

Vieux Carré Commission Architecture Committee Meeting

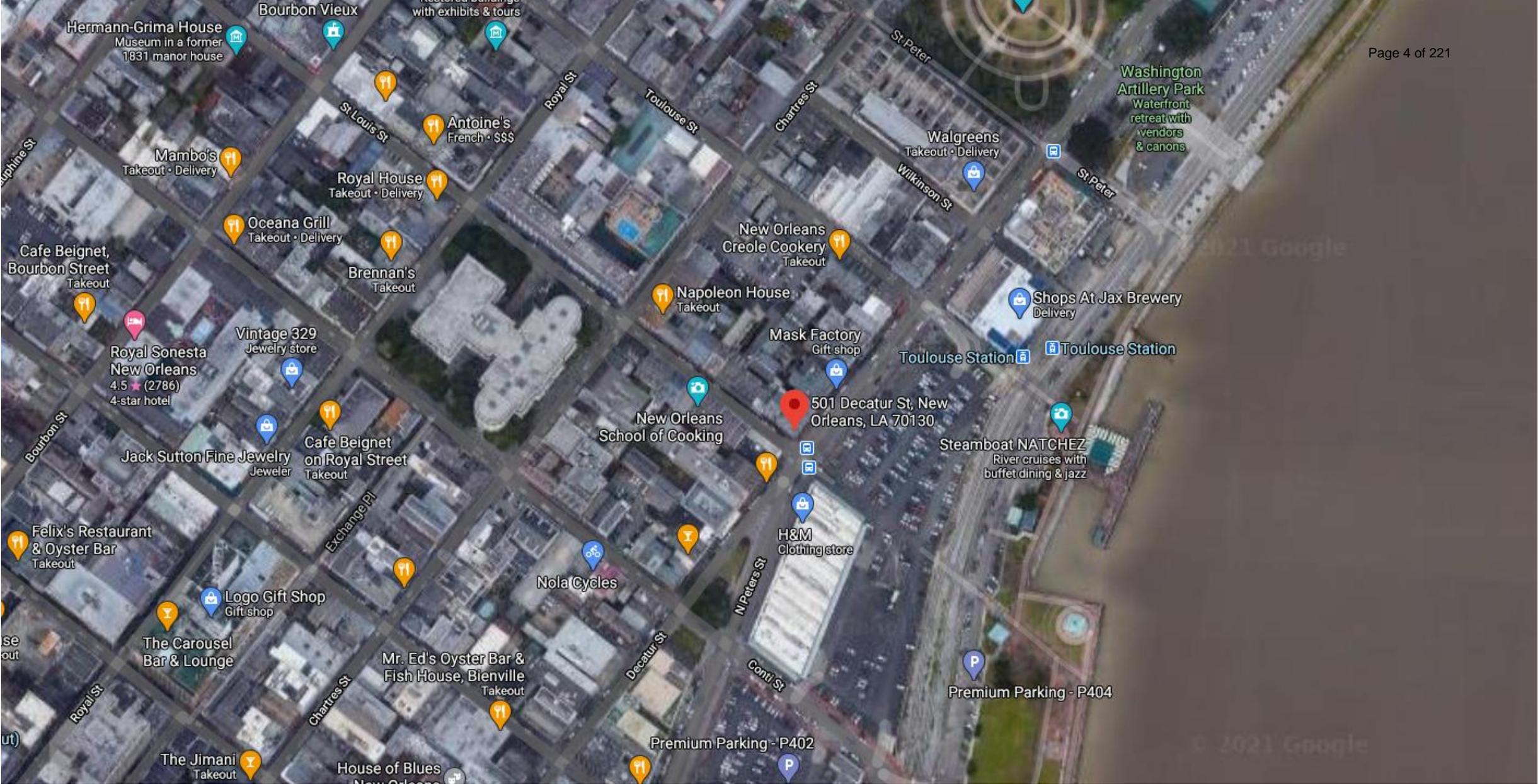
Tuesday, February 9, 2021



Old Business



501 Decatur



501 Decatur

VCC Architectural Committee

February 9, 2021





501 Decatur

VCC Architectural Committee

February 9, 2021





501 Decatur

VCC Architectural Committee

February 9, 2021



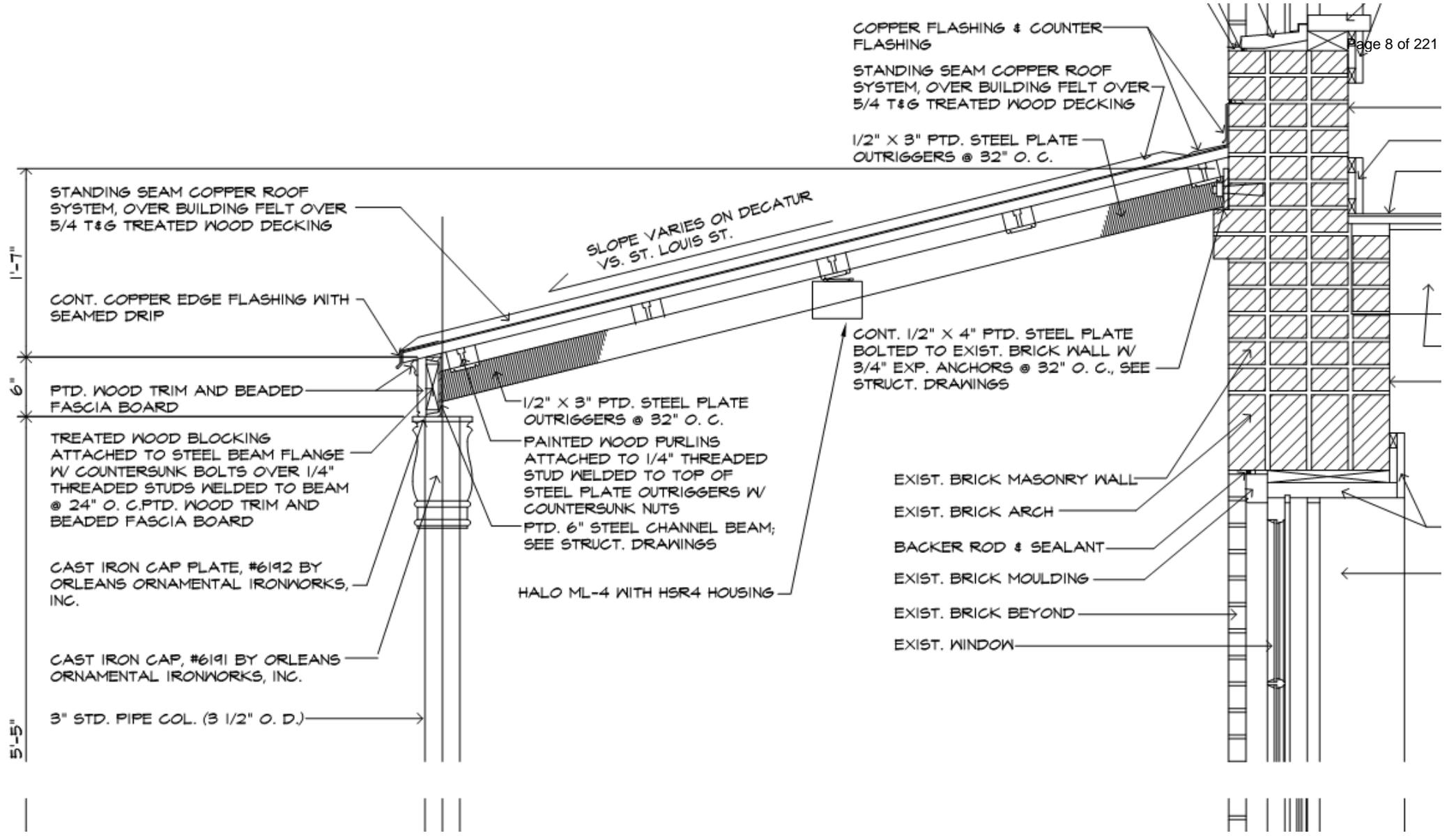


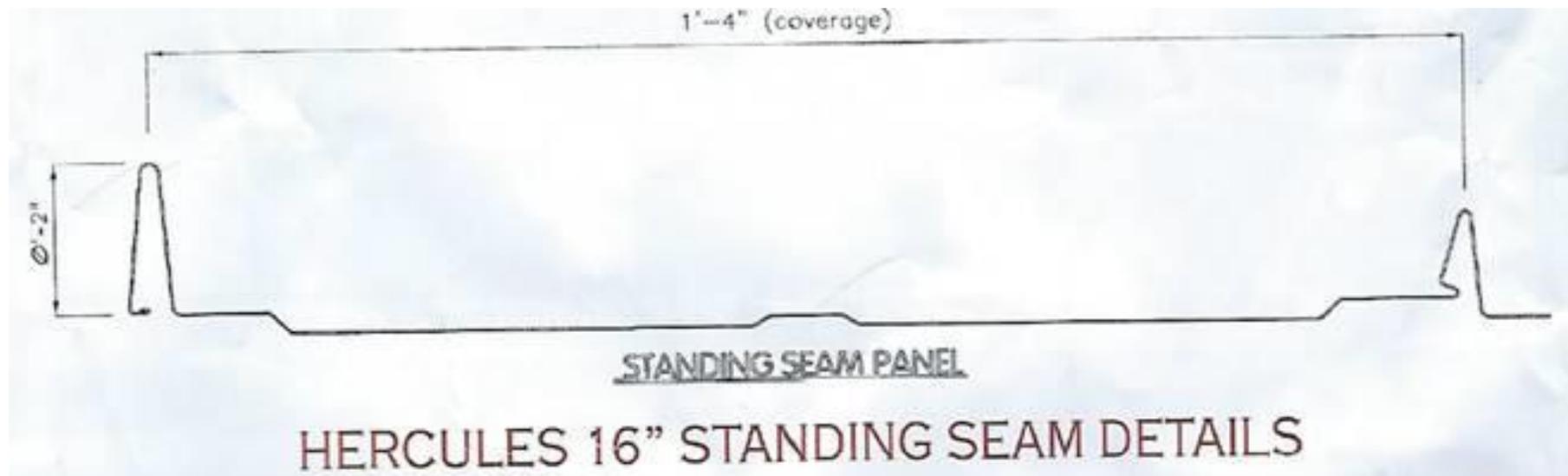
501 Decatur

VCC Architectural Committee

February 9, 2021







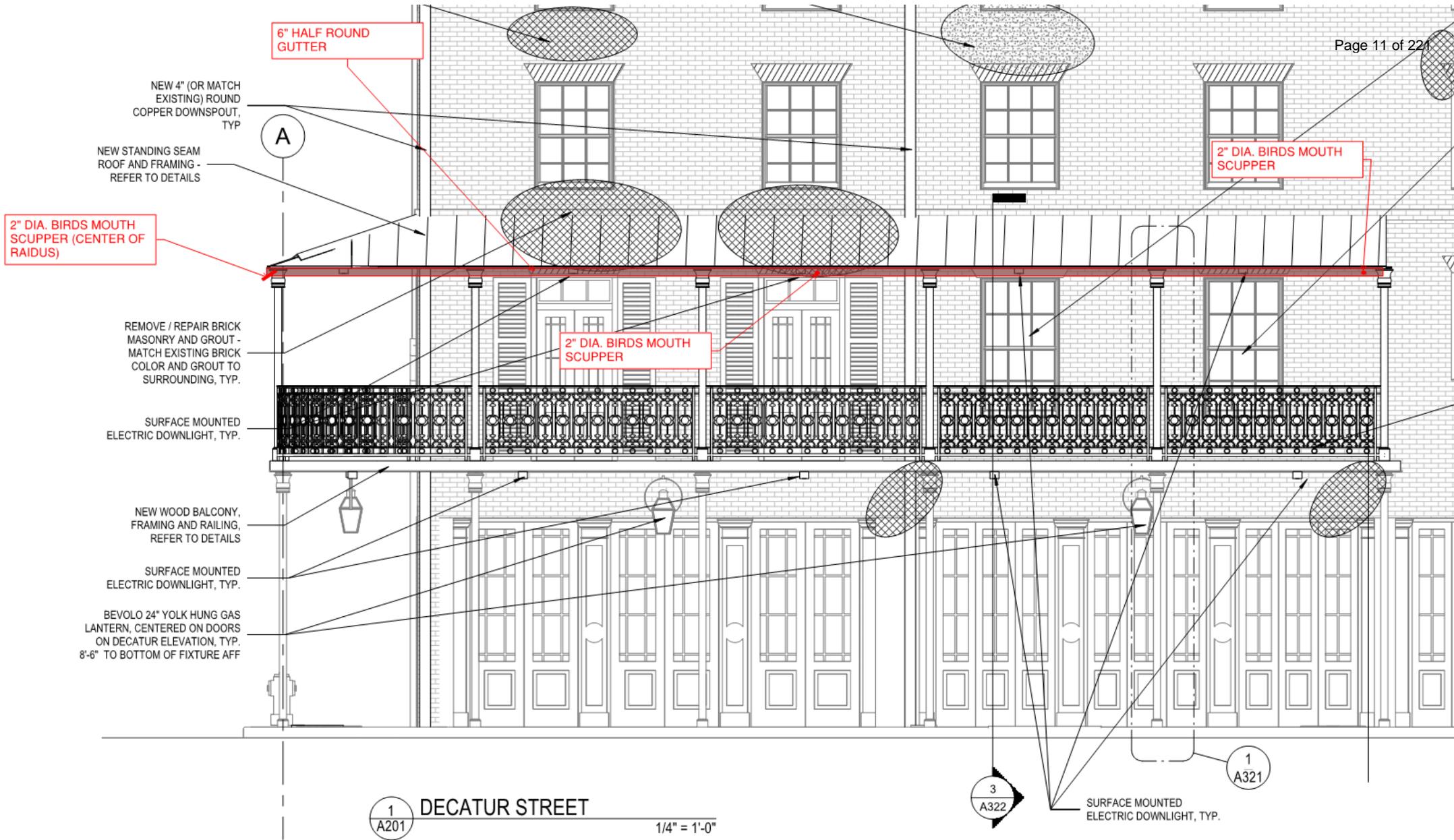


501 Decatur

VCC Architectural Committee

February 9, 2021





501 Decatur

VCC Architectural Committee

February 9, 2021





JOHN C. WILLIAMS ARCHITECTS LLC
318 S. CANAL ST. (5TH FLOOR)
NEW ORLEANS, LA 70130
PHONE: 504.581.1111
FAX: 504.581.1112

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (we) (will not) be providing project construction administration services on this project.
John Williams



PERMIT SET

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John C. Williams Architects LLC

70130

ALTERATIONS TO
FRENCH MARKET INN

NEW ORLEANS, LA

-REVISIONS-

No.	Date	Scope
1	7-5-18	GAS LIGHTING

DRAWING
EXTERIOR ELEVATIONS

DRAWING BY
SCALE 1/4" = 1'-0"
JOB No. 501077.01
DATE 1/14/2019
Sheet No.

A202



- CLEAN BRICK AND MORTAR JOINTS (REMOVE VEGETATION, ETC) REPAIR AS REQUIRED.
- REMOVE / REPAIR BRICK MASONRY AND GROUT - MATCH EXISTING BRICK COLOR AND GROUT TO SURROUNDING, TYP.
- NEW 4" (OR MATCH EXISTING) ROUND COPPER DOWNSPOUT, TYP.
- SURFACE MOUNTED ELECTRIC DOWNLIGHT, TYP.
- REMOVE EXISTING WINDOW AND BRICK LINTEL AND INFILL OPENING WITH BRICK TO MATCH EXISTING - SET BACK FROM EXTERIOR FACE 1"
- NEW WOOD BALCONY, FRAMING AND RAILING - REFER TO DETAILS
- REMOVE / REPAIR BRICK MASONRY AND GROUT - MATCH EXISTING BRICK COLOR AND GROUT TO SURROUNDING, TYP.
- REMOVE EXPOSED WIRING AND INSTALL IN CONDUIT + PAINT CONDUIT TO MATCH BALCONY
- BEVOLD 24" YOK HUNG GAS LANTERN, CENTERED BETWEEN COLUMNS, TYP #4" TO BOTTOM OF FIXTURE AFF
- RETAIN EXISTING KEYPAD ENTRY LOCK

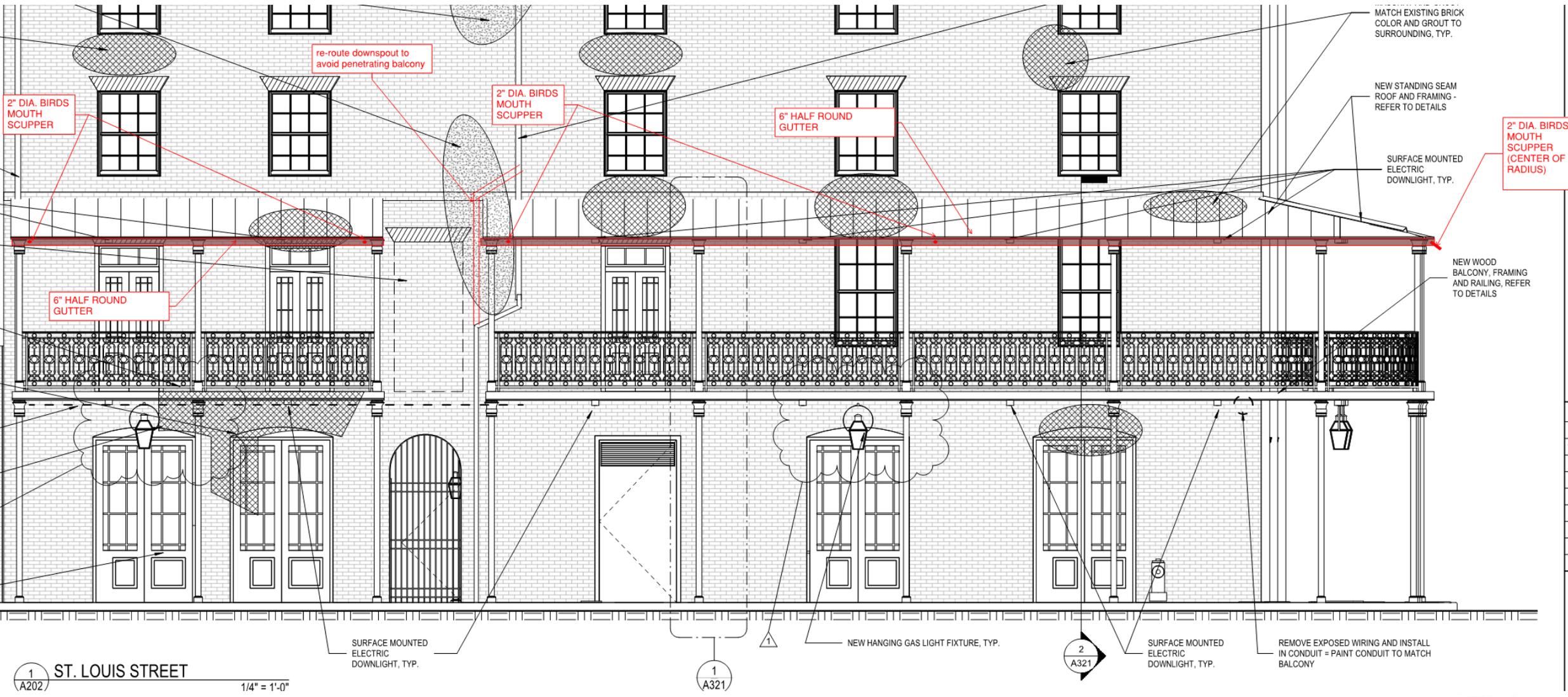
1 ST. LOUIS STREET 1/4" = 1'-0"

501 Decatur

VCC Architectural Committee

February 9, 2021





501 Decatur

VCC Architectural Committee

February 9, 2021



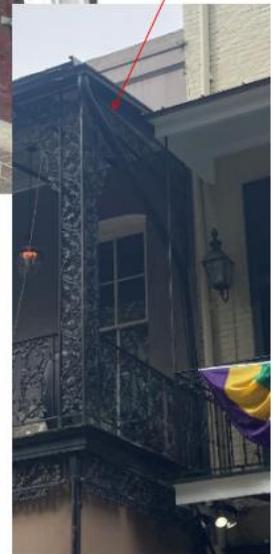
No. 1
 DRAWN
 EXT
 DRAWN
 SCALE
 JOB
 DATE



DECATUR STREET -
DOWNRIVER EDGE
NO DOWNSPOUT. BIRDS
MOUTH SCUPPERS AT END,
MIDDLE, AND AT CENTER OF
RADIUS AT CORNER



DECATUR STREET -
DOWNRIVER EDGE
OPTION 2 - ANGLE BACK TO
WALL, NEW DOWNSPOUT
(POTENTIAL CONFLICT WITH
ADJACENT COLUMN.

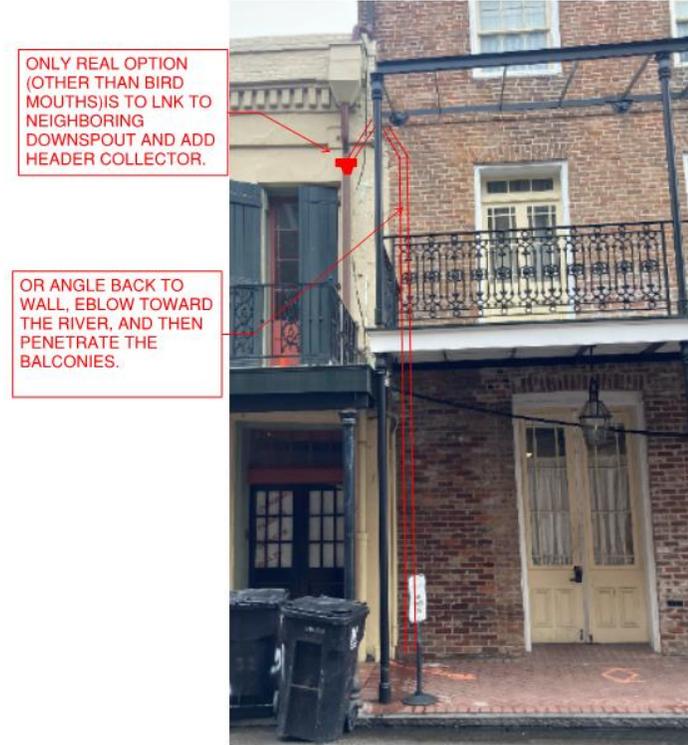
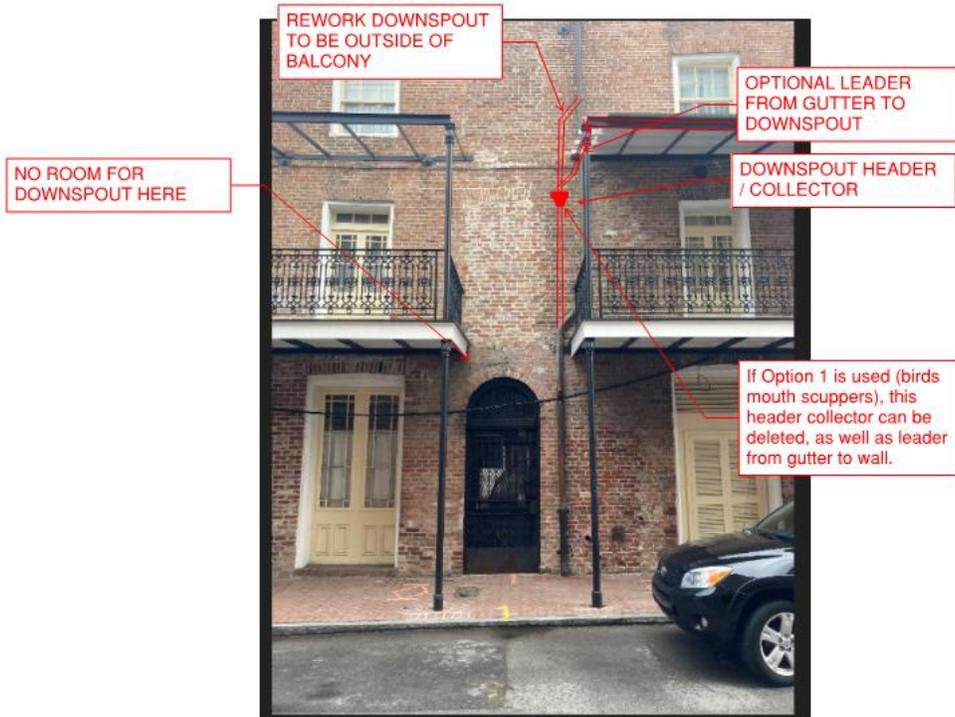


typical angled leader

angled leader

conflict with either column
or electric service





ST. LOUIS STREET - GAP BETWEEN BALCONIES

ST. LOUIS STREET, LAKESIDE

OPTION 1 (NOT SHOWN) - BIRDS MOUTH SCUPPERS AT EACH END OF LAKESIDE GUTTER; END AND MIDDLE (AND CORNER AT RADIUS) OF RIVERSIDE GUTTER.

OPTION 1 (NOT SHOWN) - BIRDS MOUTH SCUPPERS AT EACH END OF LAKESIDE GUTTER; END AND MIDDLE (AND CORNER AT RADIUS) OF RIVERSIDE GUTTER.





501 Decatur

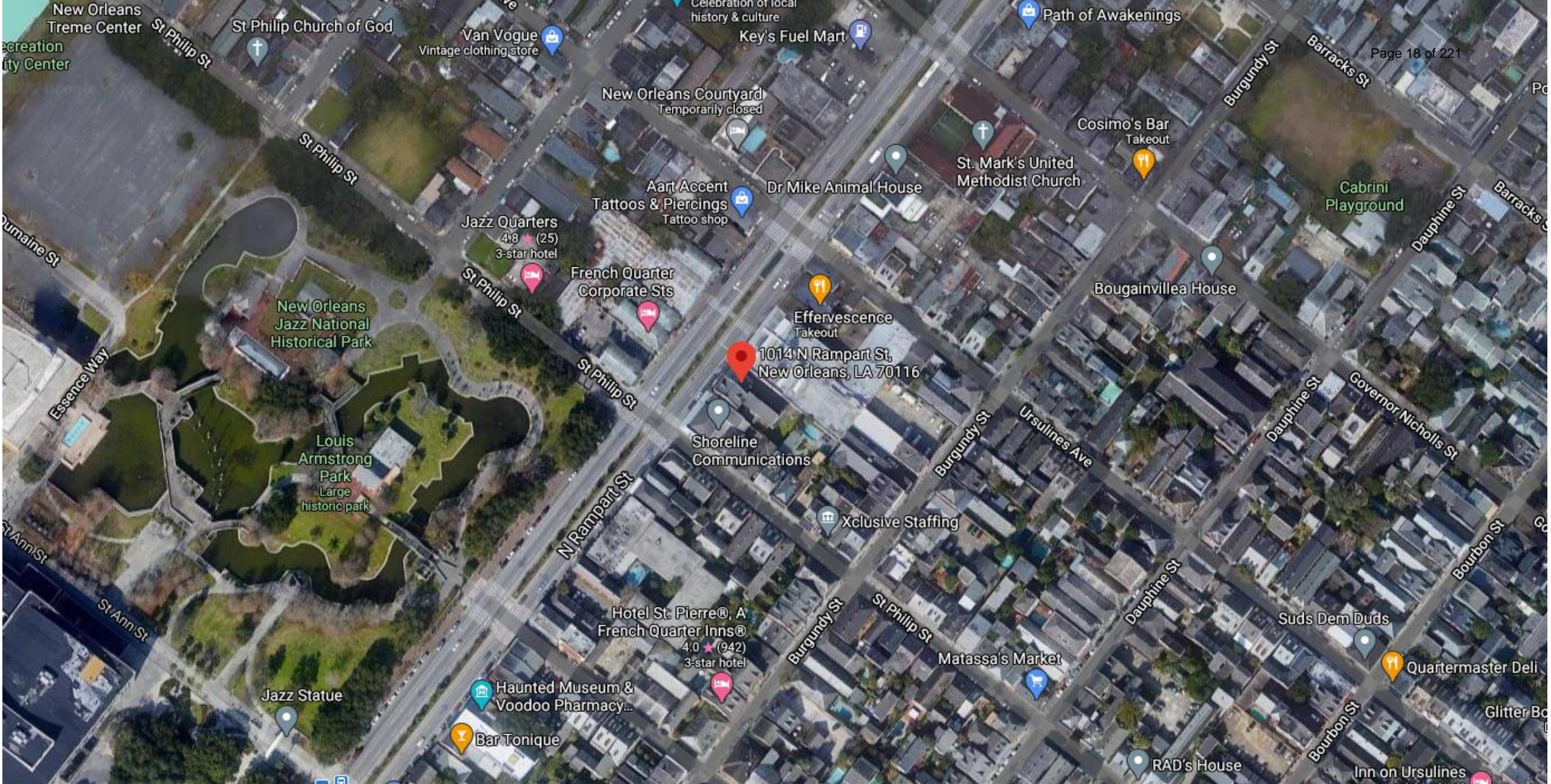
VCC Architectural Committee

February 9, 2021





1014 N Rampart



1014 N Rampart

VCC Architectural Committee

February 9, 2021





1014 N Rampart

VCC Architectural Committee

February 9, 2021



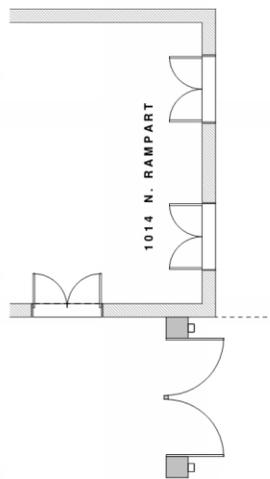


1014 N Rampart

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February 9, 2021

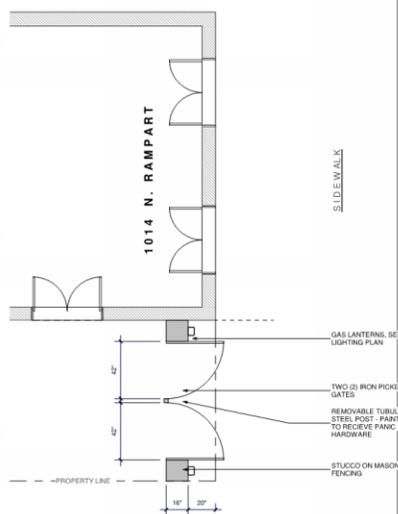




1 FIRST FLOOR PLAN - PREVIOUSLY APPROVED
1/4" = 1'-0"



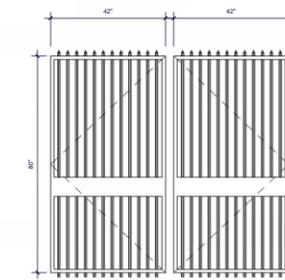
2 N. RAMPART ELEVATION - PREVIOUSLY APPROVED
1/4" = 1'-0"



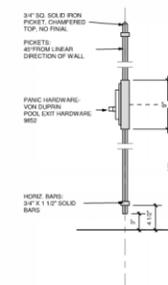
3 FIRST FLOOR PLAN - REV. 2.1.21
1/4" = 1'-0"



4 N. RAMPART ELEVATION - REV. 2.1.21
1/4" = 1'-0"



5 PROPOSED GATES
1/2" = 1'-0"



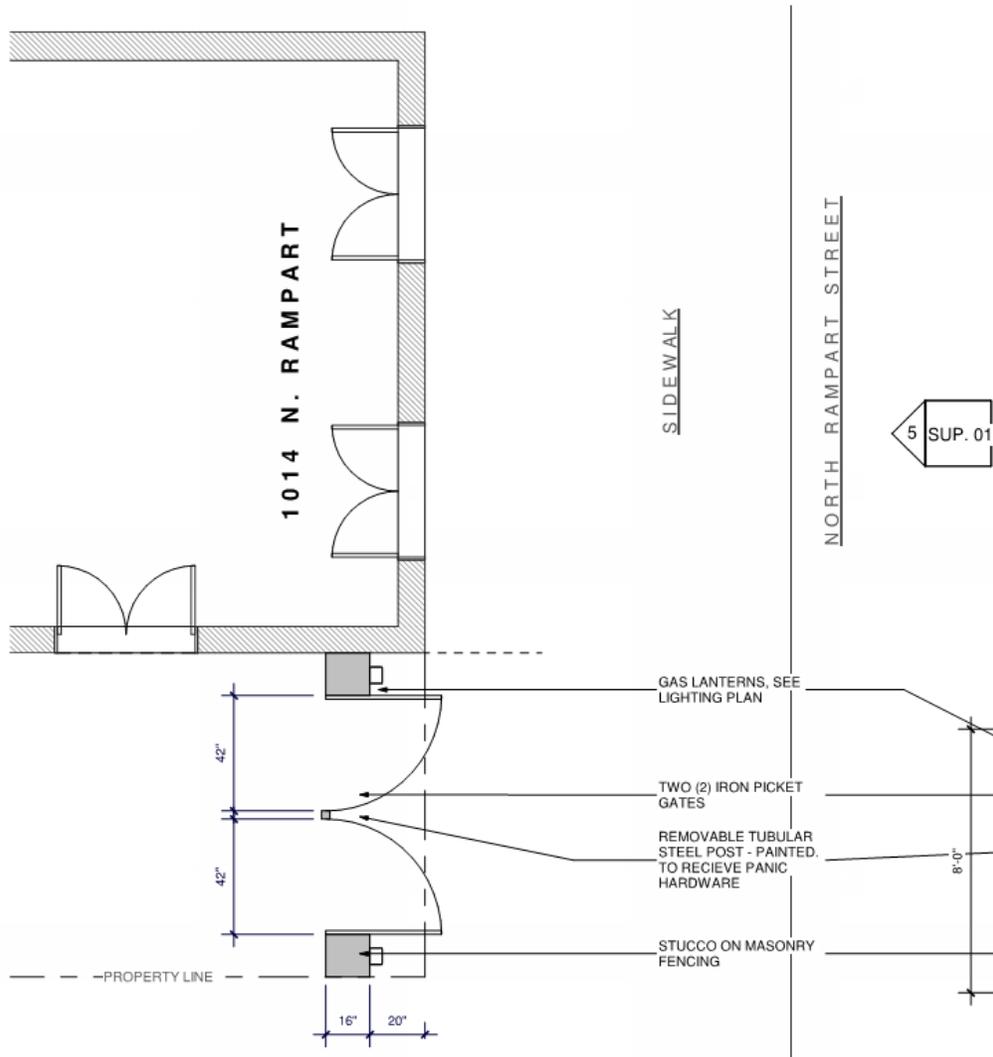
6 SITE DETAIL - IRON GATE
1" = 1'-0"

1014 N Rampart

VCC Architectural Committee

February 9, 2021





③ FIRST FLOOR PLAN - REV. 2.1.21
1/4" = 1'-0"

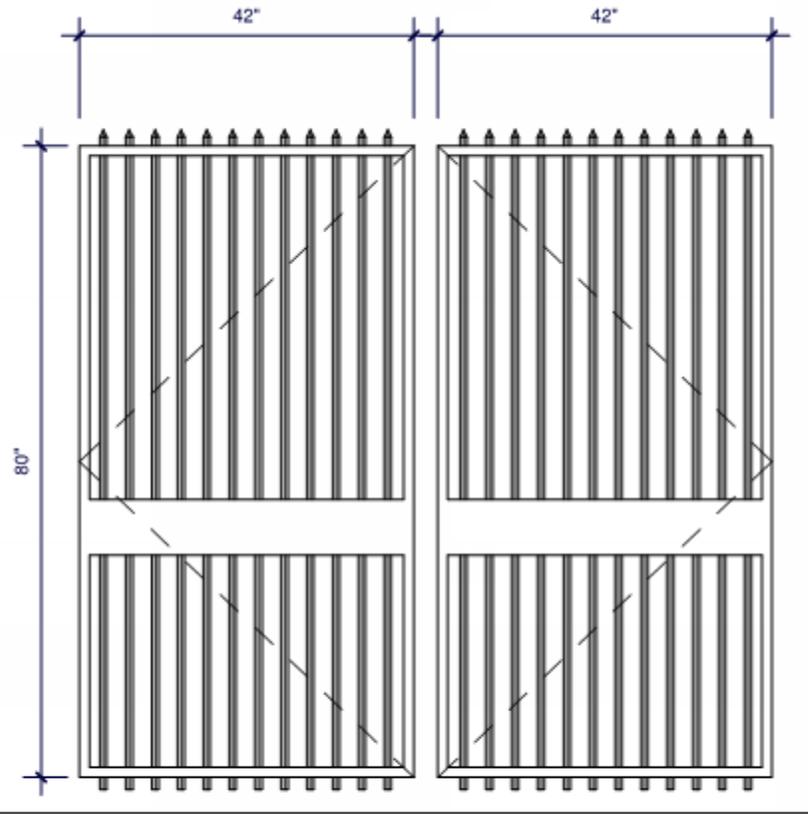
④ N. RAMPART ELEVATION - REV. 2.1.21
1/4" = 1'-0"

1014 N Rampart

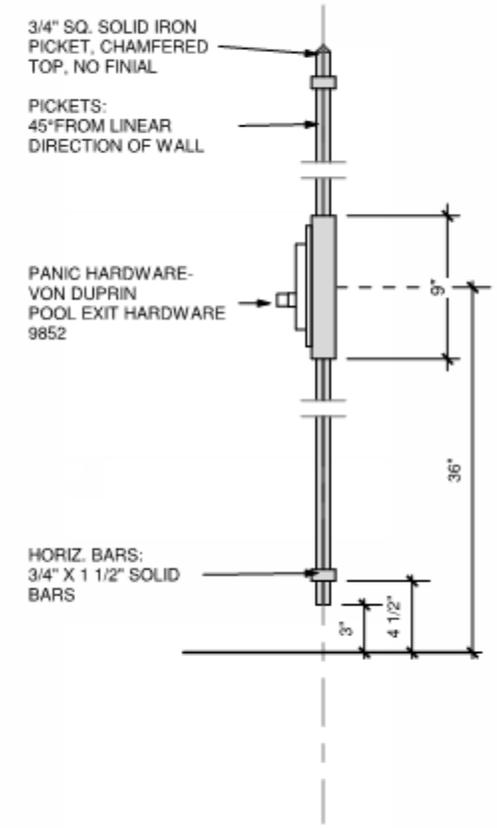
VCC Architectural Committee

February 9, 2021





⑤ PROPOSED GATES
1/2" = 1'-0"

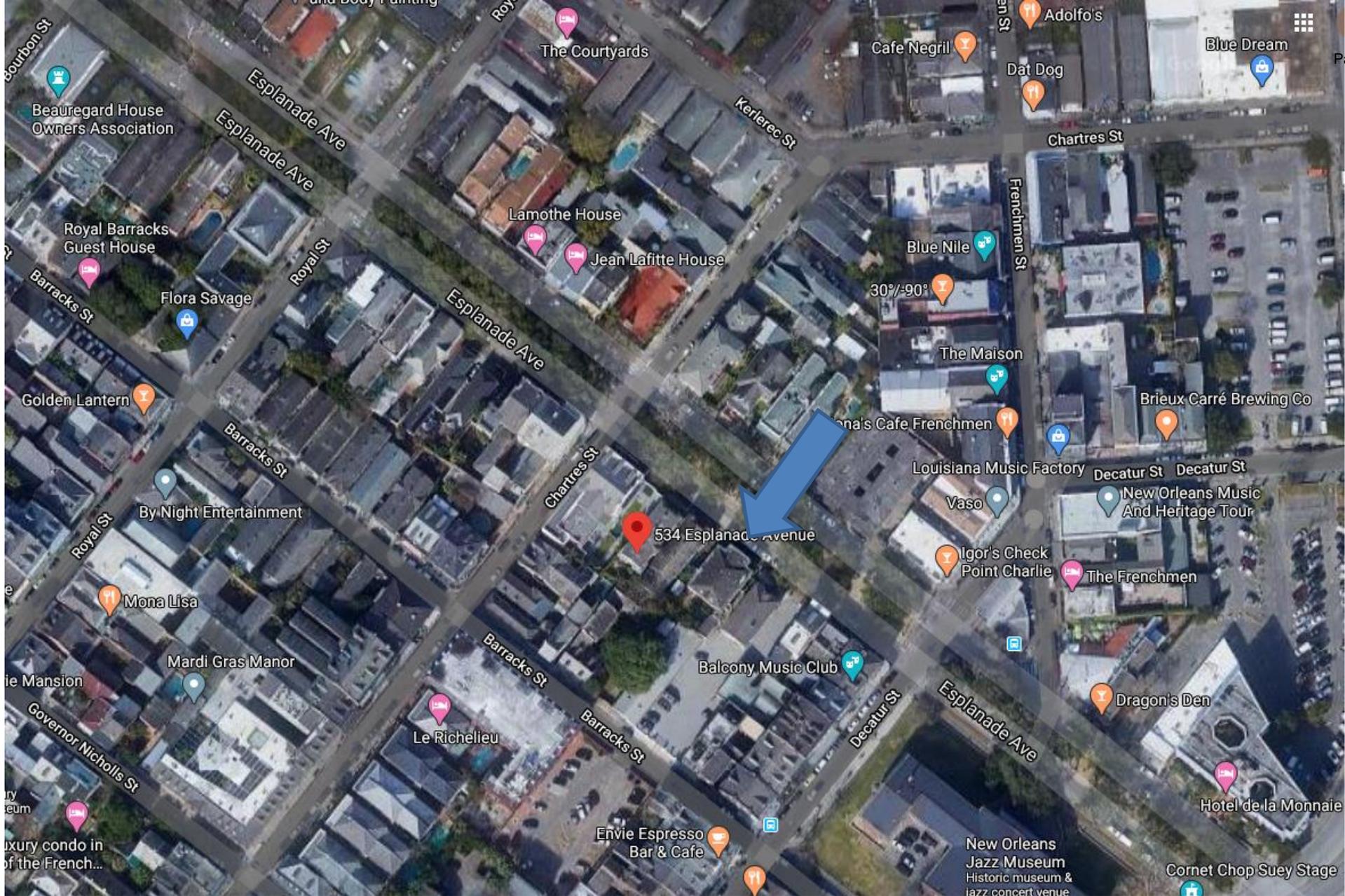


⑥ SITE DETAIL - IRON GATE
1" = 1'-0"



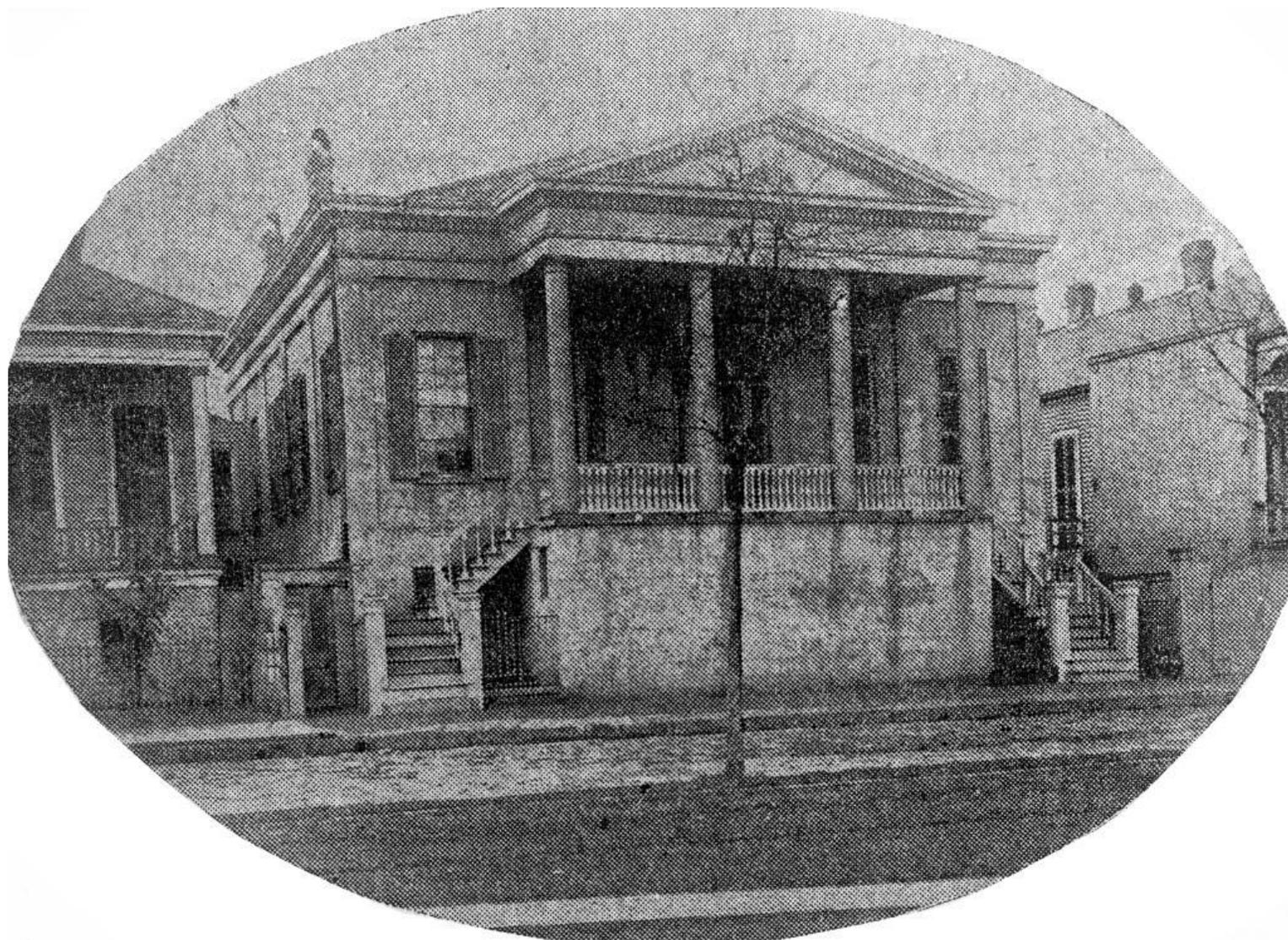


524 Espalande



524 Esplanade





524 Esplanade – ca. 1902

VCC Architectural Committee

January 26, 2021





524 Esplanade - 1939

VCC Architectural Committee

January 26, 2021





524 Esplanade - 1972

VCC Architectural Committee

January 26, 2021





524 Esplanade - 1990

VCC Architectural Committee

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524 Esplanade - 2005

VCC Architectural Committee

January 26, 2021





524 Esplanade - 2005

VCC Architectural Committee

January 26, 2021





524 Esplanade - 2005

VCC Architectural Committee

January 26, 2021





524 Esplanade





524 Esplanade

VCC Architectural Committee

04 24 2020

January 26, 2021





524 Esplanade

VCC Architectural Committee

08 21 2017

January 26, 2021





524 Esplanade

VCC Architectural Committee

04 24 2020

January 26, 2021





524 Esplanade

VCC Architectural Committee

08 13 2020

January 26, 2021





524 Esplanade

VCC Architectural Committee

08 13 2020

January 26, 2021





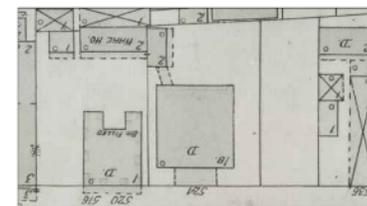
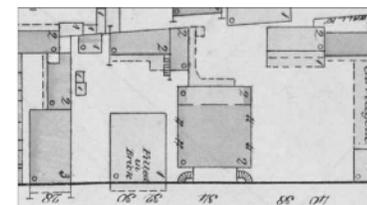
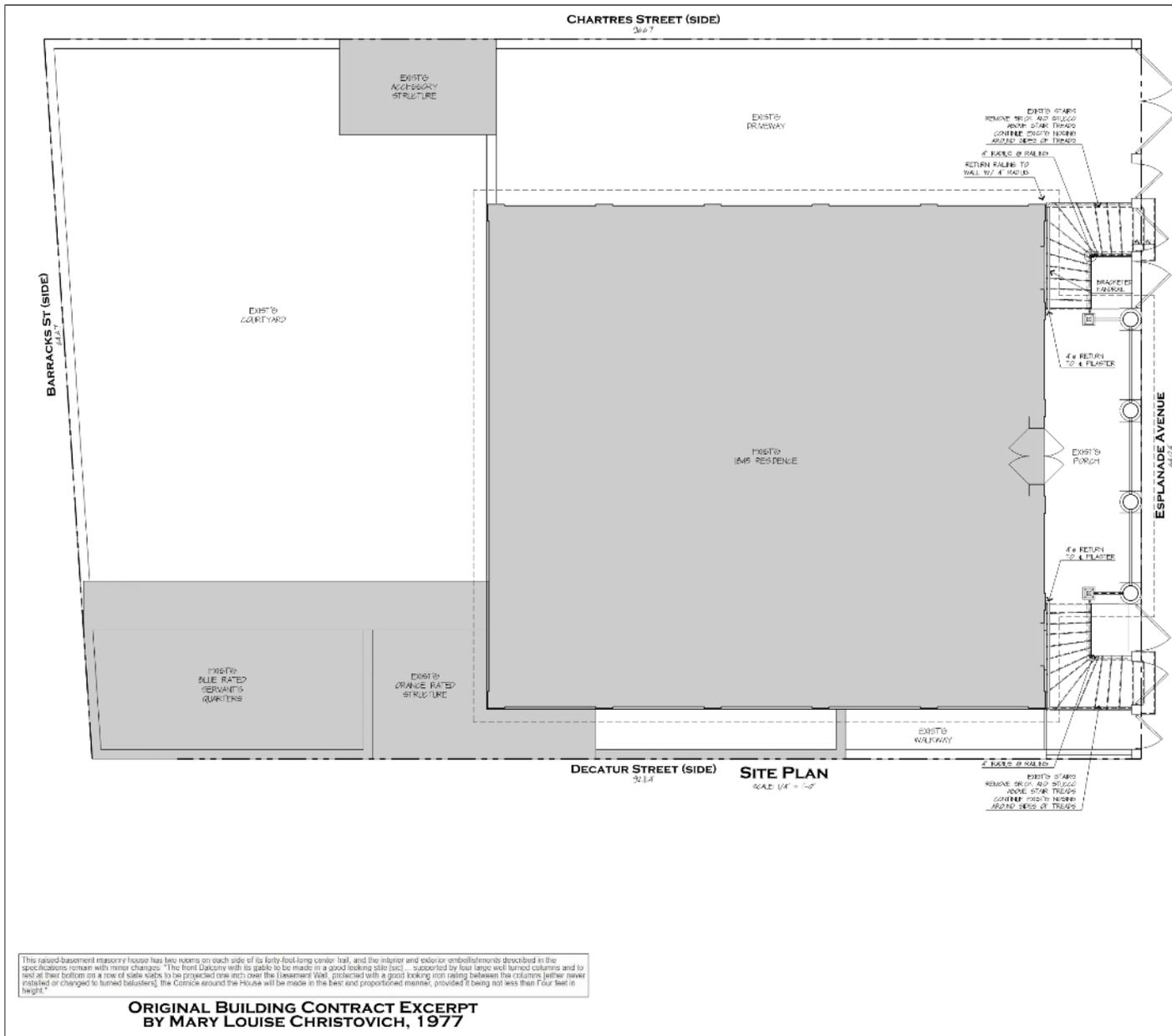
524 Esplanade

VCC Architectural Committee

08 13 2020

January 26, 2021





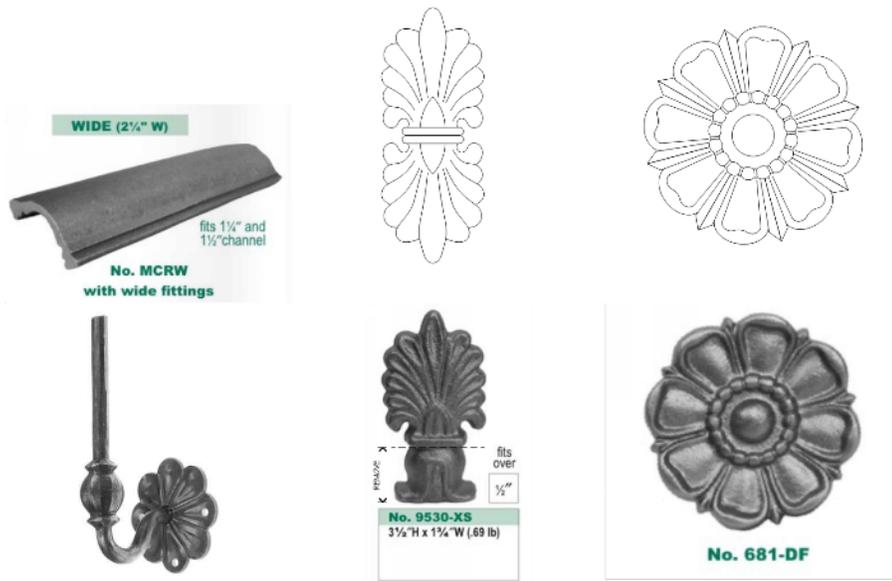
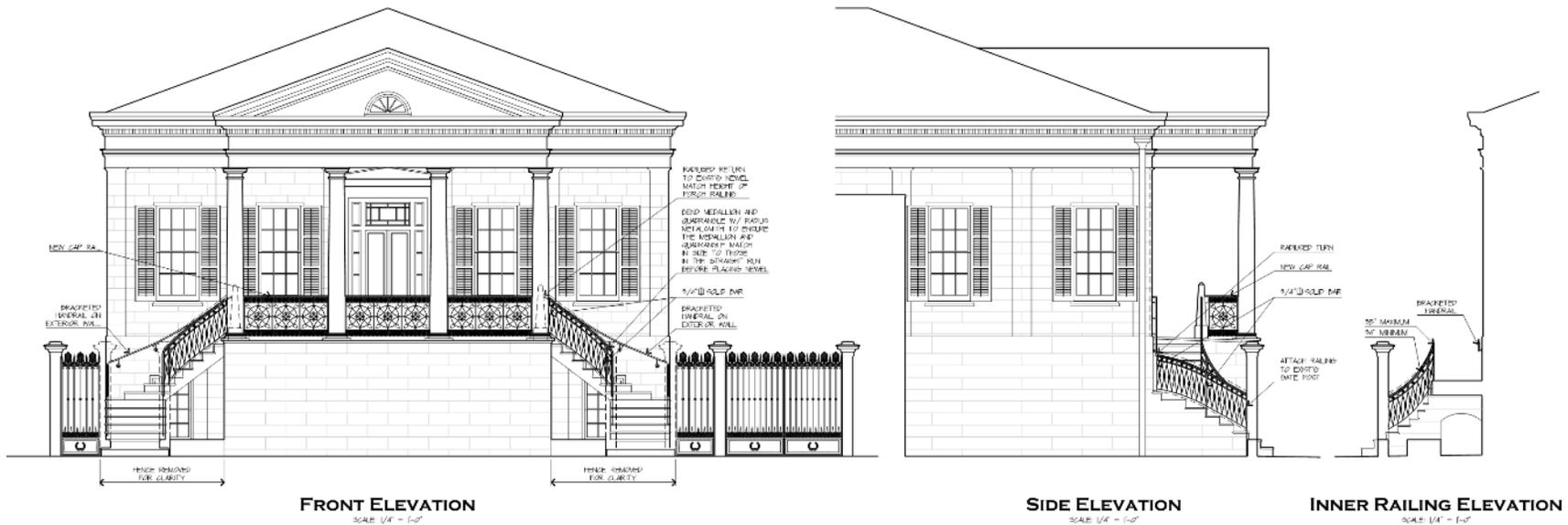
COLUMN AND FENCE MODIFICATIONS	
524 ESPLANADE AVENUE NEW ORLEANS, LA	
STUDIO L+R, LLC	DATE: NOV 5, 2020
1208 BARRACKS STREET NEW ORLEANS, LA 70114 256.609.4313	NOV 5, 2020 524 ESPLANADE AVENUE PLANS/200 1.000 1.000
SITE PLAN	1

524 Esplanade – Conceptually Approved Plans

VCC Architectural Committee

January 26, 2021

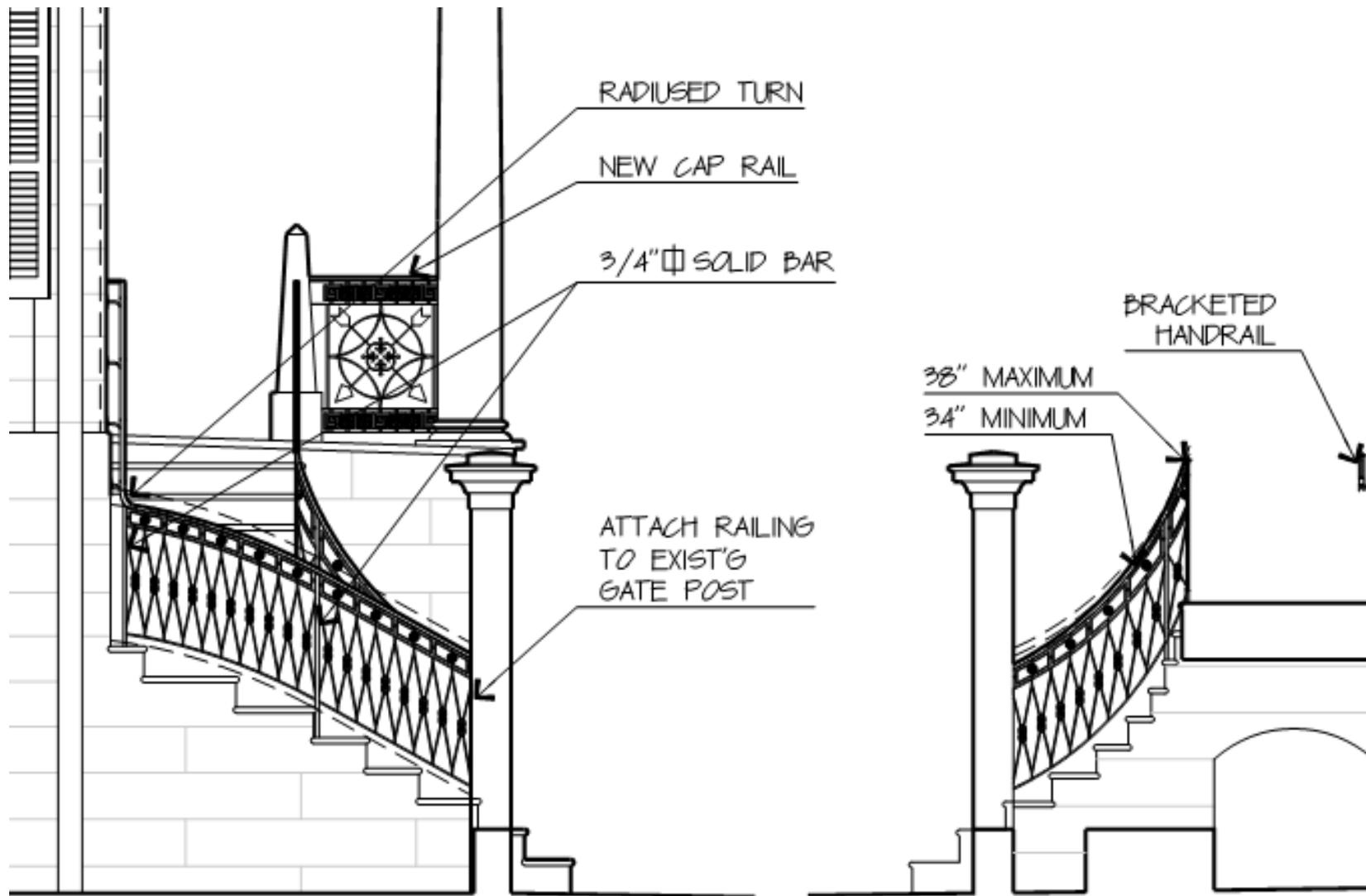




COLUMN AND FENCE MODIFICATIONS		Revised
524 ESPLANADE AVENUE NEW ORLEANS, LA		
STUDIO L+R, LLC 1208 BARRINGER STREET NEW ORLEANS, LA 70118 225.600.4213	DATE: 1/26/21	
	DATE: 1/26/21	
	PROJECT: 524 ESPLANADE AVENUE, FLOOR PLAN/2D	
	DATE: 1/26/21	
ELEVATIONS	2	

524 Esplanade – Conceptually Approved Plans







Chapter 1: a good beginning

I hire an architect with interest in classical revival architecture for my Palladian inspired house, Lewis Robinson. We have similar taste . He is a very reassuring since he stated that he's never had a project turned down by the commission . He does his research and shows me several fancy designs from a catalog that was printed in the 1840s. My home was constructed in 1845 .

Lewis consults with a senior member of the staff and reports to me that since the staircase was a later addition, that there would be no problem in removing the railing or the entire staircase.

Since the 1879 survey showed a semi circular staircase, I asked him to design an iron staircase similar to the one in my home. Unfortunately, after doing measurements, he concluded that a new staircase would not meet current code standards of width and rise. I find this baffling that I am not allowed to construct a staircase that would be far safer then the current staircase which has irregular , variable rises. Certainly, a new staircase with the same riser heights would be safer. He advised me to only remove the railing and leave the steps.

Chapter 2: rejection

The historic design is brought to the architectural committee. The staff historian objects to the removal of the railing since it has been there over 50 years. She states that the commission is following the recommendations of the national park service.

The chairman of the commission was encouraging when he stated:(This is not an exact quote) since 524 Esplanade already has an historic design railing on the gallery and along the sidewalk, it would be reasonable to have a railing of similar design.

I read the national parks service manifesto. I would like to stress that this is not a mandate or a law. It is a guideline, which they say can be modified by local historic districts. Saving something that is 50 years old in a newer city might be appropriate, but I disagree that it is appropriate in one of the oldest cities in the United States.

When I was restoring 915 Bourbon St. , I saved the two 1950s expensive bathrooms. One of the bathrooms was blue, the other was pink, a color I don't like! Nevertheless, I had the pitted chrome, re-chromed. I had a row of cracked pink tiles replaced. Finding the same discontinued tile was very time-consuming. Fortunately, when I sold the house, the new owners did not replace the bathrooms with modern ones.

The architectural committee rejected the removal of the concrete railing unanimously. I was advised to appeal it to the full commission .

Chapter 3: reversal

The issue of removing the concrete railing was appealed to the full commission. Fortunately, one of the members asked what was the height of the railing. This was a issue not addressed by my architect or the three architects on the committee. It seems that my concrete railing was too short, therefore unsafe according to current codes current codes. Commission commission approved unanimously the removal of the concrete railing.

I would like to bring up the issue that the architects sit on both the architectural committee and the full commission. So, appeals are voted on by members that have already rejected the design. This does not seem right to me.



Chapter 4: back to the drawing board

The staff negotiates with my architect on simpler and simpler designs. This is beginning to look to me like something from Levittown, NY! But then, the staff is wearing me down, I'm willing to agree to anything. Unfortunately, due to the length of this process, the decorative element that was agreed to by the staff, has now been discontinued! My architect who never considers cost, tells me to have it replicated from the last three pieces that he bought. He also states that it should be one and a half inches thick.

My Iron man made up one sample, the cost is \$200 each . At this point, I've already spent over \$10,000 on one set after another of simpler drawings demanded by the staff. The staff has now made this project so expensive, that it is unaffordable.

I would like to point out that I have been actively involved in restoring buildings in the French quarter since 1975. This is the third building. I have always maintained using the buildings according to their original use as a private home. My first renovation at 1012 Royal St., I turned four apartments in the main building back to a single residence. At 524 Esplanade Ave., I have , by myself, repaired the plaster, painted all the rooms, sanded and varnished the floors, stripped off over 10 coats of paint off the wood risking lead poisoning, repaired the roof multiple times risking cancer from asbestos tiles, replaced termite eaten wood. Instead of playing golf or tennis, my physical exercise is working on my home.

Chapter 5: desertion

I discuss cost with my architect and tell him we need a more affordable design. He understands my concerns, but is unwilling to submit any appeals to the full commission and the city Council. He is unwilling to risk his relationship with the staff members. This might make it difficult for him to get future projects approved in the French Quarter, or even in another part of the city.

This is a complaint that I've heard multiple times in the past from architects who are unwilling to work in the French quarter. They have explained to me that they receive little guidance, rules are not clear, the rules continually change with changes in the staff or the changing members on the architectural committee.

Chapter 6: Bauhaus Humbug

This change to modernism reverses 70 years of the policies of the commission. For 70 years, historical designs have not only been approved but were required. This staff is, in effect , saying that for 70 years the citizens that served on the architectural committee's and the commission were wrong. Also, the architects and the commission members who approved my balcony railing and my sidewalk fence were wrong. Bauhaus humbug!!

Many of these volunteers were my friends, for example , Mary Morrison who lived in and who fought for the French Quarter from the 1930s and helped Save it along with her husband Jake. I was also friends with the previous owners of the house, the Ronstroms, who bought the house in the 1930s. I had been entertained more than 50 times by this couple with their stories of the French quarter and our house. They had seen my renovation at 1012 Royal St. through the many stages. Dr.Ronstrom was very pleased that I was buying his precious home.

Please approve the affordable and historic design.

Please include this letter in my application.



-----Original Message-----

From: Robert Kenny <drrobertkenny@yahoo.com>

Page 46 of 221

Sent: Tuesday, February 2, 2021 12:07 AM

To: Bryan D. Block <bdblock@nola.gov>; Erin Holmes <erinholmes@vcpora.org>

Subject: Response to staff analysis January 26, 2021

EMAIL FROM EXTERNAL SENDER: DO NOT click links, or open attachments, if sender is unknown, or the message seems suspicious in any way. DO NOT provide your user ID or password. If you believe that this is a phishing attempt please forward this message to phishing@nola.gov

“Following the conceptual approval of a simplified railing design at the 11/10/2020 meeting, the owner stated that the cost of the cast iron center decorative element would be over \$200 each.”

This sentence seems to imply that all of the above occurred shortly after November 10, 2020. The sequence of events is the following.

I, Dr. Kenny, called 2 ironworkers that I had used previously: Iron work services, and Gutierrez iron. I left detailed messages about reproducing from a casting, a thicker two sided casting. I also call the “Premier ironworker in New Orleans” recommended by my architect. After leaving messages weekly for over a month at these three businesses, I only had one reply.

I have worked with Mr. Gutierrez on several projects at my home and rental properties. Some of the iron ornamental iron jobs were missing pieces and Mr. Gutierrez was able to reproduce them.

Finally, in January Mr. G brought me the finished sample. He said the thickness was very difficult to make and would cost at least \$200 each. It was at this time that I asked him to bring me the catalog so I could look for ready-made pieces. These pieces would cost less than \$50 each and would greatly decrease the total cost of the project. This was not just one decorative element, but an entire section.

“No revised drawings have been submitted.”

This is true, after over \$10,000 in architectural fees because of continual staff demands for simpler drawings, without any guidance, I do not want to waste more money until the ready-made iron piece is approved.

It is unclear how these rectangular elements would rise and the curve around the stairs.

This is true for the piece which has straight lines. The rising curve that the staff is mentioning is the railing being convex. Otherwise, the railings are a stretch stretch straight, making a 90° turn with the inner railing. This is also a problem with the previously conceptually approved Design with the parallelograms. You have straight lines with the parallelograms, yet the railing is not straight, it is convex, gradually turning upward and then downward. The ready-made piece will have to be made higher in order to meet the 34 inch to 38 inch rule.

My idea would be to add 3 inch rosettes previously conceptually approved above ready-made piece.

However, this criticism does not apply to the fancier ready-made piece. This design is very curvy and not linear. The bottom section of this design could easily be cut to compensate for the Convex railing. However, the staff chose to comment only on the rectangular Design ready-made piece.

More Analysis Of staff analysis to follow.

Cheers, Dr. Kenny

524 Esplanade – Letter from Owner/Applicant

VCC Architectural Committee

February 9, 2021



-----Original Message-----

From: Robert Kenny <drrobertkenny@yahoo.com>

Sent: Tuesday, February 2, 2021 2:06 AM

To: Bryan D. Block <bdblock@nola.gov>; Erin Holmes <erinholmes@vcpora.org>

Subject: Staff analysis January 26, 2021

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Staff quotes department of interior guidelines.

I have already commented oh my disagreement with reversing 70 years of policies followed by the Vieux Carré Commission.

Staff reminds the committee that I have already significantly altered the front of the building twice.

It would have been nicer and kinder if this criticism was tempered by the acknowledgment that this was all done with Vieux Carré Commission approval. For years, I thought I was doing right by following the guidelines of the commission. Now, I am the bad guy, the ignorant owner , a destroyer of the French quarter.

The contemporary addition in 2017.

Well at least this should suit staff's taste, but The staff doesn't say so. The Commission staff fought this project for years. I finally had to go to the city Council, And they overrode the commission. The design that was approved by the city Council, the staff decided to try to block it. So, after requiring me to get a structural engineer report for the city Council Design, the director changed his mind, and thought that he should be able to change the design. He rejected one design after another, and advised me to get another architect that was more sensitive to the quarter. This meant someone who agreed with the director. So I was directed to new architect by an architectural committee member. This new architect said that this was a very difficult project and he had to think on it a lot, think and bill, think and bill, think and bill. When the bills got to \$20,000 with this new architect, I had to get my old architect involved to help him think clearly and quickly.

The design approved by city Council went between my building and the building next-door Riverside. The city Council Design wars much shorter and would've cost a lot less. I believe the director was trying to wear me down and increase the cost to prevent this project.

There are similarities between the simpler ready-made Design and the conceptually improved Design. Both are angular and have anthemion . However, the fancier design would be easier to use with the convex railing.

The anthemion is above my front door which is the reason why I used it on the sidewalk fence. The angular piece has a SIMPLIFIED Greek key type Design which are in my gallery railing and the front fence. Again, both the gallery railing and sidewalk fence were approved by the Vieux Carré Commission. Does the angular ready made piece meet the interior department recommendation for a simplified design? It does.. It is much simpler then the design on the Beauregard house, or the house on Dauphine Street.

The 1876 survey showed semi circular railing and staircases. The 1896 survey showed that there was no staircase. The staff seems to think that they railing should be a wood railing from a picture that was taken after 1915. How do we know this? Because the picture also shows a building that was built in 1915 on the lake side of my home.

524 Esplanade – Letter from Owner/Applicant

VCC Architectural Committee

February 9, 2021



A wood railing and staircase was part of the specifications printed in the Esplanade Avenue book. The book also specified an iron gallery railing which the staff analysis never mentioned. The staff seems to leave out anything that would not support their opinion and taste. It seems reasonable to assume that the original gallery railing rusted and was thrown out with modernization in the 20th century. I did try to find an older picture that would show the original iron gallery railing, but was unsuccessful.

Since the first owner quickly lost the house in a sheriff's sale, it is reasonable to assume they would have built a more expensive staircase like the Beauregard house which they were copying, but they ran out of money.

Is my house original, no.

Is my home copying two previously built homes in the French quarter, yes.

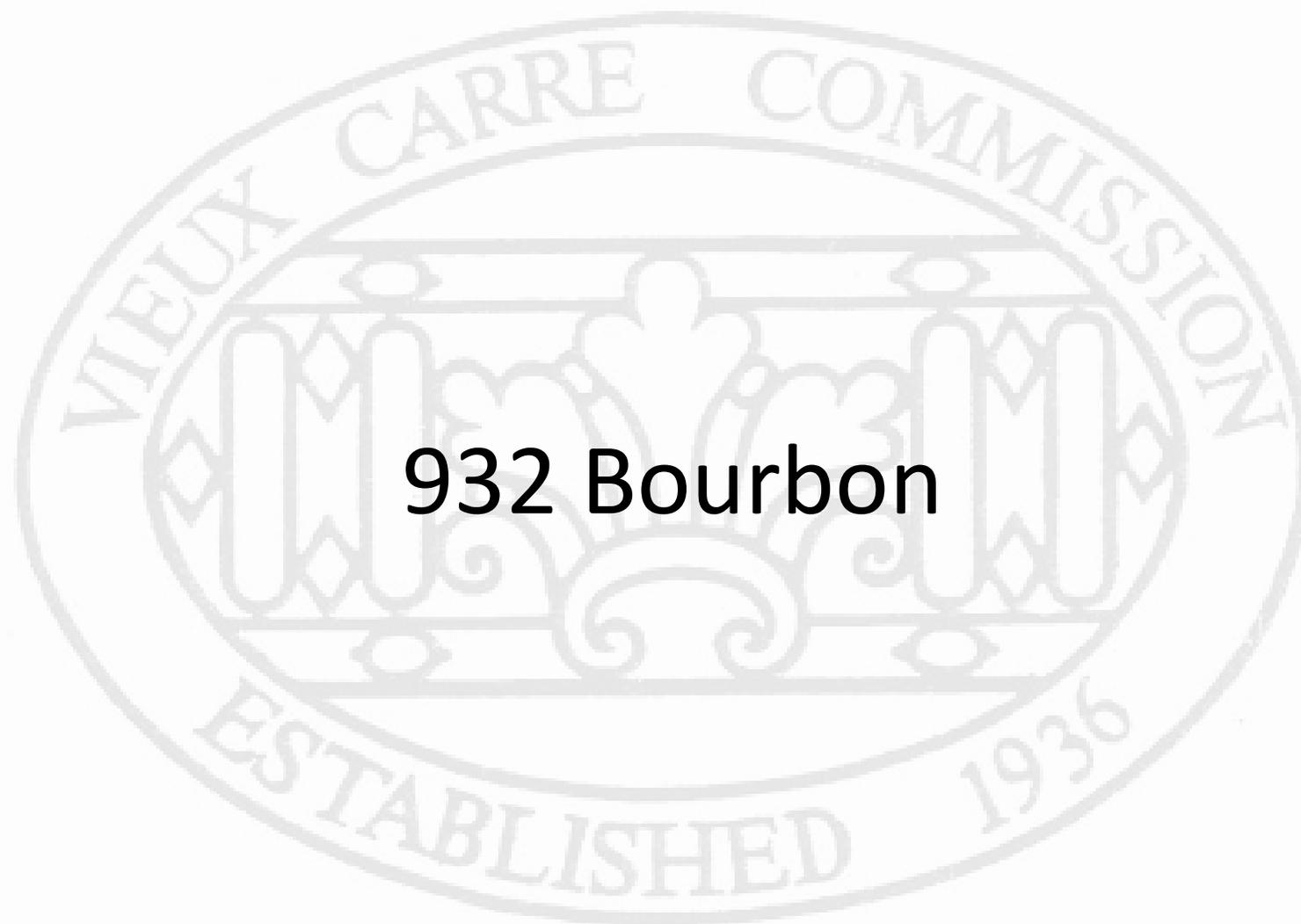
Are the two previously built homes original architecture, no.

There are no Frank Lloyd Wright houses in the French quarter.

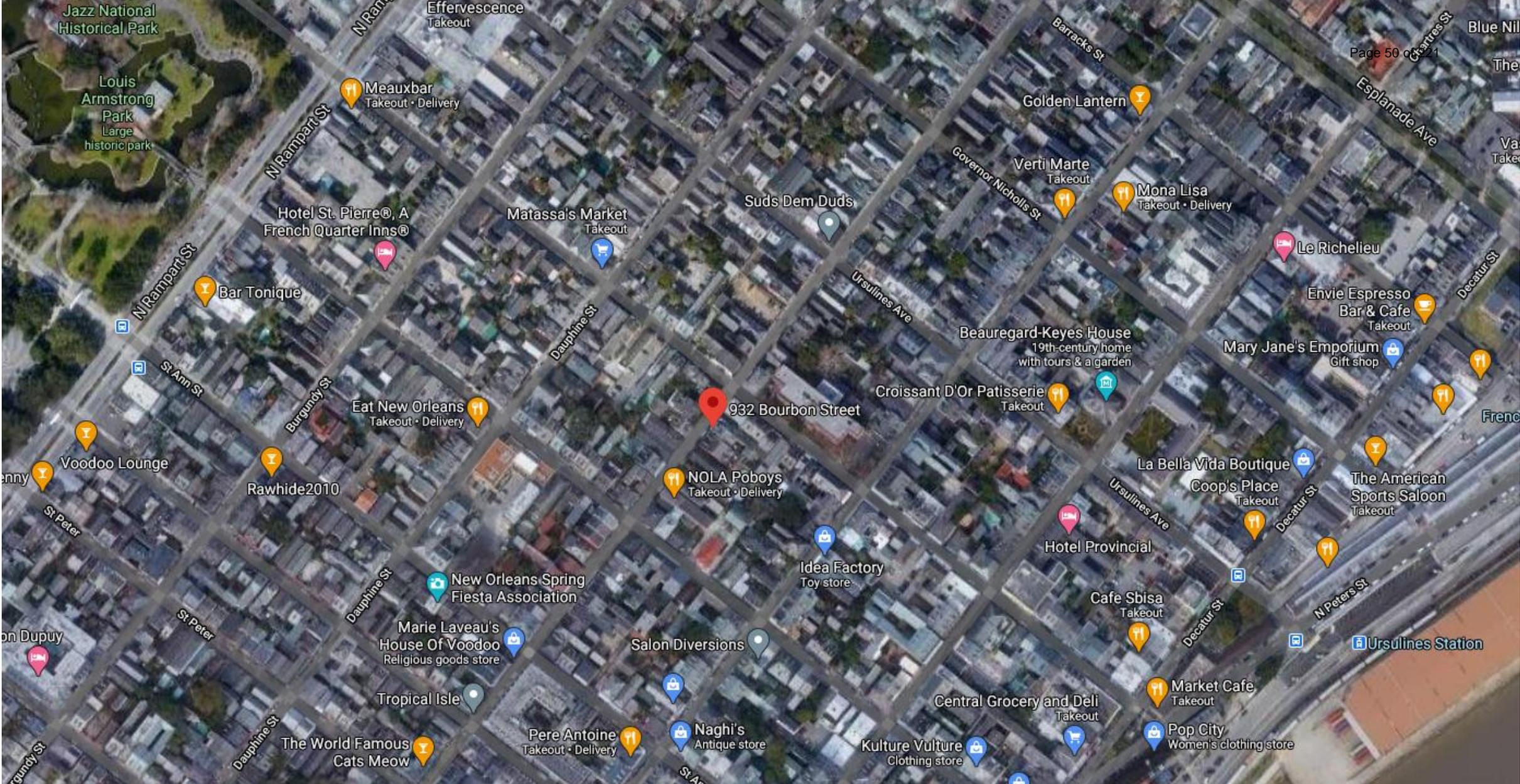
Could the original wood staircase have rotted quickly and replaced within a few years, possible. Could there have been a metal staircase and metal railing install in the 19 century, possible. Could the second owner have torn down they original cheap wooden staircase and replace it with an expensive metal staircase, very likely.

Cheers, Robert Kenny





932 Bourbon



932 Bourbon

VCC Architectural Committee

February 9, 2021





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VCC Architectural Committee

February 9, 2021





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VCC Architectural Committee

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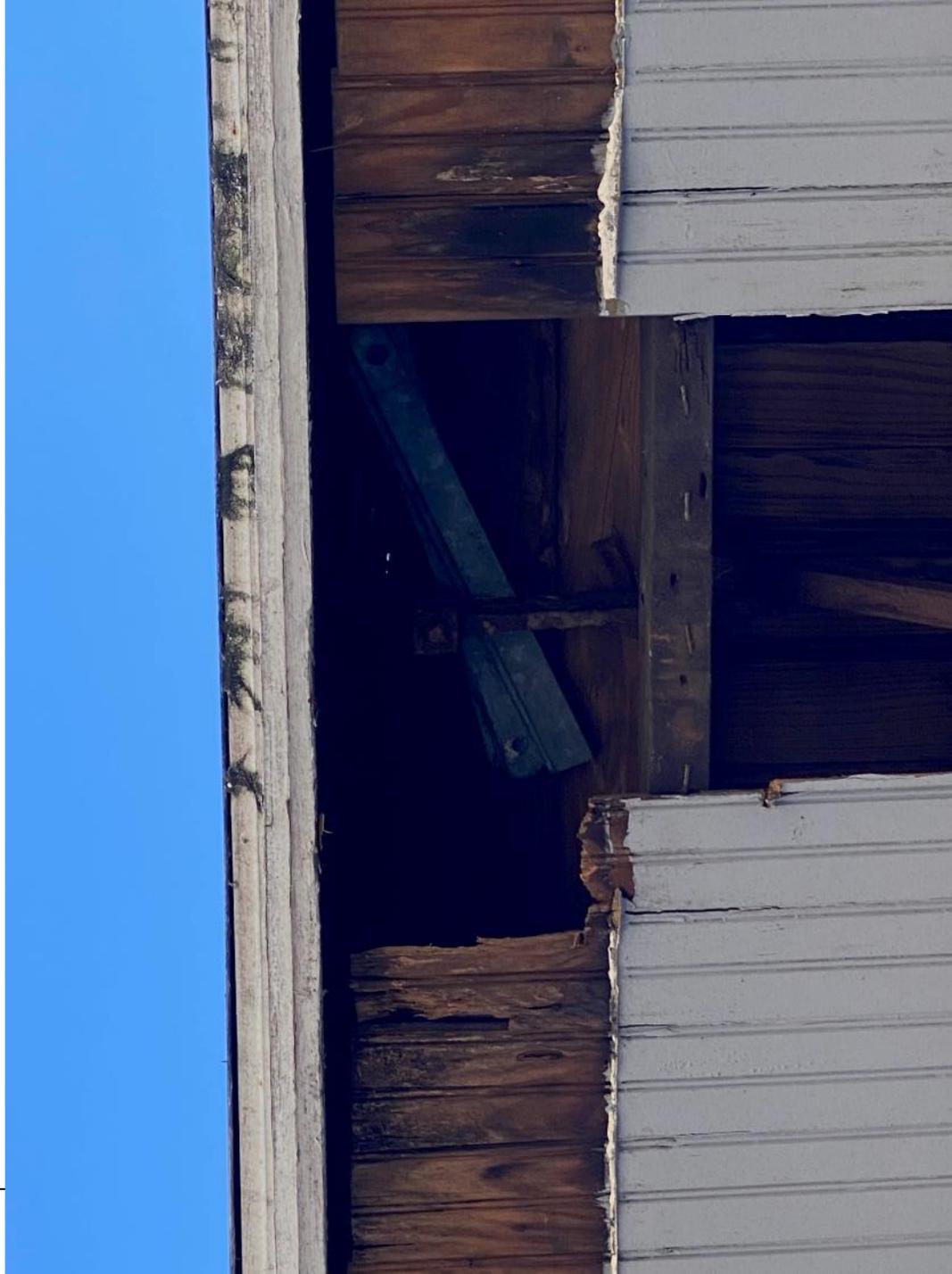
VCC Architectural Committee

February 9, 2021



932 Bourbon

VCC Architectural Committee



February 9, 2021



932 Bourbon Street Restoration New Orleans, Louisiana 70116

OWNER: 932 BOURBON STREET LLC
DBSASSONE@AOL.COM
(P) 504-252-2931

ARCHITECT: ARCHETYPE, LLC
ATTN: LACEY WOTRING
LACEY@STUDIO.ARCHETYPE.COM
(P) 337-280-1089

SHEET INDEX:

- G0.0 TITLE PAGE & SHEET INDEX
- A1.0 SITE/ROOF PLAN & EXTERIOR FACADE MODIFICATIONS
- A2.0 PROPOSED SIDE MODIFICATIONS & DETAILS

BUILDING INFORMATION:

BUILDING ADDRESS:
932 BOURBON STREET
NEW ORLEANS, LA 70116

PROJECT DESCRIPTION: SCOPE IS FOR EXTERIOR WORK ONLY OF EXISTING MULTI-FAMILY RESIDENCE. NO INTERIOR WORK OR MODIFICATIONS TO MECHANICAL, ELECTRICAL OR PLUMBING SYSTEMS

LOT: SQ. 57 LOT 4 23X101 - 2,323 SF

BUILDING AREA
EXISTING CONDITIONED SPACE: 4,000 SF
ADDED CONDITIONED SPACE: 0 SF

FLOOD ZONE/FIRE DISTRICT
FLOOD ZONE: X
FIRE DISTRICT: YES

FOUNDATION: EXISTING PIER FOUNDATION TO REMAIN

ZONING - CITY OF NEW ORLEANS
ZONING DISTRICT: VCR-1
ZONING DESCRIPTION: VIEUX CARRE RESIDENTIAL DISTRICT

APPLICABLE CODES AND REGULATIONS:
(NOT LIMITED TO THE FOLLOWING)
INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION W/ NEW ORLEANS AMENDMENTS

NO AUTOMATIC SPRINKLER SYSTEM

CONSTRUCTION TYPE
IBC TYPE IIIA
NFPA TYPE III (215)

LEGEND:

SYMBOLS		HATCH PATTERNS	
	WINDOW TYPES		BRICK
	ELEVATION TYPES (PER ASCE)		EARTH
	DOOR NUMBER		CONCRETE
	INTERIOR ELEVATION		STUCCO
			WOOD BLOCKING
			GYP BOARD
	BUILDING SECTION / WALL SECTION / SECTION DETAIL		CONCRETE MASONRY UNITS (CMU)
			FINISHED WOOD
	ROOM NAME / NUMBER		WOOD GRAIN
	DETAIL REFERENCE / ENLARGED PLAN		STUCCO
	KEYNOTES / GENERAL NOTES		GYP BOARD
	COLUMN GRID LINES		CONCRETE MASONRY UNITS (CMU)
	AIR FILTRATION		BRICK RUNNING BOND
	CEILING ELEVATION		SIDING REGULATION
			STEEL
ACT	ACOUSTIC TILE CEILING		
A.F.F.	ABOVE FINISHED FLOOR		
ALUM./TEMP. GLASS	ALUMINUM TEMPERED GLASS		
ANO. ALUM.	ANODIZED ALUMINUM		
BD.	BOARD		
B.F.F.	BELOW FINISHED FLOOR		
CPT.	CARPET		
CONC.	CONCRETE		
DIA.	DIAMETER		
F.O.B.	FACE OF BOARD		
GYP.	GYPSUM		
H.M.	HOLLOW METAL		
O.C.	ON CENTER		
PTD.	PAINTED		
PTD. GYP.	PAINTED GYPSUM BOARD		
PTD. MR. GYP.	PAINTED MOISTURE RESISTANT GYPSUM BOARD		
SIM.	SIMILAR		
S.C. WOOD	SOLID CORE WOOD		
T & G	TONGUE AND GROOVE		
TH.	THICK		
TYP.	TYPICAL		
VCT	VINYL COMPOSITE TILE		
V.O.F.	VERIFY ON JOB		

GENERAL NOTES:

1. SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.
2. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND BECOME GENERALLY FAMILIAR WITH THE PROJECT AND WITH THE IMPACT OF THE NEW WORK ON EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE APPROVED WHICH IS ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO MEET THIS REQUIREMENT.
3. SURVEY EXISTING ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL SYSTEM LOCATIONS AND COORDINATE WITH THE DOCUMENTS PRIOR TO SUBMITTING A PROPOSAL. FOR THE WORK, VERIFY THAT ALL NEW CONSTRUCTION AND EQUIPMENT INSTALLATIONS ARE COMPATIBLE WITH BOTH THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. ALL COST OF RELOCATING OR MODIFYING EQUIPMENT SHALL BE REFLECTED IN THE CONTRACTOR'S PROPOSAL. CHANGE ORDERS OR JOB EXTRAS FOR WORK SHALL NOT BE CONSIDERED IF VERIFICATION OF JOB CONDITIONS COULD HAVE BEEN MADE PRIOR TO SUBMITTING THE PROPOSAL.
4. PROVIDE POSITIVE SEPARATION OF DIS-SIMILAR MATERIALS.
5. WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS. LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK OR IMMEDIATELY UPON DISCOVERY.
6. THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT.
7. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS.
8. THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
9. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH HIS SUBCONTRACTORS. ANY CONFLICTS WITH HIS WORK, EQUIPMENT PLACEMENT, ETC. ARE TO BE RESOLVED PRIOR TO INSTALLATION OF THE WORK.
 - A) THE CONTRACTOR SHALL COORDINATE AND LOCATE ELECTRICAL DEVICES, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CONFLICTS WITH CASEWORK, DOORS AND OTHER TRADES.
 - B) THE CONTRACTOR SHALL VERIFY & COORDINATE WITH ALL TRADES, THE SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, OR BASES AS WELL AS POWER, WATER AND DRAIN INSTALLATIONS BEFORE PROCEEDING WITH THE WORK.
 - C) THE CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES WORK. ALL CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND FINISH SAMPLES FOR ALL CASEWORK, MILLWORK, HARDWARE, FINISHES, AND SPECIALTY ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
12. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
13. VARIATIONS FROM WORK SPECIFIED DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, VARIATIONS IN EQUIPMENT SPECS, ETC. SHALL BE MADE WITH THE APPROVAL OF THE ARCHITECT AND OWNER.
14. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND ORDINANCES AND IN ACCORDANCE WITH THE AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK.
15. IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE FOR COMPLETE FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS THAT ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATION, BUT WHICH ARE REQUIRED AS ESSENTIAL AESTHETICS OR FUNCTIONAL COMPONENT OF THE WORK, SHALL BE INCLUDED AS IF IT WERE DRAWN OR SPECIFIED.
16. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS ENCOUNTERED THAT AFFECTS THE NEW CONSTRUCTION.
17. SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS. DUST CONTROL, UTILITY DISCOVERY, HAZARDOUS AND DISPOSAL, CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.
18. FURNITURE INDICATED ON PLANS IS FOR REFERENCE AND COORDINATION PURPOSES.
19. PROTECT ADJACENT PROPERTY AND PERSONS FROM THE WORK. WORKING OUTSIDE THE DESIGNATED LIMITS IS PROHIBITED UNLESS APPROVED BY THE CLIENT/USER.
20. LIMIT NOISE TO NORMAL CONSTRUCTION OPERATIONS AND REGULATIONS.
21. TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, BUT THE WORK OF OTHER RELATED TRADES AS WELL.
22. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.
23. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE COORDINATED IN ADVANCE OF NEED.
24. VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK.
25. CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE. PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.
26. PROVIDE SECURITY AND FACILITIES TO PROTECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HIS/HER OWN EQUIPMENT AND TOOLS.
27. THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.
28. PROVIDE TEMPORARY LIGHTING AS REQUIRED. CONNECT TO TEMPORARY ELECTRIC SERVICE.
29. PROVIDE TEMPORARY VENTILATION TO PROTECT WORKERS AS REQUIRED.
30. CONNECT TO EXISTING WATER SOURCE FOR TEMPORARY WATER SERVICE. IF UTILITY IS CAPPED, COORDINATE WITH OWNER.
31. PROVIDE TEMPORARY SANITARY FACILITIES.
32. MAINTAIN FIRE SAFETY CONTROL AT ALL TIMES.



NO. 1	DATE	DESCRIPTION

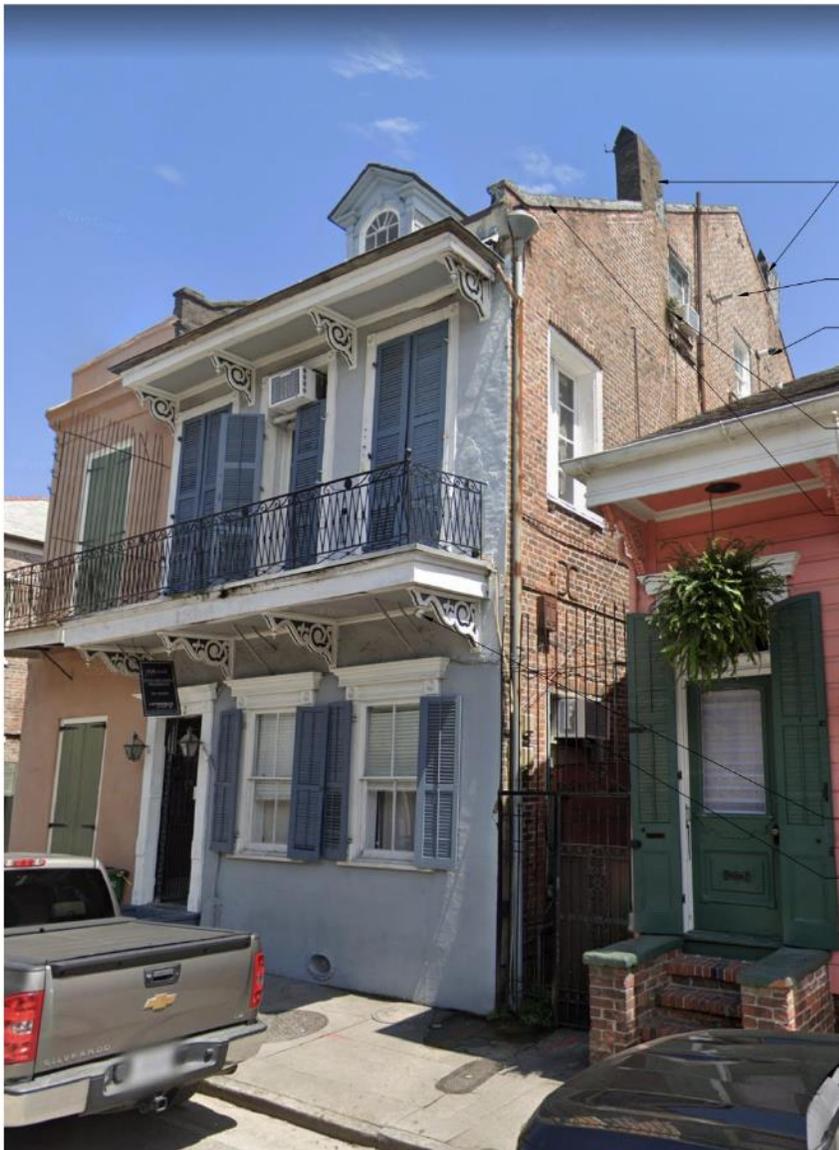
932 BOURBON STREET, LLC
 932 Bourbon Street
 New Orleans, Louisiana 70116

ISSUE DATE:
JANUARY 18, 2021

DRAWING NO. 1:
TITLE PAGE & SHEET INDEX

DRAWING NUMBER:
G0.0





01 DUMAINE STREET (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

STABILIZE AND TUCK-POINT EXIST. CHIMNEY STACKS; REPLACE FLASHING W/ NEW COPPER STEP FLASHING

REMOVE EXIST. VENT; REPAIR WITH BRICK

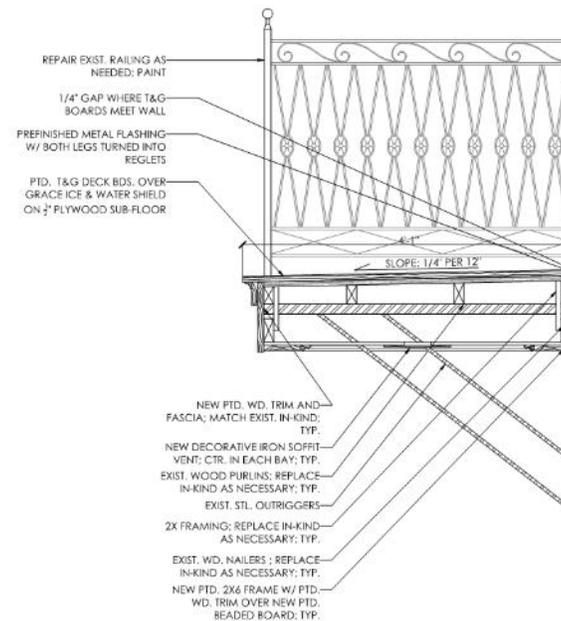
APPLY TO RETAIN EXISTING GAS WATER VENT

REMOVE PLANT GROWTH; REPAIR EXIST. WINDOW TO MATCH EXIST. IN KIND; PAINT; NEW DRIP PAN @ ALL WINDOW UNITS; TYP.

REPAIR PARAPET MORTAR CAP; TYP.

APPLY TO RETAIN SECURITY CAMERA

NEW DRIP PAN @ ALL WINDOW UNITS; TYP.



REPAIR EXIST. RAILING AS-NEEDED; PAINT

1/4" GAP WHERE T&G BOARDS MEET WALL

PREFINISHED METAL FLASHING W/ BOTH LEGS TURNED INTO REGLETS

PTD. T&G DECK BDS. OVER GRACE ICE & WATER SHIELD ON 2" PLYWOOD SUB-FLOOR

SLOPE: 1/4" PER 12"

NEW PTD. WD. TRIM AND FASCIA; MATCH EXIST. IN-KIND; TYP.

NEW DECORATIVE IRON SOFFIT-VENT; CTR. IN EACH BAY; TYP.

EXIST. WOOD PURLINS; REPLACE IN-KIND AS NECESSARY; TYP.

EXIST. STL. OUTRIGGERS

2X FRAMING; REPLACE IN-KIND AS NECESSARY; TYP.

EXIST. WD. NAILERS; REPLACE IN-KIND AS NECESSARY; TYP.

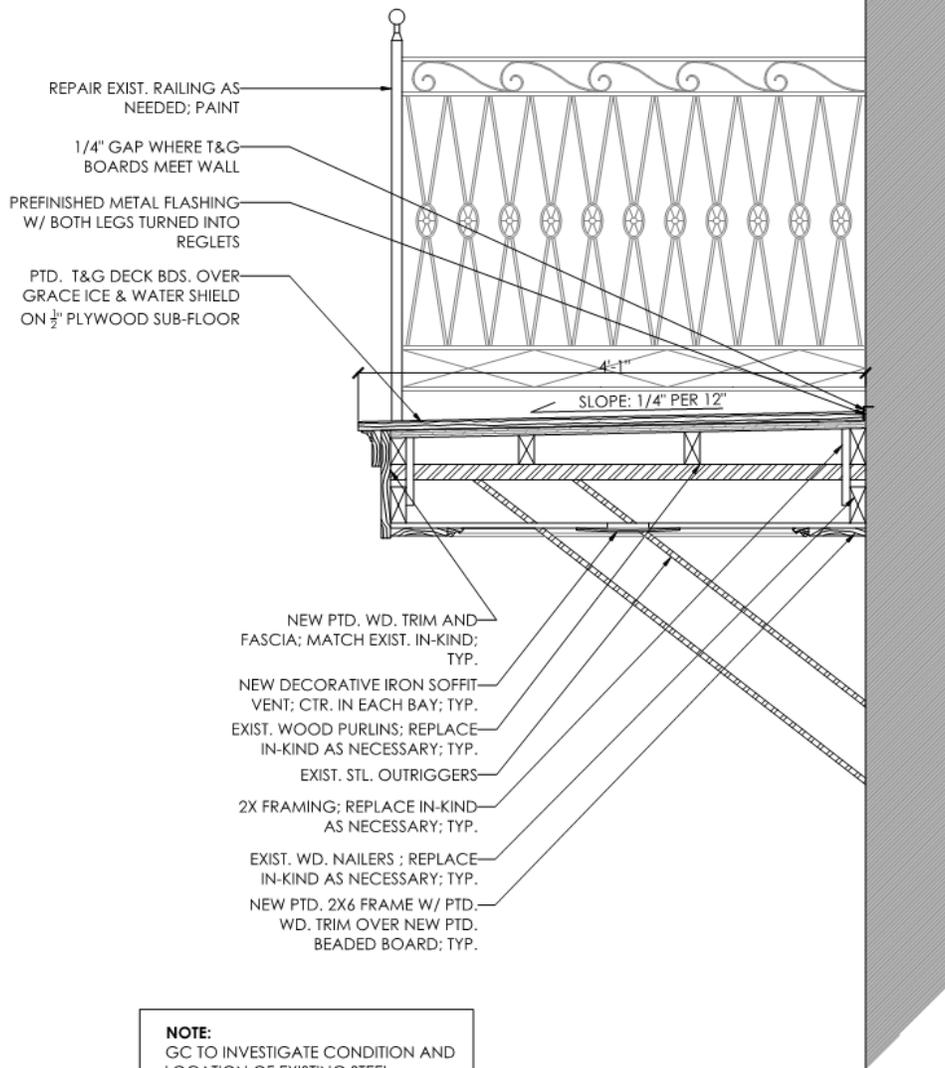
NEW PTD. 2X6 FRAME W/ PTD. WD. TRIM OVER NEW PTD. BEADED BOARD; TYP.

NOTE:
GC TO INVESTIGATE CONDITION AND LOCATION OF EXISTING STEEL OUTRIGGERS & SUPPORT BARS

REINSTALL DECORATIVE WOOD BRACKETS @ EXIST. LOCATIONS (NOT SHOWN)

02 BALCONY SECTION
SCALE: 1" = 1'-0"





NOTE:
 GC TO INVESTIGATE CONDITION AND LOCATION OF EXISTING STEEL OUTRIGGERS & SUPPORT BARS

REINSTALL DECORATIVE WOOD BRACKETS @ EXIST. LOCATIONS (NOT SHOWN)

[Full Meeting Materials - 932 Bourbon](#)

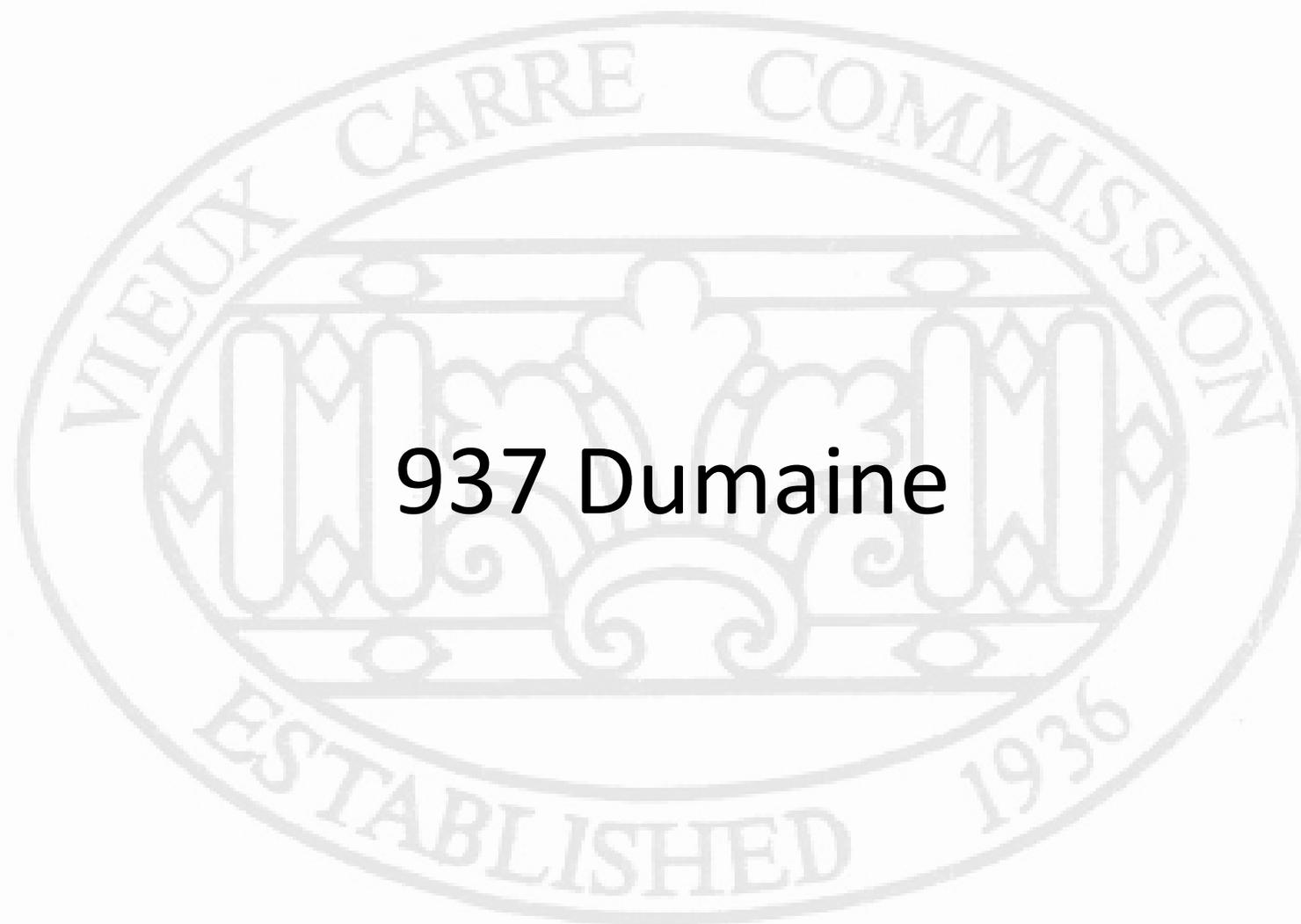
932 Bourbon

VCC Architectural Committee

02 BALCONY SECTION
 SCALE: 1" = 1'-0"

February 9, 2021





937 Dumaine



937 Dumaine

VCC Architectural Committee

February 9, 2021



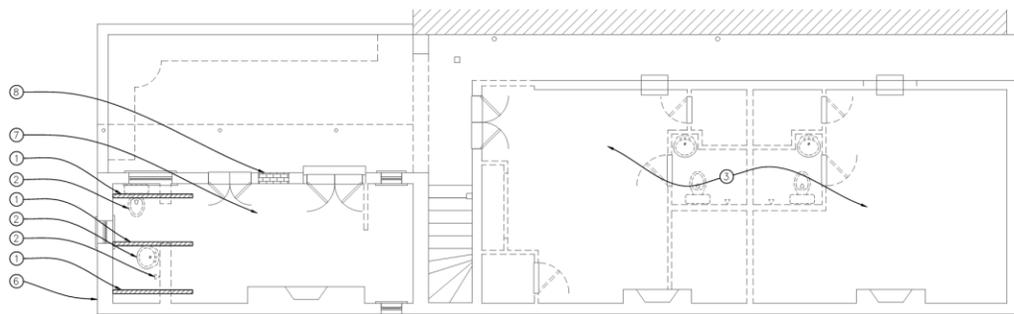


937 Dumaine

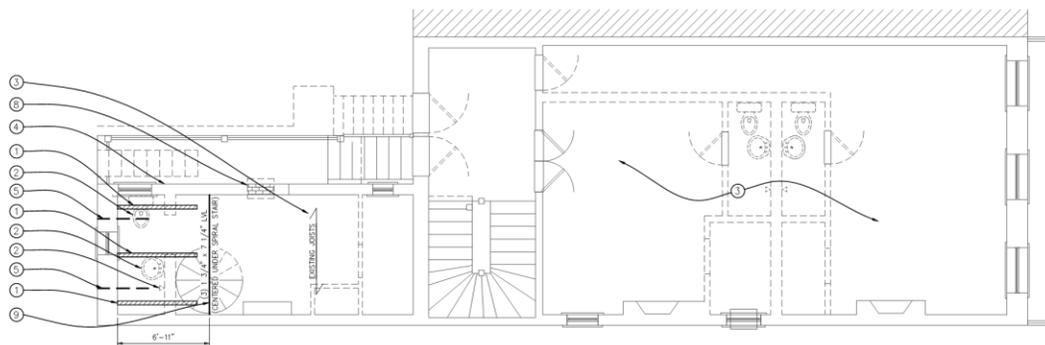
VCC Architectural Committee

February 9, 2021

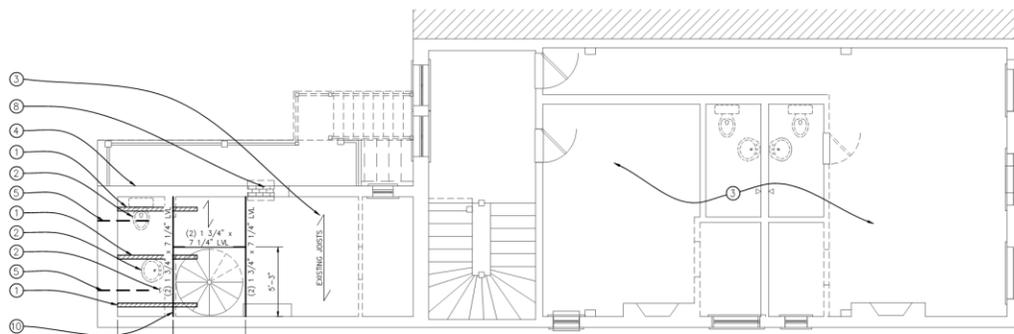




1 FIRST FLOOR DEMO / STABILIZATION PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR DEMO / STABILIZATION PLAN
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR DEMO / STABILIZATION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION SEQUENCE SCHEDULE	
SYMBOL	DESCRIPTION
1	SHORE IN PLACE AT THREE LOCATIONS WITH 2M @ 12' O.C. WALL SYSTEM. WALLS SHALL BE ERECTED STARTING AT THE GROUND FLOOR AND CONSTRUCTED UP TO THE THIRD FLOOR. 1. EXTERIOR WALL CONNECTION 2. CENTER OF JOIST 3. EXTERIOR WALL CONNECTION
2	ALL EXISTING BATHROOM SINKS, TOILETS, AND SHOWERS MAY BE REMOVED STARTING FROM THE THIRD FLOOR TO THE GROUND FLOOR.
3	INSPECT AND REPAIR EXISTING DAMAGED JOISTS AS NEEDED PER DETAIL 401.2. IF EXTENSIVE DAMAGE, THEN REPLACE JOISTS PER DETAIL 501.2.
4	TUCKPOINT ALL DAMAGED MASONRY AS NEEDED PER DETAILS 101.2
5	INSTALL TE-BACKS AS SHOWN PER DETAIL 601.2.
6	EXISTING DAMAGED MASONRY WALL TO BE REPAIRED AS SHOWN PER DETAIL 201.2.
7	REMOVE EXISTING FLOORING TO INSTALL NEW CONCRETE SLAB ON GROUND FLOOR AS SHOWN PER DETAIL 701.2.
8	REPAIR EXISTING HVAC UNIT OPENING AS NEEDED PER DETAIL 101.2.
9	INSTALL LVL BEAM IN SECOND FLOOR FRAMING TO SUPPORT NEW SPIRAL STAIRS ABOVE. SEE DETAIL 801.2 FOR CONNECTION DETAIL.
10	INSTALL LVL BEAMS IN THIRD FLOOR FRAMING FOR OPENING FOR NEW SPIRAL STAIRS. SEE DETAILS 901.1 & 901.2 FOR CONNECTION DETAILS.

axis
ENGINEERING
ONE | THE | INFO@AXISENR.COM
504-380-0800 | 3500 N. CAUSEWAY BLVD. #700
METairie, LOUISIANA, 70002

THESE DRAWINGS ARE NOT TO BE SCALED FROM. SCHEDULES, NOTES, AND DIMENSIONS SHOULD BE FOLLOWED AND NOT SCALED.

Proposed Renovations to
937 Dumaine St., New Orleans
Orleans Parish, Louisiana



REVISIONS:

NO.	DESCRIPTION

TITLE:
DEMO / STABILIZATION FLOOR PLAN

Drawn By: MMF Checked By: JSH
Date: 02/02/2021 Proj #: 20185

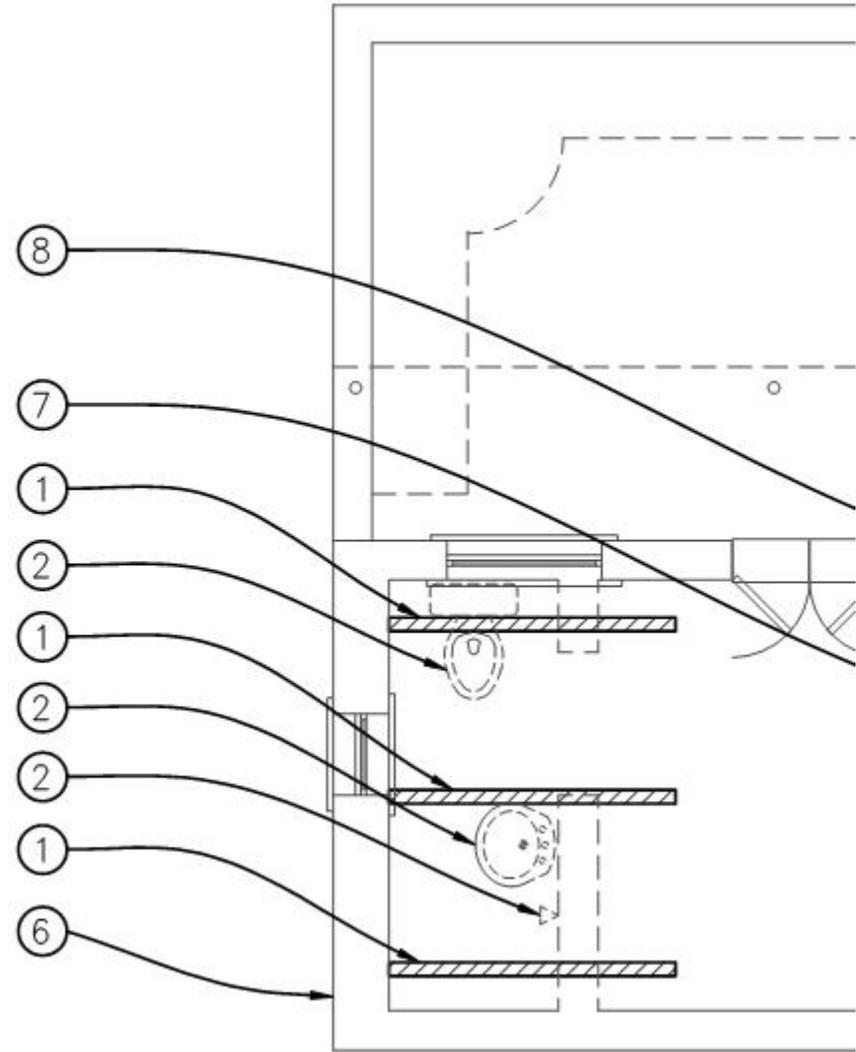
S1.1

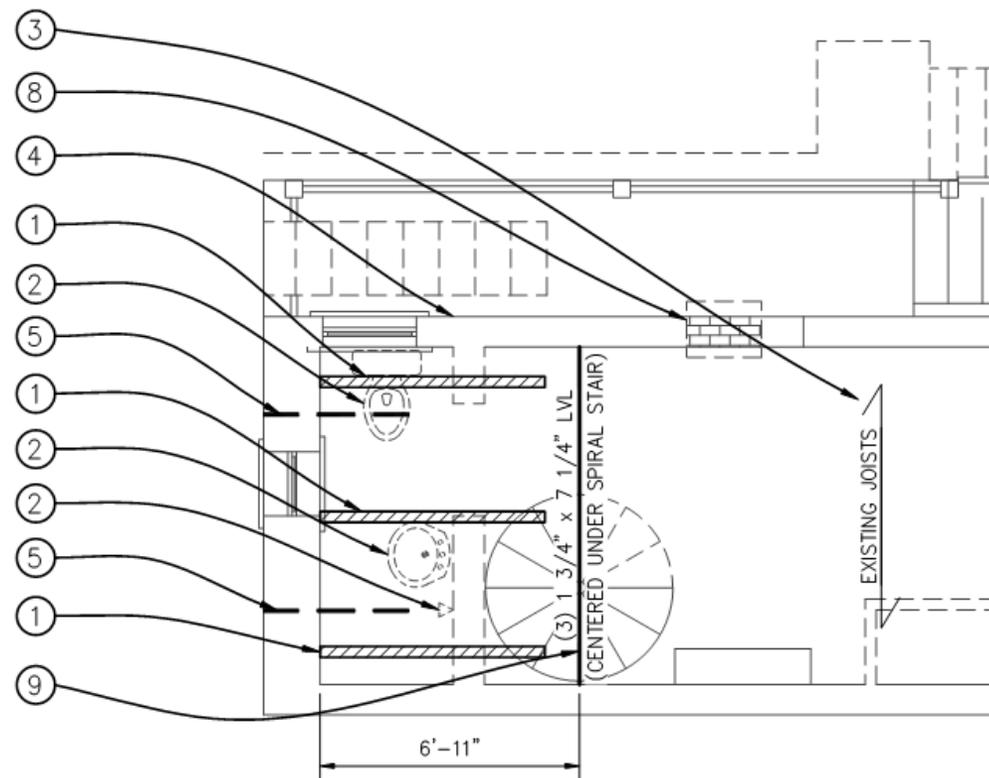
THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL LOCAL, REGIONAL, AND NATIONAL REQUIREMENTS. I AM NOT OBSERVING THE WORK.
ENGINEER: JAMES B. HEASLIP
LICENSE NUMBER: 31593

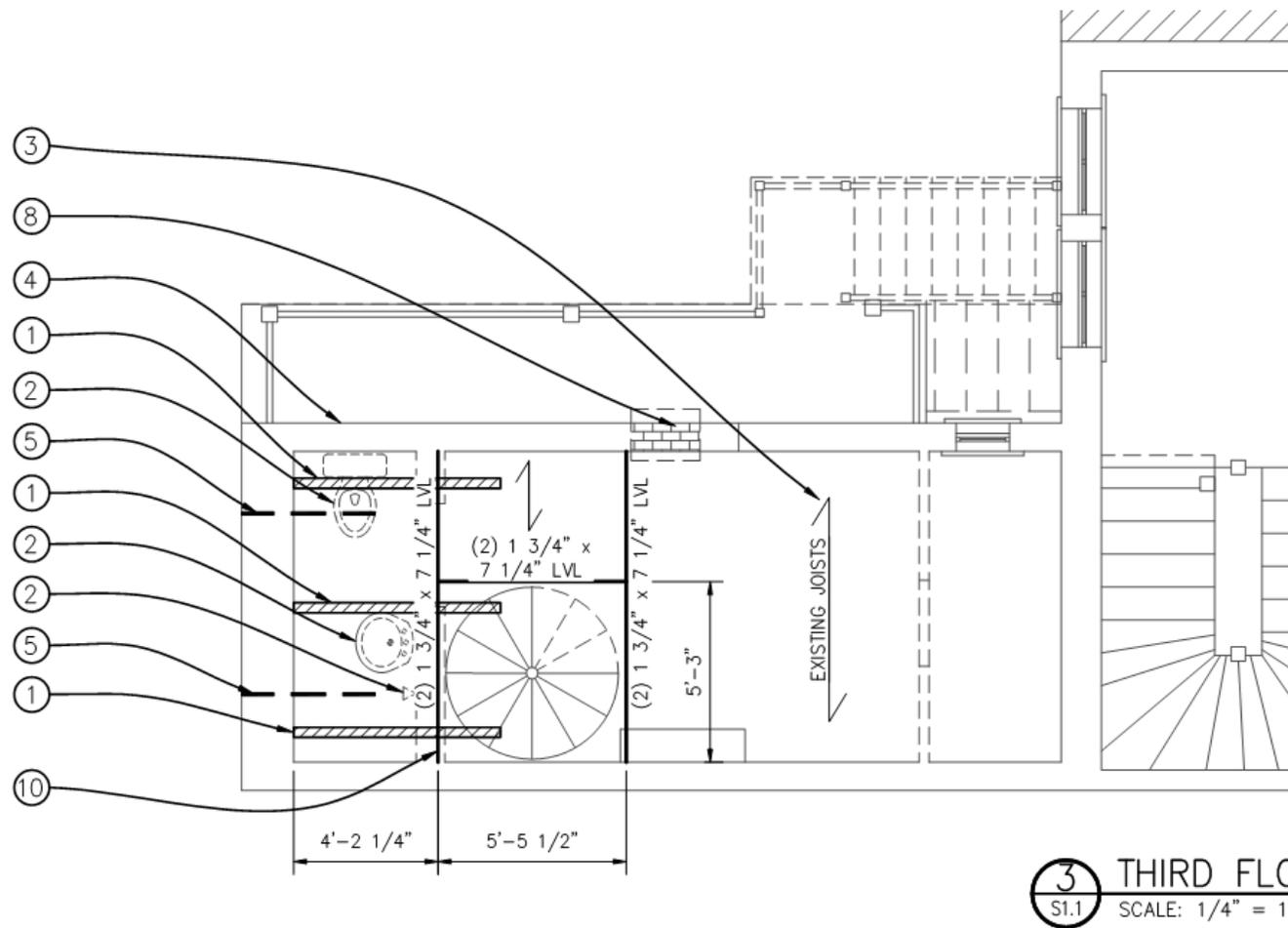
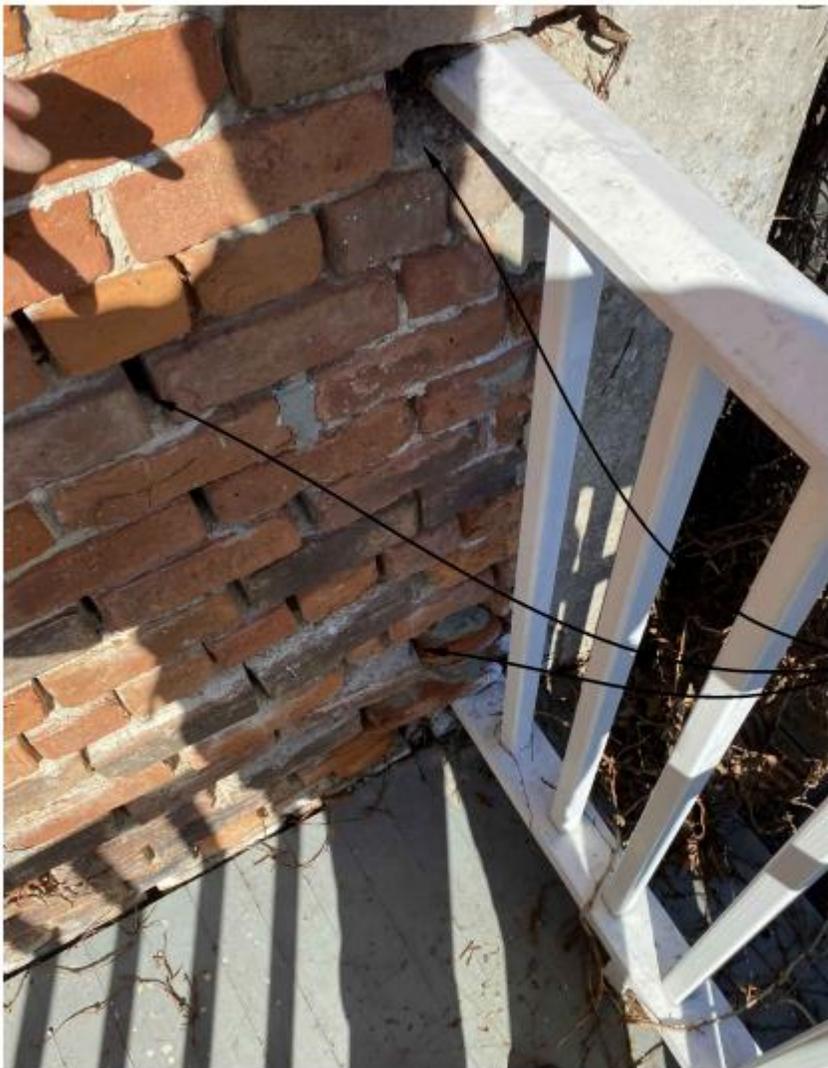


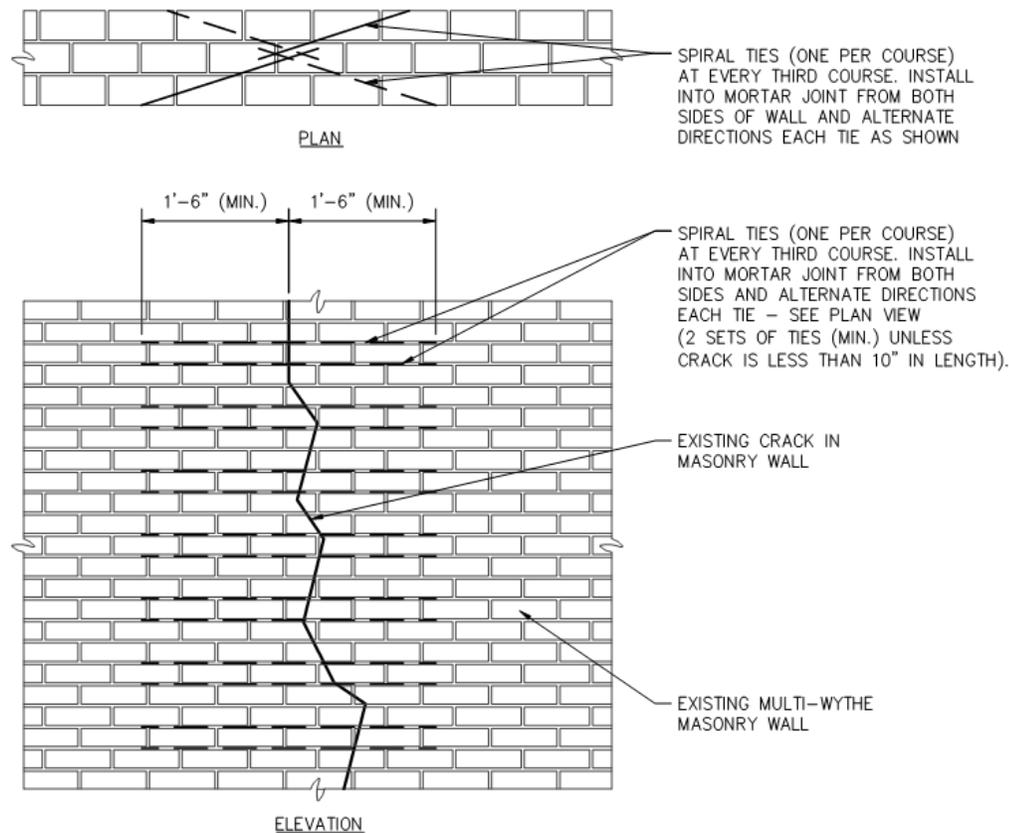


6









NOTES (UNLESS NOTED OTHERWISE):

1. IN EXTERIOR WALLS WHERE CRACKING OCCURS IN STUCCO FINISH, DETERMINE JOINT LOCATIONS USING HAND TOOLS. USE CAUTION NOT TO DAMAGE ADJACENT FINISHES.
2. WHERE REQUIRED, PATCH FINISH IN LIKE KIND AND WORKMANSHIP AS ORIGINAL, ADJACENT FINISHES.
3. AFTER INSTALLATION OF TIES AND PRIOR TO INSTALLATION OF STUCCO FINISH (WHERE REQUIRED). GROUT INJECT C.I.F. INTO CRACK TO FILL CRACK AND VOIDS COMPLETELY.

2 MULTI-WYTHE BRICK WALL CRACK REPAIR DETAIL
 S1.2 SCALE: N.T.S.



937 Dumaine St. Existing
Existing outward swing iron security gate. The opening is approx 10' 6" high and 43" wide to the masonry. The wood framing creates about a 2 to 3" border.



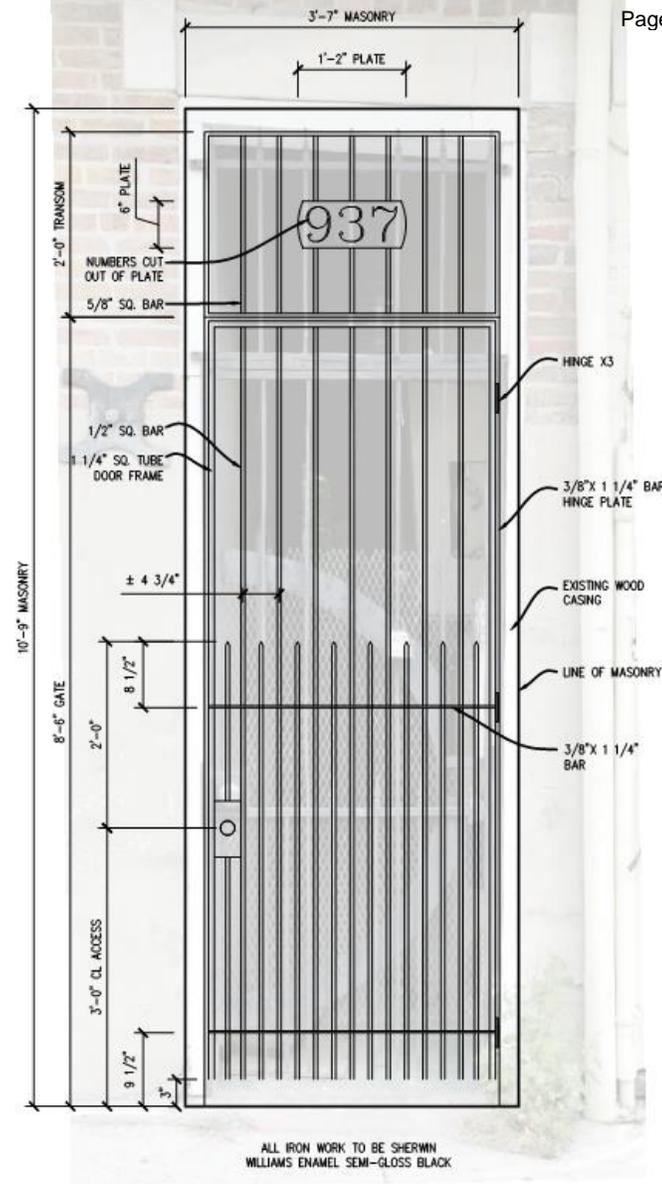
Proposed Gate Design

Solid iron gate and transom concept common to the French Quarter. 5/8" bar set on diamond pattern in 3/8" flatiron with classic lockset with matching transom. All solid material to be built by Darryl Reeves of Andrew's Blacksmith Shop in NO.

It will be heavy gauged to match other iron generally found in the FQ with heavy hinges and hardware. To avoid the use of expanded metal around the lockset to prevent unauthorized access from the exterior, we plan to use an additional picket between each main bar up to 58" with pointed tops.

Please note the address numbers cut out of plate to create a silhouette of the address (example above)

Classic large gauge brass knob hardware and iron plated mortice latch around knob area have been suggested to prevent access to the internal knob from the exterior and will be added. Per Fire Marshall requirements, the interior knob will be practical to unlock gate from interior.





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February 9, 2021



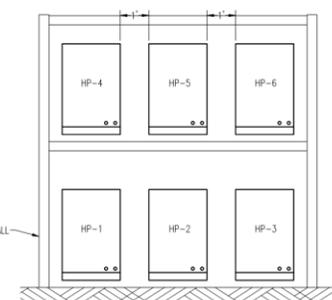
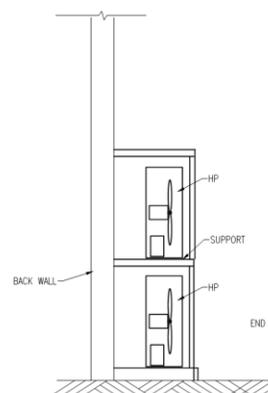
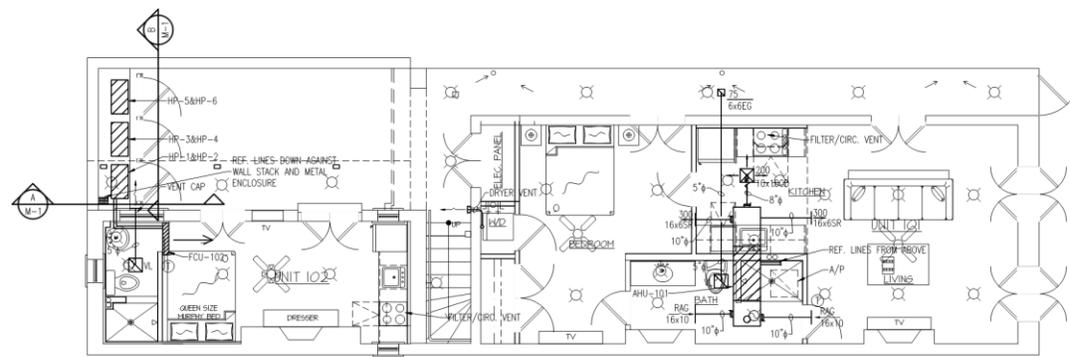
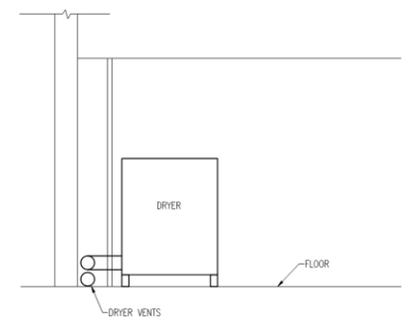
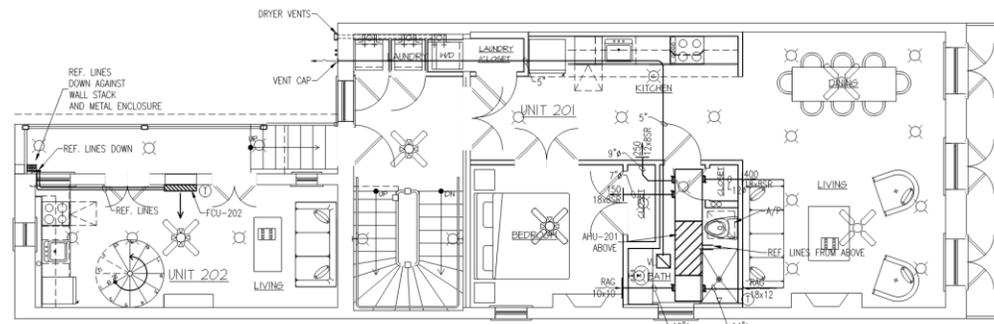


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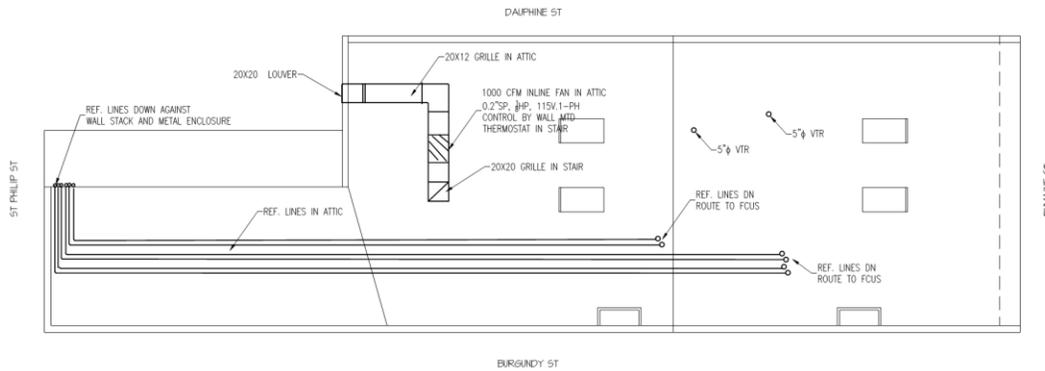




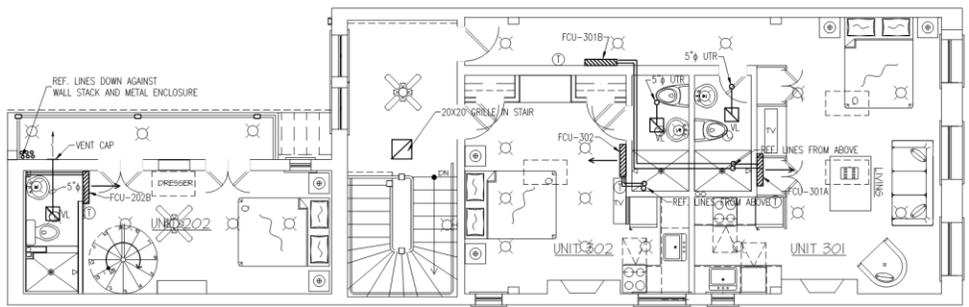
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Email: mkenngr@ms-k-e.com
M-K Project No.: 20-093





2 ROOF PLAN - HVAC
 M-2 SCALE: 1/4" = 1' - 0"



1 THIRD FLOOR PLAN - HVAC
 M-2 SCALE: 1/4" = 1' - 0"

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 M-K Project No.: 20-093





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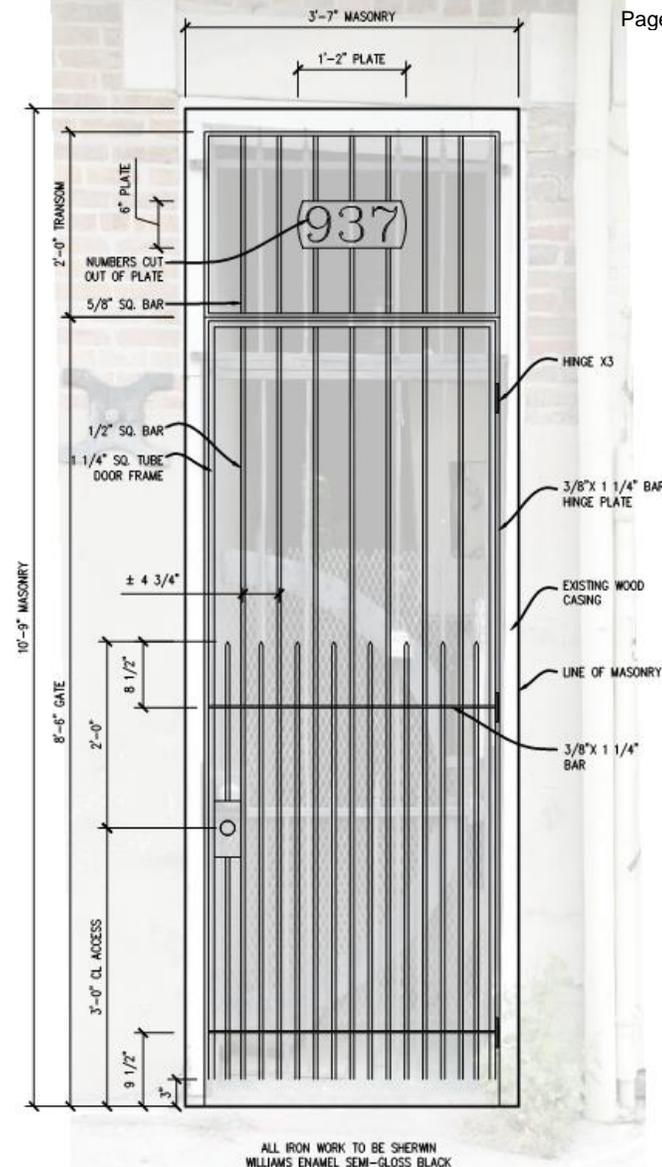
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ALL IRON WORK TO BE SHERWIN WILLIAMS ENAMEL SEMI-GLOSS BLACK





937 Dumaine

VCC Architectural Committee

February 9, 2021





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February 9, 2021



LATOYA CANTRELL
MAYOR

TAMMIE JACKSON
INTERIM DIRECTOR

ZONING VERIFICATION

The City's Official Zoning Map and the full and complete text of the Comprehensive Zoning Ordinance (Ordinance 4,264 MCS, as amended) can be found online. The City's Official Zoning Map is located at property.nola.gov; the text of the Comprehensive Zoning Ordinance is available online at czo.nola.gov.

Date: 10/6/2020 Case Number: 20-1237

To: Emily Flagler, Architect, LLC

This letter is to verify the zoning classification of the following property:

Address: 937 Dumaine St

Tax Bill Number: 207102926 Flood Zone:

Lot Number(s): A of 24 Square(s): 85

Legal Description: SQ 85 LOT A 21X68 (Per Orleans Parish Assessor)

Zoning Designation: VCR-1 Vieux Carré Residential District

Historic District: Vieux Carré Local Historic District

Comments:

This is a Zoning Verification for a 6-unit Multi-Family Dwelling in a VCR-1 District. This property is also located in the Vieux Carré Height Interim Zoning District. A Multi-Family Dwelling is a permitted use at this location.

The 6-unit structure does not comply with the lot area per dwelling unit requirement of 900 sq ft/du with a lot size of approximately 1,428 sq ft. The use of the property is a permitted use, but with more units than allowed, this is treated as a non-conforming structure and can be renovated subject to the regulations in Section 25.4 of the CZO: <http://czo.nola.gov/Article-25#25-4>

Inspector Signature: Nicholas Kindel
Nicholas Kindel, Zoning Administrator

Digitally signed by Nicholas Kindel
DN: cn=Nicholas Kindel, o=City of New Orleans, ou=Department of Safety & Permits, ou=Zoning Division, email=Nicholas.Kindel@nola.gov
Reason: I am the author of this document
Date: 2020.10.06 16:06:58 -0500

1300 PERDIDO STREET | ROOM 7E05 | NEW ORLEANS, LOUISIANA 70112
TELEPHONE: 504.658.7125 | FACSIMILE: 504.658.7210



937 Dumaine

VCC Architectural Committee

February 9, 2021





Nicholas J. Kindel

Tue 2/2/2021 4:31 PM

To: Erin B. Vogt



That is all good. They can decrease units without a problem.

The 180 day vacancy is only an issue with non-conforming uses (which this is not). For non-conforming structures, it can be vacant for any amount of time and it will still be able to be renovated without a problem.

Nick Kindel

Zoning Administrator

Department of Safety and Permits

Office of Business and External Services | City of New Orleans

1300 Perdido Street | 7th Floor | New Orleans, LA 70112

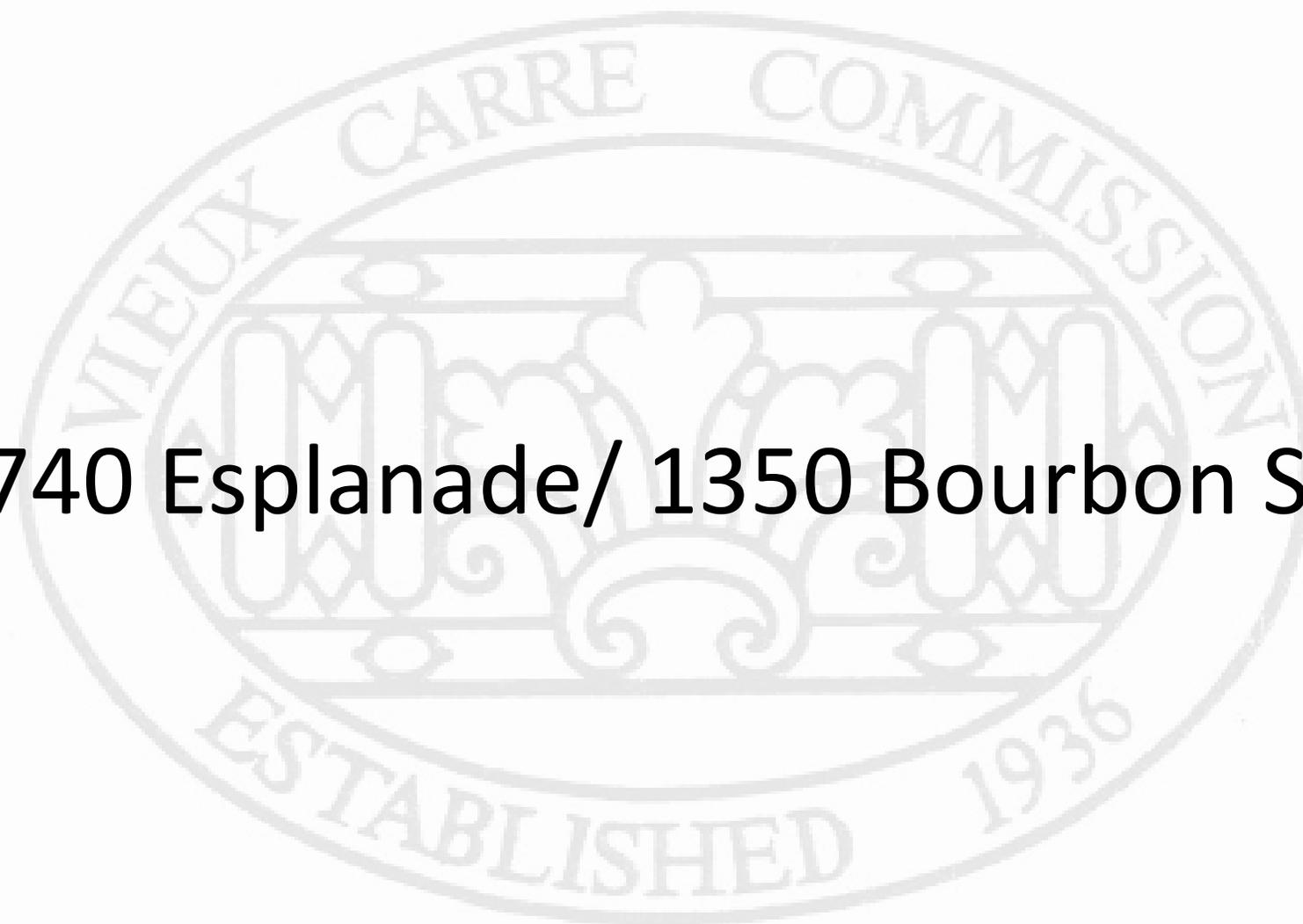
(504) 658-7200 Office | (504) 658-7125 Zoning | (504) 915-6489 Cell | njkindel@nola.gov

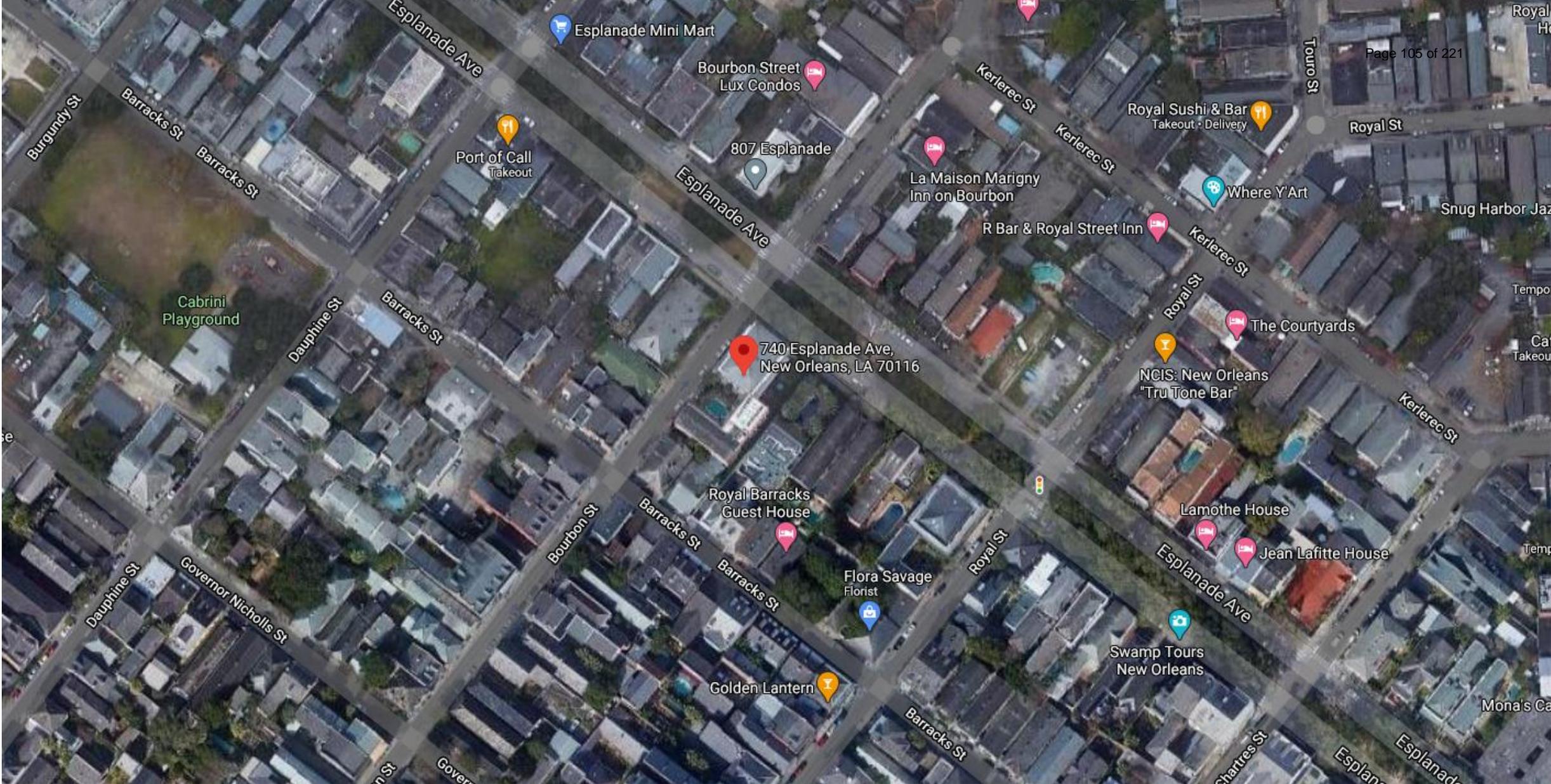




New Business

740 Esplanade/ 1350 Bourbon St.





740 Esplanade/1350 Bourbon St.

VCC Architectural Committee

February 9, 2021





740 Esplanade/1350 Bourbon St. – Approximate Location of Proposed Work





740 Esplanade/1350 Bourbon St.

VCC Architectural Committee

February 9, 2021





740 Esplanade/1350 Bourbon St
VCC Architectural Committee

February 9, 2021





740 Esplanade/1350 Bourbon St. – Orange-Rated Rear Buildings

VCC Architectural Committee

February 9, 2021





740 Esplanade/1350 Bourbon St.

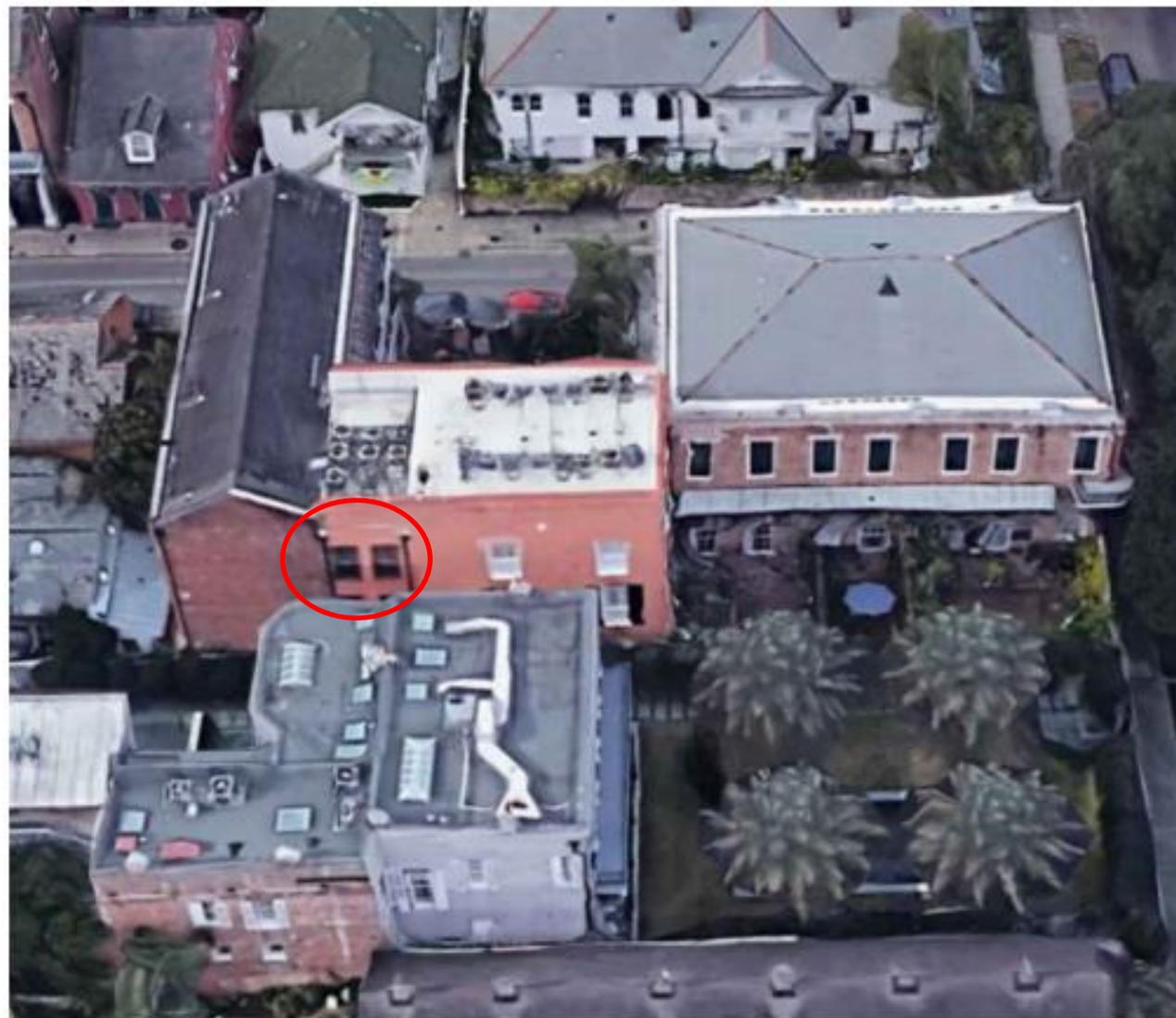
VCC Architectural Committee

3 WINDOW LOCATION EXTERIOR

SCALE: NTS

February 9, 2021





740 Esplanade/1350 Bourbon St.

VCC Architectural Committee

3 WINDOW LOCATION EXTERIOR

SCALE: NTS

February 9, 2021





4 WINDOW LOCATION INTERIOR
SCALE: NTS

740 Esplanade/1350 Bourbon St.

VCC Architectural Committee

[Full Meeting Materials - 740 Esplanade](#)

February 9, 2021



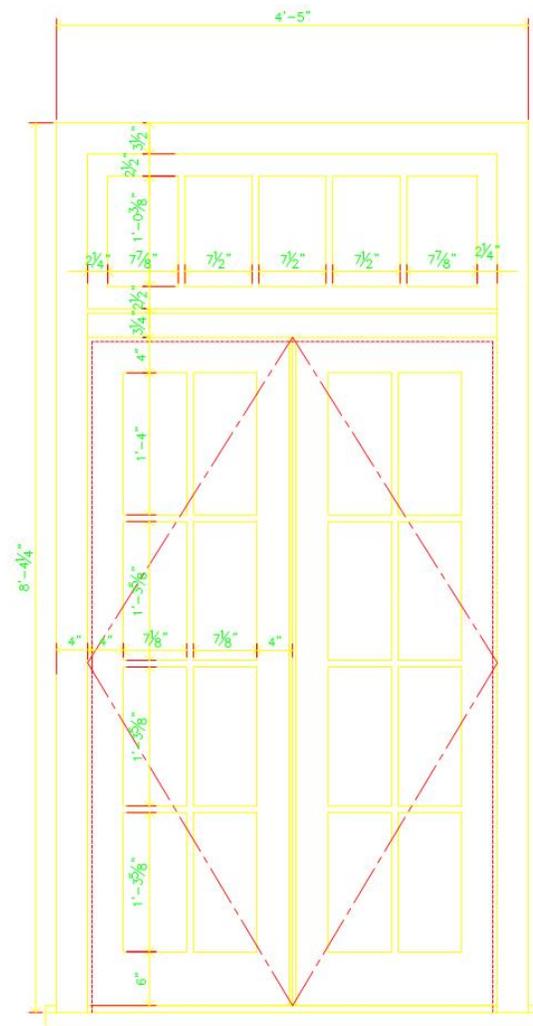
WINDOW REPLACEMENT 1350 RUE BOURBON

FRENCH QUARTER, NEW ORLEANS, LOUISIANA

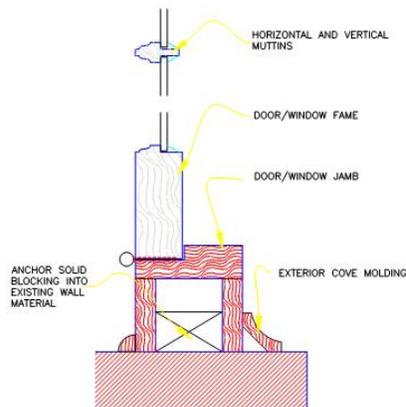
SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT IS TO REPLACE THE EXISTING FIXED WINDOWS WITH TWO NEW WOOD FRENCH DOORS AS INDICATED HEREIN.

THE BUILDING IS AN ORANGE RATED STRUCTURE OF 20TH CENTURY DESIGN AND HAS NO SIGNIFICANT HISTORICAL VALUE.



1 DOOR ELEVATION
SCALE: 1" = 1'-0"



2 DOOR MULLION DETAIL
SCALE: 3" = 1'-0"



4 WINDOW LOCATION INTERIOR
SCALE: NTS



3 WINDOW LOCATION EXTERIOR
SCALE: NTS

WINDOW REPLACEMENT
1350 RUE BOURBON
FRENCH QUARTER, NEW ORLEANS, LOUISIANA

THIS PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.

CERTIFIED CORRECT

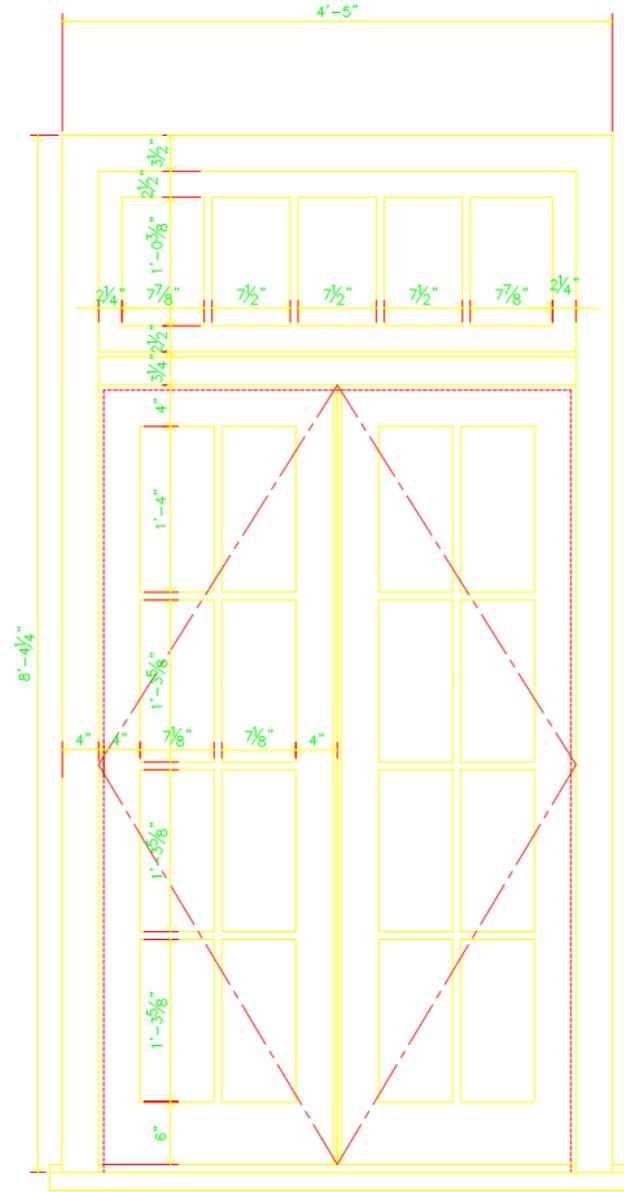
THIS DRAWING IS CONSIDERED VOID IF ANY OF THE GENERAL CONDITIONS LISTED HEREIN SHALL BE VIOLATED. THE CLIENT SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND PROVIDING ALL NECESSARY PERMITS AND APPROVALS. A PROFESSIONAL ARCHITECT'S SEAL AND SIGNATURE ARE REQUIRED FOR ALL DRAWINGS AND SPECIFICATIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

REVISION HISTORY	
NO.	DATE

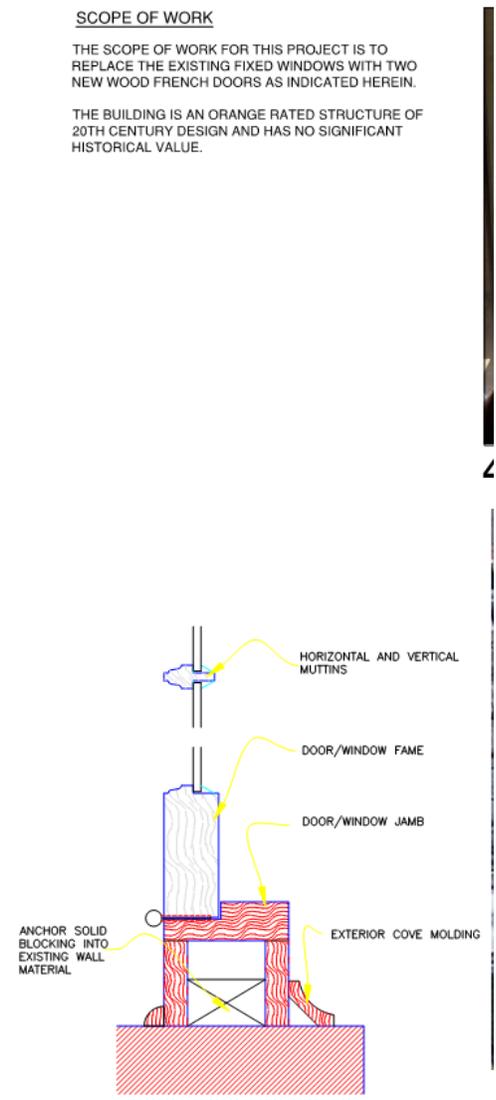
PROJECT#: 202015
PHASE: CD
DRAWN: HANIK
CHECKED: HANIK
SCALE: AS SHOWN
ISSUED: 11/22/2020
SHEET

OF 1





1 DOOR ELEVATION
 SCALE: 1" = 1'-0"



2 DOOR MULLION DETAIL
 SCALE: 3" = 1'-0"



January 11, 2021

Via E-Mail

Mr. Bryan Block, Director
Vieux Carré Commission
1300 Perdido St, 7th Floor
New Orleans, LA 70112

Re: 1350 Bourbon Street, Unit 20
Reference Code W0H44R

Dear Mr. Block:

Beauregard House Homeowner's Association, through its Board of Directors, hereby approves and supports the application of Nofio Pecoraro to remove fixed-glass windows on the south-facing wall of the property and install French doors and transom in both openings. The members of the Board of Directors have reviewed the plans and believe that the proposed replacement of the plate-glass windows with French doors and transoms is an improvement to the property and is in keeping not only with its architecture but also with the tout ensemble of the French Quarter.

If you have any questions, please contact me.

Yours very truly,



Mary Ann Hammett
Manager
Carriage House Realty
640 Congress Street
New Orleans, Louisiana 70117
Mobile: (504) 421-8096
maryannhammett@cox.net

cc: Linda Neal, President
Will Lyman, Treasurer
Maria de Lourdes, Secretary
Mark Rivero, At-large
Angie Tocco, At-large

740 Esplanade/1350 Bourbon St.

VCC Architectural Committee

February 9, 2021





740 Esplanade/1350 Bourbon St.

VCC Architectural Committee

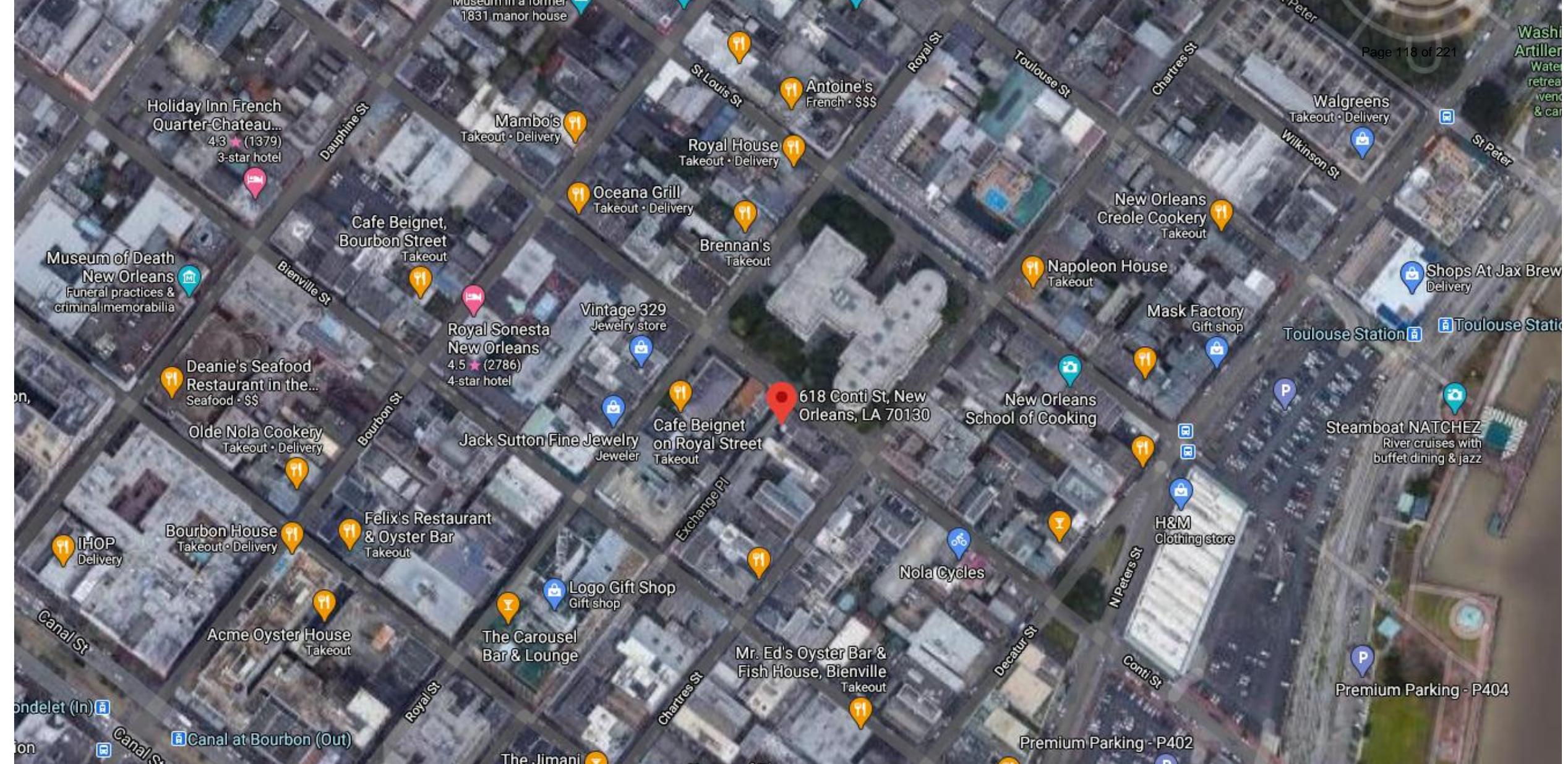
February 9, 2021





618 Conti

Washi
Artiller
Water
retrea
vend
& car



618 Conti

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February 9, 2021





618 Conti

VCC Architectural Committee

February 9, 2021





618 Conti

VCC Architectural Committee

February 9, 2021





618 Conti

VCC Architectural Committee

February 9, 2021





618 Conti

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February 9, 2021





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February 9, 2021



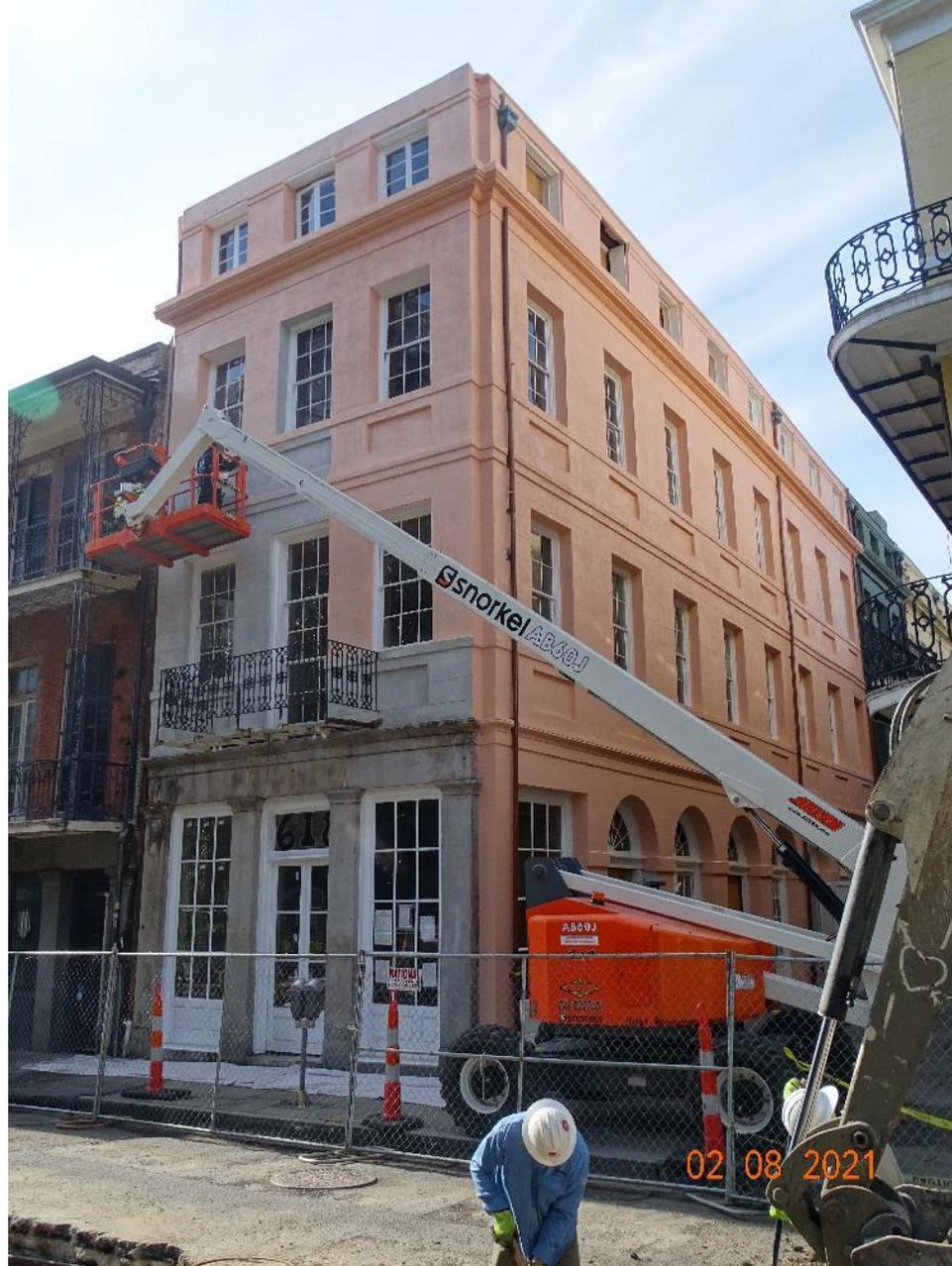


618 Conti

VCC Architectural Committee

February 9, 2021





618 Conti

VCC Architectural Committee

February 9, 2021





618 Conti

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February 9, 2021





618 Conti

VCC Architectural Committee

February 9, 2021





618 Conti

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February 9, 2021





618 Conti

VCC Architectural Committee

February 9, 2021





618 Conti

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February 9, 2021



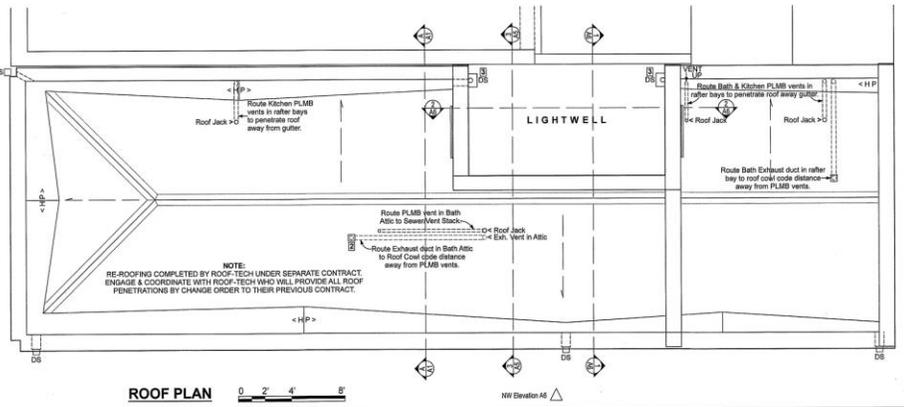
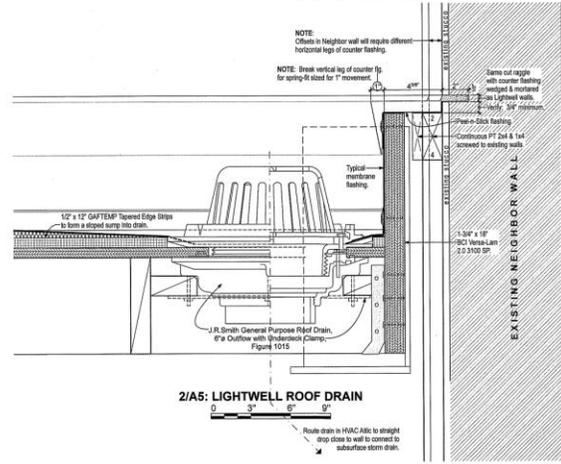
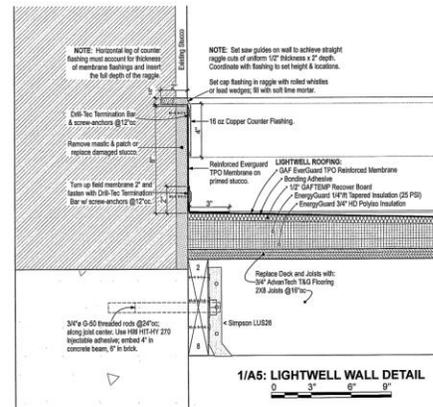
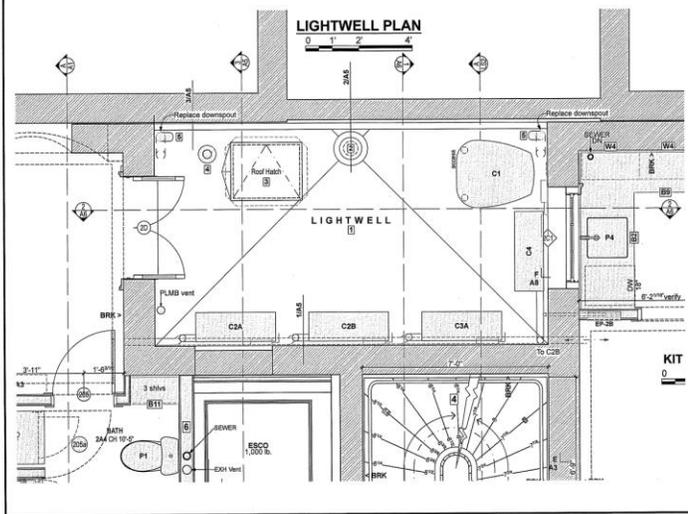
Koch and Wilson Architects
 A Professional Corporation 504-561-7023 fax: 7040
 1100 Jackson Avenue, New Orleans, LA 70130

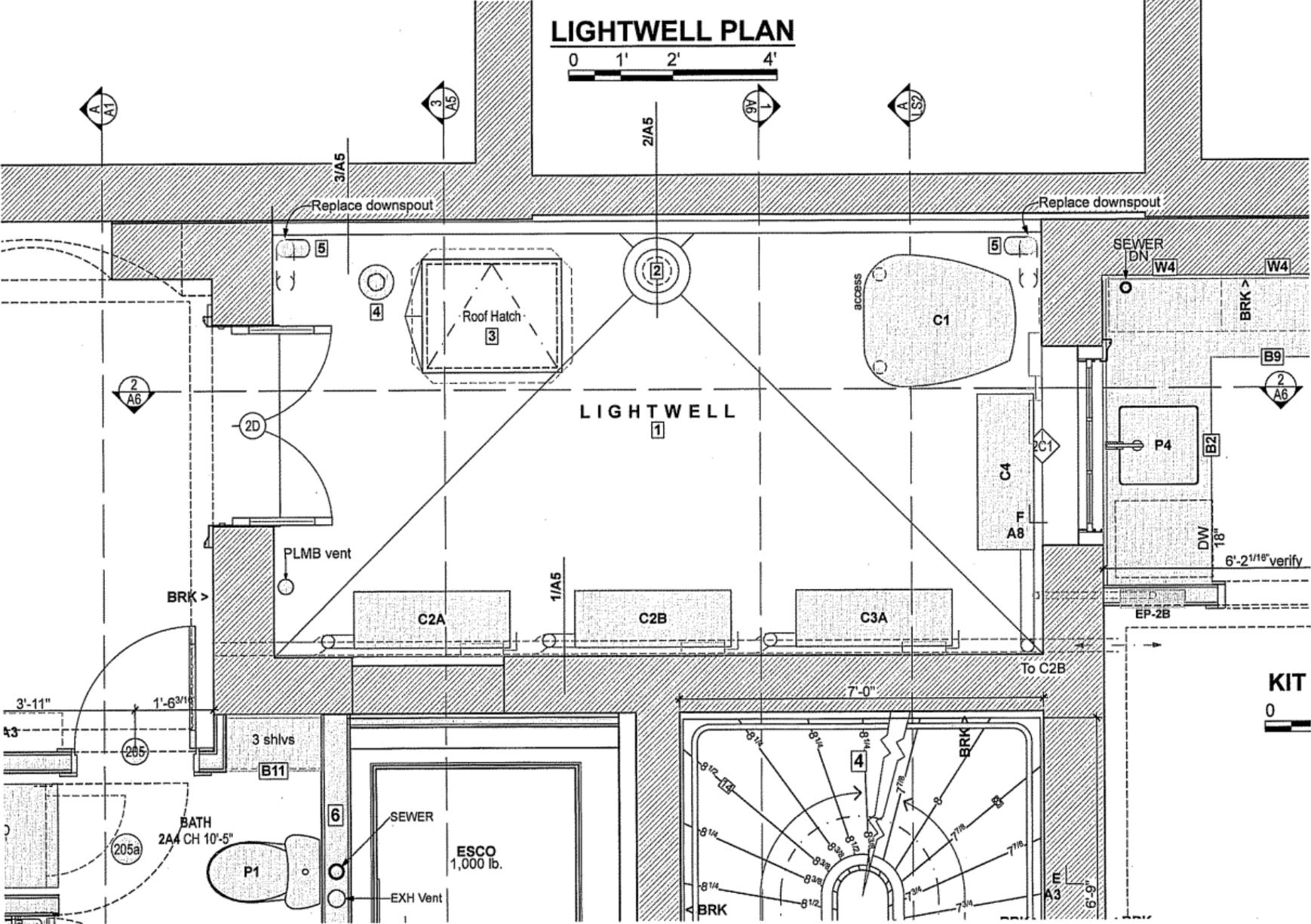
Project:
Renovation of the 618 Building
 618 Conti Street, New Orleans, LA 71030

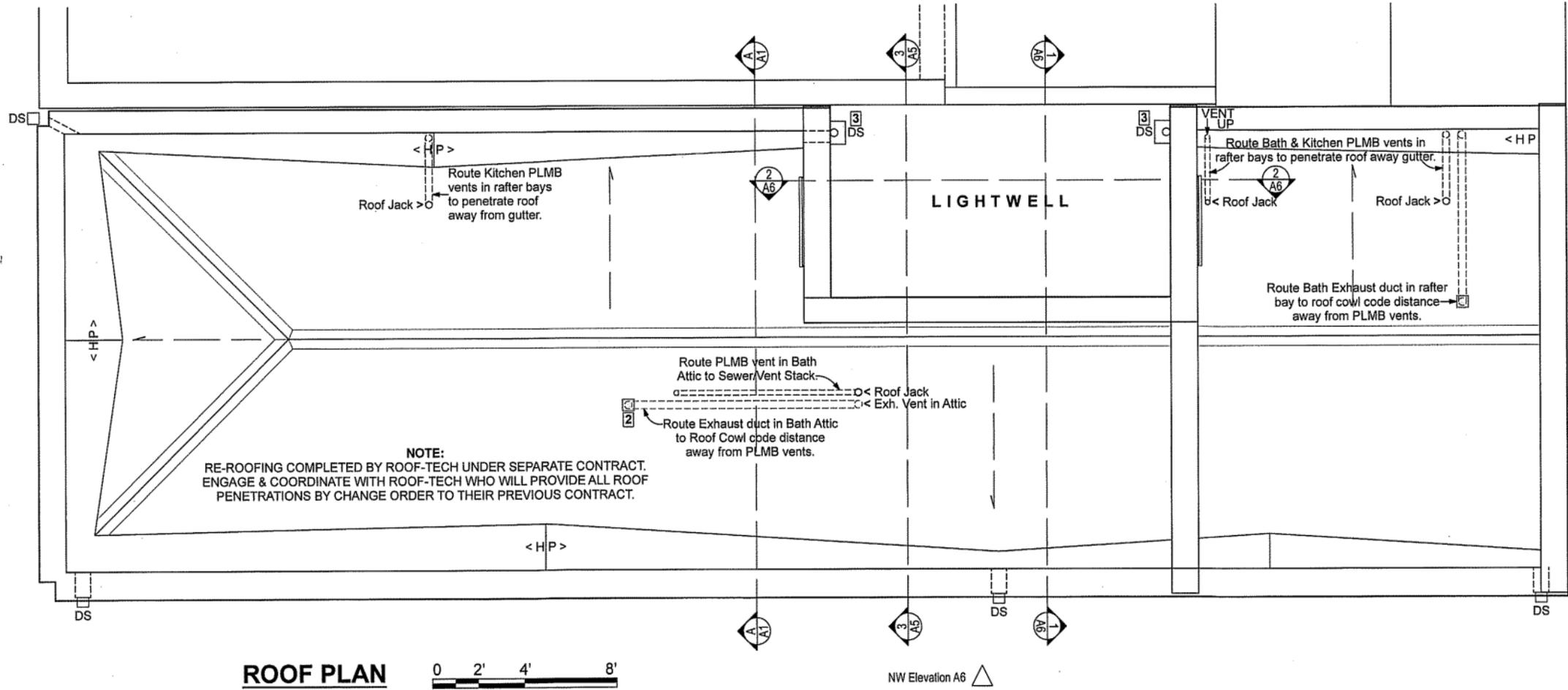
Proj. No.: K1907
 Issued: Preliminary CD's 08 Dec 2021
 Revisions: VCC Lightwell Roof 13 Jan 2021
 Sheet No. **A5**
 Drawn: [Signature] Checked: RUC
 of See Drawing Index

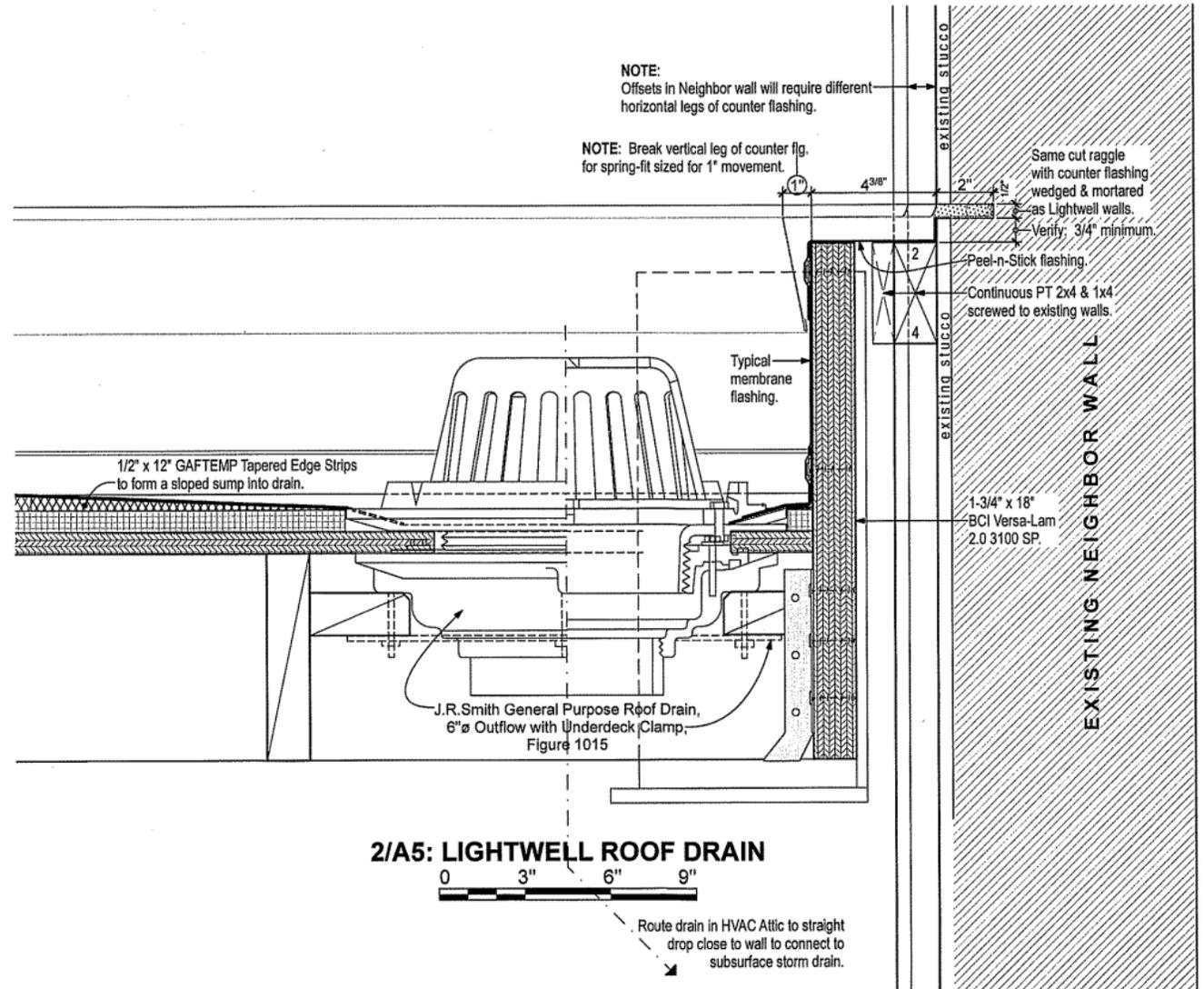
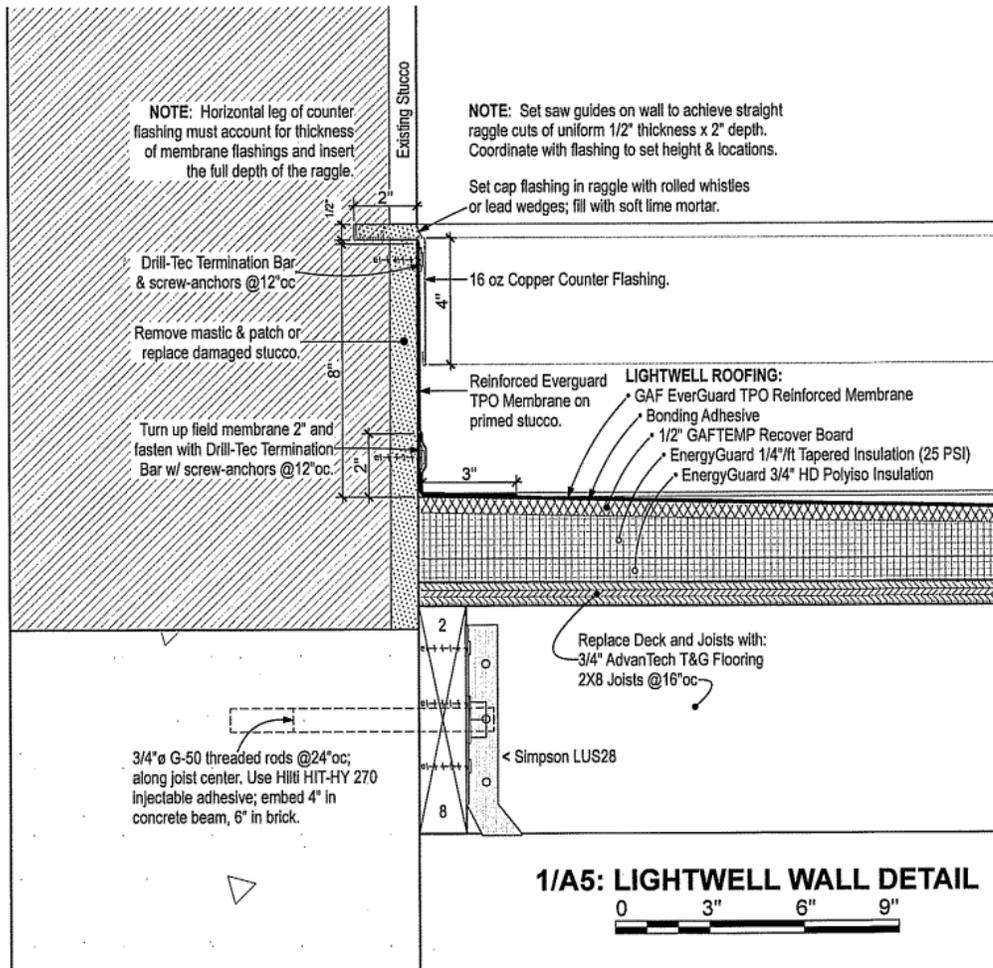
KEY NOTES: Lightwell Roof Deck framing, roofing, insulation & penetrations including roof drain and hatch as detailed and noted shall be done by Roof-Tech under Separate Contract with the Owner. Engage and coordinate Roof-Tech to produce the Work in accordance with general construction progress.

- 1) REPLACE ROOF DECK ENTIRELY (SEE DETAILS). NEW ROOFING & INSULATION = GAF EVERGUARD TPO, SINGLE-PLY ROOFING SYSTEM OVER 1/2" RECOVER BOARD ON 1/2" PER FOOT TAPERED INSULATION ON 3/4" GAF ENERGY GUARD INSULATION.
- 2) JAY R. SMITH, GENERAL PURPOSE ROOF DRAIN, 6" Ø OUTLET, FIGURE 1015. PROVIDE SLUMP SLOPE AROUND DRAIN WITH 1" x 18" GAF TAPERED EDGE STRIPS. GENERAL CONTRACTOR SHALL ROUTE DRAIN PIPES IN HVAC ATTIC TO DROP IN HALL & CONNECT TO EXISTING SUBSURFACE DRAIN. PROVIDE CLEANOUT IN HALL WITH A FLUSH FLOOR CAP. VIDEO INSPECT SUBSURFACE DRAIN AND CLEAR ANY BLOCKAGE BEFORE NEW FITTINGS.
- 3) NYSTRON RHUA 30X24 81T ROOF HATCH, PERSONNEL 30" x 24" S.D.C., ALUM. MILL, SINGLE WALL CLIMB, CUSTOM SIZE, VERIFY LEAD TIME!
- 4) ROOF COM. FOR BATH EXHAUST VENT. COORDINATE WITH DUCT SIZE & TYPE. PROVIDE WEATHER-TIGHT PENETRATION FLASHING THAT'S COMPATIBLE WITH ROOFING & EXHAUST TEMPERATURE RATING. PROVIDE VENT LENGTHS REQUIRED TO INSTALL COM. AT CODE COMPLIANT HEIGHT ABOVE ROOF.
- 5) REPLACE DS TO FIT EXG CONDUCTOR. OFFSET TO CORNER. PROVIDE KICK & SPLASH-BLOCK @ LIGHTWELL DECK ROOFING.











532 N Rampart



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February 9, 2021





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February 9, 2021





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VCC Architectural Committee

05 01 2020

February 9, 2021





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VCC Architectural Committee

05 01 2020

February 9, 2021





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VCC Architectural Committee

05 01 2020

February 9, 2021





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05 01 2020

February 9, 2021





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VCC Architectural Committee

February 9, 2021





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05 01 2020

February 9, 2021





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05 01 2020

February 9, 2021





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05 01 2020

February 9, 2021





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February 9, 2021





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05 01 2020

February 9, 2021



LEGEND



COLUMN LINE



FINISH KEY



WINDOW TAG



DOOR TAG



PARTITION



ROOF ASSEMBLY



ARCHITECTURAL WOODWORK KEYNOTE



PLUMBING & MECHANICAL KEYNOTE

..... EXISTING PARTITION TO BE DEMOLISHED

———— NEW PARTITION OR MODIFIED - REFER TO FRAMING NOTES AND PARTITION DETAILS



EXISTING DOOR & FRAME TO REMAIN



EXISTING DOOR & FRAME TO BE REMOVED



NEW OR RELOCKED DOOR & FRAME - REFER TO DOOR SCHEDULE



ELEVATION MARKER



DRAWING TAG



SECTION MARKER



EXTERIOR ELEVATION



INTERIOR ELEVATION

- H.P. HIGH POINT
- L.P. LOW POINT
- SUSP. SUSPENDED
- GYP. BD. GYPSUM BOARD
- CONC. CONCRETE
- H.M. HOLLOW METAL
- FXLT. FIXTURE
- LT. LIGHT
- GALV. GALVANIZED
- ALUM. ALUMINUM
- ADJ. ADJUSTABLE
- HWH. HOT WATER HEATER
- MECH. MECHANICAL
- STRUCT. STRUCTURAL
- ELEC. ELECTRICAL
- F.O. FACE OF
- T.O. TOP OF
- U.S. UNDERSIDE OF
- EXIST. EXISTING
- WD. WOOD
- CLG. CEILING
- STL. STEEL
- MTL. METAL
- PTD. PAINTED
- PTN. PARTITION
- SPKLR. SPRINKLER
- CMU. CONCRETE MASONRY UNIT

NOTE:
THIS LEGEND CONTAINS SYMBOLS AND ABBREVIATIONS USED IN THE ARCHITECTURAL DRAWINGS. SOME SYMBOLS AND ABBREVIATIONS SHOWN ARE NOT USED IN THIS PROJECT. REFER ALSO TO LEGENDS PROVIDED IN EACH SHEET FOR SYMBOLS AND ABBREVIATIONS USED TO FURTHER DESCRIBE THE WORK.

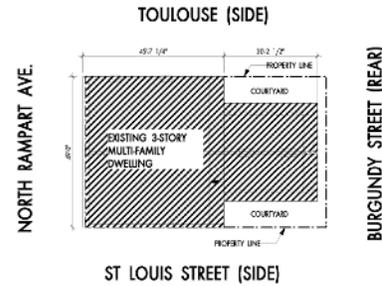
INDEX OF DRAWINGS

- ARCHITECTURAL**
- A-008 SITE, SCOPE LEGEND
 - A-101 ROOF PLAN & DETAILS
 - A-201 EXTERIOR ELEVATIONS
 - A-301 MILLWORK, REPAIR PROFILES

OWNER:
MERCER REALTY & INVESTMENT CO.
306 DAUPHINE STREET
NEW ORLEANS, LA 70112
(504) 525-1971
mercrealty@bellouth.net

ARCHITECT:
BENDERNAGEL ARCHITECTS, L.L.C.
3530 ATLANTA STREET
NEW ORLEANS, LA 70115
(504) 891-4700 X32

JOHN E. BENDERNAGEL
jb@bendernagel.com



1 SITE / PLAN
1 : 20

SITE PLAN NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE DONE AS A RESULT OF HIS OPERATIONS, INCLUDING DAMAGE TO ADJACENT STRUCTURES, PAVING, VEHICLES, AND PERSONAL PROPERTY OF OTHERS IN THE IMMEDIATE VICINITY OF THE SITE.
2. FIELD VERIFY ALL DIMENSIONS.
3. NOTIFY THE ARCHITECT IN ADVANCE IF ANY SPECIFIED DIMENSIONS CANNOT BE ACHIEVED.

DIRECTORY

NOTES

SUMMARY DESCRIPTION OF WORK

- THE PROJECT CONSIST OF THE PHASED REEROOFING AT THE 4TH FLOOR MULTIFAMILY STRUCTURE. THE WORK SHALL INCLUDE, WITHOUT LIMITATION:
1. REMOVAL, STORAGE AND REINSTALLATION OF EQUIPMENT, AND ROOF DECK MATERIALS TO BE REUSED STORAGE WILL BE ON THE AREA THAT IS OPPOSITE OF THE PHASED WORK AREA.
 2. PROTECTION OF EXISTING CONSTRUCTION AND ASSEMBLIES TO REMAIN.
 3. REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING DECK MATERIALS (PENHOUSE LEVEL).
 4. REMOVAL AND LEGAL DISPOSAL OF ALL ROOFING MATERIALS TO THE ORIGINAL BUILDING ROOF DECK.
 5. PREPARATION OF SUBSTRATES AND INSTALLATION OF NEW ROOF INSULATION AND TPO & METAL ROOFING ASSEMBLIES AND RELATED FLASHING, GUTTER MODIFICATIONS AND JOINTS.
 6. BUILDING WILL BE OCCUPIED DURING CONSTRUCTION AND MUST BE FULLY ACCESSIBLE TO THE OWNER AND VISITORS.
 7. CONTRACTOR IS RESPONSIBLE TO MEET ALL APPLICABLE CODES AND OBTAIN ALL PERMITS REQUIRED TO PERFORM THE WORK.
 8. REFER TO PLANS, DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR IS TO READ ALL PORTIONS AND SECTIONS OF THE CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL REVIEW FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPROVE AND SUBMIT TO THE ARCHITECT SUCH DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS PRIOR TO SHIPPING TO THE ARCHITECT. THE CONTRACTOR SHALL STAMP CONFIRMING COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS ARE TO BE CLEARLY AND VISIBLE NOTED.
3. THESE DRAWINGS ARE INTENDED TO OUTLINE THE SCOPE OF WORK REQUIRED TO PROVIDE A COMPLETE IN OPERABLE PROJECT. CONSTRUCTION, ALL INCIDENTAL ITEMS NECESSARY TO PROVIDE A COMPLETE PROJECT SHALL BE PROVIDED WHETHER OR NOT SPECIFICALLY NOTED.
4. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS OR DETAILS. CONTRACTOR TO VERIFY OUR MEASUREMENTS IN THE FIELD PRIOR TO ORDERING MATERIAL.
5. CONTRACTOR IS NOT TO DEVIATE FROM THE CONTRACT DOCUMENTS, INDUSTRY STANDARDS, OR EMPLOYER INSTRUCTIONS, DUE TO CONTRACT OR OMISSIONS DURING THE CONSTRUCTION PROCESS, WITHOUT AUTHORIZATION FROM THE ARCHITECT AND/OR ENGINEER. CONTRACTOR IS RESPONSIBLE TO FURNISH THE COMPLETE PROJECT AS ORIGINALLY INTENDED WITHIN THE CONTRACT DOCUMENTS.
6. CONTRACTOR IS TO NOTIFY THE ARCHITECT AND/OR ENGINEER TO ALL SIGNIFICANT WORK TO BE COMPLETED AT LEAST 24 HOURS PRIOR TO THE EVENT. IN THE EVENT THAT THE ARCHITECT AND/OR ENGINEER CAN OBSERVE THE WORK FROM CONSTRUCTION, THE CONTRACTOR IS TO TAKE CONSTRUCTION PHOTOS OF THE WORK WHICH WOULD PROHIBIT ACCESS. ACCESS TO PHOTOS ARE TO BE GRANTED TO THE ARCHITECT AND OR ENGINEER UPON REQUEST.
7. ALL OPENINGS RESULTING FROM BUILDING CONSTRUCTION SHALL BE SEALED FROM THE ELEMENTS DURING RAIN EVENTS AND AT THE CONCLUSION OF EACH WORKDAY.
8. CONTRACTOR TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONDITIONS ARISING FROM DISCOVERED HIDDEN CONDITIONS AT ANY PHASE OF THE PROJECT.
9. ANY DEVIATION TO THE CONTRACT DOCUMENTS NOT APPROVED IN WRITING BY THE ARCHITECT/ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT AT HIS/HER OWN CHARGE.
10. DURING AND UPON COMPLETION OF THE WORK, ALL SERVICES, UTILITIES, AND EQUIPMENT SHALL BE KEPT CLEAR AND FREE OF EXCESS MATERIALS, STAINS, OR DUST.
11. CONTRACTOR TO PROVIDE REPROOFING FOR ANY PENETRATIONS THROUGH ANY FIRE RATED ROOF ASSEMBLIES.
12. CONTRACTOR TO DOCUMENT EXISTING CONDITIONS AT THE PROJECT SITE AND AVOIDING PROPERTIES PRIOR TO START CONSTRUCTION.
13. CONTRACTOR TO PROVIDE WORK IN ACCORDANCE WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR THE TREATMENT HISTORIC PROPERTIES WITH GUIDELINES FOR RESTORING HISTORIC BUILDINGS.
14. CONTRACTOR TO PROVIDE TESTING AND ANALYSIS FOR THE EXISTING BRICK/MASONRY, MORTAR, FINISHES AND CEILING AND BE IN FULL ACCORDANCE WITH THE SECRETARY OF THE INTERIORS STANDARDS.
15. CONTRACTOR TO COORDINATE WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION DUE TO THE BUILDING REMAINING OCCUPIED DURING CONSTRUCTION. CONTRACTOR TO PROVIDE BUILDING OCCUPANTS VISITORS AND PUBLIC FROM CONSTRUCTION AND ALLOW ENTRY TO THE BUILDING DURING HOURS OF OPERATION.

EXTERIOR REPAIRS
 532 - 534 N. RAMPART STREET
 NEW ORLEANS, LOUISIANA
 BENDERNAGEL ARCHITECTS, L.L.C.
 3530 ATLANTA STREET, TOWER 4100N
 neworleansla@bellouth.net

PROGRESS DRAFT

THESE ARCHITECTURAL DESIGNS AND DRAWINGS ARE THE PROPERTY OF BENDERNAGEL ARCHITECTS, L.L.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BENDERNAGEL ARCHITECTS, L.L.C. THESE DESIGNS AND DRAWINGS ARE TO BE USED ONLY FOR THE PROJECT AND NO PART OF THESE DESIGNS OR DRAWINGS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BENDERNAGEL ARCHITECTS, L.L.C.

PROJECT # 2020-15

PROGRESS DRAFT

1/9/2021

A-008

SITE SCOPE LEGEND

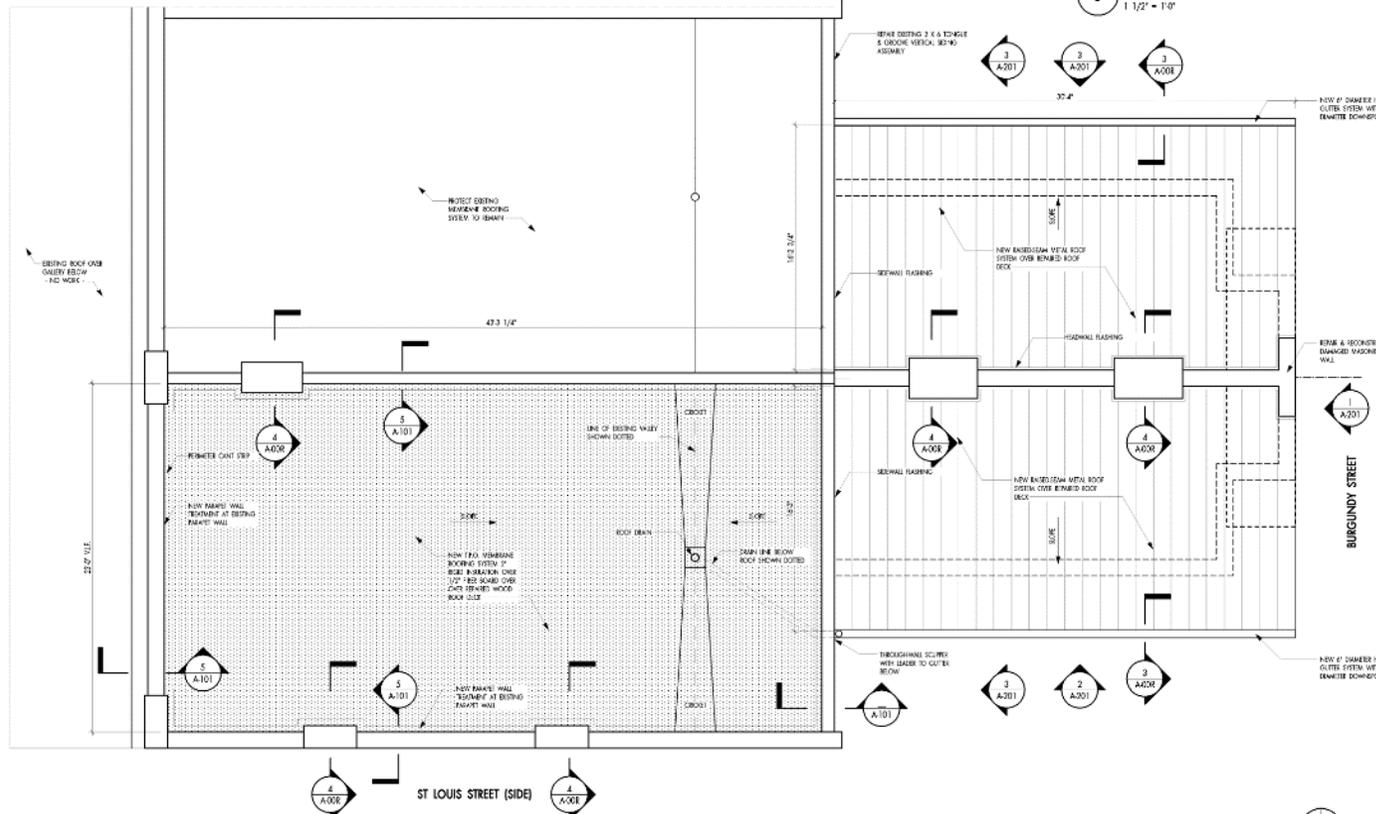
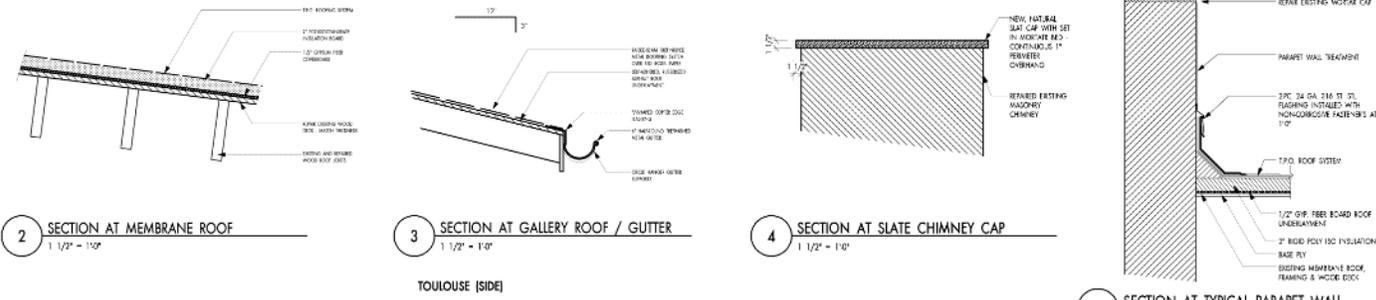


532 N Rampart

VCC Architectural Committee

Full Meeting Materials - 532 N Rampart

February 9, 2021



MAIN ROOF PLAN NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS OR HIDDEN CONDITIONS WITHIN THE WALLS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO PROTECT EXISTING WIRES DURING CONSTRUCTION.
4. NEW TAPERED EDGE CRACKETS TO BE INSTALLED AS SHOWN ON PLAN.
5. INSTALL NEW T.P.O. & METAL ROOF SYSTEMS & COMPATIBLE FLASHING.
6. CONTRACTOR TO WORK WITHIN A PRACTICE WORK PLAN AND ONLY ROOF THAT AREA THAT CAN BE MADE WEATHERTIGHT BY THE END OF EACH WORK DAY.
7. THE CONTRACTOR MUST MAINTAIN PROPER SLOPE AND DRAINAGE PATH TO REMOVE ALL STORMWATER AT ALL TIMES.
8. CONTRACTOR TO PROTECT ALL EXISTING FINISHES TO REMAIN.
9. NO STAGING IS ALLOWED ON COMPLETED ROOF AREA.
10. CONTRACTOR IS NOT TO STAGE AT ANY TIME ON THE ADJACENT THREE STORY ROOF ON THE TOULOUSE STREET SIDE OF THE BUILDING OR ANY STRUCTURE NOT PROPERTY OF THE OWNER.

OUTLINE DESCRIPTION OF MEMBRANE ROOF SYSTEM:

1. 80 MIL T.P.O. ROOF MEMBRANE
2. 2\"/>

OUTLINE DESCRIPTION OF PARAPET TREATMENT:

1. T.P.O. BASE FLASHING FROM UNDER TERMINATION BAR FLASHING TO T.P.O. ROOF PER MANUFACTURER.

SUMMARY OF APPROXIMATE ROOF AREAS

PORTION OF ROOF	AREA	DESCRIPTION
NORTHEAST MEMBRANE ROOF	599 SF	NO WORK
NORTHWEST MEMBRANE ROOF	599 SF	NEW TPO ROOFING SYSTEM
SOUTH/EAST BASED/EQUAL METAL ROOF	479 SF	NEW BASE/EQUAL REFINISHED METAL ROOFING SYSTEM
SOUTH/WEST BASED/EQUAL METAL ROOF	479 SF	NEW BASE/EQUAL REFINISHED METAL ROOFING SYSTEM

ROOF AREAS SHOWN ABOVE ARE MEASURED HORIZONTAL

WHEN ONLY NOTES & SYMBOLS ARE SHOWN, THESE DRAWINGS ARE SUBJECT TO THE SET DRAWING AND SPECIFICATIONS. TO THE BEST OF OUR KNOWLEDGE & BELIEF, NO CONFLICTS WITH APPLICABLE CODES, ORDINANCES & REGULATIONS WILL OCCUR. THE OWNER WILL VERIFY THE CODES.

JOHN E. BENDERHARTEL ARCHITECT

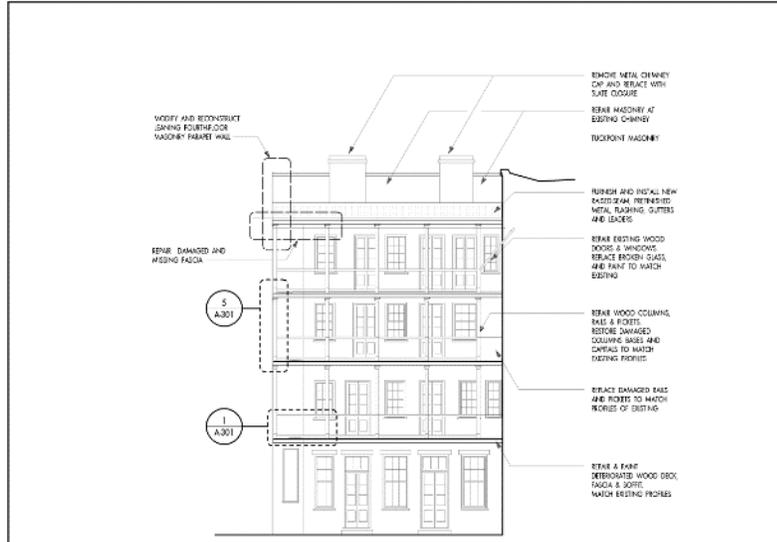
ROOF REPAIRS
532 - 534 N. RAMPART STREET
 NEW ORLEANS, LOUISIANA
 BENDERHARTEL ARCHITECTS, L.L.C.
 1520 ALMA STREET, NEW ORLEANS, LA 70112 | 504.581.0200
 www.bhar.com

PROGRESS DRAFT

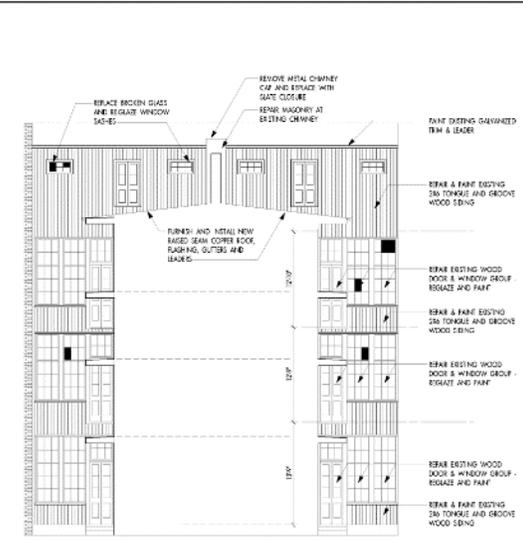
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PROJECT # 2020-15
 PROGRESS DRAFT
 1/8/2021
 A-101
 ROOF PLAN & DETAILS

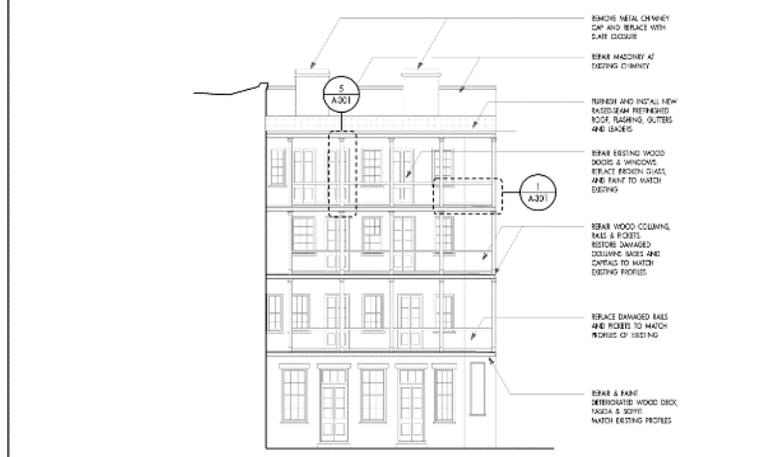




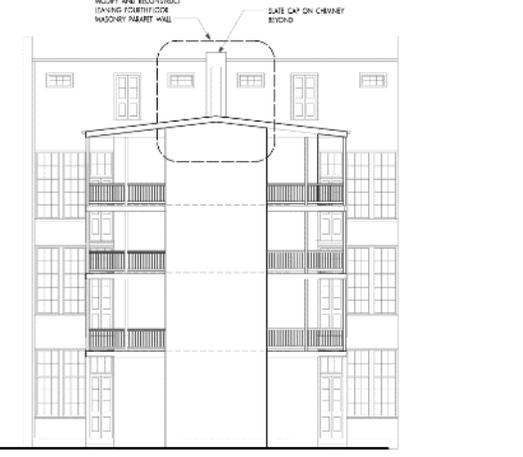
4 ELEVATION TO COURTYARD AT TOULOUSE STREET [SIDE]
1/8" = 1'-0"



3 ELEVATION AT WOOD WALL TO COURTYARD
1/8" = 1'-0"



2 ELEVATION TO COURTYARD AT ST. LOUIS STREET [SIDE]
1/8" = 1'-0"



1 ELEVATION TO BURGUNDY STREET [REAR]
1/8" = 1'-0"

SCOPE OF WORK

THIS PROJECT IS RELATED TO THE REAR PORTION OF THE EXISTING FOUR STORY MASONRY & WOOD VESTIBULE BUILDING TO REPAIR DAMAGED MASONRY PARAPET & ROOFING, AND TO MAKE THE STRUCTURE WEATHER-TIGHT THROUGH REPAIR OF DEGRADED MASONRY, SURVEY, DOORS, WINDOWS & GLAZING. ALL WORK SHALL BE PERFORMED ACCORDANCE WITH VCC GUIDELINES.

MASONRY REPAIR:

1. REPAIR EXISTING DEGRADED MASONRY CONSTRUCTION IN CONFORMANCE WITH VCC GUIDELINES FOR MASONRY REPAIR.
2. VERIFY AND RECONSTRUCT LEADING FOURTH-FLOOR MASONRY PARAPET WALL.
3. REPAIR MASONRY AT EXISTING CHIMNEYS.
4. SOUND MASONRY FOR LOOSE BRICK. REPAIR LOOSE BRICK AND REPLACE MISSING BRICK.
5. REPAIR MASONRY AT AREAS OF CRACKS AND DISINTEGRATED MASONRY AND AREAS REQUIRING REPAIR AND REPAIRMENT OF BRICK.

CHIMNEY CAPS:

1. REMOVE METAL CHIMNEY CAPS AND REPLACE WITH VCC - APPROVED SLATE COUPLER.

ROOFING, FLASHING GUTTERS AND DOWNSPOUTS:

1. REMOVE AND REPAIR PORTIONS OF DEGRADED PORTIONS OF ROOFING, REFER TO ROOF PLAN, ALSO.
2. TURNISH AND INSTALL NEW BASED-SEAM REINFORCED METAL ROOF, FLASHING, GUTTERS AND LEAKS WHERE INDICATED.

DOORS, WINDOWS & GLAZING:

1. REPAIR EXISTING WOOD DOORS & WINDOWS.
2. REPLACE MISSING DOOR & WINDOW COMPONENTS WITH NEW LEADS AND SASHES TO MATCH EXISTING.
3. REPLACE MISSING DOOR & WINDOW ELEMENTS WHICH ARE DEGRADED BEYOND REPAIR.
4. REPLACE BROKEN GLASS AND REGLAZE DOOR LEADS AND WINDOW SASHES.

WOOD COLUMNS, RAILS & PICKETS:

1. REPAIR WOOD COLUMNS, RAILS & PICKETS. RESTORE DAMAGED COLUMN BASES AND CAPTAS TO MATCH EXISTING PROFILES.
2. REPLACE DAMAGED RAILS AND PICKETS TO MATCH PROFILES OF EXISTING.
3. PAINT BENJAMIN MOORE, BV 0095 NAVARRO WHITE.

WOOD DECK, FASCIA & SOFFIT:

1. REPAIR DEGRADED WOOD DECK, FASCIA & SOFFIT. MATCH EXISTING PROFILES.
2. REPLACE DAMAGED RAILS AND PICKETS TO MATCH PROFILES AND MATERIALS OF EXISTING.
3. PAINT BENJAMIN MOORE, BV 0095 NAVARRO WHITE.

VERTICAL TONGUE & GROOVE WOOD SIDING:

1. REPAIR DEGRADED VERTICAL 2x4 TONGUE AND GROOVE WOOD SIDING.
2. REPLACE DAMAGED SIDING BOARDS TO MATCH PROFILES AND MATERIALS AND OF EXISTING.
3. PAINT SIDING BENJAMIN MOORE, BV 0095 NAVARRO WHITE.

PROGRESS DRAFT

WHEN SHOWN AND READ, THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE VCC GUIDELINES FOR MASONRY REPAIR. THE VCC GUIDELINES FOR MASONRY REPAIR WILL GOVERN THE WORK.

EXTERIOR REPAIRS

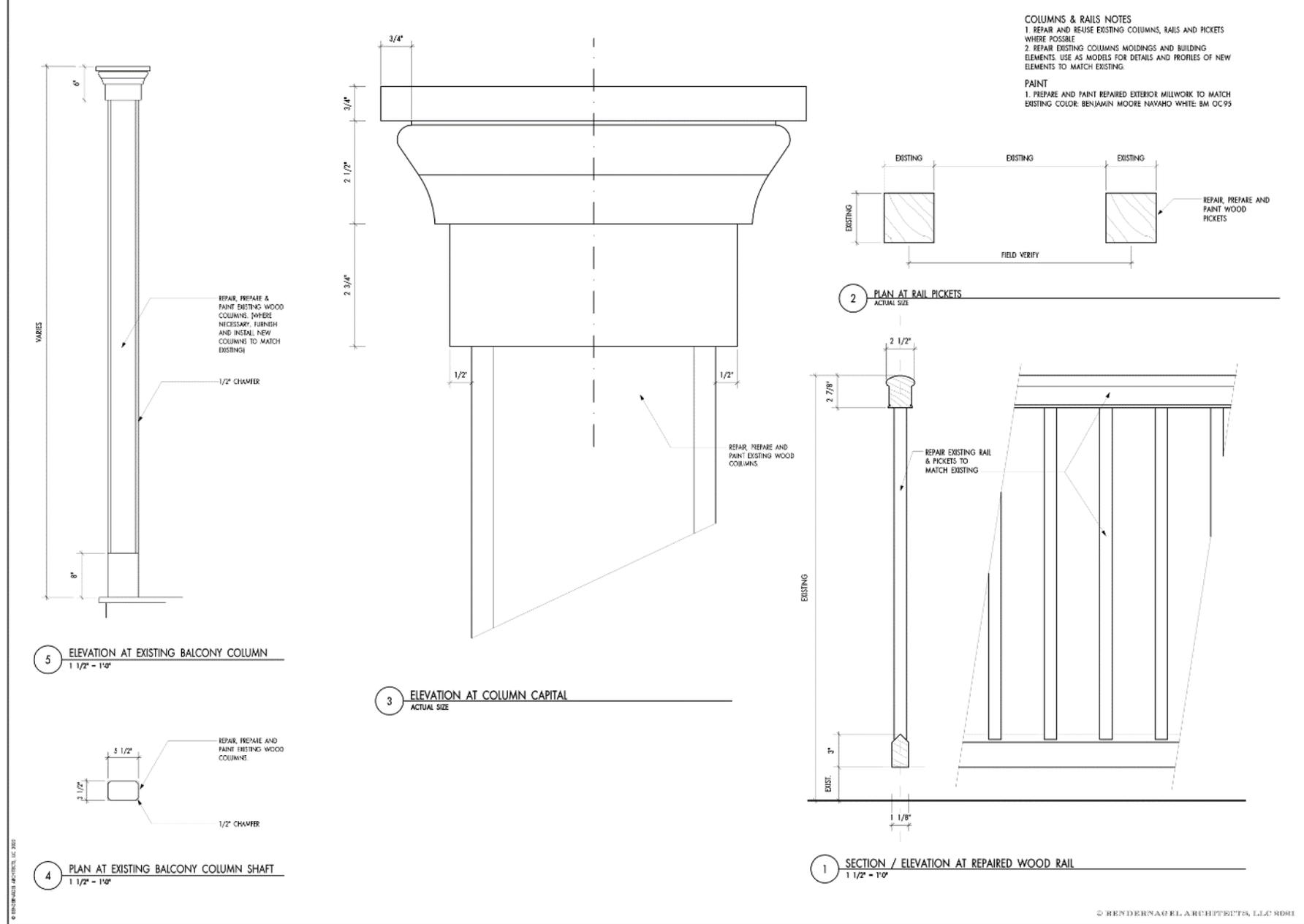
532 N RAMPART STREET
NEW ORLEANS, LOUISIANA, 70112
REVISED: 02/09/2021
PROJECT NO. 2021-001

PROJECT #2020-12
PROCESS DRAFT
1/8/2021
A-201
EXTERIOR ELEVATIONS

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 NEW ORLEANS, LOUISIANA, 70112
 BENDERSWELL ARCHITECTS, L.L.C.
 1000 PINE ST. SUITE 200 NEW ORLEANS, LA 70112 (504) 584-2200
 benderswell@benderswell.com

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PROJECT #2020 - 12
 PROGRESS DRAFT
 12/8/2021

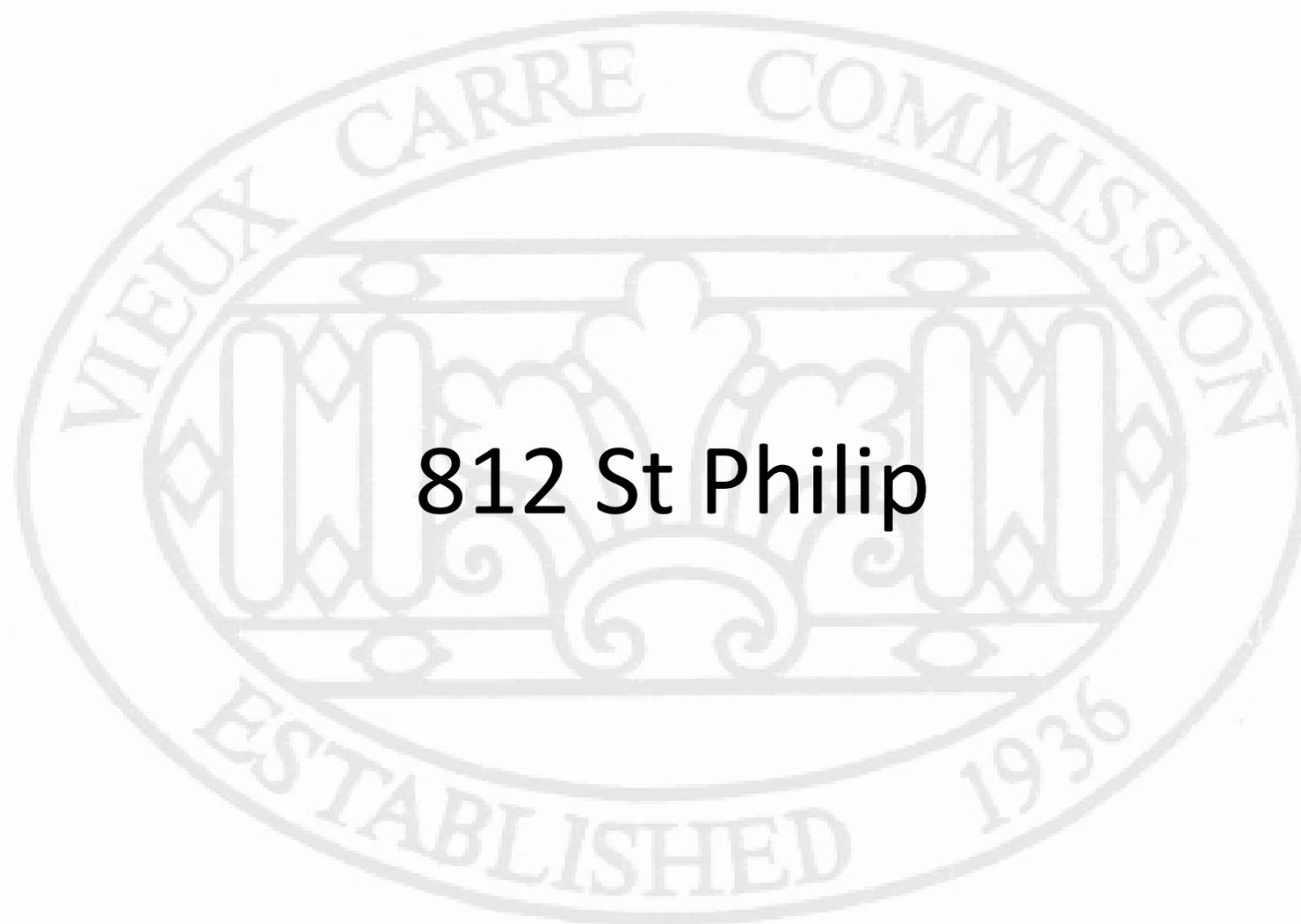
A-401
 BALCONY
 RAILS & COLUMNS

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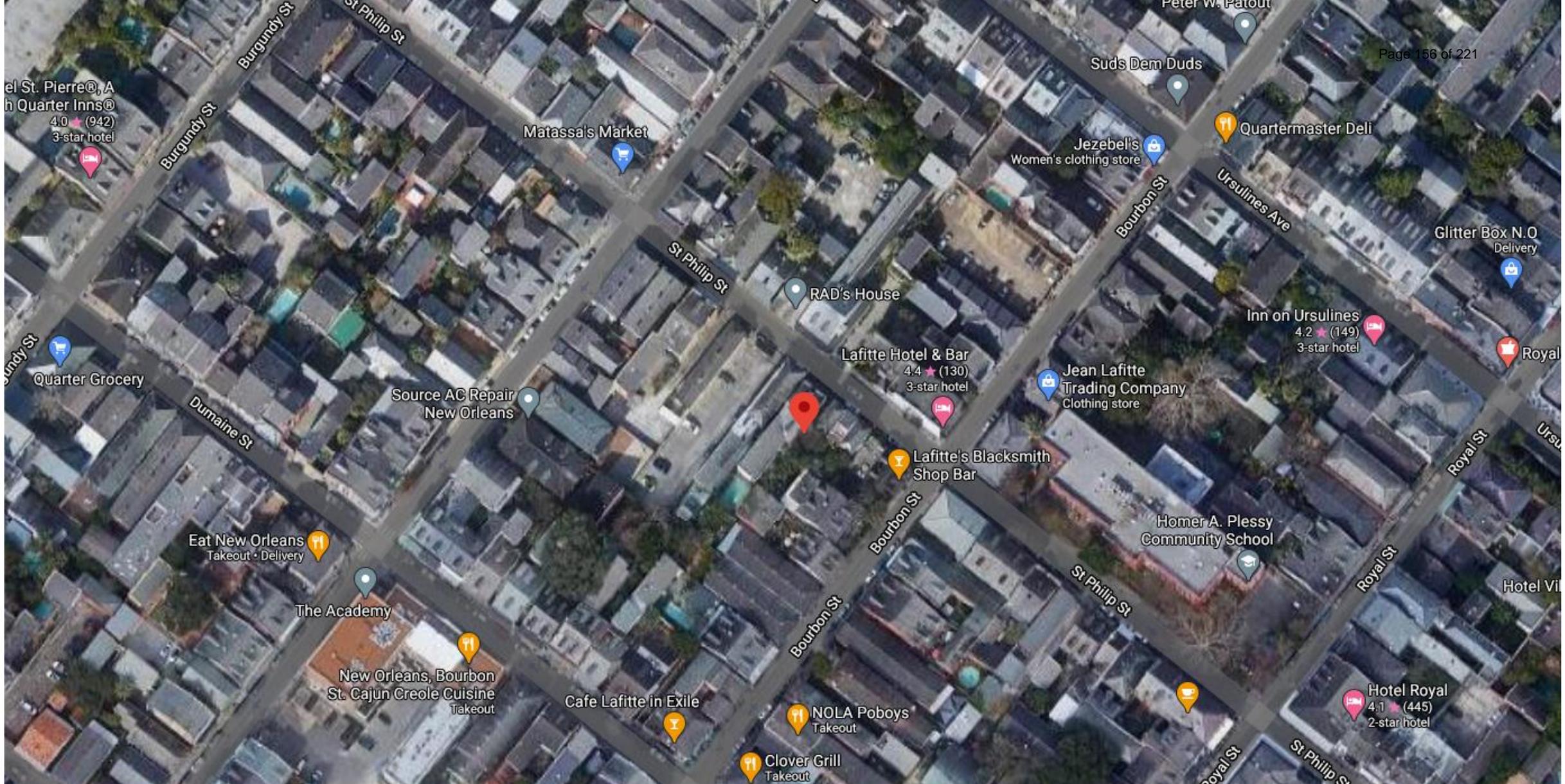




Appeals and Violations



812 St Philip



812 St Philip

VCC Architectural Committee

February 9, 2021





812 St Philip

VCC Architectural Committee

February 9, 2021





812-14 St Philip

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February 9, 2021





812-14 St Philip

VCC Architectural Committee

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February 9, 2021





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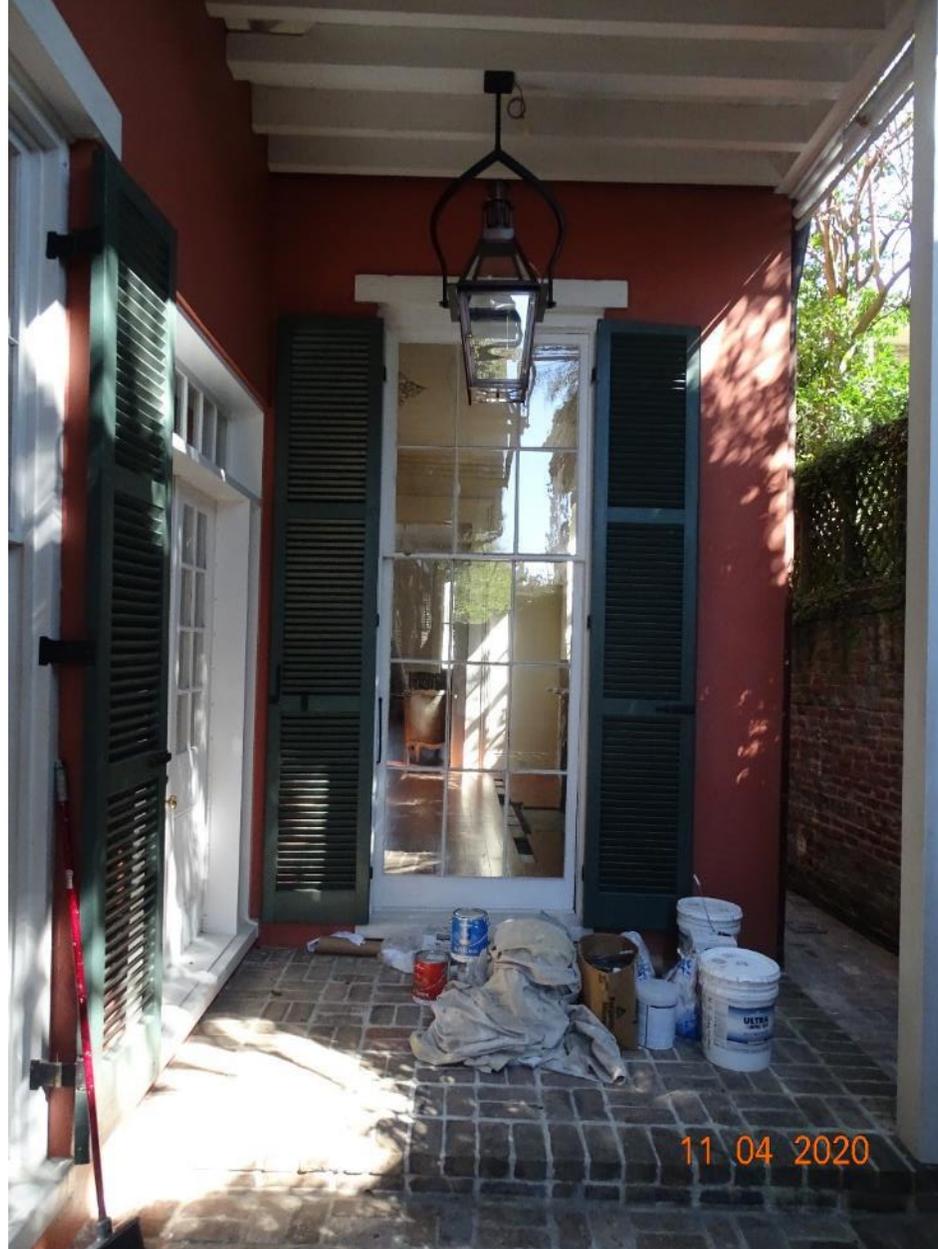


812-14 St Philip

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February 9, 2021





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NOTE 3

NOTE 4

5" x 5" x 1" BOX PLATE

FRONT VIEW (NTS)

SIDE VIEW (NTS)

ISOMETRIC VIEW (NTS- BRACKET ONLY)

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}$ " COPPER GAS LINE AND $\frac{3}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	14"	18"	21"	24"	27"	30"	36"
A:	20"	24"	26"	30"	33 $\frac{3}{4}$ "	38 $\frac{3}{4}$ "	46 $\frac{3}{4}$ "
B:	14 $\frac{1}{4}$ "	15 $\frac{7}{8}$ "	17 $\frac{1}{4}$ "	20 $\frac{1}{2}$ "	21 $\frac{7}{8}$ "	25 $\frac{3}{4}$ "	31"
C:	9 $\frac{7}{8}$ "	11 $\frac{1}{4}$ "	12 $\frac{1}{8}$ "	14 $\frac{3}{8}$ "	15 $\frac{1}{4}$ "	18 $\frac{1}{4}$ "	22 $\frac{1}{4}$ "
D:	VARIES						
E:	6 $\frac{1}{4}$ "	7 $\frac{5}{8}$ "	9 $\frac{3}{8}$ "	12 $\frac{3}{8}$ "	11 $\frac{7}{8}$ "	14 $\frac{1}{2}$ "	17 $\frac{3}{8}$ "
F:	8"	10 $\frac{1}{8}$ "	11 $\frac{1}{8}$ "	12 $\frac{7}{8}$ "	14 $\frac{3}{8}$ "	16 $\frac{1}{8}$ "	19 $\frac{5}{8}$ "

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LIGHT:	FRENCH QUARTER		DATE:	JJG	
BRACKET:	YOKE		4-17-18	REVISION: 11	

FRONT VIEW
(NTS)

SIDE VIEW
(NTS)

ISOMETRIC VIEW
(NTS-BRACKET ONLY)

5" x 5" BACK PLATE

NOTE 3

NOTE 3

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}"$
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}"$ COPPER GAS LINE AND $\frac{3}{16}" \times \frac{1}{4}"$ GAS LINE ADAPTOR

SIZE:	24"	30"	36"
A:	23 $\frac{3}{8}"$	29 $\frac{1}{2}"$	36"
B:	7"	8 $\frac{3}{4}"$	10 $\frac{1}{2}"$
C:	9 $\frac{1}{2}"$	11 $\frac{1}{4}"$	13"
D:	2 $\frac{1}{2}"$	2 $\frac{1}{2}"$	2 $\frac{1}{2}"$
E:	8 $\frac{3}{8}"$	10 $\frac{3}{4}"$	13 $\frac{1}{2}"$
F:	15"	18 $\frac{3}{4}"$	22 $\frac{1}{2}"$

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LIGHT:	GOVERNOR	DATE:	JJG	
BRACKET:	BRACKET MOUNT	11-30-17	REVISION: 3	

NOTE 3

NOTE 4

5" x 5" x 1" BOX PLATE

FRONT VIEW (NTS)

SIDE VIEW (NTS)

ISOMETRIC VIEW (NTS - BRACKET ONLY)

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}$ " COPPER GAS LINE AND $\frac{3}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR

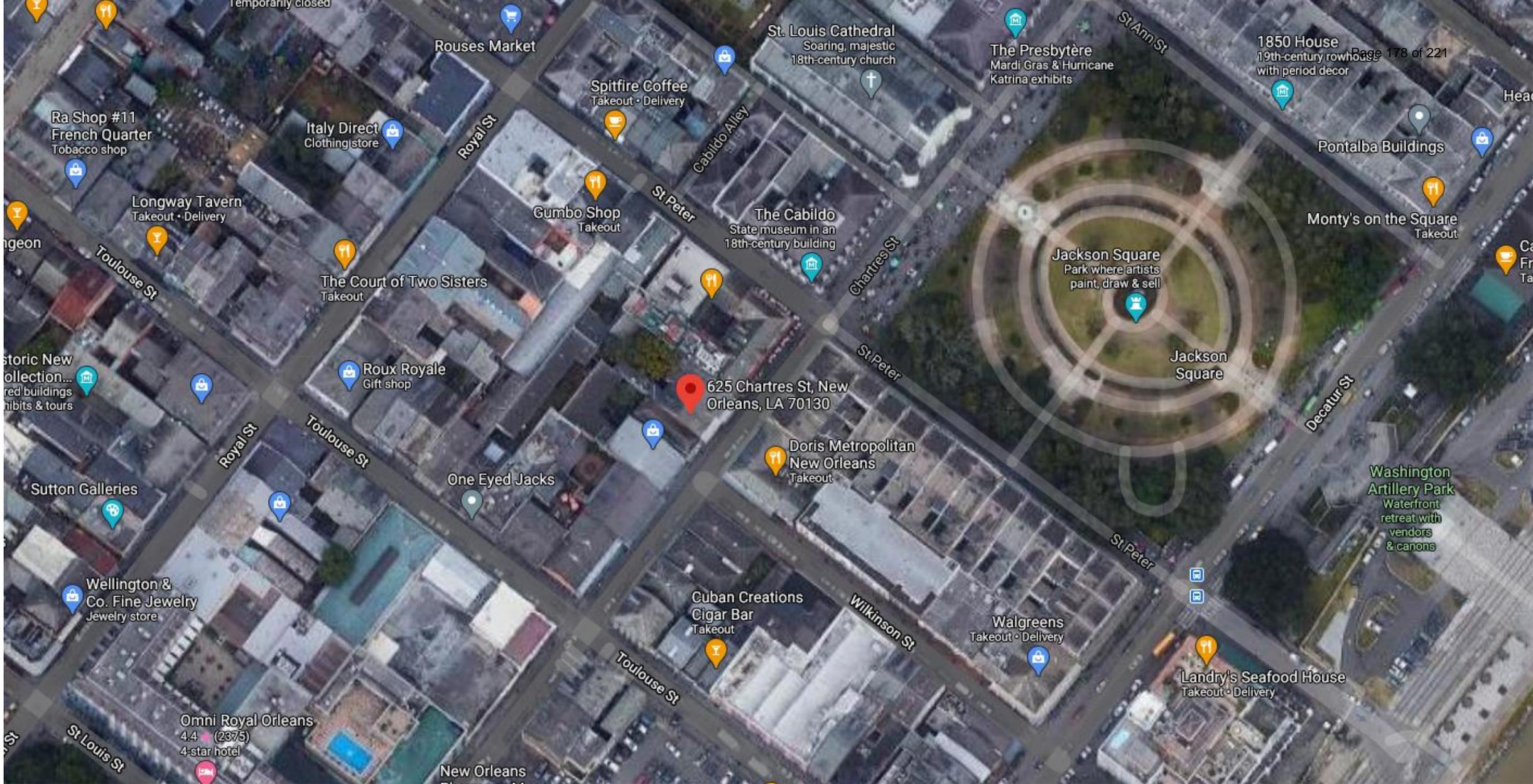
SIZE:	24"	31"	38"	44"
A:	31"	36 $\frac{1}{2}$ "	43 $\frac{5}{8}$ "	52 $\frac{1}{2}$ "
B:	18 $\frac{7}{8}$ "	20 $\frac{1}{8}$ "	23"	28 $\frac{1}{2}$ "
C:	15 $\frac{5}{8}$ "	16 $\frac{1}{2}$ "	18 $\frac{3}{4}$ "	22 $\frac{5}{8}$ "
D:	VARIES	VARIES	VARIES	VARIES
E:	14"	17"	21 $\frac{3}{8}$ "	25 $\frac{1}{2}$ "
F:	11 $\frac{3}{8}$ "	13 $\frac{5}{8}$ "	16 $\frac{5}{8}$ "	19 $\frac{1}{2}$ "

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LIGHT:	ROSETTA STANDARD	DATE:	JJG	
BRACKET:	CABILDO YOKE	4-27-20	REVISION: 4	





625 Chartres



625 Chartres

VCC Architectural Committee

January 26, 2021





625 Chartres

VCC Architectural Committee

January 26, 2021





625 Chartres

VCC Architectural Committee

January 26, 2021





625 Chartres

VCC Architectural Committee

January 26, 2021





625 Chartres – 2010

VCC Architectural Committee

January 26, 2021





625 Chartres

VCC Architectural Committee

January 26, 2021





625 Chartres

VCC Architectural Committee

January 26, 2021





625 Chartres

VCC Architectural Committee

January 26, 2021



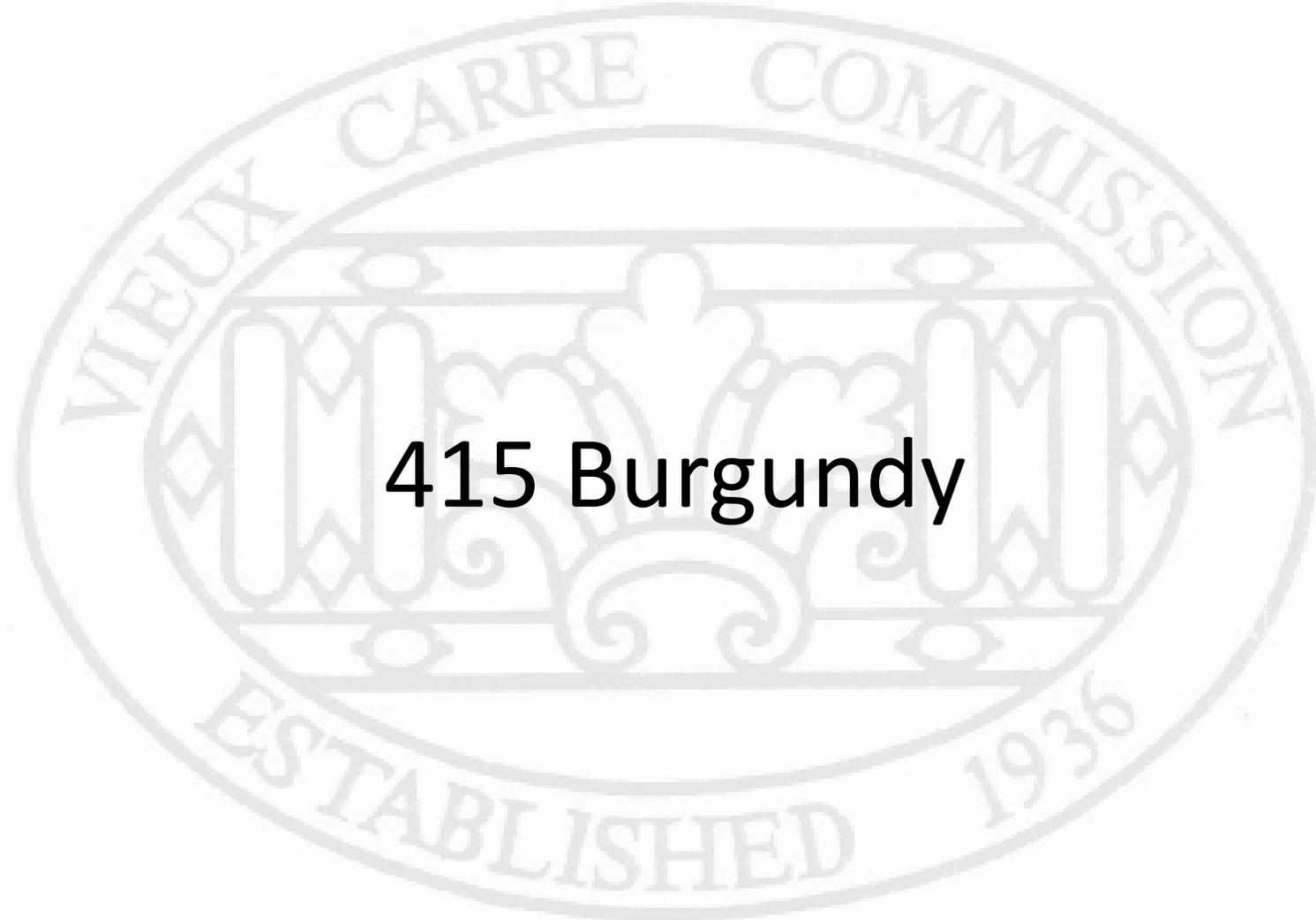


625 Chartres

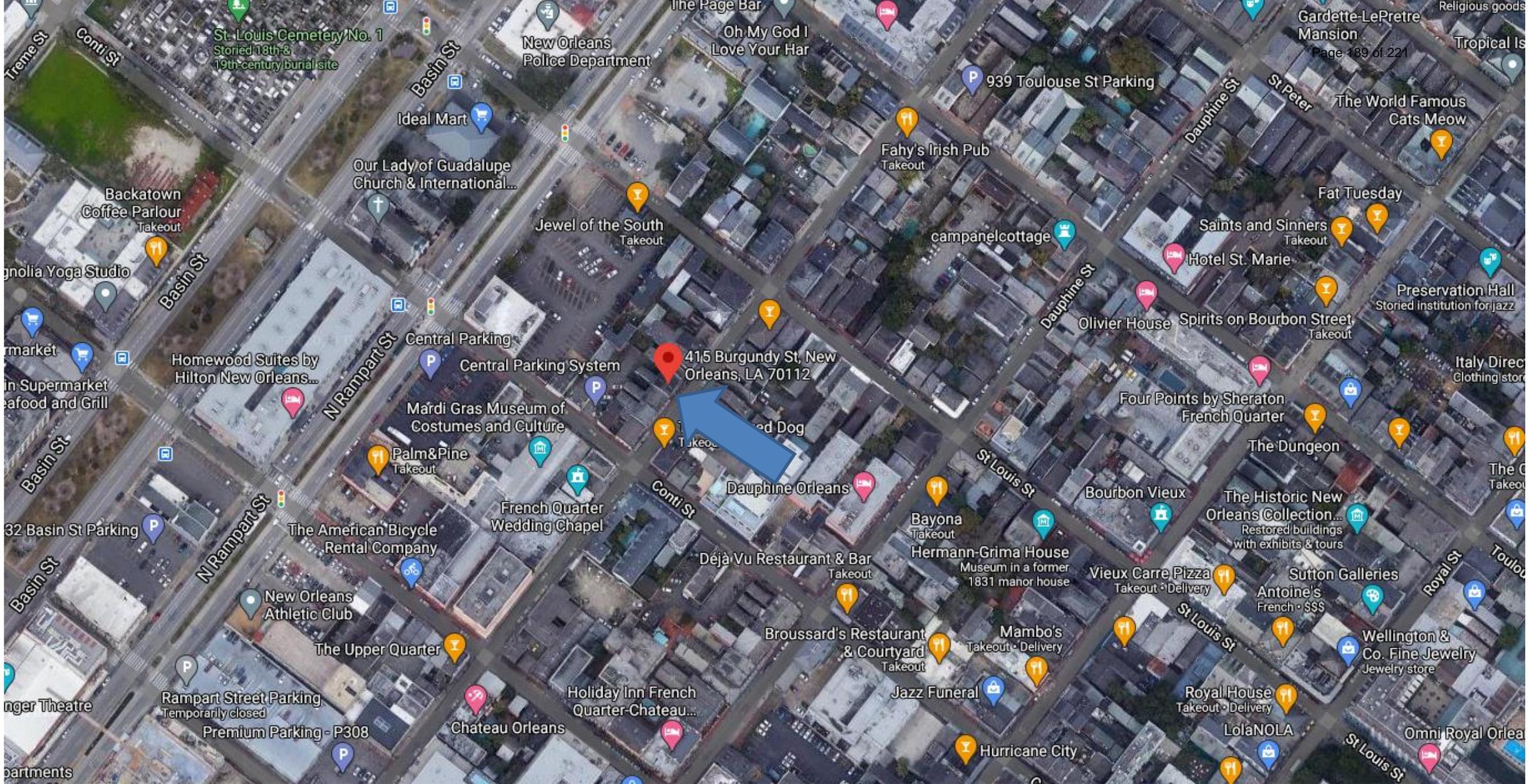
VCC Architectural Committee

January 26, 2021





415 Burgundy



415 Burgundy

VCC Architectural Committee

February 9, 2021





415 Burgundy

VCC Architectural Committee

February 9, 2021





415 Burgundy

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February 9, 2021





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415 Burgundy – Wall Location





415 Burgundy

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09 09 2020

February 9, 2021





415 Burgundy

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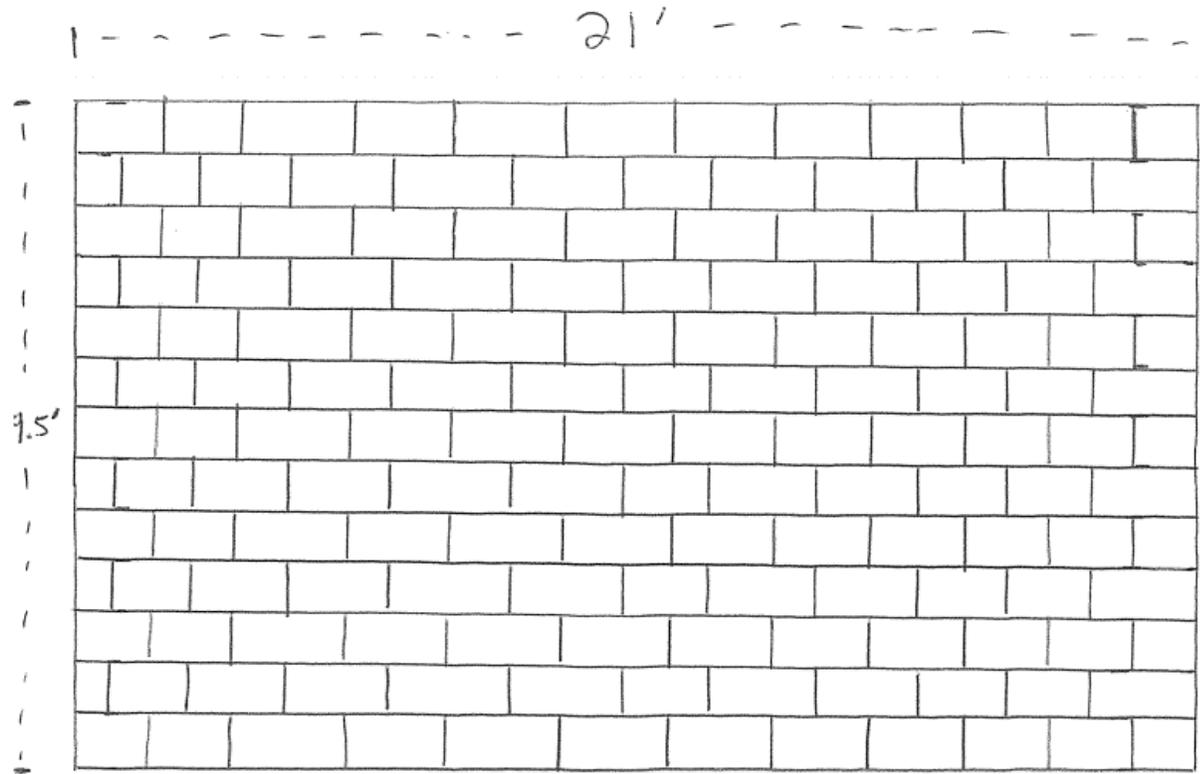
415 Burgundy

VCC Architectural Committee

February 9, 2021



415 Burgundy - Rear Wall





415 Burgundy

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February 9, 2021





415 Burgundy – 1963 Photograph

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February 9, 2021





415 Burgundy – 1963 Photograph (Detail)

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415 Burgundy – 1963 Photograph (Detail)

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415 Burgundy – 1987 Photograph

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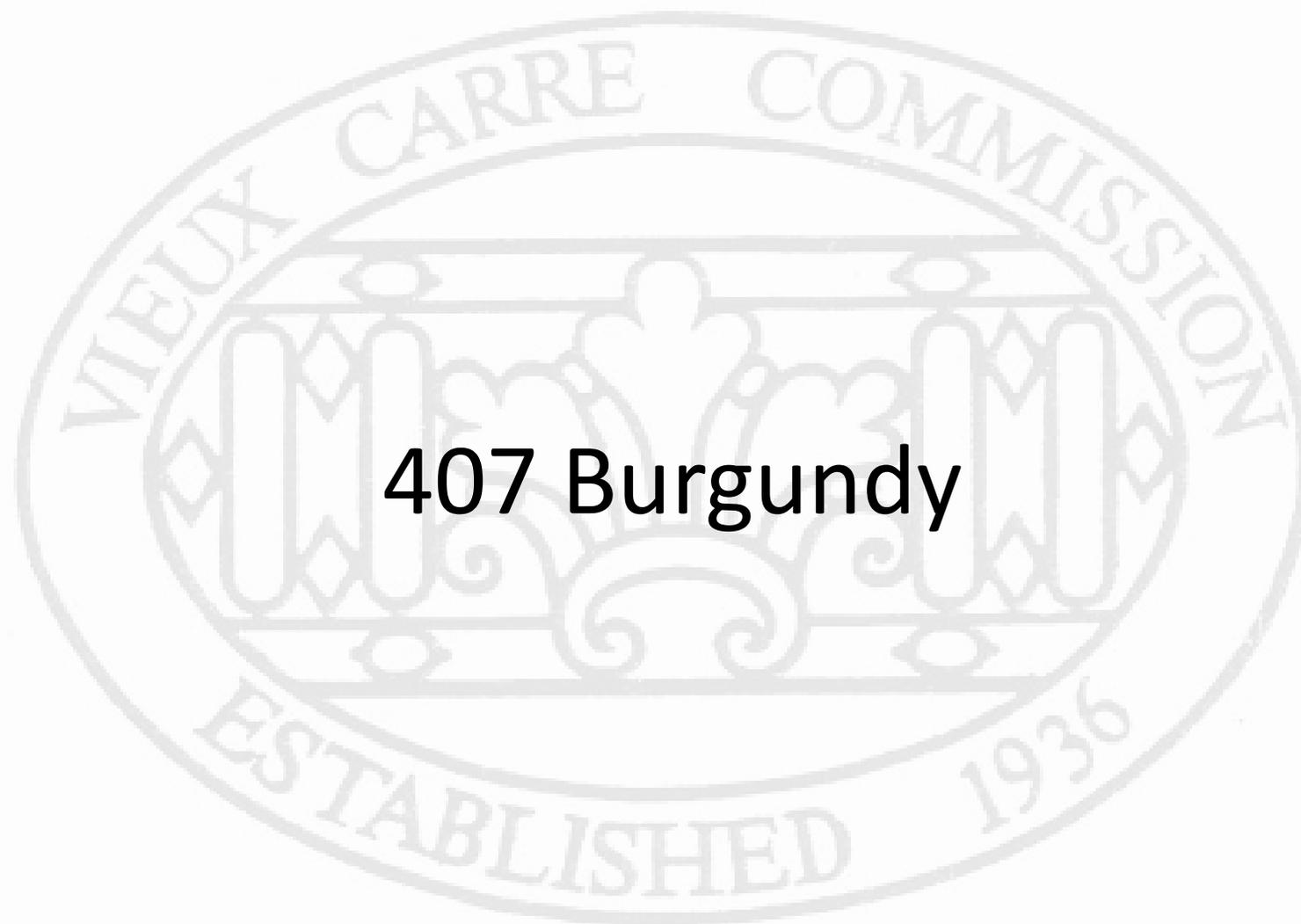


415 Burgundy – 1987 Photograph (Details)

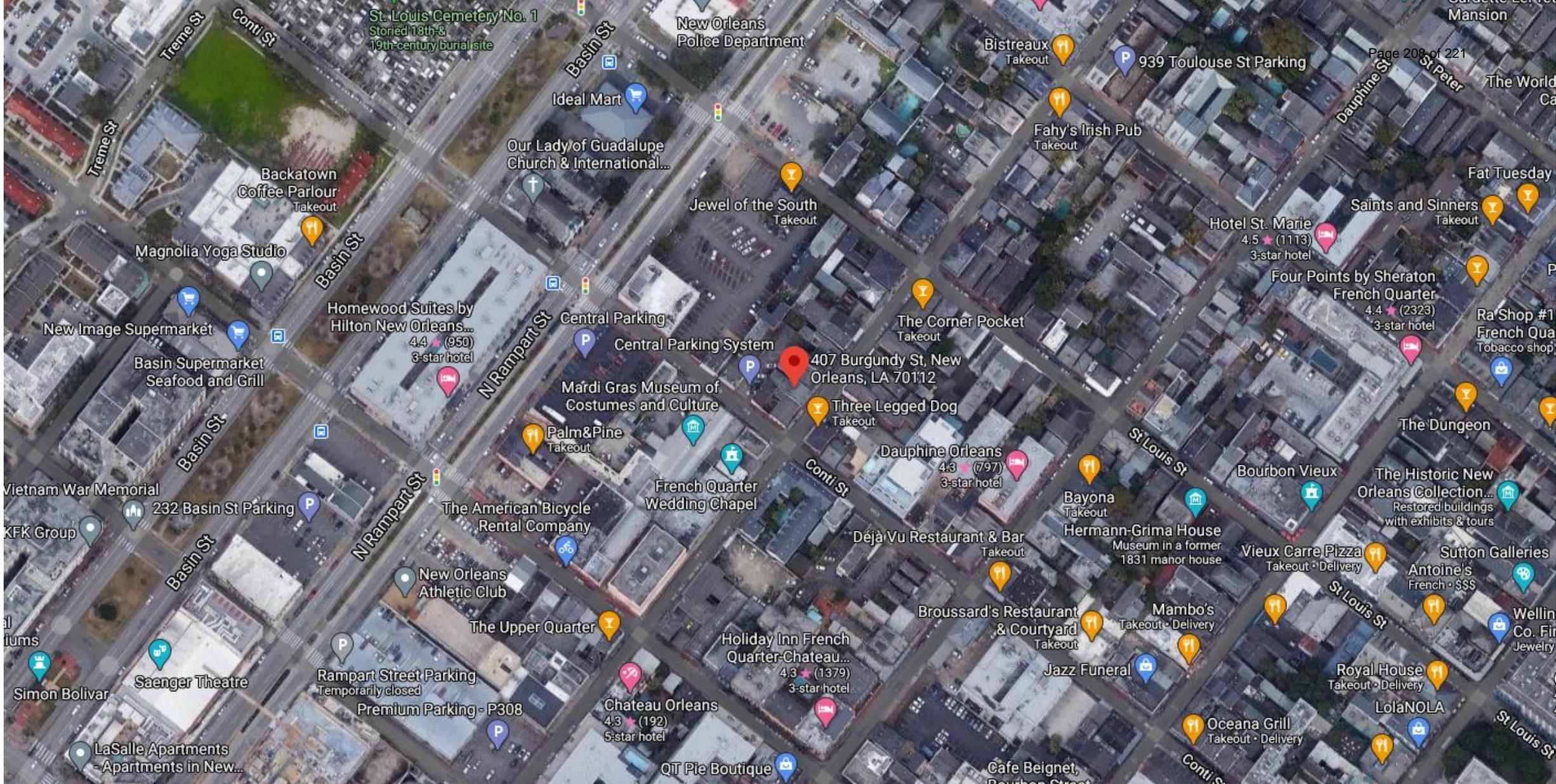
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407 Burgundy



407 Burgundy

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February 9, 2021





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Antennas Direct 8-Element Bowtie TV Antenna, 70 Miles Range & ClearStream Juice VHF/UHF Low-Noise Preamplifier System, Low-Loss Power Inserter, Two 36%22 High-Performance Coaxial Cables

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★★★★★ 2,105 ratings | 549 answered questions

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70 Mile w/ 4-Port TV Amplifier \$170.38	70 Mile w/ HDTV Preamplifier \$168.35
70 Mile w/ Preamplifier System \$207.93	70 Mile w/ VHF Kit --

Product 1: The Most Powerful 8-Element Bowtie Antenna Available - 70 Miles



407 Burgundy – Proposed New Location
VCC Architectural Committee

February 9, 2021





407 Burgundy – Proposed New Location

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February 9, 2021





407 Burgundy

VCC Architectural Committee

February 9, 2021





407 Burgundy

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Schlage Touch Keyless Touchscreen Lever with Camelot trim and Accent Lever

FE695 CAM 716 ACC

★★★★★ READ REVIEWS

Finish: Aged Bronze



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TAP TO ENLARGE

FEATURES

SPECIFICATIONS

- Applications: Residential single- and multi-family doors
- Backset: Universal latch standard, fits either 2-3/8 in. (60mm) or 2-3/4 in. (70mm) backsets
- Battery: Uses 1 9V battery
- Certifications:
 - Commercial Standard Certification:ANSI/BHMA A156.2-2011 Grade 2
 - Residential Standard Certification:ANSI/BHMA A156.39-2015 Grade AAA in Security, Durability and Finish
- Door thickness range: 1-3/8 in. to 1-3/4 in. (35mm-44mm) standard
- Exterior Dimensions: 3" x 5.4" x 7.9"
- Operating Temperatures: Outside escutcheon: -35C to 66C,Inside escutcheon: -10C to 49C
- Warranty: 3-Year Electronics Warranty; Limited Lifetime Mechanical and Finish Warranty
- Codes: 2 pre-set unique 4-digit access codes, storage of up to 19 access codes

Schlage Touch Keyless Touchscreen Lever with Camelot trim and Accent Lever

FE695 CAM 716 ACC

★★★★★ READ REVIEWS

Finish: Aged Bronze



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Camelot Trim Connected Keypad Deadbolt



Accent Lever with Camelot trim Hall & Closet Lock



Accent Lever with Camelot trim Bed & Bath Lock

