



# Vieux Carré Commission Architecture Committee Meeting

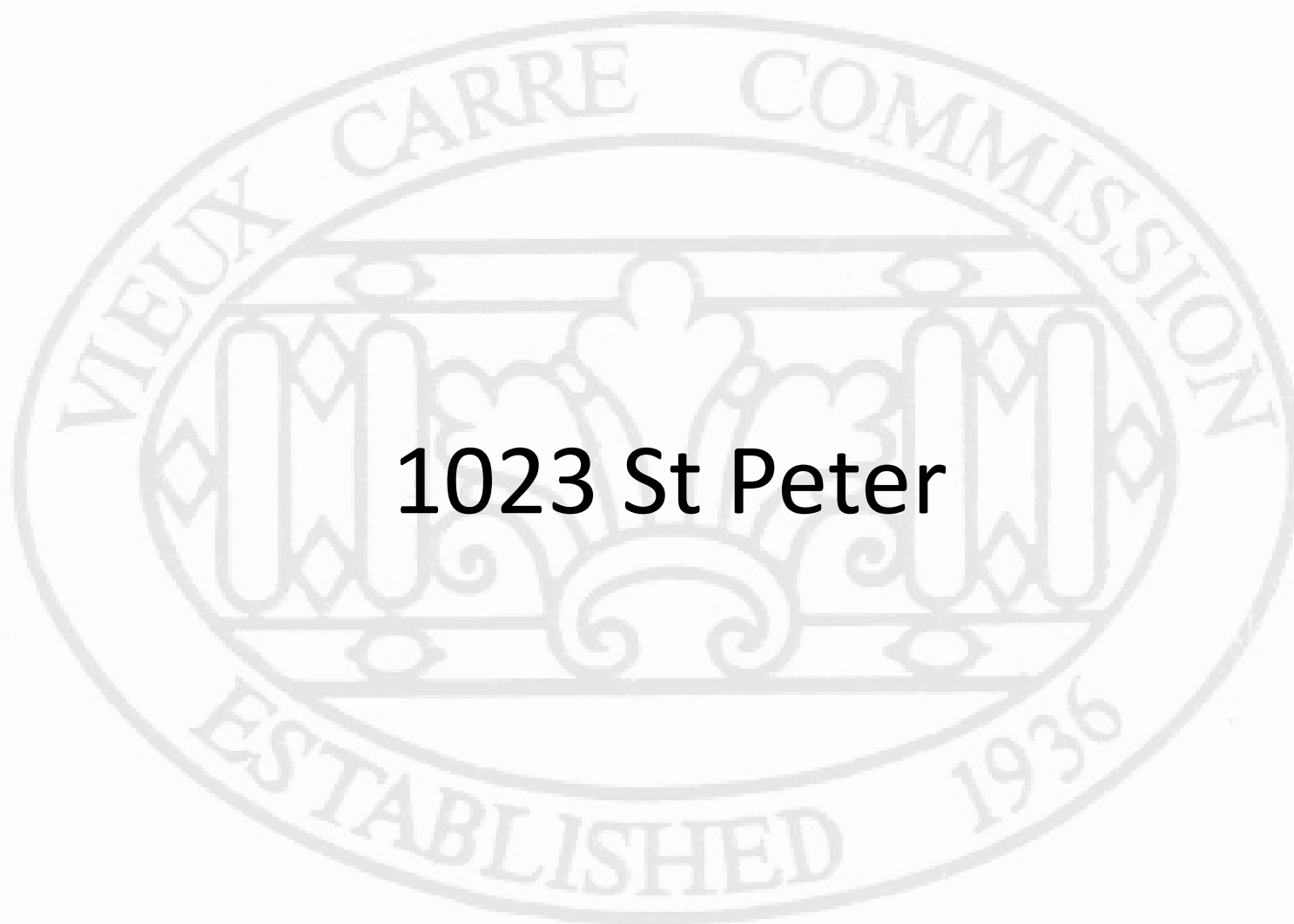
Tuesday, August 24, 2021

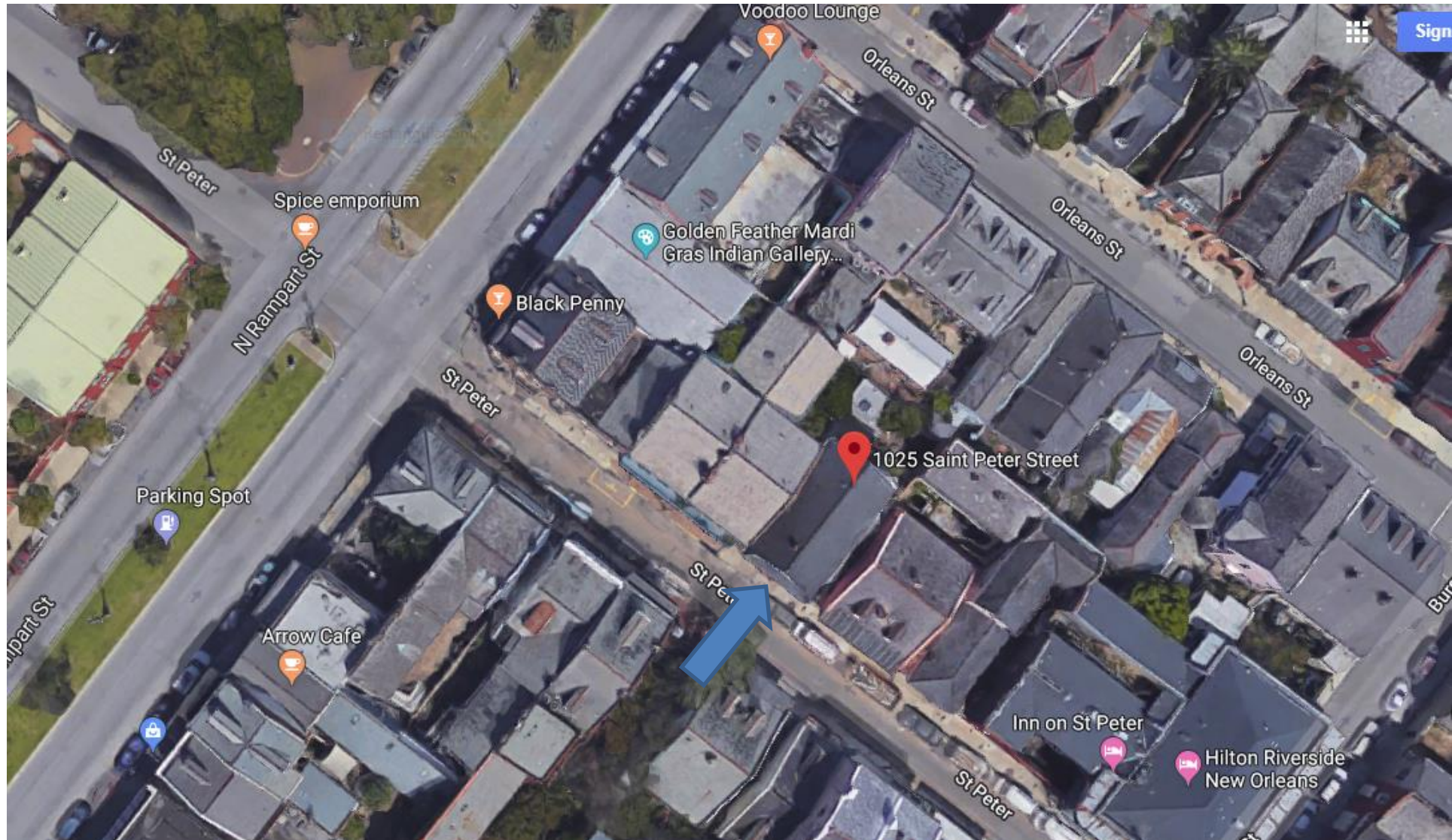


**New Business**



1023 St Peter





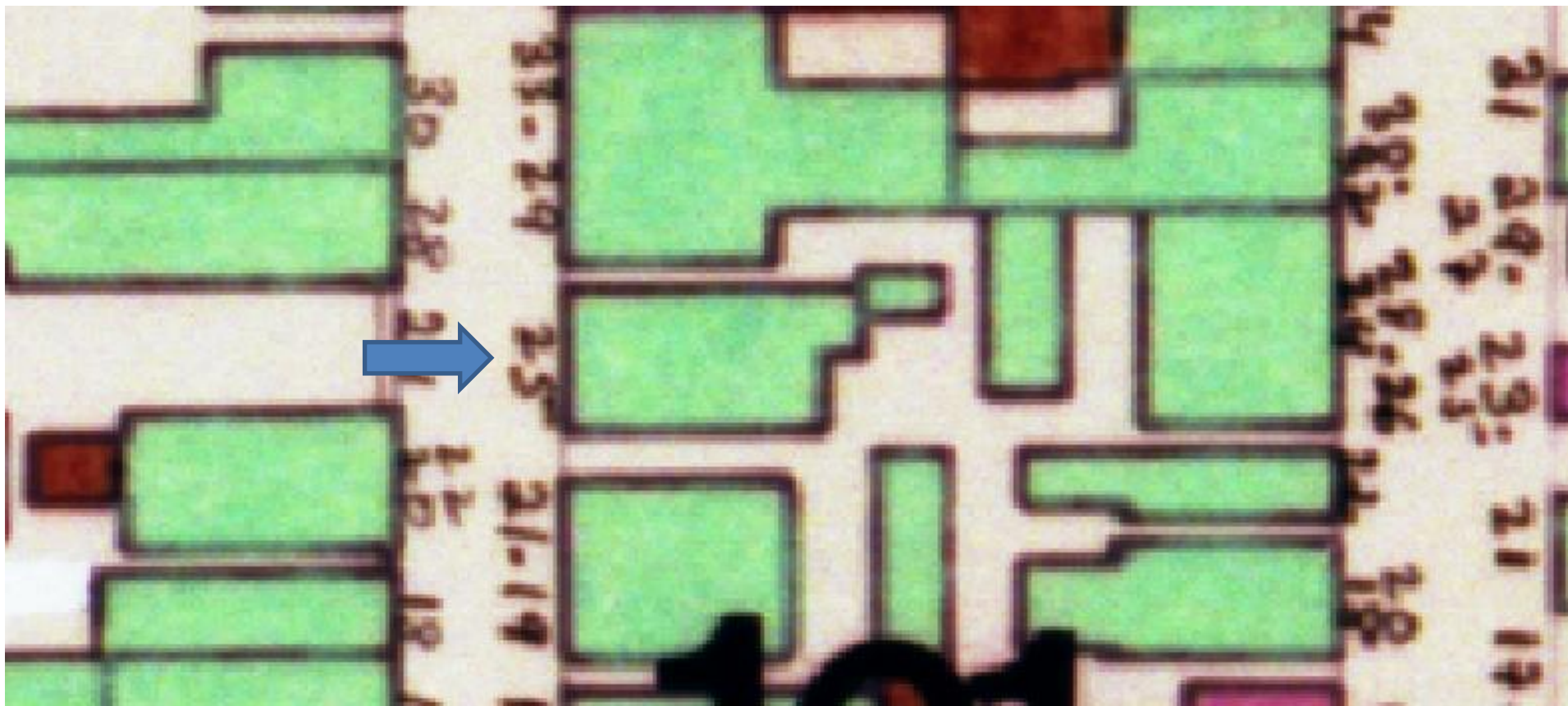
1025 St Peter

VCC Architectural Committee

August 24, 2021







1025 St Peter



1025 St Peter - 1964

VCC Architectural Committee

August 24, 2021







1025 St Peter

VCC Architectural Committee

August 24, 2021







1023 St Peter

VCC Architectural Committee

August 24, 2021







1023 St Peter

VCC Architectural Committee

02 01 2021

August 24, 2021







1023 St Peter

VCC Architectural Committee

August 24, 2021





5212 ELMWOOD PARKWAY  
METAIRIE, LOUISIANA 70003  
504.251.5942  
E-MAIL AHAY033@COX.NET  
COPYRIGHT 2017

Page 11 of 260

## List of Drawings

G-100	Title Sheet
A-100	Existing Floor Plan
D-100	Demolition Plan
A-101	New First Floor Plan
A-102	New Second Floor Plan
A-200	Right Side Elevation / Left Side Elevation / Guest House Front & Rear Elevations
A-201	Guest House Section 1 & 2 / Loath Path / Rear Elevation (Main House)
A-202	New Steel Door & Wood Shutter Details for Guest House
S-100	Main House Foundation Plan
S-101	Guest House Foundation Plan / Second Floor Framing Plan / Roof Framing Plan
E-100	First Floor Electrical Plan
E-200	Second Floor Electrical Plan

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH IRC 2015

I HEREBY CERTIFY THAT THE PROJECT MANUAL AND THE PROJECT DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF LOUISIANA. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS COMPLY WITH ALL CODE REQUIREMENTS. I SHALL OBSERVE THE WORK. I TAKE FULL RESPONSIBILITY FOR THESE PLANS.

BY: ALFRED M. HAYES

LICENSE NO. 4032

1025 SAINT PETER STREET  
NEW ORLEANS | LA 70116



Hayes Architects  
A.P.A.C.

DESIGNED BY: A.HAYES	
CHAPTER: 8.KEEP	
CHECKED BY: A.HAYES	
PROJECT NO: 1025SP	REV:
SCALE:	
DATE: 5/10/19	REVISED: 12/21/20
<div style="font-size: 2em; font-weight: bold; text-align: center;">G-100</div>	
SHEET 1 OF 12	

1023 St Peter

## VCC Architectural Committee

August 24, 2021

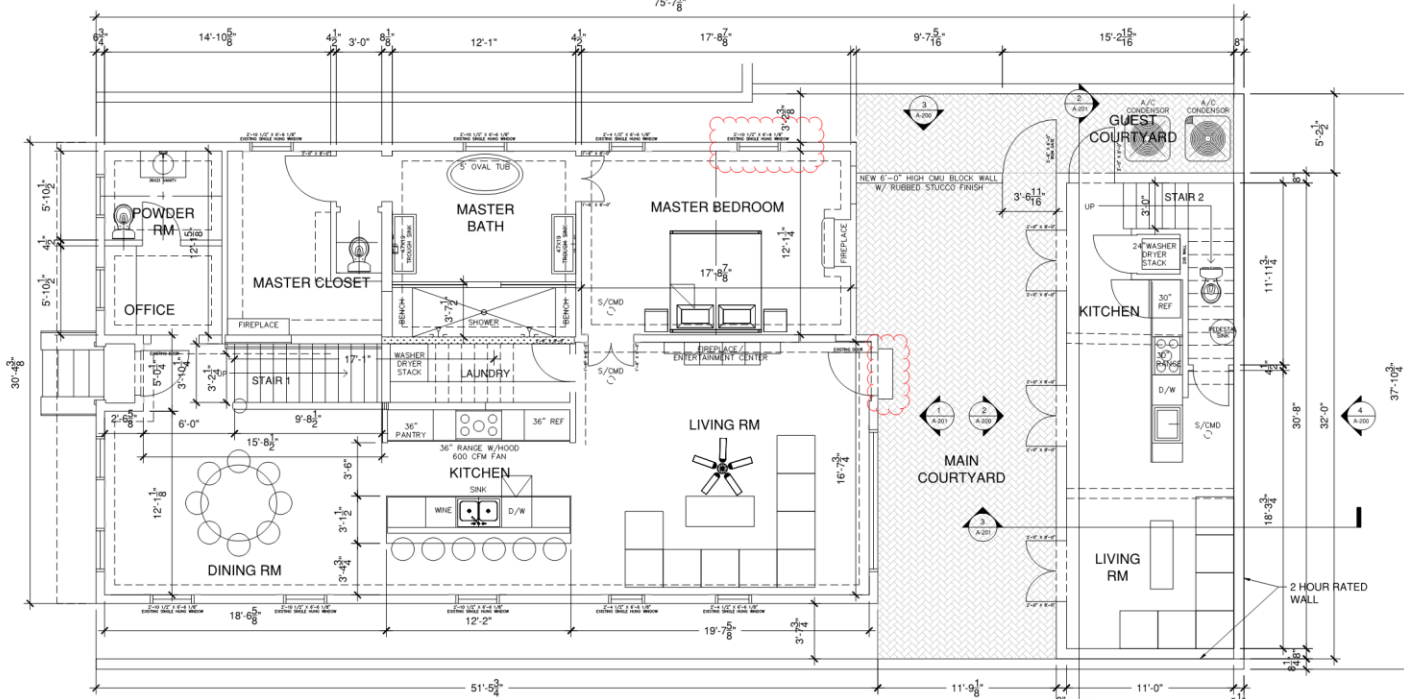
BY:

NOTE: ALL EXTERIOR WALLS MIN. R-19  
 NOTE: ALL ROOF AREAS MIN. R-38  
 NOTE: ALL UNDERFLOOR AREAS MIN. R-19  
 NOTE: ALL WINDOWS INSULATED LOW-E  
 NOTE: PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS.  
 AND WITHIN 24" OF ANY DOORS AND 18" OF ANY WALKING SURFACE.  
 NOTE: PROVIDE 1 HOUR FIRE RESISTIVE CONSTRUCTION ON  
 ROOF OVERHANGS WITHIN 3' FROM PROPERTY LINES.

NOTE: PROVIDE BATHROOM VENTILATION IN ACCORDANCE  
 WITH SECTION 1507 OF THE IRC 2015 ED.  
 NOTE: PROVIDE PROTECTION OF OPENINGS MEETING THE  
 REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.  
 CONTRACTOR TO USE 7/16" PLYWOOD PANELS IN ACCORDANCE  
 WITH TABLE R301.2.1.2 IRC 2015.  
 NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE  
 WITH IRC 2015 & ASCE 07-10. BASED UPON 130 BASIC WIND SPEED,  
 EXPOSURE "B".

NOTE: ALL WOOD BELOW BFE MUST  
 BE TREATED WOOD.  
 NOTE: ALL STUDS AT EXTERIOR WALLS  
 TO BE 2 X 6 AT 16" O.C.  
 NOTE: ALL STUDS AT INTERIOR WALLS TO BE  
 2 X 4 AT 16" O.C. UNLESS OTHERWISE NOTED  
 NOTE: ALL DIMENSIONS ON ARCHITECTURAL  
 FLOOR PLANS ARE TO FACE OF GYP. BD.

ST. PETER ST.



**1 NEW FIRST FLOOR PLAN**  
 1/4"=1'-0"  
 1023 ST. PETER ST.  
 FIRST FLOOR AREA: 1,545.33 SF  
 2ND FLOOR AREA: 665.22 SF  
 TOTAL FLOOR AREA: 2,211 SF

**LEGEND**  
 [Pattern] NEW WALLS  
 [Pattern] EXISTING WALLS TO BE REMOVED  
 [Pattern] EXISTING WALLS TO REMAIN  
 [Pattern] EXISTING WALLS TO BE REBUILT  
 [Pattern] WALL ABOVE

MINIMUM PERMEABLE OPEN SPACE REQUIREMENT: 30% OF LOT AREA  
 TOTAL LOT AREA: 2,776.92 SF  
 ACTUAL PERMEABLE OPEN SPACE: 836.25 SF OR 30.11%

NEW SLAVE QUARTER / GUEST HOUSE  
 1ST FLOOR: 395 SF  
 2ND FLOOR: 330 SF  
 725 SF TOTAL

**INTERIOR MAIN STAIRS:**  
 FIRST RUN: 13 RISERS @ 7-3/8" = 7' 11-15/16"  
 12 TREADS @ 10-1/4" = 10'-3"  
 SECOND RUN: 7 RISERS @ 7-3/8" = 4' 3-11/16"  
 6 TREADS @ 10-1/4" = 5' 1-1/2"  
 36" HANDRAIL HT. 36" GUARDRAIL HT.  
 1.25" NOSING MAX. 2.25" HANDRAIL CLEARANCE  
 4" MAX. OPENING IN HANDRAIL/ GUARDRAIL

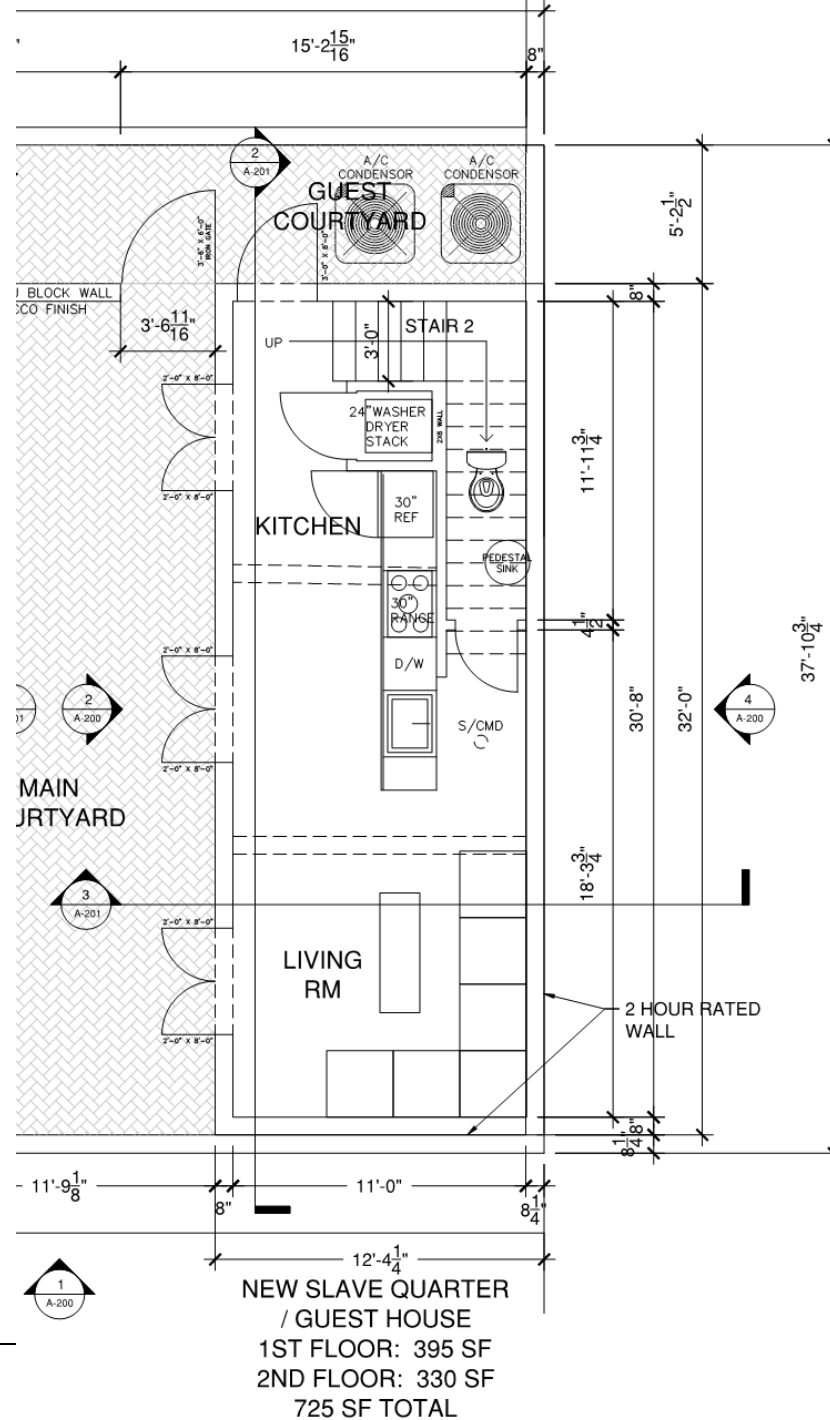
SEE EXHIBIT FOR ANY  
 METALLIC LUGS  
 1/2" DIA. 1/2" LONG  
 E-MAIL: AHAYES@A.P.A.C.  
 COPYRIGHT 2017

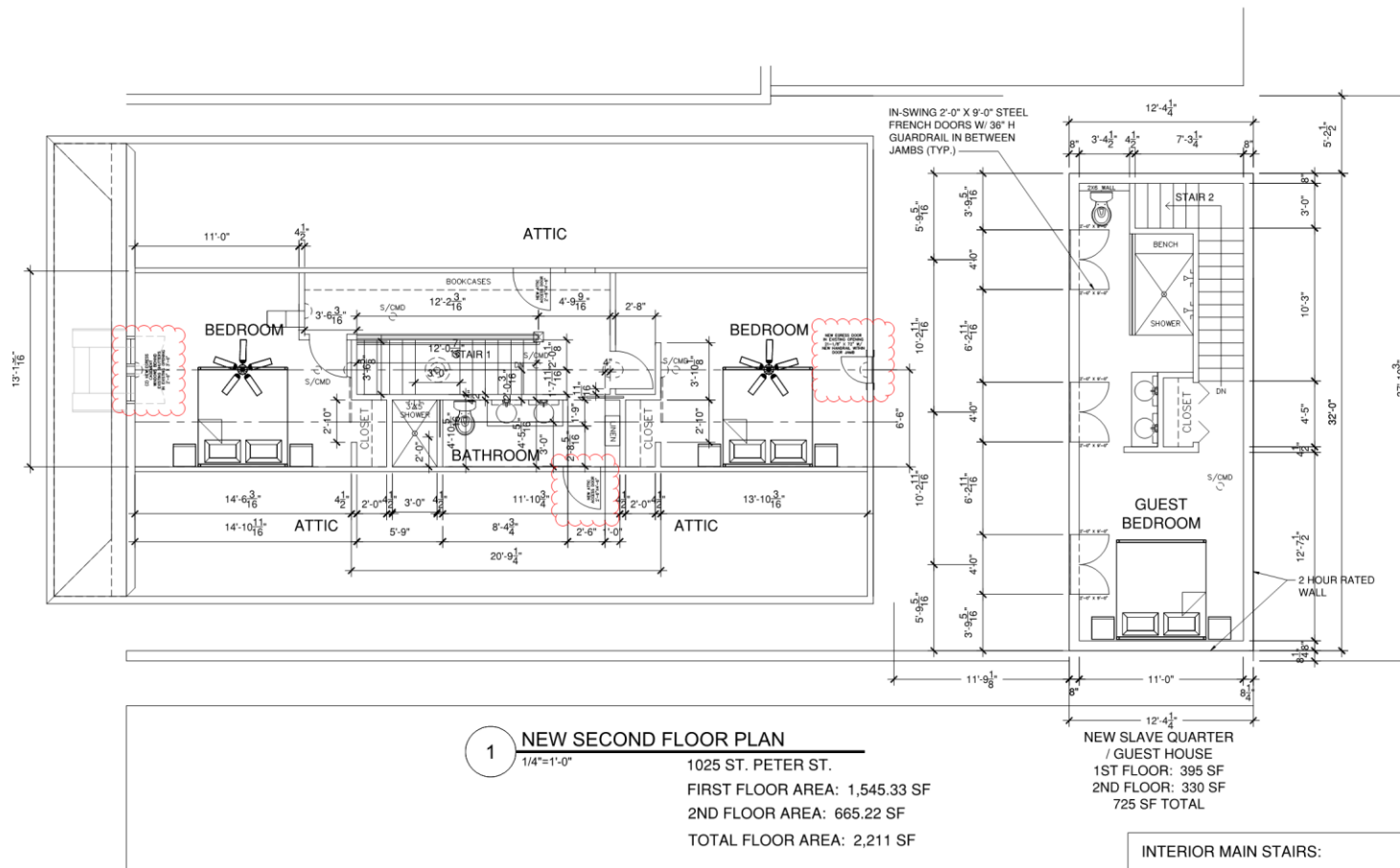
1025 St. Peters  
 NEW ORLEANS, LA 70116  
**Hayes Architects**  
 A.P.A.C.



DESIGNED BY: AHAYES  
 DRAWN BY: AHAYES  
 CHECKED BY: AHAYES  
 PROJECT NO: 1023SP  
 SCALE: 1/4"=1'-0"  
 DATE: 8/15/19  
 REVISION: 11/12/20  
**A-101**  
 SHEET 4 OF 12







1025 St Peters  
NEW ORLEANS, LA 70116

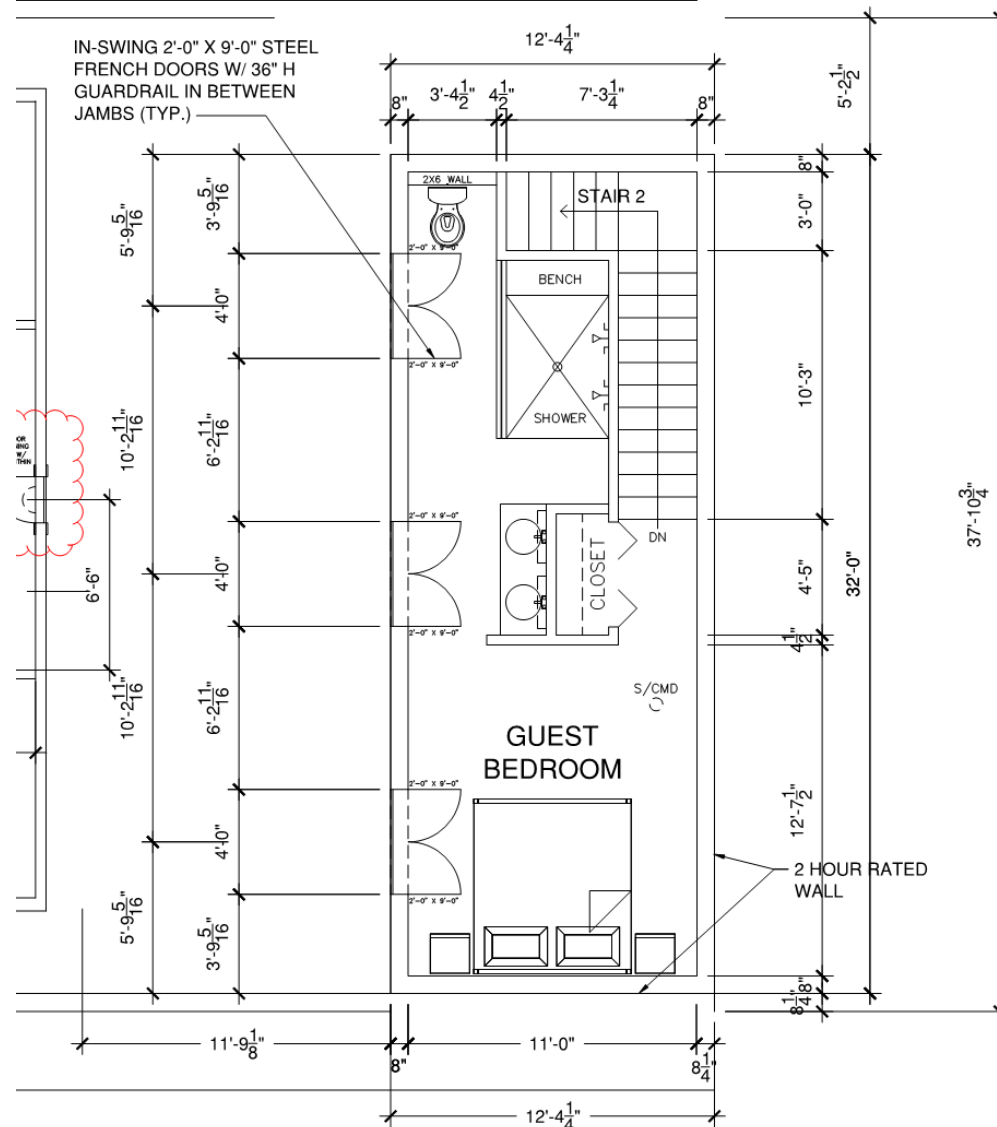
Hayes Architects  
A.P.A.C.



DESIGNED BY:	A.HAYES
DRAWN BY:	A.HAYES
CHECKED BY:	A.HAYES
PROJECT NO.:	1025SP
DATE:	8/10/19
REVISION:	11/10/20

**A-102**  
SHEET 5 OF 12





NEW SLAVE QUARTER  
/ GUEST HOUSE  
1ST FLOOR: 395 SF  
2ND FLOOR: 330 SF  
725 SF TOTAL

1023 St Peter

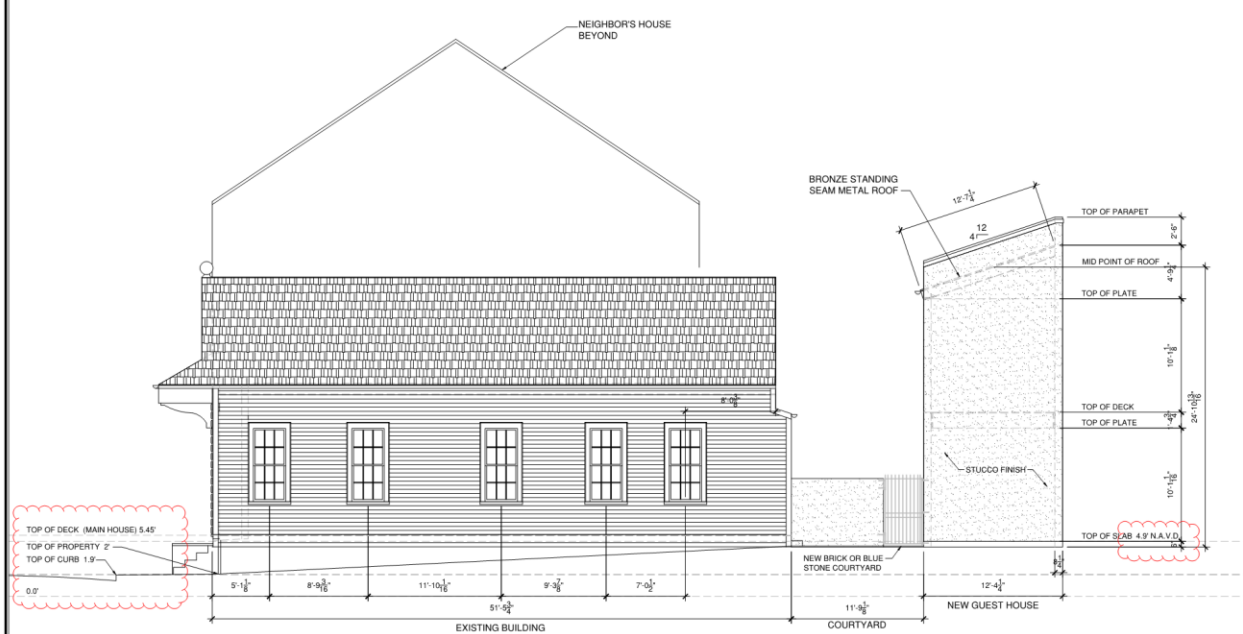
VCC Architectural Committee

545.33 SF  
222 SF

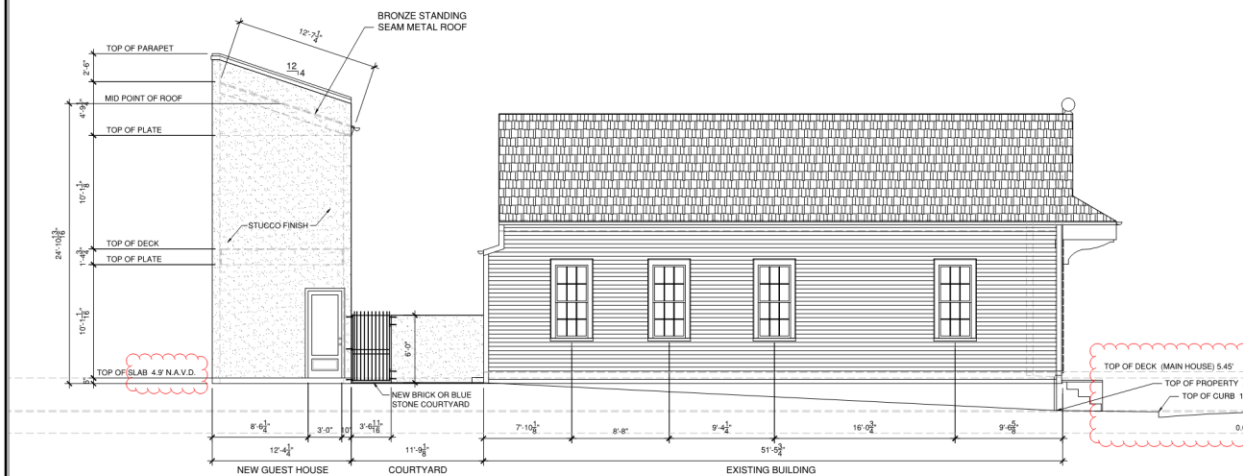
August 24, 2021



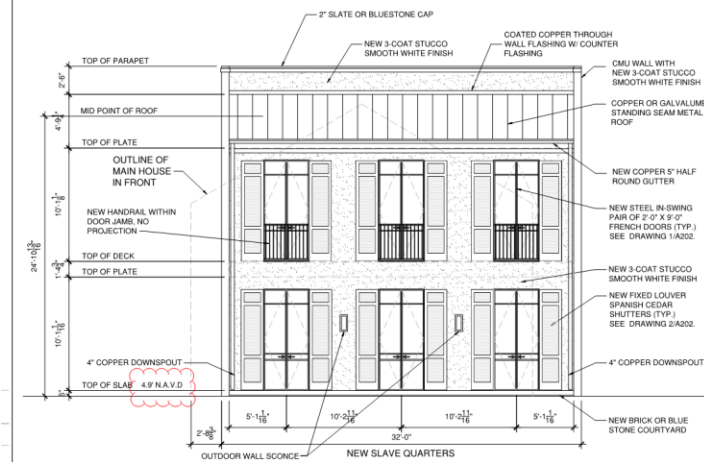




1 RIGHT SIDE ELEVATION  
3/16"=1'-0"



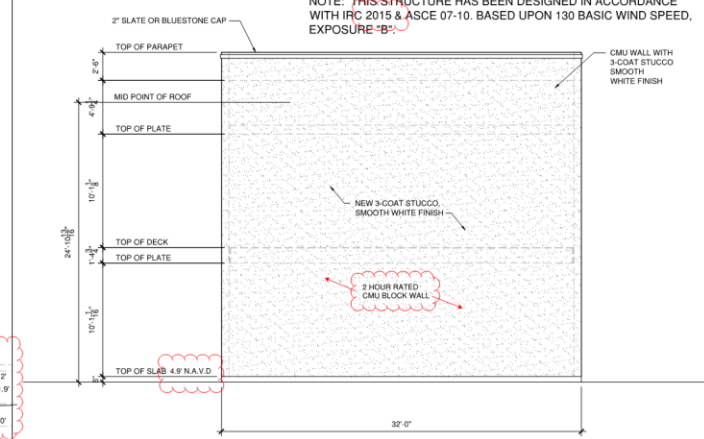
3 LEFT SIDE ELEVATION  
3/16"=1'-0"



2 GUEST HOUSE FRONT ELEVATION  
3/16"=1'-0"

NOTE: PROVIDE PROTECTION OF OPENINGS MEETING THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996. CONTRACTOR TO USE 7/16" PLYWOOD PANELS IN ACCORDANCE WITH TABLE R301.2.1.2 IRC 2015.

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH IRC 2015 & ASCE 07-10. BASED UPON 130 BASIC WIND SPEED, EXPOSURE "B".



4 GUEST HOUSE REAR ELEVATION  
3/16"=1'-0"

NOTE: ALL WOOD BELOW BFE MUST BE TREATED WOOD.

1025 St Peters  
NEW ORLEANS, LA 70116  
Hayes Architects  
A.P.A.C.

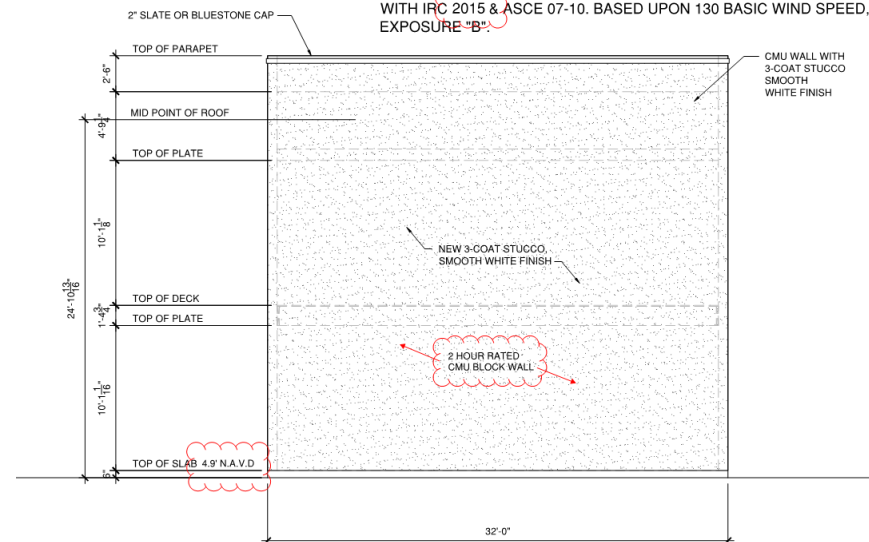
DESIGNED BY:	A HAYES
DRAWN BY:	R KEMP
CHECKED BY:	A HAYES
PROJECT NO.:	1025SP
DATE:	10/20/18
REVISION:	11/20/20
A-200	
SHEET 6 OF 12	



## 2

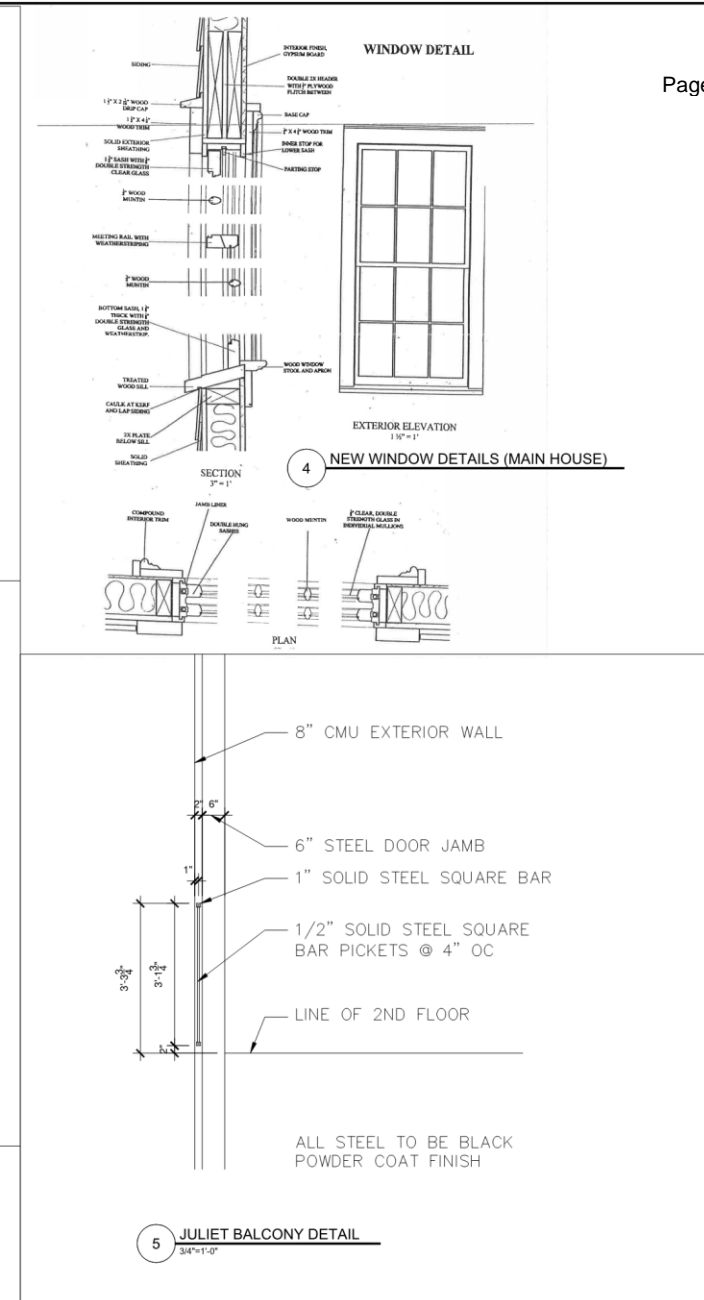
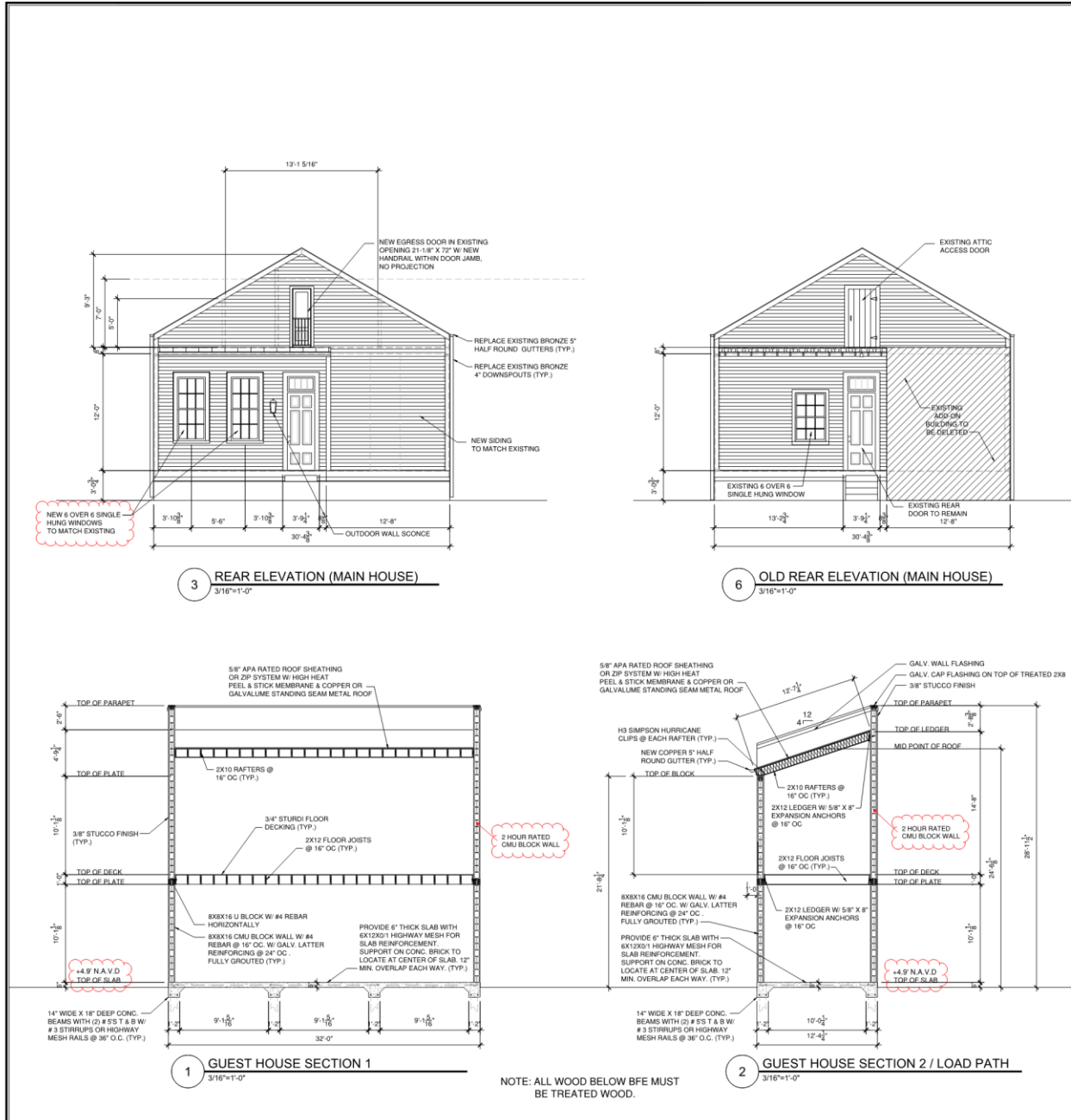
$$3/16'' = 1' - 0''$$

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH IRC 2015 & ASCE 07-10. BASED UPON 130 BASIC WIND SPEED, EXPOSURE "B".



## 4

9/108-41.01



1023 St Peter

VCC Architectural Committee

August 24, 2021

1025 St Peters  
NEW ORLEANS, LA 70116  
Hayes Architects  
A.P.A.C.



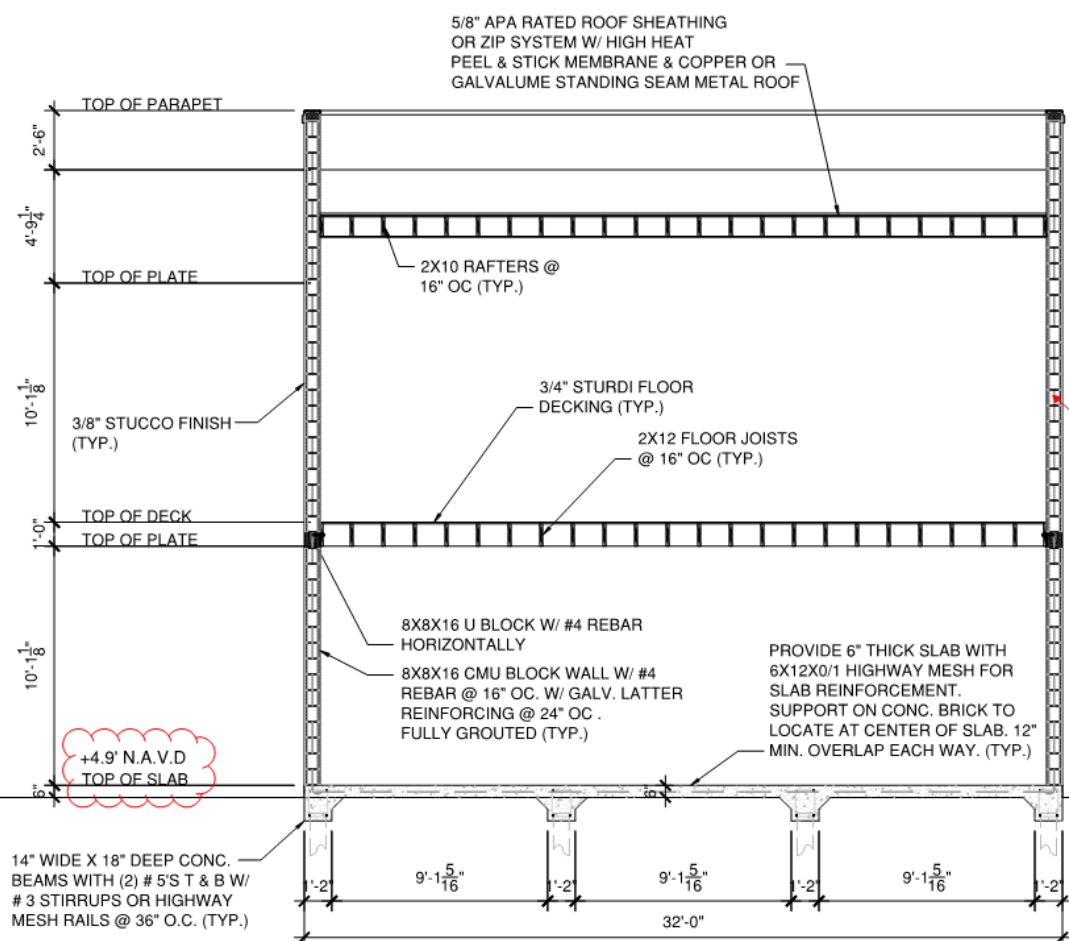
DESIGNED BY: A.HAYES  
DRAWN BY: R.HAYES  
CHECKED BY: A.HAYES  
PROJECT NO: 1025SP (REV)  
SCALE:  
DATE: 6/16/19

A-201  
SHEET 7 OF 12

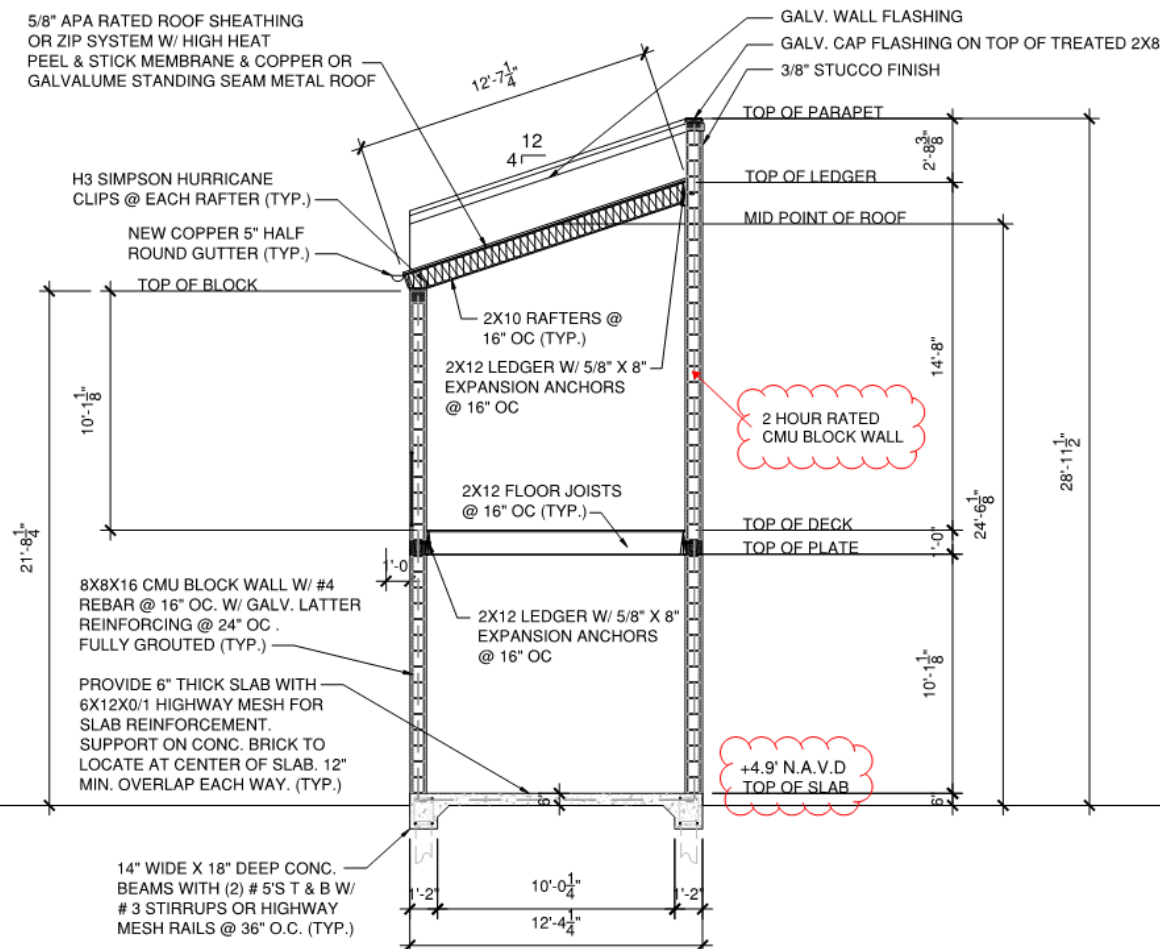


5212 ELMHURST PARKWAY  
METairie, LOUISIANA 70002  
PHONE: 504.885.1543  
E-MAIL: AHAYES@HAYESARCH.COM  
COPYRIGHT 2017



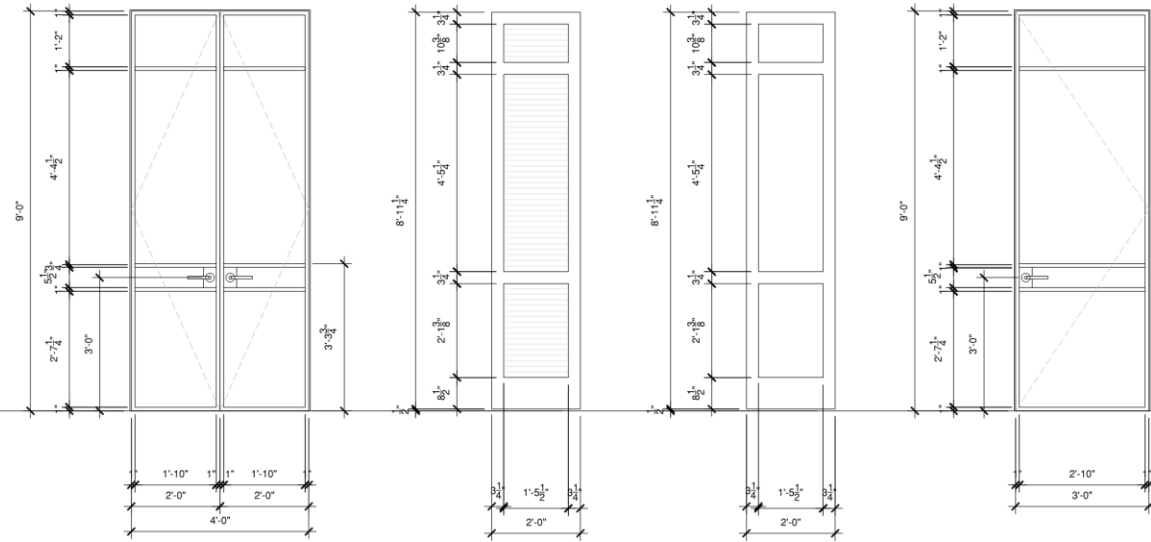


GUEST HOUSE SECTION 1



GUEST HOUSE SECTION 2 / LOAD PATH

NOTE: ALL WOOD BELOW BFE MUST  
BE TREATED WOOD.

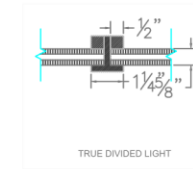
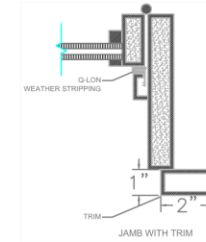
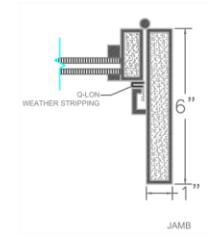
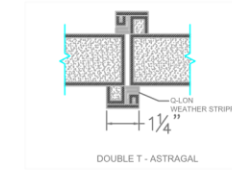
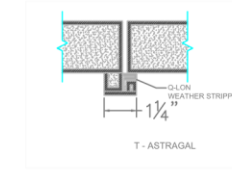


1 STEEL FRENCH DOOR ELEVATION  
3/4\"/>

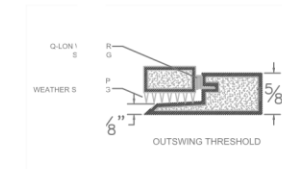
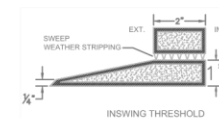
2 SPANISH CEDAR SHUTTER ELEVATION  
3/4\"/>

4 ALTERNATE METAL SHAKER STYLE SHUTTER  
3/4\"/>

3 STEEL ENTRY DOOR ELEVATION  
3/4\"/>



5 STEEL DOOR DETAILS



1025 St Peters  
NEW ORLEANS, LA 70116

Hayes Architects  
A.P.A.C.



DESIGNED BY: AHAYES  
DRAWN BY: KADGP  
CHECKED BY: AHAYES  
PROJECT NO: 1025SP

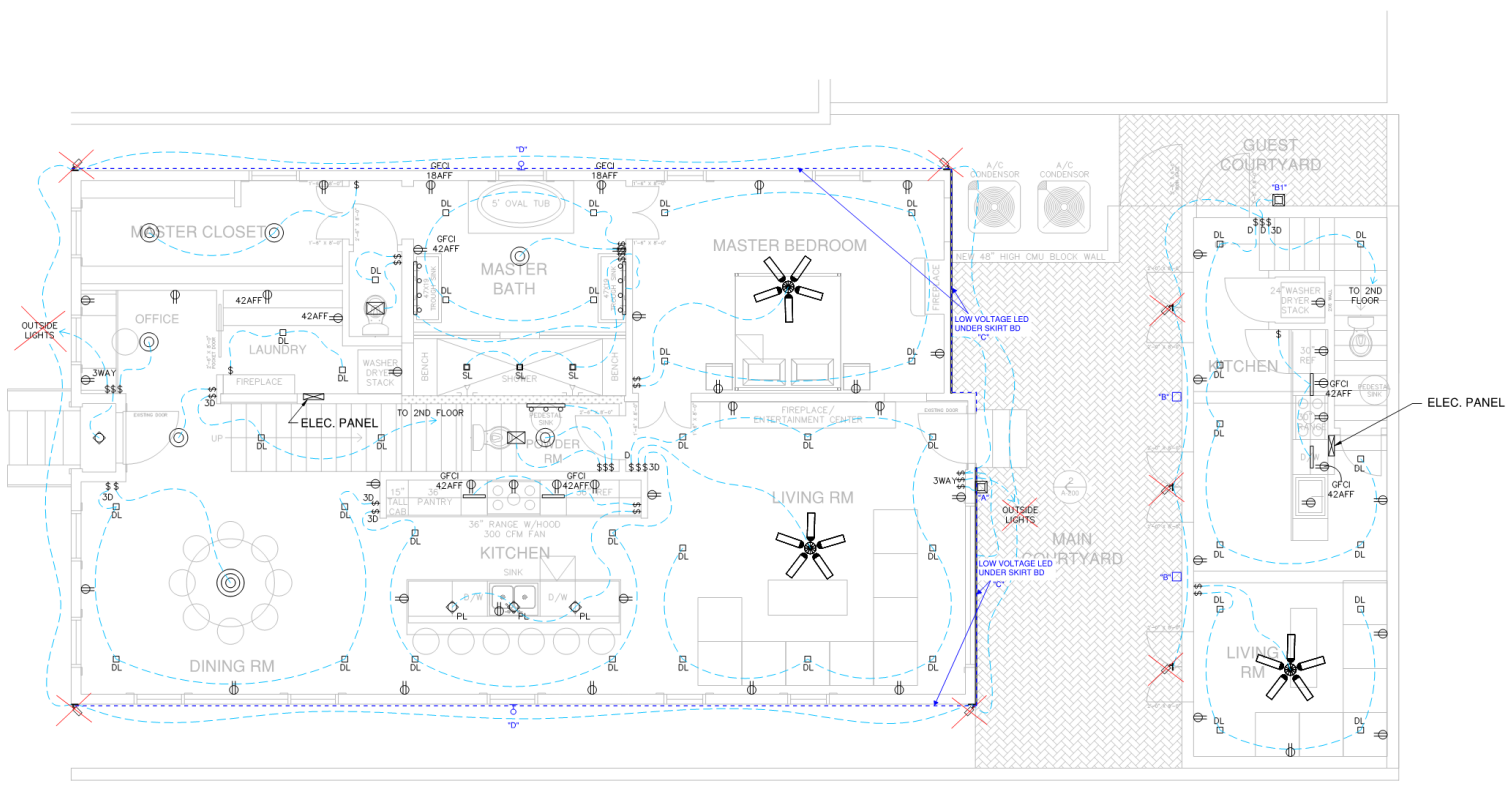
SCALE: 3/4\"/>

A-202

SHEET 8 OF 12



ST. PETER ST.



1 1ST FLOOR ELECTRICAL PLAN  
1/4"=1'-0"

ELECTRICAL KEY	
\$	SWITCH
\$F	SWITCH, FAN CONTROL
\$-30	3-WAY SWITCH, DIMMER
⊕	DUPLEX RECEPTACLE
⊕	DOWN LIGHT
⊕	SHOWER DOWN LIGHT, WET LOCATION
⊕	HANGING PENDANT LIGHT FIXTURE
⊕	CEILING LIGHT FIXTURE
⊕	EXTERIOR CEILING LIGHT FIXTURE
⊕	CEILING FAN
⊕	HEATER /VENT
⊕	CLOSET STRIP LIGHT
⊕	VANITY LIGHT
⊕	WIRING
⊕	BREAKER PANEL
⊕	2 HEAD EXTERIOR LIGHT
⊕	1 HEAD EXTERIOR LIGHT
⊕	8X18 EXTERIOR WALL SCONCE

1023 St Peter

VCC Architectural Committee

August 24, 2021

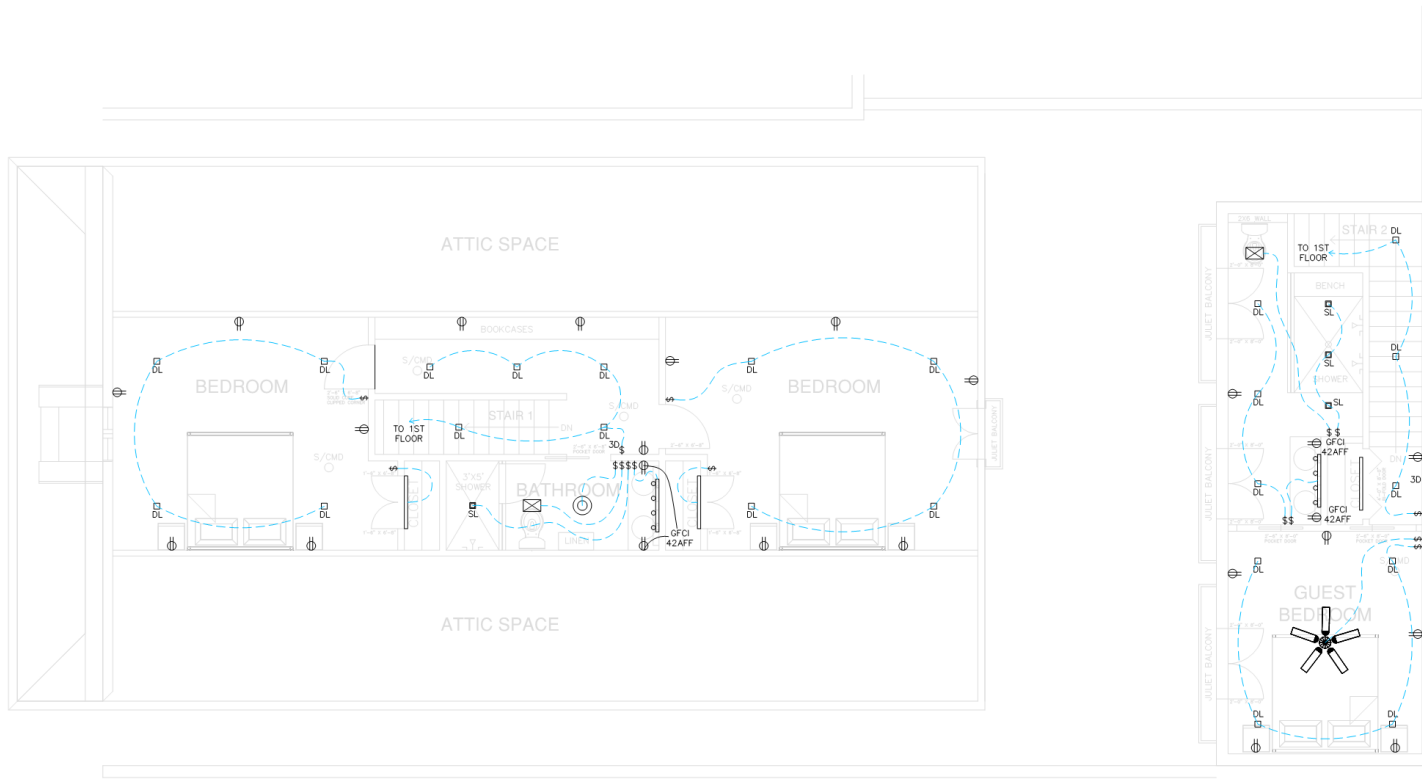
1025 St Peters  
NEW ORLEANS, LA 70116

Hayes Architects  
A.P.A.C.

DESIGNED BY: A HAYES  
DRAWN BY: A HAYES  
CHECKED BY: A HAYES  
PROJECT NO: 1025SP  
SCALE: 1/4"=1'-0"  
DATE: 8/21/21  
SHEET 11 OF 12

E-100





1 2ND FLOOR ELECTRICAL PLAN  
1/4"=1'-0"

ELECTRICAL KEY	
\$	SWITCH
\$ <sup>F</sup>	SWITCH, FAN CONTROL
\$ <sup>3D</sup>	3-WAY SWITCH, DIMMER
⊕	DUPLEX RECEPTACLE
⬇	DOWN LIGHT
⬆	SHOWER DOWN LIGHT, WET LOCATION
⬆	HANGING PENDANT LIGHT FIXTURE
⊙	CEILING LIGHT FIXTURE
⊕	EXTERIOR CEILING LIGHT FIXTURE
⬆	CEILING FAN
⬆	HEATER / VENT
⬆	CLOSET STRIP LIGHT
⬆	VANITY LIGHT
⬆	WIRING
⬆	BREAKER PANEL
⬆	2 HEAD EXTERIOR LIGHT
⬆	1 HEAD EXTERIOR LIGHT
⬆	8X18 EXTERIOR WALL SCONCE

1023 St Peter

VCC Architectural Committee

August 24, 2021

1025 St Peters  
NEW ORLEANS, LA 70116

Hayes Architects  
A.P.A.C.

ALFRED M. HAYES  
REGISTERED ARCHITECT  
STATE OF LOUISIANA  
NO. 485

DESIGNED BY: A.HAYES  
DRAWN BY: R.KEMP  
CHECKED BY: A.HAYES  
PROJECT NO. 1025SP  
SCALE: 1/8"=1'-0"  
DATE: 8/19

E-200

COMMISSION  
ESTABLISHED 1936



1037 Dauphine





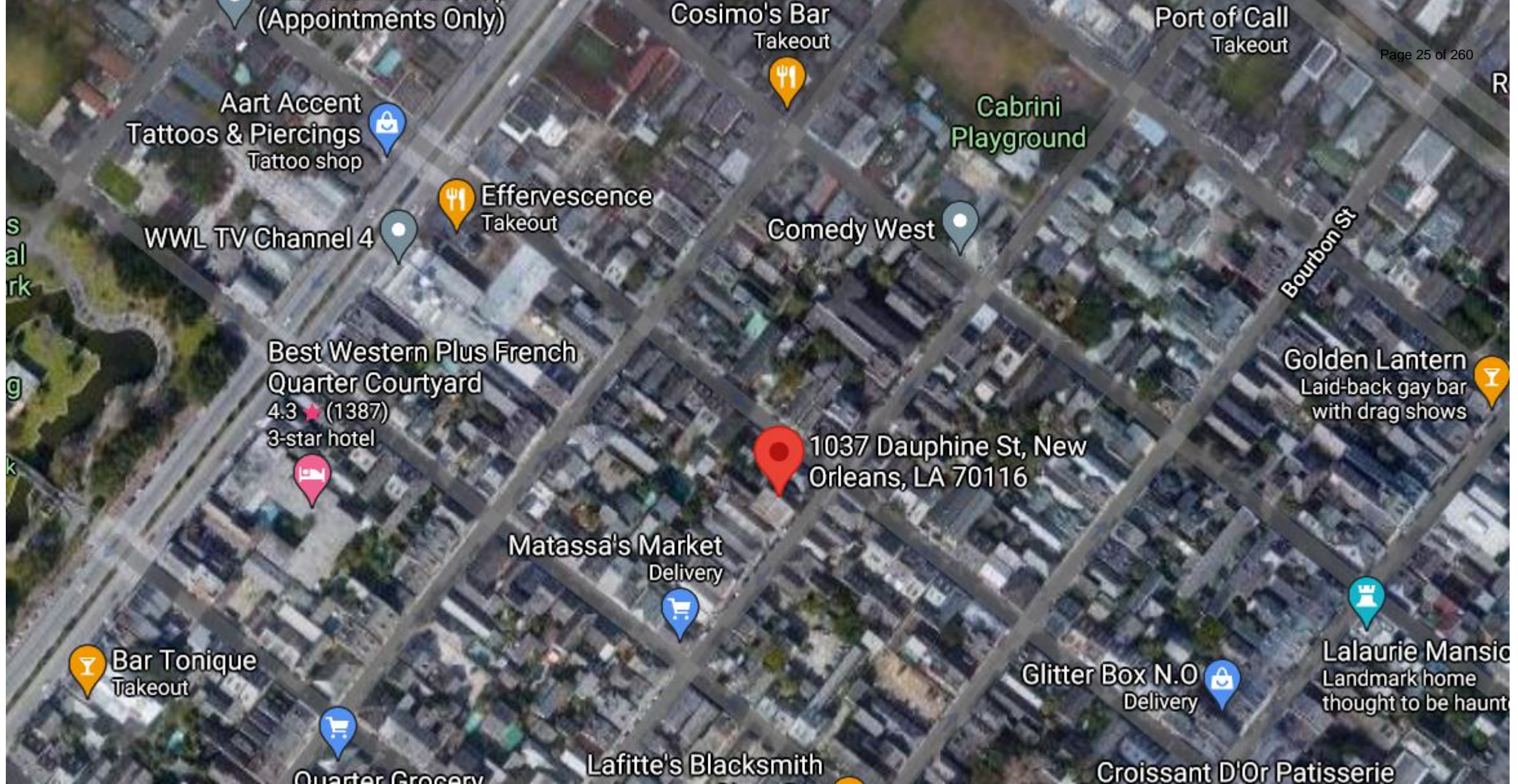
1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021





1037 Dauphine

VCC Architectural Committee



July 13, 2021





1037 Dauphine

VCC Architectural Committee

July 13, 2021



1037 Dauphine

VCC Architectural Committee



July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021







1037 Dauphine

VCC Architectural Committee

July 13, 2021





### Proposed Scope of Work: Alley and Rear Yard

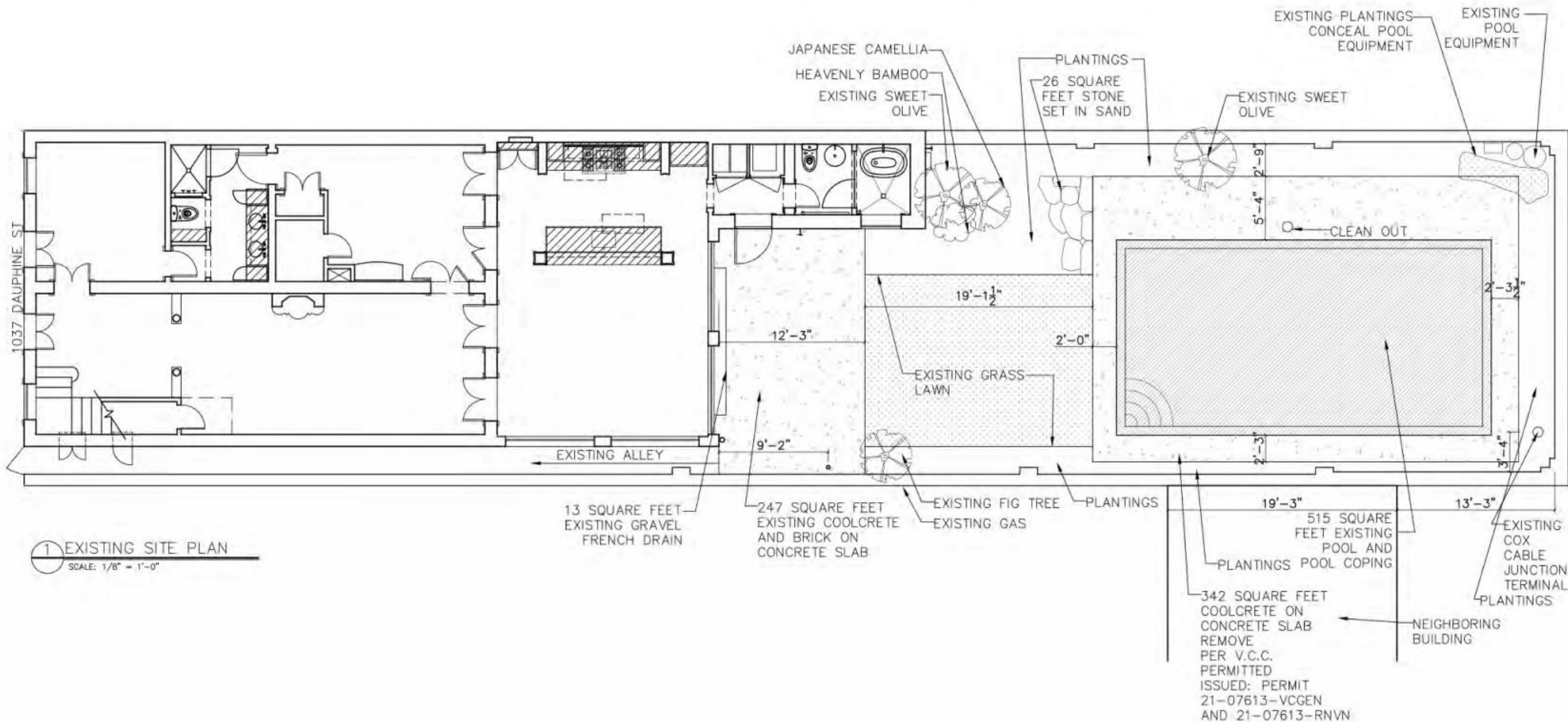
- Alley: existing stucco painting
- Rear facade painting
- Modify existing rear facade windows
- New rear door hardware, (2) locations
- Lighting replacement at existing J-boxes
- (1) new gas Bevolo light at existing gas supply
- Existing pool steps and depth modification. Existing size and existing coping to remain
- Pool refinishing and painting to equal existing
- New patio at house and pool deck, reduced overall quantity

### **REVISIONS 08-08-21**

- **Options A & B: installation of base material for pool deck and patio surfaces**
- **Removal of Bevolo electric lighting type “B”**
- **Removal of Bevolo gas light type “D”**
- **Revision “C” Bevolo electric light fixture type**
- **Revision to Elevation #1 lower single bottom glass panels**







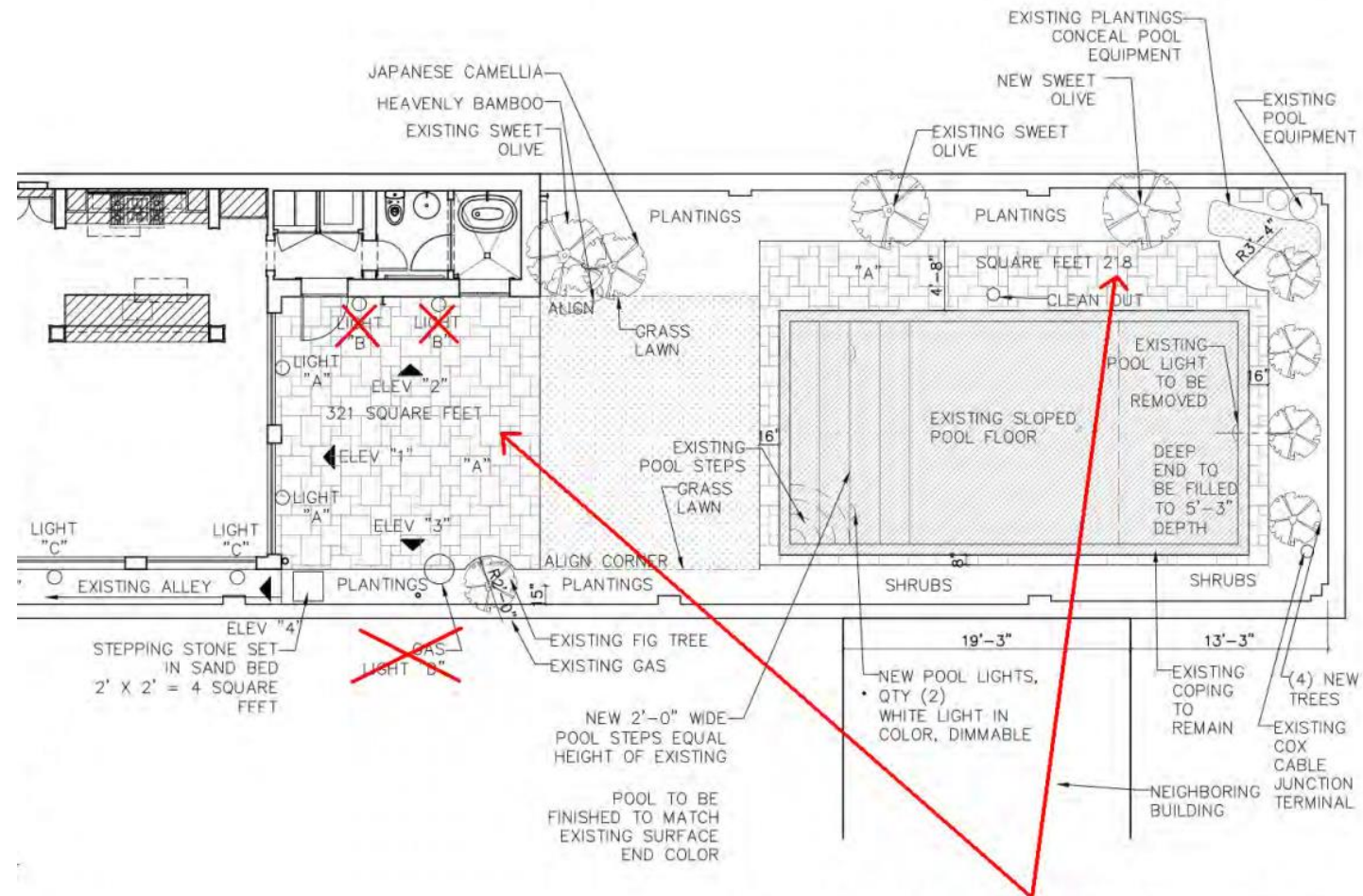
1037 Dauphine

VCC Architectural Committee

July 13, 2021







**OPTION A: EXISTING COOLCRETE DEMOLISHED AT BOTH "A" LOCATIONS.  
REUSE OF EXISTING GRAVEL BASE WITH NEW CONCRETE SLAB..  
BENIFIT: SUSTAINABILITY REUSE OF BASE MATERIAL**

**OPTION B: EXISTING COOLCRETE DEMOLISHED AT BOTH "A" LOCATIONS.  
REMOVE EXISTING GRAVEL BASE  
NEW SAND BASE FOR BOTH "A" AREAS.  
BENIFIT: PERMEABLE SURFACE**

Existing light fixtures

Existing door hardware

Existing windows & door



EXISTING

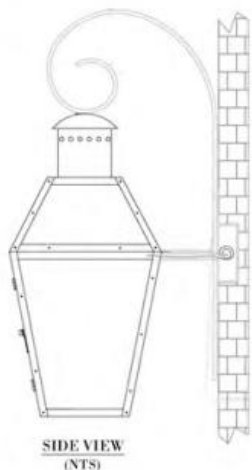
1037 Dauphine

VCC Architectural Committee

July 13, 2021







TYPE: A  
Proposed  
Bevolo electric  
French Quarter  
Half Rodin  
Size 14"  
Height: 21 1/4" with bracket  
Depth: 12 7/8"



PROPOSED

New Bevolo electric  
lights, type A. At existing  
J-box locations

New door hardware  
to equal front facade  
door hardware

Paint beams, door,  
windows, full facade  
to equal front facade.  
Benjamin Moore  
Alabaster, 87.04  
Finish: Satin

New tempered glass  
divided bottom panel  
at existing locations.  
All details to equal existing

PROPOSED REAR ELEVATION #1

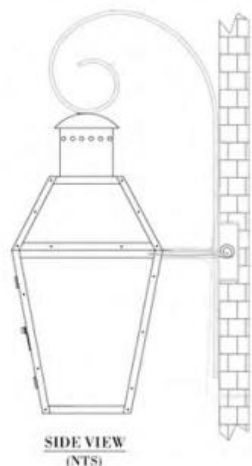
1037 DAUPHINE STREET

1037 Dauphine

VCC Architectural Committee

July 13, 2021





TYPE: A  
Proposed  
Bevolo electric  
French Quarter  
Half Rodin  
Size 14"  
Height: 21 1/4" with bracket  
Depth: 12 7/8"



New Bevolo electric  
lights, type A. At existing  
J-box locations

New door hardware  
to equal front facade  
door hardware

Paint beams, door,  
windows, full facade  
to equal front facade.  
Benjamin Moore  
Alabaster, 87.04  
Finish: Satin

New tempered glass  
single bottom panel  
at existing locations.  
All details to equal existing

PROPOSED

PROPOSED REAR ELEVATION #1

ALTERNATE 08-08-21

1037 DAUPHINE STREET

1037 Dauphine

VCC Architectural Committee

July 13, 2021





EXISTING

Existing wall mounted  
light fixtures.  
Qty (2)

Existing stucco  
painted concrete  
grey. Refer to #5

Existing windows  
to remain.



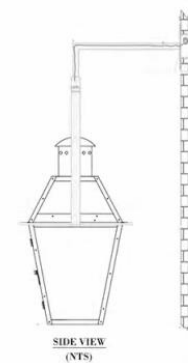
EXISTING

PROPOSED

New Bevolo electric  
lights, type C. At  
existing J-box locations.

Existing windows, metal  
cap and wood wall to  
be painted to match rear  
elevation #2

Existing stucco to be  
painted, refer to #5



TYPE: C  
Bevolo electric  
French Quarter  
Yoke Drop  
Size: 14"  
Height: 23" overall



PROPOSED

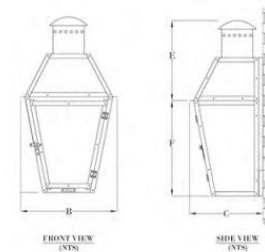


# PROPOSED

New Bevolo electric lights, type C. At existing J-box locations.

Existing windows, metal cap and wood wall to be painted to match rear elevation #2

Existing stucco to be painted, refer to #5



TYPE:C  
Proposed  
Bevolo electric  
French Quarter  
Half Light  
Size 17 3/4" x 10.5"  
x 8" deep

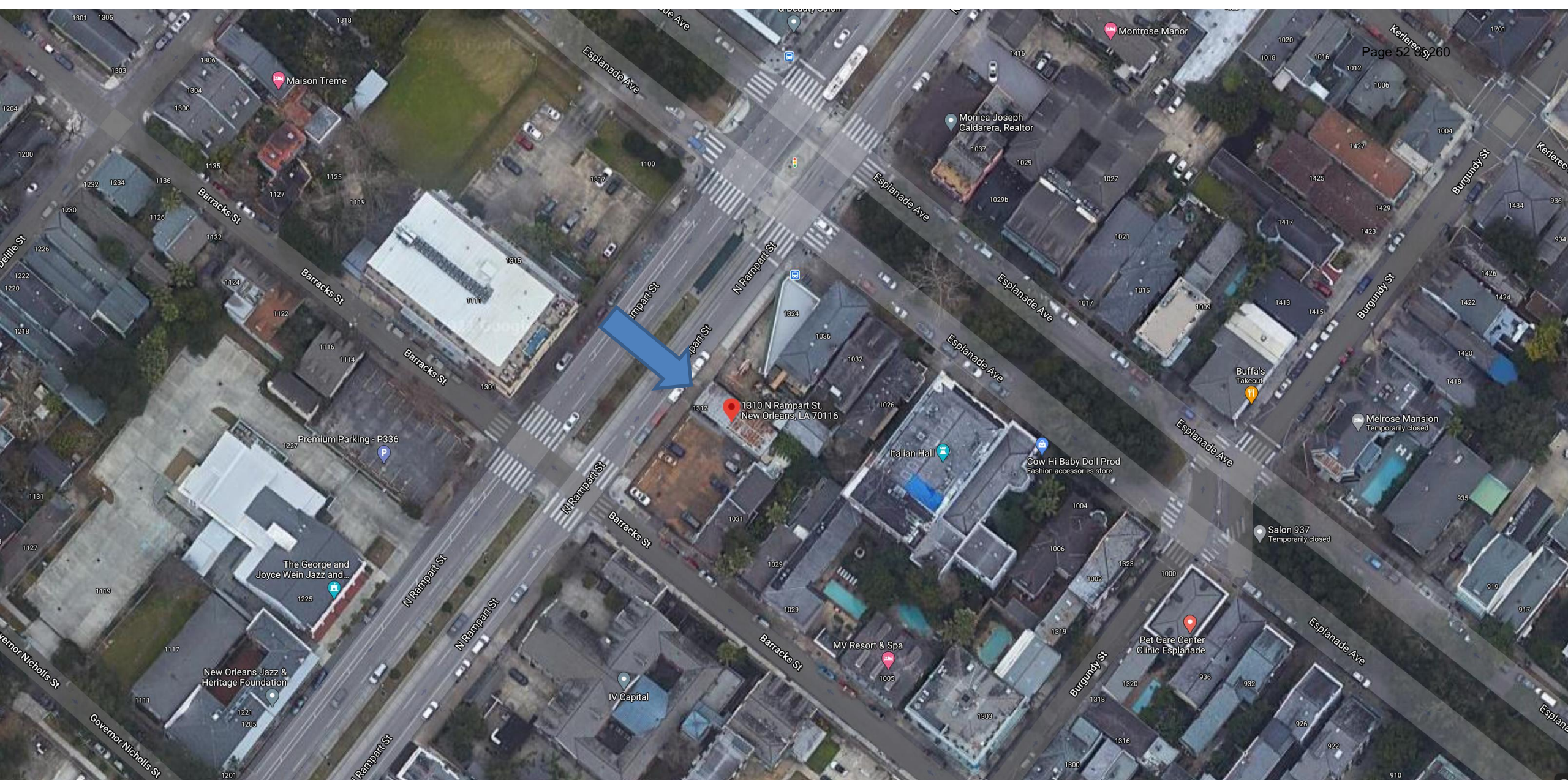
PROPOSED





**1310 N Rampart**





1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021





1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021





# CONSTRUCTION DOCUMENTS - EMERGENCY ROOF REPAIR AND ROOF RACK ADDITION

1310 N RAMPART ST  
NEW ORLEANS, LA 70116

Page 60 of 260

## PROJECT INFORMATION:

PROPERTY DESCRIPTION: SQ 158 LOT 3 N RAMPART 2383  
INCLUDES 1312-14 N RAMPART ST

ZONING DISTRICT VCC-2

BUILDING SQUARE FOOTAGE: 2,826 SF GROSS  
1ST FLOOR SF EXISTING (BUSINESS): 1,413 SF GROSS  
2ND FLOOR SF EXISTING (2 APARTMENTS): 1,413 SF GROSS

PROJECT DESCRIPTION  
EMERGENCY ROOF REPAIR FOLLOWING HURRICANE ZETA.  
ADDITION OF ROOF RACK.

OCCUPANCY CLASSIFICATION  
IBC: Mixed - Section 304 Business Group B (1ST FLOOR)  
Residential Group R (2ND FLOOR)  
NFPA: Mixed - Business (1ST FLOOR)  
Residential (2ND FLOOR)

SPRINKLERED: NO  
FIRE ALARM: NO  
CONSTRUCTION TYPE: IBC V-B NFPA V1000

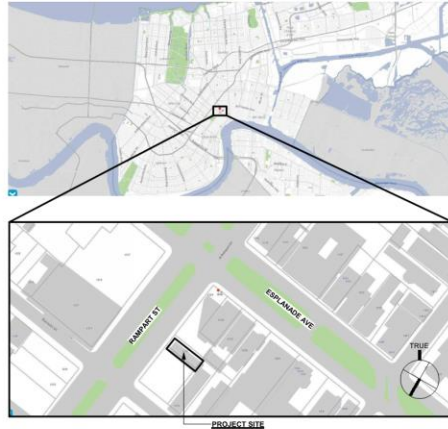
APPLICABLE CODES:  
2015 IBC  
2015 NFPA  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL FUEL GAS CODE  
2015 LOUISIANA STATE PLUMBING CODE  
2015 NATIONAL ELECTRIC CODE  
2015 ADA/AGADA

OWNER: EPLANADE NO LA LLC  
10 FUL TON LANE  
BROOKLYN, NY 11217

PROFESSIONAL OF RECORD

ARCHITECT: M3 DESIGN GROUP LLC  
328 BARRACKS ST  
NEW ORLEANS, LA 70119  
FOR: MYLES MARTIN 7597

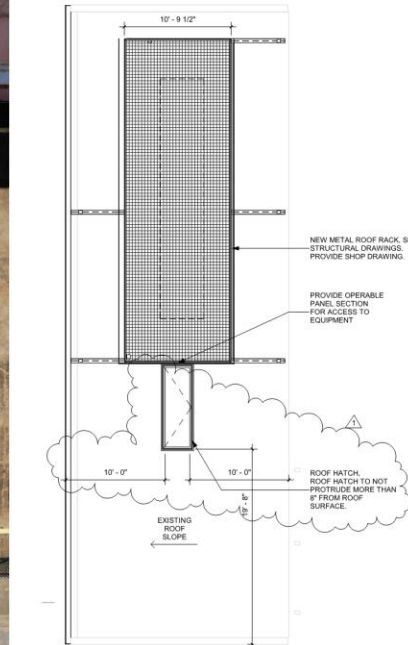
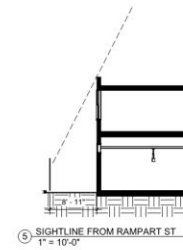
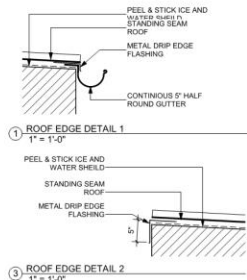
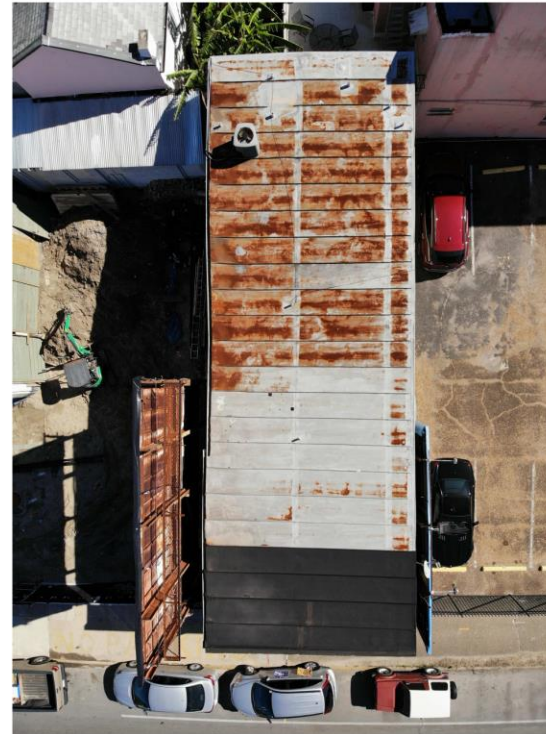
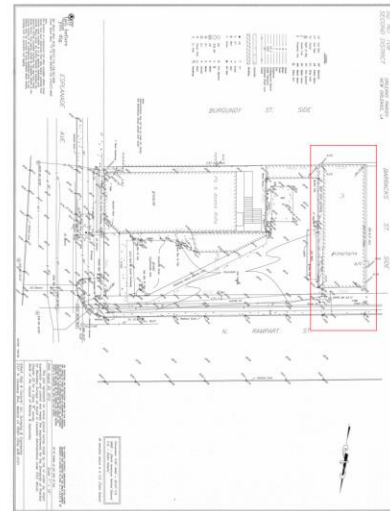
## VICINITY MAP:



## GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ALL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS & VCC IF EXISTENT.
3. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, INSIDE FACE OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND ADJACENT WORK AREAS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
5. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK. EXTERIOR DEMO REQUIRES VCC APPROVAL.
6. PRIOR TO THE SHUT DOWN OF TYPING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
7. THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES WITH ALL LOCAL, STATE, AND FEDERAL CODES.
8. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
9. ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

SHEET LIST				
Sheet Number	Sheet Name	Issue Date	Current Revision	Current Revision Description
A1.0	TITLE SHEET	11/16/20	1	06/09/21 VCC REVISIONS
A3.2	FLOOR PLANS	04/01/21	1	06/09/21 VCC REVISIONS
A3.3	ROOF HATCH	07/14/21	1	06/09/21 VCC REVISIONS



1310 RAMPART ST RENOVATION  
1310 RAMPART ST  
NEW ORLEANS, LA 70116

18.006.000V.COM

DATE: 06/09/21

TYPE (SEE CHANGE LOG)  
1 VCC REVISIONS



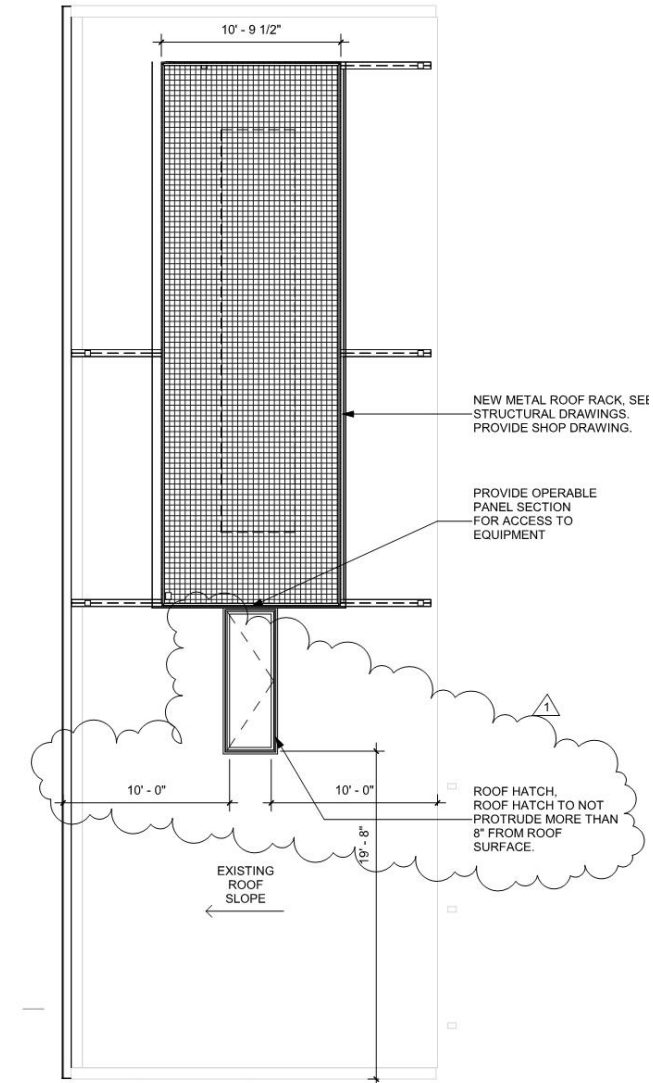
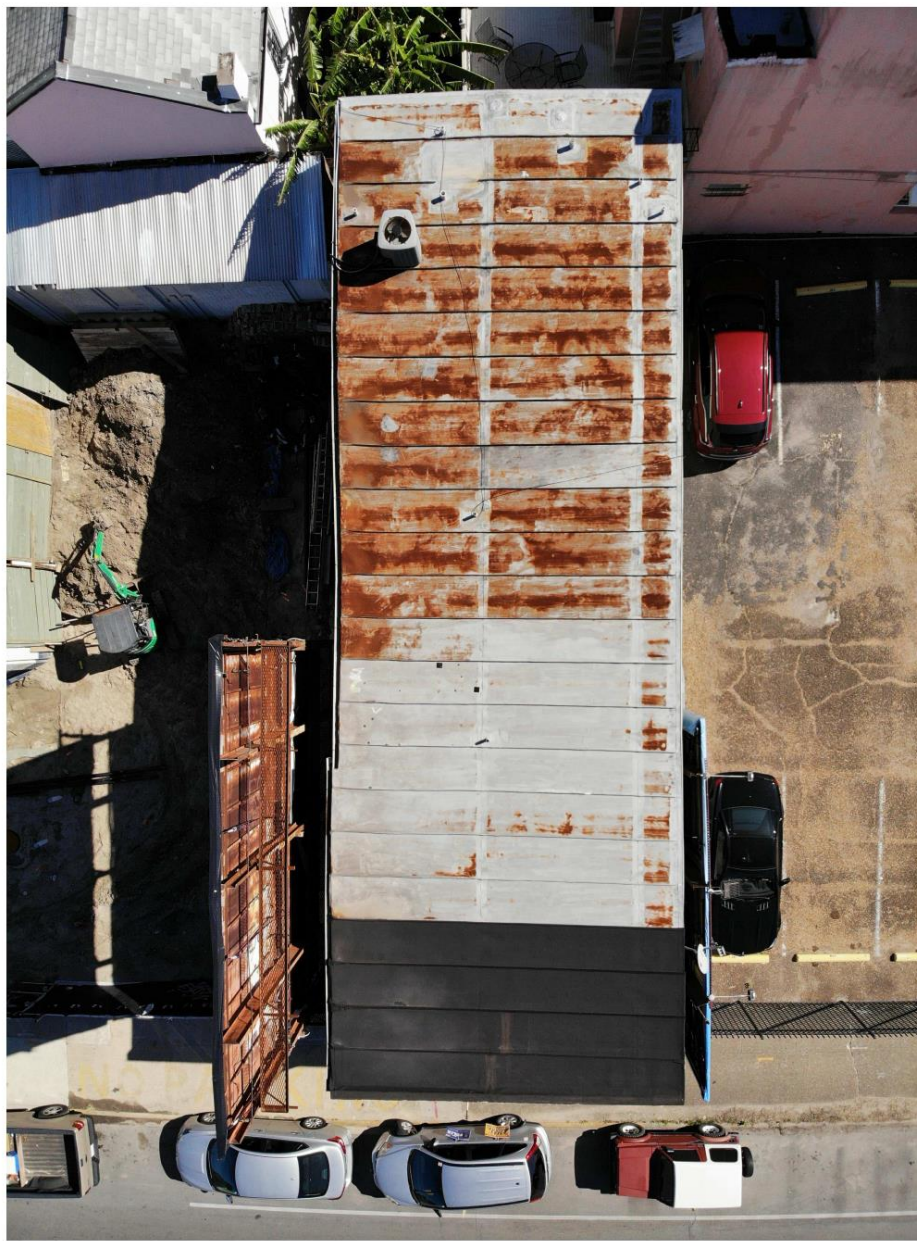
A1.0  
TITLE SHEET

1310 N Rampart  
VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021







1310 N Rampart

VCC Architectural Committee

August 24, 2021

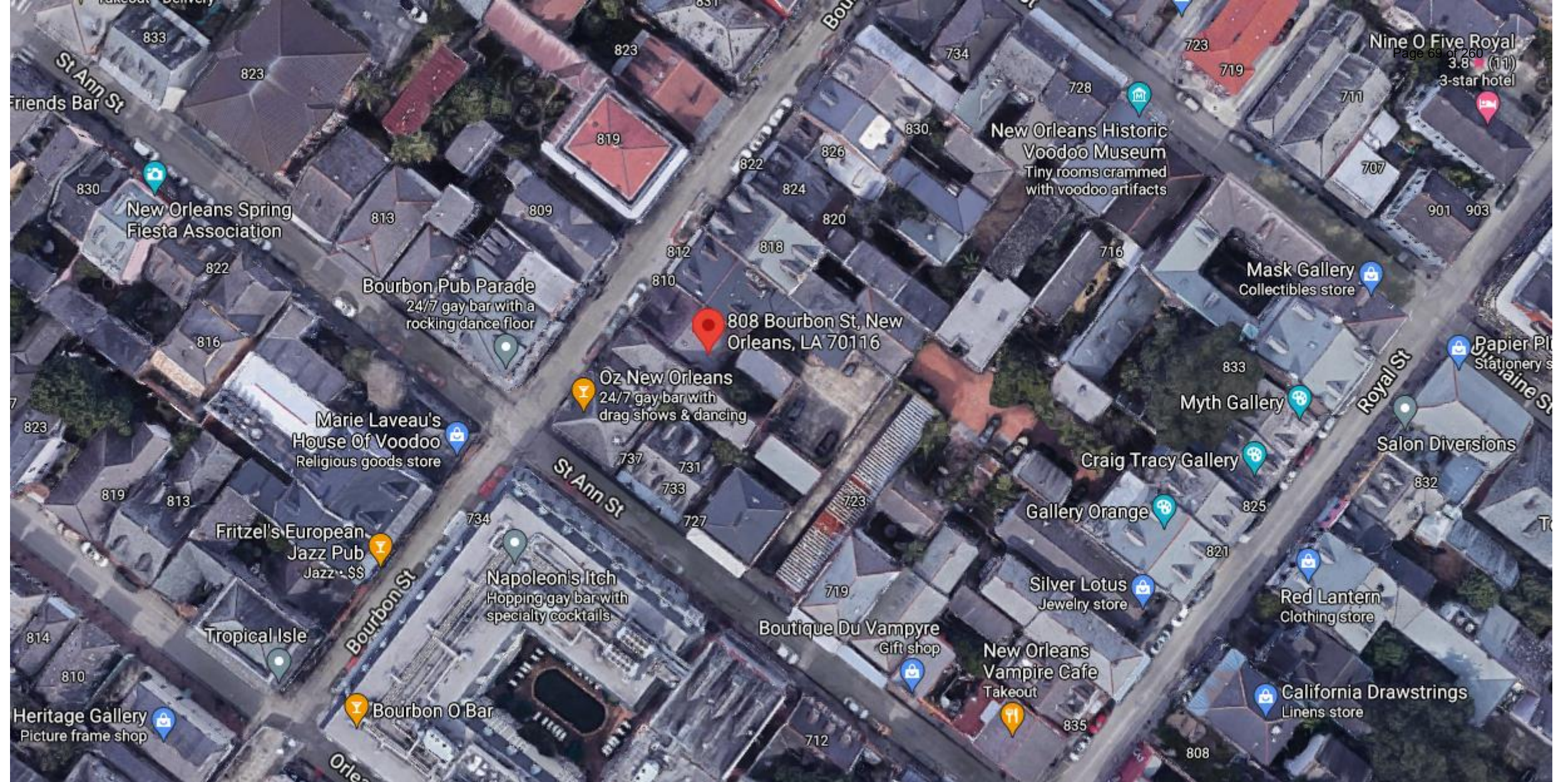






**808 Bourbon**





808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon

VCC Architectural Committee

03 14 2019

August 24, 2021







808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon

VCC Architectural Committee

August 24, 2021







808 Bourbon







808 Bourbon

VCC Architectural Committee

August 24, 2021

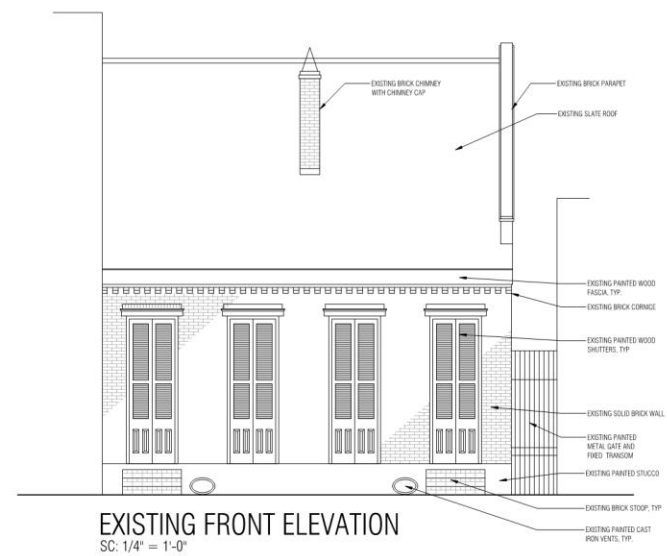
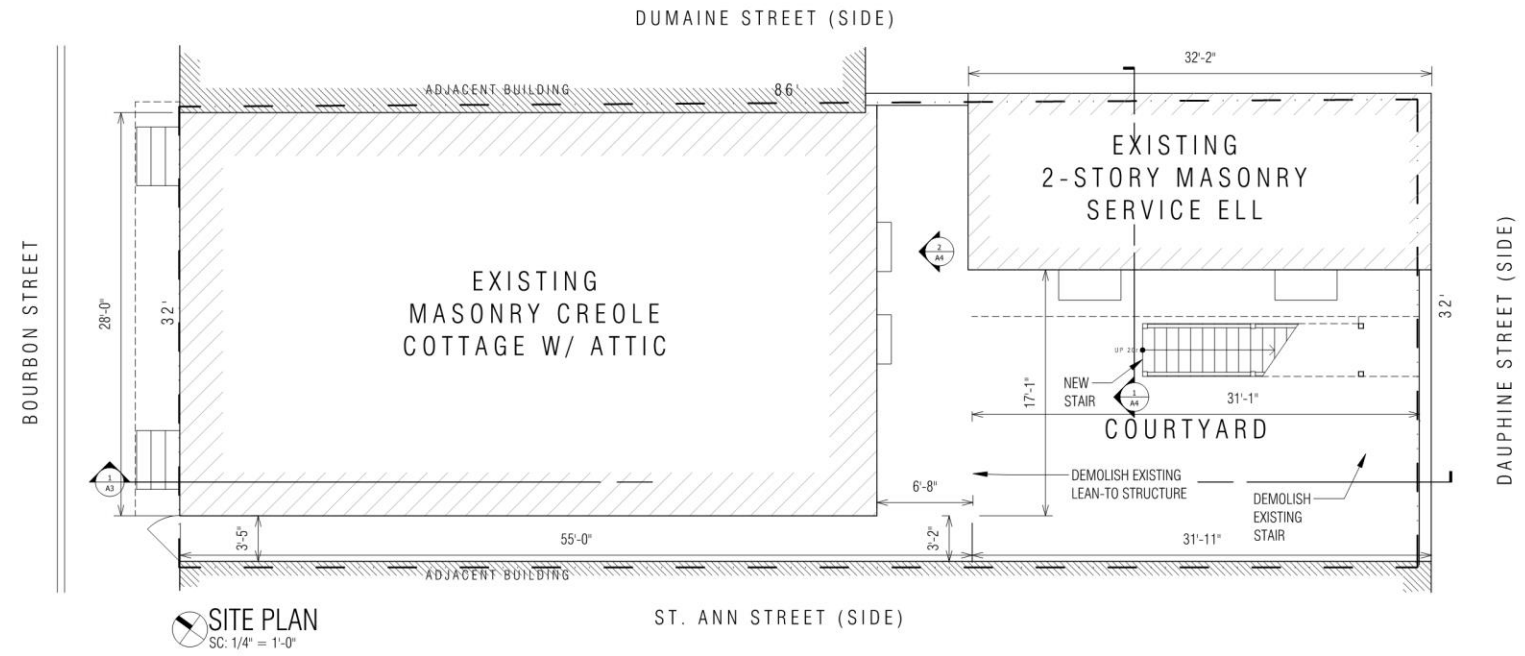






808 Bourbon





808 Bourbon

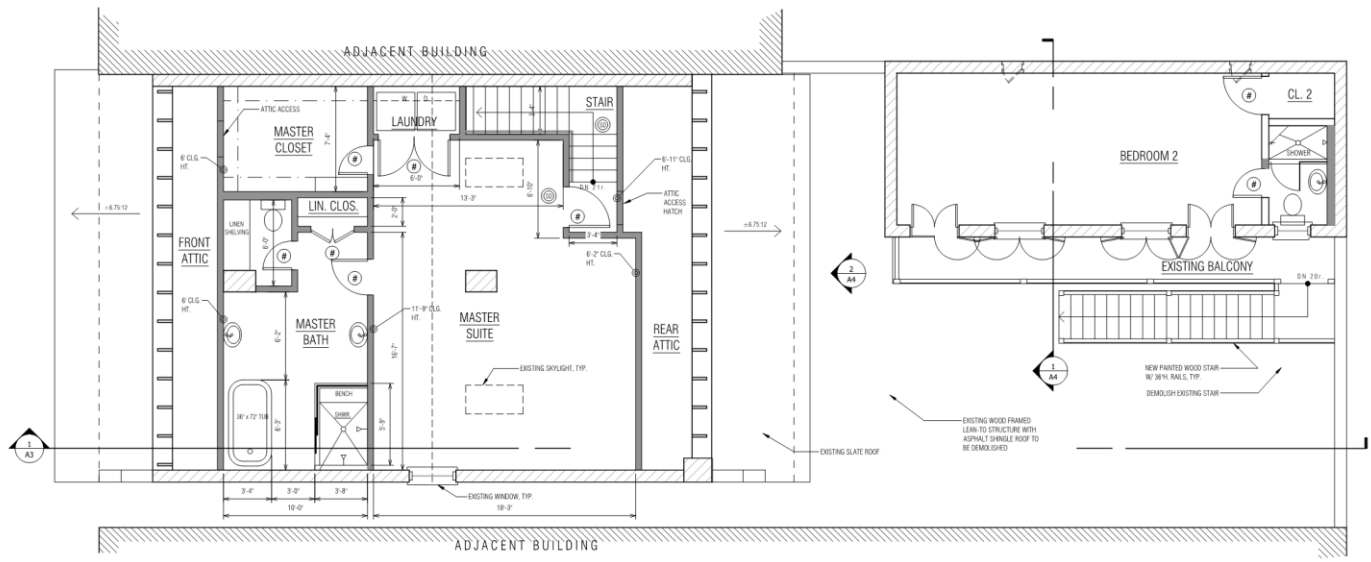
VCC Architectural Committee

<b>RENOVATIONS OF</b> 808-10 BOURBON ST. RESIDENCE New Orleans, Louisiana 70116	 <b>LKHarm Architects</b> A Professional Architectural Corporation 6230 Argonne Boulevard New Orleans, Louisiana 70124 504.485.5870 harmo@lkharmarchitects.com	7.19.2021	<b>A1</b> LKH#3421
		8.17.2021	

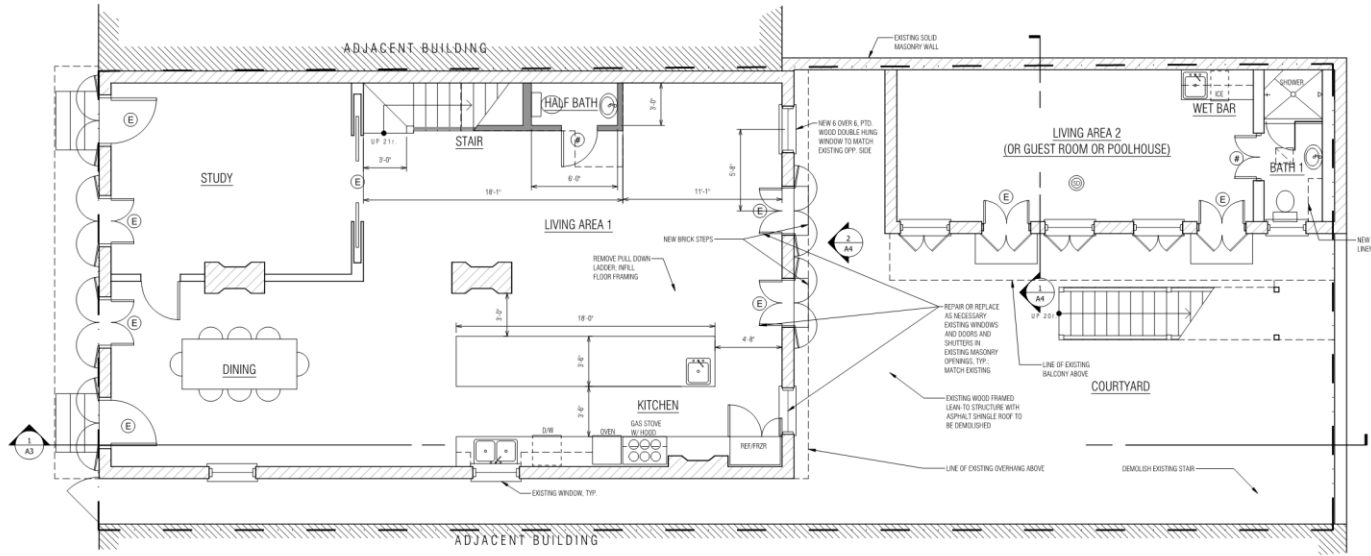
August 24, 2021







SECOND FLOOR PLAN  
SC: 1/4" = 1'-0"



FIRST FLOOR PLAN  
SC: 1/4" = 1'-0"

**FLOOR PLAN LEGEND:**

- NEW INTERIOR STUD WALL
- NEW EXTERIOR WALL PER PLANS AND ELEVATIONS
- EXISTING SOLID MASONRY WALL
- EXISTING BRICK WALL
- DEMOLISH
- 2 ROWS OF VINYL COATED WIRE SHELF / ROD
- SMOKE / CARBON MONOXIDE DETECTOR HARDWIRED TO HOUSE ELECTRICAL. DETECTORS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS.
- EXISTING DOOR OR NEW TO MATCH EXISTING
- NEW DOOR
- CEILING MOUNTED ELECTRICAL EXHAUST FAN DUCTED TO EXTERIOR

NOTE: EXISTING CONSTRUCTION IS INDICATED AS DASHED IN THE LEGEND, SCHEDULES AND/OR FLOOR PLANS. ALL OTHER ITEMS ARE NEW.

808 Bourbon

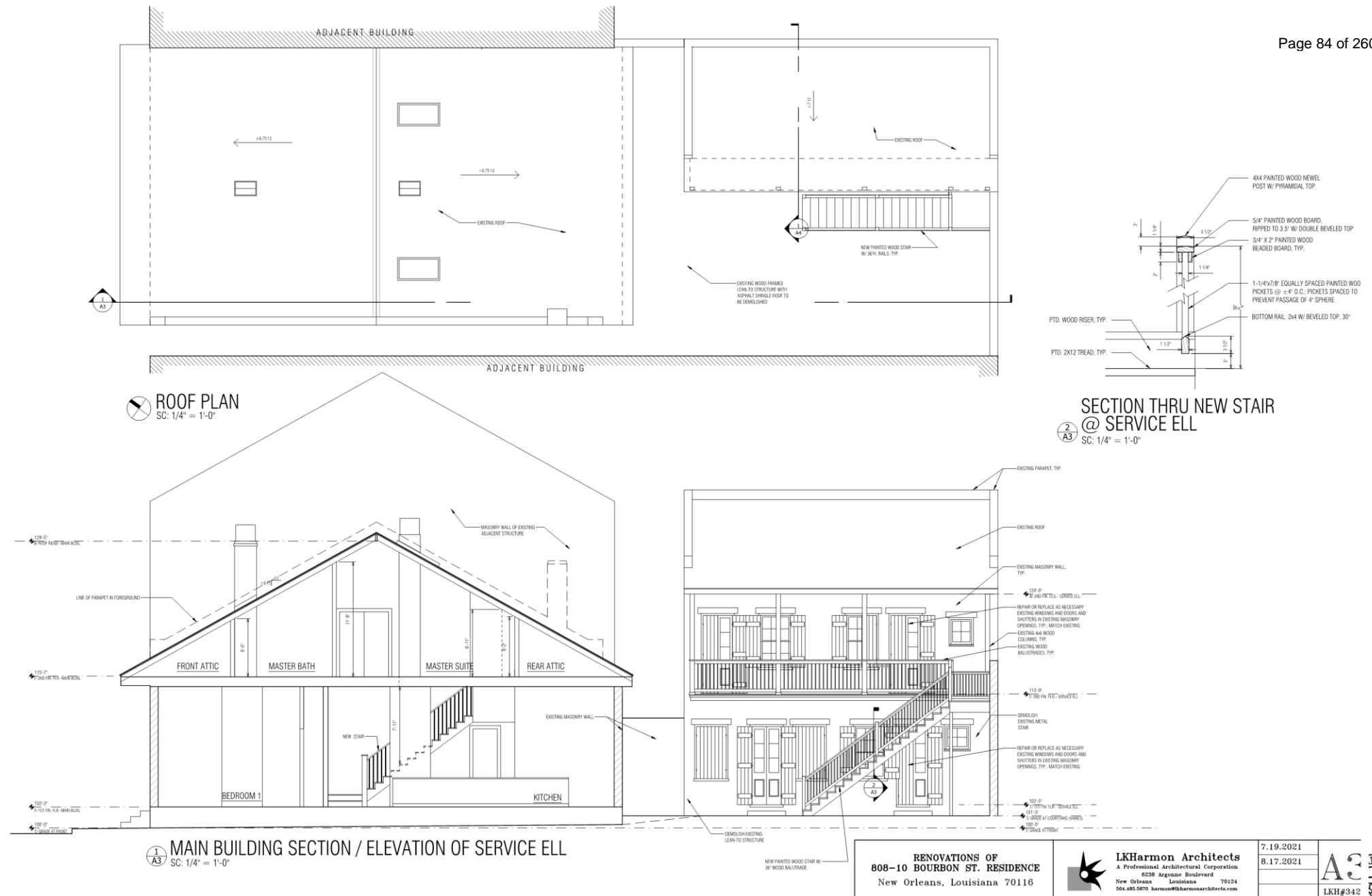
VCC Architectural Committee

<b>RENOVATIONS OF</b> 808-10 BOURBON ST. RESIDENCE New Orleans, Louisiana 70116	 <b>LKHarm Architects</b> A Professional Architectural Corporation 6236 Argonne Boulevard New Orleans, Louisiana 70124 504.485.5870 harmoon@lkharmarchitects.com	7.19.2021	<b>A2</b> LKH#3421
		8.17.2021	

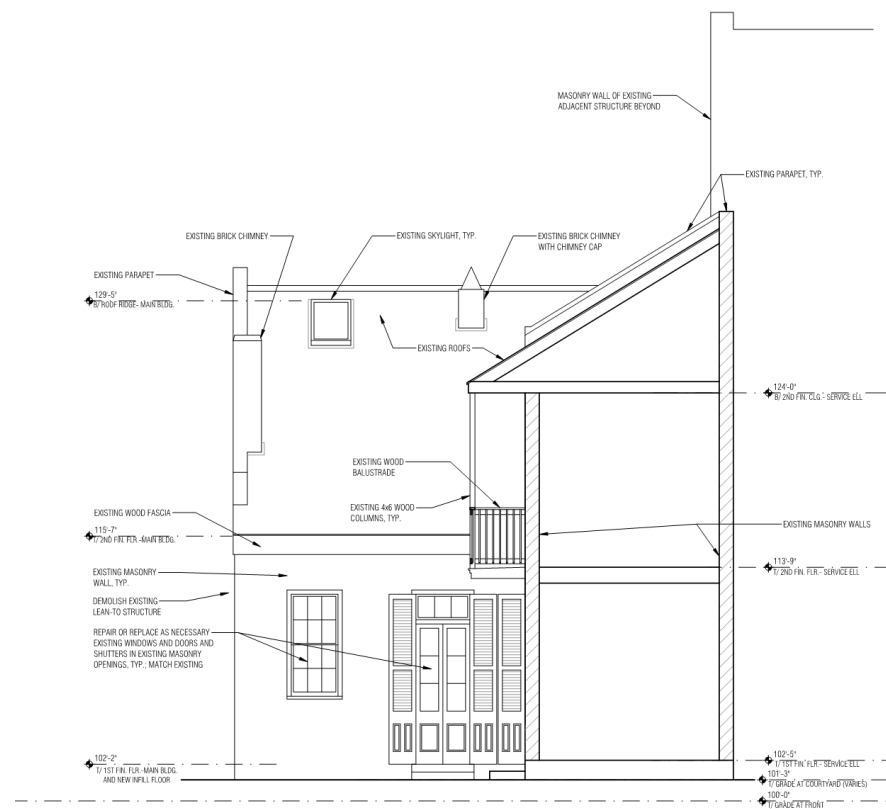
August 24, 2021



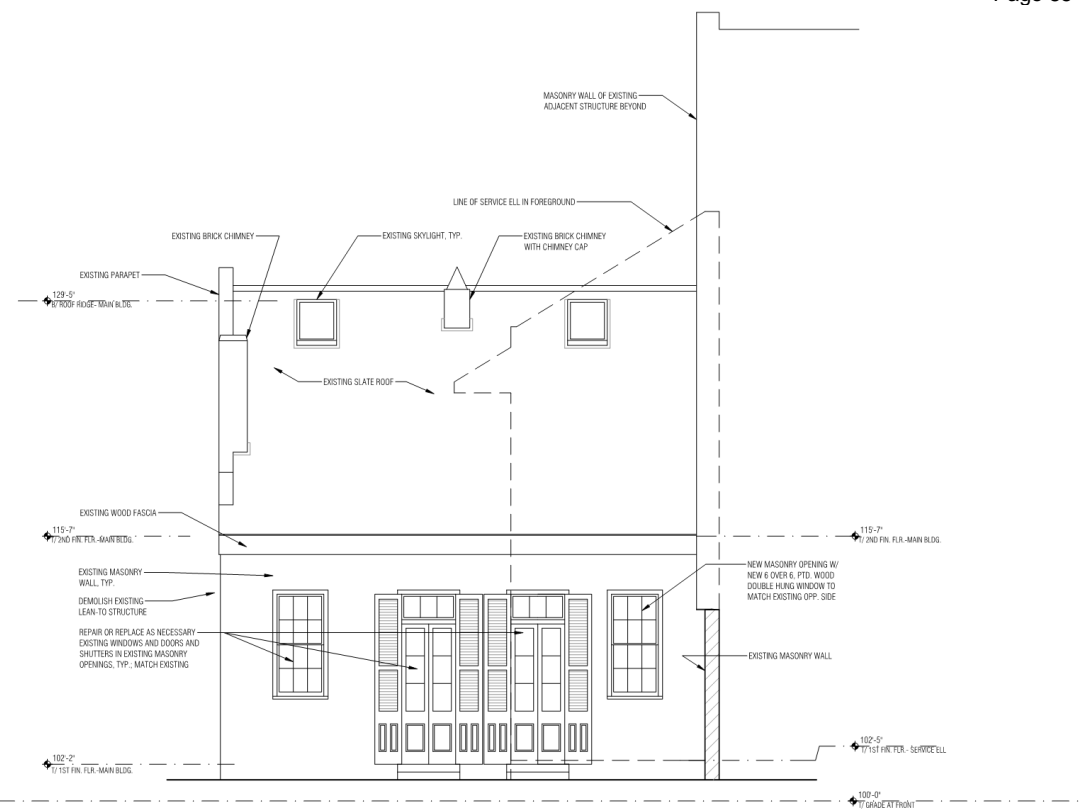








①  
A4  
SERVICE ELL BUILDING SECTION / REAR ELEVATION OF MAIN BUILDING  
SC: 1/4" = 1'-0"



②  
A4  
REAR ELEVATION OF MAIN BUILDING  
SC: 1/4" = 1'-0"

808 Bourbon

VCC Architectural Committee

RENOVATIONS OF  
808-10 BOURBON ST. RESIDENCE  
New Orleans, Louisiana 70116



**LKHarmen Architects**  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans, Louisiana 70124  
504.485.5870 harmon@lkharmenarchitects.com

7.19.2021	A4
8.17.2021	
	LKH#3421



August 24, 2021

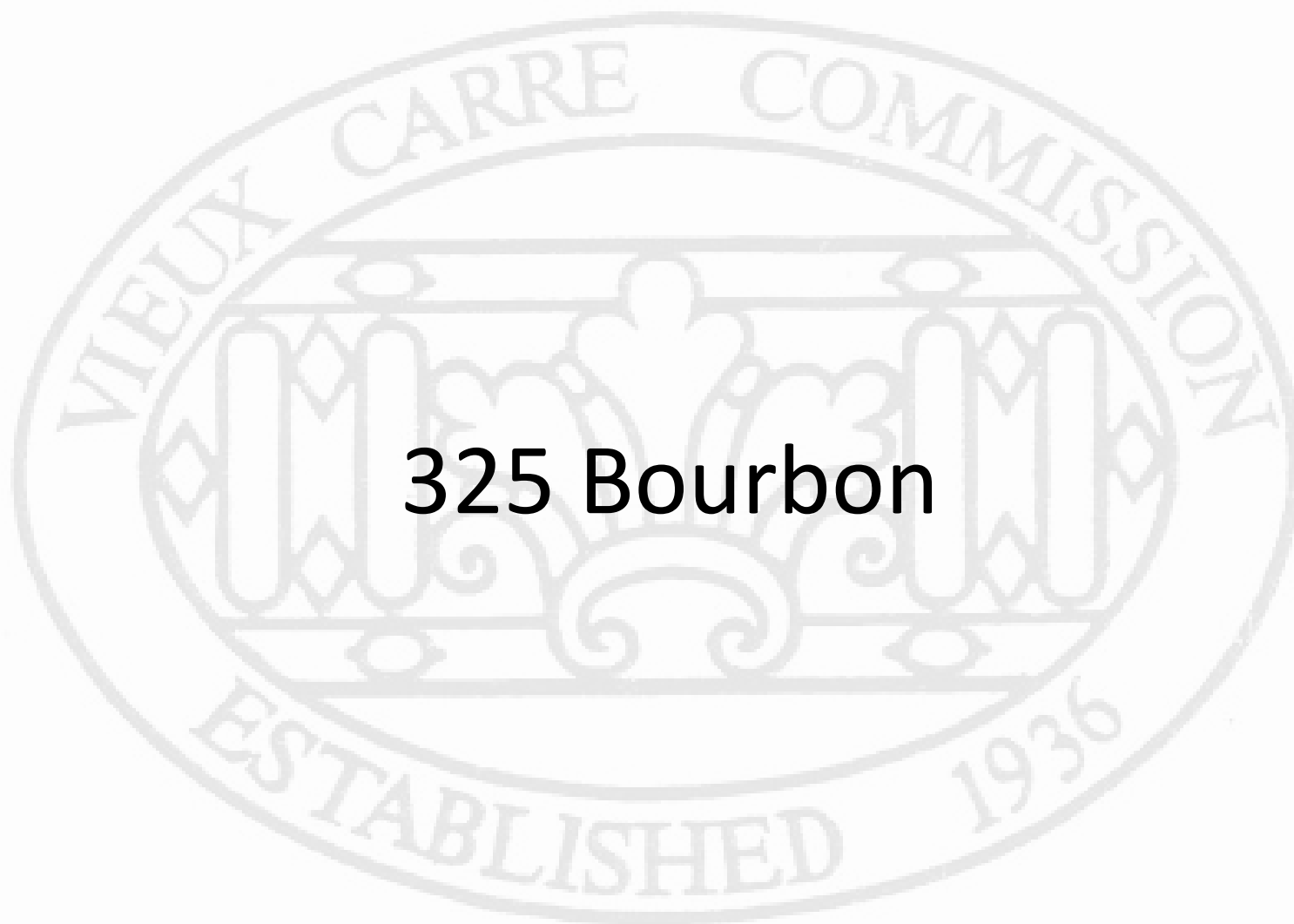




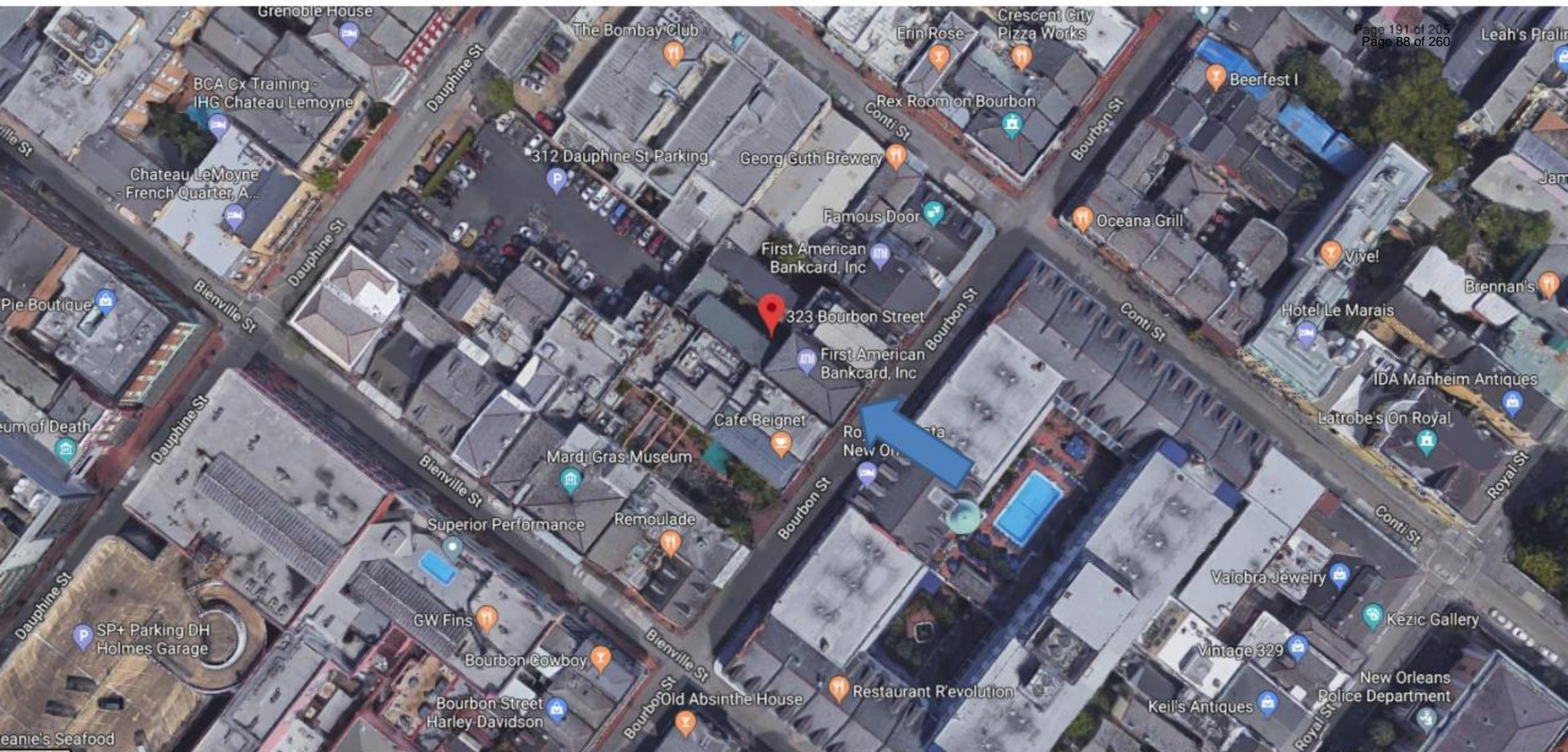
**New Business**



325 Bourbon







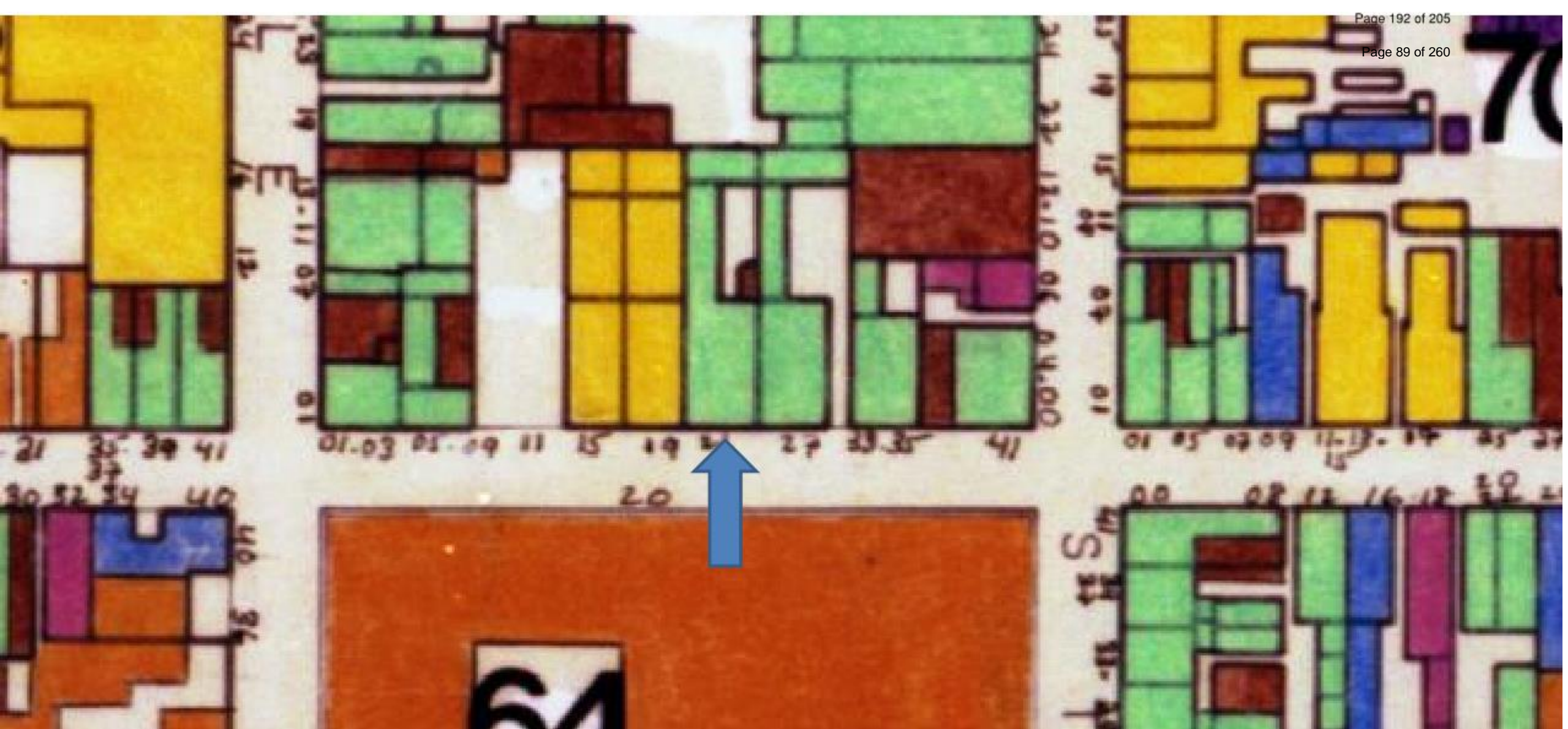
323 Bourbon

VCC Architectural Committee

August 24, 2021







323 Bourbon

VCC Architectural Committee

August 24, 2021







323 Bourbon - 1965

VCC Architectural Committee

August 24, 2021







323 Bourbon -1946

VCC Architectural Committee

August 24, 2021







323 Bourbon

VCC Architectural Committee

August 24, 2021







323 Bourbon

VCC Architectural Committee

August 24, 2021







323 Bourbon

VCC Architectural Committee

August 24, 2021







323 Bourbon

VCC Architectural Committee

August 24, 2021







323 Bourbon

VCC Architectural Committee

August 24, 2021





**AUTHORIZATION TO PUBLISH**  
I have released this document/brand  
and I am not able to publish  
it without (PUBLICATION) to  
present in the next phase of  
work on this project.

**ICMUSENG, LLC**  
44 ST. CHARLES AV., A.P. 302  
NEW ORLEANS, LA 70130  
tel./504/ 554-9043  
icmusing@aol.com

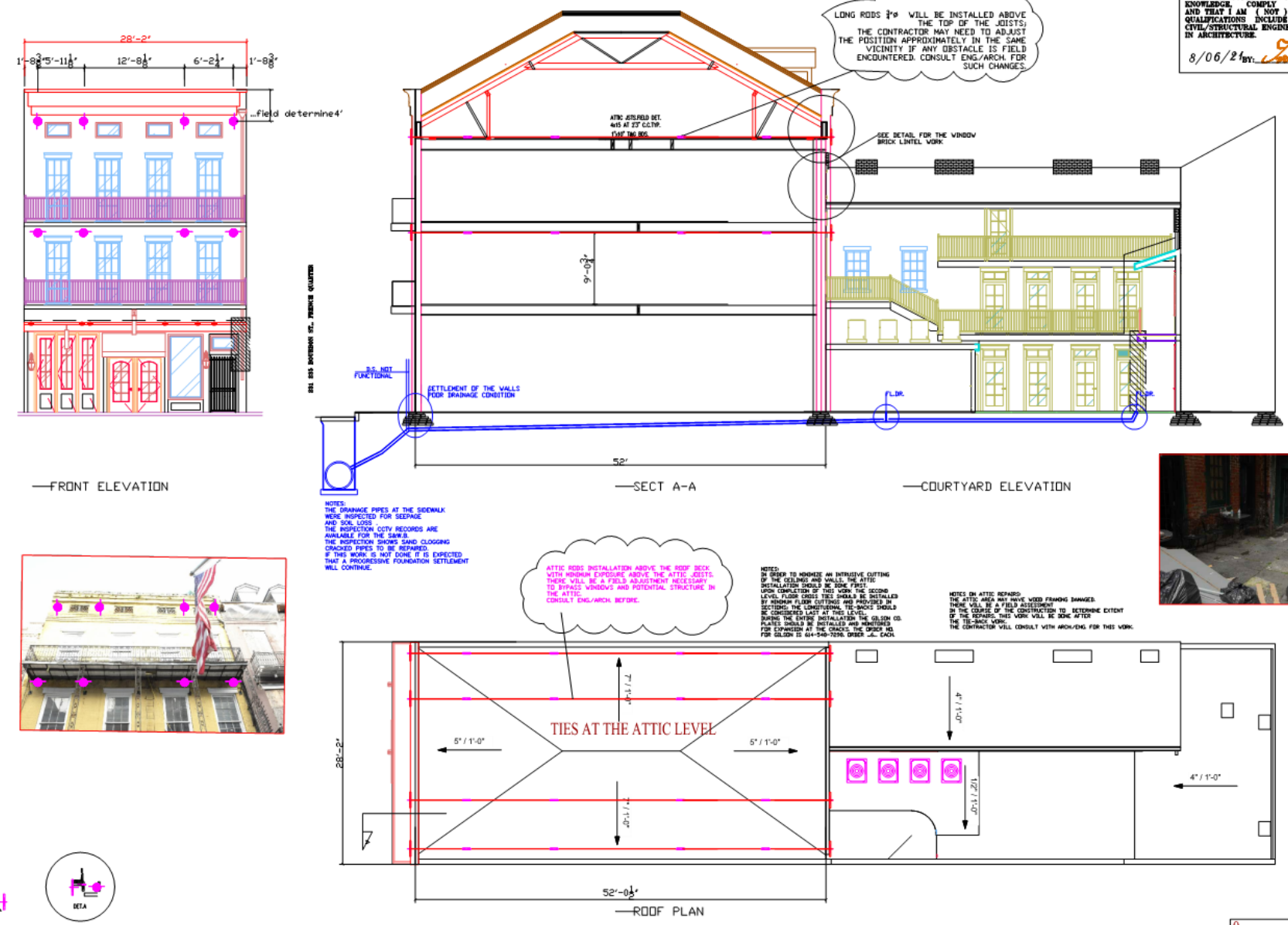


**THE** **NEW** **YORK** **TIMES**

STRUCTURAL IMPROVEMENTS  
351 335 DAWSON ST. NEW ORLEANS, LA  
ORLEANS PARISH, LA

ENGINEER: J. J. HARRIS  
1. LAFAYETTE 100-1000000000  
2. LAFAYETTE 100-1000000000  
3. LAFAYETTE 100-1000000000  
4. LAFAYETTE 100-1000000000  
5. LAFAYETTE 100-1000000000  
6. LAFAYETTE 100-1000000000  
7. LAFAYETTE 100-1000000000  
8. LAFAYETTE 100-1000000000  
9. LAFAYETTE 100-1000000000  
10. LAFAYETTE 100-1000000000  
11. LAFAYETTE 100-1000000000  
12. LAFAYETTE 100-1000000000  
13. LAFAYETTE 100-1000000000  
14. LAFAYETTE 100-1000000000  
15. LAFAYETTE 100-1000000000  
16. LAFAYETTE 100-1000000000  
17. LAFAYETTE 100-1000000000  
18. LAFAYETTE 100-1000000000  
19. LAFAYETTE 100-1000000000  
20. LAFAYETTE 100-1000000000  
21. LAFAYETTE 100-1000000000  
22. LAFAYETTE 100-1000000000  
23. LAFAYETTE 100-1000000000  
24. LAFAYETTE 100-1000000000  
25. LAFAYETTE 100-1000000000  
26. LAFAYETTE 100-1000000000  
27. LAFAYETTE 100-1000000000  
28. LAFAYETTE 100-1000000000  
29. LAFAYETTE 100-1000000000  
30. LAFAYETTE 100-1000000000  
31. LAFAYETTE 100-1000000000  
32. LAFAYETTE 100-1000000000  
33. LAFAYETTE 100-1000000000  
34. LAFAYETTE 100-1000000000  
35. LAFAYETTE 100-1000000000  
36. LAFAYETTE 100-1000000000  
37. LAFAYETTE 100-1000000000  
38. LAFAYETTE 100-1000000000  
39. LAFAYETTE 100-1000000000  
40. LAFAYETTE 100-1000000000  
41. LAFAYETTE 100-1000000000  
42. LAFAYETTE 100-1000000000  
43. LAFAYETTE 100-1000000000  
44. LAFAYETTE 100-1000000000  
45. LAFAYETTE 100-1000000000  
46. LAFAYETTE 100-1000000000  
47. LAFAYETTE 100-1000000000  
48. LAFAYETTE 100-1000000000  
49. LAFAYETTE 100-1000000000  
50. LAFAYETTE 100-1000000000  
51. LAFAYETTE 100-1000000000  
52. LAFAYETTE 100-1000000000  
53. LAFAYETTE 100-1000000000  
54. LAFAYETTE 100-1000000000  
55. LAFAYETTE 100-1000000000  
56. LAFAYETTE 100-1000000000  
57. LAFAYETTE 100-1000000000  
58. LAFAYETTE 100-1000000000  
59. LAFAYETTE 100-1000000000  
60. LAFAYETTE 100-1000000000  
61. LAFAYETTE 100-1000000000  
62. LAFAYETTE 100-1000000000  
63. LAFAYETTE 100-1000000000  
64. LAFAYETTE 100-1000000000  
65. LAFAYETTE 100-1000000000  
66. LAFAYETTE 100-1000000000  
67. LAFAYETTE 100-1000000000  
68. LAFAYETTE 100-1000000000  
69. LAFAYETTE 100-1000000000  
70. LAFAYETTE 100-1000000000  
71. LAFAYETTE 100-1000000000  
72. LAFAYETTE 100-1000000000  
73. LAFAYETTE 100-1000000000  
74. LAFAYETTE 100-1000000000  
75. LAFAYETTE 100-1000000000  
76. LAFAYETTE 100-1000000000  
77. LAFAYETTE 100-1000000000  
78. LAFAYETTE 100-1000000000  
79. LAFAYETTE 100-1000000000  
80. LAFAYETTE 100-1000000000  
81. LAFAYETTE 100-1000000000  
82. LAFAYETTE 100-1000000000  
83. LAFAYETTE 100-1000000000  
84. LAFAYETTE 100-1000000000  
85. LAFAYETTE 100-1000000000  
86. LAFAYETTE 100-1000000000  
87. LAFAYETTE 100-1000000000  
88. LAFAYETTE 100-1000000000  
89. LAFAYETTE 100-1000000000  
90. LAFAYETTE 100-1000000000  
91. LAFAYETTE 100-1000000000  
92. LAFAYETTE 100-1000000000  
93. LAFAYETTE 100-1000000000  
94. LAFAYETTE 100-1000000000  
95. LAFAYETTE 100-1000000000  
96. LAFAYETTE 100-1000000000  
97. LAFAYETTE 100-1000000000  
98. LAFAYETTE 100-1000000000  
99. LAFAYETTE 100-1000000000  
100. LAFAYETTE 100-1000000000

SCALE:  
TIE BACKS.....  
.....  
.....  
(DRAWN BY):  
ICM  
SHEET:  
0821-C-1







— FRONT ELEVATION

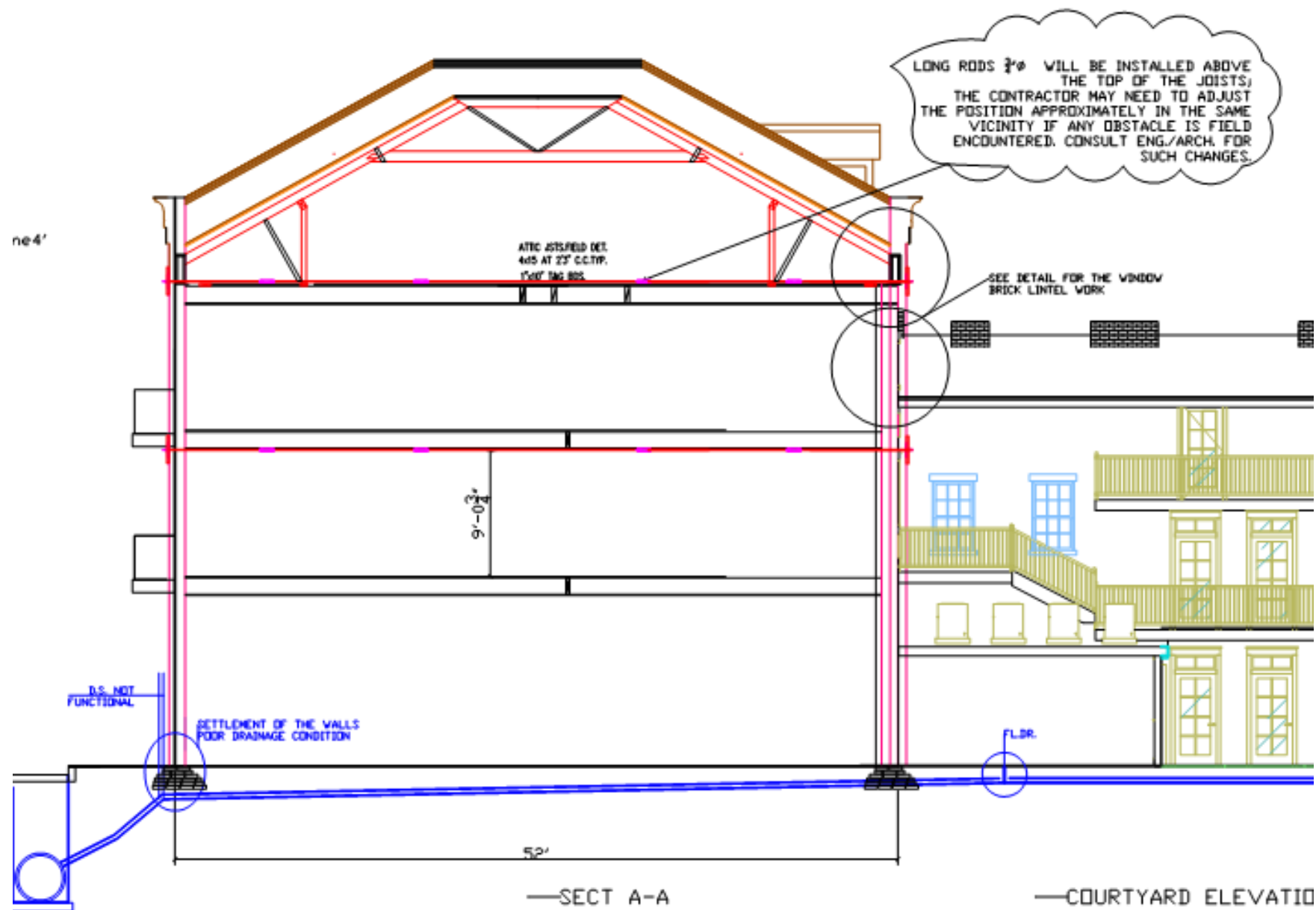
323 Bourbon

VCC Architectural Committee

August 24, 2021







NOTES:  
THE DRAINAGE PIPES AT THE SIDEWALK  
WERE INSPECTED FOR SEEPAGE  
AND SOIL LOSS.  
THE INSPECTION CCTV RECORDS ARE  
AVAILABLE FOR THE S&M.B.  
THE INSPECTION SHOWS SAND CLOGGING

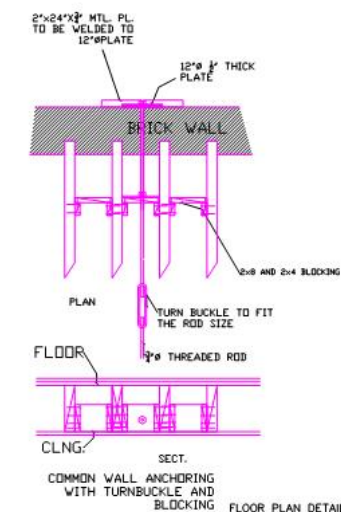
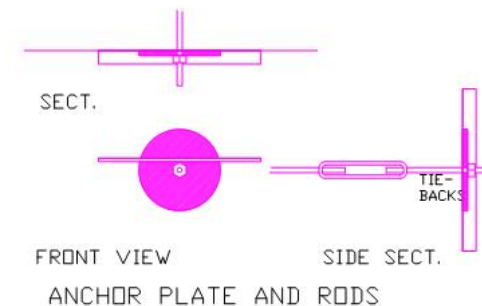
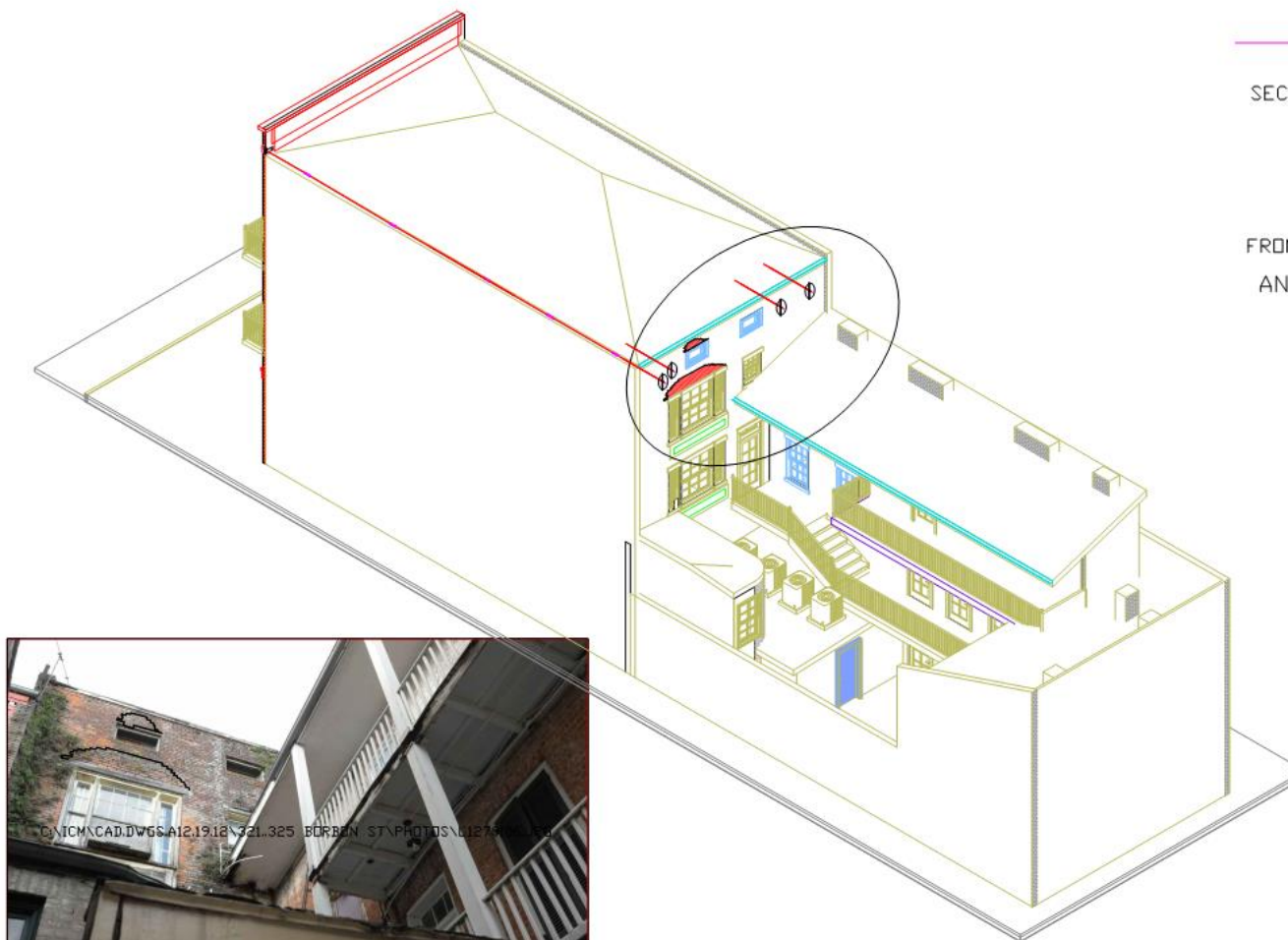
323 Bourbon

VCC Architectural Committee

August 24, 2021







0 10 20 FEET DIM. VERIFY

CAIFENG LLC  
1224 ST. CHARLES AV., AP. NO. 2  
NEW ORLEANS, LA 70130  
www.caifengllc.com

DATE: 08/06/21

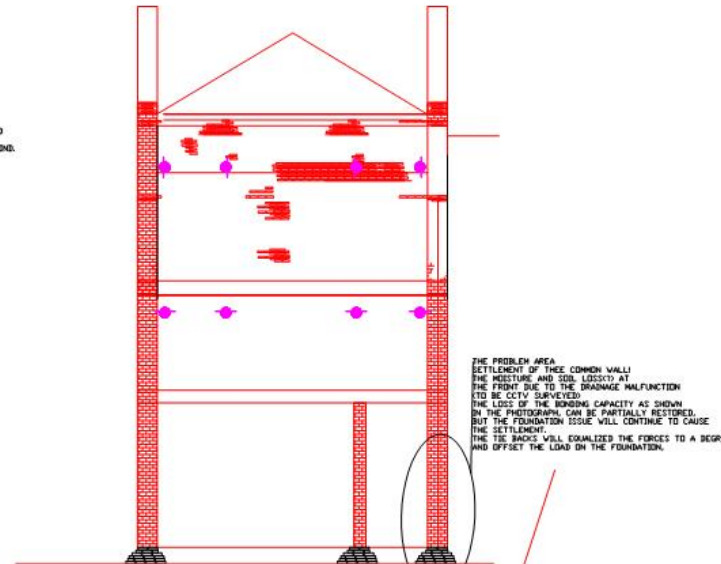
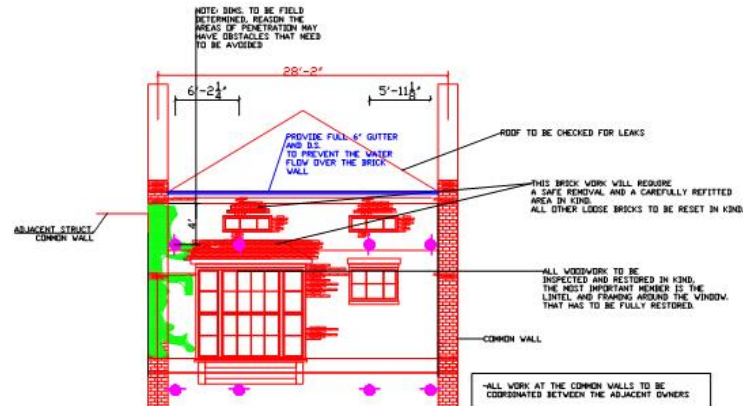
SCALE: 1" = 10'-0"

TIE-BACKS, REAR FACADE BRICK WORK

DRAWN BY: TCM

0821-C-2





-323 323 BOURBON ST FACADE

SETTLEMENT AT THE COMMON WALLS



-CORRIDOR WALL DAMAGED SPOTS

RAVE TO A DEPTH OF 2" TO THE APPROXIMATE FIRM BOND, AND FILL WITH THE NEW MORTAR AS PER SPEC.

POWDERY MATERIAL, TOTAL LOSS OF STRENGTH



-CONDITION OF THE UTILITIES MUST BE RECTIFIED AND THE DRAINAGE IN THE STREET INVESTIGATED FOR SILTATION

NOTES:  
SEVERAL (FIELD GILSAN MONITORING PLASTIC PLATES WILL BE INSTALLED OVER THE CRITICAL CRACKS AND WILL STAY THERE PERMANENTLY. PERIODICALLY THE PLATES WILL BE INSPECTED AND THE BUILDING MOVEMENT RECORDED IF ANY.  
IT IS EXPECTED THAT SOME MINOR ADJUSTMENTS WILL BE NOTICED OVER TIME BUT NOT STRUCTURALLY DETRIMENTAL, CONSIDERING THE AGE OF THE BUILDING ... YEARS

NOTES:  
THE MASONRY REPAIRS: THE CONTRACTOR WILL POINT AND REPLACE THE MORTAR AND BRICKS WHERE NECESSARY IN KIND WITH THE EXISTING MATERIALS AND AS PER APPROVED HISTORIC TYPE OF THE MORTAR WHICH IS 1 PART CEMENT, 6 PARTS HYDRATED LIME, AND 20 PARTS SAND.  
ALL DRILLINGS AND OPENINGS CREATED FOR THE TIE-BACK CONSTRUCTION WILL ALSO BE CAULKED AND REPAIRED TO A SOUND WALL STRUCTURE. IT WILL BE NECESSARY IN THE COURSE OF THE WORK TO POINT OUT SUCH PLACES IN NEED OF THE MASONRY WORK.

THE INTERIOR CAULKING, WOOD REPAIRS AND PAINTING, INCLUDING THE CRACKS FILLING WILL NOT BE A PART OF THIS WORK. THE INTERIOR FINISHES WILL BE DONE BY OTHERS.

THE INTERIOR CUTTING AND REPLACEMENT TO THE LEVEL REQUIRED FOR THE FINISH WORK WILL BE DONE UNDER THIS CONTRACTOR'S ITEMS. A RESTORATION TO A SMOOTH SURFACE OF THE WALL AND CEILING WILL BE REQUIRED WORK FROM THIS CONTRACTOR.

THE RUST PREVENTATIVE COATING OF THE EXPOSED STEEL MEMBERS, SUCH AS THE OUTSIDE EXPOSED STEEL WILL BE RESPONSIBILITY OF THIS CONTRACTOR.

ANY NOT POSSIBLE TO SEE FINDINGS DURING THE CONSTRUCTION THE CONTRACTOR WILL ADDRESS THEM WITH THE ARCH/ENG. IT IS NECESSARY TO PROCEED WITH CAUTION IN THIS OLD BUILDING SINCE THERE ARE NO INTRUSIVE SURVEYS DONE AND THE UNEXPECTED FINDS MAY BE THERE.

NOTES:  
THE SYSTEM OF THE TIE-BACKS IS IMPLEMENTED FIRST, BEFORE ANY WALL BRICK REPAIRS ARE DONE.

THE OUTSIDE PLATES ARE 12" Ø  
THE RODS ARE THREADED RODS 3/4" Ø EQUIVALENT NUTS AND WASHERS TO BE INSTALLED AS PER THIS DRAWING, THE TURN BUCKLES AS SHOWN TO BE AS SPECIFIED FOR 3/4" Ø THREADED RODS,

THE WOOD BLOCKING AS REQUIRED CONSTRUCTED OF 2X8 AND 2X4

TIGHTENING WILL BE DONE TO BALANCE THE ENTIRE SYSTEM TO A REASONABLE TENSION. CONSULT THE ENG./ARCH. FOR ANY NOT FORCEABLE CONDITION IN THE BUILDING DURING THIS WORK.

REPAIR ANY BRICK WALLS, WOOD MEMBERS ENCOUNTERED AND RELATED TO THIS WORK. PROVIDE FOR INCIDENTALS AND FINISHING WORK TO MAKE THE STRUCTURE LESS VISIBLE AS POSSIBLE AND THE FACADE APPEALING WITH THE METAL PLATES, BOLTS AND NUTS.



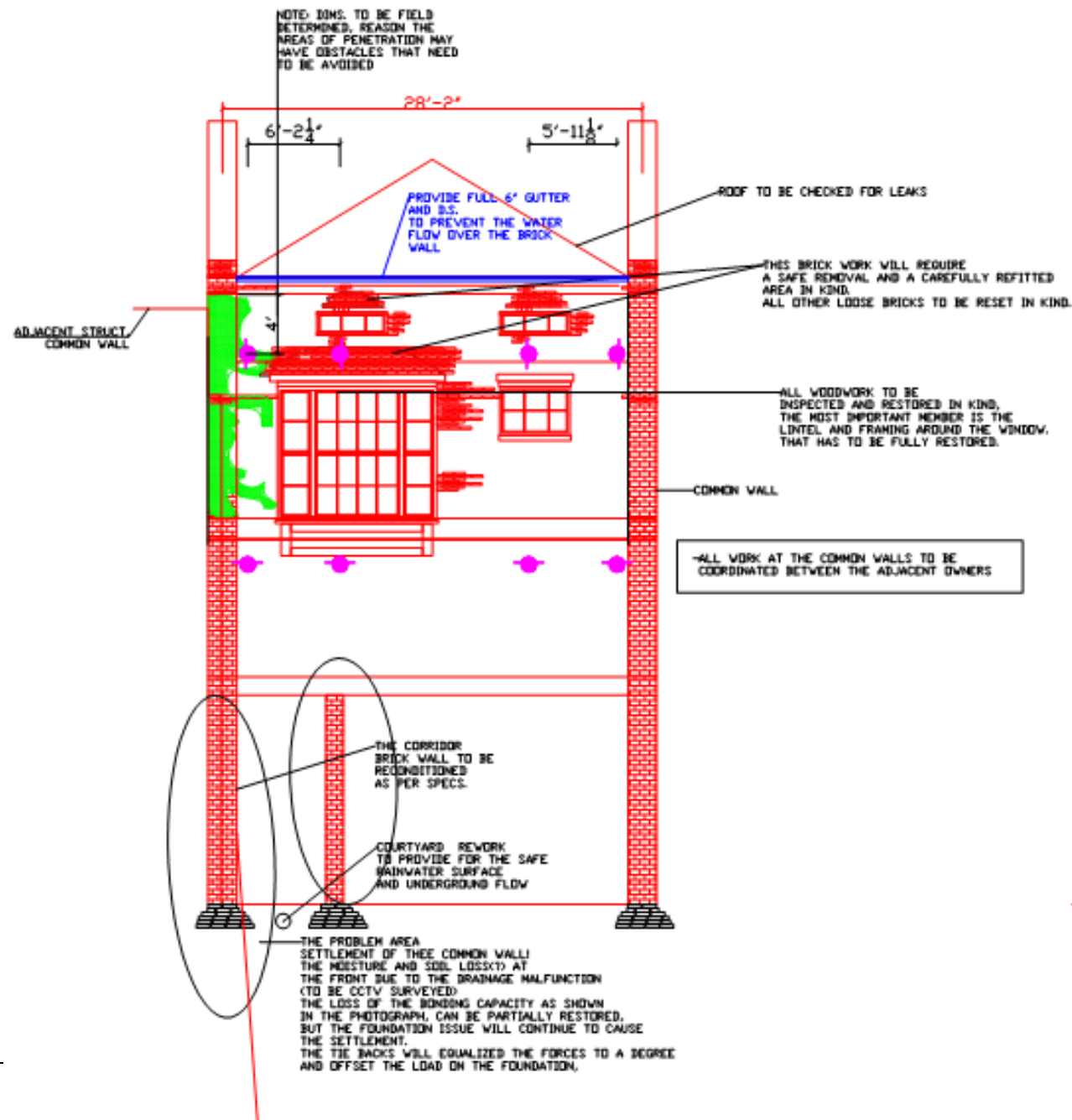
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE.

DATE: 06/06/21  
SCALE:  
TIE BACKS.....  
DET.  
BRICK WORK  
DRAWN BY:  
KCM  
SHEET:  
0821-C-3



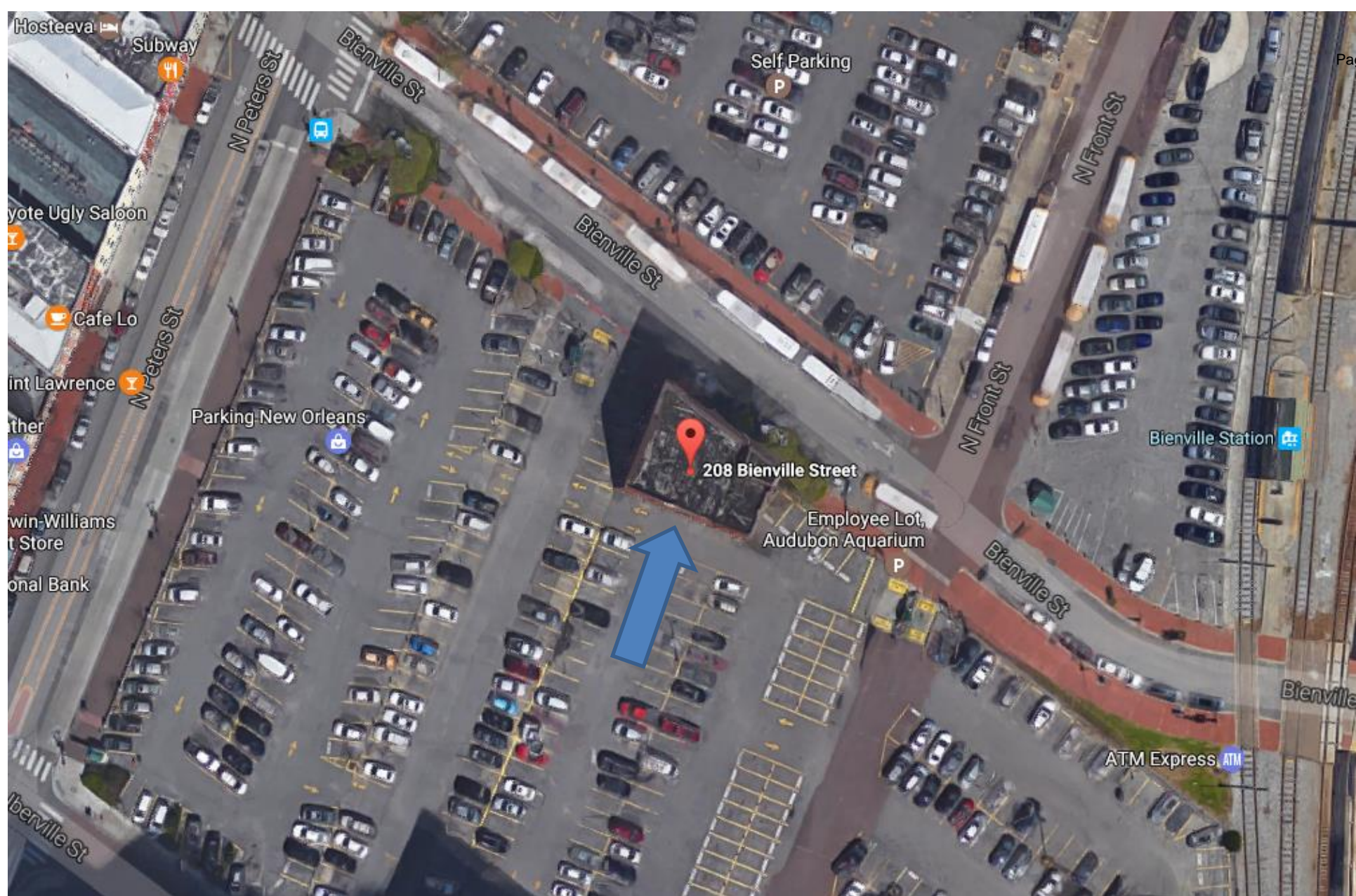




The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll at the base. The shield is flanked by two vertical bars with diamond-shaped details. The words "VIEUX CARRE COMMISSION" are arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

**208 Bienville**



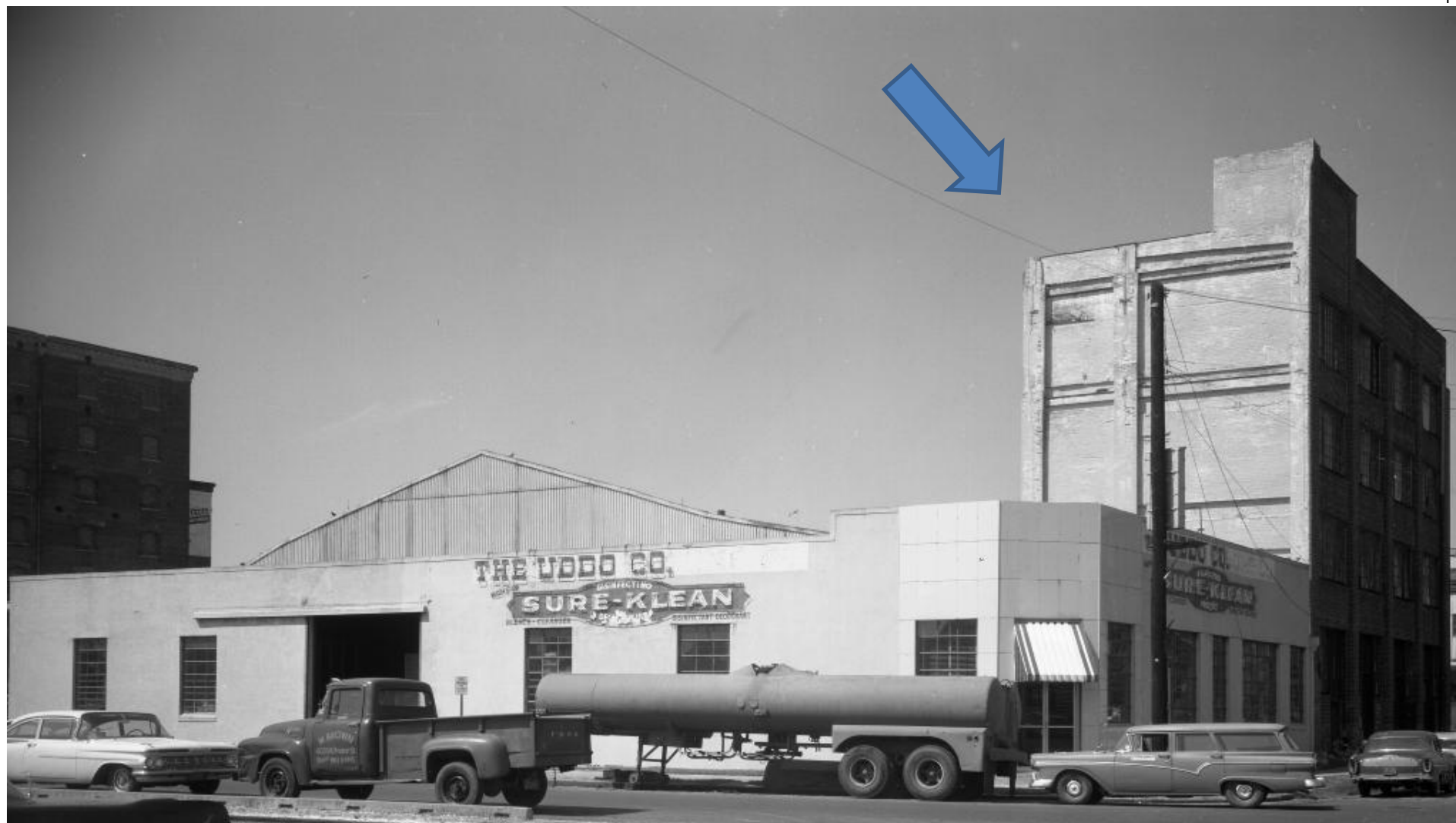


208 Bienville

VCC Architectural Committee

August 24, 2021





208 Bienville, 1962

VCC Architectural Committee

August 24, 2021







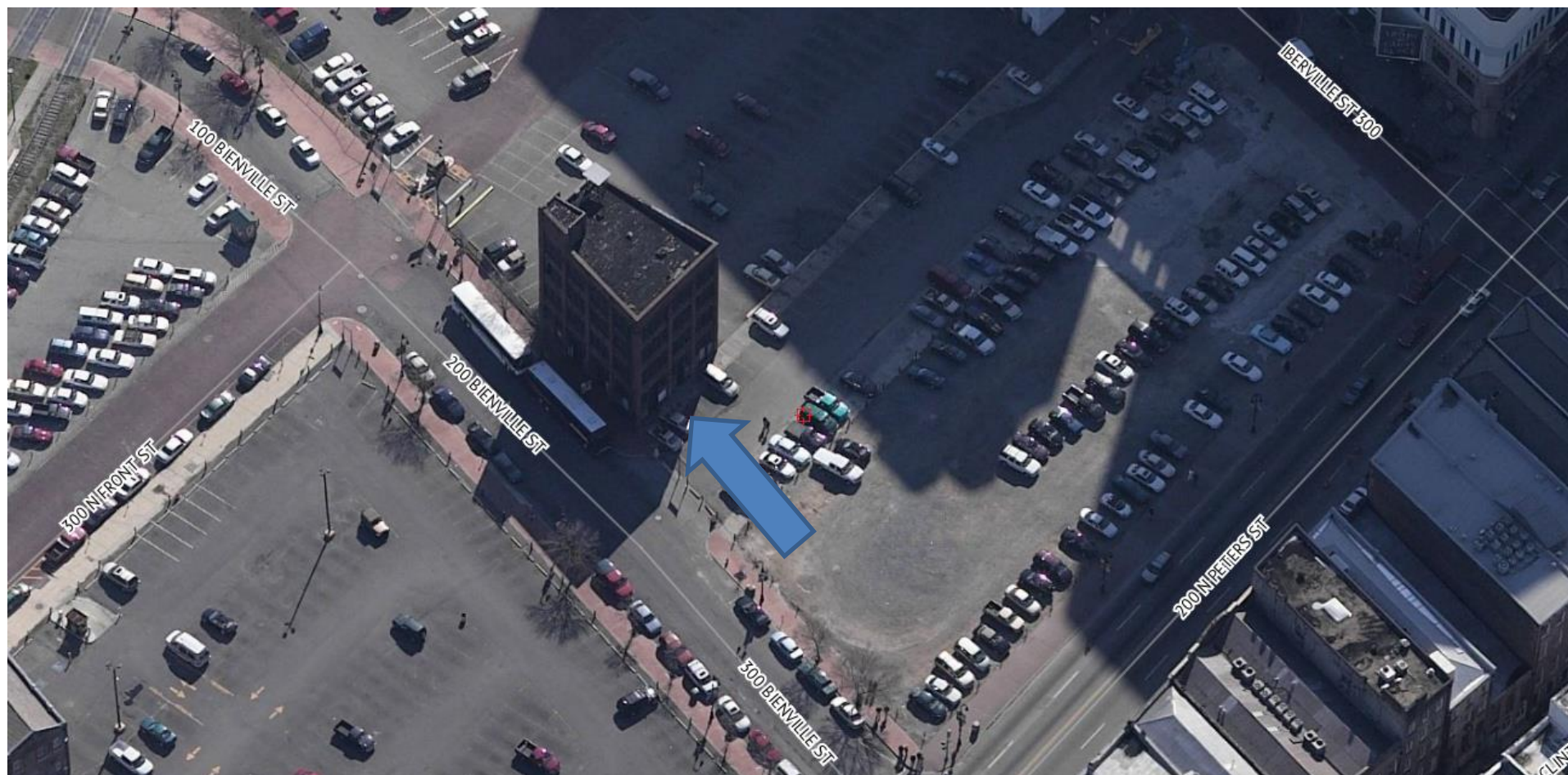
208 Bienville

VCC Architectural Committee

August 24, 2021







208 Bienville

VCC Architectural Committee

August 24, 2021







208 Bienville

VCC Architectural Committee

August 24, 2021





208 Bienville

VCC Architectural Committee



05 27 2021

August 24, 2021







208 Bienville

VCC Architectural Committee

August 24, 2021







208 Bienville

VCC Architectural Committee

August 24, 2021







208 Bienville

VCC Architectural Committee

August 24, 2021







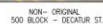
208 Bienville

VCC Architectural Committee

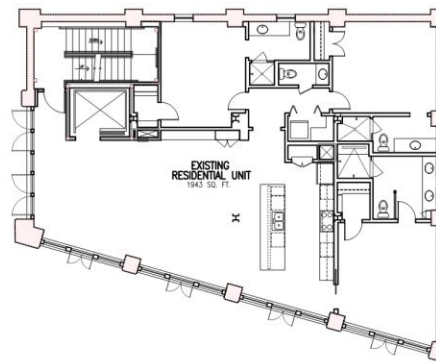
August 24, 2021



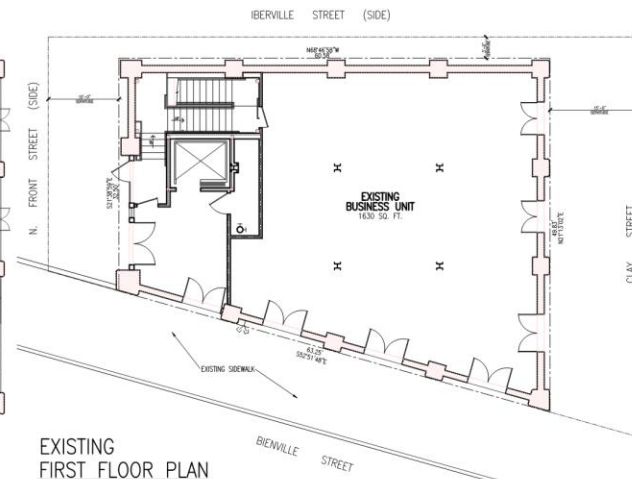




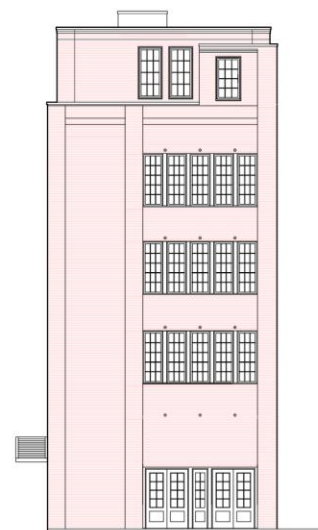
EXISTING  
CANAL PLACE SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



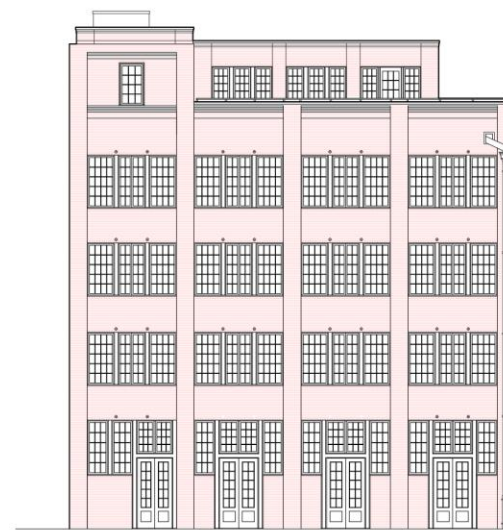
EXISTING  
2ND/3RD/4TH FLOOR PLAN  
SCALE: 1/4" = 1'-0"



EXISTING  
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



EXISTING  
RIVER SIDE ELEVATION



EXISTING  
BIENVILLE STREET ELEVATION  
SCALE: 1/8" = 1'-0"



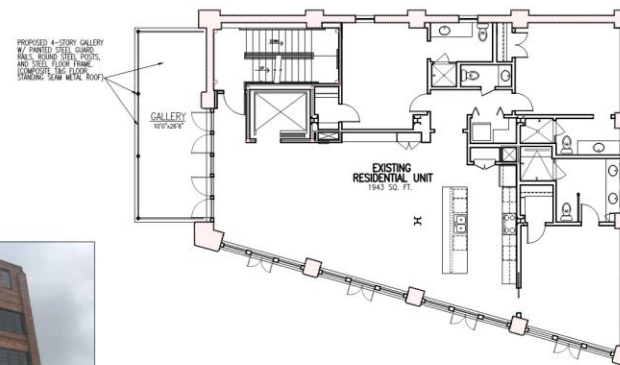
ELEVATION PRIOR TO RECENT RESTORATION



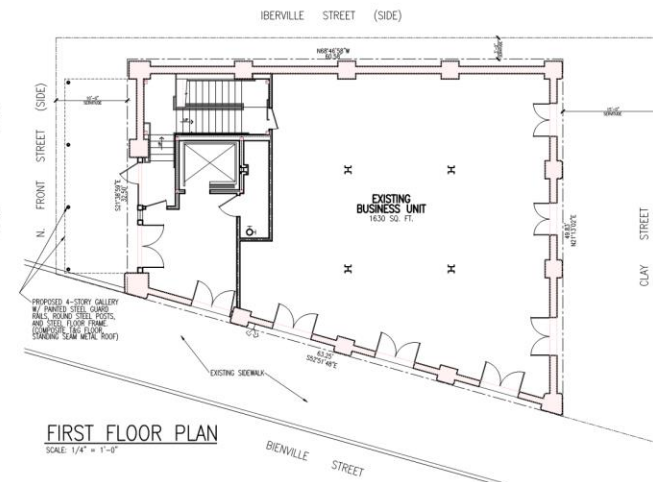
EXISTING CURRENT CONDITIONS



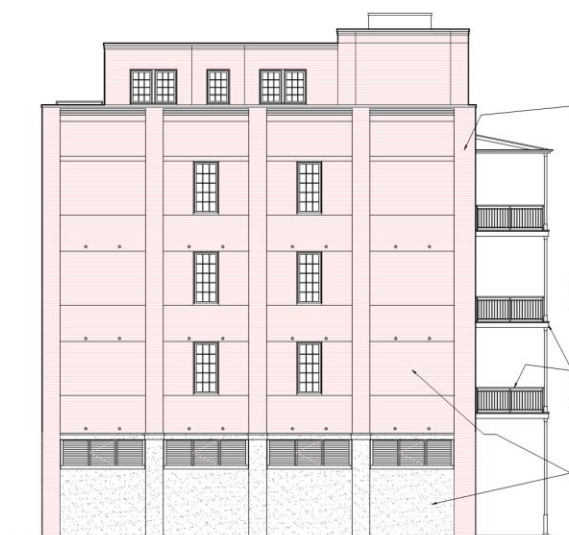
EXISTING CURRENT CONDITIONS



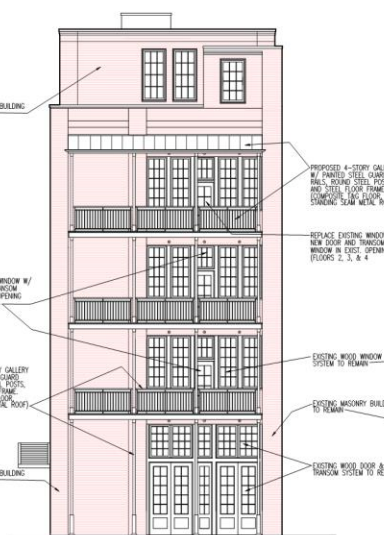
2ND/3RD/4TH FLOOR PLAN  
SCALE: 1/4" = 1'-0"



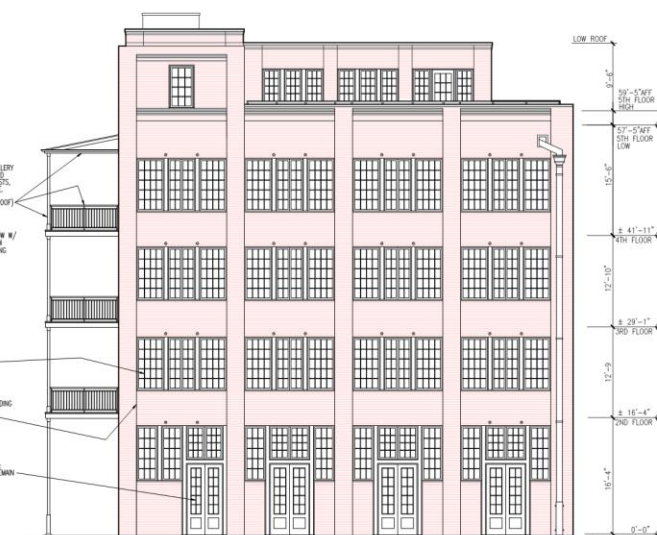
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



CANAL PLACE SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



RIVER SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



BIENVILLE STREET ELEVATION  
SCALE: 1/8" = 1'-0"

TERRELL  
FABACHER  
ARCHITECTS, L.L.C.

These plans and specifications have been prepared by me or under my direct supervision and I am a duly licensed professional architect in the State of Louisiana. I am not responsible for any errors or omissions in these plans and specifications.

GALLERY PROPOSAL  
208 BIENVILLE ST.  
NEW ORLEANS, LOUISIANA

NO. REVISIONS  
CHECKED BY:  
DRAWN BY:  
DATE: 7-27-21  
JOB NO.:

A1

SHEET OF

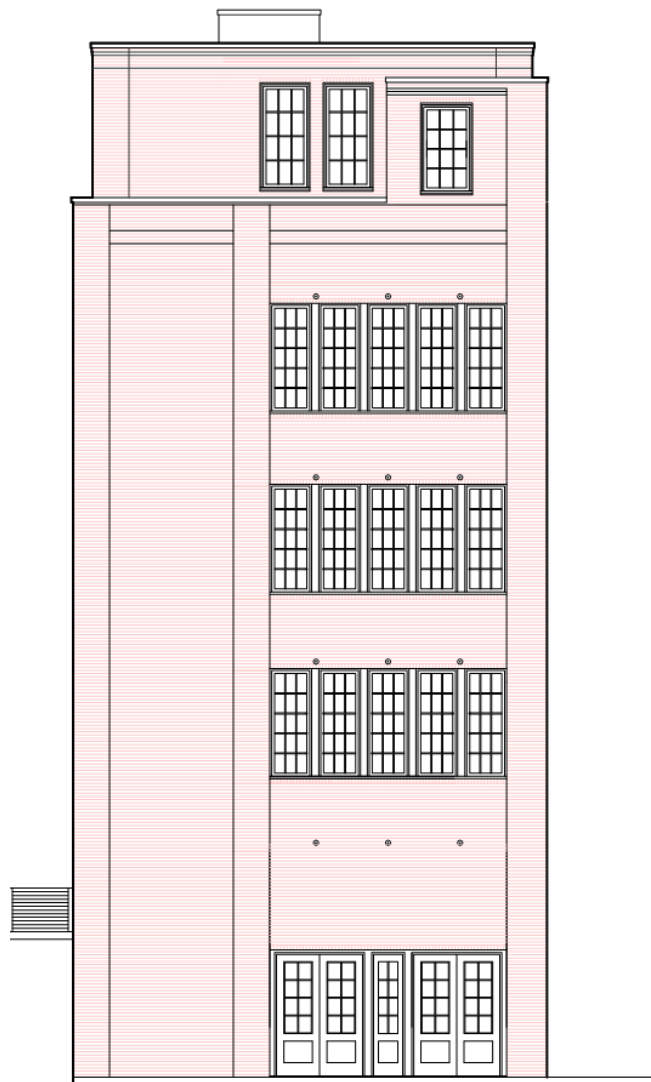


208 Bienville

VCC Architectural Committee

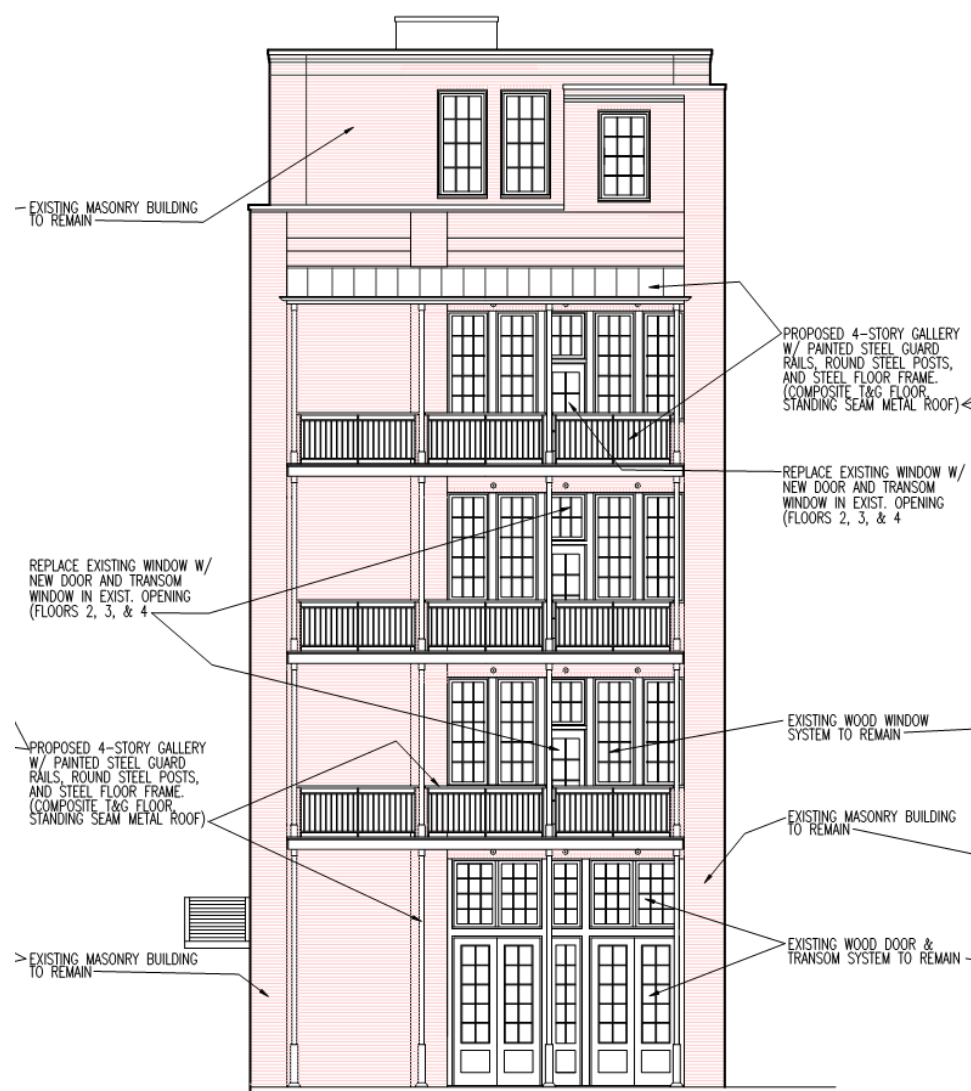
August 24, 2021





EXISTING  
RIVER SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIVER SIDE ELEVATION

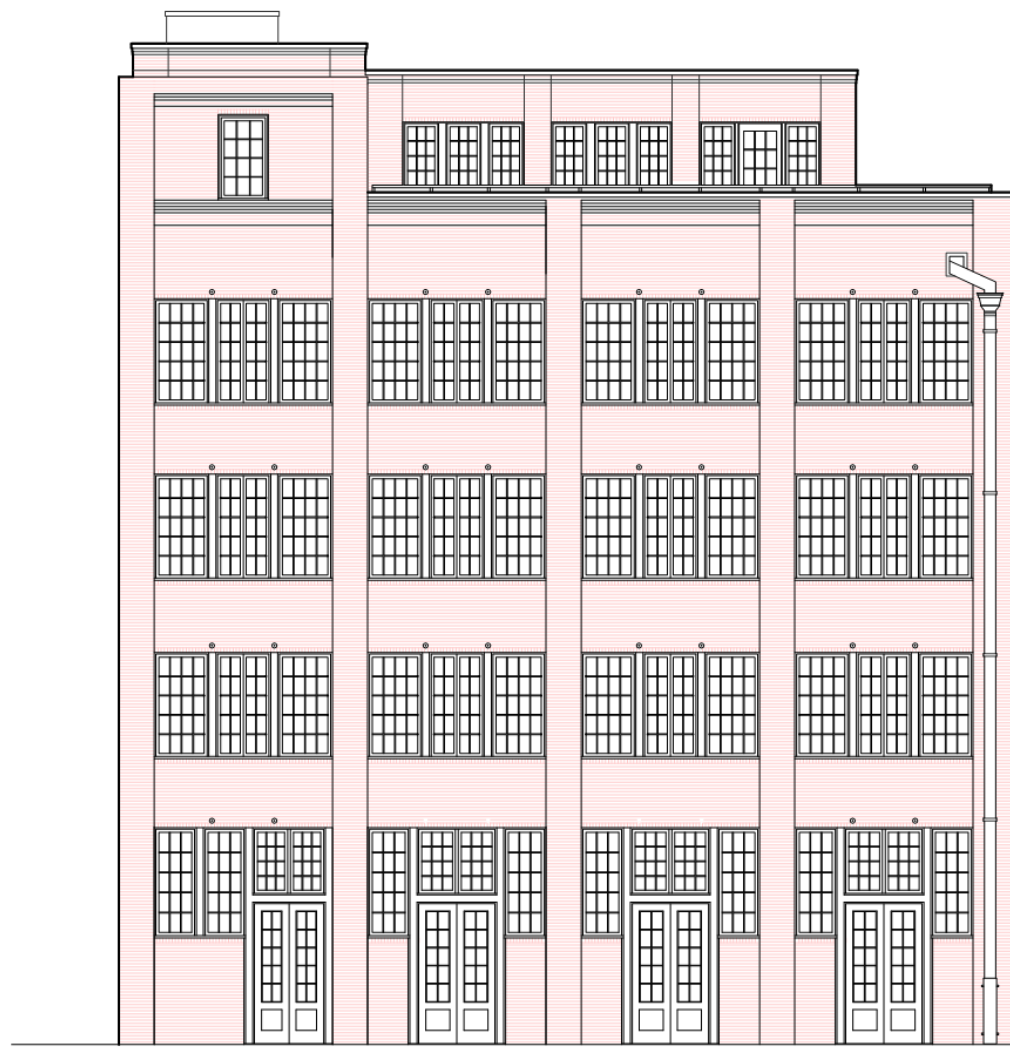
SCALE: 1/8" = 1'-0"

208 Bienville

VCC Architectural Committee

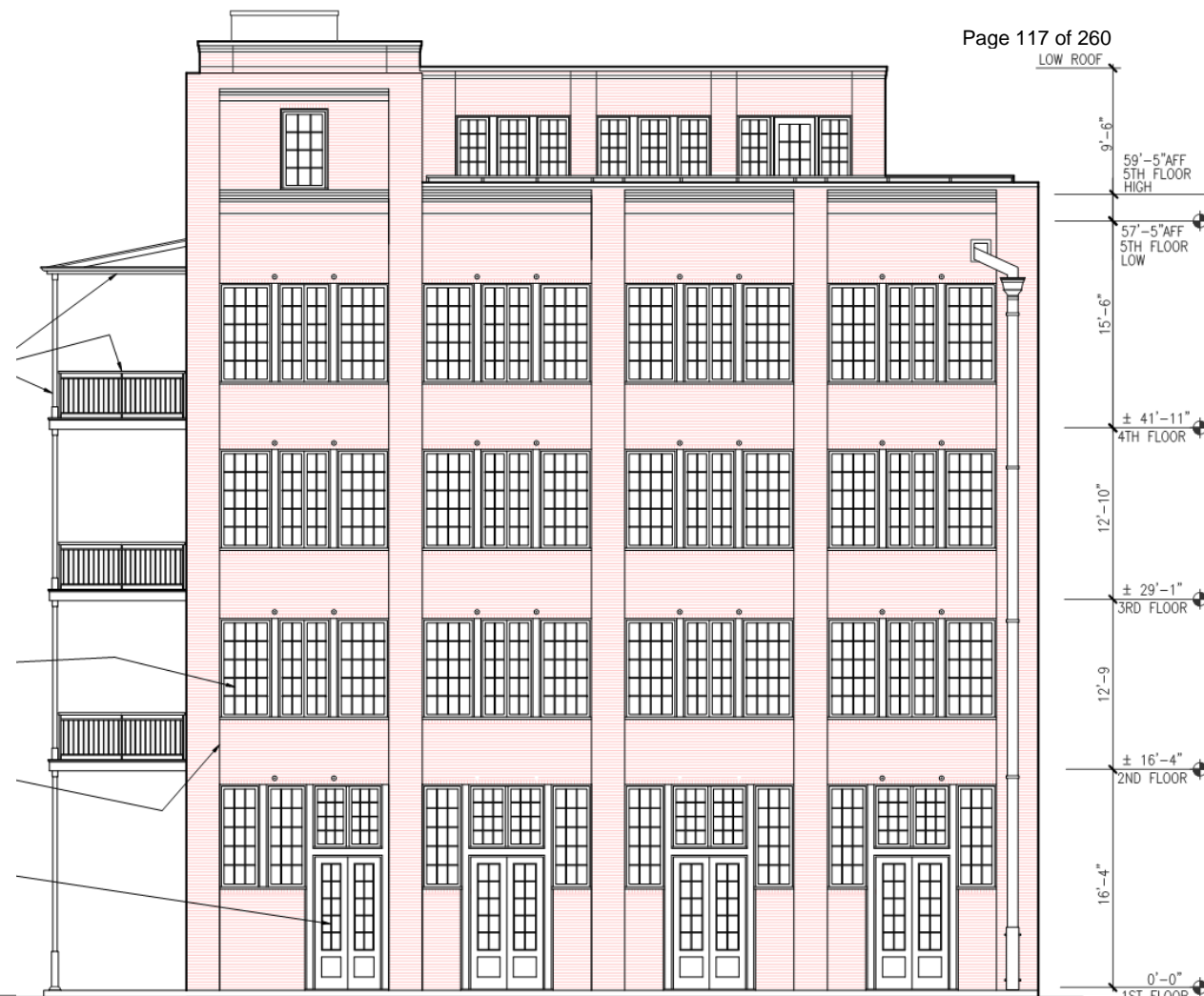
August 24, 2021





EXISTING  
BIENVILLE STREET ELEVATION

SCALE: 1/8" = 1'-0"



BIENVILLE STREET ELEVATION

SCALE: 1/8" = 1'-0"

208 Bienville

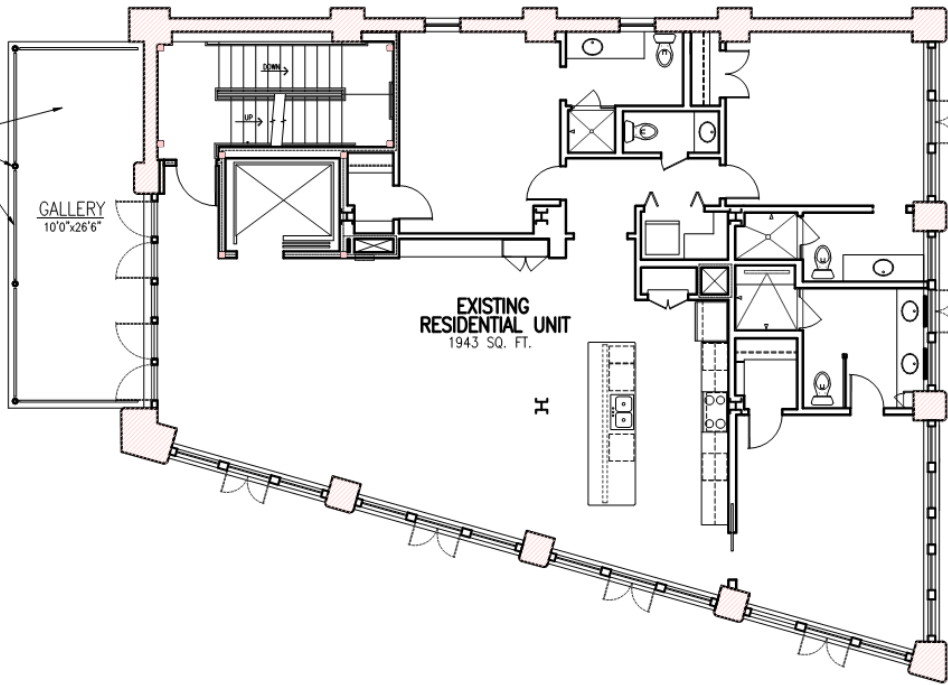
VCC Architectural Committee

August 24, 2021





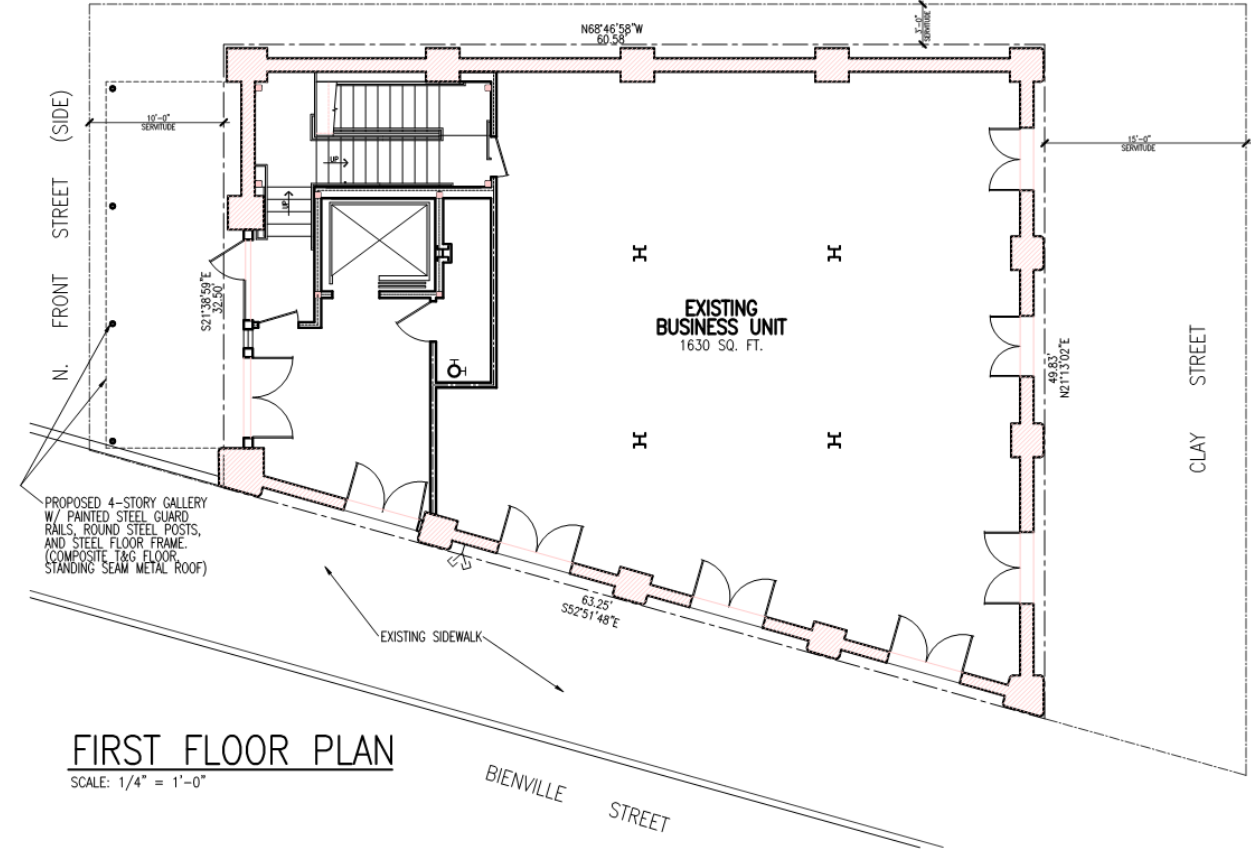
PROPOSED 4-STORY GALLERY  
W/ PAINTED STEEL GUARD  
RAILS, ROUND STEEL POSTS,  
AND STEEL FLOOR FRAME.  
(COMPOSITE T&G FLOOR,  
STANDING SEAM METAL ROOF)



**2ND/3RD/4TH FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



IBERVILLE STREET (SIDE)



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

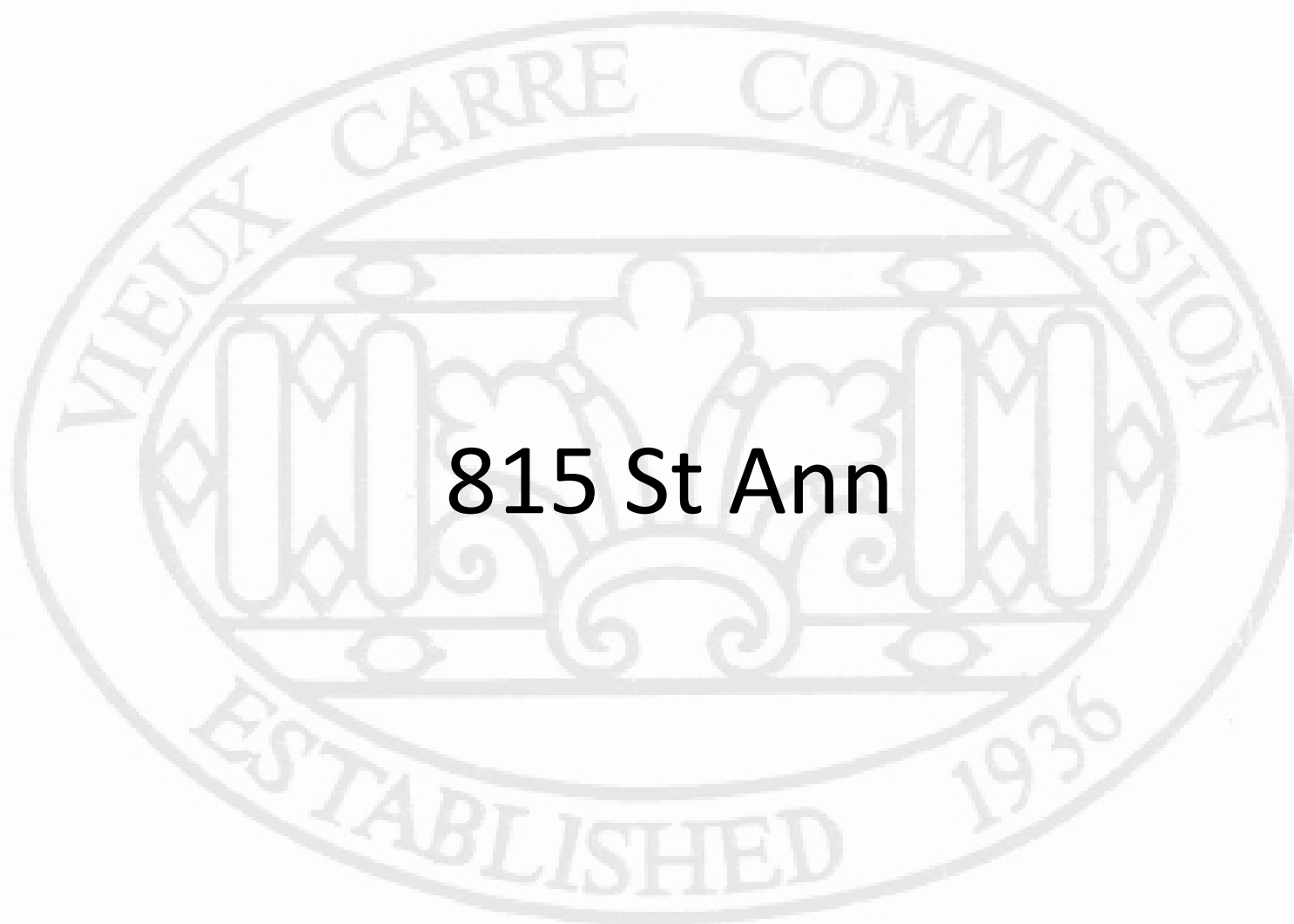
208 Bienville

VCC Architectural Committee

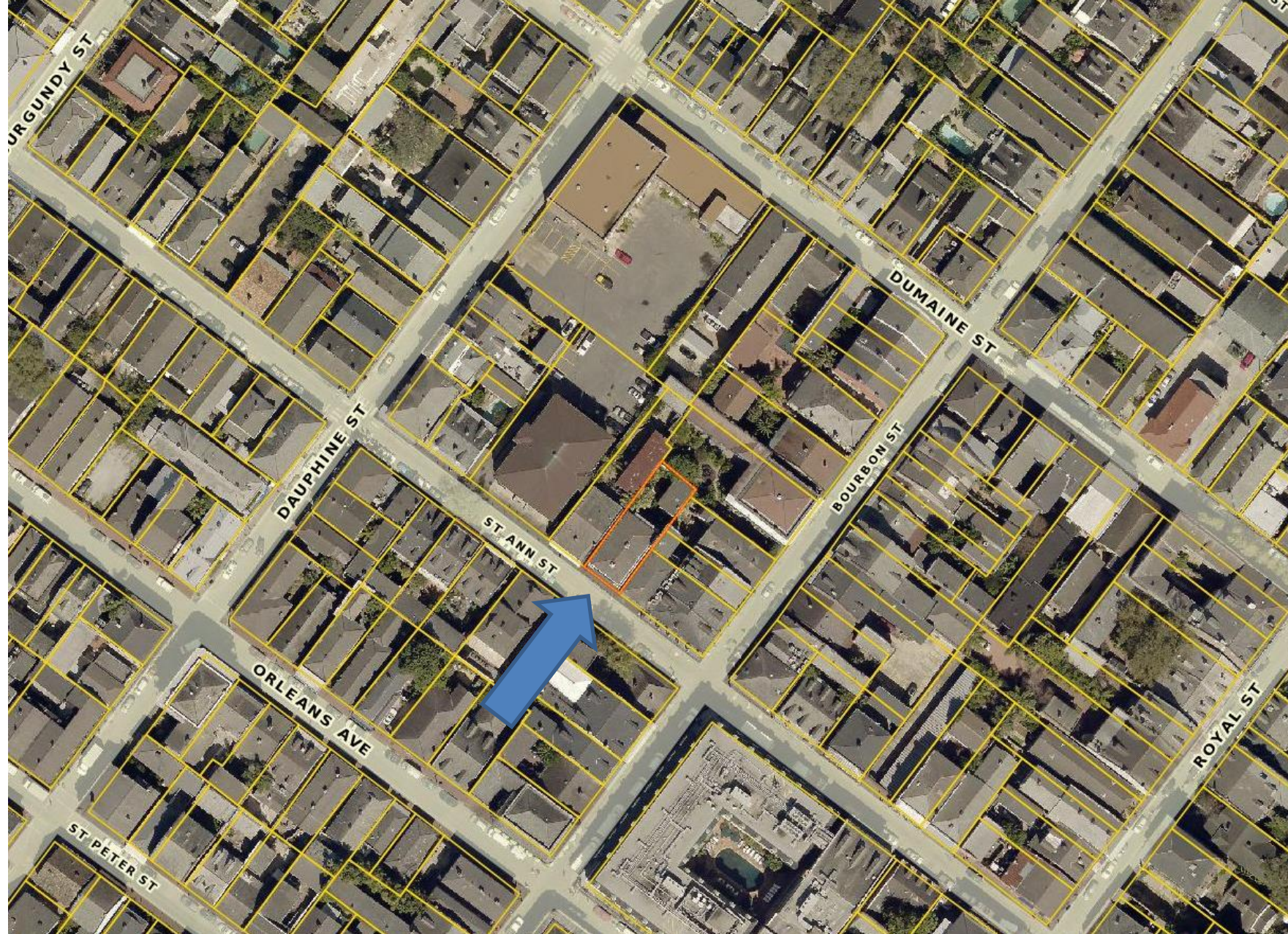
August 24, 2021



815 St Ann







815 St. Ann





815 St. Ann



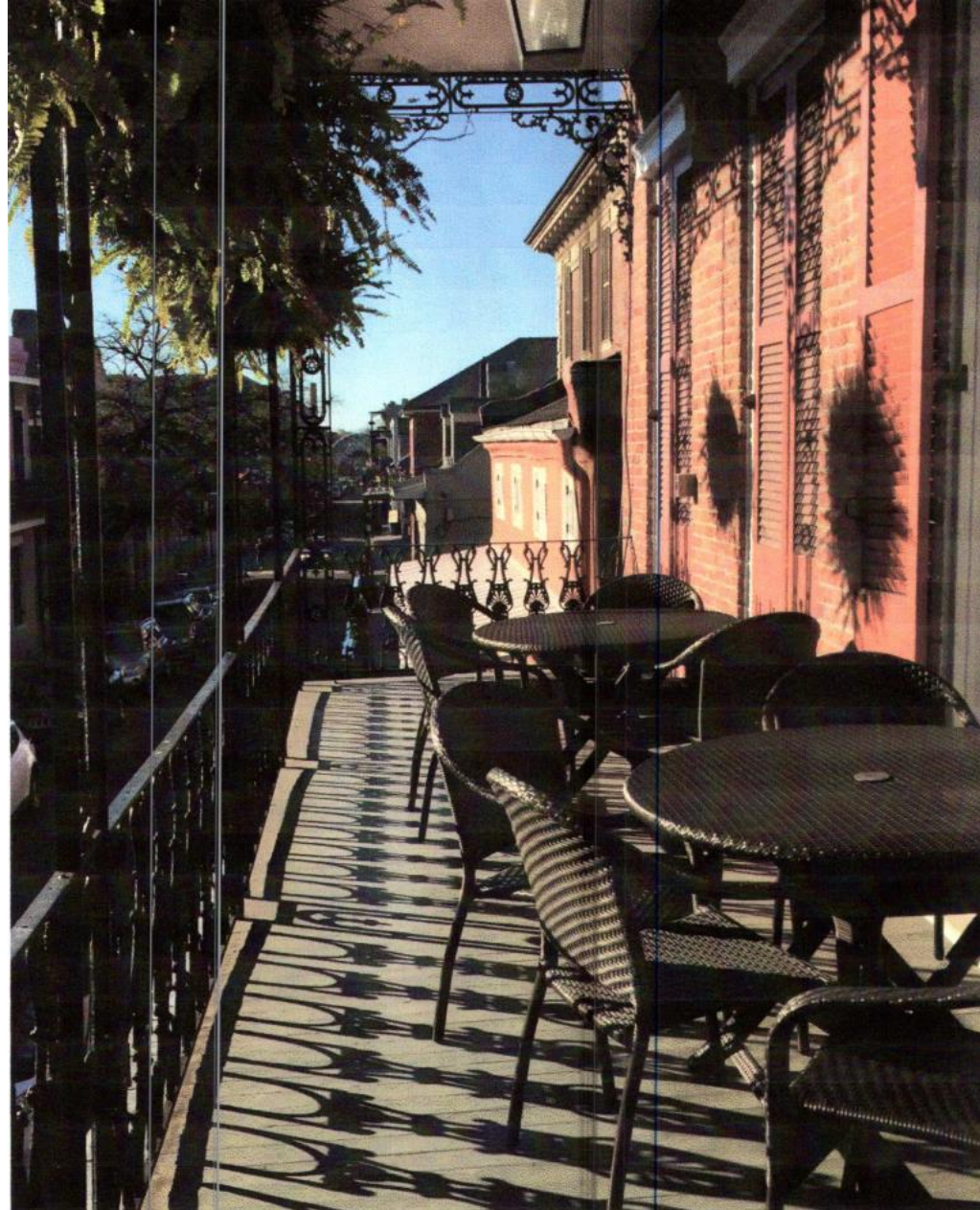


815 St. Ann



815 St. Ann - 1974





815 St. Ann

VCC Architectural Committee

August 24, 2021







815 St. Ann

VCC Architectural Committee

August 24, 2021







815 St. Ann

VCC Architectural Committee

August 24, 2021







815 St. Ann

VCC Architectural Committee

August 24, 2021



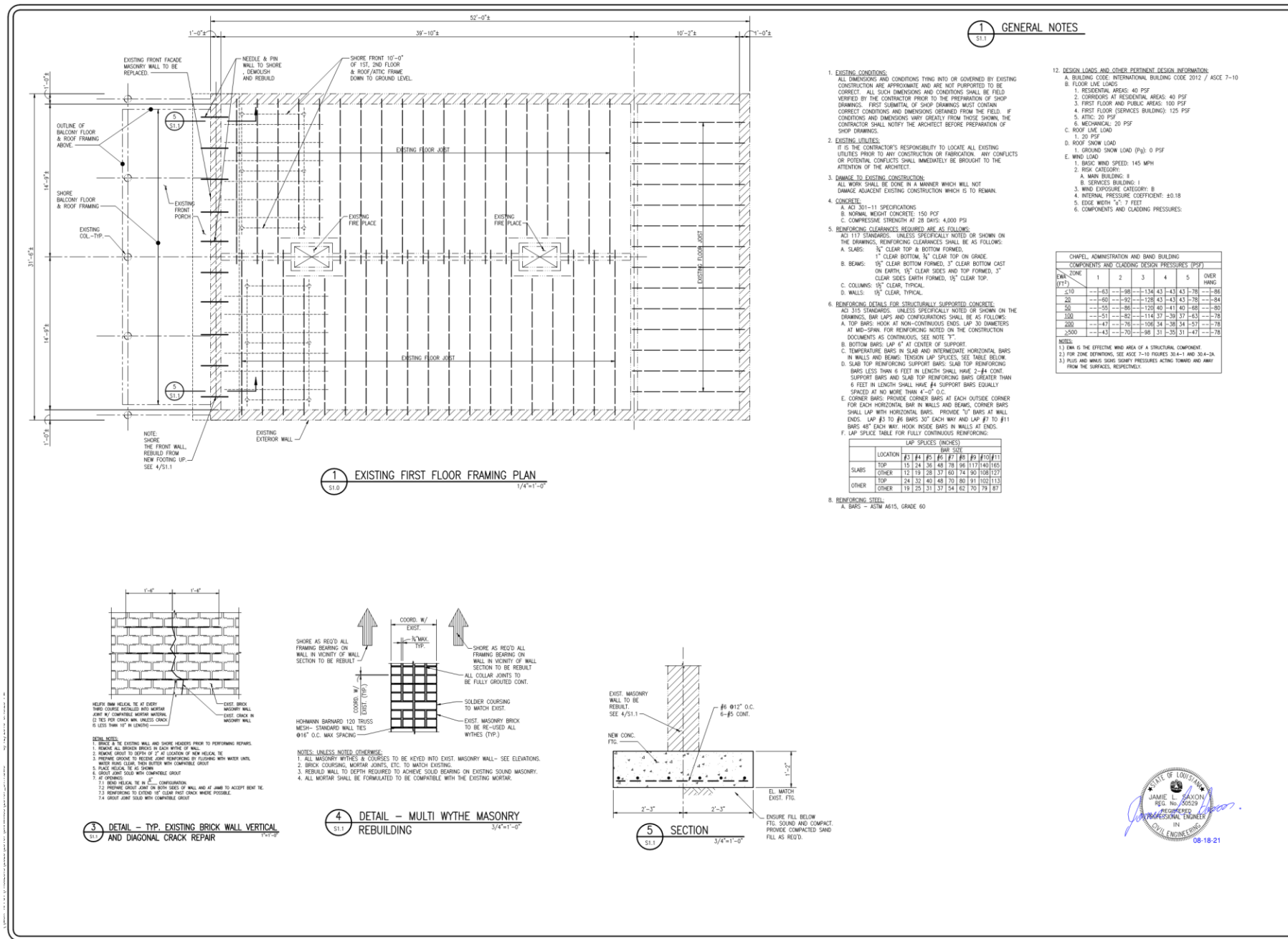


815 St. Ann

VCC Architectural Committee

August 24, 2021

Page 128 of 260



REVISIONS	BY

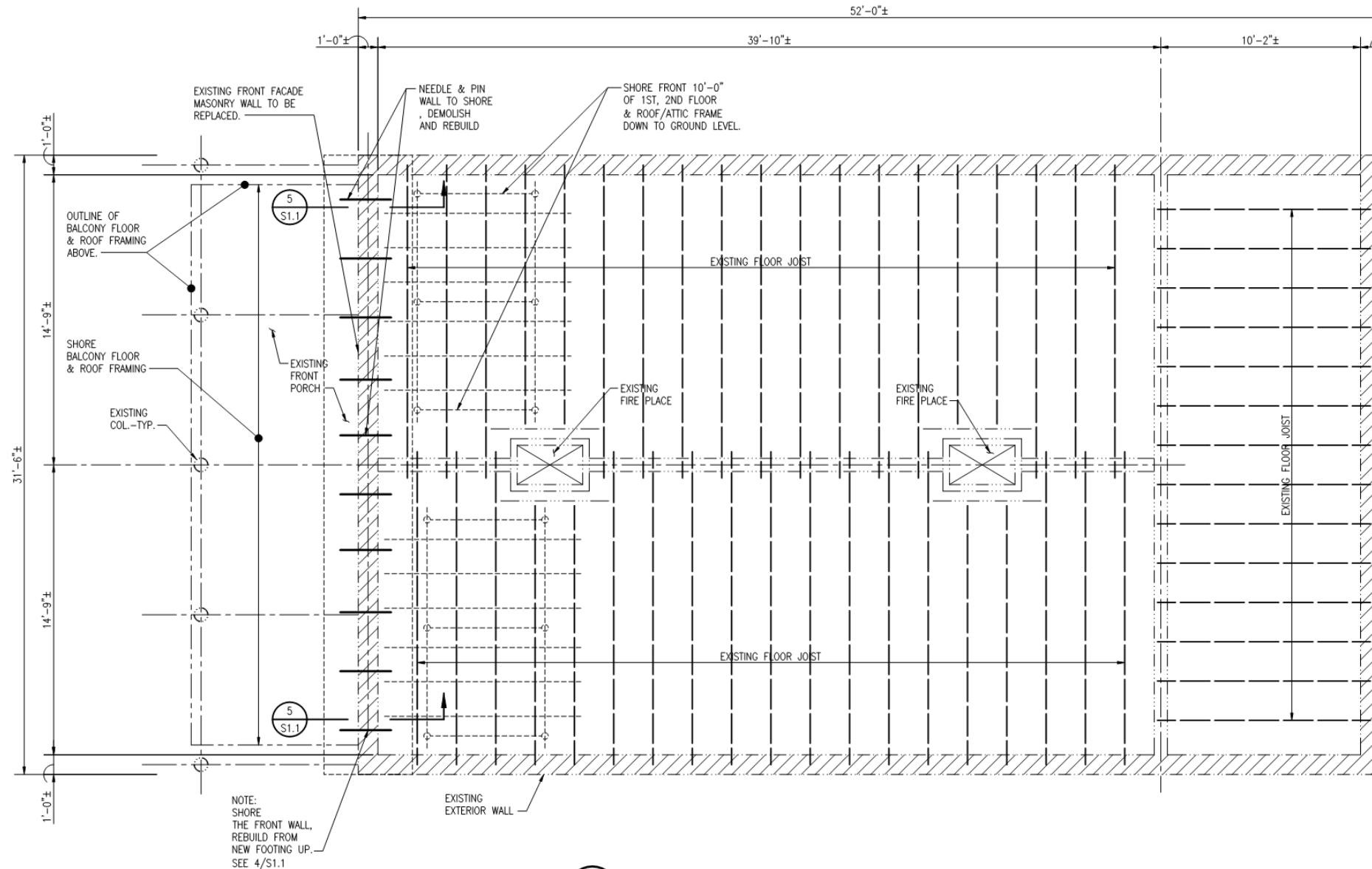
**MORPHY Consulting Engineers**  
336 N. NORMAN C. FRANCIS PARK  
NEW ORLEANS, LOUISIANA 70119  
PHONE: (504) 488-1317  
FAX: (504) 488-0924  
Web: www.morphy-eng.com

**MAKOFSKY INCORPORATED**

815 ST ANN ST  
MASONRY WALL REPAIRS  
NEW ORLEANS, LA 70130

DRAWN: JLS  
CHECKED: JLS  
DATE: 08-18-21  
ISSUE:  
SCALE: AS SHOWN  
JOB NO.: 20167  
SHEET:  
**S1.1**  
1 OF 3





1 EXISTING FIRST FLOOR FRAMING PLAN  
S1.0 1/4"=1'-0"

815 St. Ann

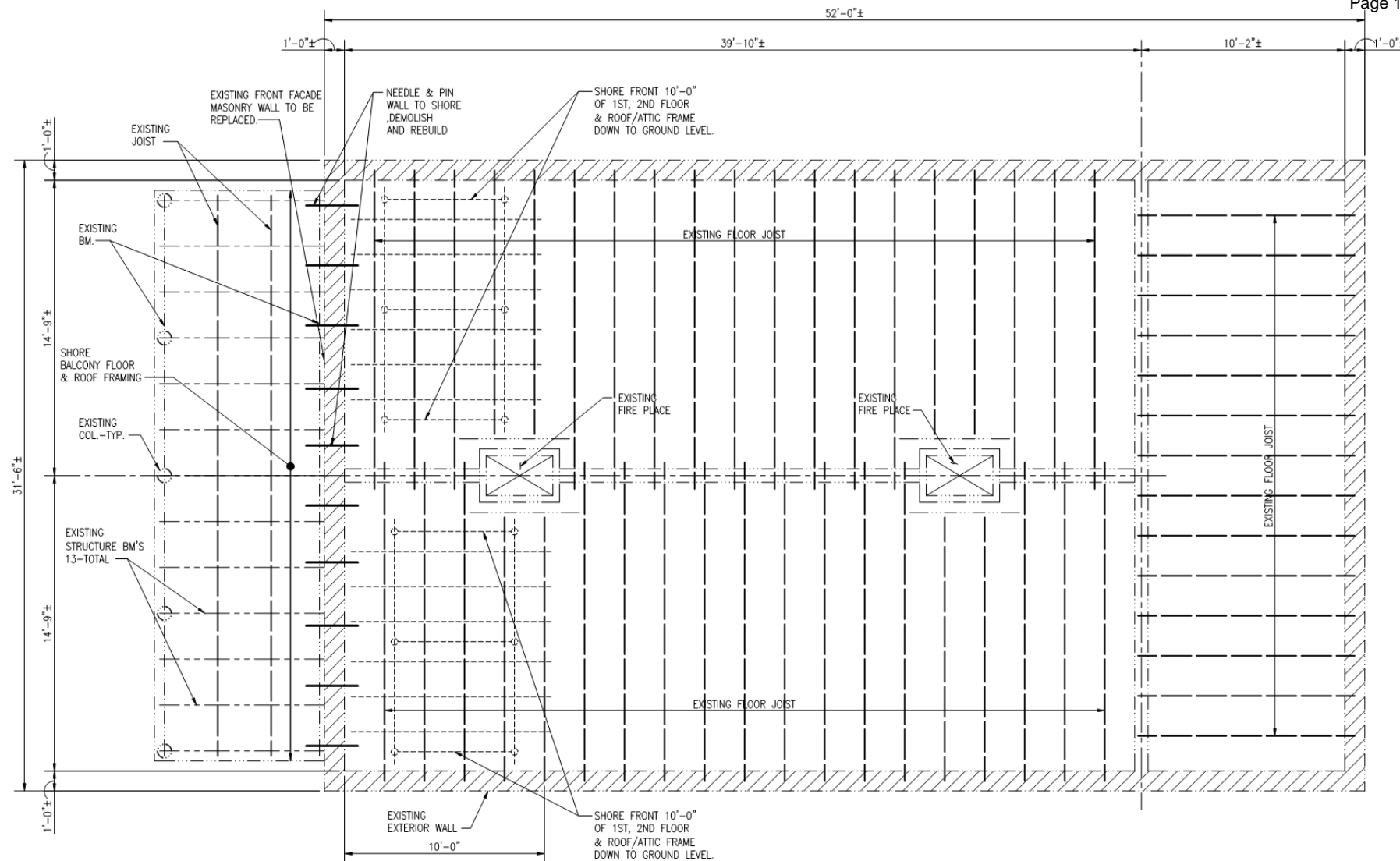
VCC Architectural Committee

August 24, 2021









1 EXISTING SECOND FLOOR FRAMING PLAN  
S1.2 1/4"=1'-0"

815 St. Ann

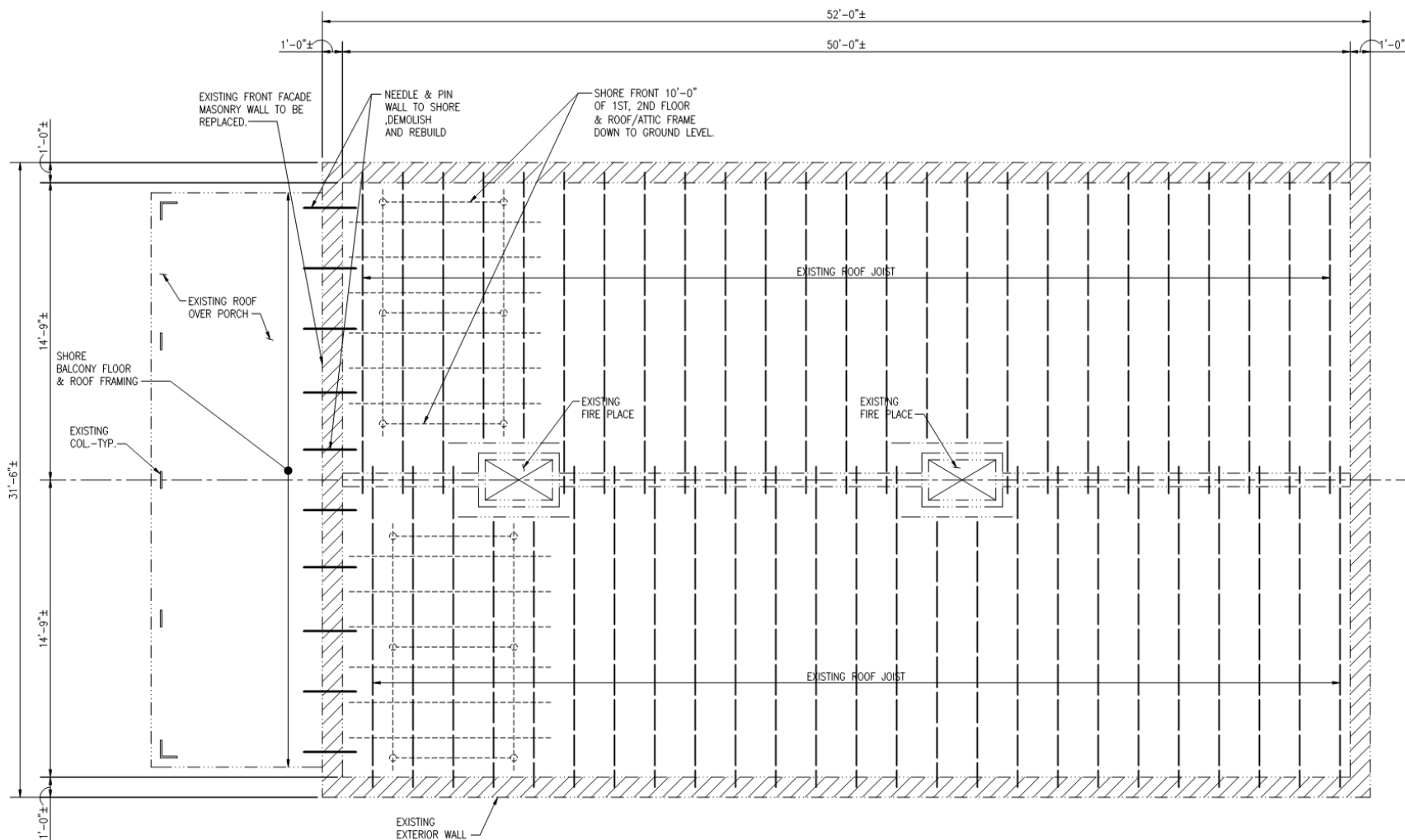
VCC Architectural Committee

August 24, 2021









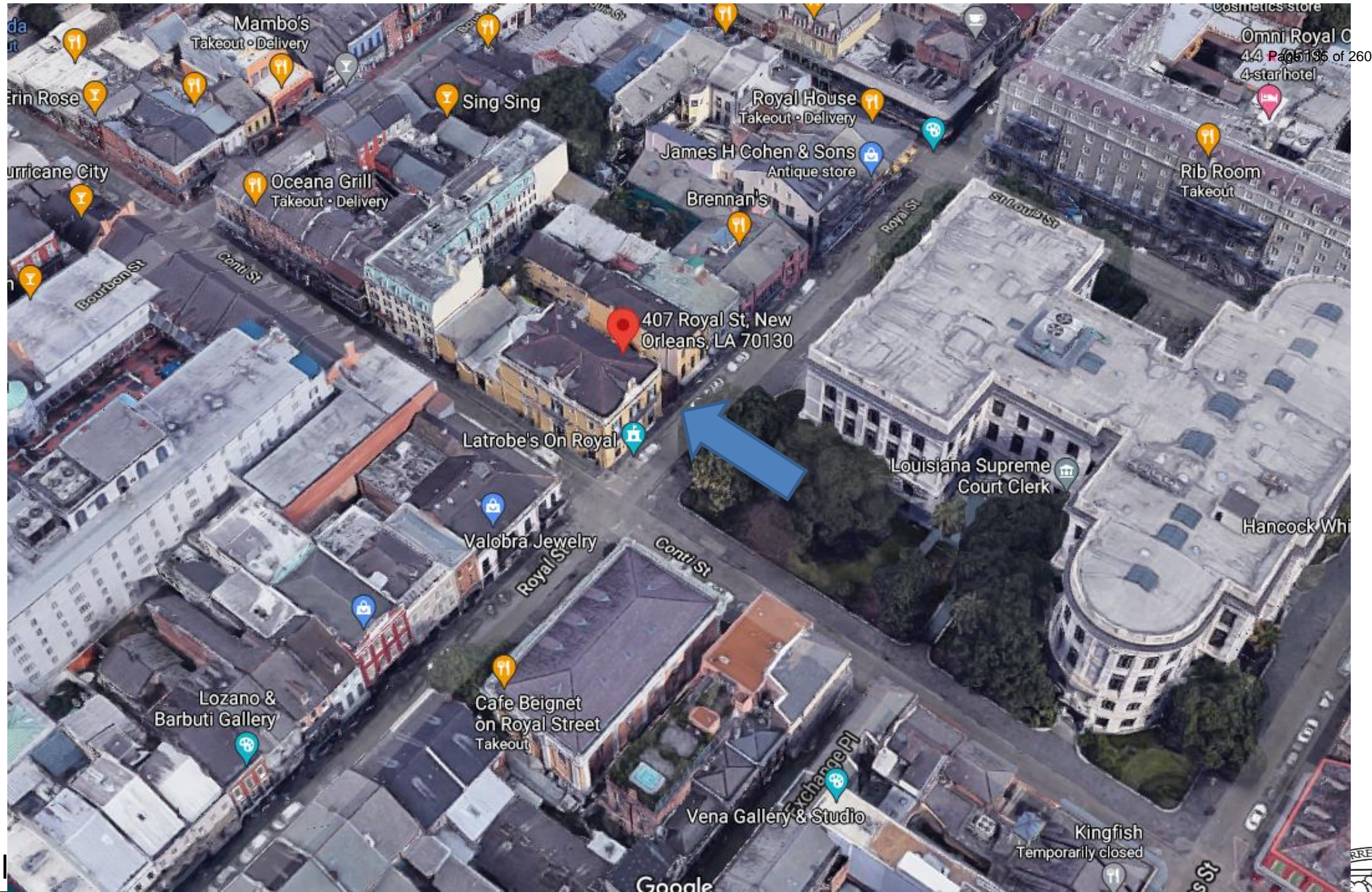
1 EXISTING ROOF FRAMING PLAN  
S1.3 1/4"=1'-0"





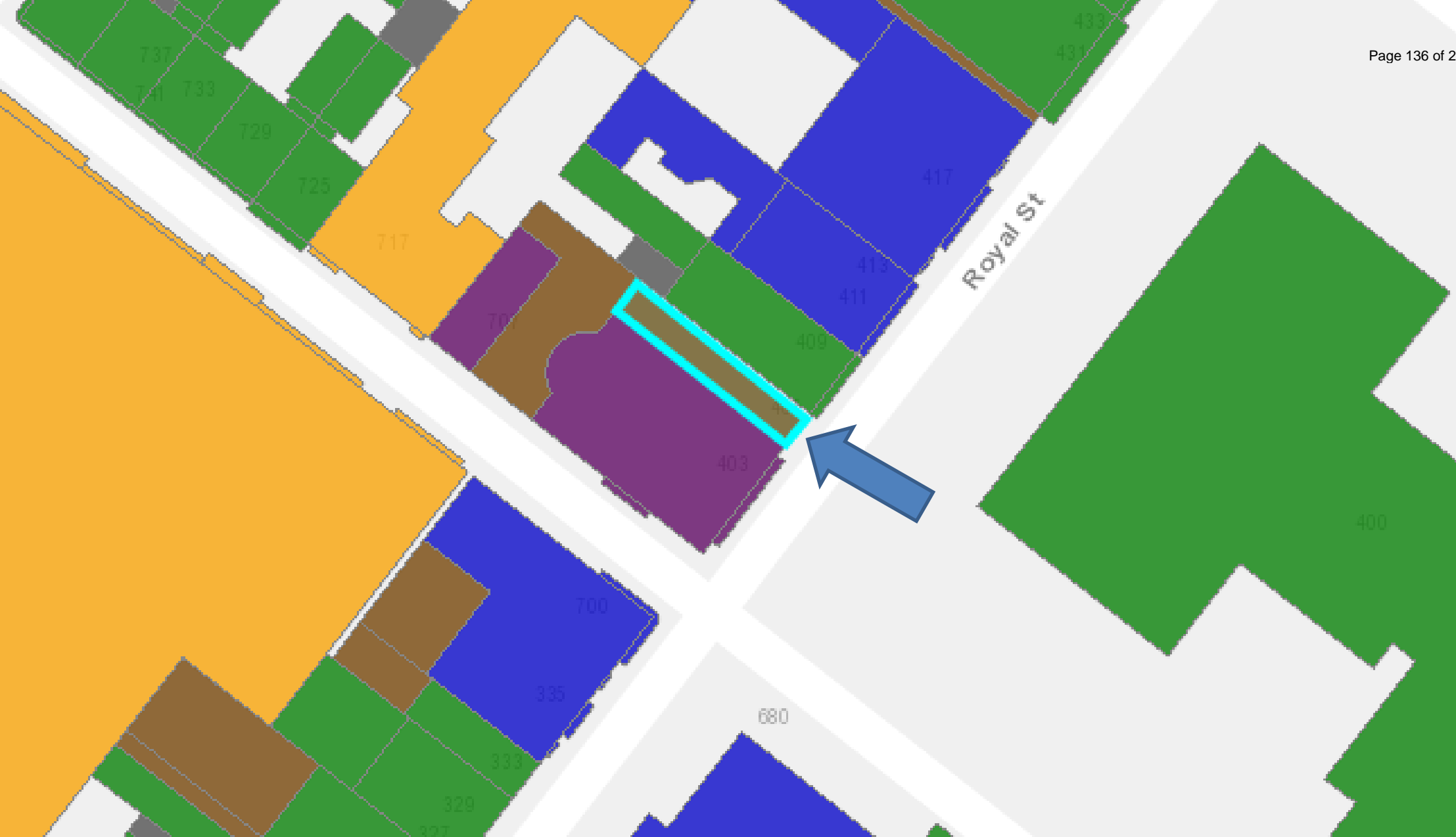
407 Royal





407 Royal





407 Royal





407 Royal

VCC Architectural Committee

August 24, 2021







407 Royal

VCC Architectural Committee

August 24, 2021





407 Royal

VCC Architectural Committee

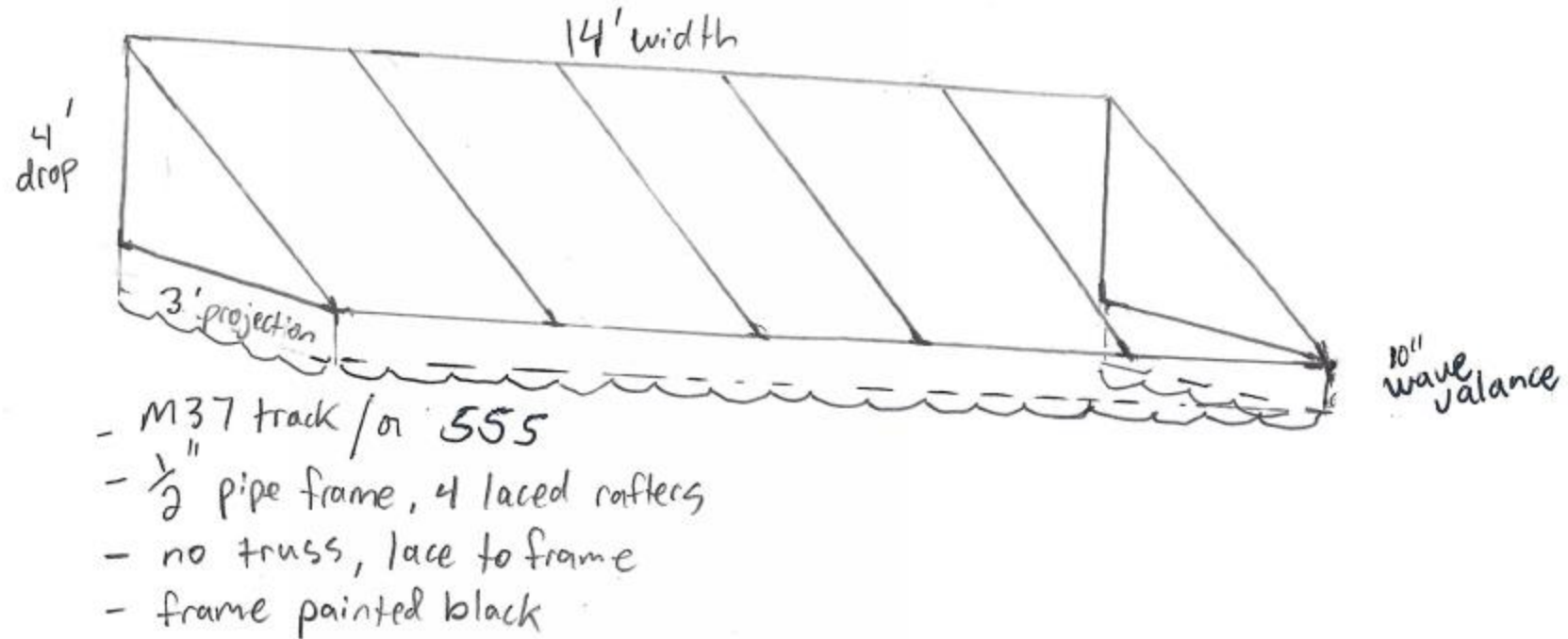
August 24, 2021





CORRECTION:

Peter Moss Brass Monkey  
 Hood w/ Side & 10" Wave scallop @ bottom



407 Royal

VCC Architectural Committee

August 24, 2021





# Sunbrella® Awning / Marine 46" Forest Green 4637-0000

Forest Green

Item # 874637

**SIGN IN FOR PRICE**



# Appeals and Violations

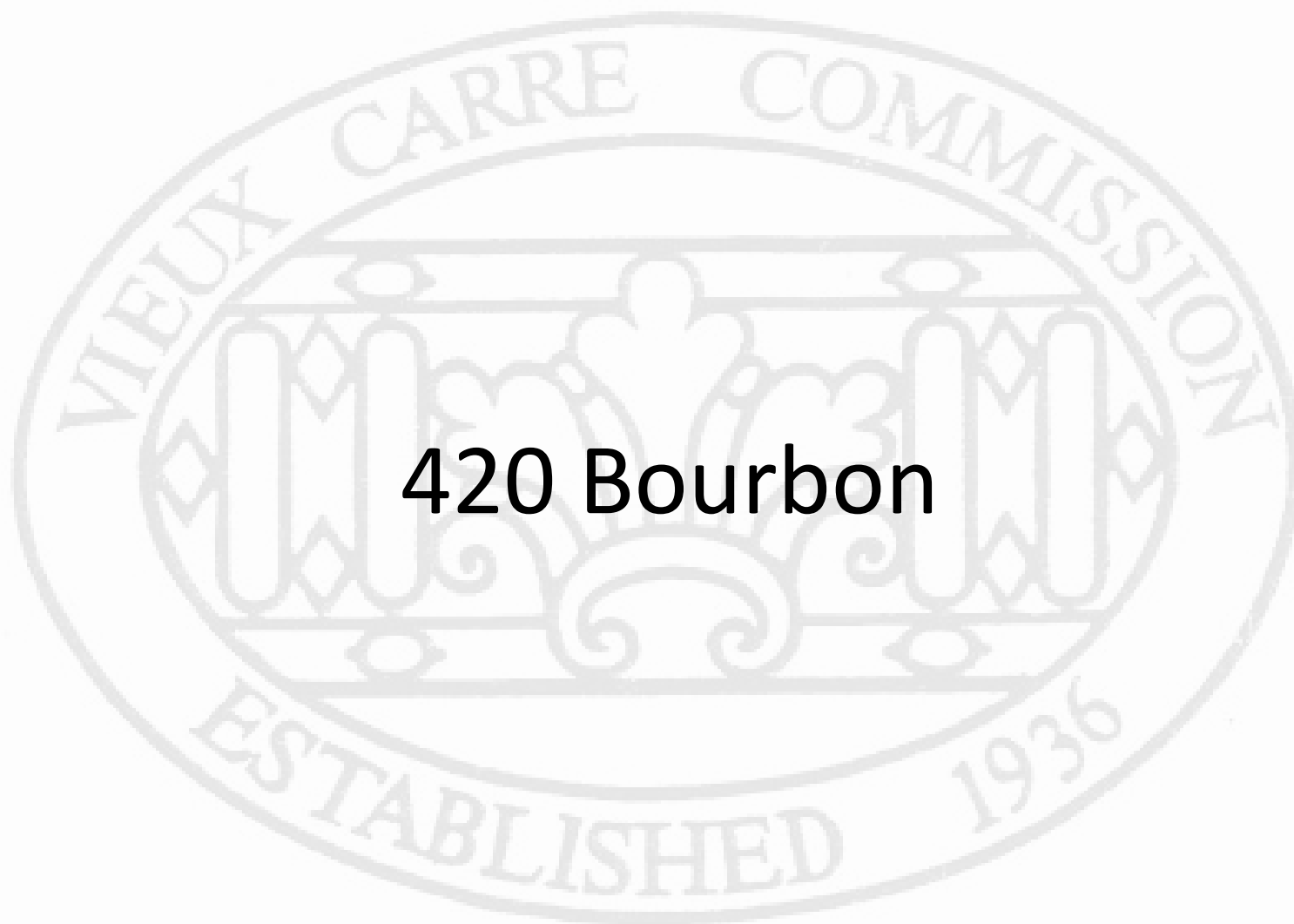




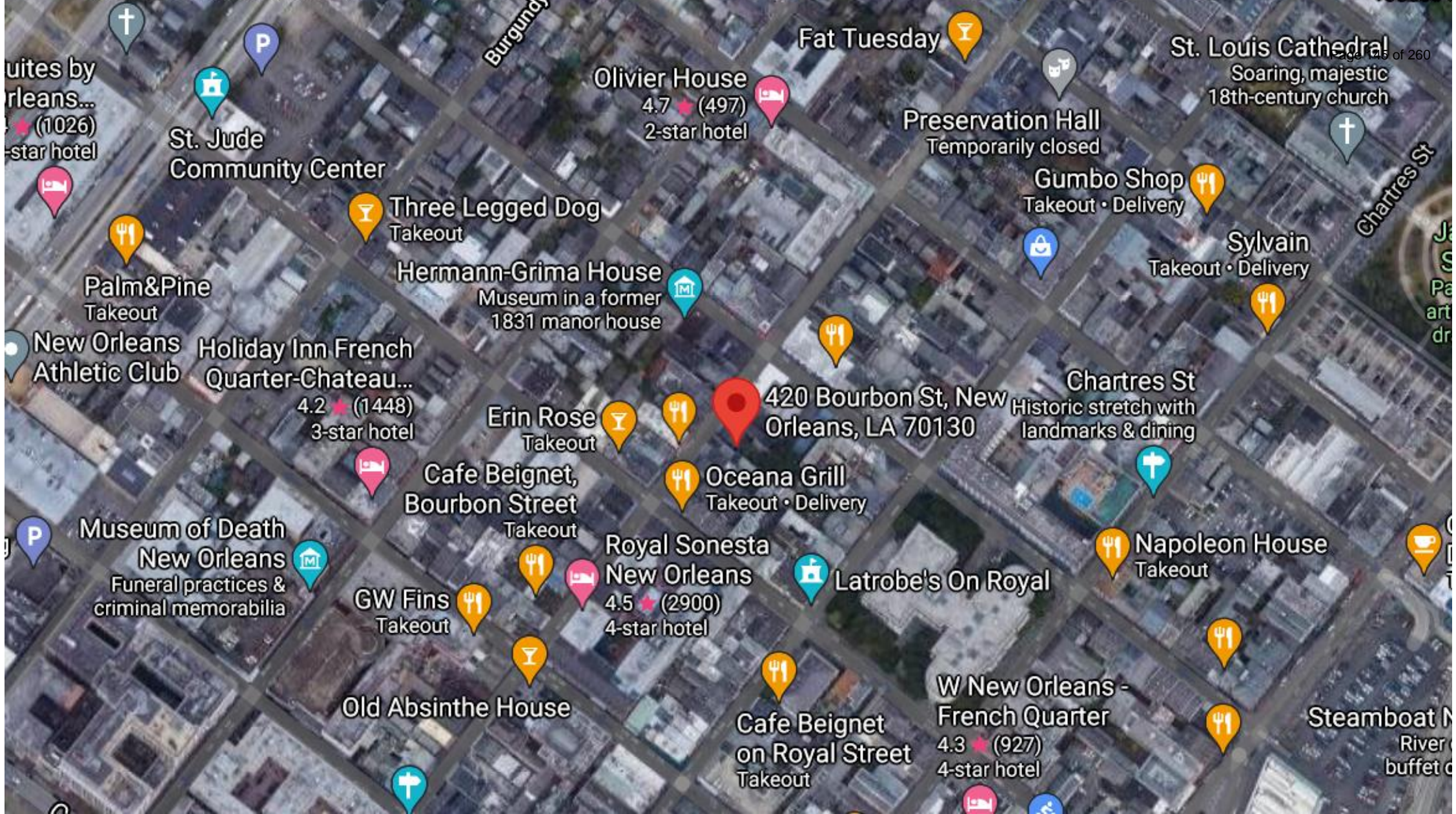
528 St Louis  
(applicant requested deferral)



420 Bourbon







420 Bourbon







420 Bourbon

VCC Architectural Committee

August 24, 2021





420 Bourbon





420 Bourbon

VCC Architectural Committee

August 24, 2021







420 Bourbon

VCC Architectural Committee

August 24, 2021







420 Bourbon

VCC Architectural Committee

August 24, 2021







420 Bourbon

VCC Architectural Committee

August 24, 2021







420 Bourbon

VCC Architectural Committee

August 24, 2021







420 Bourbon

VCC Architectural Committee

August 24, 2021

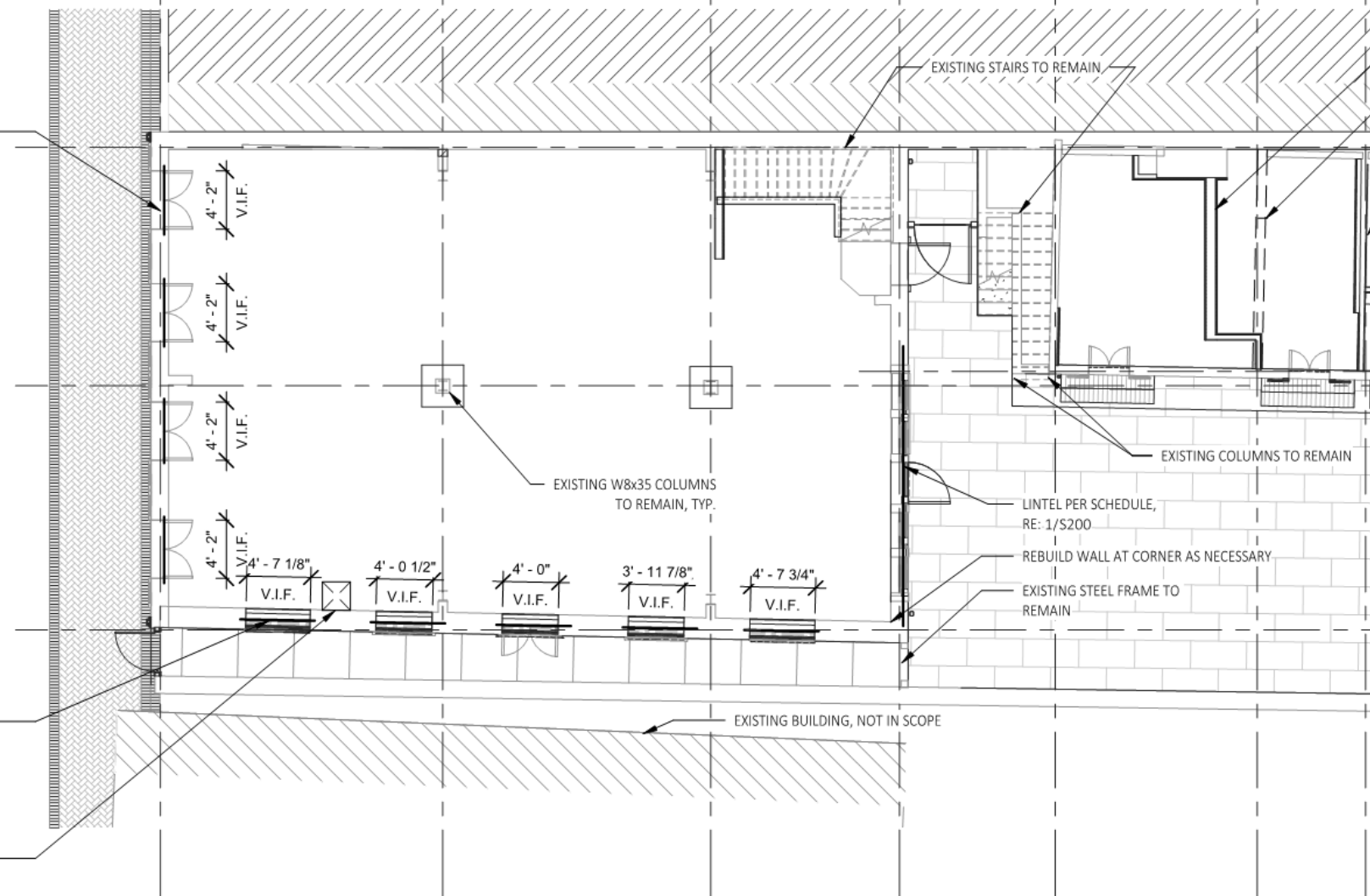




NEW LINTEL ABOVE ALL  
OPENINGS ON BOURBON STREET  
FACE, TYP. (4) LOCATIONS  
RE: 1/S200.

INSTALL NEW LINTELS OVER  
EXISTING OPENINGS, INFILL  
OPENINGS PER ARCHITECTURAL,  
TYPICAL (5) LOCATIONS  
ALLEYWAY

DIG TEST PIT TO VERIFY  
EXISTING FOUNDATION



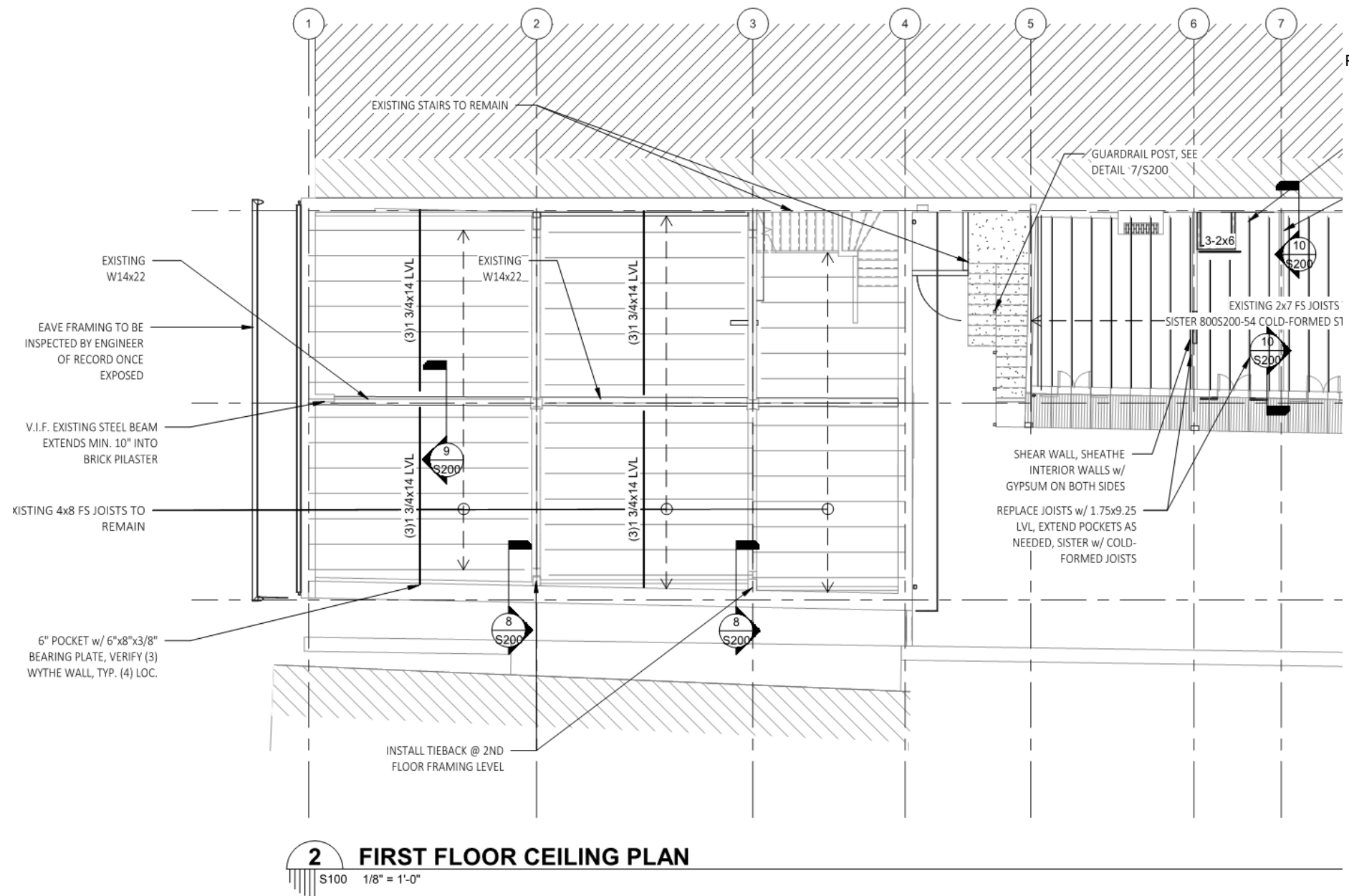
**1 FIRST FLOOR PLAN**  
S100 1/8" = 1'-0"

420 Bourbon

VCC Architectural Committee

August 24, 2021





420 Bourbon

VCC Architectural Committee

August 24, 2021





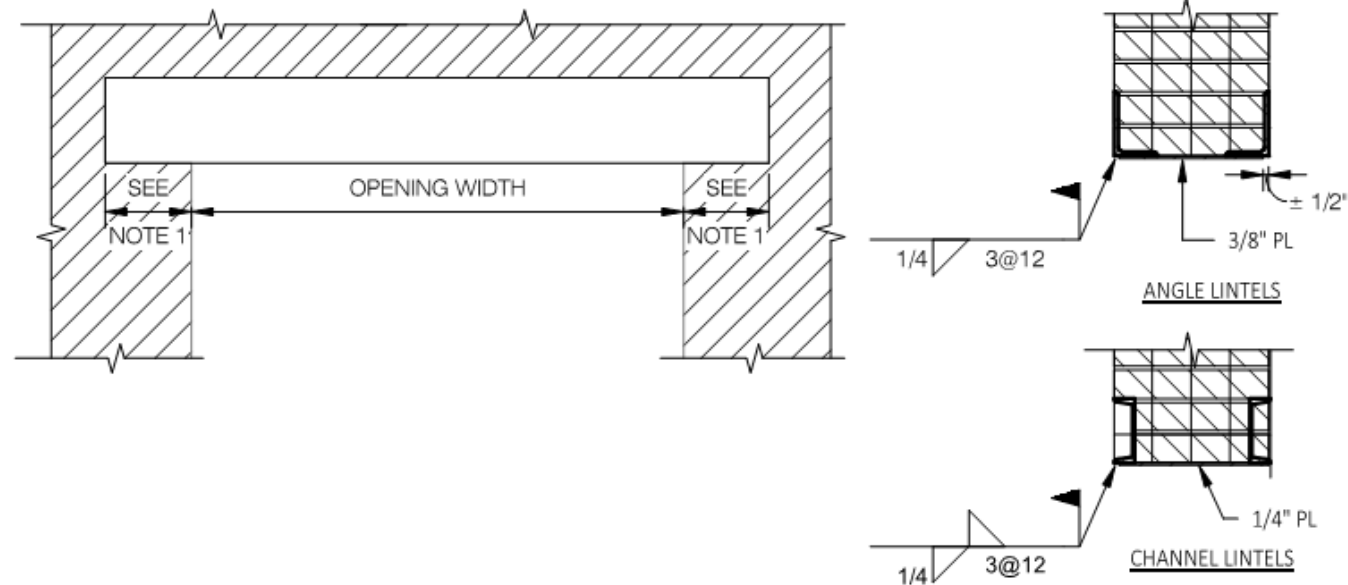
# STEEL LINTEL SCHEDULE

Page 156 of 260

ALL OPENINGS AND RECESSES IN EXISTING MASONRY WALLS (UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS) SHALL HAVE (2) STEEL LINTELS AS FOLLOWS.

OPENINGS UP TO 4'-9" -----L4x4x1/4

MAX 17'-0" SPAN LINTEL AT REAR OPENING TO COURTYARD -----C12x20.7



## NOTES:

1. PROVIDE MIN 0'-8" BEARING AT EA END, BUT NOT LESS THAN 1" OF BEARING PER FOOT OF SPAN
2. BOTTOM OF LINTELS SHALL OCCUR AT TOP OF MASONRY OPENING
3. CUT LINTELS IN PRIOR TO REMOVING WALL BELOW
4. ALL EXTERIOR LINTELS SHALL BE HOT-DIPPED GALVANIZED PER ASTM 123

1

## NEW LINTEL IN EXIST. MASONRY

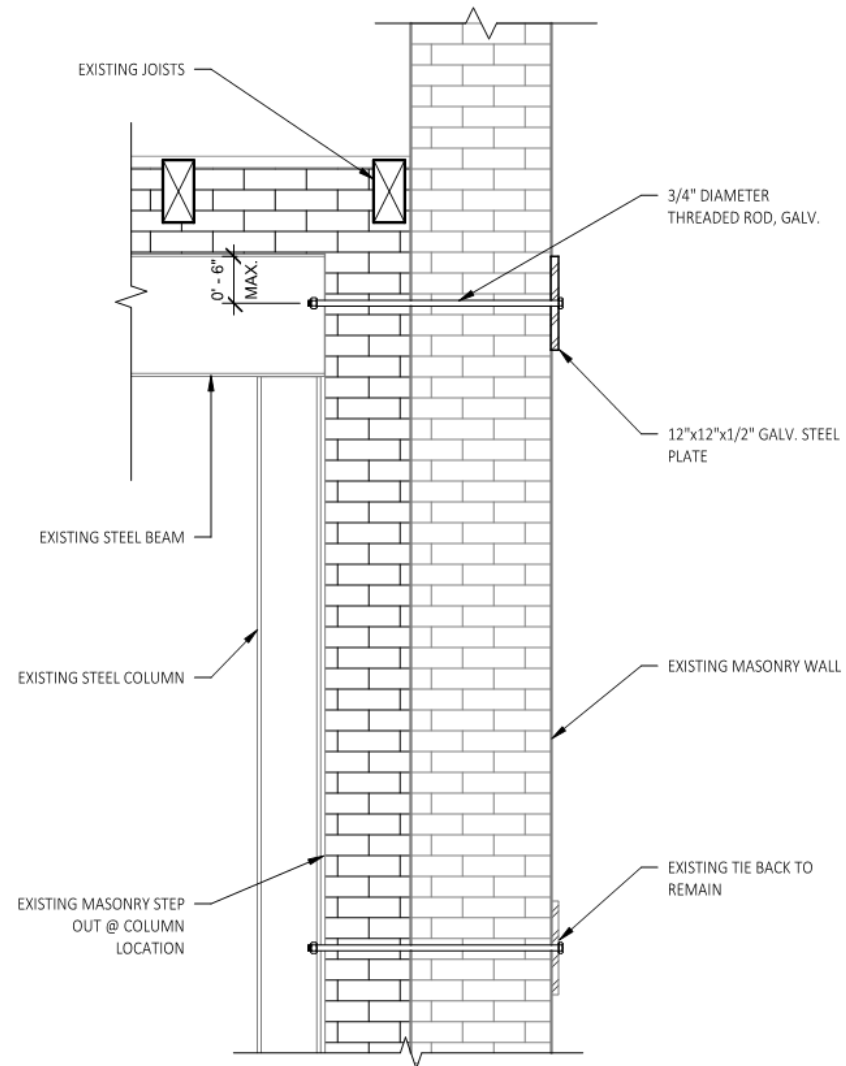
S200 3/4" = 1'-0"

420 Bourbon

VCC Architectural Committee

August 24, 2021





**8** SECTION  
S100 | S200 3/4" = 1'-0"

420 Bourbon

VCC Architectural Committee

August 24, 2021

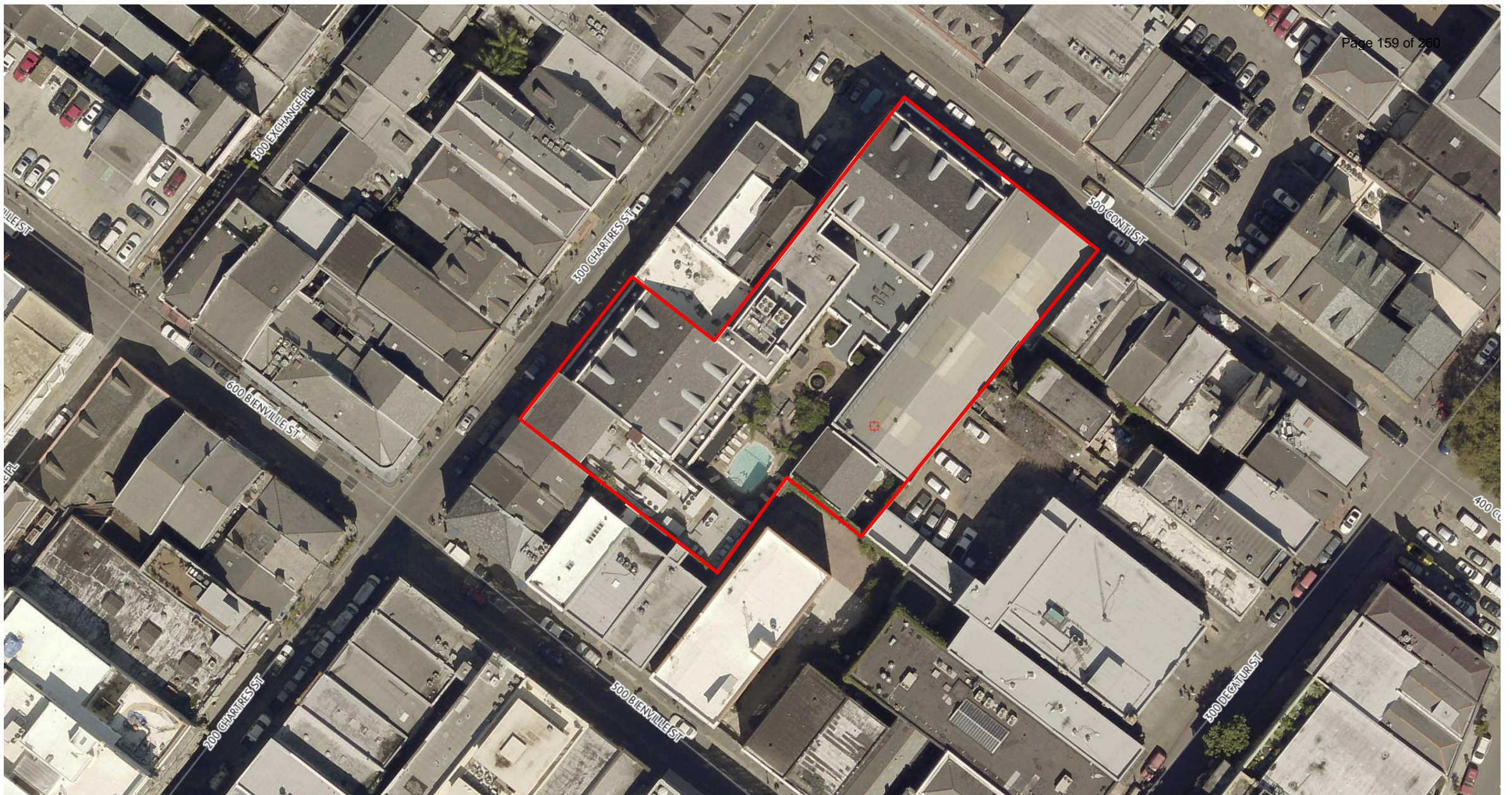




The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a fleur-de-lis and a scroll. The shield is surrounded by a decorative border. The text "VIEUX CARRE COMMISSION" is written along the top arc of the oval, and "ESTABLISHED 1936" is written along the bottom arc.

**308-16 Chartres**  
**526 Conti**





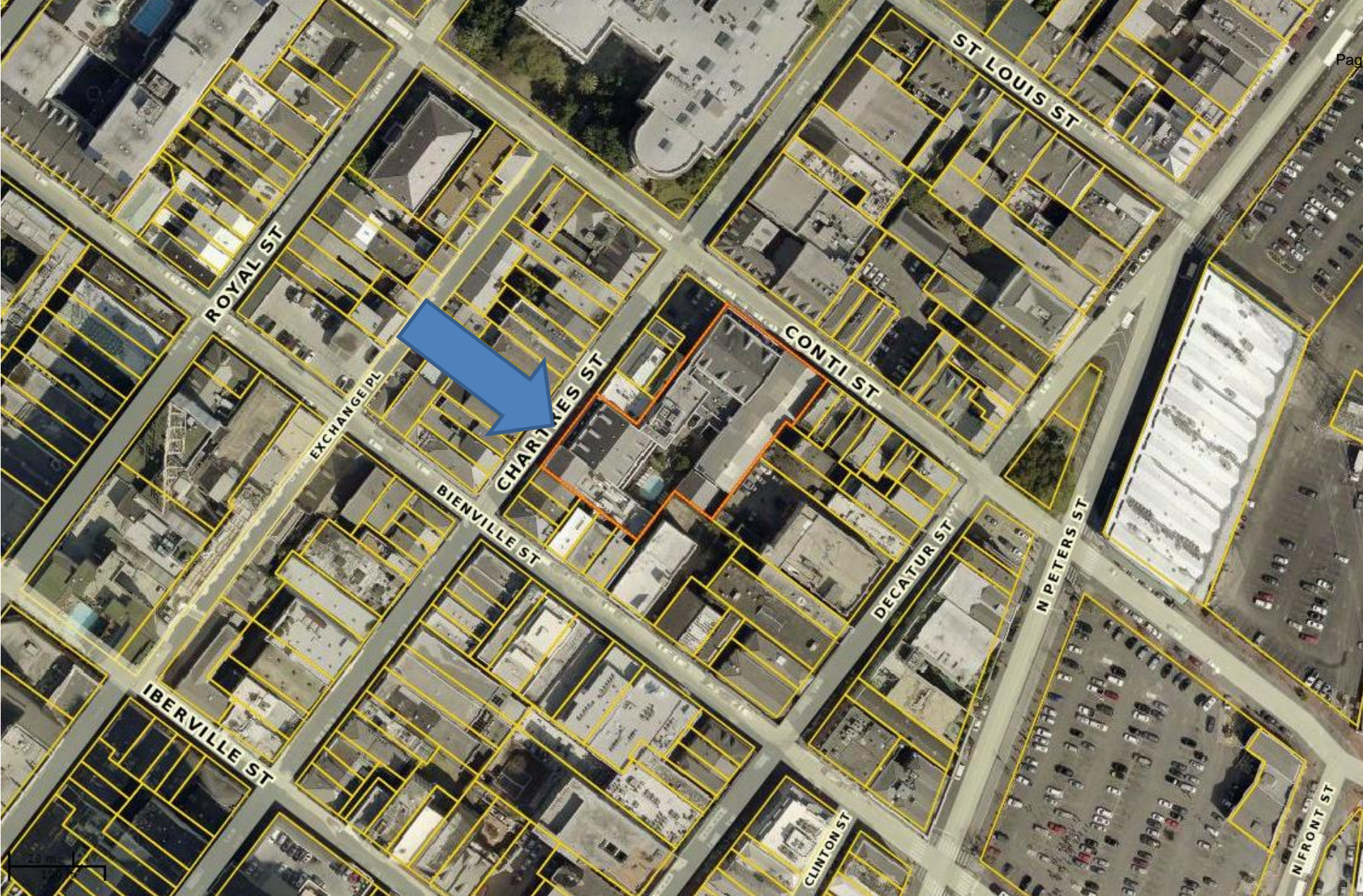
316 Chartres

VCC Architectural Committee

April 24, 2018







316 Chartres

VCC Architectural Committee

April 24, 2018







316 Chartres

VCC Architectural Committee

April 24, 2018







316 Chartres

VCC Architectural Committee

April 24, 2018







316 Chartres

VCC Architectural Committee

April 24, 2018







316 Chartres

VCC Architectural Committee

April 24, 2018







316 Chartres

VCC Architectural Committee

April 24, 2018







316 Chartres

VCC Architectural Committee

April 24, 2018







316 Chartres – 2016

VCC Architectural Committee

April 24, 2018





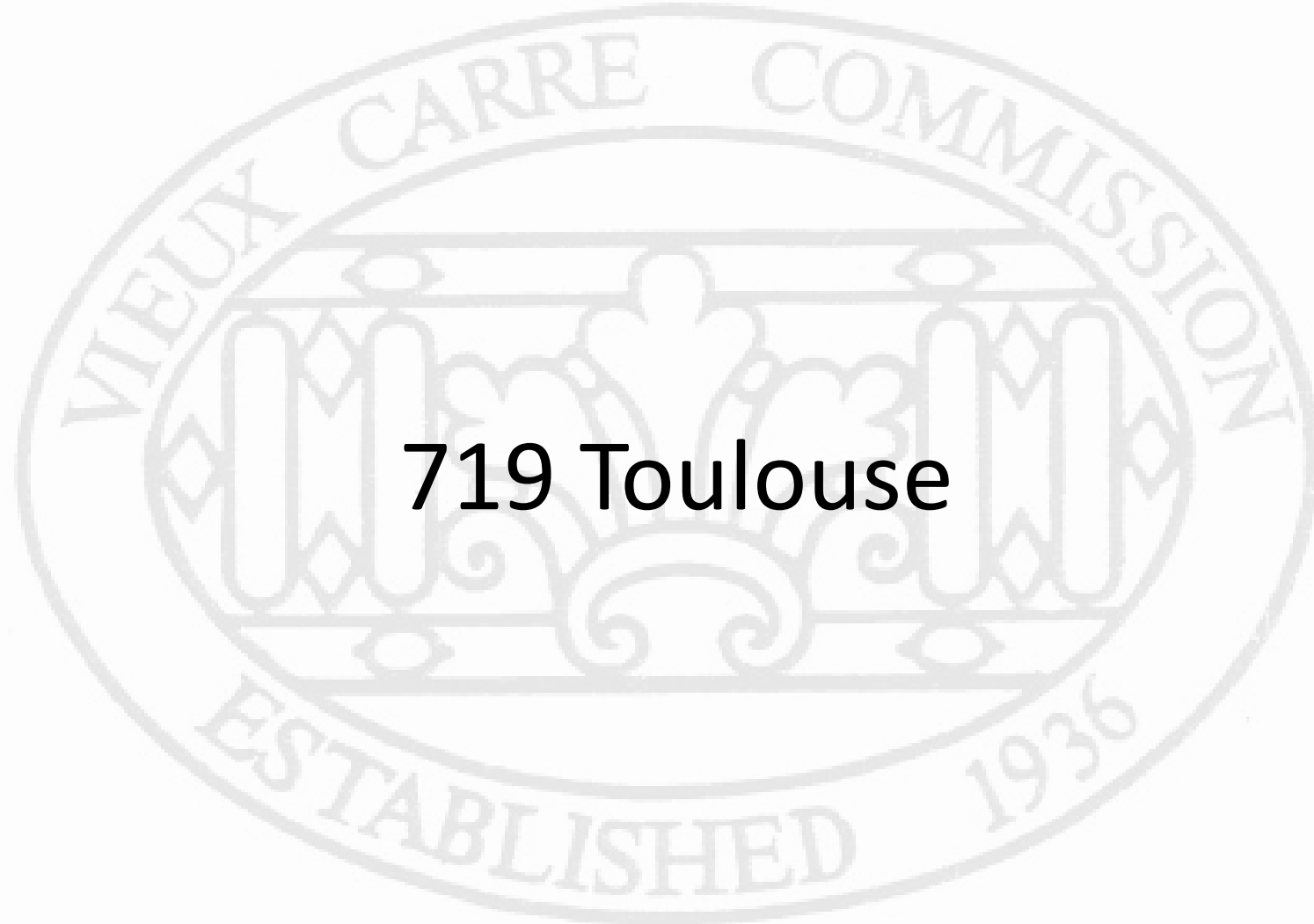


316 Chartres

VCC Architectural Committee

April 24, 2018





**719 Toulouse**





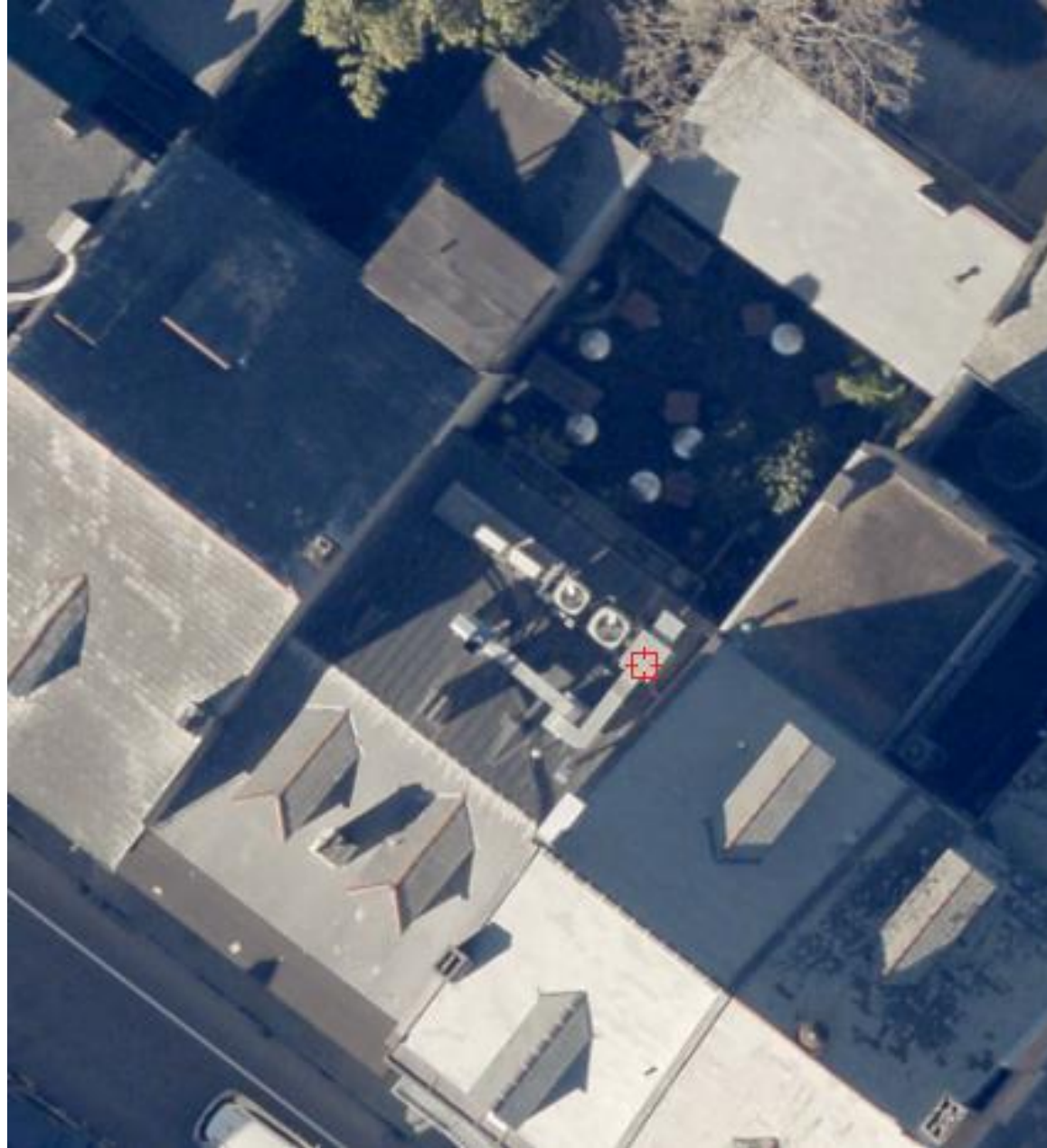
719 Toulouse

VCC Architectural Committee

August 24, 2021







719 Toulouse

VCC Architectural Committee

August 24, 2021







719 Toulouse

VCC Architectural Committee

August 24, 2021





719 Toulouse

VCC Architectural Committee

August 24, 2021







719 Toulouse

VCC Architectural Committee

August 24, 2021







719 Toulouse

VCC Architectural Committee

August 24, 2021







719 Toulouse

VCC Architectural Committee

August 24, 2021







719 Toulouse

VCC Architectural Committee

August 24, 2021







719 Toulouse

VCC Architectural Committee

August 24, 2021







719 Toulouse

VCC Architectural Committee

August 24, 2021







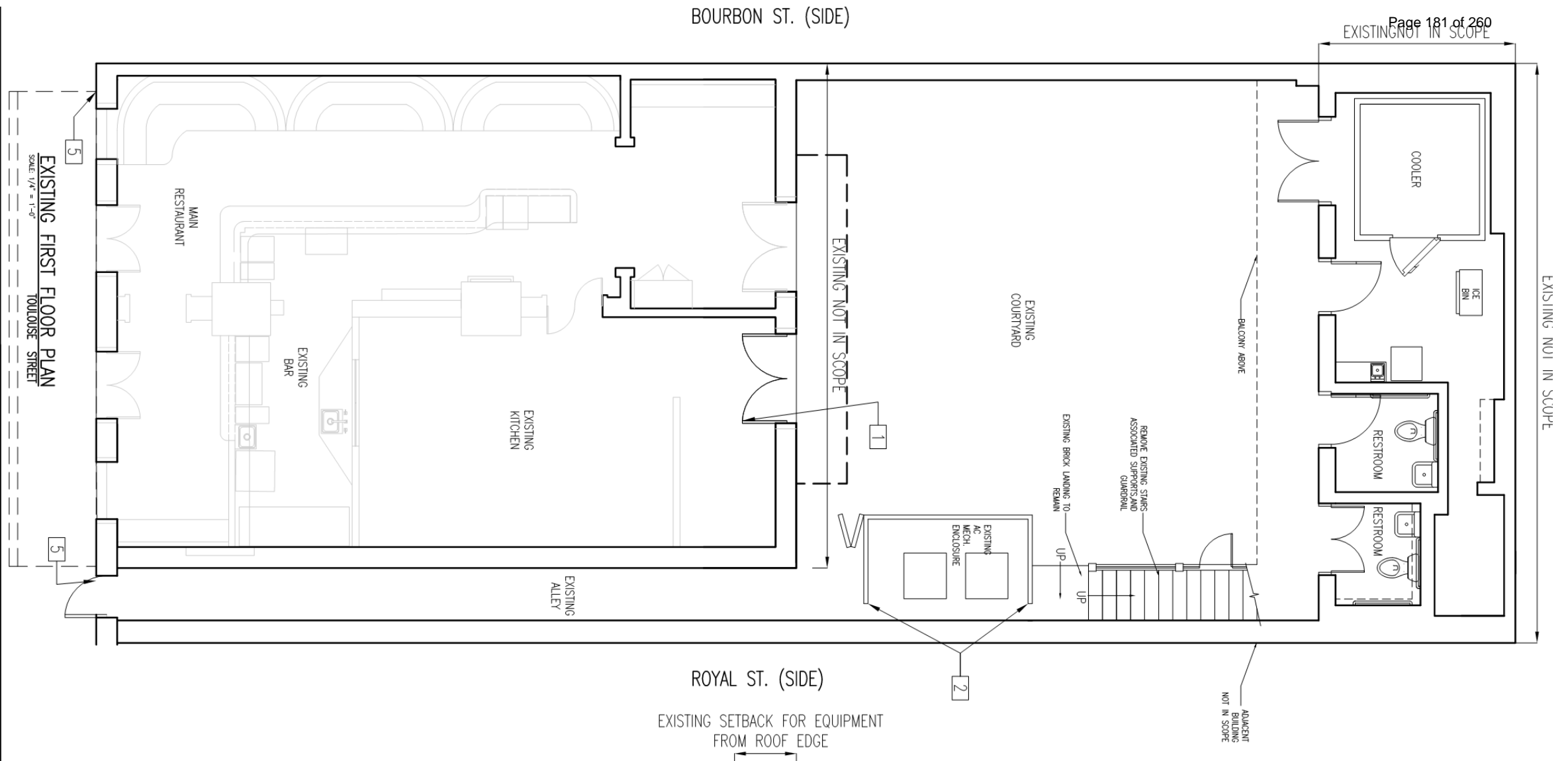
719 Toulouse

VCC Architectural Committee

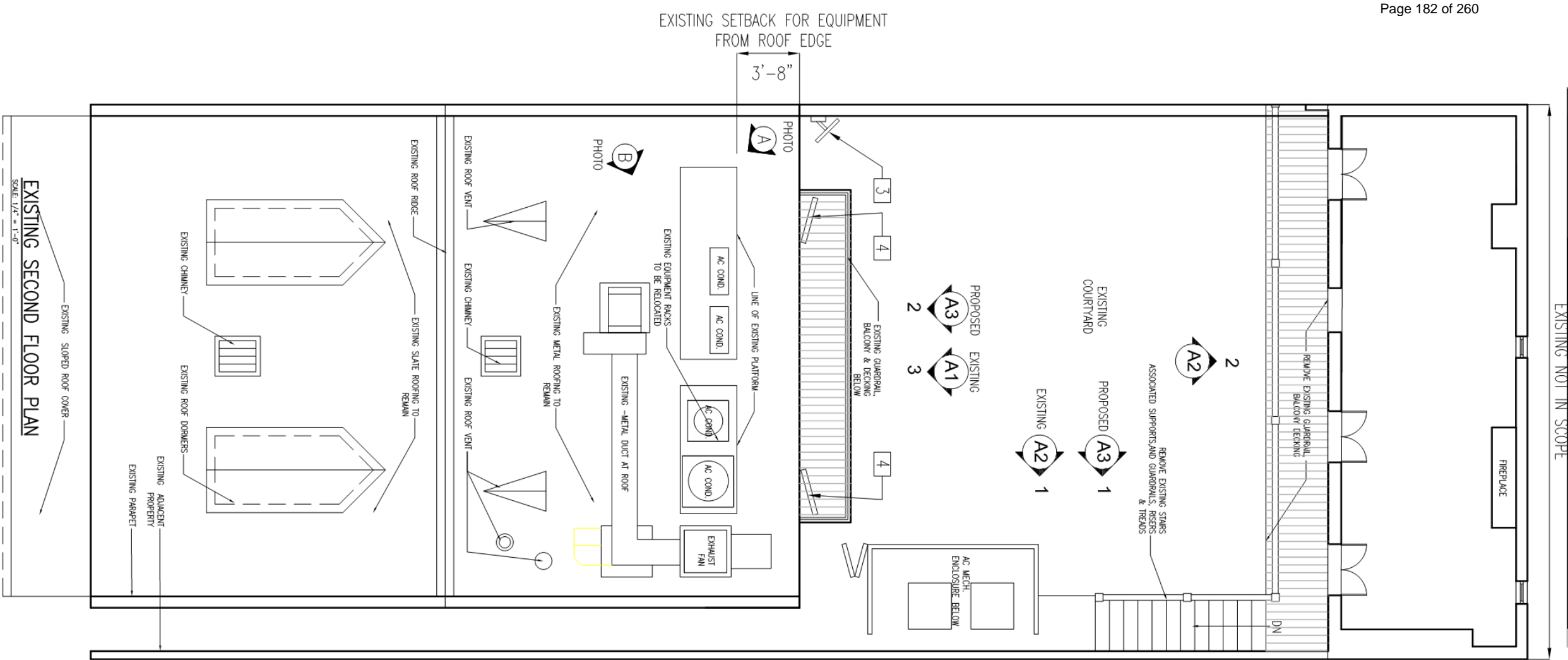
August 24, 2021







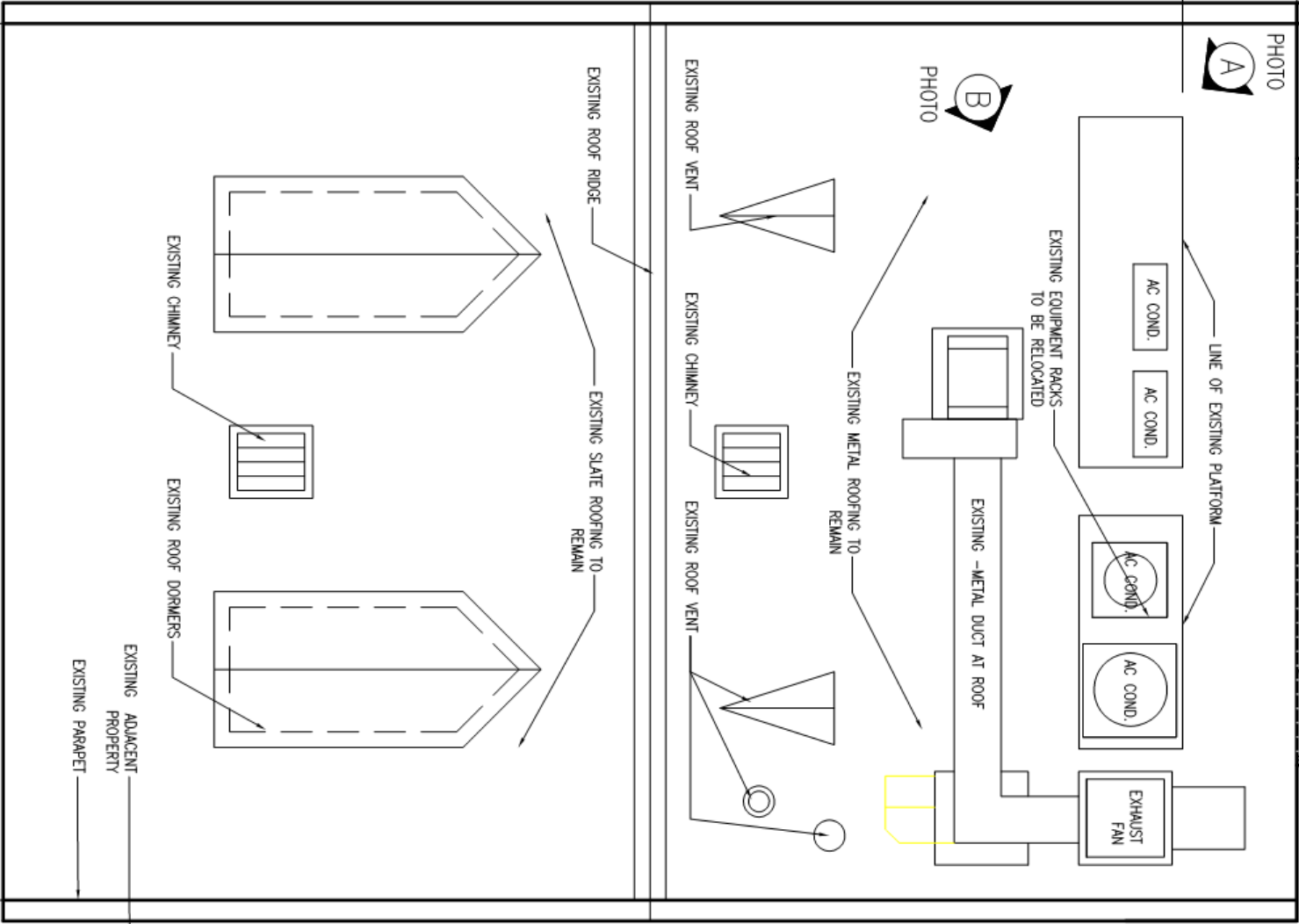
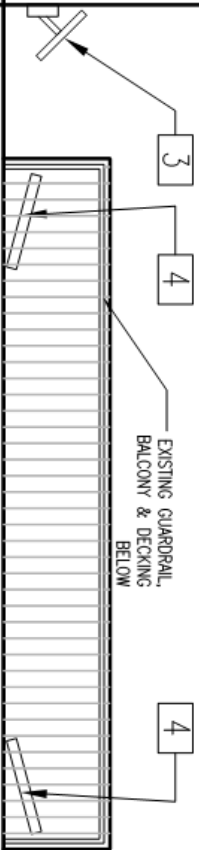




EXISTING SETBACK FOR EQUIPMENT  
FROM ROOF EDGE

3'-8"

PROPOSED  
EXISTING  
A3  
A1  
2  
3



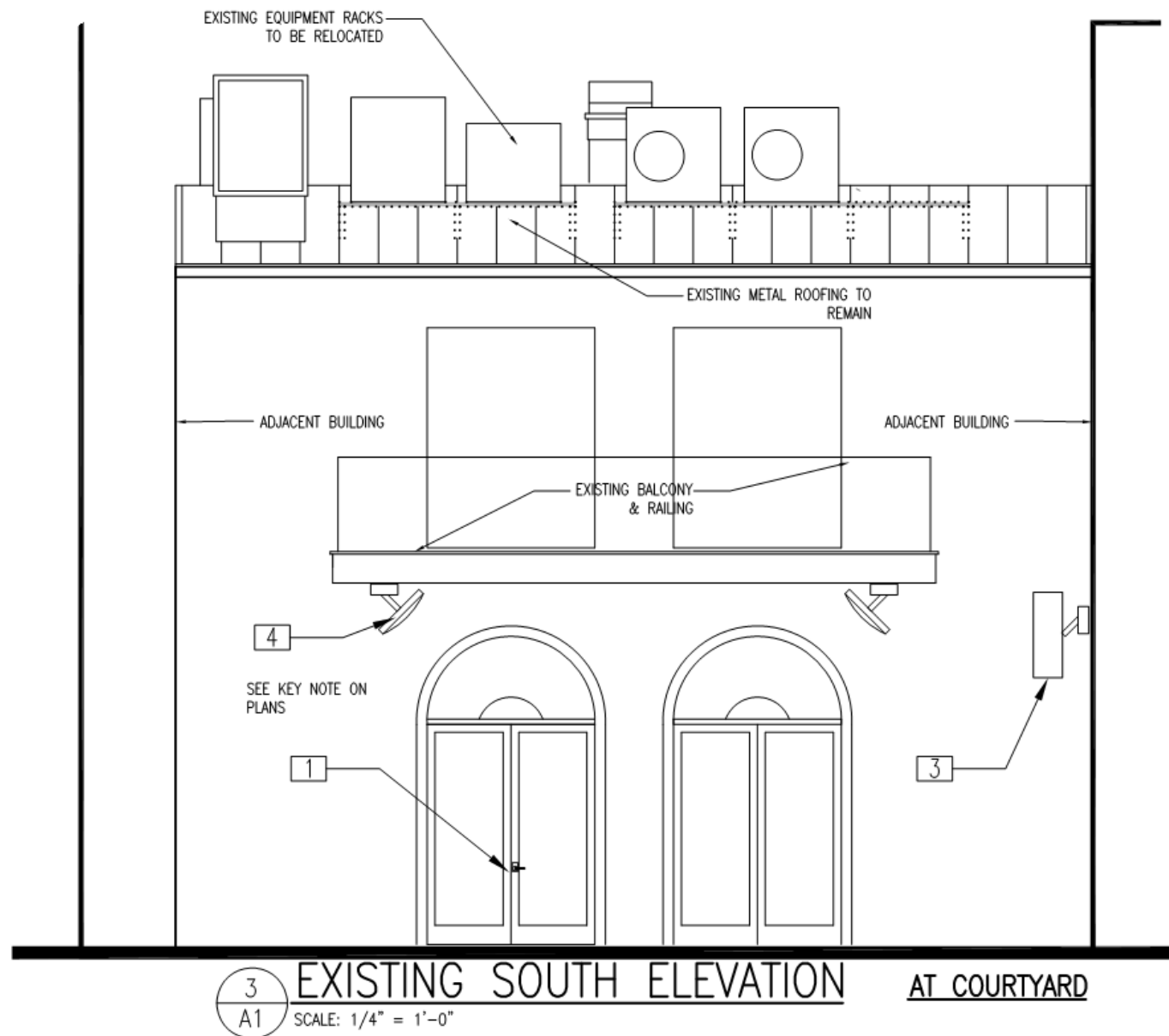
EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING SLOPED ROOF COVER





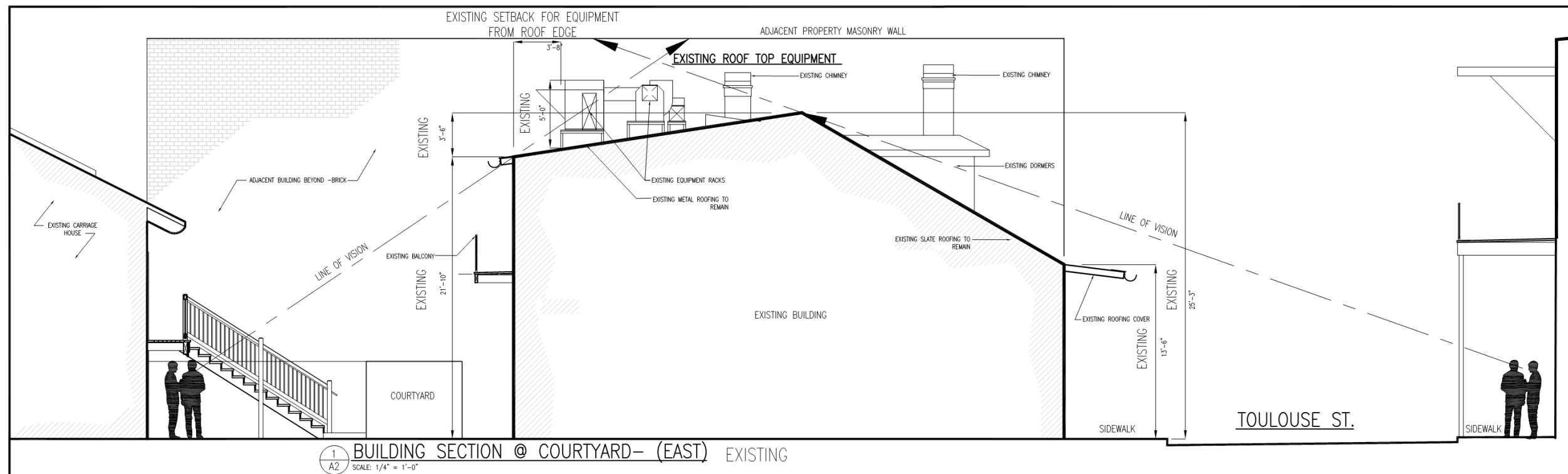


719 Toulouse

VCC Architectural Committee

August 24, 2021





719 Toulouse

VCC Architectural Committee

August 24, 2021







±15'-5"  
SECOND FLOOR  
CEILING HEIGHT

(A)

EXISTING ROOF TOP EQUIPMENT

REFER TO SHEET A-1 FOR LOCATIONS OF PHOTOS

(B)

EXISTING ROOF TOP EQUIPMENT

719 Toulouse

VCC Architectural Committee

August 24, 2021





EXISTING SOUTH ELEVATION OF ROOFTOP EQUIPMENT

719 Toulouse

VCC Architectural Committee

August 24, 2021





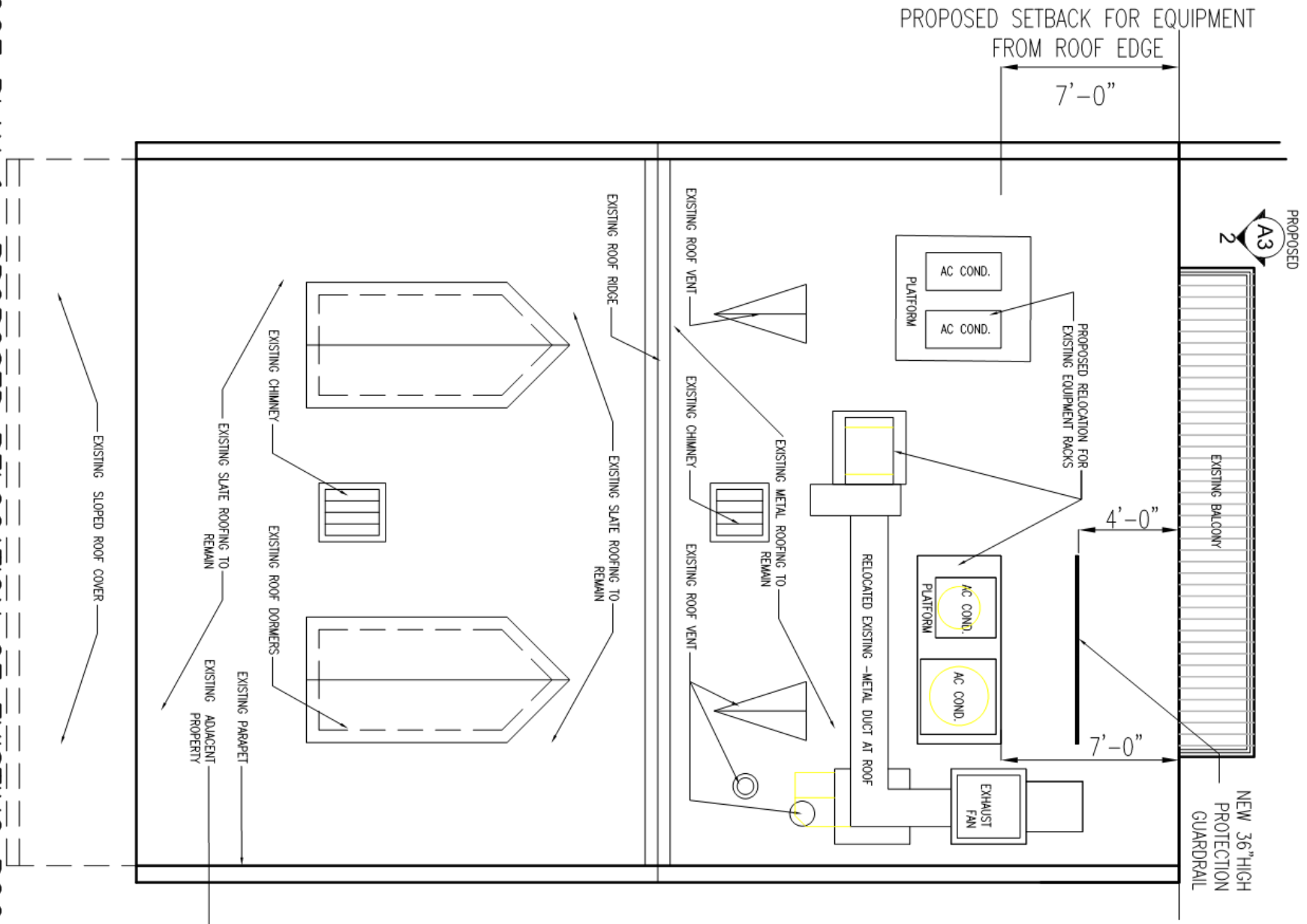


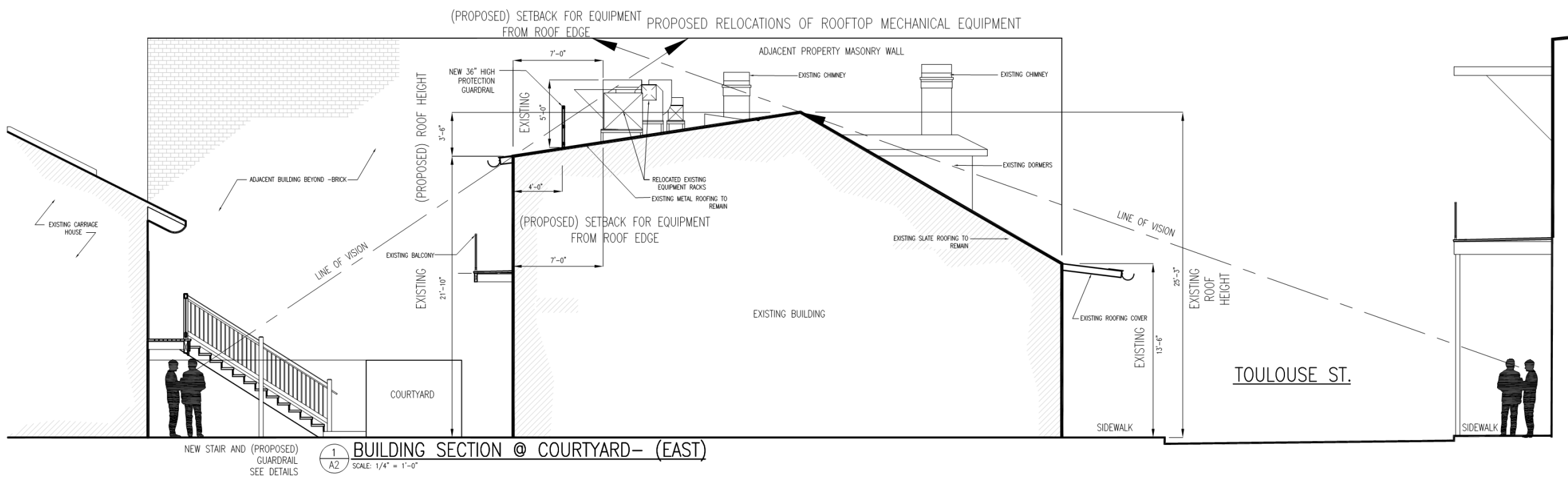
August 24, 2021

719 Toulouse  
VCC Architectural Committee

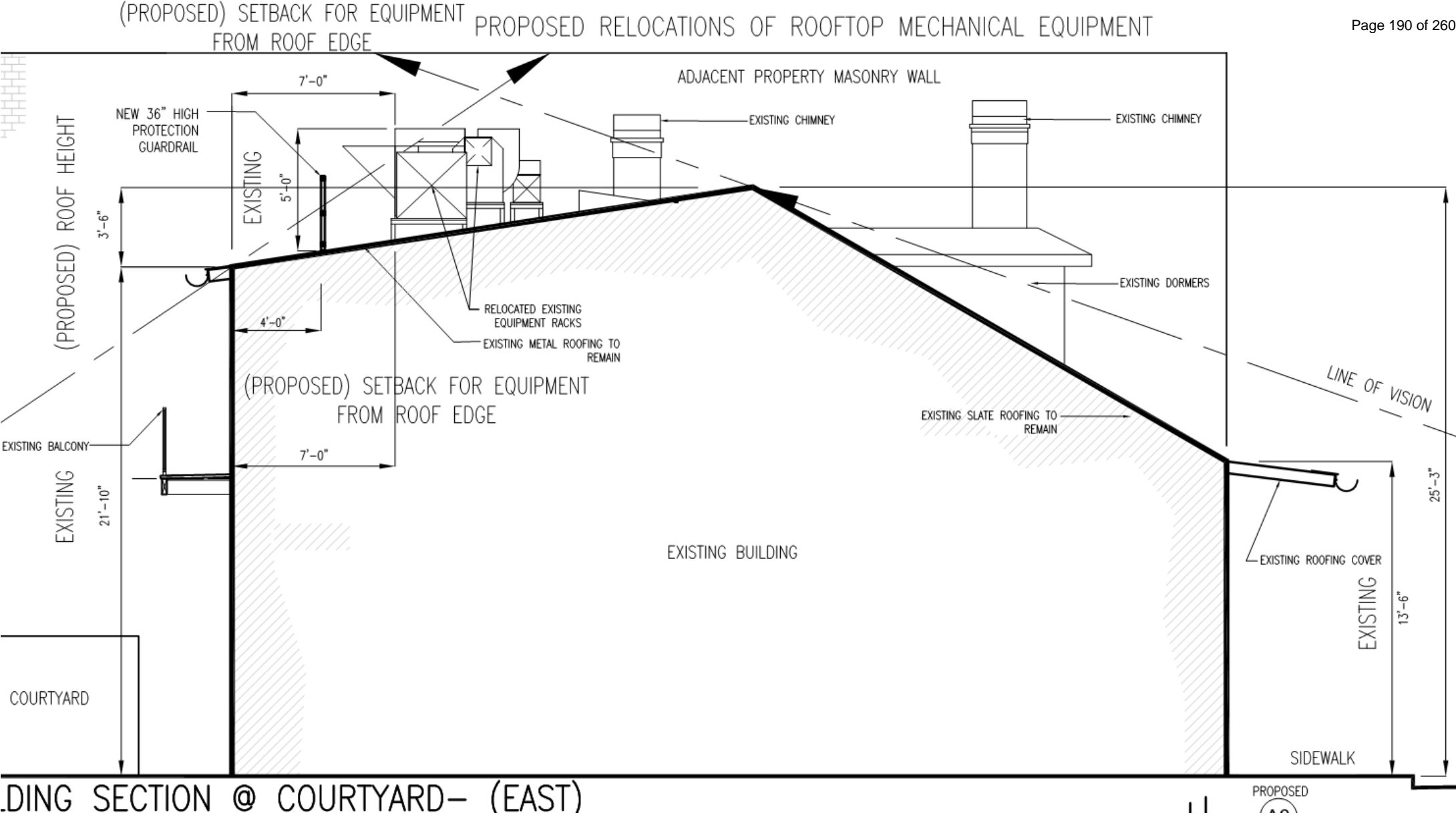
ROOF PLAN for PROPOSED RELOCATION OF EXISTING ROOF

SCALE: 1/4" = 1'-0"









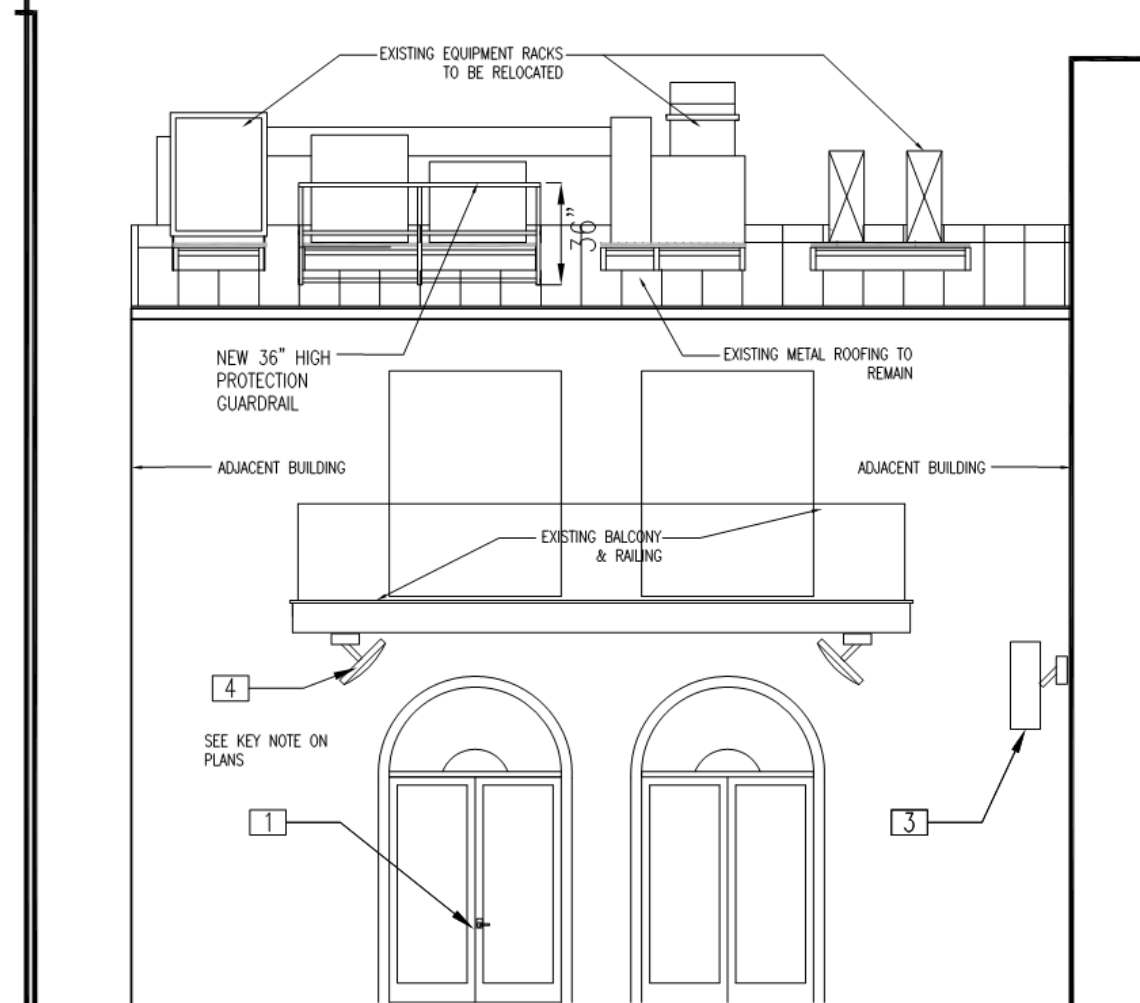
719 Toulouse

VCC Architectural Committee

August 24, 2021



# PROPOSED RELOCATIONS OF ROOFTOP MECHANICAL EQUIPMENT



2  
A3  
PROPOSED SOUTH ELEVATION AT COURTYARD  
SCALE: 1/4" = 1'-0"

719 Toulouse

VCC Architectural Committee

August 24, 2021







1 EXISTING SECURITY KEYPAD



2 LATTICE STRUCTURE ATTACHED TO NEIGHBORING WALL



3 HEATER



5 DETERIORED SHUTTERS



4 EXISTING FANS



5 DETERIORED SHUTTERS/ DOORS



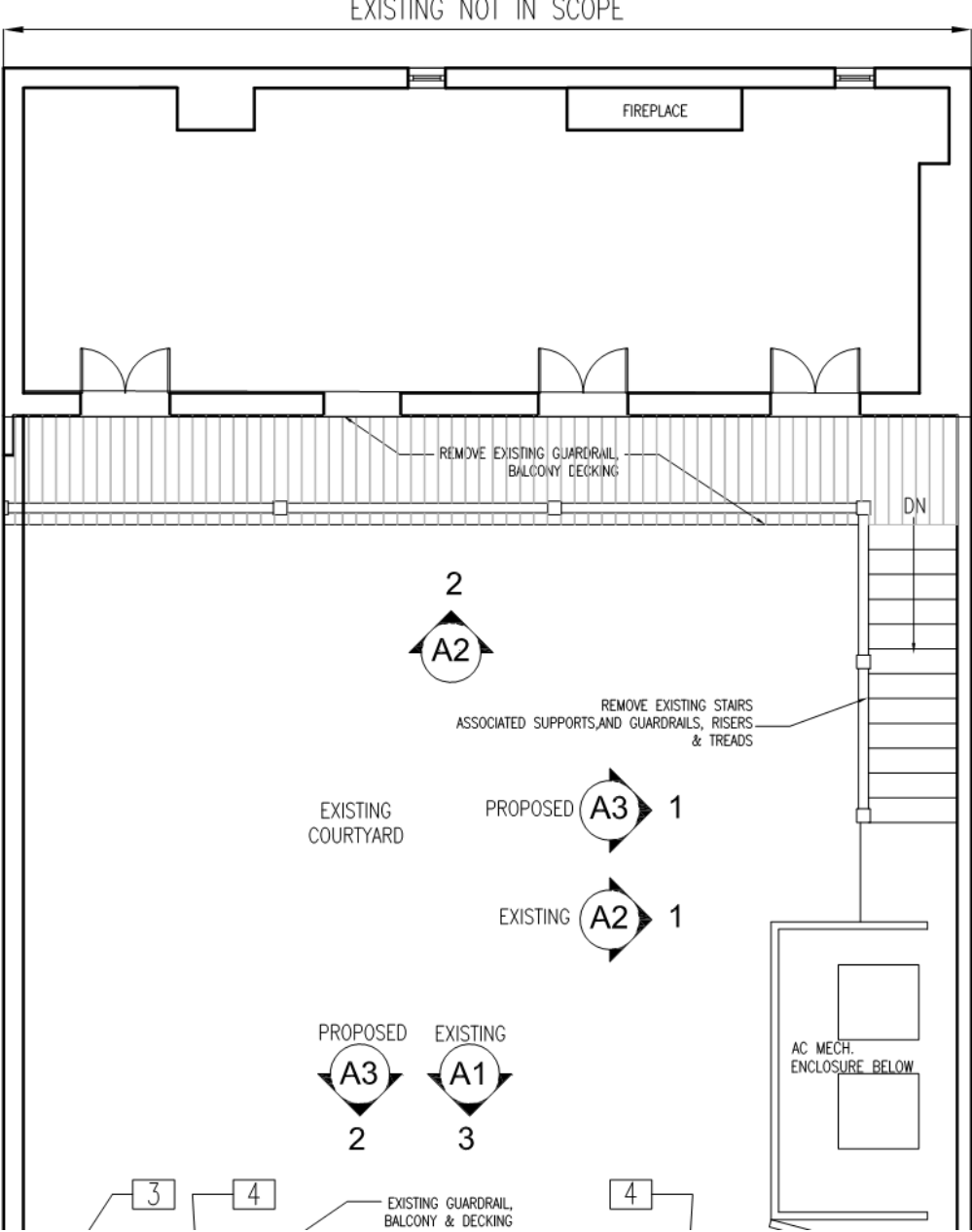
5 EXISTING NORTH ELEVATION

719 Toulouse

VCC Architectural Committee

August 24, 2021







## 719 TOULOUSE ST.

---

THE FOLLOWING NOTES ARE A RESULT OF A VISUAL SURVEY OF EXISTING FACADES AND CORRECTIVE WORK CITED IN VIOLATION OF VCC GUIDELINES. THE SPECIFIC NOTES SHOULD NOT BE CONSTRUED AS CONCLUSIVE. ADDITIONAL WORK TO FACADES MAY BE DETERMINED TO BE NECESSARY ONCE ADDITIONAL SURVEY WORK IS PERFORMED BY THE GENERAL CONTRACTOR REGARDLESS OF WHETHER INDICATED BY A SPECIFIC NOTE.

ANY ADDITIONAL EXTERIOR WORK CONTEMPLATED THAT IS NOT SPECIFICALLY IDENTIFIED ON THESE VCC APPROVED DRAWINGS MUST BE REVIEWED AND APPROVED BY THE VCC PRIOR TO PERFORMING THE WORK.

### Exterior Scope of Work

---

- |   |  |
|---|--|
| <input type="checkbox"/> 1 REMOVE EXISTING SECURITY KEYPAD LOCK ON LEFT RIGHT PANEL OF EXISTING FRENCH DOOR |  |
| <input type="checkbox"/> 2 REMOVE MECHANICAL ENCLOSURE WHERE MEETS ADJACENT NEIGHBORS WALL/DETACH FROM WALL |  |
| <input type="checkbox"/> 3 REMOVE EXISTING OVERHEAD HEATER  | <input type="checkbox"/> 6 SECURITY CAMERAS -( REMOVED )         |
| <input type="checkbox"/> 4 REMOVE EXISTING OVERHEAD CIRCULATION FANS  | <input type="checkbox"/> 7 STRING LIGHTS ( REMOVED )             |
| <input type="checkbox"/> 5 REPAIR DETERIORATED SHUTTERS/ DOORS  | <input type="checkbox"/> 8 SPEAKERS ATTACHED TO WALL - (REMOVED) |





EXISTING NORTH ELEVATION

719 Toulouse

VCC Architectural Committee

August 24, 2021





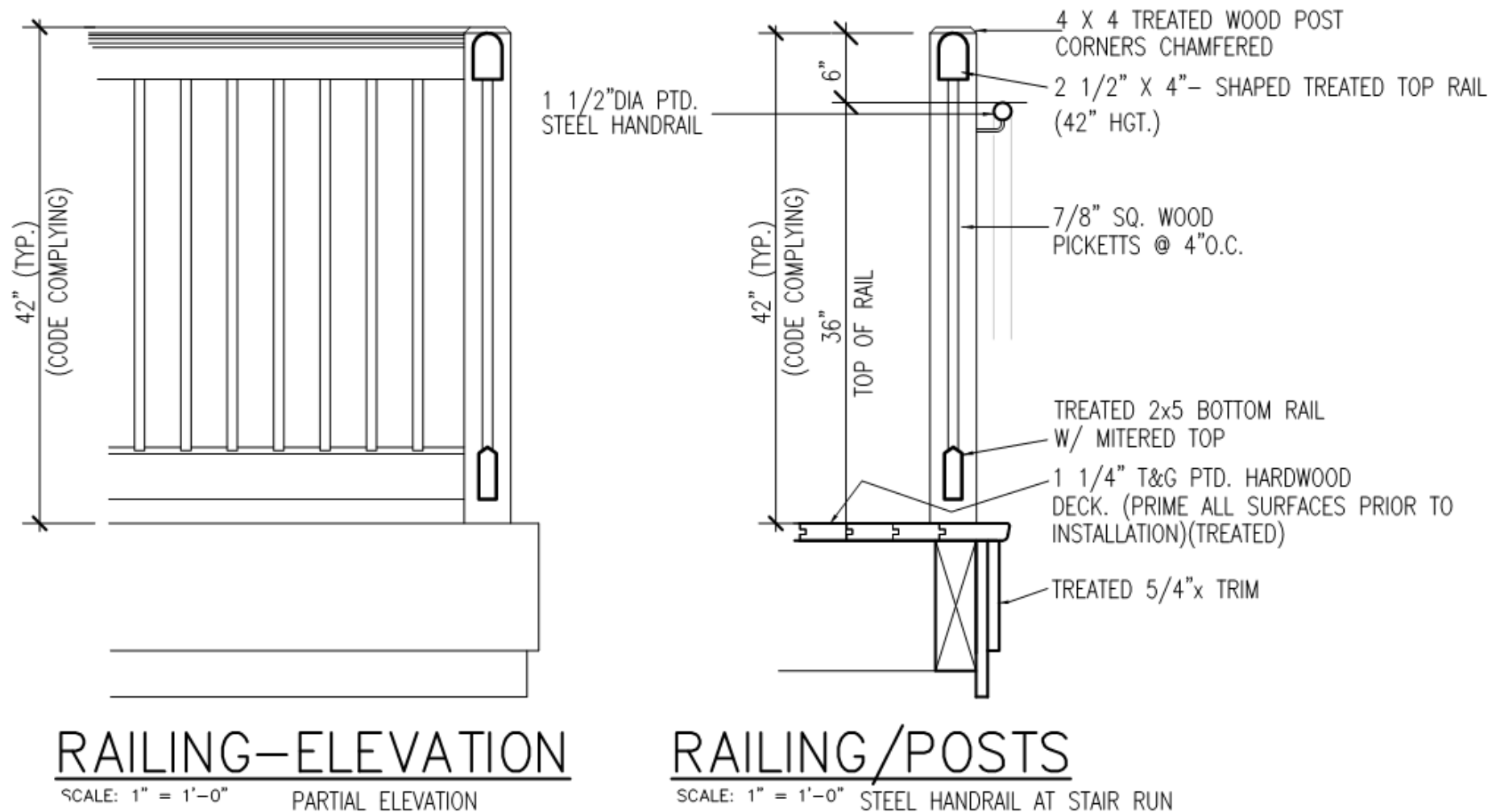


SCALE: 1/4" = 1'-0"

SEE SHEET A3- FOR DETAILS

August 24, 2021





PROPOSED HANDRAIL DESIGN REPLACEMENT





719 Toulouse

VCC Architectural Committee

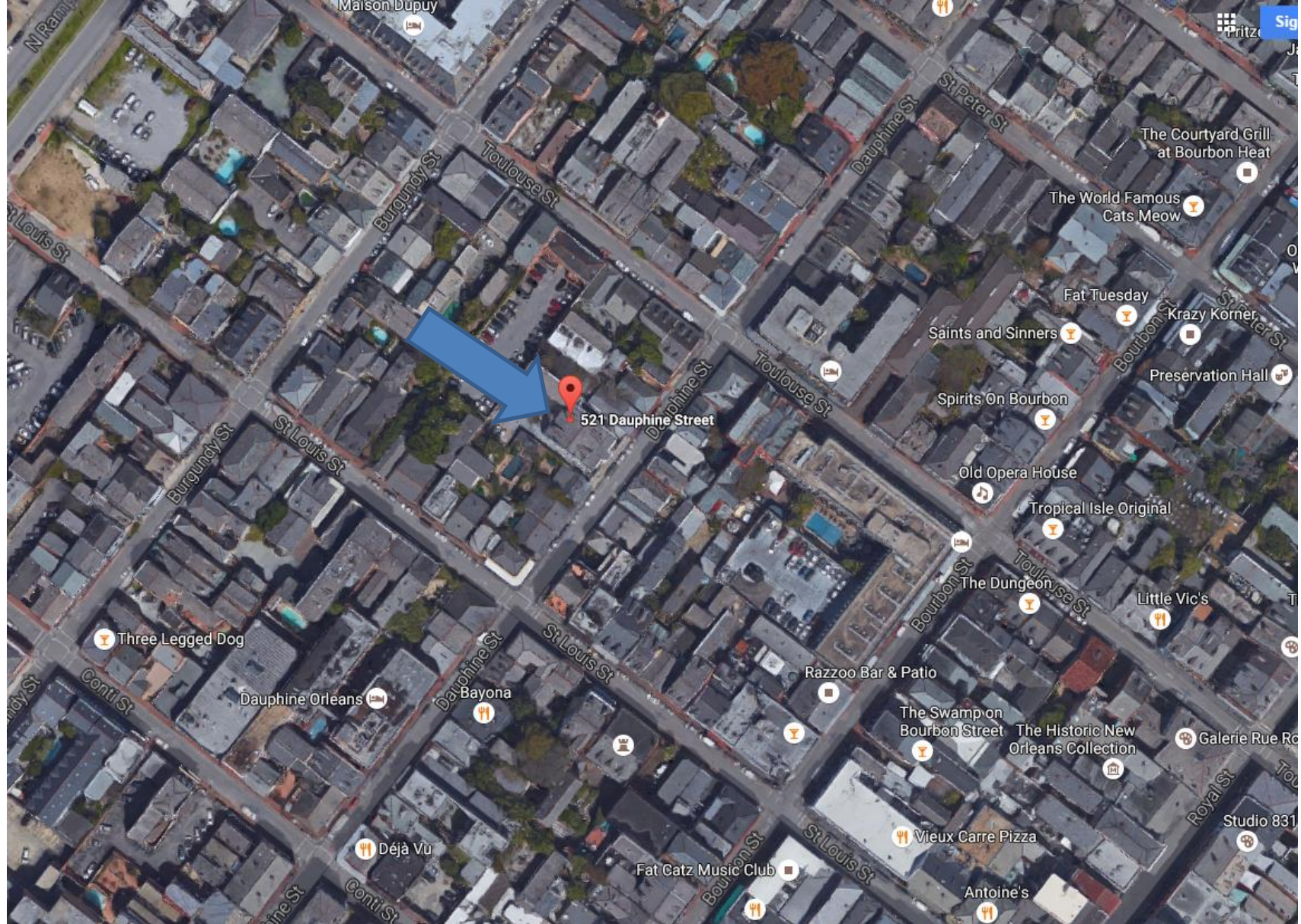
August 24, 2021





**521 Dauphine**





521 Dauphine

VCC Architectural Committee

August 24, 2021







521 Dauphine

VCC Architectural Committee

August 24, 2021







521 Dauphine

VCC Architectural Committee

August 24, 2021





521 Dauphine

VCC Architectural Committee

August 24, 2021







521 Dauphine

VCC Architectural Committee

August 24, 2021





521 Dauphine

VCC Architectural Committee

August 24, 2021







521 Dauphine

VCC Architectural Committee

August 24, 2021







521 Dauphine

VCC Architectural Committee

August 24, 2021







521 Dauphine

VCC Architectural Committee

August 24, 2021





521 Dauphine

VCC Architectural Committee

August 24, 2021







521 Dauphine





Existing Mechanical Area

521 Dauphine

VCC Architectural Committee

August 24, 2021







521 Dauphine

VCC Architectural Committee

August 24, 2021



# MINOR ALTERATIONS TO 521 DAUPHINE STREET

PROJECT DIRECTORY	PROJECT INFORMATION
<b>OWNER/TOWN</b> 521 DAUPHINE STREET, LLC 521 DAUPHINE ST NEW ORLEANS, LA 70112 CONTACT: CAROLYN ZELLER (czeller@521dauphine.com)	<b>PROJECT ADDRESS</b> 521 DAUPHINE STREET NEW ORLEANS, LA 70112  <b>PROJECT DESCRIPTION</b> RESPOND TO VCC VIOLATIONS LETTER 21-03782 VCCOMP REMOVE VEGETATION ON EXTERIOR WALL AND PATIO/PAINT STUCCO AS REQUIRED REPAIR DORMER WOOD TRIM. REMOVE PREVIOUSLY INSTALLED TOP HINGED SHUTTERS AND HARDWARE. INSTALL EXTERIOR HVAC CONDENSING UNITS AND WALL EXHIBIT VENT HOODS.
<b>ARCHITECT</b> WINK ARCHITECTURE, LLC 3210 DAUPHINE ST NEW ORLEANS, LA 70119 TEL: (504) 251-4371 CONTACT: DANIEL WINKERT (info@winkarchitecture.com)	<b>MANDATORY APPLICABLE CODES AND REGULATIONS (NOT LIMITED TO THE FOLLOWING):</b> <ul style="list-style-type: none"> <li>INTERNATIONAL EXISTING BUILDING CODE, 2019 ED.</li> <li>INTERNATIONAL BUILDING CODE, 2015 ED.</li> <li>INTERNATIONAL PLUMBING CODE, 2015 ED.</li> <li>INTERNATIONAL MECHANICAL CODE, 2015 ED.</li> <li>NFPA 101, LIFE SAFETY CODE, 2015 ED.</li> <li>NATIONAL ELECTRICAL CODE (NFPA 70)</li> </ul>
<b>GENERAL CONTRACTOR</b> TBD	<b>PROPERTY INFORMATION</b> SQUARE: 90 LOT: 1 MUNICIPAL DISTRICT: 3 BOUNDING STREETS: DAUPHINE, ST. LOUIS, BURGUNDY, TOULOUSE STREETS HISTORIC DISTRICT: Vieux Carre HISTORIC DISTRICT  <b>FLOOD ZONE:</b> X <b>CONSTRUCTION TYPE:</b> IIB



**wink**  
 architecture  
 3210 Dauphine St New Orleans, LA 70119  
 info@winkarchitecture.com  
 504.251.4371

MINOR ALTERATIONS TO  
 521 DAUPHINE STREET  
 New Orleans, Louisiana

70112

-REVISIONS-  

No.	Date	Scope
1	8/10/21	Revision 1

DRAWING  
 EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"  
 JOB No. 2111.00  
 DATE 7/1/2021  
 Sheet No.

**A201**







521 Dauphine

VCC Architectural Committee

August 24, 2021





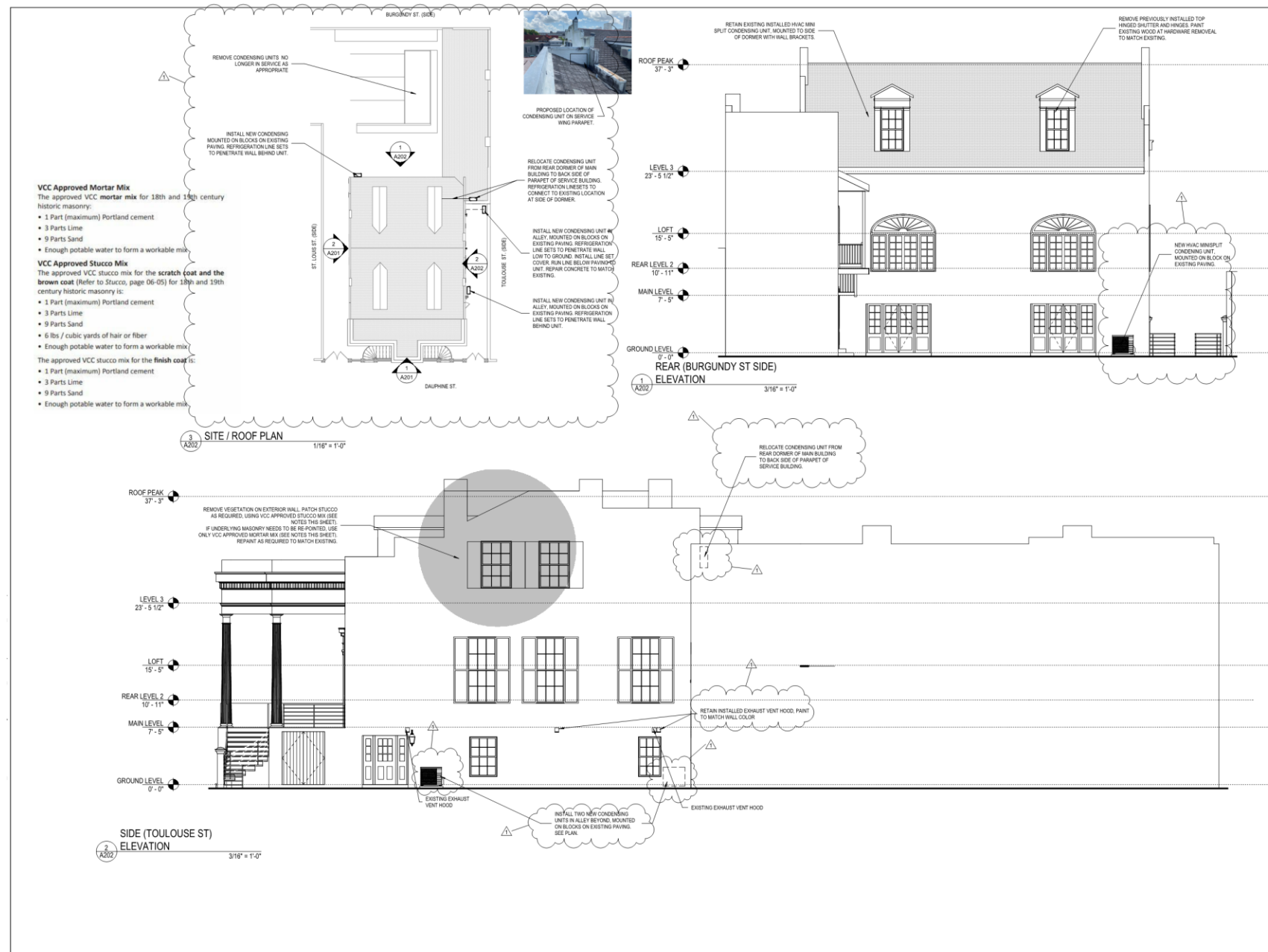
521 Dauphine

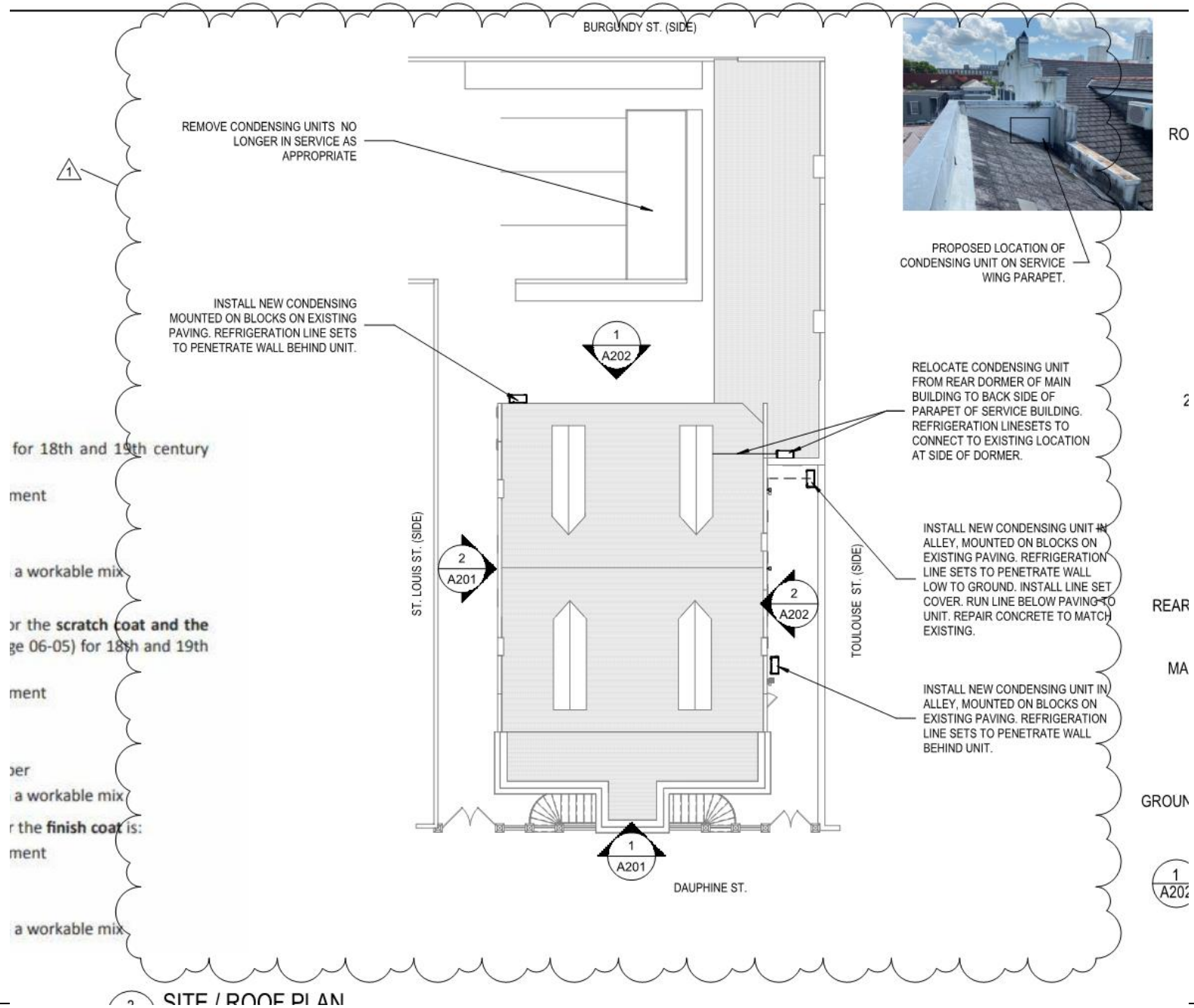
VCC Architectural Committee

August 24, 2021









2 SITE / ROOF PLAN

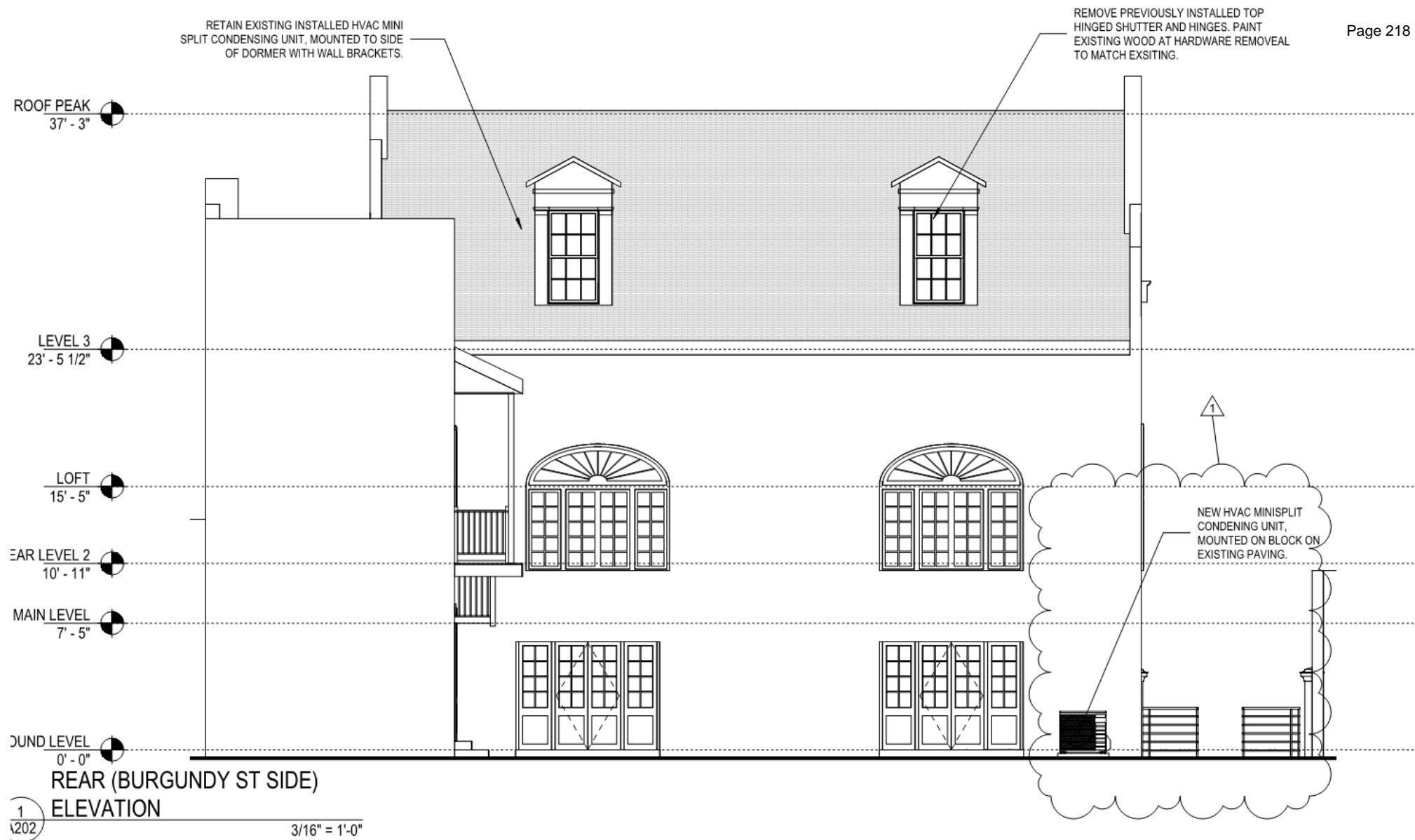
521 Dauphine

VCC Architectural Committee

August 24, 2021





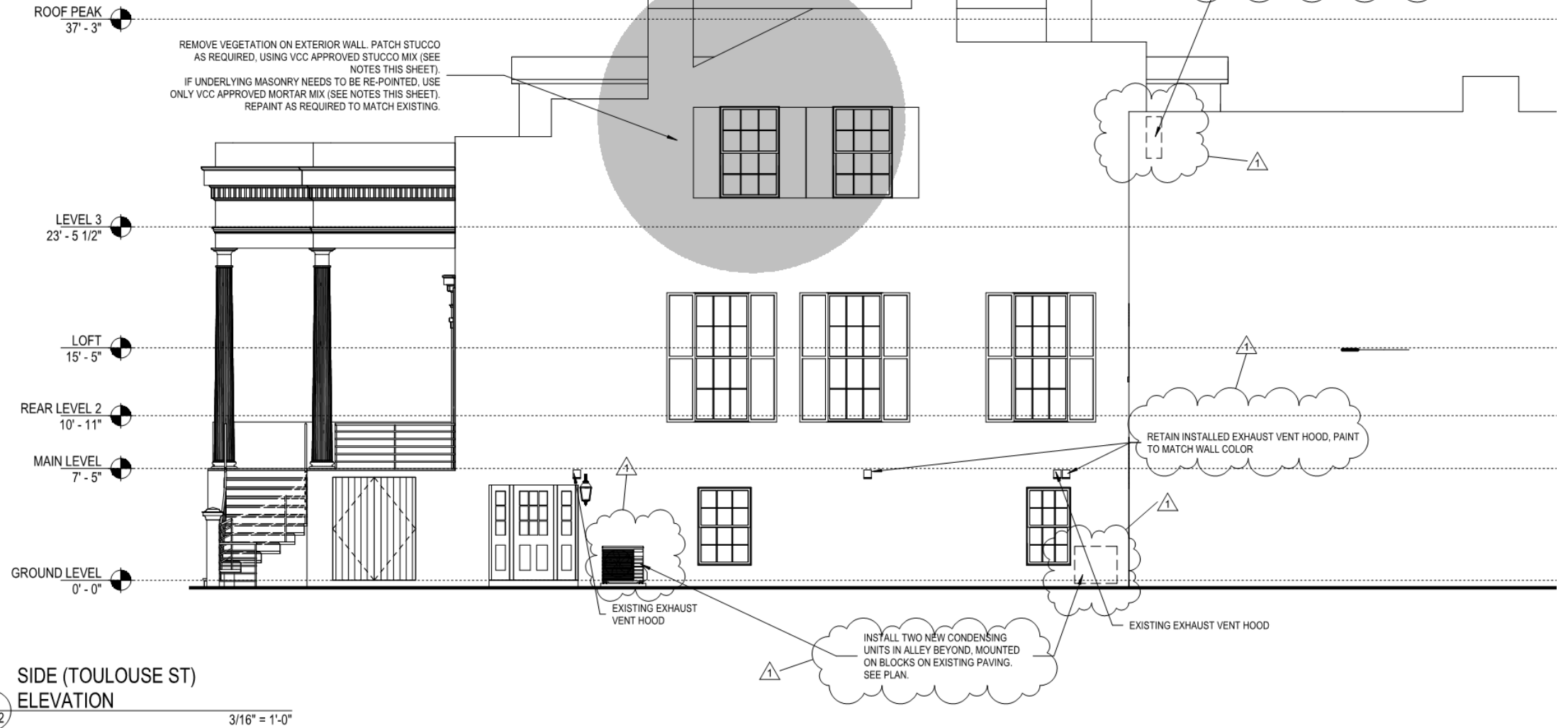


521 Dauphine

VCC Architectural Committee

August 24, 2021









521 Dauphine

VCC Architectural Committee

August 24, 2021









510 Conti

VCC Architectural Committee

August 24, 2021





510 Conti

VCC Architectural Committee

August 24, 2021







510 Conti – 1974

VCC Architectural Committee

August 24, 2021





510 Conti

VCC Architectural Committee

August 24, 2021







510 Conti

VCC Architectural Committee

August 24, 2021







510 Conti

VCC Architectural Committee

August 24, 2021







510 Conti

VCC Architectural Committee

August 24, 2021







510 Conti

VCC Architectural Committee

August 24, 2021





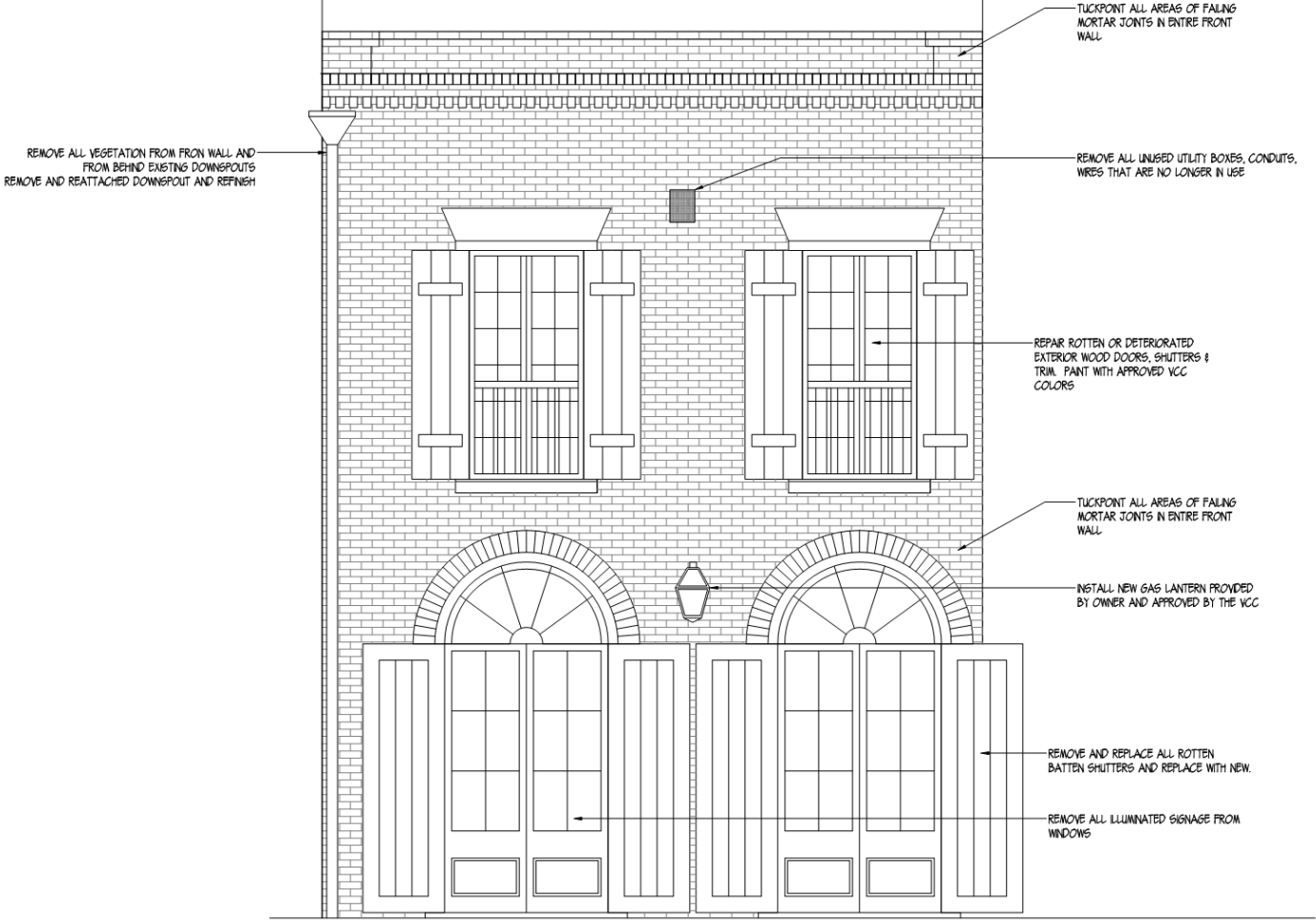


510 Conti

VCC Architectural Committee

August 24, 2021





1  
A-1

front elevation - Conti St. Side

scale: 3/8" = 1'-0"

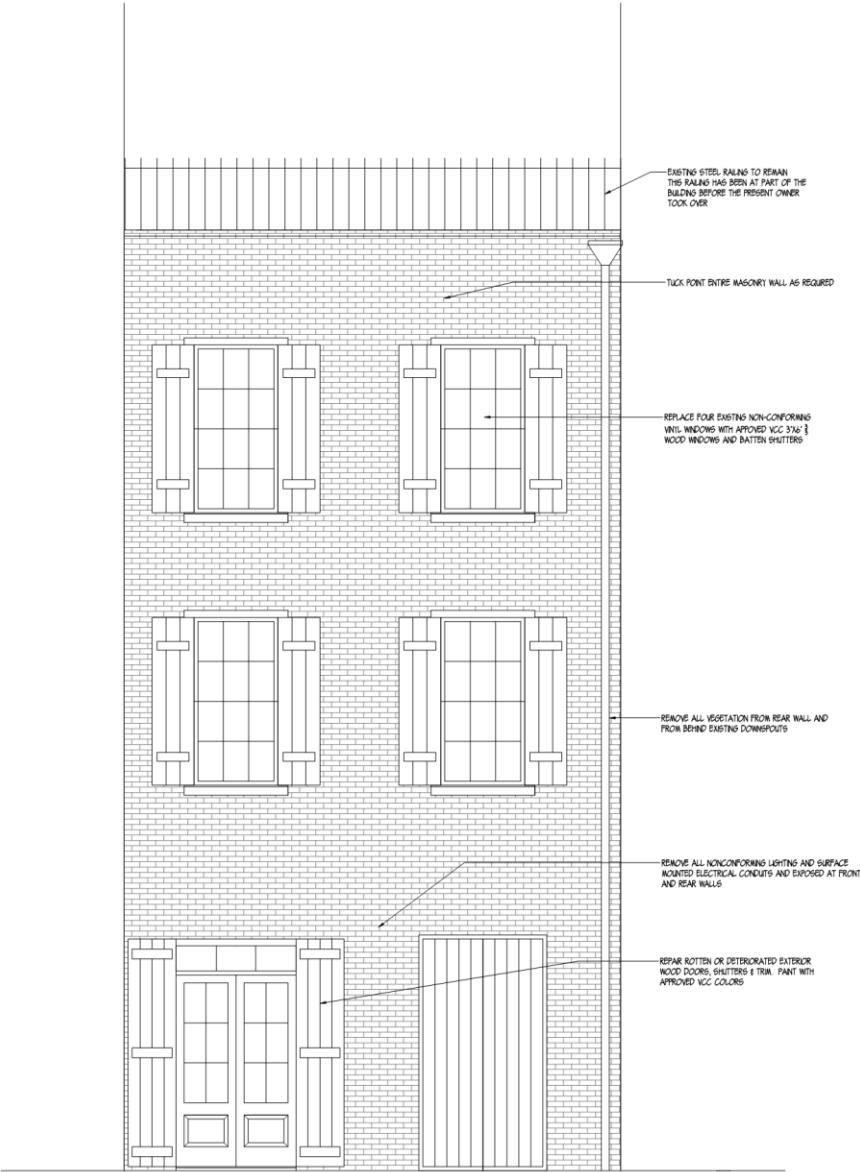
510 Conti

VCC Architectural Committee

August 24, 2021







2 rear elevation  
A-1

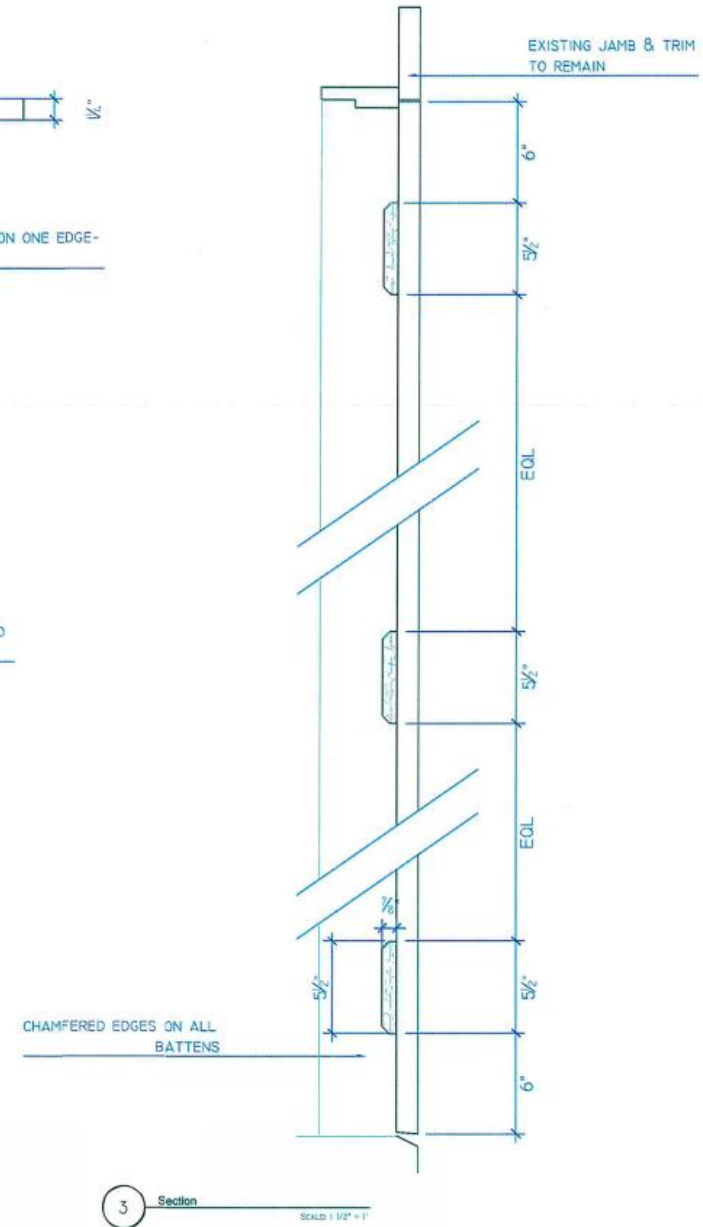
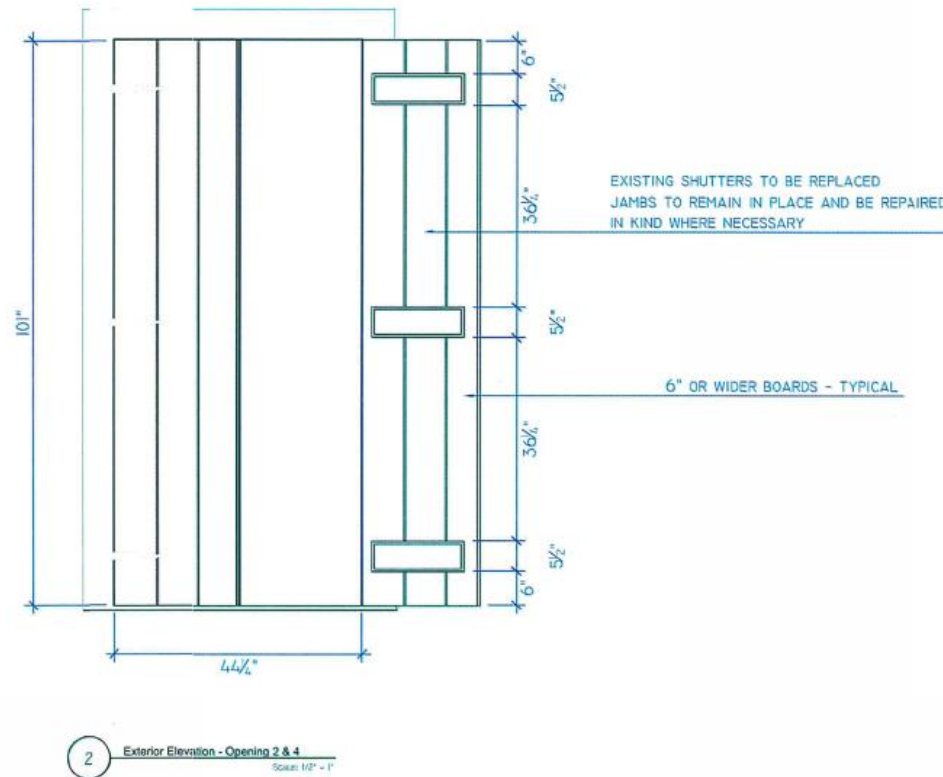
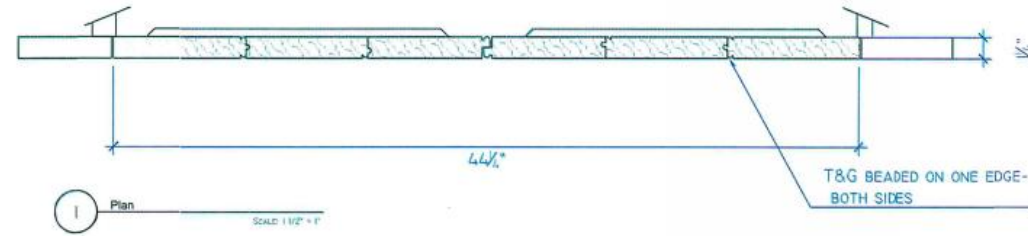
scale: 3/8" = 1'-0"

510 Conti

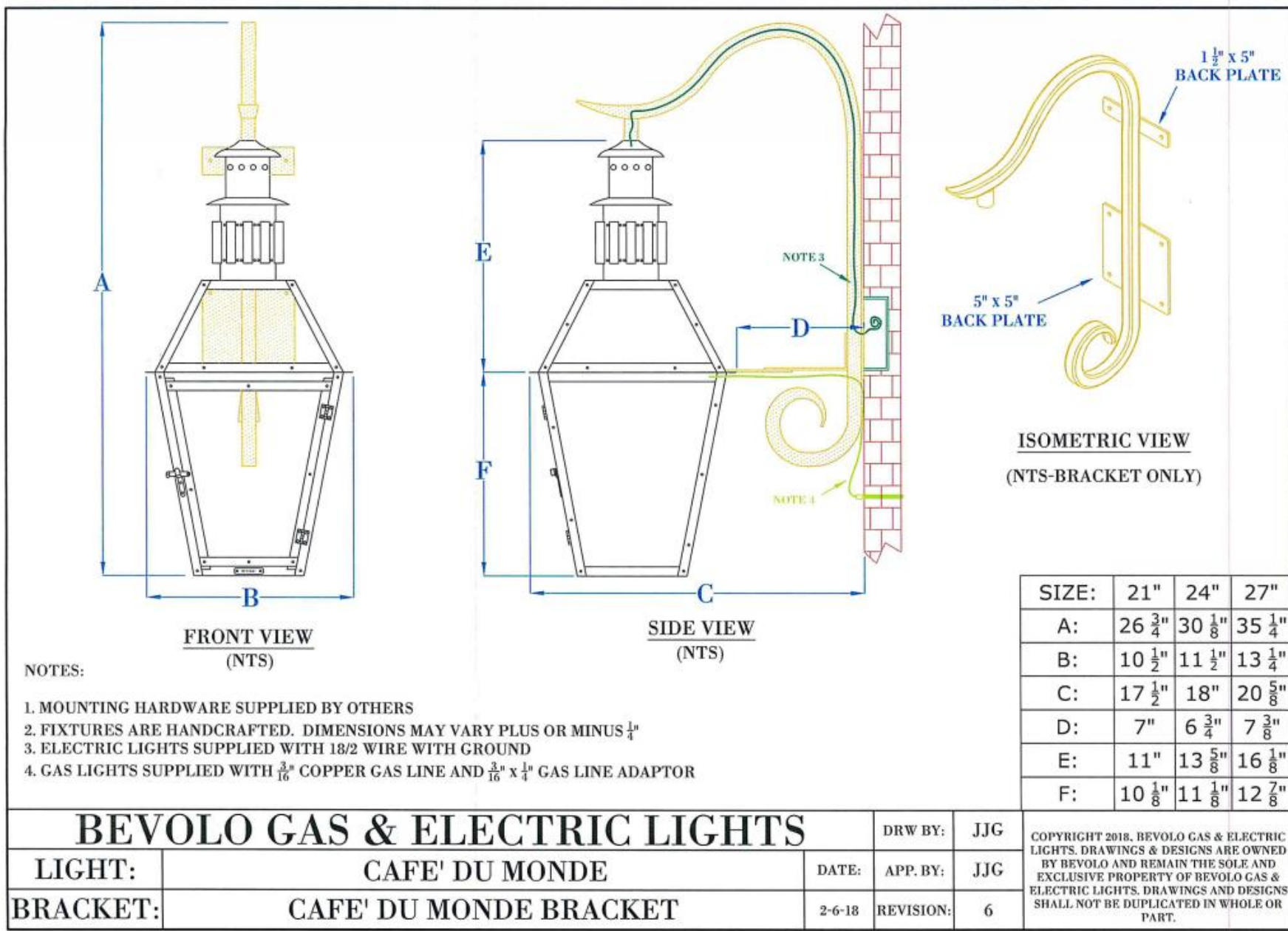
VCC Architectural Committee

August 24, 2021









510 Conti

VCC Architectural Committee

August 24, 2021





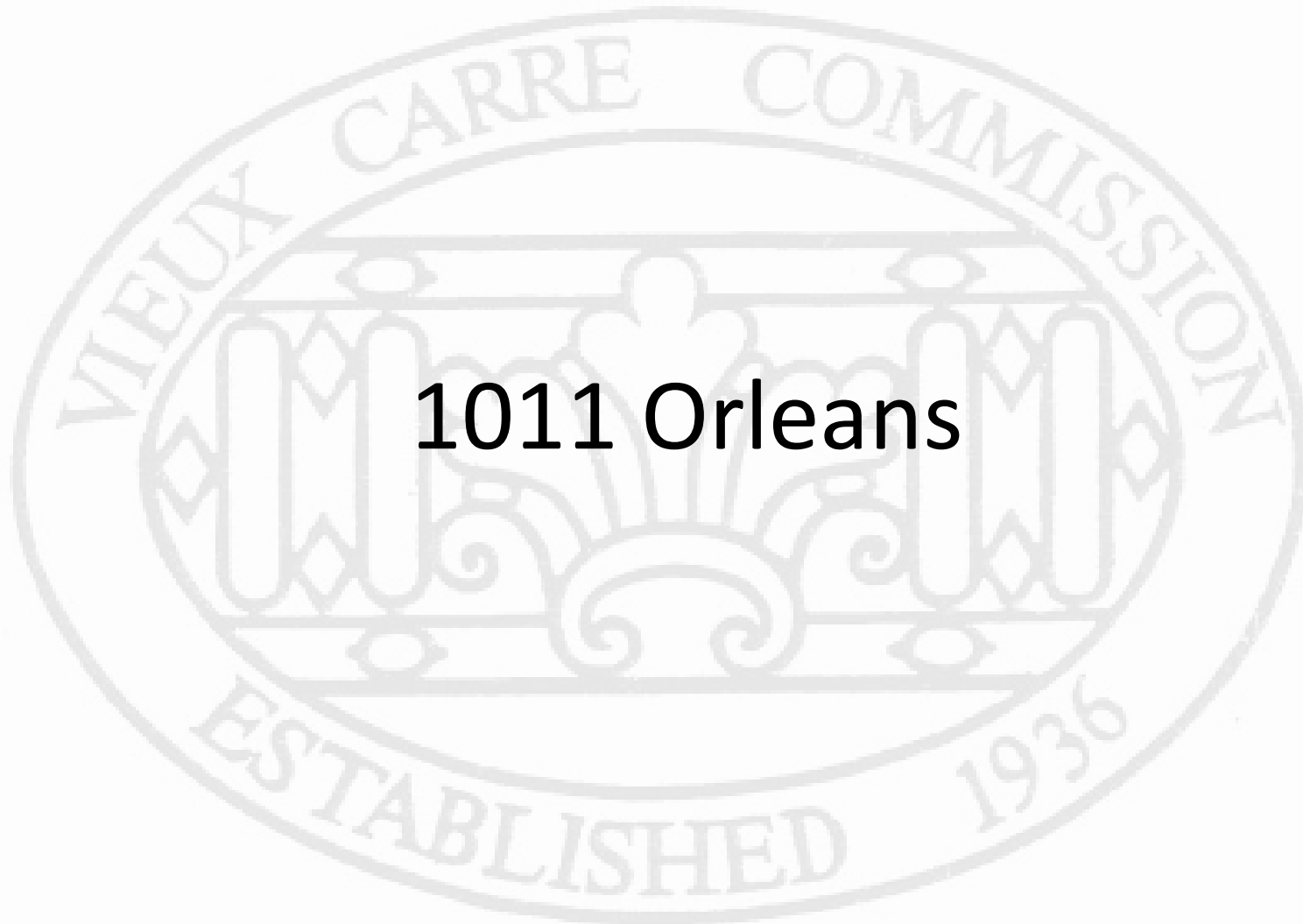
front elevation - Conti St. Side

510 Conti





1011 Orleans





1011 Orleans

VCC Architectural Committee

August 24, 2021







1011 Orleans

VCC Architectural Comm

ust 24, 2021





1011 Orleans

VCC Architectural Committee

August 24, 2021







1011 Orleans

VCC Architectural Committee

August 24, 2021





1011 Orleans

VCC Architectural Committee

August 24, 2021







1011 Orlean  
VCC Architect

08 06 2021







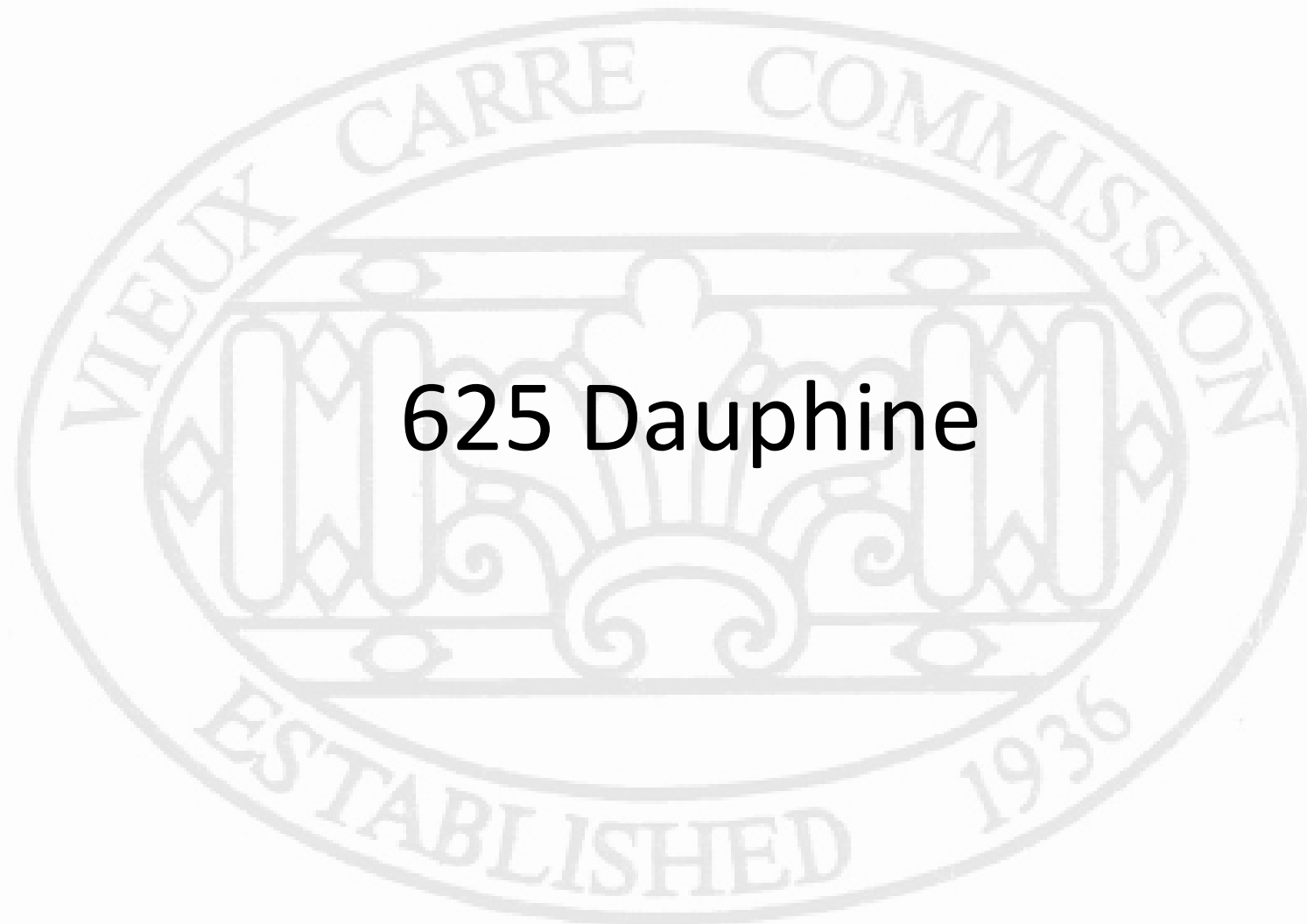
1011 Orleans

VCC Architectural Committee

August 24, 2021







**625 Dauphine**



625 Dauphine

VCC Architectural Committee

August 24, 2021







625 Dauphine

VCC Architectural Committee

August 24, 2021





625 Dauphine

VCC Architectural Committee

August 24, 2021







625 Dauphine

VCC Architectural Committee

August 24, 2021





625 Dauphine

VCC Architectural Committee

August 24, 2021







625 Dauphine

VCC Architectural Committee

August 24, 2021







625 Dauphine

VCC Architectural Committee

August 24, 2021







625 Dauphine

VCC Architectural Committee

August 24, 2021







625 Dauphine

VCC Architectural Committee

August 24, 2021







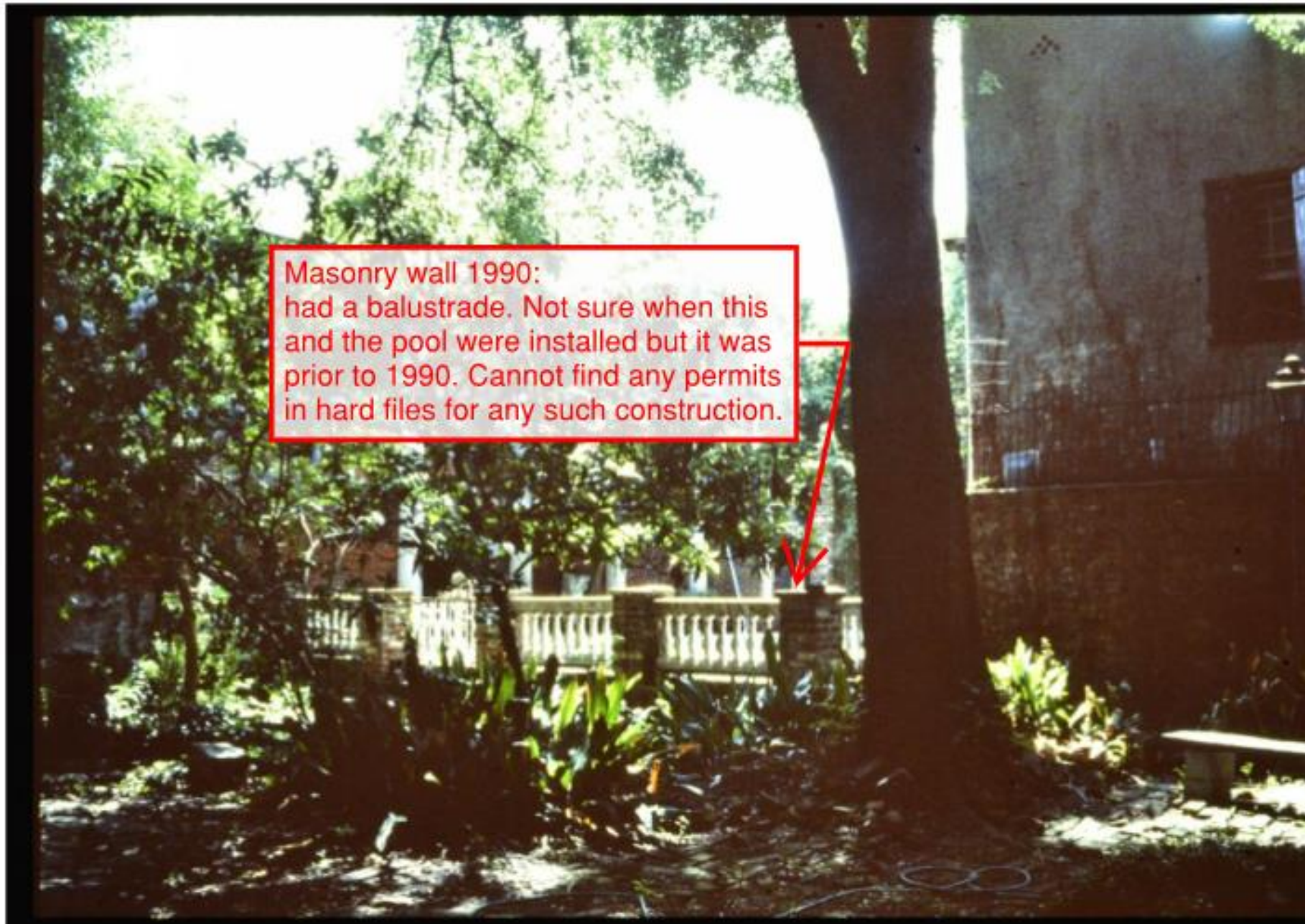
625 Dauphine

VCC Architectural Committee

August 24, 2021

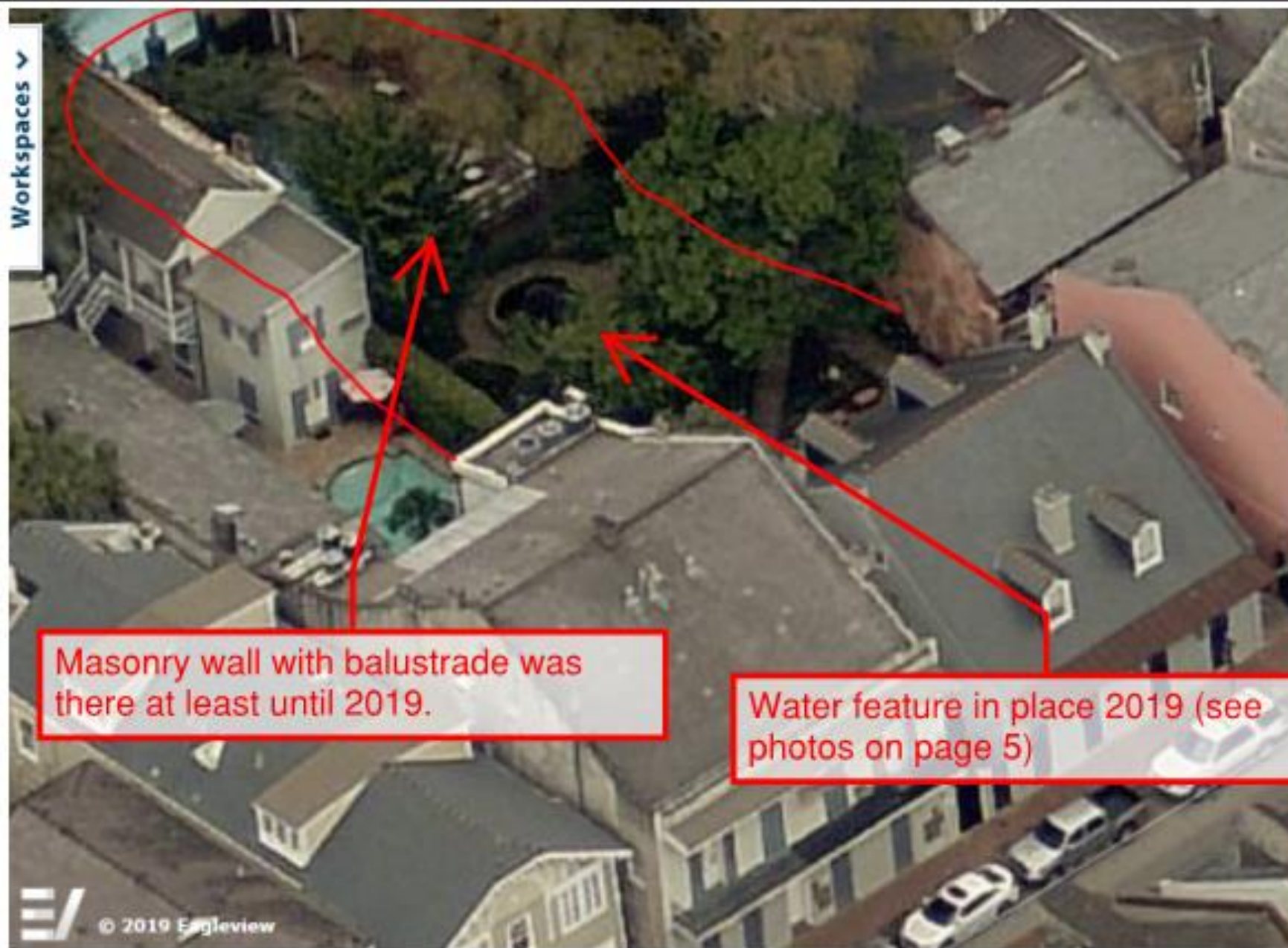






Masonry wall 1990:  
had a balustrade. Not sure when this  
and the pool were installed but it was  
prior to 1990. Cannot find any permits  
in hard files for any such construction.





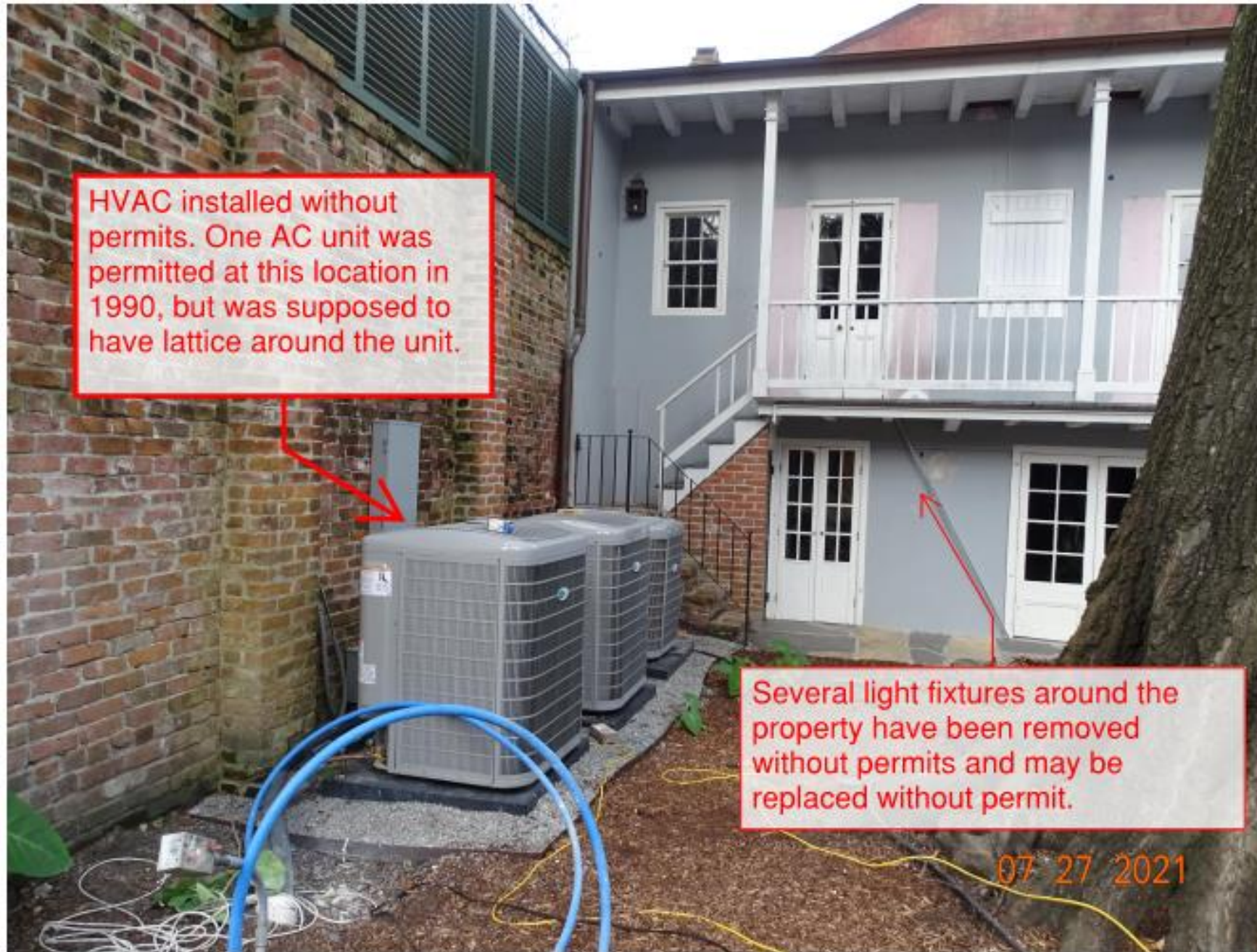
625 Dauphine

VCC Architectural Committee

August 24, 2021







HVAC installed without permits. One AC unit was permitted at this location in 1990, but was supposed to have lattice around the unit.

Several light fixtures around the property have been removed without permits and may be replaced without permit.

07 27 2021

625 Dauphine

VCC Architectural Committee

August 24, 2021







625 Dauphine

VCC Architectural Committee

August 24, 2021







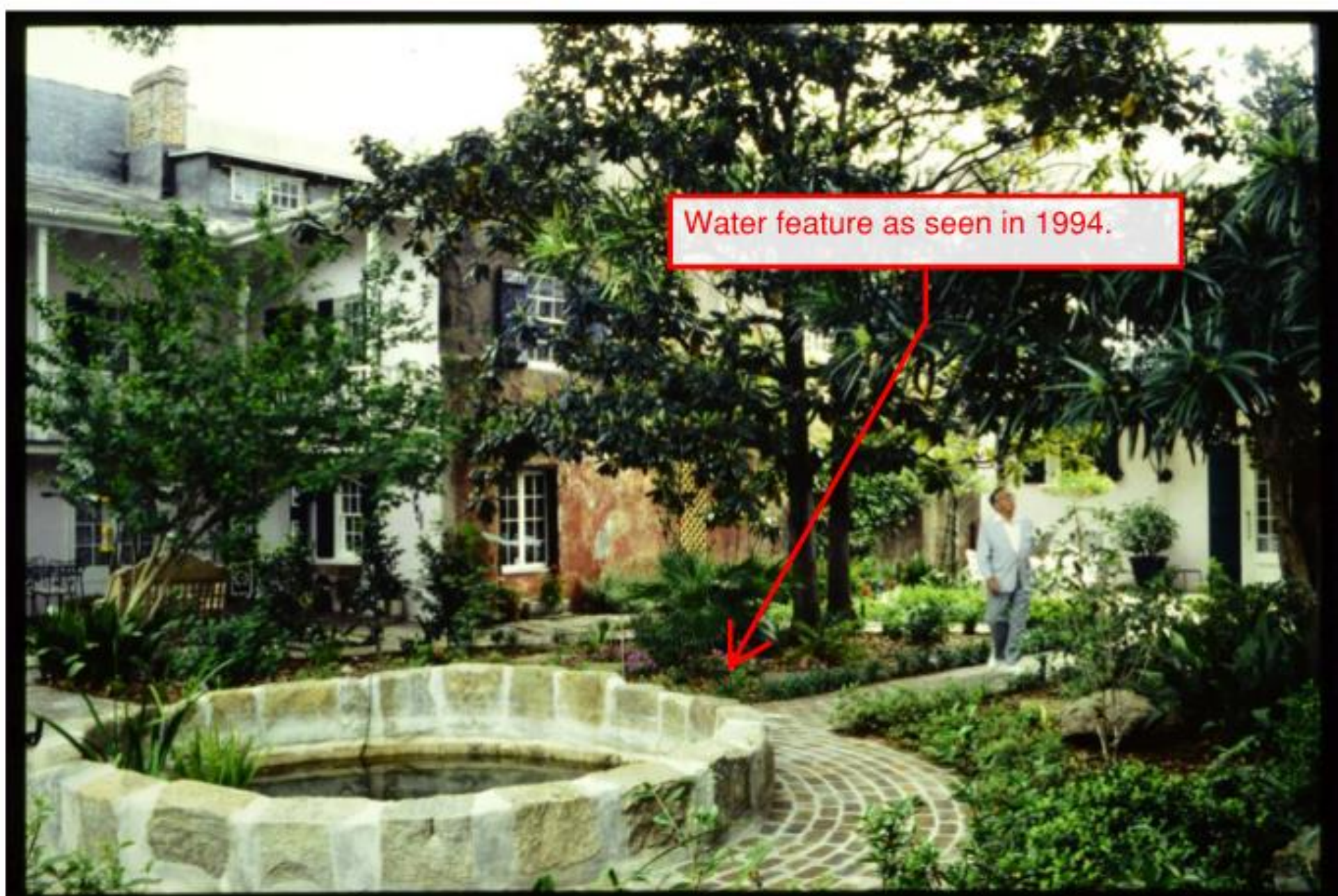
625 Dauphine

VCC Architectural Committee

August 24, 2021







625 Dauphine

VCC Architectural Committee

August 24, 2021

