

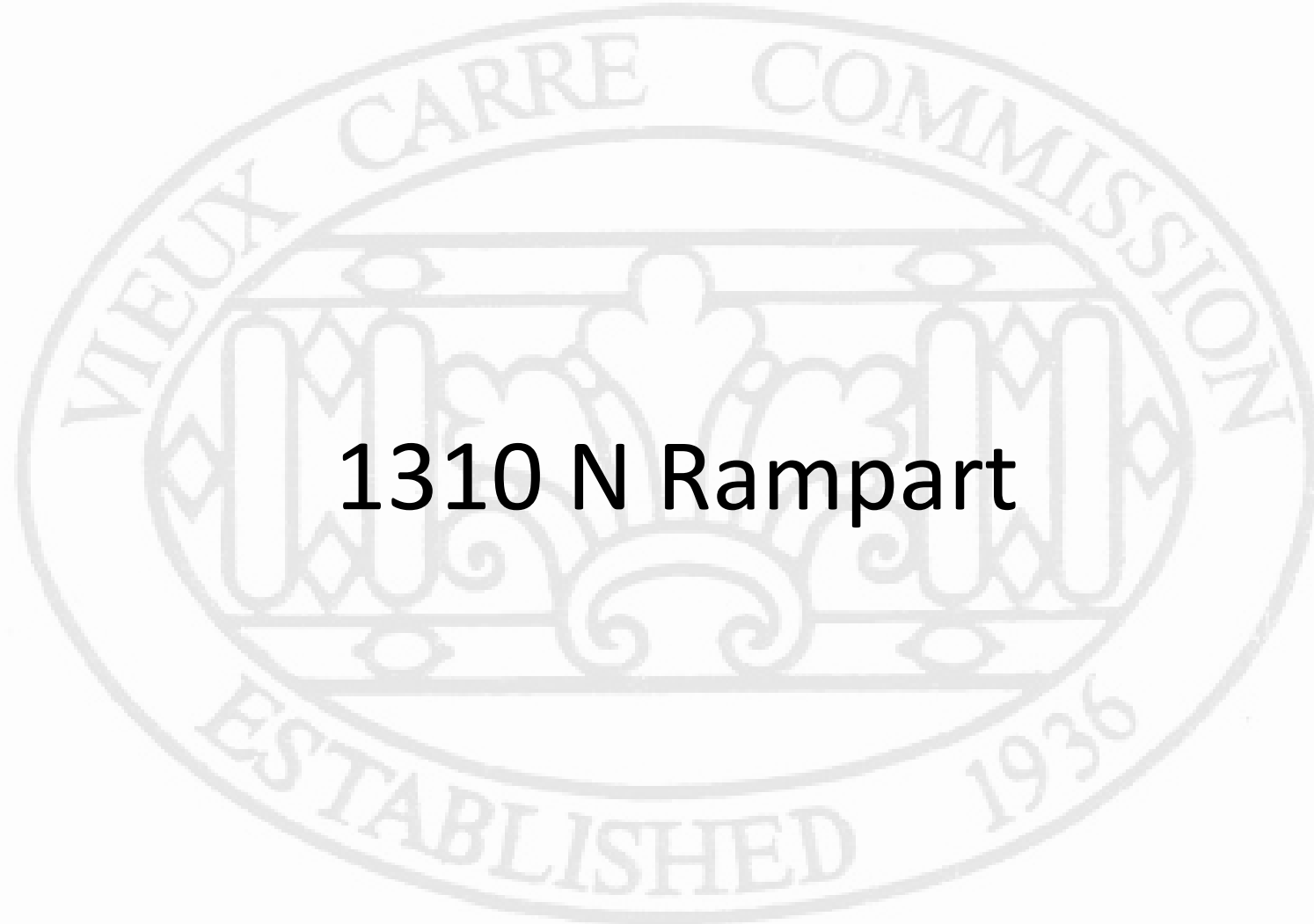


Vieux Carré Commission Architecture Committee Meeting

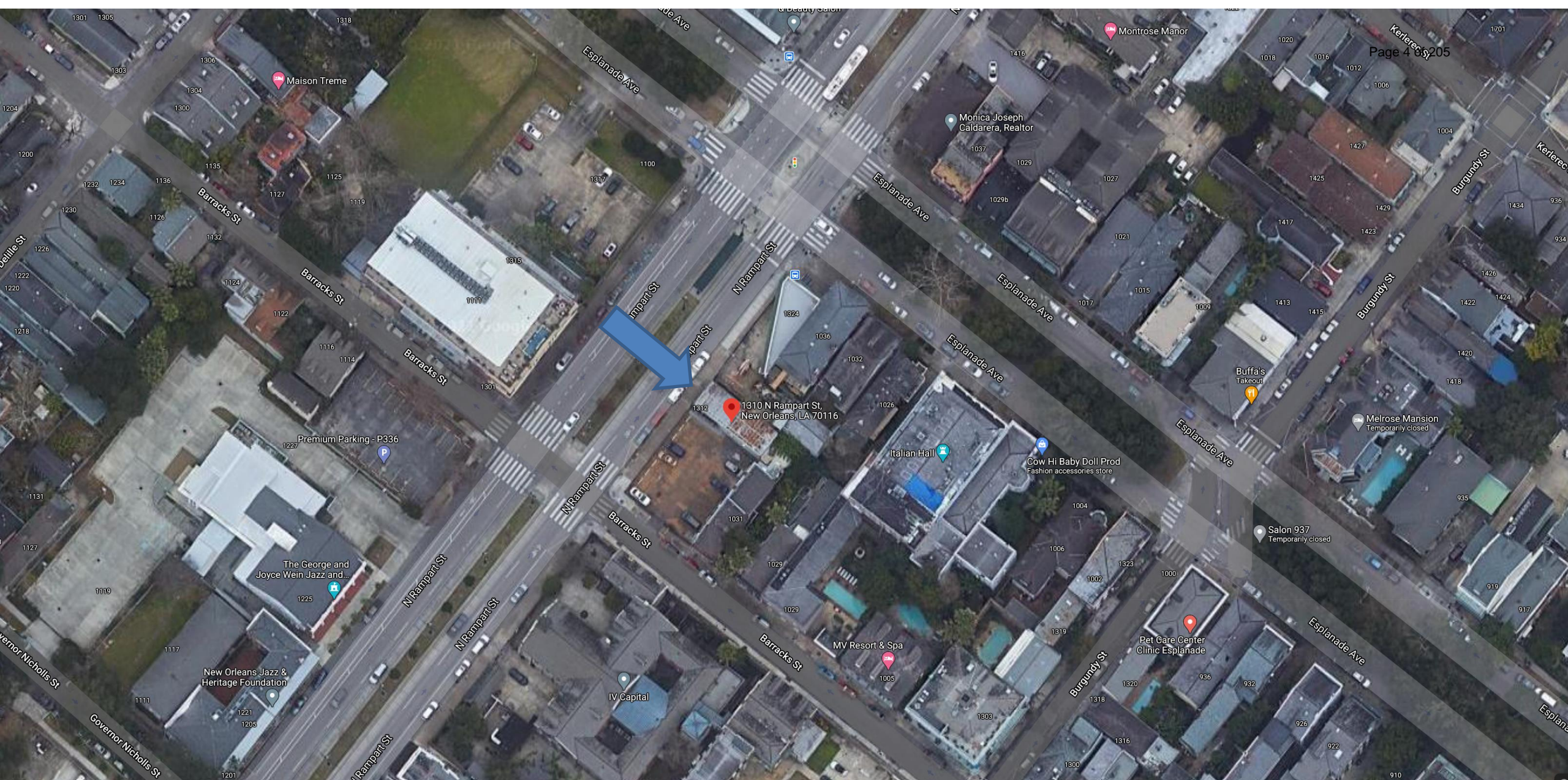
Tuesday, March 23, 2021



Old Business



1310 N Rampart



1310 N Rampart

VCC Architectural Committee

March 23, 2021





1310 N Rampart

VCC Architectural Committee

March 23, 2021





1310 N Rampart

VCC Architectural Committee

March 23, 2021





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VCC Architectural Committee

March 23, 2021





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VCC Architectural Committee

March 23, 2021





1310 N Rampart

VCC Architectural Committee

March 23, 2021





1310 N Rampart

VCC Architectural Committee

March 23, 2021





1310 N Rampart

VCC Architectural Committee

March 23, 2021



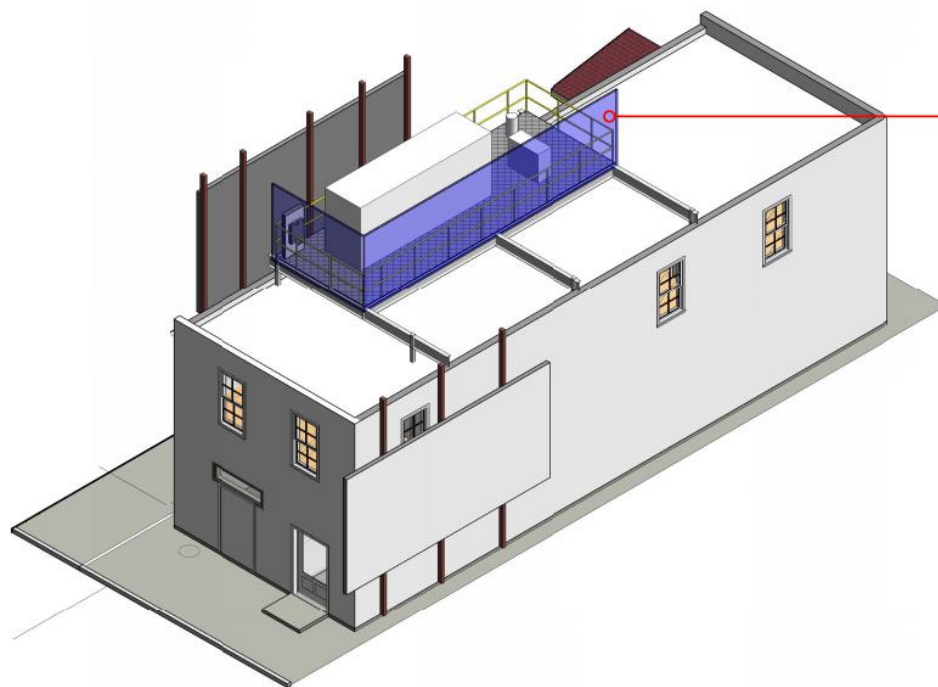


1310 N Rampart

VCC Architectural Committee

March 23, 2021

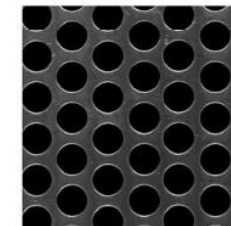




BASIS OF DESIGN:
MECHANICAL SCREEN AT
ROOF RACK

LOCATION AS INDICATED
IN BLUE.

FINAL DESIGN TO
SUBMITTED BY SHOP
DRAWING FOR VCC
STAFF LEVEL APPROVAL.



McNICHOLS® Perforated Metal
Round, Carbon Steel, Cold Rolled, 16
Gauge (.0598" Thick), 3/4" Round on 1"
Staggered Centers, 51% Open Area
ITEM: 1534011641
SIZE(S): 48" x 120"

① AXON - GEOTHERMAL Copy 1

NEW ORLEANS, LA 70115

1310 N RAMPART ST

ROOF RACK - ADDENDUM SCREEN DRAWING
03/16/21

A6



M3 DESIGN GROUP

1310 N Rampart

VCC Architectural Committee

March 23, 2021

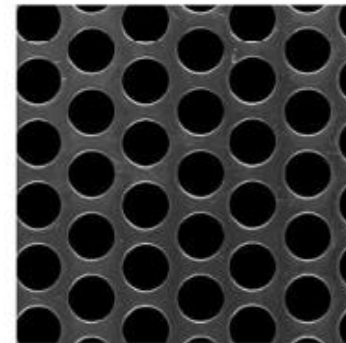




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MECHANICAL SCREEN AT
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Gauge (.0598" Thick), 3/4" Round on 1"
Staggered Centers, 51% Open Area

ITEM: 1634011641

SIZE(S): 48" x 120"

1310 N Rampart

VCC Architectural Committee

March 23, 2021



T: 713.256.3536

NEELALAN@GMAIL.COM

March 16, 2021

Vieux Carré Commission Staff
VCC Architectural Review Committee
C/O Erin B. Vogt
ebvogt@nola.gov

Via E-mail

**Re: 1310 N Rampart St: 20-46919-VCGEN; Permit Ref 5FFFQAJ (Part of
Emergency Request)**

To the VCC Staff and Architectural Review Committee:

Esplanade NOLA LLC ("Esplanade NOLA") has an open permit request for an emergency roof repair and roof top mechanical rack located at 1310 N Rampart St. The roof repair and the mechanical rack go hand-in-hand due to the nature of the proposed work. To move forward, Esplanade NOLA has submitted a request for approval to the VCC's Architectural Review Committee ("ARC"). The VCC Staff has approved the roof repair and recommended approval of the mechanical rack to the ARC.

Esplanade NOLA's request was heard at the March 9, 2021, ARC meeting. There were no public comments against the project. However, Esplanade NOLA's request was deferred due to a committee member's concern that the billboard located on 1036 Esplanade ("Billboard"), which would help serve as a screen, was subject to a law passed in the 1980s that made the billboard temporary and subject to removal shortly.

After a legal review, Esplanade NOLA is aware of no current laws that require future removal of the Billboard.

Additionally, to mitigate any further concerns about the Billboard's future, Esplanade NOLA will agree to a covenant obligating it to build a screen covering the mechanical rack if in the future the Billboard is ever taken down. Or, in the alternative, Esplanade NOLA will agree to build the screen now as part of this emergency permit so that the screen will be in place independent of the Billboard. A drawing of such a screen is attached to this submittal for conceptual approval.

In either alternative, any issue regarding the future removal of the Billboard for the purposes of the ARC approving the proposed work is rendered moot. And due to the emergency nature of the work, Esplanade NOLA respectfully requests that its business be heard and approved at the March 23, 2021, ARC meeting.

If you have any questions in advance of the March 23rd meeting, please feel free to contact Myles Martin, the Project's architect, or I.

Very truly yours,

/s/ Neel A. Choudhury
Neel A. Choudhury
TX BAR # 24055309
LA BAR # 33059
3038 Ponce de Leon
New Orleans, LA 70119

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1310 N Rampart

VCC Architectural Committee

March 23, 2021



CONSTRUCTION DOCUMENTS - EMERGENCY ROOF REPAIR AND ROOF RACK ADDITION

1310 N RAMPART ST
NEW ORLEANS, LA 70116

Page 16 of 205

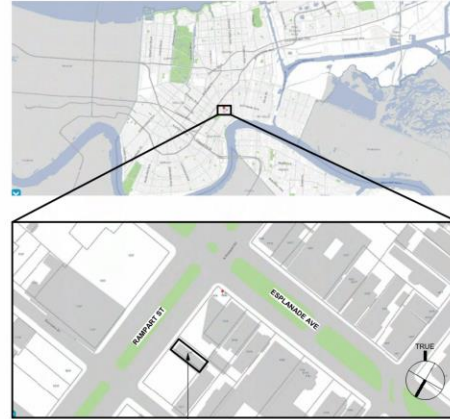
PROJECT INFORMATION:

PROPERTY DESCRIPTION: SQ 108 LOT 3 N RAMPART 23X63
INCLUDES 1310-14 N RAMPART ST
ZONING DISTRICT VCC-2
BUILDING SQUARE FOOTAGE: 2,826 SF GROSS
1ST FLOOR SF EXISTING (BUSINESS): 1,413 SF GROSS
2ND FLOOR SF EXISTING (2 APARTMENTS): 1,413 SF GROSS
PROJECT DESCRIPTION
EMERGENCY ROOF REPAIR FOLLOWING HURRICANE ZETA.
ADDITON OF ROOF RACK.
OCCUPANCY CLASSIFICATION
IBC: Mixed - Section 304 Business Group B (1ST FLOOR)
Residential Group R (2ND FLOOR)
NFPA: Mixed - Business (1ST FLOOR)
Residential (2ND FLOOR)
SPRINKLERED: NO
FIRE ALARM: NO
CONSTRUCTION TYPE: IBC V-B NFPA V000

APPLICABLE CODES:
2015 IBC
2015 NFPA
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FUEL GAS CODE
2015 LOUISIANA STATE PLUMBING CODE
2015 NATIONAL ELECTRIC CODE
2010 ASHRAUGH

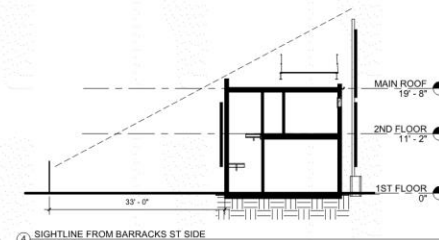
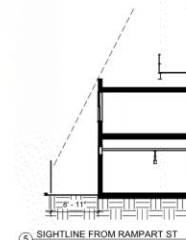
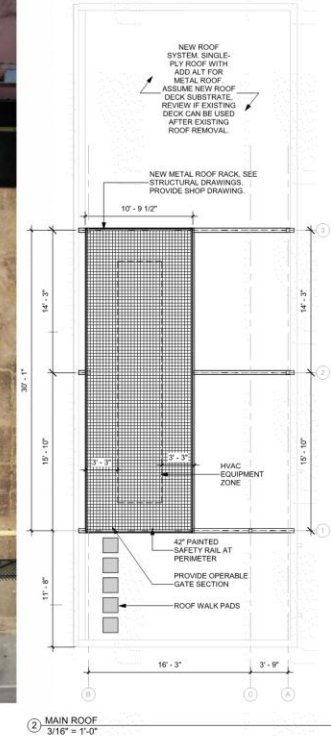
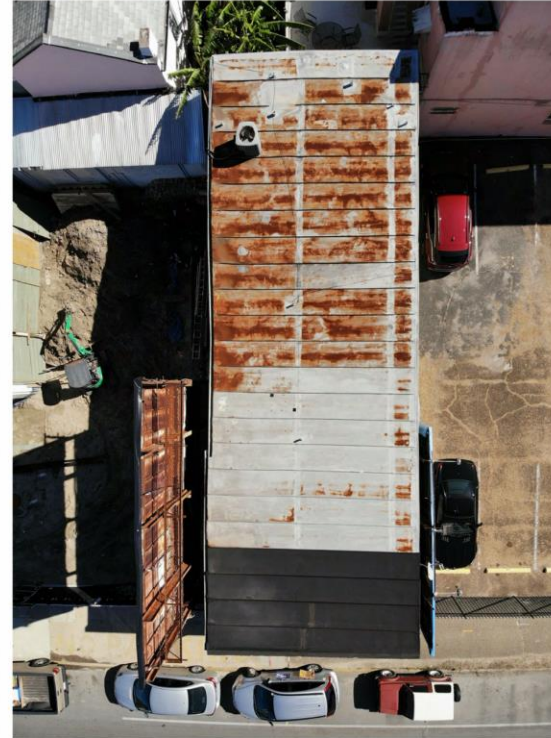
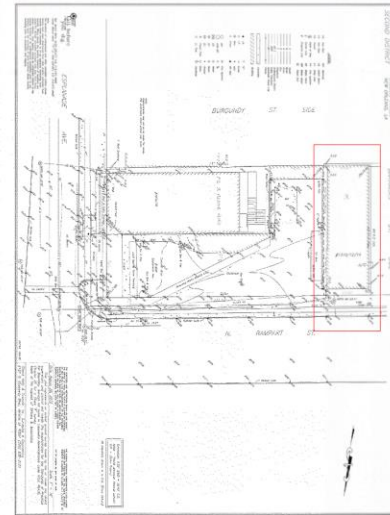
OWNER: ESPLANADE NOLA LLC
757 FULTON ST
BROOKLYN, NY 11217
PROFESSIONAL OF RECORD
ARCHITECT: M3 DESIGN GROUP LLC
3328 BANKS ST
NEW ORLEANS, LA 70119
POR: MYLES MARTIN 7597

VICINITY MAP:



GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS & VCC IF EXISTING.
3. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDIOS OF EXTERIOR WALLS, INSIDE FACE OF STUDIOS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR RUIN TO ANY PERSON OR ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
5. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION INCLUDING UTILITIES WHICH WILL INTERFERE WITH NEW WORK. EXTERIOR DEMO REQUIRES VCC APPROVAL.
6. PRIOR TO THE SHUT-DOWN OF TYPING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
7. THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
8. ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.



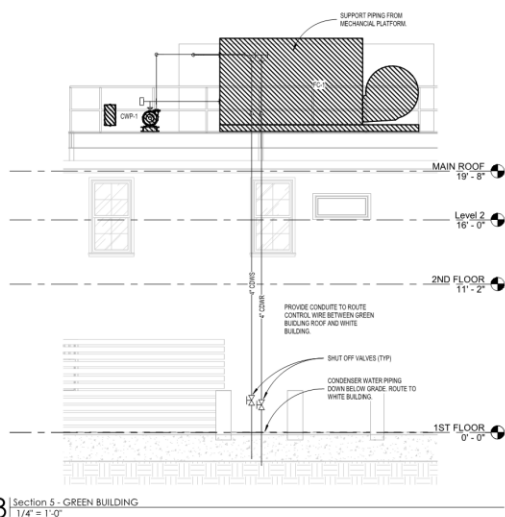
18_006_RNV.COM
1310 RAMPART ST RENOVATION
1310 RAMPART ST
NEW ORLEANS, LA 70116

DATE
REVISION
NO
VCC PERMIT SET UPDATE ISSUE 1/18/21

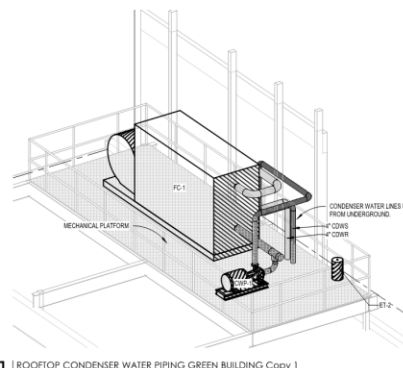


M3 DESIGN GROUP
3328 BANKS ST, SUITE 100, NEW ORLEANS, LA 70119
CONSTRUCTION DOCUMENTS
ISSUED 11/16/20
A1.0
TITLE SHEET

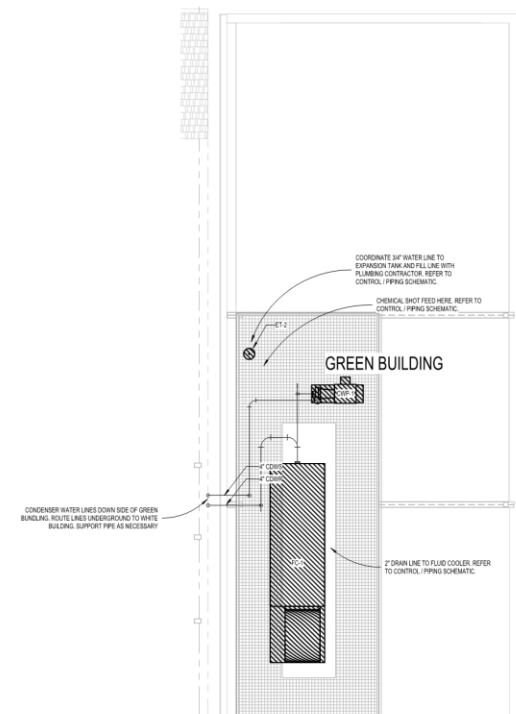




3 Section 5 - GREEN BUILDING
1/4" = 1'-0"



1 ROOFTOP CONDENSER WATER PIPING GREEN BUILDING Copy 1
1/4" = 1'-0"



2 ROOF PLAN - MECHANICAL PIPING - GREEN BUILDING
1/4" = 1'-0"

THERMAL EXPANSION TANK SCHEDULE - HVAC

NOTES:

1. SHELL SHALL BE FABRICATED STEEL DESIGNED AND CONSTRUCTED PER ASME SECTION VIII DIV 1
2. BLADDER SHALL BE MADE OF HEAVY DUTY BUTYL RUBBER AND SHALL BE REMOVABLE FOR INSPECTION
3. TANK TO BE MOUNTED AND SECURED TO WALL
4. TANK SHALL BE PROVIDED WITH ASME PRESSURE RELIEF VALVE WITH OUTLET PIPED TO FLOOR DRAIN

MARK	DESCRIPTION	VOLUME	CONNECTION SIZE	WEIGHT	MAX TEMP	ACCEPTABLE MANUFACTURERS	NOTES
ET-2	ASME CERTIFIED BLADDER TYPE THERMAL EXPANSION TANK	5 gal	3/4"	75 lb	200 °F	BLR DTS SERIES, AMPTROL ST SERIES, BACKSTOP AC SERIES	1, 3, 4

PUMP SCHEDULE - HVAC GREEN BUILDING

NOTES:

1. PUMP TO BE MOUNTED AND SECURED TO WALL OR STRUCTURE ABOVE
2. PUMP BODY SHALL BE OF LEAD FREE BRONZE CONSTRUCTION AND SHALL BE SUITABLE FOR TEMPERATURES UP TO 180 °F
3. INSTALL PUMP WITH ISOLATION VALVES ON BOTH THE INLET AND DISCHARGE. INSTALL CHECK VALVE ON DISCHARGE OF PUMP
4. PUMP SHALL HAVE THREE (3) FLEED SELECTABLE SPEEDS
5. PUMP SHALL DRAW NO MORE THAN 200W OF POWER
6. PUMP SHALL BE PROVIDED WITH TOP MOTOR
7. PUMP SHALL BE CLOSED COUPLED FOOT MOUNTED END SUCTION PUMP
8. PUMP SHALL BE RATED TO EXTERIOR INSTALLATION. PUMP WILL BE INSTALLED ON ROOF OF BUILDING EXPOSED TO THE ELEMENTS
9. PUMP SHALL BE CONTROLLED BY A VFD INSTALLED ADJACENT TO PUMP ON ROOF OF BUILDING. VFD SHALL BE INSTALLED IN NEMA 3P RATED ENCLOSURE

MARK	SERVICE	FLOW	DP	POWER	RPM	ELECTRIC SERVICE			ACCEPTABLE MANUFACTURERS	NOTES
CWP-1	CONDENSER WATER CIRCULATION PUMP	130 GPM	95 INHG	3 hp	1750	208 V	3	60 Hz	88G & 1032-280	2, 3, 5, 7, 8, 9

FLUID COOLER SCHEDULE

NOTES:

1. TO BE CONSTRUCTED OF GALVANIZED STEEL WITH STAINLESS STEEL BASIN
2. PROVIDE VIBRATION CUT-OFF SWITCH AND EXTENDED LUBE LINES
3. PROVIDE BAL-5-GAUGE REDUNDANT 10HP MOTOR

MARK	SERIES	AIRFLOW CONFIG	HEAT REJ. TONS	CAPACITY			PD FT	TYPE	FAN			BASIN PUMP			BASIN HEATER		ELECTRICAL				WEIGHT: LBS	MANUFACTURER	MODEL	NOTES	
				AMBIENT WB/F	EW/F	LWT/F			FANS NO	AIRFLOW CFM	ESP IN WG	TOTAL MOTOR HP	PUMPS NO	CLG FLOW GPM	TOTAL MOTOR HP	HEATERS	CAPACITY KW	VOLTAGE	PHASE	SCCR AMPS					
FC-1	CONDENSER WATER	FORCED	50	150	80	100	90	17	CENTRIFUGAL	1	23500	0	10	1	142	1	ELECTRIC	4	208	3	0	8000	BALTIMORE AIRCOIL	VFL-036-22K	1, 2, 3

MM19-005

1310 RAMPART ST RENOVATION
1310 RAMPART ST
NEW ORLEANS, LA 70116

DATE

REVISION

NO



M3 DESIGN GROUP
1310 RAMPART ST. #100, LA 70116 | (504) 586-8800
WWW.M3DESIGNGROUP.COM

Project Status
ISSUED 01/14/21

M1
MECHANICAL

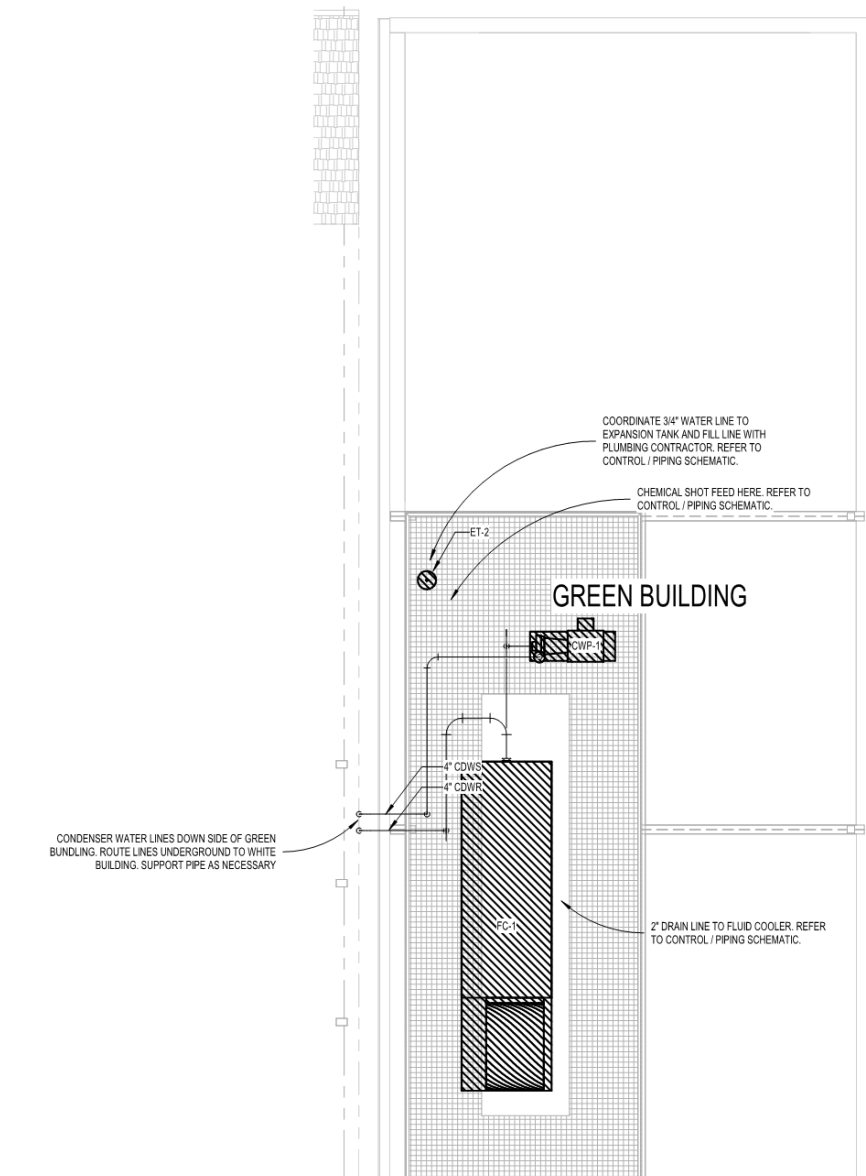


1310 N Rampart

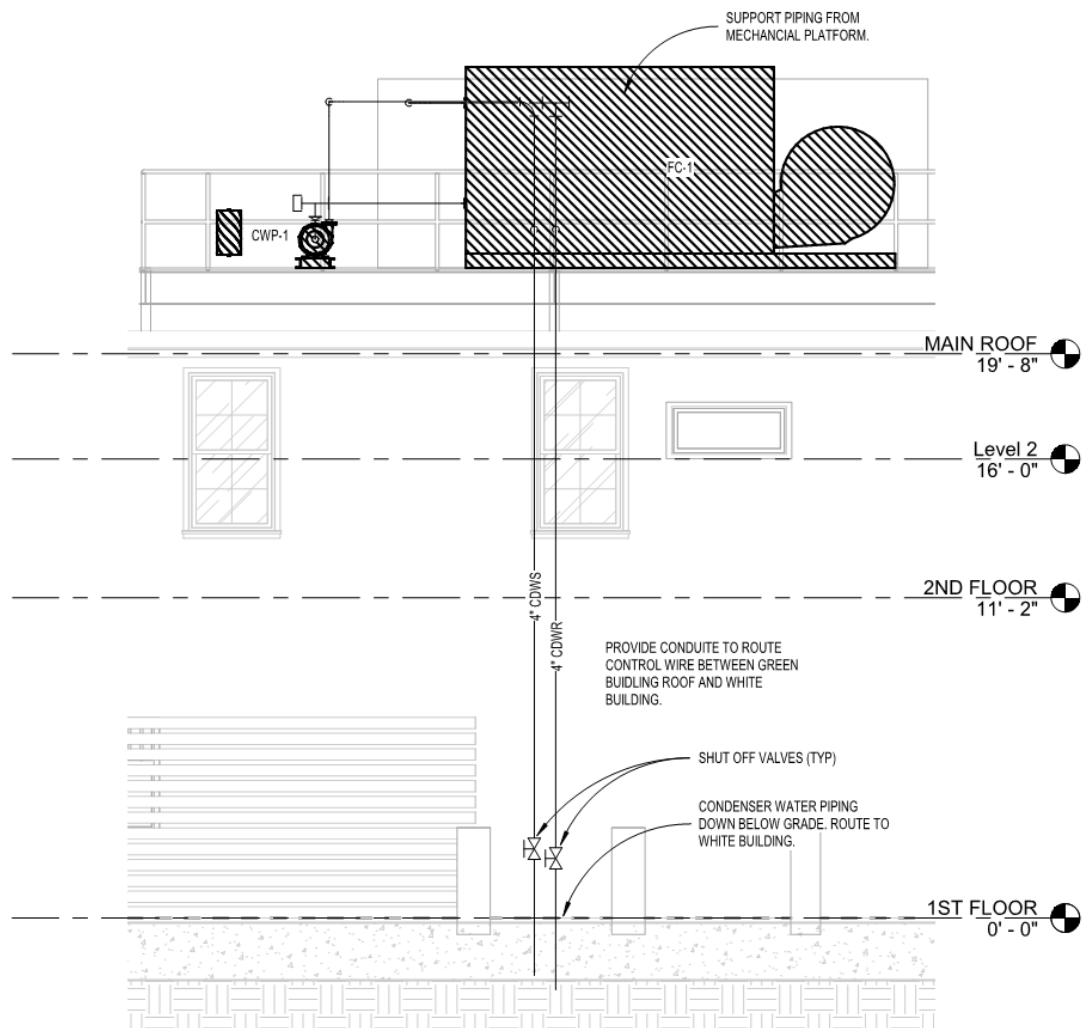
VCC Architectural Committee

March 23, 2021

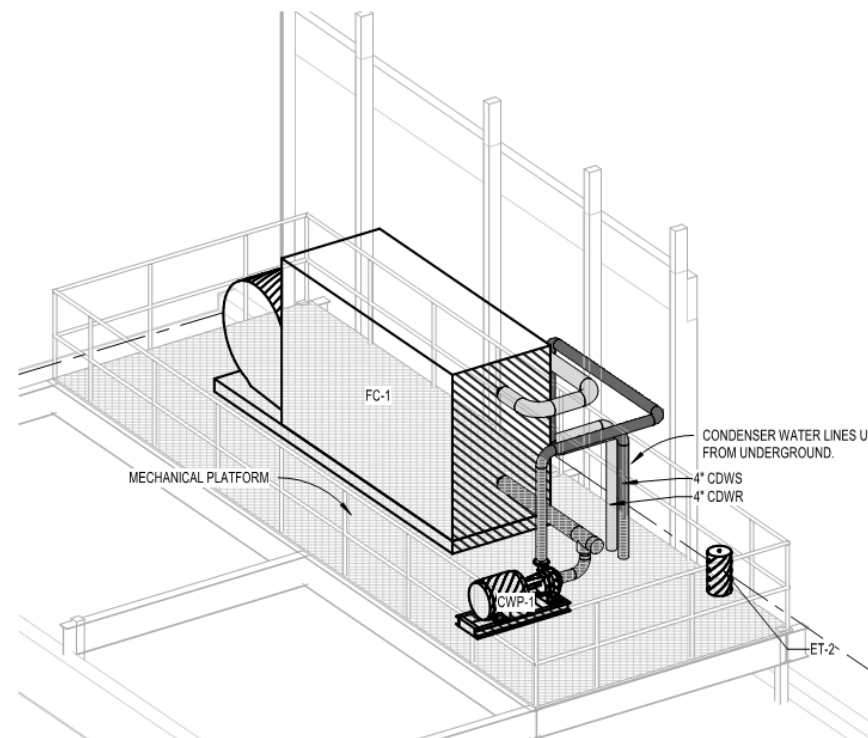




2 ROOF PLAN - MECHANICAL PIPING - GREEN BUILDING
1/4" = 1'-0"

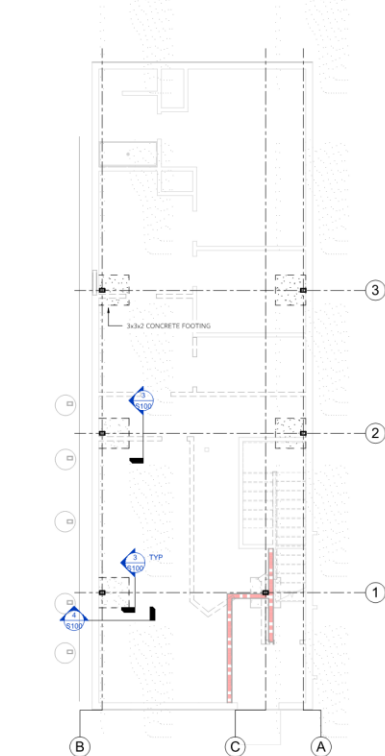


3 | Section 5 - GREEN BUILDING
1/4" = 1'-0"

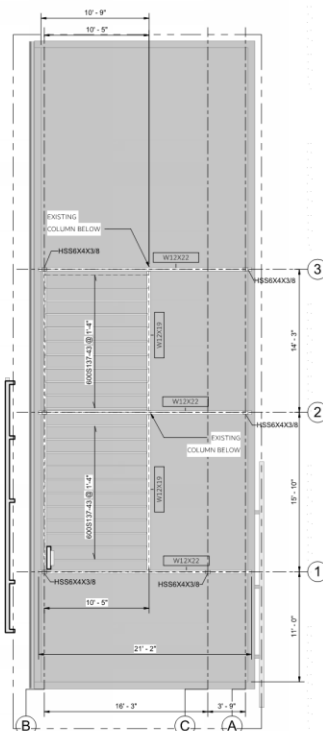


1 | ROOFTOP CONDENSER WATER PIPING GREEN BUILDING Copy 1

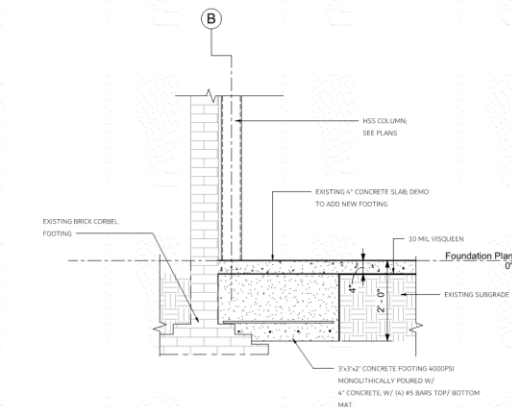
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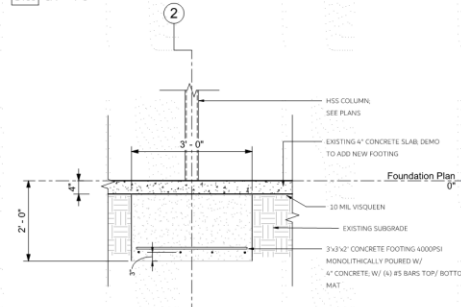
1 Foundation Plan
S100 3/16" = 1'-0"



2 Main Roof Framing Plan
S100 3/16" = 1'-0"



4 Concrete Footing @ Brick Corbel Footing
S100 3/4" = 1'-0"



3 3'-00 x 3'-00" Concrete Footing (Typical Detail)
S100 3/4" = 1'-0"

FOUNDATION AND ROOF PLAN NOTES

- COORDINATE WITH ARCH FOR ALL EXISTING GROUND FLOOR SLAB ELEVATIONS
- TOP OF SLAB ELEVATION IS AT DATUM UNLESS NOTED THUS ON PLAN FROM DATUM
- BOTTOM OF BASE PLATE ELEVATION IS (TBD) BELOW TOP OF SLAB UNLESS NOTED THUS [] 1 ON PLAN FROM DATUM
- TOP OF FOOTING ELEVATION IS (-4') UNLESS NOTED ON PLAN FROM DATUM SEE DETAIL S/1500
- SEE DRAWINGS S-000 FOR GENERAL NOTES
- SEE DRAWINGS S-200, S-201 FOR TYPICAL DETAILS
- SI DENOTES 4" SLAB ON GRADE W/ AND W/2000 G W/ AT MID HEIGHT PROVIDE VAPOR BARRIER BELOW SLAB
- COORDINATE SLAB DEPRESSIONS, EMBEDMENT REQUIREMENTS AND OPENING WITH ARCH AND MEP DWGS
- SEE SCHEDULES ON DRAWING S-000
 - C DENOTES COLUMN
 - W DENOTES WALL
 - F DENOTES FOOTING

- COORDINATE ALL NEW AND EXISTING UNDERGROUND UTILITIES WITH FOUNDATIONS AND SUBMIT ALL PURPOSED SLEEVE LOCATIONS TO ARCHITECT FOR REVIEW
- VERIFY ELEVATOR R/T DIMENSIONS WITH ELEVATOR SHOP DRAWINGS PRIOR TO FORMING
- REFER TO STRUCTURAL SPECIFICATIONS, GENERAL NOTES, AND SCHEDULES FOR OTHER INFORMATION NOT SHOWN
- ALL SLAB, BEAMS, AND FOOTINGS NOT PILE SUPPORTED ON EXISTING UNDISCLOSURED SOILS OR NON-EXPANSIVE TYPE FILL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR TEST
- IF ADDITIONAL INFORMATION OR DETAILS ARE REQUIRED AS DEEMED BY THE CONTRACTOR OR SUBCONTRACTORS, OF IF DISCREPANCIES ARISE AND REQUIRE FURTHER CLARIFICATION EITHER IN THESE PLANS OR DETAILS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST ADDITIONAL INFORMATION OR CLARIFICATION IN WRITING TO THE EOR AS PROMPTLY AS POSSIBLE
- SEE ARCH DRAWINGS FOR ALL OTHER ELEVATIONS NOT SHOWN ON THE DRAWINGS HEREIN
- ALL CONCRETE SHALL BE STANDARD WEIGHT AND SHALL TEST AT 4000 PSI AT 28 DAYS, IT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 308 & 309. SUBMIT A DETAILED MIX DESIGN FOR REVIEW BY EOR PRIOR TO CONSTRUCTION
- CONTRACTOR TO BRING CONFLICTS AND DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING ANY MATERIAL OR INSTALLING THAT THE ARCHITECT CAN COORDINATE WITH ACCORDINGLY
- CONCRETE SLAB MONOLITHICALLY POURED AS FOLLOWS: SLAB 3" CLEAR BOTTOM AND 3/4" CLEAR TOP BEAMS 3 1/2" CLEAR IF FORMED AND 3" CLEAR IF EARTH FORMED

20044
Roof Rack Addition
1310 N Rampart

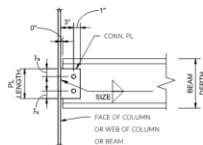
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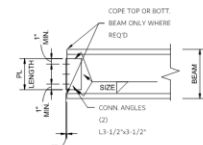
M3 DESIGN GROUP
3030 BROADVIEW AVE, SUITE 1000, DENVER, CO 80202
WWW.M3DESIGNGROUP.COM
Permit Set
ISSUED 11.16.2020
S100
Plan Views



S200	Single Plate Connection
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S200	Double Angle Connection
------	-------------------------

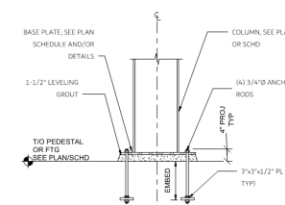


- 3 IF REQUIRED, ALL EREction CLIPS, PLATES, ETC. TO BE REMOVED; BOLTS TO BE PLUGGED AND ALL SURFACES TO BE GROUND
4 SMOOTH AS REQUIRED DUE TO ARCH EXPOSURE
5 ALL GROOVE WELDS TO BE FULL PENETRATION AND
6 ALL BOLTS TO BE 3/4" DIA. IN A HIGH STRENGTH BOLT TYPE
7 ALL WELDING ELECTRODES TO BE E70XX
8 ALL MOMENT CONNECTIONS TO BE SUBMITTED BY THE CONTRACTOR FOR APPROVAL, BUT MUST BE ACCOMPANIED
9 BY CALC. SIGNED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER WHOSE OFFICE IS LOCATED IN
10 EACH STATE BEING CONSIDERED TO DEVELOP A DESIGNATED BEAM OR JOINT INCLUDING: PERCENT OF THE TOTAL UNIFORM LOAD
11 CAPACITY OF THE BEAM FROM THE ASSOCIATED SPAN
12 GRADE OF MOMENT PLATE TO MATCH GRADE OF BEAM
13 FOR LOCATION OF MOMENT PLATE, SEE DETAIL INDICATED IN THE FOLLOWING: PERCENT OF THE TOTAL UNIFORM LOAD
14 ON PLANS, ALL OTHER CONNECTIONS TO
15 RECEIVE STANDARD SHEAR CONNECTIONS UNLESS
16 FOR EXTENT OF COLD, STEEL FRAMING PLANS, SECTIONS, & COLUMN SCHEDULE
17 WELD OF STEEL PLATE TO COLUMN (FLANGE-COLUMN) (2'-3/8") AT TOP LEVEL, PROVIDE A COLD PLATE WITH SECTION OF TOP
18 STEELWIRE
19 DETAILER SHALL SUBMIT FOR APPROVAL PLANS, SECTIONS, & COLUMN SCHEDULE CONFORMING TO DETAILS SHOWN IN DIRECTION OF



1. COPE FLANGES OF BEAM AS REQUIRED
2. STANDARD SHEAR CONN TO DEVELOP FORCE INDICATED ON PLANS OR IF NOT INCLUDED, 75% OF THE TOTAL UNIFORM LOAD CAPACITY OF THE BEAM FOR THE ASSOCIATED SPAN

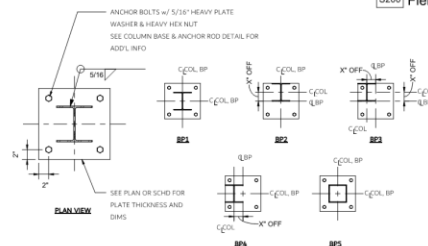
S200	New Beam to Existing Column Connection
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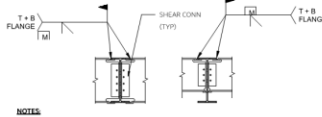
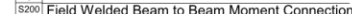
- NOTE**

1. THICKEN FOOTING AS REQUIRED TO PROVIDE NECESSARY COVER FOR ANCHOR RODS

S200	Column Base and Anchor Rods Leveling Plate
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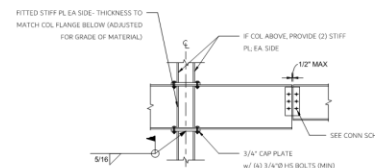
S200	Column Base Plate Anchor Bolt Configurations
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- NOTES

1. USE FILLET WELD OR PARTIAL PENETRATION WELD AT BOTTOM FLANGE WHERE WEB THICKNESS OF GIRDER IS LESS THAN 1/2 BEAM FLANGE THICKNESS.
2. DESIGN SHEAR CONNECTION FOR THE FORCE INDICATED ON PLANS OR, IF NOT INDICATED, 75% OF THE TOTAL UNIFORM LOAD CAPACITY OF THE BEAM FOR THE ASSOCIATED SPAN.
3. FOR LOCATIONS OF MOMENT CONNECTIONS, SEE BEAM ENDS INDICATED THUS ON PLANS. ALL OTHER CONNECTIONS TO RECEIVE STANDARD SHEAR CONNECTION UNO.
4. DESIGN CONNECTION TO DEVELOP FULL MOMENT CAPACITY OF BEAM.

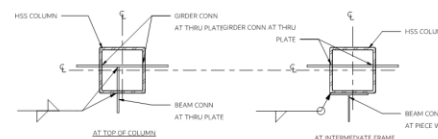
S200 Field Welded Beam to Beam Moment Connection



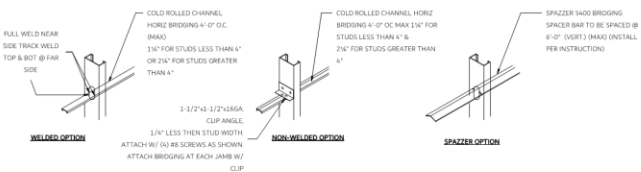
- NOTES:

2. FOR LOCATION OF CANTILEVER CONNECTION, SEE BEAM END INDICATED THUS ON PLANS. ALL OTHER CONNECTION TO RECEIVE STANDARD SHEAR CONNECTION.

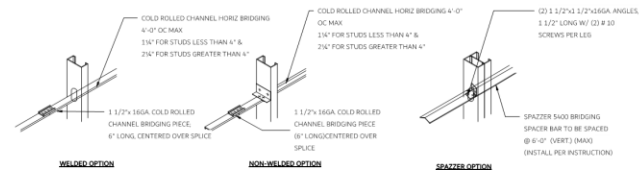
S200 Cantilevered Beam Connection



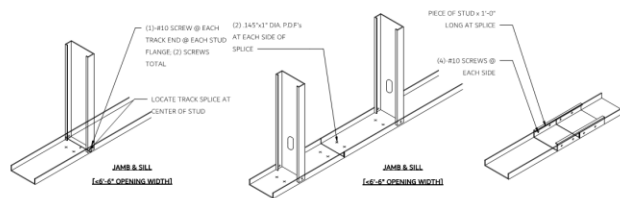
S200	Thru Plate at HSS Connection
------	------------------------------



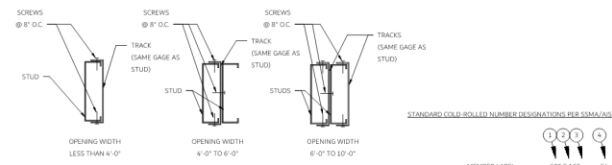
1 TYPICAL DETAIL
S201 Bridging Connection Options



2 TYPICAL DETAIL
S201 Bridging Splice Options



3 TYPICAL DETAIL
S201 Track Splicing Options



4 TYPICAL DETAIL
S201 Light Gauge Exterior Wall Opening Jamb

STANDARD COLD-ROLLED NUMBER DESIGNATIONS PER S550/A501

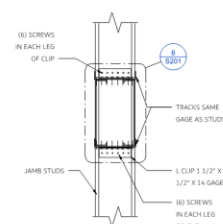
NUMBER LABEL	600 S 342	54
MEMBER DEPTH	600 ± 0"	DEPTH X 100
MEMBER TYPE	S - STUD OR JOIST	
	T - TRACK	
	U - CHANNEL	
	F - FLURRING CHANNEL	
FLANGE WIDTH	362 ± 3/8" - 1.62" X 100	
MATERIAL THICKNESS IN MILS	54 ± 0.054" X 1000	

SEE CHART BELOW FOR OTHER GAGE DESIGNATIONS

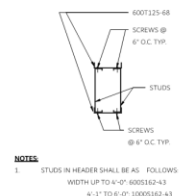
GAGE	THICKNESS IN MILS
30 GA	118
32 GA	97
34 GA	66
36 GA	54
38 GA	43
20 GA	33

GENERAL INFORMATION FOR COLD-ROLLED CONSTRUCTION

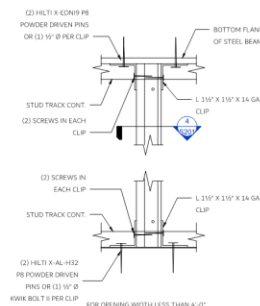
UNLESS NOTED OTHERWISE ALL COLD-ROLLED ELEMENTS SHALL BE CONNECTED WITH #10 A51-3022 STEEL SCREWS HAVING A MINIMUM DIAMETER OUT TO OUT OF THREADS = 0.130"



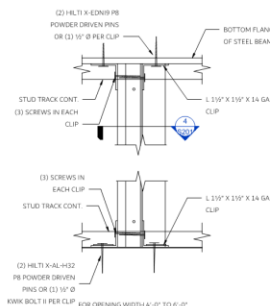
5 TYPICAL DETAIL
S201 Light Gauge Exterior Jamb



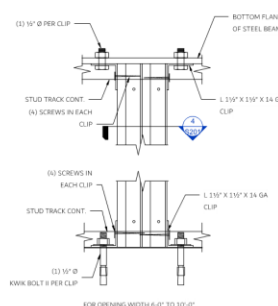
6 TYPICAL DETAIL
S201 Light Gauge Header



7 TYPICAL DETAIL
S201 Light Gauge Jamb End Conn. Details



8 TYPICAL DETAIL
S201 Light Gauge Jamb End Conn. Details



9 TYPICAL DETAIL
S201 Light Gauge Jamb End Conn. Details

20044
Roof Rack Addition
1310 N Rampart

DATE	REVISION	NO

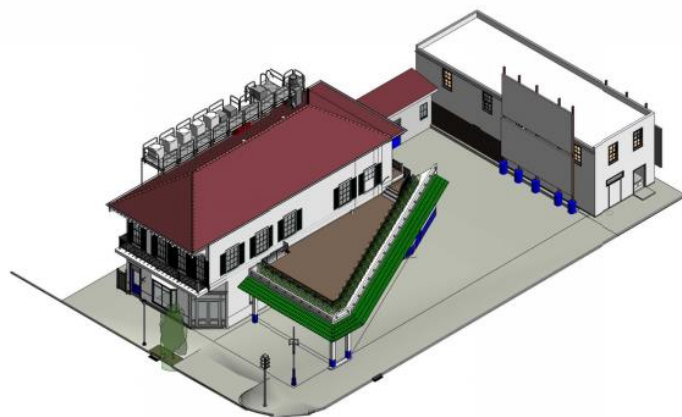


M3 DESIGN GROUP
1000 BROAD ST., SUITE 1400, VANCOUVER, BC V6Z 1Y1
WWW.M3DESIGNGROUP.COM
Permit Set
ISSUED 11.16.2020

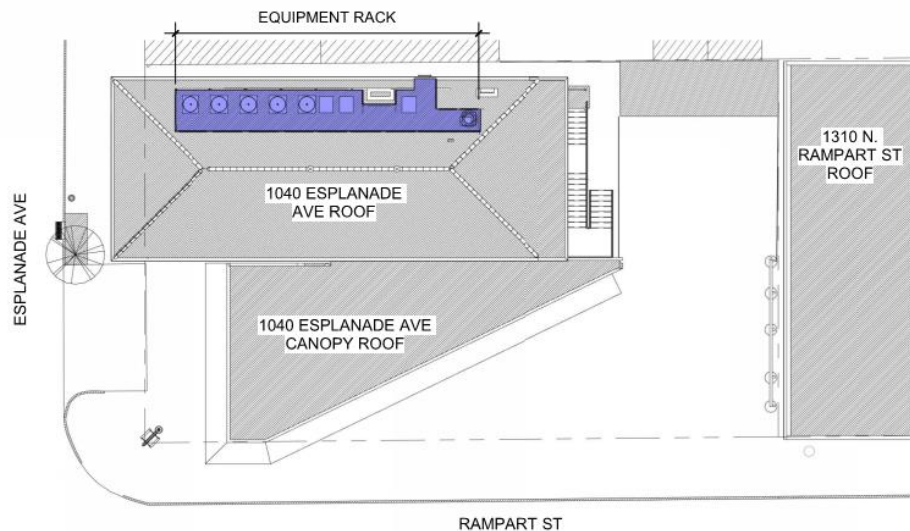
S201
Typical Cold-Formed Framing Details







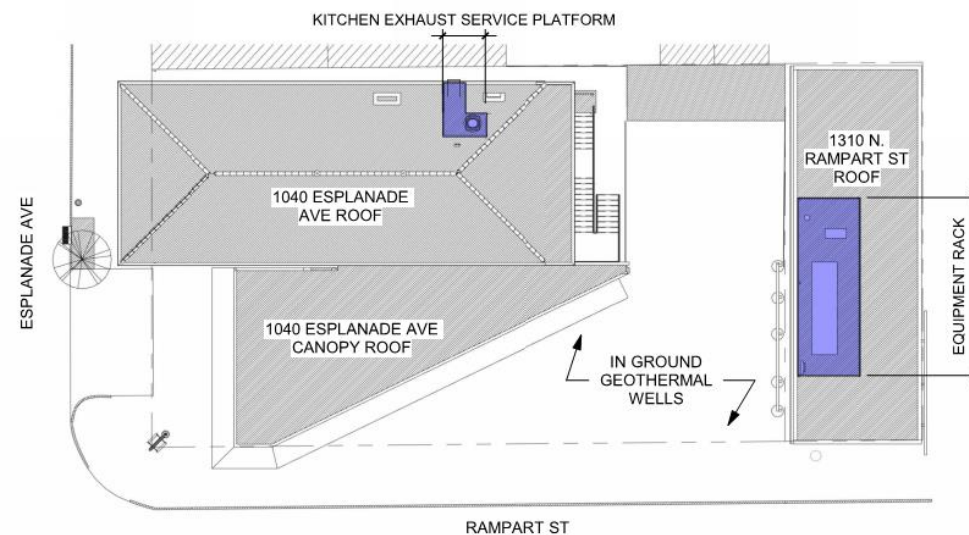
③ AXON - CURRENT



① ROOF PLAN - CURRENT
1" = 20'-0"



④ AXON - GEOTHERMAL



② ROOF PLAN - GEOTHERMAL
1" = 20'-0"

NEW ORLEANS, LA 70115
1040 ESPLANADE AVE

ROOF PLANS
02/24/21

A4



M3 DESIGN GROUP

1310 N Rampart

VCC Architectural Committee

March 23, 2021





① PERSPECTIVE - CURRENT



③ PERSPECTIVE2 - CURRENT



② PERSPECTIVE - GEOTHERMAL



④ PERSPECTIVE2 - GEOTHERMAL

1040 ESPLANADE AVE
NEW ORLEANS, LA 70115
A5
PERSPECTIVES
02/24/21

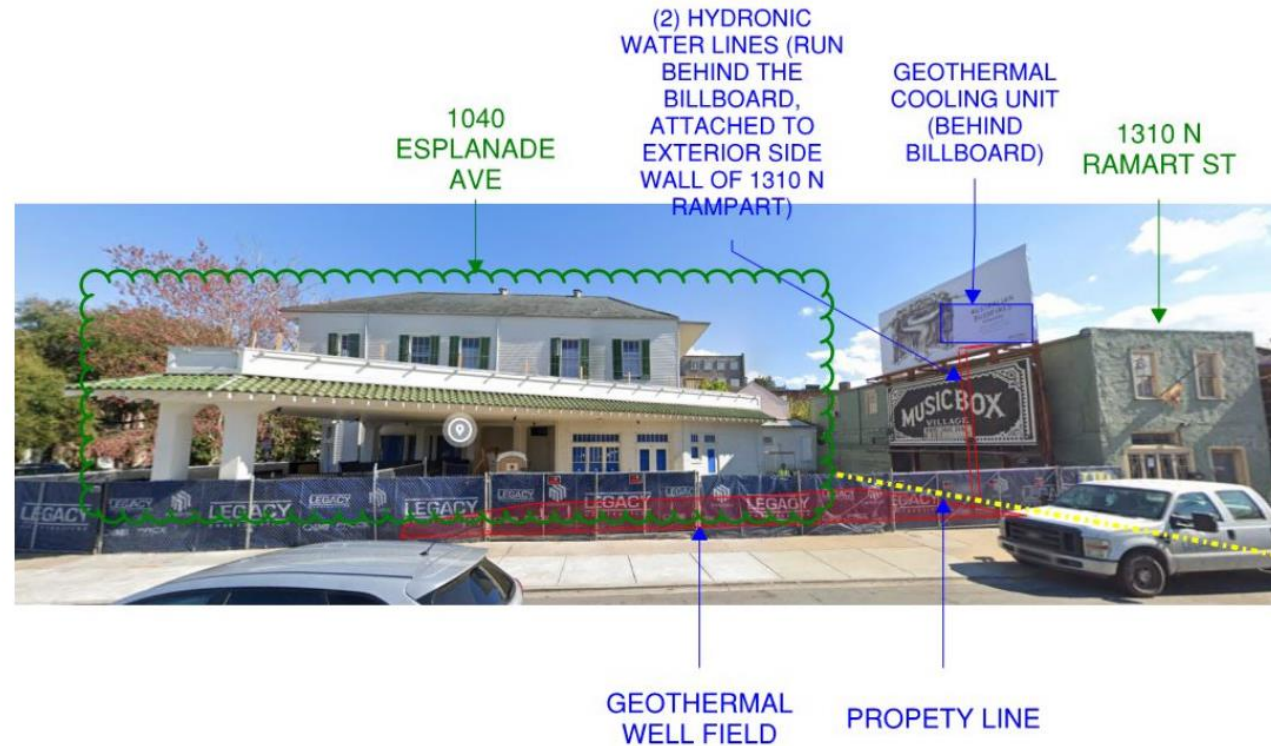
M3 DESIGN GROUP

1310 N Rampart

VCC Architectural Committee

March 23, 2021





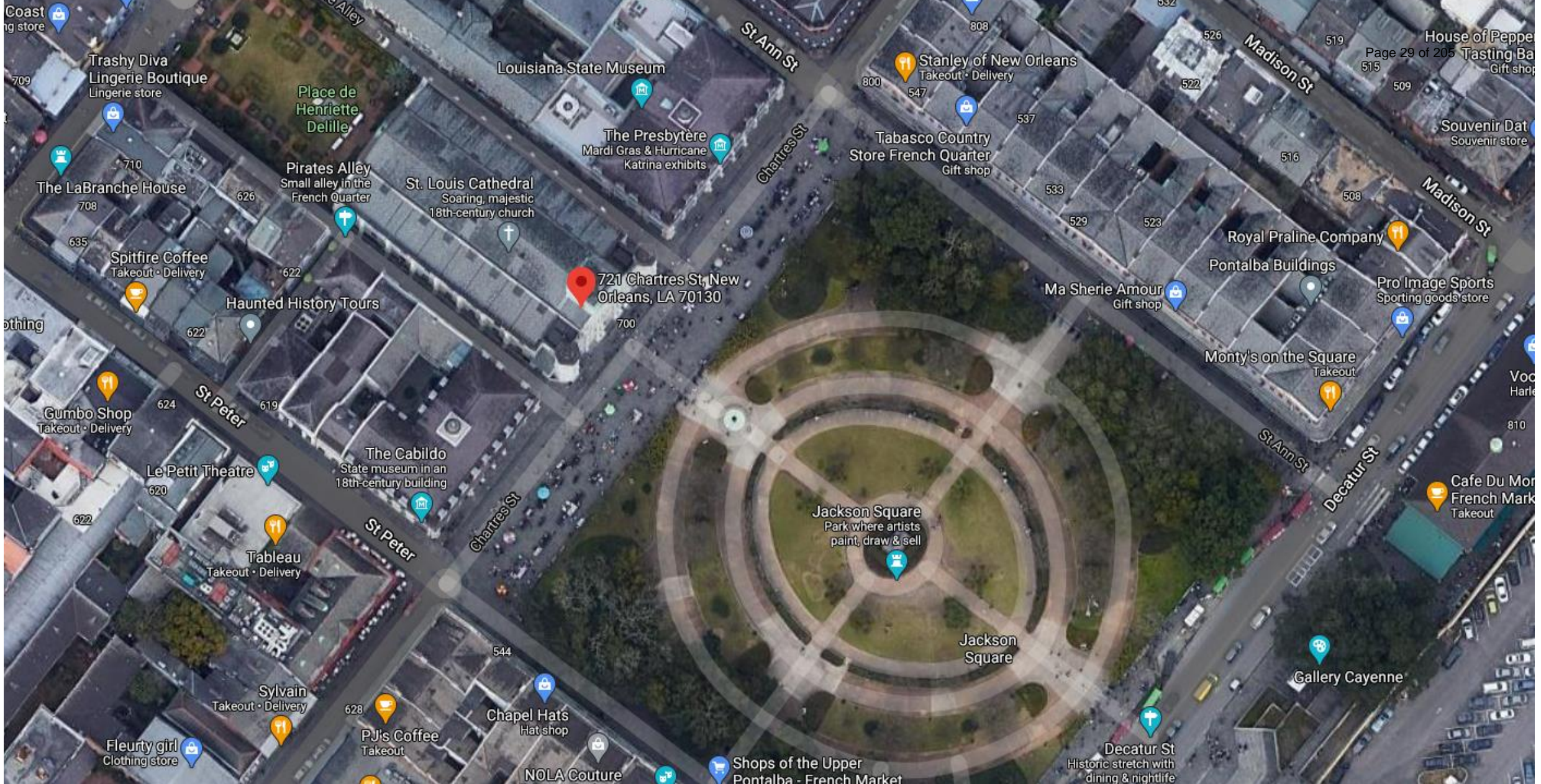
Thus, at this time, we are requesting for the 2 water lines connecting the geothermal well field to the needed cooling unit to cross the property line between the 2 subject properties. This will clear the path forward to allow the significant benefits of this system design.



New Business

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll. The shield is flanked by two vertical bars with diamond-shaped details. The entire shield is set against a background of horizontal lines. The words "VIEUX CARRE" are arched across the top, and "COMMISSION" is arched across the right side. At the bottom, the word "ESTABLISHED" is arched on the left, and the year "1936" is on the right.

721 Chartres



721 Chartres

VCC Architectural Committee

March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021



721 Chartres

VCC Architectural Committee



March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021



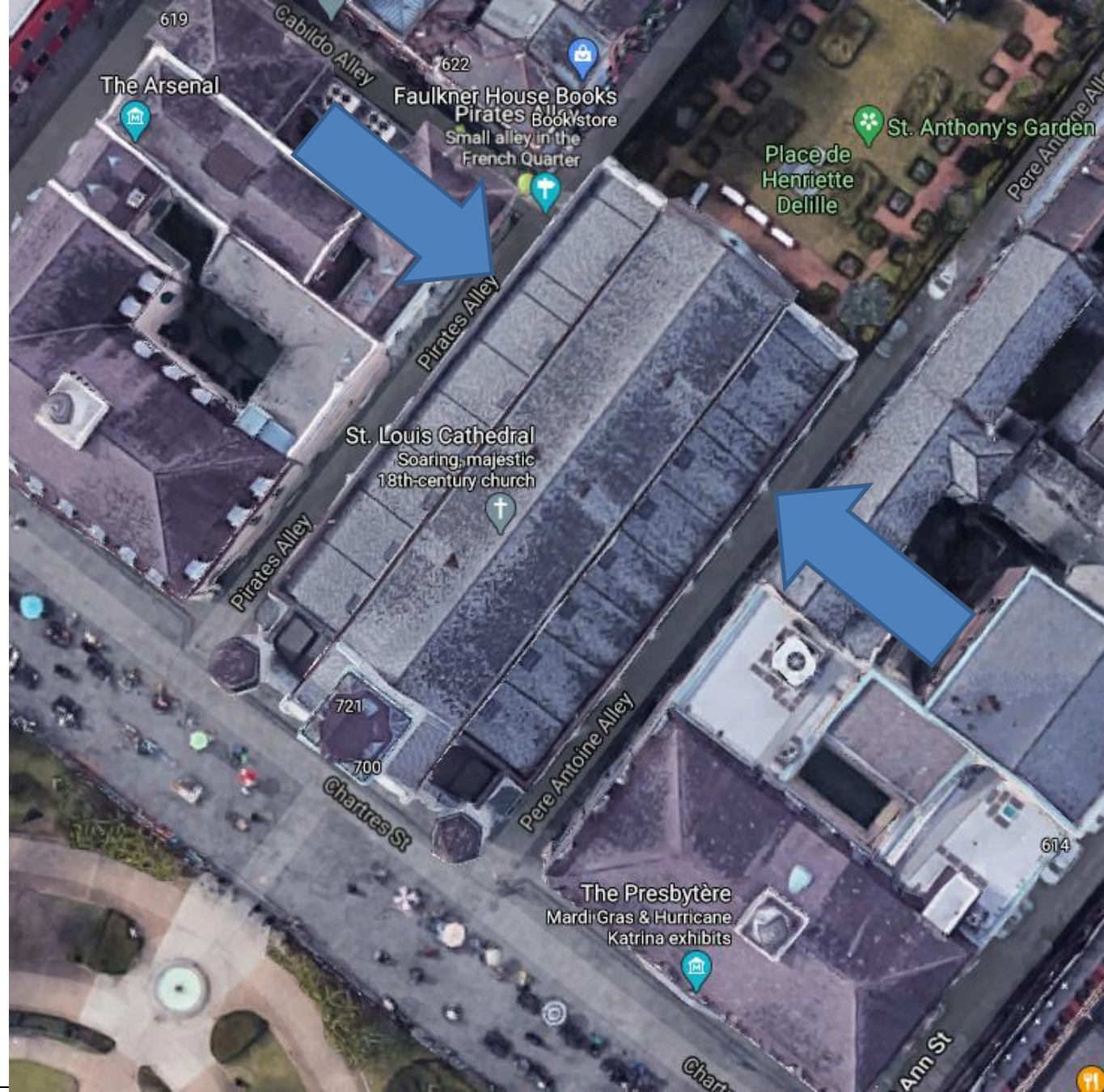
721 Chartres

VCC Architectural Committee



March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021





721 Chartres

VCC Architectural Committee

March 23, 2021



BILL TO: St. Louis Cathedral

Gordie Hyde
615 Pere Antoine Alley
New Orleans, LA 70116

SHIP TO: Pick Up C

521 Conti St
New Orleans, LA

Email: ghyde7@cox.net

Phone: 504-885-4596

Alt Phone

Bevolo Recommendation: Yes - Size & Style

P.O. No:

Op Name
Lights

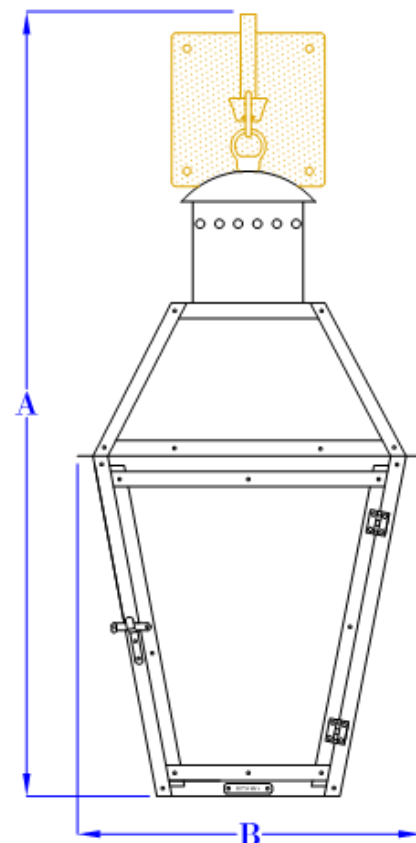
Sales Rep: Chris King

Ship Via:

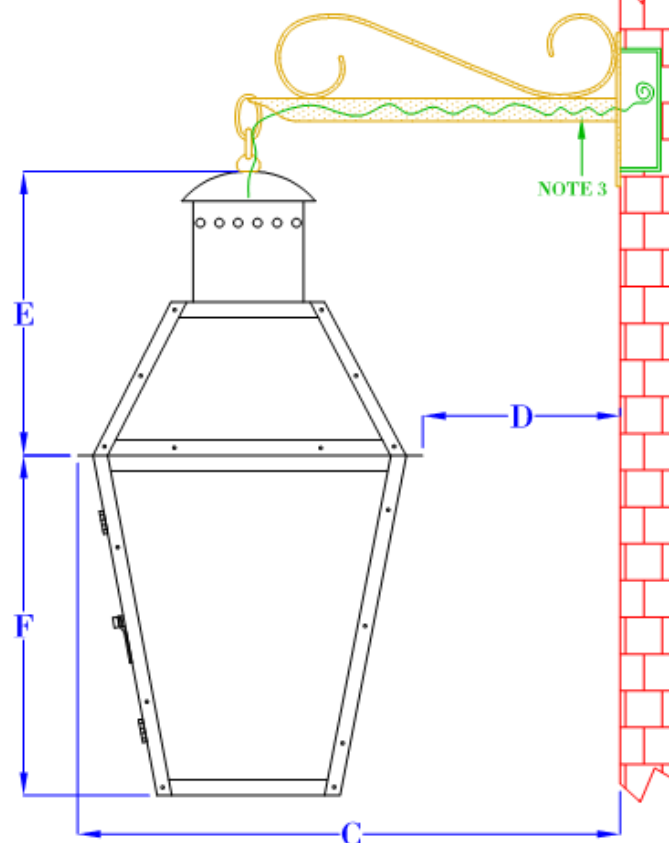
Lead Tim

Item Code	Description
FQ-21-DBG-E-CU-CS	<u>French Quarter 21" on Drop Bracket Gas Bracket in Electric</u>
****Electric Drop Bracket: Standard 12" projection with a 12" chain drop****	
--> CU	<i>Copper Lantern</i>
--> CS	<i>Powder Coated Carbon Steel</i>
--> U-IES	<i>Inverted Electric Socket</i>
--> U-OPEN	<i>Open Bottom</i>



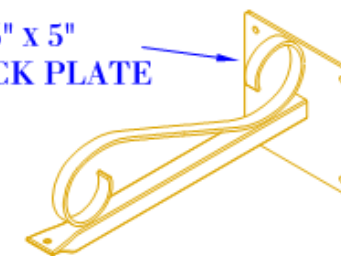


FRONT VIEW
(NTS)



SIDE VIEW
(NTS)

5" x 5"
BACK PLATE



ISOMETRIC VIEW
(NTS-BRACKET ONLY)

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND

SIZE:	14"	18"	21"	24"
A:	19 $\frac{3}{4}$ "	23 $\frac{1}{4}$ "	26"	30 $\frac{3}{4}$ "
B:	9 $\frac{1}{4}$ "	10 $\frac{1}{2}$ "	11 $\frac{1}{2}$ "	13 $\frac{1}{4}$ "
C:	16 $\frac{5}{8}$ "	17 $\frac{1}{4}$ "	17 $\frac{3}{4}$ "	18 $\frac{5}{8}$ "
D:	7 $\frac{5}{8}$ "	7"	6 $\frac{1}{2}$ "	5 $\frac{5}{8}$ "
E:	6 $\frac{1}{4}$ "	7 $\frac{5}{8}$ "	9 $\frac{3}{8}$ "	12 $\frac{3}{8}$ "
F:	8"	10 $\frac{1}{8}$ "	11 $\frac{1}{8}$ "	12 $\frac{7}{8}$ "

BEVOLO GAS & ELECTRIC LIGHTS

LIGHT:	FRENCH QUARTER	DATE:	APP. BY:	JJG	COPYRIGHT 2018, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.
BRACKET:	DROP BRACKET - ELECTRIC	7-26-18	REVISION:	2	

721 Chartres

VCC Architectural Committee

March 23, 2021



615 Toulouse



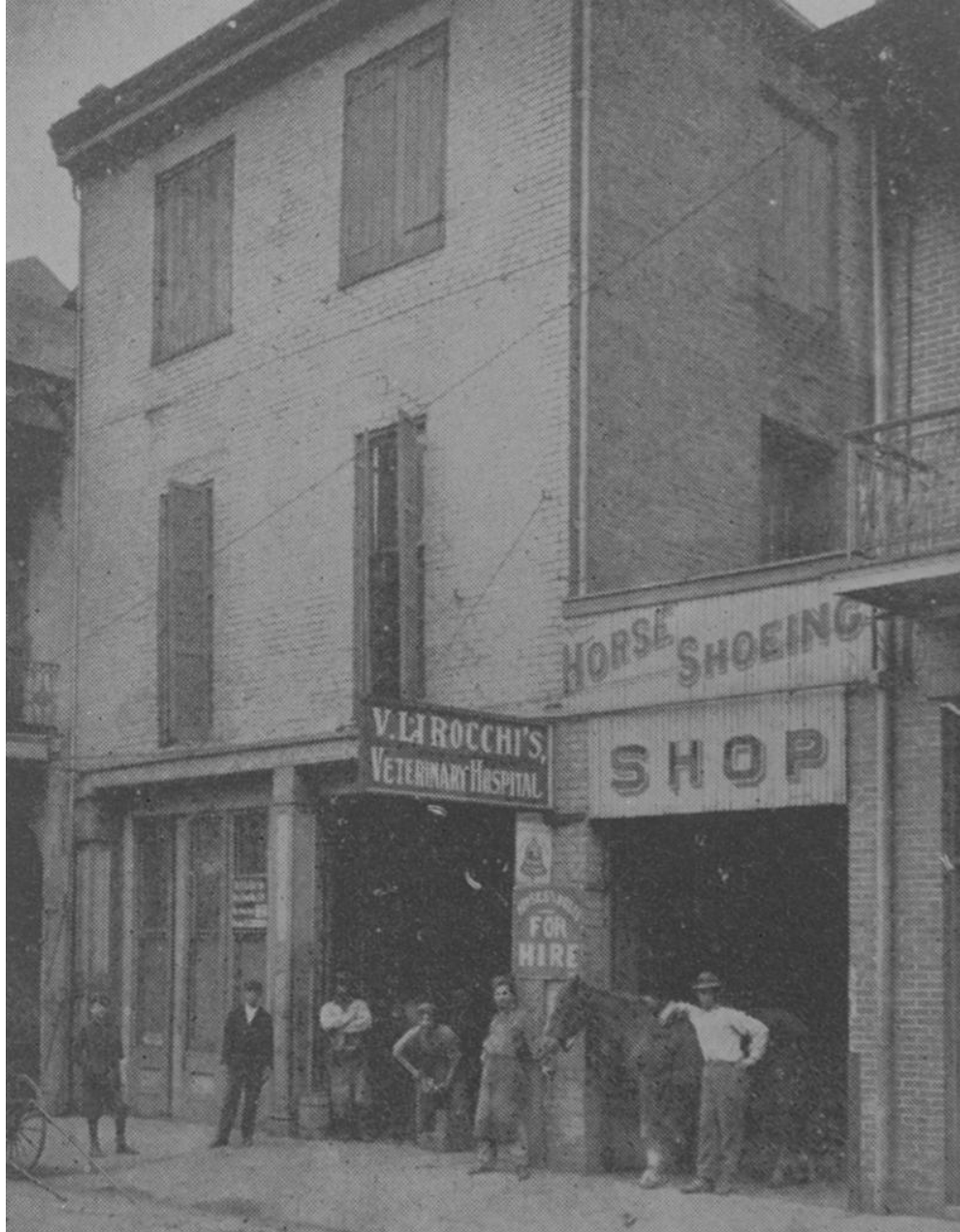


615 Toulouse

VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021





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VCC Architectural Committee

March 23, 2021





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VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021





615 Toulouse

VCC Architectural Committee

March 23, 2021



REPAIRS AND MINOR ALTERATIONS TO 615 TOULOUSE STREET

Page 59 of 205

PROJECT DIRECTORY		PROJECT INFORMATION		00 General		BUILDING AREAS		GENERAL NOTES																																																																																																																																																																																																																																														
BUILDING CODES 615 TOULOUSE OWNER LLC 615 TOULOUSE STREET NEW ORLEANS LA 70130		PROJECT ADDRESS 615 TOULOUSE STREET NEW ORLEANS 70130		G100 CODE PLANS G000 COVER		AREA AND OCCUPANT LOAD <table><thead><tr><th>Name</th><th>Occupancy</th><th>Load Factor</th><th>Area</th><th>Occupant Load</th></tr></thead><tbody><tr><td colspan="5">LEVEL 1</td></tr><tr><td>HALL</td><td>35</td><td>1345 SF</td><td></td><td>270</td></tr><tr><td>STAGE</td><td>15</td><td>486 SF</td><td></td><td>35</td></tr><tr><td>PATRIOT</td><td>15</td><td>245 SF</td><td></td><td>17</td></tr><tr><td>GREEN ROOM</td><td>15</td><td>195 SF</td><td></td><td>14</td></tr><tr><td>BAR SEATING</td><td>3</td><td>41 SF</td><td></td><td>14</td></tr><tr><td>BAR SEATING</td><td>3</td><td>38 SF</td><td></td><td>13</td></tr><tr><td>STAGE</td><td>80</td><td>65 SF</td><td></td><td>2</td></tr><tr><td>BAR #2</td><td>200</td><td>115 SF</td><td></td><td>1</td></tr><tr><td>BAR #1</td><td>200</td><td>155 SF</td><td></td><td>1</td></tr><tr><td>SOUND</td><td>100</td><td>53 SF</td><td></td><td>1</td></tr><tr><td>STORAGE</td><td>100</td><td>79 SF</td><td></td><td>1</td></tr><tr><td>STORAGE</td><td>100</td><td>48 SF</td><td></td><td>1</td></tr><tr><td>WOMEN</td><td>3</td><td>135 SF</td><td></td><td></td></tr><tr><td>STAIR</td><td>3</td><td>44 SF</td><td></td><td></td></tr><tr><td>CORRIDOR</td><td>3</td><td>184 SF</td><td></td><td></td></tr><tr><td>CIRCULATION</td><td>3</td><td>275 SF</td><td></td><td></td></tr><tr><td>BLDG</td><td>3</td><td>12 SF</td><td></td><td></td></tr><tr><td>CIRC.</td><td>3</td><td>198 SF</td><td></td><td></td></tr><tr><td></td><td></td><td>3024 SF</td><td></td><td>368</td></tr><tr><td colspan="5">LEVEL 2</td></tr><tr><td>PATRIOT AREA</td><td>15</td><td>187 SF</td><td></td><td>14</td></tr><tr><td>BAR SEATING</td><td>15</td><td>189 SF</td><td></td><td>13</td></tr><tr><td>BAR SEATING</td><td>4</td><td>33 SF</td><td></td><td>9</td></tr><tr><td>OFFICE</td><td>100</td><td>145 SF</td><td></td><td>2</td></tr><tr><td>BAR</td><td>200</td><td>72 SF</td><td></td><td>1</td></tr><tr><td>STAIR</td><td>3</td><td>123 SF</td><td></td><td></td></tr><tr><td>STAIR</td><td>3</td><td>29 SF</td><td></td><td></td></tr><tr><td>CIRCULATION</td><td>3</td><td>214 SF</td><td></td><td></td></tr><tr><td>ENTRANCE</td><td>3</td><td>188 SF</td><td></td><td></td></tr><tr><td>CIRCULATION</td><td>3</td><td>29 SF</td><td></td><td></td></tr><tr><td></td><td></td><td>1215 SF</td><td></td><td>38</td></tr><tr><td></td><td></td><td>5146 SF</td><td></td><td>407</td></tr><tr><td colspan="5">LEVEL 2</td></tr><tr><td>PATRIOT AREA</td><td>15</td><td>187 SF</td><td></td><td>14</td></tr><tr><td>BAR SEATING</td><td>15</td><td>189 SF</td><td></td><td>13</td></tr><tr><td>BAR SEATING</td><td>4</td><td>33 SF</td><td></td><td>9</td></tr><tr><td>OFFICE</td><td>100</td><td>145 SF</td><td></td><td>2</td></tr><tr><td>BAR</td><td>200</td><td>72 SF</td><td></td><td>1</td></tr><tr><td>STAIR</td><td>3</td><td>123 SF</td><td></td><td></td></tr><tr><td>STAIR</td><td>3</td><td>29 SF</td><td></td><td></td></tr><tr><td>CIRCULATION</td><td>3</td><td>214 SF</td><td></td><td></td></tr><tr><td>ENTRANCE</td><td>3</td><td>188 SF</td><td></td><td></td></tr><tr><td>CIRCULATION</td><td>3</td><td>29 SF</td><td></td><td></td></tr><tr><td></td><td></td><td>1215 SF</td><td></td><td>38</td></tr><tr><td></td><td></td><td>5146 SF</td><td></td><td>407</td></tr></tbody></table>		Name	Occupancy	Load Factor	Area	Occupant Load	LEVEL 1					HALL	35	1345 SF		270	STAGE	15	486 SF		35	PATRIOT	15	245 SF		17	GREEN ROOM	15	195 SF		14	BAR SEATING	3	41 SF		14	BAR SEATING	3	38 SF		13	STAGE	80	65 SF		2	BAR #2	200	115 SF		1	BAR #1	200	155 SF		1	SOUND	100	53 SF		1	STORAGE	100	79 SF		1	STORAGE	100	48 SF		1	WOMEN	3	135 SF			STAIR	3	44 SF			CORRIDOR	3	184 SF			CIRCULATION	3	275 SF			BLDG	3	12 SF			CIRC.	3	198 SF					3024 SF		368	LEVEL 2					PATRIOT AREA	15	187 SF		14	BAR SEATING	15	189 SF		13	BAR SEATING	4	33 SF		9	OFFICE	100	145 SF		2	BAR	200	72 SF		1	STAIR	3	123 SF			STAIR	3	29 SF			CIRCULATION	3	214 SF			ENTRANCE	3	188 SF			CIRCULATION	3	29 SF					1215 SF		38			5146 SF		407	LEVEL 2					PATRIOT AREA	15	187 SF		14	BAR SEATING	15	189 SF		13	BAR SEATING	4	33 SF		9	OFFICE	100	145 SF		2	BAR	200	72 SF		1	STAIR	3	123 SF			STAIR	3	29 SF			CIRCULATION	3	214 SF			ENTRANCE	3	188 SF			CIRCULATION	3	29 SF					1215 SF		38			5146 SF		407	01 Architectural - Demo AD100 FIRST FLOOR DEMOLITION PLAN AD101 SECOND FLOOR DEMOLITION PLAN		02 Architectural A509 MEZZANINE SEATING DETAILS A501 ENLARGED PLAN AND ELEVATION - FRONT BAR A151 FIRST FLOOR REFLECTED CEILING PLAN A100 SITE PLAN A111 FIRST FLOOR PLAN A502 ENLARGED PLAN AND ELEVATION - MAIN HALL BAR A503 ENLARGED PLAN AND ELEVATION - MEZZANINE BAR A504 ENLARGED PLANS AND ELEVATIONS - MEN'S RESTROOM A505 ENLARGED PLANS AND ELEVATIONS - WOMEN'S RESTROOM A506 ENLARGED PLANS AND ELEVATIONS - GREEN ROOM A507 ENLARGED STAIRS A113 ROOF PLAN A112 SECOND FLOOR PLAN	
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OFFICE	100	145 SF		2																																																																																																																																																																																																																																																		
BAR	200	72 SF		1																																																																																																																																																																																																																																																		
STAIR	3	123 SF																																																																																																																																																																																																																																																				
STAIR	3	29 SF																																																																																																																																																																																																																																																				
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ARCHITECT JOHN C. WILLIAMS ARCHITECTS, LLC 824 BARONNE ST. NEW ORLEANS, LA 70113 TEL: (504) 566-0888 FAX: (504) 566-0887 CONTACT: DANIEL WINNEST dwinnest@jcwllc.com		PROJECT DESCRIPTION: REPAIRS AND MINOR ALTERATIONS TO EXISTING LIVE ENTERTAINMENT VENUE INCLUDING HVAC REPAIRS, ADDITION OF SPRINKLER AND FIRE ALARM, NEW ROOF MEMBRANE ASSEMBLY, NEW REAR EXIT, BALCONY REPAIRS, HANDRAILS, FINISH UPDATES		MAJOR APPLICABLE CODES AND REGULATIONS NOT LIMITED TO THE FOLLOWING: NFPA 101 - LIFE SAFETY CODE, 2015 ED. INTERNATIONAL BUILDING CODE, 2015 ED. CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE		PROPERTY INFORMATION LOT: 6 SQUARE: 42 MUNICIPAL DISTRICT: 2 BOUNDRY STREETS: TOULOUSE, CHARTRES ST. PETER ROYA ZONING DISTRICT: VCC-2 Vieux Carre Commercial District		GENERAL CONTRACTOR PERRIER EQUERIE CONTRACTORS, LLC 338 ALMEDA RD ST. ROSE, LA 70067 504334-5818 CONTACT: BRETT PERRIER (bperr@perrie.com)																																																																																																																																																																																																																																														
MECHANICAL, PLUMBING AND ELECTRICAL ENGINEER NA		MECHANICAL, PLUMBING AND ELECTRICAL ENGINEER NA		MECHANICAL, PLUMBING AND ELECTRICAL ENGINEER NA		MECHANICAL, PLUMBING AND ELECTRICAL ENGINEER NA		MECHANICAL, PLUMBING AND ELECTRICAL ENGINEER NA																																																																																																																																																																																																																																														
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SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.

1. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND BECOME GENERALLY FAMILIAR WITH THE PROJECT AND WITH THE IMPACT OF THE NEW WORK ON EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE APPLIED WHICH IS ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO MEET THIS REQUIREMENT.

2. WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS.

3. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, INCLUDING STRUCTURAL, AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.

4. THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS.

5. THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.

6. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.

7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH HIS SUBCONTRACTORS. ANY CONFLICTS WITH THEIR WORK, EQUIPMENT PLACEMENT, ETC. ARE TO BE RESOLVED PRIOR TO INSTALLATION OF THE WORK.

8. THE CONTRACTOR SHALL COORDINATE AND LOCATE ELECTRICAL DEVICES, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CONFLICTS WITH CASEWORK, DOORS AND OTHER TRADES.

9. THE CONTRACTOR SHALL VERIFY & COORDINATE WITH ALL TRADES, THE SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, OR BASES AS WELL AS FORDS, WATER AND DRAIN INSTALLATIONS BEFORE PROCEEDING WITH THE WORK.

10. THE CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES WORK. ALL CONCERNE SPACE LIMITATIONS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.

11. LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK. FURNISHINGS INDICATED ON ARE FOR REFERENCE AND COORDINATION.

12. VARIATIONS FROM THE WORK DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, EQUIPMENT SPECS, ETC. SHALL BE MADE ONLY WITH THE APPROVAL OF THE ARCHITECT.

13. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND ORDINANCES AND IN ACCORDANCE WITH THE AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK.

14. IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE FOR COMPLETE FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS THAT ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATION, BUT WHICH ARE REQUIRED AS ESSENTIAL, AESTHETIC OR FUNCTIONAL COMPONENT OF THE WORK, SHALL BE INCLUDED AS IF IT WERE DRAWN OR SPECIFIED.

15. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DEFINE DISCREPANCIES, CONFLICTS AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS ENCOUNTERED THAT AFFECT THE NEW CONSTRUCTION.

16. APPLY FOR AND SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS. DUST CONTROL, UTILITY DISCOVERY, HAZARDOUS AND DISPOSAL, CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.

17. EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.

18. PROTECT ADJACENT PROPERTY AND PERSONS FROM THE WORK. WORKING OUTSIDE THE DESIGNATED LIMITS IS PROHIBITED UNLESS APPROVED BY THE CLIENT/OWNER.

19. DO NOT BLOCK DRIVEWAYS, FIRE EXITS AND FIRE EXIT ROUTES.

20. LIMIT NOISE TO WORKING CONSTRUCTION OPERATIONS.

21. TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, BUT THE WORK OF OTHER RELATED TRADES AS WELL.

22. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.

23. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE COORDINATED IN ADVANCE OF NEED.

24. VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK.

25. KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNITS, TURNED OVER TO THE OWNER.

26. PROVIDE A MINIMUM 8" HIGH FENCING AND METAL POSTS FOR PROTECTION OF AREAS DURING OPERATIONS AND FOR SECURITY CONTROL. PROVIDE OTHER PEDESTRIAN AND PUBLIC PROTECTION REQUIRED BY THE REGULATORY AGENCIES.

27. PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED ON AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.

28. PROVIDE SECURITY AND FACILITIES TO PROTECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, UNLAWFUL OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HIS OWN EQUIPMENT AND TOOLS.

29. CONTRACTOR SHALL HAVE USE OF THE ADJACENT PARKING LOT.

30. THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.

31. PROVIDE TEMPORARY LIGHTING AS REQUIRED; CONNECT TO TEMPORARY ELECTRIC SERVICE.

32. PROVIDE TEMPORARY VENTILATION AS REQUIRED TO PROTECT WORKERS.

33. PROVIDE AND PAY FOR TELEPHONE AND TELEPHONE FACSIMILE SERVICE TO FIELD OFFICE.

34. CONNECT TO EXISTING WATER SOURCE FOR TEMPORARY WATER SERVICE. IF UTILITY IS CAPPED, COORDINATE WITH CLIENT/USER.

35. PROVIDE TEMPORARY SANITARY FACILITIES.

36. CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.

37. MAINTAIN FIRE SAFETY CONTROL AT ALL TIMES.

REPAIRS & MINOR ALTERATIONS TO
615 TOULOUSE STREET

FOR VCC REVIEW

THIS SET FOR VCC REVIEW ONLY. INTERIOR WORK SHOWN FOR REFERENCE ONLY AND WILL BE RE-SUBMITTED AT A LATER DATE.

G000

REVISIONS-

No.	Date	Scope

DRAWING COVER

DRAWING BY: Author

SCALE: 5/20036.00

JOB No: 520036.00

DATE: 3.9.2021

Sheet No:

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615 Toulouse

VCC Architectural Committee

March 23, 2021

ESTABLISHED 1936

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I warrant that I am providing project information administration of this project.



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**REPAIRS & MINOR ALTERATIONS TO
615 TOULOUSE STREET**

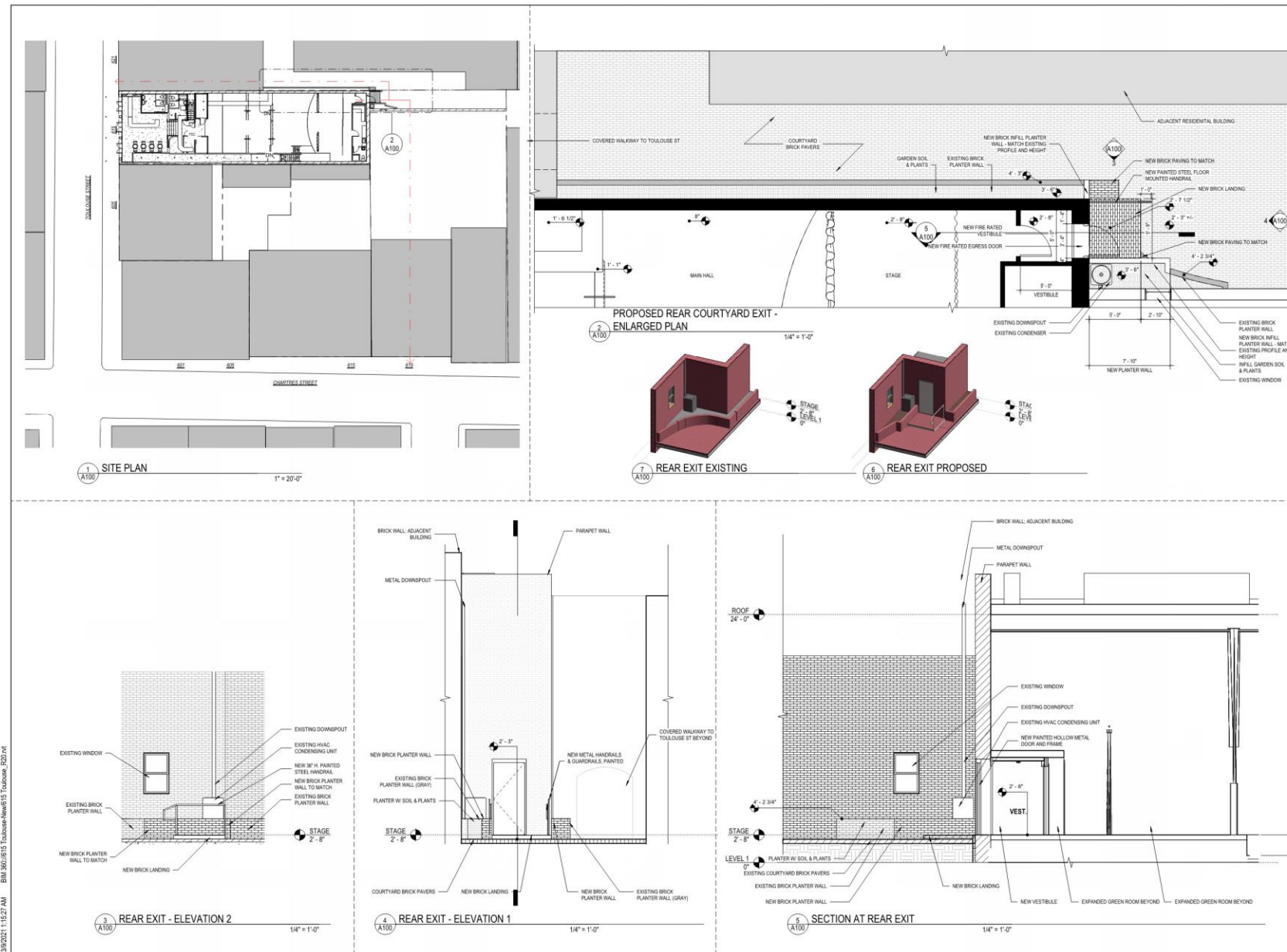
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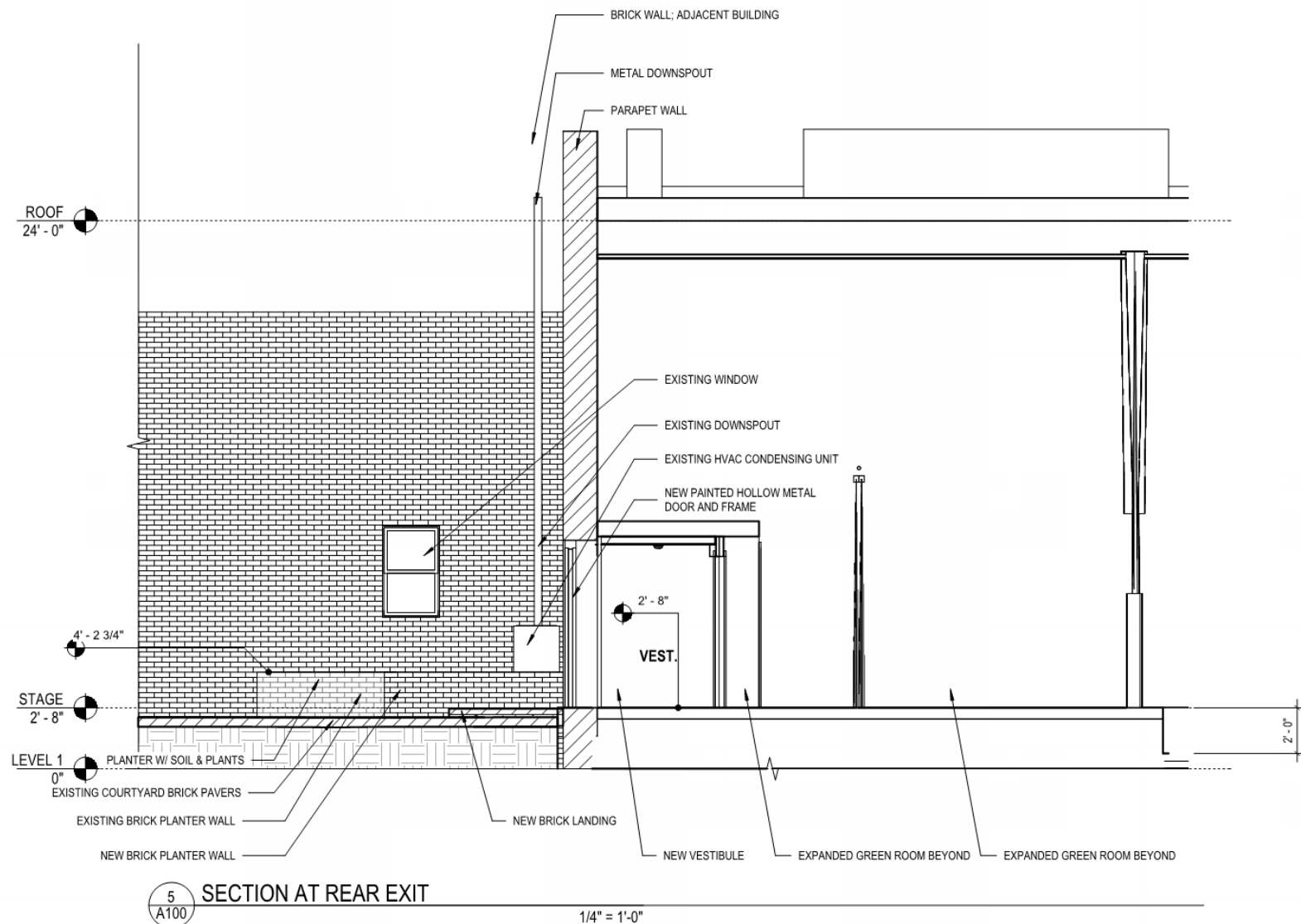
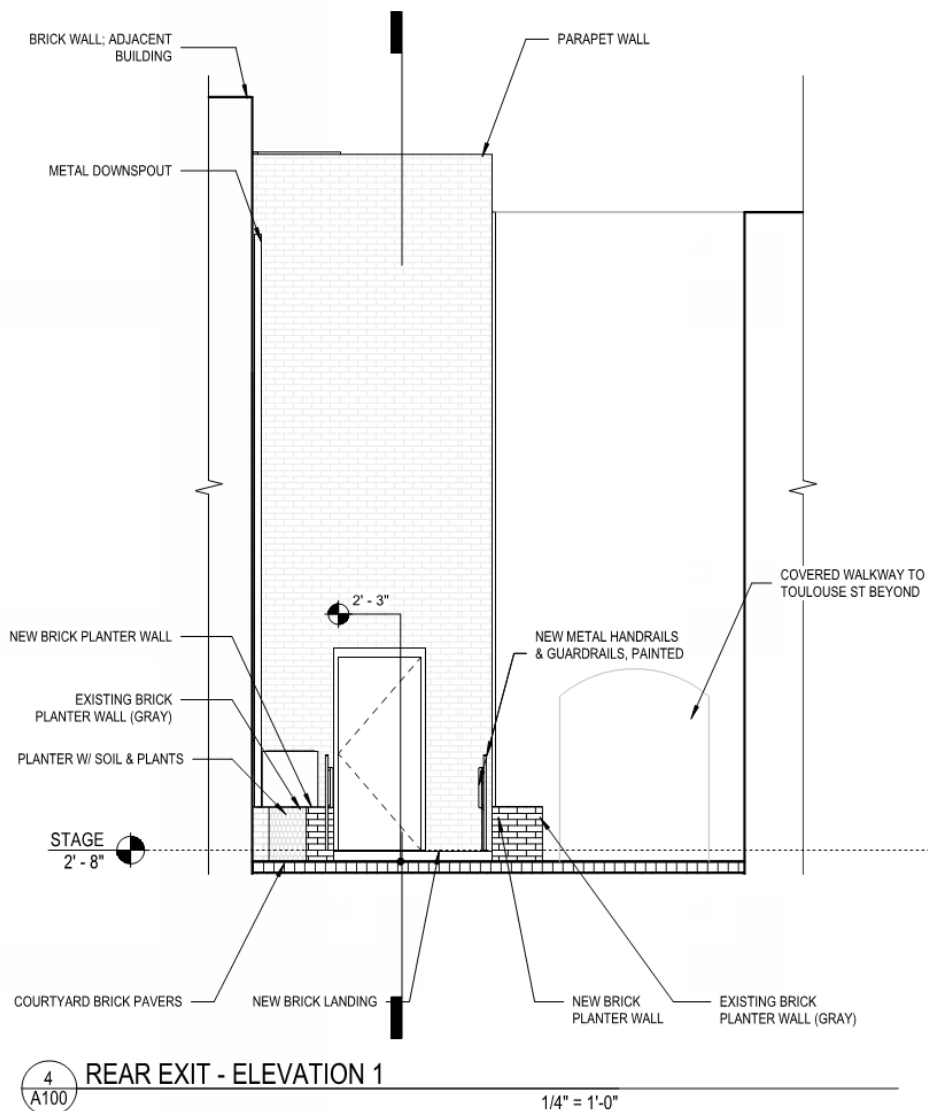
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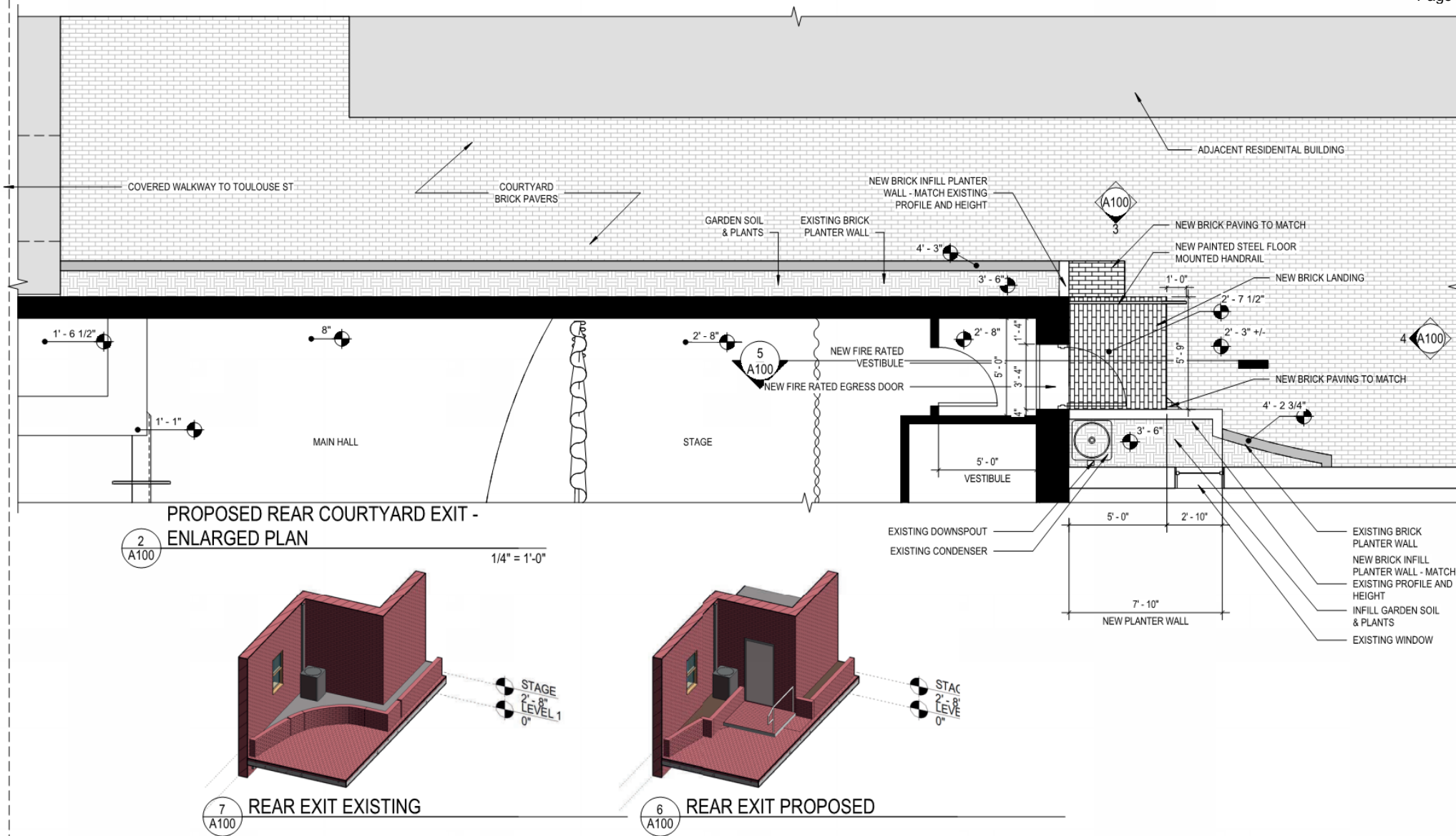
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SITE PLAN**

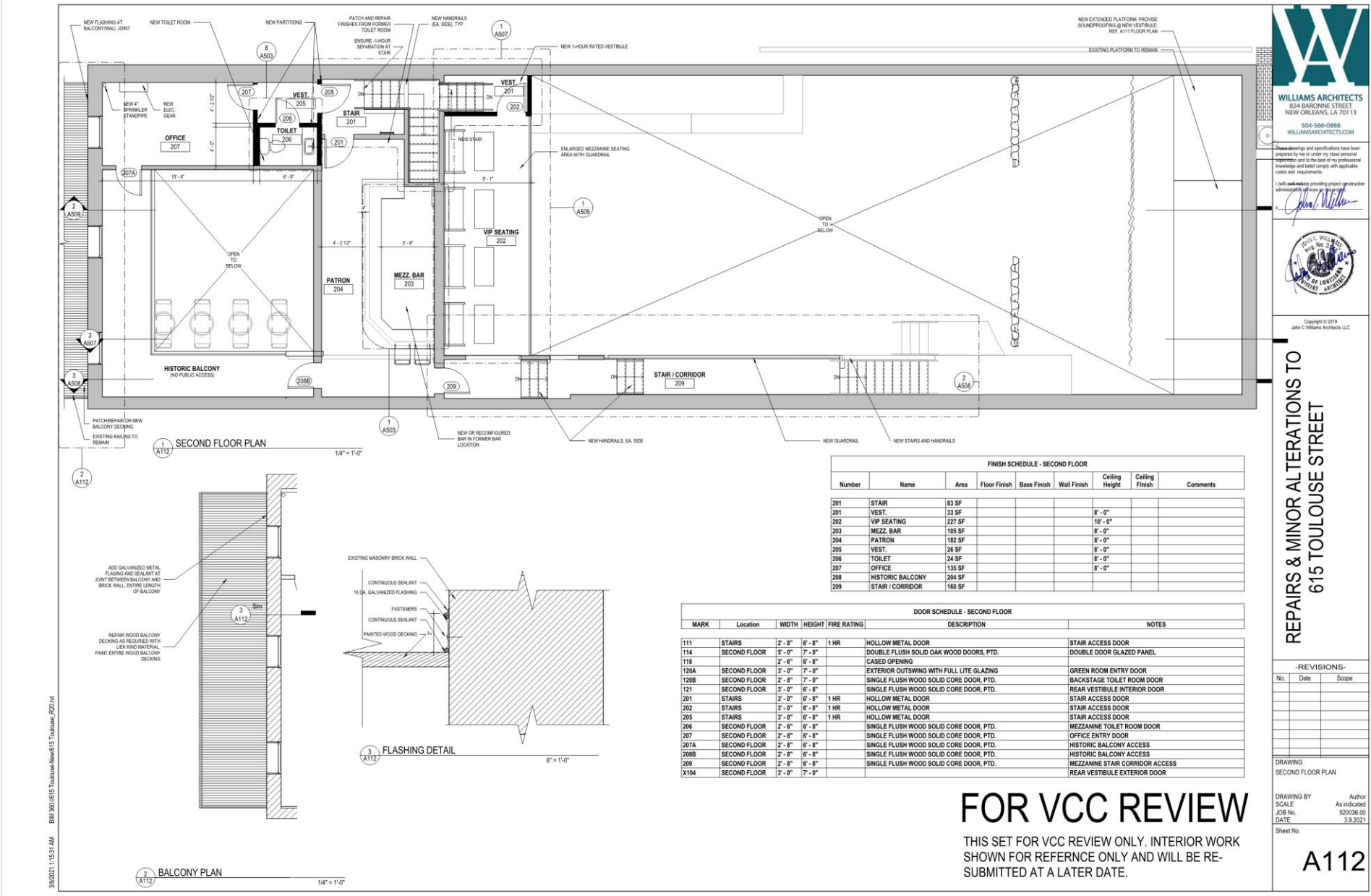
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JOB No.: S20036.00
DATE: 3.9.2021
Sheet No.:

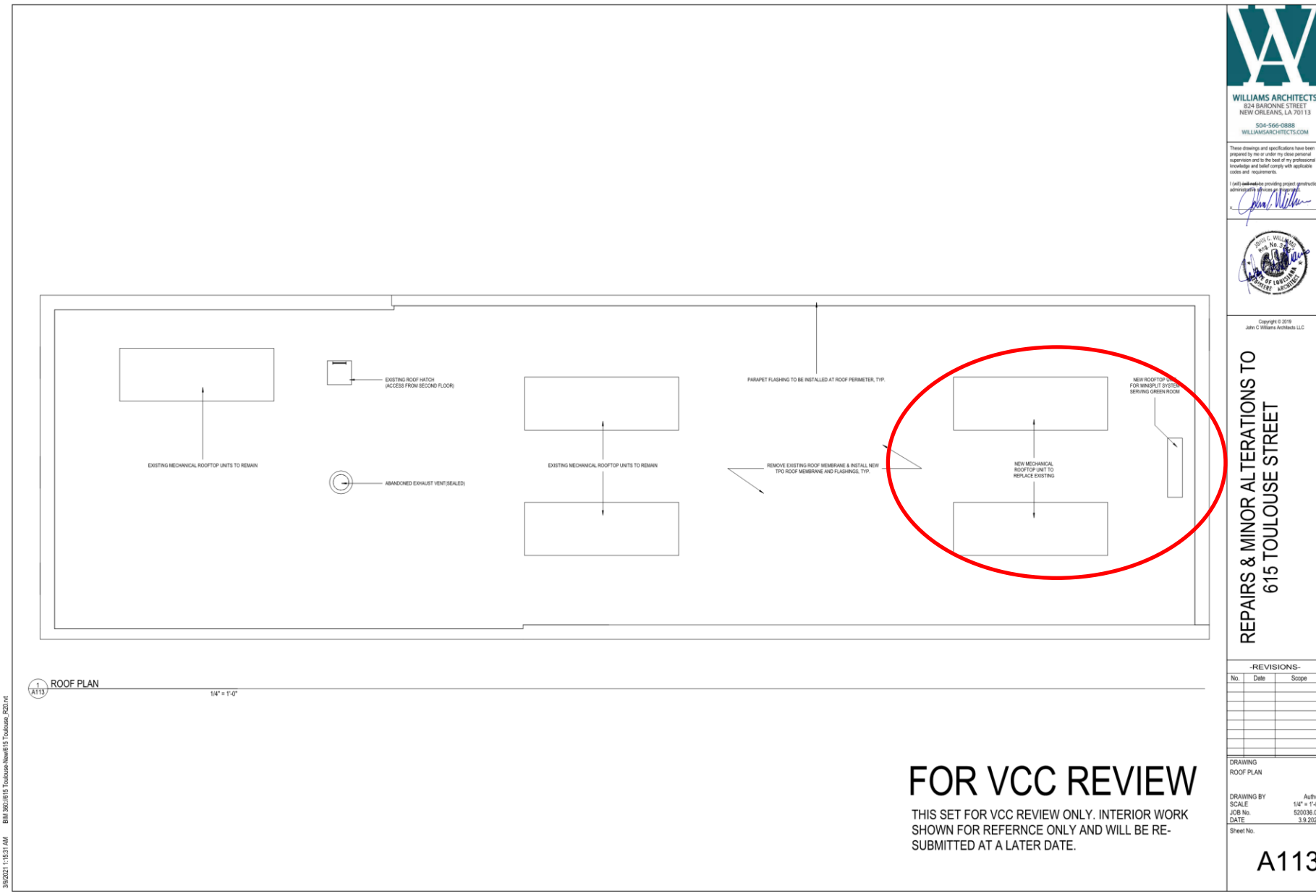
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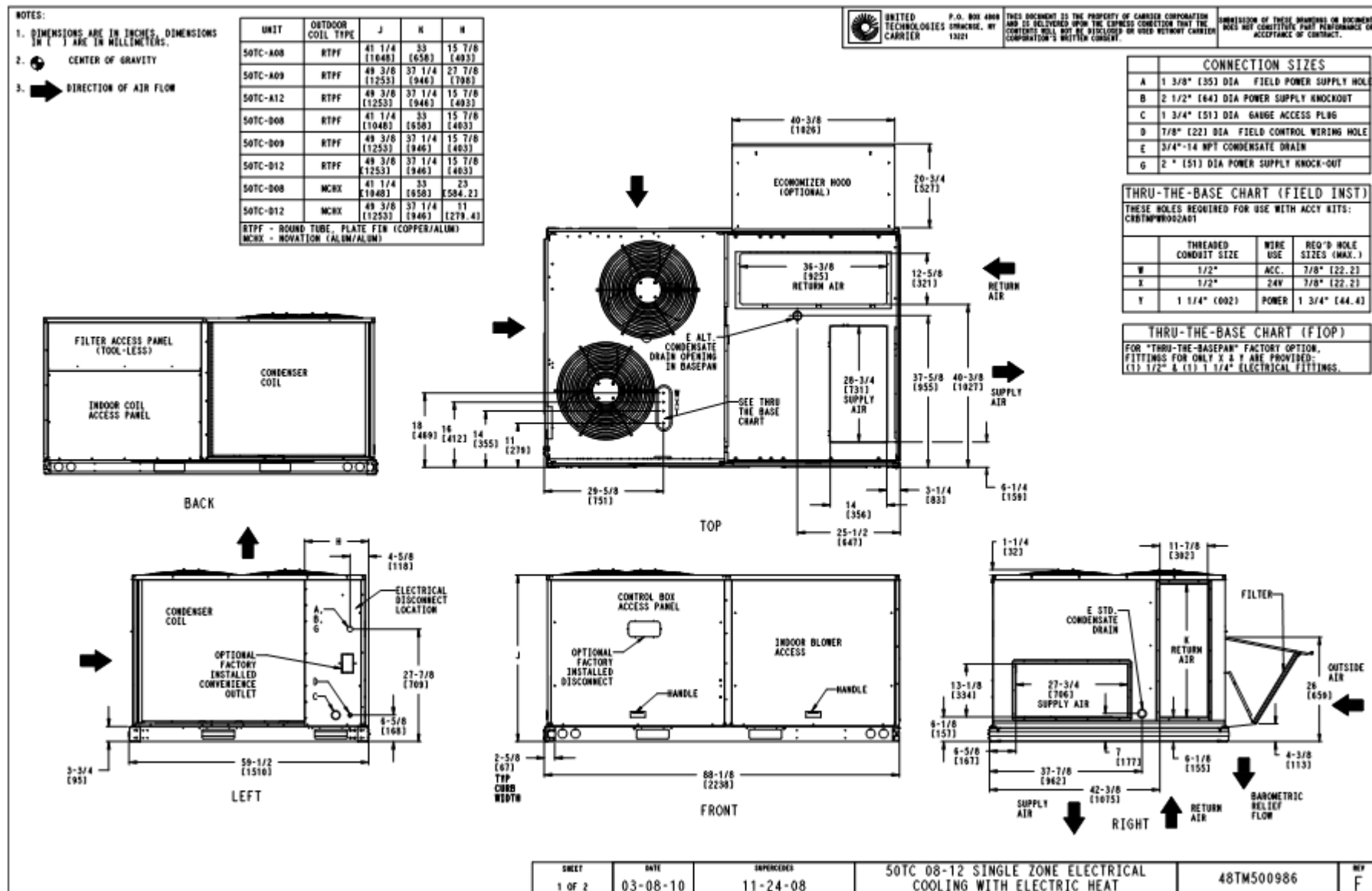














WeatherMaker® - 50TC

PACKAGED ROOFTOP ELECTRIC COOLING UNITS

6, 7.5, 8.5, 10, 12.5, 15 TONS



Optional Louvered Hail Guard Shown

STANDARD FEATURES INCLUDE:

- Puron (R-410A) HFC refrigerant
- DOE, ASHRAE 90.1, and IECC energy compliant
- Single-stage/circuit cooling capacity control on 07 models
- Two-Stage/circuit cooling capacity control on 08-16 models
- Two-stage/single circuit cooling capacity control on 08,09,12 models
- EER's up to 11.3
- IEER's up to 13.0
- Energy Saving Staged Air Volume (SAV™) 2-speed/ indoor fan motor on two circuit (08-16) and 07 models. Required in U.S. installations. Not available or required to meet DOE on 50TC*M models 08, 09, and 12.
- Exclusive non-corrosive composite condensate pan in accordance with ASHRAE Standard 62, sloping design, side or center drain
- Acutrol™ and/or TXV refrigerant metering system
- Standard cooling operation up to 115°F (46°C) and down to 40°F (4°C), - down to 25°F (-4°C) with winter start kit.
- Pre-painted exterior panels and primer-coated interior panels tested to 500 hours salt spray protection
- Low pressure and high pressure switch protected.

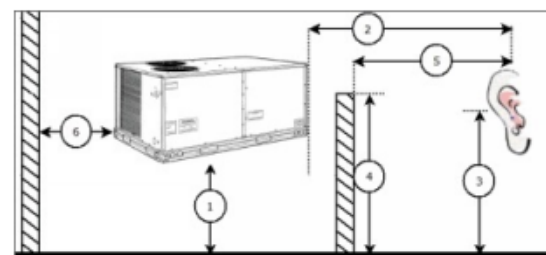
Acoustics

Sound Power Levels, db re 10E-12 Watts

Page 67 of 205

	Discharge	Inlet	Outdoor
63 Hz	90.8	86.3	88.6
125 Hz	85.5	79.2	85.0
250 Hz	71.7	66.4	81.6
500 Hz	71.4	66.3	79.5
1000 Hz	69.7	64.4	77.4
2000 Hz	66.5	58.8	74.1
4000 Hz	67.0	56.0	71.0
8000 Hz	62.9	50.0	66.3
A-Weighted	76.4	70.0	82.0

Advanced Acoustics



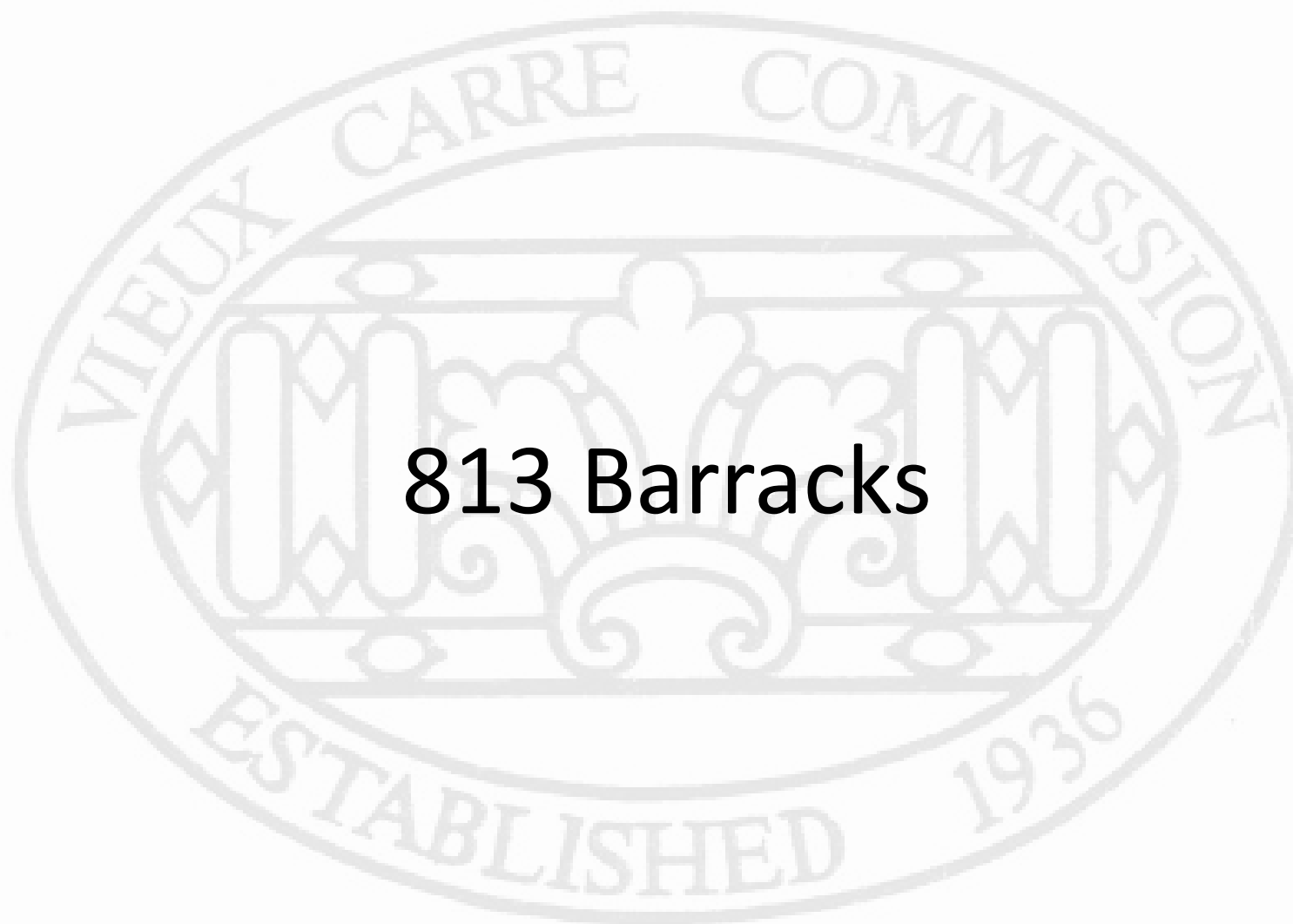
Advanced Acoustics Parameters

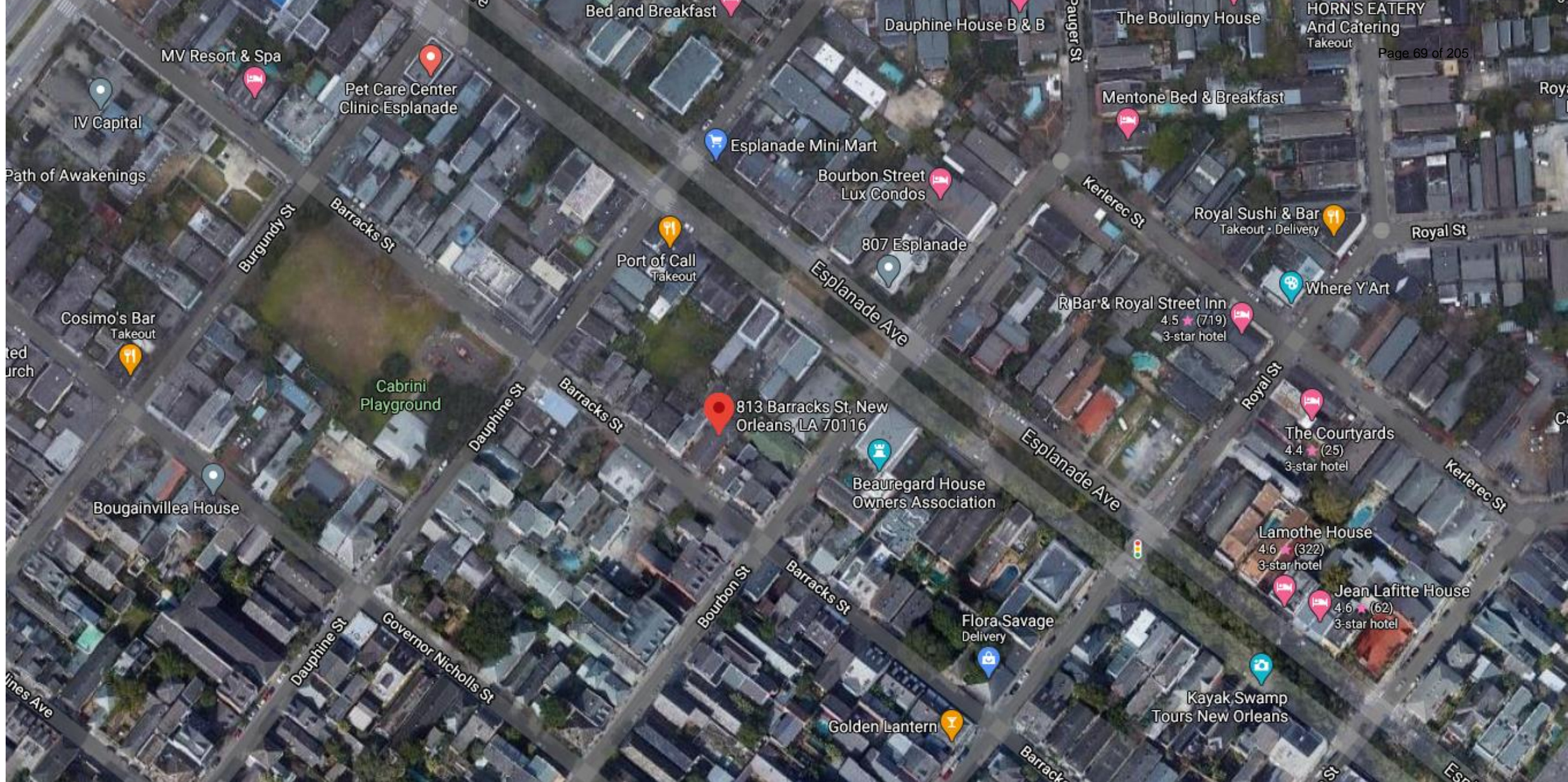
1. Unit height above ground:30.0 ft
2. Horizontal distance from unit to receiver:50.0 ft
3. Receiver height above ground:5.7 ft
4. Height of obstruction:0.0 ft
5. Horizontal distance from obstruction to receiver: .0.0 ft
6. Horizontal distance from unit to obstruction:0.0 ft

Detailed Acoustics Information

Octave Band Center Freq. Hz	63	125	250	500	1k	2k	4k	8k	Overall
A	88.6	85.0	81.6	79.5	77.4	74.1	71.0	66.3	91.4 Lw
B	62.4	68.9	73.0	76.3	77.4	75.3	72.0	65.2	82.6 LwA
C	56.2	52.6	49.2	47.1	45.0	41.7	38.6	33.9	59.0 Lp
D	30.0	36.5	40.6	43.9	45.0	42.9	39.6	32.8	50.2 LpA

813 Barracks



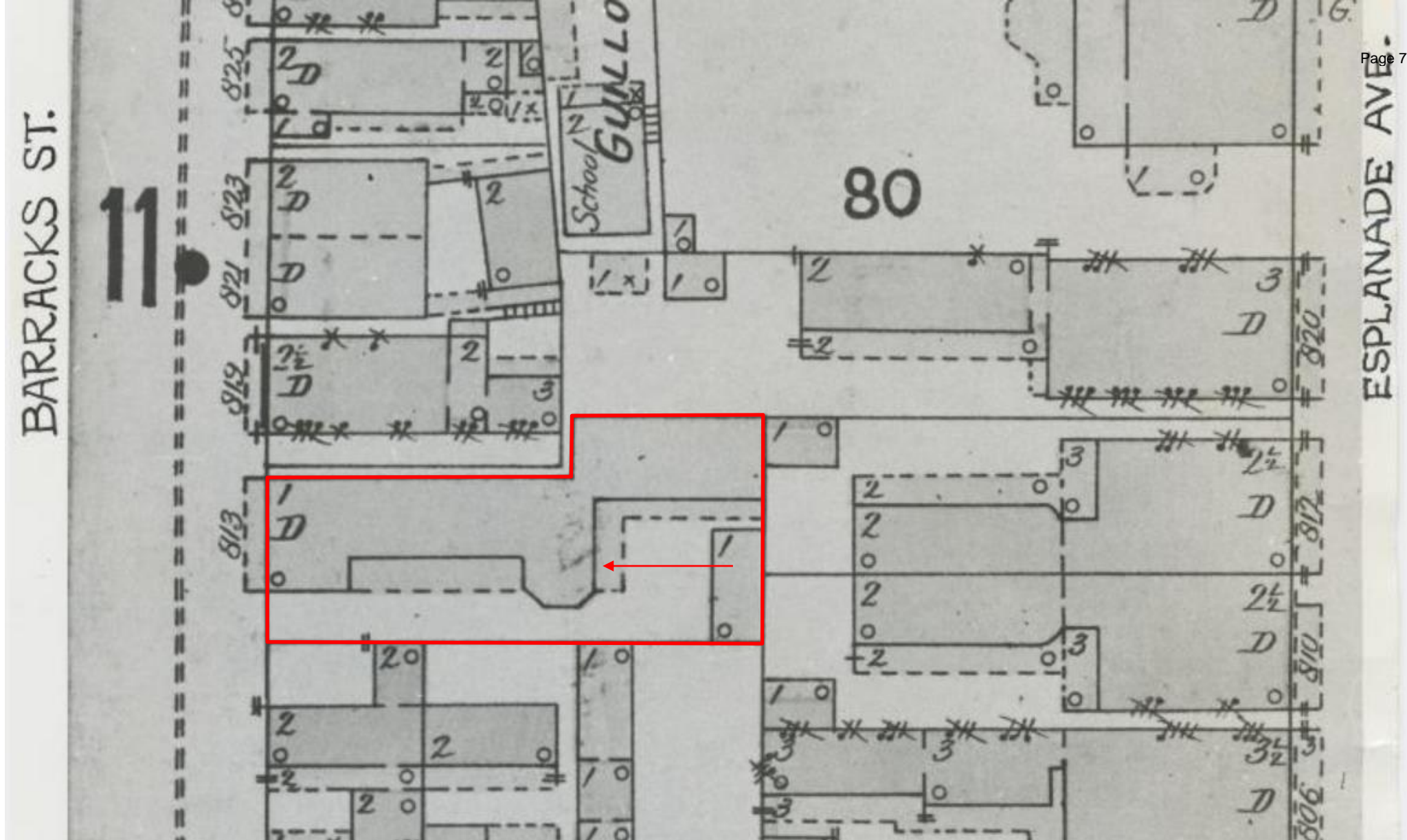


813 Barracks

VCC Architectural Committee

March 23, 2021





813 Barracks – 1896 Sanborn map



813 Barracks

VCC Architectural Committee

March 23, 2021





813 Barracks

VCC Architectural Committee

March 23, 2021





813 Barracks

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March 23, 2021





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813 Barracks

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March 23, 2021





813 Barracks

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March 23, 2021





813 Barracks

VCC Architectural Committee

March 23, 2021



ALTERATIONS TO 813 BARRACKS STREET



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not accept or provide any contract administration services unless I am properly licensed.



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813 Barracks Street
New Orleans LA 70116

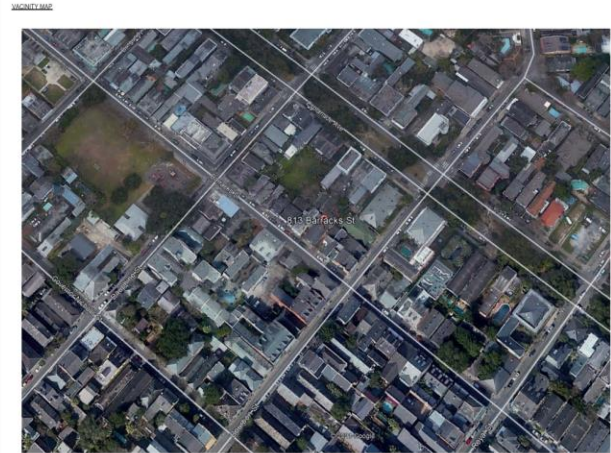
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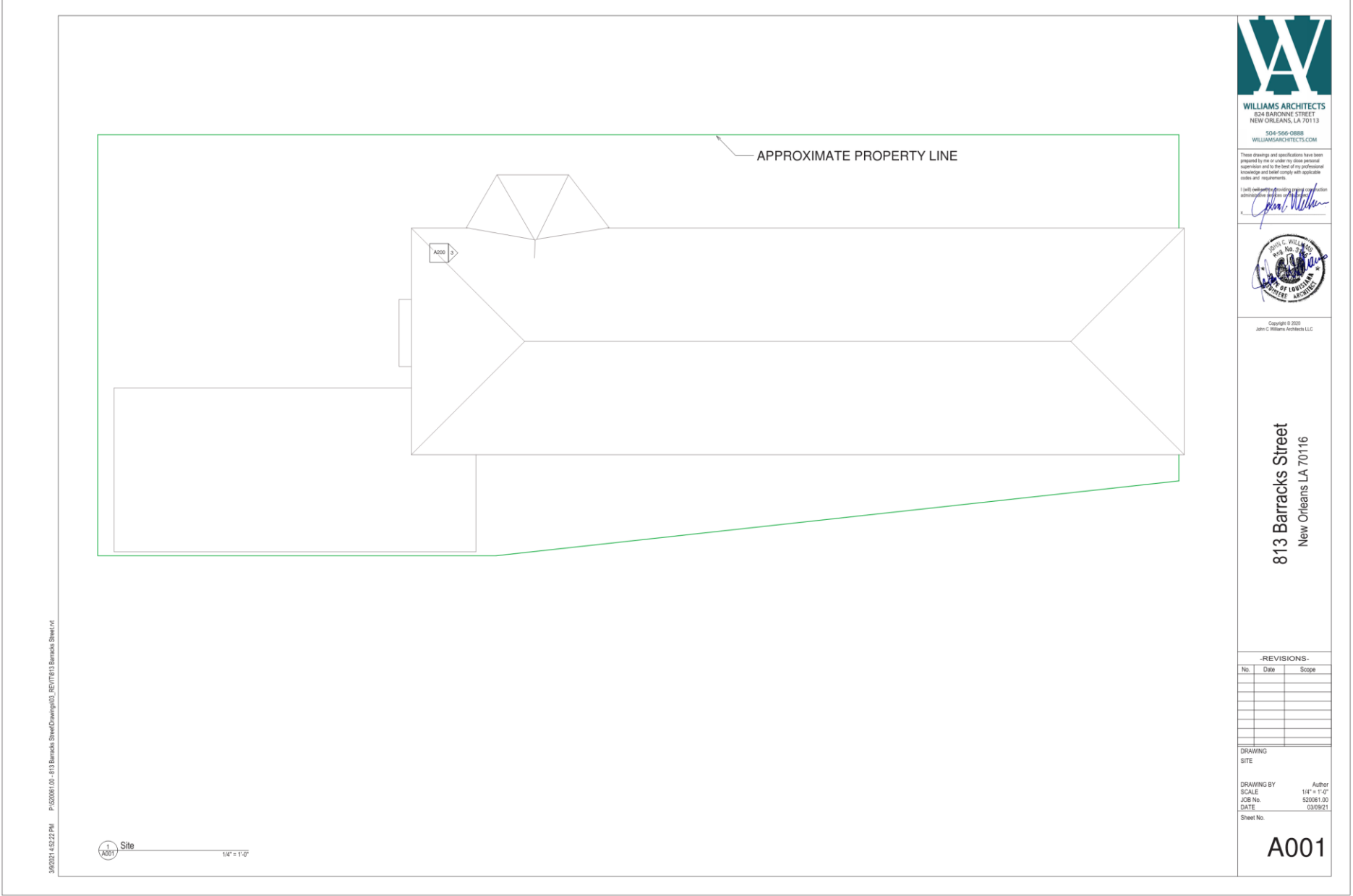
PROJECT DIRECTORY	PROJECT INFORMATION	GENERAL
BUILDING OWNER JOHN C. WILLIAMS ARCHITECTS, LLC 824 BARONNE ST. NEW ORLEANS, LA 70113 TEL: (504) 566-0888 FAX: (504) 566-0887 CONTACT: CALLA BISHOP-HELL (cbishop@williamsarchitects.com)	PROJECT ADDRESS 813 BARRACKS STREET NEW ORLEANS 70116 PROJECT DESCRIPTION ADD A WINDOW TO AN EXISTING SINGLE FAMILY BUILDING BUILDING SOURCE FOOTAGE LOT 3672 SQ. FT. EXISTING 1920 SQ. FT. PROPOSED 1920 SQ. FT. NOT LIMITED TO THE FOLLOWING INTERNATIONAL BUILDING CODE, 2015 ED. CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE PROPERTY INFORMATION SCHEME 35 LOT 23 MUNICIPAL DISTRICT 2 BOUNDARY STREETS: BARRACKS, BOURBON, ESPERANCE AND DAUPHINE PRIMARY ZONING: VOR-1, VIEUX CARRE RESIDENTIAL DISTRICT OVERLAY ZONING: VIEUX CARRE LEGIST INTERIM ZONING DISTRICT	GENERAL G001 TITLE PAGE PLANS A001 SITE A100 FLOOR PLANS - DEMO & NEW A200 ELEVATIONS - DEMO & NEW A800 WINDOW SCHEDULE & DETAILS

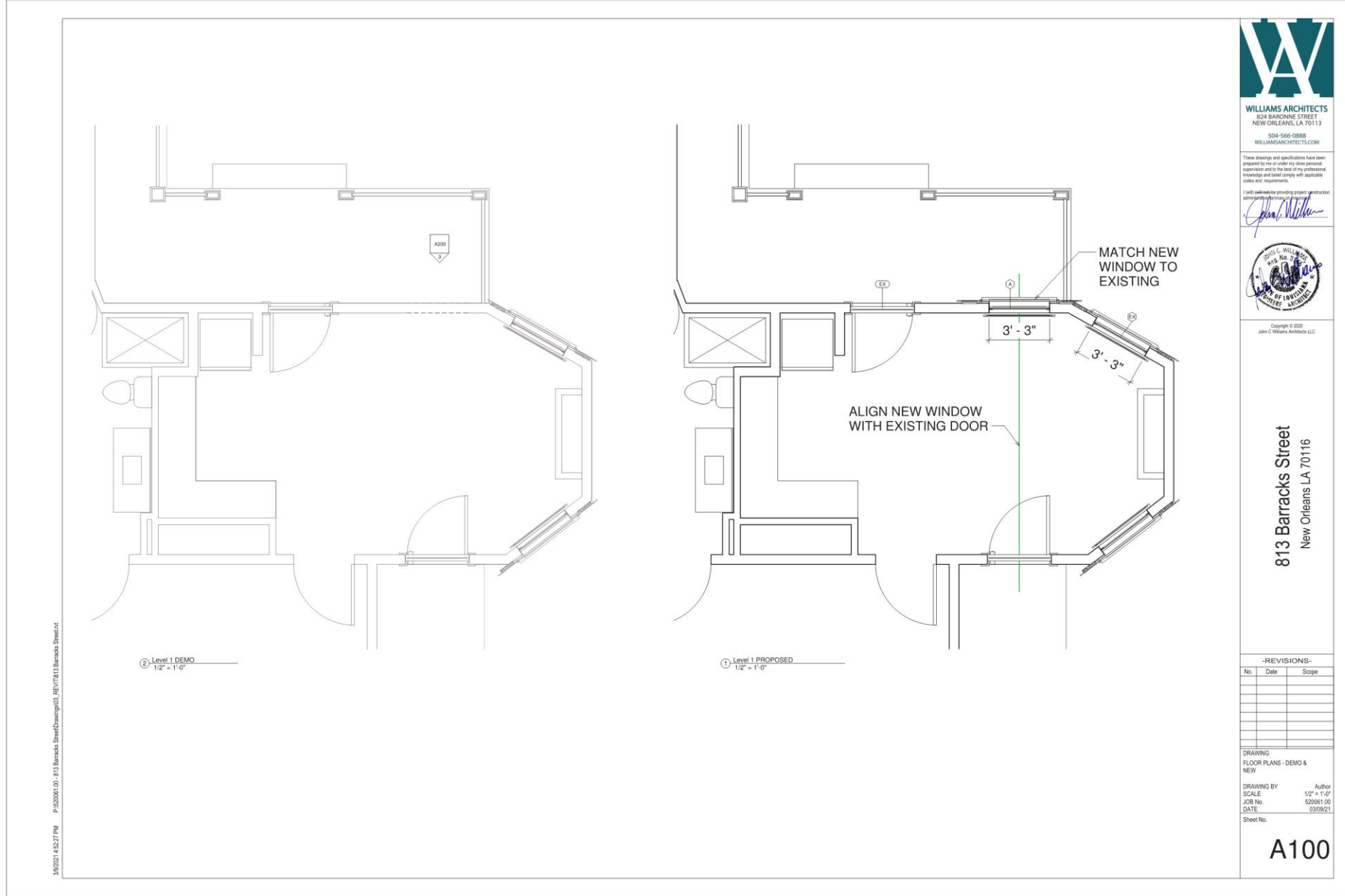


GENERAL NOTES

- SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.
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 - WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS.
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 - THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS.
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 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CASEWORK, MILLWORK AND SPECIALTY ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
 - INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
 - LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK. FURNISHINGS INDICATED ON ARE FOR REFERENCE AND COORDINATION.
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 - EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.
 - DO NOT BLOCK DRIVEWAYS, FIRE EXITS AND FIRE EXIT ROUTES.
 - LIMIT NOISE TO NORMAL CONSTRUCTION OPERATIONS.
 - TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, BUT THE WORK OF OTHER RELATED TRADES AS WELL.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.
 - THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE COORDINATED IN ADVANCE OF NEED.
 - VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK.
 - KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNTIL TURNED OVER TO THE OWNER.
 - PROVIDE A MINIMUM 4" HIGH FENCING AND METAL POSTS FOR PROTECTION OF AREAS DURING OPERATIONS AND FOR SECURITY CONTROL. PROVIDE OTHER PEDESTRIAN AND PUBLIC PROTECTION REQUIRED BY THE REGULATORY AGENCIES.
 - PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.
 - PROVIDE SECURITY AND FACILITIES TO PROTECT PROJECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HISHER OWN EQUIPMENT AND TOOLS.
 - CONTRACTOR SHALL HAVE USE OF THE ADJACENT PARKING LOT.
 - THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.
 - PROVIDE TEMPORARY LIGHTING AS REQUIRED: CONNECT TO TEMPORARY ELECTRIC SERVICE.
 - PROVIDE TEMPORARY VENTILATION AS REQUIRED TO PROTECT WORKERS.
 - PROVIDE AND PAY FOR TELEPHONE AND TELEPHONE FACSIMILE SERVICE TO FIELD OFFICE.
 - CONNECT TO EXISTING WATER SOURCE FOR TEMPORARY WATER SERVICE. IF UTILITY IS CAPPED, COORDINATE WITH CLIENT/USER.
 - PROVIDE TEMPORARY SANITARY FACILITIES.
 - CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.







813 Barracks

VCC Architectural Committee

March 23, 2021





WILLIAMS ARCHITECTS
624 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will undertake providing project construction administration services on the project.



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John C. Williams Architects LLC

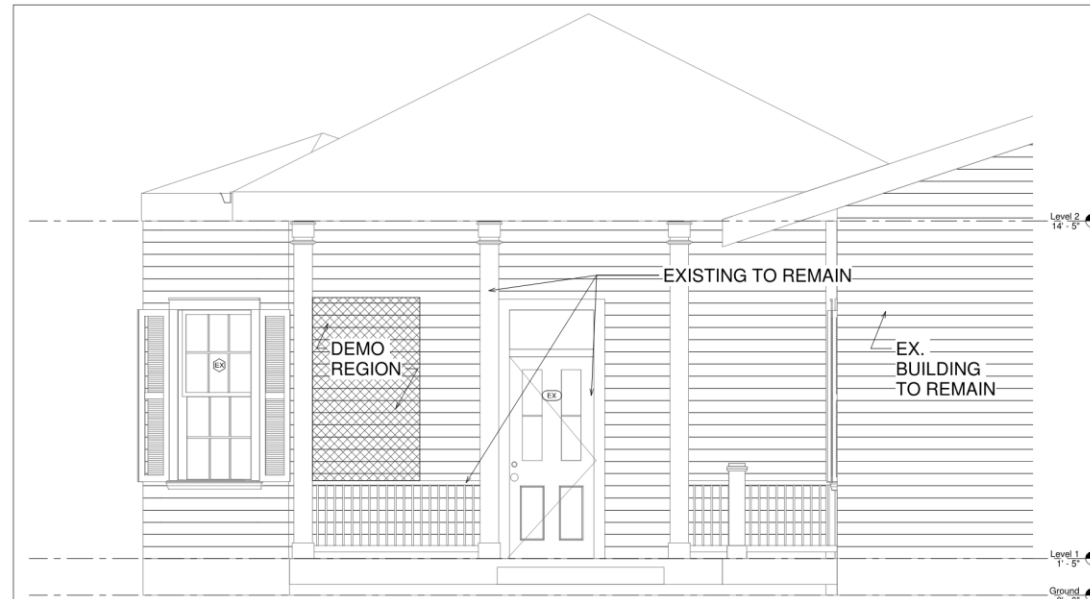
813 Barracks Street
New Orleans LA 70116

-REVISIONS-		
No.	Date	Scope

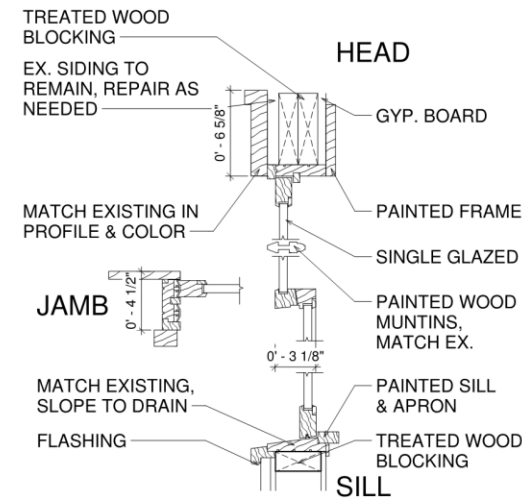
DRAWING
ELEVATIONS - DEMO & NEW

DRAWING BY
SCALE As indicated
JOB No. S20061.00
DATE 03/09/21
Sheet No.

A200



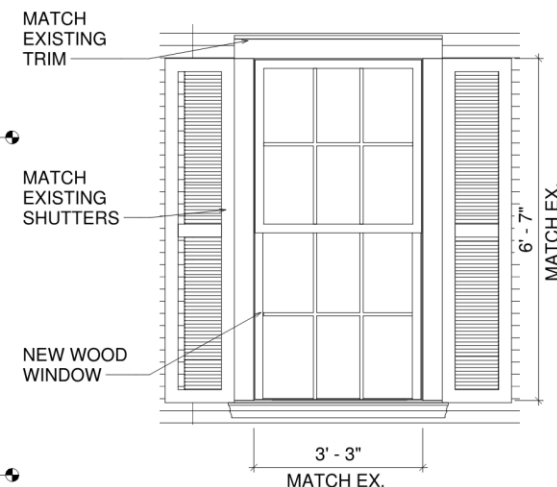
① North DEMO
1/2" = 1'-0"



④ WINDOW DETAILS
3" = 1'-0"



② North PROPOSED
1/2" = 1'-0"

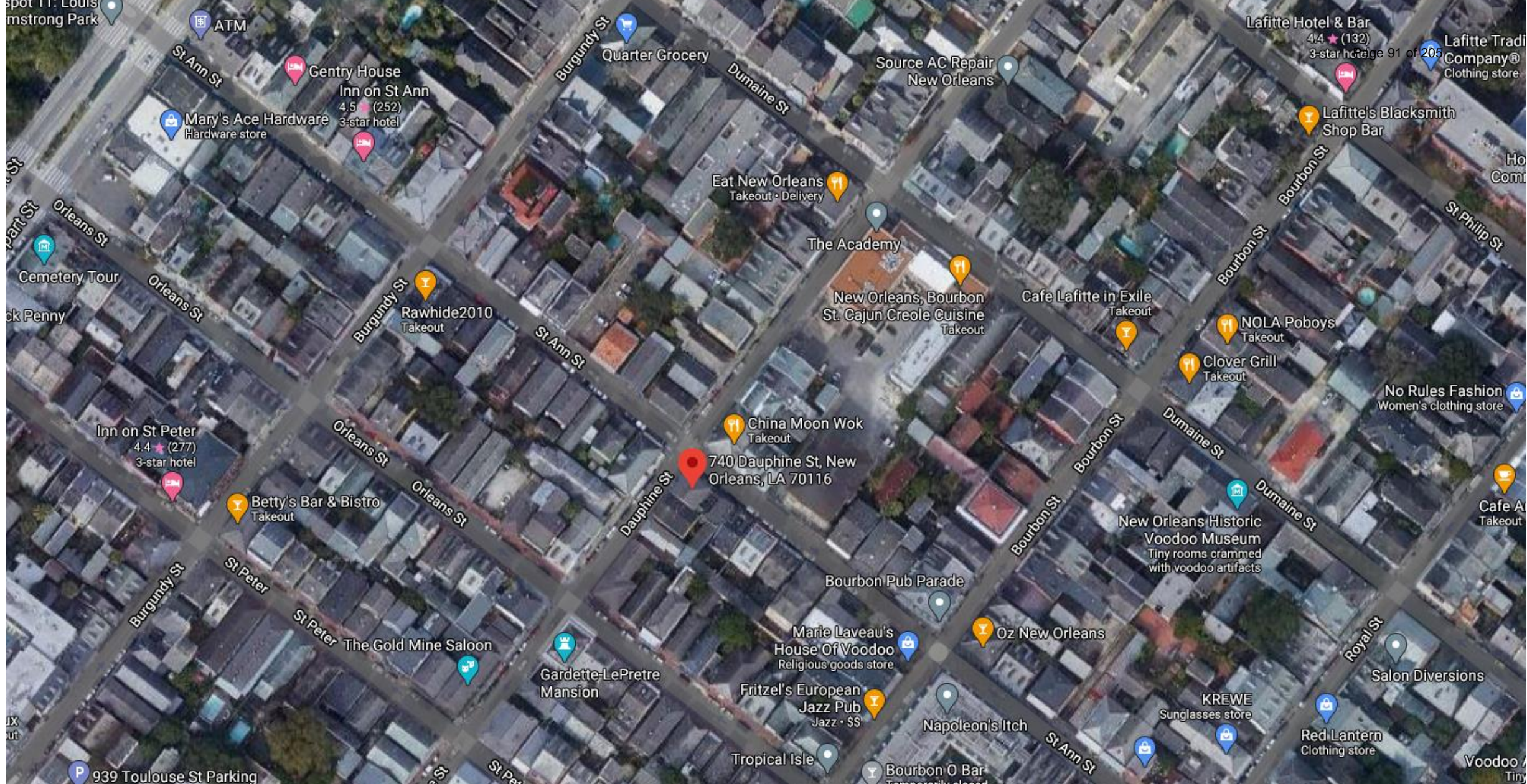


③ NEW WINDOW ELEVATION
1" = 1'-0"





740 Dauphine



740 Dauphine

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740 Dauphine - 1988

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740 Dauphine - 1989

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740 Dauphine

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① EXISTING BUILDING /GALLERY
SCALE: NTS



② PROPOSED BUILDING w/ COVERED GALLERY
SCALE: NTS



③ EXAMPLES BOURBON & ORLEANS
SCALE: NTS



④ EXAMPLES DAUPHINE & CONTI
SCALE: NTS

DESCRIPTION OF WORK:

THIS REQUEST IS FOR PRELIMINARY APPROVAL BY THE VIEUX CARRE COMMISSION TO ADD A ROOF TO THE EXISTING GALLERY AT 740 DAUPHINE AS SHOWN IN THE PROPOSED IMAGE #2. FURTHER DESIGN DETAILS & CONNECTIONS TO EXISTING BUILDING TO BE REVIEWED AND APPROVED BY VIEUX CARRE COMMISSION (VCC)

DESIGN
COLLABORATIVE, LLC.

ARCHITECTURE+
306 PINE ST
NEW ORLEANS, LA 70118
PH: 504 . 500 . 6364
FAX: 504 . 314 . 8263

WOOD ENTERPRISES
740 DAUPHINE ST
NEW ORLEANS LA 70116

JOB
740DAUP
DATE:
03-08-2021

REVISIONS:
-
-
-

SEAL

SHEET

A01

REVISION TO BE EXTENDED FROM THE INFORMATION SHOWN ABOVE ON THIS SHEET WITHOUT ADVANCE APPROVAL. IN VIOLATION OF THE VIEUX CARRE COMMISSION'S POLICY, THIS DOCUMENT AND DESIGN ARE THE PROPERTY OF DESIGN COLLABORATIVE, LLC AND IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR IN PART. IF IT IS ONLY TO BE USED FOR THE PROJECT AND USE SPECIFICALLY ENDORSED HEREIN.



740 Dauphine

1

EXISTING BUILDING /GALLERY

SCALE: NTS

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740 Dauphine

2

PROPOSED BUILDING w/ COVERED GALLERY

SCALE: NTS

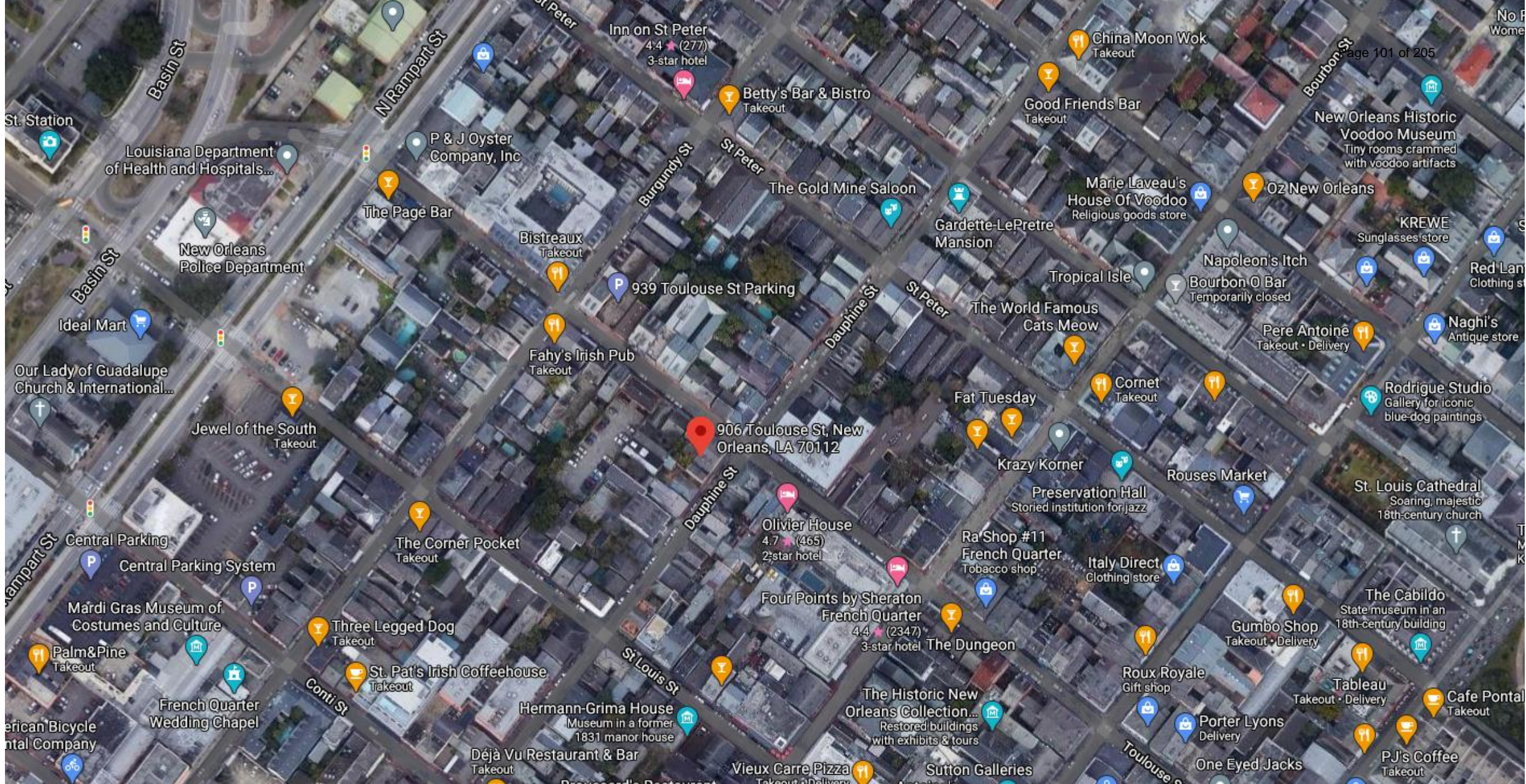
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906 Toulouse

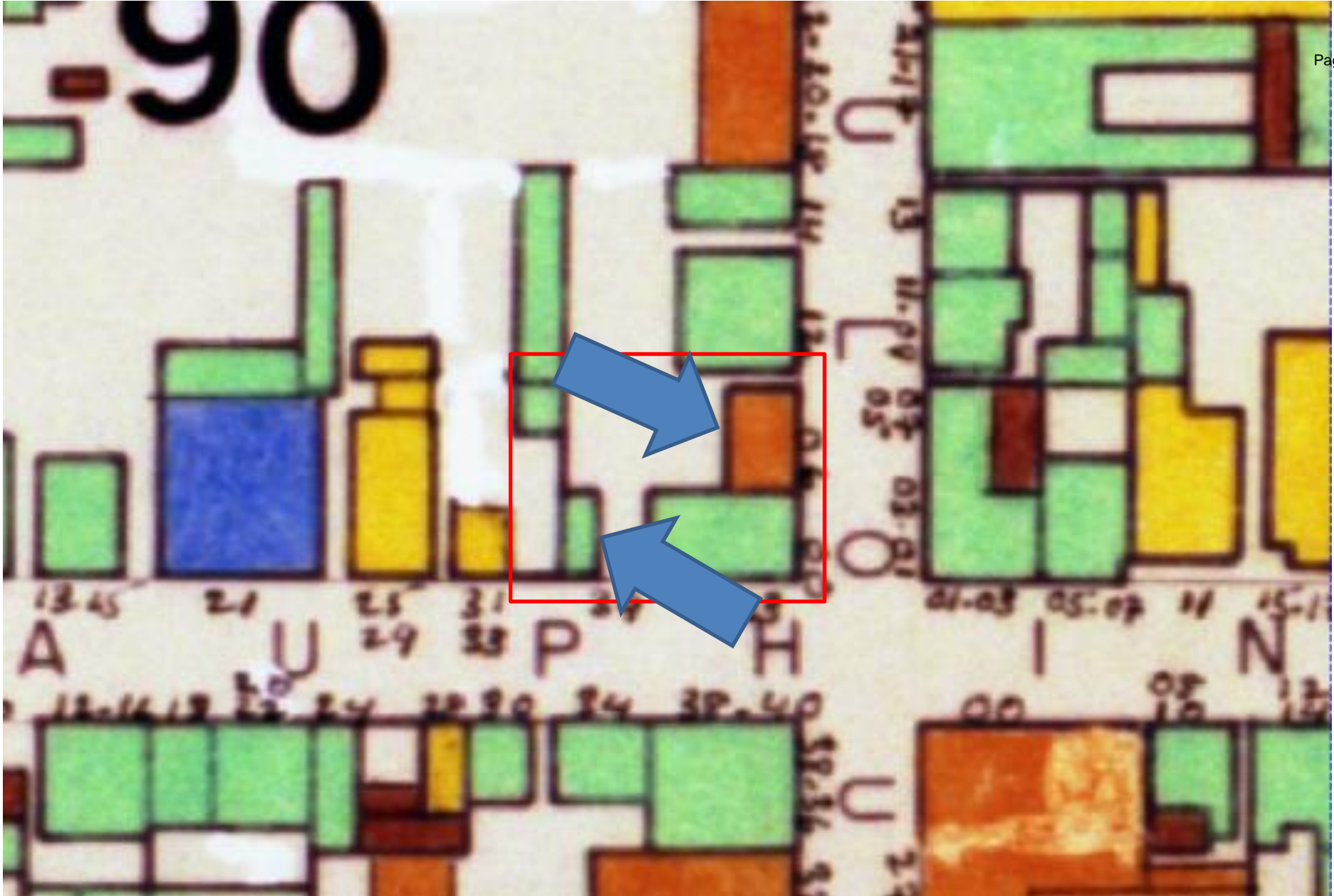


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March 23, 2021





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March 23, 2021





906 Toulouse – Green Rated Building

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March 23, 2021





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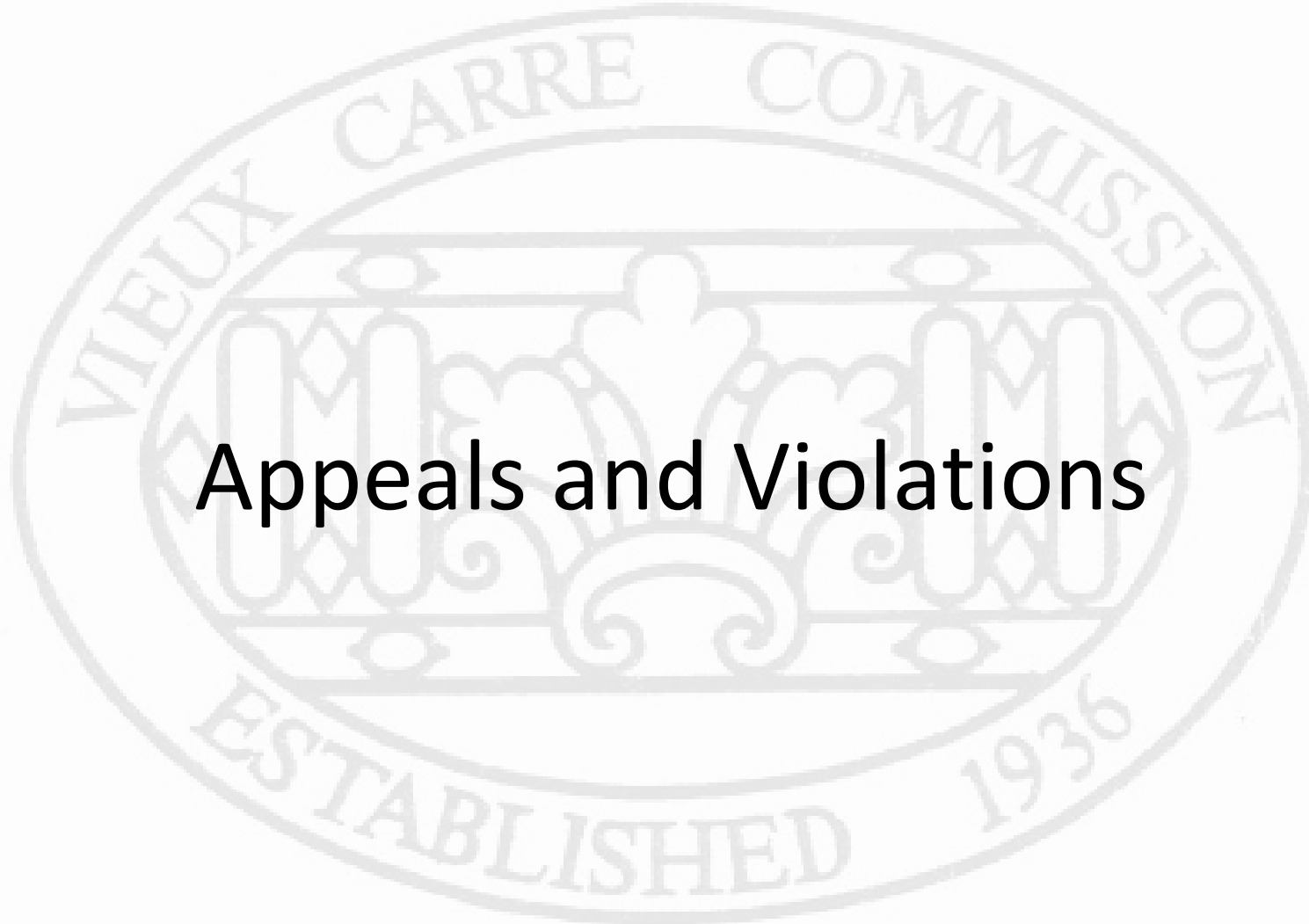
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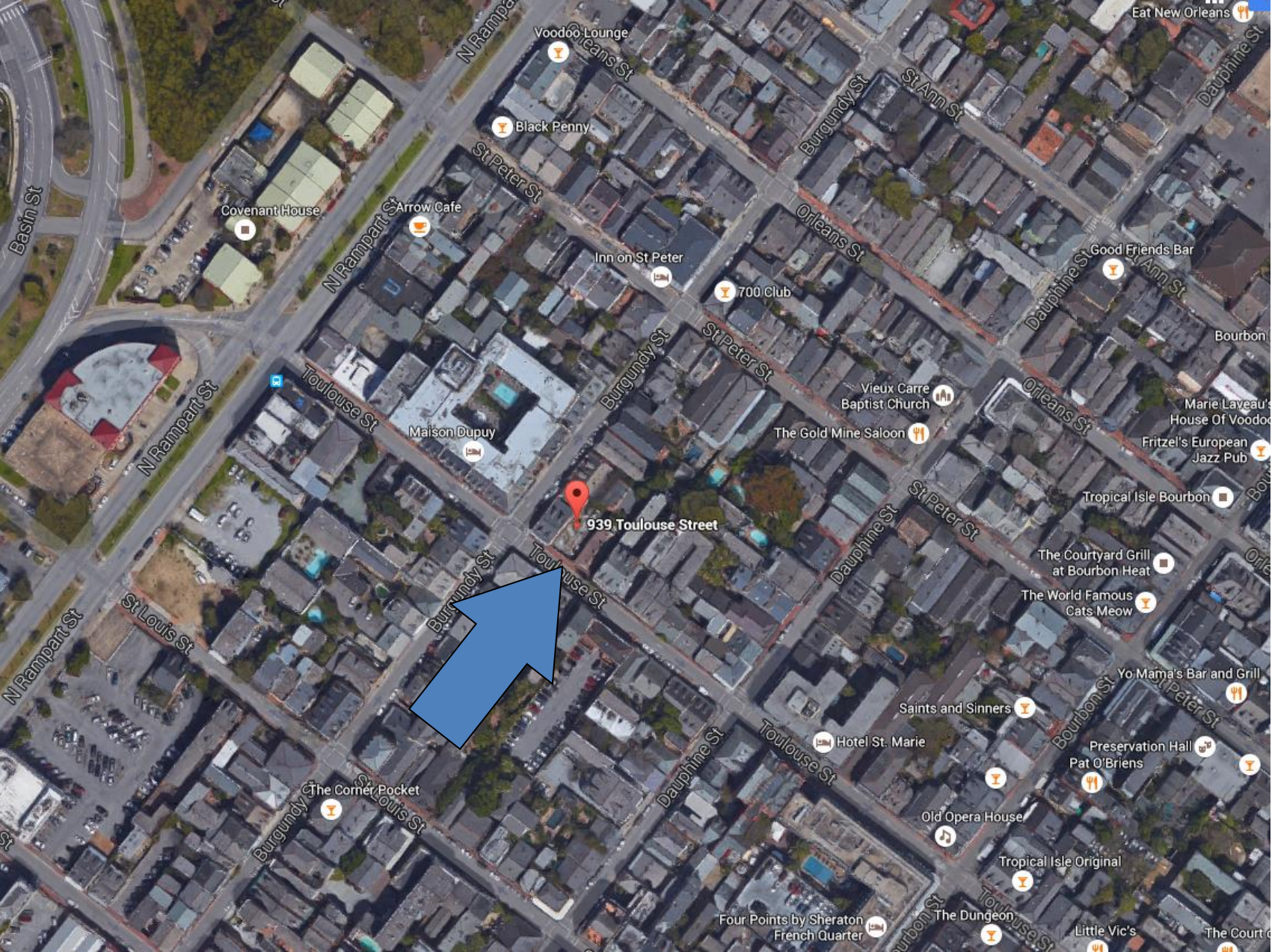


Appeals and Violations



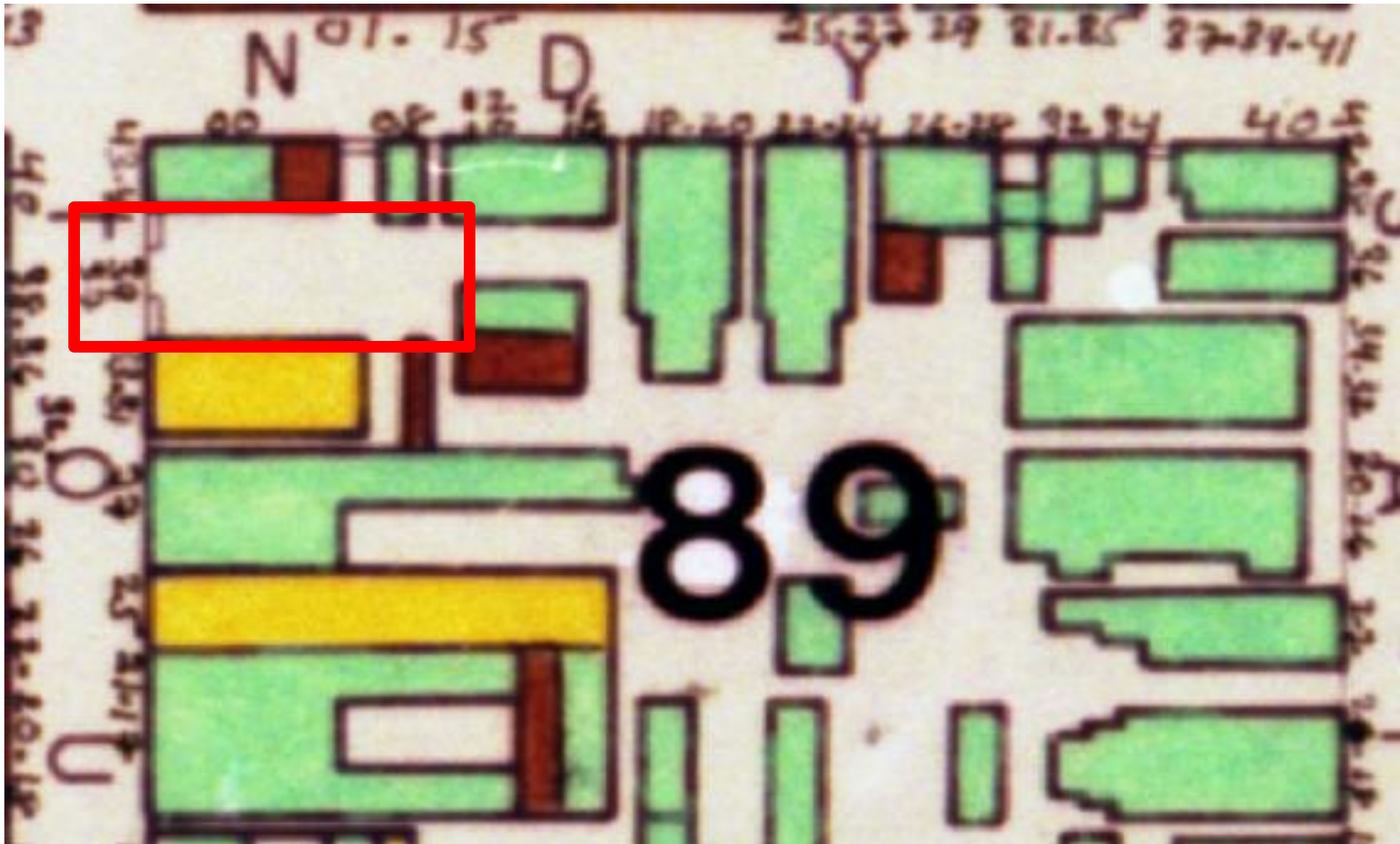


939 Toulouse



939 Toulouse





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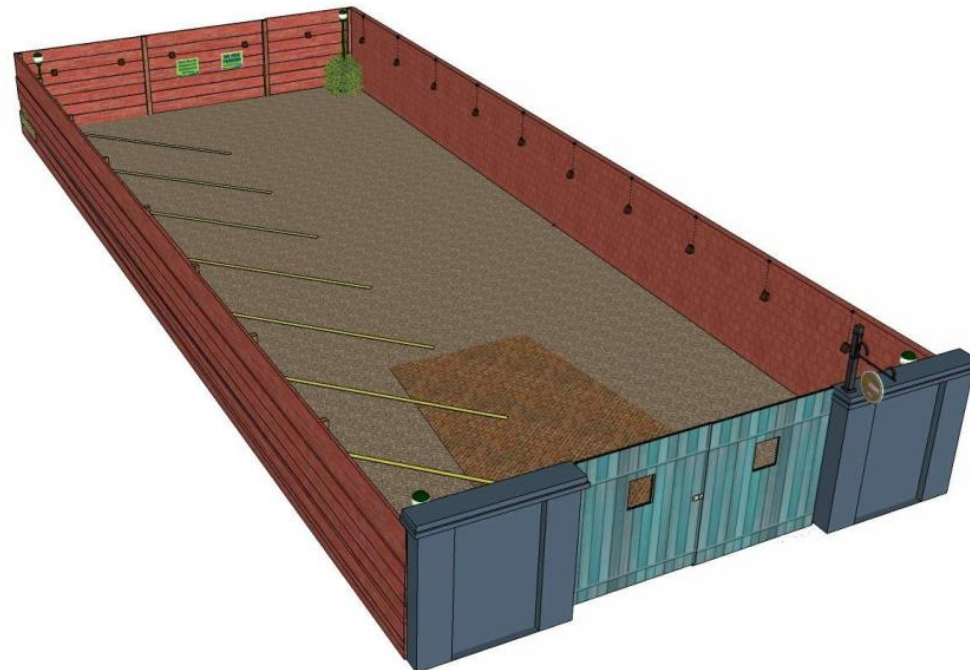
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939 Toulouse Street

Rehabilitation and Revitalization Plan



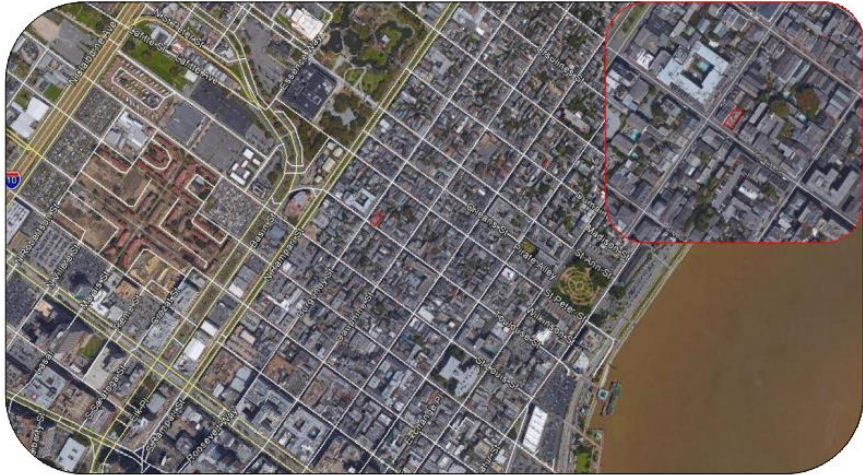
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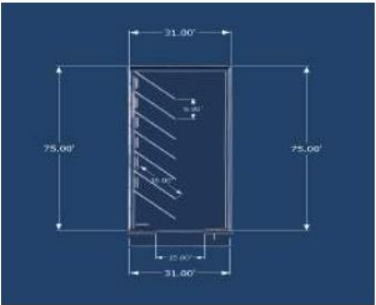
939 Toulouse St.



Block Plat



Site Plan



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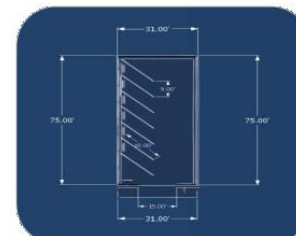


Existing Conditions

The property at 939 Toulouse St. is currently being used as a legal non-conforming commercial surface parking lot.



The surface of the lot is currently comprised of brick, gravel, and grass. The existing brick covers 11% of the surface or 220 Sq. Ft. of the available 2,100 square feet of the property.



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Surrounding Businesses

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939 Toulouse St.



Bistreaux New Orleans Restaurant



Fahy's Irish Pub



Maison Dupuy Hotel



Hotel St. Marie

939 Toulouse

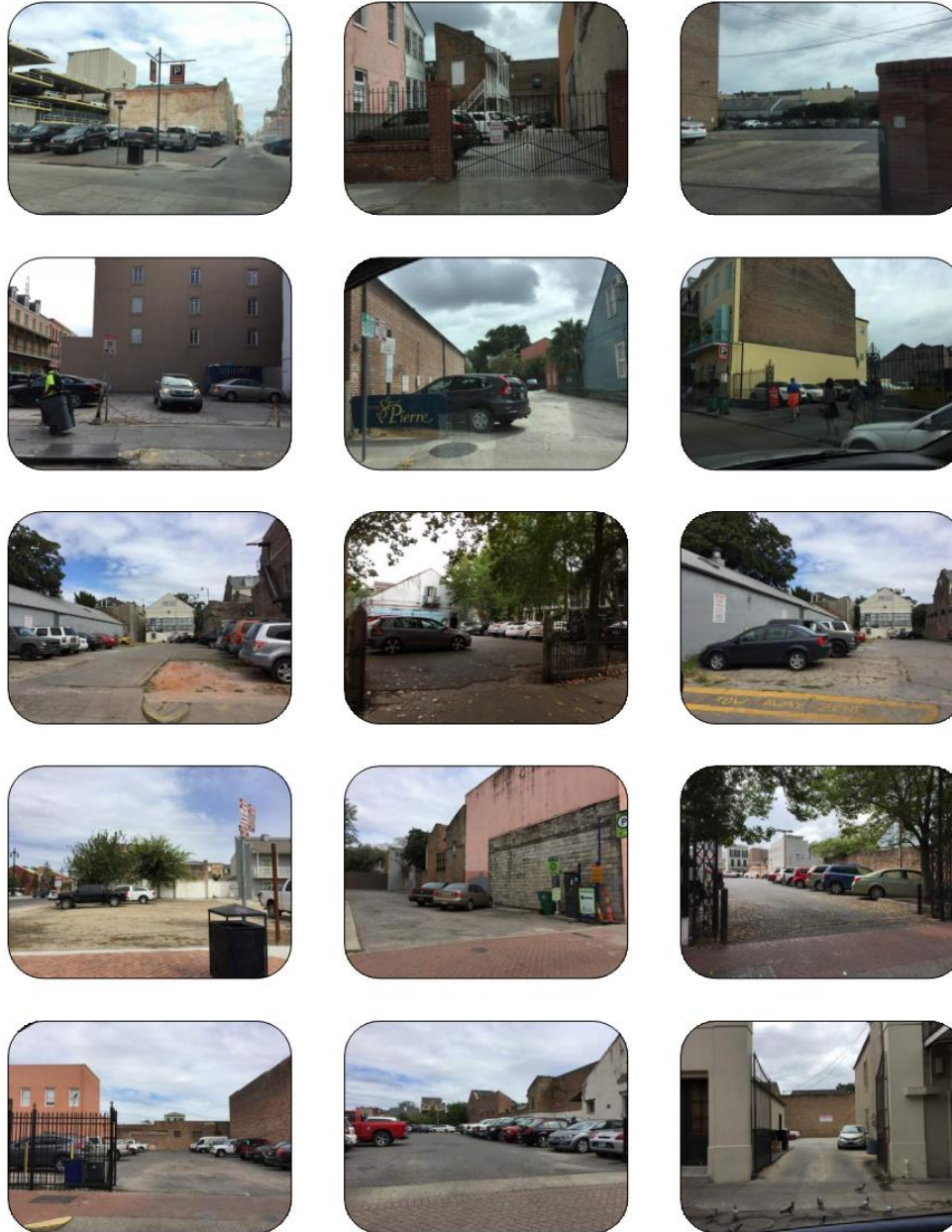
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Other French Quarter Surface Parking Lots

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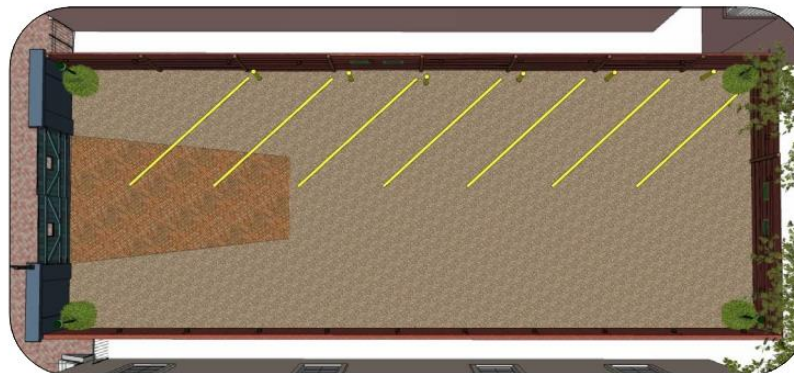
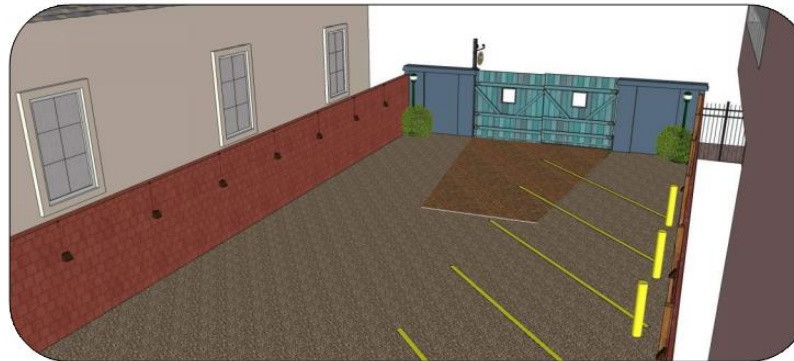
939 Toulouse

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Overview



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March 23, 2021



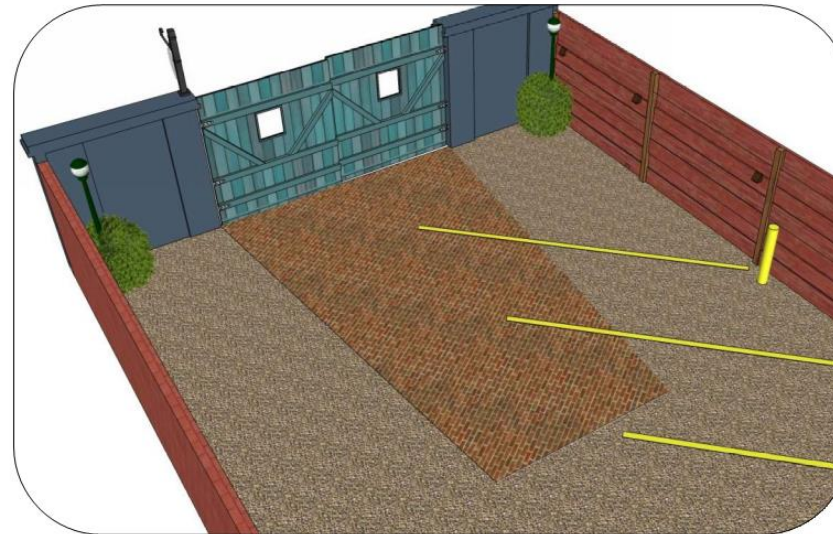
Proposed Changes

Surface

Proposed Changes

1. Existing deteriorated brick apron at entrance to be repaired.
2. Existing surface to be replaced with pervious True Grid system per manufacturer's specifications

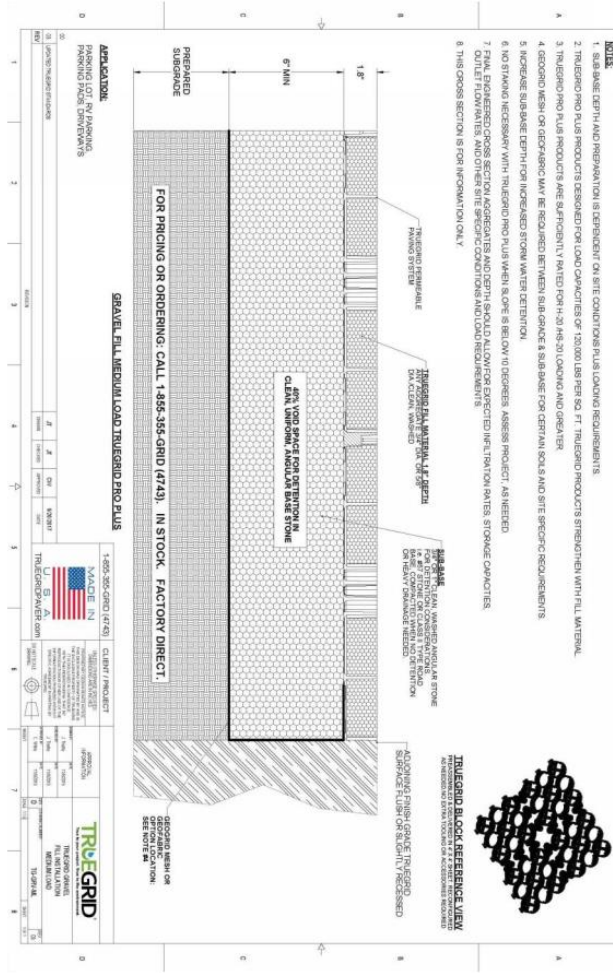
Layer	Height	Fill
Subgrade	n/a	Compacted existing subgrade
Base	2.5"	3/4" crushed limestone
Top	1.8"	True Grid Permeable Paving system



22.8.E SURFACING

1. All surface parking lots shall be paved with a durable, all-weather material which may be impermeable or a permeable paving system. All uneven slabs shall be resurfaced to provide a smooth surface.

True Grid Surfacing



22.8.E SURFACING

1. All surface parking lots shall be paved with a durable, all-weather material which may be impermeable or a permeable paving system. All uneven slabs shall be resurfaced to provide a smooth surface.



Surface

True Grid Surfacing



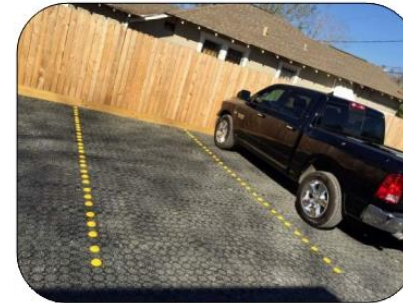
Example 1



Example 2



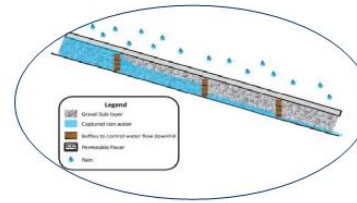
Example 3



Example 4



True Grid Paver



Stormwater Management



Aggregate

22.8.E SURFACING

1. All surface parking lots shall be paved with a durable, all-weather material which may be impermeable or a permeable paving system. All uneven slabs shall be resurfaced to provide a smooth surface.

Proposed Changes

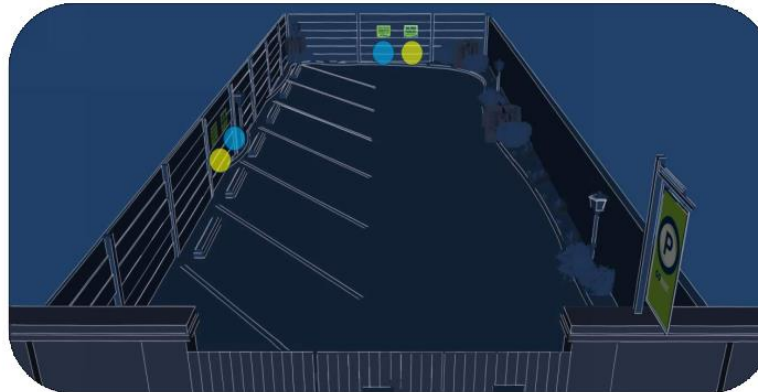
Signage



18"H x 24"W
Qty: 2



18"H x 24"W
Qty: 2



Proposed Changes

Lighting






Proposed Changes

1. Installation of post mounted lamps in each corner (4 total)
2. Installation of wall sconce fixtures on fence along interior of property on E, N, and W sides. (26 in total)



Proposed Changes

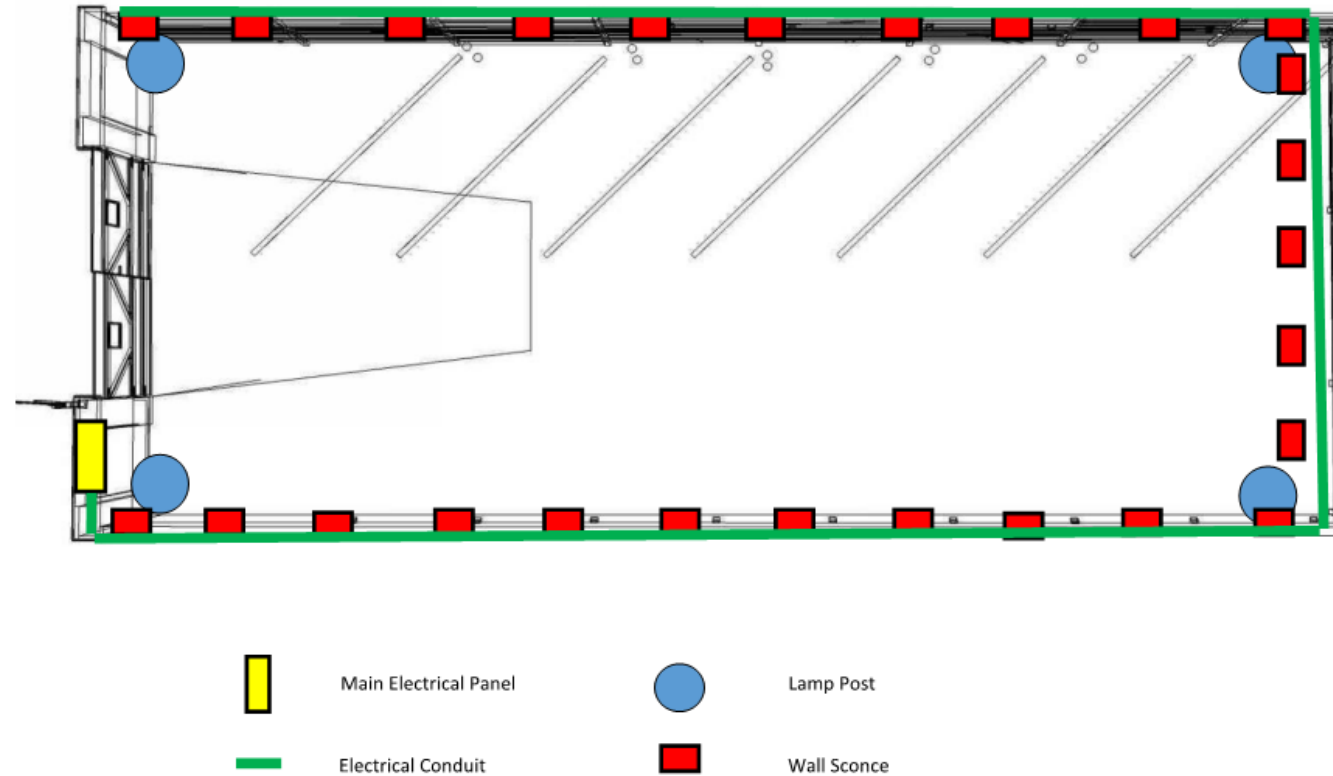
Lighting

Fixture	Description	Quantity
	<u>Lamp</u>	
	Maxim Knoxville 1120FSBZ	
	Total Height 19.5"	
	Width 9"	4
	<u>Bulb</u>	
	SATCO S12423	
	Type LED Filament	
	Watts 10.5	4
	<u>Post</u>	
	Kichler Model 9506AZ	
	84" tall outdoor post for post lighting	
	Height 84"	4
	<u>Post Mount</u>	
	Kichler Model 9592AGZ	
	5.75" Post for Kichler Landscape post lights	
	Height 3.5"	4
	<u>Wall Sconce</u>	
	Tech Lighting Model Pitch Single Wall Sconce	
	LED	
	Height 5"	26
	Width 5"	
	Depth 3.9"	
	Watts 26.2	
	CCT 3000K	
	Finish Bronze	

Proposed Changes

Lighting

Fixture and Conduit Layout



Lighting

Knoxville | 1120FSBZ

Job Name: Job Type: Quantity: Comments:



PRODUCT DESCRIPTION

Knoxville is an updated take on the traditional lantern style. Finished in Bronze and with the option of Clear or Frosted glass, our Incandescent version is sure to wow.



MEASUREMENTS

DIMENSION : 9" L x 9" W x 19.5" H
HANGING WEIGHT : 4.4 lb

LAMPING

INPUT VOLTAGE : 120V
BULB : 1 x 60W Incandescent E26 Medium , 60W Total
BULB INCLUDED : (Not Included)
DIMMABLE : Yes

FINISHES OPTION

■ Bronze

GLASS

Frosted Seedy FS

MATERIAL

Die Cast Aluminum, Glass

RATINGS

cETLus
Wet Location



ADDITIONAL

OPERATING TEMPERATURE:
-20°C (-4°F), 40°C (104°F)

Always consult a qualified electrician before installing any lighting product.



WESTERN DISTRIBUTION CENTER (HEADQUARTER)
253 NORTH VINELAND AVE | CITY OF INDUSTRY, CA 91746
EASTERN DISTRIBUTION CENTER
4200 SHIRLEY DR. | ATLANTA, GA 30336
P. 626.956.4200 | F. 626.956.4225 | maximlighting.com

939 Toulouse

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Lighting



SATCO S12423
10.5A19/C/LED/E26/800/120V

General

Status	Active
Watts	~ 0.5
Incandescent Equivalent	75
Volts	~ 20V
Shape	A19
Base	Medium
ANSI Base	E26
Finish	Clear
CCT (Kelvin)	3000
Temperature	Soft White
CRI	90
Lumens	~ 100
Beam Spread	320
Dimmable	Yes - Dimmable
Hours Rated	~ 5000
Technology	LED

Electrical

Operating Frequency	60 Hz
Candela Power	75
Dimming Type	Trac
Power Factor	0.7
Operating Temperature	-20C (-4F) to a maximum of 45C (113F)

Physical

MOL	1.02
MCD	2.30
Weight (lb.)	0.08

Additional Information

Rated For Enclosed Fixture	Yes
Warranty	3 Year Limited

Compliance

Safety Listing	cULus Listed
Location Rating	Wet
Energy Star	Pending
California Status	Lawful for sale in California
RoHS Compliant	Yes
SDS Sheet	LED_Lamp

Project Name

Location

Prepared By

Notes

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For More Information Visit:
<https://www.satco.com/>






Proposed Changes

Lighting

PITCH SINGLE WALL SCONCE

TECH LIGHTING

An architectural profile reminiscent of beautifully classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch Single's die-cast metal body houses powerful LED light sources that create visual appeal as light cascades down along a wall.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

Can be mounted for up lighting or down lighting

SPECIFICATIONS

DELIVERED LUMENS	822.6
WATTS	26.2
VOLTAGE	120V, 277V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Downlight or Uplight
CCT	2700K, 3000K
CRI	80+
COLOR BINNING	3 Step
BUG RATING	B1-U0-G0
DARK SKY	Compliant (Downlight)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	1.2 lbs.

* Visit techlighting.com for specific warranty limitations and details.



PITCH SINGLE
shown in black



PITCH SINGLE
shown in bronze



PITCH SINGLE
shown in charcoal



PITCH SINGLE
shown in silver

ORDERING INFORMATION

PRODUCT	SIZE	FINISH	LAMP
700WSPIT	5 SINGLE	B BLACK	-LED827 LED 80 CRI, 2700K, 120V
		Z BRONZE	-4LED827 LED 80 CRI, 2700K, 277V
		H CHARCOAL	-4LED827 LED 80 CRI, 3000K, 120V
		I SILVER	-4LED827 LED 80 CRI, 3000K, 277V

techlighting.com

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Lighting

PITCH SINGLE WALL SCONCE

TECH LIGHTING



Pitch Single

PHOTOMETRICS*

PITCH SINGLE

Total Lumen Output: 822.6

Total Power: 26.2

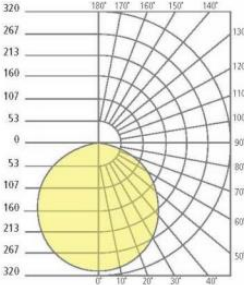
Luminaire Efficacy: 31.4

Color Temp: 3000K

CRI: 80+

BUG Rating: BI-U0-G0

*For latest photometrics, please visit www.techlighting.com/OUTDOOR



PROJECT INFO


FIXTURE TYPE & QUANTITY	JOB NAME & INFO	NOTES

TECH LIGHTING

VISUAL COMFORT & CO.

7400 Linder Avenue, Skokie, Illinois 60077

T 847.410.4400



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techlighting.com

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Proposed Changes

Front Gate and Wall Rehab

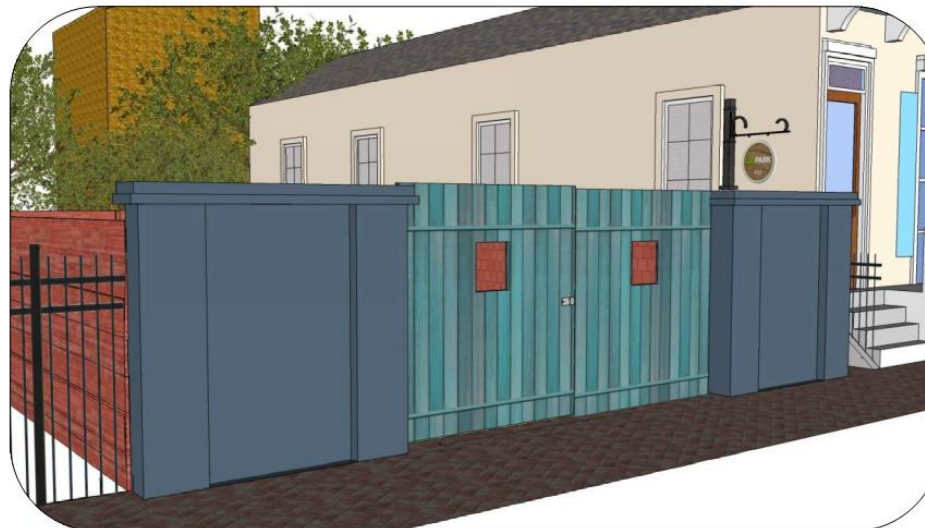
Proposed Changes

1. Current gate has an immovable 4' wide first section on the left hand side; 1/3 of the total width. The remaining 2 portions bi-fold for an 8' wide vehicular access. This restricts access to only 2/3 of the width of the property's curb cut.
2. Gate will be replaced with a visually similar 2 part wood gate across the entire 12' width with a bi-fold opening into the property.
6" vertical beaded tongue in groove exterior grade pine
3. Both front gate and wall will be repainted with existing colors.



SW 7618
Deep Sea Dive
Interior / Exterior
Locator Number: 279-C5

SW 0077
Classic French Gray
Interior / Exterior



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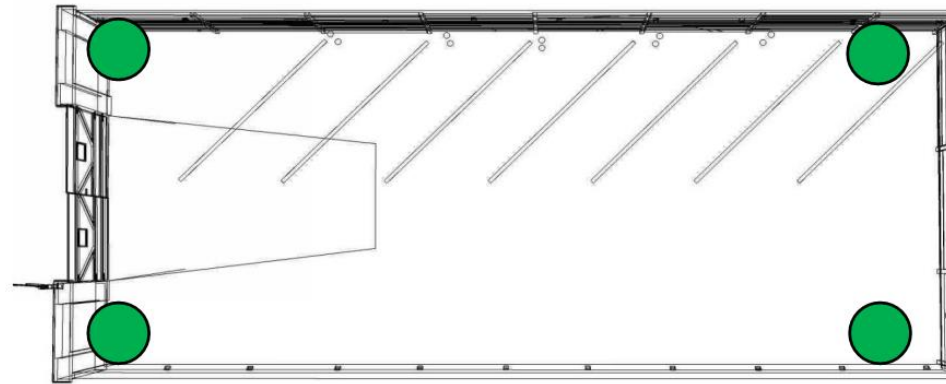
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Landscaping

Proposed Changes

1. Installation of 'Blue Girl' Holly Ilex x meserveae 'Blue Girl' in each corner (4 total)
6-8' Tall and 5' wide, this drought tolerant variety with prickly leaves will take up the entire corner area



Renderings

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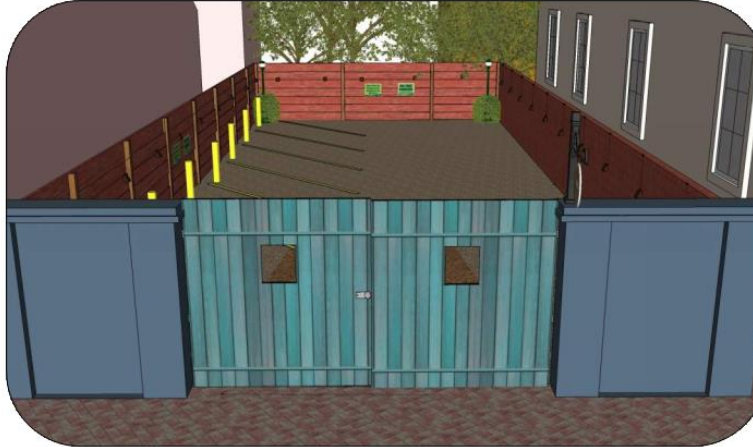
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Renderings

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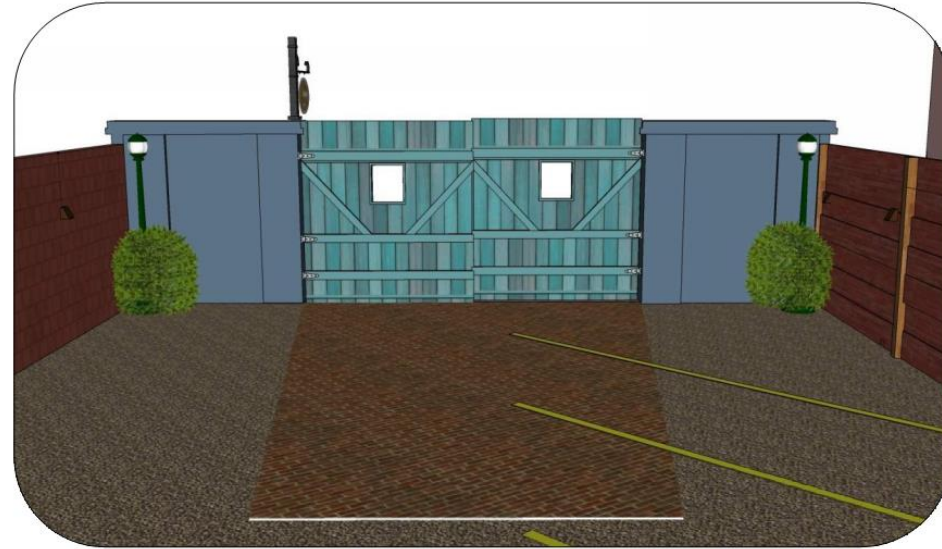
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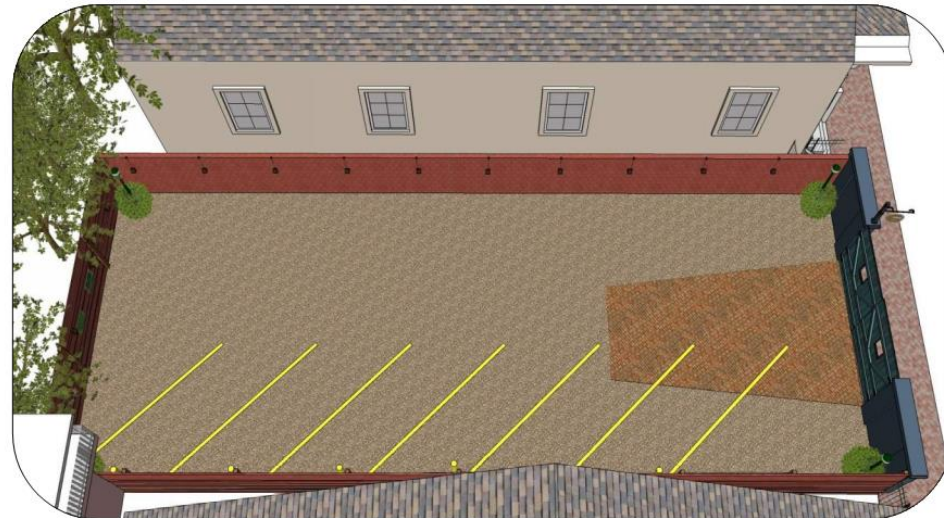
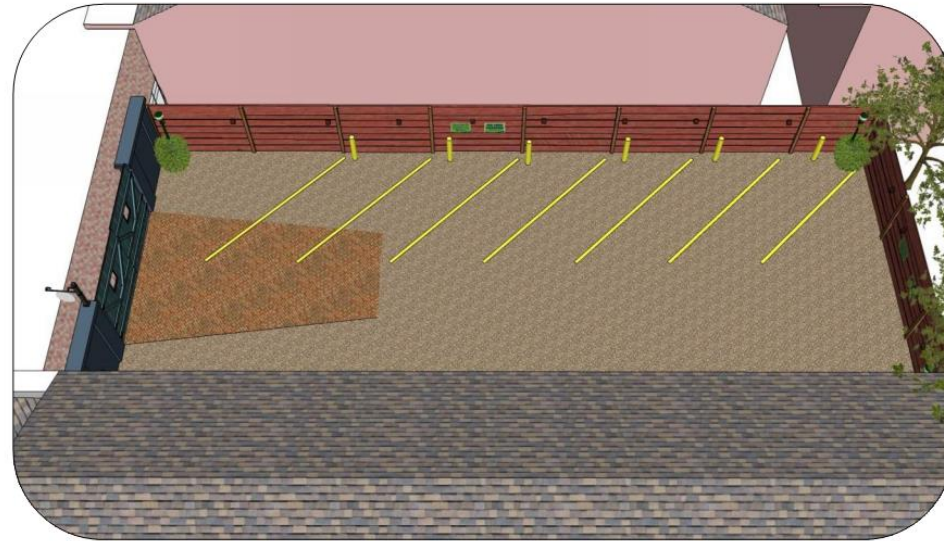


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March 23, 2021



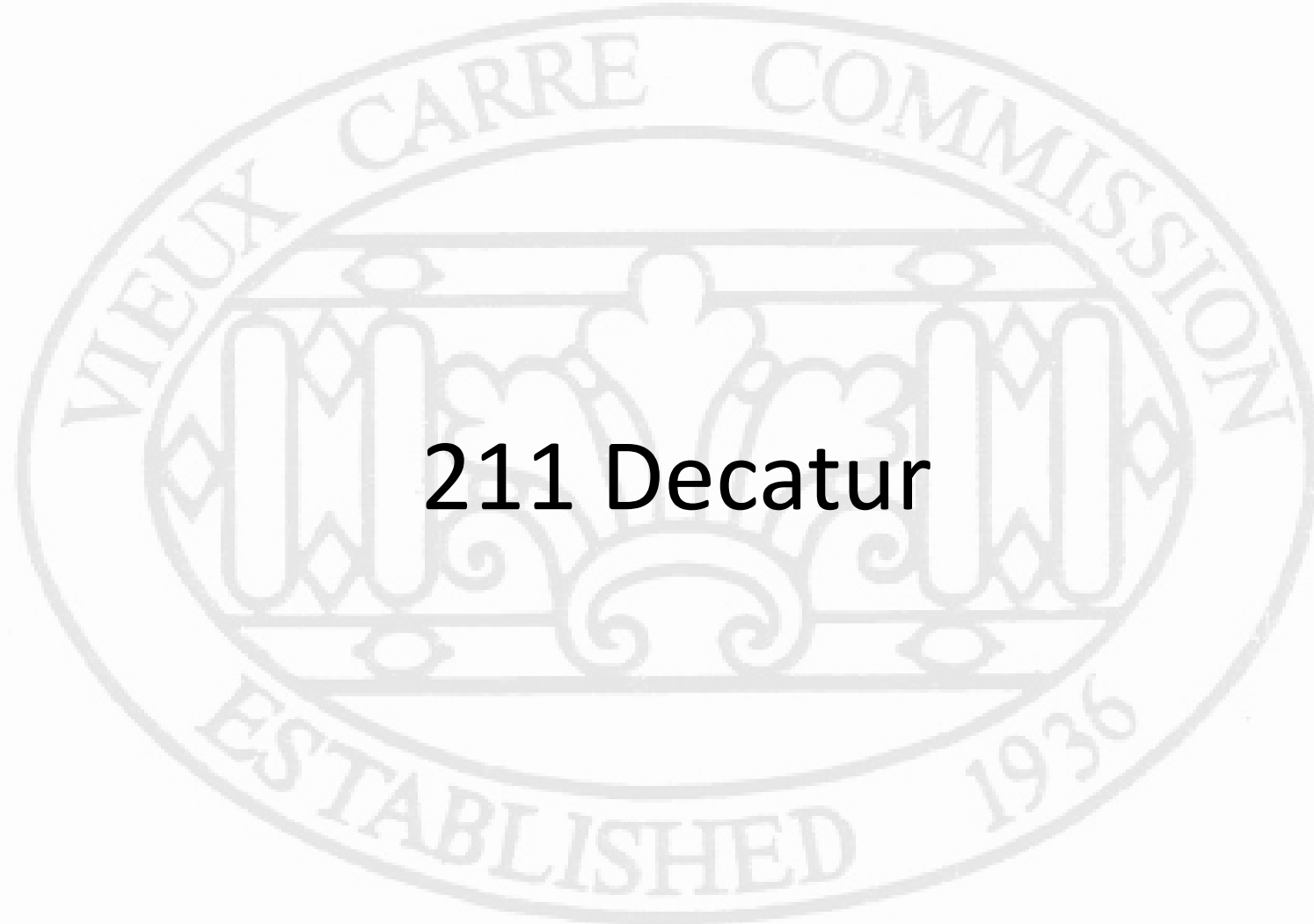


939 Toulouse

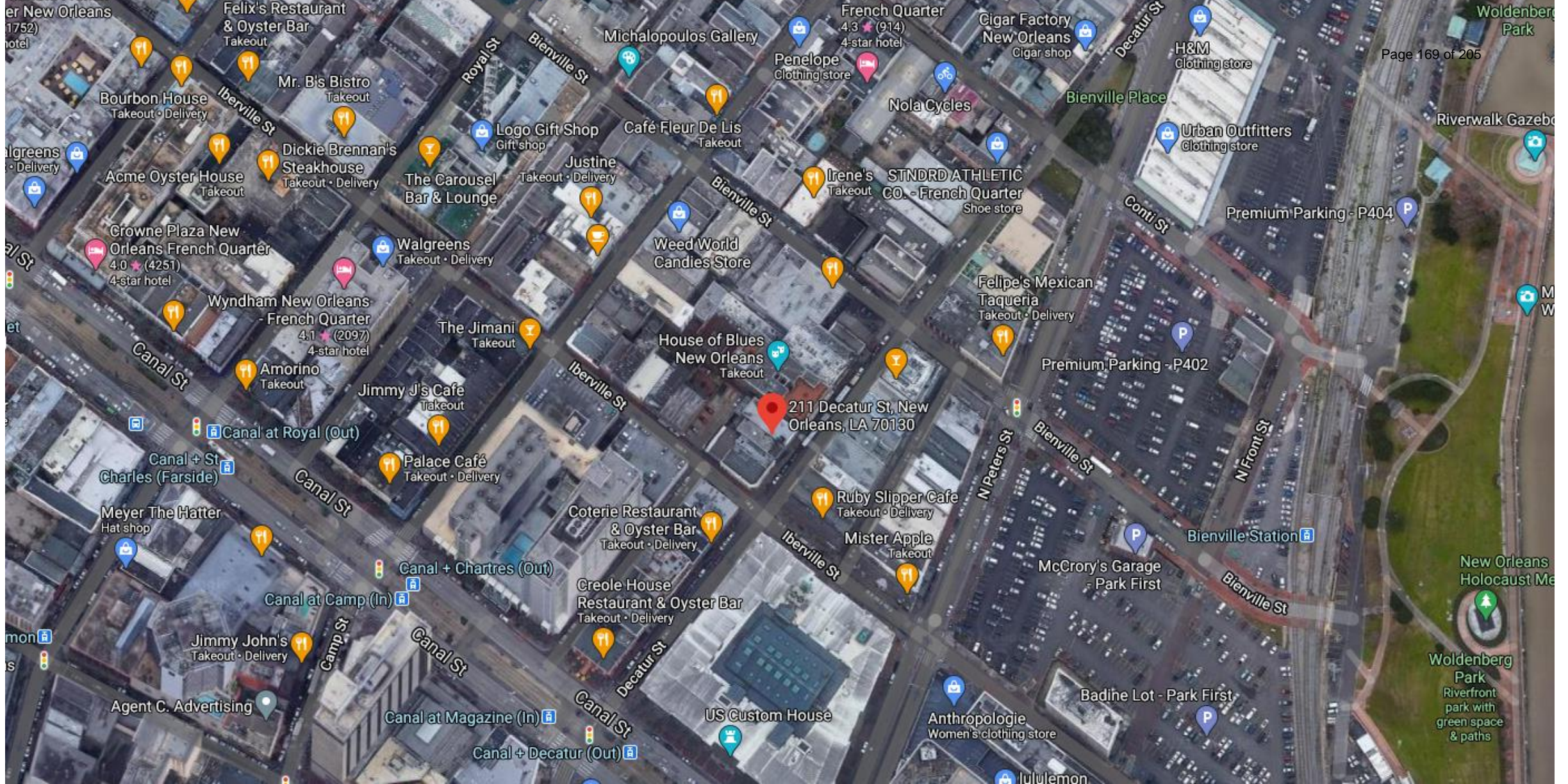
VCC Architectural Committee

March 23, 2021





211 Decatur



211 Decatur

VCC Architectural Committee

March 23, 2021





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211 Decatur

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March 23, 2021





215-225 Decatur – repaired glazed brick

VCC Architectural Committee

March 23, 2021





215-225 Decatur – repaired glazed brick

VCC Architectural Committee

March 23, 2021





211 Decatur

VCC Architectural Committee

March 23, 2021





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March 23, 2021

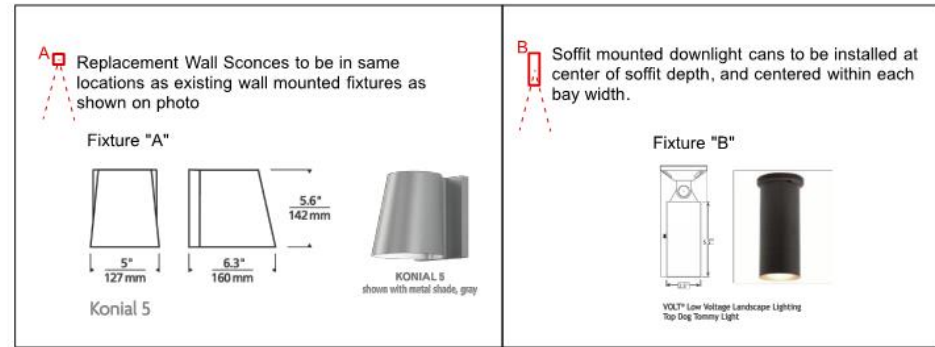




1 Decatur Street Elevation
 A1 No Scale

VIOLATIONS CORRECTION AND IMPROVEMENTS

1. Repair and/ or replace damaged or missing masonry units, glazed brick will not be used. Proposal to coat existing delaminated brick with phenolic coating in lieu of replacing delaminated facing of the brick. It would match appearance and would last substantially longer.
2. Remove all vegetation and repair or tuck point masonry at these locations.
3. Clean out mortar joints with dead or missing mortar, tuck point. All mortar shall comply with VCC Guideline requirements. If in doubt about the mortar mix previously used, consult with VCC staff.
4. Submit application for signage, along with mounting details.
5. Remove existing non-compliant lighting fixtures, repair surface at each location. Replace with new light fixtures shown below. See Fixture "A".
6. Remove neon and other sign / lighting mounted adjacent to glazed surfaces.
7. Remove existing non-compliant lighting fixtures, repair surface at each location. Submit new lighting fixture type, and locations that comply with VCC Guidelines.
8. Remove lights and or cameras that have been installed without permit approval.
9. Install new light fixtures at the centerline of the soffit in each of the four bays. The fixtures and location will comply with VCC Guidelines. See fixture "B".
10. Remove metal panels attached to the masonry. Repair damage and or mounting holes.
11. ATM is to be removed.
12. Survey the masonry wall at the alley and indicated the amount of masonry to be repaired or replaced. Submit this survey to VCC staff upon approval, replace bricks with the same type and color as found in place. Mortar mix to comply with VCC Guidelines. This is a common wall and both owners must agree to terms.



211 Decatur Street
 New Orleans, Louisiana

Drawings:

CONTENT:

PROJECT NO.: 1959

SUBMITTAL:

DATE: 02/01/2021

REVISION:

A1

Sheet 1 of 2



Contemporary architectural geometry manifests in the triangular, conical shape of the Konial outdoor wall sconce. With generous openings at the top and bottom, this sconce creates soft up and down LED lighting. The shade is opaque metal that creates directional, up and down accent lighting.

High quality LM80-tested LEDs
for consistent long-life performance and color

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

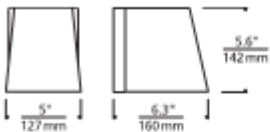
SPECIFICATIONS

DELIVERED LUMENS	198.3
WATTS	12.7
VOLTAGE	120V, 277V
DIMMING	0-10, ELV
LIGHT DISTRIBUTION	Symmetric / Up-Downlight
MOUNTING OPTIONS	Wall
PERFORMANCE OPTIONS	In-Line Fuse
CCT	3000K or 4000K
CRI	80+
COLOR BINNING	3 Step
BUG RATING	B0-U3-G0
DARK SKY	Non-Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; 70,000 Hours
WARRANTY*	5 Years
WEIGHT	1.8 lbs.

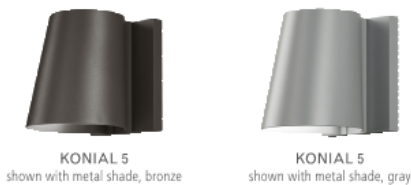
* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

7000WKON	CRI/CCT	LENGTH	LENS	FINISH	VOLTAGE	DISTRIBUTION	OPTIONS
830	80 CRI, 3000K	5"	M	Z BRONZE	120 120V	5 SYMMETRIC	NONE
840	80 CRI, 4000K			Y GRAY	277 277V		LF IN-LINE FUSE
				H CHARCOAL			



Konial 5



KONIAL 5
shown with metal shade, bronze

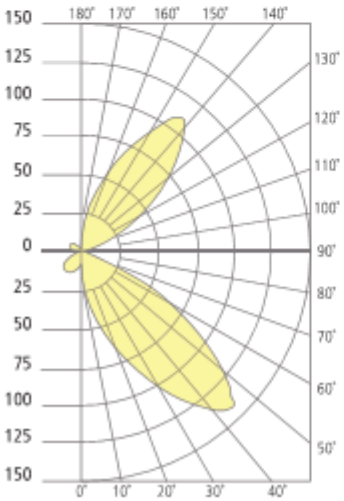
KONIAL 5
shown with metal shade, gray



KONIAL 5
shown with metal shade, charcoal

PHOTOMETRICS*

KONIAL 5 METAL
Total Lumen Output: 198
Total Power: 12.7
Luminaire Efficacy: 15.5
Color Temp: 4000K
CRI: 80+
BUG Rating: B0-U3-G0



PRODUCT SPECIFICATIONS



Project Name _____ Date _____

Type or Model _____ Qty _____

Model # _____ Prepared By _____

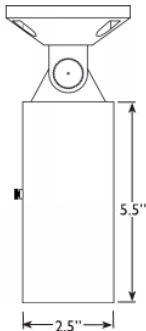
VOLT® Low Voltage Landscape Lighting Top Dog Tommy Light

Product Description

VOLT's® Top Dog Tommy Light utilizes the same superior quality of one our most popular outdoor lighting fixture, VOLT's® Top Dog Spotlight. Features a flush cut glare guard that gives the fixture a modern look, perfect for contemporary homes. The VOLT® Top Dog Tommy light was suggested by one of our contractors and we named it after him. Perfect outdoor LED low voltage fixture for task lighting and outdoor kitchens/structures. Affix it to ceiling and structure and it makes a great surface mounted light when you can't install a recessed can. Attach to a wall for task lighting. Adjust the glare guard to get the fixture "look" you need. Great 360° glare control! Heavy solid cast brass construction and lifetime warranty. Premium internal components and completely sealed. The Top Dog Tommy Light is the smartest purchase you can make when seeking a high quality task light.



Product Dimensions



Certifications



LISTED File #E466348

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www.voltlighting.com

Features & Benefits

- Solid Brass
- Pre-aged finish; no powder coating, paint or finish to wear off or peel—just natural patina that does not corrode
- Beryllium copper socket - more corrosion resistant than copper
- Silicone plug at lead wire exit prevents ground moisture and insects from entering luminaire through the stem
- Pressure rubber gasket for a moisture tight design

Specifications

- Construction: Cast Brass
- Finish: Bronze
- Lead Wire: 48" (standard) or 25' (optional) 16AWG, SPT-2 premium tinned copper
- Glass or Lens: Clear Protective Glass
- Light Source (not included): MR16 (LED or Halogen)
- Maximum Lamp Rating: 35W
- Operating Voltage: 12V AC
- Powered by: VOLT's Low Voltage Transformer

Warranty

Lifetime Warranty

PRODUCT SPECIFICATIONS



VOLT® Low Voltage Landscape Lighting Page 184 of 205 Top Dog Tommy Light

Lamp Options

Item Number	Description	Power Supply Requirement
8-LED-MR16-10w-38	LED 3W (10W Equivalent) MR16 38° (standard)	4.63 VA
8-LED-MR16-10w-60	LED 3W (10W Equivalent) MR16 60° (wide)	4.63 VA
8-LED-MR16-3w-12	LED 3W (20W Equivalent) MR16 12° (narrow)	4.8 VA
8-LED-MR16-3w-38	LED 3W (20W Equivalent) MR16 38° (standard)	4.8 VA
8-LED-MR16-3w-60	LED 3W (20W Equivalent) MR16 60° (wide)	4.8 VA
8-LED-MR16-5w-12	LED 5W (30W Equivalent) MR16 12° (narrow)	6.67 VA
8-LED-MR16-5w-38	LED 5W (30W Equivalent) MR16 38° (standard)	6.67 VA
8-LED-MR16-5w-60	LED 5W (30W Equivalent) MR16 60° (wide)	6.67 VA
8MR2010-12	Halogen 20W MR16 12° (narrow)	20W
8MR2010-36	Halogen 20W MR16 36° (standard)	20W
8MR2010-60	Halogen 20W MR16 60° (wide)	20W
8MR3510-12	Halogen 35W MR16 12° (narrow)	35W
8MR3510-36	Halogen 35W MR16 36° (standard)	35W
8MR3510-60	Halogen 35W MR16 60° (wide)	35W

Ordering Information

Example: Order # 182-48

182	-48
Product Family	Wire Length
182= Top Dog Tommy Light	48 = 48" 25 = 25'

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www.voltlighting.com

ss-182-ver1.pdf

211 Decatur

VCC Architectural Committee

March 23, 2021





211 Decatur – not in scope

VCC Architectural Committee

March 23, 2021





211 Decatur – not in scope

VCC Architectural Committee

March 23, 2021





211 Decatur – not in scope

VCC Architectural Committee

March 23, 2021





211 Decatur – not in scope

VCC Architectural Committee

March 23, 2021





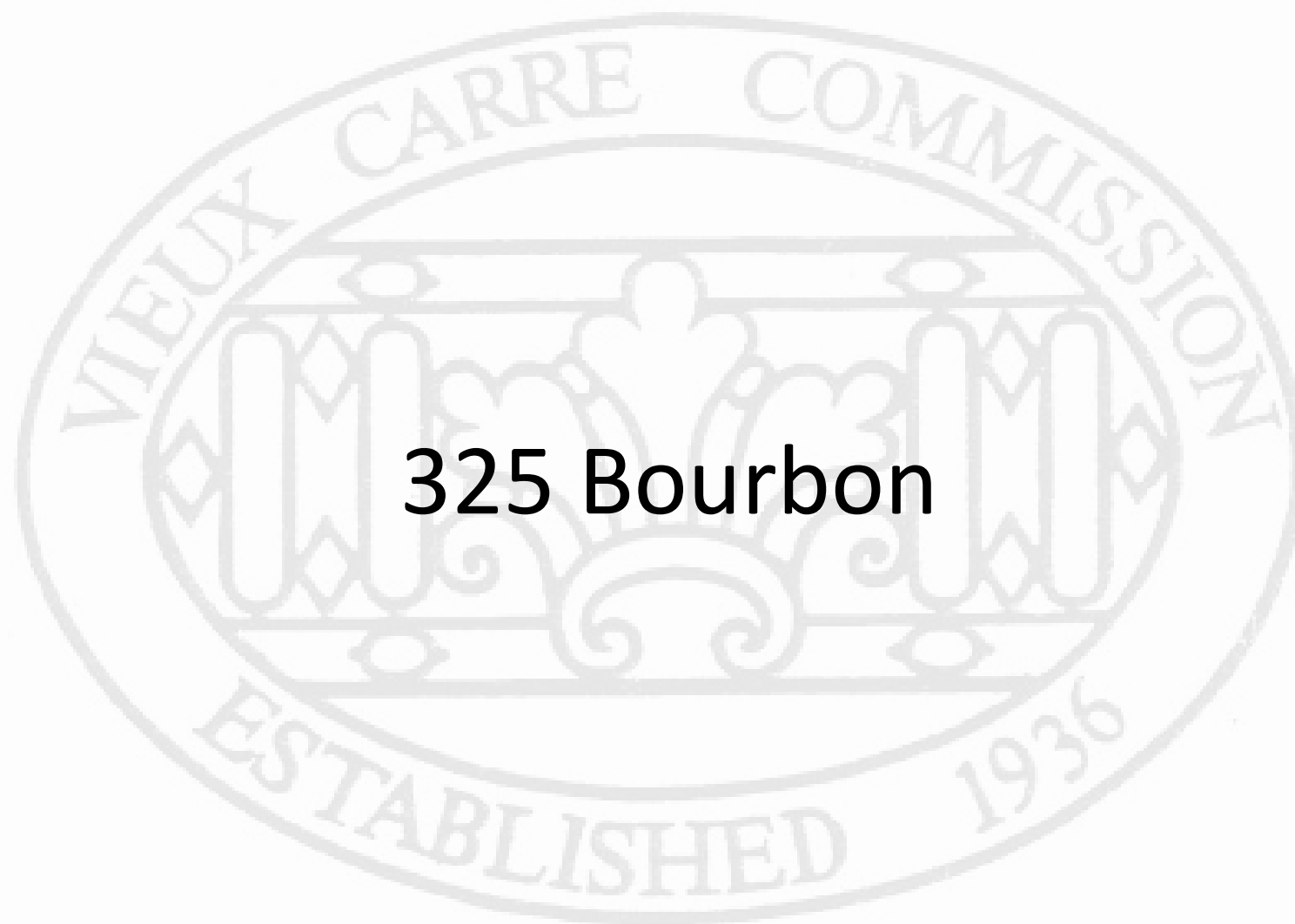
211 Decatur – not in scope

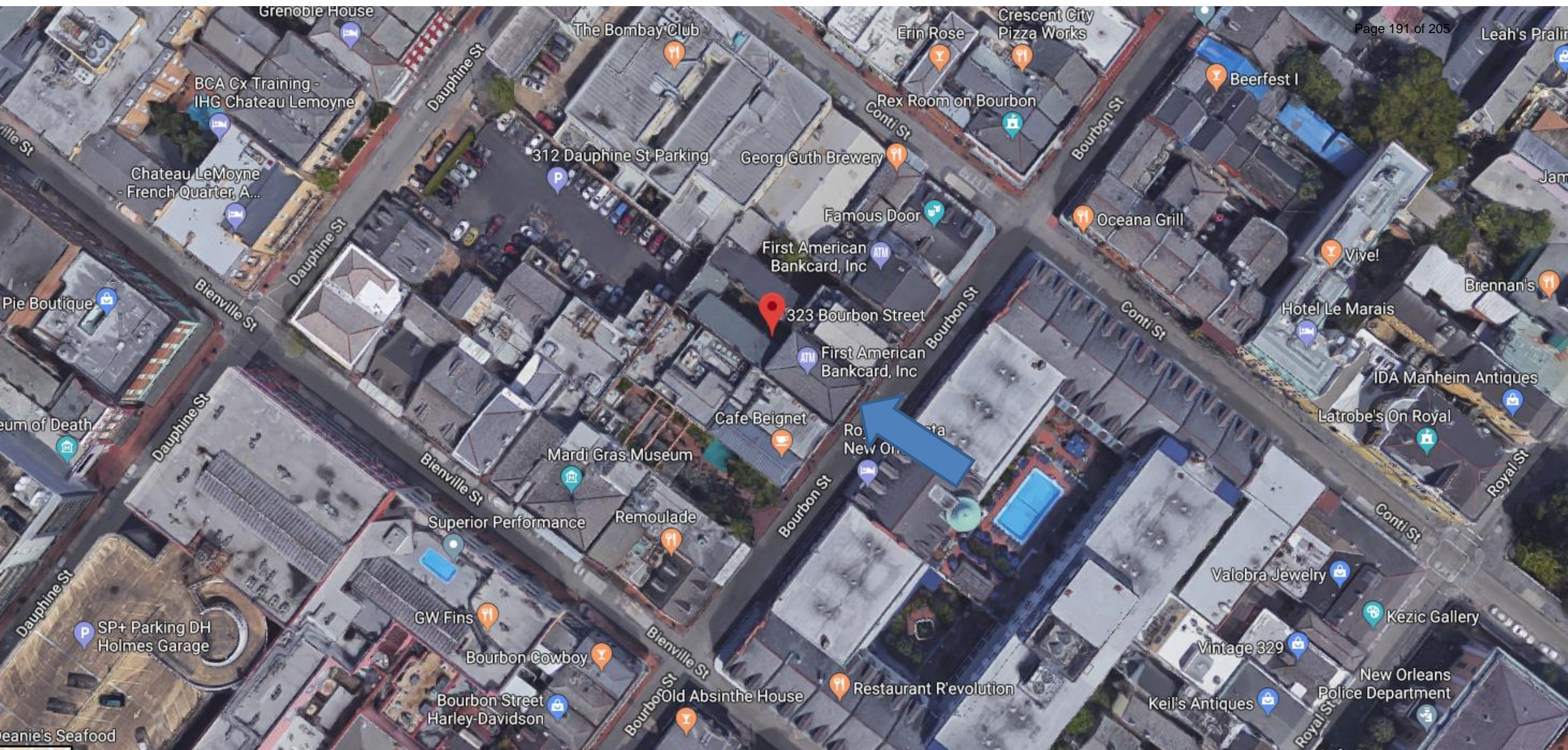
VCC Architectural Committee

March 23, 2021



325 Bourbon





323 Bourbon

VCC Architectural Committee

March 23, 2021



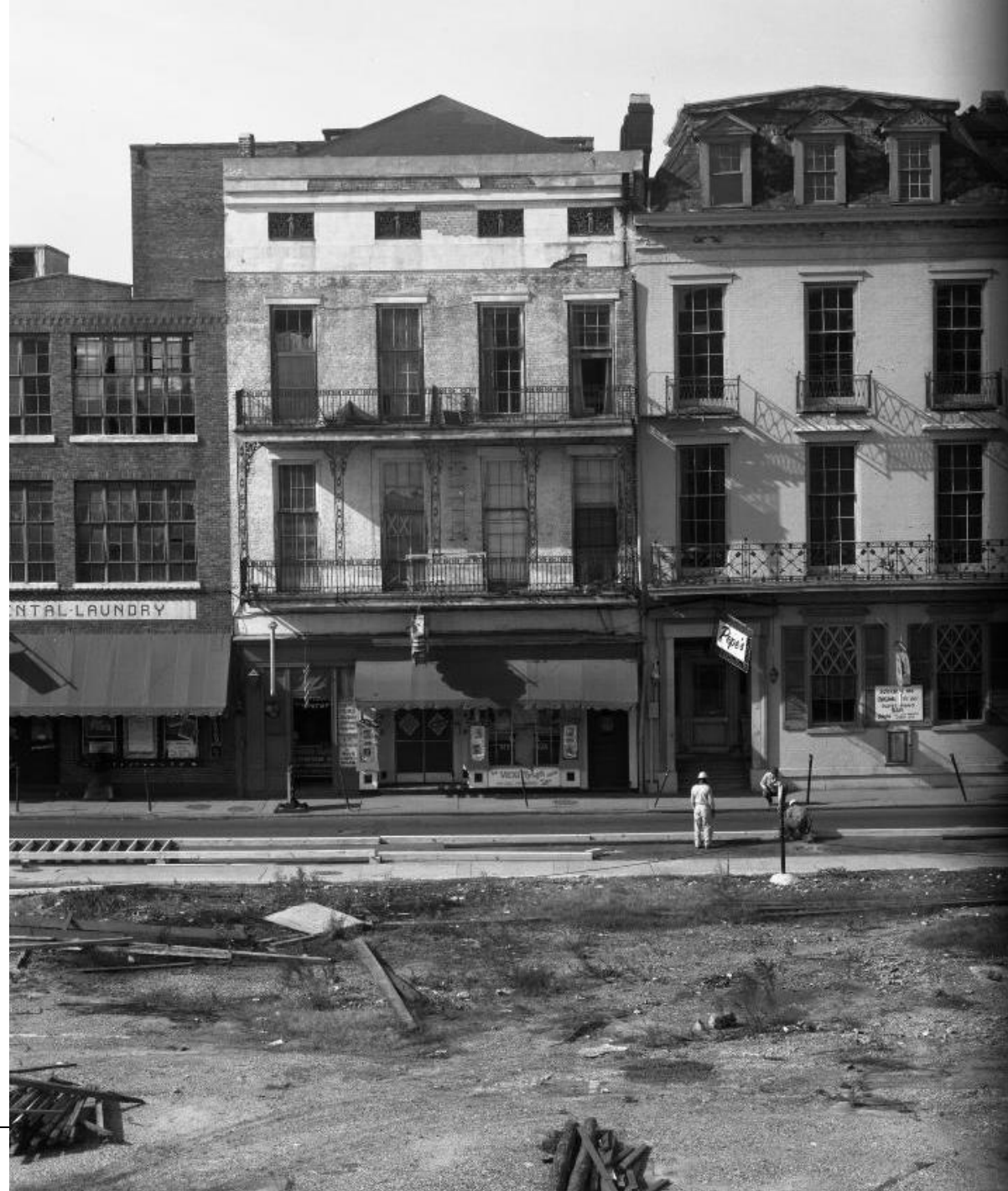


323 Bourbon

VCC Architectural Committee

March 23, 2021





323 Bourbon - 1965

VCC Architectural Committee

March 23, 2021



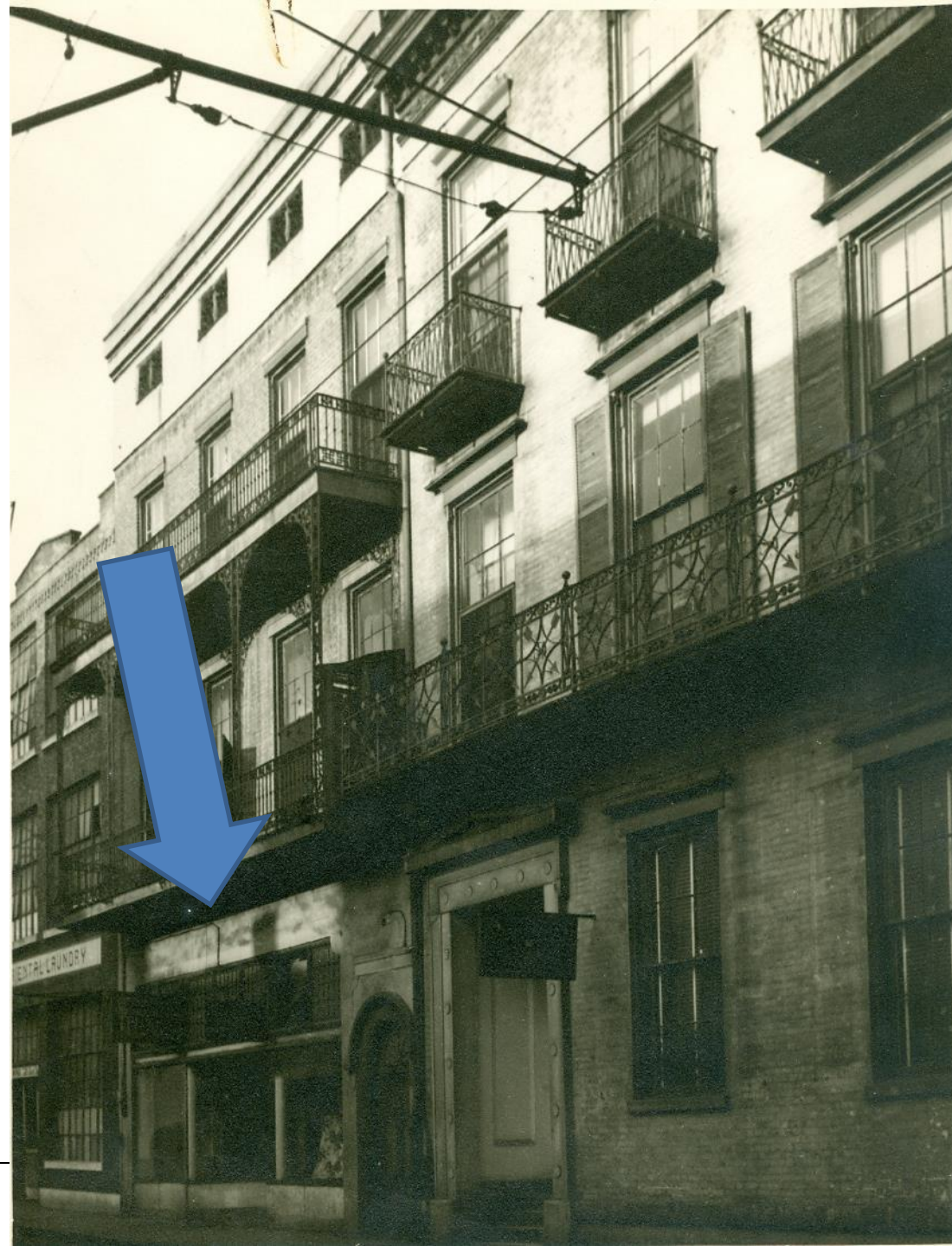


323 Bourbon - 1946

VCC Architectural Committee

March 23, 2021





323 Bourbon - 1945

VCC Architectural Committee

March 23, 2021



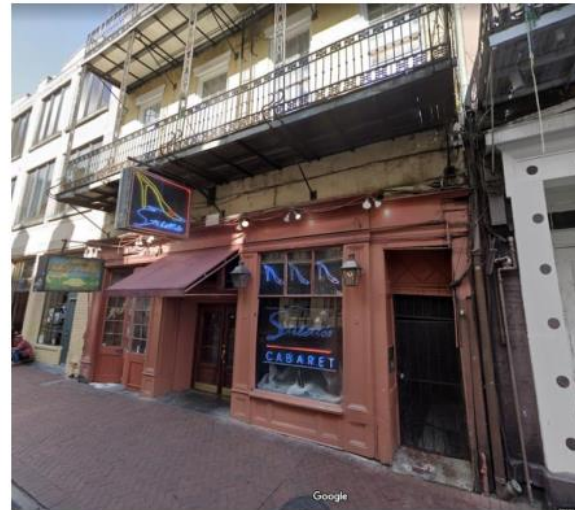
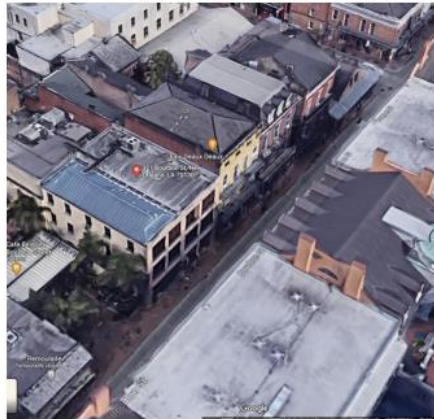
323 Bourbon

VCC Architectural Committee



March 23, 2021





323-325 Bourbon St.
Square: 69 Lot Number: 11398

Vieux Carré Commission Evaluation:

No change: main and attached service -- green; rear addition to main building -- brown. Important 3 1/2-story masonry townhouse, designed in 1851 by J. N. B. de Pouilly, which retains many of its elegant original details including side passage, cast iron balconies, cast iron frieze window grilles with Grecian female figures holding Arabesque floral designs.

Green Portion of Building: Main Material: Masonry

Brown Portion of Building: Rear addition Material: Masonry

Green Portion of Building: Service building (attached) Material: Masonry

Dimensions (Dimensions run CCW)

Frontage: 34' 7" 3"

Side 2: 127' 10" 5"

Side 3: 34' 7" 3"

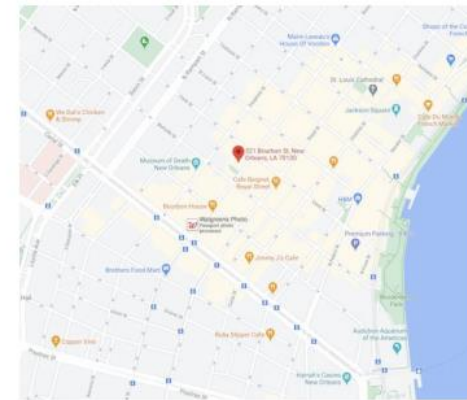
Side 4: 127' 10" 5"

PROJECT DIRECTORY

Architect: Nicholas S. Musso, AIA, LEED AP
 Musso Architects
 6414 Cartier Drive, New Orleans, Louisiana

Owner: Quarter Holdings, LLC
 442 Canal Street, Suite 206
 New Orleans, Louisiana

Scope: Correct outstanding violations cited by the Vieux Carré Commission.



Improvements to
 321-325 Bourbon St.
 New Orleans, Louisiana

Drawings:

CONTENT:

PROJECT NO. 21--00

SUBMITTAL:

DATE: 01/28/2021

REVISED:

T 1.0

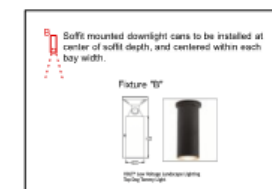
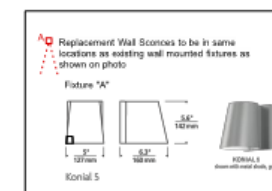
Sheet 1 of 1

323 Bourbon

VCC Architectural Committee

March 23, 2021







KEY NOTES

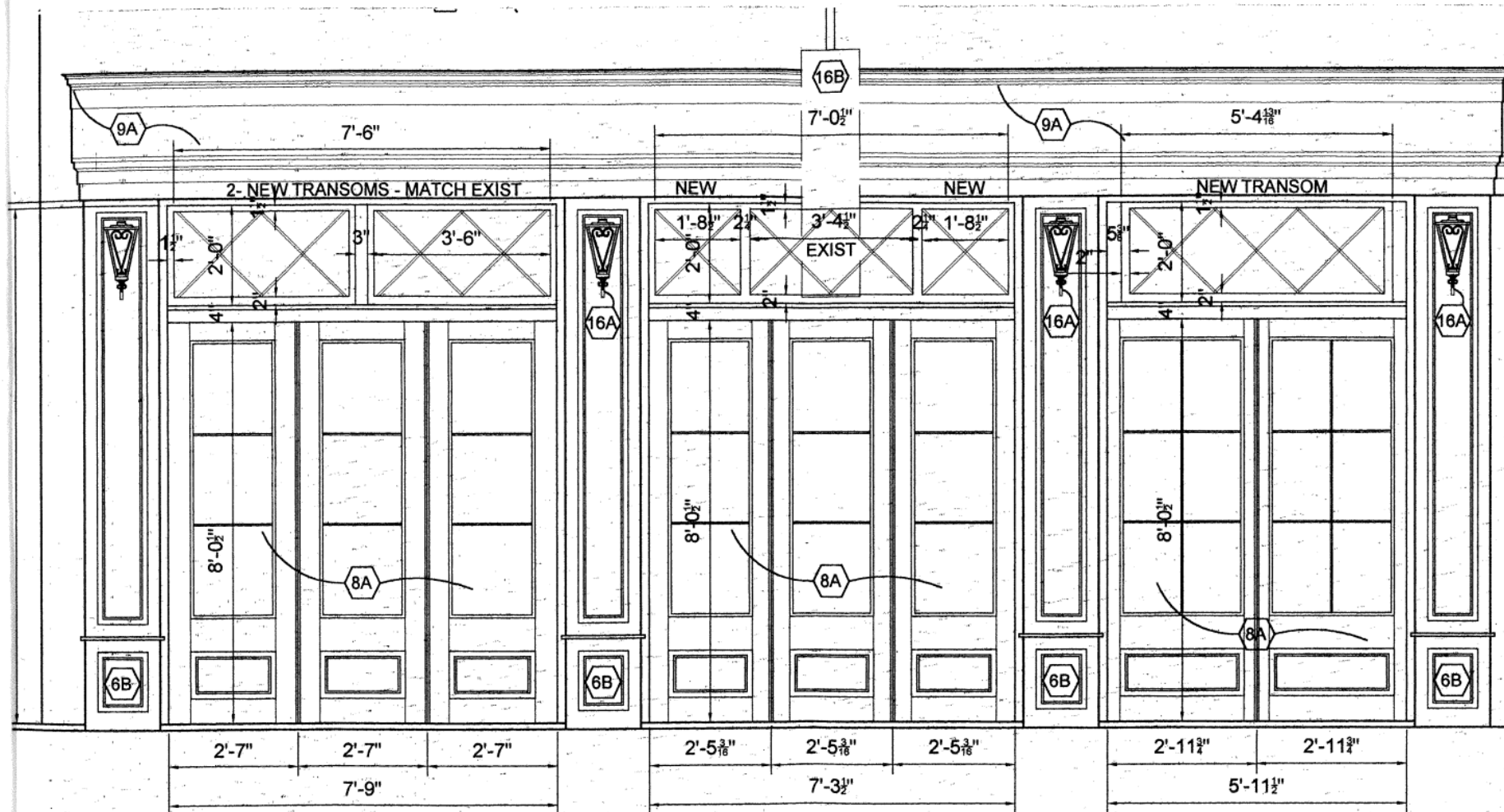
1. Repair damage to exterior walls, partitions and verticle supports. Correct any leaning, replace spill or buckling members,
2. Repair cracks in stucco
3. Doors and other millwork that have substantial deterioration shall be replaced with new millwork with details to match existing.
4. Deteriorated and missing trim shall be replaced with new trim to match existing trim detail profile.
5. New spindles shall replace missing spindles to match the existing spindles.
6. Replace missing or deteriorated windows and transoms to match existing details.
7. Repair ceiling in stairwell and alley.
8. Remove vegetation from building; repair cracks and mortar joints in masonry wall.
9. Floor supports to be replaced and resized as necessary to carry the existing loads.
10. Replace missing or deteorated gutters. New gutters to match the existing gutter profile and material.
11. Masonry walls shall be repointed and repaired as necessary.
12. The exsting awning frame is to remain and be repainted. New awning fabric to be installed.
13. Replace missing ironwork on balcony to match what was previously there.
14. Repair and replace deteorated elements of balcony as needed. Paint, color to be submitted to VCC for approval.
15. Replace plywood in windows and transoms with glass.
16. Remove all redundant wiring and unused conduit from exterior of building. Remaining wiring shall be consolodated into proper conduit and painted to match exterior of building.
17. Inappropriate light fixtures to be removed. New wall mounted light fixtures shall be installed, centered over door openings.
18. Security cameras to be replaced with VCC approved cameras, locations to be negotiated with VCC staff.
19. Inappropriate metal post to be replaced with VCC compliant column.
20. Condenser units to be relocated at second floor level and wall mounted.

323 Bourbon

VCC Architectural Committee

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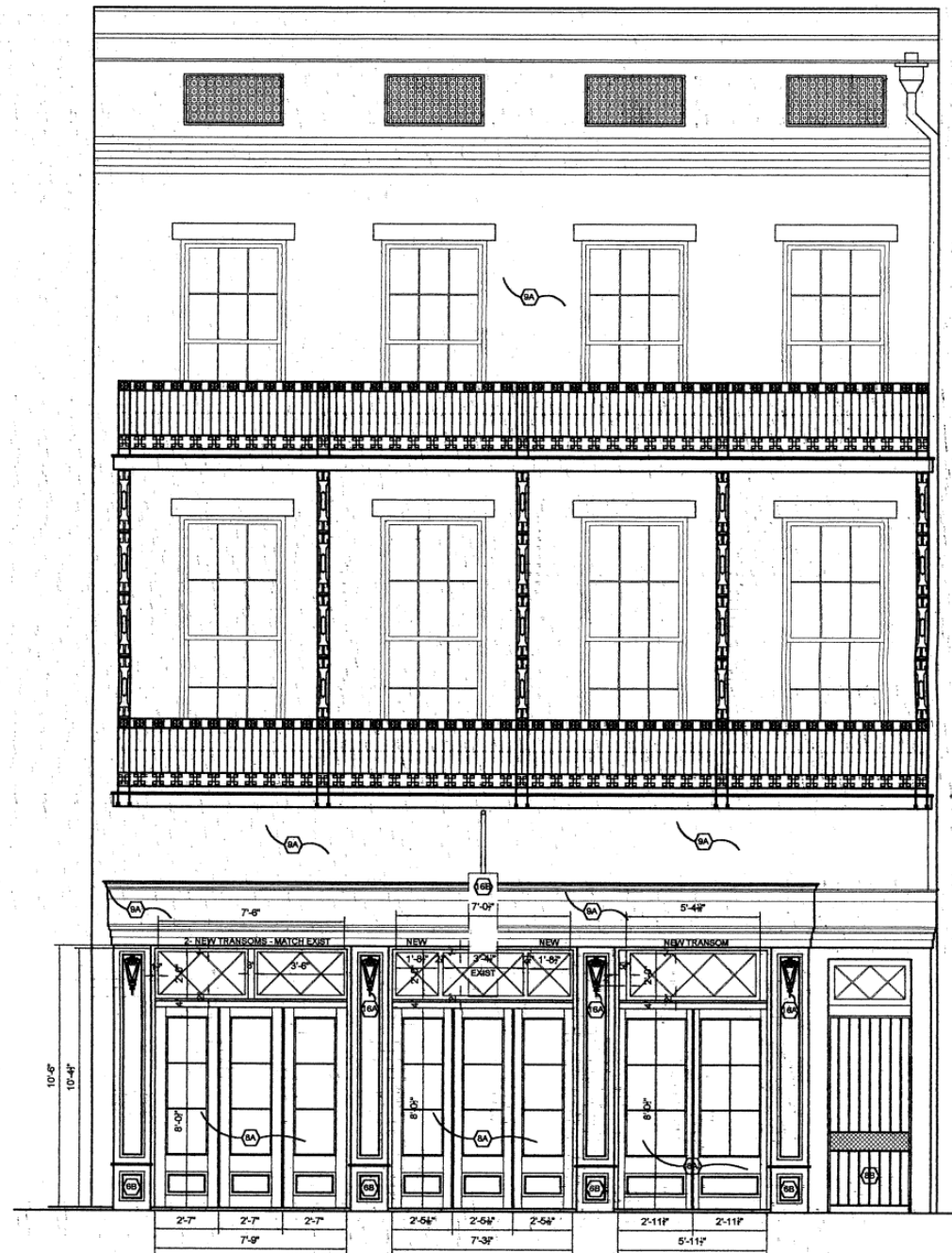
NEW STOREFRONT (BOURBON ST.)

SCALE 1/2" = 1'-0"



323 Bourbon – 2002 Proposal

VCC Architectural Committee

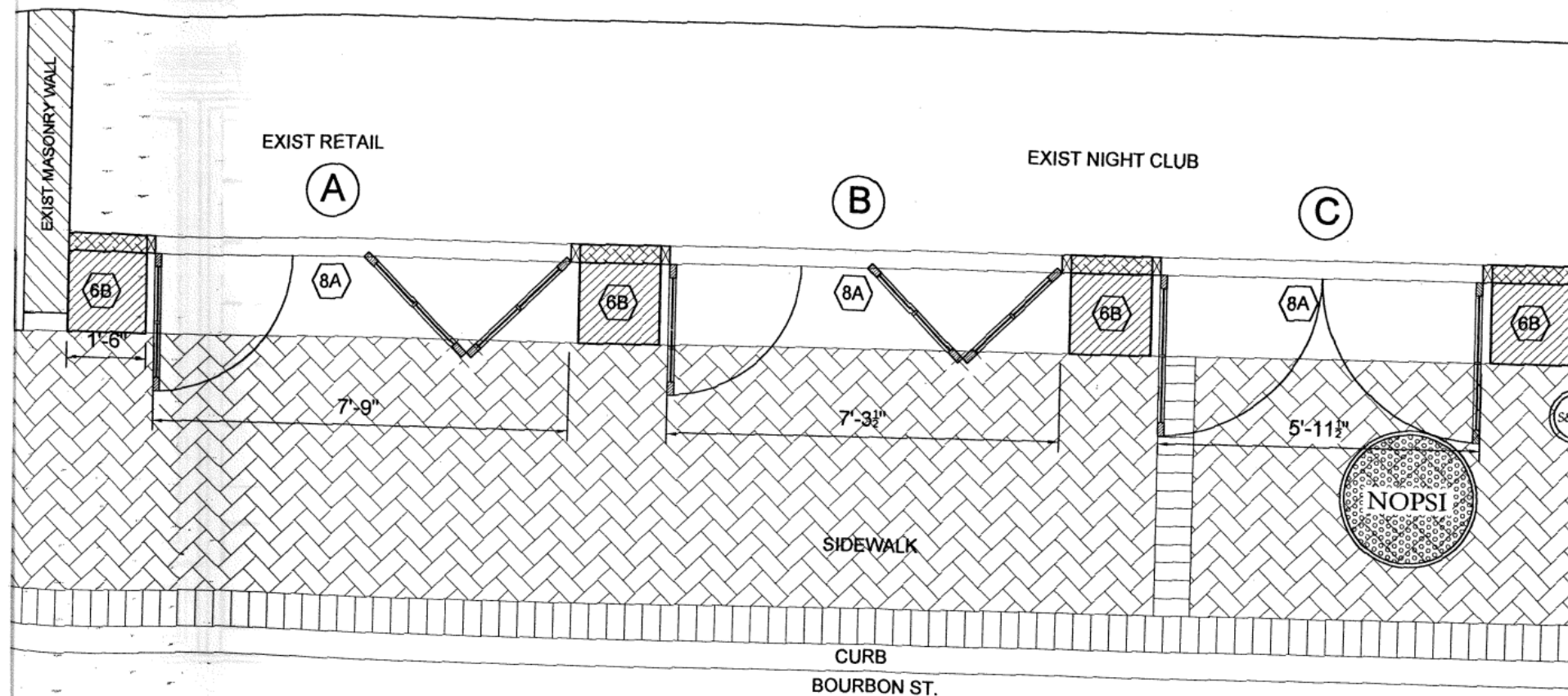


NEW STOREFRONT (BOURBON ST.)

SCALE: 1/2" = 1'-0"

March 23, 2021





STOREFRONT PLAN

SCALE 1/4" = 1'-0"



323 Bourbon – 2002 Proposal

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323 Bourbon – Courtyard Infill
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March 23, 2021





323 Bourbon – Courtyard Infill

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323 Bourbon – Courtyard Infill
VCC Architectural Committee



March 23, 2021

