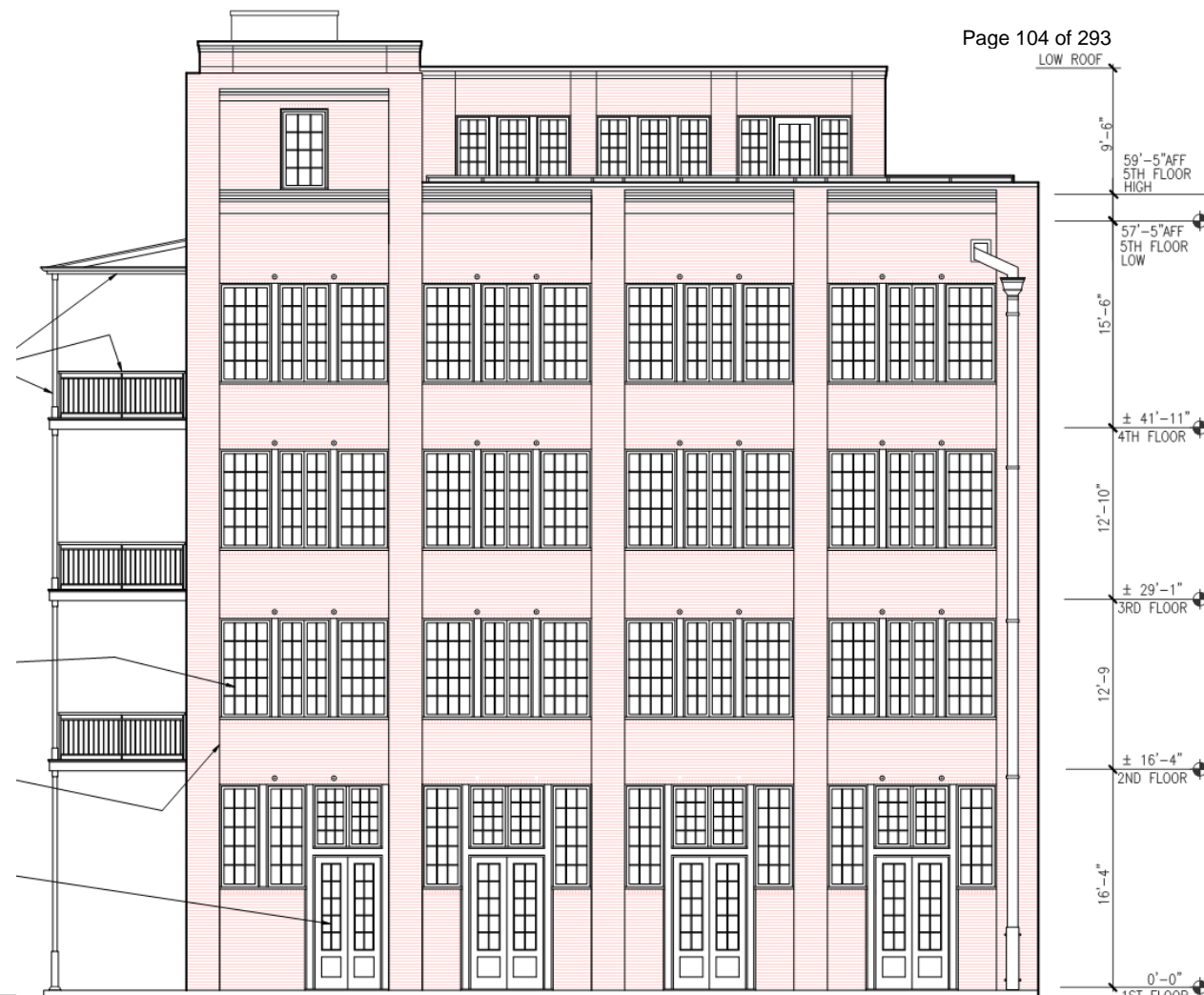
December 7, 2021





EXISTING
BIENVILLE STREET ELEVATION

SCALE: 1/8" = 1'-0"



BIENVILLE STREET ELEVATION

SCALE: 1/8" = 1'-0"

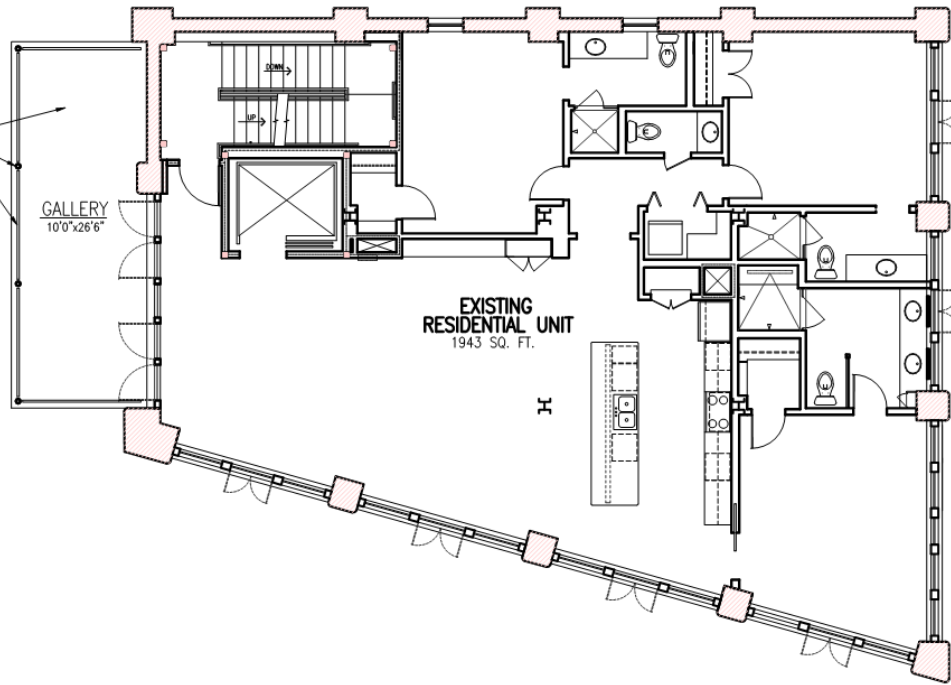
208 Bienville

VCC Architectural Committee

December 7, 2021



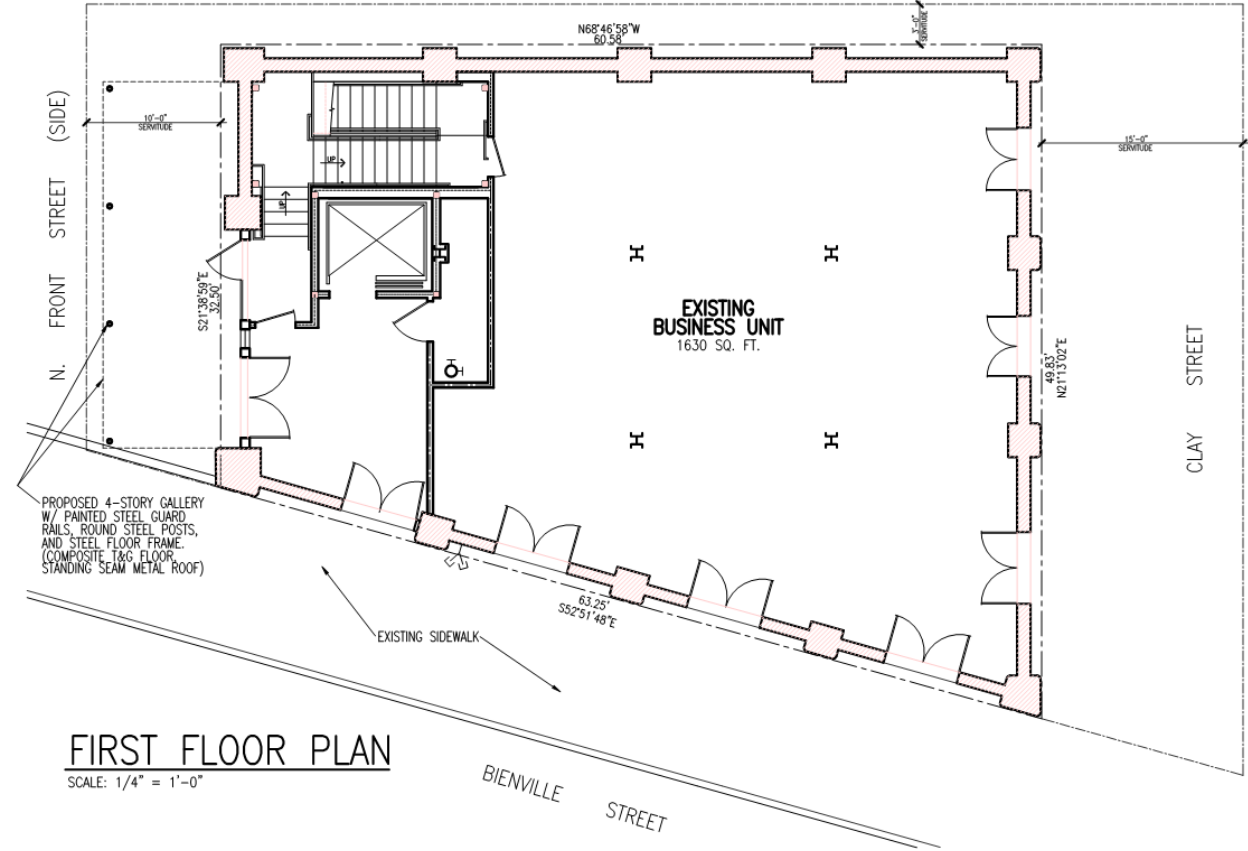
PROPOSED 4-STORY GALLERY
W/ PAINTED STEEL GUARD
RAILS, ROUND STEEL POSTS,
AND STEEL FLOOR FRAME.
(COMPOSITE T&G FLOOR,
STANDING SEAM METAL ROOF)



2ND/3RD/4TH FLOOR PLAN
SCALE: 1/4" = 1'-0"



IBERVILLE STREET (SIDE)



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

208 Bienville

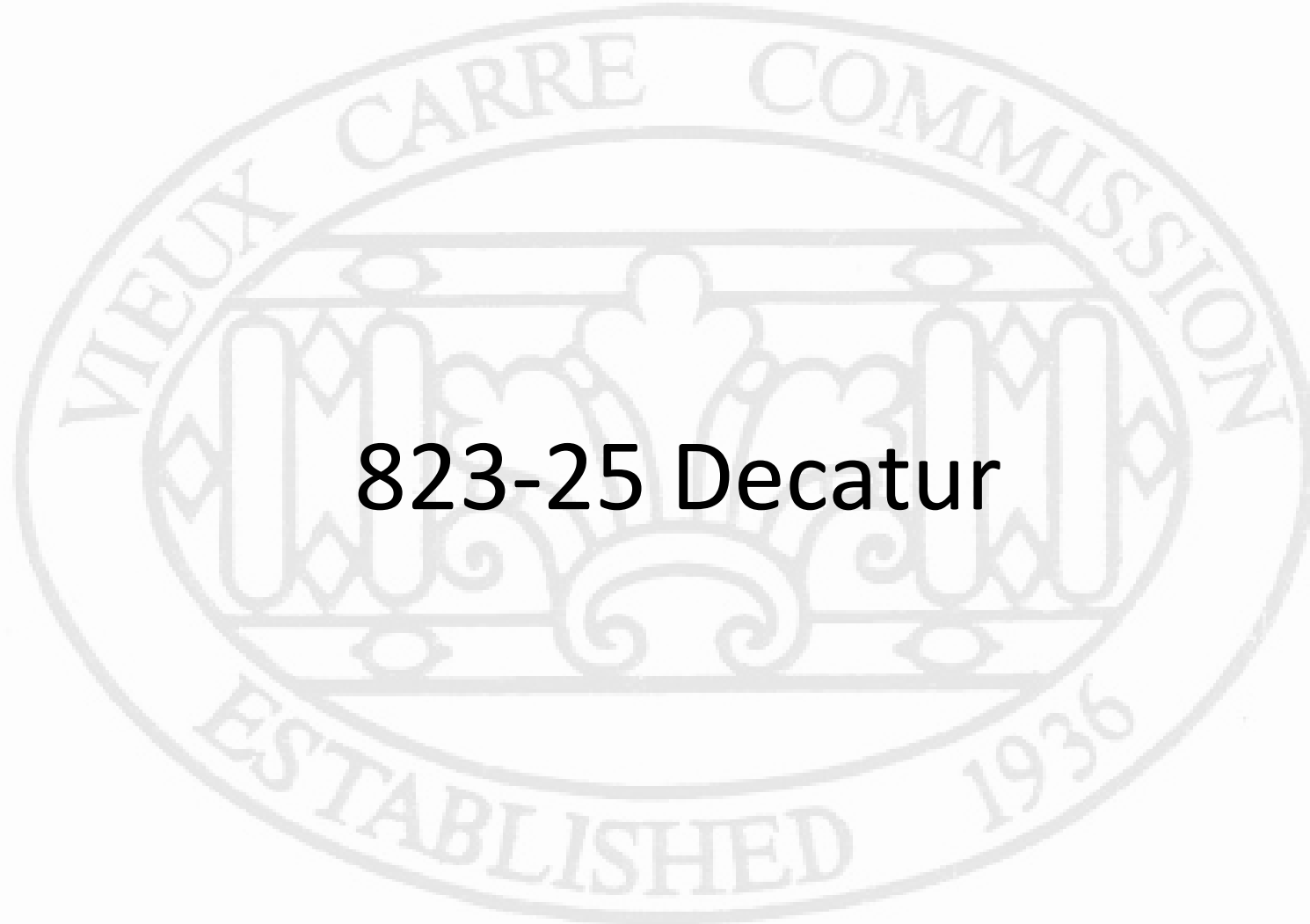
VCC Architectural Committee

December 7, 2021

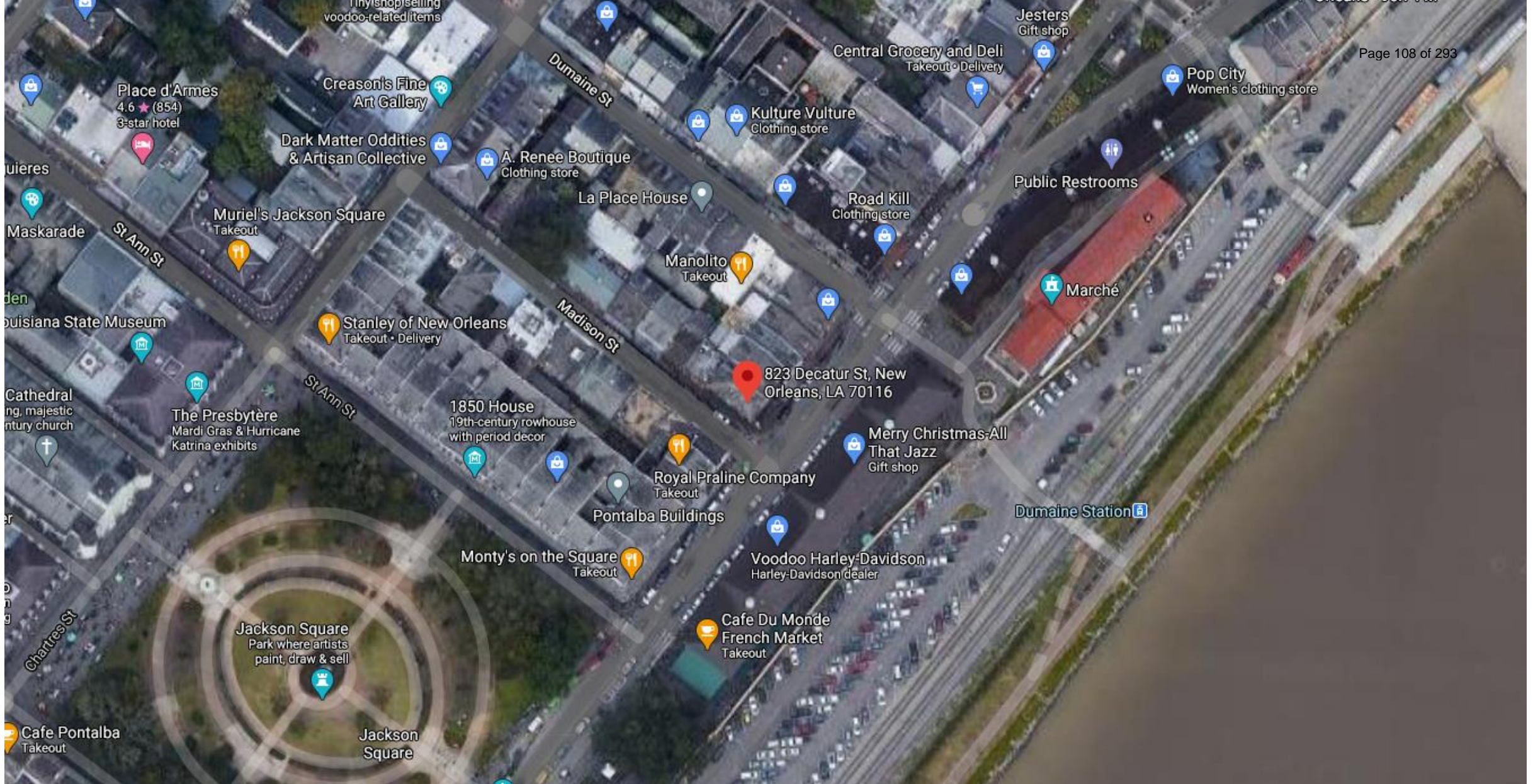




New Business



823-25 Decatur



823 Decatur

VCC Architectural Committee

December 7, 2021





823 Decatur – c. 1900

VCC Architectural Committee

December 7, 2021





823 Decatur – c. 1950

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December 7, 2021



823 Decatur – Service Building 1965
VCC Architectural Committee



December 7, 2021





823 Decatur

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December 7, 2021





823 Decatur

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December 7, 2021





823 Decatur

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823 Decatur

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823 Decatur

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823 Decatur

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December 7, 2021





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VCC Architectural Committee

December 7, 2021





823 Decatur

VCC Architectural Committee

December 7, 2021





823 Decatur

VCC Architectural Committee

December 7, 2021





823 Decatur

VCC Architectural Committee

December 7, 2021





823 Decatur

VCC Architectural Committee

December 7, 2021



NON-HISTORIC DOOR TYPES

Occasionally, a modern function requires an opening not found in historic architecture. Examples include a garage door, loading dock door, a door that must swing outward to meet safety or code requirements, a door with a specialized vent or grille, etc. The goal of the VCC is to integrate a non-historic type of opening into a building in a sensitive manner to maintain the historic character of the building and the surrounding neighborhood.

If an opening can be made that copies another opening type which could have reasonably existed on a particular building, then it may be desirable to do so. In some cases it may be impossible to make a certain desired change, such as adding a garage door opening, simply because the style or type of building does not lend itself to such a modification. Where an existing addition or modification does not fit the pattern of historic development in the French Quarter, every effort should be made to minimize its impact rather than making the intrusion more prominent.



Doors and/or openings should not be modified to install a new non-historic door type. In this case, two door openings were combined and jambs infilled for the installation of the large central door.

CARRIAGEWAY & SERVICE DOOR GUIDE

THE VCC REQUIRES:

- Retaining a historic carriageway or service door (Refer to page 07-12)

IF A NEW CARRIAGEWAY OR SERVICE DOOR IS APPROPRIATE, THE VCC RECOMMENDS:

- Installing a wood garage or carriageway door appropriate to the building style and period of construction, designed to completely fill the existing opening
- Installing a single-bay door that does not require removal of a decorative feature or modification of the opening

THE VCC DOES *NOT* ALLOW:

- Modifying an existing window or door opening to accommodate a new carriageway or garage door

MODIFYING OR ADDING AN OPENING

The arrangement, size and proportions of window and/or door openings are key components of a building's style and character.

As a result, the modification or addition of window or door opening, is discouraged, particularly on a more prominent building façade. This includes the infill of all or part of an opening to make it smaller or to remove it. It also includes increasing the size of a door opening to provide a larger opening for a display window, garage or other use.

STORM PREPAREDNESS FOR A LARGE-SCALE DOOR

A large-scale door, such as those found at a carriageway, stable, garage, fire house or warehouse, is more vulnerable to hurricane-strength winds than a standard door or window because of its size. Damage can occur from high winds or impact from wind-blown debris, which can result in the door twisting off its supports and becoming airborne.

The interior of a historic door can often be modified to be more resistant to the effects of high winds with no visible change at the exterior. In the case of paired carriageway style doors, slidebolts with deep throws can be installed sliding down into the ground and up into the structure of the opening or the transom at each leaf.

Overhead door frames can be retrofitted to include an interior steel track system that is well anchored into the wall that allows the historic door and exterior trim to remain. In addition, steel wind braces can be added to each horizontal panel system to improve the door's rigidity.

Given the importance of understanding all of the conditions associated with storm preparedness for a large-scale door, consultation with an architect or engineer is recommended. He/she can assess the specific circumstances found at a property and provide an appropriate recommendation.

Non-Historic Door Types; Modifying or Adding an Opening Review

Install a non-historic door type in an existing opening
1 2 3 Architectural Committee

Install a door or window in a new opening or modified opening
1 2 3 Commission
Architectural Committee

This material is funded by the Vieux Carré Commission Foundation on behalf of the Vieux Carré Commission.
www.nola.gov/vcc

VIEUX CARRÉ COMMISSION
FOUNDATION
New Orleans, LA. www.vccfoundation.org
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Prepared by:
Dominique M. Hawkins, AIA, LEED AP
Preservation Design Partnership, LLC
Philadelphia, PA. www.pdparchitects.com



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Non-Historic Door Types; Modifying or Adding an Opening Review

Install a non-historic door type in an existing opening

1 2 3 Architectural Committee

Install a door or window in a new opening or modified opening

1 2 Commission
3 Architectural Committee





823 Decatur

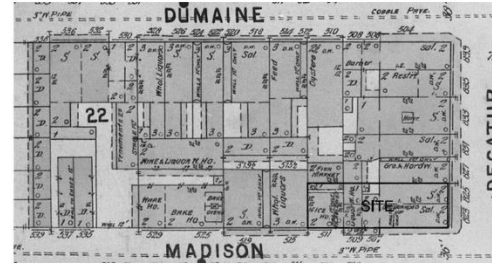
VCC Architectural Committee

December 7, 2021



823-25 DECATUR ST. 509 MADISION ST.

VIOLATION REMEDIATION CASE NO: 21-03593-DBNVCC
New Orleans, Louisiana 70130



SITE LOCATION MAP



ELEVATION AT DECATUR ST.



ELEVATION AT MADISON ST.

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 - EXTERIOR SCOPE OF WORK, REMEDIATION NOTES,
 - EXTERIOR PHOTO'S- FIRST FLOOR
- EX-2: EXISTING SECOND FLOOR PLAN
 - EXTERIOR SCOPE OF WORK, REMEDIATION NOTES,
 - EXTERIOR PHOTO'S-SECOND FLOOR
- EX-3: EXISTING ROOF & EQUIPMENT PLAN
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 - EXTERIOR PHOTO'S-ROOF & ROOF EQUIPMENT
- EX-4: EXISTING ROOF EQUIPMENT SCHEDULE
 - ROOF EQUIPMENT MODEL NUMBERS, & LOCATIONS
- A-1: EXISTING/ PROPOSED FIRST PROPOSED FLOOR PLAN/ELEVATION
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 - TRANSOMS, IRON GRILLES, METAL BEAM AT HEADERS, BRICK MASONRY.
- A-2: EXISTING/ PROPOSED FIRST PROPOSED FLOOR PLAN
 - EXISTING FLOOR PLAN, ELEVATION AT DECATUR STREET
 - PROPOSED DOOR FLOOR PLAN / ELEVATION
 - DOOR ELEVATION AND SECTION.

terrell-fabacher
architects, l.l.c.



These plans and specifications have been prepared by me or under my direct supervision. I am a duly licensed professional engineer in the State of Louisiana. My knowledge and skill, the knowledge and skill of the persons immediately under my supervision, and the skill of the persons actually performing the work, are sufficient to complete the project in accordance with the requirements of the Louisiana Professional Engineering Act, Louisiana Revised Statutes Title 37, Chapter 1, Part 2, Sections 201 through 209, and to the satisfaction of the public. I am not providing any services that require a license in another profession. I am not providing any services that require a license in another profession. I am not providing any services that require a license in another profession.

VIOLATION REMEDIATION
823-25 DECATUR ST.
509 MADISON ST.
NEW ORLEANS, LOUISIANA

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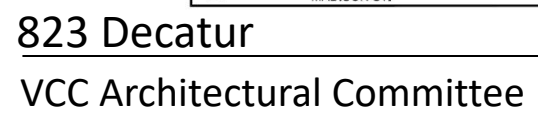
DATE: 11/17/2021

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SHEET 2 OF 4

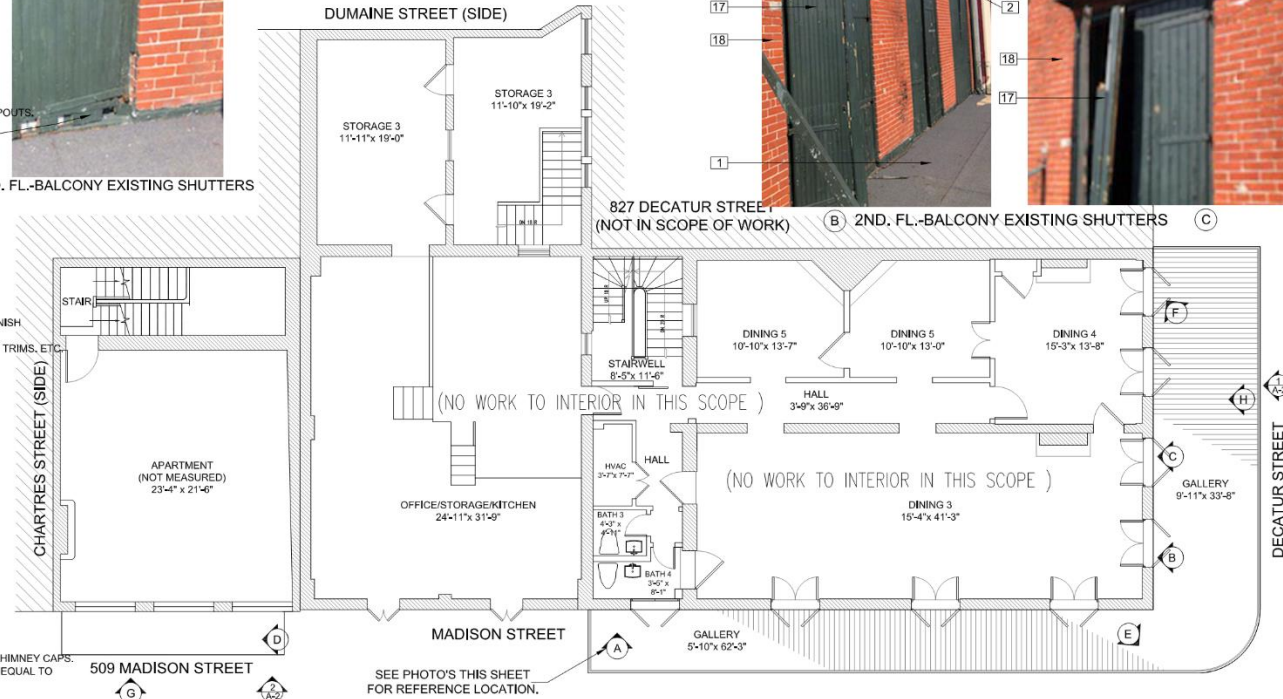




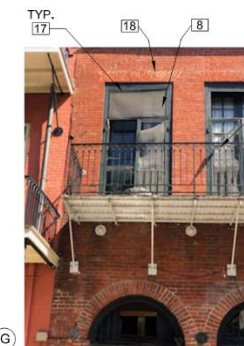
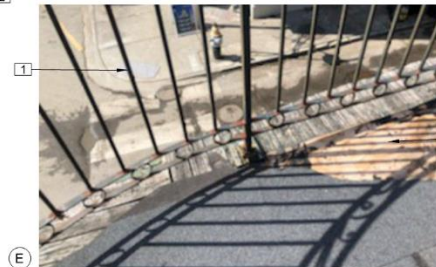
THE FOLLOWING NOTES ARE A RESULT OF A VISUAL SURVEY OF EXISTING FACADES AND CORRECTIVE WORK CITED IN VIOLATION OF VCC GUIDELINES. THE SPECIFIC NOTES SHOULD NOT BE CONSIDERED AS CONCLUSIVE. ADDITIONAL WORK TO FACADES MAY BE DETERMINED TO BE NECESSARY ONCE ADDITIONAL SURVEY WORK IS PERFORMED BY THE GENERAL CONTRACTOR REGARDLESS OF WHETHER INDICATED BY A SPECIFIC NOTE. ANY ADDITIONAL EXTERIOR WORK CONTEMPLATED THAT IS NOT SPECIFICALLY IDENTIFIED ON THESE VCC APPROVED DRAWINGS MUST BE REVIEWED AND APPROVED BY THE VCC PRIOR TO PERFORMING THE WORK.

Exterior Scope of Work

- 1 BALCONIES: METAL RAILINGS / POSTS / WOOD EXTERIOR DECKING. REPAIR OR REPLACE MISSING / DAMAGED / DETERIORATED / DEFORMED WOOD/STEEL MATERIALS. PATCH OR MATCH TO REPLACE EXISTING PROFILES. PAINT TO MATCH EXISTING.
- 2 GUTTERS, SCUPPERS & DOWNSPOUTS: REPAIR/REPLACE TO MATCH EXISTING HALF-ROUND & DOWNSPOUTS.
- 3 SECURITY CAMERAS: APPLY FOR APPROVAL & PERMIT FOR EXISTING SYSTEM.
- 4 EXTERIOR VISIBLE & UNUSED WIRING, UNUSED CONDUITS: REMOVE ALL EXPOSED CONDUIT & WIRING. WIRES / CONDUITS: REMOVE ABANDONED SURFACE MOUNTED HARDWARE, FASTENERS, WIRES, AND CONDUITS FROM EXISTING BUILDING SURFACES. PATCH ALL REMAINING HOLES WITH LIKE MATERIALS. ALL NEW WIRE/CABLES TO BE RUN INSIDE BUILDING OR WIRING TO EXTERIOR LIGHT FIXTURES TO BE RUN IN CONDUIT. NEATLY FASTENED TO BUILDING AND PAINTED TO MATCH BUILDING COLOR.
- 5 GRAFFITI: REMOVE GRAFFITI / PAINT AS NECESSARY PER VCC GUIDELINES.
- 6 VEGETATION: REMOVE VEGETATION FROM BUILDING / MASONRY. CORRECT ALL MOISTURE PROBLEMS WHERE REQUIRED.
- 7 DOORS: REMOVE & REPLACE ALL DAMAGED DOORS & ASSOCIATED HARDWARE/ TRIMS, ETC. PAINT FINISH V.I.F. OPENING.
- 8 WINDOWS: REMOVE & REPLACE ALL DAMAGED WINDOWS & ASSOCIATED HARDWARE/BROKEN GLASS, TRIMS, ETC. PATCH & REPAIR - WINDOWS AS NECESSARY. PAINT FINISH.
- 9 HVAC EQUIP./ RACKS/ VENTS/ ELEC. SYSTEMS/ APPLY FOR PERMITS FOR EXISTING EQUIPMENTS. ALL EQUIPMENT SUPPORTS, RACKS, PLATFORMS, VENTS, FLUES TO BE PAINTED GREY.
- 10 LIGHTING: REQUEST TO RETAIN EXISTING TUBE CAN LIGHTING FIXTURES UNDER FRONT BALCONY. PAINT FIXTURES & REPLACE LIGHT BULBS. - REPAIR EXISTING WALL FIXTURES, GLASS, ETC. REPLACE FIXTURES NOT IN COMPLIANCE WITH VCC.
- 11 PAINTING: ALL EXISTING PAINTED SURFACES TO BE PREPPED, PRIMED AND RE-PAINTED WITH TWO COATS OF HIGH QUALITY PAINT, SHERWIN WILLIAMS OR EQUAL. REMOVE ALL EXISTING EXTERIOR CAULK AND BACKER RODS AND RE-CAULK ENTIRE EXTERIOR FACADES.
- 12 BUILDING, FRONT, REAR, SIDES TO ACHIEVE WATER TIGHT CONDITIONS. NOTE: NO SPRAY PAINTING IS ALLOWED ON EXTERIOR OF BUILDING. ELASTOMERIC COATINGS ARE NOT PERMITTED. ALL EXTERIOR COATING SHALL COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS. PROVIDE SPECIFICATION ON EXTERIOR COATING FOR APPROVAL. ALL FINAL PAINT COLORS TO BE PRE-APPROVED BY THE VCC. PAINT ENTIRE BUILDING & COURTYARD SURFACES.
- 13 EXISTING EXTERIOR PLUMBING PIPING TO BE CONCEALED, PAINTED SAME AS BUILDING COLOR.
- 14 AWNING: REPAIR, PATCH, CLEAN, SEAL, PAINT, REINSTALL, OR REPLACE TO MATCH EXISTING METAL AWNINGS ABOVE DOORS-2ND FLOOR BALCONY.
- 15 CHIMNEY: PATCH/REPAIR ANY DAMAGED/DETERIORATION, OF BRICKS OR MOTAR. INSTALL MISSING CHIMNEY CAPS. NEW FLASHING TO ROOF AS REQUIRED. INSTALL MISSING CHIMNEY CAPS. ALL MATERIALS SHALL BE EQUAL TO EXISTING IN QUALITY. ENSURE WEATHERTIGHT CONDITIONS.
- 16 TRIM: REMOVE & REPLACE ALL DAMAGED, DETERIORATED, TRIMS, SEAL AND PAINT FINISH.
- 17 SHUTTERS: REMOVE & REPLACE ALL DAMAGED, DETERIORATED, SHUTTERS/SCREENS, TRIMS, SEAL AND PAINT FINISH.
- 18 CLEANING: LIGHT PRESSURE CLEANING PER GUIDELINES FOR EXTERIOR
- 19 SIGNAGE: EXISTING METAL & NEON SIGN & METAL SUPPORTS, FASTENERS, TO BE CLEANED, PATCHED, REPAIRED, SEALED TIGHT TO ENSURE A WEATHERPROOF CONDITION. PAINT AND RESTORE TO EXISTING FINISH CONDITION. VERIFY ALL METAL SUPPORTS, & FASTENERS TO BUILDING AND ROOF ARE SECURED TO ENSURE WIND LOADS REQUIRED.
- 20 ROOF AND RIDGE TILE: REPLACE DAMAGED OR MISSING ROOF RIDGE TILE CAPS AND ROOFING SHINGLES. MATCH EXISTING FOR STYLE, TEXTURE, SIZE, COLOR. VERIFY ALL MATERIAL APPROVALS WITH VCC.
- 21 HVAC: EXISTING HVAC EQUIPMENT. - NOTE: SEE SHEET EX-4 FOR EQUIPMENT SPECIFICATION DETAILS.
- 22 REPAIR, PATCH, OR REPLACE WOOD FASCIA AT PERIMETER OF 2ND, FL. BALCONY. PATCH OR REPLACE TO MATCH EXISTING FOR MATERIAL, SIZE, PROFILE, PREPARE, PRIME, PAINT.



1 Existing Second Floor Plan
EX-2 SCALE: 3/16" = 1'-0"



terrell-labacher
architects, l.l.c.
1050 south Jefferson Davis Boulevard
Metairie, LA 70001
504.886.1320

tlfa

These plans and specifications have been prepared by me or under my close supervision, and I am a duly Licensed Professional Engineer in the State of Louisiana. I am not providing any warranty or representation to the best of my knowledge and belief. The project will not be used for any other purpose without my written consent.

VIOLATION REMEDIATION
823-25 DECATUR ST.
509 MADISON ST.
NEW ORLEANS, LOUISIANA

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EX-3
SHEET 3 OF 4



823-DECATUR ST.

EXISTING MECHANICAL SYSTEMS

THE FOLLOWING NOTES ARE A RESULT OF A VISUAL SURVEY OF EXISTING FACADES AND CORRECTIVE WORK CITED IN VIOLATION OF VCC GUIDELINES. THE SPECIFIC NOTES SHOULD NOT BE CONSTRUED AS CONCLUSIVE. ADDITIONAL WORK TO FACADES MAY BE DETERMINED TO BE NECESSARY ONCE ADDITIONAL SURVEY WORK IS PERFORMED BY THE GENERAL CONTRACTOR REGARDLESS OF WHETHER INDICATED BY A SPECIFIC NOTE. ANY ADDITIONAL EXTERIOR WORK CONTEMPLATED THAT IS NOT SPECIFICALLY IDENTIFIED ON THESE VCC APPROVED DRAWINGS MUST BE REVIEWED AND APPROVED BY THE VCC PRIOR TO PERFORMING THE WORK.

Exterior Scope of Work

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21 HVAC: EXISTING HVAC EQUIPMENT - NOTE: SEE SHEET EX-4 FOR EQUIPMENT SPECIFICATION DETAILS.

22 REPAIR, PATCH, OR REPLACE WOOD FASCIA AT PERIMETER OF 2ND, FL, BALCONY, PATCH OR REPLACE TO MATCH EXISTING FOR MATERIAL, SIZE, PROFILE, PREPARE, PRIME, PAINT.

DUMAINE STREET (SIDE)

2ND. FL.- EXISTING ROOF MECHANICAL

2ND. FL.- EXISTING ROOF MECHANICAL & DRAINAGE

NOTE: SEE SHT. EX.4 FOR EQUIPMENT SPEC'S- DETAILS

827 DECATUR STREET (NOT IN SCOPE OF WORK)

CHARTRES STREET (SIDE)

509 MADISON STREET

SEE PHOTO'S THIS SHEET FOR REFERENCE LOCATION.

LINE OF GALLERY DECK BELOW

LINE OF GALLERY DECK BELOW

MADISON STREET

EXISTING ROOF Plan

SCALE: 3/16" = 1'-0"

EXISTING MECHANICAL SYSTEMS

EXISTING SLATE ROOFING.

EXISTING MECHANICAL SYSTEMS

EXISTING SLATE ROOFING.

823 Decatur
VCC Architectural Committee

December 7, 2021

terrell-fabacher
architects, l.l.c.
1050 south Jefferson circle park
new orleans, louisiana 70125
504.566.1300

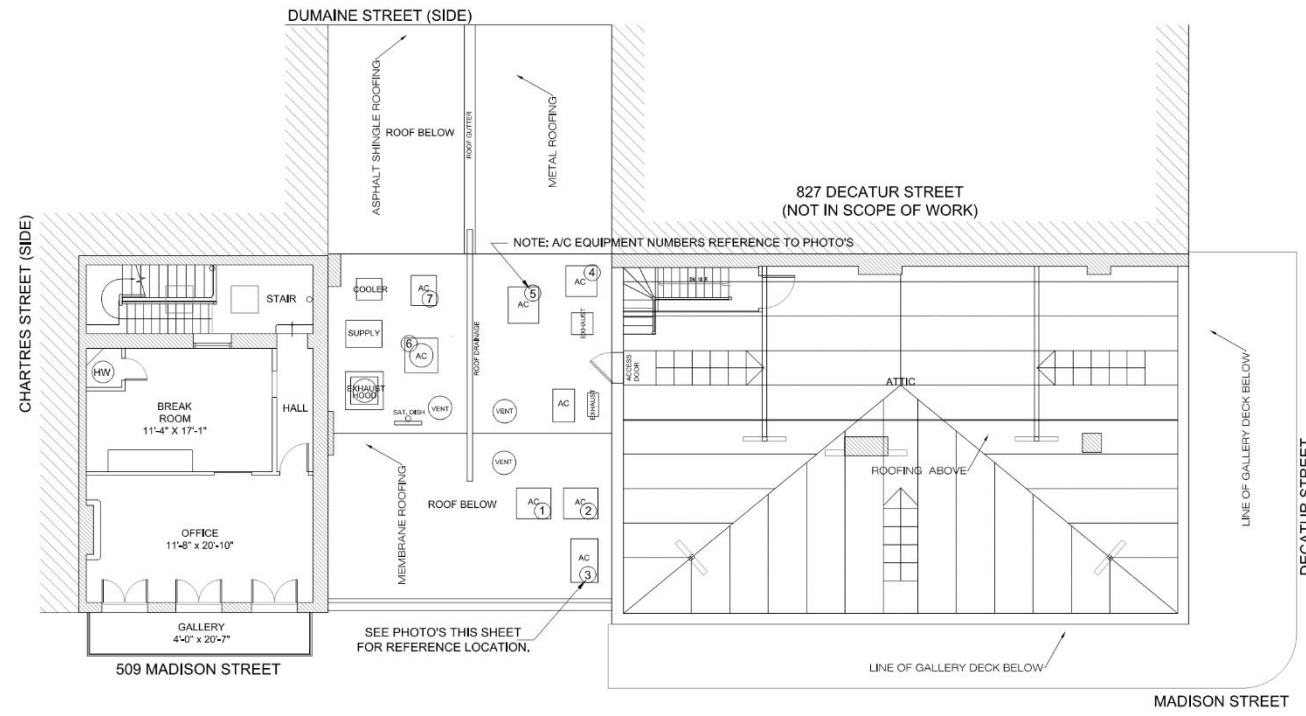


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VIOLATION REMEDIATION
823-25 DECATUR ST.
509 MADISON ST.
NEW ORLEANS, LOUISIANA

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EX-4
SHEET 3 OF 4



1 Existing Third Floor Plan
SCALE: 3/16" = 1'-0"



7 EXISTING A/C EQUIP.



1 EXISTING A/C EQUIP.



2 EXISTING A/C EQUIP.



3 EXISTING A/C EQUIP.



4 EXISTING A/C EQUIP.



5 EXISTING A/C EQUIP.



6 EXISTING A/C EQUIP.

EXISTING A/C EQUIPMENT SCHEDULE

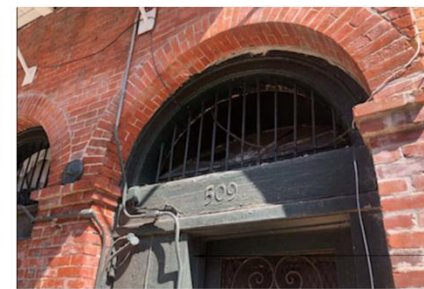
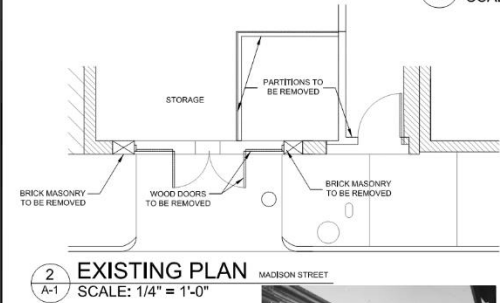
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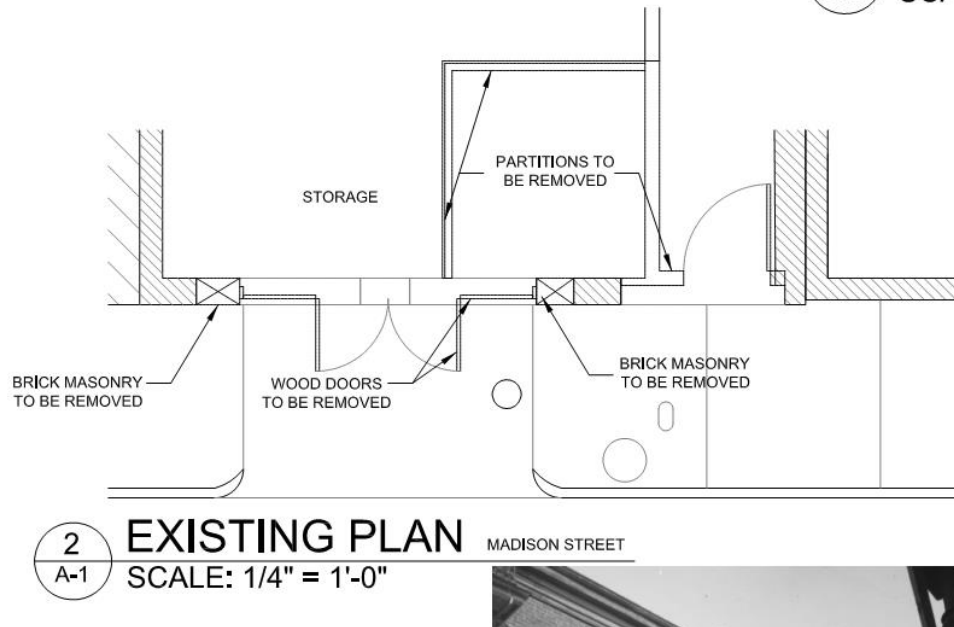
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SHEET 3 OF 4



- EXTERIOR FACADE- DEFORMATION SCOPE OF WORK-DOORS, TRANSOMS, IRON GRILLES, METAL BEAM AT HEADERS, BRICK MASONRY.
-
- 1 REMOVE WOOD/GLASS PANEL, DOORS FROM BRICK OPENINGS . SEE PROPOSED ELEVATION.
REMOVE AND REPLACE DAMAGED/DETERIORED/CRACKED WOOD DOOR FRAMES FROM MASONRY OPENINGS. VERIFY CONDITIONS OF BRICK MASONRY. CLEAN, REFURBISH, PATCH, PAINT AS REQUIRED.
- 2 REMOVE STEEL LINTEL, SPANNING BRICK OPENINGS. SECURE ALL MASONRY WITH SHORING AS NECESSARY. BEFORE REMOVAL. SPAN NEW BRICK MASONRY OPENINGS WITH METALWOOO AS REQUIRED: SEE PROPOSED ELEVATION.
NEW METALWOOO VERTICAL SUPPORTS FOR NEW OPENINGS. VERIFY ALL CONDITIONS.
- 3 REMOVE & REPLACE DAMAGED/ DETERIORED/DEFORMED WOOD/ GLASS TRANSOMS. VERIFY EXISTING CONDITIONS. CLEAN, REFURBISH, PATCH, PAINT AS REQUIRED.
- 4 REMOVE & REPLACE DAMAGED/ MISSING IRON GRILLES. VERIFY EXISTING CONDITIONS. CLEAN, REFURBISH, PATCH, PAINT AS REQUIRED.
- 5 EXISTING BRICK TO BE REMOVED AT OPENING, SHOWN HATCHED. SEE PROPOSED ELEVATION.
- 6 NEW BRICK INFILLS. MATCH EXISTING BRICK AND MORTAR, SHOWN HATCHED. SEE PROPOSED ELEVATION.



(A) EXISTING -1ST. FL.- TRANSOM AND DOORS MADISON ST.

December 7, 2021



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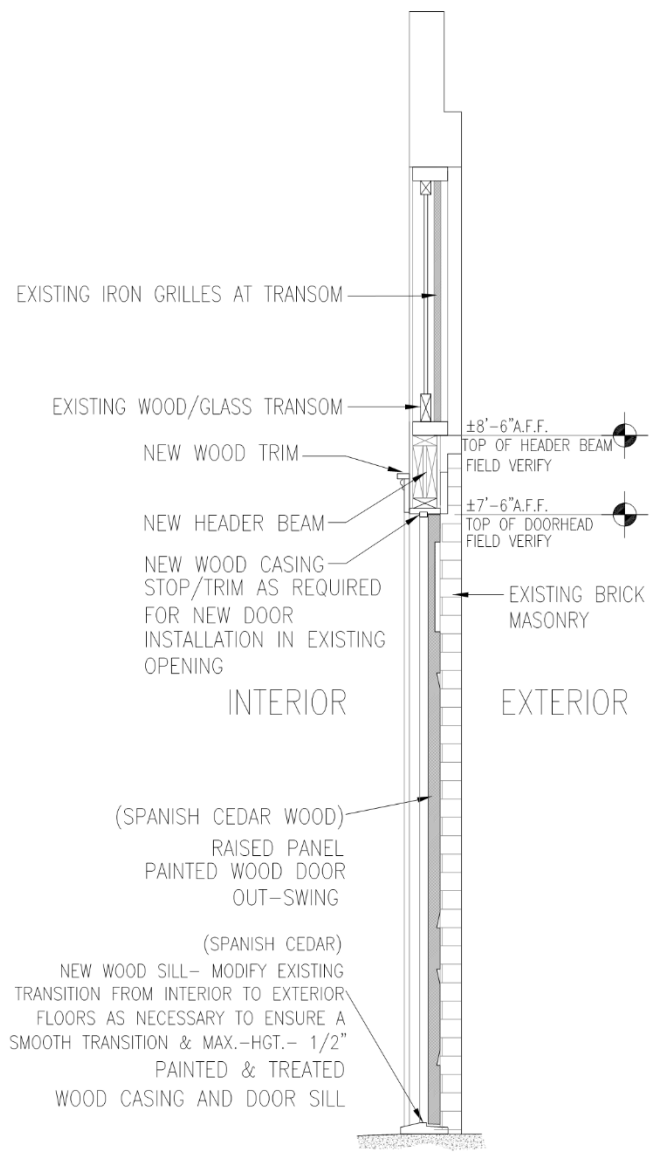
VIOLET REMEDIATION
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 509 MADISON ST.
 NEW ORLEANS, LOUISIANA

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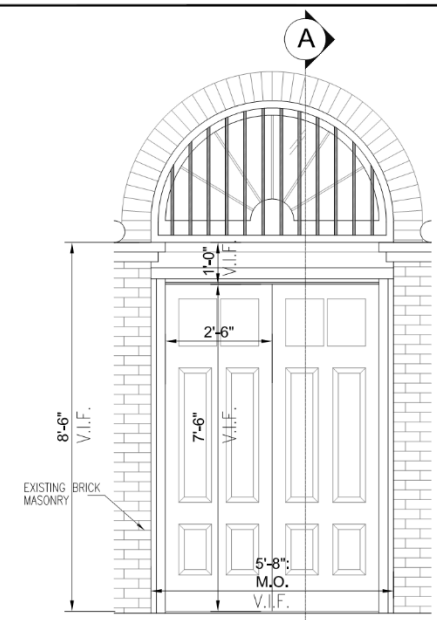
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 SHEET 3 OF 4



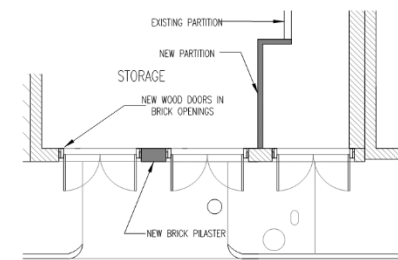
1 EXISTING DECATUR STREET ELEVATION
 SCALE: 1/4" = 1'-0"



A NEW DOOR SECTION
 SCALE: 3/4" = 1'-0"



4 DOOR ELEVATION PROPOSED NEW DOORS
 SCALE: 1/4" = 1'-0"



3 PROPOSED PLAN MADISON STREET
 SCALE: 1/4" = 1'-0"

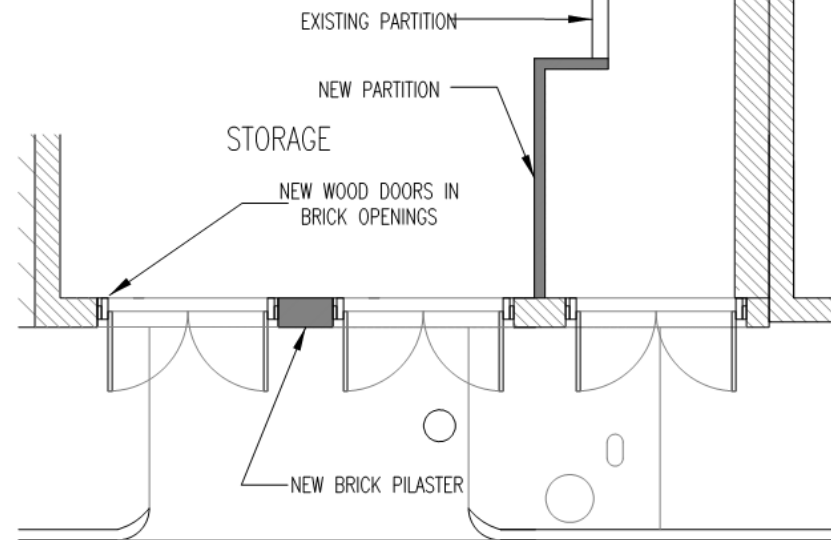


2 PROPOSED MADISON STREET ELEVATION
 SCALE: 1/4" = 1'-0"

823 Decatur

VCC Architectural Committee

December 7, 2021



3
A-2 **PROPOSED PLAN** MADISON STREET
SCALE: 1/4" = 1'-0"



2
A-2 **PROPOSED MADISON STREET ELEVATION**
SCALE: 1/4" = 1'-0"



1122 Burgundy



1122 Burgundy

VCC Architectural Committee

December 7, 2021





1122 Burgundy – ca. 1937

VCC Architectural Committee

December 7, 2021





1122 Burgundy – ca. 1937

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December 7, 2021





1122 Burgundy – 1945

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December 7, 2021





1122 Burgundy – 1975

VCC Architectural Committee

December 7, 2021





1122 Burgundy

VCC Architectural Committee

December 7, 2021





1122 Burgundy

VCC Architectural Committee

December 7, 2021





1122 Burgundy

VCC Architectural Committee

December 7, 2021

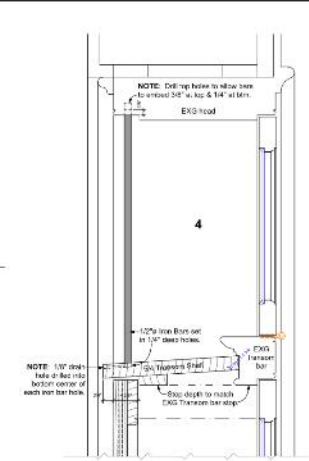




EXG NW Elevation



NEW NW Elevation



NOTES:

- 1) Replace EXG Shutters on Doors 1CA & 1CB w/ NEW pair of Shutters as detailed to fit EXG frames.
- 2) Millwork shall conform to AWI Premium Grade Quality Standard.
- 3) Wood products shall be Reclaimed Old Growth Cypress.
- 4) Replace butt hinges with iron strap hinges as detailed.
- 5) Reuse EXG hook & eye jamb bolts and slide bolts of good quality and serviceable condition. Provide new to match original selected by architect for those missing and needing replacement. Clean, lubricate & adjust for smooth operation & secure latching/locking.
- 6) Prime and apply 1st and 2nd paint coat after fitting. Final 3rd paint coat after installation.
- 7) Clean EXG & NEW interior & exterior finishes upon completion, including touchup paint on scaffolded surfaces.

PROJECT DESCRIPTION:

REPLACE STREET SIDE SHUTTERS ON THE 1-STORY COTTAGE @ 1122 BURGUNDY.

Although the existing shutters were installed as early as the 1930's they are not appropriate for the 1850's cottage. The three-panel design, fixed/covered top, flat middle and double raised bottom panel is late 19th early 20th century and likely recycled from another building. The three-panels do not relate in vertical alignment or size to the original door panel rails.

Existing butt hinges are inappropriate and do not have adequate throw to allow 180-degree opening without binding. Binding caused by the inappropriate and undersized hinges has split the hinge site on all four leafs of the two shutter pairs resulting in numerous dutchman repairs over many years. An original drive-pindle remains in the left jamb of Door-1CB.

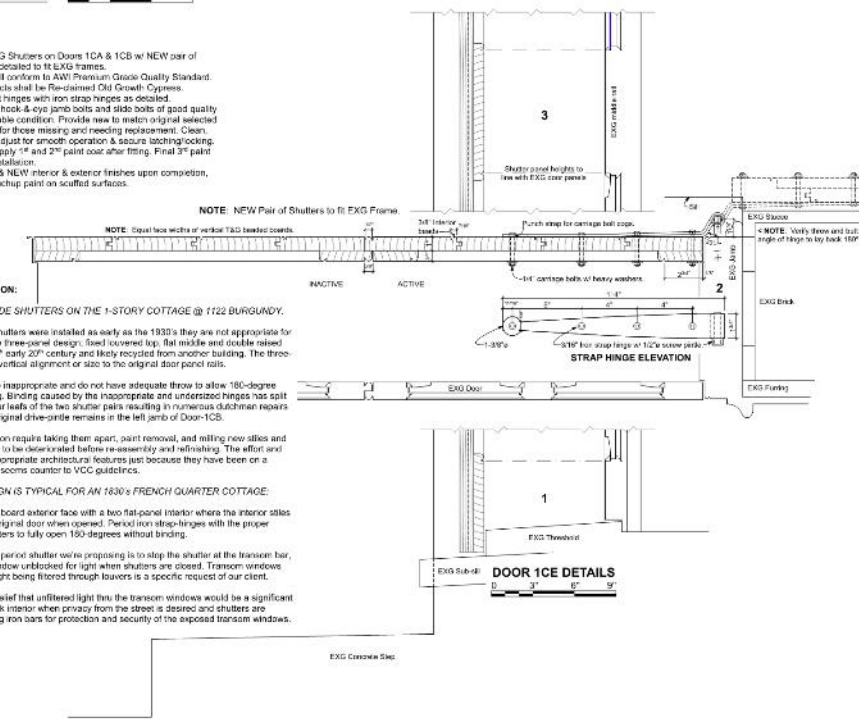
Age and current condition requires taking them apart, paint removal, and refitting new sites and other pieces suspended to be deteriorated before re-assembly and refinishing. The effort and expense to restore inappropriate architecture features just because they have been on a building for a long time seems counter to VCC guidelines.

NEW SHUTTER DESIGN IS TYPICAL FOR AN 1830's FRENCH QUARTER COTTAGE:

Simple vertical beaded board exterior face with a two flat-panel interior where the interior stiles and rails relate to the original door when opened. Period iron strap-hinges with the proper throw allowing the shutters to fully open 180-degrees without binding.

Variation on the typical period shutter we're proposing is to stop the shutter at the transom bar, leaving the transom window unobstructed for light when shutters are closed. Transom windows fully exposed without light being filtered through louvers is a specific request of our client.

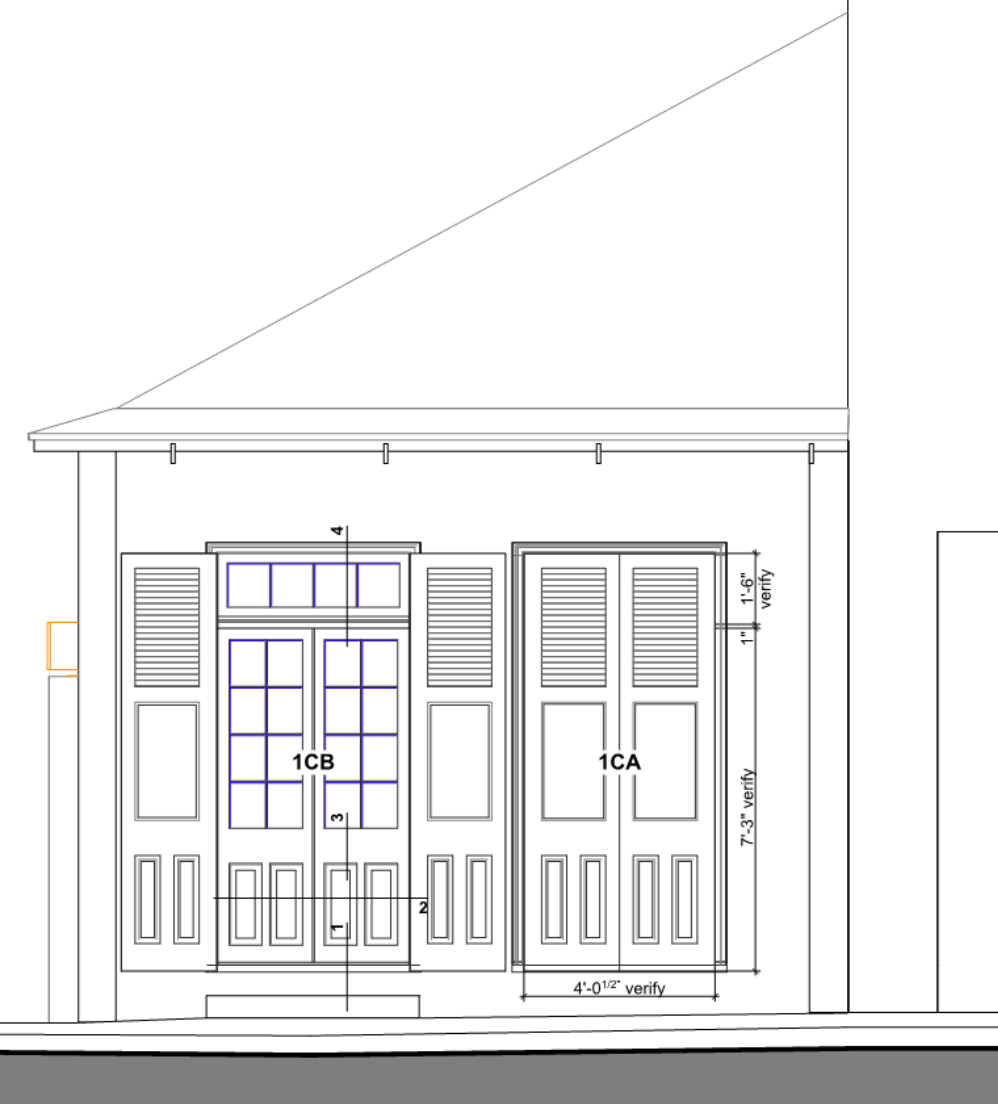
We share our client's belief that unfiltered light thru the transom windows would be a significant improvement to the dark interior when privacy from the street is desired and shutters are closed. We're proposing iron bars for protection and security of the exposed transom windows.



Cottage Renovations
1122 Burgundy St., New Orleans, LA 70116
John Frazee & Gloria Maroti Frazee

Proj No.: K2108
Date: 19 Nov. 2021
Project:
Sheet No.: Drawn: CJP
FRONT SHUTTERS
Sheet: Drawn: CJP
SK3





EXG NW Elevation



NEW NW Elevation



1122 Burgundy

VCC Architectural Committee

December 7, 2021





NEW NW Elevation

NOTES:

- 1) Replace EXG Shutters on Doors 1CA & 1CB w/ NEW pair of Shutters as detailed to fit EXG frames.
- 2) Millwork shall conform to AWI Premium Grade Quality Standard.
- 3) Wood products shall be Re-claimed Old Growth Cypress.
- 4) Replace butt hinges with iron strap hinges as detailed.
- 5) Reuse EXG hook-&-eye jamb bolts and slide bolts of good quality and serviceable condition. Provide new to match original selected by architect for those missing and needing replacement. Clean, lubricate & adjust for smooth operation & secure latching/clocking.
- 6) Prime and apply 1st and 2nd paint coat after fitting. Final 3rd paint coat after installation.
- 7) Clean EXG & NEW interior & exterior finishes upon completion, including touchup paint on scuffed surfaces.

NOTE: NEW Pair of Shutters to fit EXG Frame.

NOTE: Equal face widths of vertical T&G beaded boards.

PROJECT DESCRIPTION:

REPLACE STREET SIDE SHUTTERS ON THE 1-STORY COTTAGE @ 1122 BURGUNDY.

Although the existing shutters were installed as early as the 1930's they are not appropriate for the 1830's cottage. The three-panel design, fixed louvered top, flat middle and double raised bottom panel is late 19th early 20th century and likely recycled from another building. The three panels do not relate in vertical alignment or size to the original door panel rails.

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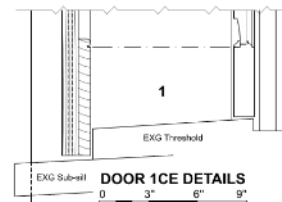
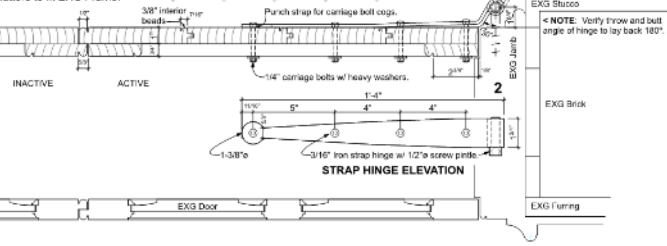
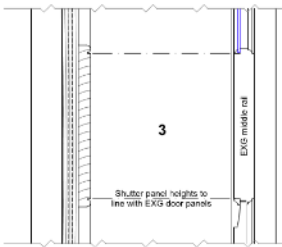
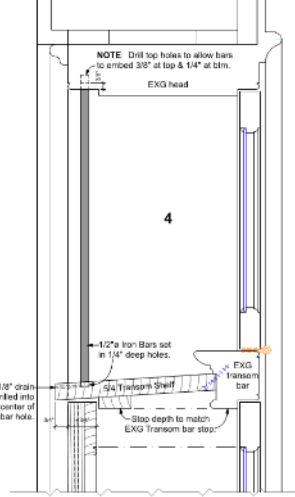
Age and current condition require taking them apart, paint removal, and milling new stiles and other pieces suspected to be deteriorated before re-assembly and refinishing. The effort and expense to restore inappropriate architectural features just because they have been on a building for a long time seems counter to VCC guidelines.

NEW SHUTTER DESIGN IS TYPICAL FOR AN 1830's FRENCH QUARTER COTTAGE:

Simple vertical beaded board exterior face with a two flat-panel interior where the interior stiles and rails relate to the original door when opened. Period iron strap-hinges with the proper throw allowing the shutters to fully open 180-degrees without binding.

Variation on the typical period shutter we're proposing is to stop the shutter at the transom bar, leaving the transom window unblocked for light when shutters are closed. Transom windows fully exposed without light being filtered through louvers is a specific request of our client.

We share our client's belief that unfiltered light thru the transom windows would be a significant improvement to the dark interior when privacy from the street is desired and shutters are closed. We're proposing iron bars for protection and security of the exposed transom windows.





1122 Burgundy

VCC Architectural Committee

December 7, 2021





1122 Burgundy – Square Transom with Transom Bars Example – 1201 Bourbon

VCC Architectural Committee

December 7, 2021





1122 Burgundy – Square Transom with Transom Bars Example – 1201 Bourbon



1122 Burgundy – Square Transom with Transom Bars Example – 940 Bourbon

VCC Architectural Committee

December 7, 2021





1122 Burgundy – Square Transom with Transom Bars Example – 940 Bourbon

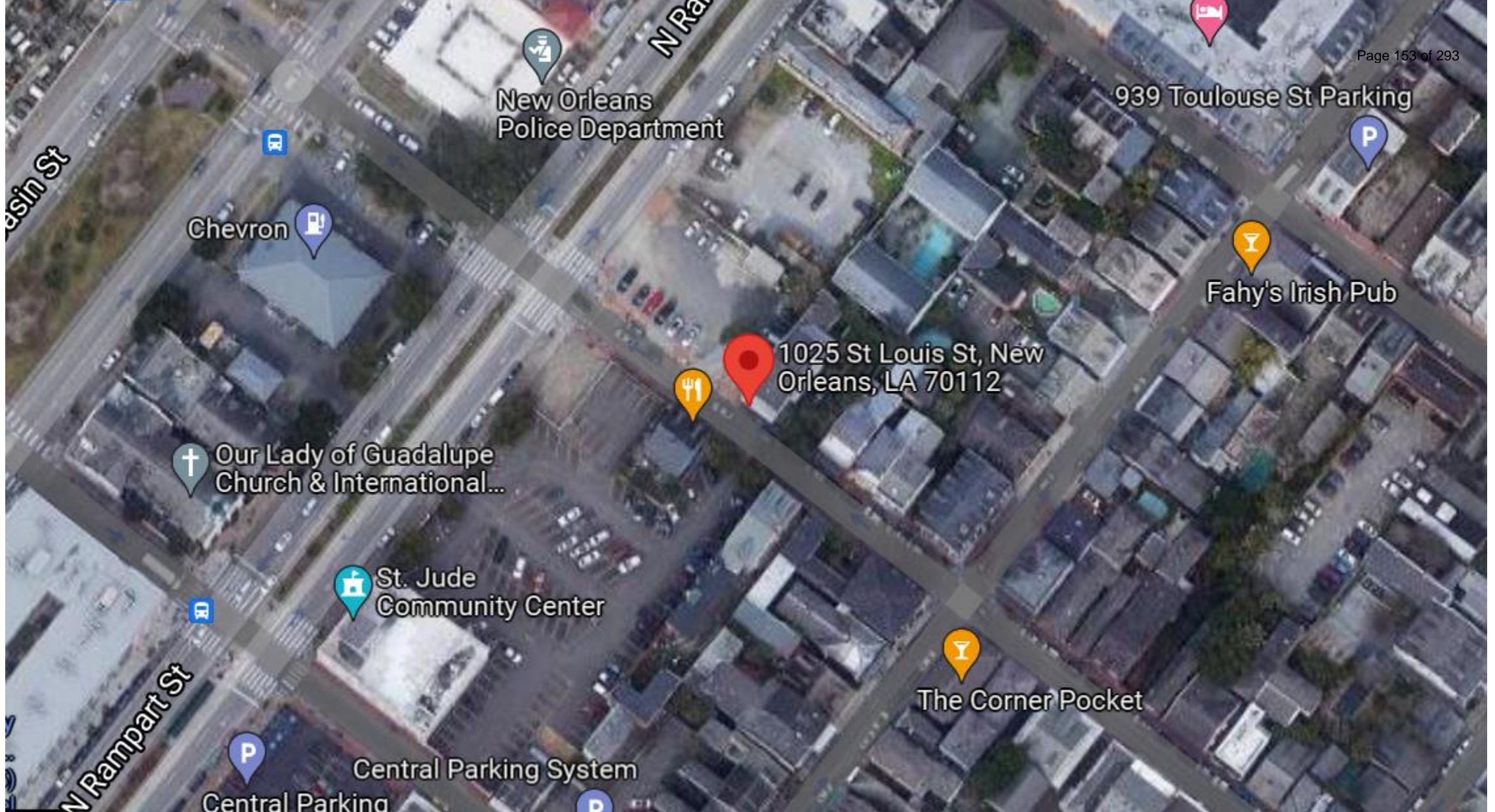
VCC Architectural Committee

December 7, 2021





1025 St Louis



1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021



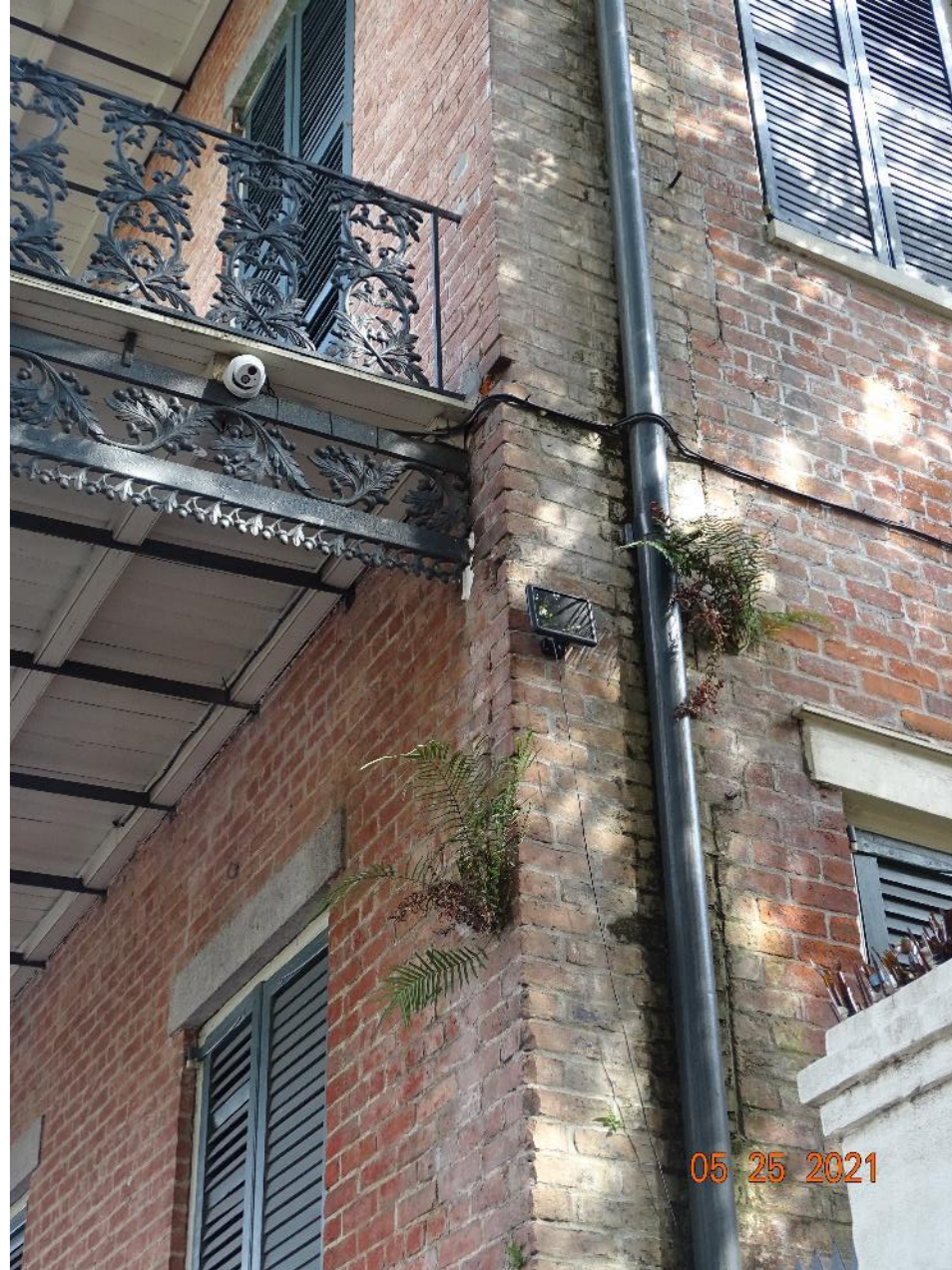


1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





1025 St Louis

VCC Architectural Committee

December 7, 2021





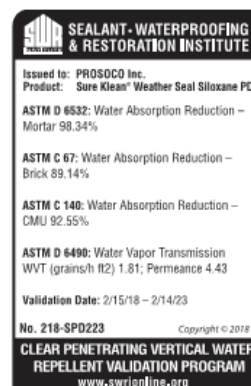
Siloxane PD

Sure Klean® Weather Seal Siloxane PD (predilute) is a ready-to-use, water-based silane/siloxane water repellent for concrete and most masonry and stucco surfaces. Siloxane PD will not impair the natural breathing characteristics of treated surfaces. It helps masonry resist cracking, spalling, staining and other damage related to water intrusion. Low odor and alkaline stable, Siloxane PD is ideal for field and in-plant application.

SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job site controls during application and handling.

24-Hour Emergency Information:
INFOTRAC at 800-535-5053



NOTE: The SWR Institute Validation Program uses standardized testing for validation purposes, including testing on CMU. PROSOCO does not recommend the use of Siloxane PD on CMU. Please reference the Substrate Chart on page 2.

ADVANTAGES

- Penetrates deeply for long-lasting protection on vertical or horizontal surfaces.
- Service life is estimated at more than 10 years.
- Treated surfaces “breathe” – does not trap moisture.
- Water-based formula minimizes explosion and fire hazards compared to solvent-based water repellents.
- Appropriate for use on manufactured stone surfaces.
- Easy cleanup with Enviro Klean® 2010 All Surface Cleaner.
- Low odor for safer application to occupied buildings.
- Alkaline stable – suitable for new “green” concrete, 14–28 days old.
- Ready-to-use. No on-site dilution required.

Limitations

- Will not keep water out of cracks, defects or open joints.
- Not recommended for below-grade application.
- Not suitable for application to synthetic resin paints, gypsum, or other non masonry surfaces.

REGULATORY COMPLIANCE

VOC Compliance

Sure Klean® Weather Seal Siloxane PD is compliant with the US Environmental Protection Agency's AIM VOC regulations. Visit www.prosoco.com/voccompliance to confirm compliance with individual district or state regulations.

Product Data Sheet Weather Seal Siloxane PD

TYPICAL TECHNICAL DATA

| | |
|-------------------------|--|
| FORM | Cloudy white liquid, odorless |
| SPECIFIC GRAVITY | 0.996 |
| pH | 4–5 |
| WT/GAL | 8.29 lbs |
| ACTIVE CONTENT | 7% |
| TOTAL SOLIDS | 4% ASTM D 5095 |
| VOC CONTENT | <30 g/L Low Solids Coating |
| FLASH POINT | >212° F (>100° C) ASTM D 3278 |
| FREEZE POINT | 32° F (0° C) |
| SHELF LIFE | 1 year in tightly sealed, unopened container |

PREPARATION

Protect people, vehicles, property, plants, windows and all non masonry surfaces from product, splash, residue, fumes and wind drift. Protect and/or divert foot and auto traffic.

Thoroughly clean the surface using the appropriate PROSOCO product. Clean newly constructed and repointed surfaces before application. Sealing and caulking compounds should be in place and cured.

Though Siloxane PD may be applied to slightly damp surfaces, best performance is achieved on clean, visibly dry and absorbent surfaces. Excessive moisture inhibits penetration, reducing the service life and performance of the treatment.

The top of walls need to be capped and made watertight prior to application.

Window Glass Protection

Protect window glass before use. Sure Klean® Strippable Masking is effective protection for use with this product. If protecting windows is impractical, follow these steps:

1. Clean window glass thoroughly before application to nearby concrete or masonry.
2. Don't use in wind or when air or surface temperatures are hotter than 95°F (35°C).
3. Try to keep Siloxane PD off the glass.
4. After treated surfaces have been protected from water for 6 hours, if product is on window glass, clean as soon as possible with soap and warm water. Alternatively use Enviro Klean® 2010 All Surface Cleaner to remove dried residues within 3–5 days.

Surface and Air Temperatures

Best surface and air temperatures are 40–95°F (4–35°C) during use and for 8 hours after. If freezing conditions exist before application, let masonry thaw. The water carrier may freeze at low temperatures or evaporate in high temperatures. Both conditions impair penetration and results. Cleanup is more difficult from surfaces hotter than 95°F (35°C).

Equipment

Recommended application is by high volume, low-pressure (<50 psi) spray. Fan spray tips are recommended to avoid atomization. Do not atomize/vaporize the material.

For small scale application, or when spray application is not appropriate, product may be applied using brush or roller. Contact Customer Care or your local PROSOCO representative for more information.

Recommended for these substrates. Always test. Coverage is in sq.ft./m. per gallon.

| <i>Substrate</i> | <i>Type</i> | <i>Use?</i> | <i>Coverage</i> |
|--------------------------------------|------------------------|-------------|-------------------------------|
| Architectural Concrete Block* | Burnished | no | N/A |
| | Smooth | no | |
| | Split-faced | no | |
| | Ribbed | no | |
| Concrete | Brick* | yes | 150–200 sq.ft. 14–19 sq.m. |
| | Tile | yes | |
| | Precast Panels* | yes | |
| | Pavers | yes | |
| | Cast-in-place* | yes | |
| Fired Clay | Brick | yes | 50–175 sq.ft. 5–16 sq.m. |
| | Tile | yes | |
| | Terra Cotta (unglazed) | yes | |
| | Pavers | yes | |
| Marble, Travertine, Limestone | Polished | no | N/A |
| | Unpolished | no | N/A |
| Granite | Polished | no | N/A |
| | Unpolished* | no | N/A |
| Sandstone | Unpolished | yes | 75–125 sq.ft. 7–12 sq.m. |
| Slate | Unpolished* | no | N/A |

*Weather Seal Blok-Guard® & Graffiti Control is a more appropriate product.

*See specific application instructions for dense surfaces.

*PROSOCO® SLX100® or SL100 may be a more appropriate product.

Always test to ensure desired results.

Coverage estimates depend on surface texture and porosity.



SWRI SEALANT-WATERPROOFING
& RESTORATION INSTITUTE

Issued to: PROSOCC Inc.
Product: Sure Klean® Weather Seal Siloxane PD

ASTM D 6532: Water Absorption Reduction –
Mortar 98.34%

ASTM C 67: Water Absorption Reduction –
Brick 89.14%

ASTM C 140: Water Absorption Reduction –
CMU 92.55%

ASTM D 6490: Water Vapor Transmission
WVT (grains/h ft²) 1.81; Permeance 4.43

Validation Date: 2/15/18 – 2/14/23

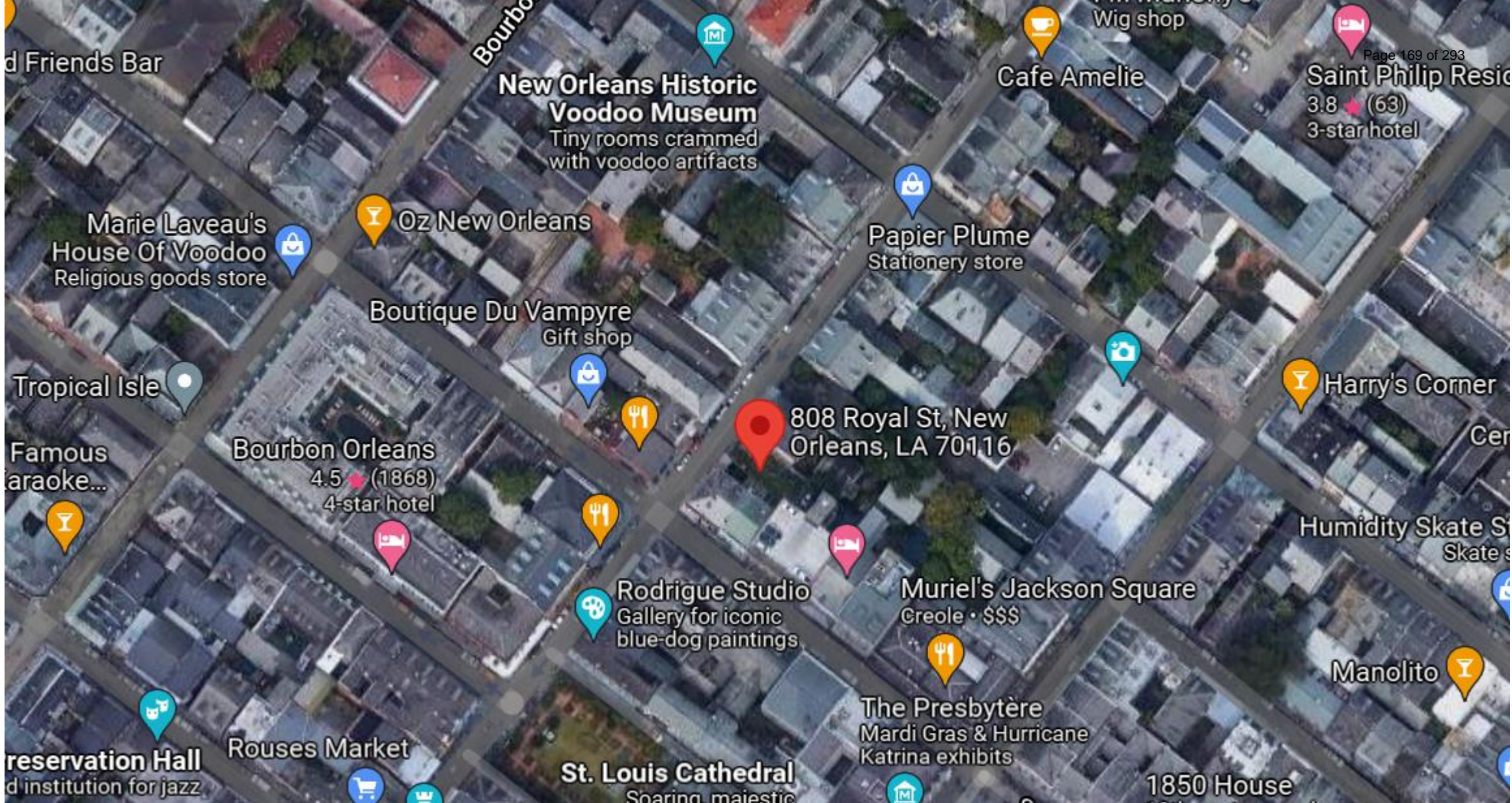
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**CLEAR PENETRATING VERTICAL WATER
REPELLENT VALIDATION PROGRAM**
www.swrionline.org

TYPICAL TECHNICAL DATA

| | |
|-------------------------|---|
| FORM | Cloudy white liquid, odorless |
| SPECIFIC GRAVITY | 0.996 |
| pH | 4–5 |
| WT/GAL | 8.29 lbs |
| ACTIVE CONTENT | 7% |
| TOTAL SOLIDS | 4% ASTM D 5095 |
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| FLASH POINT | >212° F (>100° C) ASTM D 3278 |
| FREEZE POINT | 32° F (0° C) |
| SHELF LIFE | 1 year in tightly sealed, unopened container |





800 Royal

VCC Architectural Committee

December 7, 2021





800 Royal

VCC Architectural Committee

December 7, 2021





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VCC Architectural Committee

December 7, 2021





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VCC Architectural Committee

December 7, 2021





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VCC Architectural Committee

December 7, 2021





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VCC Architectural Committee

December 7, 2021



800 Royal
VCC Architectural Committee



December 7, 2021





800 Royal

VCC Architectural Committee

December 7, 2021



800 Royal
VCC Architectural Committee



11 04 2021

December 7, 2021





800 Royal – Applicant’s Submittal
VCC Architectural Committee

December 7, 2021



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The shield is flanked by two vertical bars with diamond-shaped patterns. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

1130 Chartres



1130 Chartres

VCC Architectural Committee

December 7, 2021





1130 Chartres

VCC Architectural Committee

December 7, 2021





1130 Chartres

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December 7, 2021



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December 7, 2021





1130 Chartres

VCC Architectural Committee

December 7, 2021



1. The contractor shall confirm and verify in writing (employ surveyor) that all property lines and setbacks are met prior to the start of construction.
2. The contractor shall coordinate and obtain all necessary permits and approvals from authorities having jurisdiction. Construction work is not to begin until all required regulatory approvals have been issued.
3. All materials and work shall be in accordance with current applicable federal, state and local building codes, amendments, rules, regulations, ordinances, laws, orders, and approvals that are required by public authorities having jurisdiction over the work. In the event of conflict, the most stringent requirements shall apply. No work shall be concealed until approved by local inspectors.
4. It is the intent of the contract documents to provide for complete and finished work. Each trade (subcontractor) shall completely review plans for their respective work and related work by other trades (subcontractors). The contractor shall coordinate and provide all miscellaneous components and parts which are not shown on the contract documents but are required to complete the work shown. Incidental work and components which are required as an essential, functional or operational item or system, are required to complete any assembly and to complete full scope of work.
5. The contractor shall subcontract with suppliers, fabricators, and installation companies which can demonstrate that they possess the knowledge, experience and proven capabilities to fully perform all aspects of work without omission.
6. All products shall be installed in compliance with industry standards and as required by the product manufacturer's latest published specifications and installation requirements.
7. The contractor shall protect all materials, construction, utilities and facilities from damage, including workers, theft and weather. Damaged components shall be replaced at no cost to Owner.
8. All pipe chase walls shall be constructed to completely conceal and enclose pipes with full thickness of gypsum board on each side of the wall.
9. The contractor shall install and provide all safety barriers during construction to protect the public from injury and access to the building and site.
10. Fire rated assemblies shall be constructed in compliance with published UL Certifications Directory Listings and Classifications and shall be in accordance with continuity diagrams. Joints occurring in fire rated assemblies (walls and ceilings) shall be staggered both horizontally and vertically.
11. Substitutions must be pre-approved in writing by architect prior to the start of construction. Any work or material requirements of such substitution shall be coordinated (with all trades) and approved by the contractor. The contractor must not incur liability in writing all substitutions will not impact project cost or project schedule prior to request of such substitution. Substitutions shall be approved by regulatory agencies in writing prior to the start of construction.
12. The contractor and subcontractors shall review and coordinate all architectural, electrical and mechanical work to confirm that all components will achieve their intended use and will maintain ceiling heights shown. Conflicts shall be brought to the attention of the architect prior to the start of construction.
13. Asbestos abatement, lead paint removal, and other hazardous material removal is not in the contract. Should the contractor encounter the presence, or possible presence, of asbestos, hazardous materials, the contractor shall notify the owner for instructions prior to continuing work.
14. Safety measures: at all times, the contractor shall be solely and completely responsible for the conditions of the job site, including the safety of persons and property, and for all necessary independent reviews of these conditions. The architect's, engineer's, or owner's job site review is not intended to review the adequacy of the contractor's safety measures.
15. The contractor shall not submit final price or execute contract with Owner until all required changes requested by the regulatory agencies have been included in the contract price.
16. Buildings shall be maintained in weathertight and secure condition as early as possible throughout work.
17. Erect and install all work level, plumb, square, true, straight and in proper alignment.
18. The contractor shall be responsible for field verifying actual locations of all existing utilities and structures on the project site. Locations of existing utilities and structures indicated on the drawings are approximate only, and those indicated are not necessarily all that may exist on the project site. The contractor shall coordinate the location (horizontal and vertical) of the existing utilities (power, telephone, gas, water, sewer, etc) with the appropriate utility provider before construction begins and at no additional cost to the owner.
19. All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other appurtenances shall be adjusted to finish grade by contractor at no additional cost to the owner.
20. When project is complete, clean and polish glass, hardware, and other such items with appropriate cleaners. Remove all dust with treated dusts or vacuum cleaners. Waste and refuse caused by the work shall be removed from premises and disposed of by contractor. Clean site at end of project. Remove dust, debris, oils, stains, fingerprints, and labels from exposed surfaces, including glazing.
21. Furniture is for reference only. Furniture is not in project scope. Furniture, fixtures and equipment (FFE), if required, will be submitted in a separate design package.
22. Do not scale drawings for field layout. Contract architect if dimensions are needed and cannot be found in drawing set.
23. Floor plan dimensions taken from face of stud or centerline of stud / column unless otherwise noted. "Clear" refers to dimension between faces of finish surfaces. "ETC" or "Equal" indicates dimension to match adjacent. Lettered dimensions (A,B,C,D,ETC) refer to the drawing to match adjacent (same (finishing letter) (size) "A" indicates approximate dimension based on field condition or flexible dimension that can be adjusted.
24. All dimensions on reflected ceiling / lighting plans are clear dimensions.
25. These drawings are accompanied by the Project Manual.



Soniat Holdings, LLC.

INTERIOR DESIGNER

310 Seventh St.
San Francisco, CA 94103
415.285.1164

Entablature

8438 Oak St., Suite C
New Orleans, LA 70118
504.322.3822

Richard Albert
3221 Tulane Avenue
New Orleans, LA 70119
504.827.0056

Michael Leitzinger
3221 Tulane Avenue
New Orleans, LA 70119
504.827.0056

| | | | |
|---------|--|--------|---|
| G-0.01 | COVER SHEET | M-0.01 | HVAC GENERAL NOTES AND SCHEDULES |
| G-0.02 | INFORMATION SHEET | M-0.02 | HVAC SCHEDULES |
| G-0.03 | WALL TYPES | M-0.03 | FIRST FLOOR PLUMBING - 1133-1137 CHARTERS |
| G-0.03 | SURVEY | M-0.03 | FIRST FLOOR HVAC - 1130 CHARTERS |
| G-0.04 | WALL TYPES | M-0.02 | FIRST FLOOR HVAC - 1133-1137 CHARTERS |
| L-0.01 | WALL TYPES | M-0.04 | SECOND FLOOR PLUMBING - 1130 CHARTERS |
| L-0.10 | LIFE SAFETY - FIRST FLOOR | M-0.05 | THIRD FLOOR HVAC - 1133-1137 CHARTERS |
| L-0.11 | LIFE SAFETY - SECOND FLOOR | M-0.06 | ROOF HVAC PLAN - 1133-1137 CHARTERS |
| L-0.12 | LIFE SAFETY - THIRD FLOOR | M-0.07 | ROOF HVAC PLAN - 1130 CHARTERS |
| | | M-0.01 | HVAC DETAILS |
| A-1.00 | SITE PLAN | M-0.01 | HVAC DETAILS |
| A-1.01 | FIRST FLOOR PLAN - 1133-1137 CHARTERS STREET | M-0.01 | MECHANICAL RISERS |
| A-1.02 | FIRST FLOOR PLAN - 1130 CHARTERS | M-0.02 | MECHANICAL RISERS |
| A-1.03 | SECOND FLOOR PLAN - 1133 - 1137 CHARTERS | | |
| A-1.04 | SECOND FLOOR PLAN - 1130 CHARTERS | E-0.01 | ELECTRICAL GENERAL NOTES |
| A-1.05 | THIRD FLOOR PLAN - 1133 - 1137 CHARTERS | E-0.01 | FIRST FLOOR ELECTRICAL PLAN 1133-1137 CHARTERS |
| A-1.06 | ROOF PLAN | E-0.01 | FIRST FLOOR ELECTRICAL PLAN 1130 CHARTERS |
| A-1.07 | FIRST FLOOR PLAN - RCP - 1133-1137 CHARTERS | E-0.03 | SECOND FLOOR ELECTRICAL PLAN 1133-1137 CHARTERS |
| A-1.08 | FIRST FLOOR PLAN - RCP - 1130 CHARTERS | E-0.03 | THIRD FLOOR ELECTRICAL PLAN 1130 CHARTERS |
| A-1.11 | SECOND FLOOR PLAN - RCP - 1133-1137 | E-0.04 | THIRD FLOOR ELECTRICAL PLAN 1133-1137 CHARTERS |
| A-1.12 | THIRD FLOOR PLAN - RCP - 1133 | E-0.05 | ROOF ELECTRICAL PLAN - 1133-1137 CHARTERS |
| A-1.13 | THIRD FLOOR PLAN - RCP - 1133-1137 | E-0.07 | ROOF ELECTRICAL PLAN - 1130 CHARTERS |
| A-2.00 | EXTERIOR ELEVATIONS | E-2.01 | ELECTRICAL RISER DIAGRAM AND DETAILS |
| A-2.01 | SECTIONS | | |
| A-3.01 | SECTION 2 | | |
| A-3.02 | SECTION 3 | | |
| A-3.03 | TPO ROOF DETAILS | P-0.01 | PLUMBING GENERAL NOTES AND SCHEDULES |
| A-3.01 | ROOF DETAILS | P-0.01 | UNDERGROUND PLUMBING 1133-1137 CHARTERS |
| A-3.02 | VCC STANDARD DETAILS - BRICK AND MORTAR | P-0.01 | SECOND FLOOR PLUMBING - 1133-1137 CHARTERS |
| A-3.03 | VCC STANDARD DETAILS - SHUTTERS | P-0.02 | FIRST FLOOR PLUMBING - 1133-1137 CHARTERS |
| A-3.04 | VCC STANDARD DETAILS - DORMER, WINDOWS & DOORS | P-0.03 | FIRST FLOOR PLUMBING - 1130 CHARTERS |
| | | P-0.04 | SECOND FLOOR PLUMBING - 1133-1137 CHARTERS |
| A-3.05 | VCC STANDARD DETAILS - IRON BALCONY AND GATES | P-0.05 | SECOND FLOOR PLUMBING - 1130 CHARTERS |
| A-3.06 | GENERATOR SCREEN DETAILS | P-0.06 | THIRD FLOOR PLUMBING - 1133-1137 CHARTERS |
| A-3.07 | GATE DETAILS | P-2.00 | PLUMBING DETAIL |
| A-3.08 | EXTERIOR GATE/DOOR SCHEDULE | P-2.01 | PLUMBING DETAIL |
| | | P-2.01 | PLUMBING ISOMETRIC PLAN |
| | | P-3.01 | PLUMBING RISERS |
| ID-1.00 | INTERIOR FINISH SCHEDULE | | |
| ID-1.01 | WALL TYPES | | |
| ID-1.02 | INTERIOR FINISH KEY PLAN | | |
| ID-1.03 | INTERIOR FINISH KEY PLAN | | |
| ID-1.04 | INTERIOR FINISH KEY PLAN | | |
| ID-1.05 | INTERIOR FINISH KEY PLAN | | |
| ID-1.06 | INTERIOR FINISH KEY PLAN | | |

December 7, 2021



ARCHITECTURE

Albert Architecture & Urban Design apc

504.827.0056

CLARIFICATION OF RENOVATION GRAPHICS

PERTAINING TO SITE PLAN

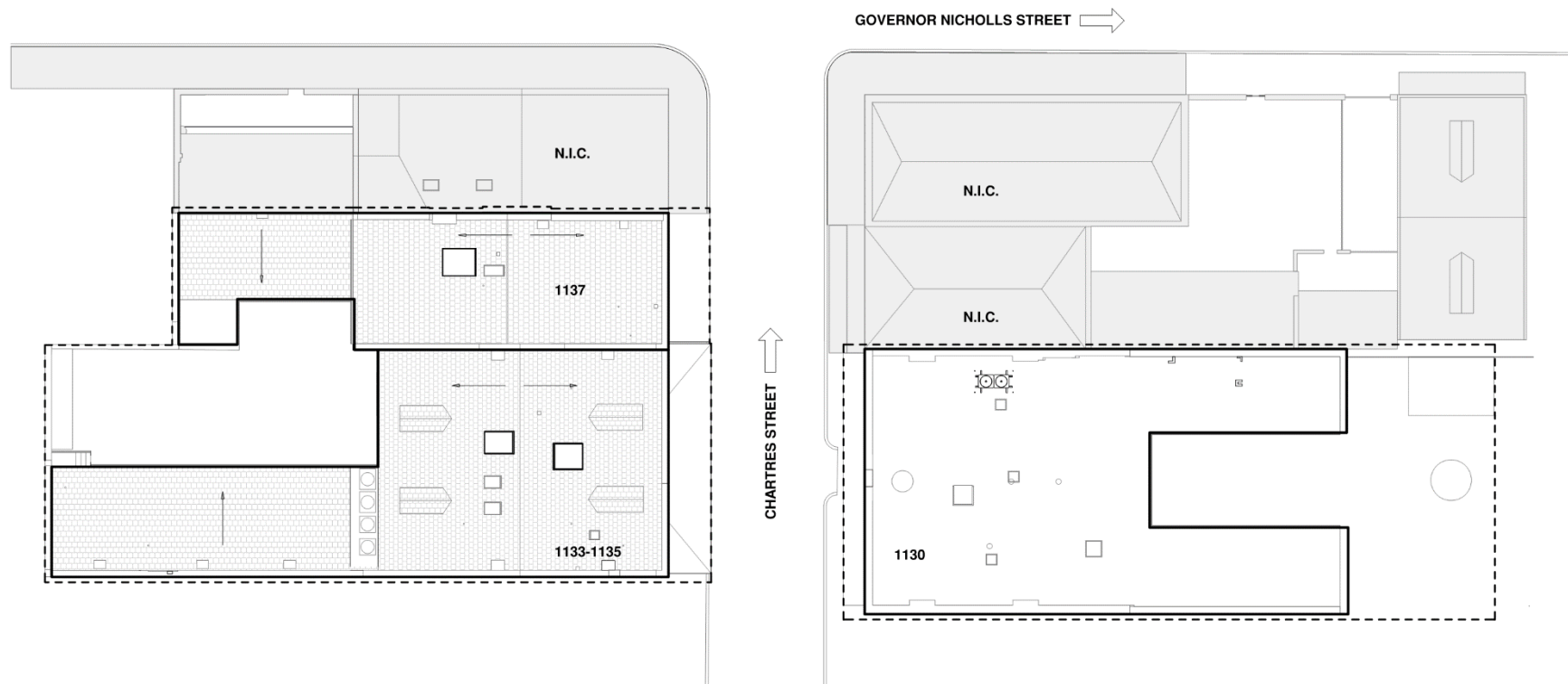
PROPERTY LINE

BUILDING - IN SCOPE

BUILDING - NOT IN SCOPE

Page 188 of 293

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1

A-1.00

SITE PLAN

1" = 10'-0"



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SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET

NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

Drawn by: AP

Checked by: JM

Interior Demolition Set: 08.13.21

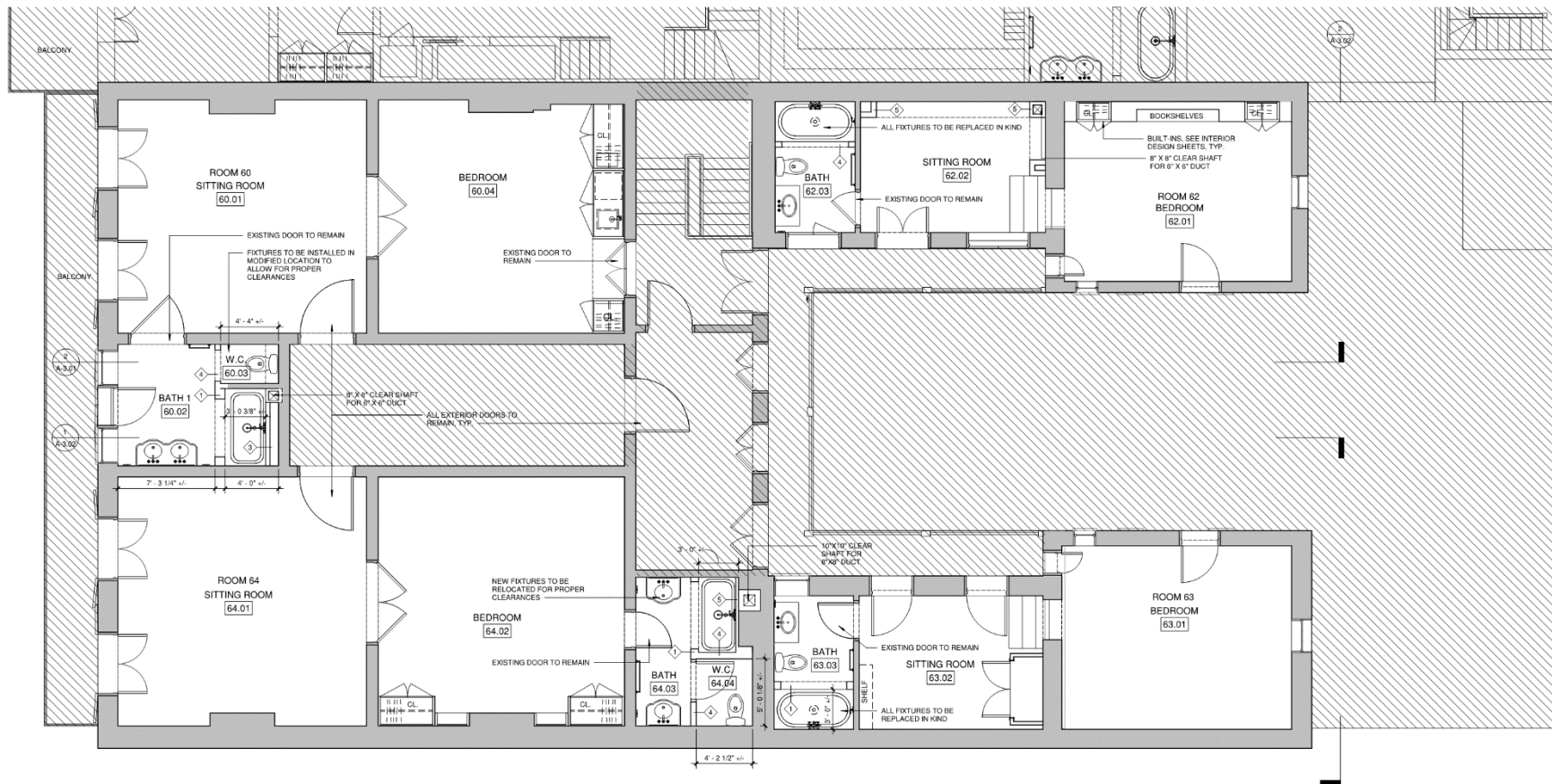
Permit Set: 09.23.21

Revised Permit Set: 11.05.21

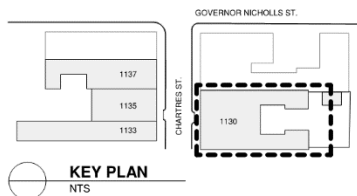
A-1.00

SITE PLAN





1 SECOND FLOOR PLAN - 1130 CHARTRES
A-1.04 1/4" = 1'-0"



| GRAPHIC LEGEND | |
|----------------|--|
| | INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK |
| | EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN |
| | EXISTING DEMISING WALL TO REMAIN |
| | EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED |
| | NEW WALL |



SONIAT HOUSE

1130, 1133-1137 CHARTRES STREI
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

Drawn by: AP
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Revised Permit Set 11.05.21

A-1.04

SECOND FLOOR PLAN -
1130 CHARTRES

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SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109



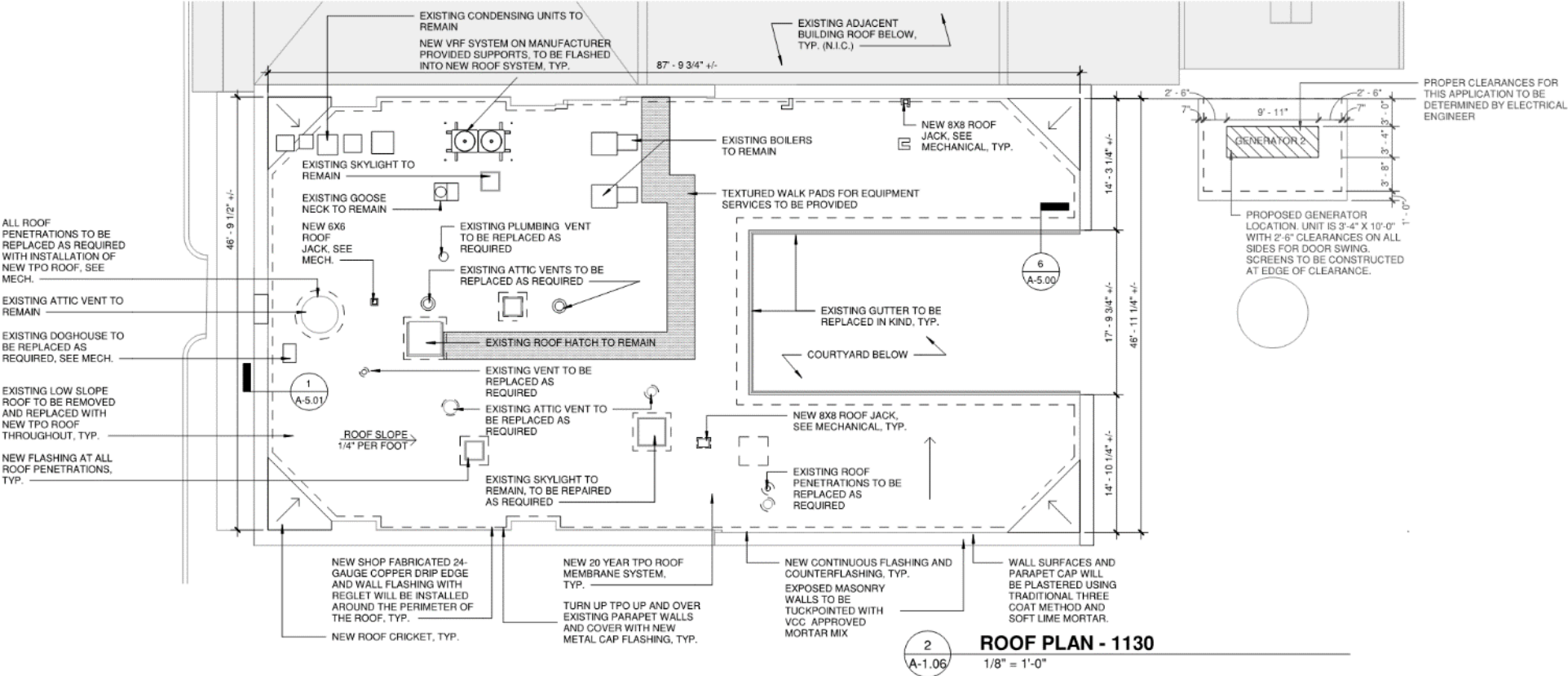
11.05.21

Drawn by: AP
Checked by: JM

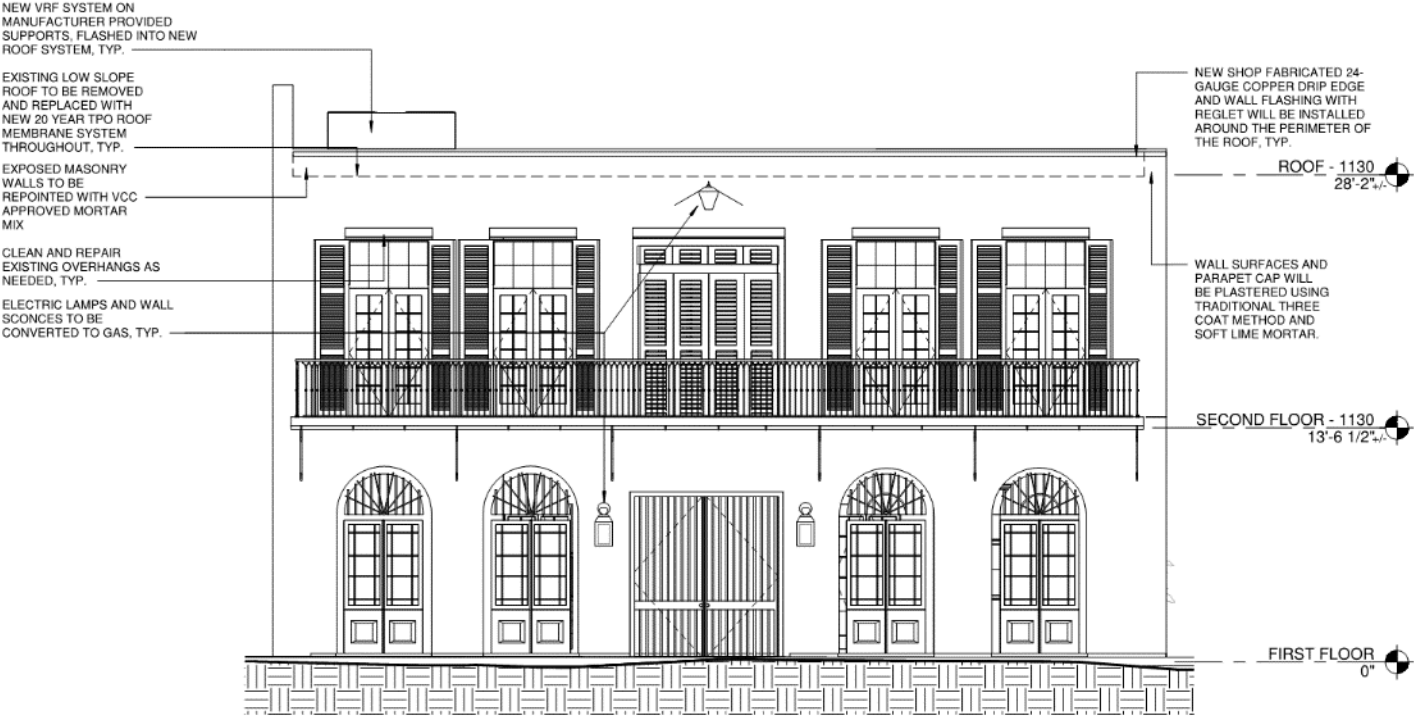
| | |
|-------------------------|----------|
| Interior Demolition Set | 08.13.21 |
| Permit Set | 09.23.21 |
| Revised Permit Set | 11.05.21 |

A-1.06

ROOF PLAN



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2
A-2.00
1130 CHARTRES STREET ELEVATION
3/16" = 1'-0"

NOTE:
REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.05) FOR APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF APPLICABILITY OF DETAIL IS IN QUESTION.

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NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

Drawn by: AP
Checked by: JM

Interior Demolition Set 08.13.21
Permit Set 09.23.21
Revised Permit Set 11.05.21

A-2.00

EXTERIOR ELEVATIONS





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Project No. AA2109



11.05.21

Drawn by: AP

Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Revised Permit Set 11.05.21

A-3.01

SECTIONS 2



Albert Architecture & Urban Design ap/c
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New Orleans, LA 70119
504.827.6056

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SECTION / COURTYARD ELEVATION 5 - 1130 CHARTRES
3/16" = 1'-0"



SECTION / REAR ELEVATION 6 - 1130 CHARTRES
3/16" = 1'-0"

NOTE:
REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.06) FOR APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF APPLICABILITY OF DETAIL IS IN QUESTION.

SONIAT HOUSE
1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116
Project No. AA2109



11.05.21
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Checked by: JM

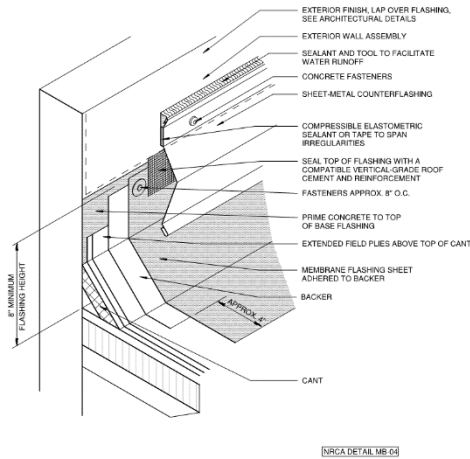
Interior Demolition Set 08.13.21
Permit Set 09.23.21
Revised Permit Set 11.05.21

A-3.02

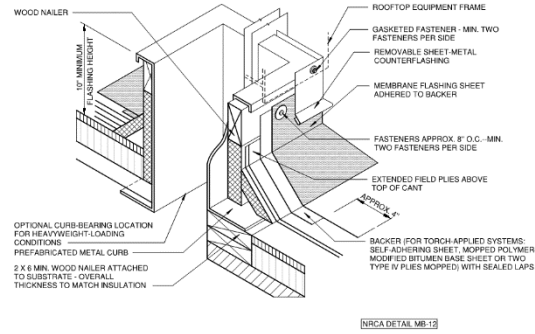
SECTIONS 3

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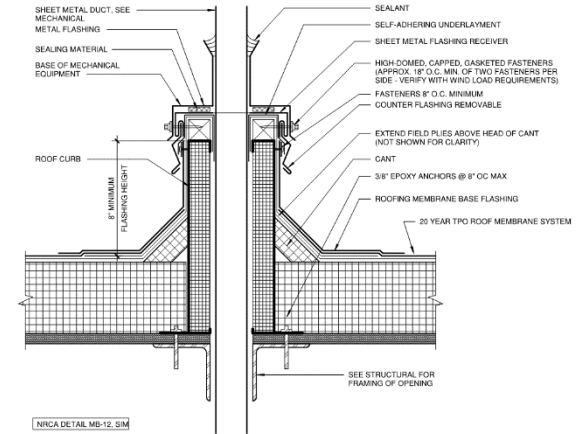




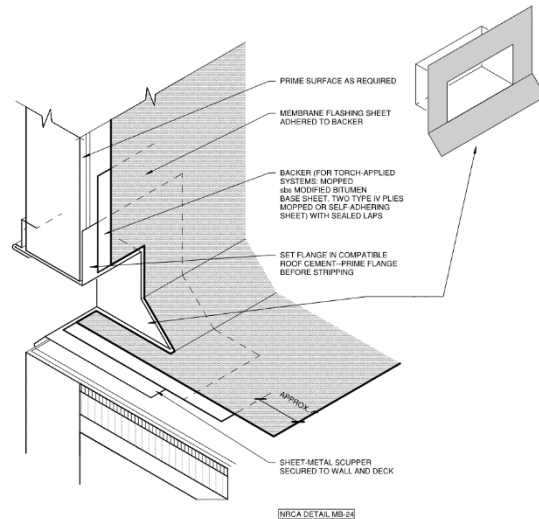
1 PICTORIAL VIEW AT BASE FLASHING
1" = 1'-0"



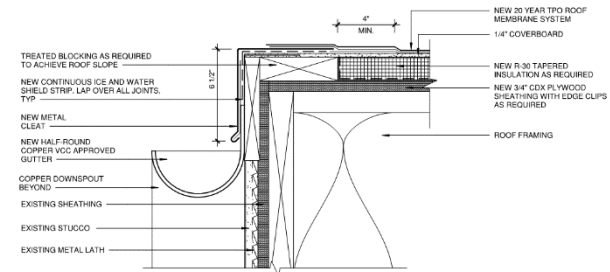
2 PICTORIAL VIEW OF BASE FLASHING AT METAL CURB
1" = 1'-0"



3 SECTION THRU ROOF AT CURB FOR DUCT PENETRATIONS
3" = 1'-0"



4 PICTORIAL VIEW AT SCUPPER
1" = 1'-0"



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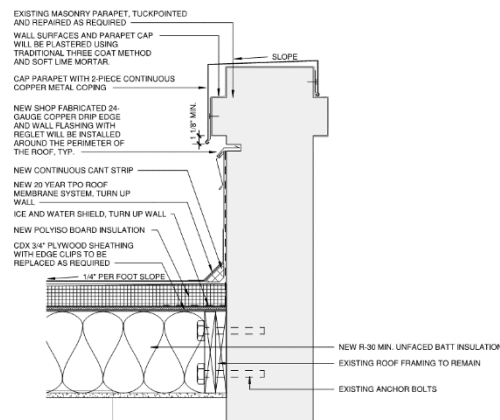
11.05.21
Drawn by: AP
Checked by: JM

Interior Demolition Set 08.13.21
Permit Set 09.23.21
Revised Permit Set 11.05.21

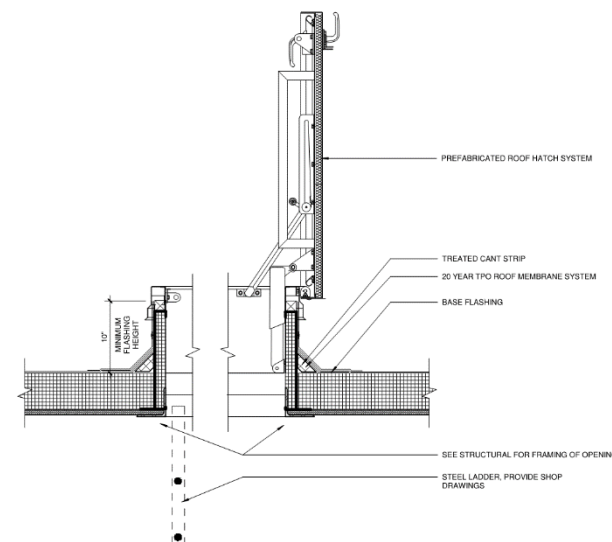
A-5.00

TPO ROOF DETAILS

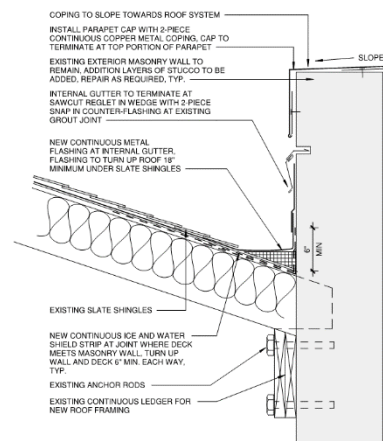




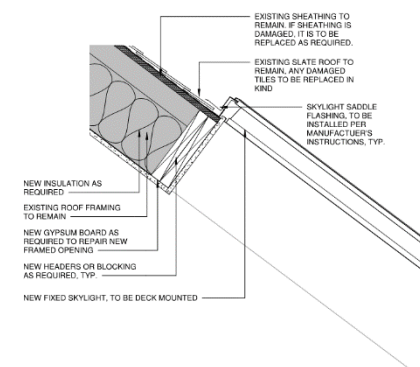
1
A-5.01
SECTION AT TPO ROOF AT EXISTING PARAPET
1 1/2" = 1'-0"



2
A-5.01
SECTION AT ROOF HATCH
1 1/2" = 1'-0"



3
A-5.01
SECTION THRU INTERNAL GUTTER AT SLATE ROOF
1 1/2" = 1'-0"



4
A-5.01
SECTION THRU NEW SKYLIGHT
1 1/2" = 1'-0"

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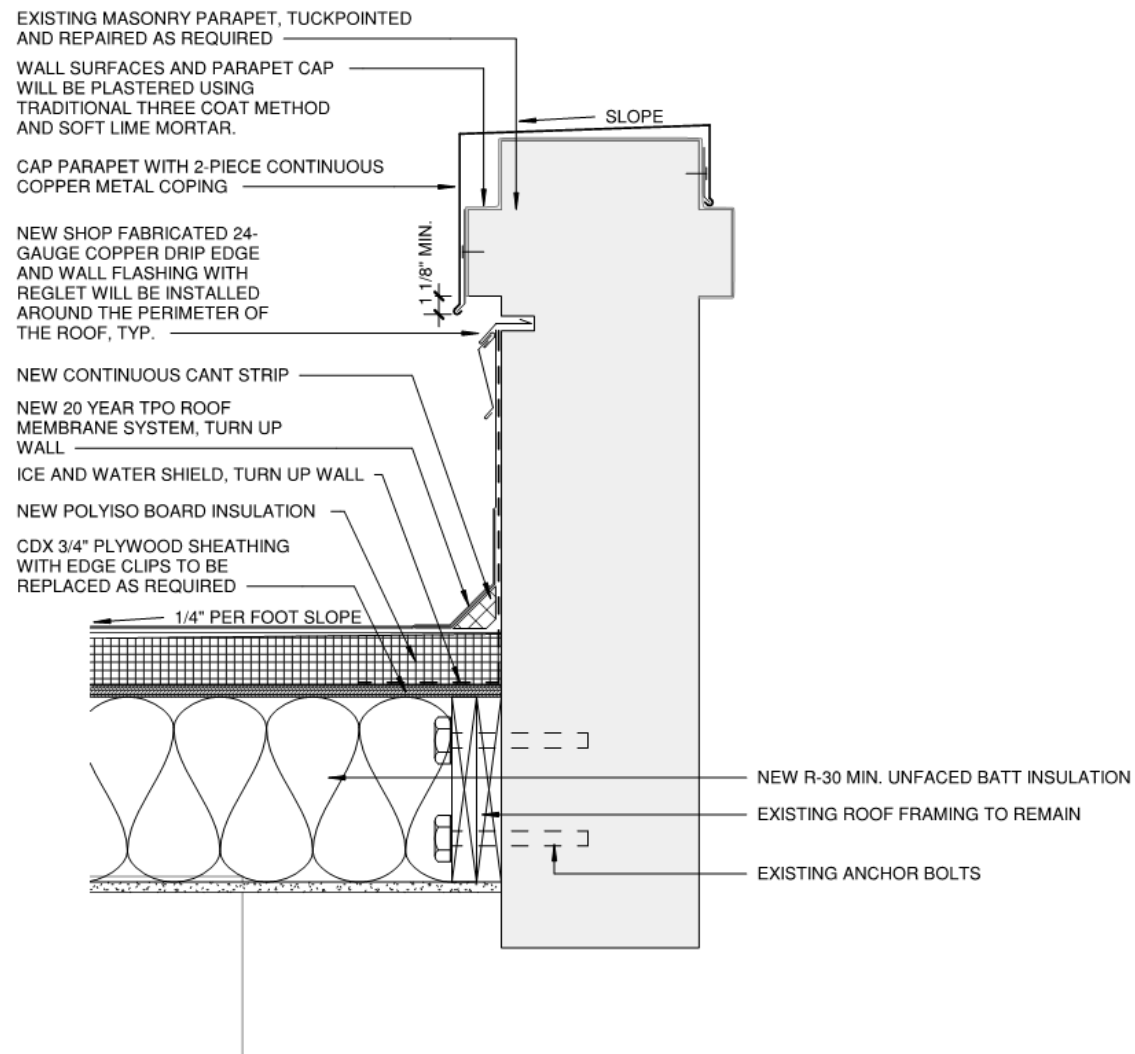


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| Checked by: | JM |
| Interior Demolition Set | 08.13.21 |
| Permit Set | 09.23.21 |
| Revised Permit Set | 11.05.21 |
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| | |

A-5.01

ROOF DETAILS





1
A-5.01

SECTION AT TPO ROOF AT EXISTING PARAPET

1 1/2" = 1'-0"

1130 Chartres

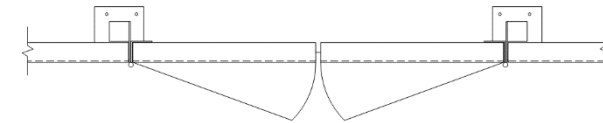
VCC Architectural Committee

December 7, 2021

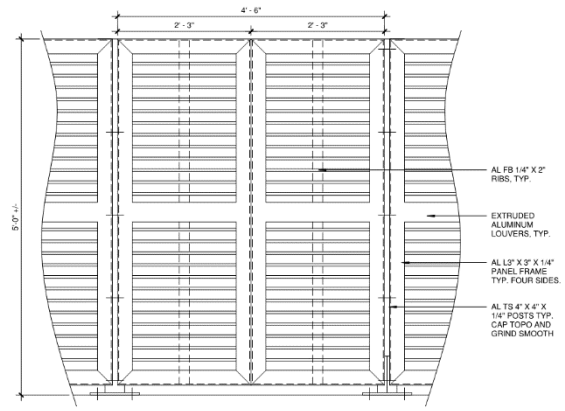




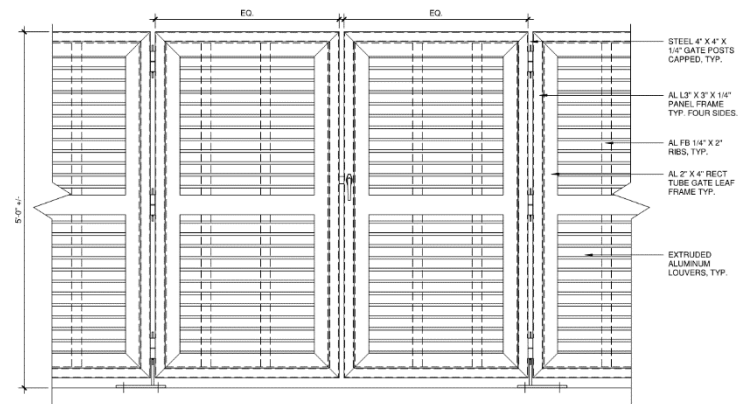
5 PANEL PLAN VIEW
1" = 1'-0"



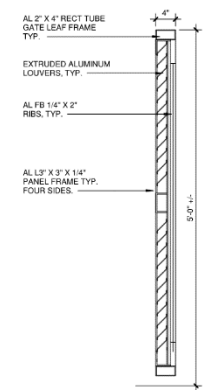
2 GATE PLAN VIEW
1" = 1'-0"



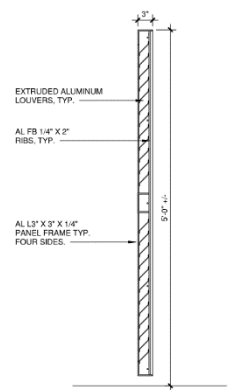
4 PANEL ELEVATION
1" = 1'-0"



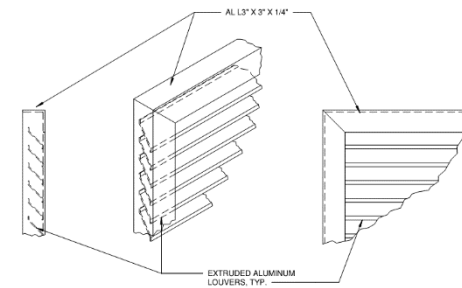
3 GATE ELEVATION VIEW
1" = 1'-0"



7 GATE SECTION
1" = 1'-0"



6 PANEL SECTION
1" = 1'-0"



8 PANEL ISOMETRIC
1 1/2" = 1'-0"

SONIAT HOUSE
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A-5.06

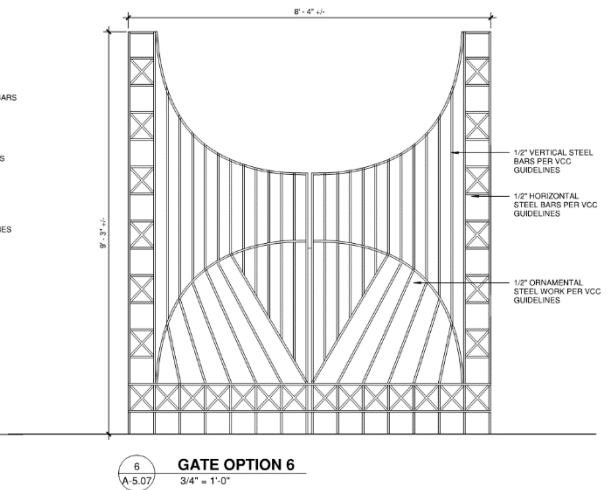
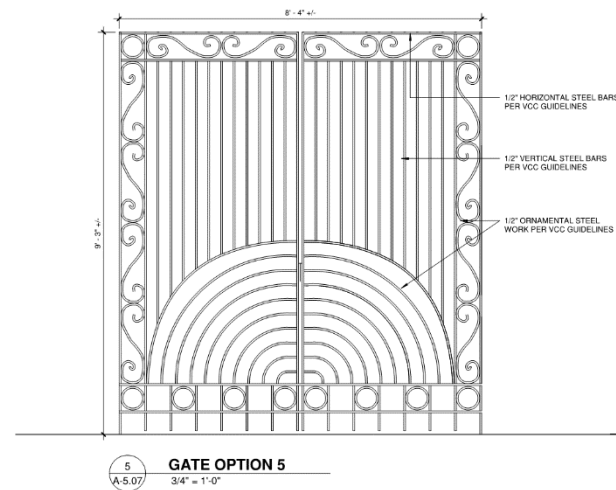
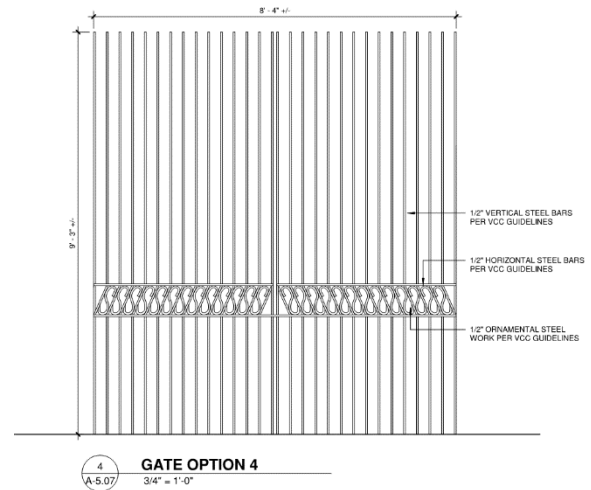
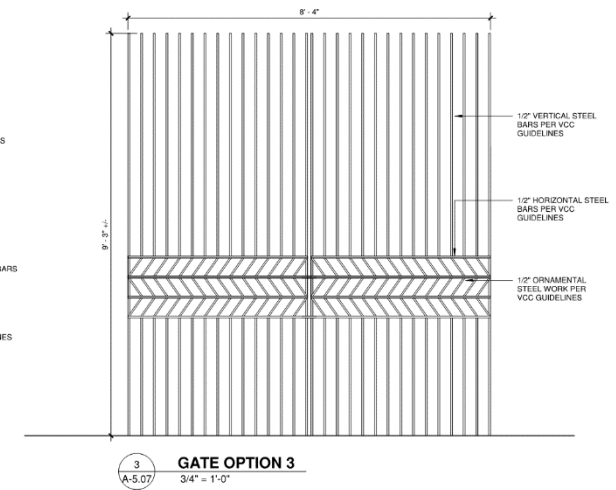
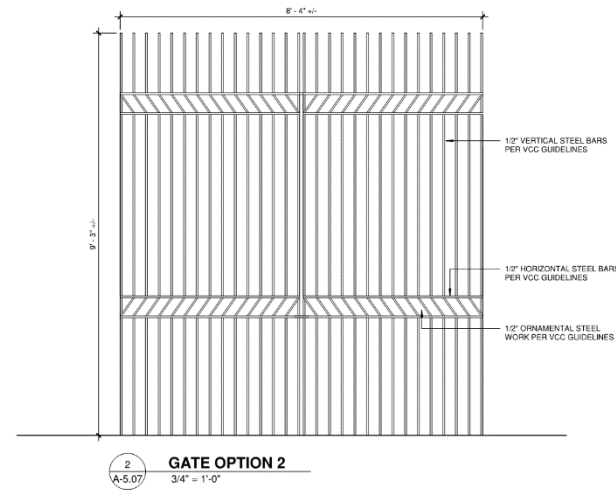
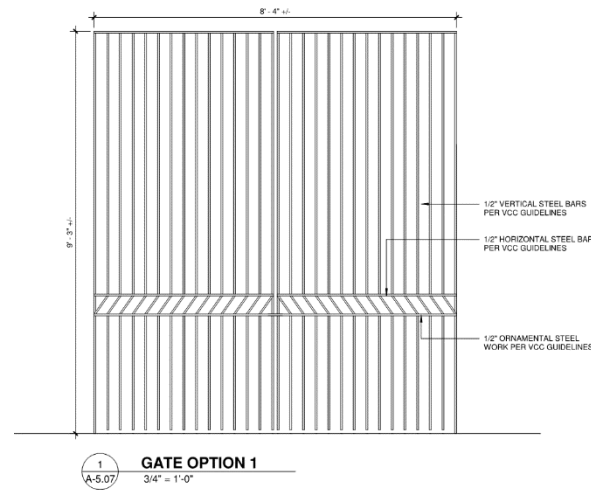
GENERATOR SCREEN
DETAILS

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NOTE:
EXTERIOR STEEL GATE DESIGN BASED ON VCC STANDARD DETAILS.
GATE ELEVATIONS ARE BEING PROPOSED AND APPROPRIATENESS
TO BE DETERMINED BY AHJ.

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A-5.07
GATE ELEVATIONS





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Checked by: MPL

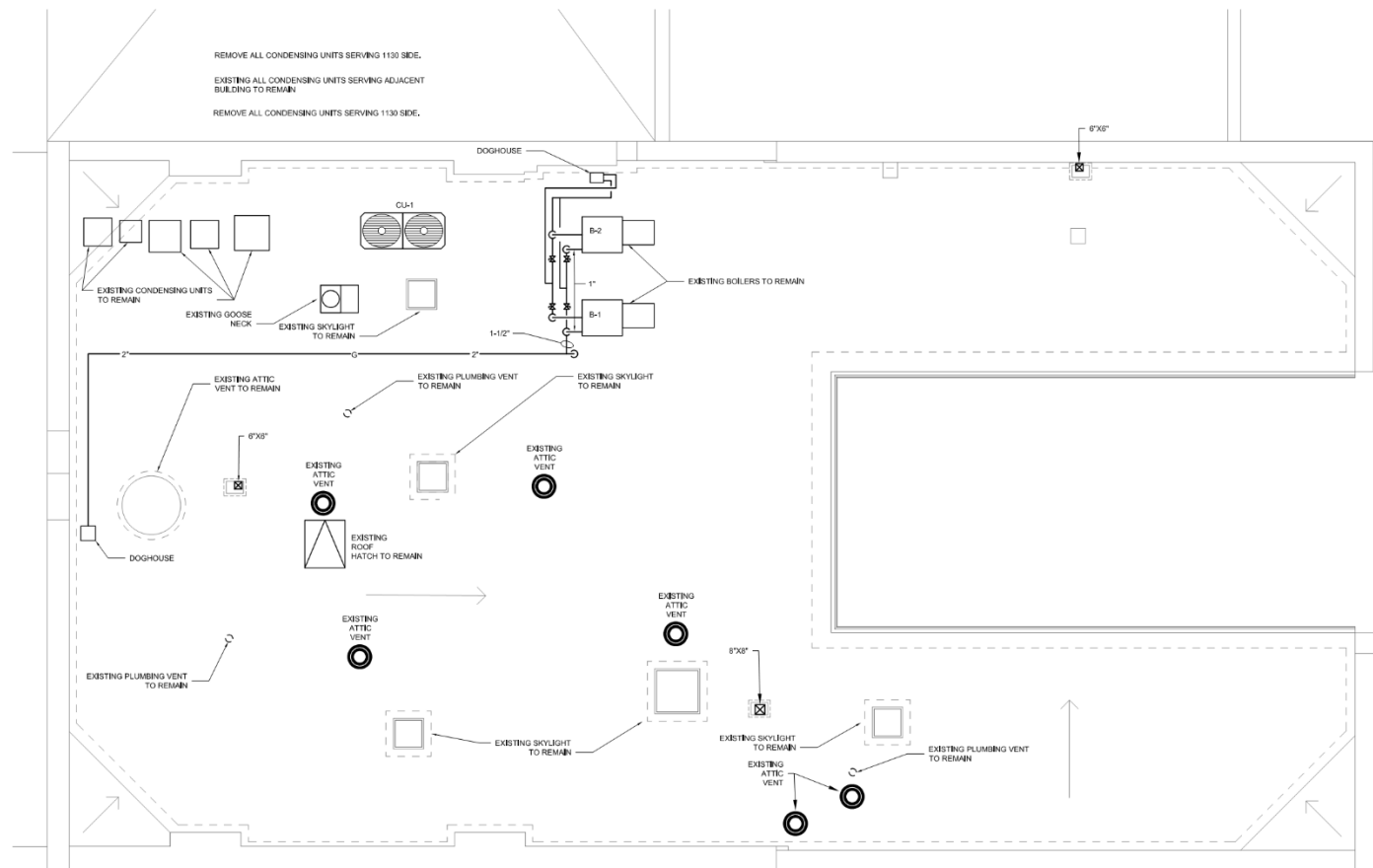
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Permit Set 09.23.21

Revise Permit Set 11.05.21

M-1.07

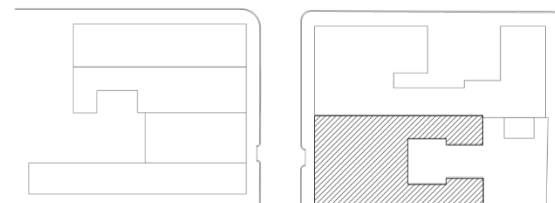
ROOF HVAC PLAN
1130 CHARTRES



1 ROOF HVAC PLAN - 1130 CHARTRES
M-1.07
1/4" = 1'-0"

NUMBERED NOTES SHEET M1.06

- ① ROUTE EXHAUST FAN DISCHARGE DUCT UP THROUGH ROOF. TERMINATE WITH A GOOSENECK. COVER OPEN END OF DUCT WITH 1/2" GALVANIZED WIRE MESH AND INSECT SCREEN.
- ② VRF HEAT PUMP UNIT. SEE SCHEDULE ON SHEET M1.02. INSTALL UNIT LEVEL ON ROOF RAILS WITH NEOPRENE VIBRATION ISOLATION PAD UNDER UNIT. SECURE UNIT TO ROOF TO WITHSTAND 130 MPH WINDS.
- ③ HEAT PUMP UNIT. SEE SCHEDULE ON SHEET M1.02. INSTALL UNIT LEVEL ON ROOF RAILS. SECURE UNIT TO ROOF TO WITHSTAND 130 MPH WINDS.



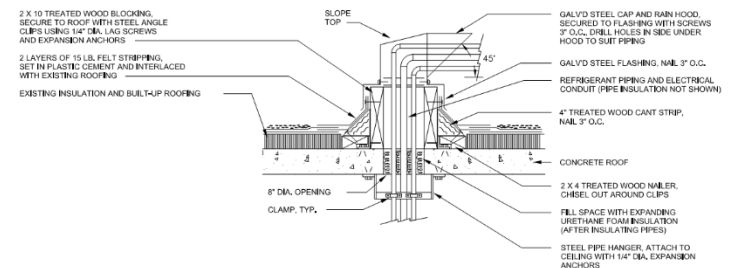
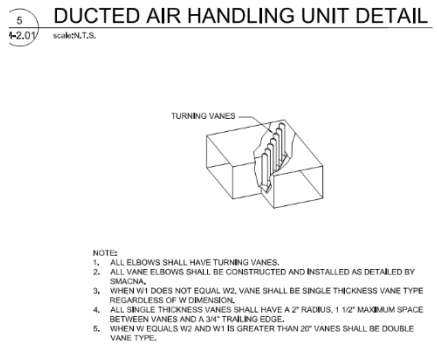
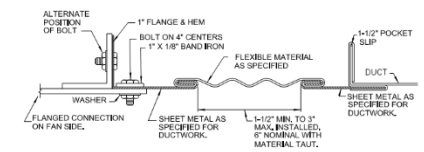
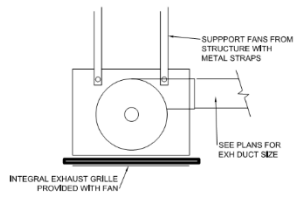
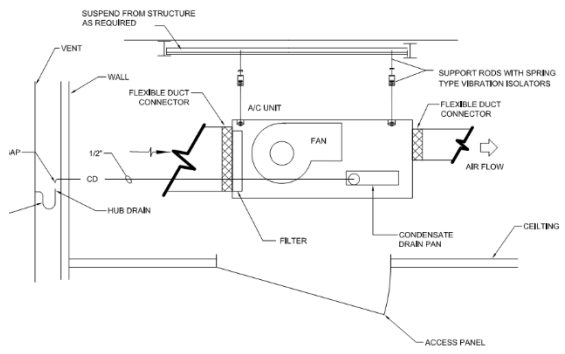
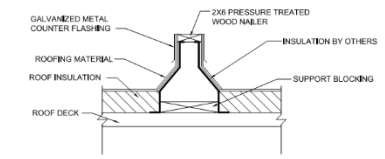
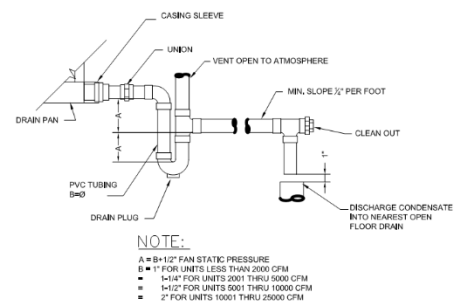
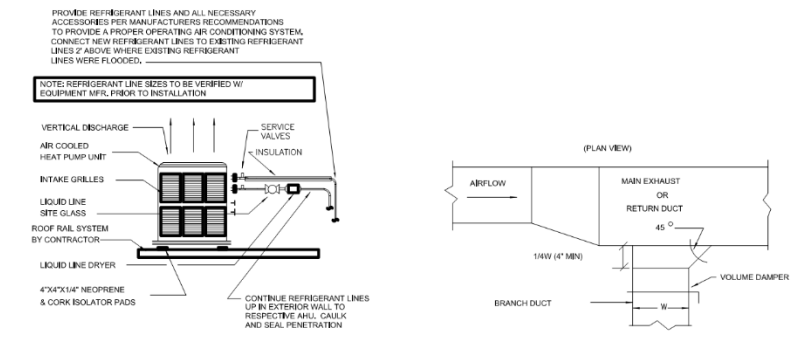
2 KEY PLAN
M-1.07
NTS

1130 Chartres

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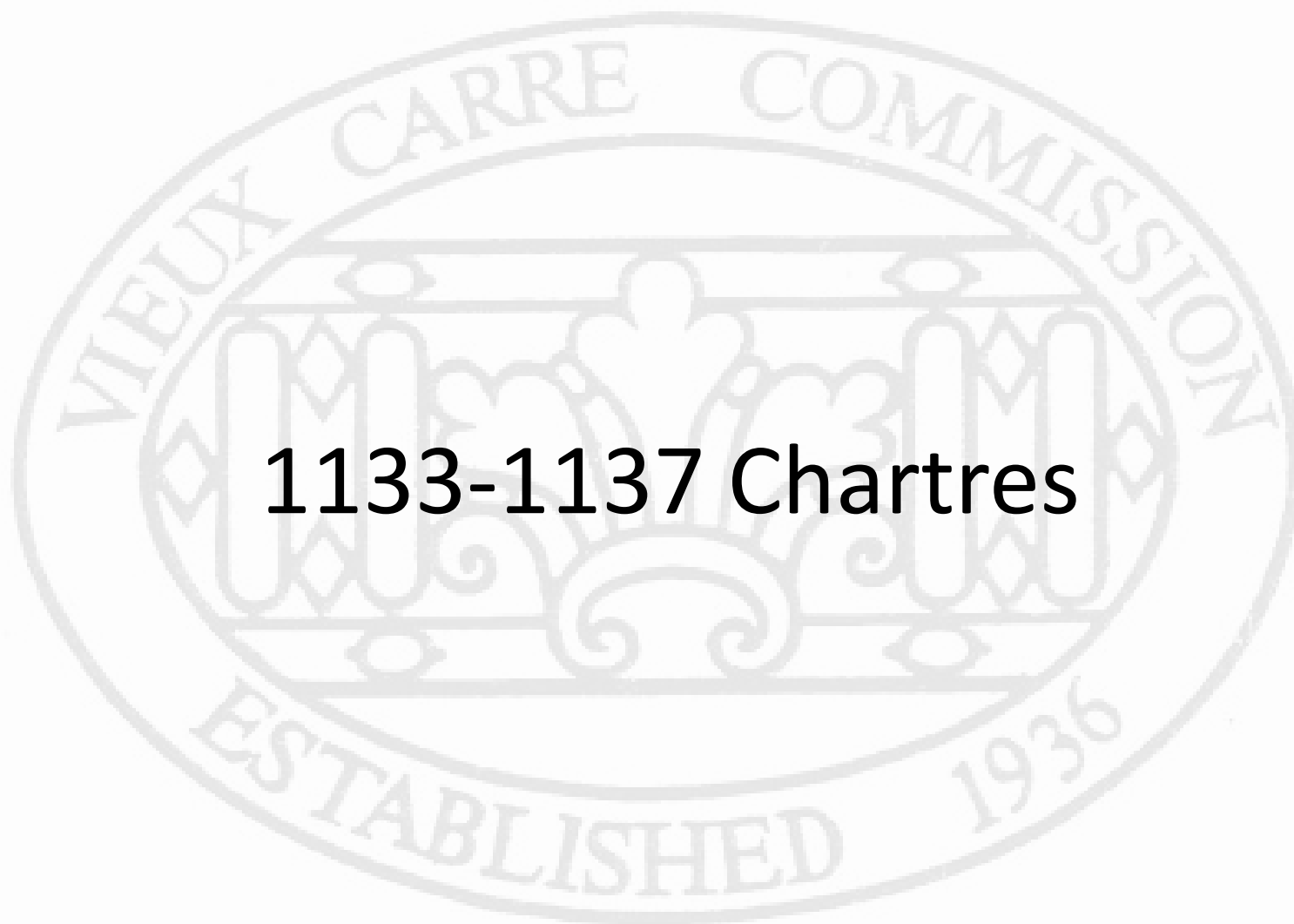


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M-2.01
HVAC DETAILS





1133-1137 Chartres



1135 Chartres

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1135 Chartres – 1865 Plan Book

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December 7, 2021





1135 Chartres

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1135 Chartres - 1963

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1135 Chartres

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1135 Chartres – 1865 Plan Book Detail

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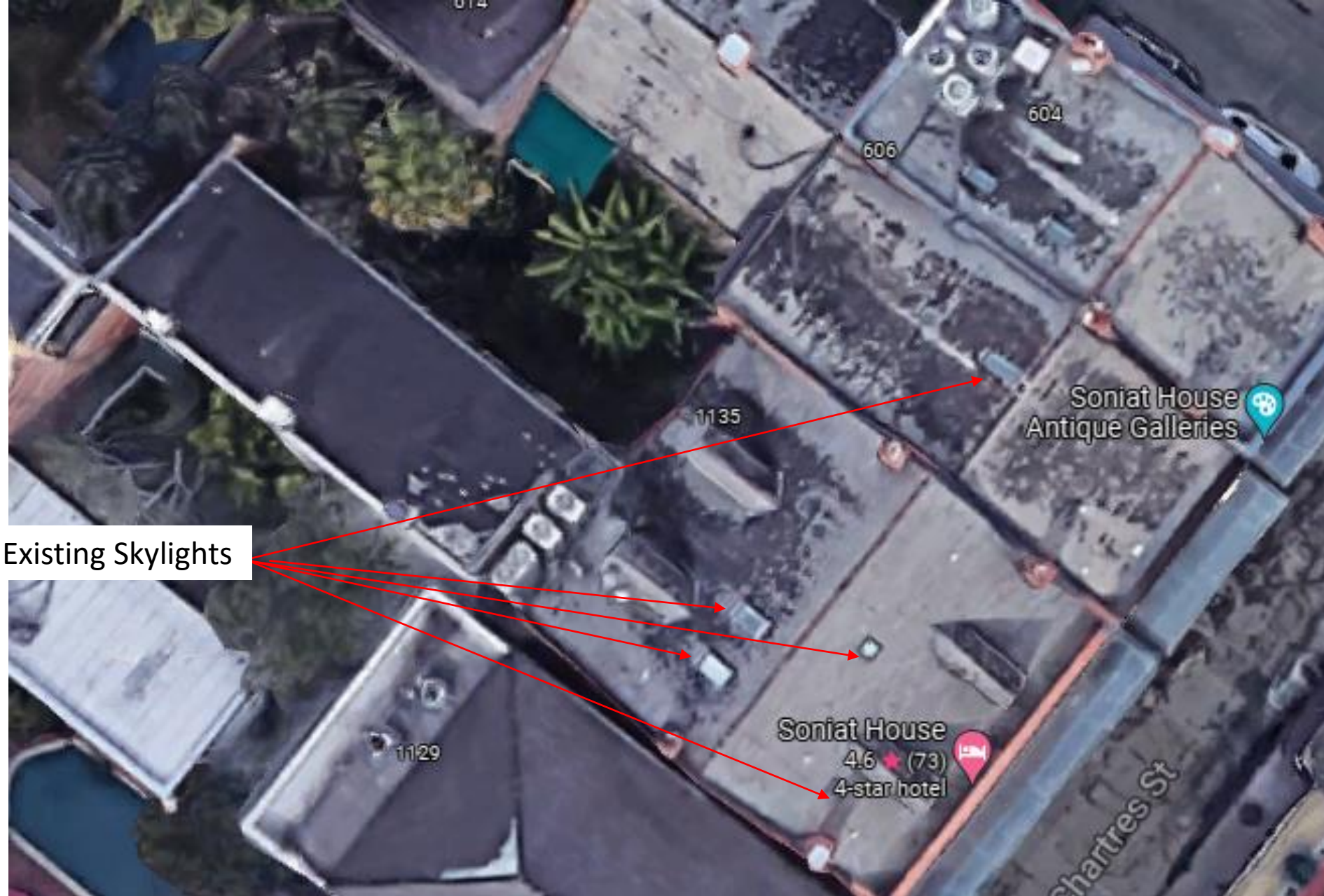
1135 Chartres

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1135 Chartres

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Existing front slope
skylights



1135 Chartres

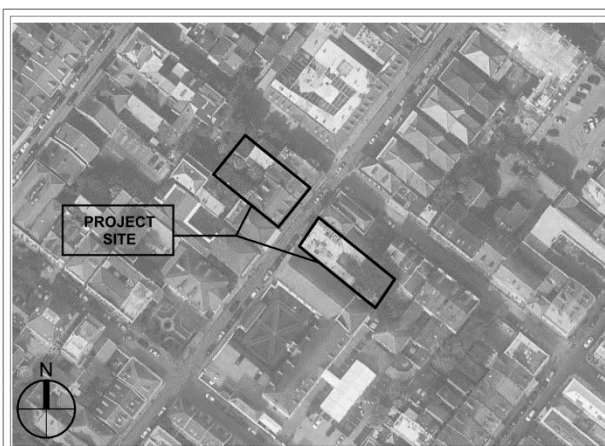
VCC Architectural Committee

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GENERAL NOTES

- The contractor shall confirm and verify in writing (employ surveyor) that all property lines and setbacks are met prior to the start of construction.
- The contractor shall coordinate and obtain all necessary permits and approvals from authorities having jurisdiction. Construction work is not to begin until all required regulatory approvals have been issued.
- All materials and work shall be in accordance with current applicable federal, state and local building codes, amendments, rules, regulations, ordinances, laws, orders, and approvals that are required by public authorities having jurisdiction over the work. In the event of conflict, the most stringent requirements shall apply. No work shall be concealed until approved by local inspectors.
- It is the intent of the contract documents to provide for complete and finished work. Each trade (subcontractor) shall completely review plans for their respective work and related work by other trades (subcontractors). The contractor shall coordinate and provide all miscellaneous components and parts which are not shown on the contract documents but are required to complete the work shown. Incidental work and components which are required as an essential, functional or operational item or system, are required to complete any assembly and to complete full scope of work.
- The contractor shall subcontract with suppliers, fabricators, and installation companies which can demonstrate that they possess the knowledge, experience and proven capabilities to fully perform all aspects of work without omission.
- All products shall be installed in compliance with industry standards and as required by the product manufacturer's latest published specifications and installation requirements.
- The contractor shall protect all materials, construction, utilities and facilities from damage, including workers, theft and weather. Damaged components shall be replaced at no cost to Owner.
- All pipe chase walls shall be constructed to completely conceal and enclose pipes with full thickness of gypsum board on each side of the wall.
- The contractor shall install and provide all safety barriers during construction to protect the public from injury and access to the building and site.
- Fire rated assemblies shall be constructed in compliance with published UL Certifications Directory Listings and Classifications and shall be in accordance with continuity diagrams. Joints occurring in fire rated assemblies (walls and ceilings) shall be staggered both horizontally and vertically.
- Substitutions must be pre-approved in writing by architect prior to the start of construction. Any work or material requirements of such substitution shall be coordinated (with all trades) and provided by the contractor. Contractor must verify in writing all substitutions will not impact project cost or project schedule prior to request of such substitution. Substitutions shall be approved by regulatory agencies in writing prior to the start of construction.
- The contractor and subcontractors shall review and coordinate all architectural, electrical and mechanical work to confirm that all components will achieve their intended use and will maintain ceiling heights shown. Conflicts shall be brought to the attention of the architect prior to the start of construction.
- Asbestos abatement, lead paint removal, and other hazardous material removal is not in the contract. Should the contractor encounter the presence, or possible presence, of any potentially hazardous materials, the contractor shall notify the owner for instructions prior to continuing work.
- Safety measures: at all times, the contractor shall be solely and completely responsible for the conditions of the job site, including the safety of persons and property, and for all necessary independent reviews of these conditions. The architect's, engineer's, or owner's job site review is not intended to review the adequacy of the contractor's safety measures.
- The contractor shall not submit final price or execute contract with Owner until all required changes requested by the regulatory agencies have been included in the contract price.
- Buildings shall be maintained in weatherproof and secure condition as early as possible throughout work.
- Erect and install all work level, plumb, square, true, straight and in proper alignment.
- The contractor shall be responsible for field verifying actual locations of all existing utilities and structures on the project site. Locations of existing utilities and structures indicated on the drawings are approximate only, and those indicated are not necessarily all that may exist on the project site. The contractor shall coordinate the location (horizontal and vertical) of the existing utilities (power, telephone, gas, water, sewer, etc) with the appropriate utility provider before construction begins and at no additional cost to the owner.
- All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other related appurtenances shall be adjusted to finish grade by contractor at no additional cost to the owner.
- When project is complete, clean and polish glass, hardware, and other such items with factory finishes. Remove all dust with treated dust clothes or vacuum cleaners. Waste and refuse caused by the work shall be removed from premises and disposed of by contractor. Clean site at end of project. Remove dust, debris, oils, stains, fingerprints, and labels from exposed surfaces, including glazing.
- Furniture is for reference only. Furniture is not in project scope. Furniture, fixtures and equipment (FFE), if required, will be submitted in a separate design package.
- Do not scale drawings for field layout. Contact architect if dimensions are needed and cannot be found in drawing set.
- Floor plan dimensions taken from face of stud or centerline of stud / column unless otherwise noted. "Clear" refers to dimension between faces of finish surfaces. "EQ" or "Equal" indicates dimension to match adjacent. Lettered dimensions (A,B,C,D,ETC) indicate dimension to match opposite or remote (matching letter) dimension. "x-C" indicates approximate dimension based on field condition or flexible dimension that can be adjusted.
- All dimensions on reflected ceiling / lighting plans are clear dimensions.
- These drawings are accompanied by the Project Manual.



SITE / VICINITY PLAN

OWNER

Soniat Holdings, LLC.

1133 Chartres St.
New Orleans, LA 70116

INTERIOR DESIGNER

Ken Fulk

310 Seventh St.
San Francisco, CA 94103
415.285.1164

GENERAL CONTRACTOR

Entablature

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New Orleans, LA 70118
504.322.3822

ARCHITECT

**Albert Architecture and
Urban Design, apic**

Richard Albert
3221 Tulane Avenue
New Orleans, LA 70119
504.827.0056

MECHANICAL

Albert Engineering

Michael Leitzinger
3221 Tulane Avenue
New Orleans, LA 70119
504.827.0056

SONIAT HOUSE PHASE 1

SONIAT HOLDINGS, LLC.
1130, 1133-1137 CHARTRES ST.
NEW ORLEANS, LA 70116

PERMIT SET

11.05.21

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| ID-1.03 | INTERIOR FINISH KEY PLAN | | |
| ID-1.04 | INTERIOR FINISH KEY PLAN | | |
| ID-1.05 | INTERIOR FINISH KEY PLAN | | |
| ID-1.06 | INTERIOR FINISH KEY PLAN | | |

SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

Drawn by: AP
Checked by: JM

Interior Demolition Set 08.13.21

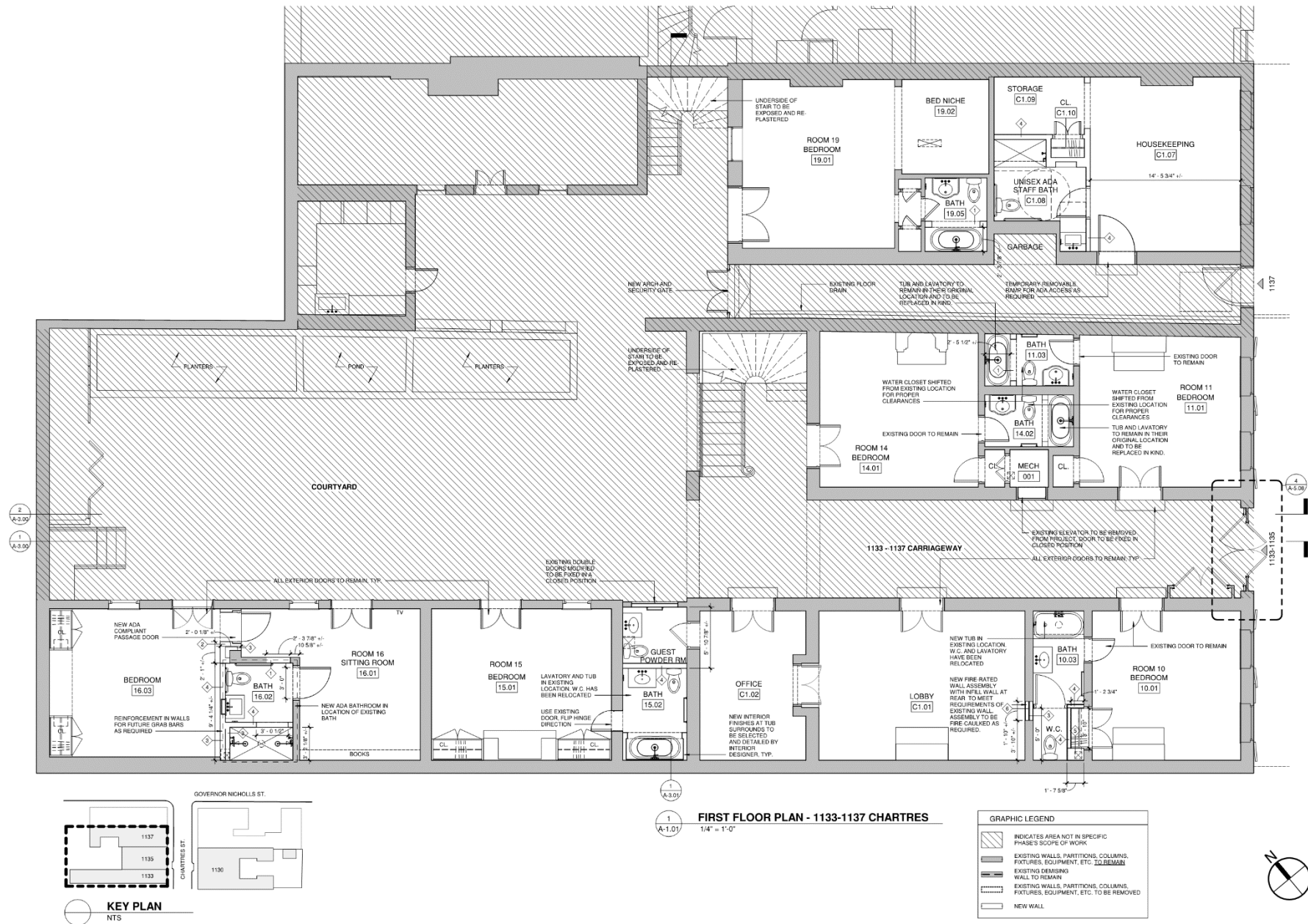
Permit Set 09.23.21

Revised Permit Set 11.05.21

G-0.00

COVER SHEET





SONIAT HOUSE
1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116
Project No. AA2109



11.05.21
Drawn by: AP
Checked by: JM

Interior Demolition Set: 08.18.21
Permit Set: 09.23.21
Revised Permit Set: 11.05.21

A-1.01

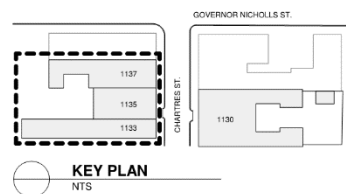
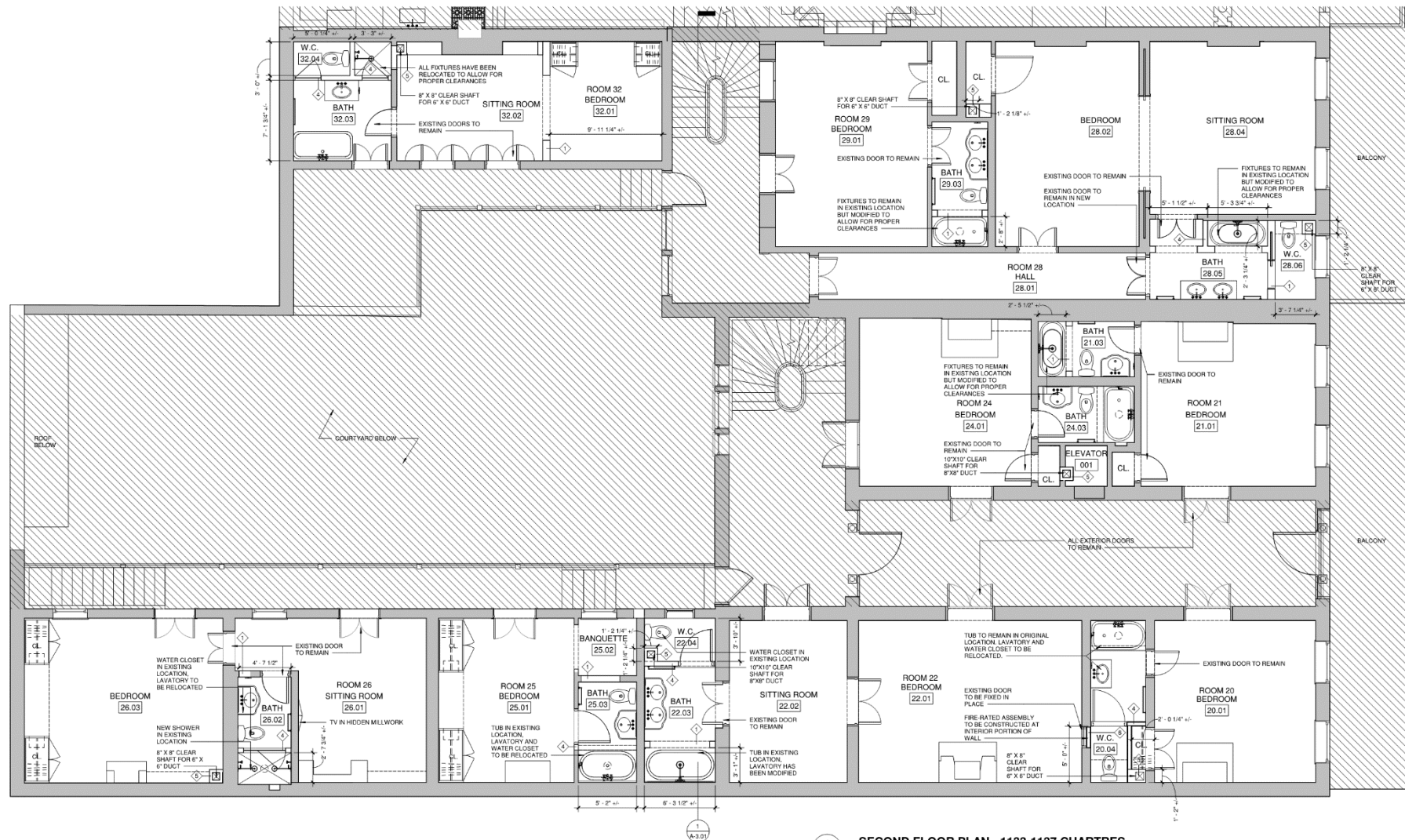
FIRST FLOOR PLAN -
1133-1137 CHARTRES
STREET



1135 Chartres

VCC Architectural Committee

December 7, 2021



SECOND FLOOR PLAN - 1133-1137 CHARTRES
1/4" = 1'-0"

| GRAPHIC LEGEND | |
|----------------|--|
| | INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK |
| | EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN |
| | EXISTING DEMISING WALL TO REMAIN |
| | EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED |
| | NEW WALL |



SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

Drawn by: AP
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

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A-1.03

SECOND FLOOR PLAN -
1133 - 1137 CHARTRES

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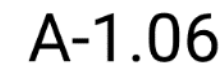
Project No. AA2109



THIRD FLOOR PLAN -
1133 - 1137 CHARTRES








































December 7, 2021



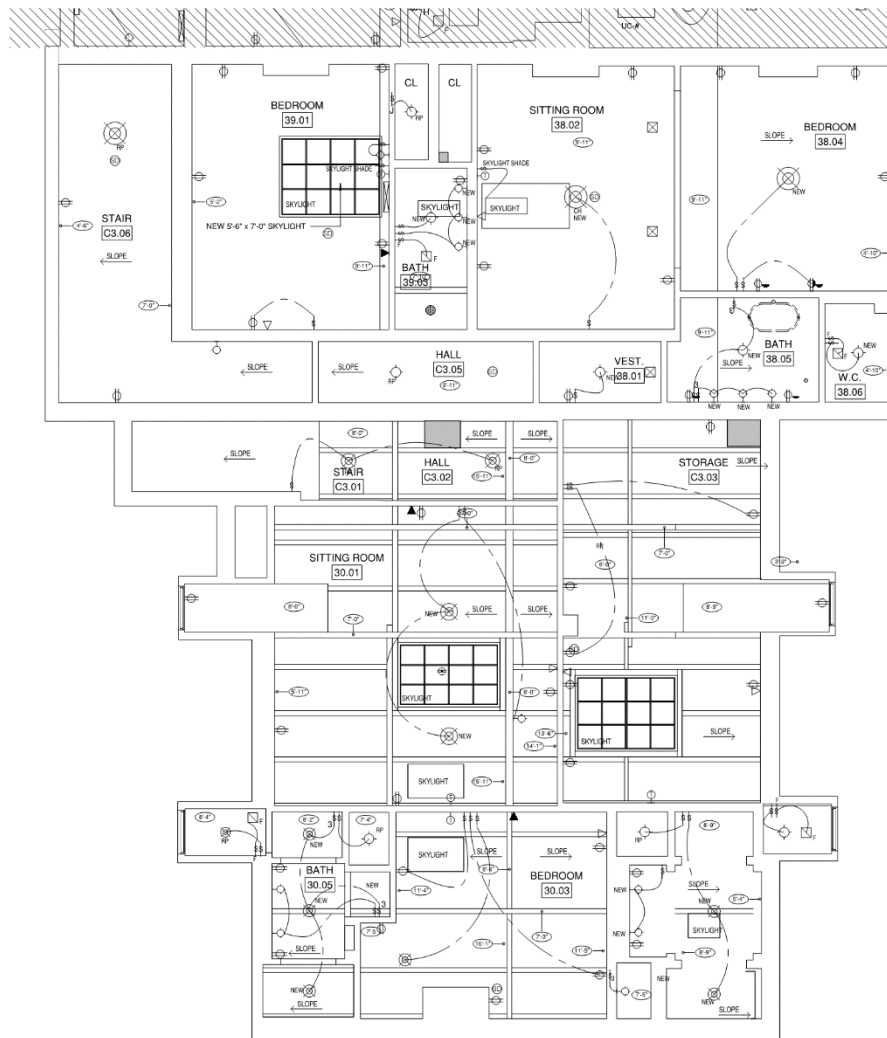
1135 Chartres
VCC Architectural Committee

December 7, 2021

| RCP LEGEND | | EXISTING FIXTURE LOCATIONS | | NEW FIXTURE LOCATIONS | | HVAC & ACCESS PANELS | | EXIST. LOC. NEW LOC. | | POWER DATA SWITCHING | | RCP NOTES: | |
|---|--|---|---|---|---|---|--|---|---|---|---|---|--|
|  | FINISHED CEILING HEIGHT |  | SURFACE WALL FIXTURE (SOCKET: 2 - E12 CANDELABRA, WATTAGE: 2 - 40 B11) |  | SURFACE CEILING FIXTURE (RELOCATED) (SOCKET: 2 - E26 KEYLESS, WATTAGE: 2 - 40 B11) |  | EXISTING EXTERIOR LANTERN TO BE CONVERTED TO GAS |  | EXISTING HVAC SUPPLY GRILLE (H-10) (H-10) |  | EXISTING WALL, EXHAUST FAN (H-10) (H-10) |  | 1. ALL EXISTING MECHANICAL GRILLES TO BE REMOVED & REPLACED. |
|  | AREA NOT IN SCOPE OF WORK |  | SURFACE WALL FIXTURE (SOCKET: 2 - 40 B11) |  | CHANDIEUR CEILING FIXTURE (SOCKET: 6 - E12 CANDELABRA, WATTAGE: 6 - 60 C11) |  | EXISTING EXIT SIGN |  | EXISTING HVAC SIDEWALL SUPPLY GRILLE (H-10) (H-10) |  | NEW BATHROOM EXHAUST FAN GRILLE (H-10) (H-10) |  | 2. ALL EXISTING EXTERIOR DECORATIVE LIGHTING TO BE CONVERTED TO GAS. |
| CEILING FIXTURES & DEVICES | | | | | | | | | | | | | |
|  | NEW RAIN SHOWER HEAD |  | SURFACE WALL FIXTURE (SOCKET: 3 - E12 CANDELABRA, WATTAGE: 3 - 40 B11) |  | SURFACE CEILING FIXTURE (FLUSHMOUNT) (SOCKET: 2 - E26 KEYLESS, WATTAGE: 2 - 40 B11) |  | EXISTING PLASTER CEILING MEDALLION |  | NEW HVAC GRILLE |  | NEW HVAC SIDEWALL RETURN GRILLE (H-10) (H-10) |  | 3. ALL EXISTING RECESSED CAN LIGHTS TO BE REPLACED WITH DECORATIVE FIXTURES. |
|  | EXISTING SPRINKLER |  | PORTABLE (PLUG-IN) SCONCE |  | CHANDIEUR CEILING FIXTURE (SOCKET: X - E12 CANDELABRA, WATTAGE: X - 60 C11) |  | |  | NEW HVAC CEILING RETURN/SUPPLY GRILLE (H-10) (H-10) |  | NEW HVAC SIDEWALL SUPPLY GRILLE (H-10) (H-10) |  | 4. ALL ACCESS PANELS MUST BE FLUSH CONGEALED MUD-IN WITH PUSH LATCH (NO EXPOSED HARDWARE). |
|  | RELOCATED SPRINKLER |  | SURFACE CEILING FIXTURE (FLUSHMOUNT) (SOCKET: 2 - E26 KEYLESS, WATTAGE: 2 - 40 B11) |  | PENDANT CEILING FIXTURE AT EXISTING RECESSED LIGHT (SOCKET: 2 - E26 KEYLESS, WATTAGE: 2 - 40 B11) |  | EXISTING LANTERN (SOCKET: 4 - E12 CANDELABRA, WATTAGE: 4 - 60 C11) |  | ACCESS PANEL (H-10) (H-10) |  | |  | 5. ALL NEW HVAC GRILLES TO BE APPROVED BY KFI |
|  | COMBINATION SMOKE & CARBON MONOXIDE DETECTOR | | | | | | | | | | | | |
|  | CEILING MOUNT SECURITY CAMERA | | | | | | | | | | | | |

GENERAL RCP NOTES

- EXISTING CEILING AND LIGHTING TO REMAIN, MODIFY AS REQUIRED.
- OUTLETS TO BE INSTALLED PER CODE. FINISH OF ALL OUTLETS, EXISTING AND NEW, TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CARBON MONOXIDE DETECTORS AND SMOKE DETECTORS TO BE INSTALLED AS SHOWN AND AS REQUIRED TO MEET CURRENT BUILDING CODE REQUIREMENTS.
- COORDINATE ALL RECESSED LIGHT HOUSING LOCATIONS WITH ARCHITECT IN FIELD PRIOR TO INSTALLATION TO ACCOMMODATE CENTERLINES WITH FRAMING.
- ELECTRICIAN SHALL VERIFY SWITCH LOCATIONS WITH ARCHITECT/OWNER PRIOR TO START OF INSTALLATION.
- PROVIDE SUBMITTALS OF ALL LIGHT FIXTURES, FANS, AND SWITCHES FOR ARCHITECT'S REVIEW PRIOR TO THE START OF CONSTRUCTION.
- ALL WALL MOUNTED VANITY, PICTURE LIGHTS, SCONCES, AND DECORATIVE FIXTURES TO BE LOCATED IN THE FIELD WITH ARCHITECT.
- PROVIDE BLOCKING AT ALL DECORATIVE LIGHT FIXTURES, COORDINATE WITH THE ARCHITECT.
- V.I.F. ALL CENTERLINES WITH ARCHITECT IN FIELD.
- CONTRACTOR TO PROVIDE DESIGN / BUILD PRICE FOR COMPLETE ELECTRICAL SYSTEM ACCOMMODATING THE ILLUSTRATED LAYOUT. PROVIDE SHOP DRAWINGS FOR OWNERS REVIEW PRIOR TO THE START OF CONSTRUCTION, TYP.



1 THIRD FLOOR - RCP
A-1.13 1/4" = 1'-0"

SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116
Project No. AA2109



11.05.21

Drawn by: AP
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Revised Permit Set 11.05.21

A-1.13

THIRD FLOOR PLAN -
RCP - 1133-1137

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1
A-2.00

1133-1137 CHARTRES STREET ELEVATION

3/16" = 1'-0"

A-2.00

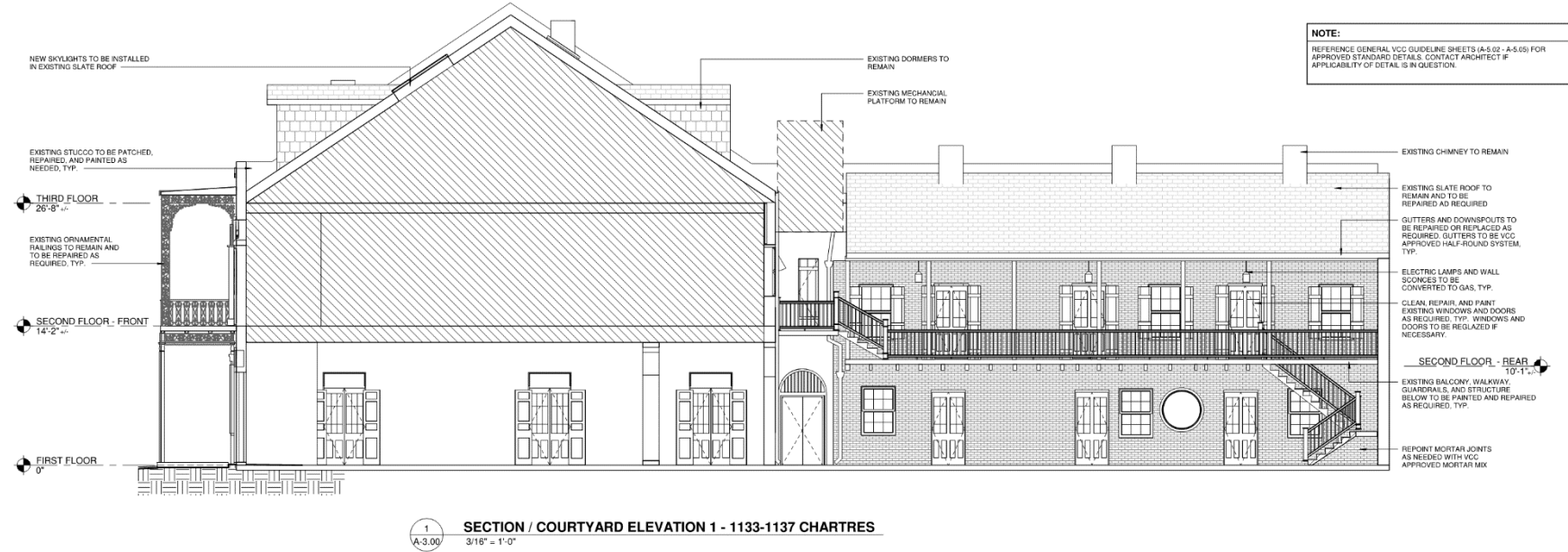
EXTERIOR ELEVATIONS

1135 Chartres

VCC Architectural Committee

December 7, 2021





| | |
|-------------------------|----------|
| 11.05.21 | |
| Drawn by: | AP |
| Checked by: | JM |
| Interior Demolition Set | 08.13.21 |
| Permit Set | 09.23.21 |
| Revised Permit Set | 11.05.21 |
| | |
| | |
| | |
| | |
| | |
| | |



NOTE:
REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.05) FOR APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF APPLICABILITY OF DETAIL IS IN QUESTION.

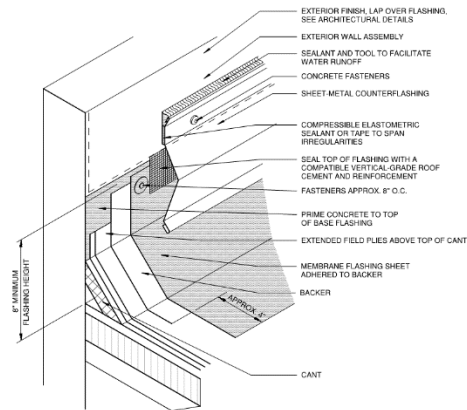
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A-3.01
SECTION / REAR ELEVATION 3 - 1133-1137 CHARTRES
3/16" = 1'-0"

1135 Chartres

VCC Architectural Committee

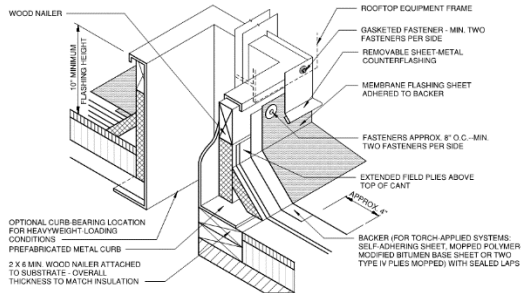
December 7, 2021





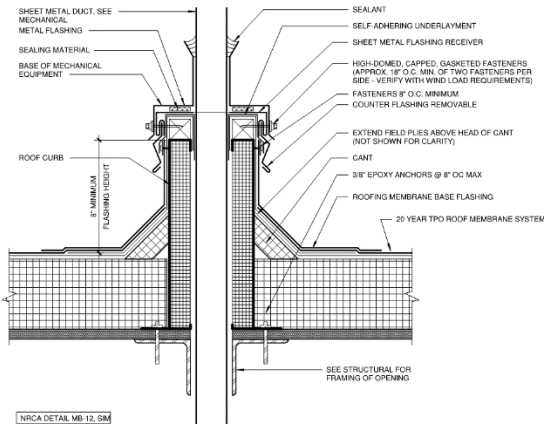
NRCA DETAIL MB-04

1 PICTORIAL VIEW AT BASE FLASHING
1" = 1'-0"



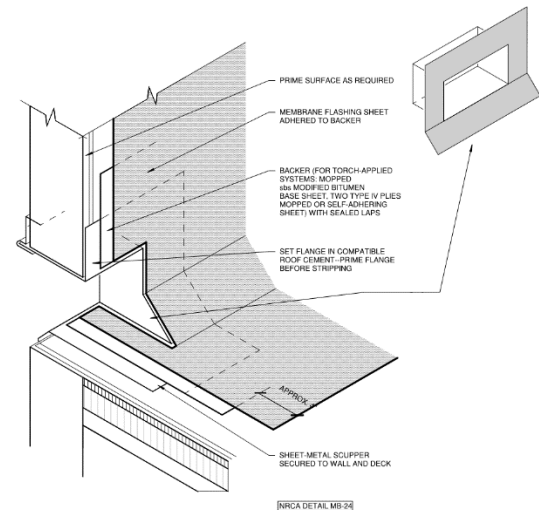
NRCA DETAIL MB-12

2 PICTORIAL VIEW OF BASE FLASHING AT METAL CURB
1" = 1'-0"



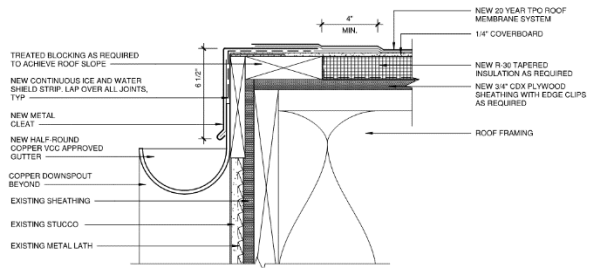
NRCA DETAIL MB-12, SM

3 SECTION THRU ROOF AT CURB FOR DUCT PENETRATIONS
3" = 1'-0"



NRCA DETAIL MB-24

4 PICTORIAL VIEW AT SCUPPER
5.00' 1" = 1'-0"



6 TPO ROOF EDGE DETAIL
3" = 1'-0"

SONIAT HOUSE

1130, 1133-1137 CHARTRES STRE
NEW ORLEANS, LA 70116

Project No. AA2109



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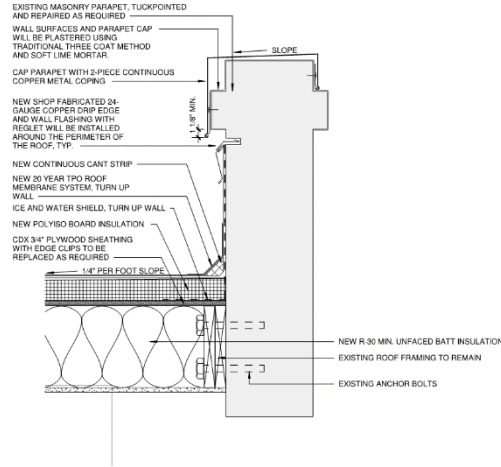
Revised Permit Set 11.05.21

A-5.00

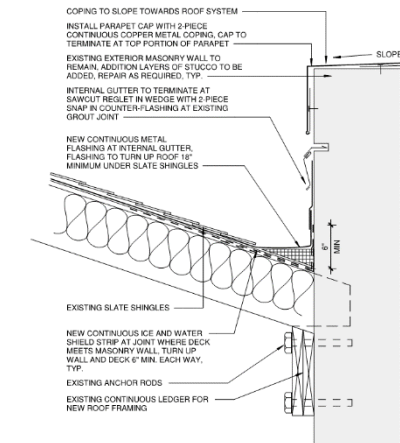
TPO ROOF DETAILS

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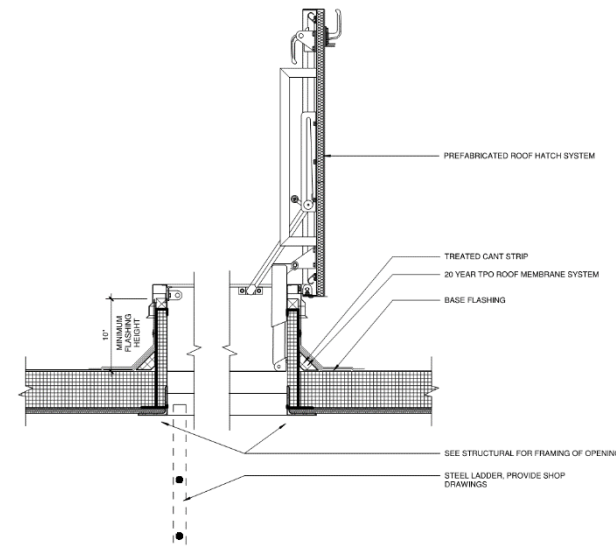




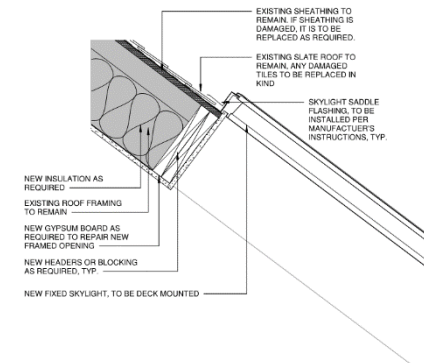
1 SECTION AT TPO ROOF AT EXISTING PARAPET
A-5.01 1 1/2" = 1'-0"



3 SECTION THRU INTERNAL GUTTER AT SLATE ROOF
A-5.01 1 1/2" = 1'-0"



2 SECTION AT ROOF HATCH
A-5.01 1 1/2" = 1'-0"



4 SECTION THRU NEW SKYLIGHT
A-5.01 1 1/2" = 1'-0"

SONIAT HOUSE
1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

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A-5.01

ROOF DETAILS

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NOTE:
EXTERIOR STEEL GATE DESIGN BASED ON VCC STANDARD DETAILS.
GATE ELEVATIONS ARE BEING PROPOSED AND APPROPRIATENESS
TO BE DETERMINED BY AHJ.

Albert Architecture & Urban Design apllc

3221 Tulane Avenue
New Orleans, LA 70119
504.827.5055

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SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109



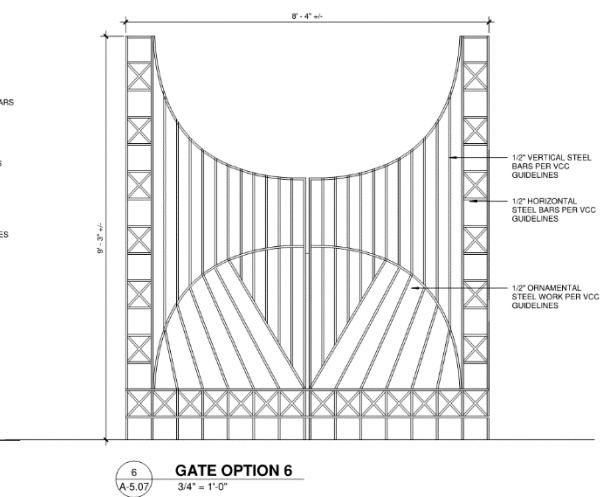
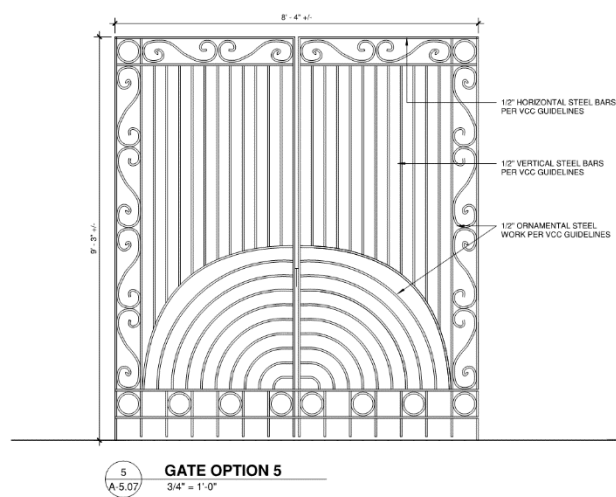
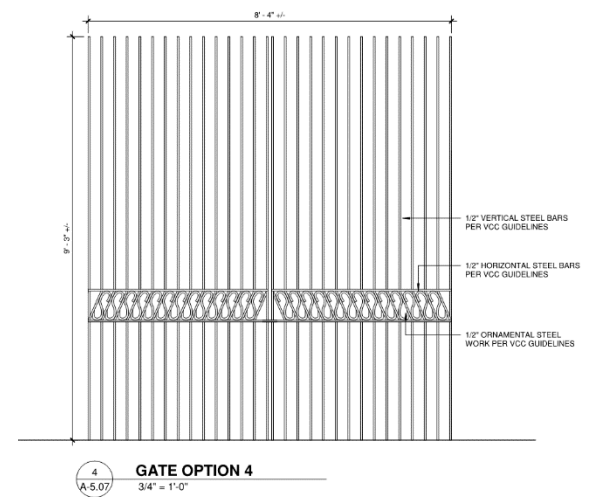
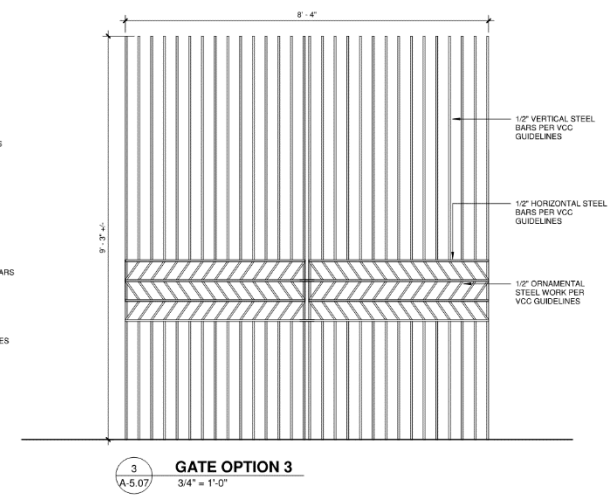
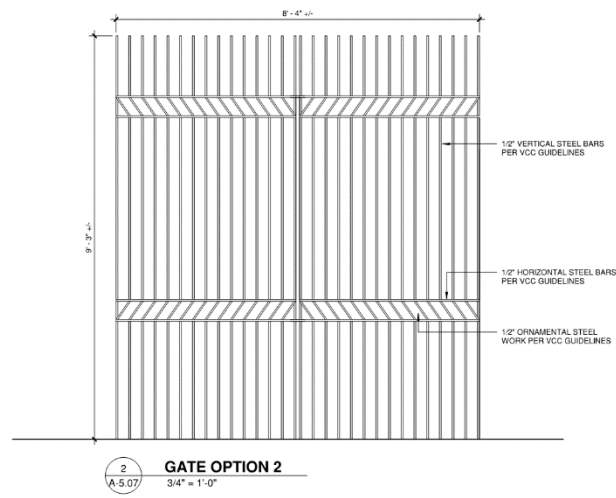
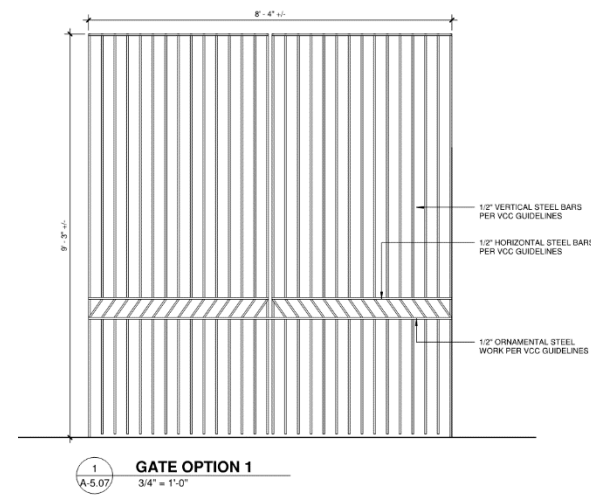
11.05.21

Drawn by: AP
Checked by: JM

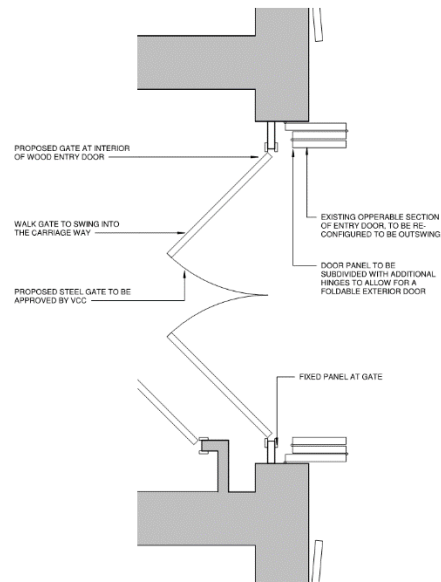
Interior Demolition Set 08.13.21
Permit Set 09.23.21
Revised Permit Set 11.05.21

A-5.07

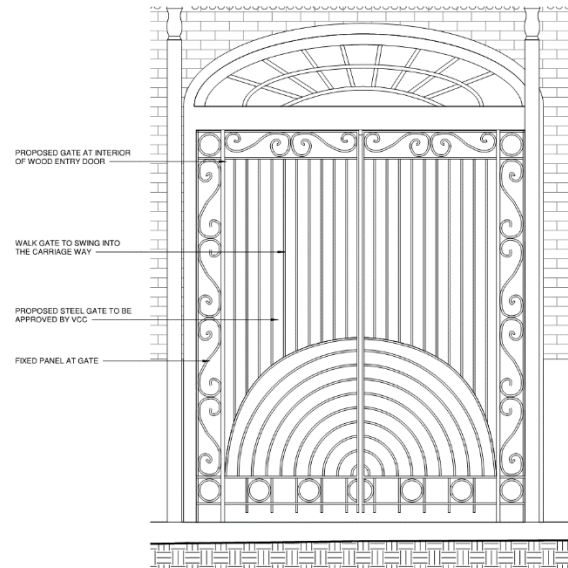
GATE ELEVATIONS



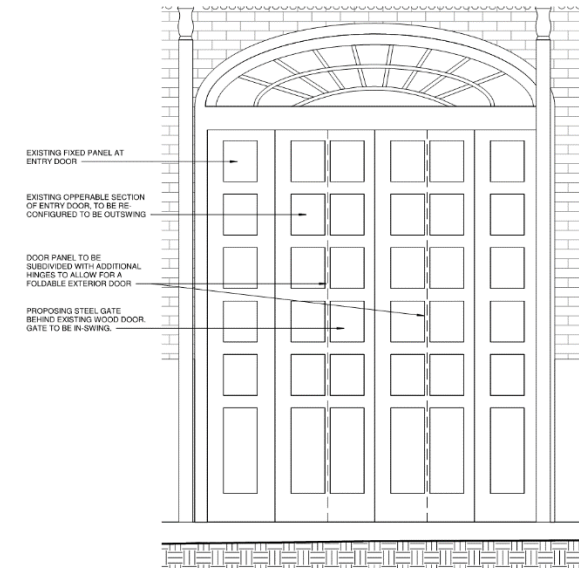
NOTE:
EXTERIOR STEEL GATE DESIGN BASED ON VCC STANDARD DETAILS. GATE ELEVATIONS ARE BEING PROPOSED AND APPROPRIATENESS TO BE DETERMINED BY AHA. PROPOSED CONFIGURATION FOR BOTH 1133 & 1135 CHARTRES. NEW PROPOSED WOODEN DOORS TO MATCH EXISTING AND NEW WROUGHT IRON GATE BEHIND.



4
A-5.08
FIRST FLOOR - 1135 CHARTRES ENTRY-PLAN
3/4" = 1'-0"



2
A-5.08
1133-1137 CHARTRES STREET -PROPOSED GATE
3/4" = 1'-0"



1
A-5.08
1133-1137 CHARTRES STREET -ENTRY DOOR
3/4" = 1'-0"

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SONIAT HOUSE
1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116
Project No. AA2109



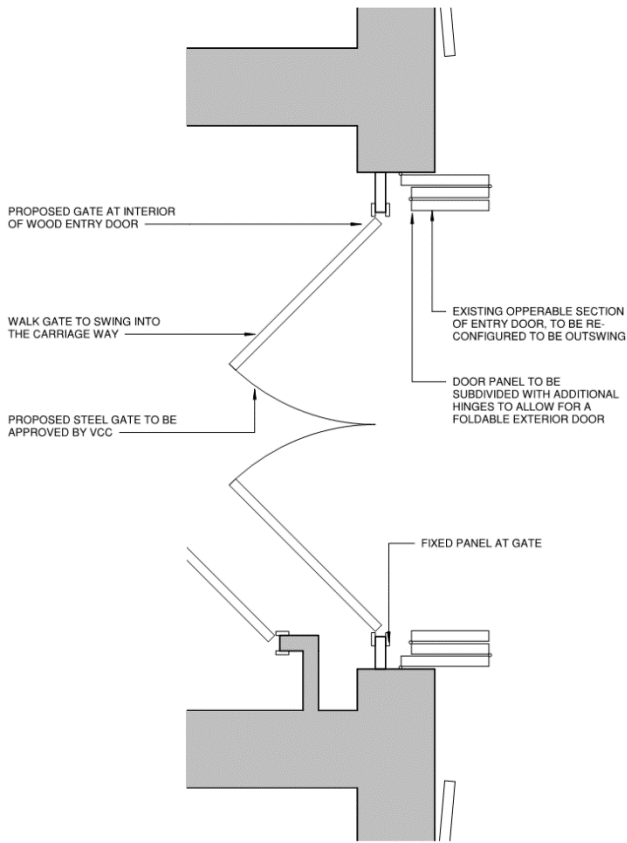
11.05.21
Drawn by: AP
Checked by: JM

Interior Demolition Set 08.13.21
Permit Set 09.23.21
Revised Permit Set 11.05.21

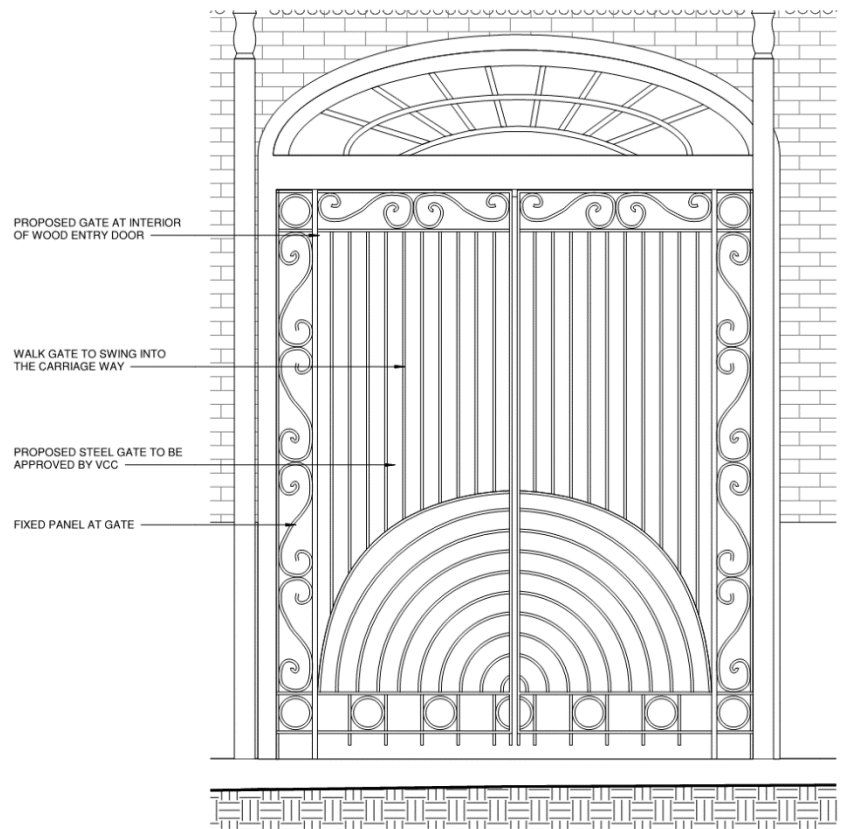
A-5.08

EXTERIOR GATE/DOOR
DETAILS

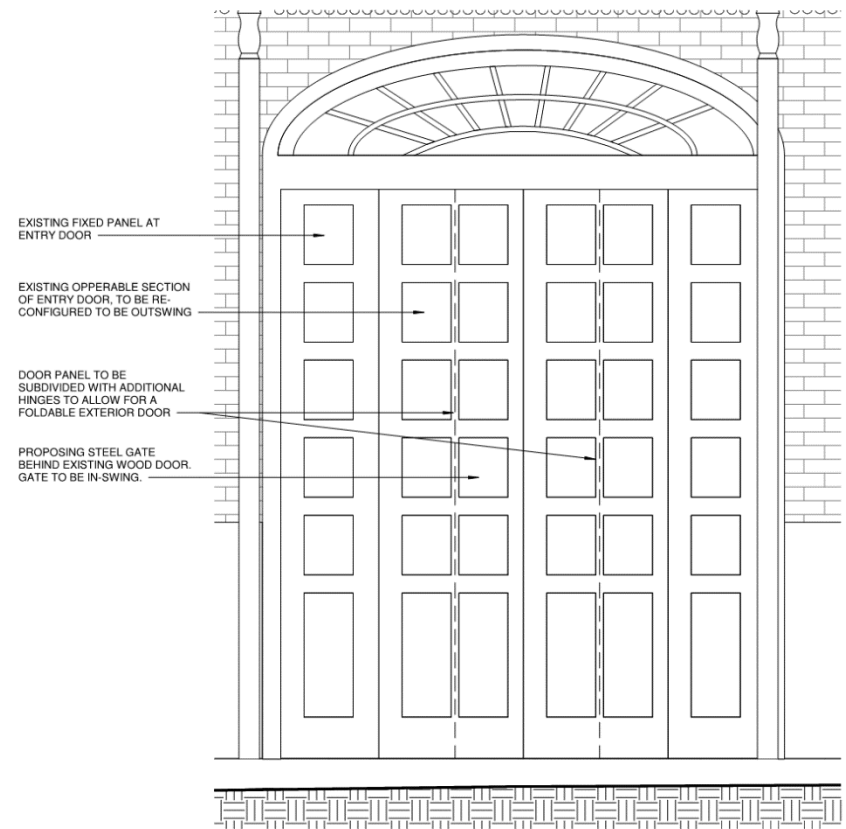




4 FIRST FLOOR - 1135 CHARTRES ENTRY-PLAN
A-5.08 3/4" = 1'-0"



2 1133-1137 CHARTRES STREET -PROPOSED GATE
A-5.08 3/4" = 1'-0"



1 1133-1137 CHARTRES STREET -ENTRY DOOR
A-5.08 3/4" = 1'-0"



The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center features a stylized fleur-de-lis with a central shield and decorative scrollwork.

1307 Decatur



1307 Decatur

VCC Architectural Committee

December 7, 2021





1307 Decatur

VCC Architectural Committee

December 7, 2021





1307 Decatur

VCC Architectural Committee

December 7, 2021





1307 Decatur

VCC Architectural Committee

December 7, 2021





1307 Decatur

VCC Architectural Committee

12 10 2021

December 7, 2021





1307 Decatur

VCC Architectural Committee

December 7, 2021



1307 Decatur

VCC Architectural Committee



12 10 2021

December 7, 2021





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1307 Decatur

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December 7, 2021



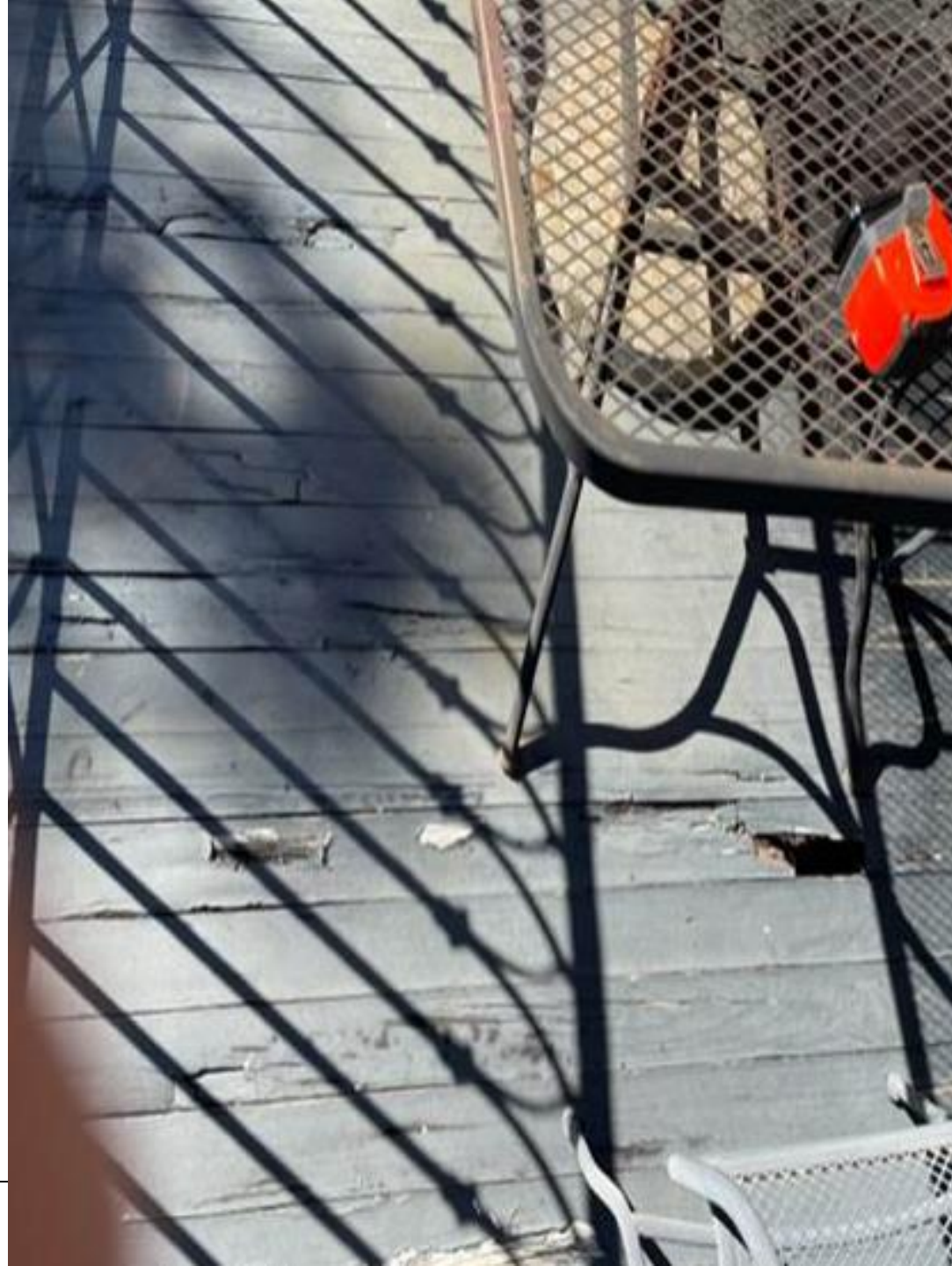


1307 Decatur

VCC Architectural Committee

December 7, 2021





1307 Decatur

VCC Architectural Committee

December 7, 2021





1307 Decatur

VCC Architectural Committee

December 7, 2021



Appeals and Violations





641 Bourbon



641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon, 1934

VCC Architectural Committee

December 21, 2021





Title: 639-641 Bourbon (side/rear elevation = 800-806 St. Peter)
Date: 07/02/1964

641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon

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December 21, 2021





641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon

VCC Architectural Committee

December 21, 2021





641 Bourbon – Rear Building

VCC Architectural Committee

December 21, 2021





641 Bourbon – Rear Building

VCC Architectural Committee

December 21, 2021



641 Bourbon – Rear Building
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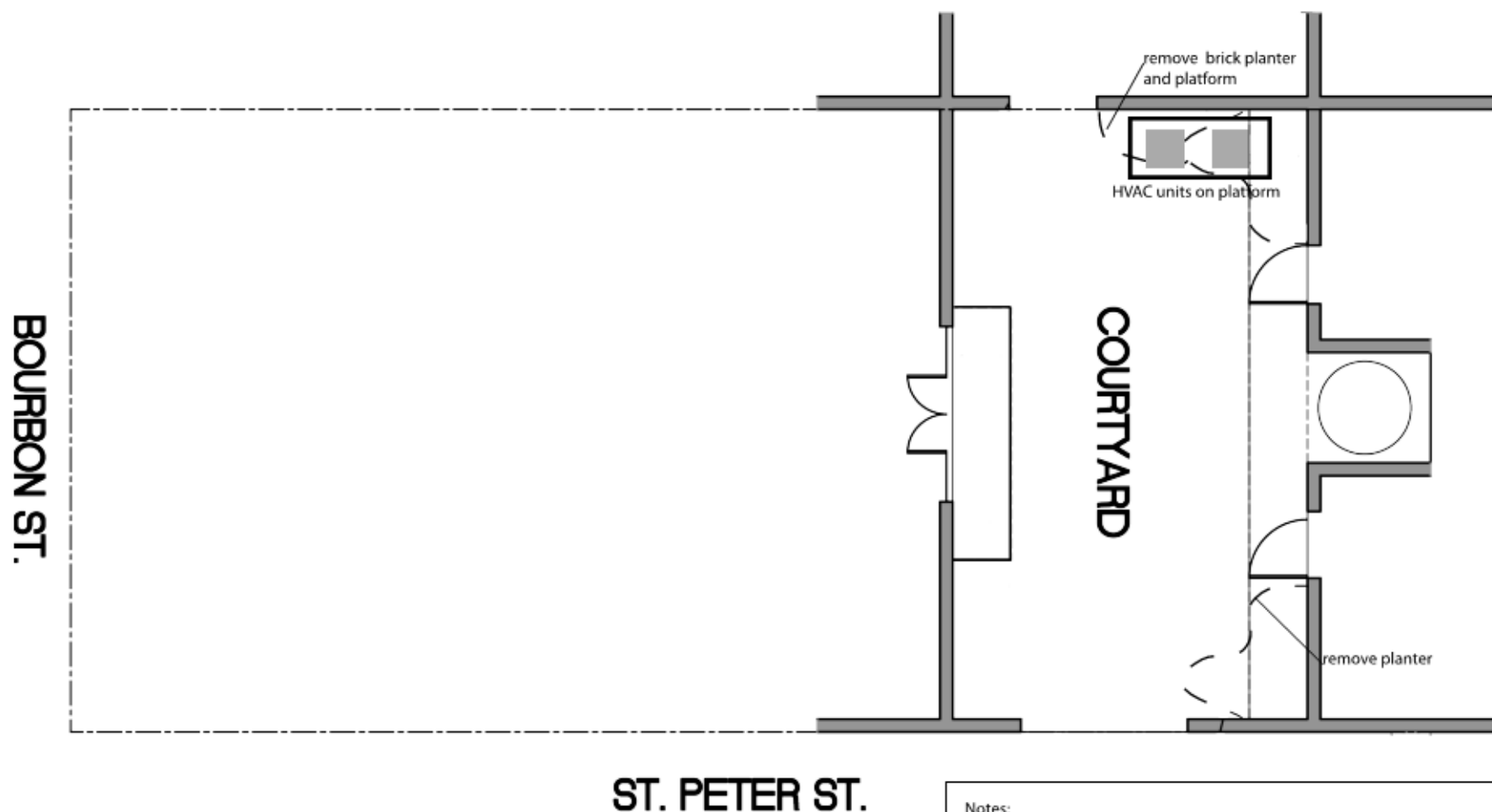


December 21, 2021





641 Bourbon – Existing Planting Area



641 Bourbon HVAC Courtyard Plan

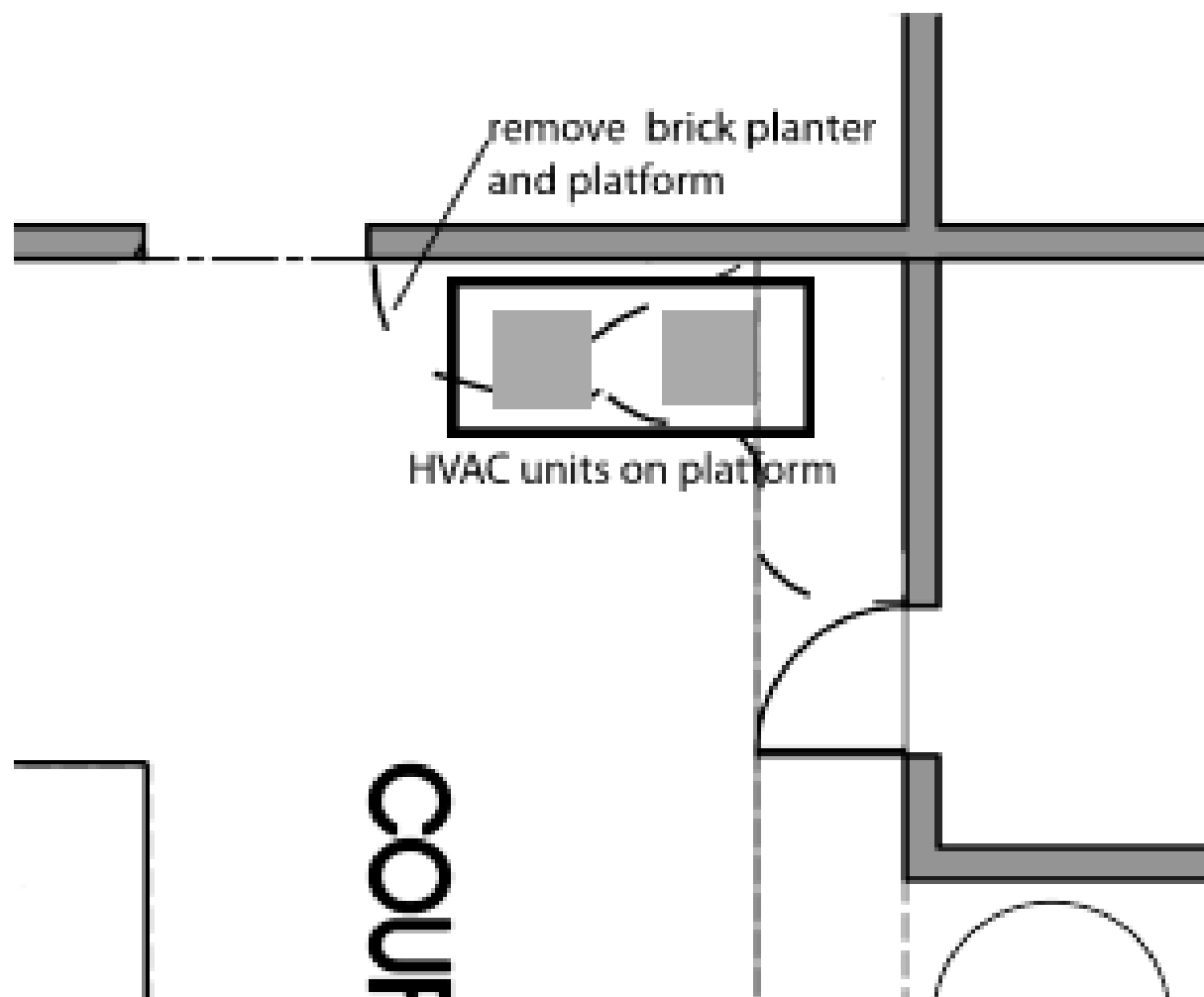
Notes:
 Remove existing (4) HVAC condenser units from balcony on rear of main building (2) and service building balcony (2).
 Remove 2 brick planters and platform. Fill with brick at grade to match area in bourbon/toulouse corner of courtyard.
 Install wood platform to hold four (4) HVAC condenser units.
 (Two over two stack.)
 Enclose HVAC condenser units with horizontal board fence with 3 inch gaps between boards for air flow. Gates to access units for service.
 Run condenser lines attached to wall at twelve feet off ground level.

641 Bourbon

VCC Architectural Committee

December 21, 2021







641 Bourbon

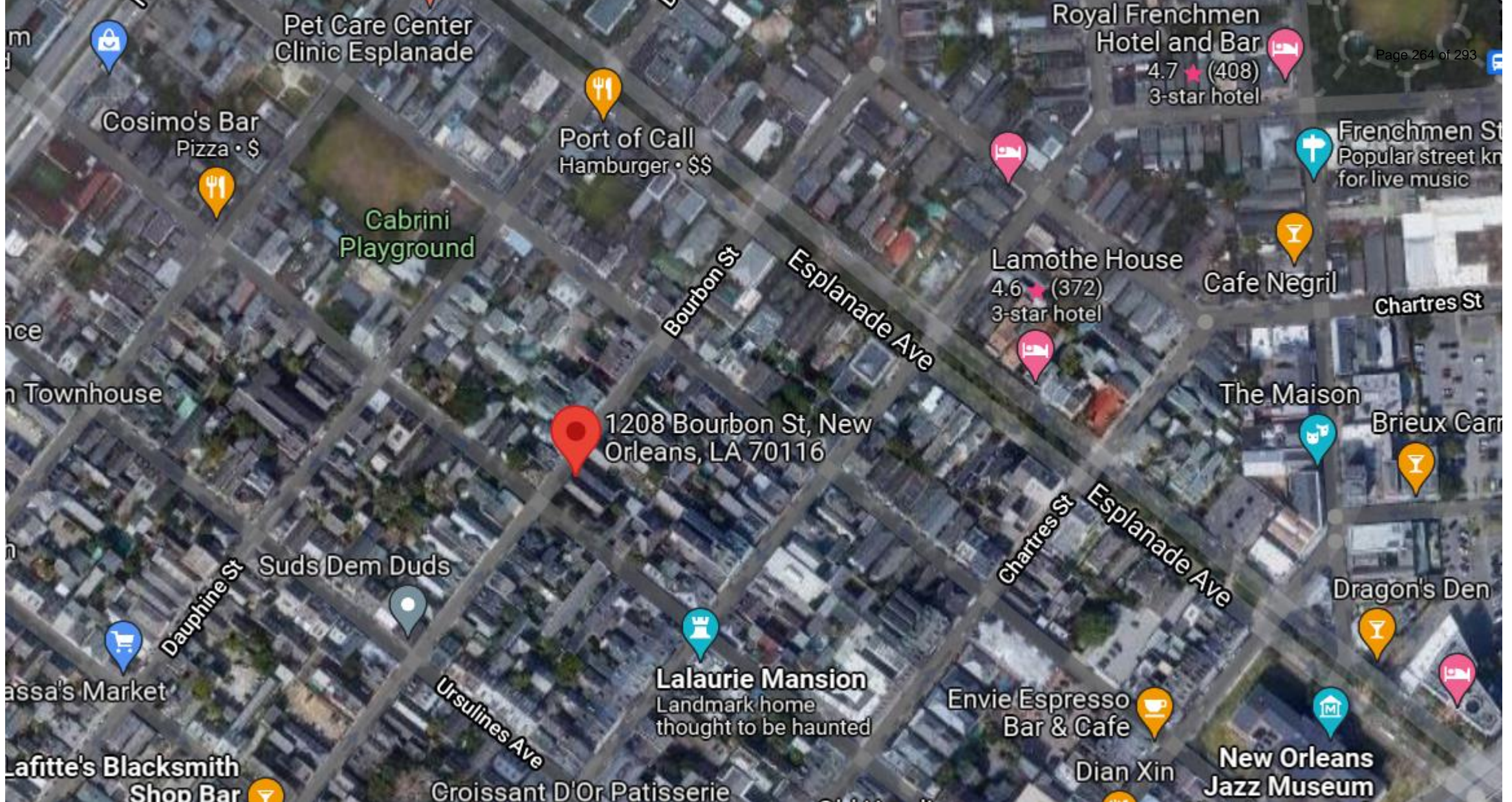
VCC Architectural Committee

December 21, 2021





1208 Bourbon



1208 Bourbon





1208 Bourbon - 1962



1208 Bourbon

VCC Architectural Committee

December 21, 2021





1208 Bourbon

VCC Architectural Committee

December 21, 2021





1208 Bourbon

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December 21, 2021





1208 Bourbon

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December 21, 2021





1208 Bourbon

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December 21, 2021





1208 Bourbon

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December 21, 2021



The Vieux Carre Commission in conformity to Chapter 65 of the Code of the City of New Orleans, as amended, hereby grants permission for work to be performed on the premises listed in accordance with outlined specifications within given dates and under inspectory supervision.

THIS PERMIT AND ALL PLANS & SPECIFICATIONS MUST BE ON PREMISES AT ALL TIMES.

Permit No. 81254 Premises: 1208-10 Bourbon Street Use: Residential
 Applicant: Arnold Watson 414 Cardinal Street, Slidell, LA 649-2796
 Owner: Dr. Rex Toole 1208 Bourbon Street 70458
 Contractor: Arnold Watson 414 Cardinal Street, Slidell, LA 649-2796
5/8/81 To be completed: 11/8/81
 Work to Commence:

This permit expires six (6) months after date of commencement if work as specified has not begun or after a period of six (6) months of no activity.

Specifications:

To replace asphalt shingles with fiberglass shingles, in either black or charcoal, retaining ridge tiles.

NOTE: ALL WORK MUST CONFORM TO STANDARD VIEUX CARRE COMMISSION POLICIES AND DETAILS.

1208 Bourbon

VCC Architectural Committee

December 21, 2021



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" along the bottom arc.

906 Esplanade



906 Esplanade

VCC Architectural Committee

December 7, 2021





906 Esplanade

VCC Architectural Committee

December 7, 2021





906 Esplanade

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December 7, 2021





906 Esplanade

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December 7, 2021



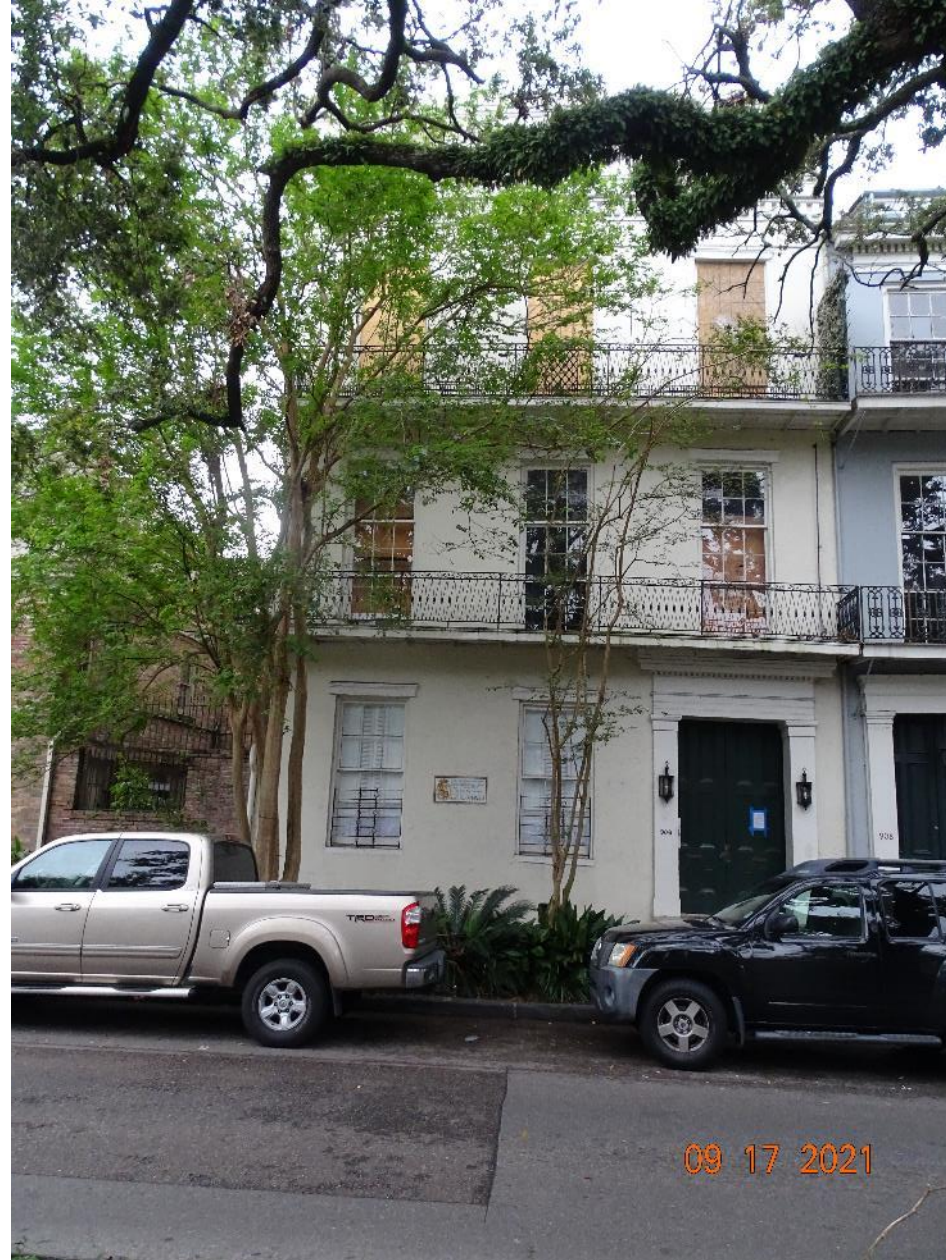


900 Esplanade

VCC Architectural Committee

December 7, 2021





906 Esplanade

VCC Architectural Committee

December 7, 2021





906 Esplanade

VCC Architectural Committee

December 7, 2021





906 Esplanade

VCC Architectural Committee

December 7, 2021



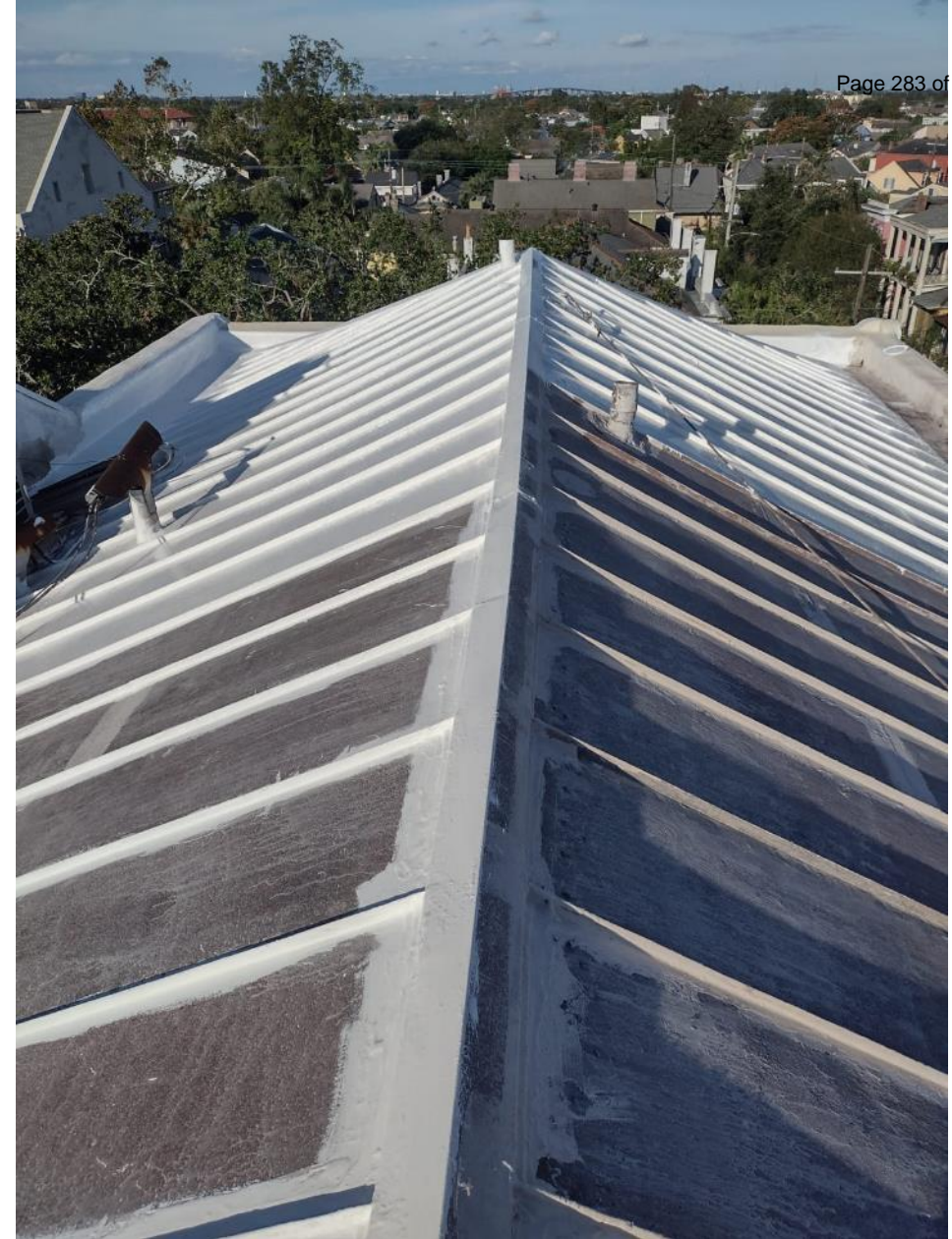


906 Esplanade

VCC Architectural Committee

December 7, 2021



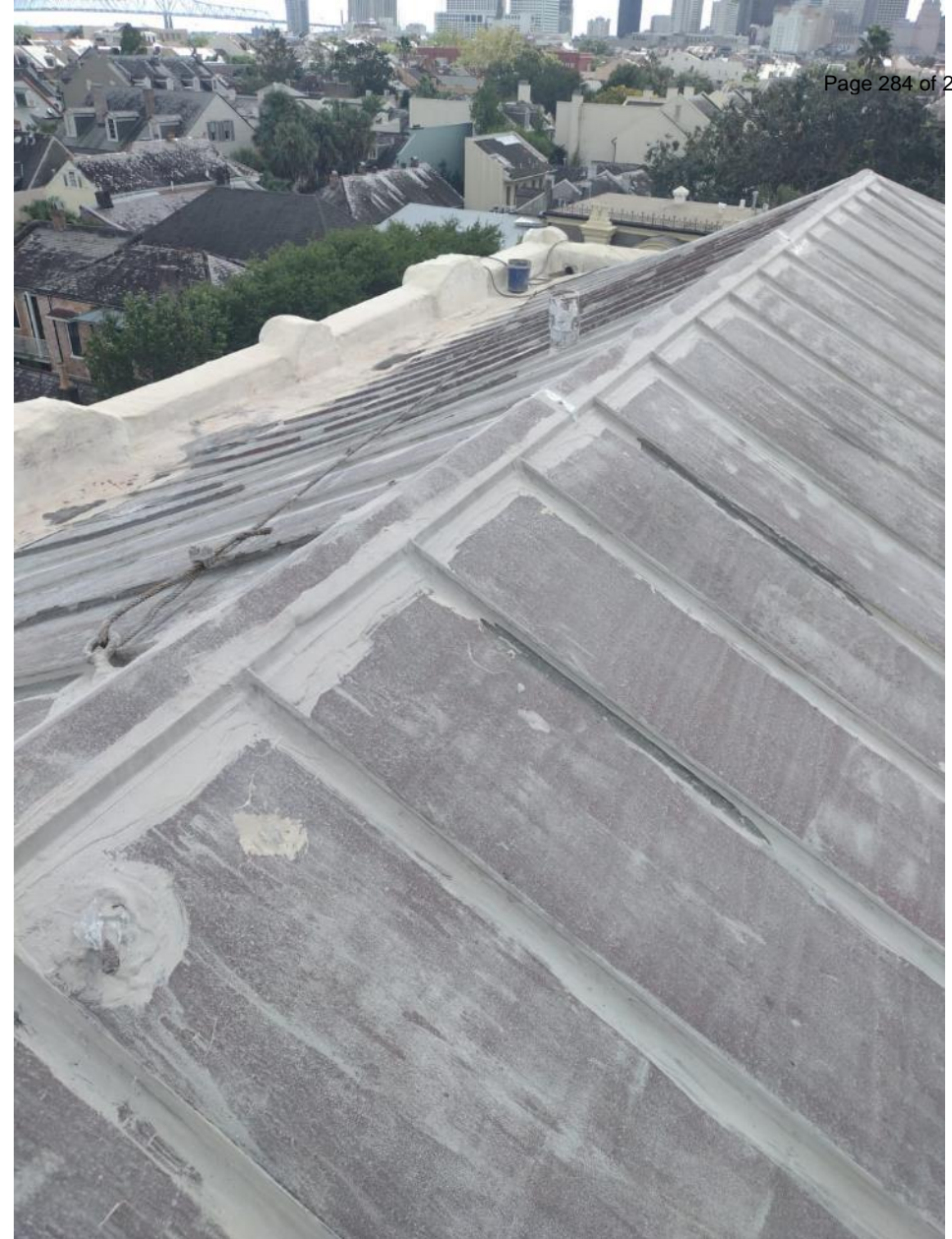
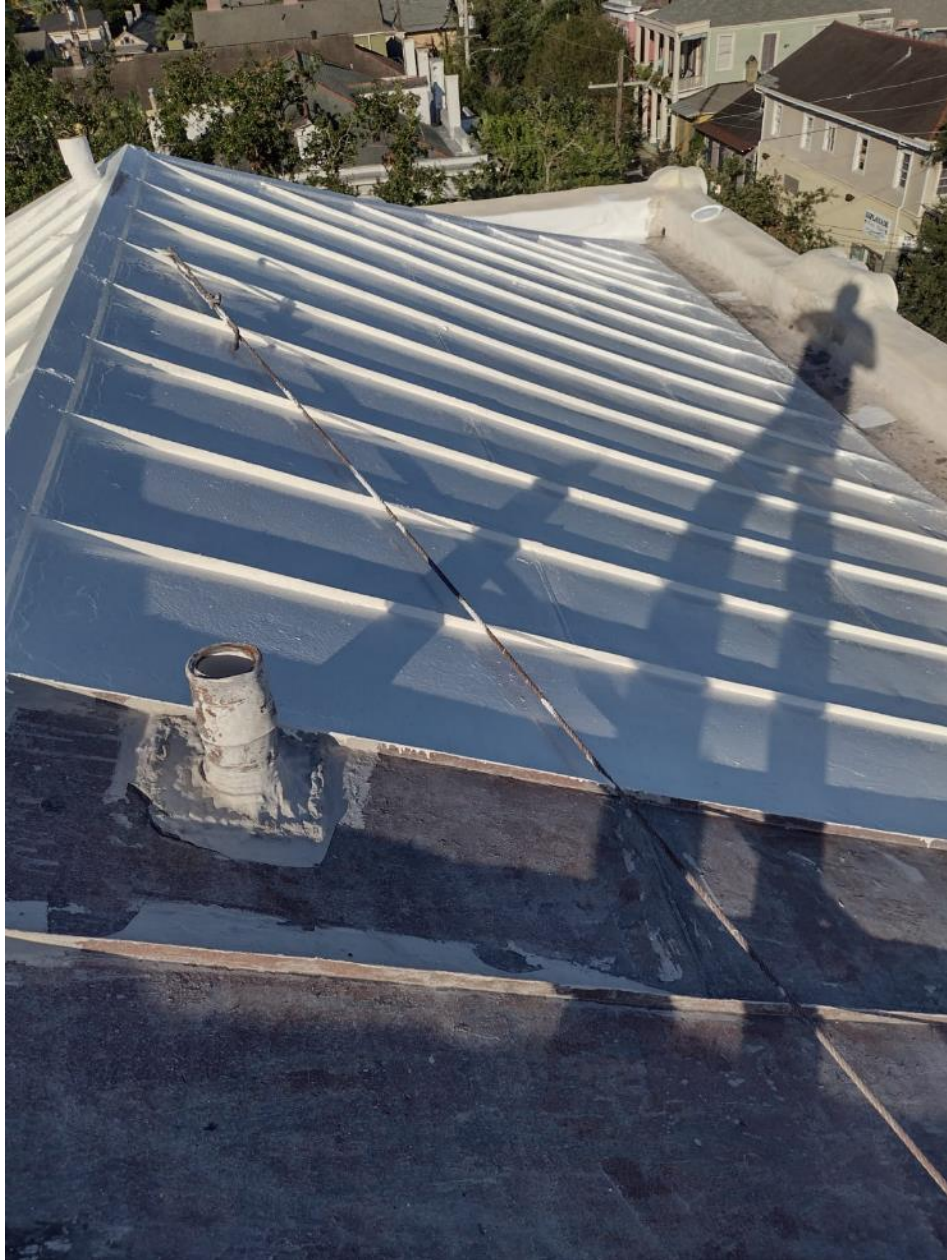


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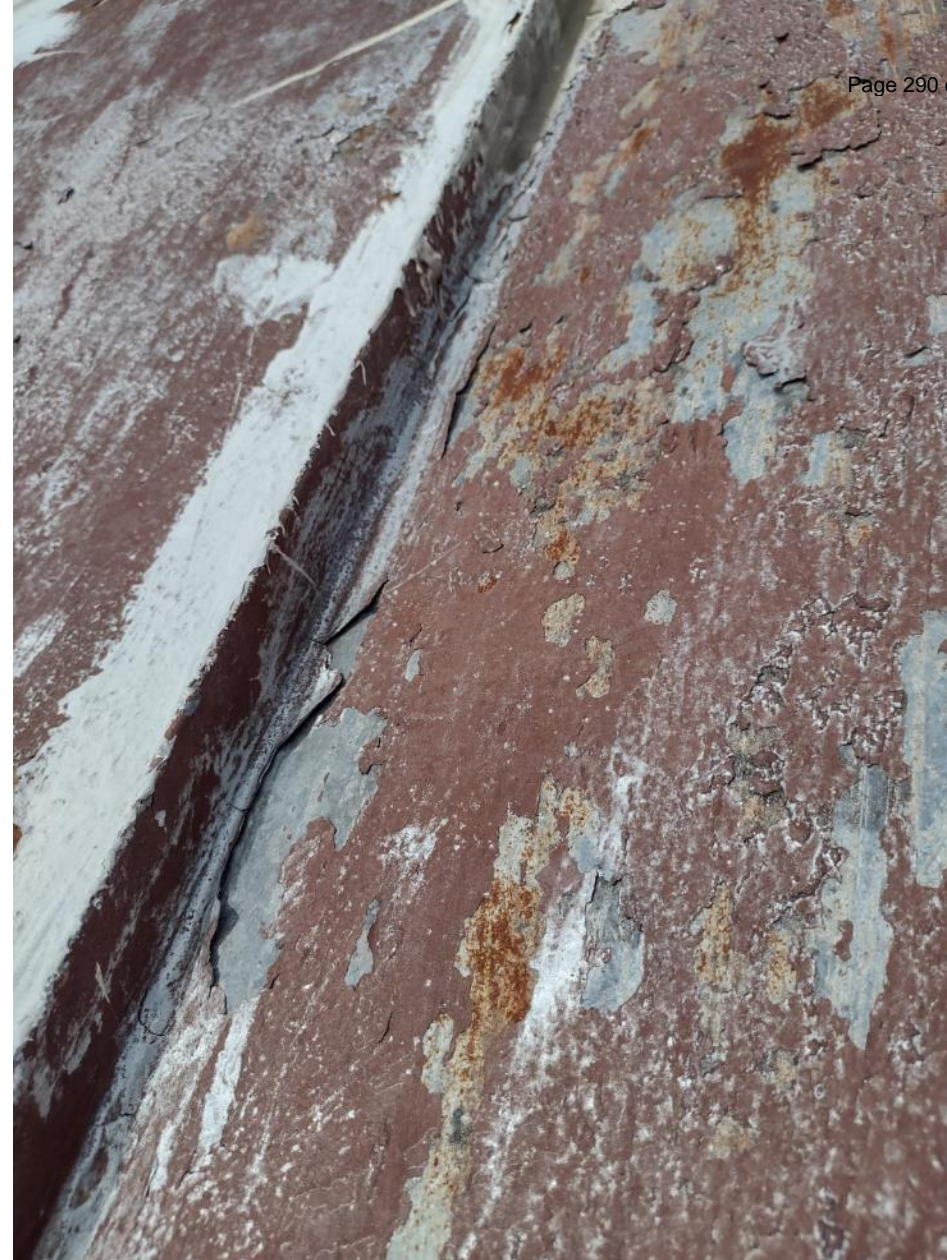
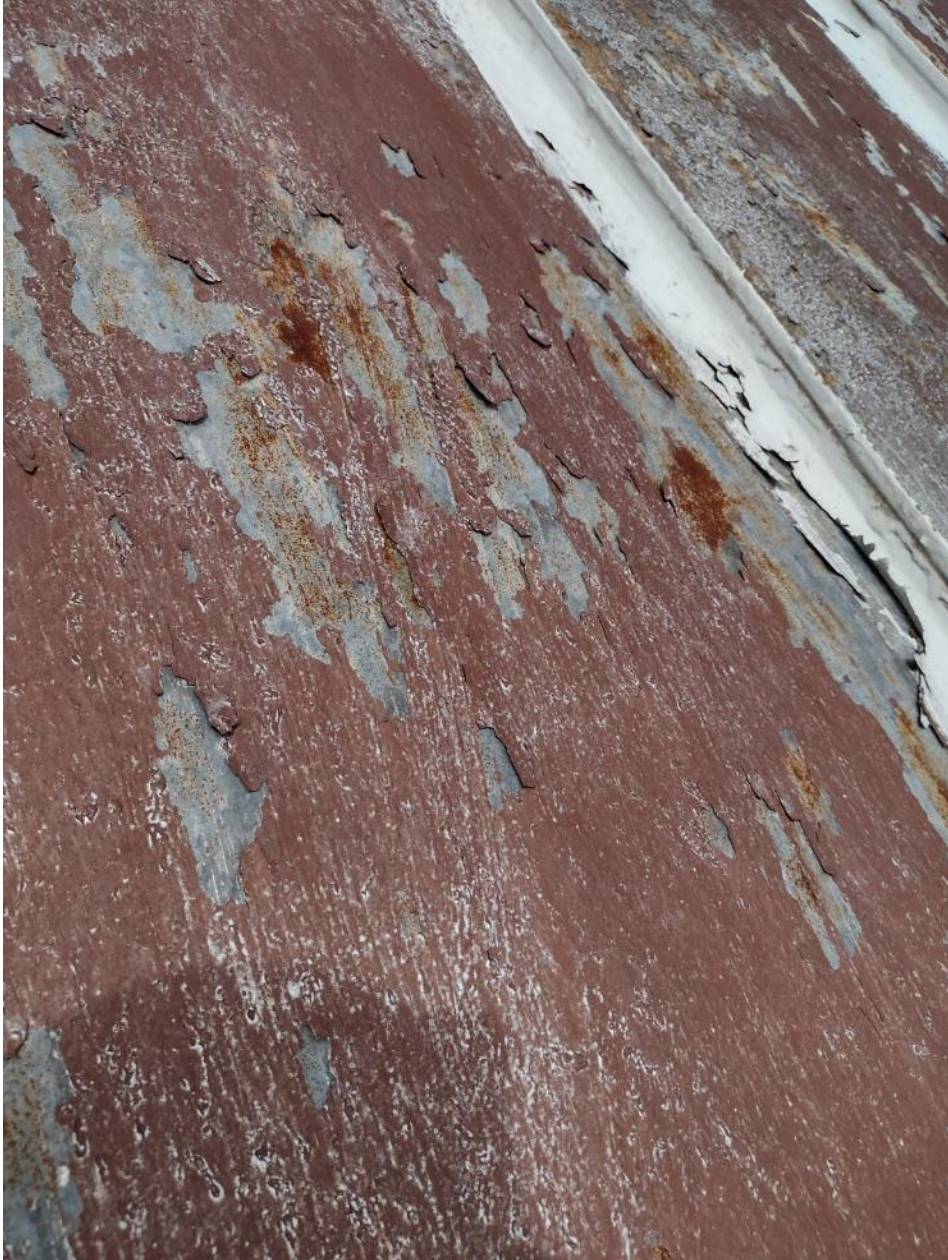


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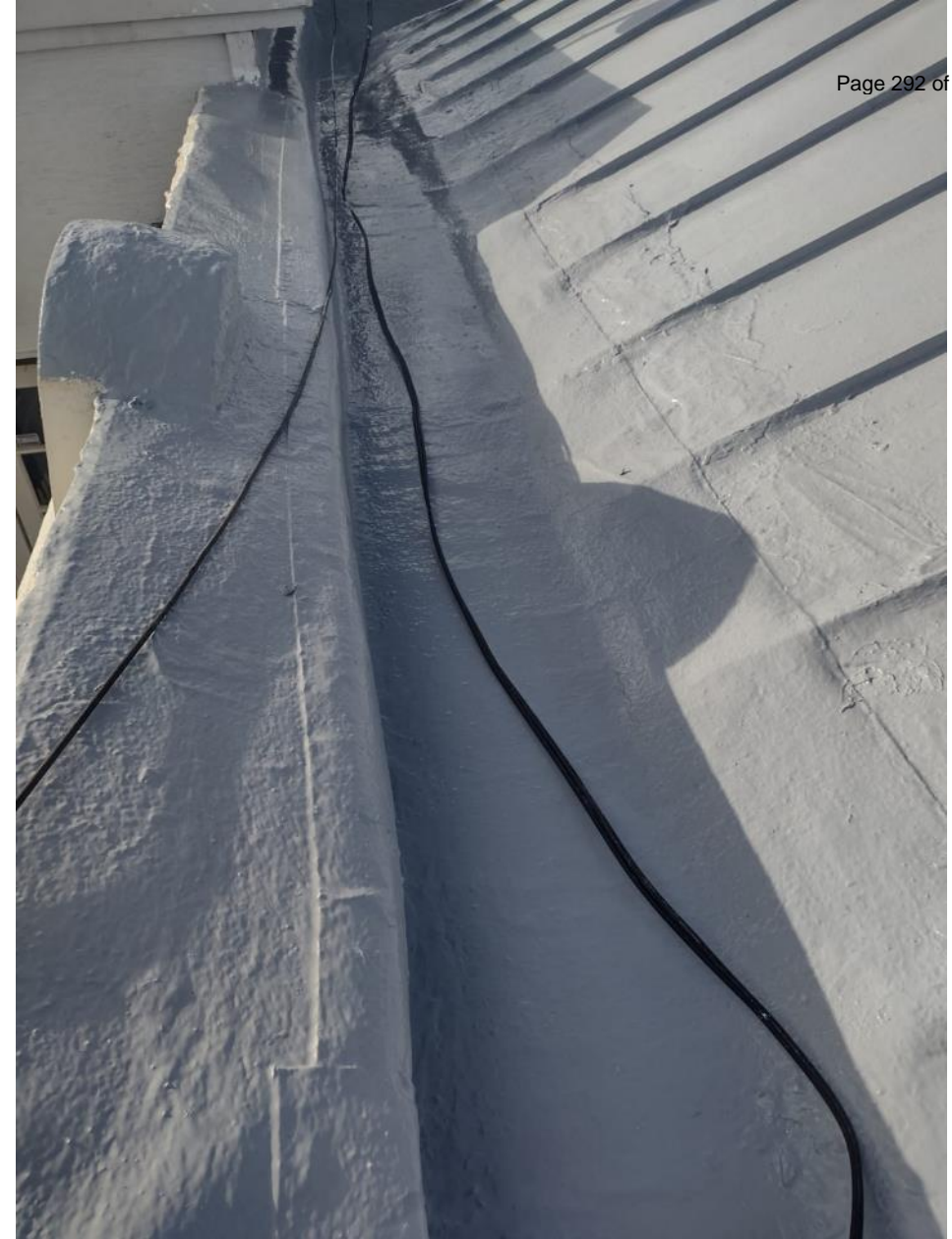


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