



# Vieux Carré Commission Architecture Committee Meeting

Tuesday, January 11, 2021

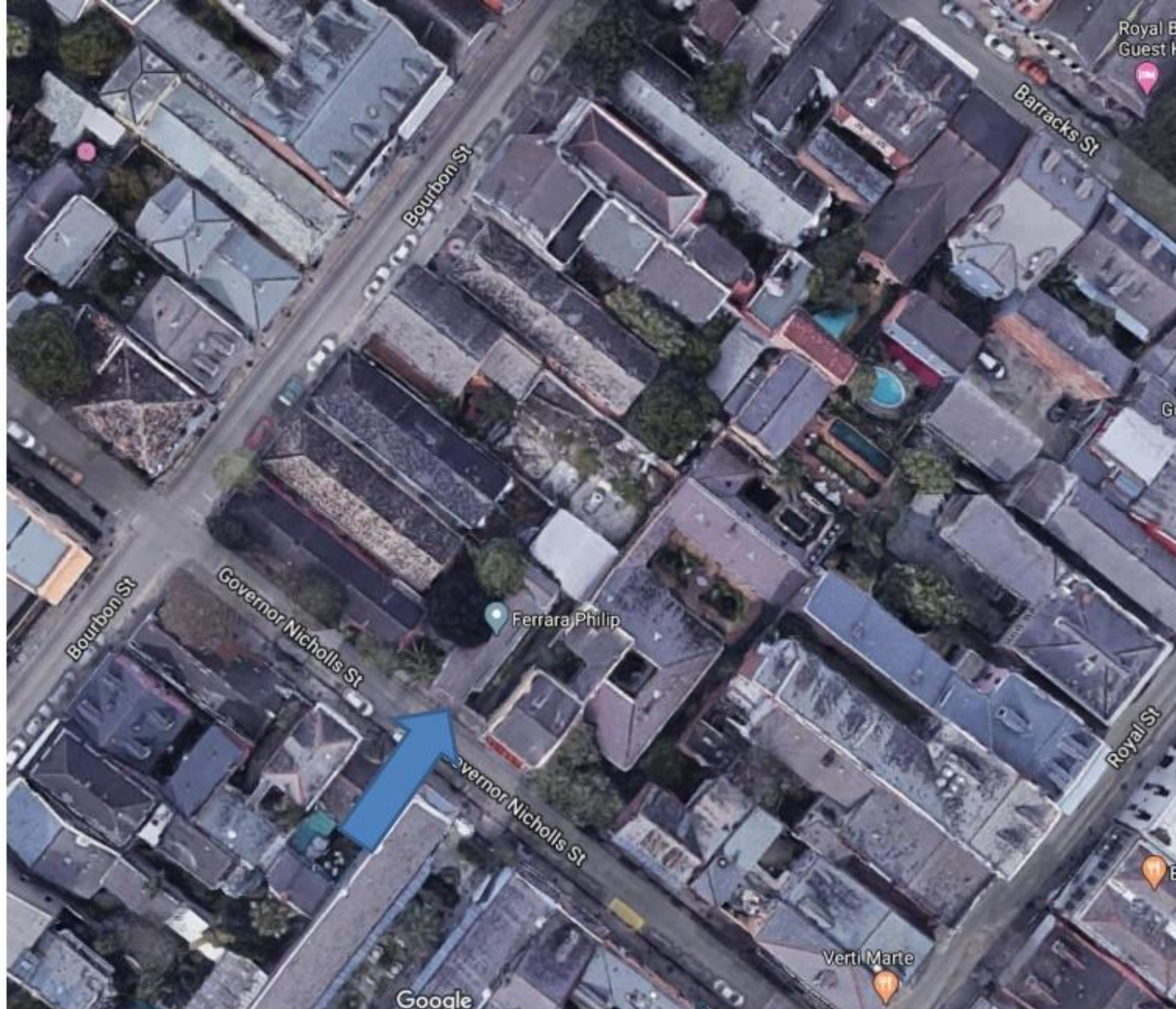
The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The inner circle features a stylized architectural design with vertical columns and a central decorative element.

**Old Business**





729 Governor Nicholls



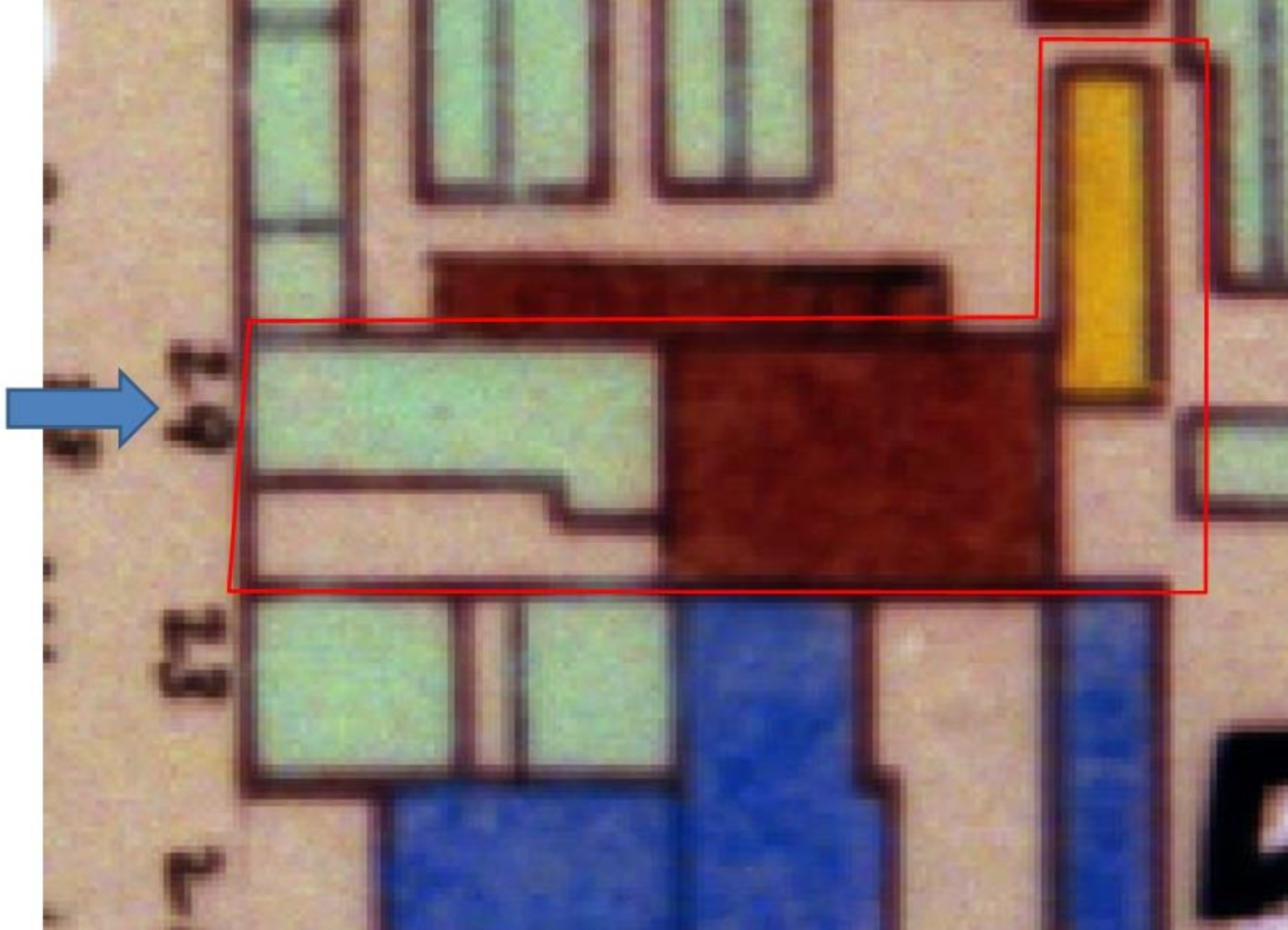
729 Gov. Nicholls

VCC Architectural Committee

January 11, 2022







729 Gov. Nicholls

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January 11, 2022





729 Gov. Nicholls - 1962

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January 11, 2022





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729 Gov. Nicholls – Previously Existing Gutter

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729 Gov. Nicholls – As-Built Gutter

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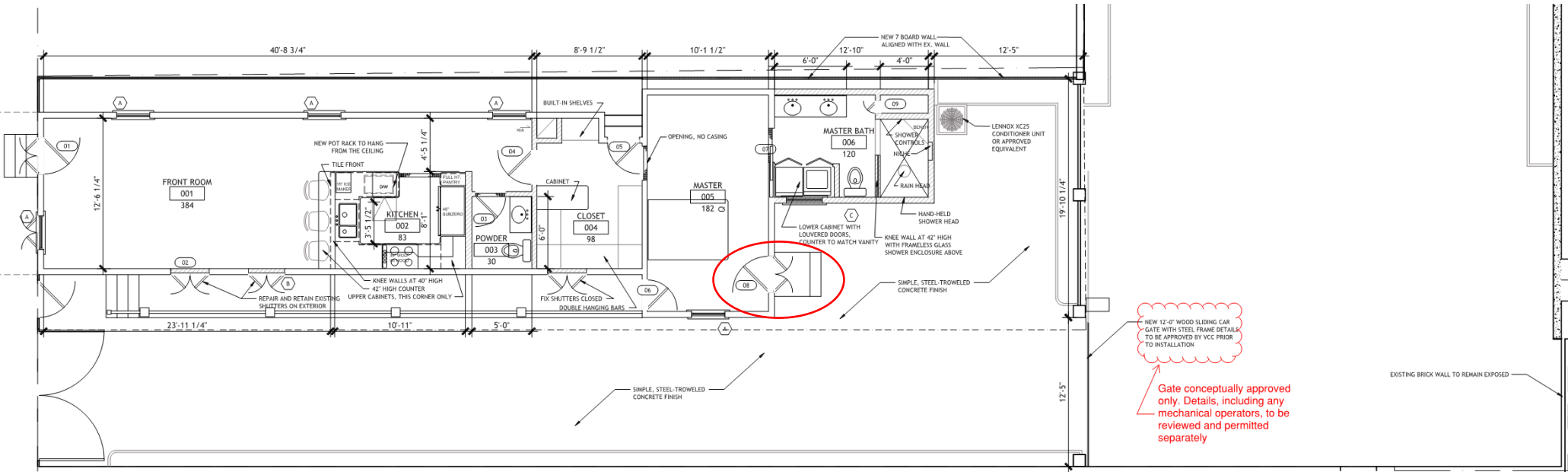


729 Gov. Nicholls – As-Built Gutter

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January 11, 2022





 **PROPOSED PLAN**  
 scale: 3/16" = 1'-0"

NEW 12'-0" WOOD SLIDING CAR GATE WITH STEEL FRAME DETAILS TO BE APPROVED BY VCC PRIOR TO INSTALLATION.

Gate conceptually approved only. Details, including any mechanical operators, to be reviewed and permitted separately

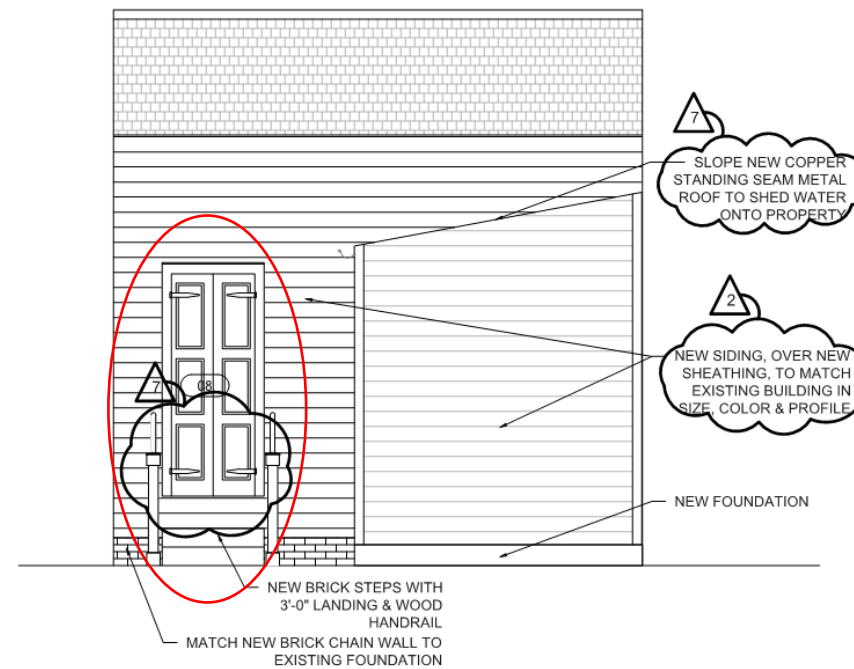
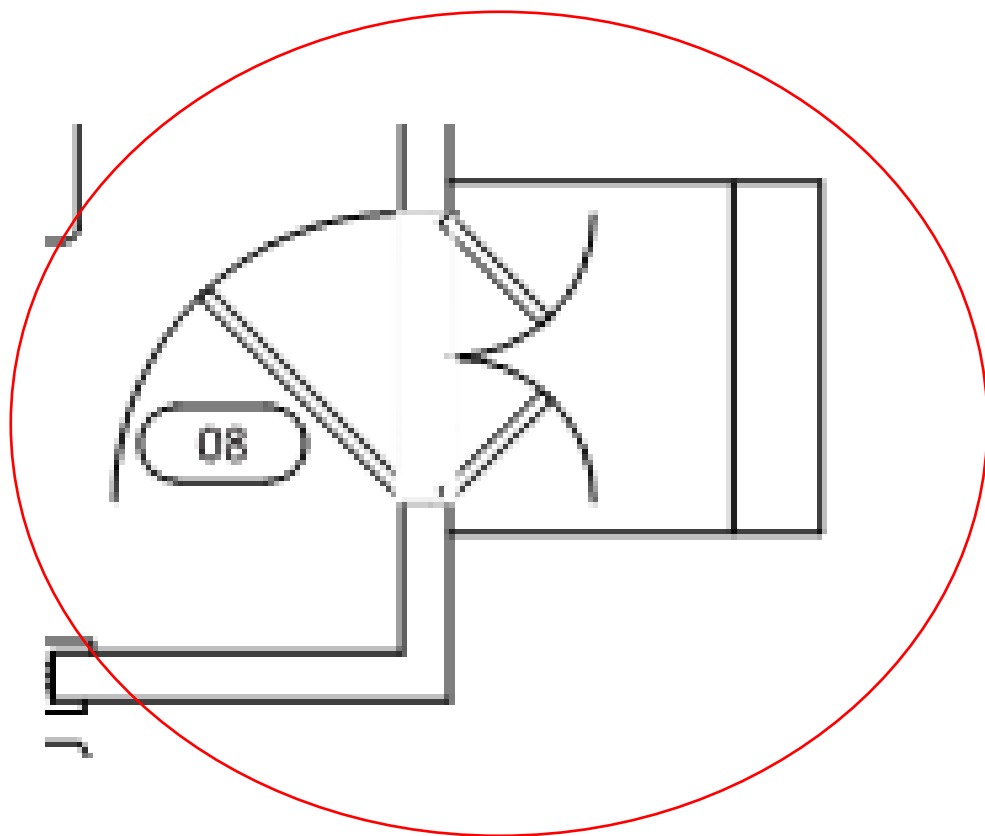


# 729 Gov. Nicholls – Millwork – Approved Back Door Drawings

VCC Architectural Committee

January 11, 2022





4  
A200

## PROPOSED BARRACKS ST ELEVATION

scale: 1/4" = 1'-0"



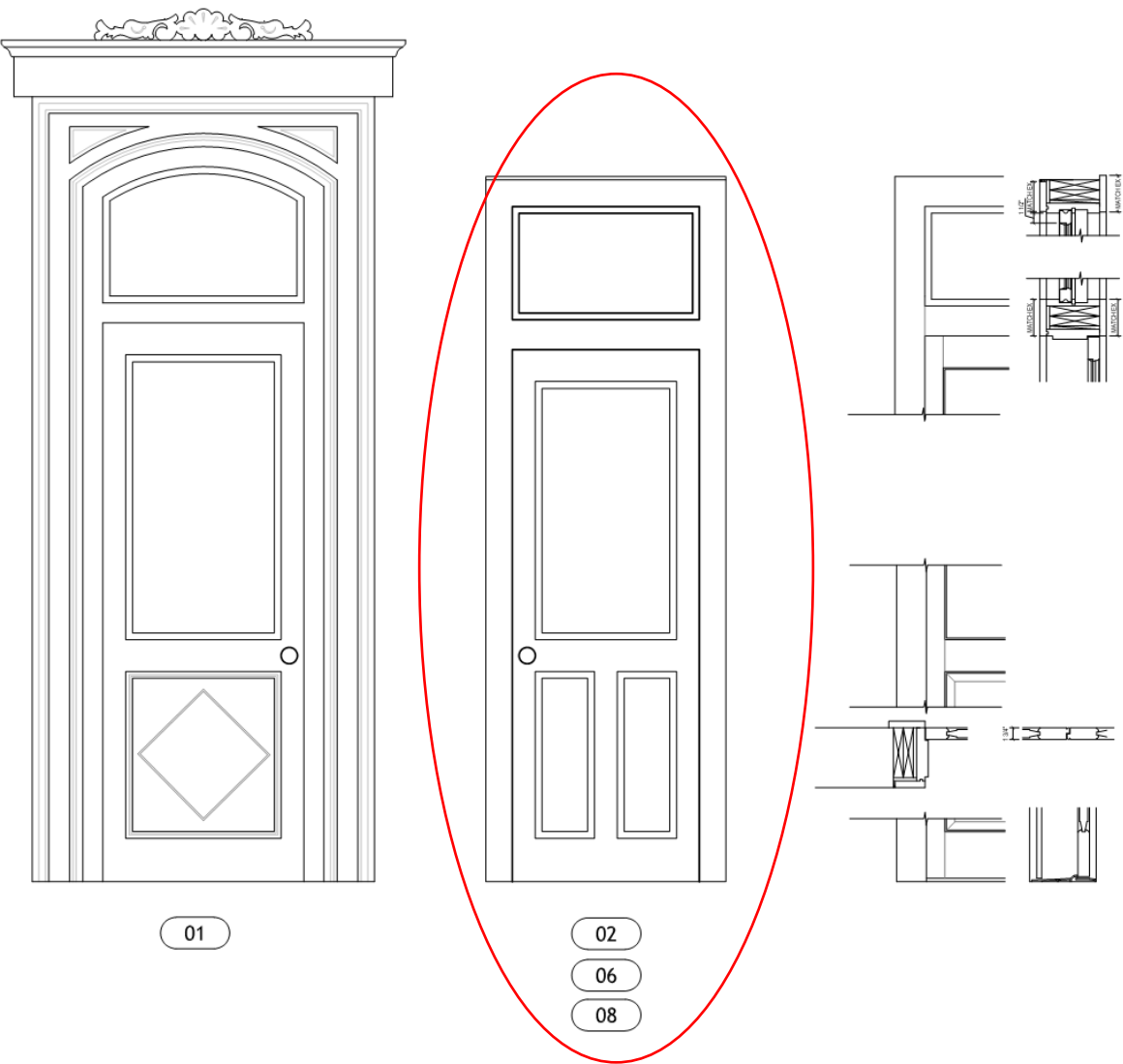
729 Gov. Nicholls – Millwork – Approved Back Door Drawings

VCC Architectural Committee

January 11, 2022



DOOR SCHEDULE					
TAG	DESCRIPTION	WIDTH	HEIGHT	MATERIAL	COMMENTS
01	EXTERIOR DOOR	3'-0"	8'-0"	WOOD & GLASS	DOOR WITH TRANSOM
02	EXTERIOR DOOR	3'-2"	8'-0"	WOOD & GLASS	DOOR WITH TRANSOM, EXISTING SHUTTERS TO REMAIN
03	INTERIOR DOOR	2'-6"	8'-0"	WOOD	
04	INTERIOR DOOR	3'-0"	8'-0"	WOOD	
05	EXTERIOR DOOR	EXISTING	EXISTING		FIX DOOR SHUT. LEAVING TRANSOM EXPOSED
06	EXTERIOR DOOR	2'-10"	8'-0"	WOOD	
07	POCKET DOOR	3'-0"	8'-0"	WOOD	
08	EXTERIOR DOOR	EXISTING	EXISTING		REPAIR EXISTING DOOR & FRAME



02  
A600

PROPOSED EXTERIOR OPENINGS

scale:3/4" = 1'-0"





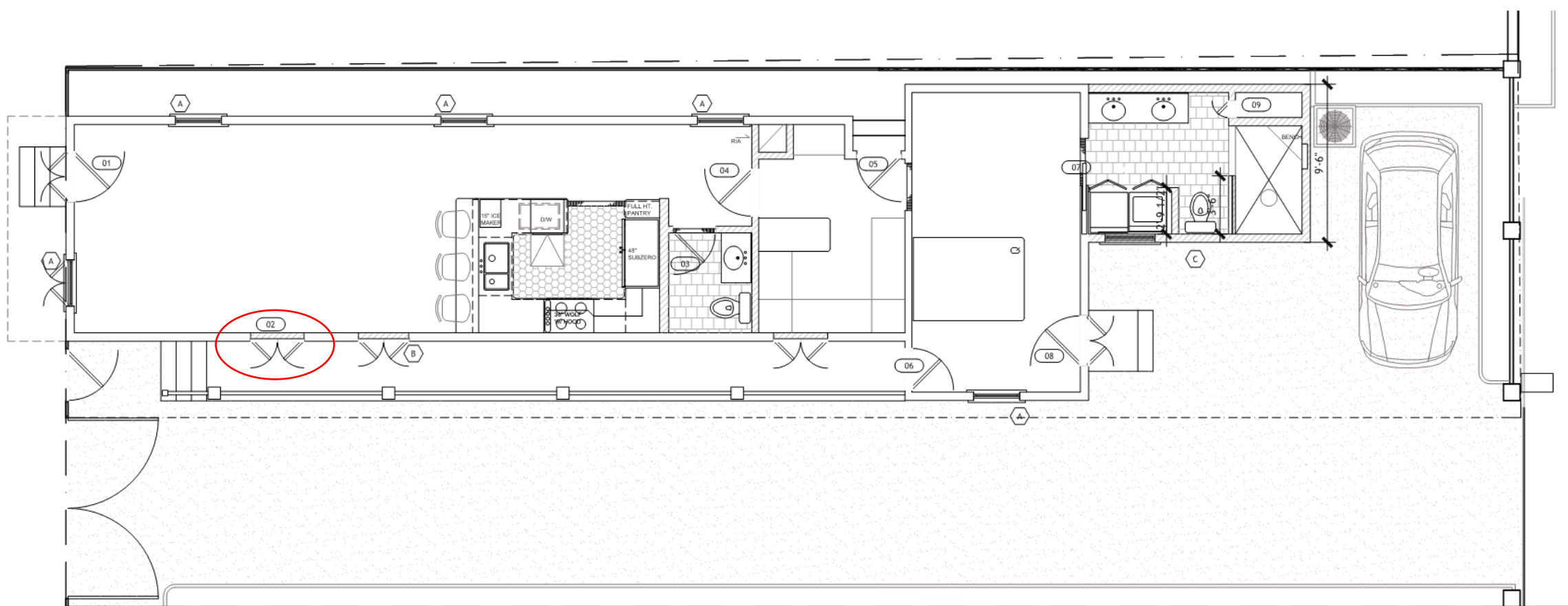
729 Gov. Nicholls – Millwork – Existing Back Door

VCC Architectural Committee

January 11, 2022







## PROPOSED PLAN

scale: 3/16" = 1'-0"

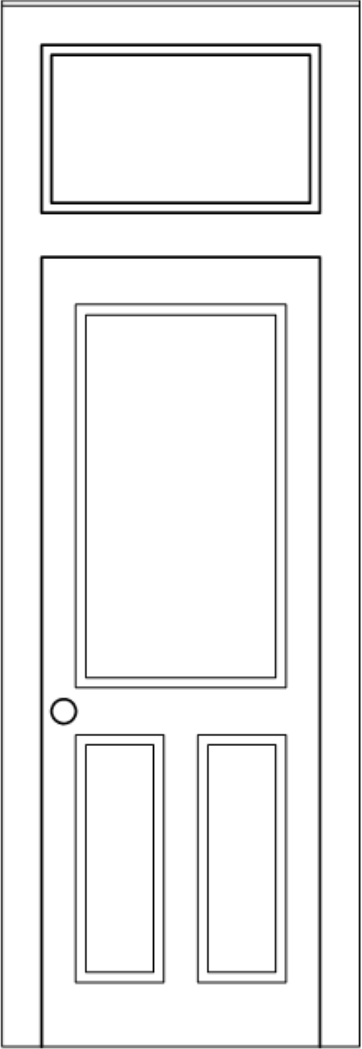
729 Gov. Nicholls – Millwork – Approved Side Door Drawings

VCC Architectural Committee

January 11, 2022



DOOR SCHEDULE					
TAG	DESCRIPTION	WIDTH	HEIGHT	MATERIAL	COMMENTS
01	EXTERIOR DOOR	3'-0"	8'-0"	WOOD & GLASS	DOOR WITH TRANSOM
02	EXTERIOR DOOR	3'-2"	8'-0"	WOOD & GLASS	DOOR WITH TRANSOM, EXISTING SHUTTERS TO REMAIN
03	INTERIOR DOOR	2'-6"	8'-0"	WOOD	
04	INTERIOR DOOR	3'-0"	8'-0"	WOOD	
05	EXTERIOR DOOR	EXISTING	EXISTING		FIX DOOR SHUT. LEAVING TRANSOM EXPOSED
06	EXTERIOR DOOR	2'-10"	8'-0"	WOOD	
07	POCKET DOOR	3'-0"	8'-0"	WOOD	
08	EXTERIOR DOOR	EXISTING	EXISTING		REPAIR EXISTING DOOR & FRAME



- 02
- 06
- 08



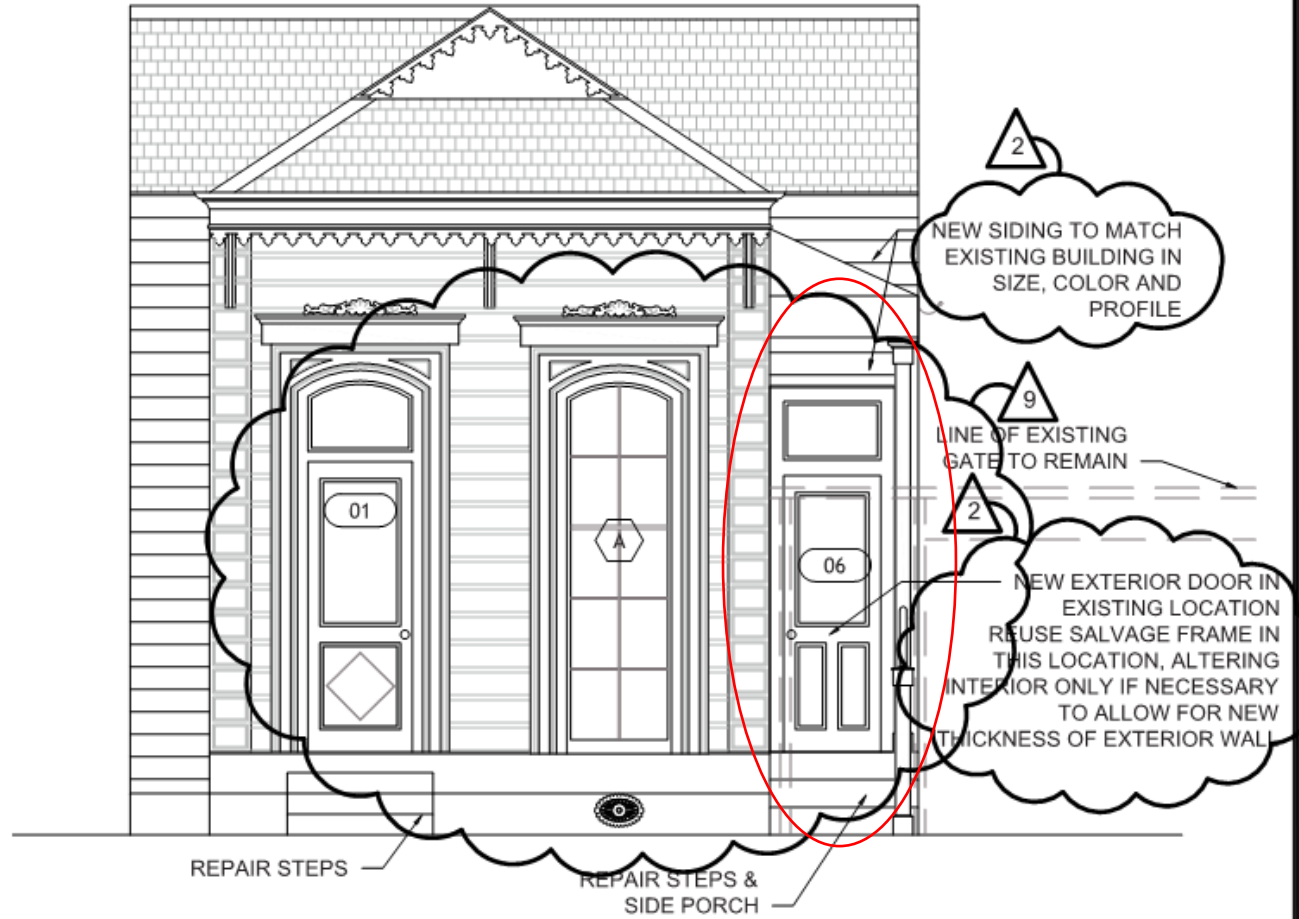


729 Gov. Nicholls – Millwork – Existing Side Doors

VCC Architectural Committee

January 11, 2022





2  
A200

## PROPOSED GOV NICHOLLS ST ELEVATION

scale: 1/4" = 1'-0"

729 Gov. Nicholls – Millwork – Approved Porch Door Drawings

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January 11, 2022







729 Gov. Nicholls – Millwork – Current As-Built Porch Door



729 Gov. Nicholls – Side Porch Railing – Previously Existing

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729 Gov. Nicholls – Side Porch Railing – Previously Existing

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729 Gov. Nicholls – Side Porch Railing – Previously Existing

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729 Gov. Nicholls – Side Porch Railing – As-Built

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729 Gov. Nicholls – Side Porch Railing – As-Built

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January 11, 2022





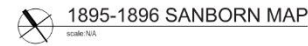
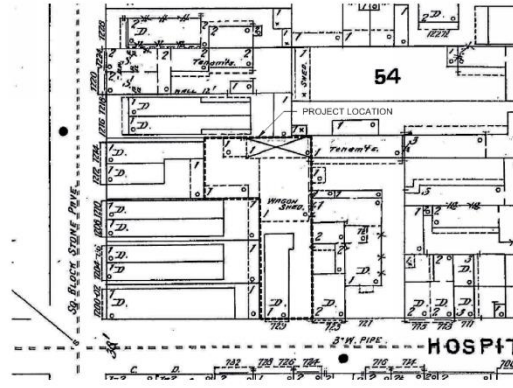
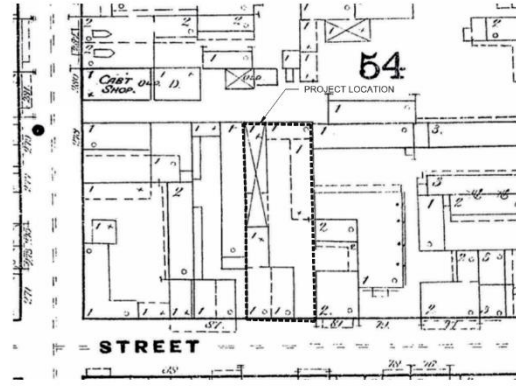


729 Gov. Nicholls – Side Porch Railing – As-Built

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January 11, 2022





DRAWING INDEX

INFORMED SET			
		8/5/00	12/15/00
00	TITLE SHEET	x	x
100	EXISTING & DEMO SITE PLAN	x	x
01	SITE PLAN	x	x
30	PROPOSED PLANS	x	x
200	EXISTING ELEVATIONS	x	x
06	PROPOSED ELEVATIONS	x	x
01*	ELECTRICAL PLAN (AND)		
01	PROPOSED ELEVATION DETAILS		x
02	GATE AND PERGOLA		x
30	SCHEDULES	x	x
01*	EXTERIOR OPENING DETAILS		x
	SITE GRADING PLAN		x

-REVISIONS-		
No	Date	Scope
4	06/15/2020	PERMIT
5	08/10/2020	ADDITIONAL PERMIT DWG
6	08/11/2020	OWNER SITE AL
7	09/28/2020	VCC SUB.
8	10/23/2020	HVAC PLAN
9	11/04/2020	VCC SUB.
10	11/20/2020	BRICK ELEV.

SHEET:  
TITLE SHEET

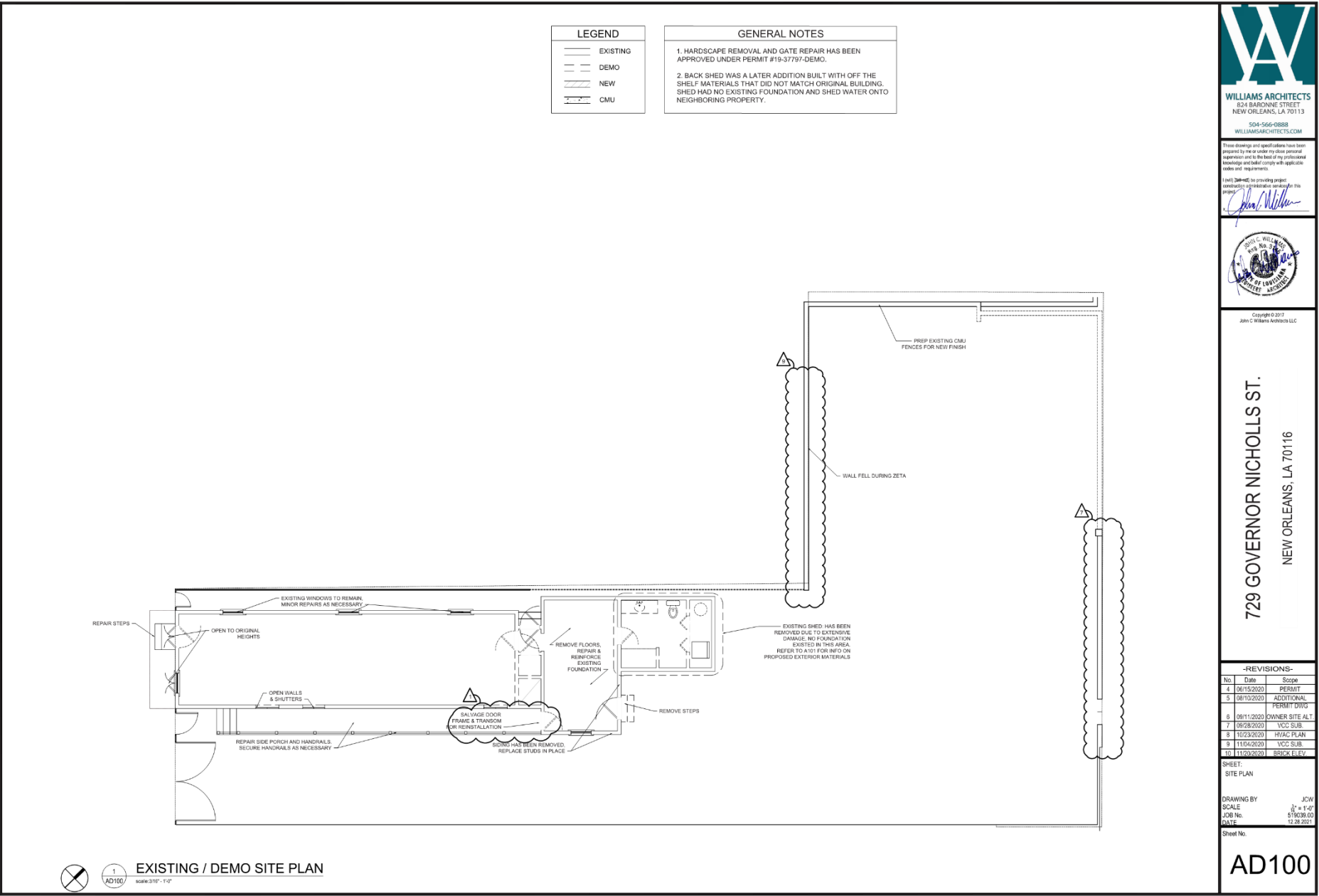
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SCALE N  
JOB NO. 519039  
DATE 12.28.2020

Sheet No.

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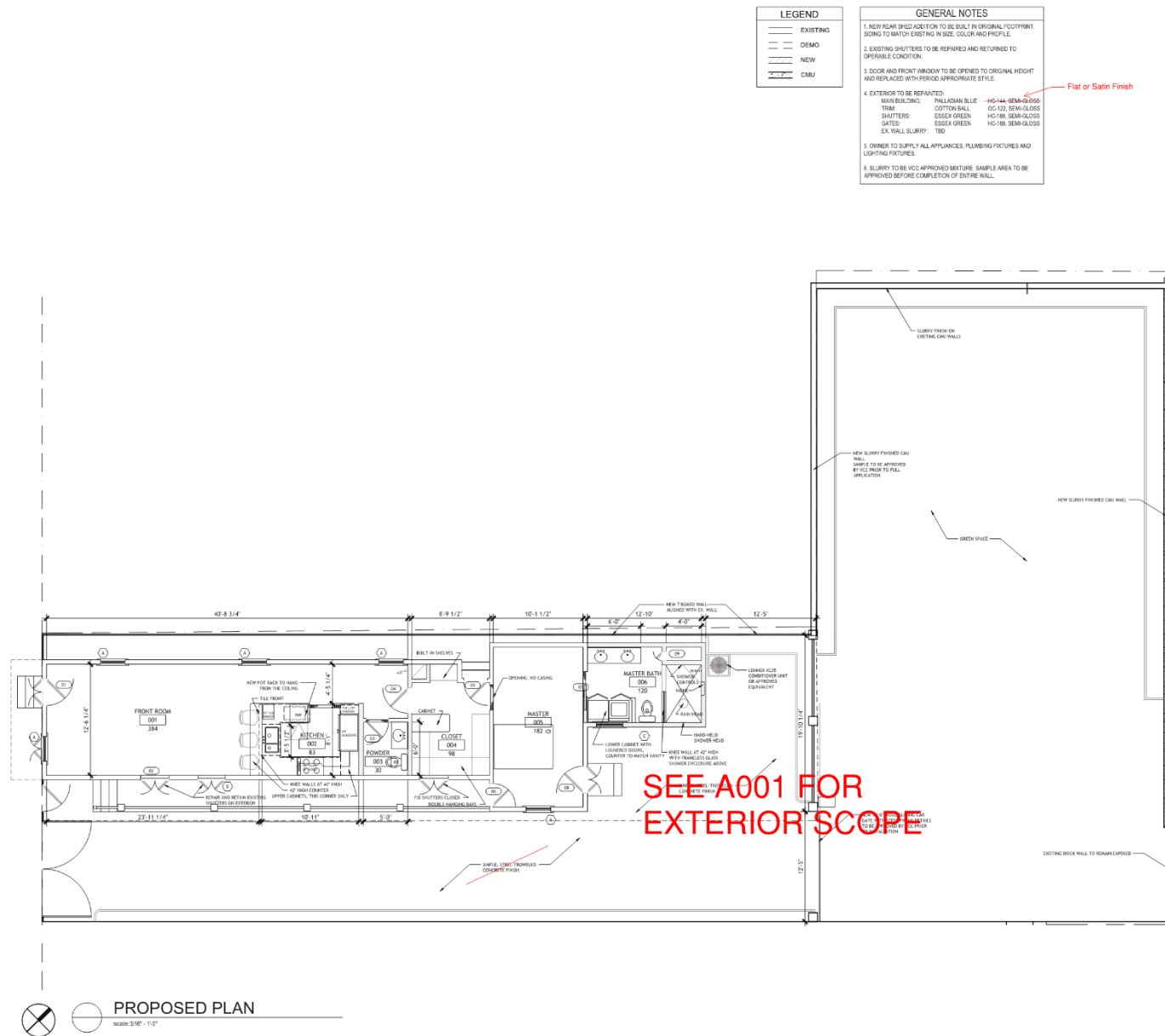
# 729 Gov. Nicholls – Current Proposal

VCC Architectural Committee

January 11, 2022



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 NEW ORLEANS, LA 70116

REVISIONS:		
No.	Date	Scope
4	06/15/2020	PERMIT
5	08/10/2020	ADDITIONAL PERMIT DWG
6	09/11/2020	OWNER SITE ALT.
7	09/28/2020	VCC SUB.
8	10/23/2020	HVAC PLAN
9	11/04/2020	VCC SUB.
10	11/20/2020	BRICK ELEV.

SHEET:  
 SITE PLAN

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 SCALE: 3/16" = 1'-0"  
 JOB No. 519039.00  
 DATE: 12/28/2021  
 Sheet No.

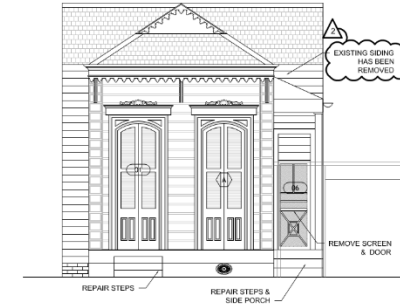
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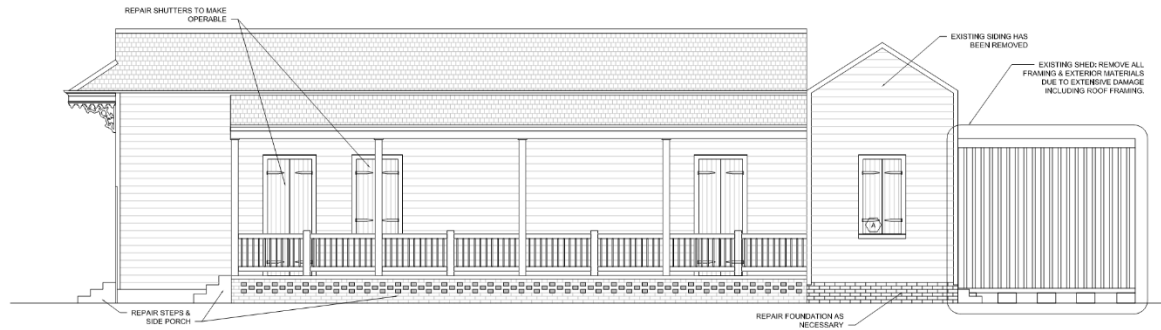
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8/8/2014" - 1"=1'

EXISTING BOURBON ST (SIDE) ELEVATION



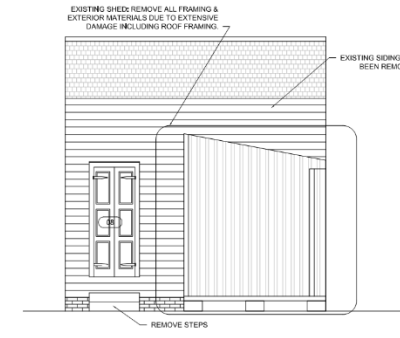
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8/8/2014" - 1"=1'

EXISTING GOV NICHOLLS ST ELEVATION



3  
AD200  
8/8/2014" - 1"=1'

EXISTING ROYAL ST (SIDE) ELEVATION



4  
AD200  
8/8/2014" - 1"=1'

EXISTING BARRACKS ST (SIDE) ELEVATION



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I hereby certify that I am a duly licensed professional architect in the State of Louisiana.

John C. Williams  
Architect



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-REVISIONS-		
No.	Date	Scope
6	06/28/2020	VCC SUB
7	10/23/2020	HVAC PLAN
8	11/04/2020	VCC SUB
9	11/20/2020	BRICK ELEV
10	01/04/2021	VCC SUB
11	02/15/2021	VCC SUB
12	04/13/2021	VCC SUB
13	04/27/2021	VCC SUB

SHEET:  
EXISTING EXTERIOR ELEVATIONS

DRAWING BY: JCW  
SCALE: 1/4" = 1'-0"  
JOB No.: 519039.00  
DATE: 12.28.2021  
Sheet No.:

AD200

729 Gov. Nicholls – Current Proposal

VCC Architectural Committee

January 11, 2022







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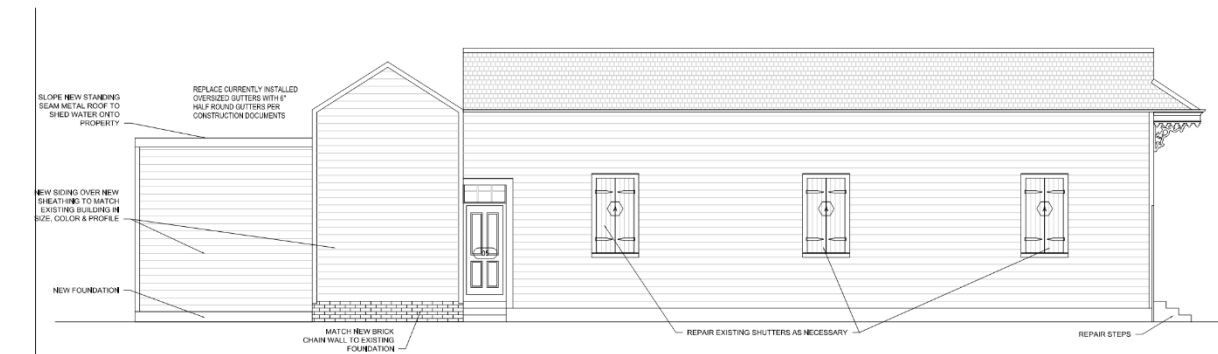
**729 GOVERNOR NICHOLLS ST.**  
NEW ORLEANS, LA 70116

-REVISIONS-		
No.	Date	Scope
6	09/26/2020	VCC SUB.
7	10/23/2020	HVAC PLAN
8	11/04/2020	VCC SUB.
9	11/20/2020	BRICK ELEV.
10	01/04/2021	VCC SUB.
11	02/15/2021	VCC SUB.
12	04/13/2021	VCC SUB.
13	04/27/2021	VCC SUB.

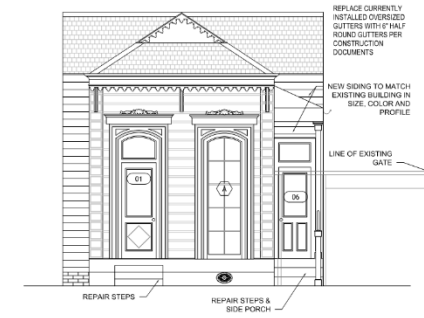
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PROPOSED EXTERIOR  
ELEVATIONS

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JOB No.: 51003.08  
DATE: 12.28.2021  
Sheet No.:

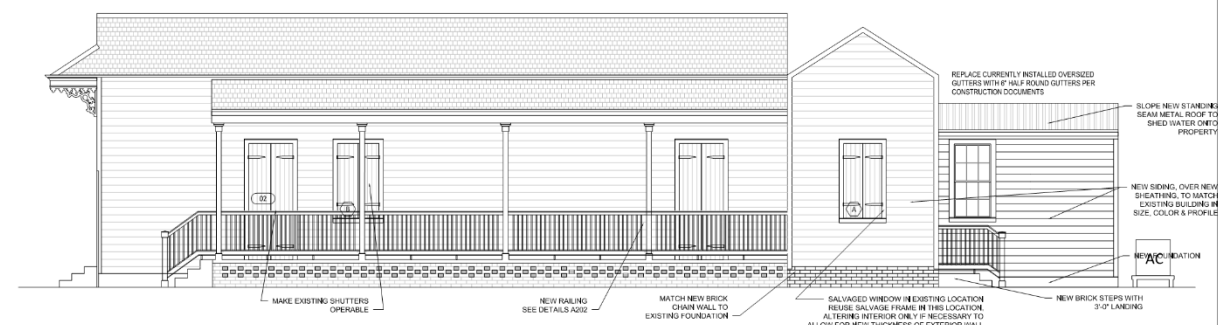
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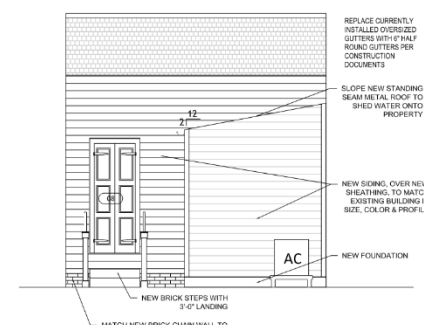
**1 PROPOSED BOURBON ST (SIDE) ELEVATION**  
scale: 1/8" = 1'-0"  
A200



**2 PROPOSED GOV NICHOLLS ST ELEVATION**  
scale: 1/8" = 1'-0"  
A200



**3 PROPOSED ROYAL ST (SIDE) ELEVATION**  
scale: 1/8" = 1'-0"  
A200



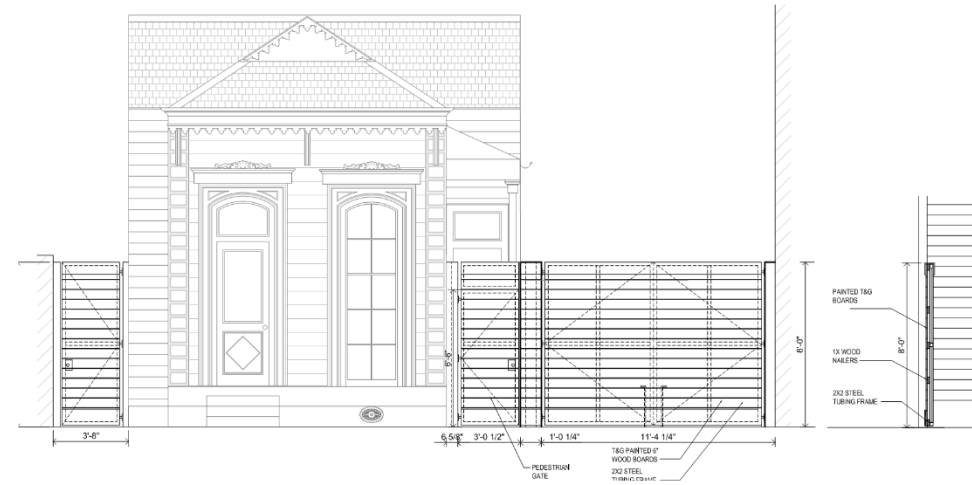
**4 PROPOSED BARRACKS ST ELEVATION**  
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A200

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VCC Architectural Committee

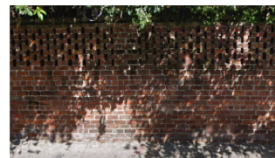
January 11, 2022



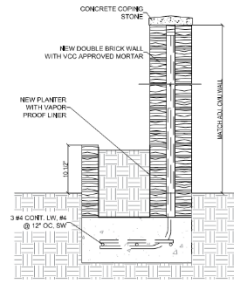


1 GATES AT GOV. NICHOLLS STREET  
scale: 3/8" = 1'-0"

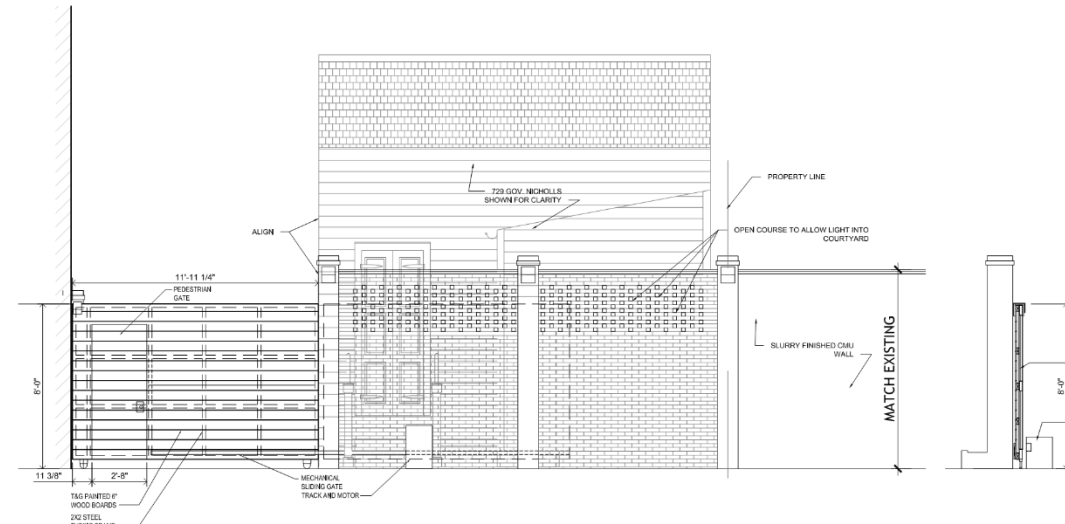
2 GATES AT GOV. NICHOLLS STREET  
scale: 3/8" = 1'-0"



3 PRECEDENT FENCE IMAGE  
scale: N/A



4 BRICK WALL SECTION  
scale: 1" = 1'-0"



1 MECH. SLIDING GATE AND REAR BRICK WALL  
scale: 3/8" = 1'-0"



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REVISIONS		
No.	Date	Scope
6	09/26/2020	VCC SUB
7	10/23/2020	HVAC PLAN
8	11/04/2020	VCC SUB
9	11/20/2020	BRICK ELEV.
10	01/04/2021	VCC SUB
11	02/15/2021	VCC SUB
12	04/13/2021	VCC SUB
13	04/27/2021	VCC SUB

**SHEET:**  
PROPOSED EXTERIOR  
ELEVATION DETAILS

**DRAWING BY:** JOW  
**SCALE:** 3/16" = 1'-0"  
**JOB No.:** 210609.00  
**DATE:** 12.28.2021  
**Sheet No.:**

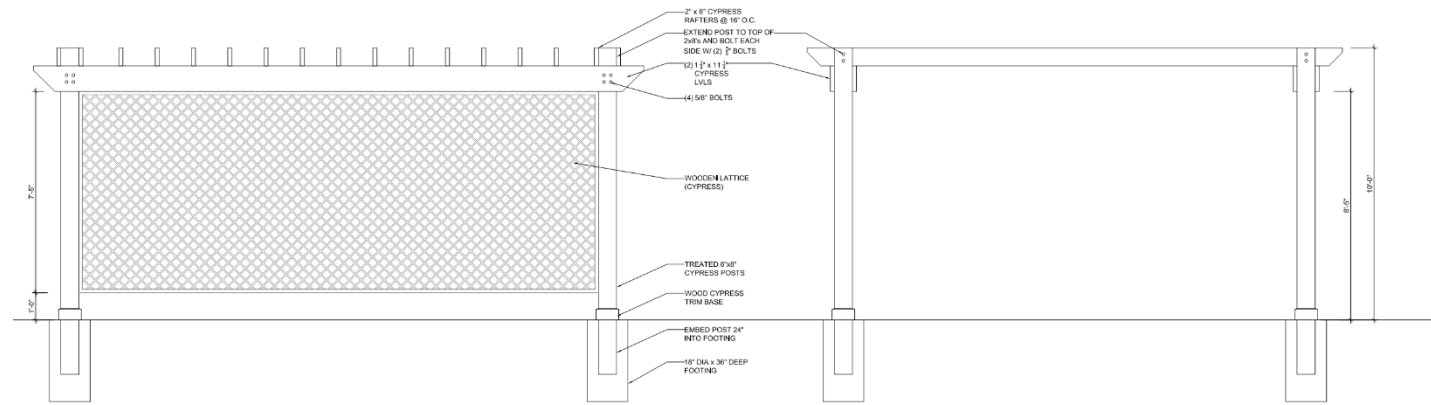
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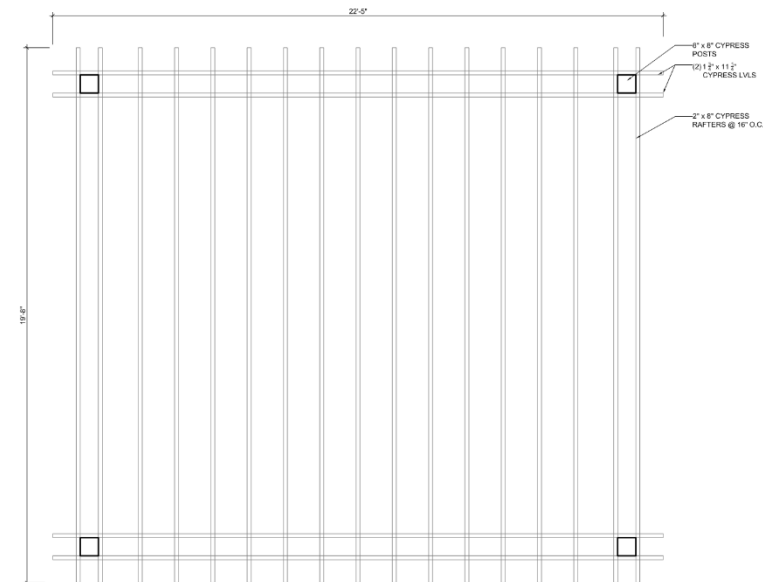
January 11, 2022



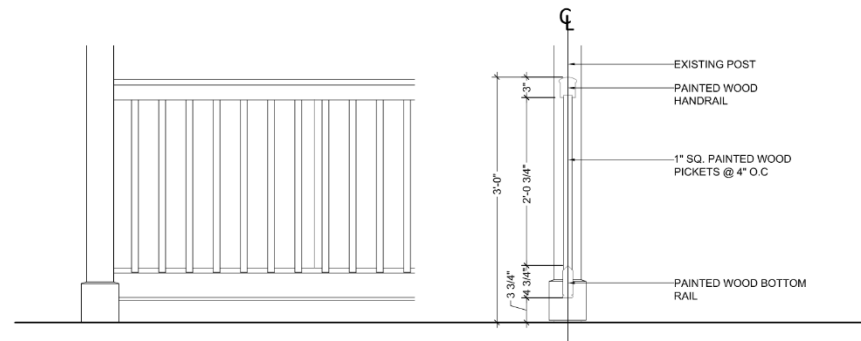


1  
A203  
PERGOLA ELEVATION  
scale: 1/2" = 1'-0"

2  
A203  
PERGOLA ELEVATION  
scale: 1/2" = 1'-0"



3  
A203  
PERGOLA PLAN  
scale: 1/2" = 1'-0"



4  
A203  
PORCH RAILING DETAILS  
scale: 1/2" = 1'-0"



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-REVISIONS-		
No.	Date	Scope
6	09/28/2020	VCC SUB
7	10/23/2020	HWG PLAN
8	11/04/2020	VCC SUB
9	11/22/2020	BRICK ELEV
10	21/04/2021	VCC SUB
11	02/15/2021	VCC SUB
12	04/13/2021	VCC SUB
13	04/27/2021	VCC SUB

SHEET:  
SITE PLAN

DRAWING BY: JOW  
SCALE: 1/2" = 1'-0"  
JOB No.: 519039.00  
DATE: 12.28.2021

Sheet No.

**A202**

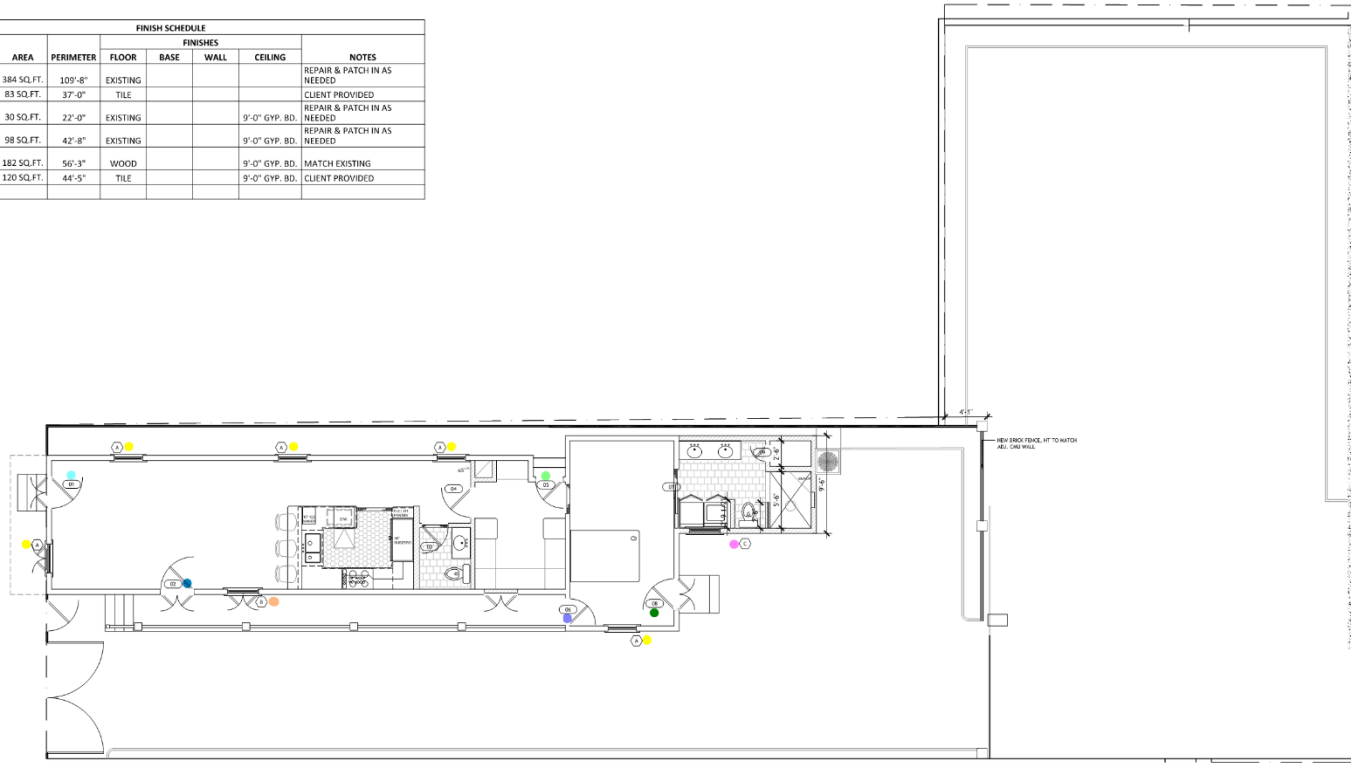




WINDOW SCHEDULE					
TAG	DESCRIPTION	WIDTH	HEIGHT	SILL HEIGHT	MATERIAL
A	EXISTING TO REMAIN	V.I.F.	V.I.F.	V.I.F.	EXISTING TO REMAIN, REPAIR AS NECESSARY
B	NEW WINDOW	3'-0"	V.I.F.	V.I.F.	WOOD V.I.F. NEW WINDOW IN EXISTING LOCATION
C	NEW WINDOW	2'-8"	5'-4"	V.I.F.	WOOD MATCH EXISTING WITH TRUE DIVIDED LIGHTS

DOOR SCHEDULE					
TAG	DESCRIPTION	WIDTH	HEIGHT	MATERIAL	COMMENTS
01	EXTERIOR DOOR	3'-0"	8'-0"	WOOD & GLASS	DOOR WITH TRANSOM
02	EXTERIOR DOOR	3'-2"	8'-0"	WOOD & GLASS	DOOR WITH TRANSOM, EXISTING SHUTTERS TO REMAIN
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05	EXTERIOR DOOR	EXISTING	EXISTING		FIX DOOR SHUT, LEAVING TRANSOM EXPOSED
06	EXTERIOR DOOR	2'-10"	8'-0"	WOOD	
07	POCKET DOOR	3'-0"	8'-0"	WOOD	
08	EXTERIOR DOOR	EXISTING	EXISTING		REPAIR EXISTING DOOR & FRAME

FINISH SCHEDULE						
NAME	AREA	PERIMETER	FLOOR	BASE	WALL	CEILING
FRONT ROOM	384 SQ.FT.	109'-8"	EXISTING			
KITCHEN	83 SQ.FT.	37'-0"	TILE			
POWDER ROOM	30 SQ.FT.	22'-0"	EXISTING			9'-0" GYP. BD.
CLOSET	98 SQ.FT.	42'-8"	EXISTING			9'-0" GYP. BD.
MASTER BEDROOM	182 SQ.FT.	56'-3"	WOOD			9'-0" GYP. BD.
MASTER BATH	120 SQ.FT.	44'-5"	TILE			9'-0" GYP. BD.



01 PROPOSED PLAN  
scale 3/16" = 1'-0"

LEGEND	
---	EXISTING
---	DEMOLITION
---	NEW
---	CMU

GENERAL NOTES	
1. NEW REAR SHED ADDITION TO BE BUILT IN ORIGINAL FOOTPRINT BRING TO MATCH EXISTING IN SIZE, COLOR AND PROFILE.	
2. EXISTING SHUTTERS TO BE REPAIRED AND RETURNED TO OPERABLE CONDITION.	
3. DOOR AND FRONT WINDOW TO BE OPENED TO ORIGINAL HEIGHT AND REPLACED WITH PERIOD APPROPRIATE STYLE.	
4. EXTERIOR TO BE REPAIRED:	
MAIN BUILDING:	
PAINT: PALLADIUM BLUE	HC-144, SEMI-GLOSS
SHUTTERS: EDEN GREEN	HC-122, SEMI-GLOSS
GATES: EDEN GREEN	HC-188, SEMI-GLOSS
EX. WALL, BULLPEN: TRD.	HC-188, SEMI-GLOSS
5. OWNER TO SUPPLY ALL APPLIANCES, PLUMBING FIXTURES AND LIGHTING FIXTURES.	
6. SURVEY TO BE VCC APPROVED MIXTURE, SAMPLE AREA TO BE APPROVED BEFORE COMPLETION OF ENTIRE WALL.	



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11	03/15/2021	VCC SUB.
12	04/13/2021	VCC SUB.
13	04/27/2021	VCC SUB.

SHEET:  
 SCHEDULES

DRAWING BY: JCW  
 SCALE: 3/4" = 1'-0"  
 JOB No.: 018030.00  
 DATE: 12.28.2021  
 Sheet No.:

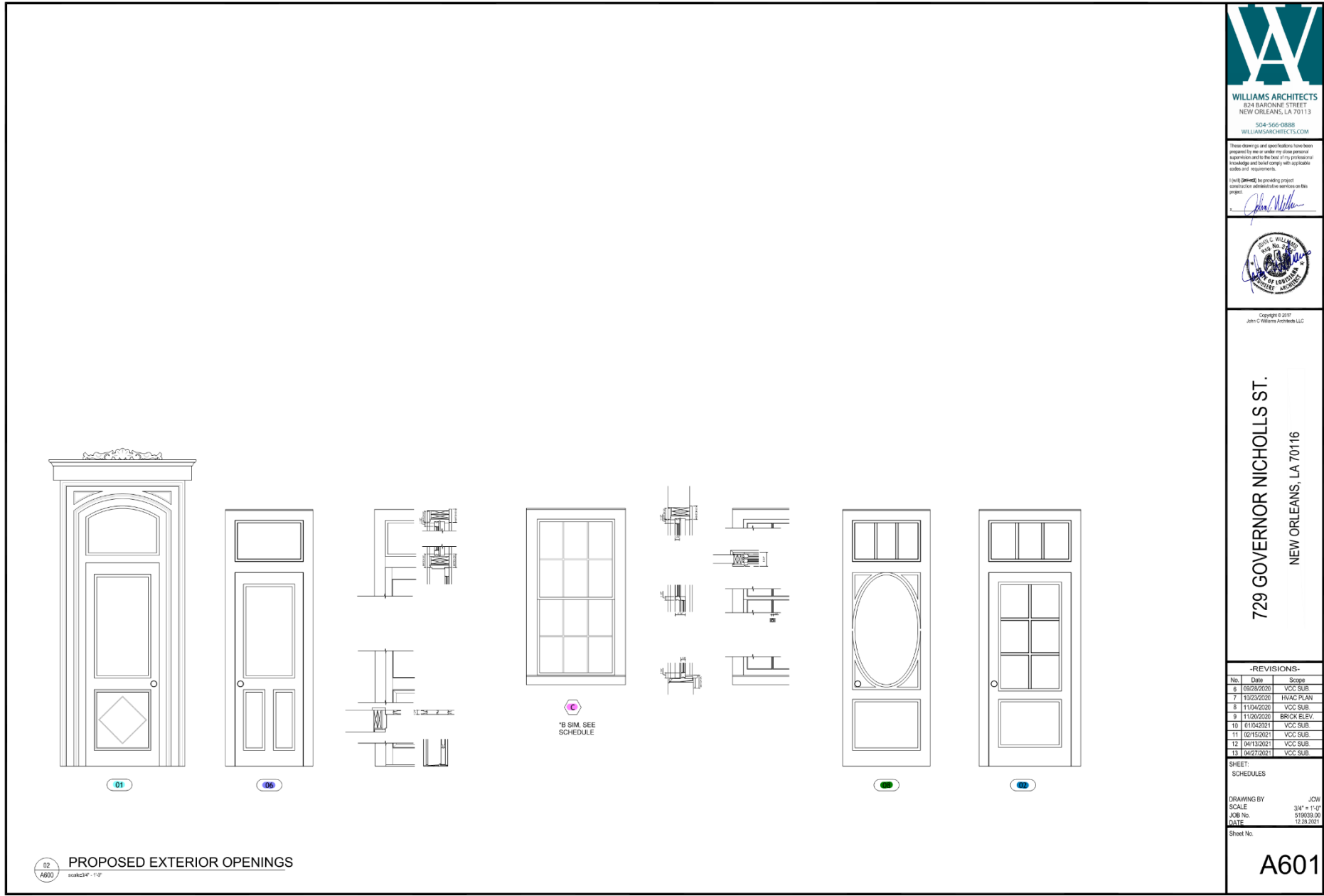
**A600**

729 Gov. Nicholls – Current Proposal

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VCC Architectural Committee

January 11, 2022

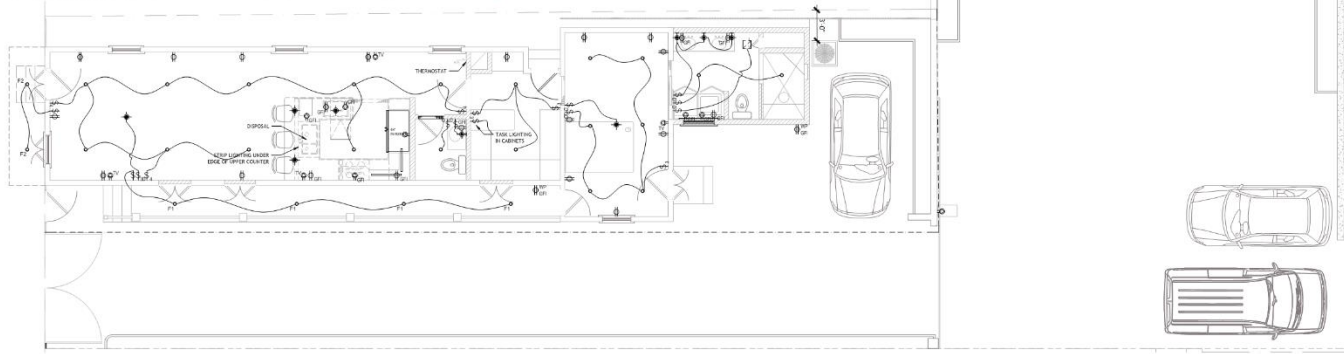


- ELECTRICAL NOTES:
1. ALL LIGHT FIXTURES TO BE DIRECTLY WIRED TO SWITCHES
  2. ALL OUTLETS AND ELECTRICAL EQUIPMENT ARE SHOWN APPROXIMATELY LOCATED
  3. EACH APPLIANCE TO HAVE DEDICATED CIRCUIT, AMPERAGE, VOLTAGE, AND GFI AS NOTED
  4. FIXTURES ARE TO BE CENTERED IN ROOM UNLESS OTHERWISE NOTED
  5. PROVIDE ARC FAULT PROTECTORS AT ALL BEDROOMS
  6. SMOKE DETECTORS TO BE INSTALLED IN AND DIRECTLY OUTSIDE OF ALL SLEEPING AREAS. SMOKE DETECTOR IN HALLWAY + VESTIBULE OUTSIDE OF BEDROOMS TO BE COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR. INSTALL ONE CARBON MONOXIDE DETECTOR ON EACH FLOOR
  7. ELECTRICIAN TO COORDINATE WITH HVAC CONTRACTOR TO LOCATE AND PROVIDE APPROPRIATE POWER FOR HVAC EQUIPMENT AND ACCESSORIES
  8. COORDINATE RECEPTACLE / SWITCH HEIGHTS WITH INTERIOR ELEVATIONS AND/OR ARCHITECT
  9. OWNERS TO SUPPLY ALL LIGHT FIXTURES.

ELECTRIC SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE - 15AMP, 2 POLE, 90° 110V, MOUNT @ 12" A.F.F. UNLESS OTHERWISE NOTED
	DOUBLE DUPLEX RECEPTACLE - 15AMP, 2 POLE, 30V, 110V, MOUNT @ 12" A.F.F. UNLESS OTHERWISE NOTED
	DUPLEX RECEPTACLE - 15AMP, 2 POLE, 90° GFI TYPE, MOUNT @ 12" A.F.F. UNLESS OTHERWISE NOTED
	EXTERIOR GRADE DUPLEX RECEPTACLE - 15AMP, 2 POLE, 30V, GFI TYPE, WEATHERPROOF
	DEDICATED CIRCUIT - 120V, 20AMP
	DEDICATED CIRCUIT - 120V, 20AMP, GROUNDING FAULT PROTECTED
	SINGLE POLE LIGHT SWITCH, MOUNT @ 48" A.F.F. UNLESS OTHERWISE NOTED
	THREE WAY LIGHT SWITCH, MOUNT @ 48" A.F.F. UNLESS OTHERWISE NOTED
	DIMMER LIGHT SWITCH, MOUNT 48" A.F.F. UNLESS OTHERWISE NOTED
	UNDERCABINET LINEAR LIGHT
	WALL MOUNTED VANITY SCONCE
	RECESSED CAN LIGHT, CEILING MOUNTED
	CEILING MOUNTED PENDANT LIGHT
	CEILING MOUNTED VENT

FIXTURE SCHEDULE				
MARK	DESCRIPTION	MANUFACTURER/MODEL	QTY.	COMMENTS
F1	RECESSED CAN		4	
F2	AMBIENT LIGHTING INSTALLED IN EXISTING SOFFIT VENT		2	AMBIENT LIGHTING INSTALLED IN EXISTING SOFFIT VENTS

All fixtures shall use lamps with the following criteria: 3000K color temperature, 80+ color rendering index, and 600-800 lumens per bulb



**PROPOSED PLAN**  
Scale: 3/16" = 1'-0"

**WILLIAMS ARCHITECTS**  
824 BARDONNE STREET  
NEW ORLEANS, LA 70113  
504-566-0888  
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will (Date) be providing project construction administration services for this project.

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John C. Williams Architects LLC

**729 GOVERNOR NICHOLLS ST.**  
NEW ORLEANS, LA 70116

REVISIONS		
No.	Date	Scope
1	08/15/2020	PERMIT
2	08/10/2020	ADDITIONAL PERMIT DWG
3	09/11/2020	OWNER SITE ALT
4	09/28/2020	VCC SUB
5	10/23/2020	HVAC PLAN
6	11/04/2020	VCC SUB
7	11/20/2020	BRICK ELEV

SHEET:  
SITE PLAN

DRAWING BY: JCW  
SCALE: 3/16" = 1'-0"  
JOB No.: 519030-00  
DATE: 12-20-2020  
Sheet No.

**A101**





SCALE: 1" = 10'



FINISHED FLOOR EL. 6.15

PORCH

PORCH

FINISHED FLOOR EL. 5.96

THOMAS N. REAGAN  
729 GOV. NICHOLLS ST.  
NEW ORLEANS, LA 70116

DATE	REVIEWER

```

DRAWING NO.: DDM
CHK BY: WML
DATE: 11/25/21
SCALE: AS SHOWN
FIELD NO.: PG. NO.
DRAWING NO.: C1

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LA500PKGUL SWING GATE OPERATOR

SECTION 32 31 00

KEY FEATURES

BATTERY BACKUP	Up to 24 days of standby power or 500 cycles when the power is down
REMOTE CONTROL ACCESS	Security+ 2.0® 3-channel receiver will handle up to 50 remote controls (unlimited remotes with 811LM/813LM)
INTERNET CONNECTIVITY	MyQ® technology monitors and controls the operator through the MyQ app
MONITORED SAFETY INPUTS	3 inputs main board; 3 optional expansion board
SOLAR-POWER CAPABILITIES	Yes. Reference detailed solar chart on product page at LiftMaster.com
DIAGNOSTIC DISPLAY	LED diagnostic display
WIRELESS DUAL-GATE COMMUNICATION	Eliminates expensive conduit costs and unsightly driveway scars
FIRE DEPARTMENT COMPLIANT	Allows gate to auto open upon loss of AC power or battery depletion
LIMIT SETTING	Electronic
DUAL-GATE CONTROL	Bi-part delay or synchronized close
PROGRAMMABLE AUXILIARY RELAYS	Easily add additional features, such as warning lights/alarms
UNAUTHORIZED ACCESS PREVENTION	Can be programmed with anti-tailgate or quick close capabilities
HOMELINK® COMPATIBLE	Version 4 and higher

SPECIFICATIONS

OPERATOR SPEED	90-degree opening in 17 seconds
POWER	120V/230VAC single phase
ACCESSORY POWER	24VDC, 500mA output; switched and unswitched power
OPERATOR WEIGHT	Actuator arm 35 lbs.; standard control box 13 lbs.; includes (2) 7Ah batteries
WARRANTY	2 years
TEMPERATURE SPECIFICATIONS	-4°F (-20°C) to 140°F (60°C)
UL USAGE CLASSIFICATION	UL 325 & UL 991 listed – class I, II, III and IV

CONSTRUCTION

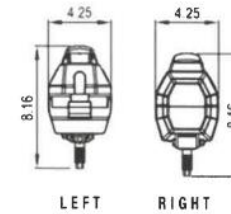
MOTOR	24VDC motor with soft start/stop
OPERATOR DUTY RATING	300 cycles per day
CHASSIS/FRAME	Commercial-duty aluminum die-cast housing
GEAR REDUCTION	Precision-machined all-metal gear in contained lubrication housing.
RECOMMENDED CAPACITIES	Rated for gates up to 18 ft. in length or weighing up to 1,600 lbs.



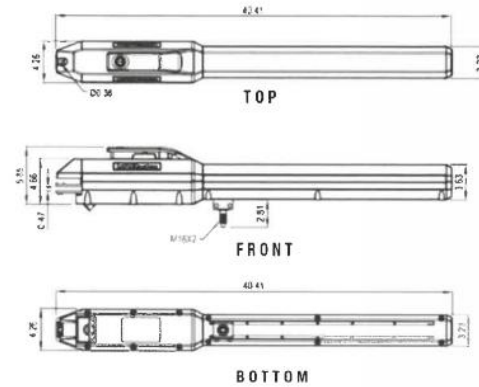
LA500PKGUL SWING GATE OPERATOR

SECTION 32 31 00

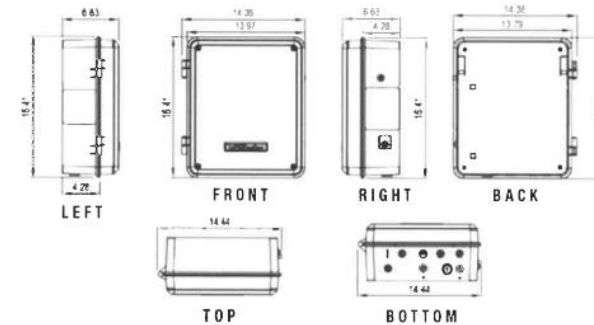
DIMENSIONS



ACTUATING ARM

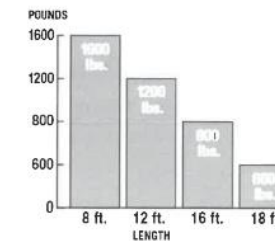


CONTROL BOX



BATTERY BACKUP OPERATION

BATTERY	CYCLES	STANDBY TIME
(2) 7Ah	500	24 Days
(2) 33Ah	2781	180 Days



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LMARENDLA500 5/18

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DATA SHEET  
SWING GATE OPERATOR

729 Gov. Nicholls – Current Proposal

VCC Architectural Committee

January 11, 2022

# H-10 SLIDE GATE OPERATOR



## RESIDENTIAL AND COMMERCIAL

CLASS I, II, III, & IV VEHICULAR SLIDE GATE OPERATOR

WARRANTY: 7 YR RESIDENTIAL & 5 YR COMMERCIAL



### COMPATIBLE WITH VIKING WIRELESS PRODUCTS

- Wireless Master/Slave Kit provides secure and reliable wireless communication.
- Remote access to the control board settings, programming, operator diagnostics, controls, gate status and error notifications, all from the convenience of a computer or any compatible hand held device.
- Plug & Play connection for the Viking wireless Expansion products.

### BATTERY BACKUP INCLUDED

- Standard Battery Backup provides 100 continuous cycles at 100% duty cycle.
- With Viking's "True" Battery Backup System, batteries are not used during normal operations, maximizing battery life.

### LIGHTNING PROTECTION

- Advanced lightning strike protection up to 20,000 volts / 10,000 amps
- On-board surge protection monitoring.

### PROTECTION

- Multi-Layer Corrosion Protection
- G90 Galvanized
- Clear Zinc Plating
- UV Rated Powder Coating

### INTEGRATED HEATER

- Built-in heater for operating temperatures down to -20° F.
- This will allow you run your operator in the coldest conditions.

### SOLAR SMART

- Power Saving technology minimizes current draw while at standby.

### DIAGNOSTICS DISPLAY

- On-board LCD screen displays voltages, amps, gate status and diagnostics.

Operational Voltage	24 VDC with 1 HP Motor
Main Power Source Options	120/240 VAC Single Phase
Battery	7 AmpHr 12 VDC x 2
Battery Backup	100 Full Contin. Cycles (2200 lbs)

Operating Speed	12" Per Second
Operating Temperature	-20° F up to +150° F
Max Gate Capacity	2200 Lbs/ 75'
Max Duty Cycle	100% Contin. Cycle

www.vikingaccess.com • 800 908 0884



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January 11, 2022



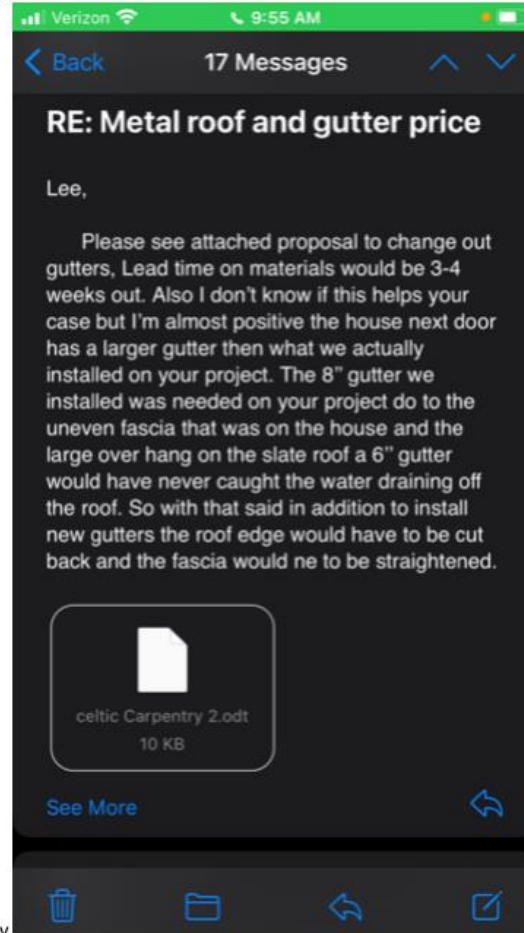
## Carrie Hunsicker

**From:** Lee Kelly <celticcarpentry@yahoo.com>  
**Sent:** Monday, November 8, 2021 10:01 AM  
**To:** Carrie Hunsicker  
**Cc:** LeeKelly77@gmail.com  
**Subject:** Re: 729 Gov Nicholls Gutters

Hi Carrie,

Please see attached the screenshot of the letter from the roofer about the reason the gutters are 8"

Thanks,



729 Gov. Nicholls – Current Proposal

VCC Architectural Committee

January 11, 2022



**LIGHTING INC  
ONLINE**



8180 Earhart Blvd  
New Orleans, LA 70118  
[504-486-5761](tel:5044865761)  
Fax: 504-210-8484



[www.lightingonline.com](http://www.lightingonline.com)  
[info@LightingIncOnline.com](mailto:info@LightingIncOnline.com)



### One Light Path & Spread



**\$149.09**

Item ID: 435080

Finish: Textured Architectural Bronze

Width: 4.50"

Height: 19.50"

### Bulbs

Voltage: 12 V

Qty.	Type	Base	Watt	Incl.	Source	LM.	CCT	CRI	Avg.Life	Dim	Beam
1	S8	Wedge	24.40 W	Yes	Krypton	-	-	-	-	-	-

### Details

Safety Listing: cETLus

Safety Rating: Wet

Wire:

34"

Weight:

1.13 lb

*Please be advised that all prices and information shown here are subject to verification by our showroom personnel.*



**317-19 Chartres**  
**316-18 Exchange Place**





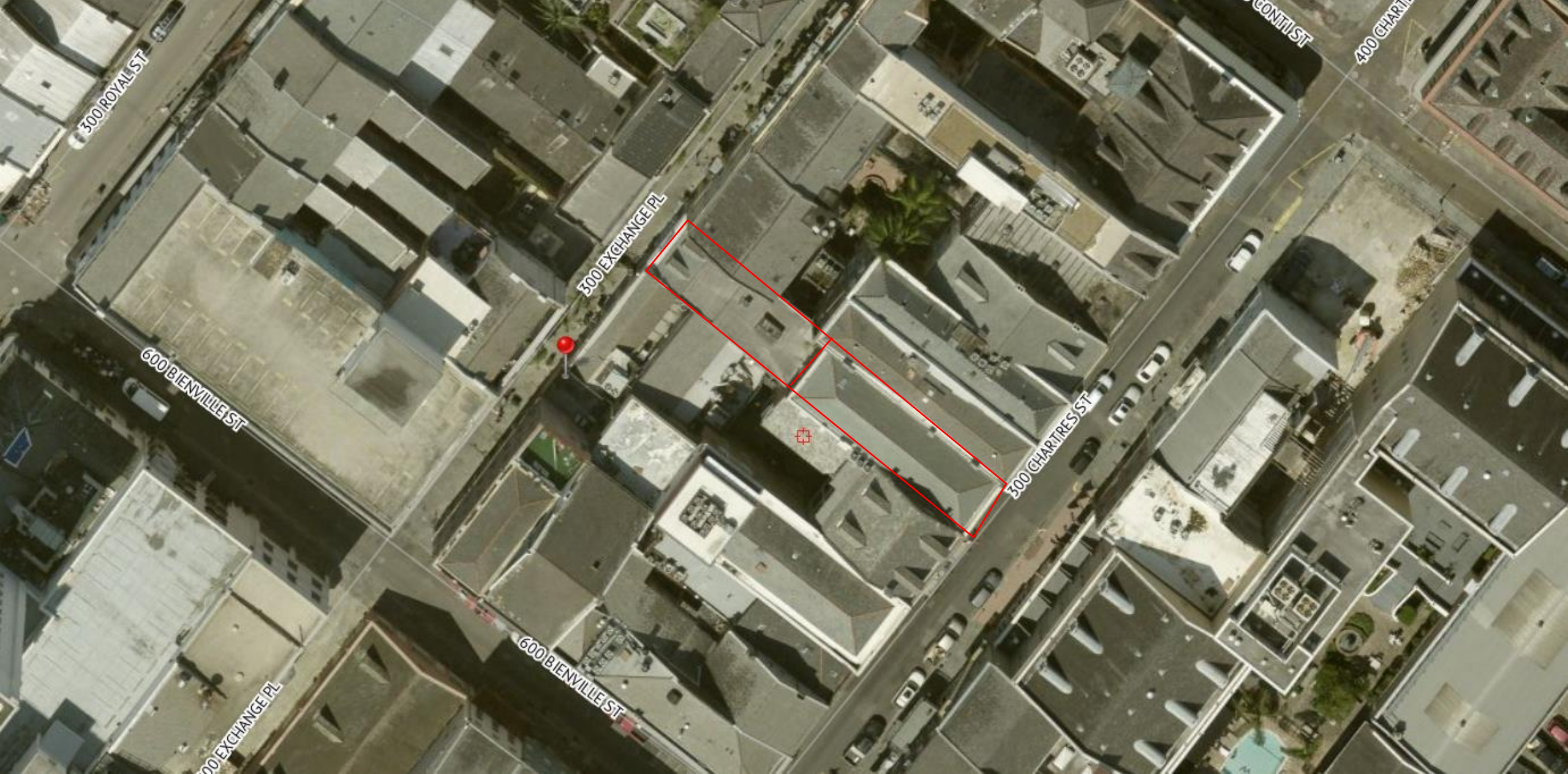
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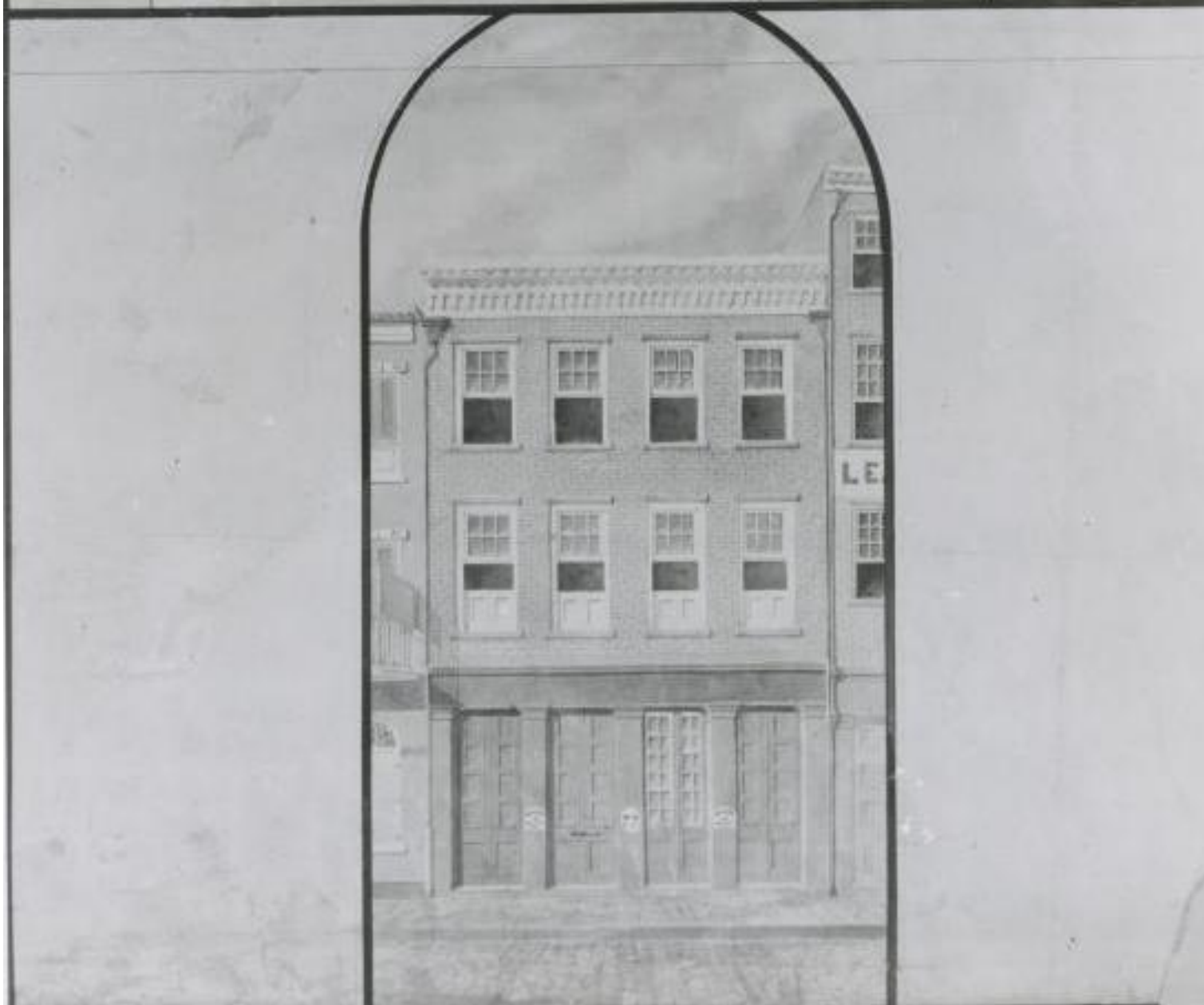
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**317-19 Chartres/ 316-18 Exchange Place**

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317-19 Chartres/ 316-18 **Exchange** Place

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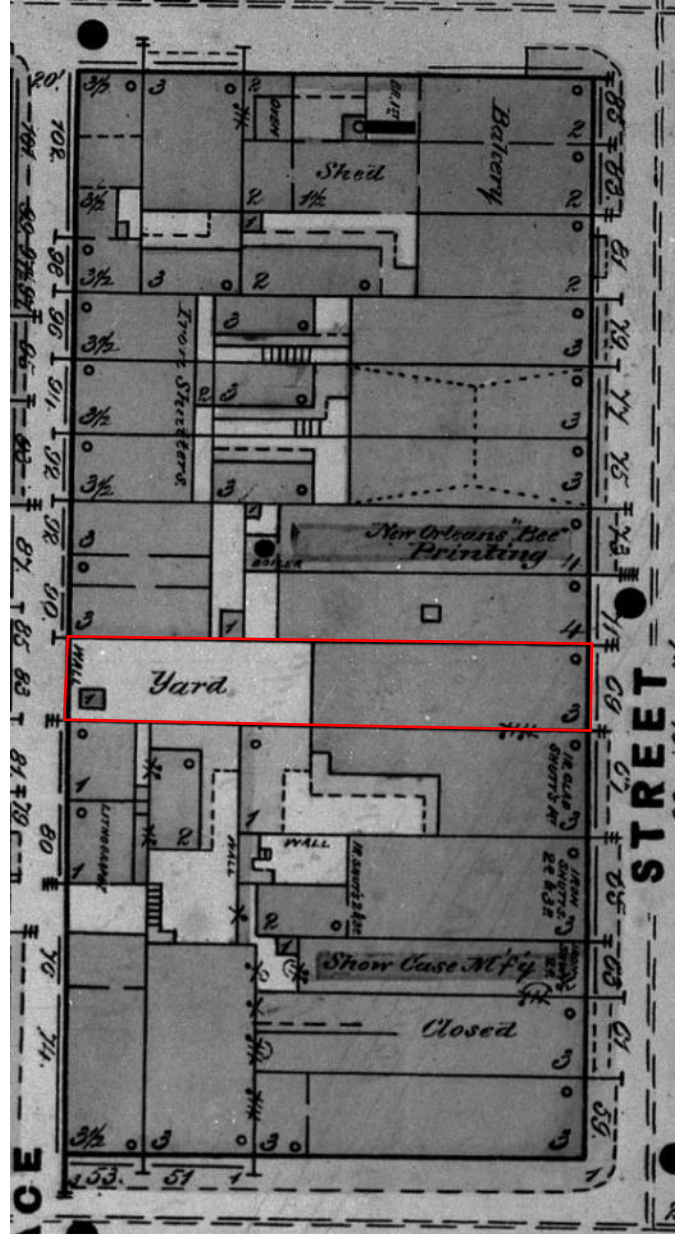
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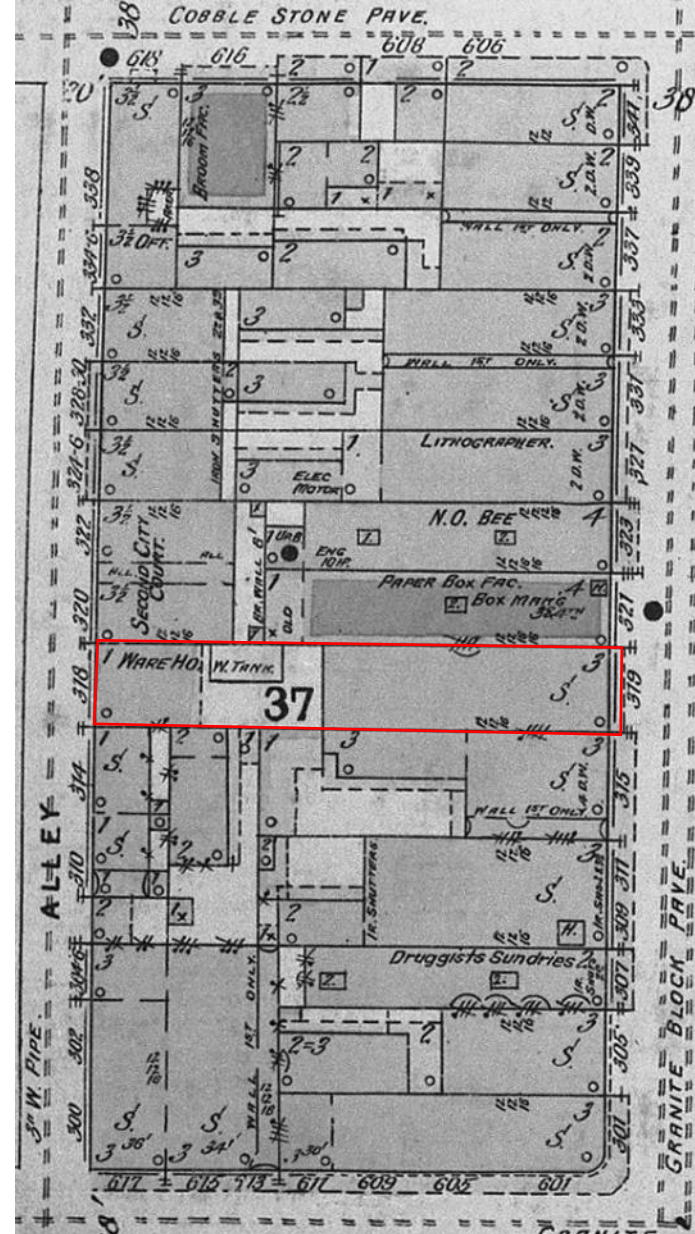
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1876



1896

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317-19 Chartres/ 316-18 **Exchange** Place

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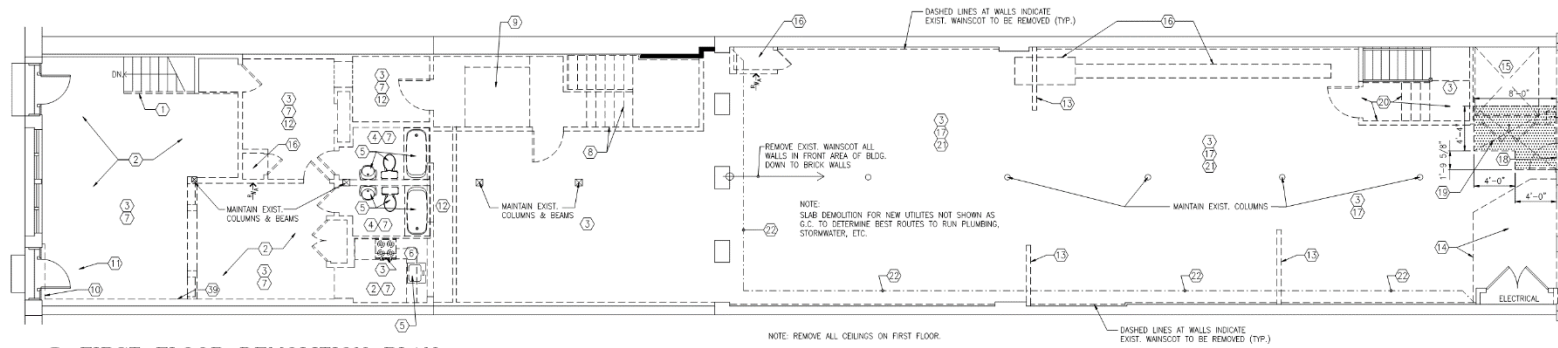
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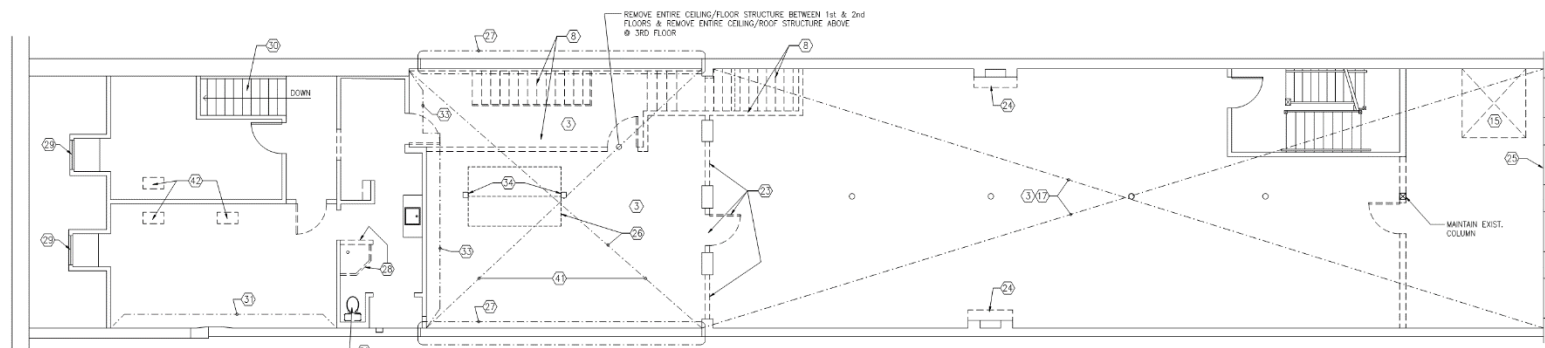
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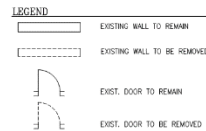




1 FIRST FLOOR DEMOLITION PLAN  
SCALE: 3/16"=1'-0"



2 SECOND FLOOR DEMOLITION PLAN  
SCALE: 3/16"=1'-0"



**GENERAL DEMOLITION NOTES:**

1. REMOVE ALL ITEMS BETWEEN FINISH CEILING & ORIGINAL CEILING JOISTS ON FIRST FLOOR EXCHANGE PLACE SIDE OF BUILDING.
2. DEMOLITION OF FIRST FLOOR SLAB FOR RUNNING NEW PLUMBING AND OTHER UTILITIES NOT SHOWN-CONTRACTOR TO DETERMINE CHOOSE THE MOST EFFICIENT ROUTE.
3. THESE DEMOLITION PLANS ARE NOT INTENDED TO BE ALL-INCLUSIVE OF ALL ITEMS TO BE DEMOLISHED. CONTRACTOR TO DEMOLISH ALL ITEMS NOT SPECIFICALLY SHOWN IN THE DEMOLITION PLANS THAT ARE REQUIRED TO BE DEMOLISHED IN ORDER TO COMPLETE THE CONSTRUCTION WORK.

**DEMOLITION NOTES (CONT.):**

40. REMOVE EXISTING WOOD FLOORING THIS ROOM & MAINTAIN EXISTING BOARDS THAT ARE IN REUSABLE CONDITION-MOST BOARDS ARE IN POOR CONDITION.
41. REMOVE SECOND FLOOR FLYWOOD DECK, WOOD SHEATHING, SECOND FLOOR & FIRST FLOOR CEILING JOIST IN THIS AREA (TO BE RE-FRAMED)- SHORE-UP REMAINING STRUCTURE AS REQUIRED BEFORE REPLACING SECOND FLOOR JOIST.
42. REMOVE A/C DIFFUSERS IN FRONT & ASSOCIATED DUCTWORK.
43. REMOVE WALL FURR OUT & PLUMBING WITHIN CHASE.
44. REMOVE PIPE.

- DEMOLITION NOTES:**
1. REMOVE EXIST. HANDRAIL FROM STAIRS.
  2. REMOVE EXIST. WOOD FINISH FLOORING DOWN TO TONGUE & GROOVE SUBSTRATE - MAINTAIN EXIST. TONGUE & GROOVE SUBSTRATE BELOW WOOD FLOORING.
  3. REMOVE ALL ELECTRICAL APPLIANCES, LIGHT FIXTURES, CONCEALED, WIRING, SMOKE ALARMS, ETC.
  4. REMOVE EXIST. TILE FLOORING DOWN TO TONGUE & GROOVE SUBSTRATE - MAINTAIN EXIST. TONGUE & GROOVE SUBSTRATE BELOW WOOD FLOORING.
  5. REMOVE EXIST. PLUMBING FIXTURES & BATHROOM ACCESSORIES.
  6. REMOVE EXIST. CABINETS & COUNTERTOPS.
  7. REMOVE EXIST. LAYERS OF CEILING DOWN TO EXISTING CEILING JOISTS.
  8. REMOVE EXIST. STAIRWAY & SURROUNDING WALLS.
  9. REMOVE EXIST. WOOD RAMP.
  10. REMOVE EXIST. ENCLOSURE AROUND EXIST. DOOR & EXPOSE DOOR.
  11. REMOVE EXIST. NOTED SUBFLOOR TO EXPOSE FLOOR JOISTS.
  12. REMOVE EXIST. FINISH FLOORING DOWN TO TONGUE & GROOVE SUBFLOOR.
  13. REMOVE EXIST. WING WALLS.
  14. REMOVE EXIST. FLOOR PLATFORM DOWN TO CONCRETE.
  15. REMOVE ALL PARTS OF EXIST. ELEVATOR & ELEVATOR SUPPORTS INCLUDING THE CABLE CONTROLS, VERTICAL WAILS, CABLES, DOORS, ETC. DOWN TO ORIGINAL BUILDING STRUCTURE.
  16. REMOVE EXIST. A/C UNIT & ASSOCIATED DUCTWORK, REFRIGERANT LINES, ETC.
  17. REMOVE EXIST. WOOD OR GYP. BOARD CEILING DOWN TO EXIST. CEILING JOISTS - TRY TO SALVAGE WOOD CEILING FOR REUSE.
  18. REMOVE EXIST. FIRE ALARM BELL & BOX ABOVE DOOR.
  19. DOTTED AREA WITHIN DIMENSIONED RECTANGLE INDICATES AREA OF SLAB TO BE REMOVED FOR NEW H/C RAMP.
  20. REMOVE DASHED PORTION OF EXIST. EXIT STAIR.
  21. REMOVE ALL EXIST. 1-8 BASEBOARD & MAINTAIN FOR REUSE.
  22. REMOVE EXIST. CONDUIT ALONG CEILING.
  23. REMOVE EXIST. BOARDS-UP PORTION OF WINDOW OPENINGS AND/OR NON-ORIGINAL DOOR.
  24. REMOVE EXIST. FIREPLACE HEARTH MATERIAL, DOWN TO WOOD FLOORING OR WOOD FLOOR JOISTS.
  25. REMOVE EXIST. ROOF, SKYLIGHT & ROOF STRUCTURE OVER SECOND FLOOR.
  26. DEMOLISH EXIST. PERIMETER WALL DOWN TO 6'-0" ABOVE SECOND FLOOR DECK - CAP TALL OF WALL PER DETAIL 2 & 3/AS-1.
  27. REMOVE EXIST. SHOWER & ADJACENT WALL.
  28. REMOVE EXIST. WINDOW FOR REPLACEMENT.
  29. REMOVE EXIST. CARPET ON STAIRS.
  30. REMOVE EXIST. LOOSE PLASTER.
  31. REMOVE EXIST. TOILET FOR REPLACEMENT.
  32. REMOVE EXIST. GYP. BD. ON WALL SO THAT WALL CAN BE CONVERTED TO AN EXTERIOR WALL.
  33. CUT DOWN EXIST. COLUMNS TO BELOW SECOND FLOOR.
  34. REMOVE ALL HANDRAILS ASSOCIATED WITH STAIRS THAT ARE BEING REMOVED.
  35. EXIST. ATTIC ACCESS TO REMAIN.
  36. REMOVE EXIST. WINDOW BLINDS & ACCESSORIES.
  37. REMOVE ROOF AS PART OF SECOND FLOOR CEILING & WALL DEMOLITION PER DEMOLITION NOTE #46.
  38. REMOVE EXIST. WOOD STUD & SHEETROCK WALL DOWN TO EXISTING BRICK.

New Bakery & Apartments at 317 Chartres St. New Orleans, Louisiana 70130	
SCALE: AS SHOWN	FILE NAME: 21036\Plan03.C
DATE: Dec. 28, 2021	
STEVEN J. FINEGAN ARCHITECTS, LTD. A PROFESSIONAL CORPORATION 123 S. Pierce St. - New Orleans, LA 70119 (504)466-5744 www.stevenfineganarchitect.com E-mail: stevenfinegan@coxmail.com	
NO.	DATE
REVISIONS	
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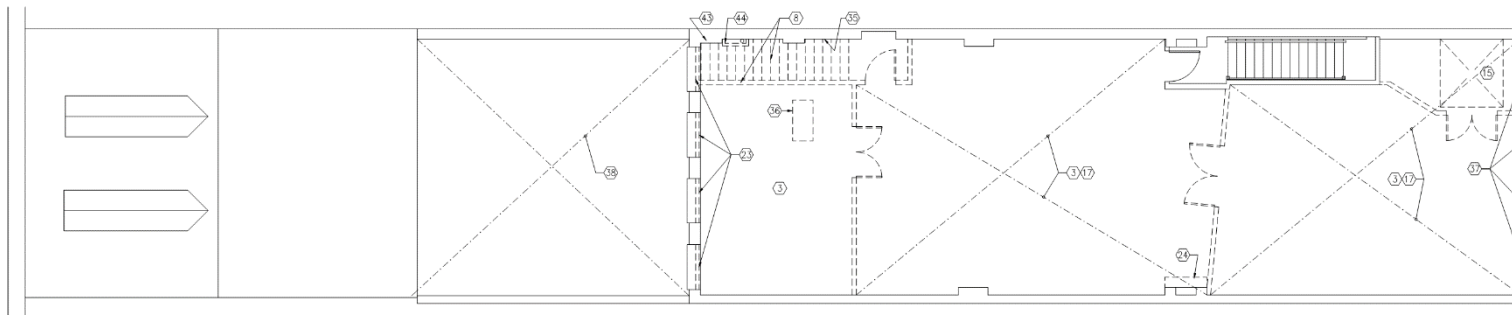
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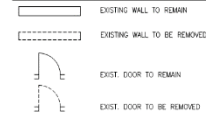
December 7, 2021





1 THIRD FLOOR DEMOLITION PLAN  
SCALE: 3/16"=1'-0"

#### LEGEND



#### GENERAL DEMOLITION NOTES:

1. REMOVE ALL ITEMS BETWEEN FINISH CEILING & ORIGINAL CEILING JOISTS ON FIRST FLOOR EXCHANGE PLACE SIDE OF BUILDING.
2. DEMOLITION OF FIRST FLOOR SLAB FOR RUNNING NEW PLUMBING AND OTHER UTILITIES NOT SHOWN-CONTRACTOR TO DEMOLISH CHOOSE THE MOST EFFICIENT ROUTE.
3. THESE DEMOLITION PLANS ARE NOT INTENDED TO BE ALL-INCLUSIVE OF ALL ITEMS TO BE DEMOLISHED. CONTRACTOR TO DEMOLISH ALL ITEMS NOT SPECIFICALLY SHOWN IN THE DEMOLITION PLANS THAT ARE REQUIRED TO BE DEMOLISHED IN ORDER TO COMPLETE THE CONSTRUCTION WORK.

#### DEMOLITION NOTES (CONT.)

43. REMOVE EXISTING WOOD FLOORING THIS ROOM & MAINTAIN EXISTING BOARDS THAT ARE IN REUSABLE CONDITION-MOST BOARDS ARE IN POOR CONDITION.
44. REMOVE SECOND FLOOR PLYWOOD DECK, WOOD SHEATHING, SECOND FLOOR & FIRST FLOOR CEILING JOIST IN THIS AREA TO BE RE-FRAMED)- SHORE-UP REMAINING STRUCTURE AS REQUIRED BEFORE REPLACING SECOND FLOOR JOIST.
45. REMOVE A/C DIFFUSERS IN FRONT & ASSOCIATED DUCTWORK.
46. REMOVE WALL FURN OUT & PLUMBING WITHIN CHASE.
47. REMOVE PIPE.

#### DEMOLITION NOTES:

1. REMOVE EXIST. HANDRAIL FROM STAIRS.
2. REMOVE EXIST. WOOD FINISH FLOORING DOWN TO TONGUE & GROOVE SUBSTRATE - MAINTAIN EXIST. TONGUE & GROOVE SUBSTRATE BELOW WOOD FLOORING.
3. REMOVE ALL ELECTRICAL APPLIANCES, LIGHT FIXTURES, CONDUIT, WIRING, SMOKE ALARMS, ETC.
4. REMOVE EXIST. TILE FLOORING DOWN TO TONGUE & GROOVE SUBSTRATE - MAINTAIN EXIST. TONGUE & GROOVE SUBSTRATE BELOW WOOD FLOORING.
5. REMOVE EXIST. PLUMBING FIXTURES & BATHROOM ACCESSORIES.
6. REMOVE EXIST. CABINETS & COUNTERTOPS.
7. REMOVE EXIST. LAYERS OF CEILING DOWN TO EXISTING CEILING JOISTS.
8. REMOVE EXIST. STAIRWAY & SURROUNDING WALLS.
9. REMOVE EXIST. WOOD RAMP.
10. REMOVE EXIST. ENCLOSURE AROUND EXIST. DOOR & EXPOSE DOOR.
11. REMOVE EXIST. ROTTED SURFLOOR TO EXPOSE FLOOR JOISTS.
12. REMOVE EXIST. FINISH FLOORING DOWN TO TONGUE & GROOVE SUBFLOOR.
13. REMOVE EXIST. WING WALLS.
14. REMOVE EXIST. FLOOR PLATFORM DOWN TO CONCRETE.
15. REMOVE ALL PARTS OF EXIST. ELEVATOR & ELEVATOR SUPPORTS INCLUDING THE CABLE CONTROLS, VERTICAL RAILS, CABLES, DOORS, ETC. DOWN TO ORIGINAL BUILDING STRUCTURE.
16. REMOVE EXIST. A/C UNIT & ASSOCIATED DUCTWORK, REFRIGERANT LINES, ETC.
17. REMOVE EXIST. WOOD OR GYP. BOARD CEILING DOWN TO EXIST. CEILING JOISTS - TRY TO SALVAGE WOOD CEILING FOR REUSE.
18. REMOVE RED ALARM BELL & BOX REMOVE DOOR.
19. DOTTED AREA WITHIN DIMENSIONED RECTANGLE INDICATES AREA OF SLAB TO BE REMOVED FOR NEW H/V RAMP.
20. REMOVE DASHED PORTION OF EXIST. EXIT STAIR.
21. REMOVE ALL EXIST. 1-6 BASEBOARD & MAINTAIN FOR REUSE.
22. REMOVE EXIST. CONDUIT ALONG CEILING.
23. REMOVE BOARDED-UP PORTION OF WINDOW OPENINGS AND/OR NON-ORIGINAL DOOR.
24. REMOVE EXIST. FIREPLACE HEARTH MATERIAL DOWN TO WOOD FLOORING OR WOOD FLOOR JOISTS.
25. REMOVE BOWED WOOD SILL FOR REPLACEMENT.
26. REMOVE EXIST. ROOF, SKYLIGHT & ROOF STRUCTURE OVER SECOND FLOOR.
27. DEMOLISH EXIST. PERIMETER WALL DOWN TO 6'-0" ABOVE SECOND FLOOR DECK - CAP TALL OF WALL PER DETAIL 2 & 3/4x5.1.
28. REMOVE EXIST. SHOWER & ADJACENT WALL.
29. REMOVE EXIST. WINDOW FOR REPLACEMENT.
30. REMOVE EXIST. CARPET ON STAIRS.
31. REMOVE EXIST. LOOSE PLASTER.
32. REMOVE EXIST. TOILET FOR REPLACEMENT.
33. REMOVE EXIST. GYP. BD. ON WALL SO THAT WALL CAN BE CONVERTED TO AN EXTERIOR WALL.
34. CUT DOWN EXIST. COLUMNS TO BELOW SECOND FLOOR.
35. REMOVE ALL HANDRAILS ASSOCIATED WITH STAIRS THAT ARE BEING REMOVED.
36. EXIST. ATTIC ACCESS HATCH TO REMAIN.
37. REMOVE EXIST. WINDOW BLINDS & ACCESSORIES.
38. REMOVE ROOF AS PART OF SECOND FLOOR CEILING & WALL DEMOLITION PER DEMOLITION NOTE #26.
39. REMOVE EXIST. WOOD STUD & SHEETROCK WALL DOWN TO EXISTING BRG.

New Bakery & Apartments at  
317 Chartres St.  
New Orleans, Louisiana 70130

SCALE: AS SHOWN FILE NAME: 21036\Plan03.C

DATE: Dec. 28, 2021

STEVEN J. FINEGAN ARCHITECTS, LTD.  
A PROFESSIONAL CORPORATION  
123 S. Pierre St. - New Orleans, LA 70119  
(504)486-5744 www.stevenfineganarchitect.com  
E-mail: stevefinegan@noxxmail.com

NO.	DATE	REVISIONS

A2.1

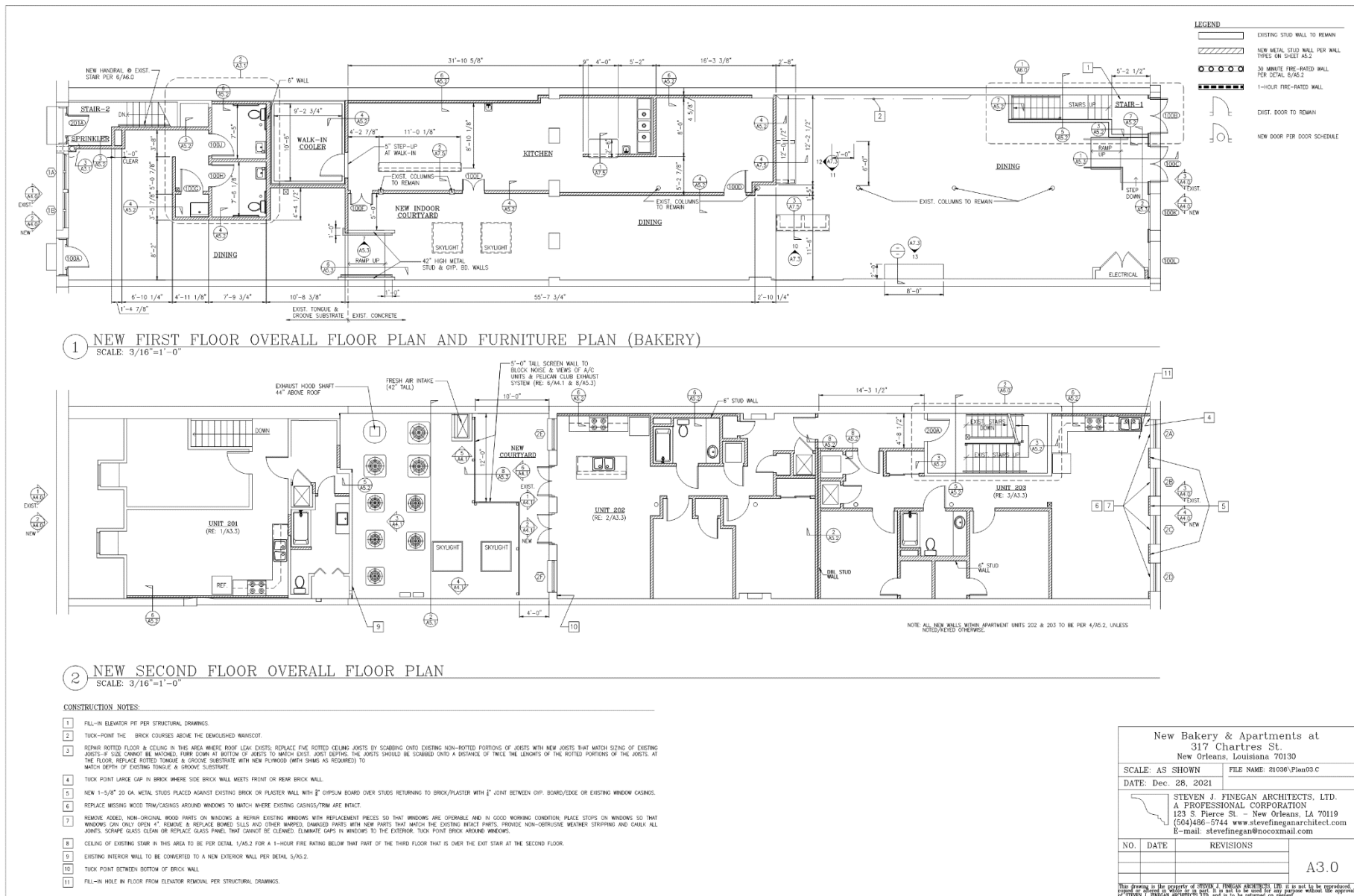
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317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

December 7, 2021





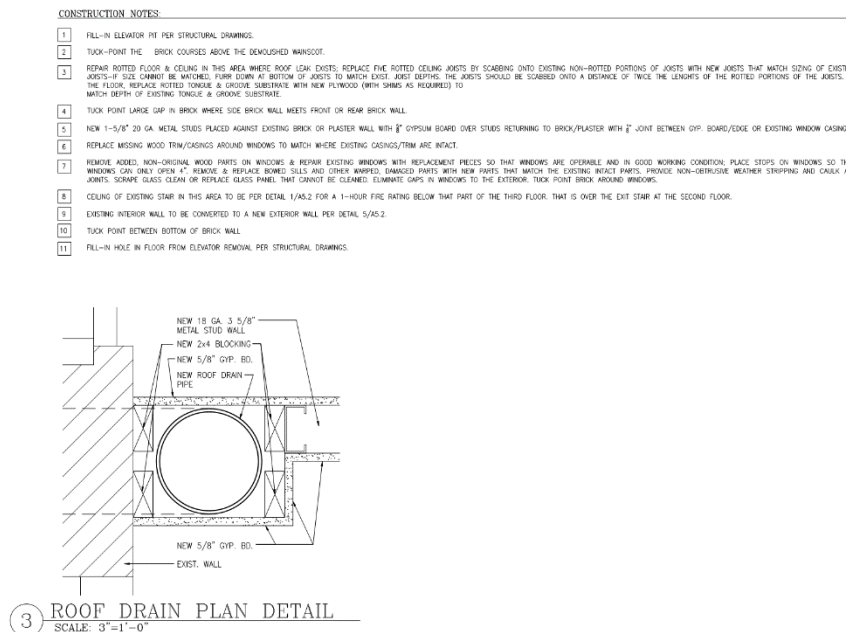
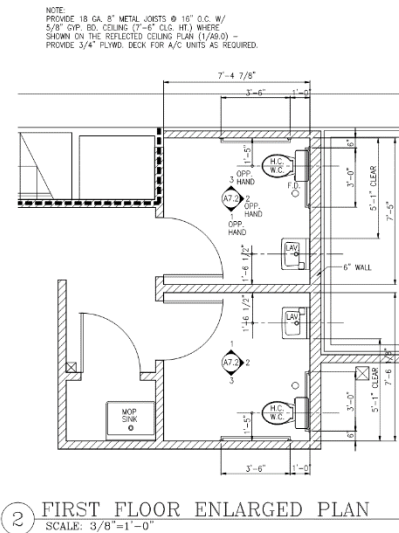
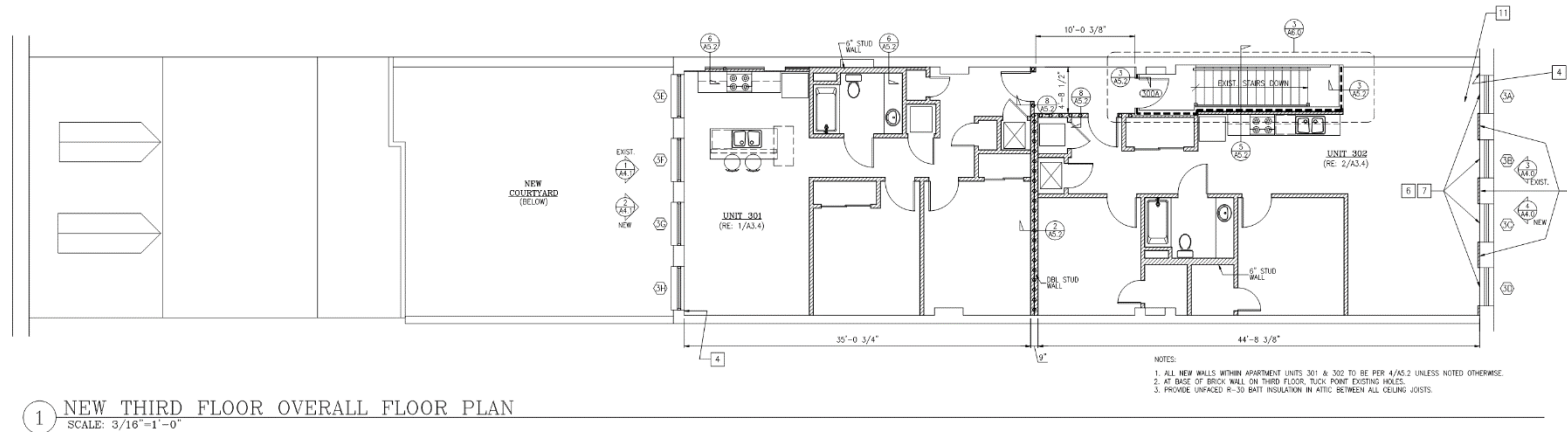
317-19 Chartres/ 316-18 Exchange Place

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**LEGEND**

- EXISTING WALL TO REMAIN
- NEW METAL STUD WALL PER WALL TYPES ON SHEET AS.2
- 30 MINUTE FIRE-RATED WALL PER DETAIL 9/AS.2
- 1-HOUR FIRE-RATED WALL
- EXIST. DOOR TO REMAIN
- NEW DOOR PER DOOR SCHEDULE

New Bakery & Apartments at 317 Chartres St. New Orleans, Louisiana 70130		
SCALE: AS SHOWN	FILE NAME: 21036/Plan03 C	
DATE: Dec. 28, 2021		
STEVEN J. FINEGAN ARCHITECTS, LTD. A PROFESSIONAL CORPORATION 123 S. Pierce St. - New Orleans, LA 70119 (504)486-6744 www.steviefineganarchitect.com E-mail: steviefinegan@nccomail.com		
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		A3.1

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317-19 Chartres/ 316-18 Exchange Place

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December 7, 2021



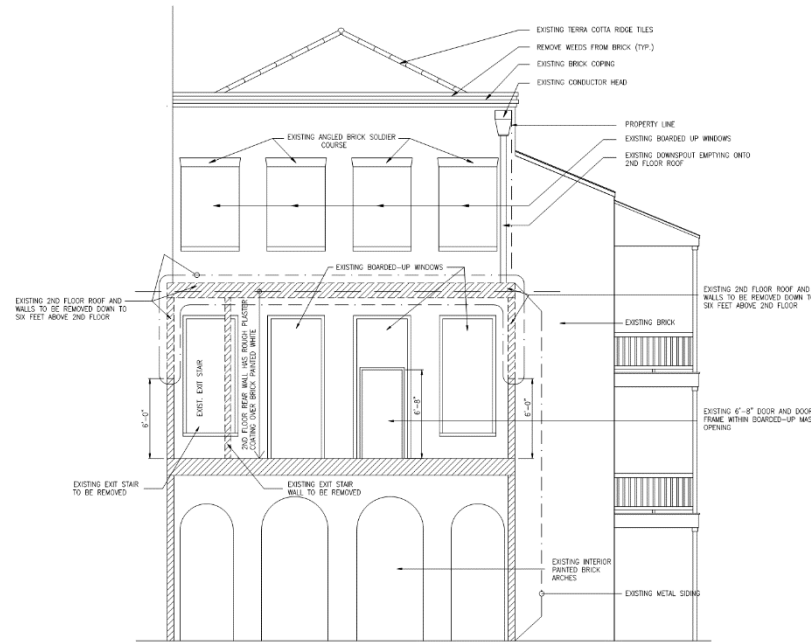


# 317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

December 7, 2021

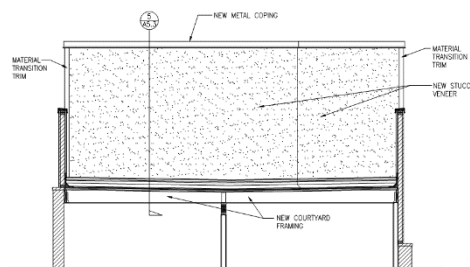




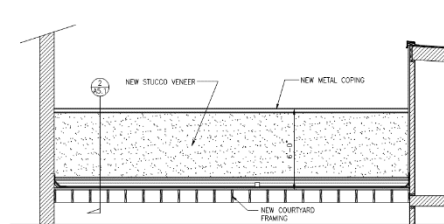
① 319 CHARTRES REAR DEMOLITION ELEVATION  
SCALE: 1/4"=1'-0"



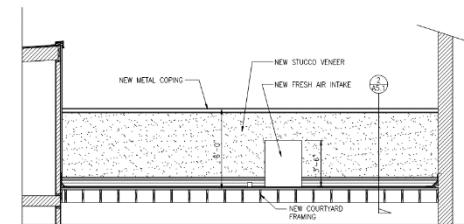
② PROPOSED 319 CHARTRES REAR ELEVATION  
SCALE: 1/4"=1'-0"



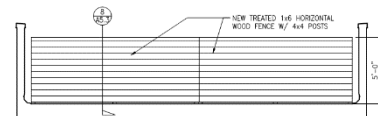
③ COURTYARD ELEVATION  
SCALE: 1/4"=1'-0"



④ COURTYARD ELEVATION  
SCALE: 1/4"=1'-0"



⑤ COURTYARD ELEVATION  
SCALE: 1/4"=1'-0"



⑥ COURTYARD FENCE ELEVATION  
SCALE: 1/4"=1'-0"

New Bakery & Apartments at 317 Chartres St. New Orleans, Louisiana 70130		
SCALE: AS SHOWN	FILE NAME: 21036\Rev-Sect02.C	
DATE: Dec. 28, 2021		
	STEVEN J. FINEGAN ARCHITECTS, LTD. A PROFESSIONAL CORPORATION 123 S. Pierce St. - New Orleans, LA 70119 (504)486-5744 www.steviefineganarchitect.com E-mail: steviefinegan@coxmail.com	
NO.	DATE	REVISIONS
		A4.1
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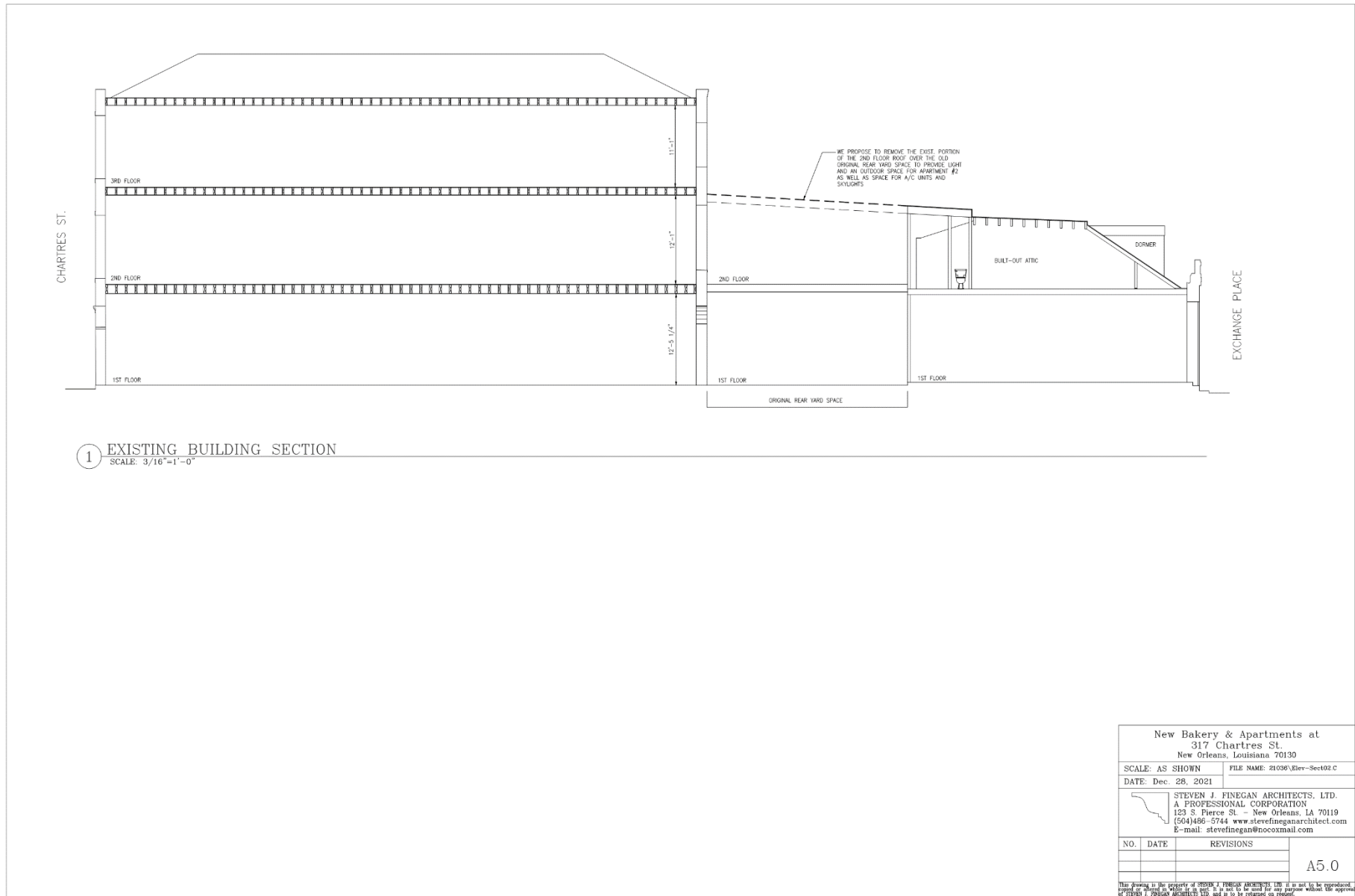
317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

December 7, 2021

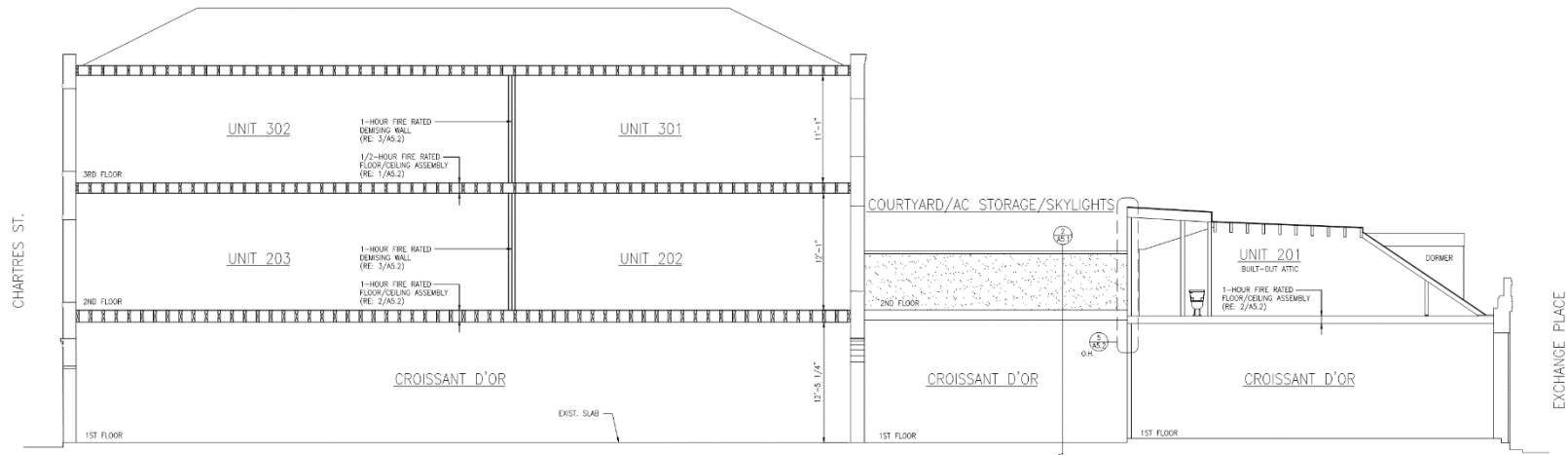




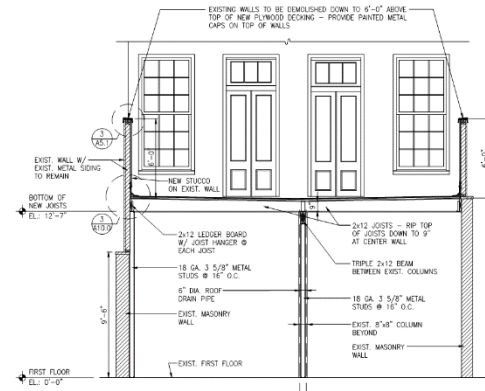


# 317-19 Chartres/ 316-18 Exchange Place

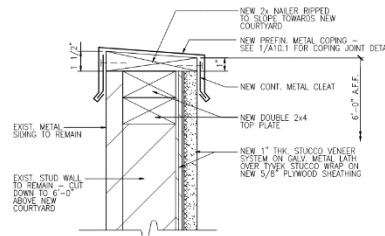





1 NEW BUILDING SECTION  
SCALE: 3/16"=1'-0"



2 NEW BUILDING SECTION @ INTERIOR COURTYARD  
SCALE: 1/4"=1'-0"



3 COURTYARD WALL DETAIL  
SCALE: 3"=1'-0"

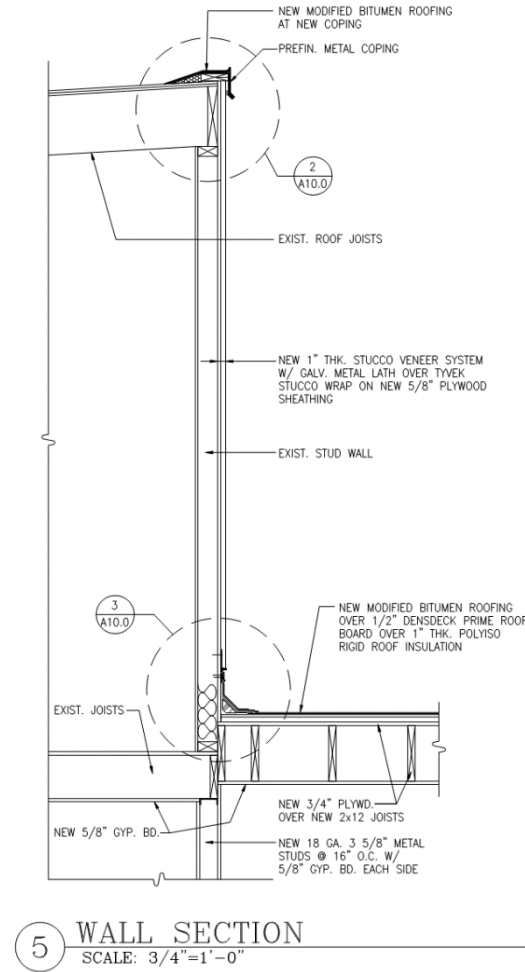
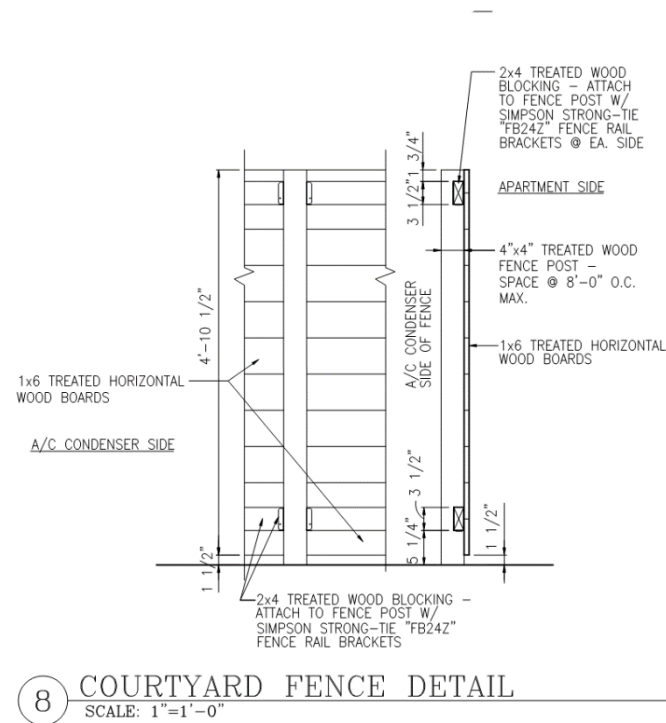
New Bakery & Apartments at 317 Chartres St. New Orleans, Louisiana 70130		
SCALE: AS SHOWN	FILE NAME: 21036\Elev-Sect02 C	
DATE: Dec. 28, 2021		
	STEVEN J. FINEGAN ARCHITECTS, LTD. A PROFESSIONAL CORPORATION 123 S. Pierce St. - New Orleans, LA 70119 (504)486-5744 www.stevfineganarchitect.com E-mail: stevefinegan@nocomail.com	
NO.	DATE	REVISIONS
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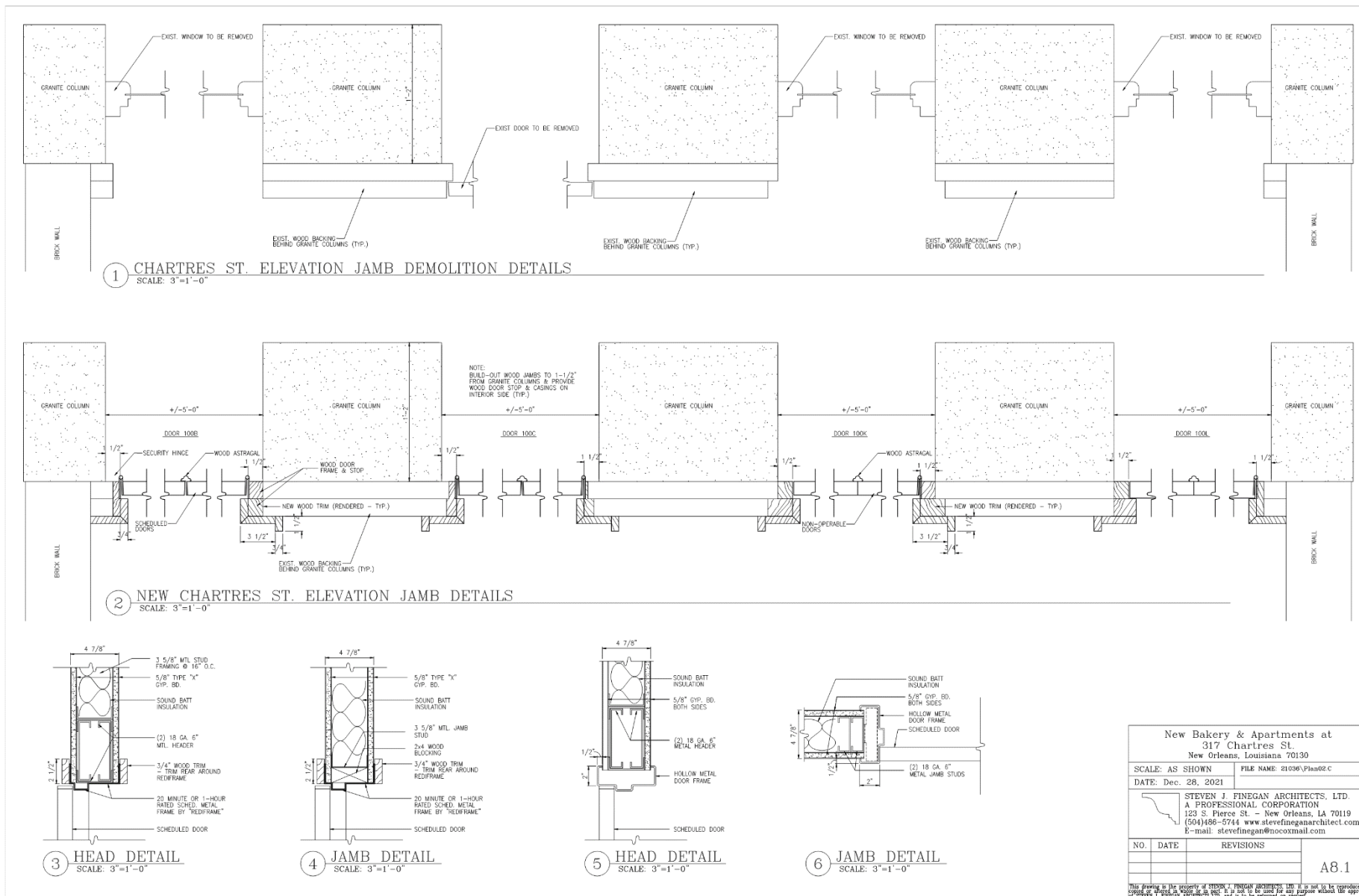
December 7, 2021









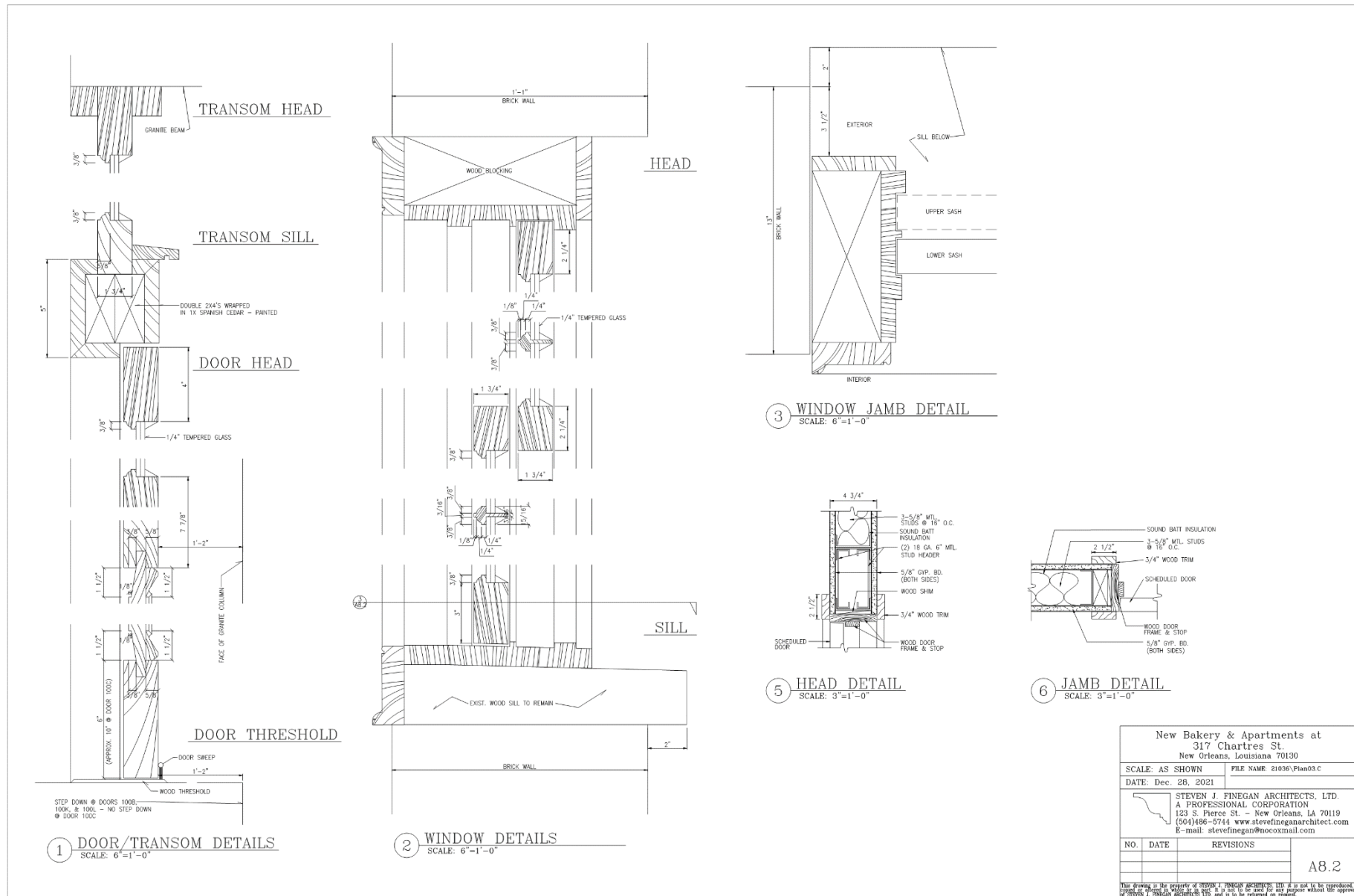


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December 7, 2021





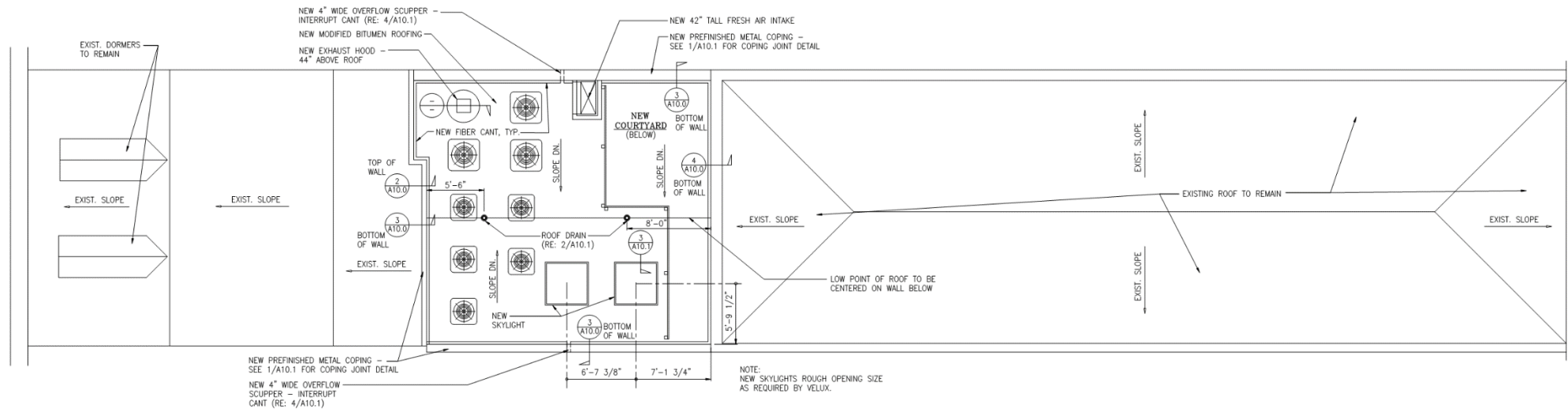
317-19 Chartres/ 316-18 Exchange Place

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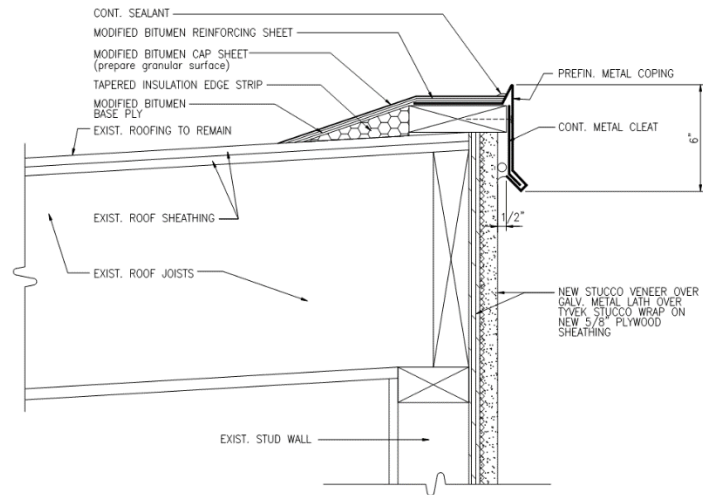
December 7, 2021



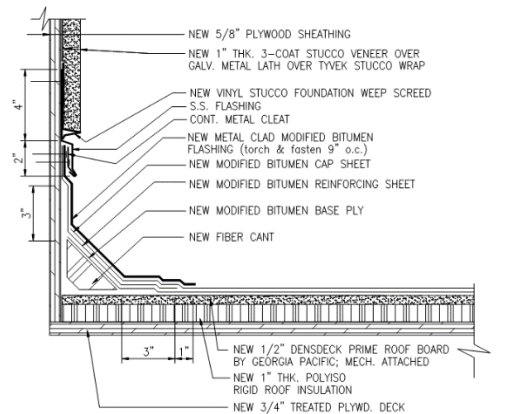




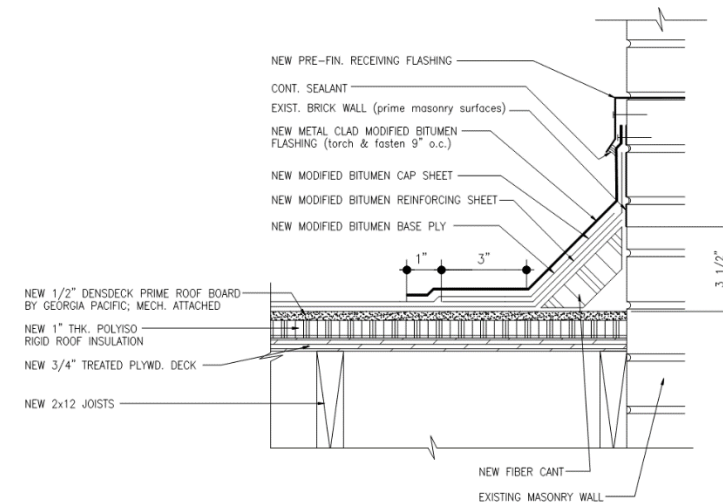
1 NEW ROOF PLAN  
SCALE: 3/16"=1'-0"



2 ROOF DETAIL  
SCALE: 3"=1'-0"



3 ROOF DETAIL  
SCALE: 3"=1'-0"



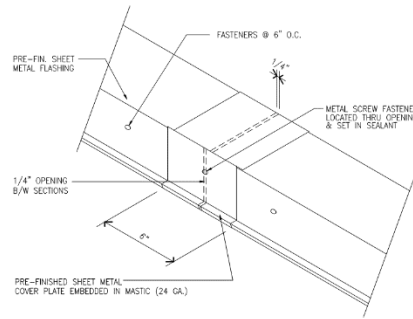
4 ROOF DETAIL  
SCALE: 3"=1'-0"

317-19 Chartres/ 316-18 Exchange Place

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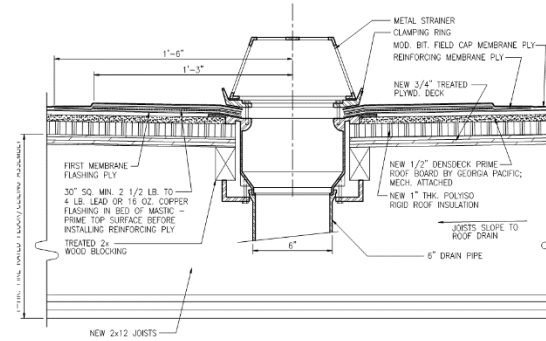
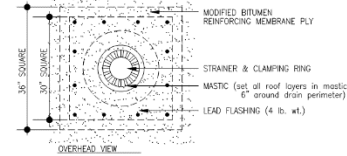
December 7, 2021



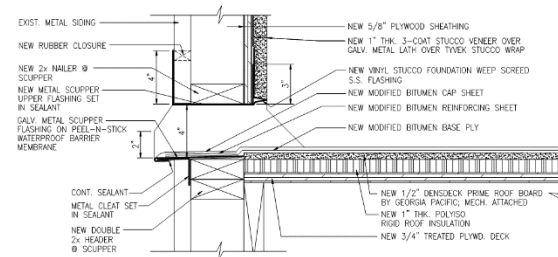


1 TYP. COPING JOINT DETAIL  
SCALE: 3"=1'-0"

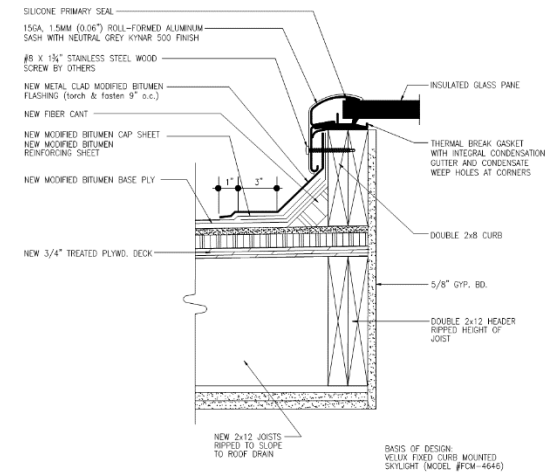
- NOTES:
1. EXTEND MEMBRANE PLYS, LEAD FLASHG. & FLASH-IN PLYS UNDER CLAMPING RING.
  2. SET LEAD FLASHG. IN MASTIC. PRIME TOP SURFACE BEFORE STRIPPING.
  3. EXTEND REINFORCING MEMBRANE 4" BEYOND LEAD FLASHG. BUT NOT BEYOND EDGE OF SLUMP.



2 ROOF DRAIN DETAIL  
SCALE: 3"=1'-0"



4 OVERFLOW SCUPPER DETAIL  
SCALE: 3"=1'-0"



3 SKYLIGHT DETAIL  
SCALE: 3"=1'-0"

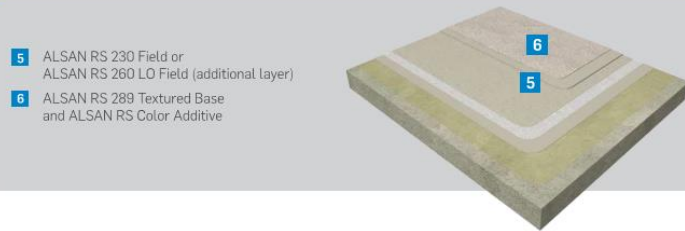
New Bakery & Apartments at 317 Chartres St. New Orleans, Louisiana 70130		
SCALE: AS SHOWN	FILE NAME: 21036/Roof01.C	
DATE: Dec. 28, 2021		
	STEVEN J. PINEGAN ARCHITECTS, LTD. A PROFESSIONAL CORPORATION 123 S. Pierce St. - New Orleans, LA 70119 (504)486-5744 <a href="http://www.stevenjpiniganarchitect.com">www.stevenjpiniganarchitect.com</a> E-mail: <a href="mailto:stevepinigan@nocoxmail.com">stevepinigan@nocoxmail.com</a>	
NO.	DATE	REVISIONS
A10.1		
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## ALSAN RS ROOF SYSTEMS

### ROOF SYSTEM



### ADDITIONAL MATERIALS FOR TRAFFICABLE SURFACES



### ALSAN RS FOR FLASHING

ALSAN RS PMMA/PMA liquid applied resins can be used in combination with ALSAN RS Fleece to create a seamless, watertight, puncture resistant, fully reinforced flashing system over SBS-modified bitumen or SENTINEL PVC membranes. Using ALSAN RS for difficult details is a cost-effective, easy-to-apply method that conforms to irregular shapes such as flashings, walls, penetrations, and curbs without the need of torching or adhesives.



## INNOVATION SINCE 1908

SOPREMA has developed around the idea that the quality, durability and reliability of materials must match builders' ambitions and expectations. For more than 100 years, SOPREMA has been using its expertise to develop a variety of high-end products that meet or exceed all the requirements of the construction field.

### ROOFING WATERPROOFING WALLS CIVIL ENGINEERING



SOPREMA is an international manufacturer specializing in the production of waterproofing and insulation products, as well as vegetative and soundproofing solutions, for the building and civil engineering sectors.

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SS10018-REV.117



ROOFING & WATERPROOFING

## ALSAN® RS ROOFING



317-19 Chartres/ 316-18 Exchange Place

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December 7, 2021







## ALSAN® RS

LIQUID APPLIED PMMA/PMA POLYMERIC ROOF MEMBRANES

ALSAN RS offers a complete range of high performance, flexible, seamless, polyester reinforced liquid applied polymeric roofing solutions. ALSAN RS is composed of polymethyl methacrylate (PMMA) and polymethacrylate (PMA) based resins that offer rapid set times and results in a resilient roof requiring minimal maintenance.

Liquid applied systems offer alternatives to conventional roofing methods, eliminating the safety risks associated with adhesives, torches, and hot-applied systems. The single coat application technique also makes ALSAN RS a time and cost effective solution.

### ADVANTAGES

- Rapid-setting and easy application
- VOC compliant
- Tough polyester reinforcement
- Cool roof solution
- Low maintenance

# SUSTAINABILITY

### EXTEND ROOF LIFE

ALSAN RS fully reinforced systems can be used over existing roofs as a recovery system to extend the life of the existing roof installation, limiting the need for tear off. ALSAN RS systems provide a seamless, monolithic seal for a watertight finish. This method provides long-term, cost effective protection against moisture infiltration and other damage.

### SUCCESS STORY

Flatiron Building  
New York City, New York

The world famous Flatiron Building in New York City is protected by SOPREMA. In the dead of winter, with temperatures below freezing, ALSAN RS created an impenetrable liquid applied waterproofing membrane guaranteed for 20 years. SOPREMA's state of the art polymethyl methacrylate liquid applied waterproofing technology was used to completely waterproof the 8,500 square foot main roof and 21st floor set back of the building. The work was completed in difficult circumstances, with below freezing (25° F) temperatures and windy conditions. The main roof was a recovery application, which saved Newmark Knight Frank, the building's owner, the costly process of tearing off the aged granulated surfaced SBS membrane. ALSAN RS was applied directly over the existing membrane, creating a watertight surface. Of special interest was the time saved on numerous skylights and other difficult flashing challenges, including time-consuming penetrations, bulkheads and chimneys, many with peculiar angles due to the building's unique architecture.



### ALSAN RS ROOF SYSTEMS COMPONENTS\*

#### PRIMERS

- ALSAN RS 276 Primer – A rapid-setting primer designed for porous substrates
- ALSAN RS 222 Primer – A rapid-setting primer designed for asphaltic surfaces and coverboards

#### RESINS

- ALSAN RS 230 Field – Waterproofing resin for horizontal surfaces
- ALSAN RS 230 Flash – Waterproofing resin for slopes and details
- ALSAN RS 260 LO Field – Low-odor waterproofing resin for horizontal surfaces
- ALSAN RS 260 LO Flash – Low-odor waterproofing resin for slopes and details

#### FINISH/SEALER TOP COAT RESINS

- ALSAN RS 281 Clear Finish – Clear finishing resin
- ALSAN RS 287 Color Finish Base – Colorless resin base to which a colored additive is added
- ALSAN RS 289 Textured Base – Non-slip resin with premixed aggregates to which a colored additive is added
- ALSAN RS 210 – Resin used in conjunction with ALSAN RS 223 to create ALSAN RS 233 Self-Leveling Mortar
- ALSAN RS 240 LO – Low-odor base resin mixed with ALSAN RS 223 Mixing Powder to create ALSAN RS 263 Self-Leveling Mortar

#### RELATED PRODUCTS

- ALSAN RS Paste – Patching resin used in surface preparation and repairs
- ALSAN RS Detailer – Sealing resin combined with micro-fiber fleece reinforcement
- ALSAN RS Catalyst Powder – Catalyzing agent used to induce curing process
- ALSAN RS Fleece – Polyester based reinforcement used with all RS membrane resins
- Natural or Colored Quartz Aggregates – Slip-resistant and decorative surfacing
- ALSAN RS Deco Chips – Flat, angular pigmented polymer flakes used as a decorative medium
- ALSAN RS Cleaner – Clear solvent used to clean and prepare transition areas
- ALSAN RS Color Additive – Colored additive intended to be mixed into a liquid PMMA/PMA resins

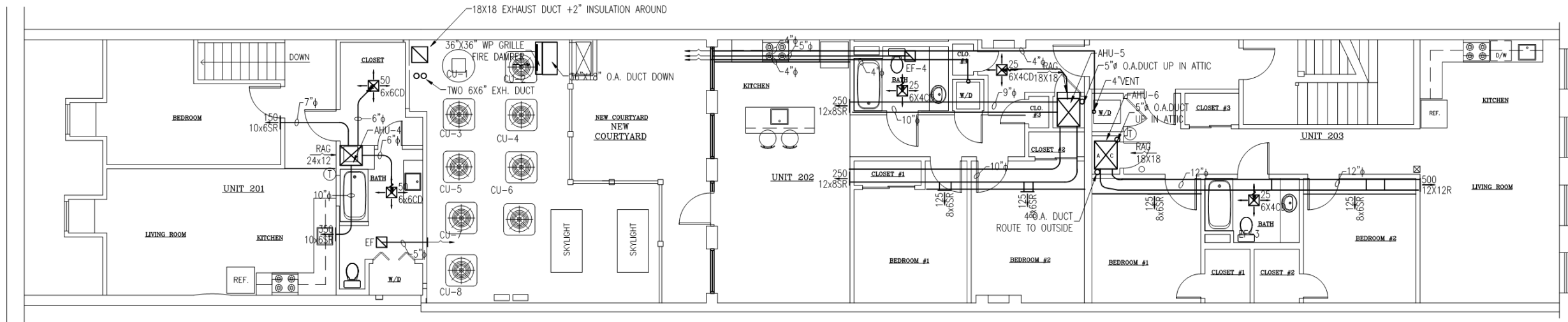
\*All components of ALSAN RS systems are sold separately.

317-19 Chartres/ 316-18 Exchange Place

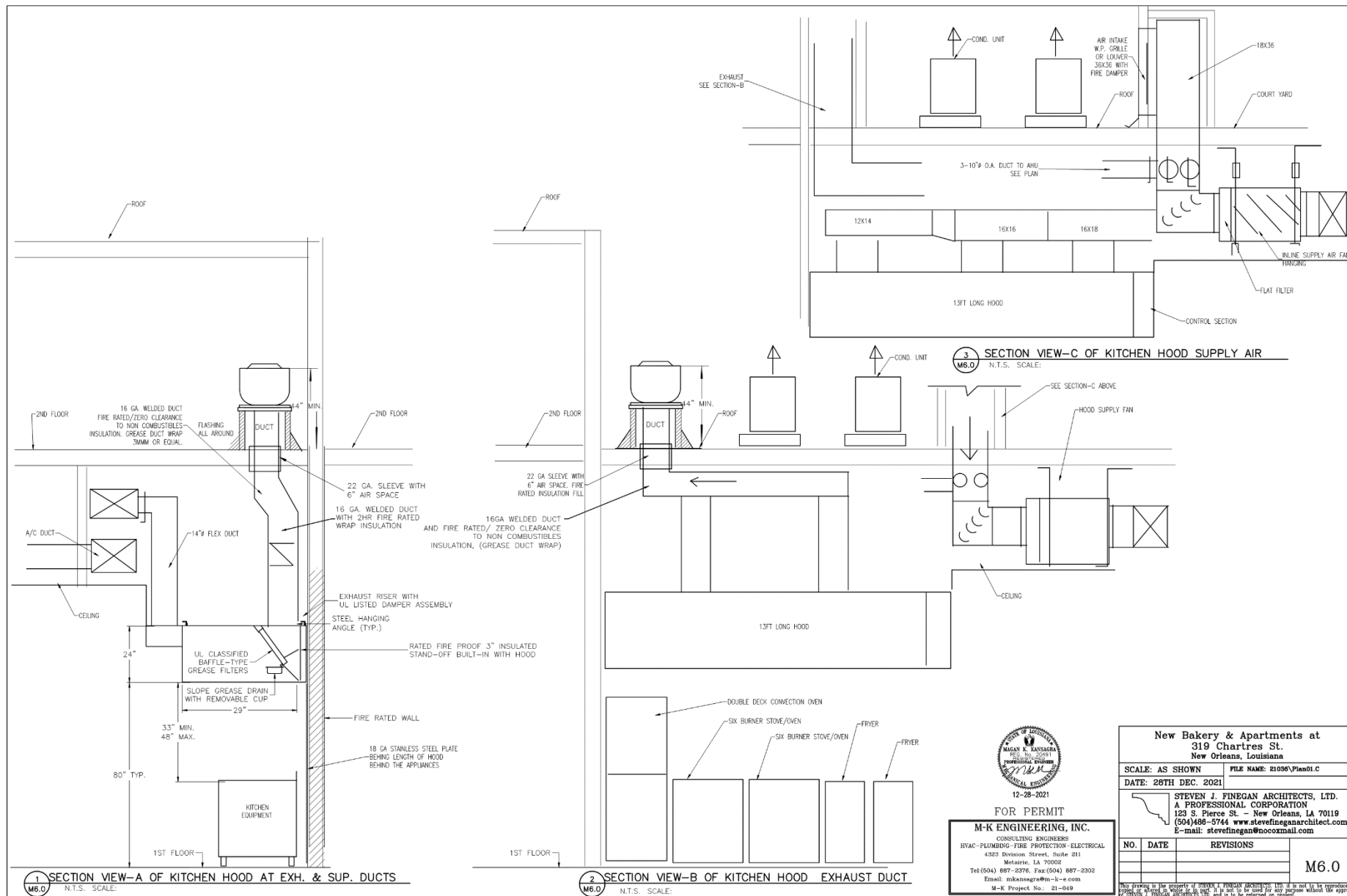
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December 7, 2021





2 SECOND FLOOR PLAN - HVAC  
M1.0 SCALE: N.T.S.



317-19 Chartres/ 316-18 Exchange Place

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December 7, 2021





EXHAUST FAN INFORMATION - JOB#5218418

UNIT NO	TAG	QTY	FAN UNIT MODEL #	MANUFACTURER	CFM	ESP	RPM	MOTOR ENCL	HP	BHP	PHASE	VOLT	FLA	DISCHARGE VELOCITY	WEIGHT (LBS)	SQFEET
1	KEF-1	1	EASU180H	ECON-AIR	3055	1.600	1340	ODP, PREMIUM	3.000	1.720	3	208	9.5	706 FPM	183	19.6

MUA FAN INFORMATION - JOB#5218418

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	BLOWER	HOUSING	MIN CFM	DESIGN CFM	ESP	RPM	MOTOR ENCL	HP	BHP	PHASE	VOLT	FLA	MCA	MDCP	WEIGHT (LBS)	SONDEX
2	KSF-1	1	EA-A2-200	20MF-2-MOD	A2	1500	2444	0.600	1038	ODP PREMIUM	1.000	0.6140	3	208	3.8	4.8A	15A	495	10.5

FAN OPTIONS	
FAN	

FAN UNIT NO	TAG	QTY	DESCRIPTION
1	KEF-1	1	GREASE BOX
		1	2 YEAR PARTS WARRANTY
2	KSF-1	1	A2 INDOOR HANGING OPTION - INCLUDES 2 HSA125 HANGING SPRING ISOLATORS PER UNI-STRUT
		1	INSULATION OPTION FOR VBANK FILTER SECTION
		1	2 YEAR PARTS WARRANTY

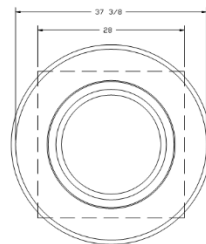
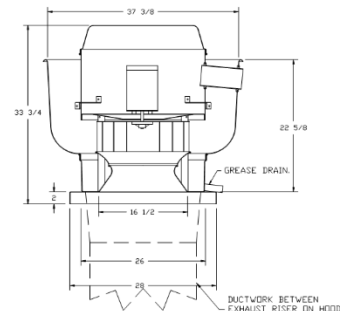
FAN ACCESSORIES

FAN UNIT NO	TAG	EXHAUST			SUPPLY			
		GREASE CUP	GRAVITY DAMPER	WALL MOUNT	SIDE DISCHARGE	GRAVITY DAMPER	MOTORIZED DAMPER	WALL MOUNT
1	KEF-1	YES						
2	KSF-1				YES			

**CURB ASSEMBLIES**

NO	ON FAN	TAG	WEIGHT	ITEM	SIZE
1	# 1	KEF-1	41 LBS	CURB	26.500"W X 26.500"L X 20.000"H 3.000/12.000 PITCH ALONG LENGTH, RIGHT VENTED HINGED.

FAN #1 EADU180H - EXHAUST FAN (KEF-1)



### FEATURES:

- DIRECT DRIVE CONSTRUCTION (NO BELTS/PULLEYS)
- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL795 AND UL762 AND ULC-S645
- VARIABLE SPEED CONTROL
- INTERNAL WIRING
- THERMAL OVERLOAD PROTECTION (SINGLE PHASE)
- HIGH HEAT OPERATION 300°F (149°C)
- GREASE CLASSIFICATION TESTING
- NEMA 3R SAFETY DISCONNECT SWITCH

### NORMAL TEMPERATURE TEST

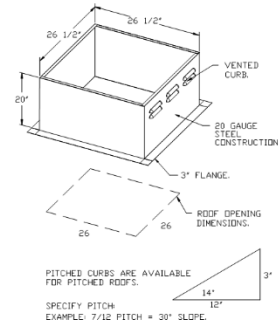
EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

### ABNORMAL FLARE-UP TEST

EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING BURNING GREASE VAPORS AT 600°F (316°C) FOR A PERIOD OF 15 MINUTES WITHOUT THE FAN BECOMING DAMAGED TO ANY EXTENT THAT COULD CAUSE AN UNSAFE CONDITION.

**OPTIONS**

GREASE BOX  
2 YEAR PARTS WARRANTY



REVISIONS	
DESCRIPTION	DATE
△	
△	
△	
△	



**econ·air**

Louisiana Office

www.econair.com



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New Orleans Bakery Shop  
319 Chartres St,  
New Orleans, LA, 70130

**DATE:** 12/22/2021

**DWG.#:**  
5218418

**DRAWN BY:** ASE

**SCALE:**  
3/4" = 1'-0"

**MASTER DRAWING**

**SHEET NO.**  
5

## 317-19 Chartres/ 316-18 Exchange Place

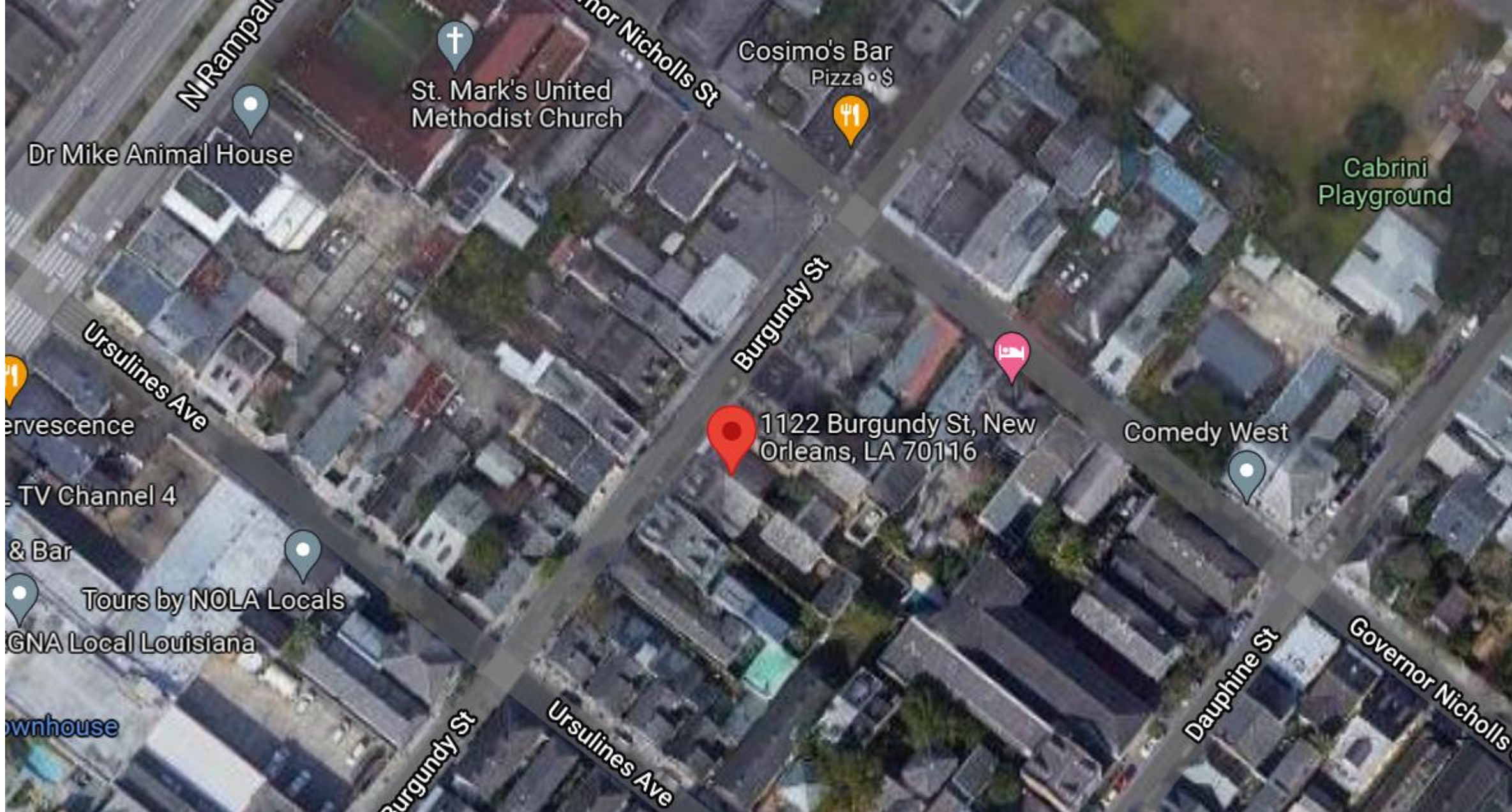
## VCC Architectural Committee

December 7, 2021





1122 Burgundy



1122 Burgundy

VCC Architectural Committee

December 7, 2021







1122 Burgundy – ca. 1937

VCC Architectural Committee

December 7, 2021





1122 Burgundy – ca. 1937

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December 7, 2021





1122 Burgundy – 1945

VCC Architectural Committee

December 7, 2021







1122 Burgundy – 1975

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December 7, 2021







1122 Burgundy

VCC Architectural Committee

December 7, 2021





1122 Burgundy

VCC Architectural Committee

December 7, 2021







1122 Burgundy

VCC Architectural Committee

December 7, 2021





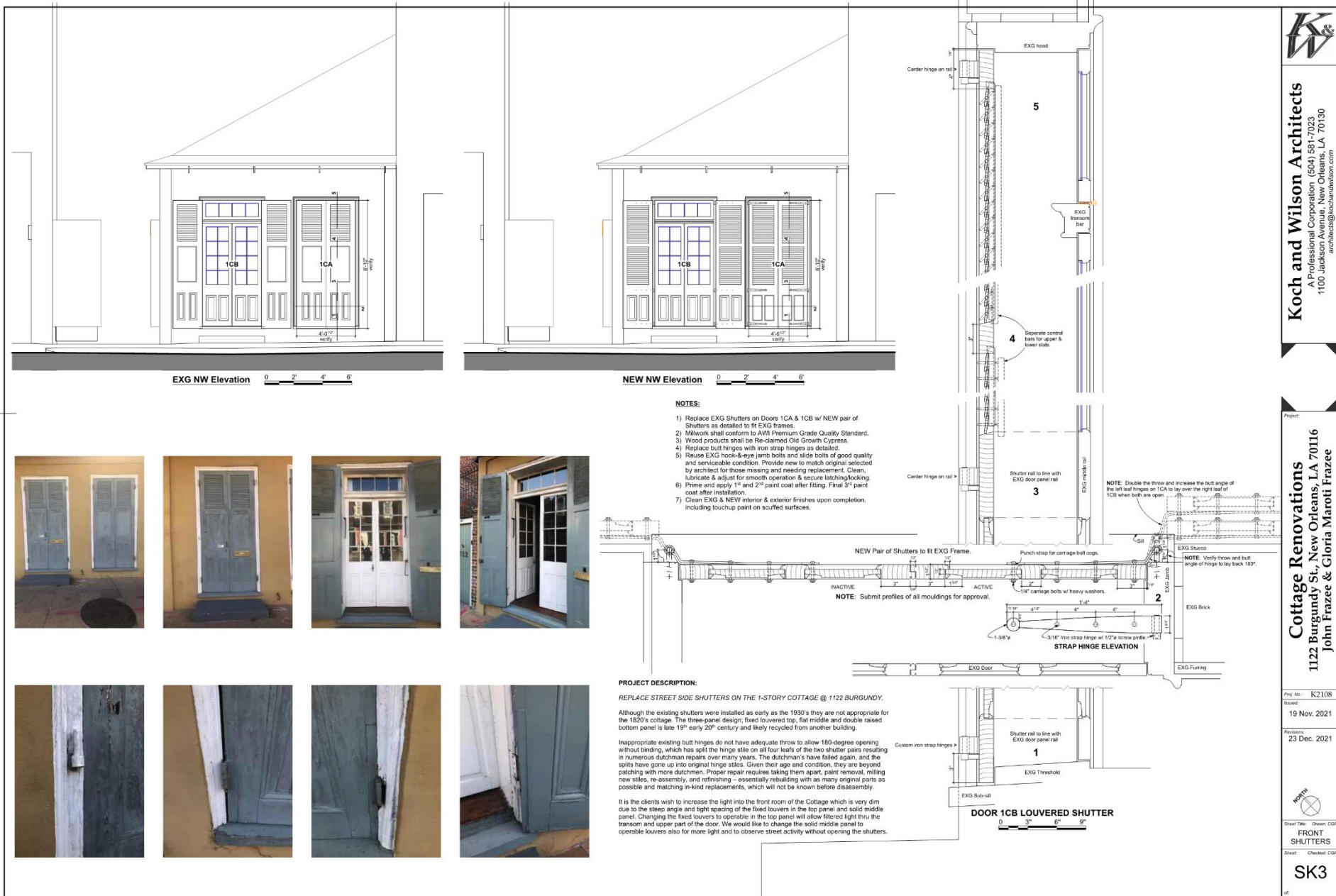
1122 Burgundy

VCC Architectural Committee

December 7, 2021











**EXG NW Elevation**



**NEW NW Elevation**



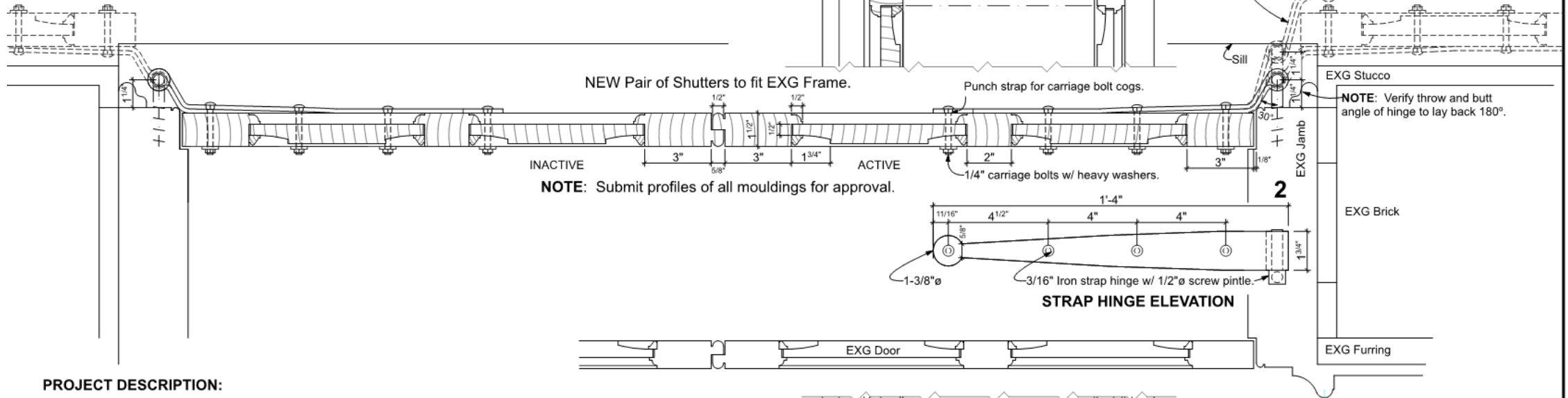
**1122 Burgundy**

VCC Architectural Committee

December 7, 2021



- and serviceable condition. Provide new to match original selected by architect for those missing and needing replacement. Clean, lubricate & adjust for smooth operation & secure latching/locking.
- 6) Prime and apply 1<sup>st</sup> and 2<sup>nd</sup> paint coat after fitting. Final 3<sup>rd</sup> paint coat after installation.
  - 7) Clean EXG & NEW interior & exterior finishes upon completion, including touchup paint on scuffed surfaces.



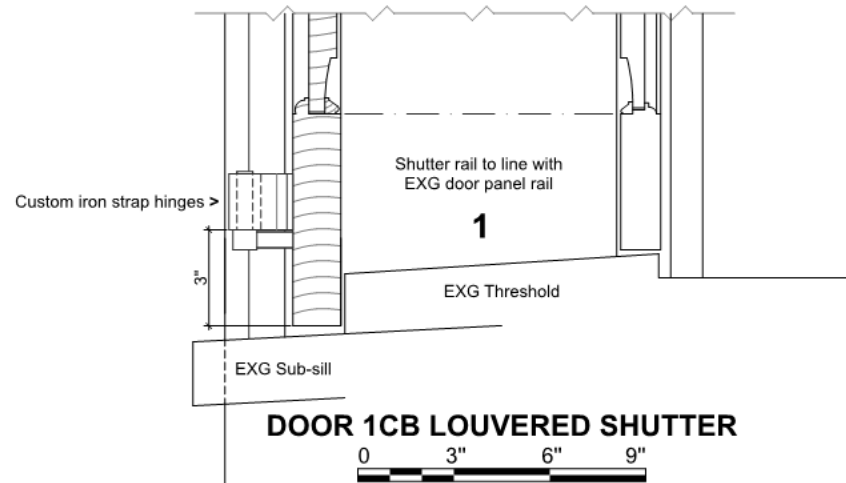
#### PROJECT DESCRIPTION:

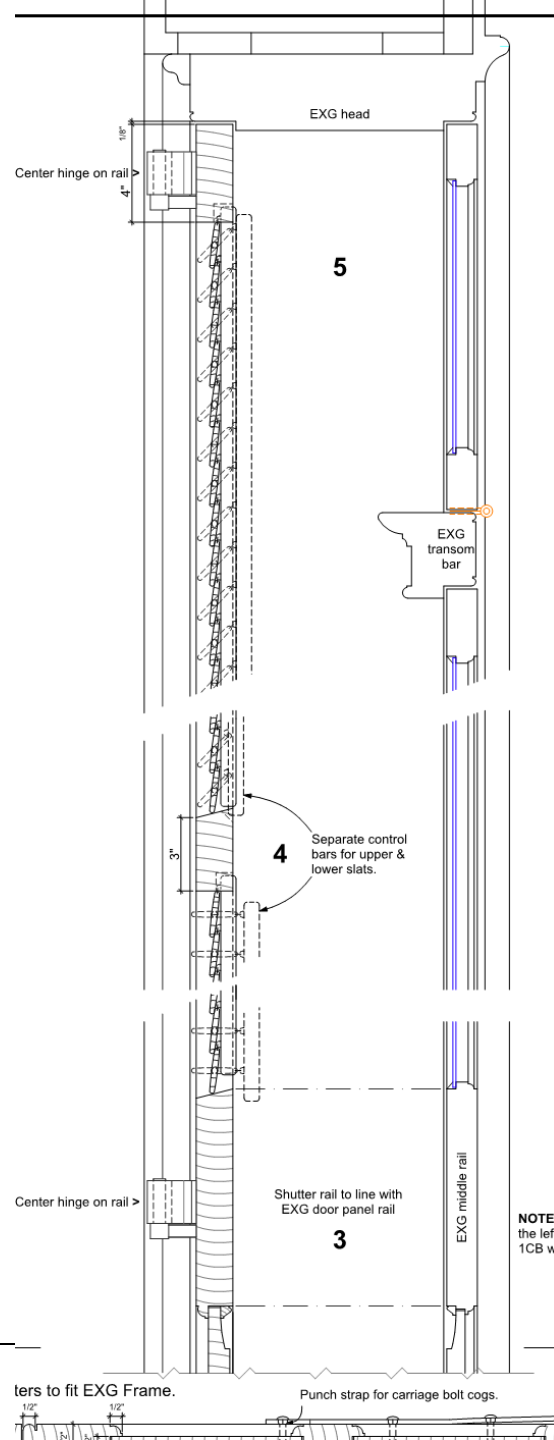
##### REPLACE STREET SIDE SHUTTERS ON THE 1-STORY COTTAGE @ 1122 BURGUNDY.

Although the existing shutters were installed as early as the 1930's they are not appropriate for the 1820's cottage. The three-panel design; fixed louvered top, flat middle and double raised bottom panel is late 19<sup>th</sup> early 20<sup>th</sup> century and likely recycled from another building.

Inappropriate existing butt hinges do not have adequate throw to allow 180-degree opening without binding, which has split the hinge stile on all four leaves of the two shutter pairs resulting in numerous dutchman repairs over many years. The dutchman's have failed again, and the splits have gone up into original hinge stiles. Given their age and condition, they are beyond patching with more dutchmen. Proper repair requires taking them apart, paint removal, milling new stiles, re-assembly, and refinishing – essentially rebuilding with as many original parts as possible and matching in-kind replacements, which will not be known before disassembly.

It is the clients wish to increase the light into the front room of the Cottage which is very dim due to the steep angle and tight spacing of the fixed louvers in the top panel and solid middle panel. Changing the fixed louvers to operable in the top panel will allow filtered light thru the transom and upper part of the door. We would like to change the solid middle panel to operable louvers also for more light and to observe street activity without opening the shutters.





1122 Burgundy

VCC Architectural Committee

December 7, 2021





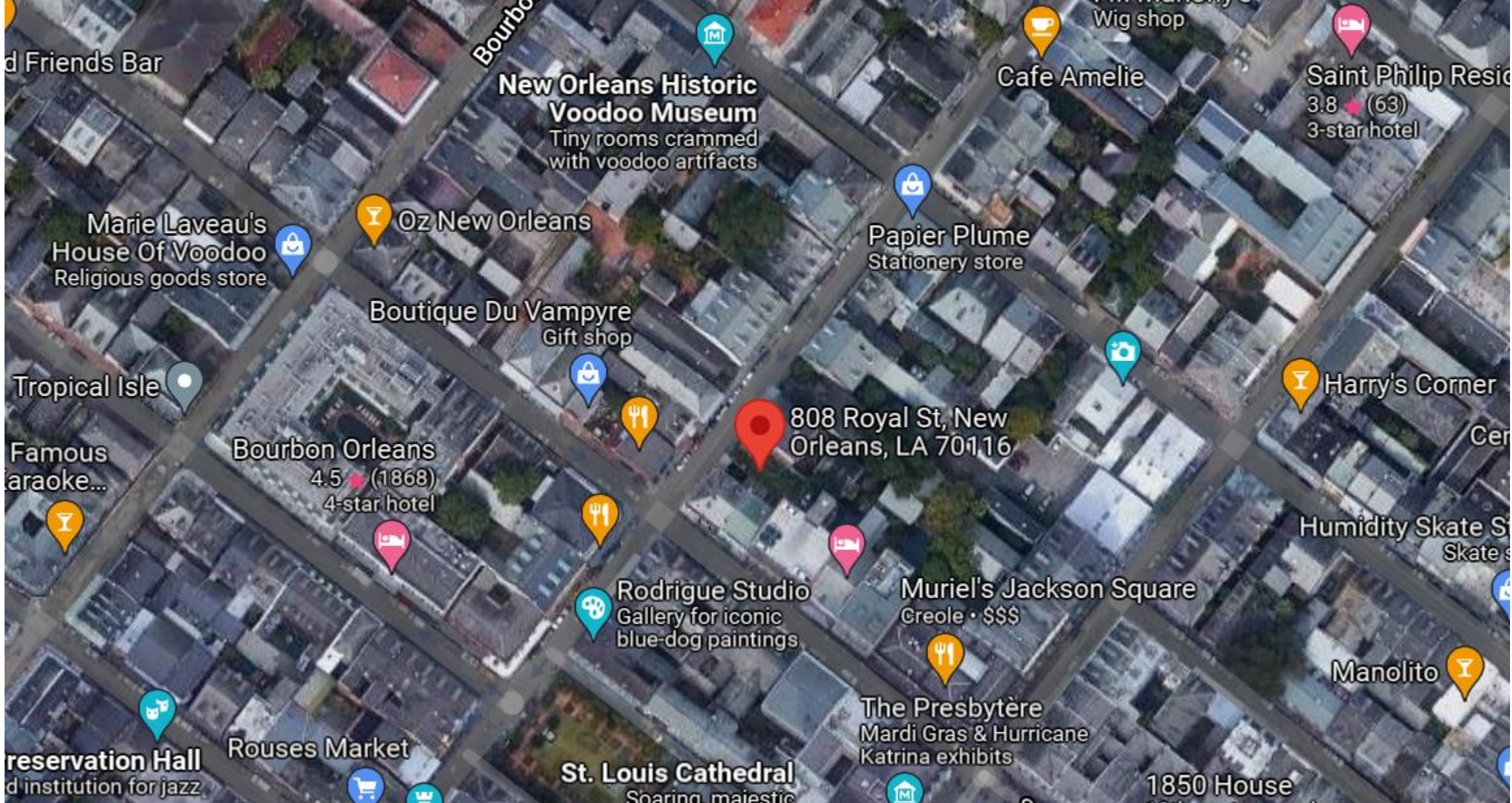
The background of the slide features a large, faint, light-gray oval seal. The seal's border contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal depicts a stylized architectural scene with a central archway, flanked by columns and topped with decorative elements.

**New Business**



800 Royal





800 Royal

VCC Architectural Committee

December 7, 2021







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December 7, 2021





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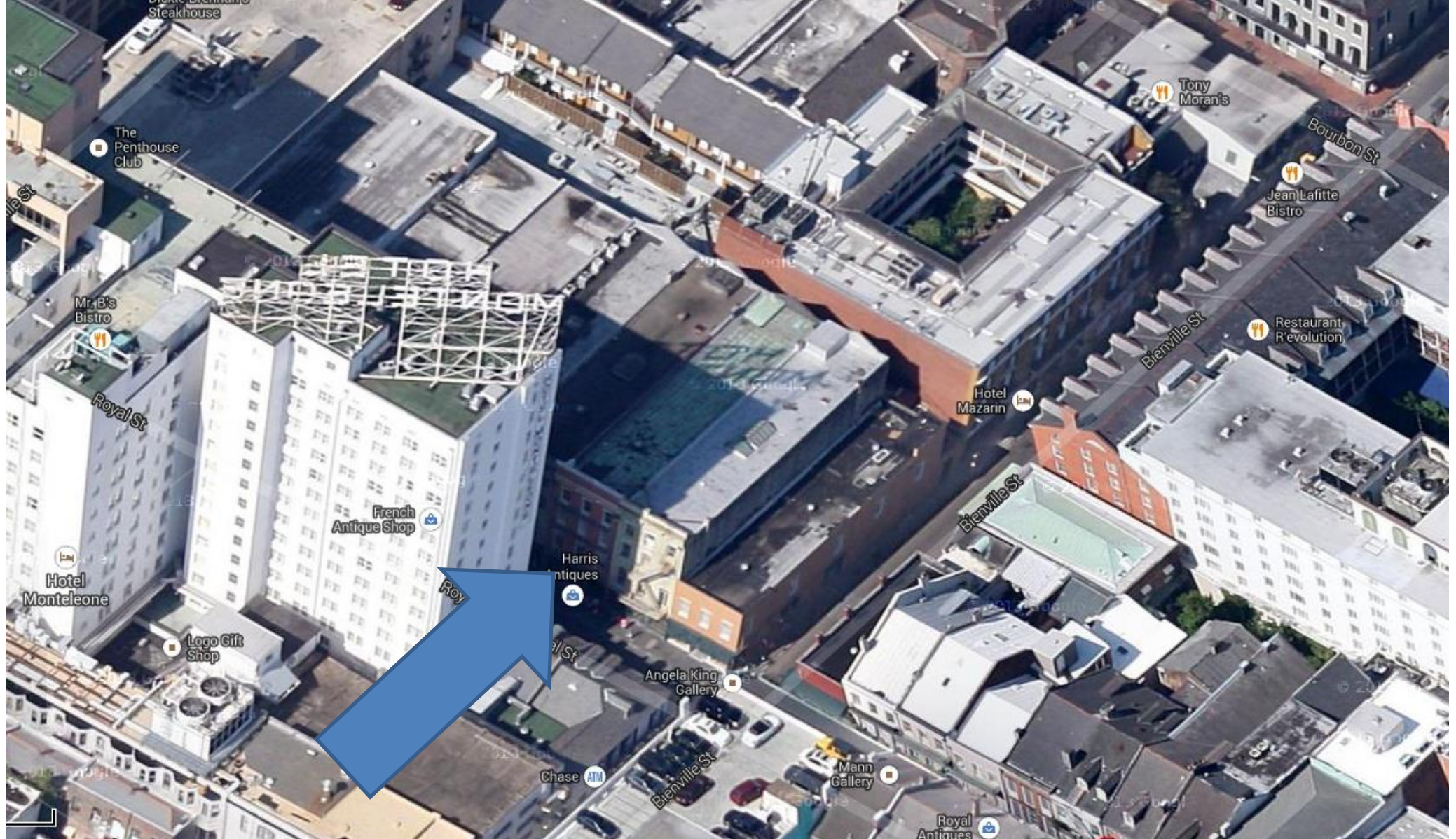








231 Royal



231 Royal Street

231 Royal Street, 1963

VCC Architectural Committee



December 7, 2021





231 Royal Street, 1963

VCC Architectural Committee



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231 Royal Street

VCC Architectural Committee



December 7, 2021







231 Royal Street -2006

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231 Royal Street

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December 7, 2021







231 Royal Street

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**5 EXISTING STOREFRONT  
DOOR DETAIL**  
N.T.S.



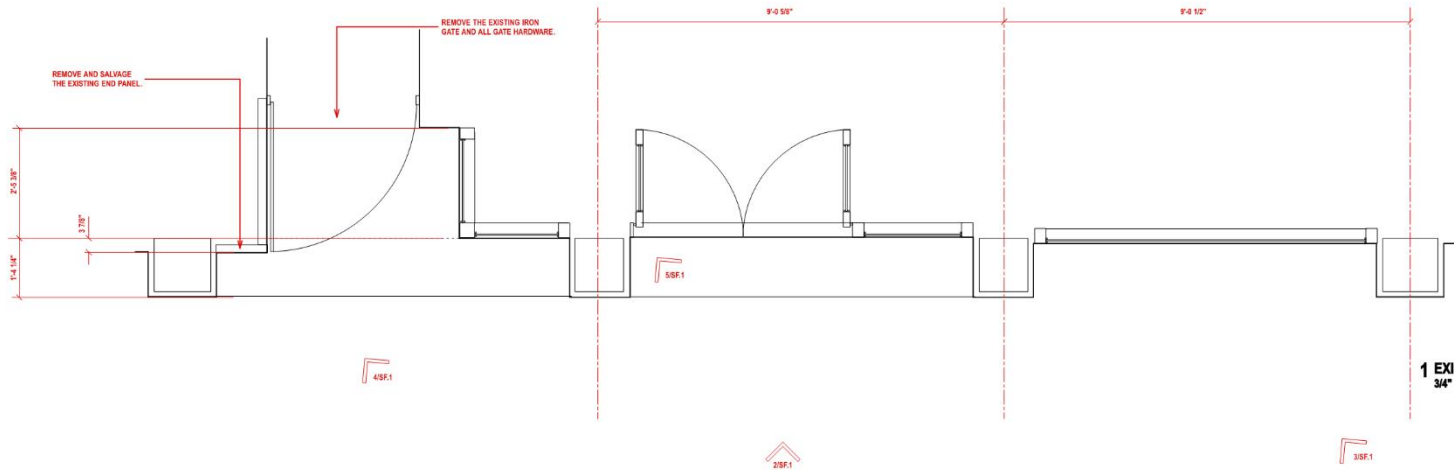
**4 EXISTING VIEW ROYAL ST. EXIT**  
N.T.S.



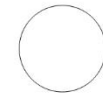
**3 EXISTING STOREFRONT**  
N.T.S.



**2 EXISTING VIEW FROM ROYAL ST.**  
N.T.S.



**1 EXISTING STOREFRONT PLAN**  
3/4\" = 1'-0"



30 DECEMBER 2021  
Project Name:  
Proposed:

MODIFICATIONS TO  
231 ROYAL ST.  
NEW ORLEANS, LOUISIANA

Sheet No.  
EXISTING  
STOREFRONT

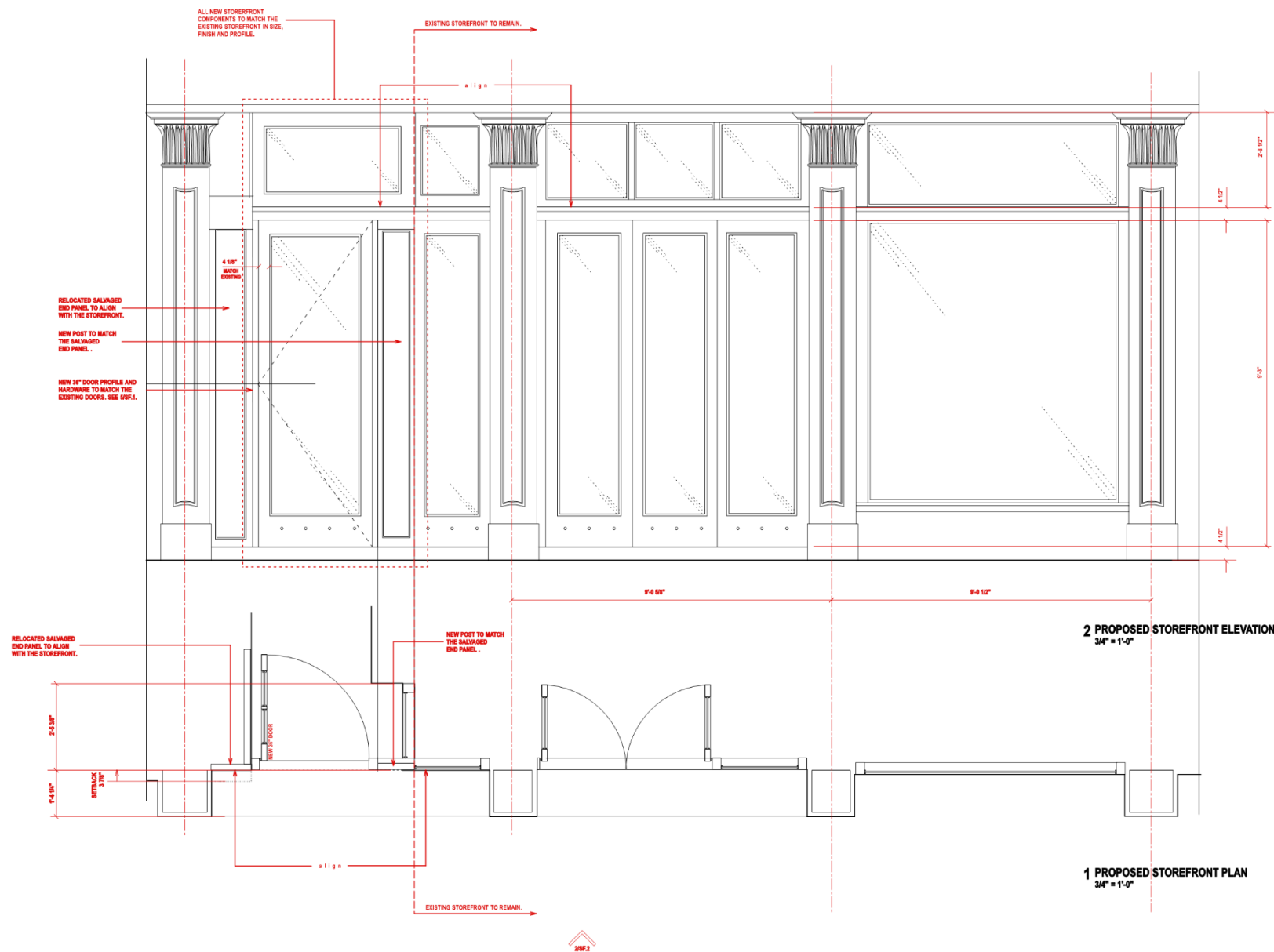
Sheet Number  
SF.1

231 Royal Street

VCC Architectural Committee

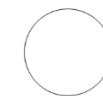
December 7, 2021





**2 PROPOSED STOREFRONT ELEVATION**  
3/4" = 1'-0"

**1 PROPOSED STOREFRONT PLAN**  
3/4" = 1'-0"



30 DECEMBER 2021

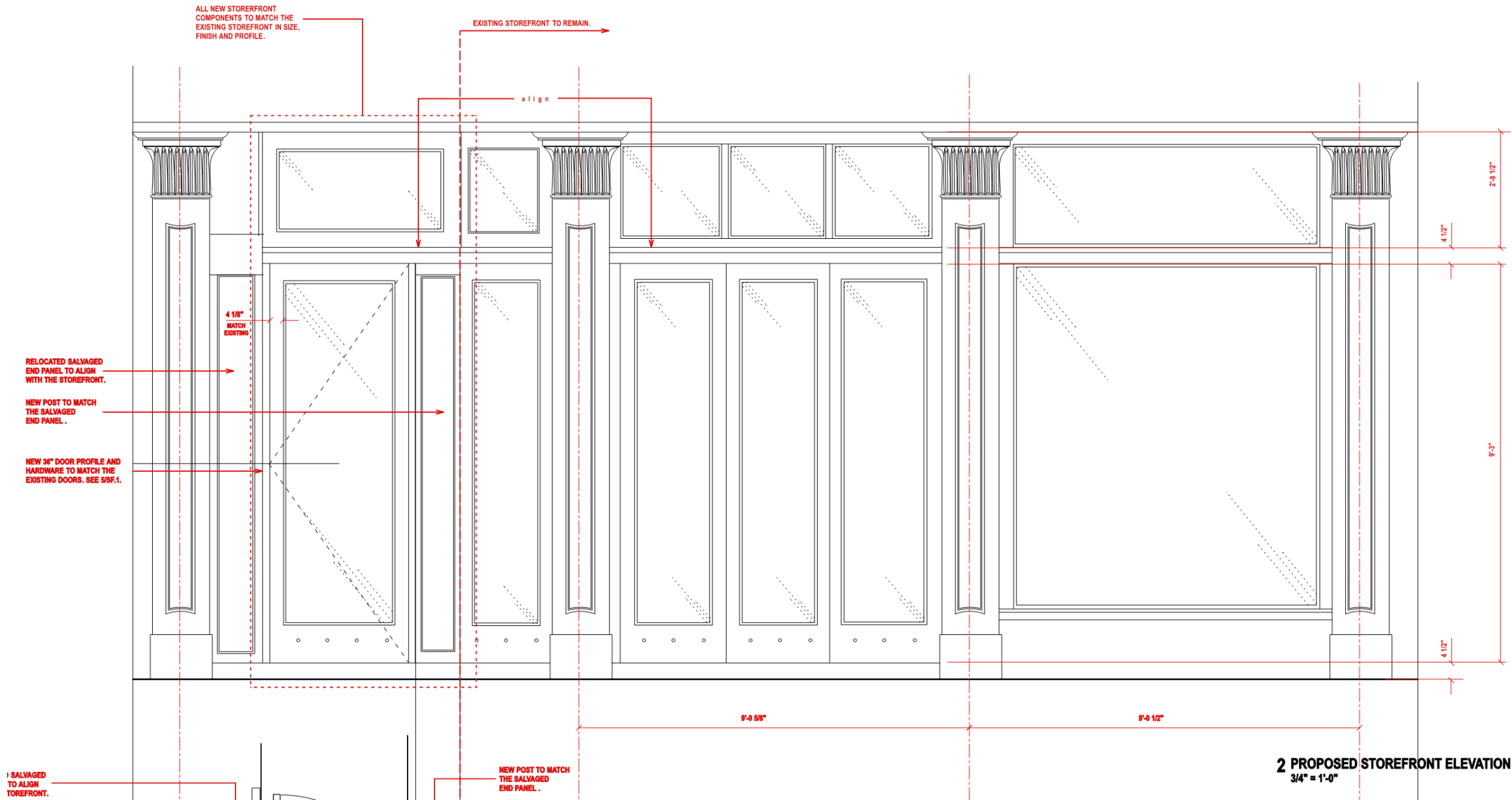
MODIFICATIONS TO  
231 ROYAL ST.  
NEW ORLEANS, LOUISIANA

PROPOSED  
STOREFRONT

SF.2



December 7, 2021



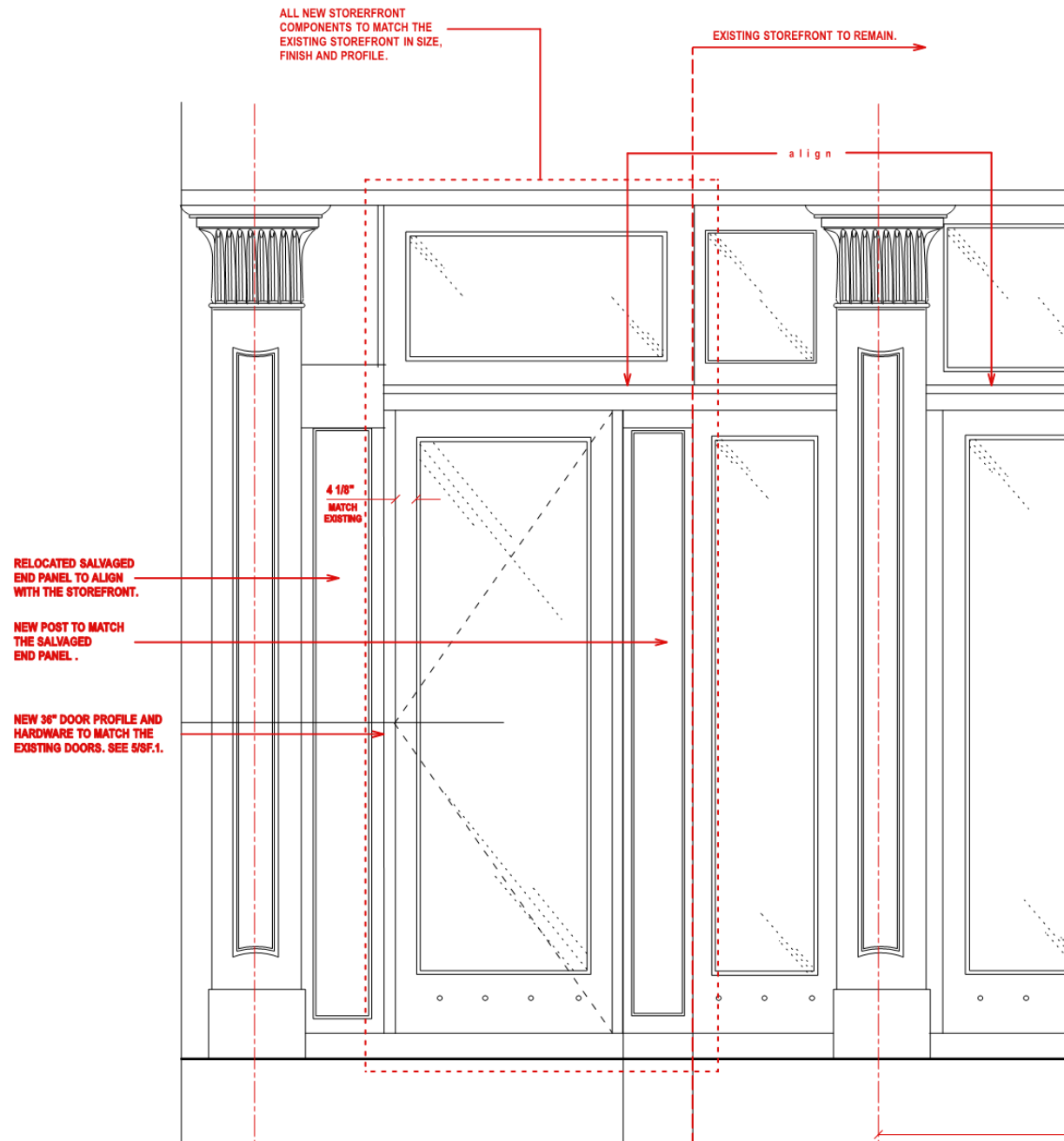
231 Royal Street

VCC Architectural Committee

December 7, 2021









1130 Chartres



## 1130 Chartres

VCC Architectural Committee

December 7, 2021





1130 Chartres

VCC Architectural Committee



December 7, 2021





1130 Chartres

VCC Architectural Committee

December 7, 2021



1130 Chartres

VCC Architectural Committee



December 7, 2021







1130 Chartres

VCC Architectural Committee

December 7, 2021







1130 Chartres

VCC Architectural Committee

December 7, 2021







1130 Chartres

VCC Architectural Committee

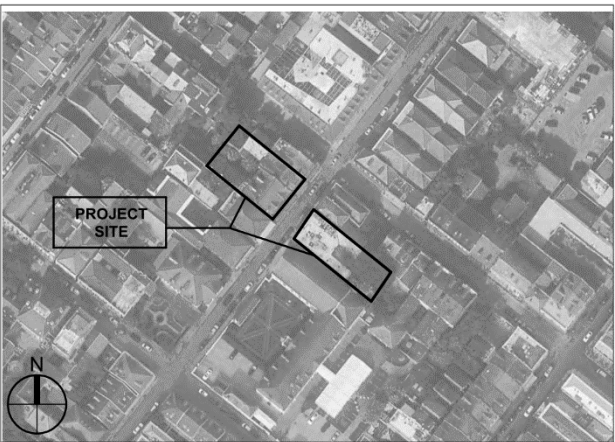
December 7, 2021





GENERAL NOTES

1. The contractor shall confirm and verify in writing (employ surveyor) that all property lines and setbacks are met prior to the start of construction.
2. The contractor shall coordinate and obtain all necessary permits and approvals from authorities having jurisdiction. Construction work is not to begin until all required regulatory approvals have been issued.
3. All materials and work shall be in accordance with current applicable federal, state and local building codes, amendments, rules, regulations, ordinances, laws, orders, and approvals that are required by public authorities having jurisdiction over the work. In the event of conflict, the most stringent requirements shall apply. No work shall be concealed until approved by local inspectors.
4. It is the intent of the contract documents to provide for complete and finished work. Each trade (subcontractor) shall completely review plans for their respective work and related work by other trades (subcontractors). The contractor shall coordinate and provide all miscellaneous components and parts which are not shown on the contract documents but are required to complete the work shown. Incidental work and components which are required as an essential, functional or operational item or system, are required to complete any assembly and to complete full scope of work.
5. The contractor shall subcontract with suppliers, fabricators, and installation companies which can demonstrate that they possess the knowledge, experience and proven capabilities to fully perform all aspects of work without omission.
6. All products shall be installed in compliance with industry standards and as required by the product manufacturer's latest published specifications and installation requirements.
7. The contractor shall protect all materials, construction, utilities and facilities from damage, including works, theft and weather. Damaged components shall be replaced at no cost to Owner.
8. All pipe chase walls shall be constructed to completely conceal and enclose pipes with full thickness of gypsum board on each side of the wall.
9. The contractor shall install and provide all safety barriers during construction to protect the public from injury and access to the building and site.
10. Fire rated assemblies shall be constructed in compliance with published UL Certifications Directory Listings and Classifications and shall be in accordance with continuity diagrams. Joints occurring in fire rated assemblies (walls and ceilings) shall be staggered both horizontally and vertically.
11. Substitutions must be pre-approved in writing by architect prior to the start of construction. Any work or material requirements of such substitution shall be coordinated (with all trades) and provided by the contractor. Contractor must verify in writing all substitutions will not impact project cost or project schedule prior to request of such substitution. Substitutions shall be approved by regulatory agencies in writing prior to the start of construction.
12. The contractor and subcontractors shall review and coordinate all architectural, electrical and mechanical work to confirm that all components will achieve their intended use and will maintain ceiling heights shown. Conflicts shall be brought to the attention of the architect prior to the start of construction.
13. Asbestos abatement, lead paint removal, and other hazardous material removal is not in the contract. Should the contractor encounter the presence, or possible presence, of potentially hazardous materials, the contractor shall notify the owner for instructions prior to continuing work.
14. Safety measures: at all times, the contractor shall be solely and completely responsible for the conditions of the job site, including the safety of persons and property, and for all necessary independent reviews of these conditions. The architect's, engineer's, or owner's job site review is not intended to review the adequacy of the contractor's safety measures.
15. The contractor shall not submit final price or execute contract with Owner until all required changes requested by the regulatory agencies have been included in the contract price.
16. Buildings shall be maintained in weatherproof and secure condition as early as possible throughout work.
17. Erect and install all work level, plumb, square, true, straight and in proper alignment.
18. The contractor shall be responsible for field verifying actual locations of all existing utilities and structures on the project site. Locations of existing utilities and structures indicated on the drawings are approximate only, and those indicated are not necessarily all that may exist on the project site. The contractor shall coordinate the location (horizontal and vertical) of the existing utilities (power, telephone, gas, water, sewer, etc) with the appropriate utility provider before construction begins and at no additional cost to the owner.
19. All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other related appearances shall be adjusted to finish grade by contractor at no additional cost to the owner.
20. When project is complete, clean and polish glass, hardware, and other such items with factory finishes. Remove all dust with treated dust clothes or vacuum cleaners. Waste and refuse caused by the work shall be removed from premises and disposed of by contractor. Clean site at end of project. Remove dust, debris, oils, stains, fingerprints, and labels from exposed surfaces, including glazing.
21. Furniture is for reference only. Furniture is not in project scope. Furniture, fixtures and equipment (FFE), if required, will be submitted in a separate design package.
22. Do not scale drawings for field layout. Contact architect if dimensions are needed and cannot be found in drawing set.
23. Floor plan dimensions taken from face of stud or centerline of stud / column unless otherwise noted. "Clear" refers to dimension between faces of finish surfaces. "EQ" or "Equal" indicates dimension to match adjacent. Lettered dimensions (A,B,C,D,E,F,G,H,I,J,K,L,M,N,O,P,Q,R,S,T,U,V,W,X,Y,Z) indicate dimension to match opposite or remote (matching letter) dimension. "+/-" indicates approximate dimension based on field condition or flexible dimension that can be adjusted.
24. All dimensions on reflected ceiling / lighting plans are clear dimensions.
25. These drawings are accompanied by the Project Manual.



SITE / VICINITY PLAN

OWNER

Soniat Holdings, LLC.

1133 Chartres St.  
New Orleans, LA 70116

ARCHITECT

Albert Architecture and  
Urban Design, apic

Richard Albert  
3221 Tulane Avenue  
New Orleans, LA 70119  
504.827.0056

INTERIOR DESIGNER

Ken Fulk

310 Seventh St.  
San Francisco, CA 94103  
415.285.1164

MECHANICAL

Albert Engineering

Michael Leitzinger  
3221 Tulane Avenue  
New Orleans, LA 70119  
504.827.0056

GENERAL CONTRACTOR

Entablature

8438 Oak St., Suite C  
New Orleans, LA 70118  
504.322.3822

SONIAT HOUSE  
PHASE 1

SONIAT HOLDINGS, LLC.  
1130, 1133-1137 CHARTRES ST.  
NEW ORLEANS, LA 70116

PERMIT SET

11.05.21

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ID-1.05	INTERIOR FINISH KEY PLAN		
ID-1.06	INTERIOR FINISH KEY PLAN		

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ALBERT  
ARCHITECTURE

Albert Architecture & Urban Design apic

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New Orleans, LA 70119  
504.827.0056

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SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

Drawn by: AP  
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Revised Permit Set 11.05.21

G-0.00

COVER SHEET



1130 Chartres

VCC Architectural Committee

December 7, 2021

### CLARIFICATION OF RENOVATION GRAPHICS

PERTAINING TO SITE PLAN

PROPERTY LINE

BUILDING - IN SCOPE

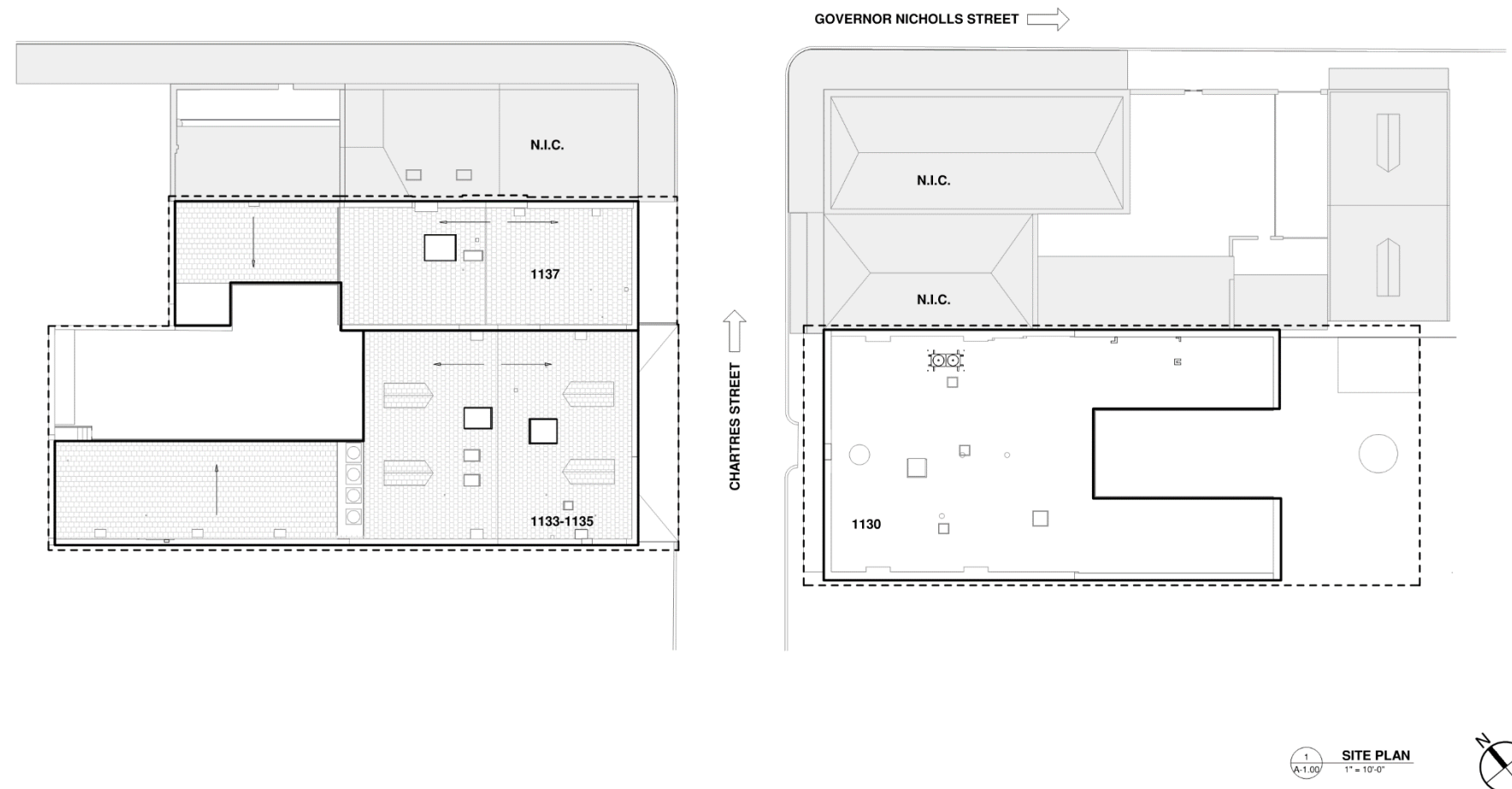
BUILDING - NOT IN SCOPE

## ARCHITECTURE

Albert Architecture & Urban Design apc

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New Orleans, LA 70119  
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### SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116

Project No. AA2109

11.05.21

Drawn by: AP  
Checked by: JM

Interior Demolition Set: 08.13.21  
Permit Set: 09.23.21  
Revised Permit Set: 11.05.21

1

A-1.00

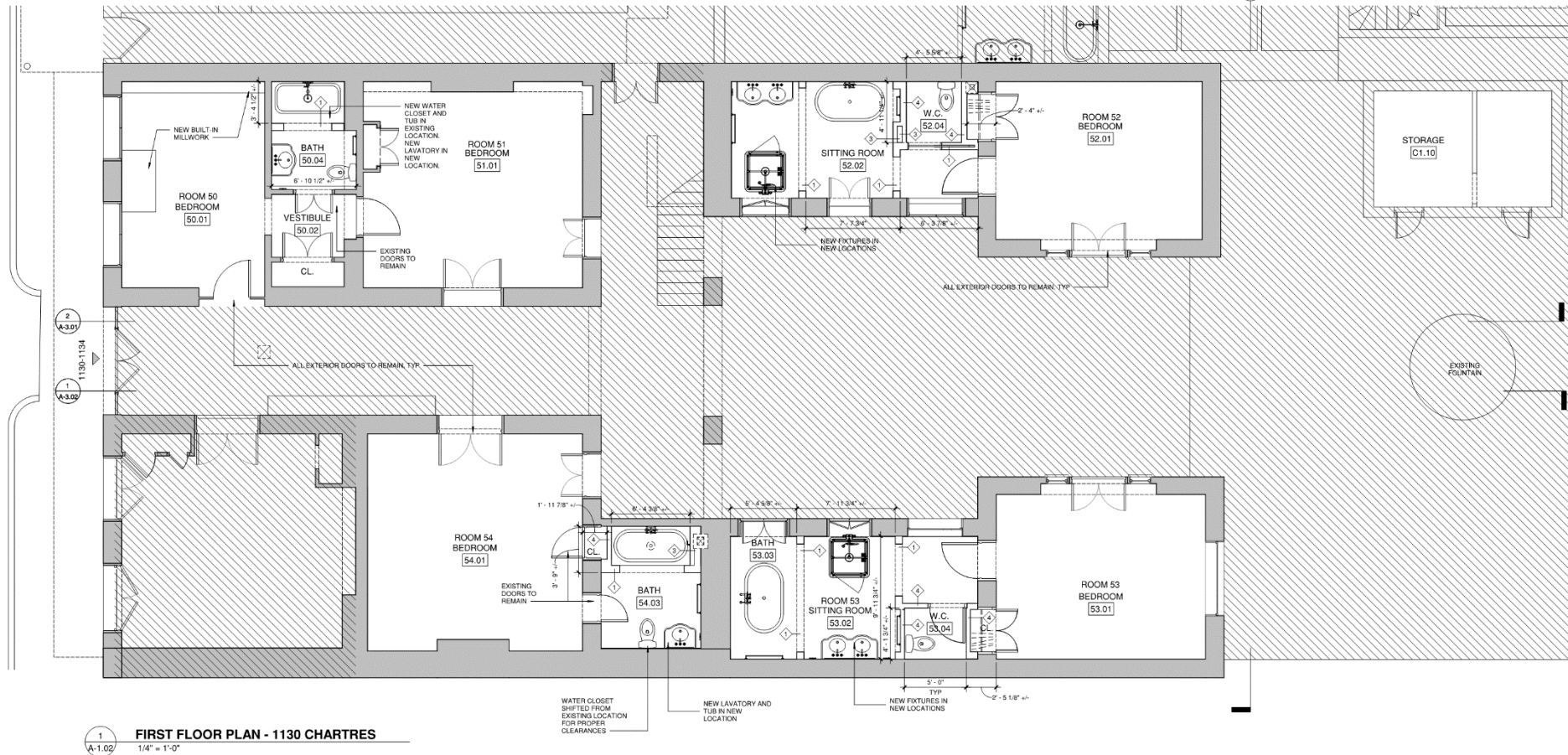
**SITE PLAN**

1" = 10'-0"

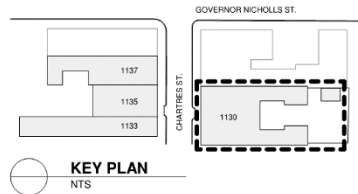
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A-1.00





1  
A-1.02  
FIRST FLOOR PLAN - 1130 CHARTRES  
1/4" = 1'-0"



GRAPHIC LEGEND	
[Hatched Box]	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK
[Solid Grey Box]	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
[Dashed Line Box]	EXISTING DEMISING WALL TO REMAIN
[Dotted Line Box]	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
[Thin Solid Line Box]	NEW WALL



SONIAT HOUSE  
1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116  
Project No. AA2109



11.05.21  
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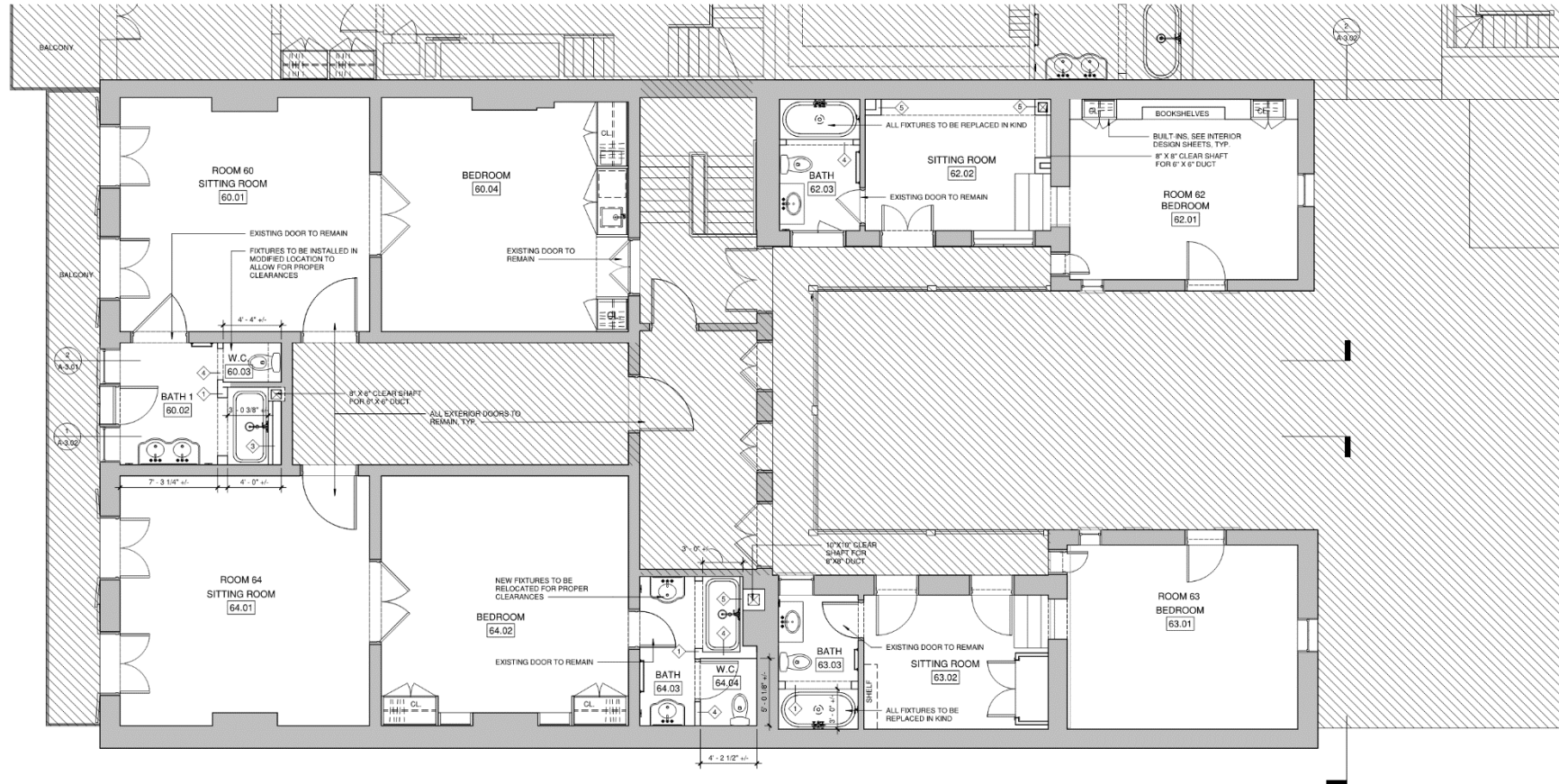
Interior Demolition Set 08.13.21  
Permit Set 09.23.21  
Revised Permit Set 11.05.21

A-1.02

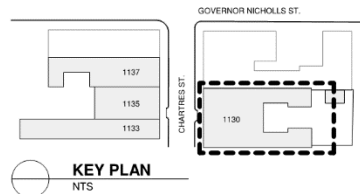
FIRST FLOOR PLAN -  
1130 CHARTRES







1 SECOND FLOOR PLAN - 1130 CHARTRES  
A-1.04 1/4" = 1'-0"



GRAPHIC LEGEND	
	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
	EXISTING DEMISING WALL TO REMAIN
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
	NEW WALL



**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STREI  
NEW ORLEANS, LA 70116  
Project No. AA2109



11.05.21	
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Interior Demolition Set	08.13.21
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**A-1.04**

SECOND FLOOR PLAN -  
1130 CHARTRES

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SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116

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A-1.06

ROOF PLAN



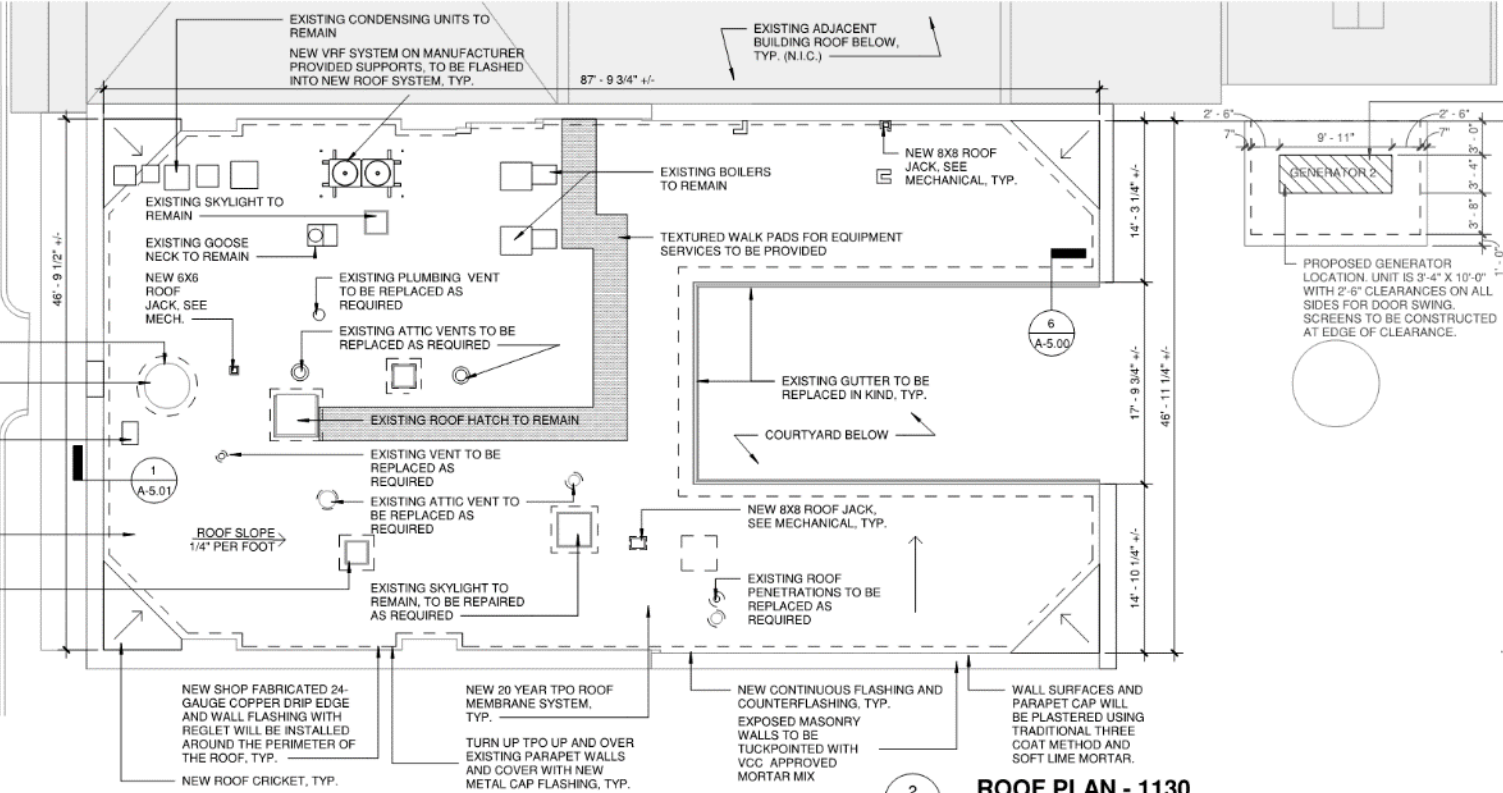
ALL ROOF  
PENETRATIONS TO BE  
REPLACED AS REQUIRED  
WITH INSTALLATION OF  
NEW TPO ROOF, SEE  
MECH.

EXISTING ATTIC VENT TO  
REMAIN

EXISTING DOGHOUSE TO  
BE REPLACED AS  
REQUIRED, SEE MECH.

EXISTING LOW SLOPE  
ROOF TO BE REMOVED  
AND REPLACED WITH  
NEW TPO ROOF  
THROUGHOUT, TYP.

NEW FLASHING AT ALL  
ROOF PENETRATIONS,  
TYP.



PROPER CLEARANCES FOR  
THIS APPLICATION TO BE  
DETERMINED BY ELECTRICAL  
ENGINEER

PROPOSED GENERATOR  
LOCATION. UNIT IS 3'-4" X 10'-0"  
WITH 2'-6" CLEARANCES ON ALL  
SIDES FOR DOOR SWING.  
SCREENS TO BE CONSTRUCTED  
AT EDGE OF CLEARANCE.

2  
A-1.06  
ROOF PLAN - 1130  
1/8" = 1'-0"



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NEW VRF SYSTEM ON  
MANUFACTURER PROVIDED  
SUPPORTS. FLASHED INTO NEW  
ROOF SYSTEM, TYP.

EXISTING LOW SLOPE  
ROOF TO BE REMOVED  
AND REPLACED WITH  
NEW 20 YEAR TPO ROOF  
MEMBRANE SYSTEM  
THROUGHOUT, TYP.

EXPOSED MASONRY  
WALLS TO BE  
REPOINTED WITH VCC  
APPROVED MORTAR  
MIX

CLEAN AND REPAIR  
EXISTING OVERHANGS AS  
NEEDED, TYP.

ELECTRIC LAMPS AND WALL  
SCONCES TO BE  
CONVERTED TO GAS, TYP.

NEW SHOP FABRICATED 24-  
GAUGE COPPER DRIP EDGE  
AND WALL FLASHING WITH  
REGLET WILL BE INSTALLED  
AROUND THE PERIMETER OF  
THE ROOF, TYP.

ROOF - 1130  
28'-2 1/2"

WALL SURFACES AND  
PARAPET CAP WILL  
BE PLASTERED USING  
TRADITIONAL THREE  
COAT METHOD AND  
SOFT LIME MORTAR.

SECOND FLOOR - 1130  
13'-6 1/2"

FIRST FLOOR  
0"

2  
A-2.00

## 1130 CHARTRES STREET ELEVATION

3/16" = 1'-0"

### NOTE:

REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.05) FOR  
APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF  
APPLICABILITY OF DETAIL IS IN QUESTION.

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Project No. AA2109



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Permit Set 09.23.21

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# A-2.00

EXTERIOR ELEVATIONS

## 1130 Chartres

## VCC Architectural Committee

December 7, 2021





Project No. AA2109



11.05.21

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A-3.01

SECTIONS 2

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**SECTION / COURTYARD ELEVATION 5 - 1130 CHARTRES**  
3/16" = 1'-0"



**SECTION / REAR ELEVATION 6 - 1130 CHARTRES**  
3/16" = 1'-0"

**NOTE:**  
REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.06) FOR APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF APPLICABILITY OF DETAIL IS IN QUESTION.

**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116  
Project No. AA2109



11.05.21  
Drawn by: AP  
Checked by: JM

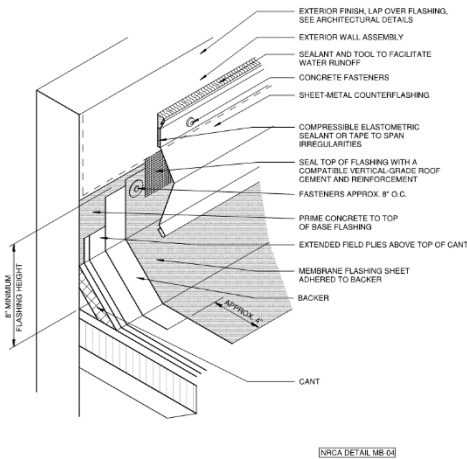
Interior Demolition Set 08.13.21  
Permit Set 09.23.21  
Revised Permit Set 11.05.21

**A-3.02**

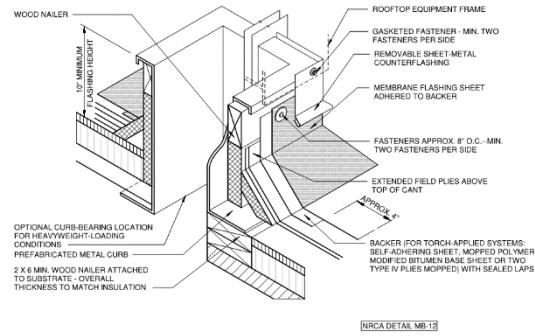
SECTIONS 3

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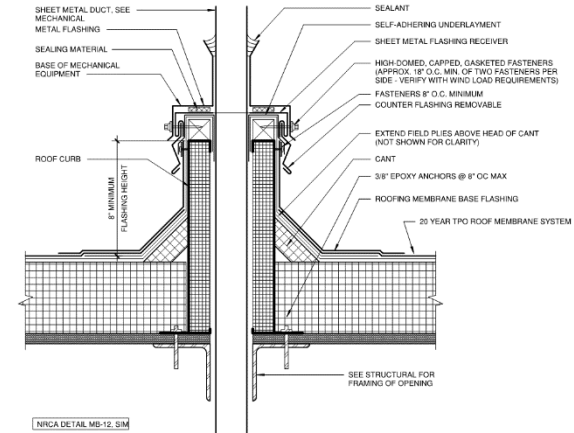




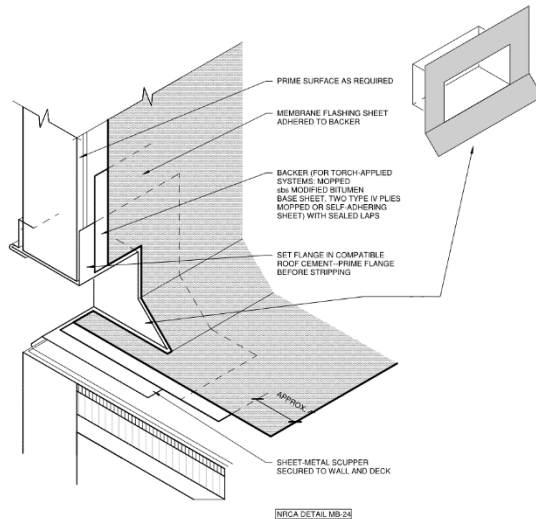
1  
A-5.00  
PICTORIAL VIEW AT BASE FLASHING  
1\"/>



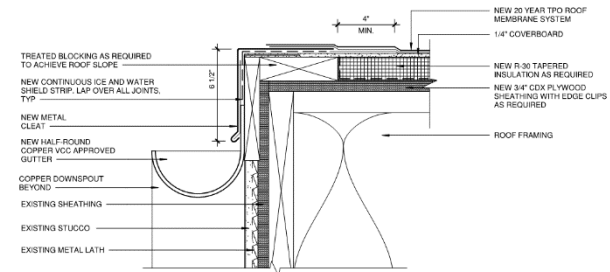
2  
A-5.00  
PICTORIAL VIEW OF BASE FLASHING AT METAL CURB  
1\"/>



3  
A-5.00  
SECTION THRU ROOF AT CURB FOR DUCT PENETRATIONS  
3\"/>



4  
A-5.00  
PICTORIAL VIEW AT SCUPPER  
1\"/>



6  
A-5.00  
TPO ROOF EDGE DETAIL  
3\"/>



11.05.21

Drawn by: AP  
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Revised Permit Set 11.05.21

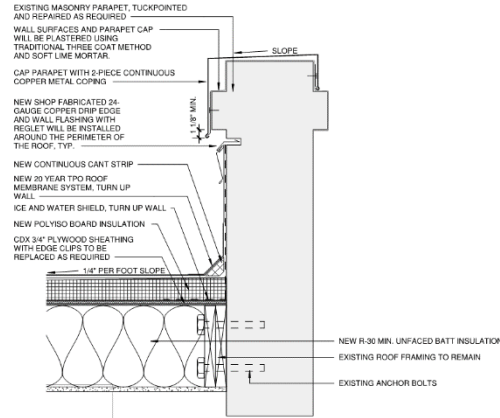
**A-5.00**

TPO ROOF DETAILS

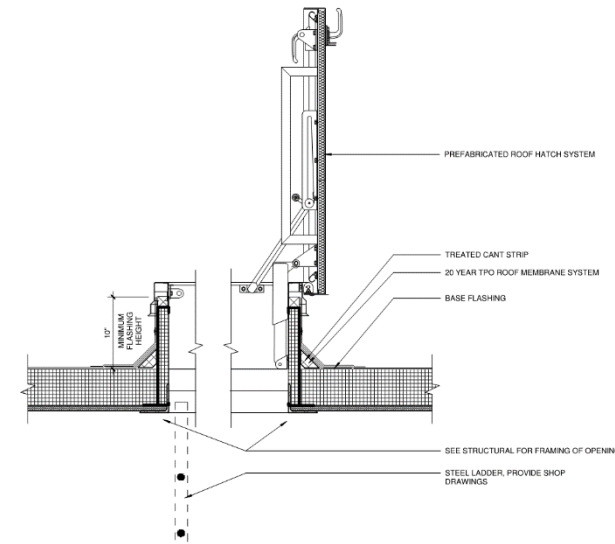
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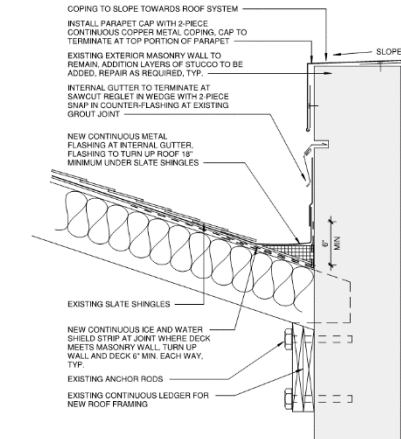




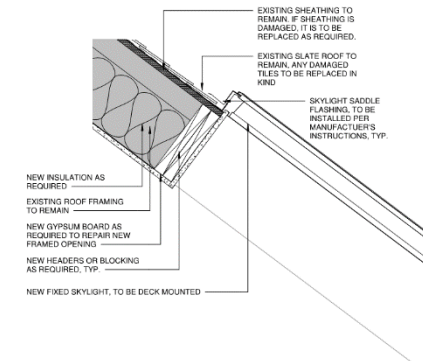
1 SECTION AT TPO ROOF AT EXISTING PARAPET  
A-5.01 1 1/2" = 1'-0"



2 SECTION AT ROOF HATCH  
A-5.01 1 1/2" = 1'-0"



3 SECTION THRU INTERNAL GUTTER AT SLATE ROOF  
A-5.01 1 1/2" = 1'-0"



4 SECTION THRU NEW SKYLIGHT  
A-5.01 1 1/2" = 1'-0"

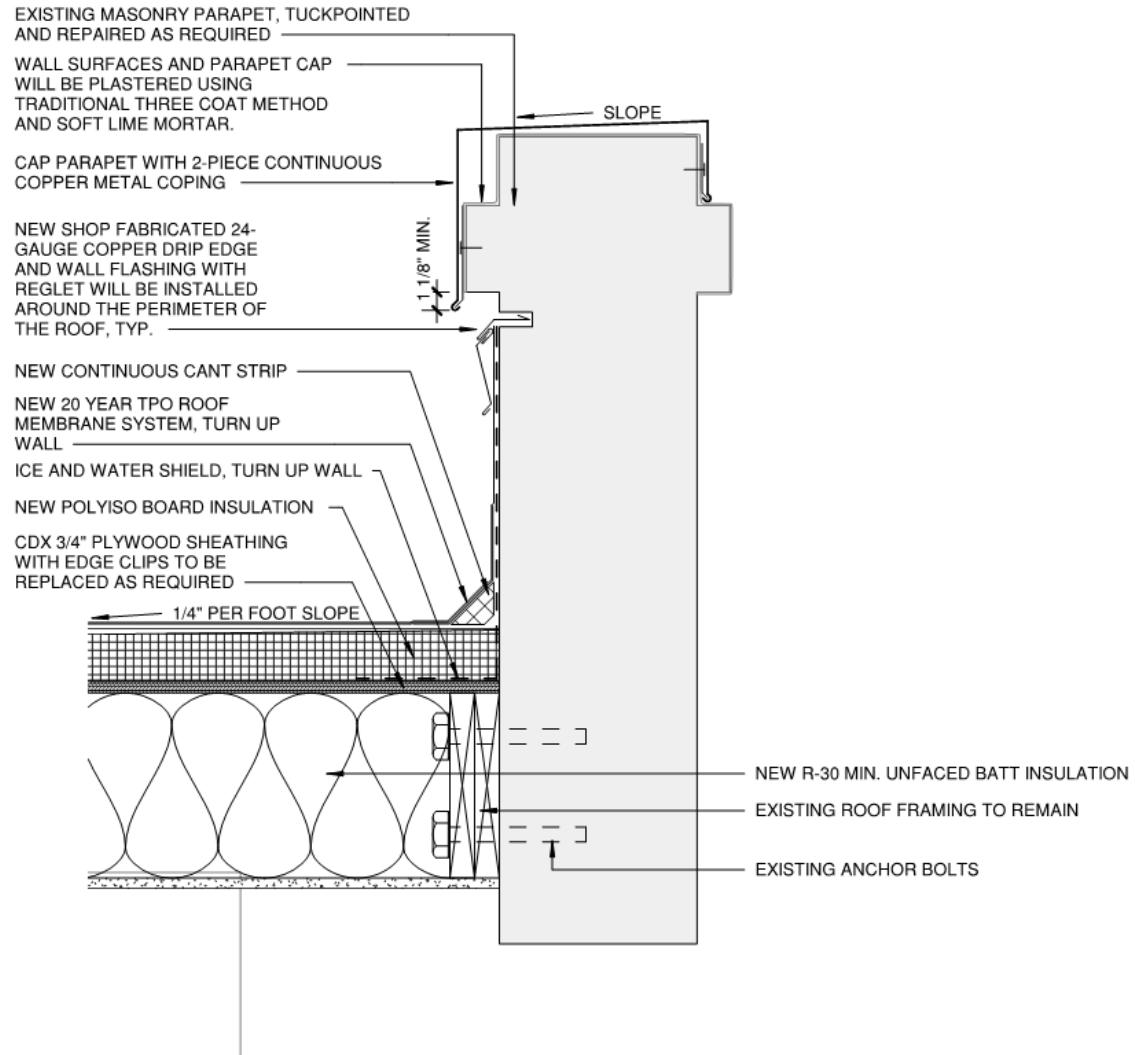
**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116  
Project No. AA2109



11.05.21	
Drawn by:	AP
Checked by:	JM
Interior Demolition Set	08.13.21
Permit Set	09.23.21
Revised Permit Set	11.05.21

**A-5.01**

ROOF DETAILS



1  
A-5.01

## SECTION AT TPO ROOF AT EXISTING PARAPET

1 1/2" = 1'-0"

1130 Chartres

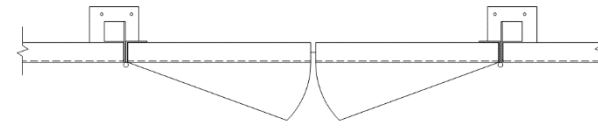
VCC Architectural Committee

December 7, 2021

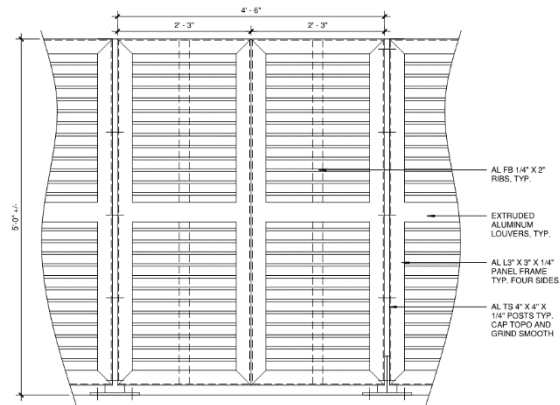




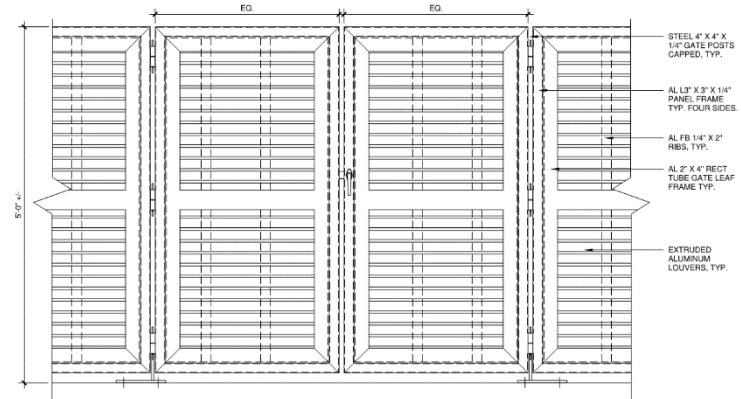
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A-5.06  
**PANEL PLAN VIEW**  
1" = 1'-0"



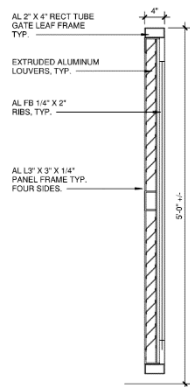
2  
A-5.06  
**GATE PLAN VIEW**  
1" = 1'-0"



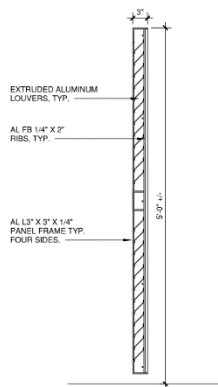
4  
A-5.06  
**PANEL ELEVATION**  
1" = 1'-0"



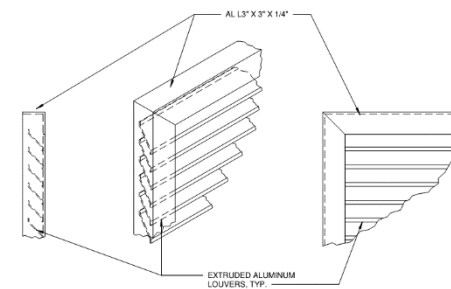
3  
A-5.06  
**GATE ELEVATION VIEW**  
1" = 1'-0"



7  
A-5.06  
**GATE SECTION**  
1" = 1'-0"



6  
A-5.06  
**PANEL SECTION**  
1" = 1'-0"



8  
A-5.06  
**PANEL ISOMETRIC**  
1 1/2" = 1'-0"

**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

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Checked by: JM

Interior Demolition Set 08.13.21  
Permit Set 09.23.21  
Revised Permit Set 11.05.21

**A-5.06**

GENERATOR SCREEN  
DETAILS



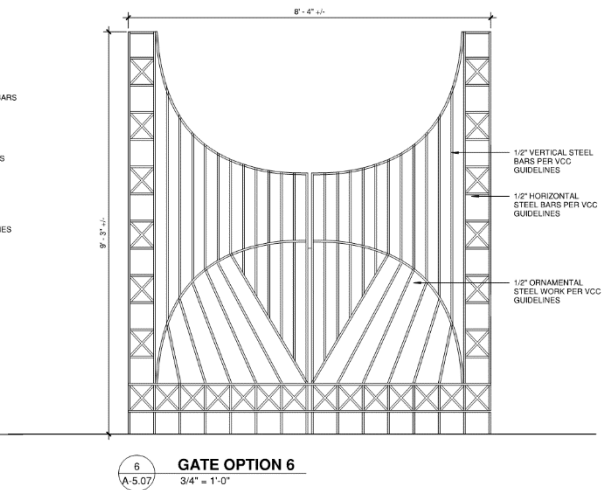
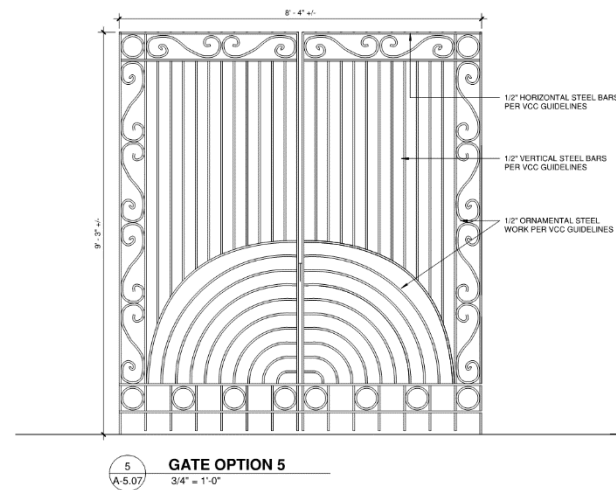
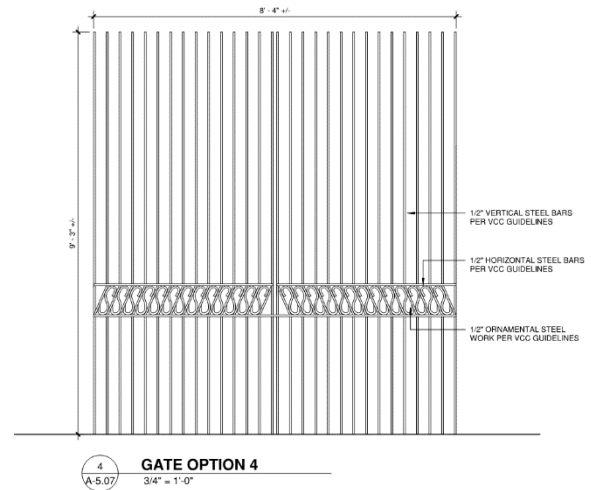
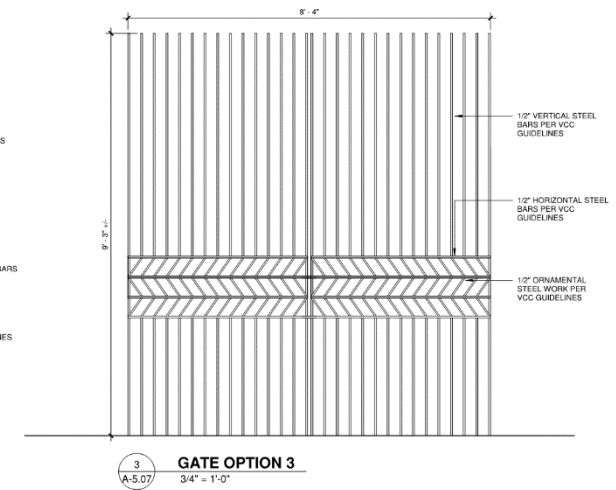
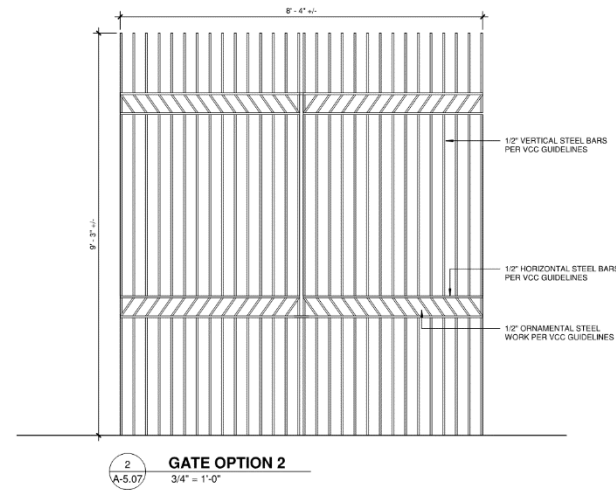
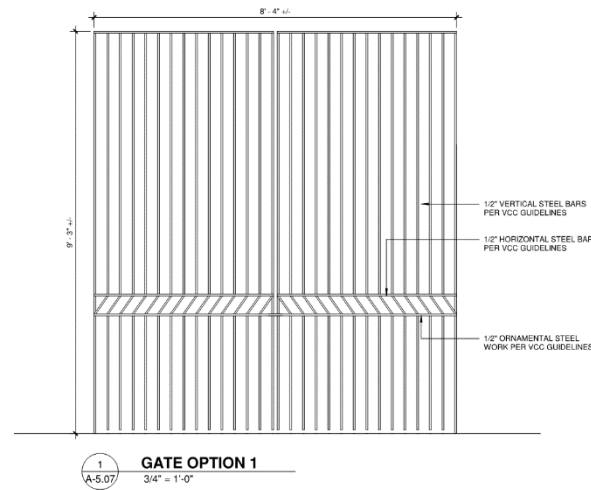


**NOTE:**  
EXTERIOR STEEL GATE DESIGN BASED ON VCC STANDARD DETAILS.  
GATE ELEVATIONS ARE BEING PROPOSED AND APPROPRIATENESS  
TO BE DETERMINED BY AHJ.

# ALBERT ARCHITECTURE

Albert Architecture & Urban Design apic  
3221 Tulane Avenue  
New Orleans, LA 70119  
504.827.0056

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## SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

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**A-5.07**

GATE ELEVATIONS





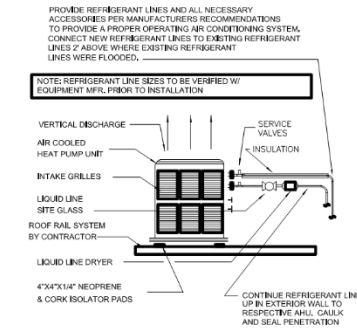
- ① ROUTE EXHAUST FAN DISCHARGE DUCT UP THROUGH ROOF, TERMINATE WITH A GOOD RAIN COVER. OPEN END OF DUCT WITH 1/2" GALVANIZED WIRE MESH AND INSECT SCREEN.
- ② VRF HEAT PUMP UNIT: SEE SCHEDULE ON SHEET M0.02. INSTALL UNIT LEVEL ON ROOF RAILS WITH NEOPRENE VIBRATION ISOLATION PAD UNDER UNIT. SECURE UNIT TO ROOF TO WITHSTAND 130 MPH WINDS.
- ③ HEAT PUMP UNIT: SEE SCHEDULE ON SHEET M0.02. INSTALL UNIT LEVEL ON ROOF RAILS. SECURE UNIT TO ROOF TO WITHSTAND 130 MPH WINDS.



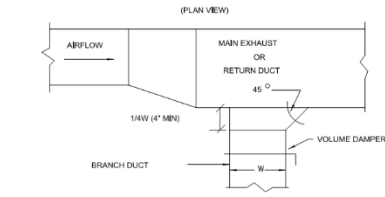
M-1.07

ROOF HVAC PLAN  
1130 CHARTRES

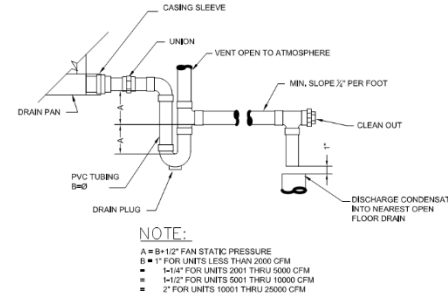




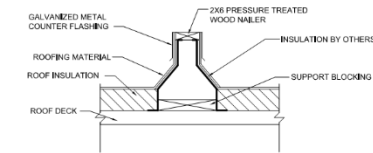
1 CONDENSING UNIT DETAIL  
scale: 1/2" = 1'-0"



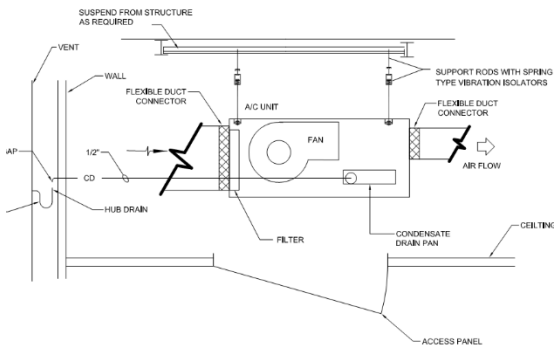
2 EXHAUST/RETURN BRANCH DUCT  
scale: 1/2" = 1'-0"



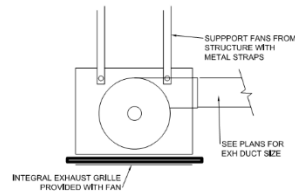
3 CONDENSATE DRAIN DETAIL  
scale: 1/2" = 1'-0"



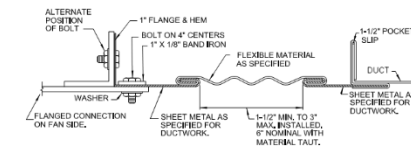
4 ROOF EQUIPMENT SUPPORT RAIL  
scale: 1/2" = 1'-0"



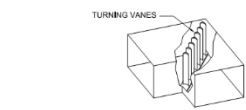
5 DUCTED AIR HANDLING UNIT DETAIL  
scale: 1/2" = 1'-0"



6 EXHAUST FAN DETAIL  
scale: 1/2" = 1'-0"

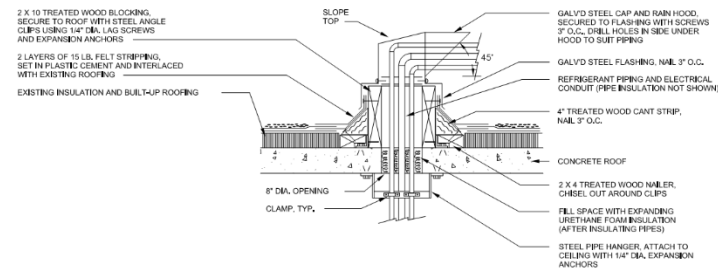


7 RECTANGLE DUCT FLEX CONNECTION  
scale: 1/2" = 1'-0"



- NOTE:  
1. ALL ELBOWS SHALL HAVE TURNING VANES.  
2. ALL VANE ELBOWS SHALL BE CONSTRUCTED AND INSTALLED AS DETAILED BY SMACNA.  
3. WHEN W1 DOES NOT EQUAL W2, VANE SHALL BE SINGLE THICKNESS VANE TYPE REGARDLESS OF W1 OR W2.  
4. ALL SINGLE THICKNESS VANES SHALL HAVE A 2" RADIUS, 1 1/2" MAXIMUM SPACE BETWEEN VANES AND A 3/4" TRAILING EDGE.  
5. WHEN W1 EQUALS W2 AND W1 IS GREATER THAN 20" VANES SHALL BE DOUBLE VANE TYPE.

8 TURNING VAIN DETAIL  
scale: 1/2" = 1'-0"



9 PIPING AND CONDUIT ROOF PENETRATION  
scale: 1/2" = 1'-0"



**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STR  
NEW ORLEANS, LA 70116  
Project No. AA2109

11.05.21	
Drawn by:	MPL
Checked by:	MPL
Interior Demolition Set	08.13.21
Permit Set	09.23.21
Revised Permit Set	11.05.21

**M-2.01**

HVAC DETAILS







**1133-1137 Chartres**



1135 Chartres

VCC Architectural Committee

December 7, 2021





1135 Chartres – 1865 Plan Book

VCC Architectural Committee

December 7, 2021







1135 Chartres

VCC Architectural Committee

December 7, 2021





1135 Chartres - 1963

VCC Architectural Committee

December 7, 2021







1135 Chartres

VCC Architectural Committee

December 7, 2021







1135 Chartres

VCC Architectural Committee

December 7, 2021





1135 Chartres – 1865 Plan Book Detail

VCC Architectural Committee

December 7, 2021







1135 Chartres

VCC Architectural Committee

December 7, 2021





1135 Chartres

VCC Architectural Committee



December 7, 2021





1135 Chartres

VCC Architectural Committee

11 02 2021

December 7, 2021





1135 Chartres

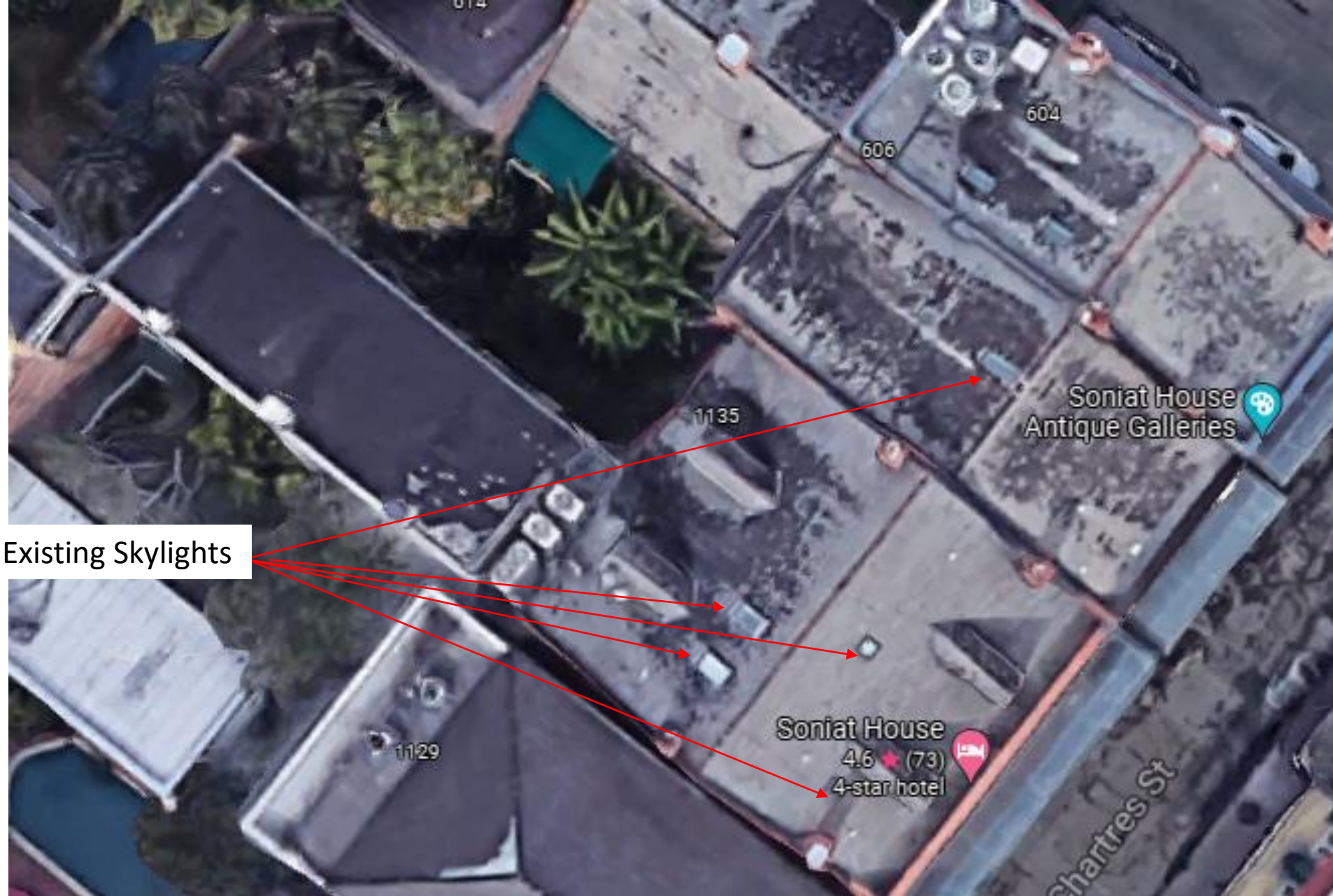
VCC Architectural Committee



December 7, 2021







1135 Chartres

VCC Architectural Committee

December 7, 2021



Existing front slope  
skylights



1135 Chartres

VCC Architectural Committee

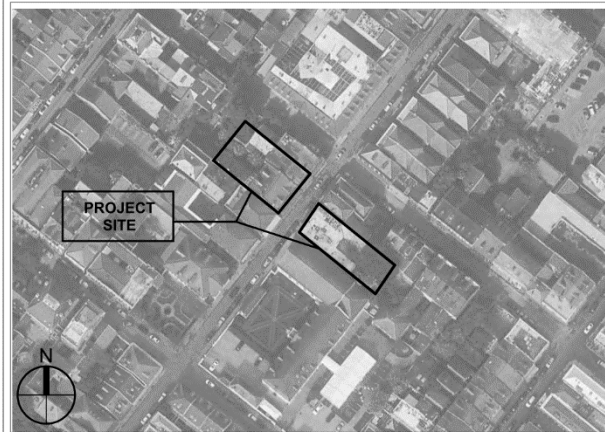
December 7, 2021





## GENERAL NOTES

- The contractor shall confirm and verify in writing (employ surveyor) that all property lines and setbacks are met prior to the start of construction.
- The contractor shall coordinate and obtain all necessary permits and approvals from authorities having jurisdiction. Construction work is not to begin until all required regulatory approvals have been issued.
- All materials and work shall be in accordance with current applicable federal, state and local building codes, amendments, rules, regulations, ordinances, laws, orders, and approvals that are required by public authorities having jurisdiction over the work. In the event of conflict, the most stringent requirements shall apply. No work shall be concealed until approved by local inspectors.
- It is the intent of the contract documents to provide for complete and finished work. Each trade (subcontractor) shall completely review plans for their respective work and related work by other trades (subcontractors). The contractor shall coordinate and provide all miscellaneous components and parts which are not shown on the contract documents but are required to complete the work shown. Incidental work and components which are required as an essential, functional or operational item or system, are required to complete any assembly and to complete full scope of work.
- The contractor shall subcontract with suppliers, fabricators, and installation companies which can demonstrate that they possess the knowledge, experience and proven capabilities to fully perform all aspects of work without omission.
- All products shall be installed in compliance with industry standards and as required by the product manufacturer's latest published specifications and installation requirements.
- The contractor shall protect all materials, construction, utilities and facilities from damage, including workers, theft and weather. Damaged components shall be replaced at no cost to Owner.
- All pipe chase walls shall be constructed to completely conceal and enclose pipes with full thickness of gypsum board on each side of the wall.
- The contractor shall install and provide all safety barriers during construction to protect the public from injury and access to the building and site.
- Fire rated assemblies shall be constructed in compliance with published UL Certifications Directory Listings and Classifications and shall be in accordance with continuity diagrams. Joints occurring in fire rated assemblies (walls and ceilings) shall be staggered both horizontally and vertically.
- Substitutions must be pre-approved in writing by architect prior to the start of construction. Any work or material requirements of such substitution shall be coordinated (with all trades) and provided by the contractor. Contractor must verify in writing all substitutions will not impact project cost or project schedule prior to request of such substitution. Substitutions shall be approved by regulatory agencies in writing prior to the start of construction.
- The contractor and subcontractors shall review and coordinate all architectural, electrical and mechanical work to confirm that all components will achieve their intended use and will maintain ceiling heights shown. Conflicts shall be brought to the attention of the architect prior to the start of construction.
- Asbestos abatement, lead paint removal, and other hazardous material removal is not in the contract. Should the contractor encounter the presence, or possible presence, of potentially hazardous materials, the contractor shall notify the owner for instructions prior to continuing work.
- Safety measures: at all times, the contractor shall be solely and completely responsible for the conditions of the job site, including the safety of persons and property, and for all necessary independent reviews of these conditions. The architect's, engineer's, or owner's job site review is not intended to review the adequacy of the contractor's safety measures.
- The contractor shall not submit final price or execute contract with Owner until all required changes requested by the regulatory agencies have been included in the contract price.
- Buildings shall be maintained in weatherproof and secure condition as early as possible throughout work.
- Erect and install all work level, plumb, square, true, straight and in proper alignment.
- The contractor shall be responsible for field verifying actual locations of all existing utilities and structures on the project site. Locations of existing utilities and structures indicated on the drawings are approximate only, and those indicated are not necessarily all that may exist on the project site. The contractor shall coordinate the location (horizontal and vertical) of the existing utilities (power, telephone, gas, water, sewer, etc) with the appropriate utility provider before construction begins and at no additional cost to the owner.
- All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other related appurtenances shall be adjusted to finish grade by contractor at no additional cost to the owner.
- When project is complete, clean and polish glass, hardware, and other such items with factory finishes. Remove all dust with treated dust clothes or vacuum cleaners. Waste and refuse caused by the work shall be removed from premises and disposed of by contractor. Clean site at end of project. Remove dust, debris, oils, stains, fingerprints, and labels from exposed surfaces, including glazing.
- Furniture is for reference only. Furniture is not in project scope. Furniture, fixtures and equipment (FFE), if required, will be submitted in a separate design package.
- Do not scale drawings for field layout. Contact architect if dimensions are needed and cannot be found in drawing set.
- Floor plan dimensions taken from face of stud or centerline of stud / column unless otherwise noted. "Clear" refers to dimension between faces of finish surfaces. "EQ" or "Equal" indicates dimension to match adjacent. Lettered dimensions (A,B,C,D,ETC) indicate dimension to match opposite or remote (matching letter) dimension. "x-C" indicates approximate dimension based on field condition or flexible dimension that can be adjusted.
- All dimensions on reflected ceiling / lighting plans are clear dimensions.
- These drawings are accompanied by the Project Manual.



SITE / VICINITY PLAN

### OWNER

**Soniat Holdings, LLC.**

1133 Chartres St.  
New Orleans, LA 70116

### INTERIOR DESIGNER

**Ken Fulk**

310 Seventh St.  
San Francisco, CA 94103  
415.285.1164

### GENERAL CONTRACTOR

**Entablature**

8438 Oak St., Suite C  
New Orleans, LA 70118  
504.322.3822

### ARCHITECT

**Albert Architecture and  
Urban Design, apic**

Richard Albert  
3221 Tulane Avenue  
New Orleans, LA 70119  
504.827.0056

### MECHANICAL

**Albert Engineering**

Michael Leitzinger  
3221 Tulane Avenue  
New Orleans, LA 70119  
504.827.0056

# SONIAT HOUSE

## PHASE 1

SONIAT HOLDINGS, LLC.  
1130, 1133-1137 CHARTRES ST.  
NEW ORLEANS, LA 70116

## PERMIT SET

11.05.21

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ID-1.03	INTERIOR FINISH KEY PLAN		
ID-1.04	INTERIOR FINISH KEY PLAN		
ID-1.05	INTERIOR FINISH KEY PLAN		
ID-1.06	INTERIOR FINISH KEY PLAN		

## ALBERT ARCHITECTURE

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## SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

Drawn by: AP  
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Revised Permit Set 11.05.21

# G-0.00

COVER SHEET

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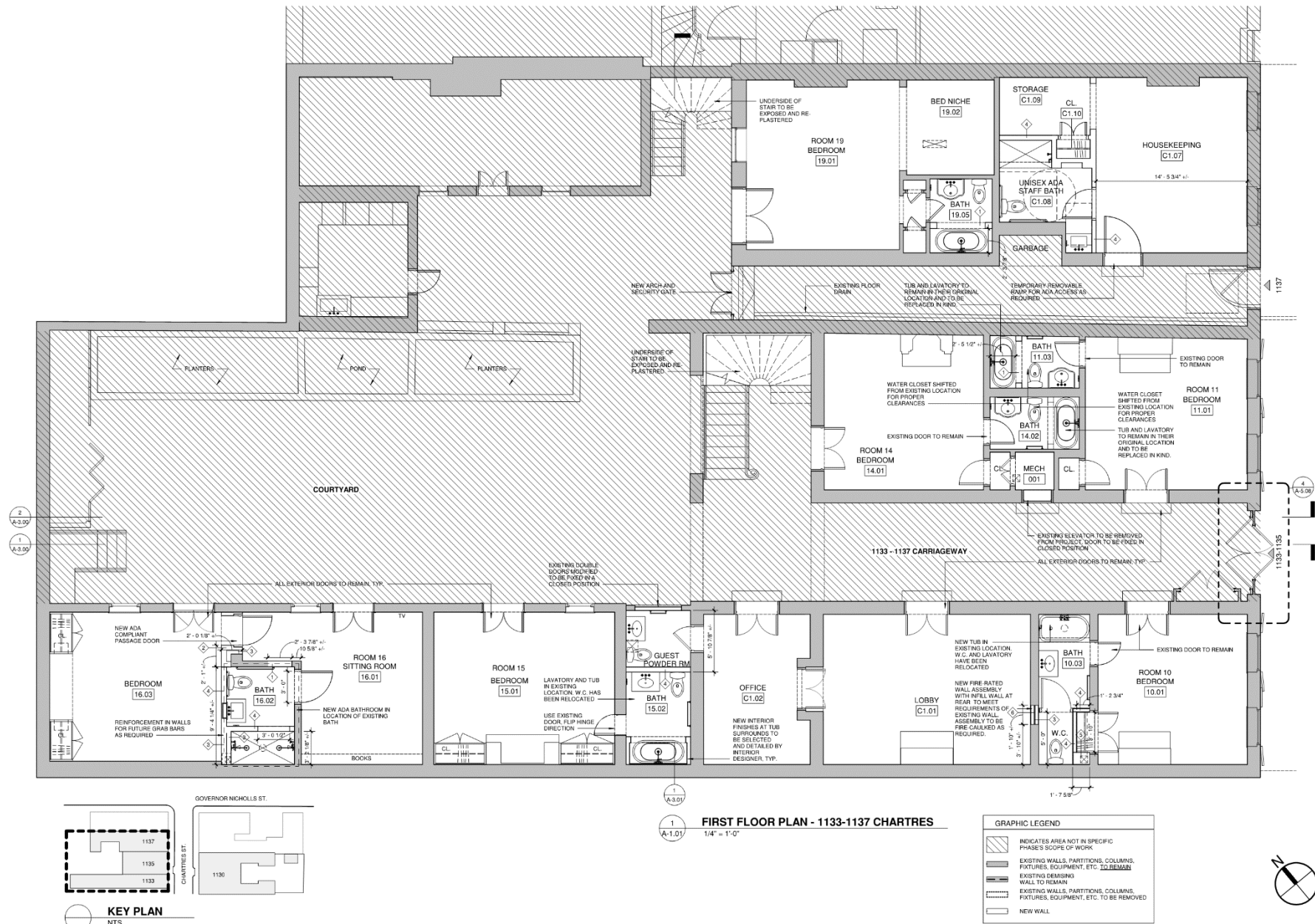
1135 Chartres

VCC Architectural Committee

December 7, 2021







**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116  
Project No. AA2109



11.05.21  
Drawn by: AP  
Checked by: JM

Interior Demolition Set: 08.18.21  
Permit Set: 09.23.21  
Revised Permit Set: 11.05.21

**A-1.01**

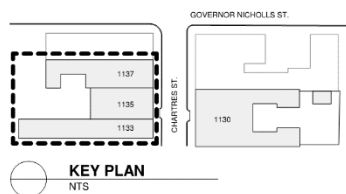
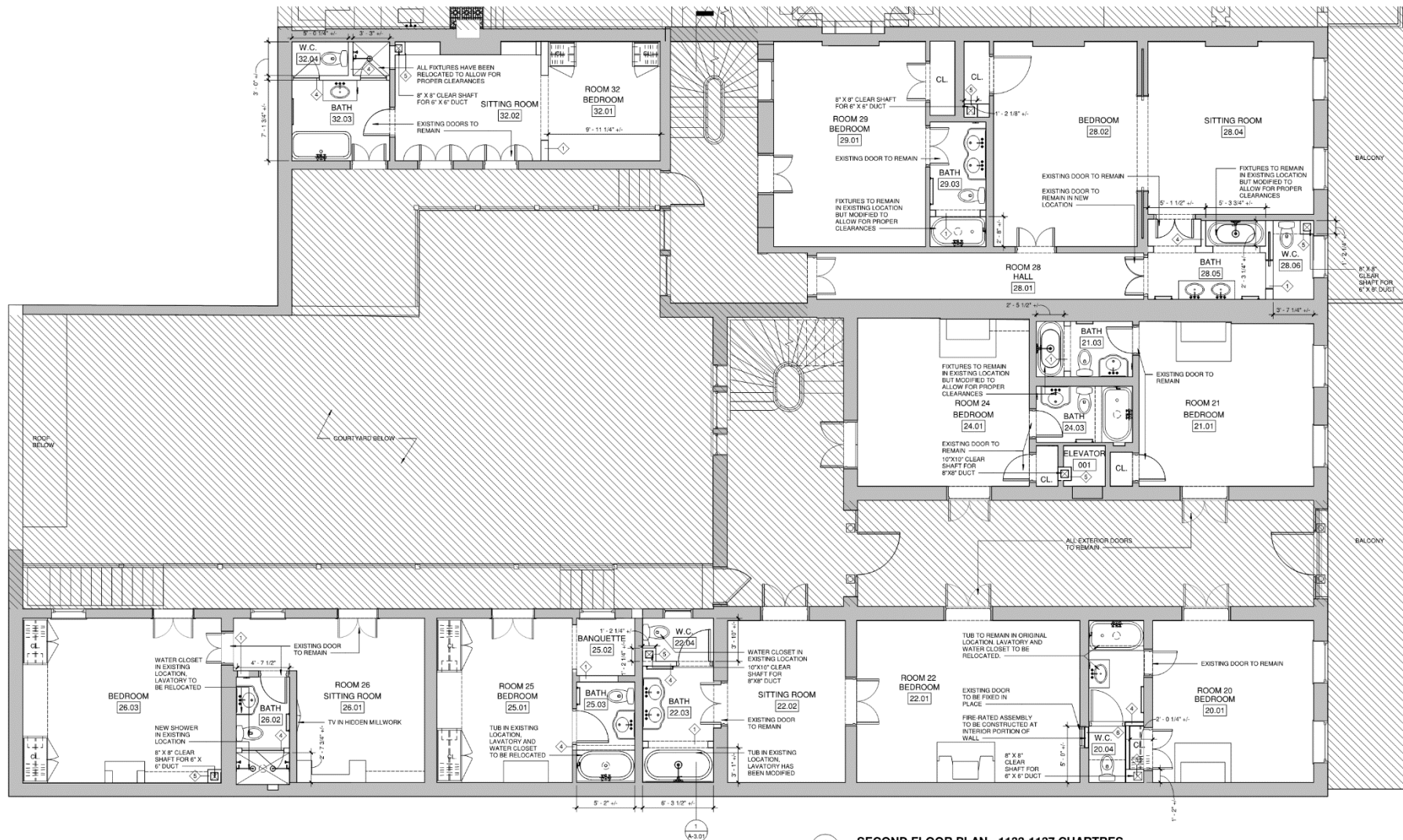
FIRST FLOOR PLAN -  
1133-1137 CHARTRES  
STREET



1135 Chartres

VCC Architectural Committee

December 7, 2021



**SECOND FLOOR PLAN - 1133-1137 CHARTRES**  
1/4" = 1'-0"

GRAPHIC LEGEND	
	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
	EXISTING DEMISING WALL TO REMAIN
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
	NEW WALL



**SONIAT HOUSE**

1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116

Project No. AA2109



11.05.21

Drawn by: AP  
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Revised Permit Set 11.05.21

**A-1.03**

SECOND FLOOR PLAN -  
1133 - 1137 CHARTRES

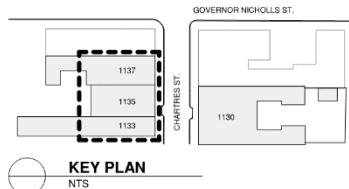
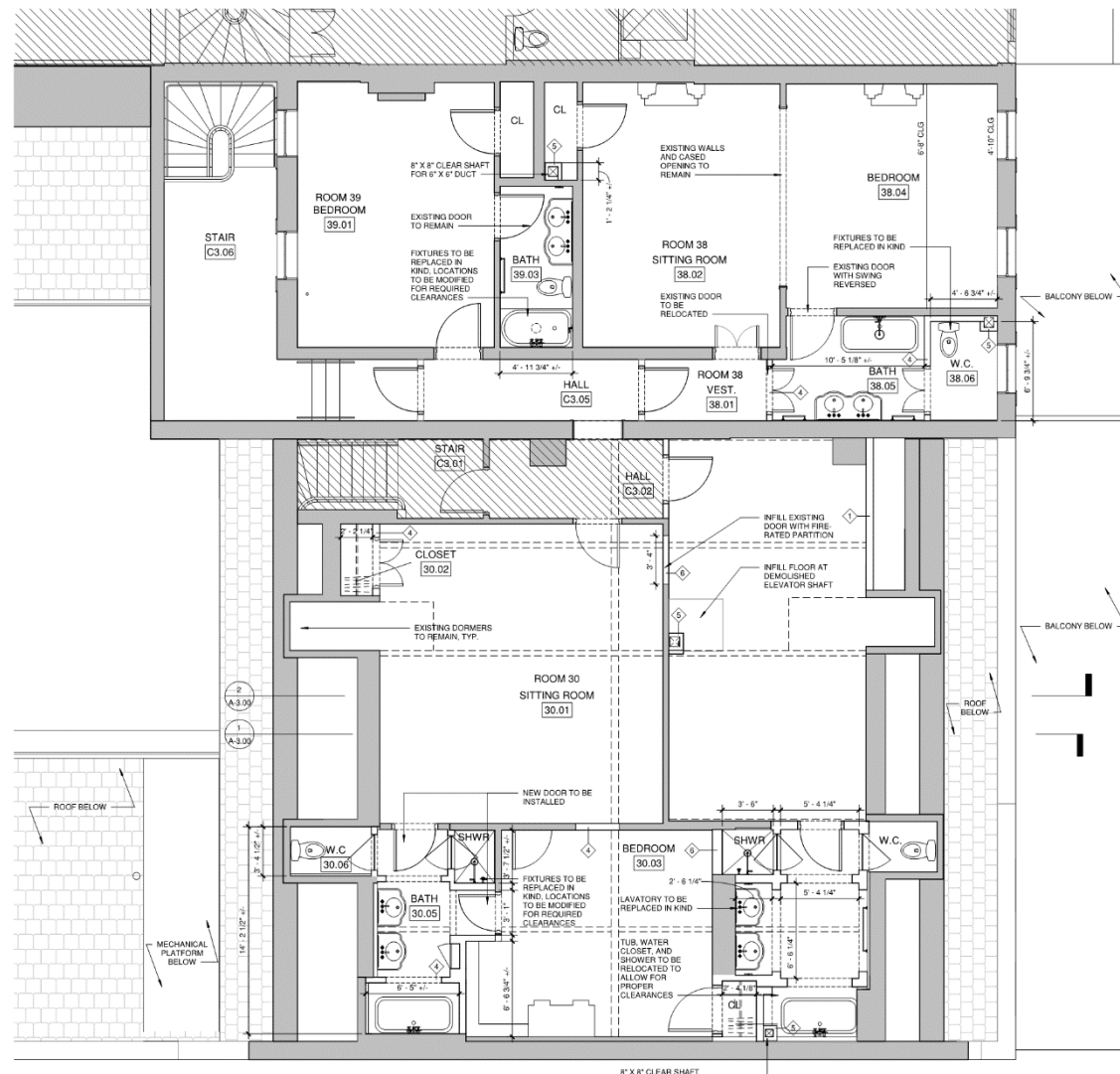
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1135 Chartres

VCC Architectural Committee

December 7, 2021



GRAPHIC LEGEND	
	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
	EXISTING DEMISING WALL TO REMAIN
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
	NEW WALL



11.05.21	
Drawn by:	AP
Checked by:	JM
Interior Demolition Set	08.13.21
Permit Set	09.23.21
Revised Permit Set	11.05.21

**A-1.05**

THIRD FLOOR PLAN -  
1133 - 1137 CHARTRES



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1  
A-2.00

# 1133-1137 CHARTRES STREET ELEVATION

3/16" = 1'-0"

## A-2.00

EXTERIOR ELEVATIONS

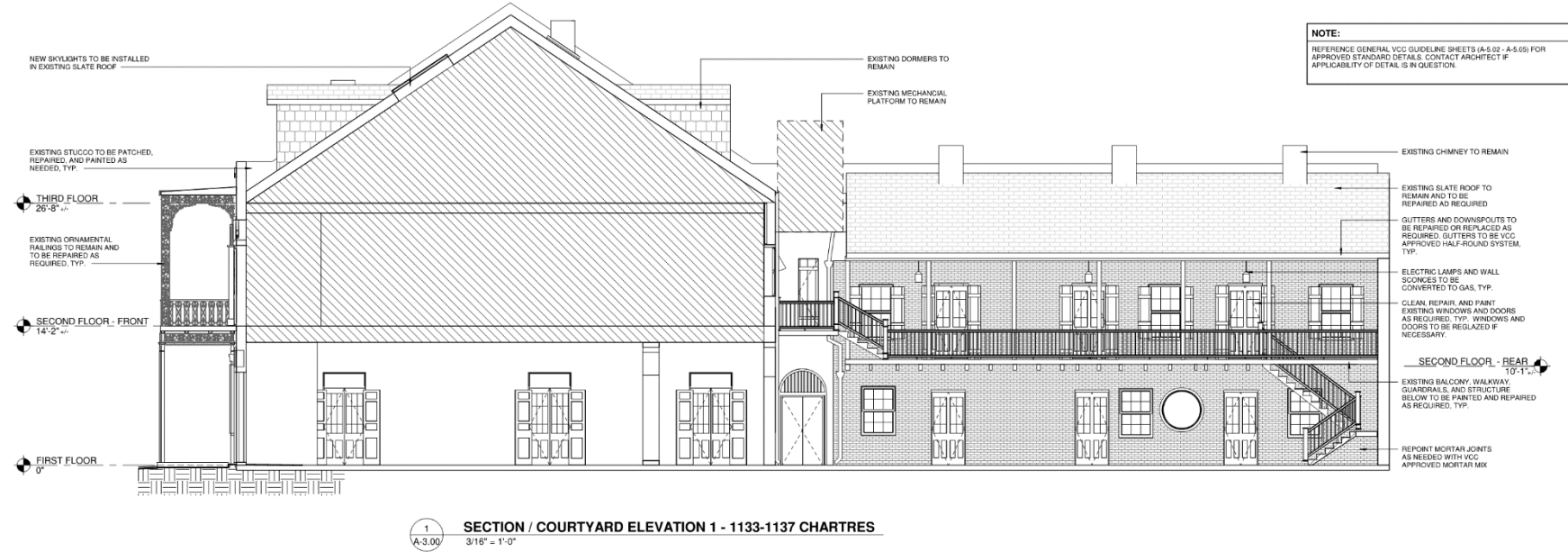
1135 Chartres

VCC Architectural Committee

December 7, 2021







1 SECTION / COURTYARD ELEVATION 1 - 1133-1137 CHARTRES  
3/16" = 1'-0"



2 SECTION / COURTYARD ELEVATION 2 - 1133-1137 CHARTRES  
3/16" = 1'-0"

**NOTE:**  
REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.05) FOR APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF APPLICABILITY OF DETAIL IS IN QUESTION.

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2221 Tulane Avenue  
New Orleans, LA 70119  
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**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116  
Project No. AA2109



11.05.21  
Drawn by: AP  
Checked by: JM

Interior Demolition Set 08.13.21  
Permit Set 09.23.21  
Revised Permit Set 11.05.21

**A-3.00**





**NOTE:**

REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.05) FOR APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF APPLICABILITY OF DETAIL IS IN QUESTION.

1  
A-3.01

**SECTION / REAR ELEVATION 3 - 1133-1137 CHARTRES**

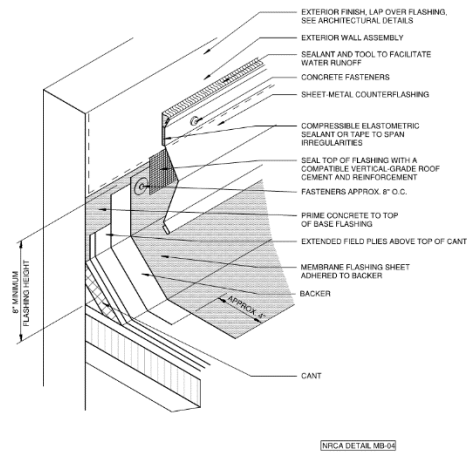
3/16" = 1'-0"

1135 Chartres

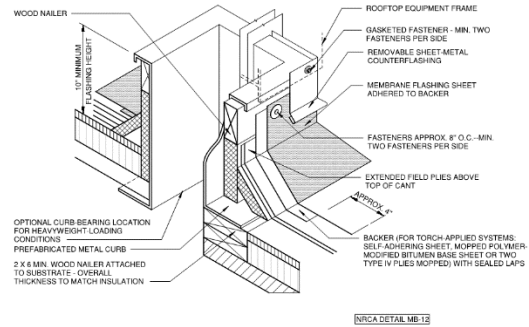
VCC Architectural Committee

December 7, 2021

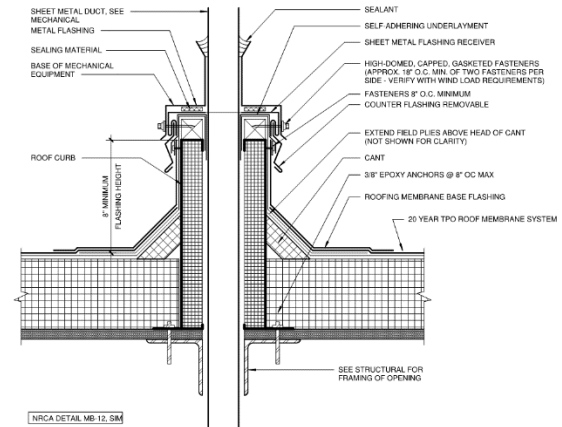




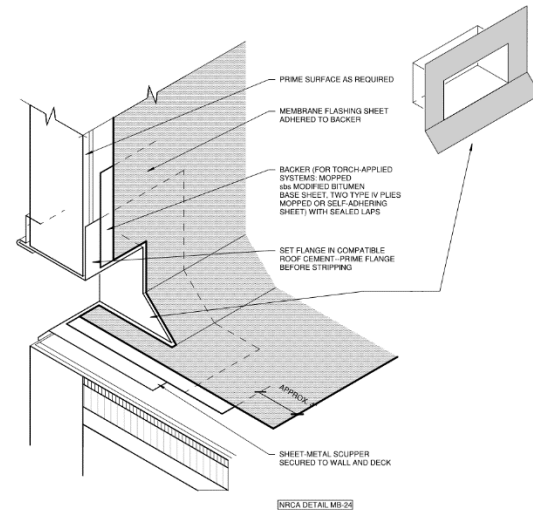
1  
A-5.00  
PICTORIAL VIEW AT BASE FLASHING  
1" = 1'-0"



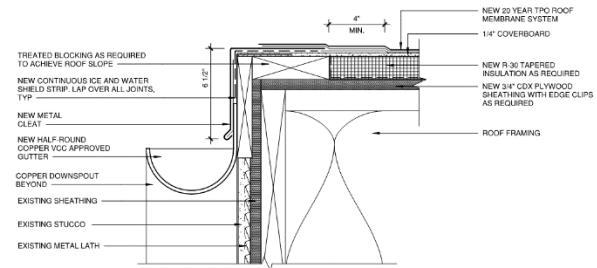
2  
A-5.00  
PICTORIAL VIEW OF BASE FLASHING AT METAL CURB  
1" = 1'-0"



3  
A-5.00  
SECTION THRU ROOF AT CURB FOR DUCT PENETRATIONS  
3" = 1'-0"



4  
5.00  
PICTORIAL VIEW AT SCUPPER  
1" = 1'-0"



6  
A-5.00  
TPO ROOF EDGE DETAIL  
3" = 1'-0"

# ALBERT ARCHITECTURE

Albert Architecture & Urban Design aplic  
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New Orleans, LA 70119  
504.877.0059

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**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STRE  
NEW ORLEANS, LA 70116  
Project No. AA2109



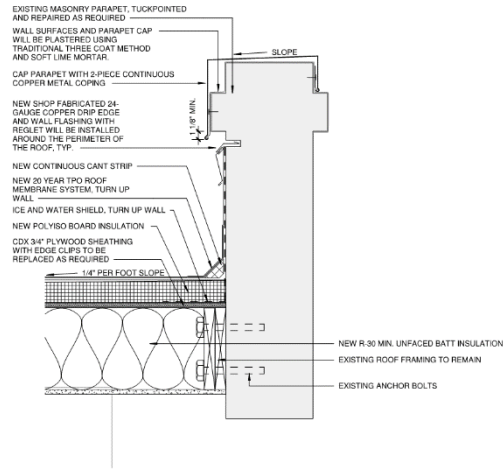
11.05.21	
Drawn by:	AP
Checked by:	JM
Interior Demolition Set	08.13.21
Permit Set	09.23.21
Revised Permit Set	11.05.21

**A-5.00**

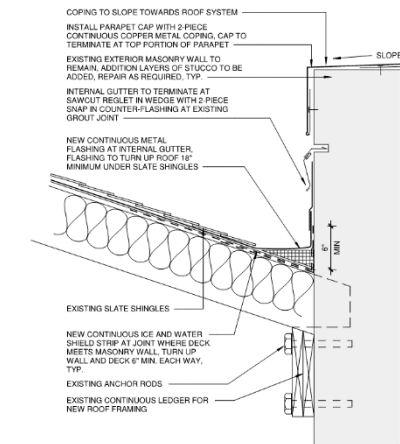
TPO ROOF DETAILS



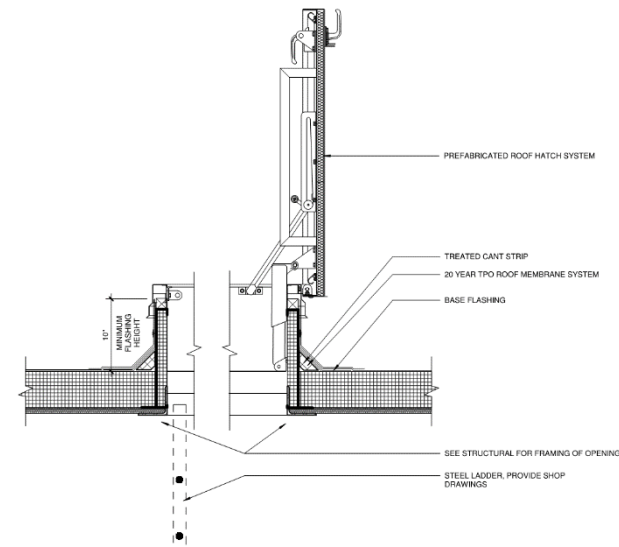




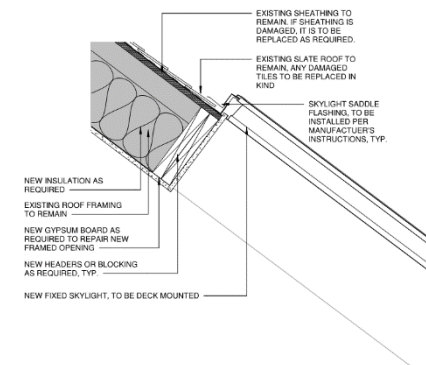
1 SECTION AT TPO ROOF AT EXISTING PARAPET  
1 1/2" = 1'-0"



3 SECTION THRU INTERNAL GUTTER AT SLATE ROOF  
1 1/2" = 1'-0"



2 SECTION AT ROOF HATCH  
1 1/2" = 1'-0"



4 SECTION THRU NEW SKYLIGHT  
1 1/2" = 1'-0"



11.05.21

Drawn by: AP  
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Revised Permit Set 11.05.21

**A-5.01**

ROOF DETAILS



**NOTE:**  
EXTERIOR STEEL GATE DESIGN BASED ON VCC STANDARD DETAILS.  
GATE ELEVATIONS ARE BEING PROPOSED AND APPROPRIATENESS  
TO BE DETERMINED BY AHJ.

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**SONIAT HOUSE**

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NEW ORLEANS, LA 70116

Project No. AA2109



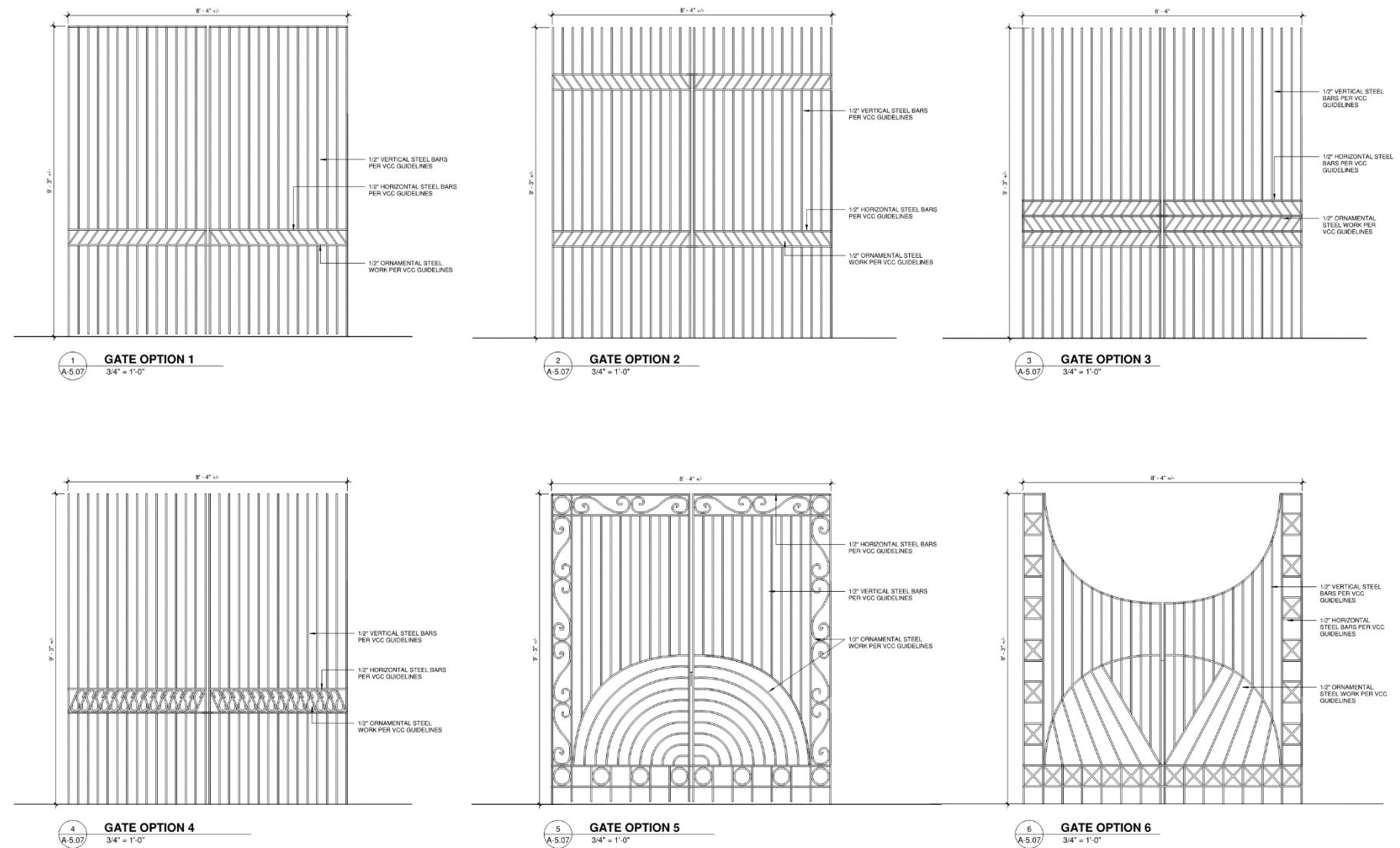
11.05.21

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Checked by: JM

Interior Demolition Set 08.13.21  
Permit Set 09.23.21  
Revised Permit Set 11.05.21

**A-5.07**

GATE ELEVATIONS



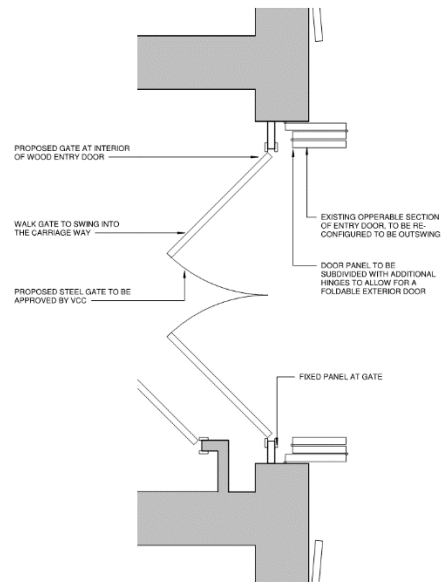
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**NOTE:**  
EXTERIOR STEEL GATE DESIGN BASED ON VCC STANDARD DETAILS. GATE ELEVATIONS ARE BEING PROPOSED AND APPROPRIATENESS TO BE DETERMINED BY A.H. PROPOSED CONFIGURATION FOR BOTH 1133 & 1135 CHARTRES. NEW PROPOSED WOODEN DOORS TO MATCH EXISTING AND NEW WROUGHT IRON GATE BEHIND.

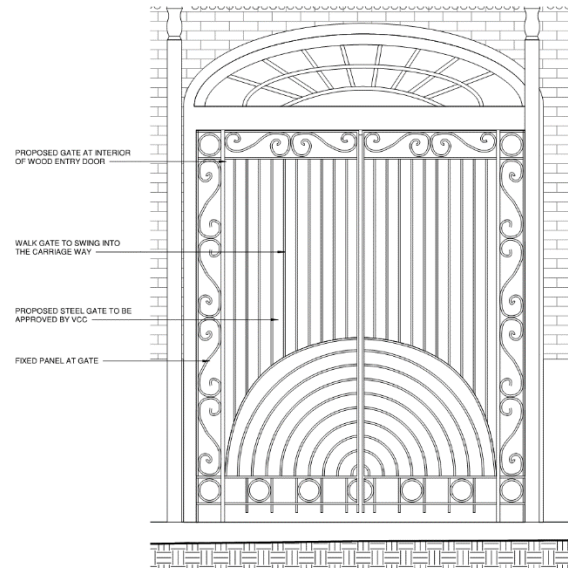
**ALBERT**  
ARCHITECTURE

Albert Architecture & Urban Design ap/c  
3221 Tulane Avenue  
New Orleans, LA 70119  
504.677.0566

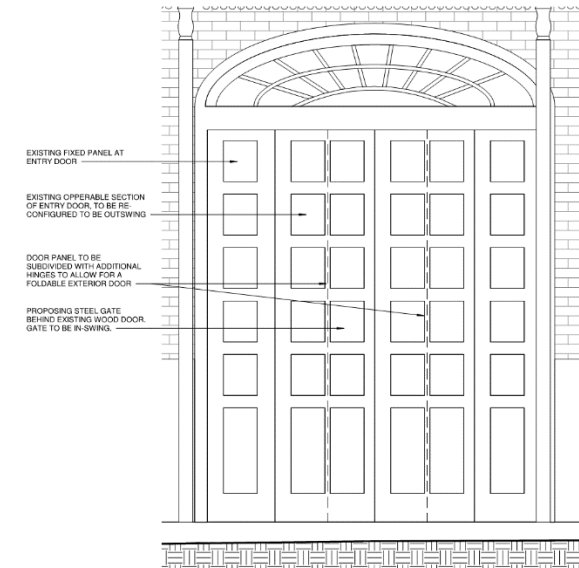
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4  
A-5.08  
**FIRST FLOOR - 1135 CHARTRES ENTRY-PLAN**  
3/4" = 1'-0"



2  
A-5.08  
**1133-1137 CHARTRES STREET -PROPOSED GATE**  
3/4" = 1'-0"



1  
A-5.08  
**1133-1137 CHARTRES STREET -ENTRY DOOR**  
3/4" = 1'-0"

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**SONIAT HOUSE**  
1130, 1133-1137 CHARTRES STREET  
NEW ORLEANS, LA 70116  
Project No. AA2109



11.05.21  
Drawn by: AP  
Checked by: JM

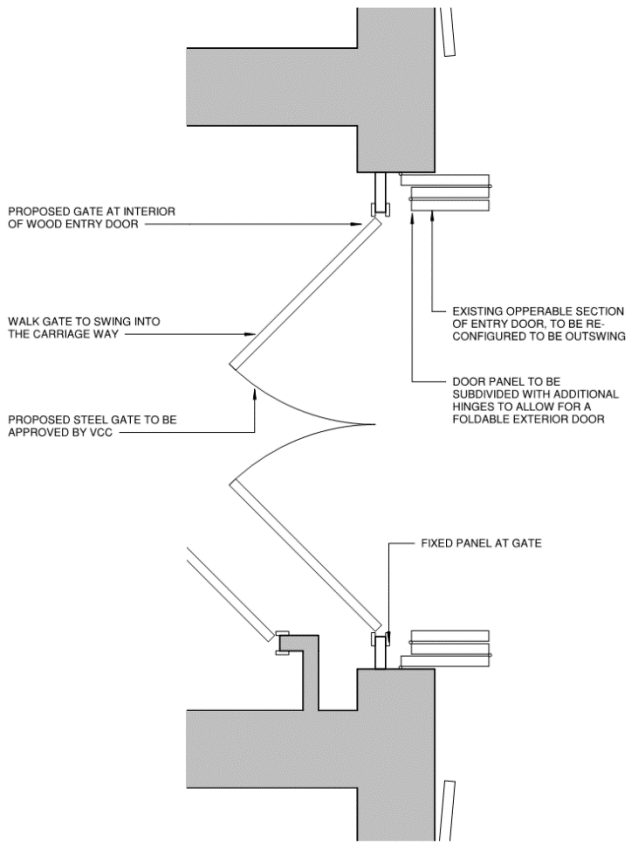
Interior Demolition Set 08.13.21  
Permit Set 09.23.21  
Revised Permit Set 11.05.21

**A-5.08**

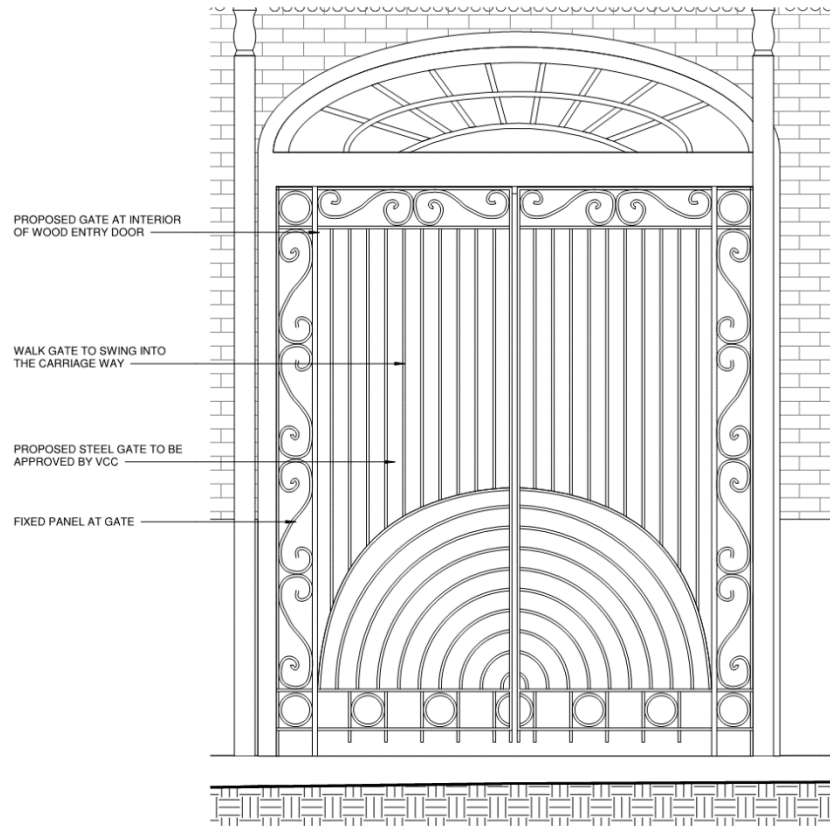
EXTERIOR GATE/DOOR  
DETAILS



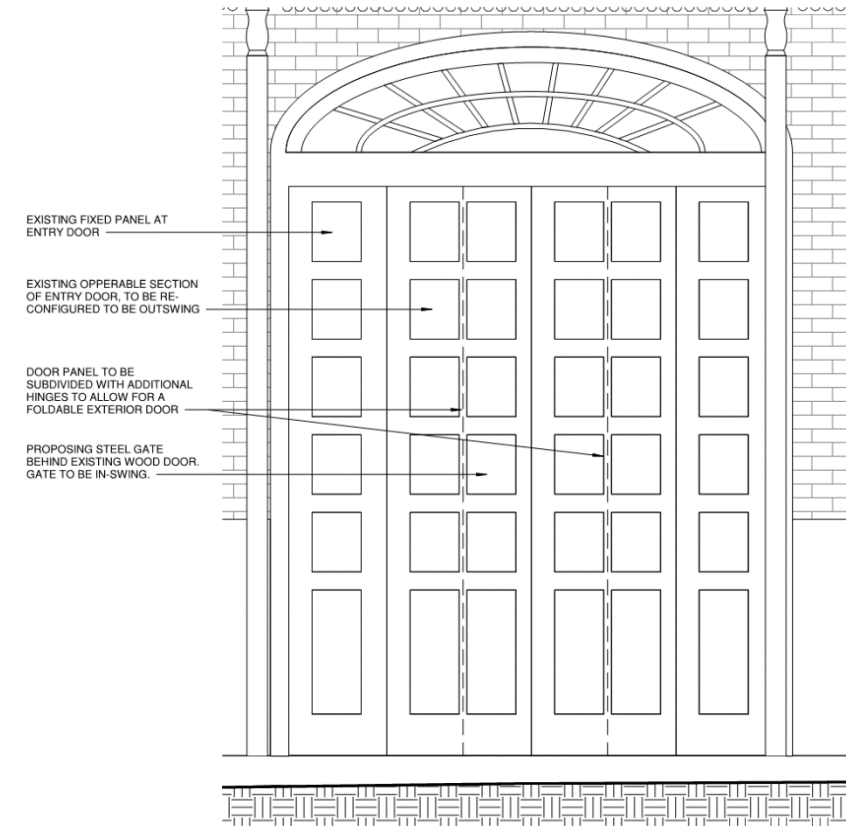




4  
A-5.08  
**FIRST FLOOR - 1135 CHARTRES ENTRY-PLAN**  
3/4" = 1'-0"



2  
A-5.08  
**1133-1137 CHARTRES STREET -PROPOSED GATE**  
3/4" = 1'-0"



1  
A-5.08  
**1133-1137 CHARTRES STREET -ENTRY DOOR**  
3/4" = 1'-0"



632 Burgundy



632 Burgundy

VCC Architectural Committee

December 7, 2021







632 Burgundy

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December 7, 2021





632 Burgundy

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632 Burgundy

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632 Burgundy

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632 Burgundy

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12 16 2021

December 7, 2021





632 Burgundy

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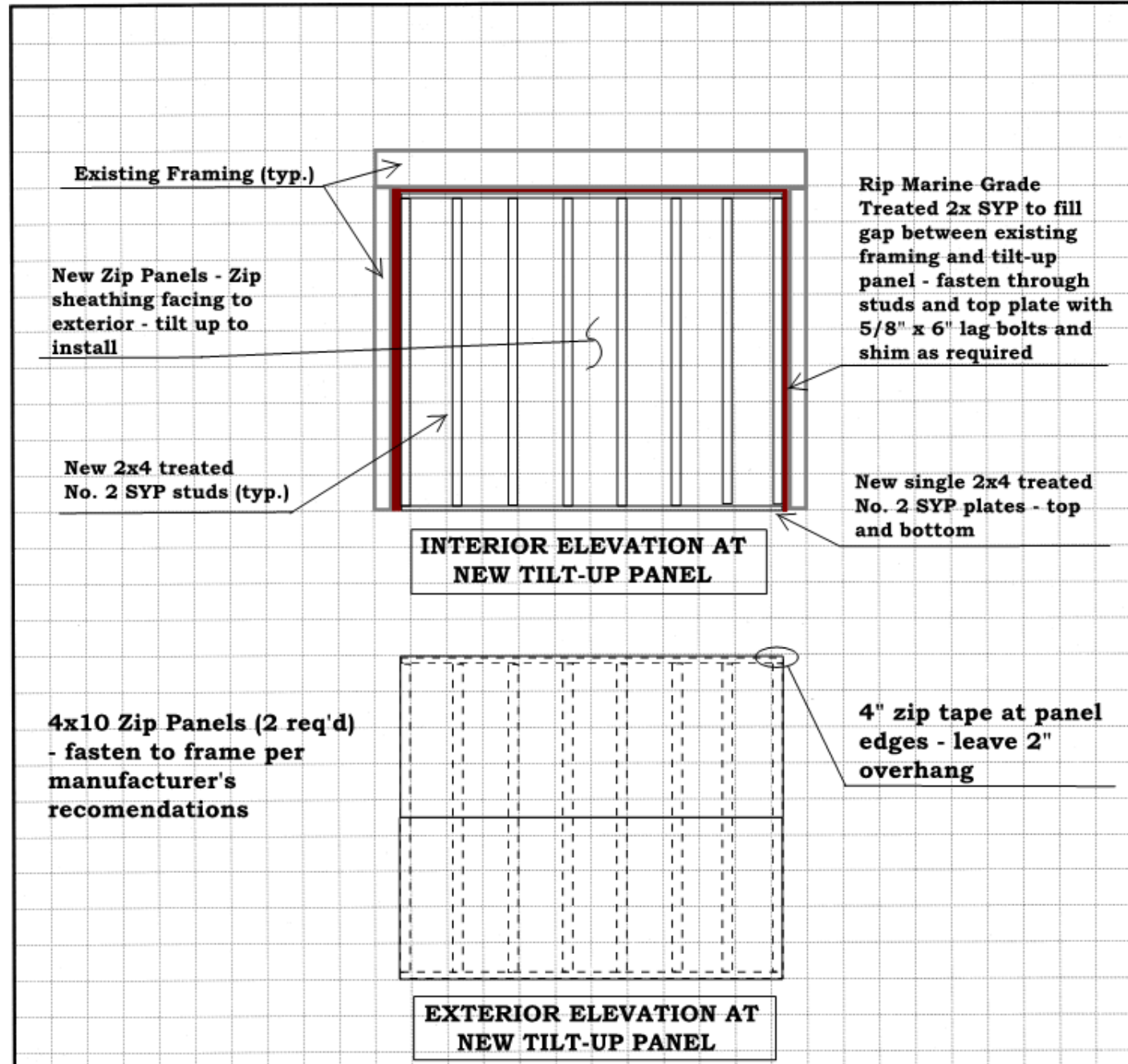
632 Burgundy

VCC Architectural Committee

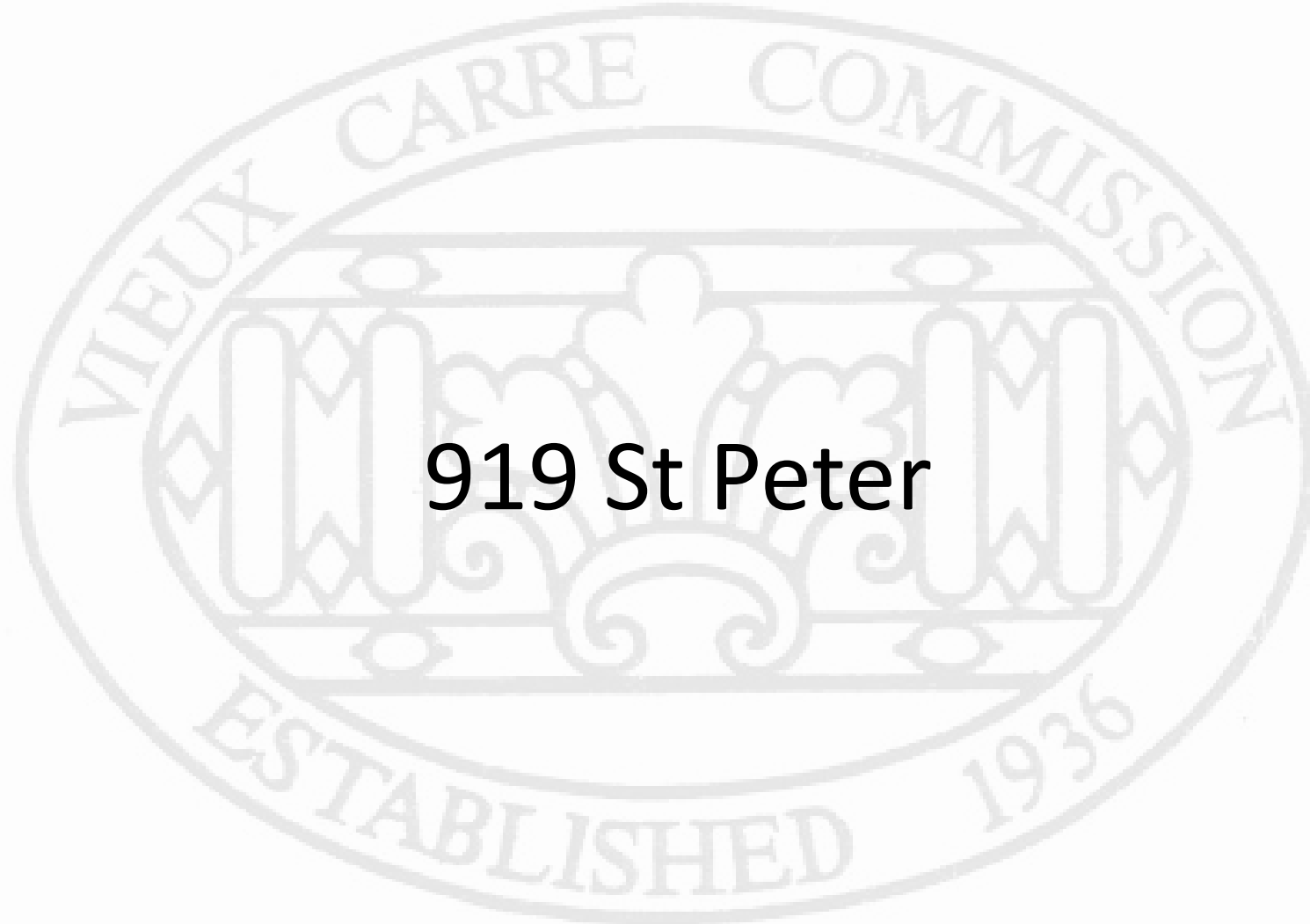
December 7, 2021







919 St Peter







919 St Peter

VCC Architectural Committee

December 7, 2021







919 St Peter

VCC Architectural Co

2021





919 St Peter, 1988

VCC Architectural Committee

December 7, 2021







919 St Peter, 1988

VCC Architectural Committee

December 7, 2021







919 St Peter

VCC Architectural Committee

December 7, 2021







919 St Peter

VCC Architectural Committee

December 7, 2021





919 St Peter

VCC Architectural Committee

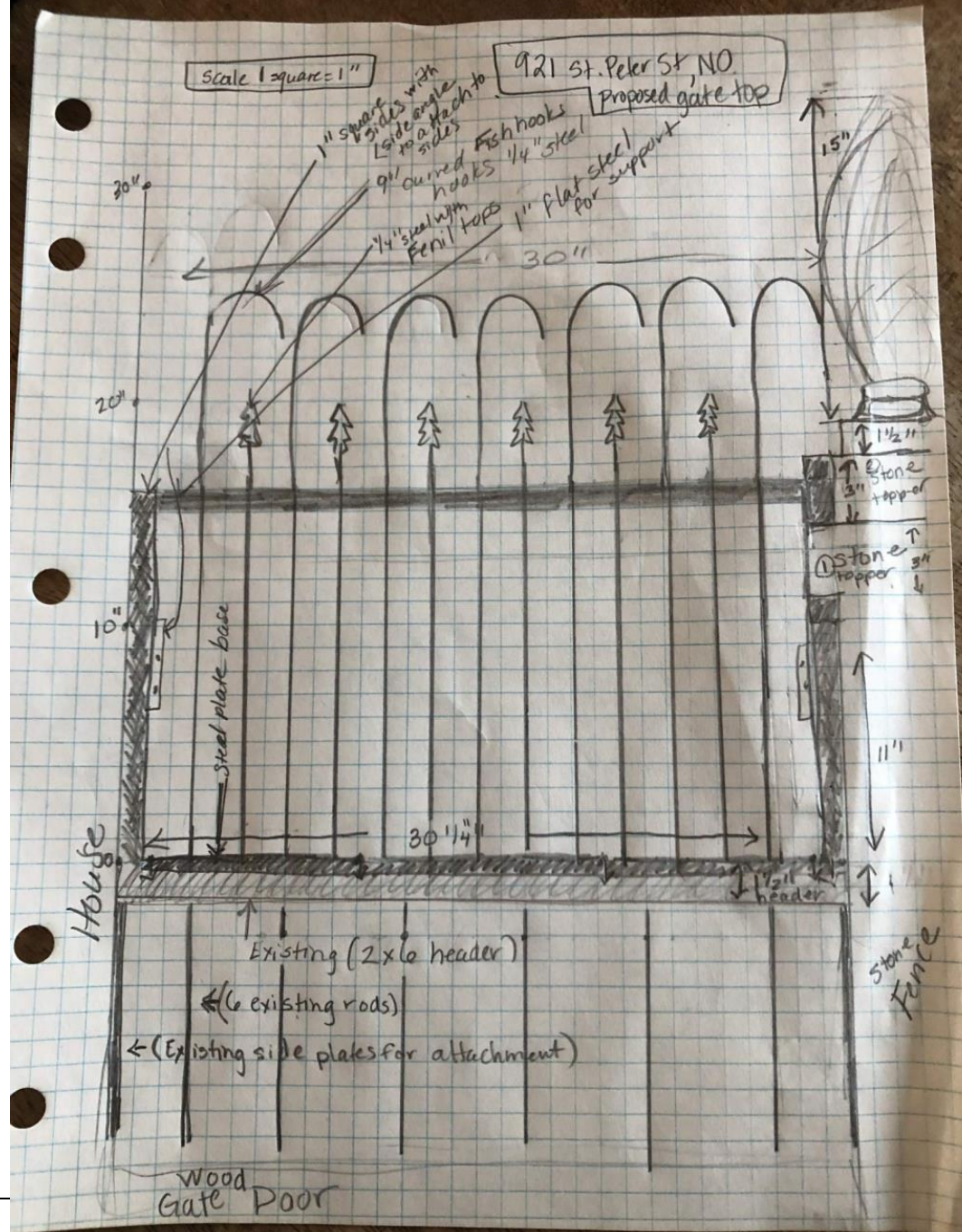
December 7, 2021





919 St Peter

VCC Architectural Committee



December 7, 2021





919 St Peter – Example of Similar System

VCC Architectural Committee

December 7, 2021



The background features a large, faint, light-gray watermark of the Ursuline Order seal. The seal is oval-shaped with a decorative border. Inside the border, the text "VIEUX CARRE COMMISSION" is written in an arc at the top, and "ESTABLISHED 1936" is written in an arc at the bottom. The center of the seal contains a stylized architectural design with columns and a central figure.

827 Ursulines





827 Ursulines

VCC Architectural Committee

December 7, 2021







827 Ursulines

VCC Architectural Committee

December 7, 2021





827 Ursulines

VCC Architectural Committee

December 7, 2021







827 Ursulines

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December 7, 2021





827 Ursulines

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December 7, 2021







827 Ursulines

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December 7, 2021







827 Ursulines

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December 7, 2021







827 Ursulines

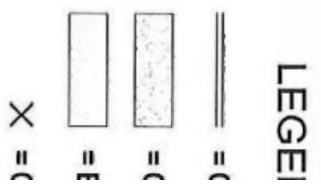
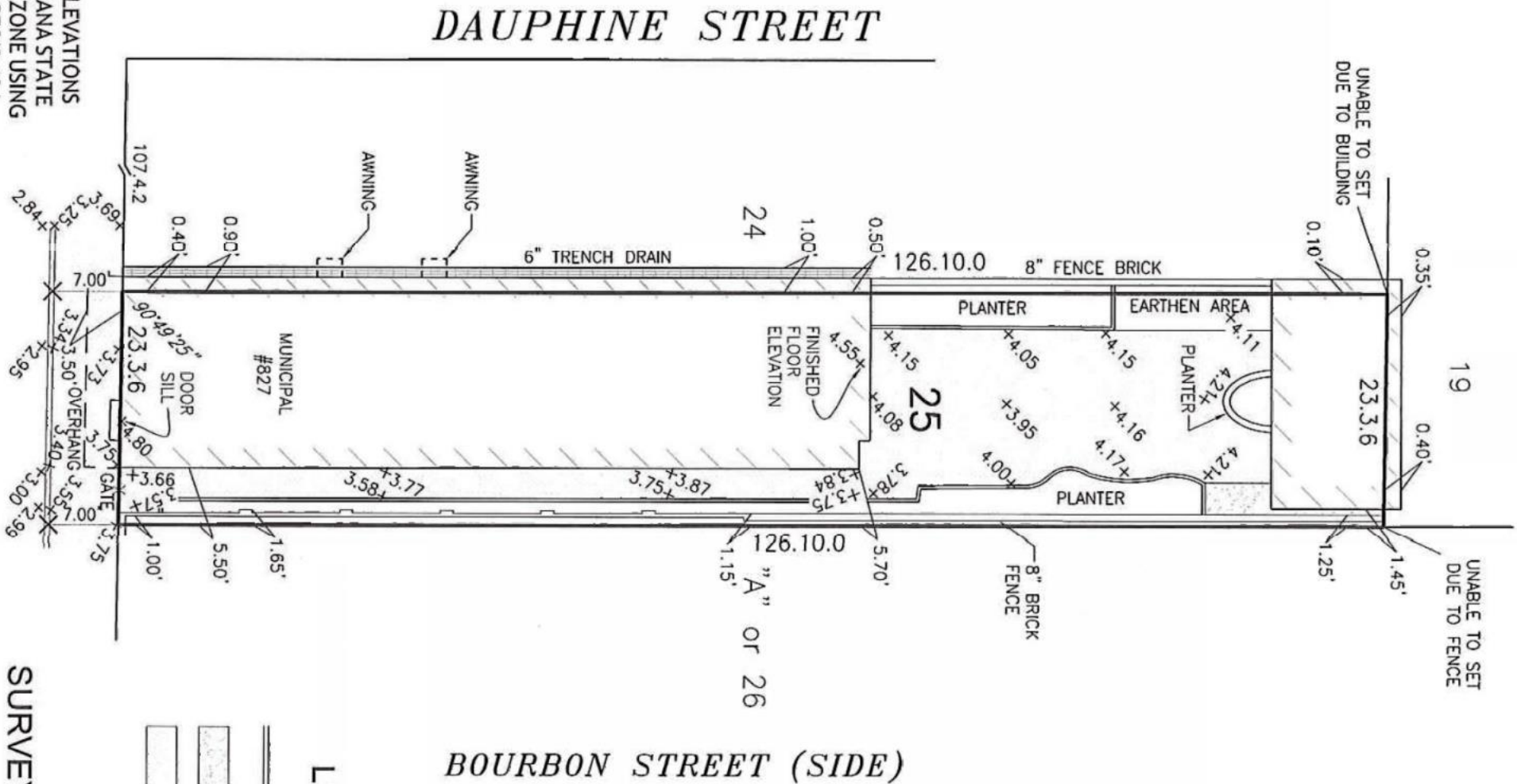
VCC Architectural Committee

December 7, 2021





GOVERNOR NICHOLLS STREET (SIDE)  
(late HOSPITAL)

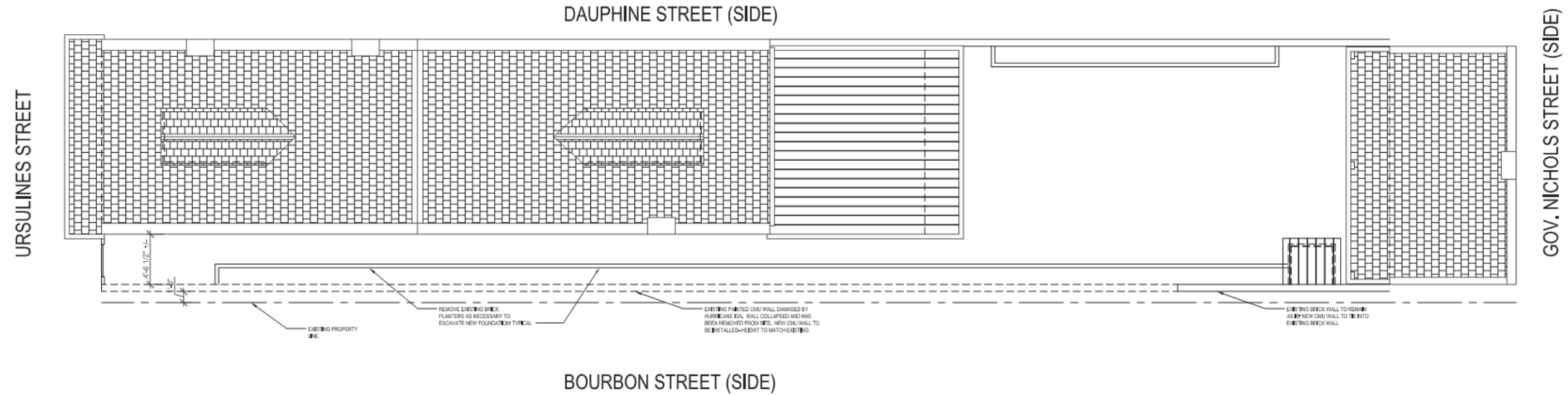


VD 88. ELEVATIONS  
HE LOUISIANA STATE  
A SOUTH ZONE USING  
NAVD 88 GEOID 12A.

RTHWEST BOLT OF  
URSULINES STREET.

SURVEY RE  
SURVEY OF LOT 25,  
DISTRICT BY HORAT  
SURVEYOR DATED J  
AUGUST 76 1944





01  
A1.1

EXISTING SITE PLAN

Scale: 3/16" = 1'-0"

827 Ursulines

VCC Architectural Committee

December 7, 2021



URSULINES STREET

DAUPHINE STREET (SIDE)

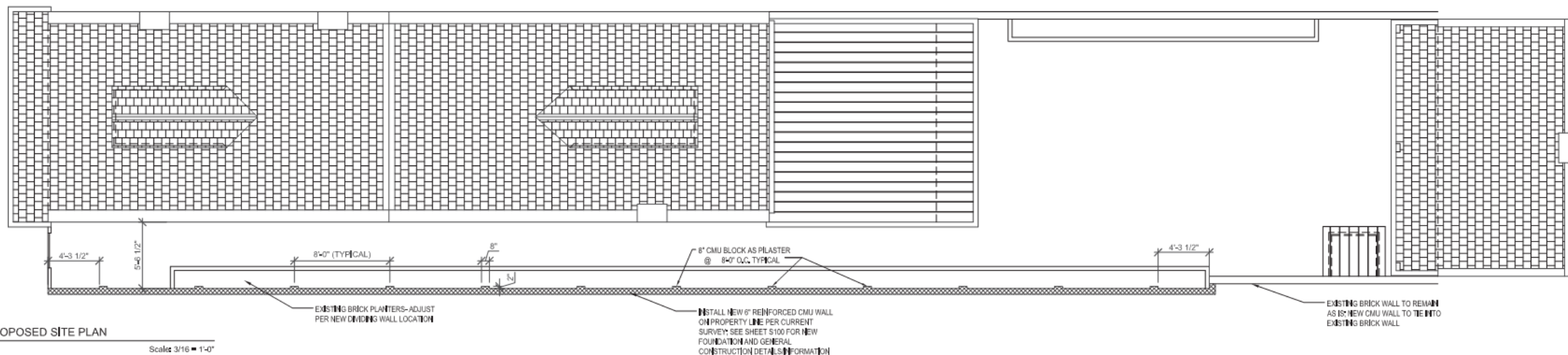
GOV. NICHOLS STREET (SIDE)

02  
A1.1

PROPOSED SITE PLAN

Scale: 3/16" = 1'-0"

BOURBON STREET (SIDE)

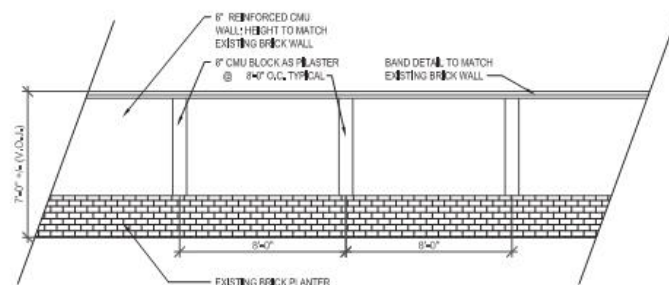


827 Ursulines

VCC Architectural Committee

December 7, 2021

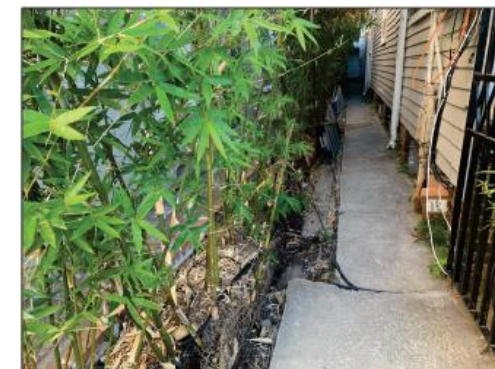




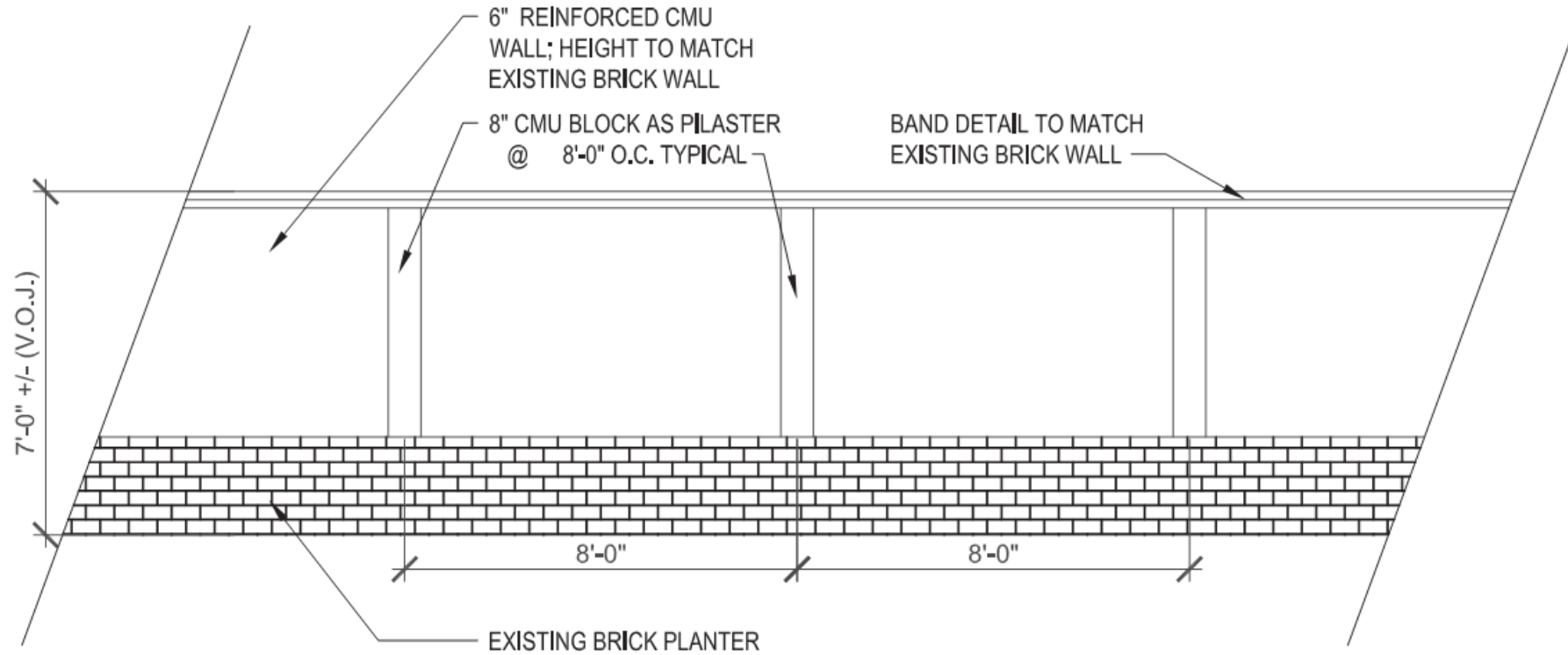
03 TYPICAL PROPOSED CMU WALL ELEVATION  
A1.1 Scale: 1/4" = 1'-0"



04 EXISTING DIVIDING WALL CONDITIONS  
A1.1 Scale: NTS



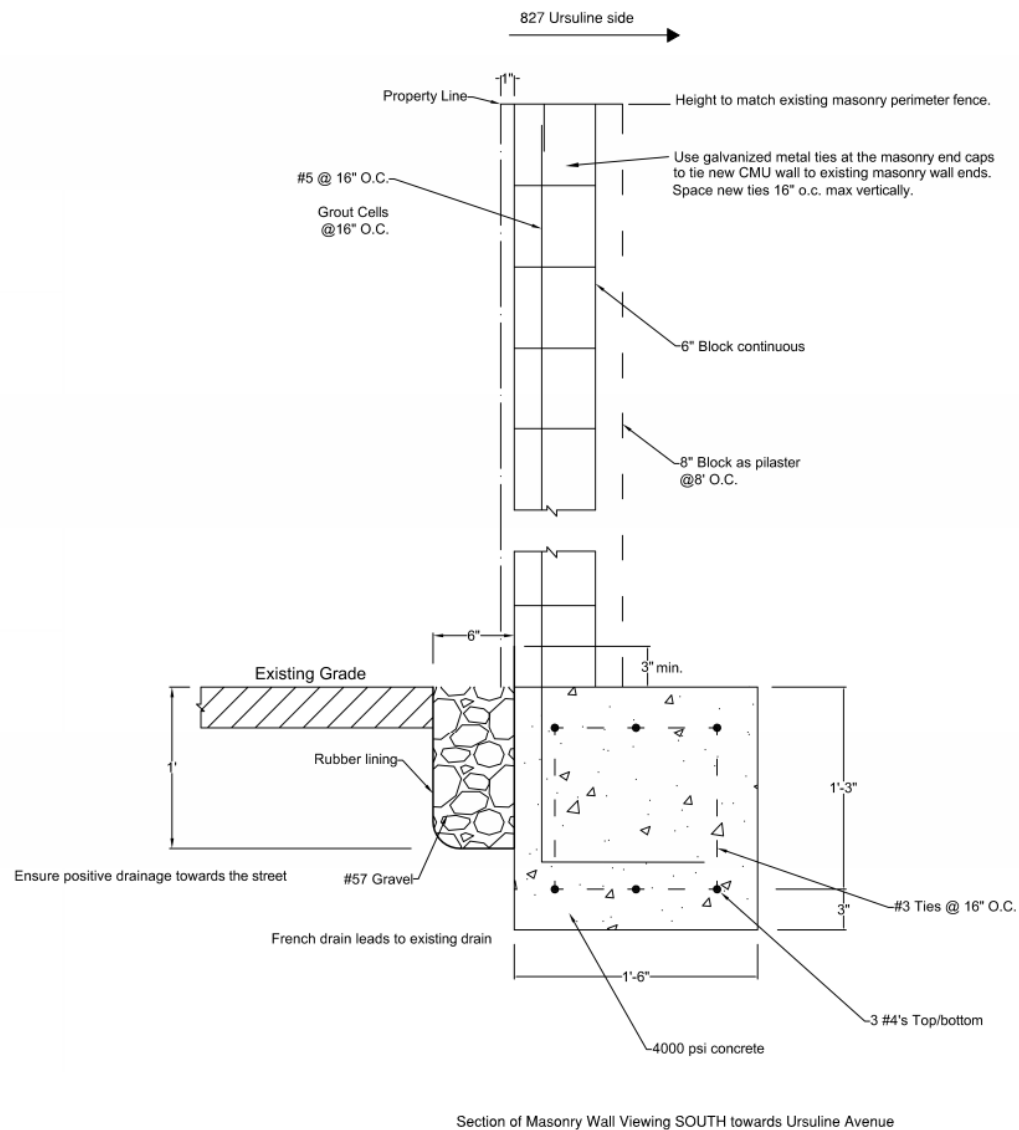




03  
A1.1

### TYPICAL PROPOSED CMU WALL ELEVATION

Scale: 1/4" = 1'-0"

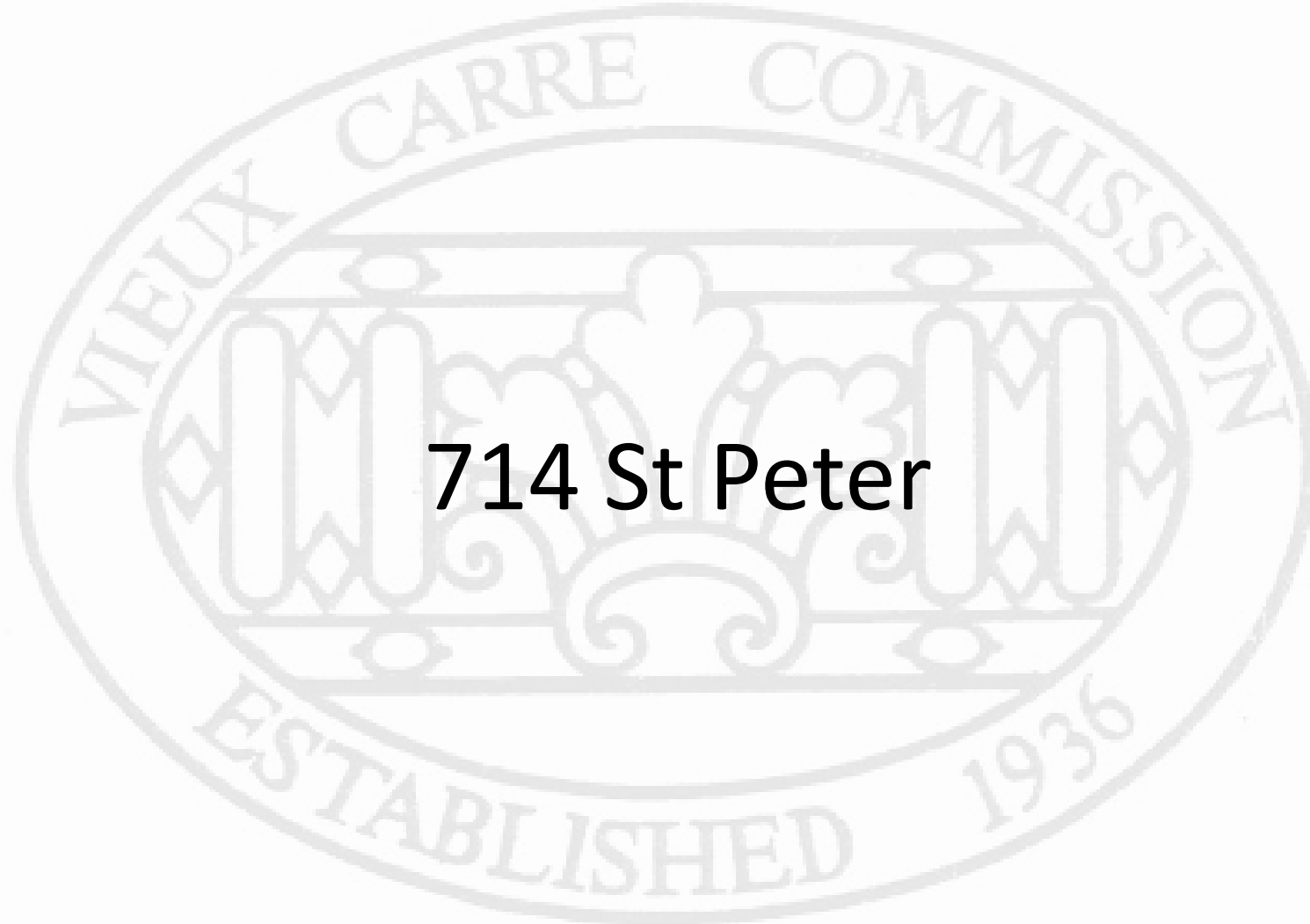


- General Notes:

<p align="center"><b>JOHN L. PALACIOS</b> Louisiana License <b>PROFESSIONAL ENGINEER</b> IN <b>CIVIL ENGINEERING</b></p>	
<p align="center"><b>12/10/2021</b></p>	
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NO.	REVISION
CD Set	12/10/2021
<p align="center">Masonry Replacement Wall</p> <p align="center">827 Ursuline Avenue New Orleans, LA 70116</p>	
Enter Job No.	X08
Foundation Plan	T
	SC
JLP / Checker	DRAWING(S)
	S100
<p align="center"><b>P A C E G R O U P L L C</b></p> <p align="center">SALES DIVISION OFFICE, SUITE 200 METairie, LA 70002      504-936-1111      www.pacegroupllc.com</p>	



714 St Peter







714 St. Peter

VCC Architectural Committee

July 13, 2021







714 St. Peter

VCC Architectural Committee

July 13, 2021







Title: 714 St. Peter  
Date: [1930s-1940s?]

press x to close

714 St. Peter

VCC Architectural Committee

July 13, 2021







714 St. Peter

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July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter – 1987 Post-Renovation  
VCC Architectural Committee



July 13, 2021







714 St. Peter- Ca. 2005  
VCC Architectural Committee

July 13, 2021







714 St. Peter

VCC Architectural Committee

July 13, 2021







714 St. Peter

VCC Architectural Committee

July 13, 2021





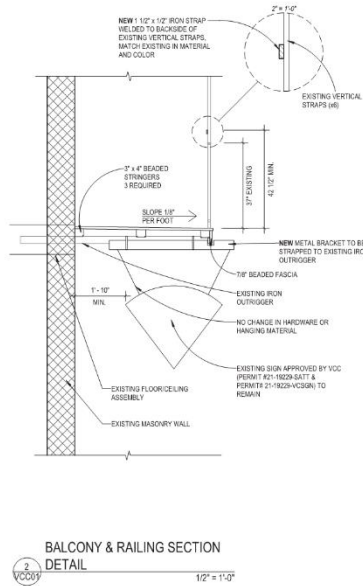


714 St. Peter

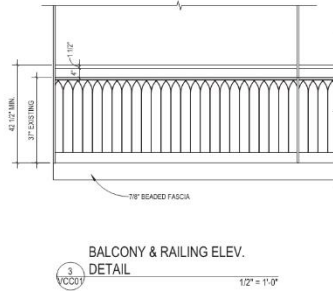
VCC Architectural Committee

July 13, 2021





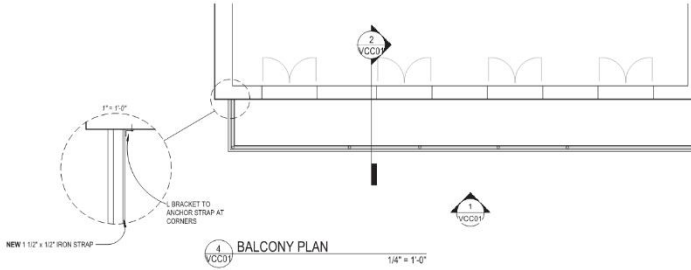
**BALCONY & RAILING SECTION DETAIL**  
1/2" = 1'-0"



**BALCONY & RAILING ELEV. DETAIL**  
1/2" = 1'-0"

#### CHANGES PROPOSED

1. ADDITION OF AN IRON STRAP ABOVE RAILING TO BRING TOTAL HEIGHT TO 42.5'.
2. RE-ATTACHING THE SIGN TO METAL BRACKET STRAPPED TO IRON OUTRIGGER AND MOVING TOWARDS STREET. ENSURE 1'-10" FROM FACE OF MASONRY.



**EXTERIOR ELEVATION - WEST**  
1/4" = 1'-0"

**W**  
**WILLIAMS ARCHITECTS**  
624 BARONNE STREET  
NEW ORLEANS, LA 70113  
504-566-0888  
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not be providing project construction administration services on this project.

*John C. Williams*



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John C. Williams Architects LLC

**FAT BOYS PIZZA**  
714 St Peter, New Orleans, LA 70130

#### -REVISIONS-

No.	Date	Scope

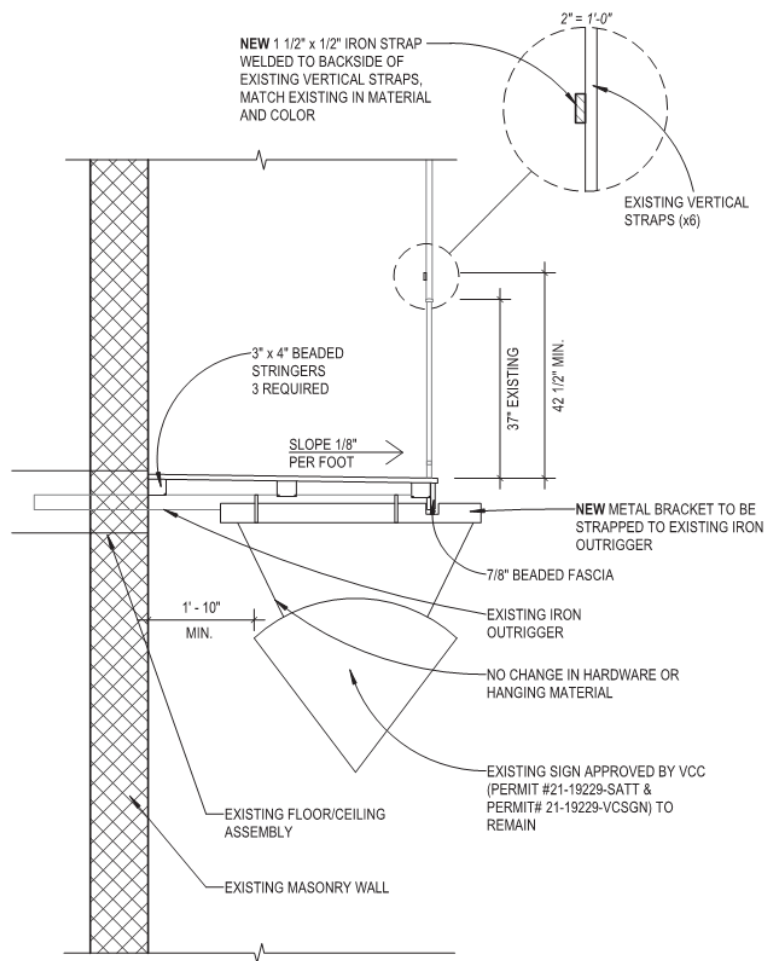
DRAWING  
EXTERIOR ELEVATIONS

DRAWING BY PC  
SCALE As indicated  
JOB No. 500001  
DATE 12.21.2021  
Sheet No.

**VCC01**



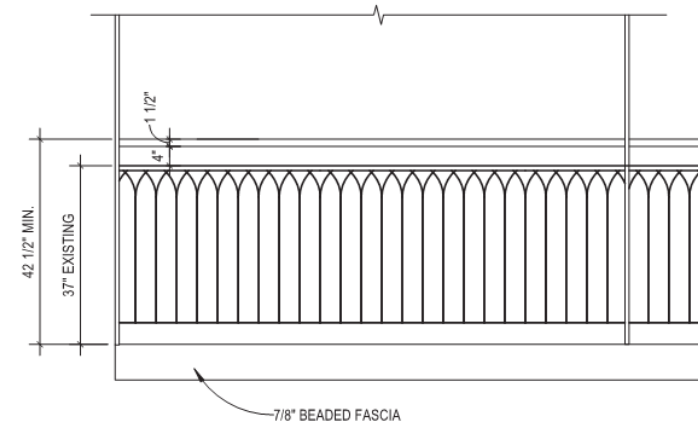




2  
VCC01

BALCONY & RAILING SECTION  
DETAIL

1/2" = 1'-0"



3  
VCC01

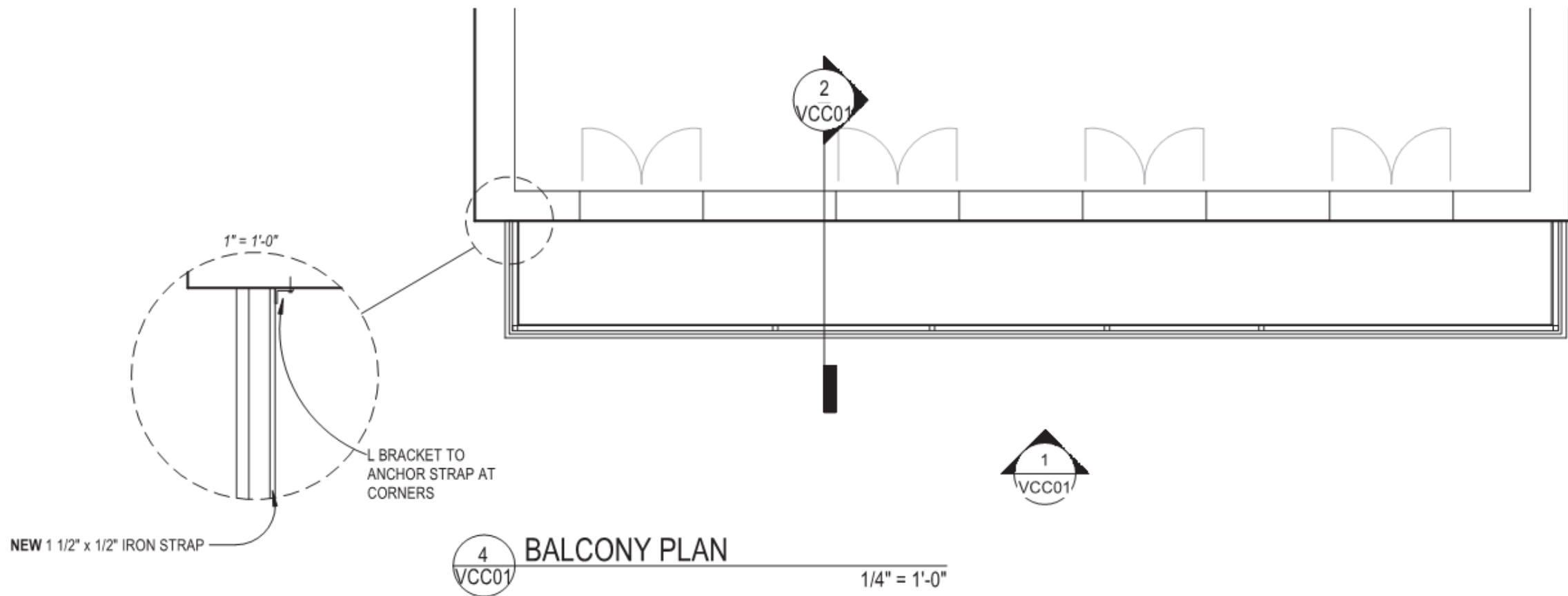
BALCONY & RAILING ELEV.  
DETAIL

1/2" = 1'-0"

## CHANGES PROPOSED

1. ADDITION OF AN IRON STRAP ABOVE RAILING TO BRING TOTAL HEIGHT TO 42.5".
2. RE-ATTACHING THE SIGN TO METAL BRACKET STRAPPED TO IRON OUTRIGGER AND MOVING TOWARDS STREET, ENSURE 1'-10" FROM FACE OF MASONRY.







714 St. Peter

VCC Architectural Committee

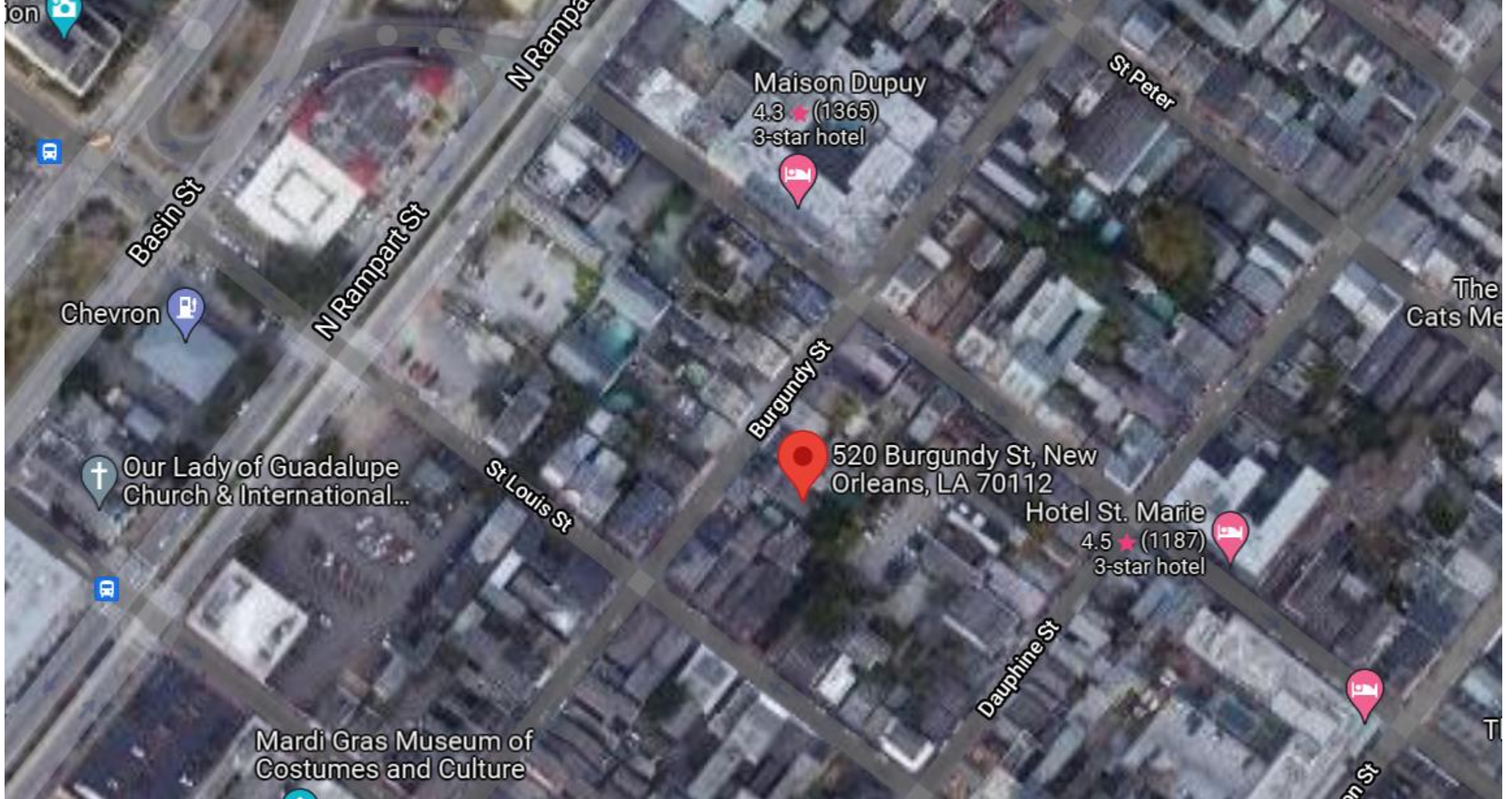
July 13, 2021





520 Burgundy





520 Burgundy

VCC Architectural Committee

January 11, 2022





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12 06 2021

January 11, 2022







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12 06 2021





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January 11, 2022





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January 11, 2022











520 Burgundy

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12/06/2021

January 11, 2022







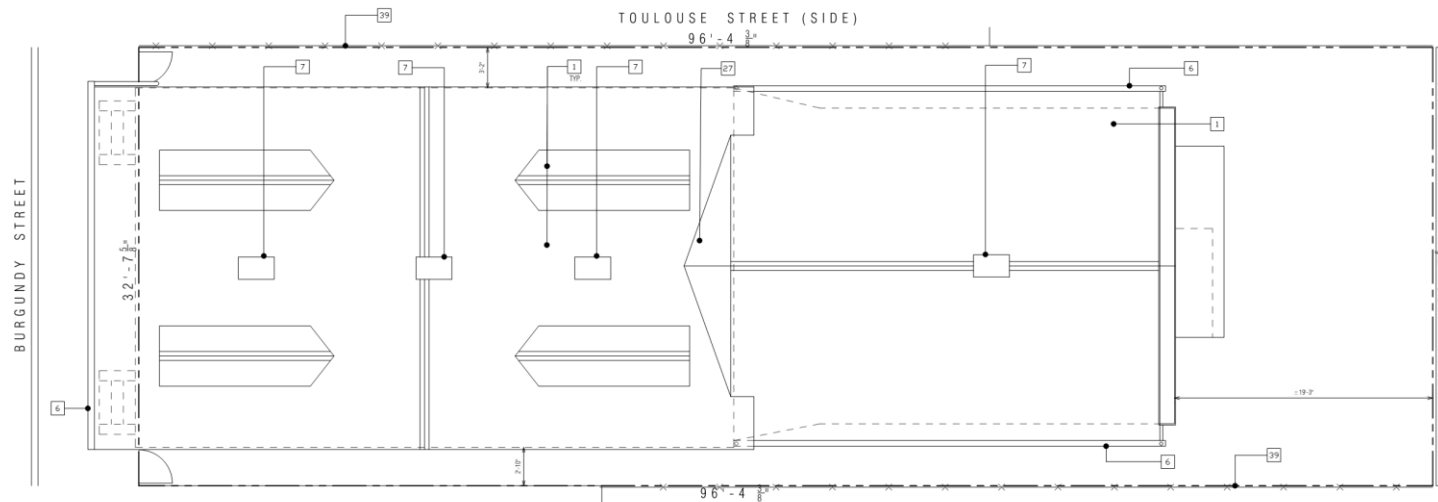
520 Burgundy

VCC Architectural Committee

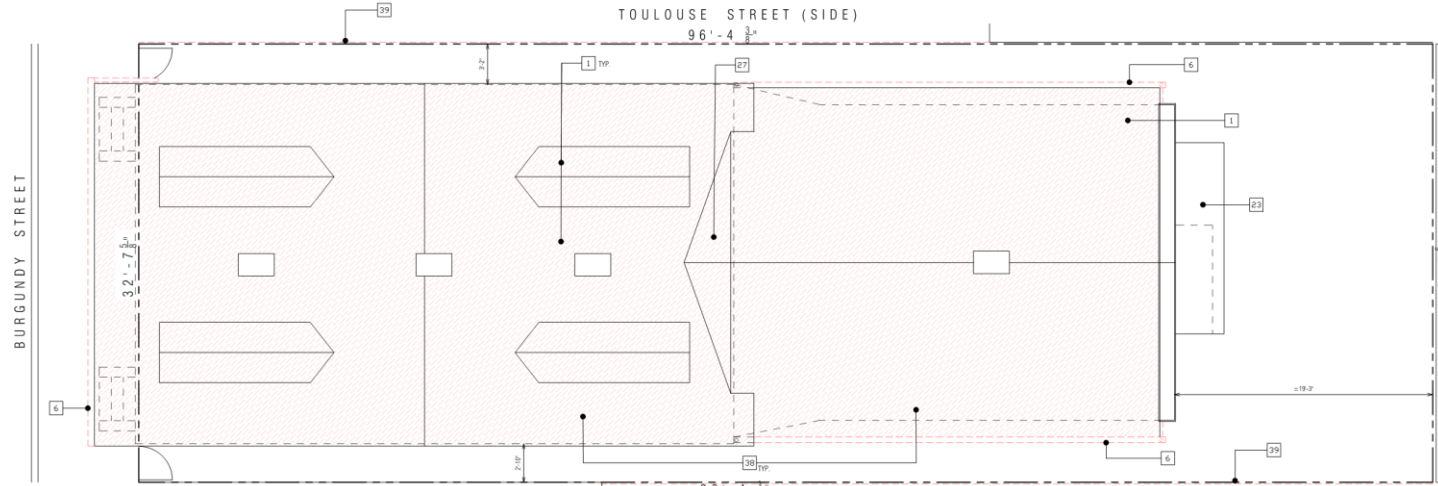
12 06 2021

January 11, 2022





PROPOSED ROOF PLAN / SITE PLAN  
SC: 1/4" = 1'-0"



EXISTING / DEMOLITION ROOF PLAN / SITE PLAN  
SC: 1/4" = 1'-0"

# KEYNOTES

- 1 REMOVE ROOF AND CORNER CHALK WALL MATERIAL AND UNDERLAYMENT. NEW SLATE ROOF & CORNER WALL OVER 30W FELT OR EQ. REPLACE SHEATHING WITH 2" SOLID PLYWOOD AS NECESSARY AS DETERMINED UPON DEMOLITION. PROVIDE AND INSTALL ALL NEW COPPER ROOF FLASHING THROUGHOUT.
- 2 WOOD TRIM AT DOORMEN: REPAIR EXISTING OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 3 REPLACE MISSING TOP SASH TO MATCH OPP. SIDE. WOOD 6 TRUE DIVIDED LITE TOP SASH. PRIME AND PAINT.
- 4 REPAIR EXISTING WOOD 6 LITE (TRUE DIVIDED LITES) BOTTOM SASH OR REPLACE TO MATCH EXISTING. PRIME AND PAINT.
- 5 REPAIR EXISTING WOOD 6 OVER 6 TRUE DIVIDED LITE DOUBLE HUNG WINDOW. OR REPLACE TO MATCH EXISTING. PRIME AND PAINT.
- 6 REMOVE AND REPLACE EXISTING TALL ROUND GUTTER WITH 4" PAINTED GALVANIZED GUTTER. TYP. REMOVE AND REPLACE EXISTING ROUND DOWNSPUTS WITH 1-1/2" DIA. (MATCH EXISTING) PAINTED GALVANIZED DOWNSPUTS. TYP.
- 7 TUCKPOINT BRICK CHIMNEY PER V.C.C. MASONRY GUIDELINES.
- 8 EXISTING STUCCO: REPAIR OR REPLACE IN-KIND AS NECESSARY PER V.C.C. MASONRY GUIDELINES. PRIME AND PAINT.
- 9 EXISTING WOOD BRACKETS: REPAIR OR REPLACE IN-KIND AS NECESSARY. PRIME AND PAINT.
- 10 EXISTING WOOD DOOR TRIM: REPAIR OR REPLACE IN-KIND AS NECESSARY. PRIME AND PAINT.
- 11 EXISTING WOOD GLASS DOOR AND 3 LITE TRANSOM TO REMAIN. REPAIR AS NECESSARY. PRIME AND PAINT. REMOVE GLASS COVERAGE. I.E. FOL-ADHESIVE PAPER. AND/OR REPLACE GLAZING WITH CLEAR GLAZING.
- 12 REMOVE (IN-SHEEDED) PICTURE WHERE APPLICABLE. PROVIDE AND INSTALL SHEEDED, CYLINDRICAL, SOFFIT OR WALL MOUNTED CYLINDRICAL PICTURE BY REMOVAL. RE. SHEET. FOR CUT SHEETS.
- 13 REMOVE COILED BARBED WIRE.
- 14 REPAIR EXISTING WOOD TAG BEADED BOARD GATE AND TRANSOM IN WOOD FRAME, OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 15 REPAIR EXISTING WOOD 1/4" TRIM BOARD OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 16 EXISTING WOOD GLASS 3 LITE FRENCH DOORS AND 3 LITE TRANSOM TO REMAIN. REPAIR AS NECESSARY. PRIME AND PAINT. REMOVE GLASS COVERAGE. I.E. FOL-ADHESIVE PAPER. AND/OR REPLACE GLAZING WITH CLEAR GLAZING.
- 17 REMOVE EXISTING SHUTTERS (WHERE APPLICABLE). PROVIDE AND INSTALL NEW PAINTED WOOD OPERABLE SHUTTERS WITH CAST IRON HOLD OPEN HINGES (RE-USE EXISTING HINGES OR PROVIDE NEW TO MATCH EXISTING AS NECESSARY). OPERABLE LOUVERS ON UPPER TWO SECTIONS. FIXED LOUVERS ON LOWER SECTION. RE. DETAIL.
- 18 EXISTING WOOD GUARDRAIL BALUSTRADE: REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 19 REMOVE AND REPLACE WOOD TRIM AND WOOD DRIP EDGE TO MATCH SIZE AND PROFILE OF EXISTING. PRIME AND PAINT.
- 20 EXISTING WOOD STOOD: REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 21 EXISTING WOOD FASCIA: REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 22 TUCKPOINT BRICK PER V.C.C. MASONRY GUIDELINES.
- 23 SHED STRUCTURE TO REMAIN. REQUEST TO DEMOLISH AND RE-CONSTRUCT WILL BE PART OF SEPARATE APPLICATION. REMOVE EXISTING HANG, UNITS AND WARD HEATERS. RELOCATED LOCATION WILL BE DETERMINED AS PART OF SEPARATE APPLICATION.
- 24 TUCKPOINT / REPAIR EXISTING BRICK PIERS PER V.C.C. MASONRY GUIDELINES.
- 25 EXISTING WOOD JAMB AND HEADER AND WOOD TAG PANEL: REPAIR OR REPLACE AS NECESSARY. PRIME AND PAINT.
- 26 REMOVE EXISTING WOOD OR HARDY LAP SIDING: PROVIDE AND INSTALL NEW WOOD LAP SIDING WITH 1-1/2" EXPOSURE AND NEW 4" WIDE CORNER TRIM. TYP. PRIME AND PAINT.
- 27 REMOVE EXISTING ROOF CHIMNEY MESSAGE AND UNDERLAYMENT. NEW FULLY ASHED TWO ROOF MESSAGE WITH UNDERLAYMENT PER ROOF MANUF. SPECIFICATIONS. REPLACE ROOF DECK AS NECESSARY AS DETERMINED DURING DEMOLITION, WITH 5/8" 6X6 PLYWOOD. NEW PAINTED GALVANIZED FLASHING.
- 28 REPAIR OR REPLACE EXISTING 6 OVER 6 WOOD DOUBLE HUNG WINDOWS WITH TRUE DIVIDED LITES AND EXISTING WOOD CASING AND LINTEL TO MATCH EXISTING. REMOVE AND REPLACE EXISTING WOOD LOUVERED SHUTTERS WITH NEW OPERABLE WOOD LOUVERED SHUTTERS (OPERABLE LOUVERS AND SHUTTERS AND CAST IRON HOLD OPEN HINGES (RE-USE HINGES OR PROVIDE NEW AS NECESSARY). PRIME AND PAINT ALL.
- 29 REMOVE IRON SECURITY GATE.
- 30 REPAIR OR REPLACE EXISTING PAIR WOOD 3-LITE FRENCH DOORS WITH TRUE DIVIDED LITES OVER PANEL AND EXISTING WOOD CASING AND LINTEL TO MATCH EXISTING. REMOVE EXISTING WOOD LOUVERED SHUTTERS. PRIME AND PAINT.
- 31 REMOVE EXISTING WOOD WINDOW: PROVIDE AND INSTALL NEW WOOD DOUBLE HUNG, 3 OVER 3 WINDOW WITH TRUE DIVIDED LITES TO FIT WITH EXISTING OPENING.
- 32 REMOVE EXISTING FRENCH DOORS AND SHUTTERS. ENLARGE WIDTH OF EXISTING OPENING, HEIGHT TO REMAIN AS IS. PROVIDE AND INSTALL NEW PAIR 4" W. WOOD 3-LITE FRENCH DOORS WITH TRUE DIVIDED LITES OVER PANEL AND NEW WOOD TRIM AS DETAILED.
- 33 REMOVE EXISTING WOOD LOUVERED SHUTTERS. PRIME AND PAINT. INSTALL STOOD AT THIS DOOR WILL BE PROPOSED AS PART OF A FUTURE APPLICATION.
- 34 REPAIR OR REPLACE EXISTING 6 OVER 6 WOOD DOUBLE HUNG WINDOWS WITH TRUE DIVIDED LITES AND NEW WOOD TRIM AS DETAILED. REMOVE AND REPLACE EXISTING WOOD LOUVERED SHUTTERS WITH NEW OPERABLE WOOD LOUVERED SHUTTERS (OPERABLE LOUVER AND SHUTTER) AND CAST IRON HOLD OPEN HINGES (RE-USE HINGES OR PROVIDE NEW AS NECESSARY). PRIME AND PAINT.
- 35 REPAIR OR REPLACE EXISTING PAIR WOOD 3-LITE CASEMENT WINDOWS AND NEW TRIM AS DETAILED. PRIME AND PAINT.
- 36 REPAIR OR REPLACE EXISTING WOOD LOUVER. PRIME AND PAINT. PROVIDE INSECT SCREENING ON INTERIOR SIDE.
- 37 REMOVE WOOD / SHEET METAL AWNINGS. TYP.
- 38 REMOVE AND RE-INSTALL ELECTRICAL SERVICE.
- 39 EXISTING WINDOW TO REMAIN. REQUEST TO REPLACE WINDOW TO MATCH ADJACENT WINDOW WILL BE INCLUDED IN SEPARATE APPLICATION.
- 40 REMOVE VEGETATION FROM BUILDING, THROUGHOUT.
- 41 REMOVE EXISTING WOOD FENCE. PROVIDE AND INSTALL NEW 2" BOARD WOOD FENCE.

PHASE ONE EXTERIOR MODIFICATIONS to  
520 Burgundy Street  
New Orleans, Louisiana 70112



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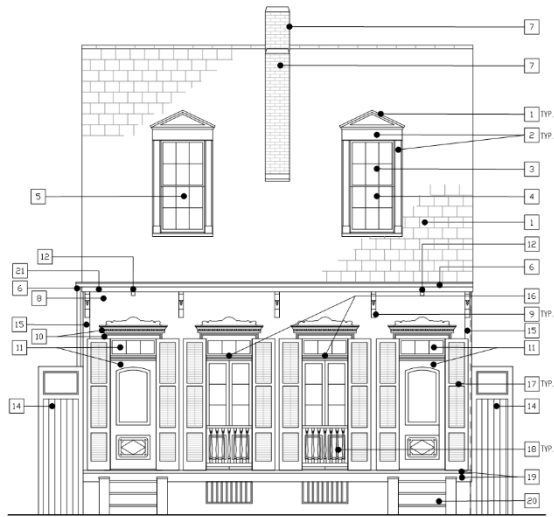
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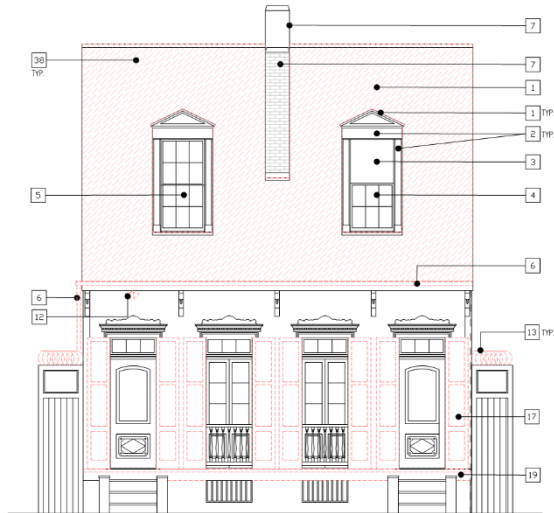
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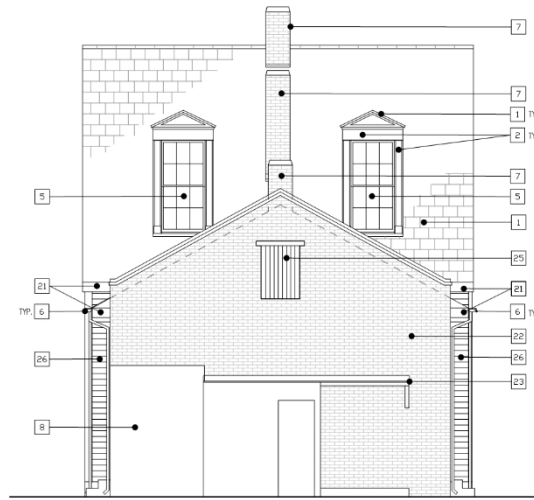




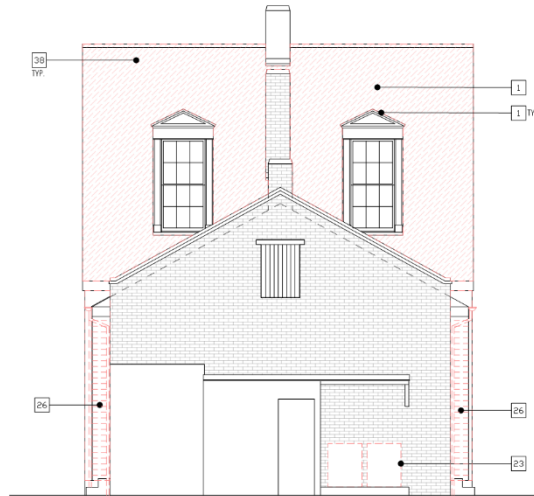
PROPOSED FRONT ELEVATION  
SC: 1/4" = 1'-0"



EXISTING / DEMOLITION FRONT ELEVATION  
SC: 1/4" = 1'-0"



PROPOSED REAR ELEVATION  
SC: 1/4" = 1'-0"



EXISTING / DEMOLITION REAR ELEVATION  
SC: 1/4" = 1'-0"

## KEYNOTES

- 1 REMOVE ROOF AND CORNER CHIMNEY WALL MATERIAL AND UNDERLAYMENT. NEW SLATE ROOF & CORNER WALL OVER 30" FELL OR ED. REPLACE SHEATHING WITH 2" COMB LUMBER AS NECESSARY AS DETERMINED UPON DEMOLITION. PROVIDE AND INSTALL ALL NEW COPPER ROOF FLASHING THROUGHOUT.
- 2 WOOD TRIM AT DORMERS: REPAIR EXISTING OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 3 REPLACE MISSING TOP SASH TO MATCH OPP. SIDE. WOOD 6 TRUE DIVIDED LITE TOP SASH. PRIME AND PAINT.
- 4 REPAIR EXISTING WOOD 6 LITE (TRUE DIVIDED LITES) BOTTOM SASH OR REPLACE TO MATCH EXISTING. PRIME AND PAINT.
- 5 REPAIR EXISTING WOOD 4 OVER 6 TRUE DIVIDED LITE DOUBLE HUNG WINDOW. OR REPLACE TO MATCH EXISTING. PRIME AND PAINT.
- 6 REMOVE AND REPLACE EXISTING WOOD TRIM AND DORMER WITH NEW PAINTED GALVANIZED STEEL. TYP. REMOVE AND REPLACE EXISTING ROUND DOWNPOUTS WITH 1/2" DIA. (MATCH EXISTING) PAINTED GALVANIZED DOWNPOUTS. TYP.
- 7 TUCKPOINT BRICK CHIMNEY PER V.C.C. MASONRY GUIDELINES.
- 8 EXISTING STUCCO. REPAIR OR REPLACE IN KIND AS NECESSARY PER V.C.C. MASONRY GUIDELINES. PRIME AND PAINT.
- 9 EXISTING WOOD BRACKETS. REPAIR OR REPLACE IN KIND AS NECESSARY. PRIME AND PAINT.
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- 11 EXISTING WOOD / GLASS 3-LITE FRENCH DOORS AND 3-LITE TRANSOM TO REMAIN. REPAIR AS NECESSARY. PRIME AND PAINT. REMOVE GLASS COVERINGS, I.E. FOR ANCHORAGE PAPER AND/OR REPLACE GLAZING WITH CLEAR GLAZING.
- 12 REMOVE OR SHIELDED FACTURE WHERE APPLICABLE. PROVIDE AND INSTALL SHIELDED CYLINDRICAL SMOOTY OR WALL MOUNTED CYLINDRICAL PICTURE BY REMOVAL. RE-SHEET FOR CLIP SHEETS.
- 13 REMOVE COILED BARBED WIRE.
- 14 REPAIR EXISTING WOOD TWO BEADED BOARD GATE AND TRANSOM IN WOOD FRAME. OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 15 REPAIR EXISTING WOOD 1-6 TRIM BOARD OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 16 EXISTING WOOD / GLASS 3-LITE FRENCH DOORS AND 3-LITE TRANSOM TO REMAIN. REPAIR AS NECESSARY. PRIME AND PAINT. REMOVE GLASS COVERINGS, I.E. FOR ANCHORAGE PAPER AND/OR REPLACE GLAZING WITH CLEAR GLAZING.
- 17 REMOVE EXISTING SPINDLES WHERE APPLICABLE. PROVIDE AND INSTALL NEW PAINTED WOOD OPERABLE SHUTTERS WITH CAST IRON HOLD OPEN HINGES (RE-USE EXISTING HINGES OR PROVIDE NEW TO MATCH EXISTING AS NECESSARY). OPERABLE LOUVERS ON UPPER TWO SECTIONS. FIXED LOUVERS ON LOWER SECTIONS. I.E. DETAIL.
- 18 EXISTING WOOD GUARDRAIL. REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 19 REMOVE AND REPLACE WOOD TRIM AND WOOD DRIP EDGE TO MATCH SIZE AND PROFILE OF EXISTING. PRIME AND PAINT.
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- 26 REMOVE EXISTING WOOD OR HARDY LAP SIDING. PROVIDE AND INSTALL NEW WOOD LAP SIDING WITH +/- 5" EXPOSURE AND NEW 6" WIDE CORNER TRIM. TYP. PRIME AND PAINT.
- 27 REMOVE EXISTING ROOF CROWN MEMBRANE AND UNDERLAYMENT. NEW FELLY ADHERED TPO ROOF MEMBRANE WITH UNDERLAYMENT PER ROOF MANUF. SPECIFICATIONS. REPLACE ROOF DECK AS NECESSARY AS DETERMINED DURING DEMOLITION. WITH 5/8" CDX PLYWOOD. NEW PAINTED GALVANIZED FLASHING.
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- 29 REMOVE IRON SECURITY GATE.
- 30 REPAIR OR REPLACE EXISTING PAIR WOOD 3-LITE FRENCH DOORS WITH TRUE DIVIDED LITES OVER PANEL AND EXISTING WOOD CASING AND LINTEL TO MATCH EXISTING. REMOVE EXISTING WOOD LOUVERED SHUTTERS. PRIME AND PAINT.
- 31 REMOVE EXISTING WOOD WINDOW. PROVIDE AND INSTALL NEW WOOD. DOUBLE HUNG. 3 OVER 3 WINDOW WITH TRUE DIVIDED LITES TO FIT WITHIN EXISTING OPENING.
- 32 REMOVE EXISTING FRENCH DOORS AND SHUTTERS. ENLARGE MOUTH OF EXISTING OPENING. HEIGHT TO REMAIN AS-IS. PROVIDE AND INSTALL NEW PAIR 1-4" W. WOOD 3-LITE FRENCH DOORS WITH TRUE DIVIDED LITES OVER PANEL AND NEW WOOD TRIM AS DETAILED.
- 33 REMOVE EXISTING WOOD LOUVERED SHUTTERS. PRIME AND PAINT. INSTEAD, STOOP AT THIS DOOR WILL BE PROPOSED AS PART OF A FUTURE APPLICATION. REPLACE EXISTING 4 OVER 6 WOOD DOUBLE HUNG WINDOWS WITH TRUE DIVIDED LITES AND NEW WOOD TRIM AS DETAILED. REMOVE AND REPLACE EXISTING WOOD LOUVERED SHUTTERS WITH NEW OPERABLE WOOD LOUVERED SHUTTERS. OPERABLE LOUVER AND SHUTTER AND CAST IRON HOLD OPEN HINGES (RE-USE HINGES OR PROVIDE NEW AS NECESSARY). PRIME AND PAINT.
- 34 REPAIR OR REPLACE EXISTING PAIR WOOD 3-LITE CASEMENT WINDOWS AND NEW TRIM AS DETAILED. PRIME AND PAINT.
- 35 REPAIR OR REPLACE EXISTING WOOD LOUVER. PRIME AND PAINT. PROVIDE INSECT SCREENING ON INTERIOR SIDE.
- 36 REMOVE WOOD / SHEET METAL ANNINGS, TYP.
- 37 REMOVE AND RE-INSTALL ELECTRICAL SERVICE.
- 38 EXISTING WINDOW TO REMAIN. REQUEST TO REPLACE WINDOW TO MATCH ADJACENT WINDOW WILL BE INCLUDED IN SEPARATE APPLICATION.
- 39 REMOVE VEGETATION FROM BUILDING, THROUGHOUT.
- 40 REMOVE EXISTING WOOD FENCE. PROVIDE AND INSTALL NEW 7-BOARD WOOD FENCE.

520 Burgundy

VCC Architectural Committee

PHASE ONE EXTERIOR MODIFICATIONS to  
520 Burgundy Street  
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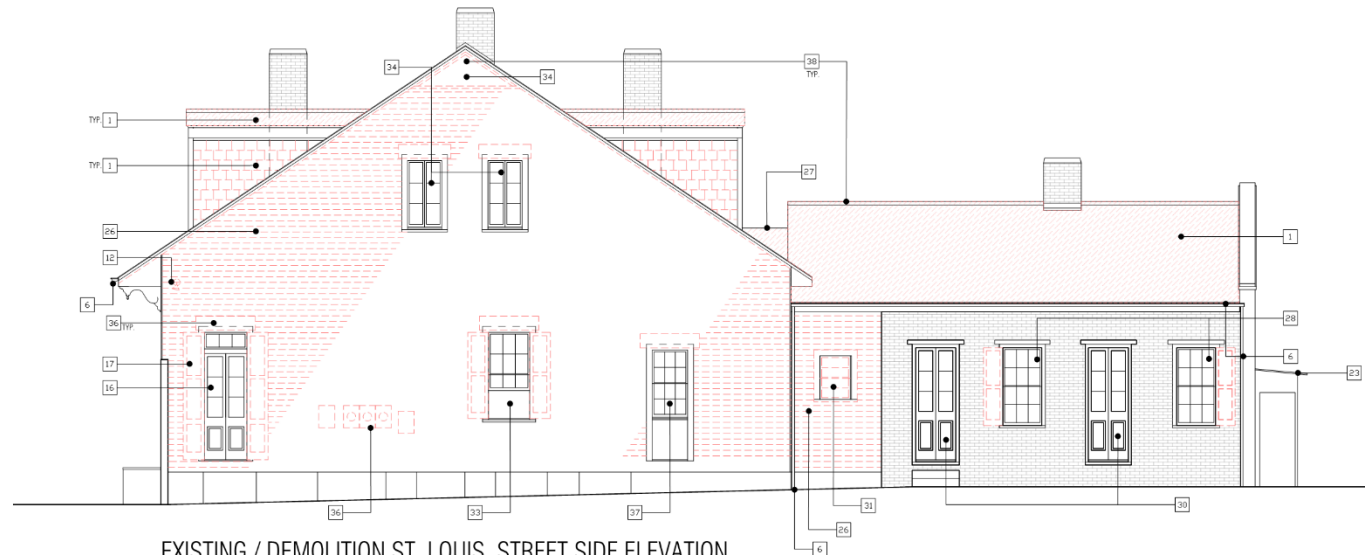
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January 11, 2022



PROPOSED ST. LOUIS STREET SIDE ELEVATION  
SC: 1/4" = 1'-0"



EXISTING / DEMOLITION ST. LOUIS STREET SIDE ELEVATION  
SC: 1/4" = 1'-0"

## KEYNOTES

1	REMOVE ROOF AND DORMER CHIMNEY WALL MATERIAL AND UNDERLAYMENT. NEW SLATE ROOF & DORMER WALL OVER 30"X PLY OR EQ.; REPLACE SHEATHING WITH 5/8" CDX PLYWOOD AS NECESSARY AS DETERMINED UPON DEMOLITION. PROVIDE AND INSTALL ALL NEW COPPER ROOF FLASHING THROUGHOUT.
2	WOOD TRIM AT DORMERS: REPAIR EXISTING OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
3	REPLACE MISSING TOP SASH TO MATCH OPP. SIDE. WOOD & TRUE DIVIDED LITE TOP SASH. PRIME AND PAINT.
4	REPAIR EXISTING WOOD 6 LITE (TRUE DIVIDED LITES) BOTTOM SASH OR REPLACE TO MATCH EXISTING. PRIME AND PAINT.
5	REPAIR EXISTING WOOD 6 OVER 6 TRUE DIVIDED LITE DOUBLE HUNG WINDOW, OR REPLACE TO MATCH EXISTING. PRIME AND PAINT.
6	REMOVE AND REPLACE EXISTING HALF ROUND GUTTER WITH 1" PAINTED GALVANIZED GUTTER, TYP. REMOVE AND REPLACE EXISTING ROUND DOWNSPOUTS WITH +/- 3" DIA MATCH EXISTING PAINTED GALVANIZED DOWNSPOUTS, TYP.
7	TUCKPOINT BRICK CHIMNEY PER V.C.C. MASONRY GUIDELINES.
8	EXISTING STUCCO. REPAIR OR REPLACE IN KIND AS NECESSARY PER V.C.C. MASONRY GUIDELINES. PRIME AND PAINT.
9	EXISTING WOOD BRACKETS. REPAIR OR REPLACE IN KIND AS NECESSARY. PRIME AND PAINT.
10	EXISTING WOOD DOOR TRIM. REPAIR OR REPLACE IN KIND AS NECESSARY. PRIME AND PAINT.
11	EXISTING WOOD 7 GLASS DOOR AND 3 LITE TRANSOM TO REMAIN. REPAIR AS NECESSARY. PRIME AND PAINT. REMOVE GLASS COVERINGS, I.E. FLOOR ADHESIVE PAPER, AND/OR REPLACE GLAZING WITH CLEAR GLAZING.
12	REMOVE OR SPECIES TYPE OF WINDOW APPLICABLE. PROVIDE AND INSTALL SHIELDS, CYCLOPSICAL, SHIPPY OR WALL MOUNTED CYCLOPSICAL. FUTURE BY FIRMWORK, OR SHIELD - FOR CUP DIRECTS.
13	REMOVE COILED BARRED WIRE.
14	REPAIR EXISTING WOOD TAG BEADED BOARD GATE AND TRANSOM IN WOOD FRAME, OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
15	REPAIR EXISTING WOOD 14" TRIM BOARD OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
16	EXISTING WOOD 7 GLASS 3 LITE FRENCH DOORS AND 3 LITE TRANSOM TO REMAIN. REPAIR AS NECESSARY. PRIME AND PAINT. REMOVE GLASS COVERINGS, I.E. FLOOR ADHESIVE PAPER, AND/OR REPLACE GLAZING WITH CLEAR GLAZING.
17	REMOVE EXISTING SHUTTERS (WHERE APPLICABLE). PROVIDE AND INSTALL NEW PAINTED WOOD OPERABLE SHUTTERS WITH CAST IRON HOLD OPEN HINGES. USE EXISTING HINGES OR PROVIDE NEW TO MATCH EXISTING AS NECESSARY. OPERABLE LOUVERS ON UPPER TWO SECTIONS. FIXED LOUVERS ON LOWER SECTION. SEE DETAIL.
18	EXISTING WOOD GUARNERAL BALLSTRADE. REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
19	REMOVE AND REPLACE WOOD TRIM AND WOOD DROP EDGE TO MATCH SIZE AND PROFILE OF EXISTING. PRIME AND PAINT.
20	EXISTING WOOD STOOP. REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
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22	TUCKPOINT BRICK PER V.C.C. MASONRY GUIDELINES.
23	SAVED STRUCTURE TO REMAIN. REQUEST TO DEMOLISH AND RE-CONSTRUCT WILL BE PART OF SEPARATE APPLICATION. REMOVE EXISTING HVAC UNITS AND WATER HEATERS. RELOCATED LOCATION WILL BE DETERMINED AS PART OF SEPARATE APPLICATION.
24	TUCKPOINT / REPAIR EXISTING BRICK PIERS PER V.C.C. MASONRY GUIDELINES.
25	EXISTING WOOD JAMB AND HEADER AND WOOD TAG PANEL. REPAIR OR REPLACE AS NECESSARY. PRIME AND PAINT.
26	REMOVE EXISTING WOOD OR HARDWOOD CAP SIDING. PROVIDE AND INSTALL NEW WOOD CAP SIDING WITH +/- 3" EXPOSURE AND NEW 4" WIDE CORNER TRIM, TYP. PRIME AND PAINT.
27	REMOVE EXISTING ROOF CORNER MEMBRANE AND UNDERLAYMENT. NEW FULLY ADHERED TPO ROOF MEMBRANE WITH UNDERLAYMENT PER ROOF MANUF. SPECIFICATIONS. REPLACE ROOF DECK AS NECESSARY AS DETERMINED DURING DEMOLITION, WITH 5/8" CDX PLYWOOD. NEW PAINTED GALVANIZED FLASHING.
28	REPAIR OR REPLACE EXISTING 6 OVER 6 WOOD DOUBLE HUNG WINDOWS WITH TRUE DIVIDED LITES AND EXISTING WOOD CASING AND LINTEL TO MATCH EXISTING. REMOVE AND REPLACE EXISTING WOOD LOUVERED SHUTTERS WITH NEW OPERABLE WOOD LOUVERED SHUTTERS (OPERABLE LOUVERS AND SHUTTER HINGES CAST IRON HOLD OPEN HINGES) USE EXISTING OR PROVIDE NEW AS NECESSARY. PRIME AND PAINT ALL.
29	REMOVE IRON SECURITY GATE.
30	REPAIR OR REPLACE EXISTING PAIR WOOD 3 LITE FRENCH DOORS WITH TRUE DIVIDED LITES OVER PANEL AND EXISTING WOOD CASING AND LINTEL TO MATCH EXISTING. REMOVE EXISTING WOOD LOUVERED SHUTTERS. PRIME AND PAINT.
31	REMOVE EXISTING WOOD WINDOW. PROVIDE AND INSTALL NEW WOOD DOUBLE HUNG 3 OVER 3 WINDOW WITH TRUE DIVIDED LITES TO FIT WITHIN EXISTING OPENING.
32	REMOVE EXISTING FRENCH DOORS AND SHUTTERS. ENLARGE WIDTH OF EXISTING OPENING. HEIGHT TO REMAIN AS-IS. PROVIDE AND INSTALL NEW PAIR 4"X 6" WOOD 3 LITE FRENCH DOORS WITH TRUE DIVIDED LITES OVER PANEL AND NEW WOOD TRIM AS DETAILED. REMOVE EXISTING WOOD LOUVERED SHUTTERS. PRIME AND PAINT. NOTE: STOOP AT THIS DOOR WILL BE PROPOSED AS PART OF A FUTURE.
33	REMOVE AND REPLACE EXISTING 6 OVER 6 WOOD DOUBLE HUNG WINDOWS WITH TRUE DIVIDED LITES. NEW WOOD TRIM AS DETAILED. REMOVE AND REPLACE EXISTING WOOD LOUVERED SHUTTERS WITH NEW OPERABLE WOOD LOUVERED SHUTTERS (OPERABLE LOUVERS AND SHUTTER HINGES CAST IRON HOLD OPEN HINGES) USE EXISTING OR PROVIDE NEW AS NECESSARY. PRIME AND PAINT.
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6238 Argonne Boulevard  
New Orleans, Louisiana 70124  
504.480.5870 harmon@lkharmarchitects.com

12.22.2021

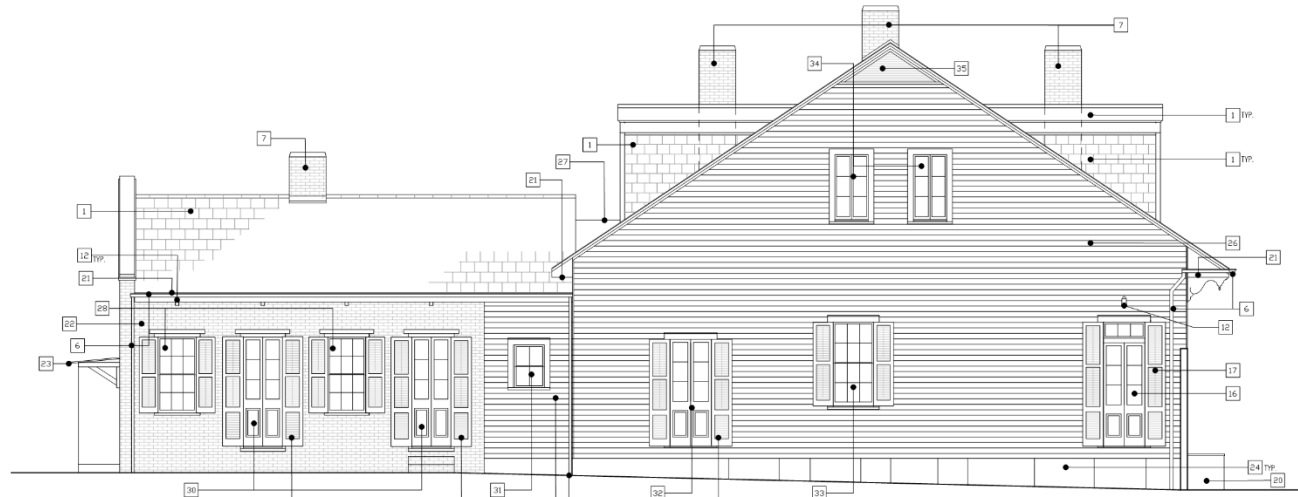
A3  
LKH#2521.2



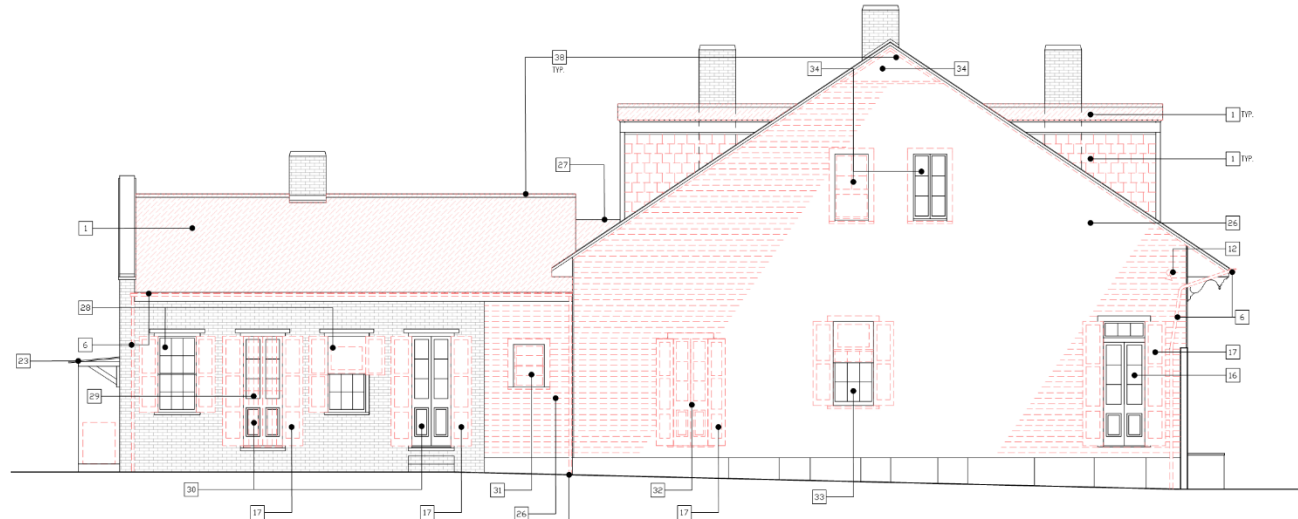
520 Burgundy

VCC Architectural Committee

January 11, 2022



PROPOSED TOULOUSE STREET SIDE ELEVATION  
SC: 1/4" = 1'-0"



EXISTING / DEMOLITION TOULOUSE STREET SIDE ELEVATION  
SC: 1/4" = 1'-0"

# KEYNOTES

- 1 REMOVE ROOF LINE DORMER CHIMNEY WALL MATERIAL AND TRIM ELEMENT. NEW GABLE ROOF & DORMER WALL CURY NEW TRIM OR ECL. REPLACE SHEATHING WITH 1/2" CDX PLYWOOD AS NECESSARY AS DETERMINED UPON DEMOLITION. PROVIDE AND INSTALL ALL NEW CORNER BOARDS FLASHING THROUGHOUT.
- 2 WOOD TRIM AT DORMERS: REPAIR EXISTING OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 3 REPLACE MISSING TOP SASH TO MATCH OPP SIDE. WOOD 6 TRUE DIVIDED LITE TOP SASH. PRIME AND PAINT.
- 4 REPAIR EXISTING WOOD 6 LITE TRUE DIVIDED LITES BOTTOM SASH OR REPLACE TO MATCH EXISTING. PRIME AND PAINT.
- 5 REPAIR EXISTING WOOD 6 OVER 6 TRUE DIVIDED LITE DOUBLE HUNG WINDOW OR REPLACE TO MATCH EXISTING. PRIME AND PAINT.
- 6 REMOVE AND REPLACE EXISTING TRAIL TRIM WITH 1/2" FINISHED GALVANIZED SUTURE TRIM. REMOVE AND REPLACE EXISTING ROUND CORNERPOITS WITH 1/2" DIA (MATCH EXISTING) PAINTED GALVANIZED CORNERPOITS. TRIM.
- 7 TUCKPOINT BRICK CHIMNEY PER V.C.C. MASONRY GUIDELINES.
- 8 EXISTING STUCCO. REPAIR OR REPLACE IN-KIND AS NECESSARY PER V.C.C. MASONRY GUIDELINES. PRIME AND PAINT.
- 9 EXISTING WOOD BRACKETS. REPAIR OR REPLACE IN-KIND AS NECESSARY. PRIME AND PAINT.
- 10 EXISTING WOOD DOOR TRIM. REPAIR OR REPLACE IN-KIND AS NECESSARY. PRIME AND PAINT.
- 11 EXISTING WOOD 1/2" CAS DOOR AND 1/2" LITE TRANSOM TO REMOVE. REPAIR AS NECESSARY. PRIME AND PAINT. REMOVE GLASS COVERINGS, I.E. POLYURETHANE PAPER AND/OR REPLACE GLAZING WITH CLEAR GLAZING.
- 12 REMOVE GLASS COVERINGS, I.E. POLYURETHANE PAPER AND/OR REPLACE GLAZING WITH CLEAR GLAZING.
- 13 REMOVE EXISTING SHUTTERS (WHEN APPLICABLE). REMOVE AND INSTALL NEW PAINTED WOOD OPERABLE SHUTTERS WITH CAST IRON HOLD OPEN HINGES (RE-USE EXISTING HINGES OR PROVIDE NEW TO MATCH EXISTING AS NECESSARY). OPERABLE COVERS ON UPPER TWO EXISTING JIBBED LOUVER (LOWER SECTION). RE-DETAIL.
- 14 EXISTING WOOD GUARDRAIL BALUSTRADE. REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 15 REMOVE AND REPLACE WOOD TRIM AND WOOD Drip EDGE TO MATCH SIZE AND PROFILE OF EXISTING. PRIME AND PAINT.
- 16 EXISTING WOOD STOOD. REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 17 EXISTING WOOD FASADA. REPAIR OR REPLACE AS NECESSARY TO MATCH EXISTING. PRIME AND PAINT.
- 18 TUCKPOINT BRICK PER V.C.C. MASONRY GUIDELINES.
- 19 SHED STRUCTURE TO REMAIN. REQUEST TO DEMOLISH AND RE-CONSTRUCT WILL BE PART OF SEPARATE APPLICATION.
- 20 REMOVE EXISTING HVAC UNITS AND WATER HEATING. RELOCATED LOCATION WILL BE DETERMINED AS PART OF SEPARATE APPLICATION.
- 21 TUCKPOINT / REPAIR EXISTING BRICK PER V.C.C. MASONRY GUIDELINES.
- 22 EXISTING WOOD JAMB AND HEADER AND WOOD TAG PANEL. REPAIR OR REPLACE AS NECESSARY. PRIME AND PAINT.
- 23 REMOVE EXISTING WOOD OR HARDEN LIP SCENE. PROVIDE AND INSTALL NEW WOOD LIP SCENE WITH 1/2" 3" EXPOSURE AND NEW 4" WIDE CORNER TRIM. TRIM. PRIME AND PAINT.
- 24 REMOVE EXISTING ROOF CHIMNEY WEATHERBOARD AND UNDERLAYMENT. NEW FULLY JOINTED 1/2" ROOF WEATHERBOARD WITH UNDERLAYMENT PER ROOF MANUF. SPECIFICATIONS. REPLACE ROOF DECK AS NECESSARY AS DETERMINED DURING DEMOLITION WITH 1/2" CDX PLYWOOD. NEW PAINTED GALVANIZED FLASHING.
- 25 REPAIR OR REPLACE EXISTING 6 OVER 6 WOOD DOUBLE HUNG WINDOWS WITH TRUE DIVIDED LITES AND EXISTING WOOD CASING AND UNITS TO MATCH EXISTING. REMOVE AND REPLACE EXISTING WOOD LOUVERED SHUTTERS WITH NEW OPERABLE WOOD LOUVERED SHUTTERS. OPERABLE LOUVERS AND SHUTTERS AND CAST IRON HOLD OPEN HINGES (RE-USE HINGES OR PROVIDE NEW AS NECESSARY). PRIME AND PAINT ALL.
- 26 REMOVE REM SECURITY GATE.
- 27 REPAIR OR REPLACE EXISTING PAIR WOOD 1/2" LITE FRENCH DOORS WITH TRUE DIVIDED LITES OVER PANEL AND EXISTING WOOD CASING AND UNITS TO MATCH EXISTING. REMOVE EXISTING WOOD LOUVERED SHUTTERS. PRIME AND PAINT.
- 28 REMOVE EXISTING WOOD WINDOW. PROVIDE AND INSTALL NEW WOOD DOUBLE HUNG 3 OVER 3 WINDOW WITH TRUE DIVIDED LITES TO FIT WITHIN EXISTING OPENING.
- 29 REMOVE EXISTING FRENCH DOORS AND SHUTTERS. ENLARGE WIDTH OF EXISTING OPENING HEIGHT TO REMAIN AS-IS. PROVIDE AND INSTALL NEW PAIR 1-4" W. WOOD 1/2" LITE FRENCH DOORS WITH TRUE DIVIDED LITES OVER PANEL AND NEW WOOD TRIM AS DETAILED.
- 30 REMOVE EXISTING WOOD LOUVERED SHUTTERS. PRIME AND PAINT. NOTE: GROUP AT THIS ELEVATION WILL BE PROPOSED AS PART OF A FUTURE APPLICATION/REPLACE EXISTING 6 OVER 6 WOOD DOUBLE HUNG WINDOWS WITH TRUE DIVIDED LITES AND NEW WOOD TRIM AS DETAILED. REMOVE AND REPLACE EXISTING WOOD LOUVERED SHUTTERS WITH NEW OPERABLE WOOD LOUVERED SHUTTERS. OPERABLE LOUVER AND SHUTTERS AND CAST IRON HOLD OPEN HINGES (RE-USE HINGES OR PROVIDE NEW AS NECESSARY). PRIME AND PAINT.
- 31 REPAIR OR REPLACE EXISTING PAIR WOOD 1/2" LITE CASEMENT WINDOWS AND NEW TRIM AS DETAILED. PRIME AND PAINT.
- 32 REPAIR OR REPLACE EXISTING WOOD LOUVER. PRIME AND PAINT. PROVIDE ROCKET SCREENING ON INTERIOR SIDE.
- 33 REMOVE WOOD / SHEET METAL RIVINGS. TRIM.
- 34 REMOVE AND RE-INSTALL ELECTRICAL SERVICE.
- 35 EXISTING WINDOW TO REMAIN. REQUEST TO REPLACE WINDOW TO MATCH ADJACENT WINDOW WILL BE INCLUDED IN SEPARATE APPLICATION.
- 36 REMOVE VEGETATION FROM BUILDING THROUGHOUT.
- 37 REMOVE EXISTING WOOD FENCE. PROVIDE AND INSTALL NEW 1" BOARD WOOD FENCE.

PHASE ONE EXTERIOR MODIFICATIONS to  
520 Burgundy Street  
New Orleans, Louisiana 70112

**LKHarmon Architects**  
A Professional Architectural Corporation  
6030 Argonne Boulevard  
New Orleans, Louisiana 70124  
504.485.5870 harmon@lkharmearchitects.com

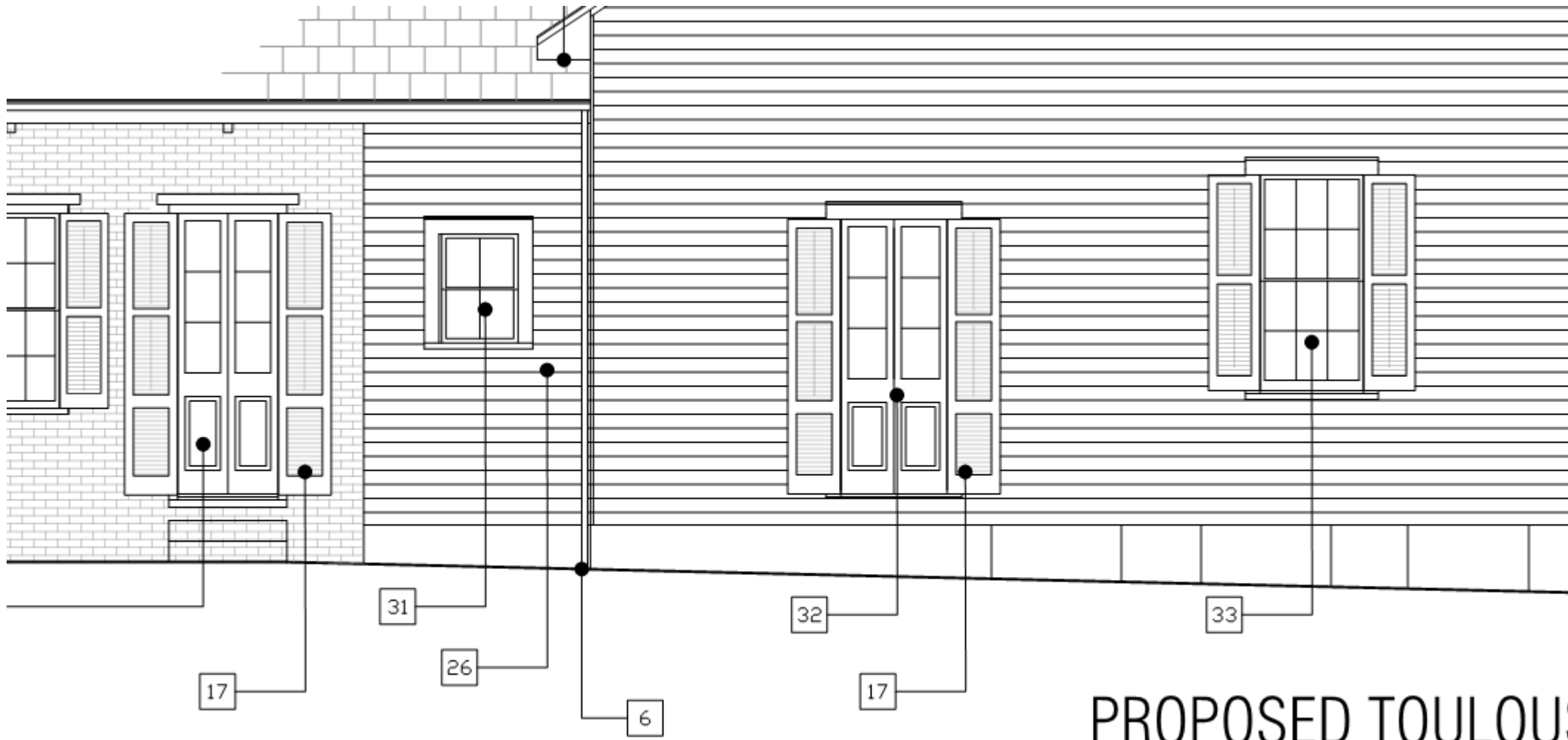
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A4

LKH#2521.2





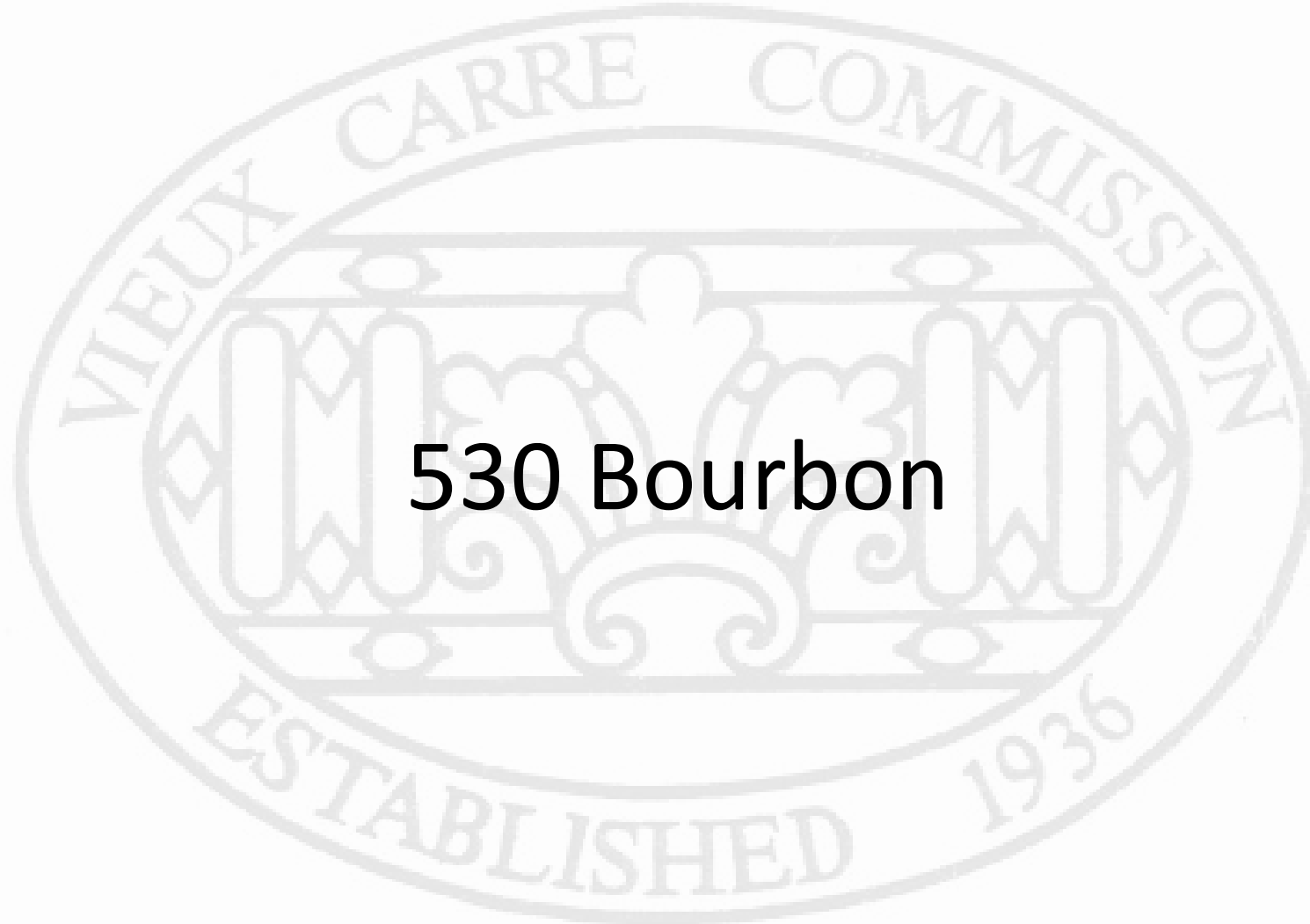


PROPOSED TOULOU  
SC: 1/4" = 1'-0"

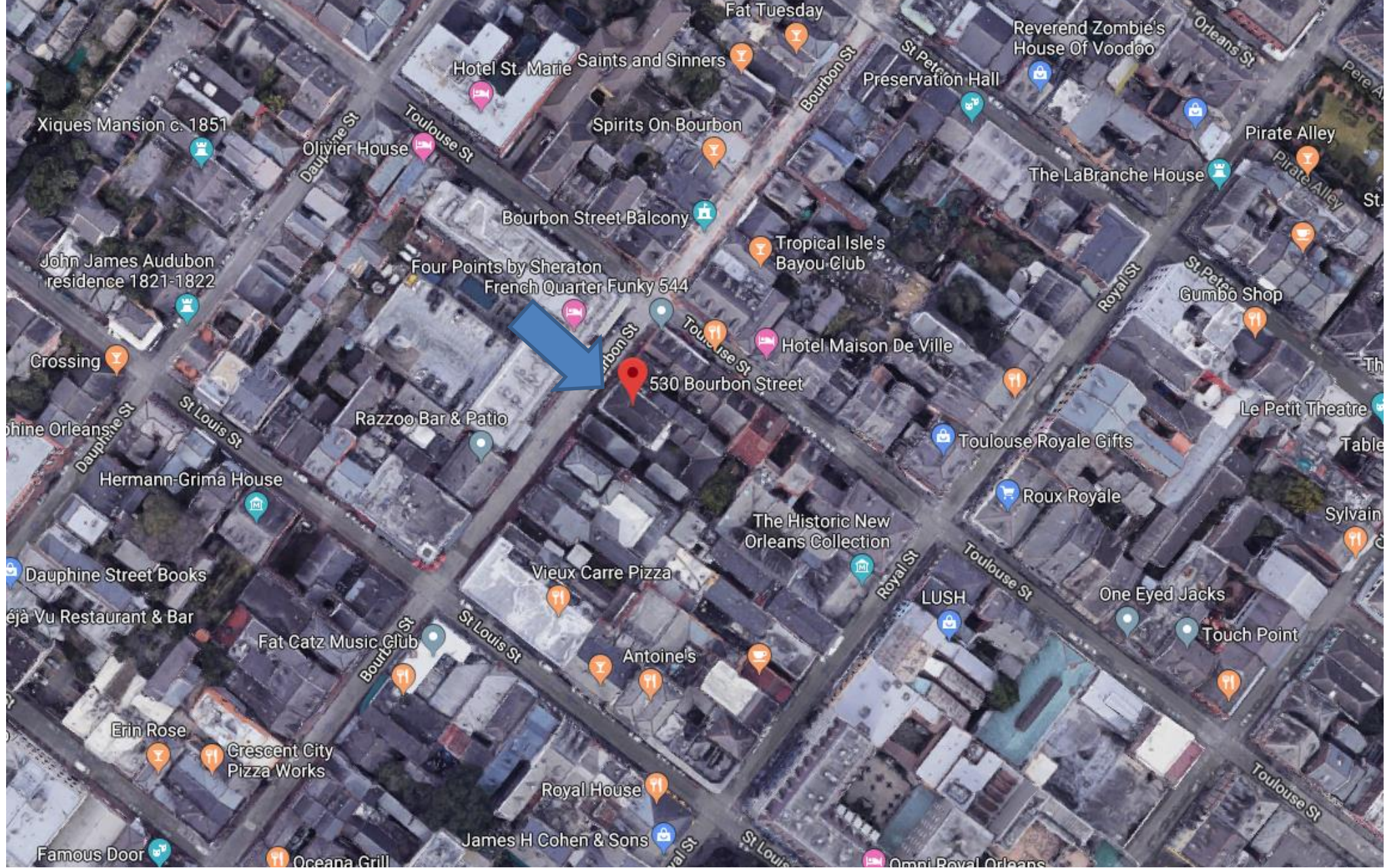
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# Appeals and Violations

530 Bourbon







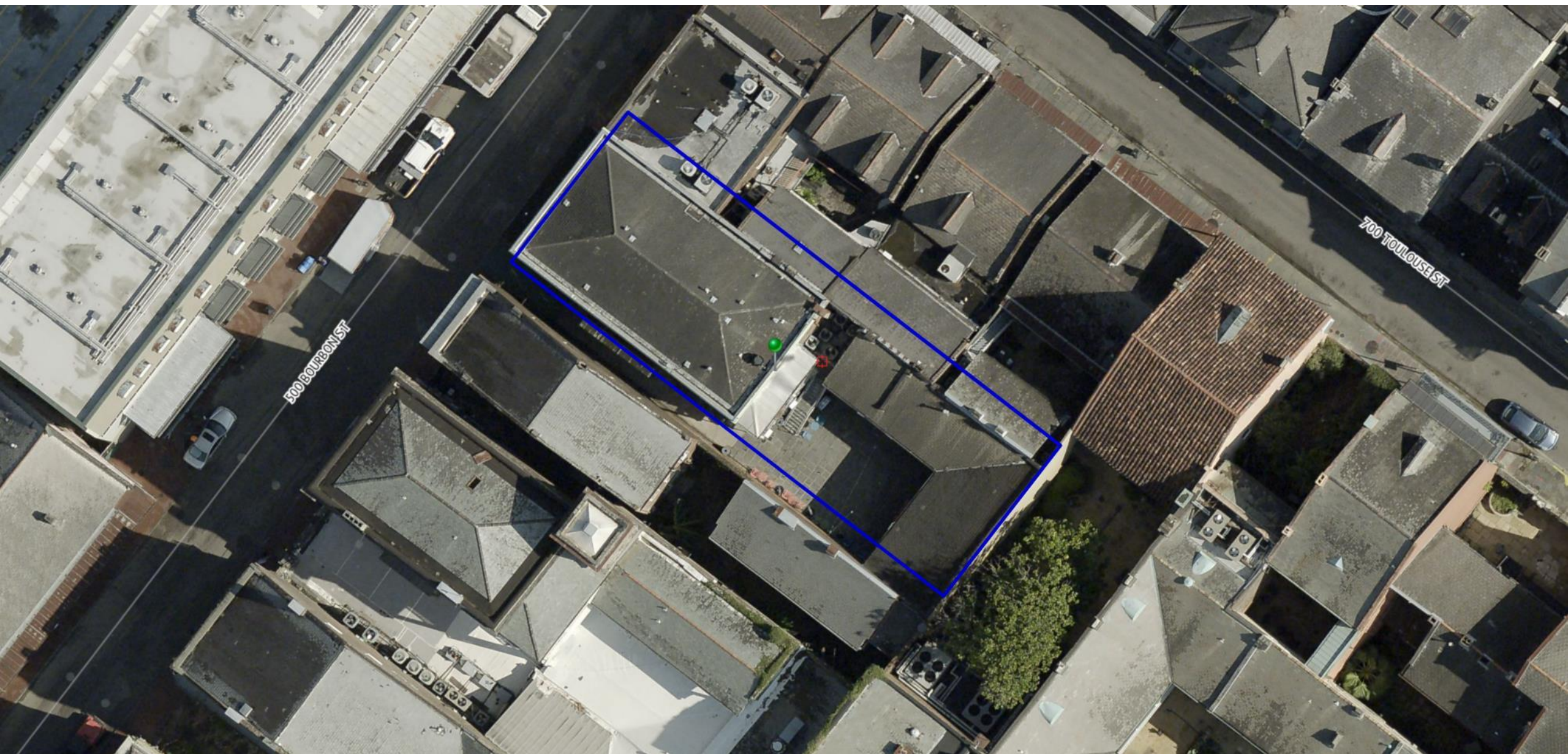
530-34 Bourbon

VCC Architectural Committee

December 7, 2021







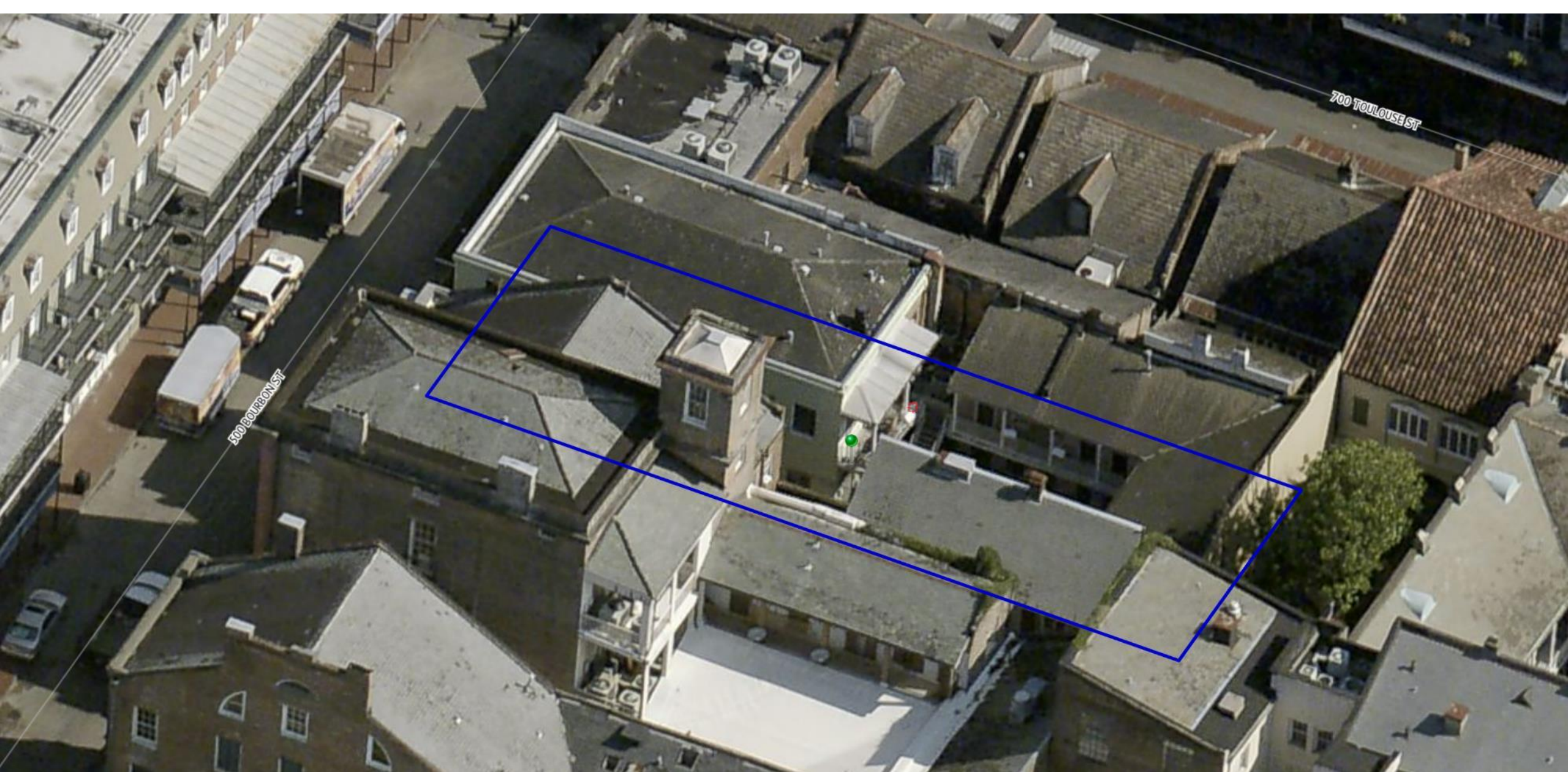
530-34 Bourbon

VCC Architectural Committee

December 7, 2021







530-34 Bourbon

VCC Architectural Committee

December 7, 2021







530-34 Bourbon

VCC Architectural Committee

December 7, 2021





530-34 Bourbon

VCC Architectural Committee

December 7, 2021





530-34 Bourbon

VCC Architectural Committee

December 7, 2021







530-34 Bourbon

VCC Architectural Committee

December 7, 2021





530-34 Bourbon

VCC Architectural Committee

December 7, 2021







530-34 Bourbon

VCC Architectural Committee

December 7, 2021







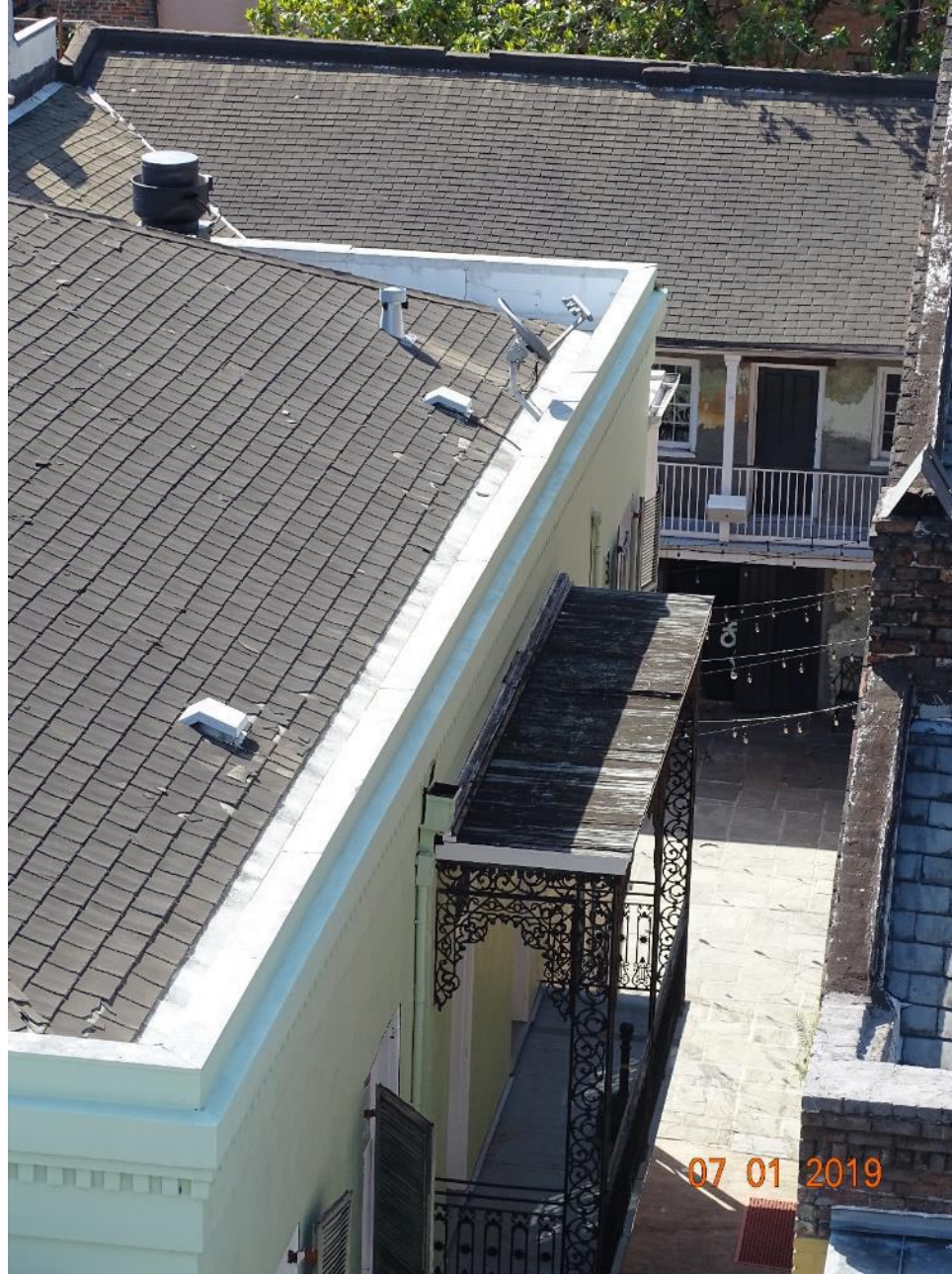
530-34 Bourbon

VCC Architectural Committee

December 7, 2021







530-34 Bourbon

VCC Architectural Committee

December 7, 2021







530 Bourbon

VCC Architectural Committee

July 13, 2021







530 Bourbon

VCC Architectural Committee

July 13, 2021







530 Bourbon

VCC Architectural Committee

July 13, 2021







530 Bourbon

VCC Architectural Committee

July 13, 2021







530 Bourbon

VCC Architectural Committee

July 13, 2021







530 Bourbon

VCC Architectural Committee

July 13, 2021





530 Bourbon

VCC Architectural Committee

July 13, 2021







530 Bourbon

VCC Architectural Committee

July 13, 2021





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VCC Architectural Committee

July 13, 2021







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July 13, 2021







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July 13, 2021





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July 13, 2021







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VCC Architectural Committee

July 13, 2021







530 Bourbon

VCC Architectural Committee

July 13, 2021





12/26/2021 3:42:14 PM

1 REPLACE DOOR & TRANSOM, SEE A4.0 FOR DETAIL

9 REMOVE SPEAKERS

10 REPLACE LIGHTS

6 DEMO METAL CHASE

13 REMOVE FAILED FLASHING

8 REPOINT MASONRY, SEE MORTAR NOTES ON A1.0

11 REMOVE/CONSOLIDATE EXISTING ELECTRICAL CONDUIT

15 REMOVAL OF EXISTING METAL STAIR AND REPLACEMENT WITH NEW WOOD STAIR, SEE A4.2

3 REPLACE DOOR, SEE A4.0 FOR DETAIL

5 EXISTING HVAC DOCUMENTATION

3 REPLACE DOOR, SEE A4.0 FOR DETAIL

14 REPLACE DAMAGED COMPOSITE SLATE ROOF, SEE SEPARATE RE-ROOF SET

7 SEE RE-ROOFING PACKAGE FOR HOOD RELOCATION

15 REMOVE NON-CONFORMING ROOF EQUIPMENT

4 NEW SHUTTERS A4.0 FOR DETAIL

16 REMOVE MECHANICAL VENT, INFILL AND FINISH WITH VCC STUCCO MIX

2 REPLACE WINDOW, SEE A4.1 FOR DETAIL

1 REPLACE LOWER LEVEL REAR RIGHT SIDE DOOR & TRANSOM, SEE A4.0 FOR DETAIL

1 EXISTING HVAC DOCUMENTATION

5 EXISTING HVAC DOCUMENTATION

21\_098

DATE

# TYPE (SEE CHANGE LOG)

MINOR EXTERIOR RENOVATION

530 BOURBON ST  
NEW ORLEANS, LA 70117

MILES M. MARTIN  
REGISTERED ARCHITECT

M3 DESIGN GROUP

1500 BARRIE ST. 2ND FL. LA 70119 | (504) 586-8870  
WWW.M3DESIGNGROUP.COM

CONSTRUCTION DOCUMENTS

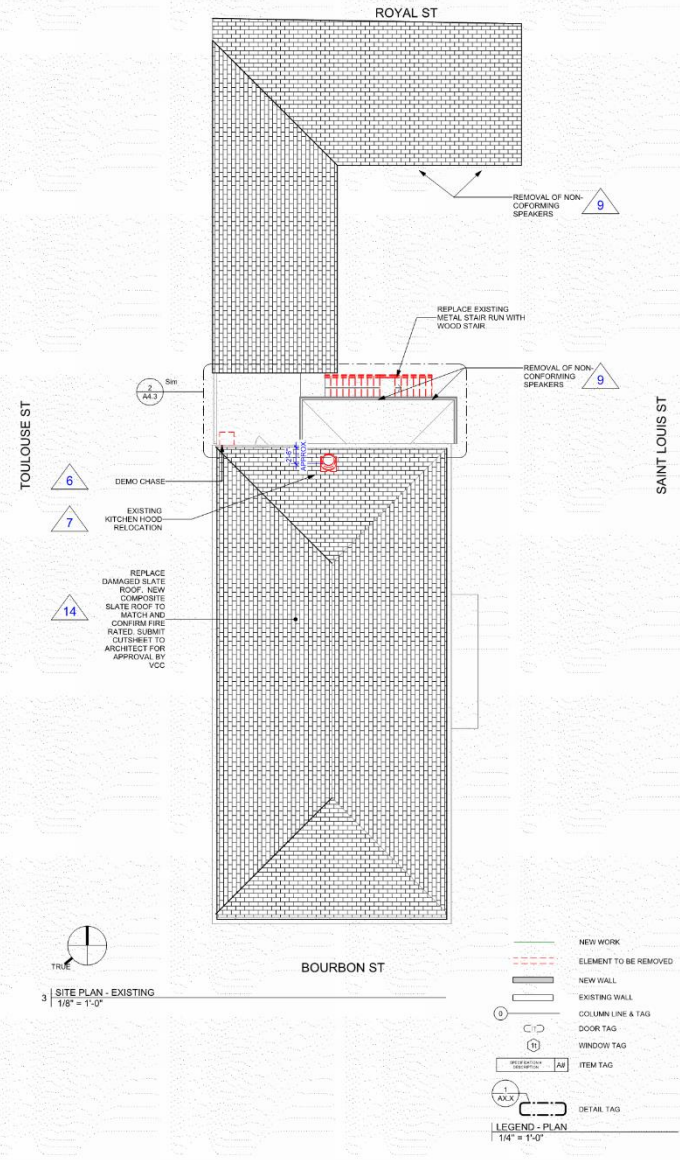
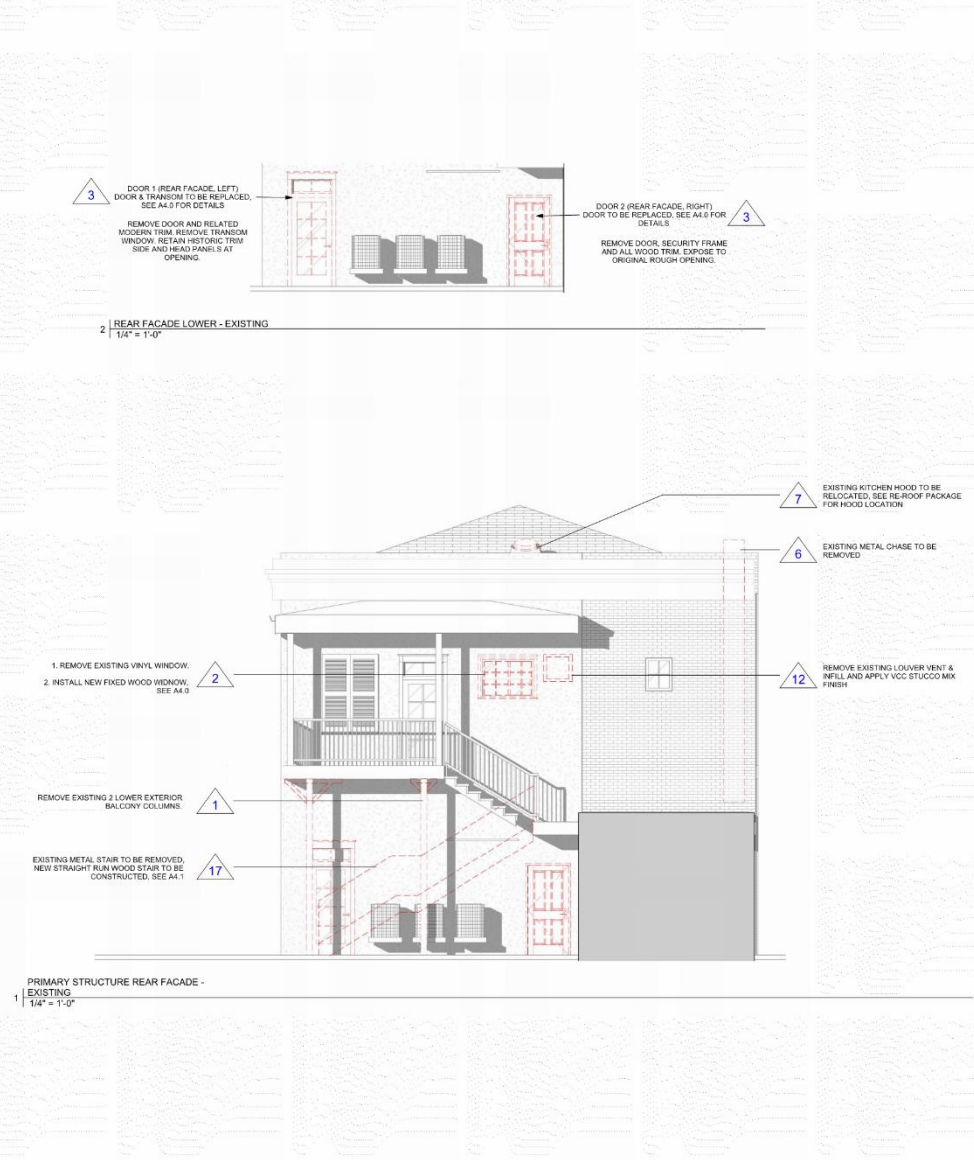
ISSUED 12/26/21

A2.0  
EXISTING  
CONDITIONS  
PHOTOS





12/26/2021 5:43:18 PM



21\_098

MINOR EXTERIOR RENOVATION

530 BOURBON ST  
NEW ORLEANS, LA 70117

DATE

TYPE (SEE CHANGE LOG)

12/26/21

**A3.0**  
EXISTING FLOOR  
PLAN AND EXT  
ELEVATIONS +  
DEMO



530 Bourbon

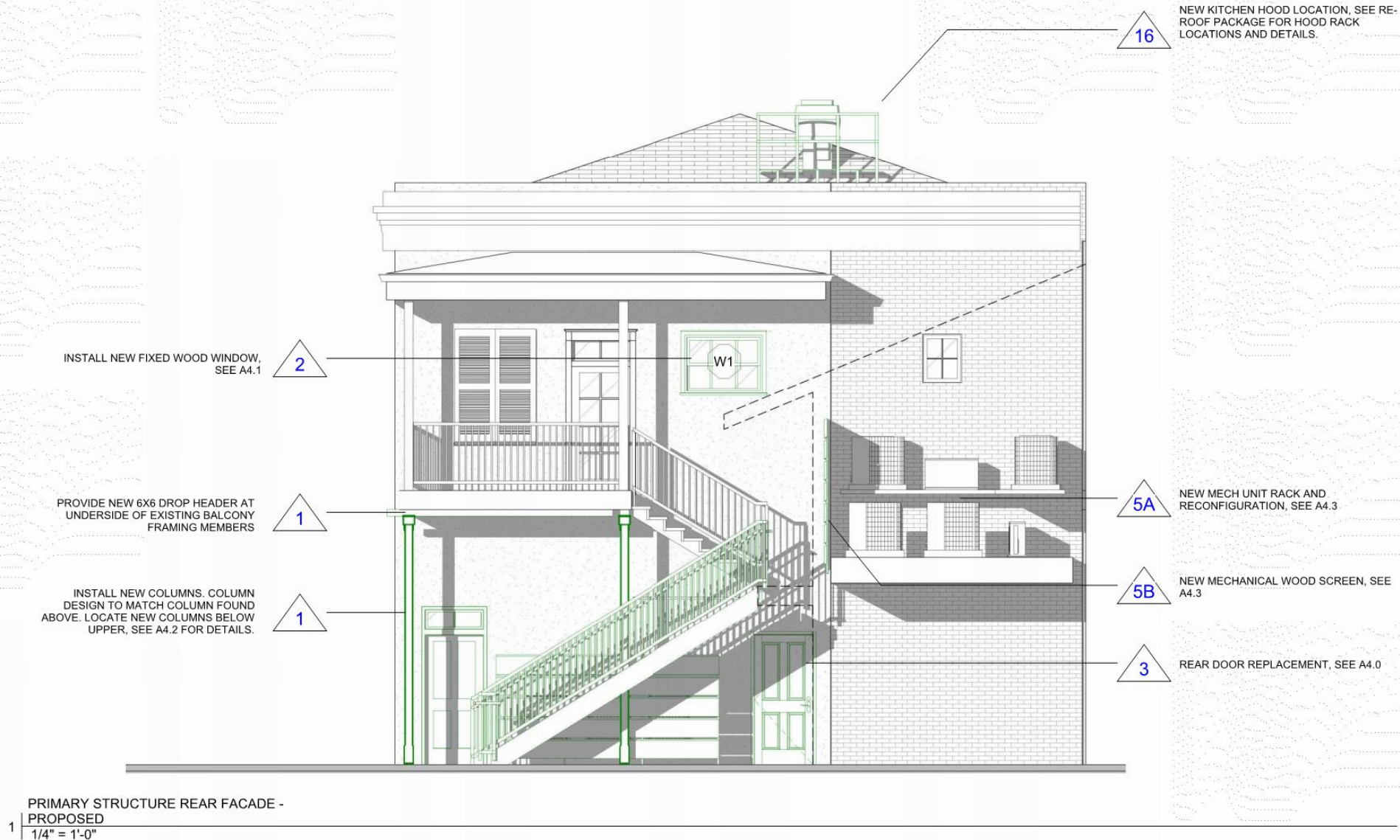
VCC Architectural Committee

July 13, 2021



## VCC Architectural Committee





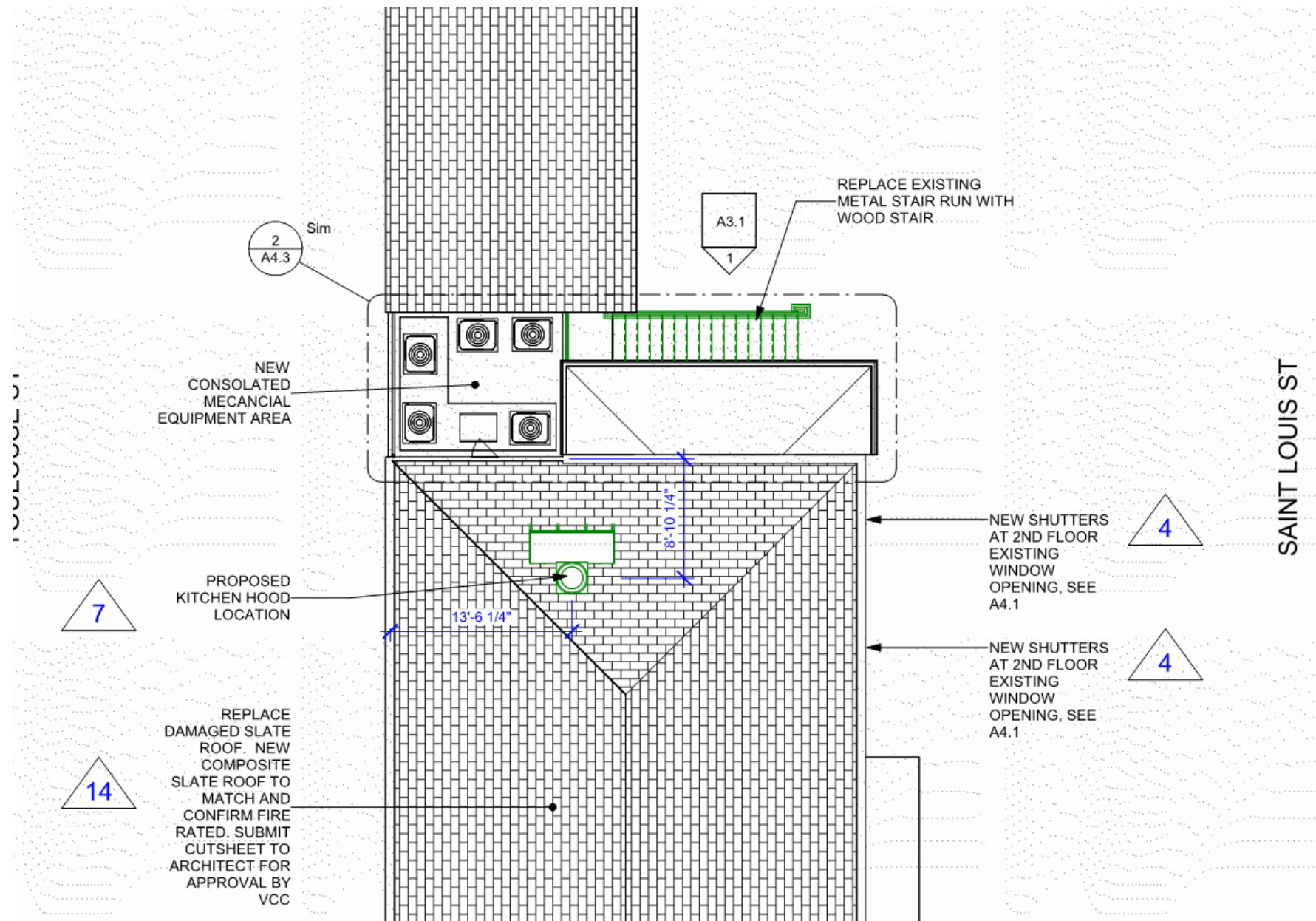
530 Bourbon

VCC Architectural Committee

July 13, 2021





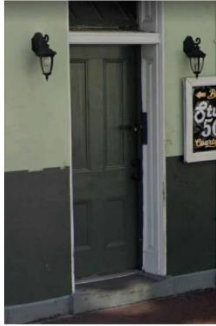


530 Bourbon

VCC Architectural Committee

July 13, 2021

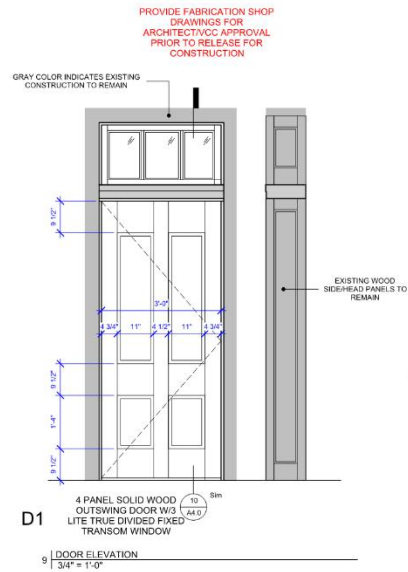




BASIS OF DESIGN, FROM FRONT FACADE

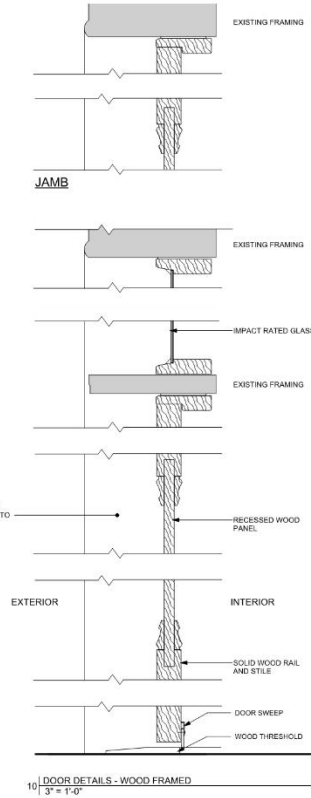


DOOR 1  
(REAR FACADE, LEFT)



D1

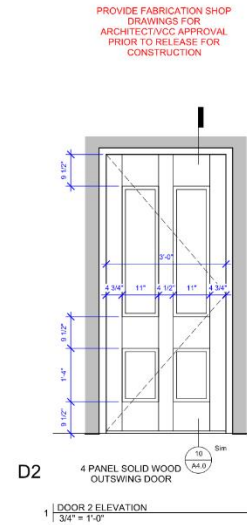
9 | DOOR ELEVATION  
3' 0" = 1'-0"



10 | DOOR DETAILS - WOOD FRAMED  
3' = 1'-0"

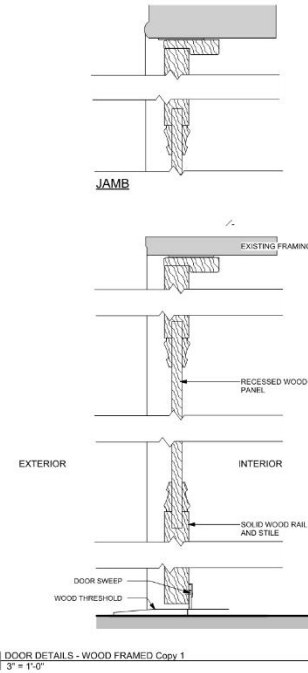


DOOR 2  
(REAR FACADE, LEFT)



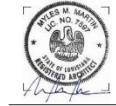
D2

1 | DOOR 2 ELEVATION  
3' 0" = 1'-0"



2 | DOOR DETAILS - WOOD FRAMED Copy 1  
3' = 1'-0"

21\_098  
DATE  
# TYPE (SEE CHANGE LOG)  
MINOR EXTERIOR RENOVATION  
530 BOURBON ST  
NEW ORLEANS, LA 70117



H3 DESIGN GROUP  
1109 PARRISH ST., 2ND FL., NEW ORLEANS, LA 70117  
CONSTRUCTION DOCUMENTS  
ISSUED 12/26/21

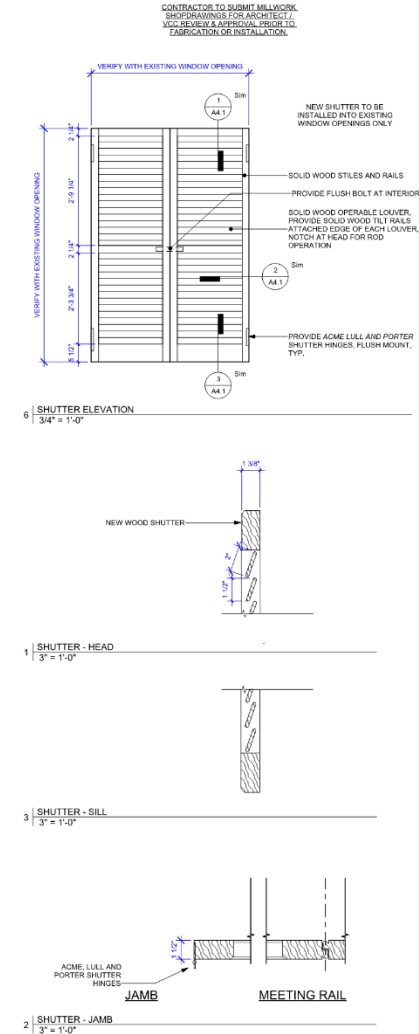
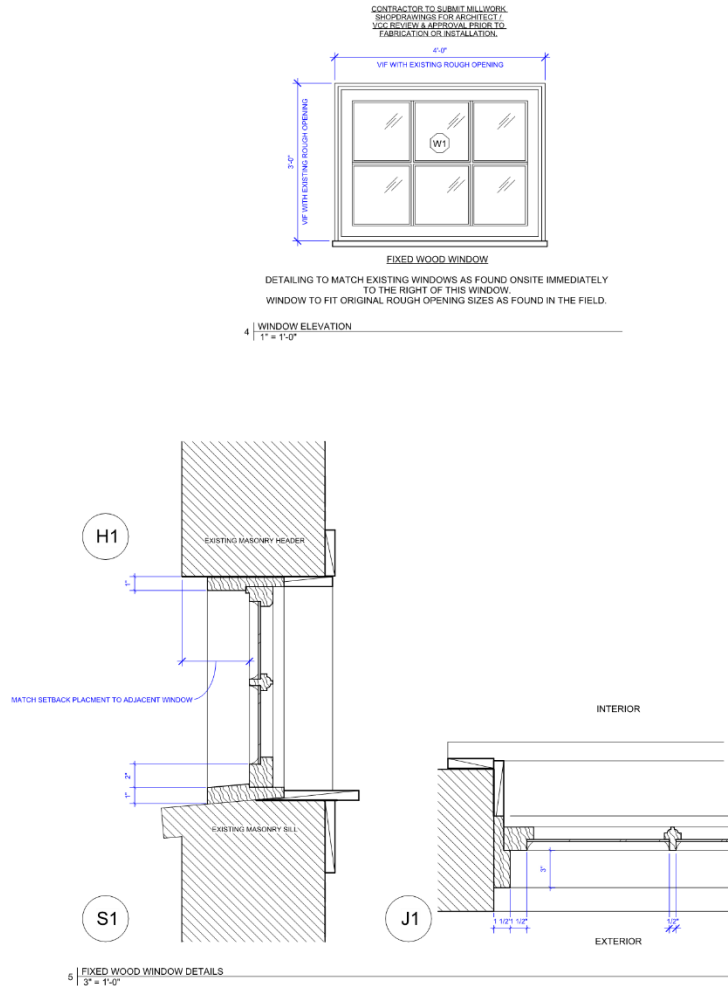
A4.0  
DOOR DETAILS







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21\_098

DATE

\* TYPE (SEE CHANGE LOG)

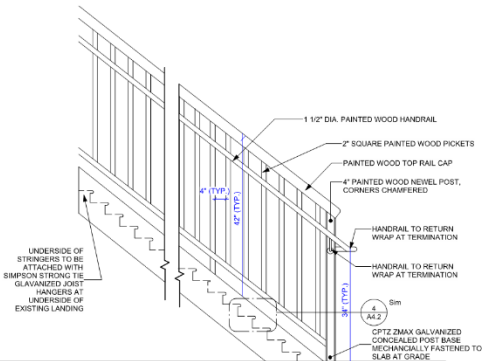
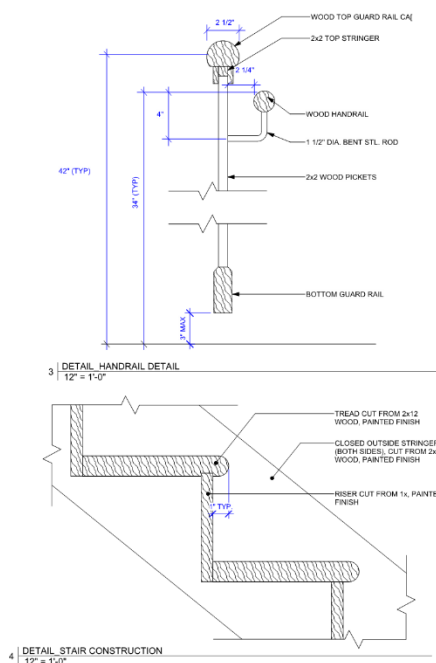
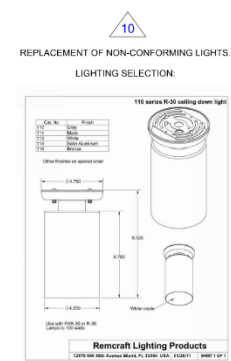
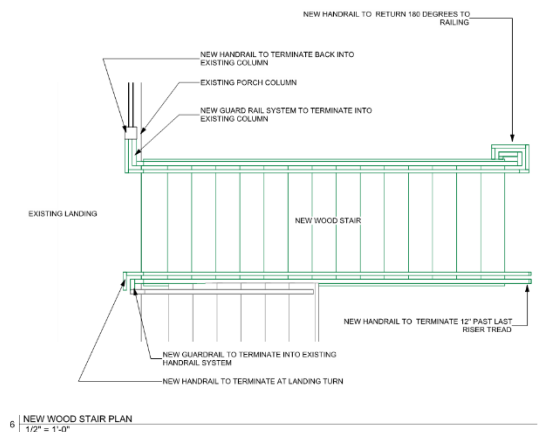


CONSTRUCTION DOCUMENTS  
ISSUED 12/26/21

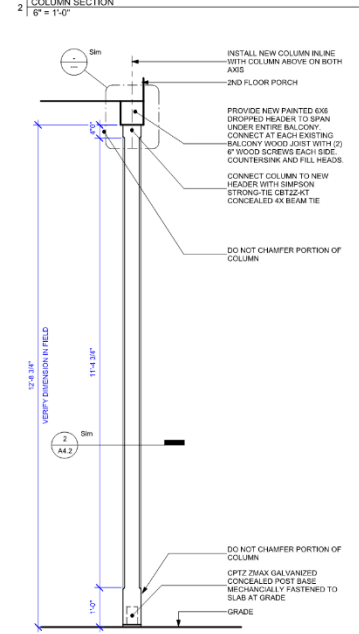
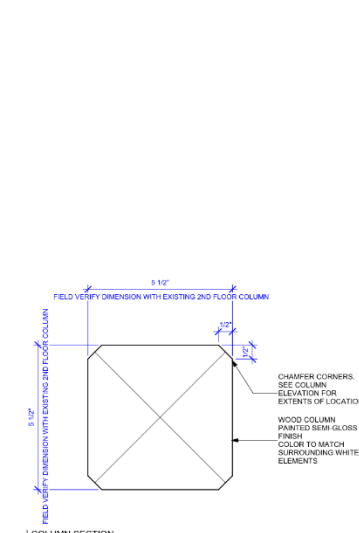
A4.1

WINDOW DETAILS

12/28/2021 5:40:22 PM



- GENERAL NOTES - STAIRS
1. STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE NOSINGS OF ADJACENT TREADS.
  2. STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED .38 INCH.
  3. NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16 INCH BUT NOT MORE THAN 9/16 INCH FROM THE FOREMOST PROJECTION OF THE TREAD.
  4. REQUIRED RAILING SYSTEM SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.
  5. ALL TREAD SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.



21\_098

MINOR EXTERIOR RENOVATION

530 BOURBON ST  
NEW ORLEANS, LA 70117

DATE

TYPE (SEE CHANGE LOG)

M3 DESIGN GROUP

1100 BARBOUR ST., SUITE 100, NEW ORLEANS, LOUISIANA 70117

CONSTRUCTION DOCUMENTS

ISSUED 12/26/21

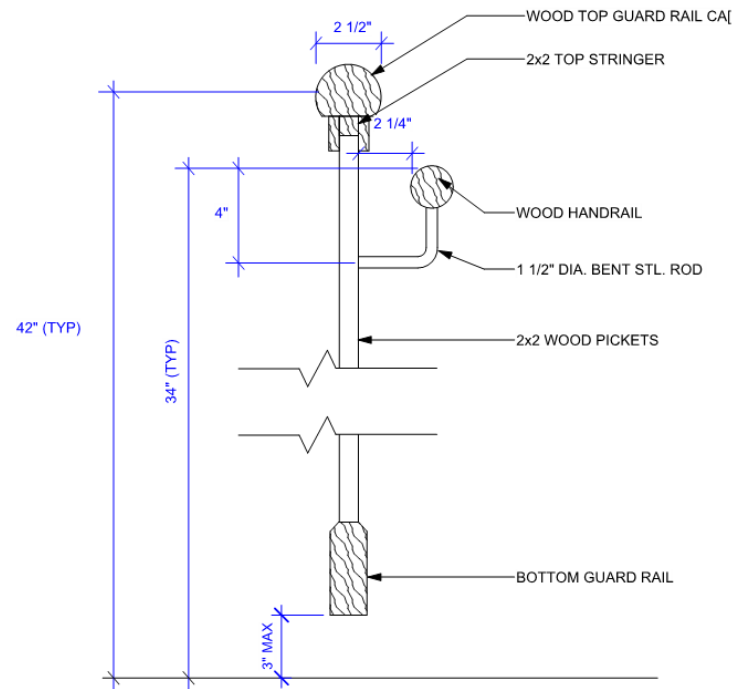
A4.2

COLUMN AND STAIR DETAILS

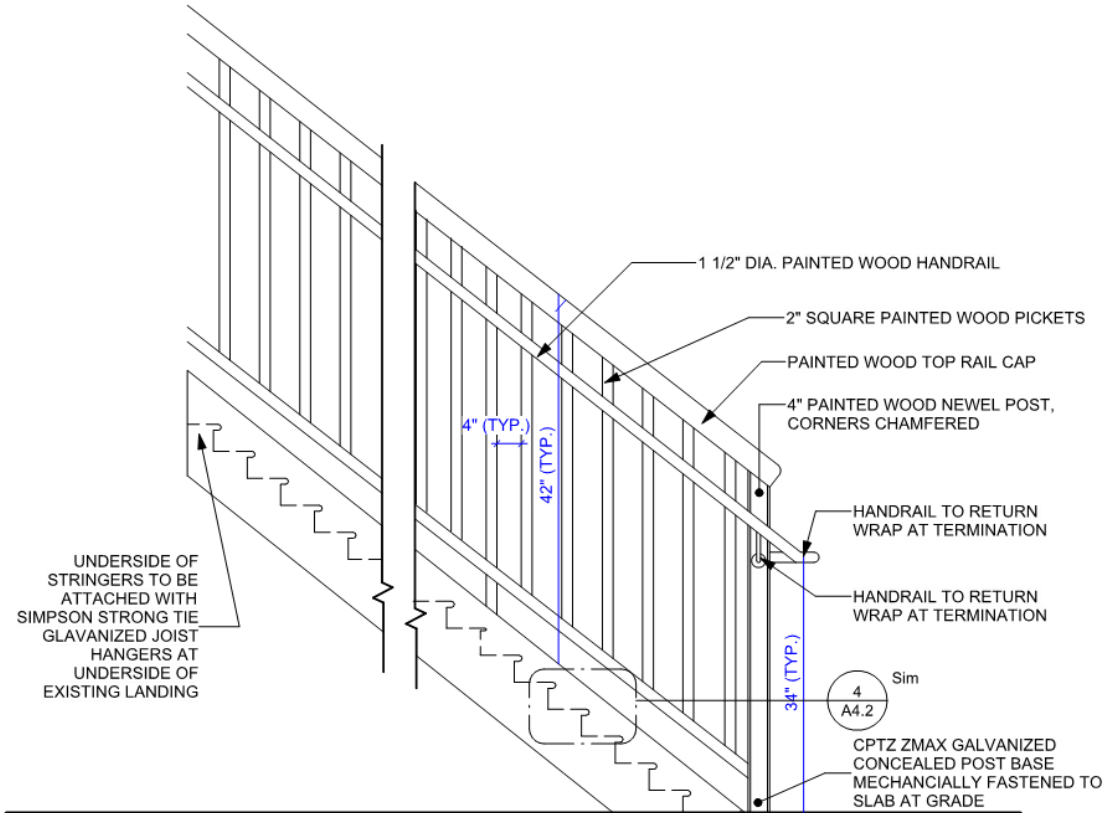


July 13, 2021





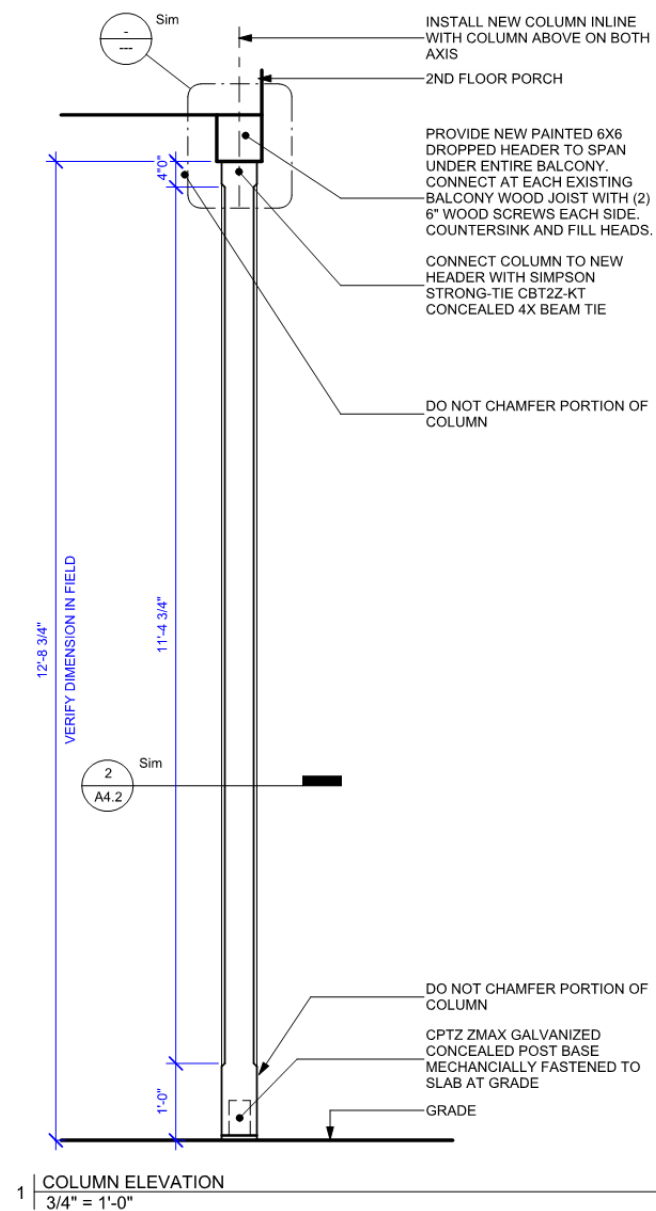
3 | DETAIL HANDRAIL DETAIL  
12" = 1'-0"



WOOD STAIR ELEVATION

1. STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE NOSINGS OF ADJACENT TREADS.
2. STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8 INCH.
3. NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16 INCH BUT NOT MORE THAN 9/16 INCH FROM THE FOREMOST PROJECTION OF THE TREAD.
4. REQUIRED RAILING SYSTEM SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.
5. ALL TREAD SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.

GENERAL NOTES - STAIRS



530 Bourbon

VCC Architectural Committee

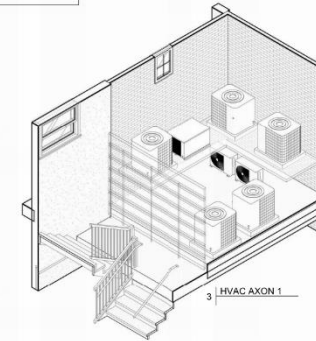
July 13, 2021



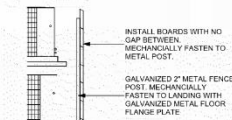
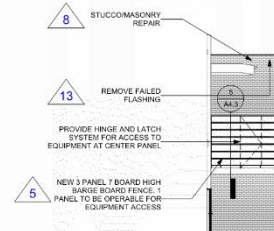




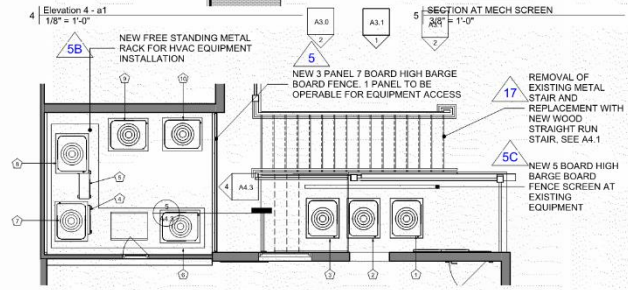
CURRENT CONFIGURATION



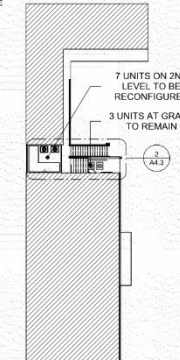
RE-CONFIGURED HVAC EQUIPMENT LAYOUT WITH SCREEN



SECTION AT MECH SCREEN



2 | PROPOSED HVAC CONFIGURATION



1 | HVAC KEY PLAN



UNIT 1



UNIT 2



UNIT 3

MINOR EXTERIOR RENOVATION  
530 BOURBON ST  
NEW ORLEANS, LA 70117

21, 098

DATE

TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP

530 BOURBON ST., NEW ORLEANS, LA 70117

CONSTRUCTION DOCUMENTS

ISSUED 12/26/21

A4.3

EXTERIOR HVAC UNITS

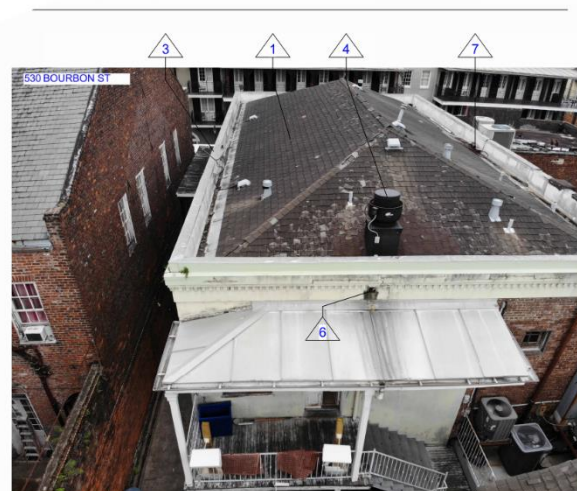
530 Bourbon

VCC Architectural Committee

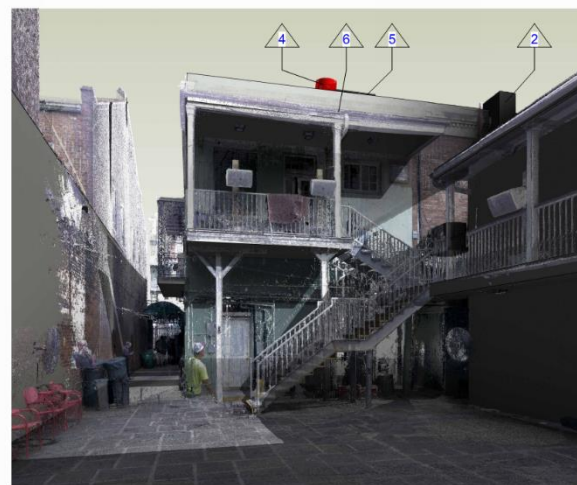
July 13, 2021



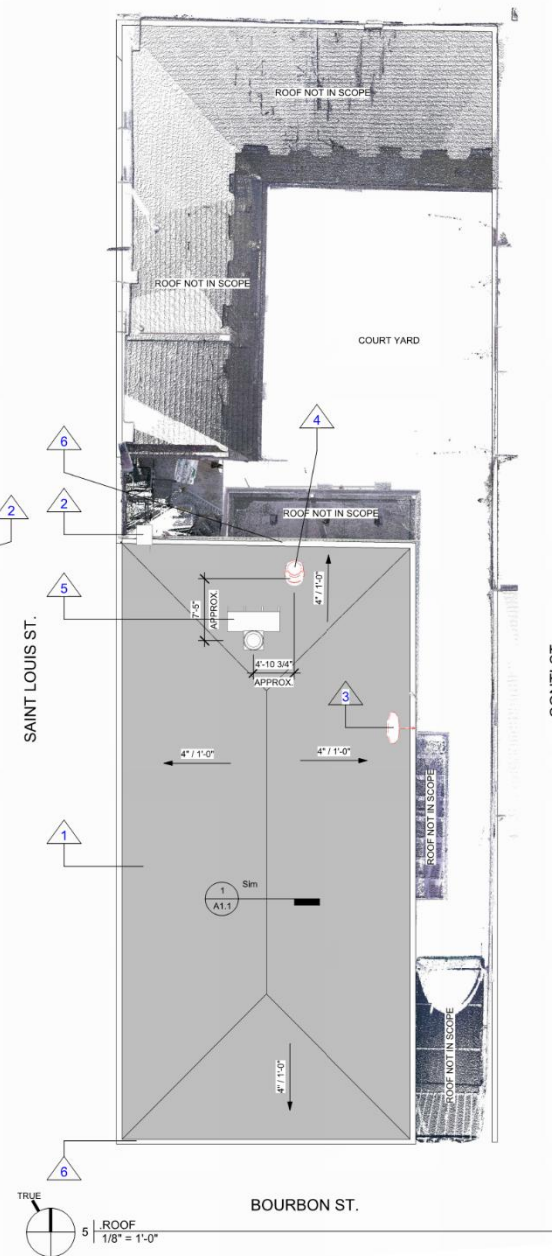




LOOKING TOWARDS BOURBON FROM REAR COURTYARD



LOOKING TOWARDS BOURBON FROM REAR COURTYARD

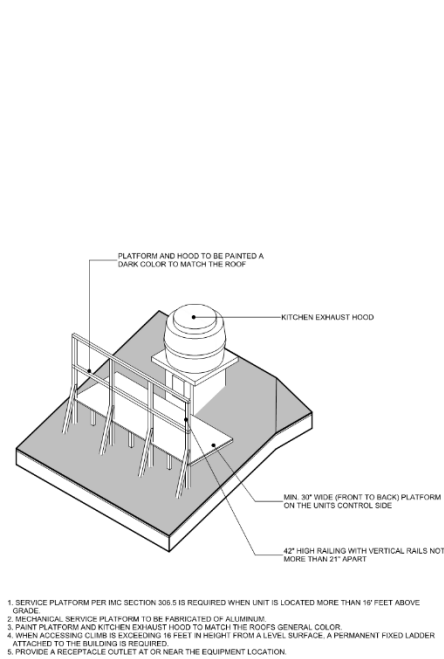


- 1 REMOVAL OF EXISTING ROOFING TILE, REPLACE WITH SLATE ROOF TILE
- 2 REMOVE EXISTING METAL CHASE
- 3 REMOVAL OF SATELLITE DISH
- 4 RELOCATION OF EXISTING KITCHEN EXHAUST HOOD
- 5 NEW KITCHEN EXHAUST HOOD LOCATION AND SERVICE PLATFORM
- 6 CLEAN, CLEAR, REFLASH SCUPPER
- 7 REMOVE ALL FOREIGN ROOF DEBRIS

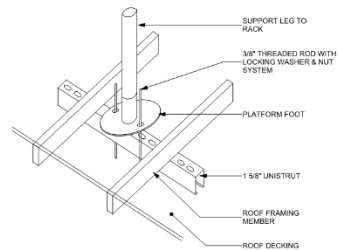
### SPECIFIC NOTES - PLAN



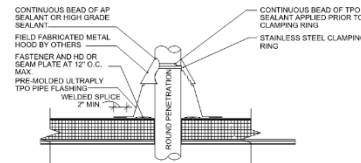
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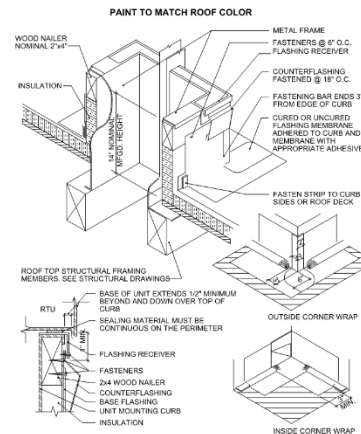
4 | HOOD SERVICE PLATFORM



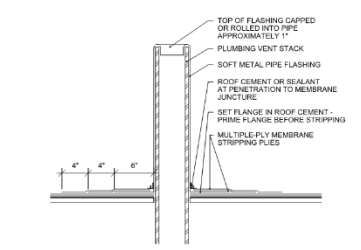
ROOF SUPPORT CONNECTION DETAIL



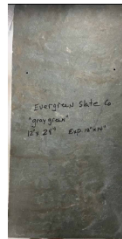
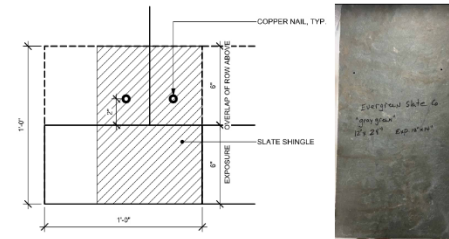
ROOF - EXHAUST VENT DETAIL



ROOF MECHANICAL CURB DETAIL

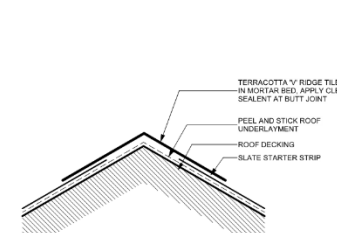


ROOF - PIPE PENETRATION DETAIL  
12" = 1'-0"



PHYSICAL SAMPLE PHOTO

3 | ROOF DETAILS: SLATE FASTENING  
3" = 1'-0"



1 | ROOF DETAILS: SLATE RIDGE  
1 1/2" = 1'-0"

21\_098

DATE

TYPE (SEE CHANGE LOG)

# RE-ROOFING PACKAGE

530 BOURBON ST  
NEW ORLEANS, LA 70117



M3 DESIGN GROUP

1000 BARRINGTON ST. SUITE 100, NEW ORLEANS, LA 70117

CDIS - RE-ROOFING PACKAGE

ISSUED 12-21-26

A1.1

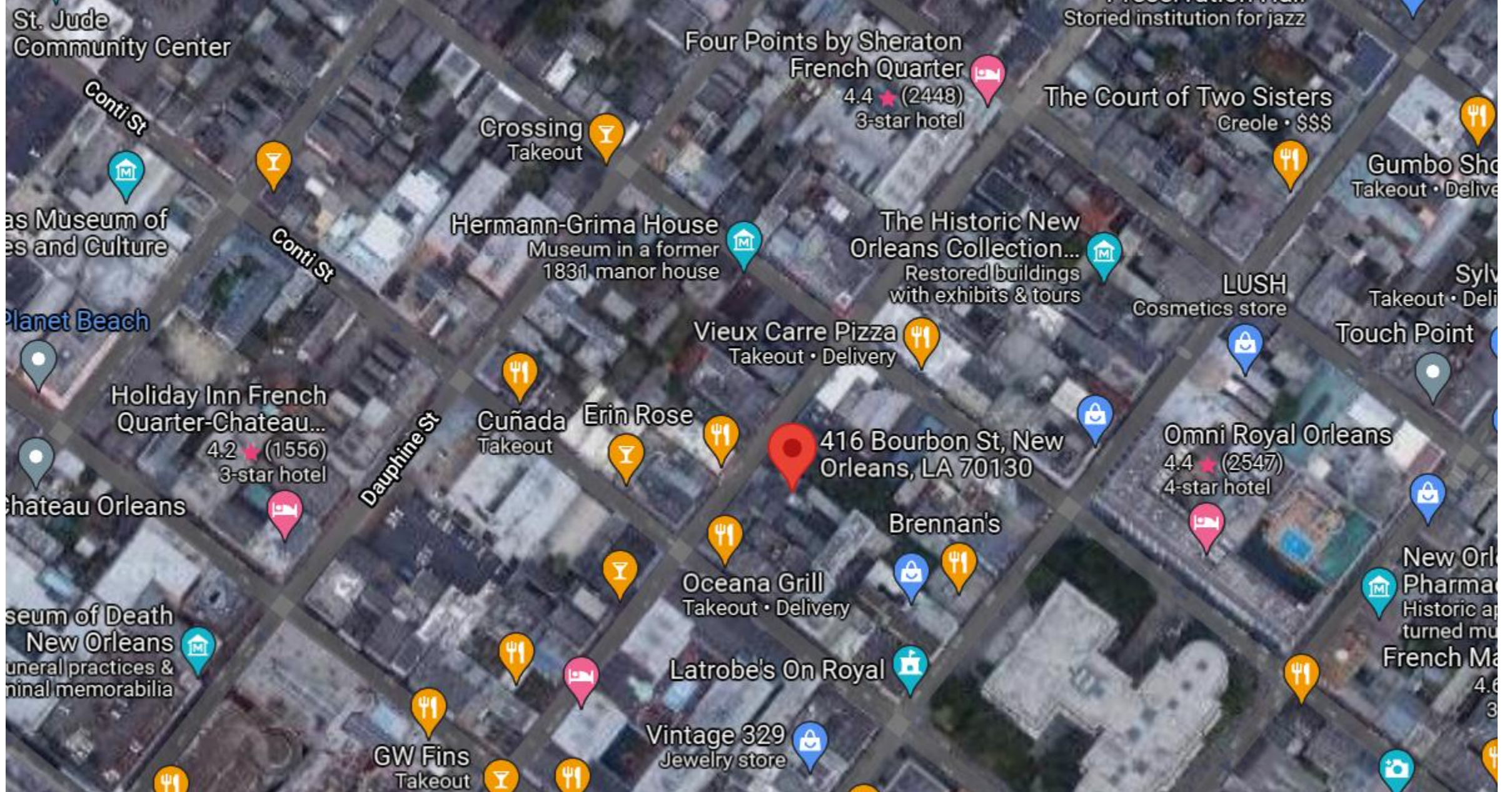
ROOF DETAILS





416 Bourbon





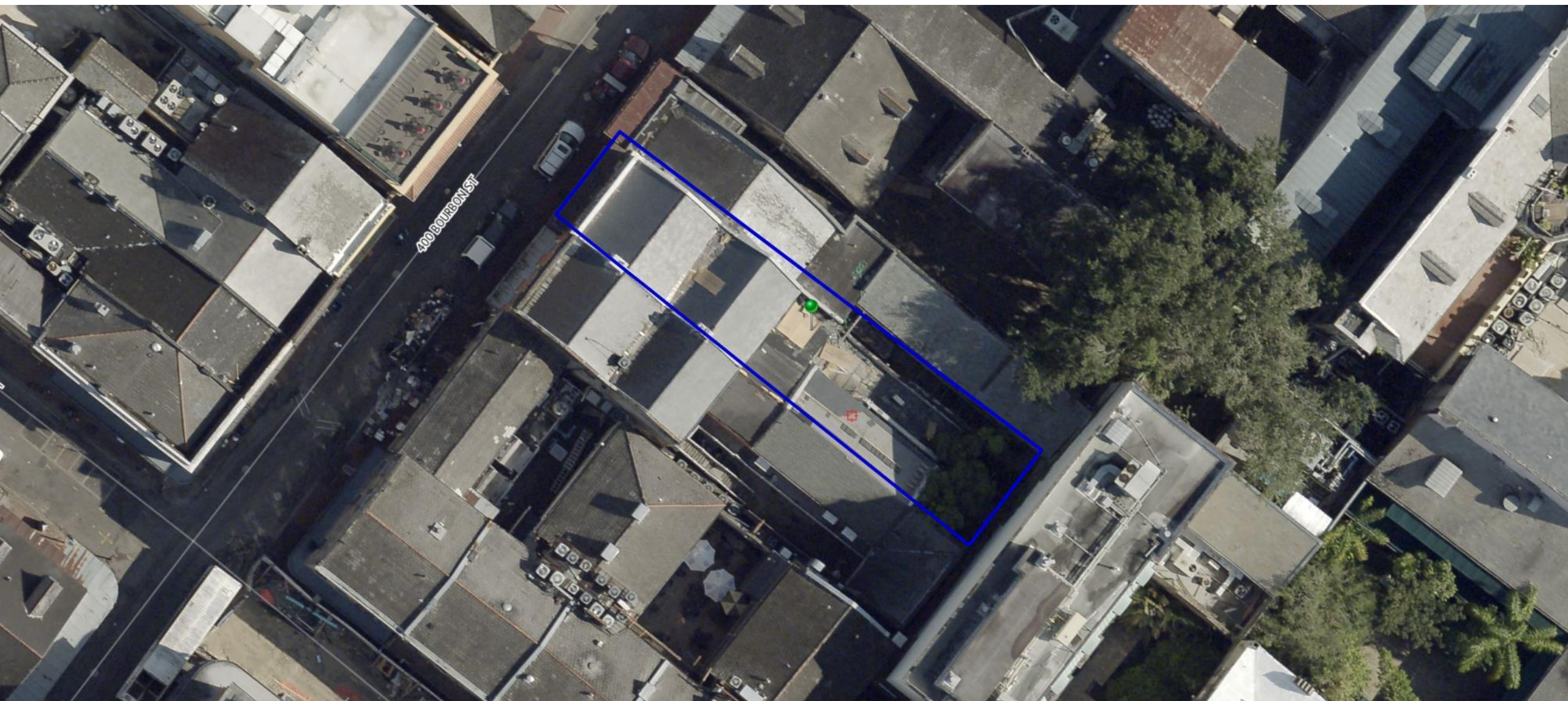
416 Bourbon

VCC Architectural Committee

December 7, 2021







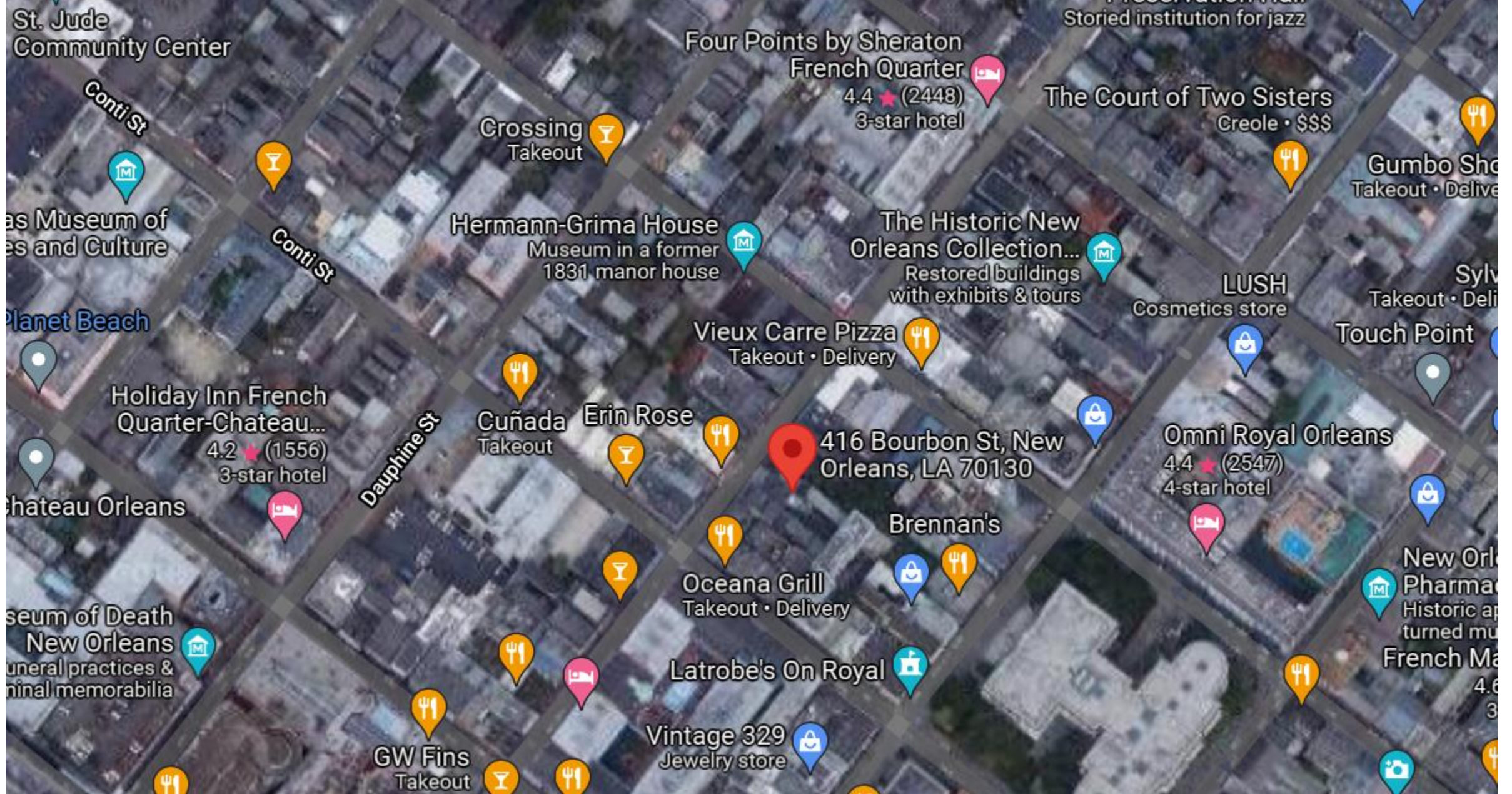
416 Bourbon

VCC Architectural Committee

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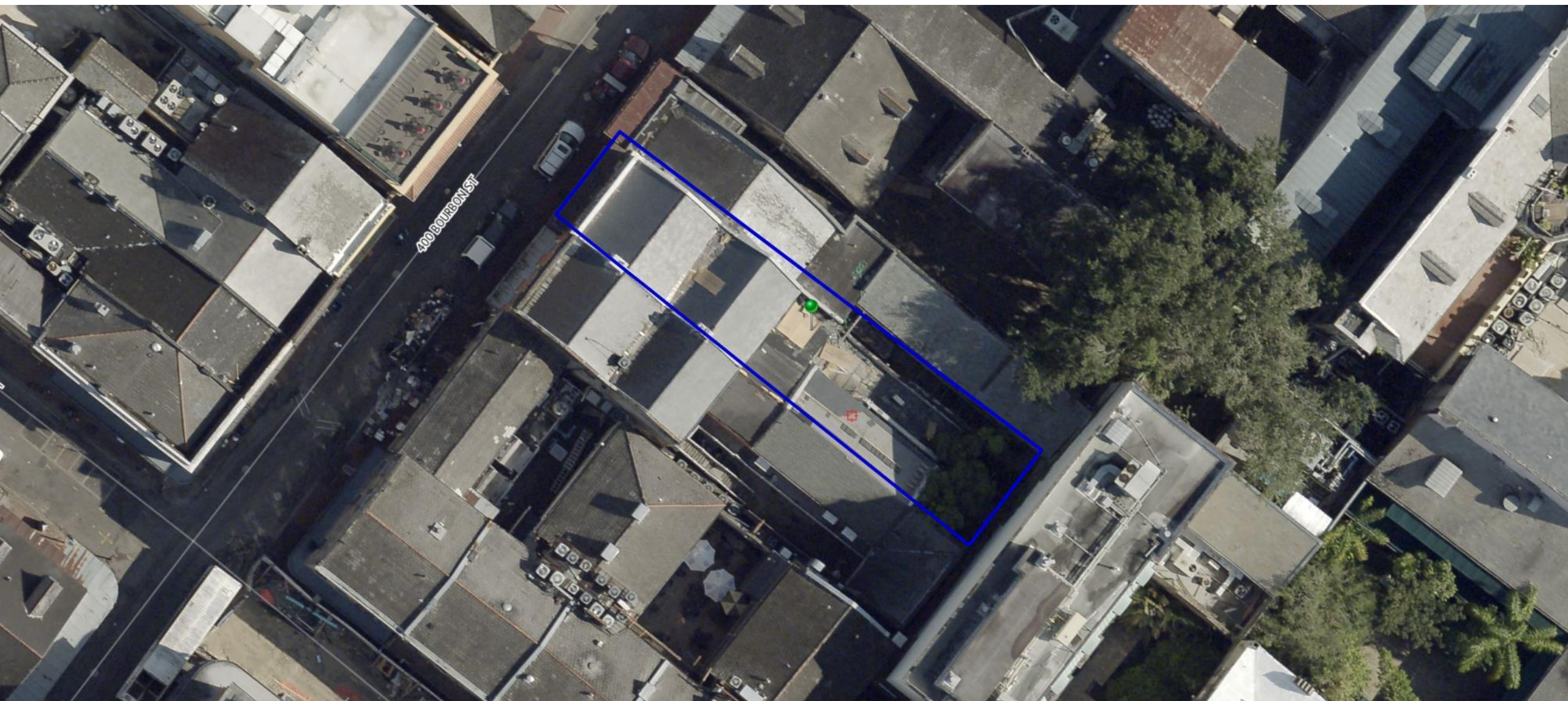
416 Bourbon

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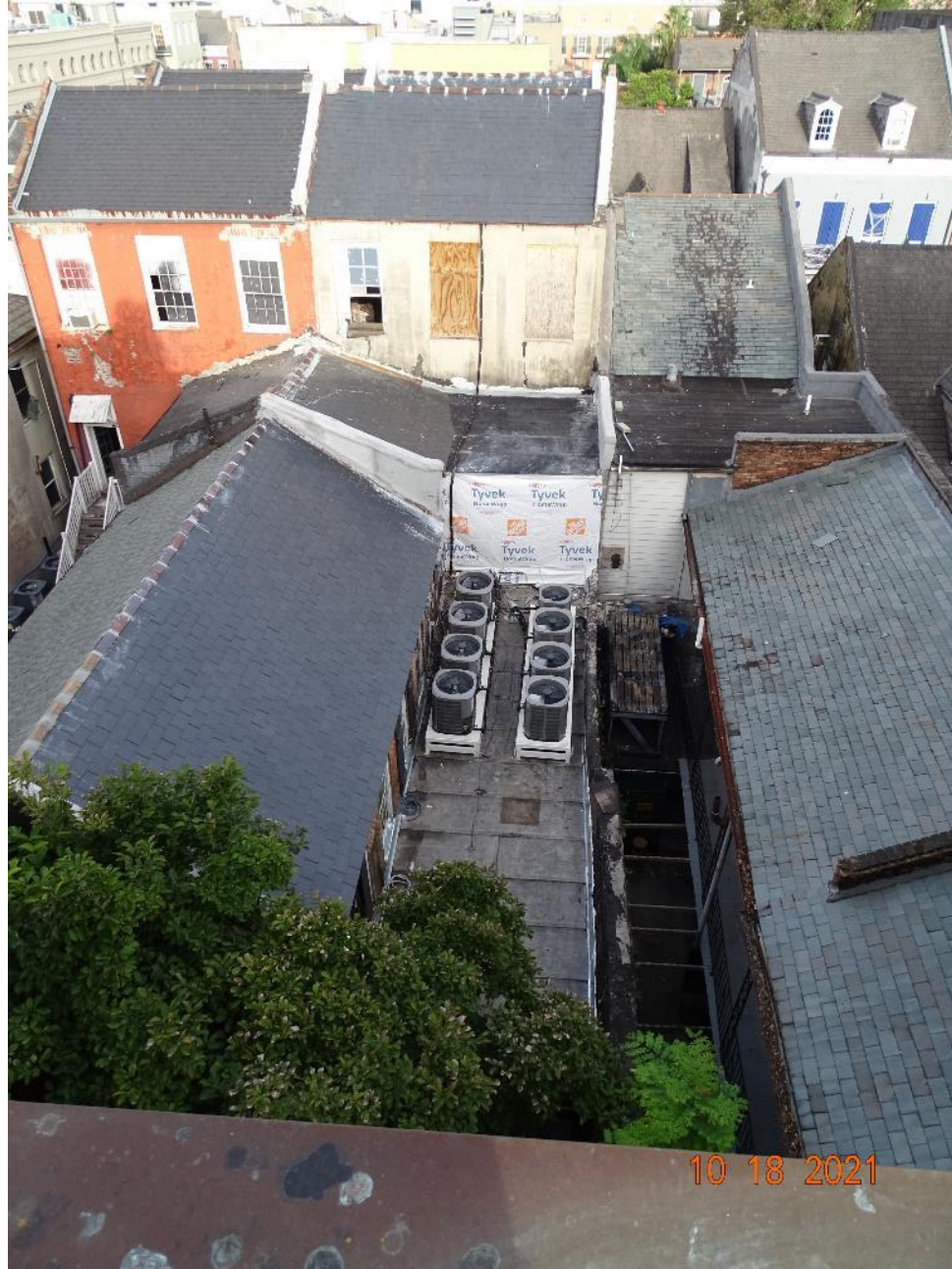
416 Bourbon

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416 Bourbon – 1981

VCC Architectural Committee



December 7, 2021







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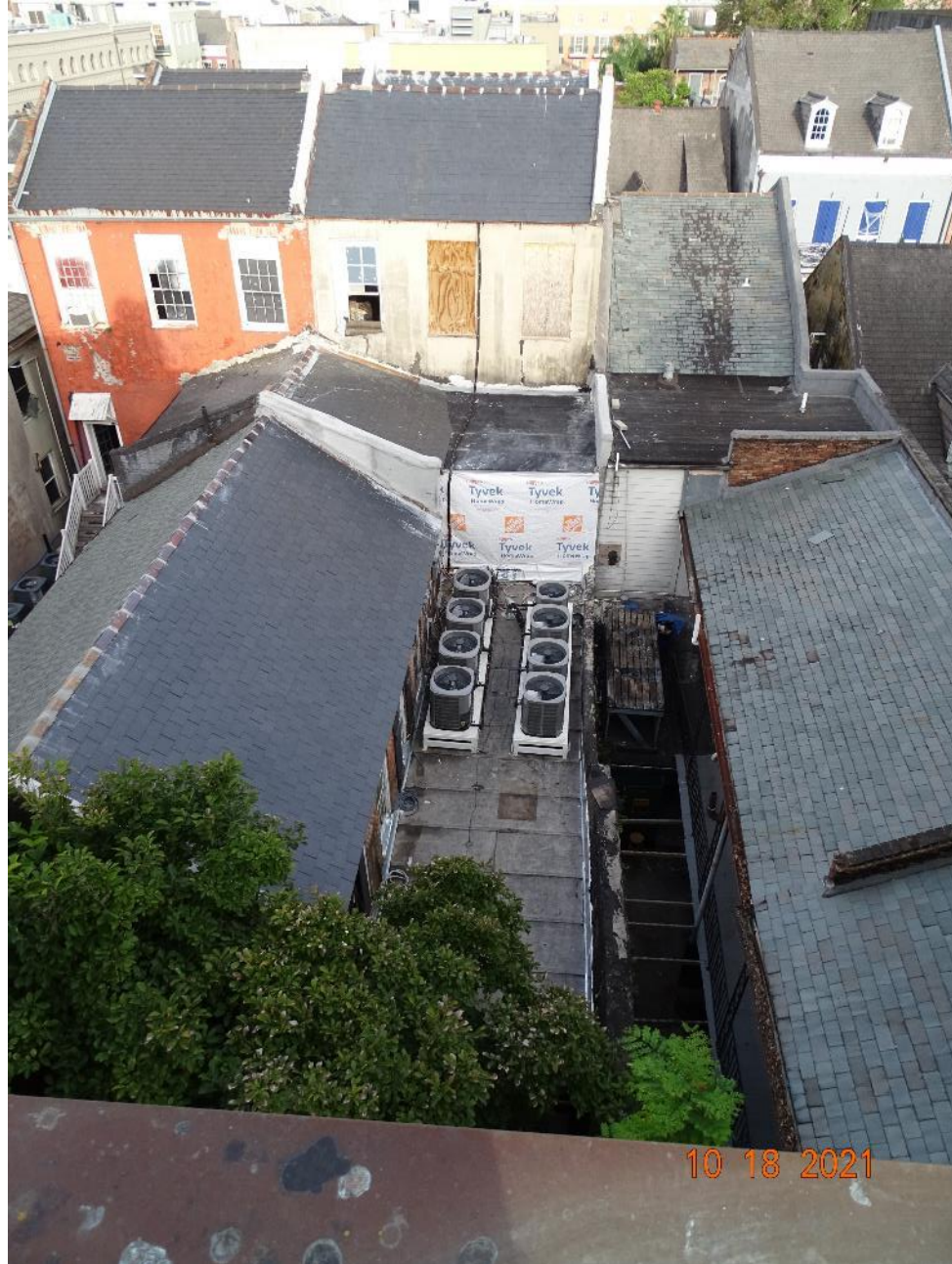
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December 7, 2021





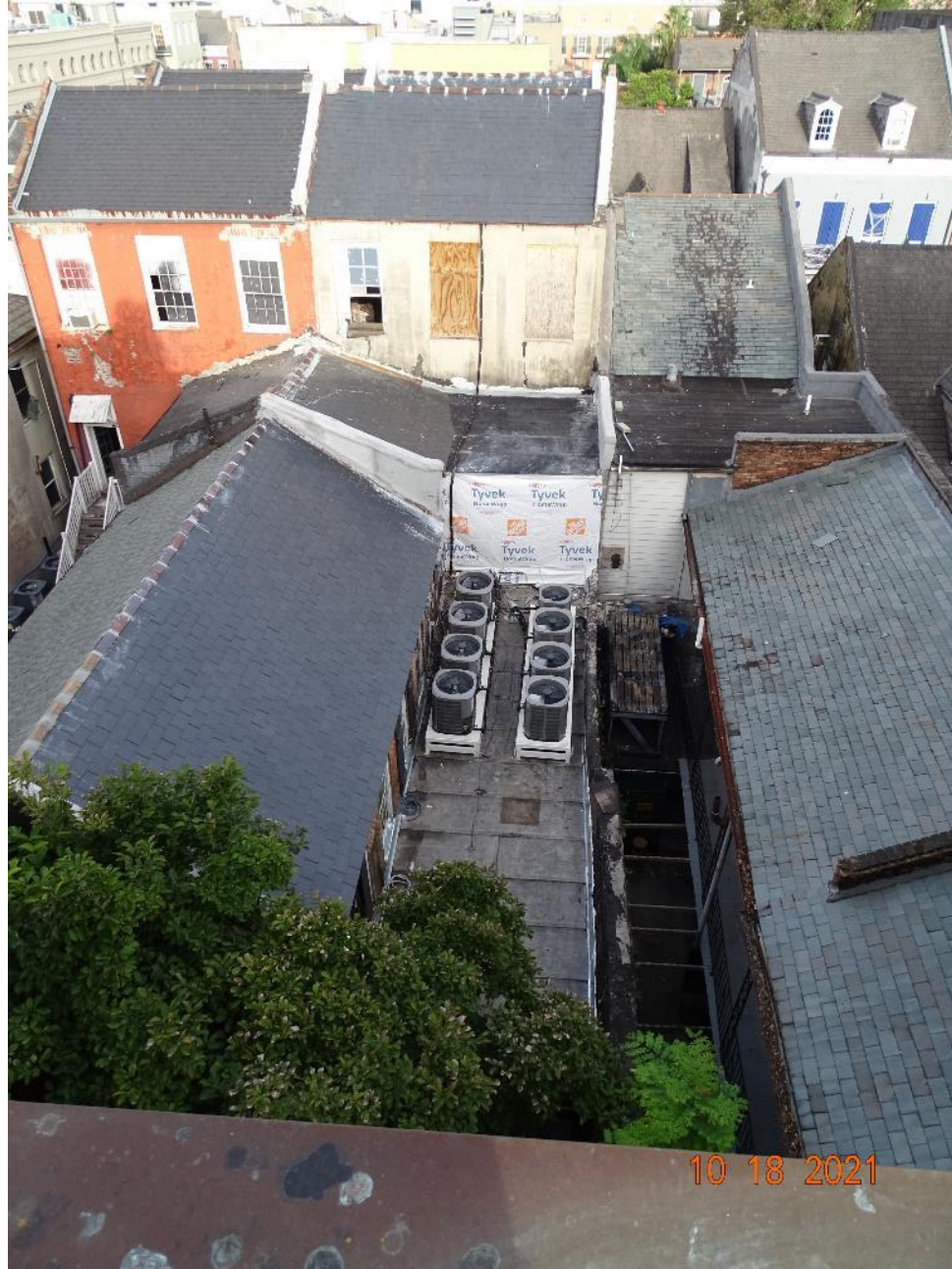
416 Bourbon

VCC Architectural Committee

December 7, 2021







416 Bourbon

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December 7, 2021







416 Bourbon – 1981

VCC Architectural Committee



December 7, 2021







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416 Bourbon

VCC Architectural Committee

December 7, 2021







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December 7, 2021







416 Bourbon

VCC Architectural Committee

December 7, 2021







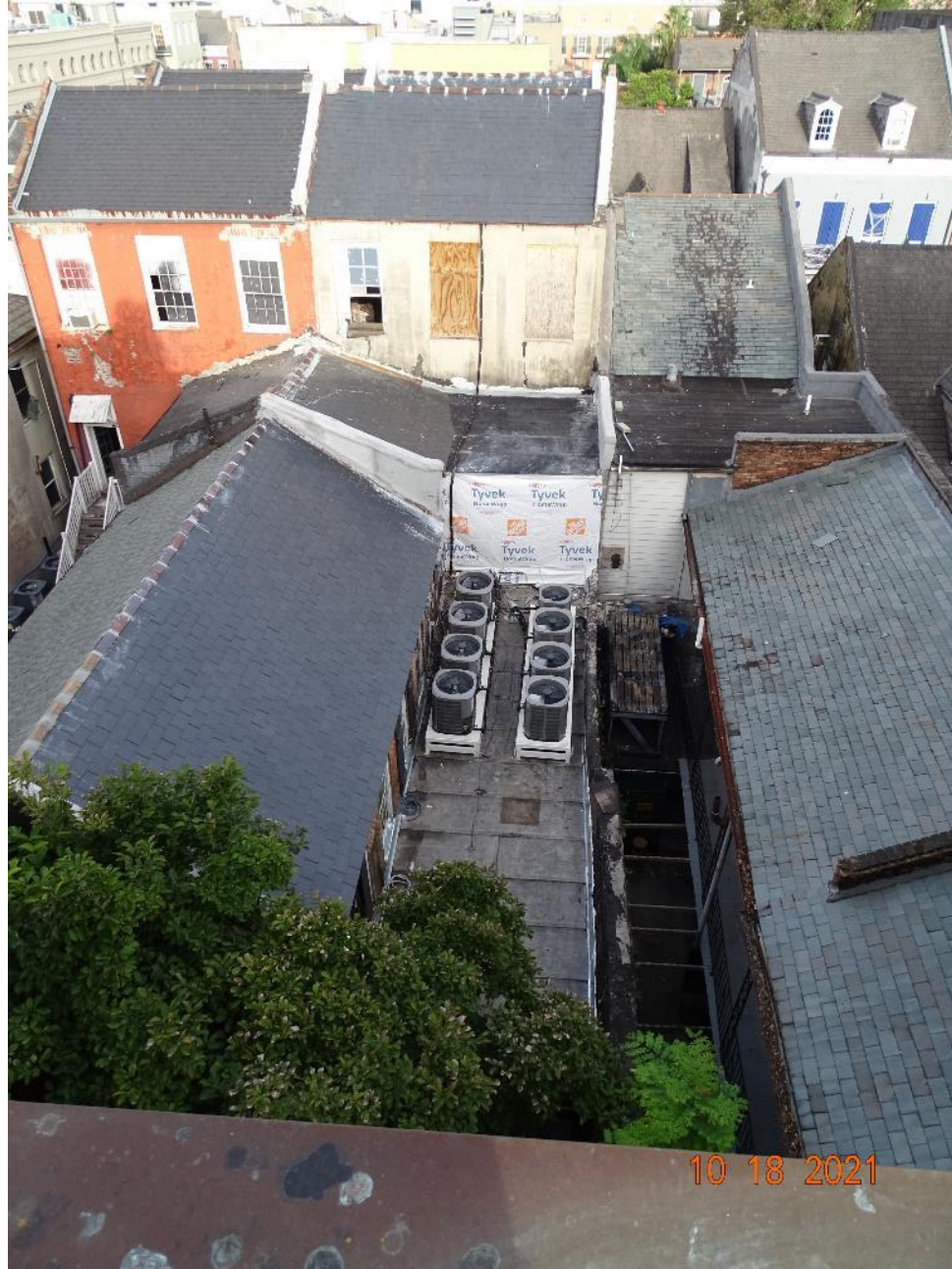
416 Bourbon

VCC Architectural Committee

December 7, 2021







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December 7, 2021







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December 7, 2021







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December 7, 2021





# CONSTRUCTION DOCUMENTS

416 BOURBON ST EXTERIOR RENOVATION

416 BOURBON ST  
NEW ORLEANS LA 70130

**PROPERTY DESCRIPTION**  
1. 50.03 LOT 15 BOURBON  
2. 23X128

**PROJECT DESCRIPTION**  
EXTERIOR RENOVATIONS RELATED TO VCC FLAG

**ZONING DISTRICT:** VCC - VEIUX CARRE ENTERTAINMENT DISTRICT  
**OVERLAY:** VEIUX CARRE HEIGHT INTERIM ZONING DISTRICT

**NO. OF STORIES:** 3

**CONSTRUCTION TYPE:**  
SICIFIC: NFPA: II (2019) COMMON TERMINOLOGY: UNPROTECTED ORDINARY

**APPLICABLE CODES:**  
2015 IBC  
2015 INTERNATIONAL MECHANICAL CODE  
2013 CALIFORNIA STATE PLUMBING CODE  
2014 NATIONAL ELECTRIC CODE  
2015 ADA ADA GUIDELINES

**ARCHITECT:**  
M3 DESIGN GROUP LLC  
608 MARIE ST  
NEW ORLEANS, LA 70119  
MILES MANTON LUTTREY  
MILES@M3-DESIGN-GROUP.COM  
504-584-9600

**STRUCTURAL/CIVIL ENGINEER:**  
KCM/SENZ, LLC  
1204 ST. CHARLES AV. A.P. 302  
NEW ORLEANS, LA 70130  
NINA MURPHY  
KCM.RENO@KCM.COM  
504-584-9643

## PROJECT INFORMATION

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS. ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTIBILITY OF THE WORK. THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNERS REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

## GENERAL NOTES - PROJECT

### VEIUX CARRE COMMISSION APPROVED STANDARD MORTAR & STUCCO DETAILS.

#### MORTAR

##### PREPACKAGED MIXES ARE NOT PERMITTED.

NO MORE THAN:

- 1 PART PORTLAND CEMENT, TO
- 3 PARTS LIME, AND
- 3 PARTS SAND, AND

ENOUGH WATER TO FORM A WORKABLE MIX.

THE RESULTING MORTAR SHOULD RANGE IN COLOR FROM WHITE TO BEIGE BUT SHOULD NOT BE GREY IN COLOR. WHEN REPORTING, ALL MORTAR TO BE TOOLED TO MATCH EXISTING JOINT PROFILES. CONSULT WITH VCC STAFF IF EXISTING JOINT PROFILE INDETERMINATE.

#### STUCCO

##### PREPACKAGED MIXES ARE NOT PERMITTED.

BASE COAT CONSISTS OF 2 COATS, DOUBLED UP WORK OF 5/8" TOTAL THICKNESS. PROPORTIONED AS FOLLOWS:

- NO GREATER THAN 1/2 PART PORTLAND CEMENT, TO
- 3 PARTS LIME, AND
- 3 PARTS SAND, AND

ENOUGH WATER TO FORM A WORKABLE MIX.

FINISH COAT IS 1/4" IN TOTAL THICKNESS PROPORTIONED AS FOLLOWS:

- NO MORE THAN 1 PART PORTLAND CEMENT, TO
- 3 PARTS LIME, AND
- 3 PARTS SAND, AND

ENOUGH WATER TO FORM A WORKABLE MIX.

THE RESULTING MIX SHOULD RANGE IN COLOR FROM WHITE TO BEIGE BUT SHOULD NOT BE GREY IN COLOR. NOTE: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12. AN INCORRECT MORTAR CAN DAMAGE AN HISTORIC BUILDING AND ITS MATERIALS.

#### WHEN REPOINTING MASONRY

THERE ARE NUMEROUS JOINT PROFILE TYPES, OR SHAPES, OF MORTAR JOINTS, EACH PRODUCING DIFFERENT SHADOW LINES AND HIGHLIGHTS. WHEN REPOINTING AN AREA OF MASONRY, IT IS IMPORTANT TO TOOL THE MORTAR TO MATCH THE EXISTING JOINT PROFILE FOR A CONSISTENT APPEARANCE.

## GENERAL NOTES - VCC STUCCO & MORTAR DETAILS

- CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF THE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- THE REPLACEMENT OF THE ROOF SHALL BE CONDUCTED IN SUCH A MANNER AS TO PROTECT THE EXISTING BUILDING AND ALL OF ITS CONTENTS IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED DURING THE PERFORMANCE OF THEIR CONTRACTED WORK.
- FIELD VERIFY, SIZE AND LOCATION OF ALL EXISTING MECHANICAL UNITS, ROOF CURBS, ROOF DRAINS, SCUPPERS, SKYLIGHTS AS WELL AS ANY AND ALL OTHER PENETRATIONS OR ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A TIGHT SEAL OVER ENTIRE ROOF.
- LOCATIONS OF NEW ROOFING AND DRICRETING ARE SHOWN FOR DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRECISE LOCATION AND PROVIDE THESE ELEMENTS AS REQUIRED TO PROVIDE A PROPERLY SLOPED AND WATER TIGHT SYSTEM IN WHICH WATER IS NOT RETAINED ON THE ROOF.
- FIELD VERIFY LOCATION AND QUANTITY OF EXISTING DOWNSPUTS AND ROOF DRAINS. PROVIDE DOWN SPUTS AT ALL EXISTING LOCATIONS AND AT ALL OVERFLOW SCUPPERS.
- CONFIRM THAT ALL ROOF DRAINS ARE IN WORKING ORDER AND DRAINING AT AN APPROPRIATE FLOW RATE. REPAIR AND CLEAR ANY OBSTRUCTED, DAMAGED OR LEAKY DRAINAGE. PROVIDE NEW ROOF DRAIN STRAINERS.

#### BAISIS OF DESIGN FOR ROOFING SYSTEMS

ICE AND WATER SHIELD UNDERLAYMENT - GRADE ICE WATER SHIELD OR EQUAL.

SLATE ROOFING TILE - 6X12 SLATE TO BE ATTACHED WITH COPPER NAILS.

SHAKE PLY PRO ROOFING MEMBRANE - FIRESTONE ULTIMATE FLEX ADDED.

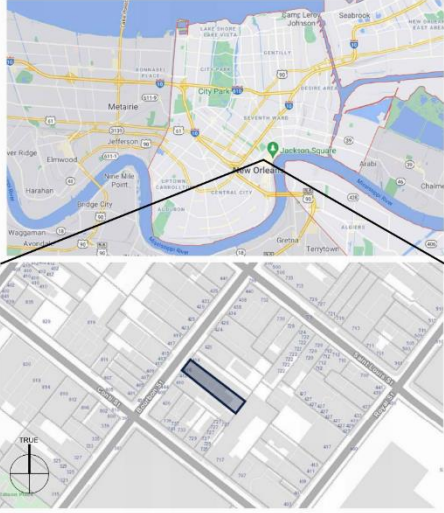
#### HAZARDOUS MATERIALS:

- ALL DEMOLITION WORK IS TO BE PERFORMED IN ACCORDANCE WITH AN APPROVED ASBESTOS WORK PLAN FROM THE STATE OF LOUISIANA & OSHA SAFETY REQUIREMENTS.

CURRENT AREA(S) HAVE NOT BEEN TESTED AND HAVE NOT BEEN IDENTIFIED FOR ABATEMENT. ANY CHANGE CHANGE IN PROJECT SCOPE WILL NEED TO BE IDENTIFIED BY THE COMMISSIONER PRIOR TO THE COMMENCEMENT OF WORK BY THE GENERAL CONTRACTOR.

## GENERAL NOTES - ROOF

## VICINITY MAP:



SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A1.0	TITLE SHEET	12/26/21			
A1.1	EXISTING CONDITIONS - EXTERIOR	12/26/21			
A1.2	EXISTING CONDITIONS PHOTOS - INTERIOR	12/26/21			
A2.0	EXISTING FLOOR PLANS + DEMO	12/26/21			
A2.1	EXISTING EXTERIOR ELEVATIONS + DEMO	12/26/21			
A3.0	PROPOSED FLOOR PLANS	12/26/21			
AS.1	ROOF PLAN	12/26/21			
AS.0	PROPOSED EXTERIOR ELEVATIONS	12/26/21			
AS.1	ENLARGED REAR FACADE	12/26/21			
AS.1	FENESTRATION	12/26/21			
DET-C-2.1	COURTYARD DRAINAGE PLAN	12/26/21			

SCOPE TAG SCHEDULE	
REF #	SCOPE
1	INSPECT & REPAIR LOOSE BRICK AND MORTAR. SEE STRUCTURAL ENGINEERS REPORT
2	REMOVE ALL VEGETATION GROWING FROM MASONRY WALLS
3	PROVIDE NEW HEAD TRIM. SEE ENLARGED DETAIL
4	PROVIDE NEW SHUTTERS. SEE ENLARGED DETAILS
4A	REMOVE HVAC WINDOW UNITS. RESTORE WINDOWS IN LIKE AND KIND IF IN NEED OF REPAIR. PROVIDE SHOP DRAWING IF FULL REPLACEMENT
5	REMOVE ALL BLACKOUT MATERIAL ON WINDOW GLAZING
6	PAINT ALL FACEDOUT FIBERTRIM AND CASING
7	REPAIR MISSING BALCONY EDGE TRIMWORK. REPLACE WITH LIKE AND KIND
8	REMOVE NON-VCC APPROVED LIGHTS. SEE AS.1 FOR REPLACEMENT SELECTION
9	REWORK EXISTING WIRING. REMOVE AND COMBINE RUNS AS NECESSARY
10	REPAIR SHUTTER
11	REMOVE
12A	REPLACEMENT OF EXISTING HVAC EQUIPMENT
12B	REMOVE EXISTING HVAC EQUIPMENT
13	DOCUMENT EXISTING REAR INFL BUILDING
14	PROVIDE NEW 12 ROUND COPPER & GUTTERS
15	REMOVE EXISTING TREE. INFL SURFACE WITH MATCHING COURTYARD MATERIAL
15A	NEW SLATE ROOF
15B	PROVIDE NEW MEMBRANE ROOF
16	RECAP AND INSPECT CHIMNEY
17	RE-ROOF AND FLASH VALLEY
18A	MASONRY REPAIR. SEE VCC WALL REPAIR NOTES & STRUCTURAL CONSULTANT'S REPORT
18B	REMOVE MASONRY. SEE STRUCTURAL CONSULTANT FOR DETAILS
19	REMOVE EXISTING WINDOW/DOOR AND REFRAME FOR NEW WINDOW OPENINGS. REMOVE EXTERIOR CLADDING FOR NEW CLADDING INSTALL
20	REMOVE EXISTING SKYLIGHT
21	REMOVE ALL PVC CONDENSING LINES. NO EXTERIOR PVC PIPING IS ALLOWED IN THE VCC
22	NEW MECHANICAL UNITS INSTALLED ON ROOF PLATFORM
23	REMOVE PLYWOOD COVERING WINDOWS

ROYAL ST

SAINT LOUIS ST

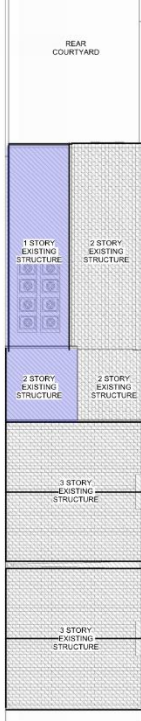
CONTI ST

BOURBON ST



1 KEY PLAN - TITLE SHEET  
1" = 10'-0"

NON-PERMITTED  
INFILL ADDITION



21\_569

DATE

\* TYPE (SEE CHANGE LOG)

416 BOURBON ST EXTERIOR RENOVATION

416 BOURBON ST  
NEW ORLEANS LA 70130



M3 DESIGN GROUP  
3330 MARIE ST. SUITE 120 NEW ORLEANS, LA 70119  
www.m3designgroup.com

CONSTRUCTION DOCUMENTS

ISSUED 12/26/21

A1.0

TITLE SHEET

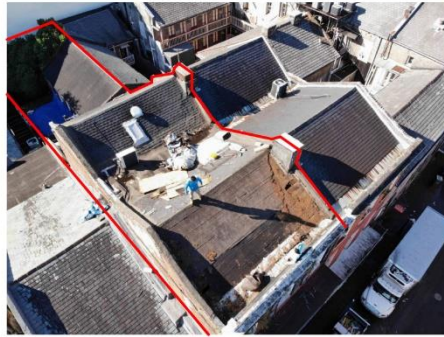
416 Bourbon

VCC Architectural Committee

December 7, 2021







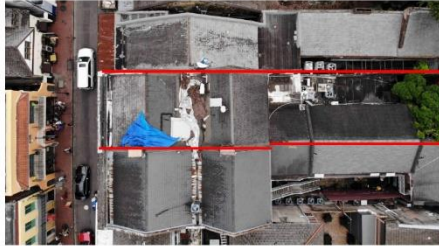
ROOF (BOURBON TO THE RIGHT)



REAR ELEVATION  
COURTYARD - PLAN SOUTH



FRONT FACADE



ROOF (BOURBON TO THE LEFT)



REAR ELEVATION  
COURTYARD - PLAN SOUTH



ROOF (BOURBON ST TO TOWARDS THE TOP OF THE PAGE)



REAR ELEVATION  
COURTYARD - PLAN SOUTH



JUNE 1981 - LOOKING TOWARDS REAR ELEVATION  
FROM COURTYARD - NOTE NON-PERMITTED INFILL ADDITION HAD NOT  
OCCURED AT THIS TIME.

21\_099  
416 BOURBON ST EXTERIOR RENOVATION  
416 BOURBON ST  
NEW ORLEANS LA 70130

#	TYPE (SEE CHANGE LOG)	DATE



3208 BOURBON ST., NO. 14, NEW ORLEANS, LA 70116  
3300 PONTCHARTRAIN BOULEVARD, SUITE 200, NEW ORLEANS, LA 70119  
CONSTRUCTION DOCUMENTS  
ISSUED 12/26/21

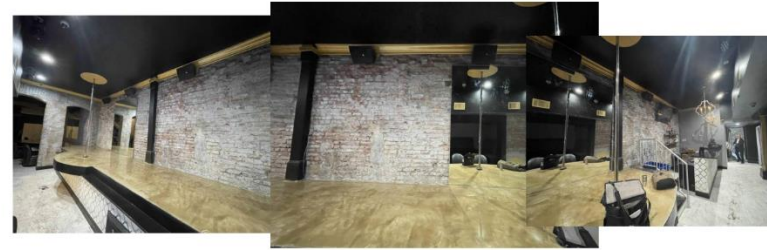
**A1.1**  
EXISTING  
CONDITIONS -  
EXTERIOR







1 - INTERIOR PHOTO  
INFILL ADDITION  
LOOKING TOWARDS REAR OF STRUCTURE



4 - INTERIOR PHOTO  
INFILL ADDITION  
LOOKING PLAN WEST



3 - INTERIOR PHOTO  
INFILL ADDITION  
LOOKING TOWARDS FRONT OF STRUCTURE



2 - INTERIOR PHOTO  
INFILL ADDITION  
LOOKING PLAN EAST



4 - INTERIOR PHOTO  
FRONT ROOM  
LOOKING TOWARDS REAR OF STRUCTURE



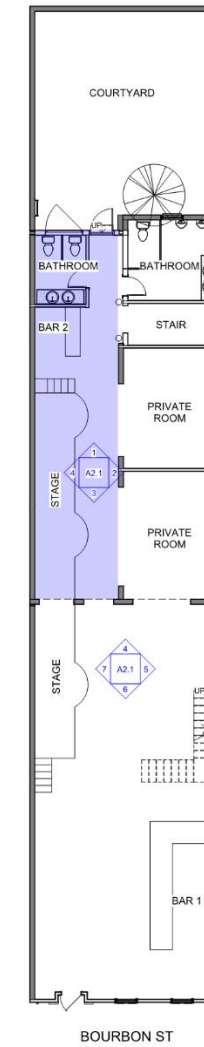
5 - INTERIOR PHOTO  
FRONT ROOM  
LOOKING PLAN EAST



7 - INTERIOR PHOTO  
FRONT ROOM  
LOOKING PLAN WEST



6 - INTERIOR PHOTO  
FRONT ROOM  
LOOKING TOWARDS FRONT OF STRUCTURE



1ST FLOOR

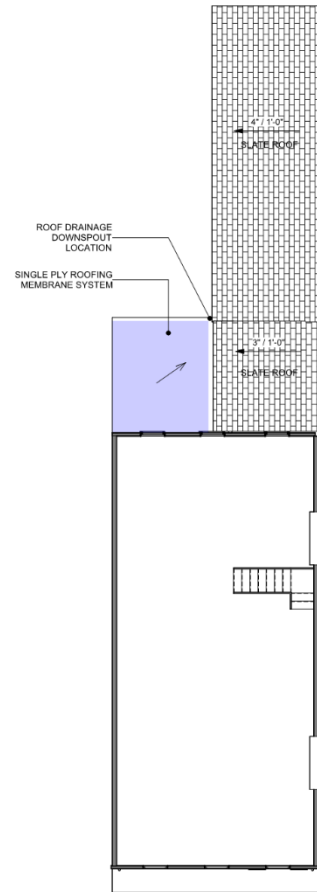
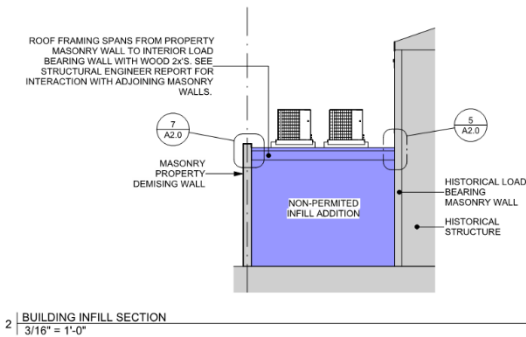
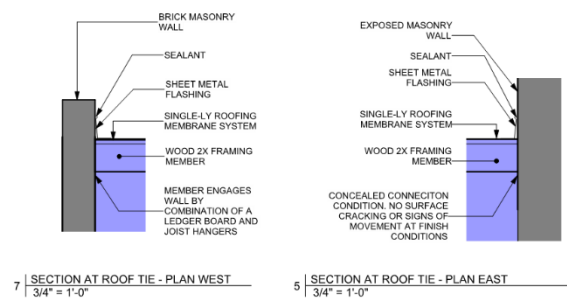
1ST FLOOR - CURRENT Copy 1 Copy 1  
1/8" = 1'-0"

416 Bourbon

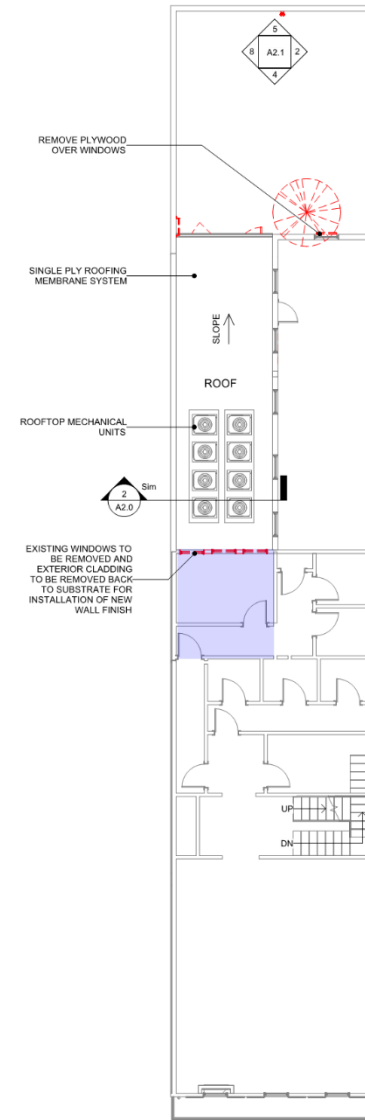
VCC Architectural Committee

December 7, 2021

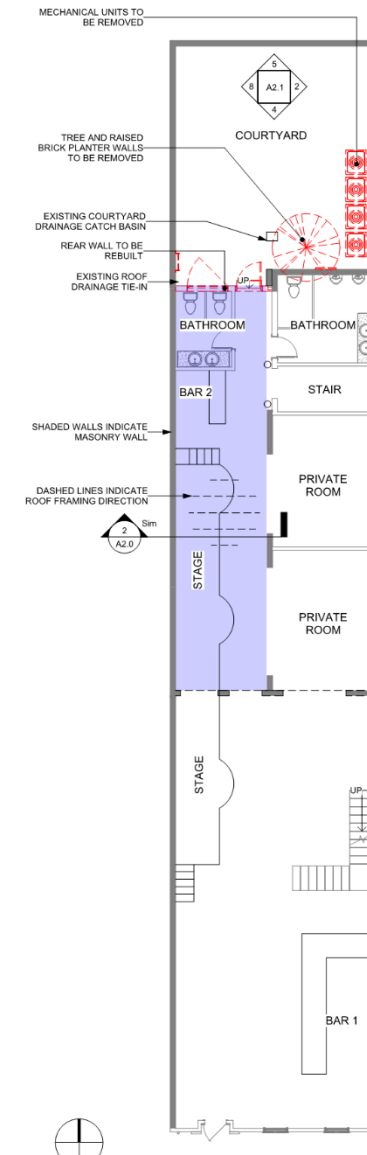




3 | 3RD FLOOR  
1/8" = 1'-0"



4 | 2ND FLOOR Copy 1  
1/8" = 1'-0"



1 | 1ST FLOOR - CURRENT Copy 1  
1/8" = 1'-0"

416 Bourbon

VCC Architectural Committee

December 7, 2021





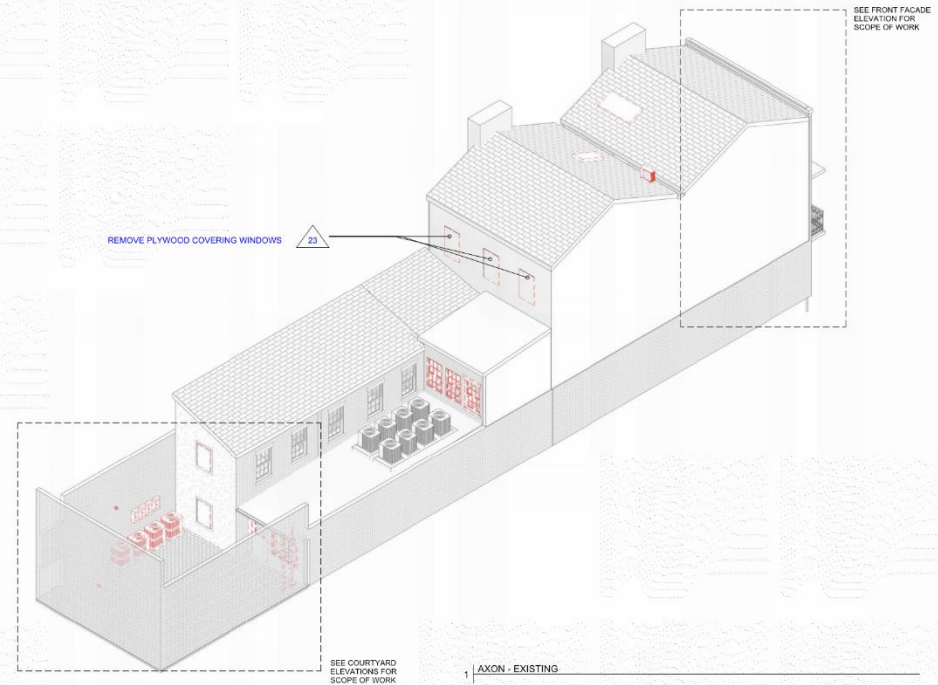


3 | FRONT FACADE EXISTING  
3/16" = 1'-0"

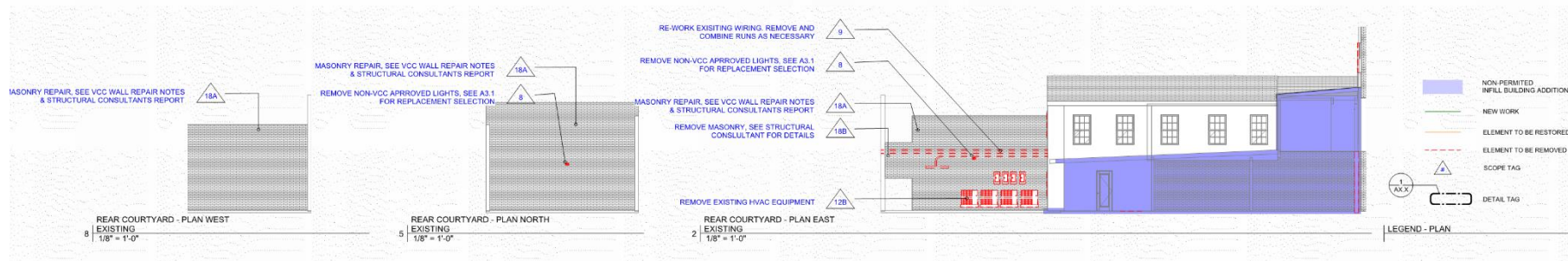
REMOVE EXISTING WINDOWS/DOOR AND REFRAME FOR NEW WINDOW OPENINGS. REMOVE EXTERIOR CLADDING FOR NEW GLAZING INSTALL



4 | REAR ELEVATION EXISTING  
3/16" = 1'-0"



1 | AXON - EXISTING



8 | REAR COURTYARD - PLAN WEST  
EXISTING  
1/8" = 1'-0"

5 | REAR COURTYARD - PLAN NORTH  
EXISTING  
1/8" = 1'-0"

2 | REAR COURTYARD - PLAN EAST  
EXISTING  
1/8" = 1'-0"

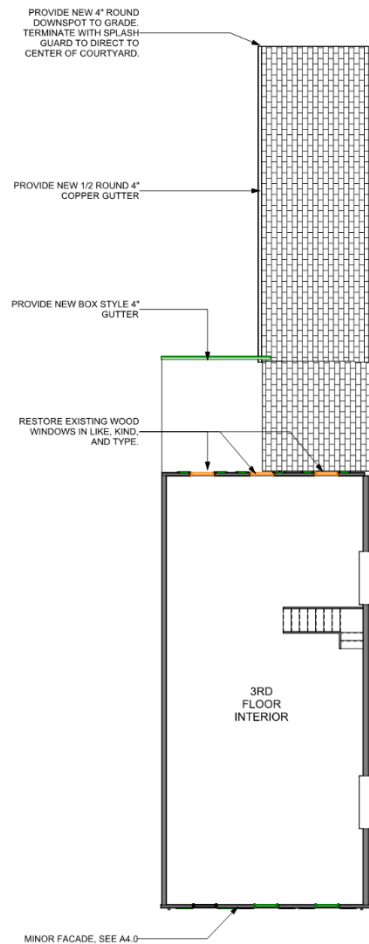
LEGEND - PLAN

# 416 Bourbon

VCC Architectural Committee

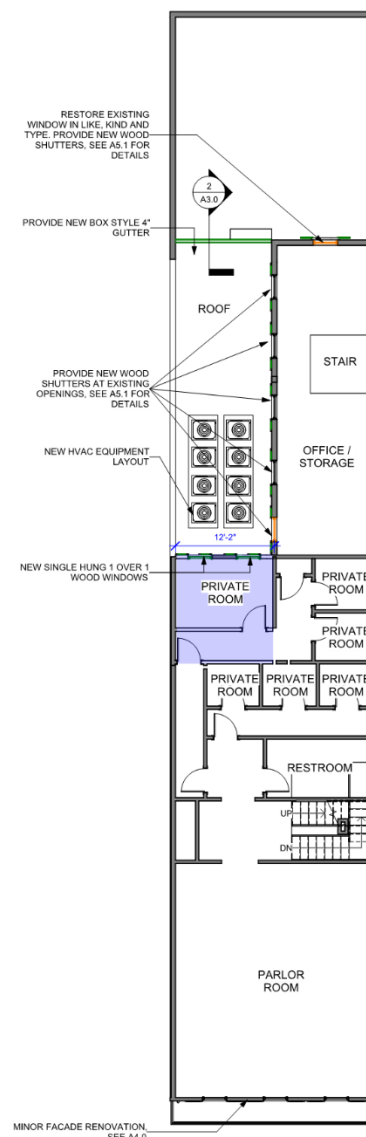
## 3RD FLOOR

3 | 3RD FLOOR EXISTING  
1/8" = 1'-0"



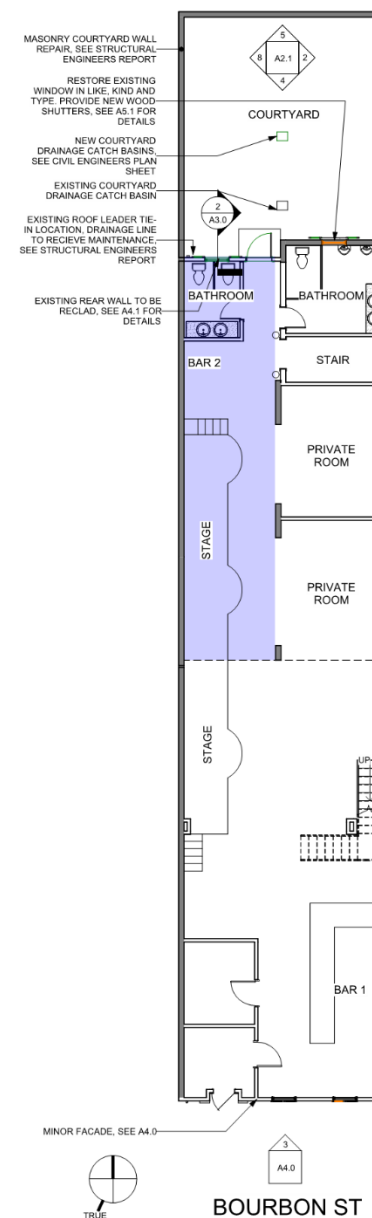
## 2ND FLOOR

4 | 2ND FLOOR  
1/8" = 1'-0"



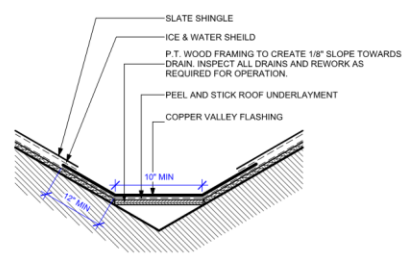
## 1ST FLOOR

1 | 1ST FLOOR - CURRENT  
1/8" = 1'-0"

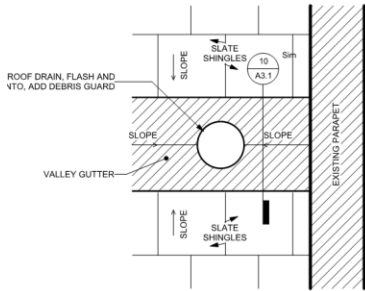


December 7, 2021

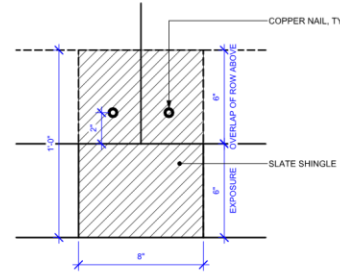




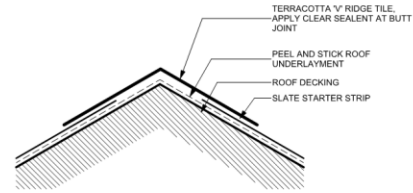
10 | ROOF DETAILS: SLATE VALLEY  
1 1/2\"/>



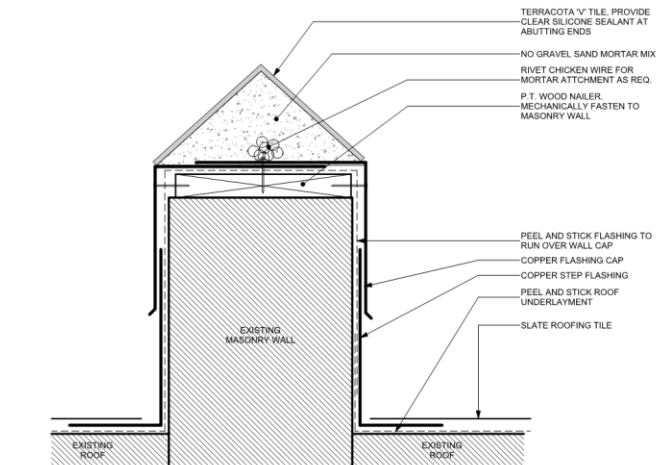
11 | ROOF DETAILS: VALLEY 1  
1 1/2\"/>



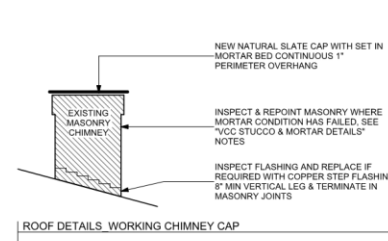
9 | ROOF DETAILS: SLATE FASTENING  
3\"/>



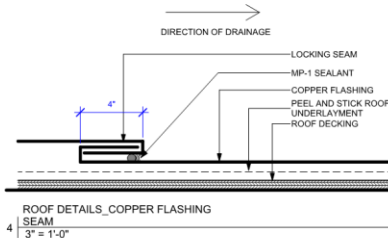
8 | ROOF DETAILS: SLATE RIDGE  
1 1/2\"/>



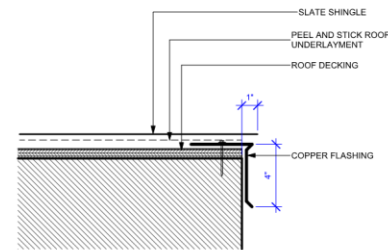
3 | ROOF DETAILS - PARAPET CAP TALL  
3\"/>



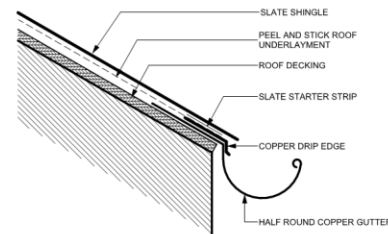
ROOF DETAILS: WORKING CHIMNEY CAP



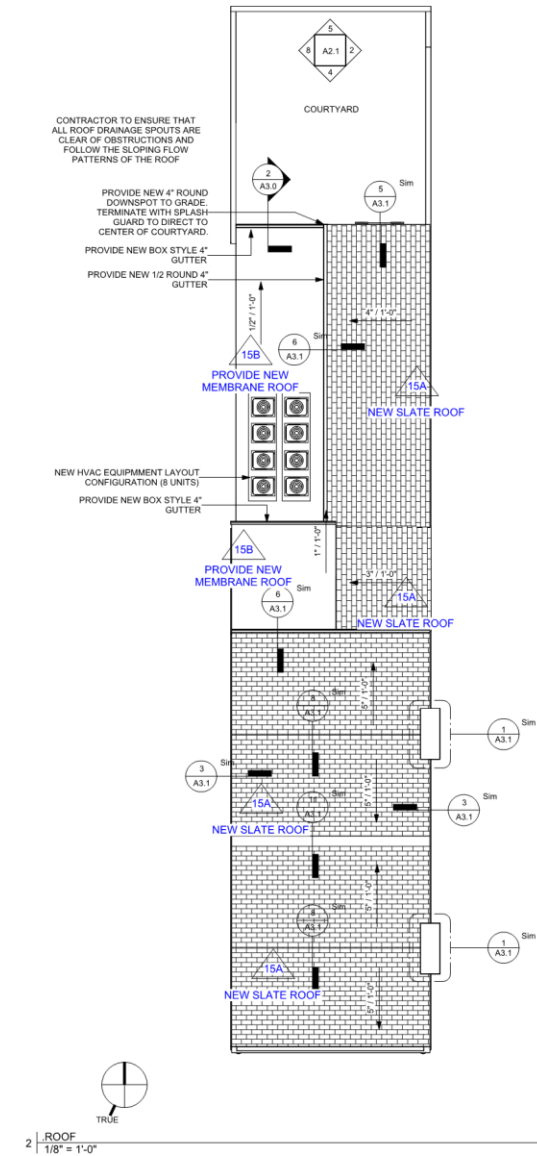
4 | SEAM  
3\"/>



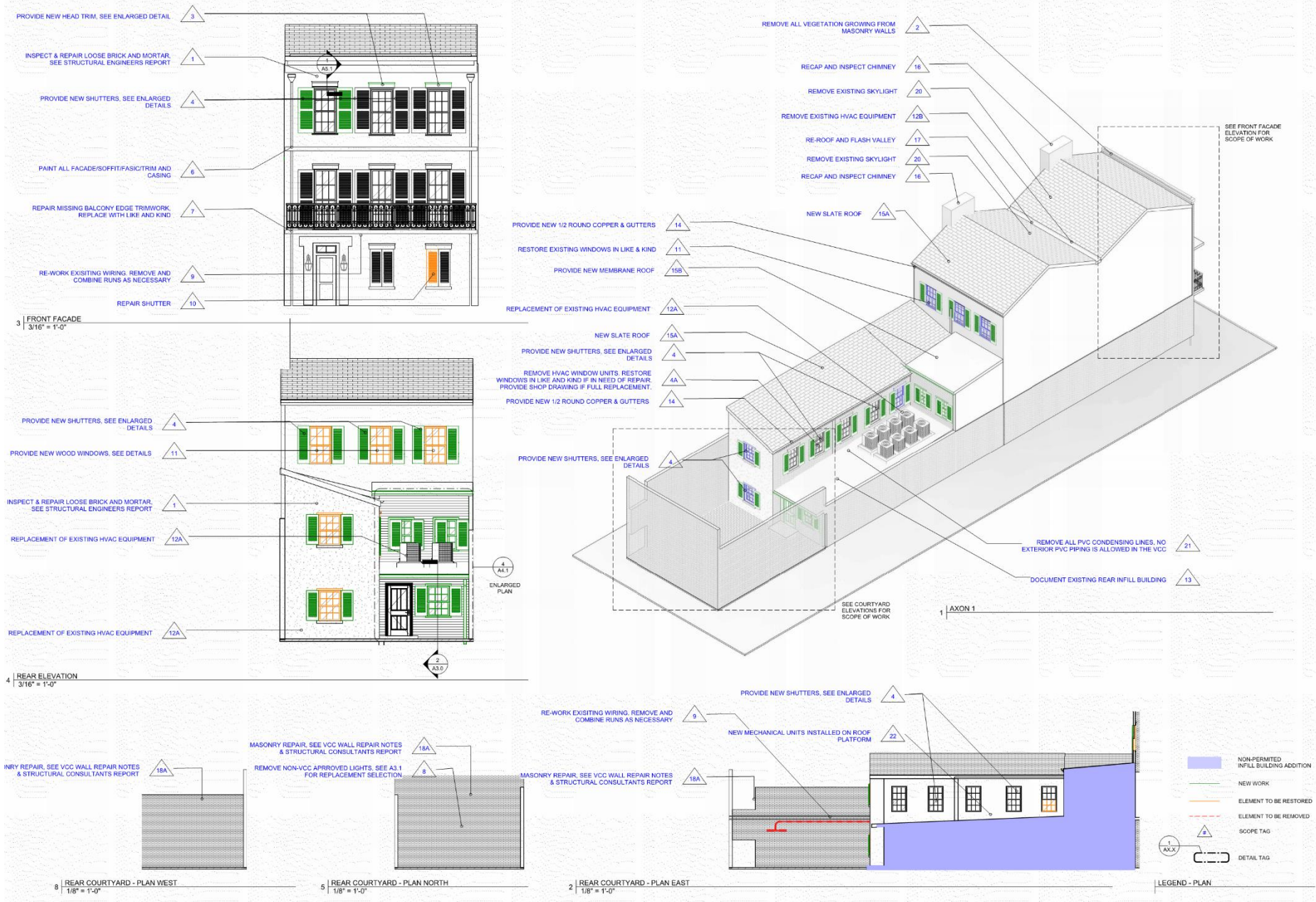
5 | ROOF DETAILS: GABLE/RAKE END  
3\"/>



6 | ROOF DETAILS: EAVE  
3\"/>



2 | ROOF  
1/8\"/>



416 Bourbon

VCC Architectural Committee

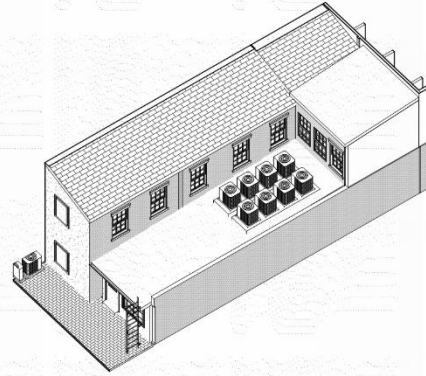
December 7, 2021



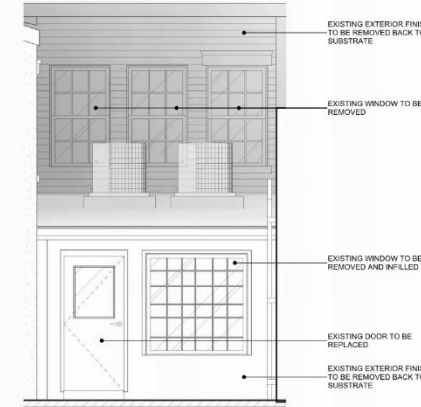




1 | REAR PERSPECTIVE - Copy 1



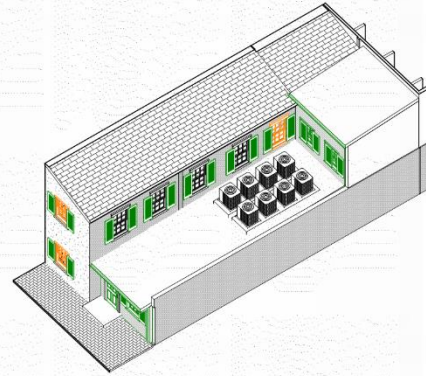
3 | REAR AXON - EXISTING



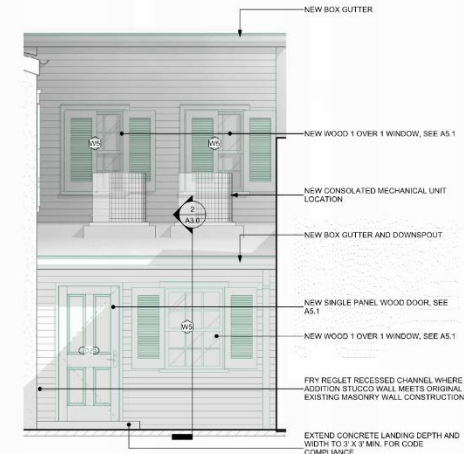
2 | REAR ELEVATION - EXISTING  
3/8" = 1'-0"



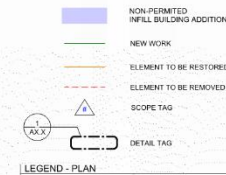
6 | REAR PERSPECTIVE



5 | REAR AXON - PROPOSED



4 | REAR ELEVATION - PROPOSED  
3/8" = 1'-0"



21.099

DATE

TYPE (SEE CHANGE LOG)

416 BOURBON ST EXTERIOR RENOVATION

416 BOURBON ST

NEW ORLEANS LA 70130



M3 DESIGN GROUP

3038 BRADLEY ST. #101, NEW ORLEANS, LA 70115

WWW.M3DESIGNGROUP.COM

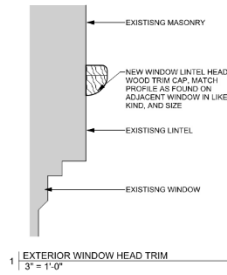
CONSTRUCTION DOCUMENTS

ISSUED 12/26/21

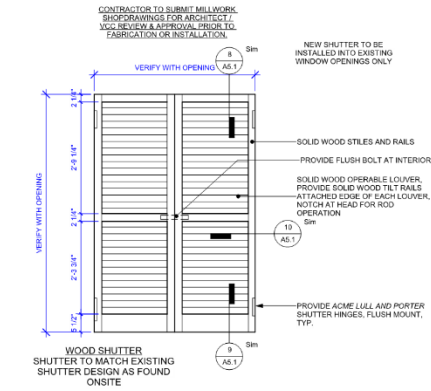
A4.1

ENLARGED REAR FACADE

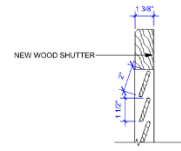




1 | EXTERIOR WINDOW HEAD TRIM  
3" = 1'-0"



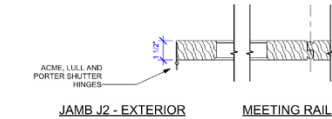
11 | SHUTTER LOUVERED ELEV  
3/4" = 1'-0"



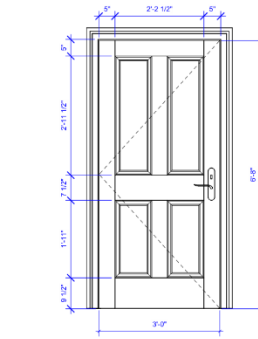
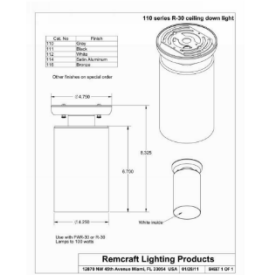
8 | SHUTTER - HEAD  
3" = 1'-0"

SILL S2 - EXTERIOR

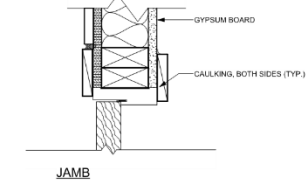
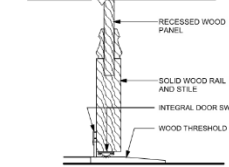
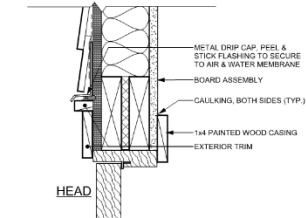
9 | SHUTTER - SILL  
3" = 1'-0"



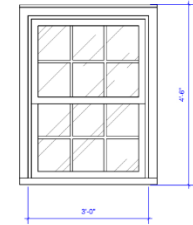
10 | SHUTTER - JAMB  
3" = 1'-0"



DOOR D1  
3/4" = 1'-0"



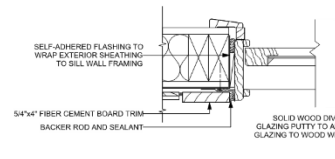
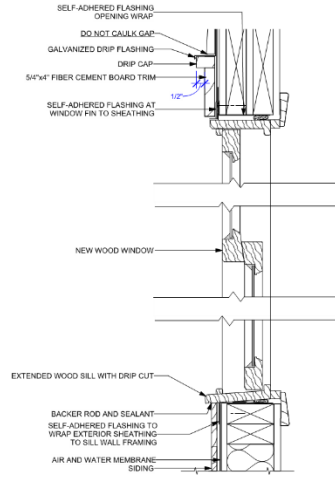
3 | DOOR DETAILS - WOOD FRAMED  
3" = 1'-0"



W3  
3" = 1'-0"

1ST FLOOR INSTALL, MATCH HEAD HEIGHT TO DOOR.  
2ND FLOOR INSTALL, HEAD HEIGHT AT 7' 6"

WINDOW ELEVATION  
3/4" = 1'-0"



13 | WINDOW DETAILS  
3" = 1'-0"

416 BOURBON ST EXTERIOR RENOVATION  
416 BOURBON ST  
NEW ORLEANS LA 70130

21\_099

DATE

# TYPE (SEE CHANGE LOG)



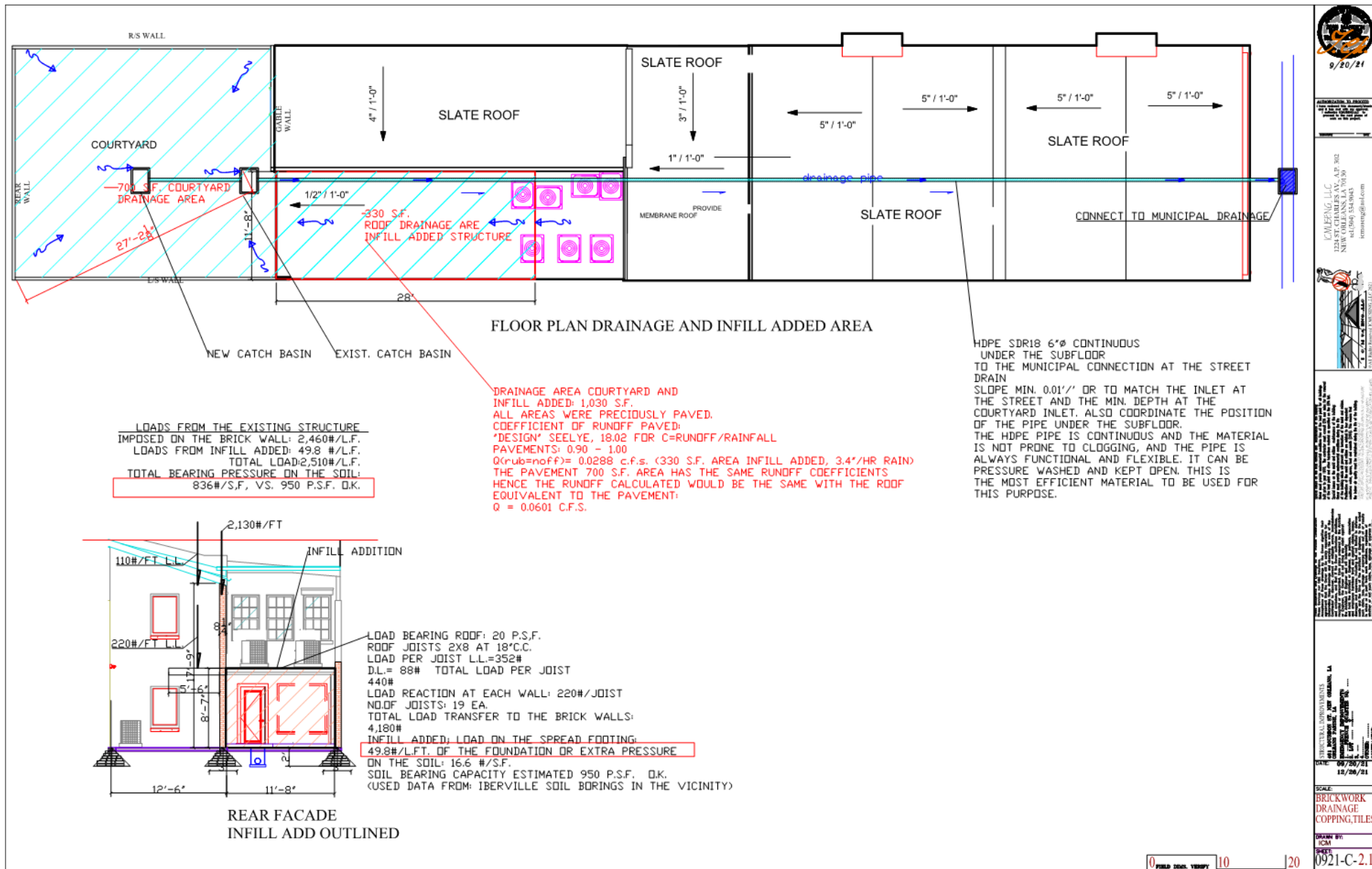
M3 DESIGN GROUP  
1100 PINE ST. SUITE 100 NEW ORLEANS, LA 70112  
WWW.M3DESIGNGROUP.COM

CONSTRUCTION DOCUMENTS  
ISSUED 12/26/21

A5.1  
FENESTRATION







416 Bourbon

VCC Architectural Committee

December 7, 2021





418 Bourbon





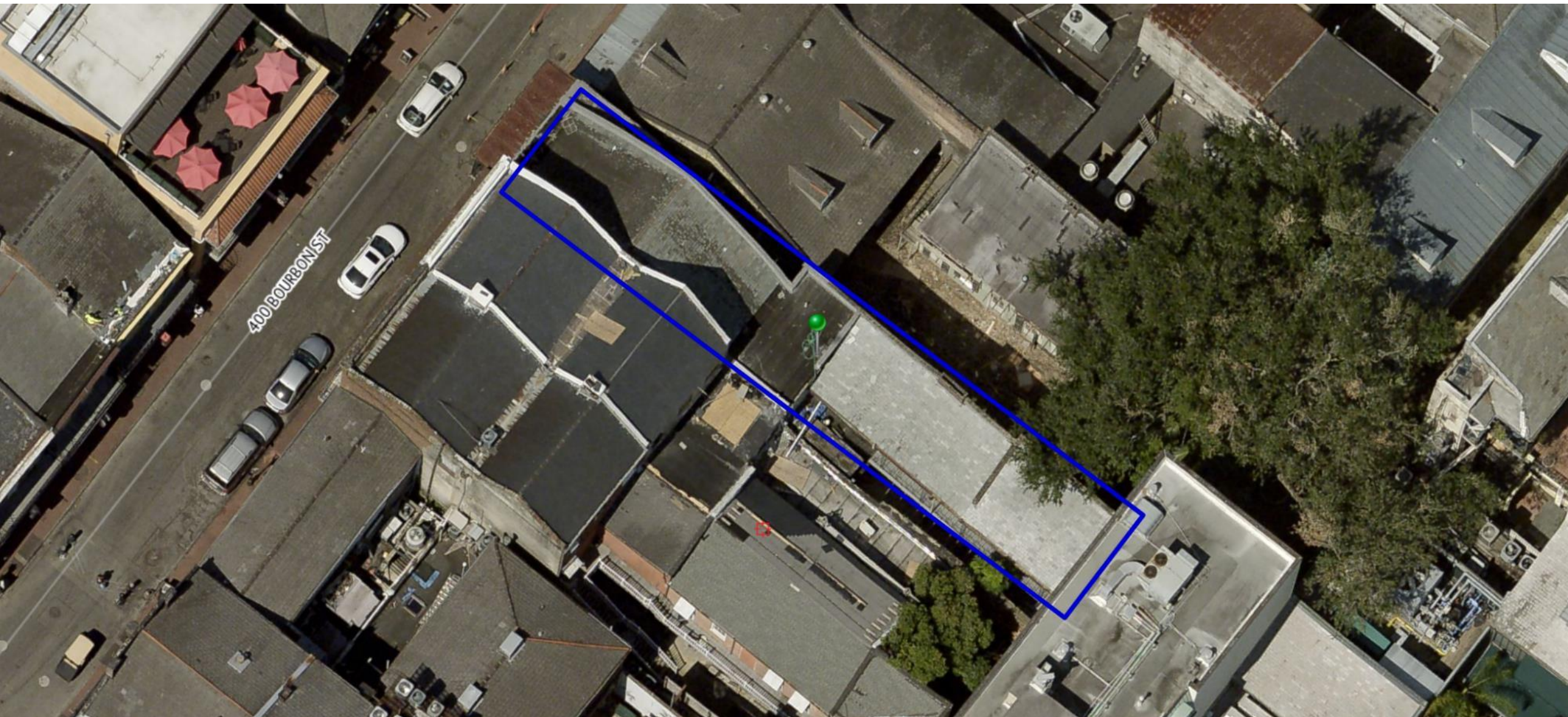
418 Bourbon Street

VCC Architectural Committee

December 7, 2021







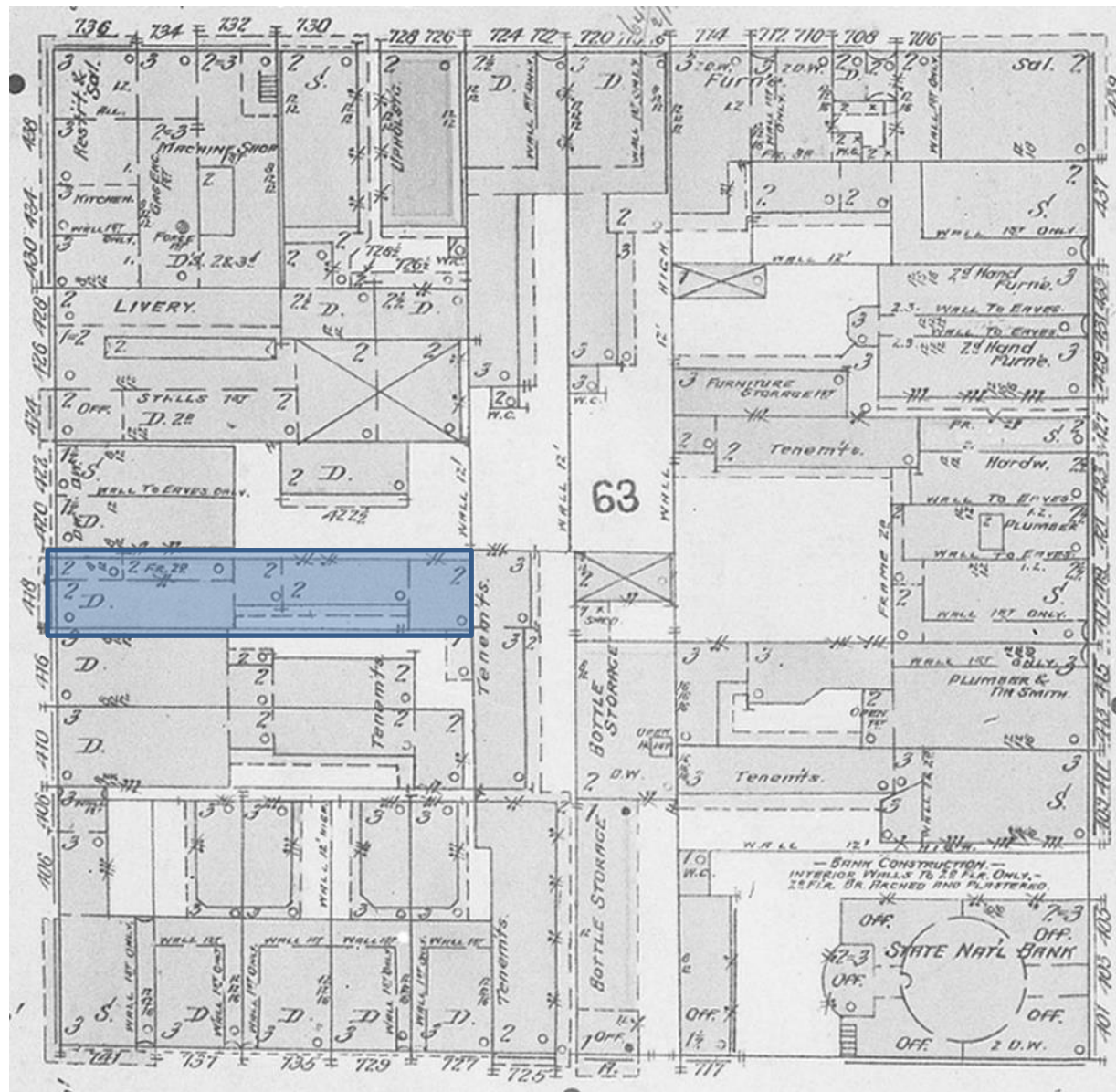
418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021





1959



2013

418 Bourbon Street

VCC Architectural Committee







418 Bourbon Street

VCC Architectural Committee

December 7, 2021





418 Bourbon Street

VCC Architectural Committee

December 7, 2021





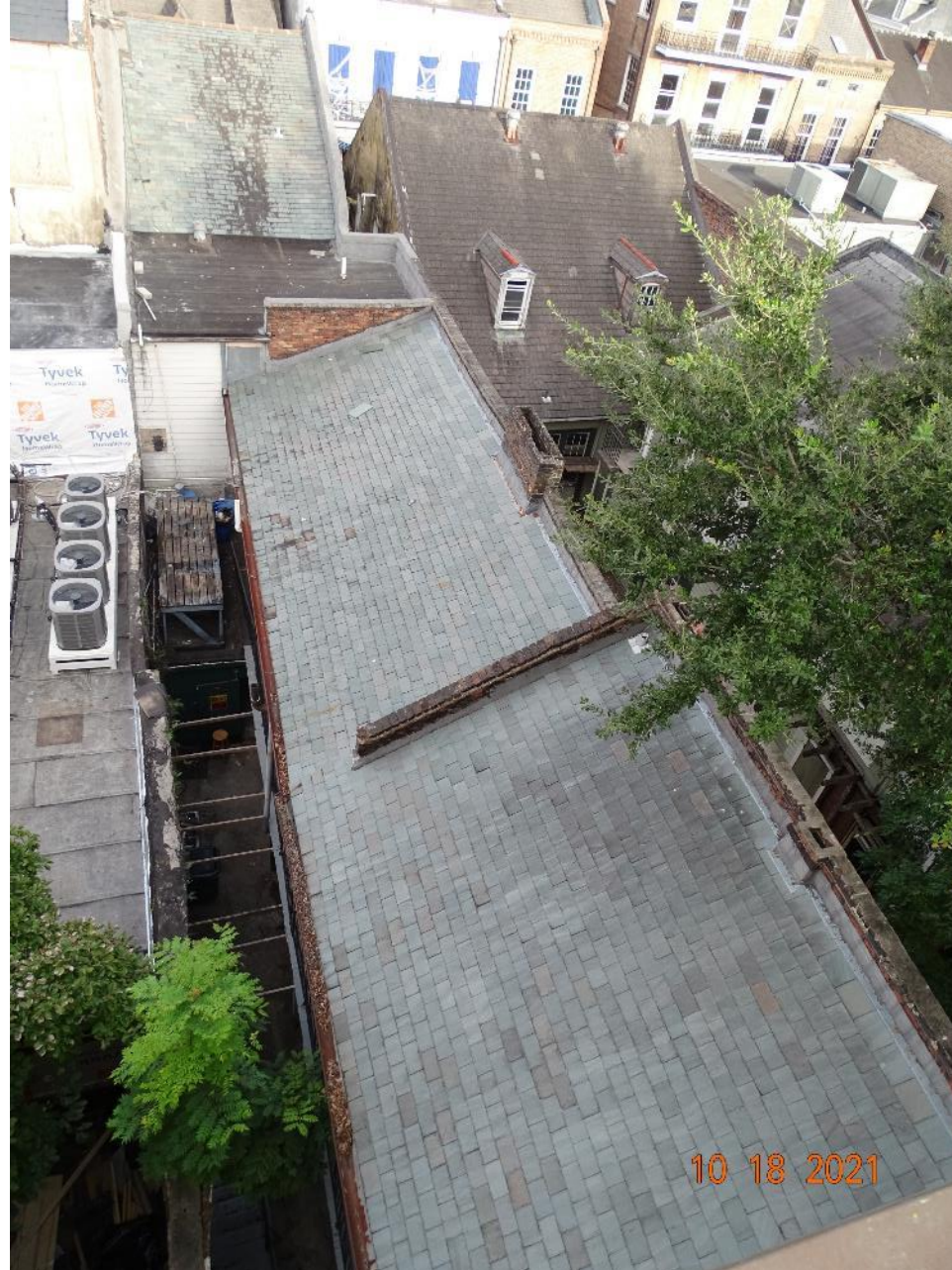


418 Bourbon Street

VCC Architectural Committee

December 7, 2021





418 Bourbon Street

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December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021





418 Bourbon Street

VCC Architectural Committee

December 7, 2021





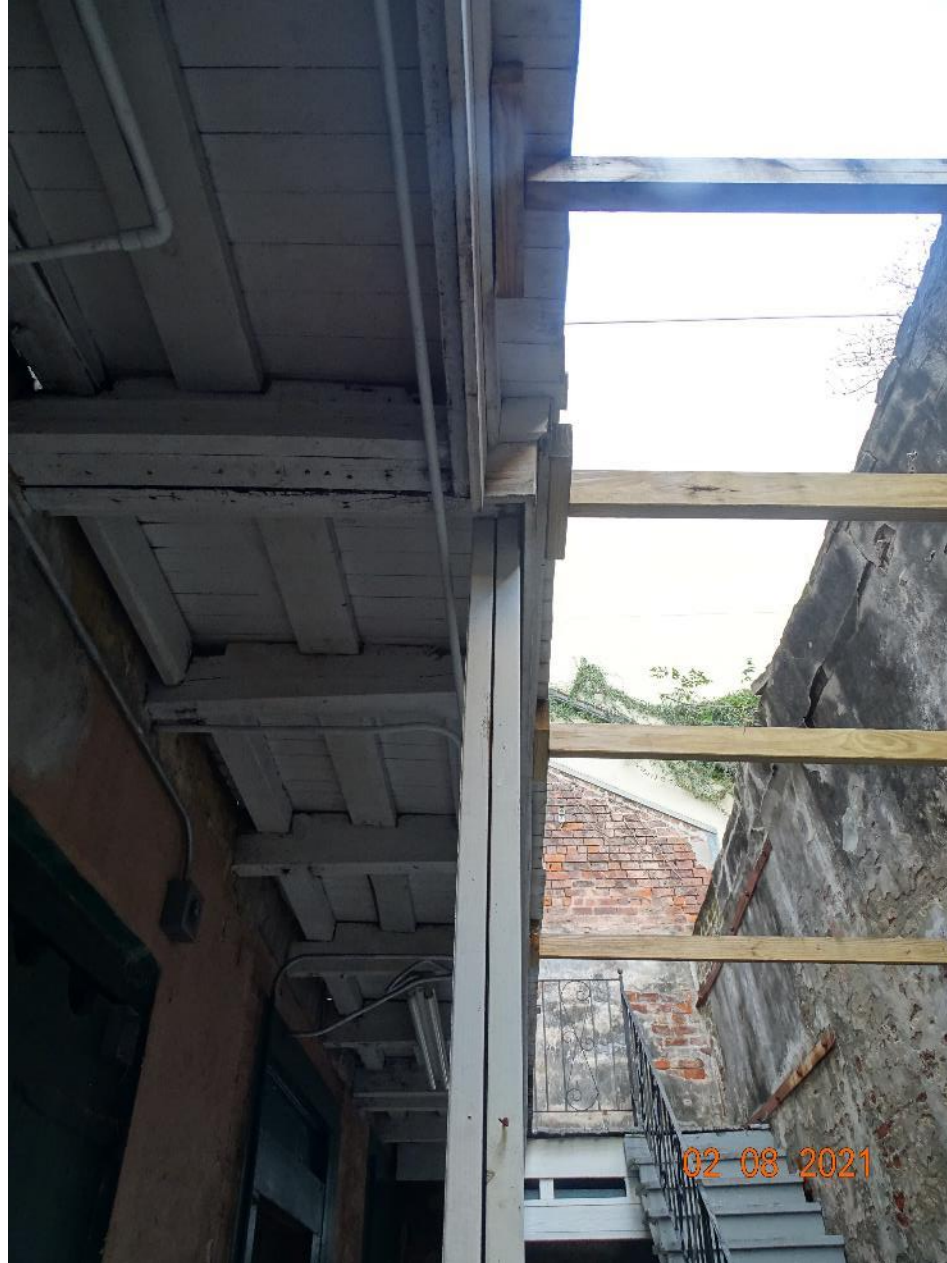


418 Bourbon Street

VCC Architectural Committee

December 7, 2021





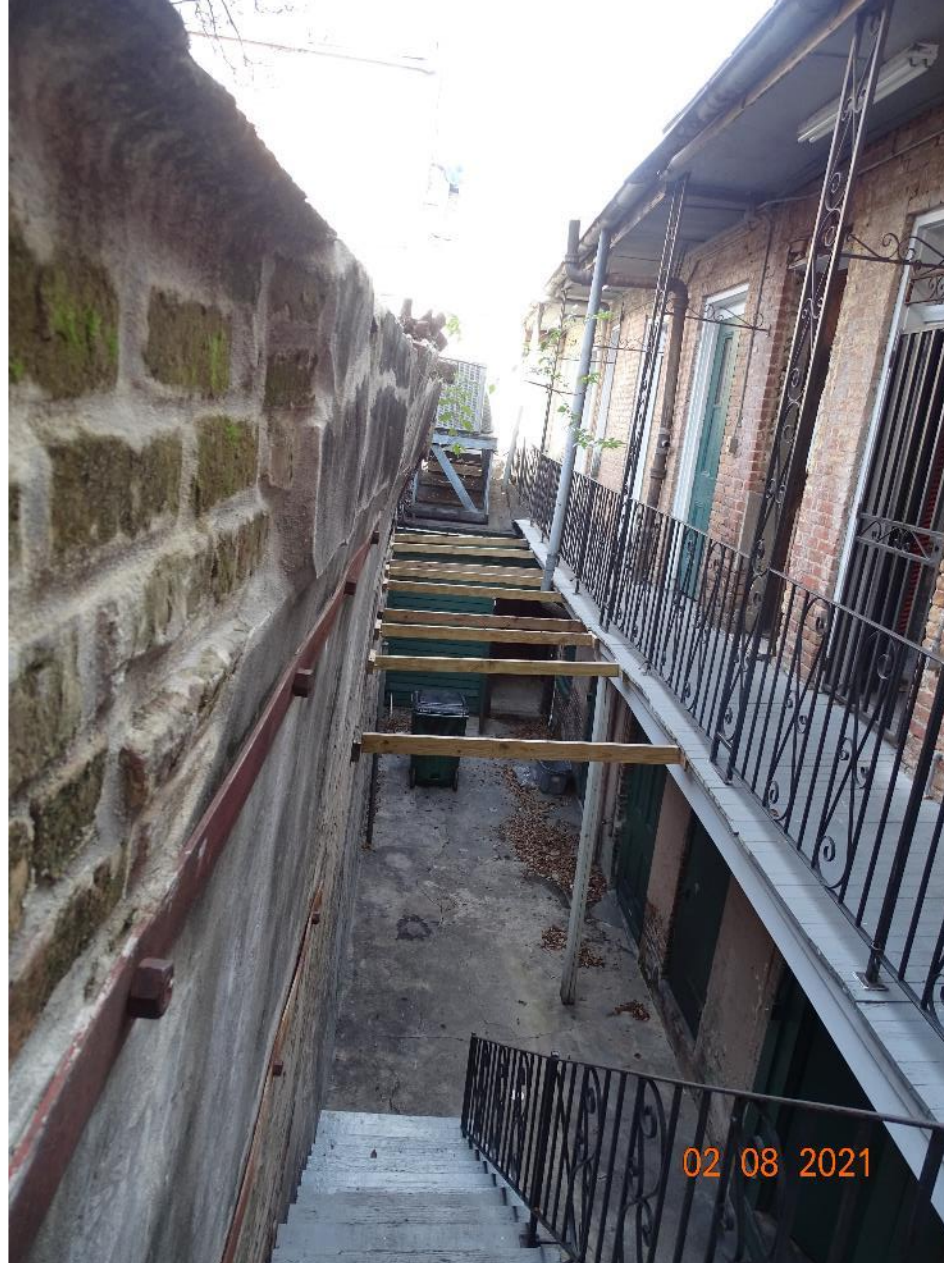
418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021





02 08 2021

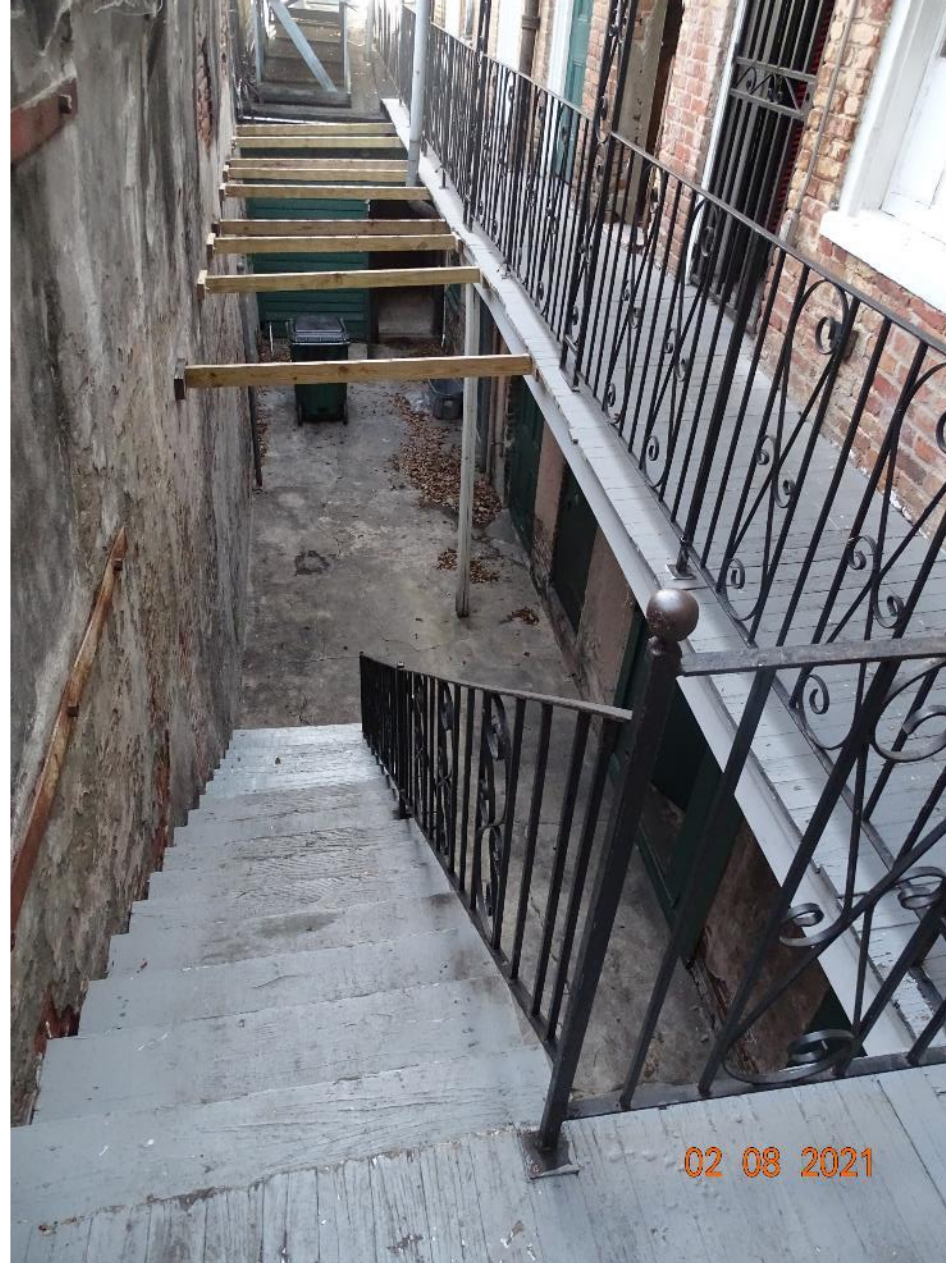
418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

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December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

VCC Architectural Committee

December 7, 2021







418 Bourbon Street

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December 7, 2021





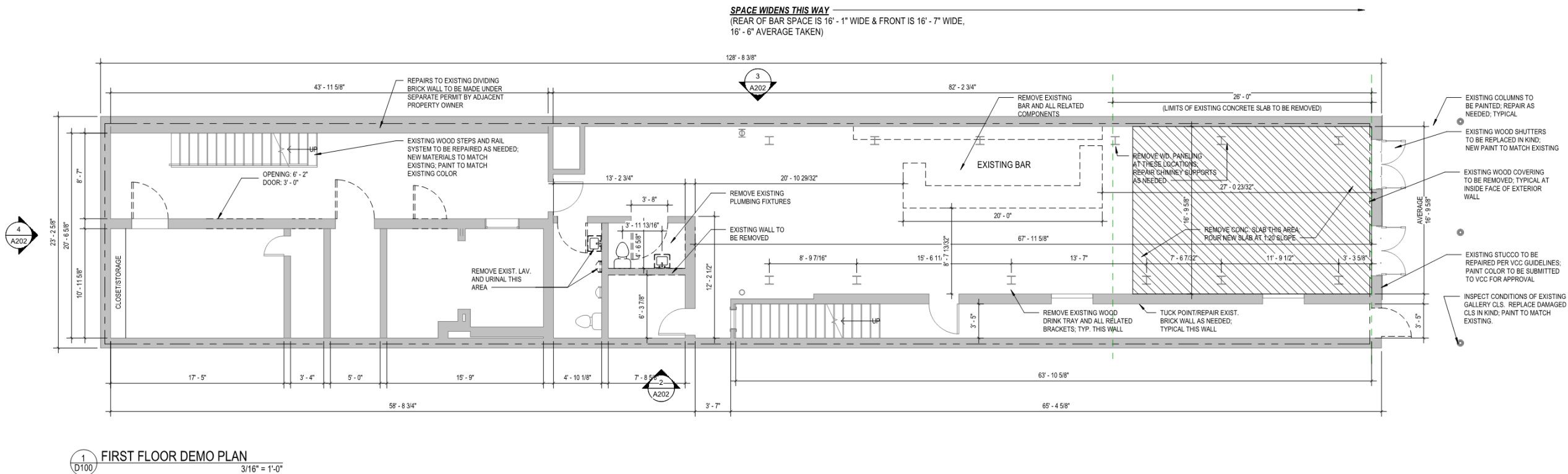


418 Bourbon Street

VCC Architectural Committee

December 7, 2021





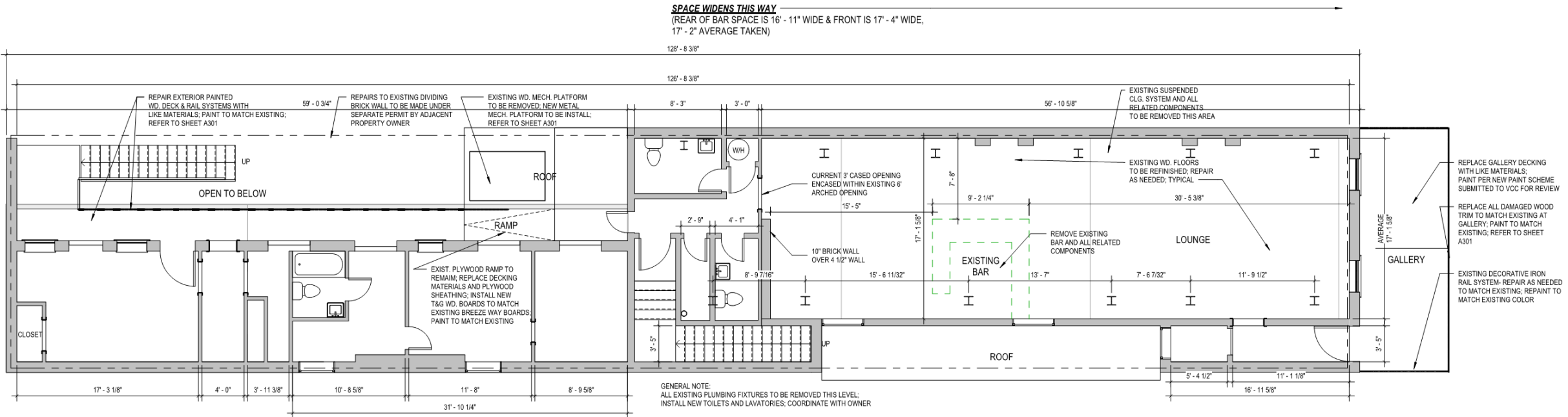
418 Bourbon Street

VCC Architectural Committee

December 7, 2021

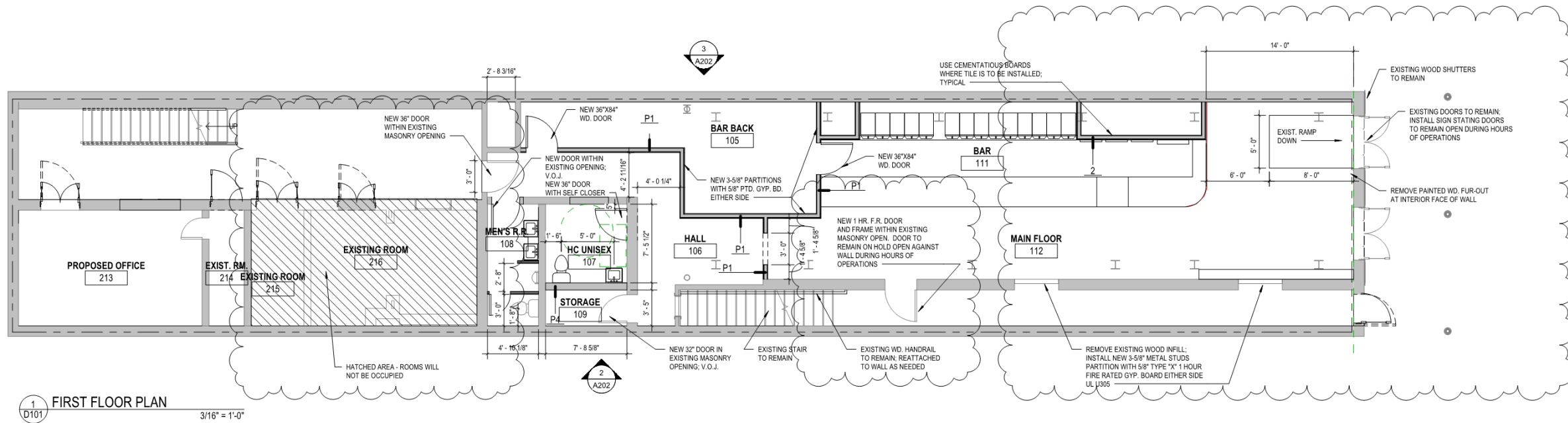




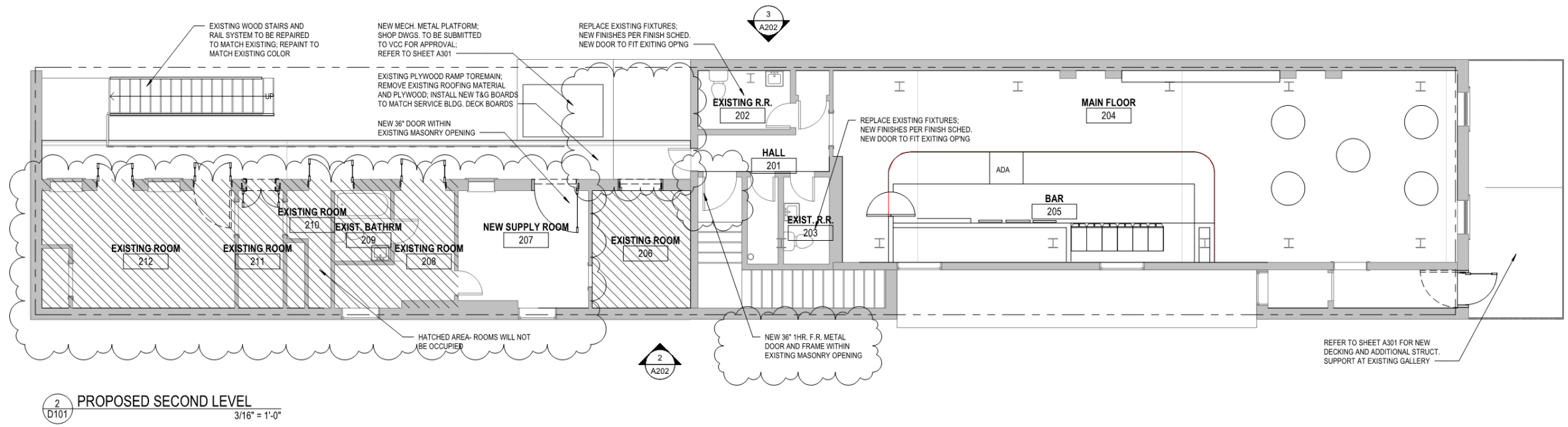


2 SECOND FLOOR DEMO PLAN  
 D100 3/16" = 1'-0"







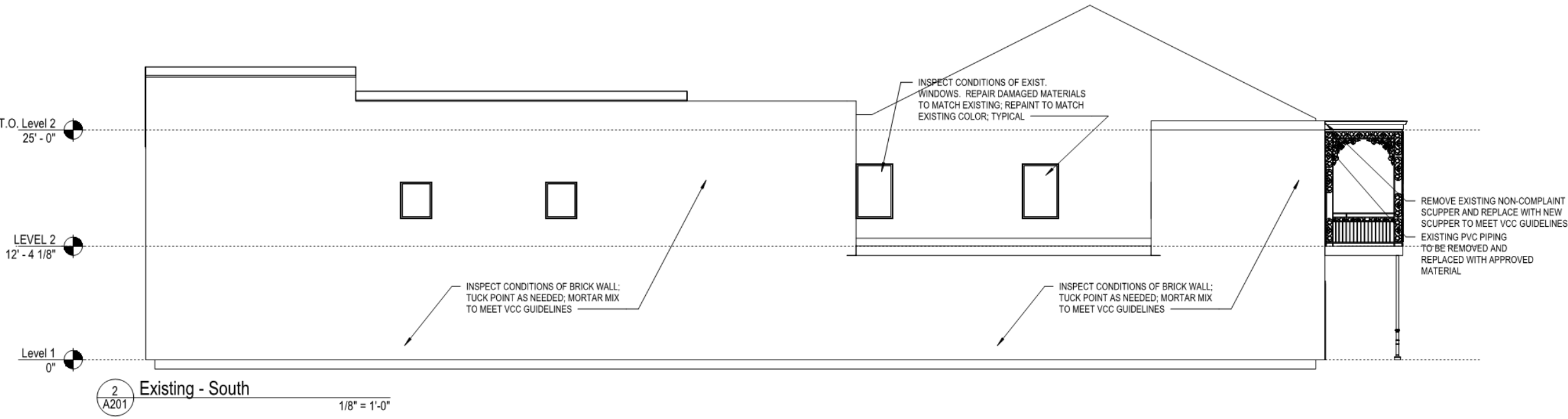


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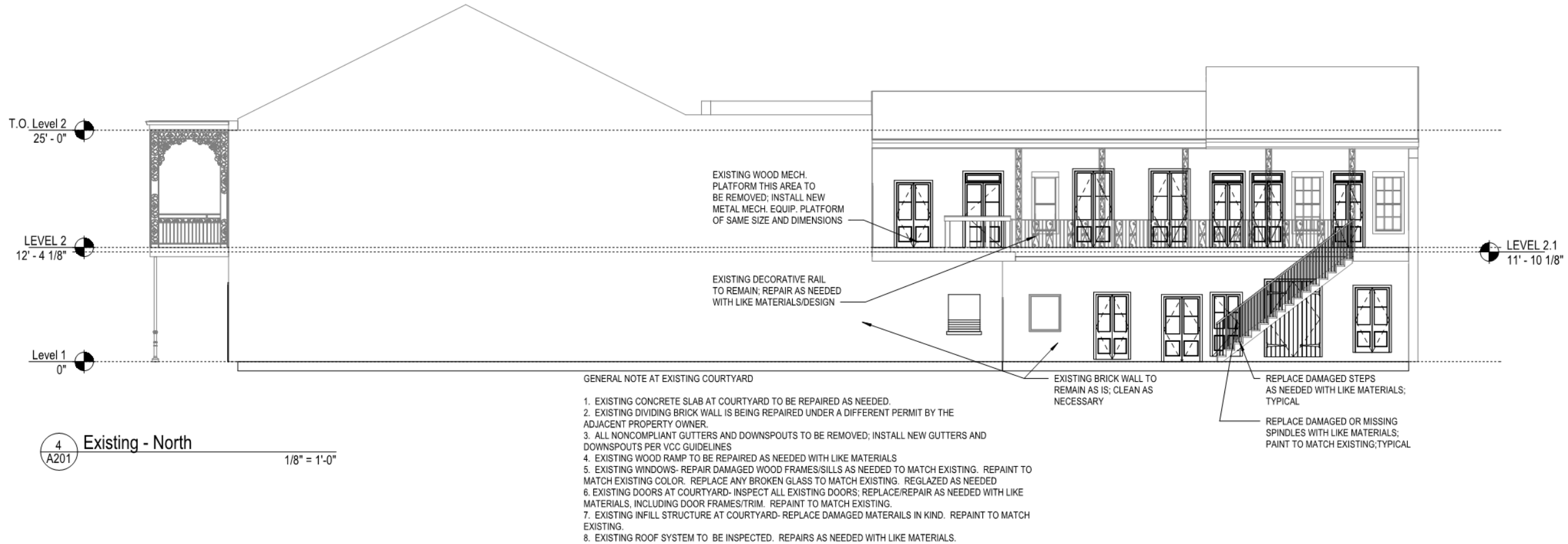
VCC Architectural Committee

December 7, 2021









4  
A201 Existing - North

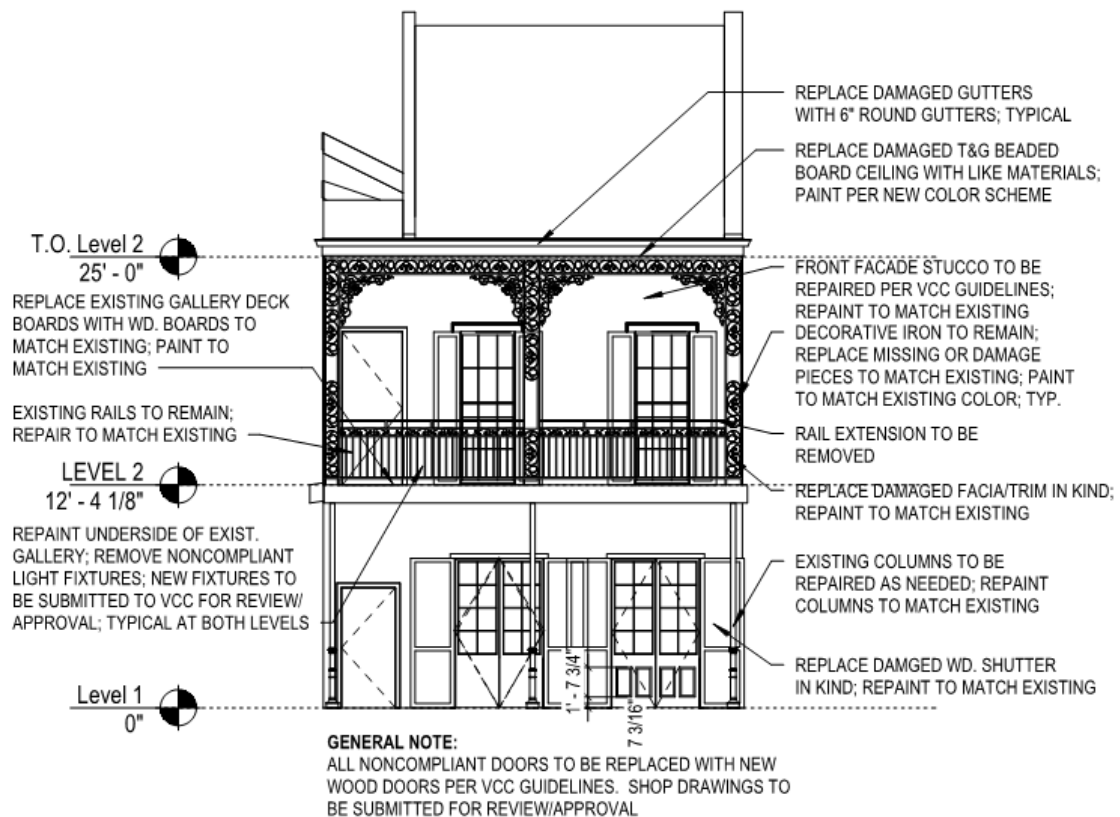
1/8" = 1'-0"

418 Bourbon Street

VCC Architectural Committee

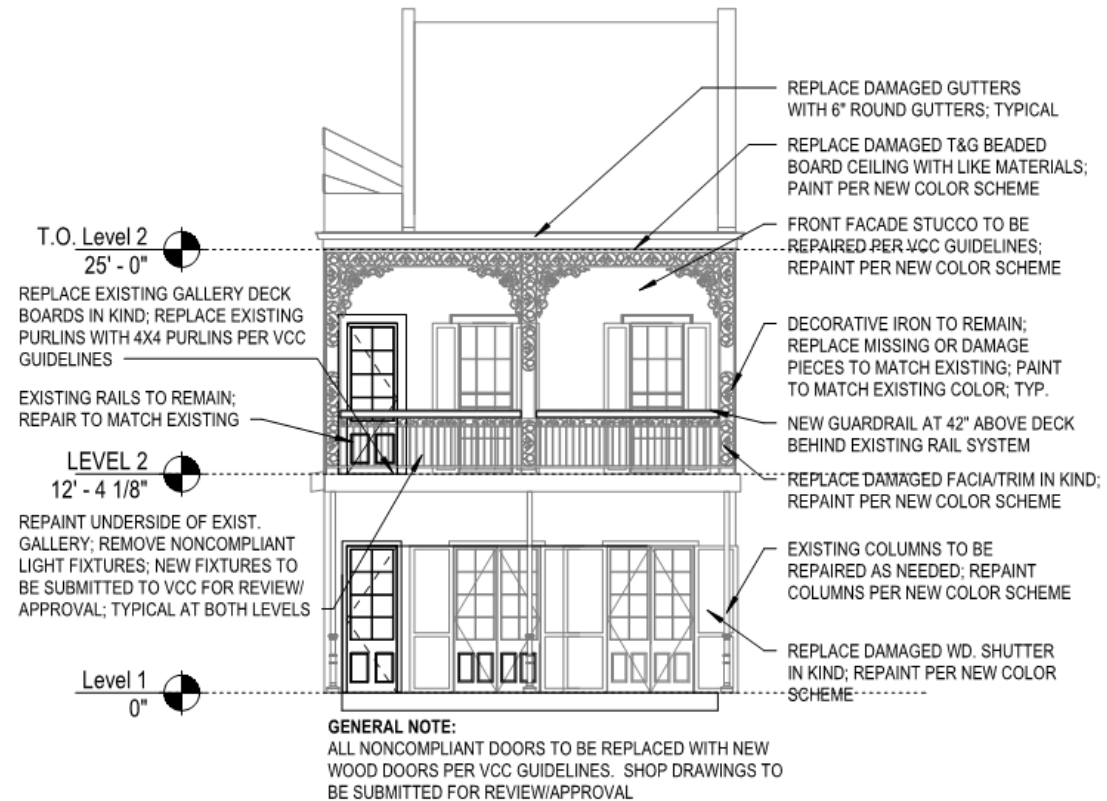
December 7, 2021





1 Existing - East

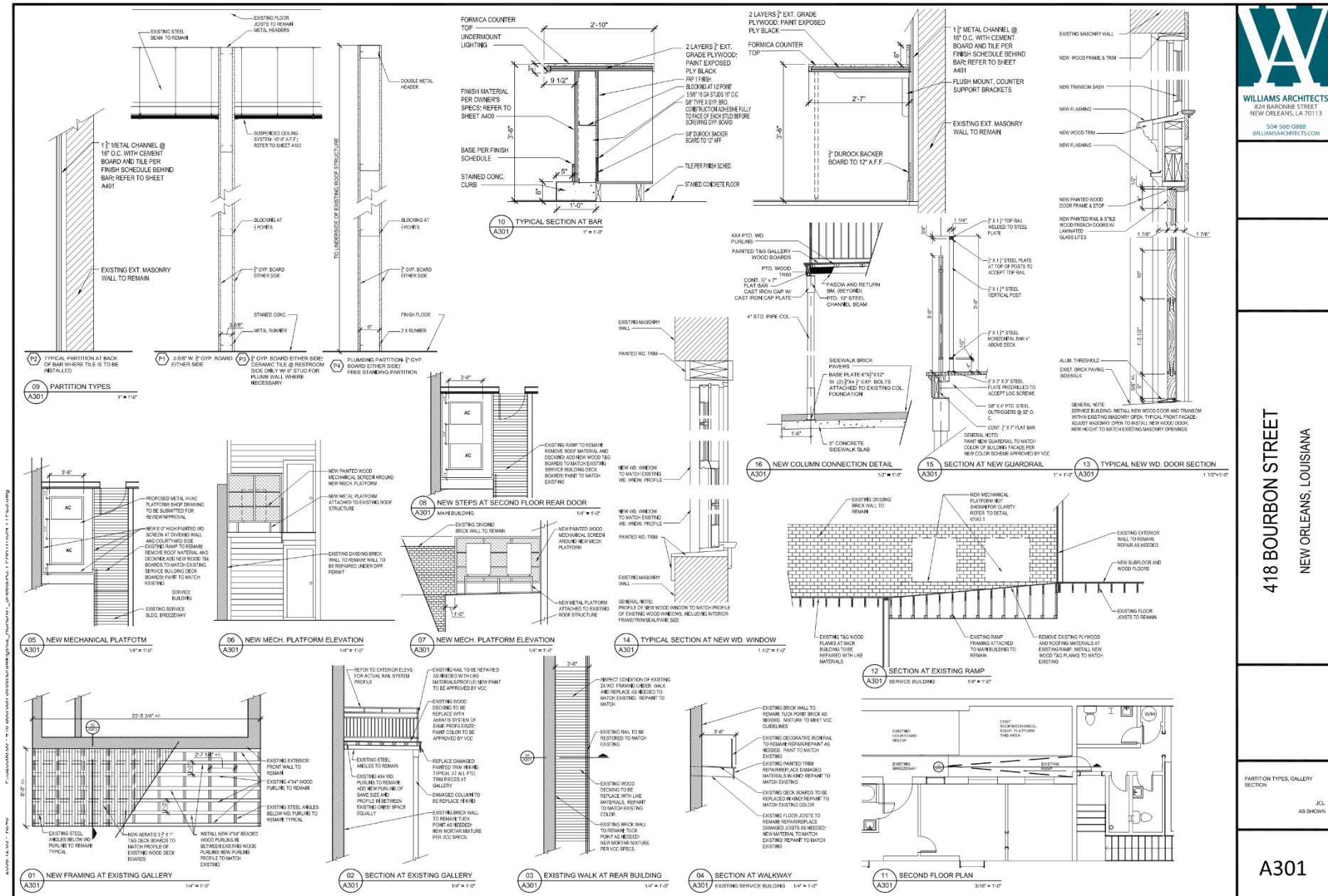
1/8" = 1'-0"

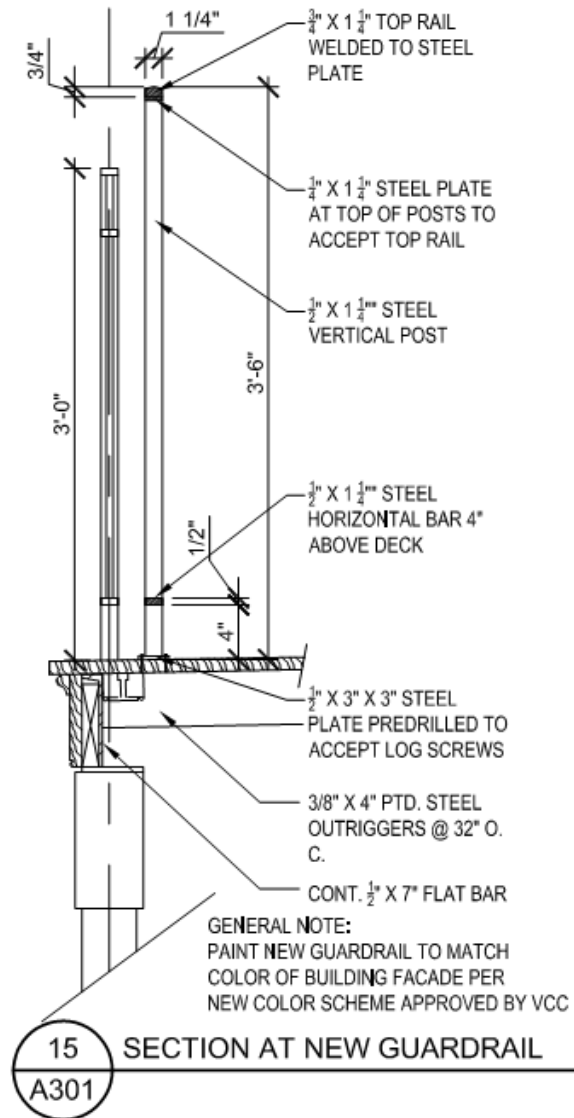
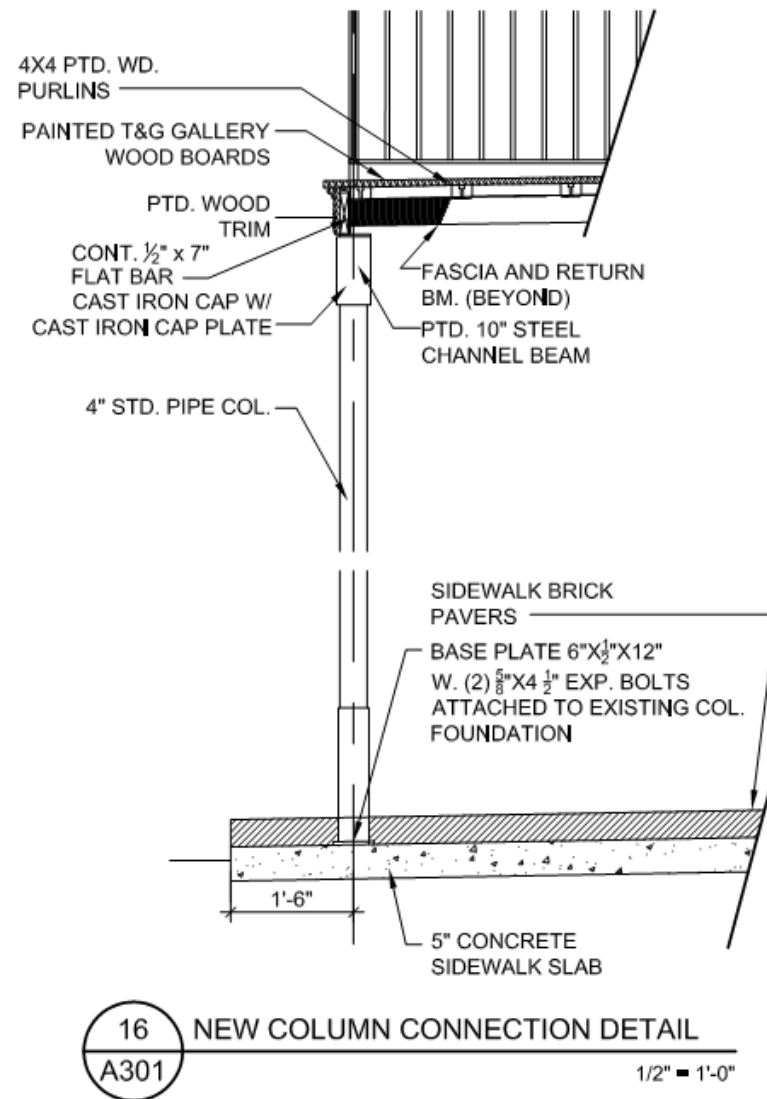


2 Proposed - East

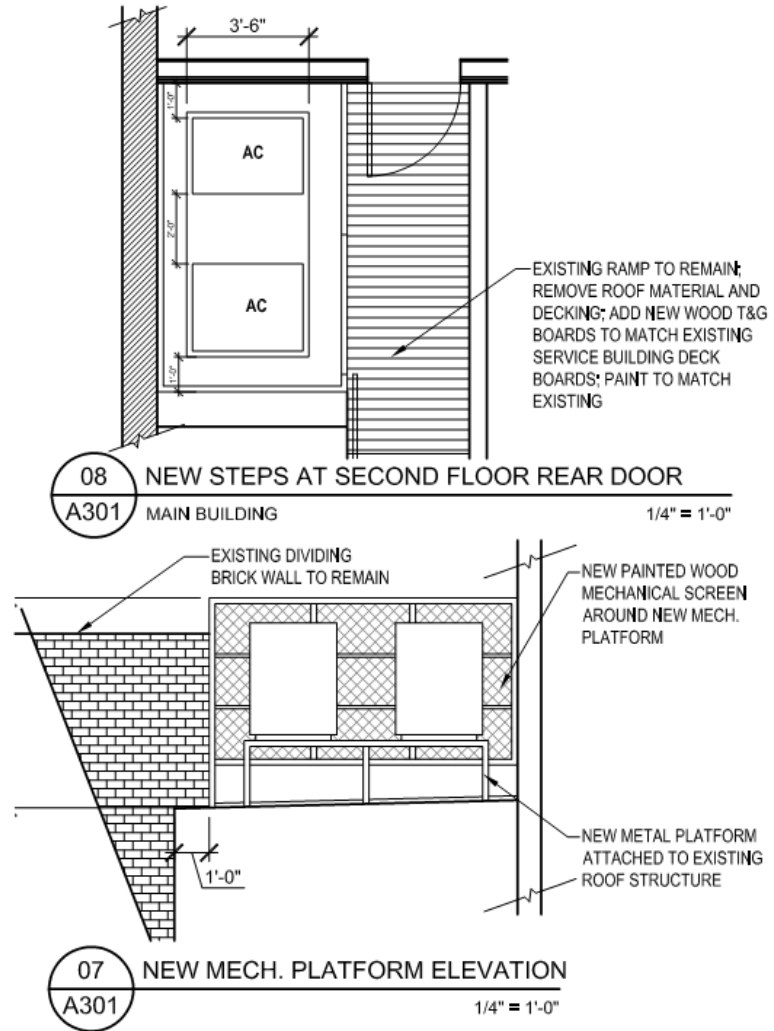
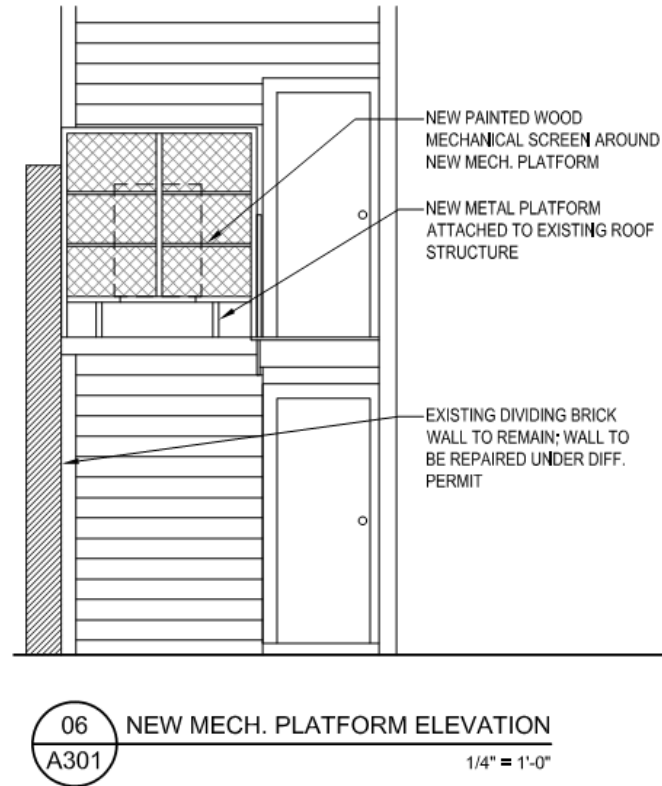
1/8" = 1'-0"











P:\2020\08-10-418 Bourbon Street\Drawings\02\_A302\1\_Sheet\A302 PARTITION TYPES.dwg  
2008.12.03 - 10:40



01 DOOR 101- FIRST FLOOR  
A302 FIRE EXIT DOOR NTS

EXISTING DOOR AND FRAME TO BE REMOVED- NEW WOOD DOOR TO BE INSTALLED. REFER TO SHEET A302 AND EXTERIOR ELEVATIONS FOR NEW DOOR PROFILES

02 NOT USED  
A302 NTS



03 DOOR 103- FIRST FLOOR  
A302 SERVICE BUILDING NTS

EXISTING DOOR AND FRAME TO BE REMOVED- NEW WOOD DOOR TO BE INSTALLED. REFER TO SHEET A302 AND EXTERIOR ELEVATIONS FOR NEW DOOR PROFILES



04 DOOR 104- REAR EXIT DOOR  
A302 FIRST FLOOR, MAIN BUILDING NTS

EXISTING DOOR AND FRAME TO BE REMOVED- NEW WOOD DOOR TO BE INSTALLED. REFER TO SHEET A302 AND EXTERIOR ELEVATIONS FOR NEW DOOR PROFILES



05 DOOR 105- FIRST FLOOR  
A302 SERVICE BUILDING NTS



06 DOOR 106- FIRST FLOOR  
A302 SERVICE BUILDING NTS

EXISTING DOOR AND FRAME TO BE REMOVED- NEW WOOD DOOR TO BE INSTALLED. REFER TO SHEET A302 AND EXTERIOR ELEVATIONS FOR NEW DOOR PROFILES



07 DOOR 107- REAR EXIT SECOND FLOOR  
A302 MAIN BUILDING NTS



08 DOOR 108- SERVICE BUILDING  
A302 SECOND FLOOR NTS

EXISTING WOOD WINDOW TO BE REPAIR/RESTORE AS REQUIRED- NEW MATERIAL TO MATCH EXISTING. REPLACE REAR GLASS TO MATCH EXISTING TYPICAL



09 EXISTING WID WINDOW 109  
A302 SECOND FLOOR NTS

EXISTING DOOR AND FRAME TO BE REMOVED- NEW WOOD DOOR TO BE INSTALLED. REFER TO SHEET A302 AND EXTERIOR ELEVATIONS FOR NEW DOOR PROFILES

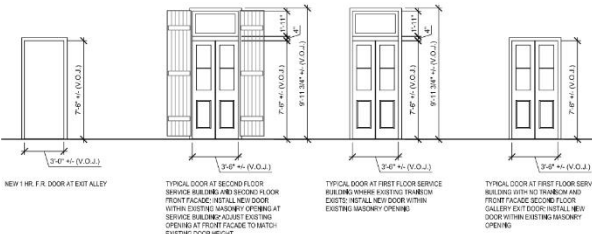


10 DOOR 110- SECOND FLOOR  
A302 SERVICE BUILDING NTS

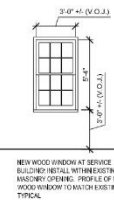


11 DOOR 111- FRONT FACADE  
A302 FRONT FACADE NTS

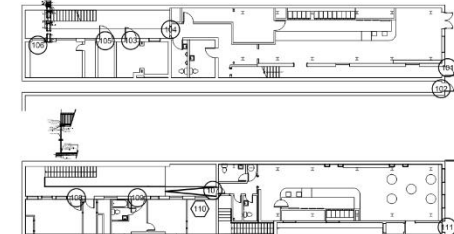
EXISTING EMERGENCY DOOR TO BE REPLACED WITH TO PROFILE ELEVATOR FOR NEW DOOR PROFILE



12 NEW SERVICE BUILDING EXTERIOR DOORS  
A302 1/2" = 1'-0"



NEW WOOD WINDOW AT SERVICE BUILDING. INSTALL WITH EXISTING MASONRY OPENING. PROFILE OF NEW WOOD WINDOW TO MATCH EXISTING TYPICAL



13 EXISTING DOOR PHOTO KEY  
A302 NTS



WILLIAMS ARCHITECTS  
824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504.566.0888  
WILLIAMSARCHITECTS.COM

418 BOURBON STREET  
NEW ORLEANS, LOUISIANA

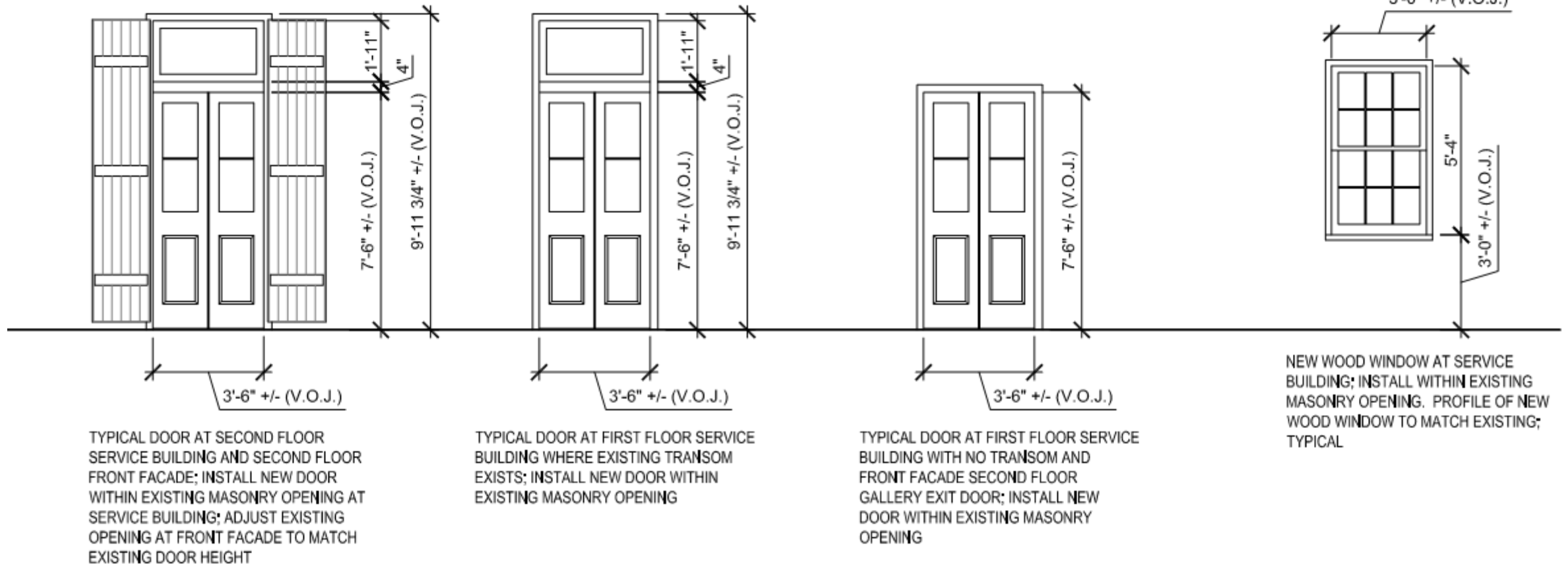
EXISTING DOORS

JCL  
AS SHOWN

A302







The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" is inscribed along the bottom arc.

**714 Orleans**





714 Orleans

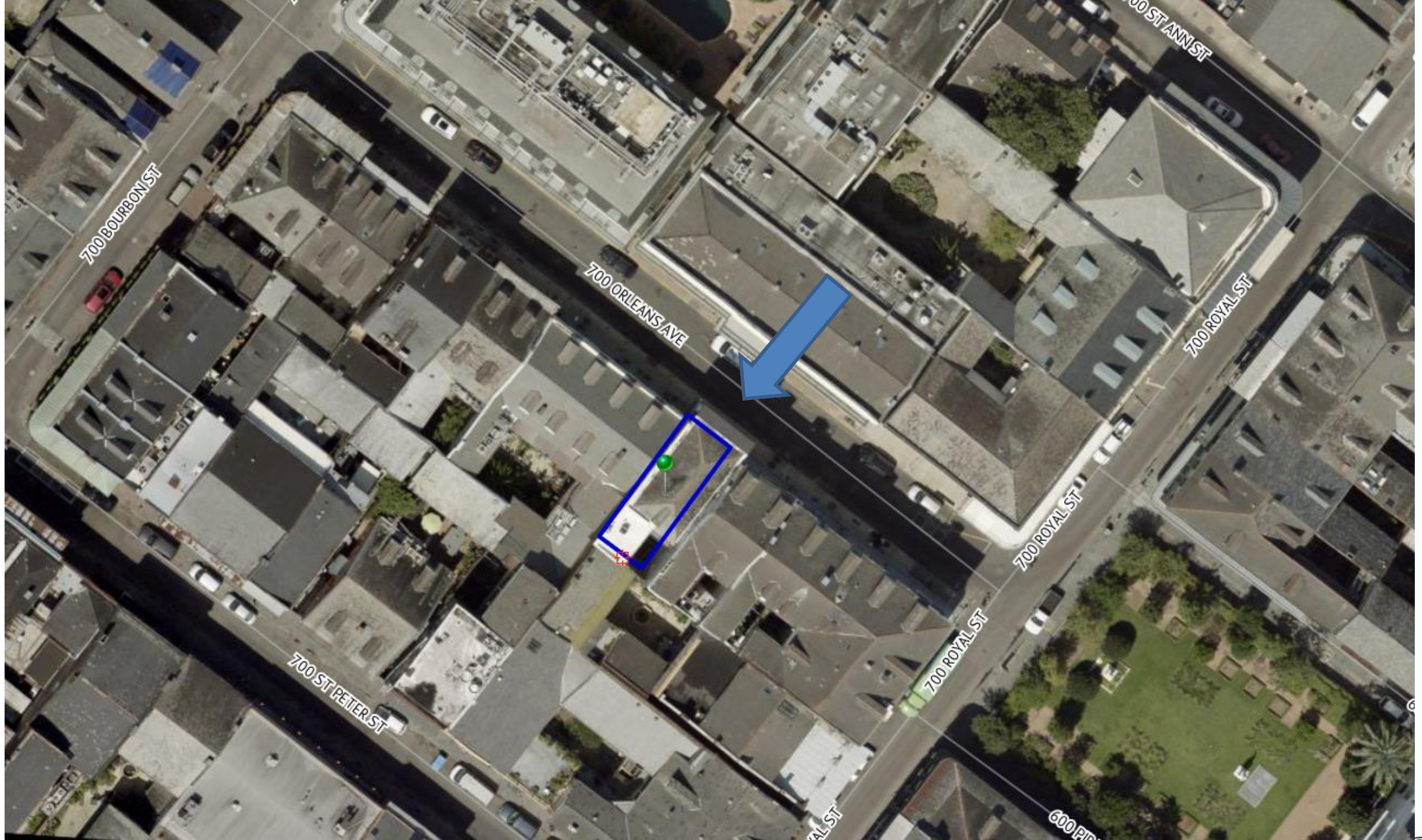
VCC Architectural Committee



December 7, 2021







714 Orleans

VCC Architectural Committee

December 7, 2021







714 Orleans, 1940s

VCC Architectural Committee

December 7, 2021



December 13, 2021

Vieux Carre Commission  
City of New Orleans  
1300 Perdido St, 7th Floor  
New Orleans, Louisiana 70112

Re: Case No. 21-08257-VCCNOP  
714 Orleans Street  
New Orleans, Louisiana 70116

The owner of 714 Orleans Street (Sahuque Realty Co. Inc), is in receipt of your Notice of Violation Letter, dated November 24, 2021. Please note the following responses to your comments:

Roof: TPO roof installed on the property without approval. Impermissible roof material installed/constructed and/or roof material installed/constructed without benefit of VCC review or approval or in deviation of permit.

**Response:** Owner would like to request retention of TPO roof. Please see attached Images 1-4 of TPO roof installation, as well as attached specifications.

Stucco: Impermissible stucco condition. Stucco was either inappropriately removed, applied, or both. Stucco work done/done inappropriately on the building(s)/fence/courtyard and/or without benefit of VCC review or approval, or in deviation of permit.

**Response:** Owner would like to request approval to apply VCC Approved Stucco Mix to all exposed masonry walls in courtyard. Please see Images 5-7 for general work area.

Windows: Impermissible window(s) installed on at least the rear portion of the building. Removal/alteration/installation/construction of windows without benefit of VCC review of approval, or in deviation of permit.

**Response:** Owner would like to request retention of existing rear windows, as they have only been painted as a means of preventative maintenance. Please see Image 7 & 8 for windows/dormer requesting to be retained.

Doors: Impermissible door(s) installed on at least the rear portion of the building. Removal/alteration/installation/construction of doors without benefit of VCC review of approval, or in deviation of permit.

**Response:** Owner would like to request retention of existing rear doors. T1-11 application was removed and doors were painted as a means of preventative maintenance. Please see Image 7 for doors requesting to be retained.

HVAC, Mechanical, Electrical, Gas, Vents: HVAC installed on the roof without approval. HVAC/mechanical equipment/racks/vents/gas/electrical systems installed without benefit of VCC review or approval, or in deviation of permit.

**Response:** Owner would like to request retention of rooftop HVAC unit. Please see attached specifications. Please see attached Image 9, as well as attached specifications.

Brick: Brick, mortar damage, deterioration on at least the Bourbon elevation. Brick/mortar damage/deterioration/deformation of the building(s)/property

**Response:** Owner would like to request approval to tuck-point existing brick on Bourbon Street side with VCC approved mortar mix. Please see attached Image 10 for general work area.

Roof: Roof damage/deterioration present on the building(s)/property

**Response:** Owner would like to request approval to replace missing slate shingles to match existing in-kind. Please see attached Image 8 for general work area.

Please contact me if you need anything further.

Thank you,



Lacey Wotring,  
Principal Architect, ARCHETYPE, LLC



714 Orleans

VCC Architectural Committee

December 7, 2021





IMAGE 1



IMAGE 2



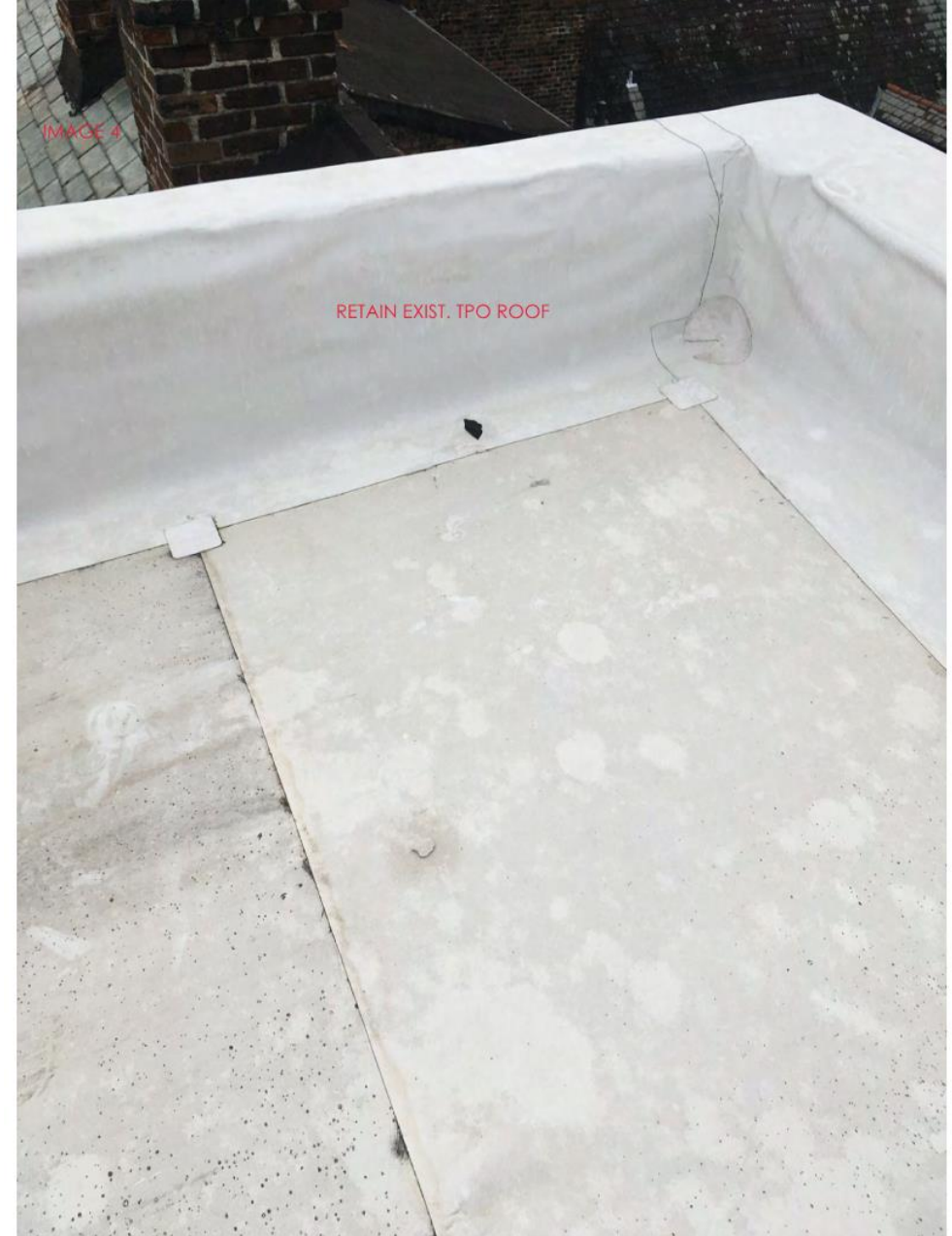
714 Orleans

VCC Architectural Committee

December 7, 2021







714 Orleans

VCC Architectural Committee

December 7, 2021







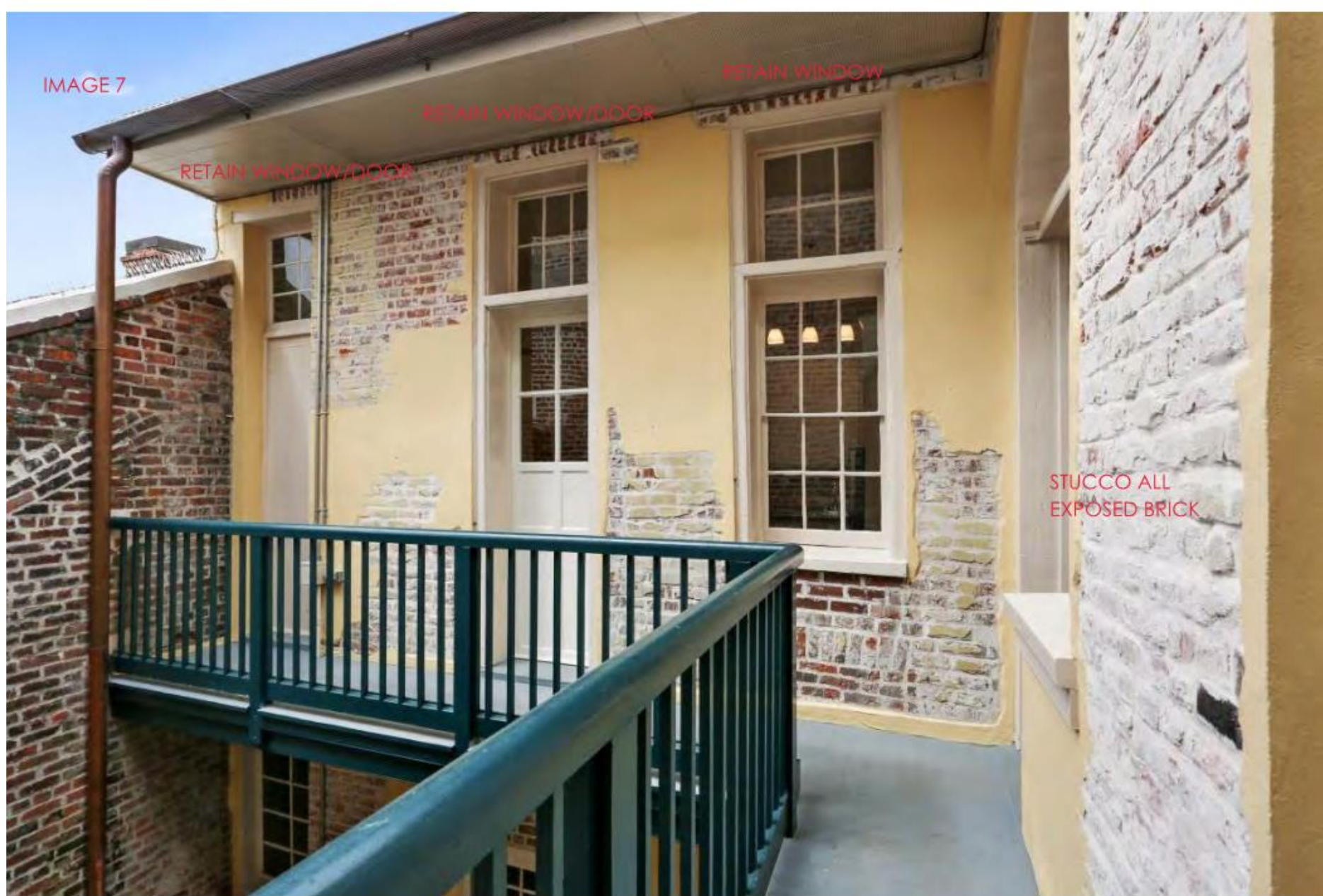
714 Orleans

VCC Architectural Committee

December 7, 2021







714 Orleans

VCC Architectural Committee

December 7, 2021







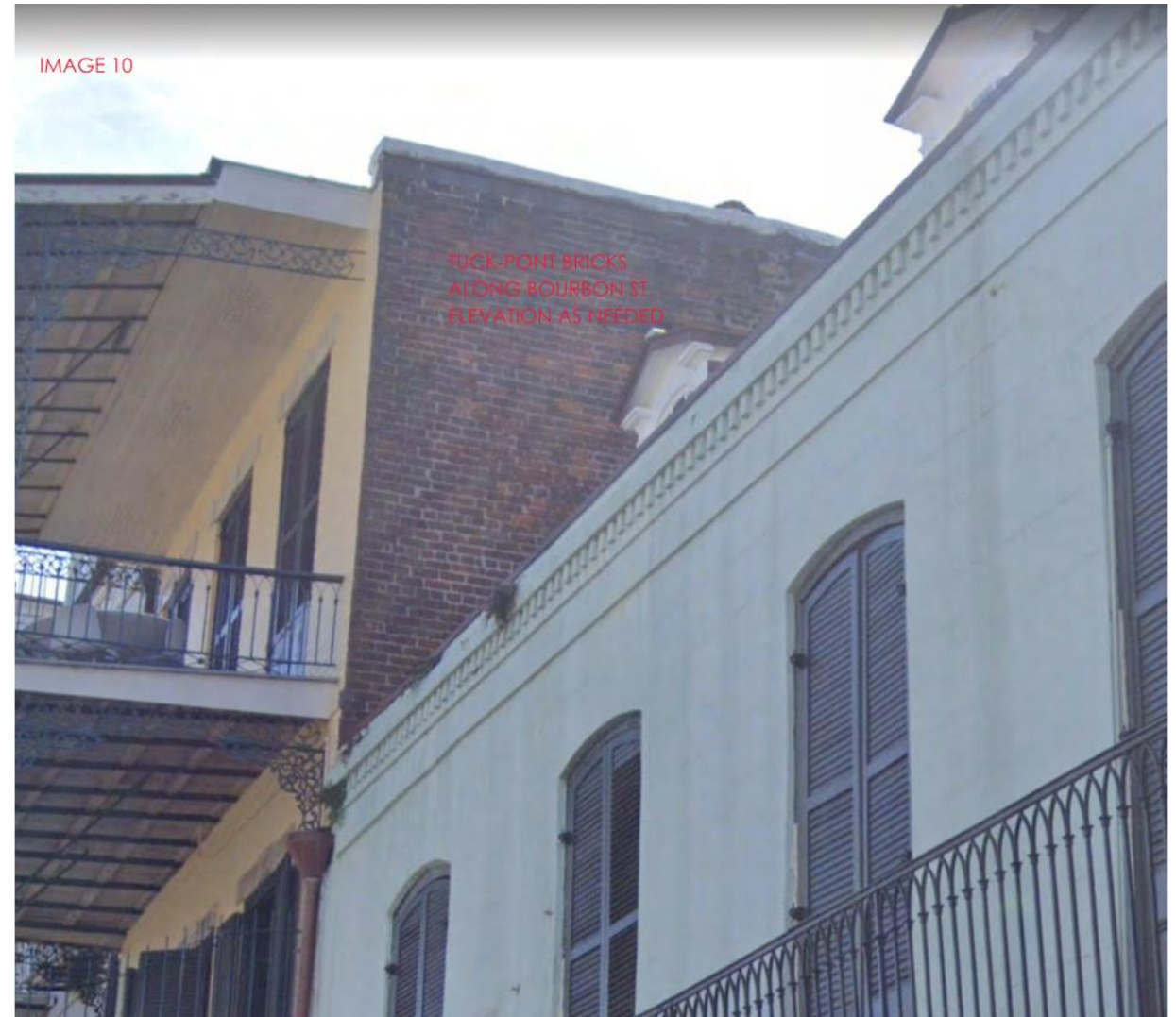
714 Orleans

VCC Architectural Committee

December 7, 2021













**900 Dumaine**

(to be handled at staff level)