



# Vieux Carré Commission Architecture Committee Meeting

Tuesday, November 22, 2022

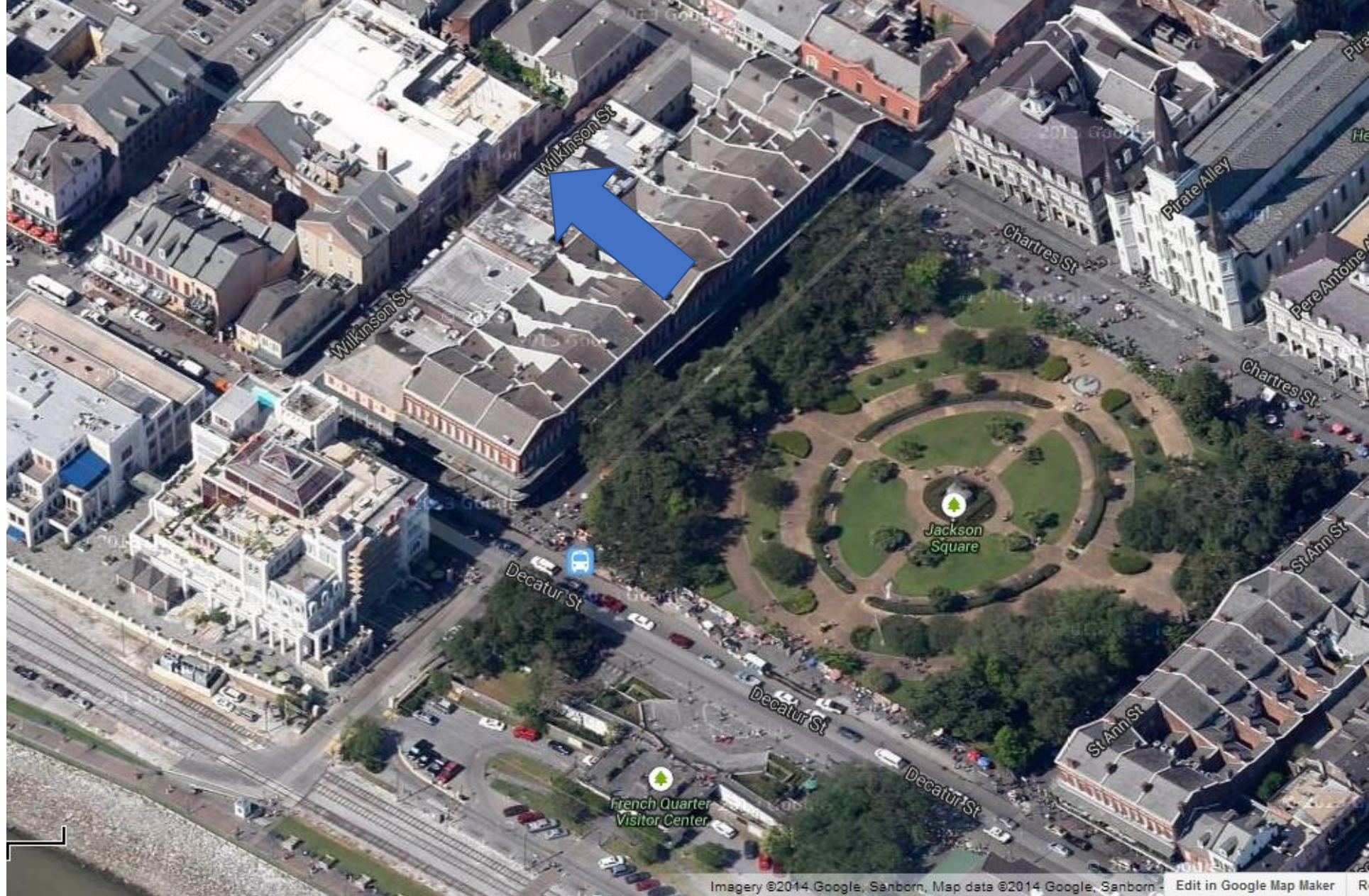
The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" is inscribed along the bottom arc.

**Old Business**



The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center features a stylized architectural design with vertical columns, decorative scrolls, and a central fleur-de-lis-like element.

528 Wilkinson



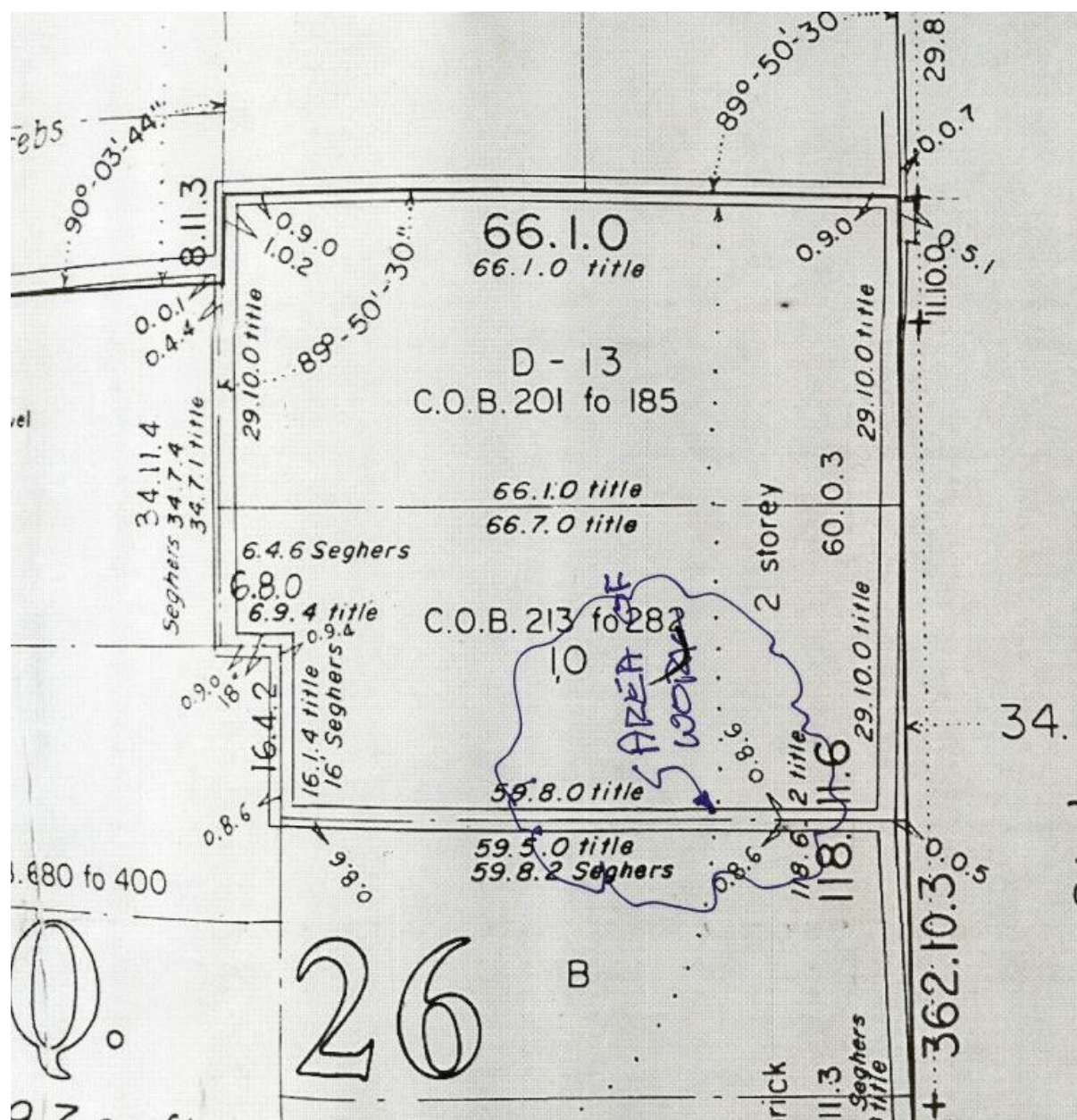
528 Wilkinson





528 Wilkinson





528 Wilkinson



528 Wilkinson, 1964





528 Wilkinson, c. 1987-88





528 Wilkinson





528 Wilkinson





528 Wilkinson





528 Wilkinson





528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022





528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022





528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







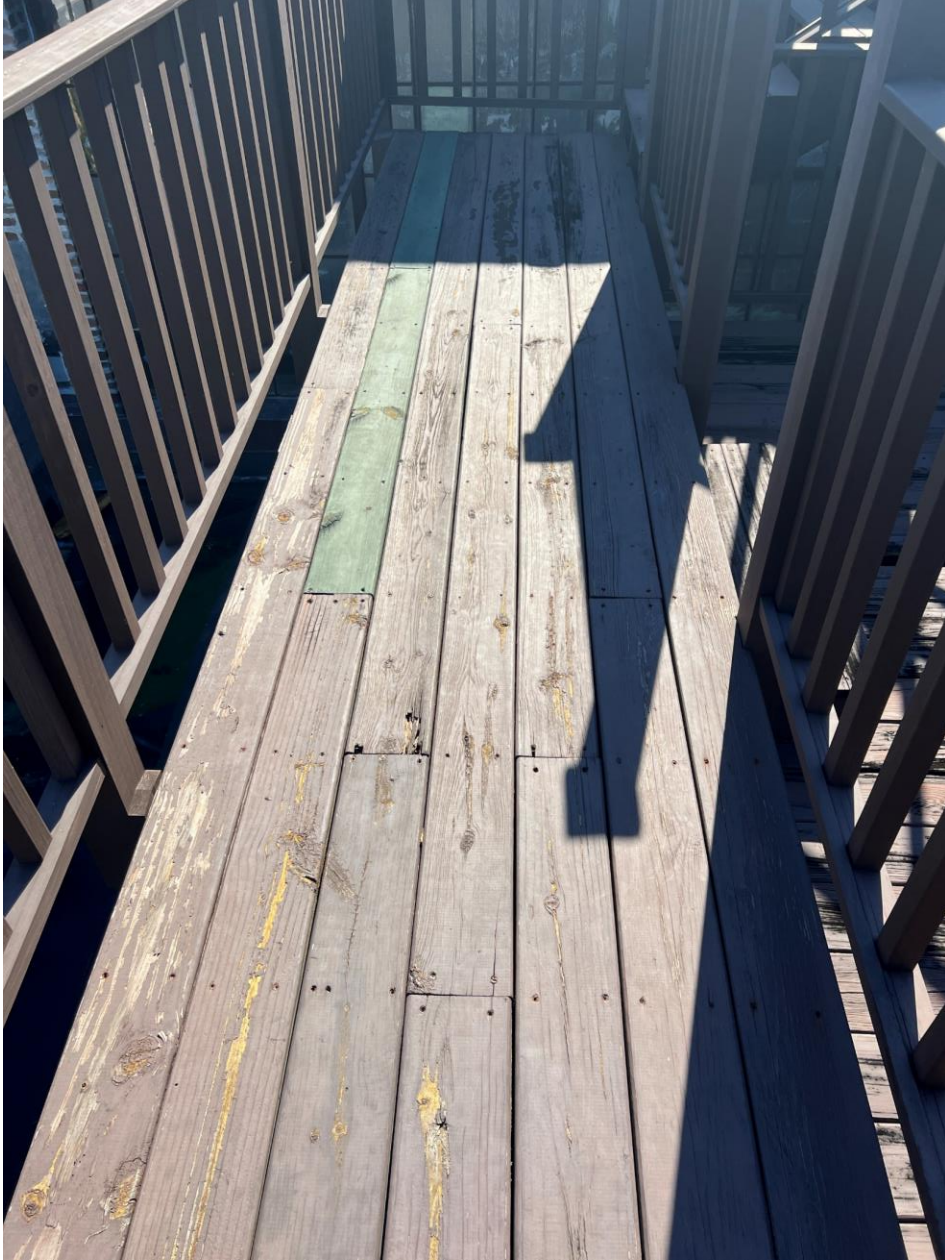
528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022





528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022





528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022







528 Wilkinson

VCC Architectural Committee

November 22, 2022



# CAUSEY RESIDENCE

## ROOF AND DECK REPAIRS AND IMPROVEMENTS

528 WILKINSON STREET  
NEW ORLEANS, LOUISIANA



### CONTACT INFO.

#### OWNER

Carl and Toni Causey  
528 Wilkinson St.  
New Orleans, LA 70130  
504.814.0214  
toni@trccivilconstruction.com

#### ARCHITECT

Zach Smith Consulting & Design  
530 N. Norman C Francis Pkwy  
New Orleans, LA 70119  
504.383.3748

Zach Smith  
zach@zachsmithconsulting.com

CC: Tim Lupin  
timlupin@outlook.com

#### CONTRACTOR

#### STRUCTURAL ENGINEER

### PROJECT INFO.

#### DESCRIPTION

Exterior stair and roof renovation of 3 story single family home

#### ZONING DISTRICT

vcc

#### CONSTRUCTION TYPE

-----

#### OCCUPANCY TYPE

IRC: RESIDENTIAL SINGLE FAMILY

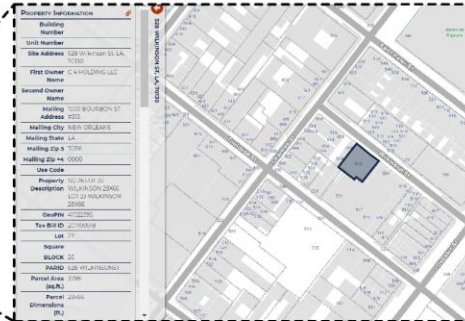
#### NUMBER OF STORIES

3

#### BUILDING HEIGHT

42'-4 1/2"

SHEET LIST	
SHEET NUMBER	SHEET NAME
A1.0	TITLE PAGE
A-1	ROOF PLAN- DEMO
A-2	ROOF PLAN - NEW
A-3	ELEVATIONS
A-4	DETAILS



**ZACH SMITH**  
CONSULTING & DESIGN

530 S Norman C Francis Parkway Suite 102  
New Orleans, LA 70119  
zach@zachsmithconsulting.com  
+1 (504) 383-3748

CAUSEY RESIDENCE  
ROOF & DECK REPAIR &  
IMPROVEMENTS  
528 WILKINSON ST.  
NEW ORLEANS, LOUISIANA

No.	Description	Date

### TITLE PAGE

Project name CAUSEY RESIDENCE  
Project number Project Number  
Date 10.19.2022  
Drawn by Author  
Checked by Checker

A1.0

528 Wilkinson

VCC Architectural Committee

November 22, 2022







3 EXISTING CONDITION



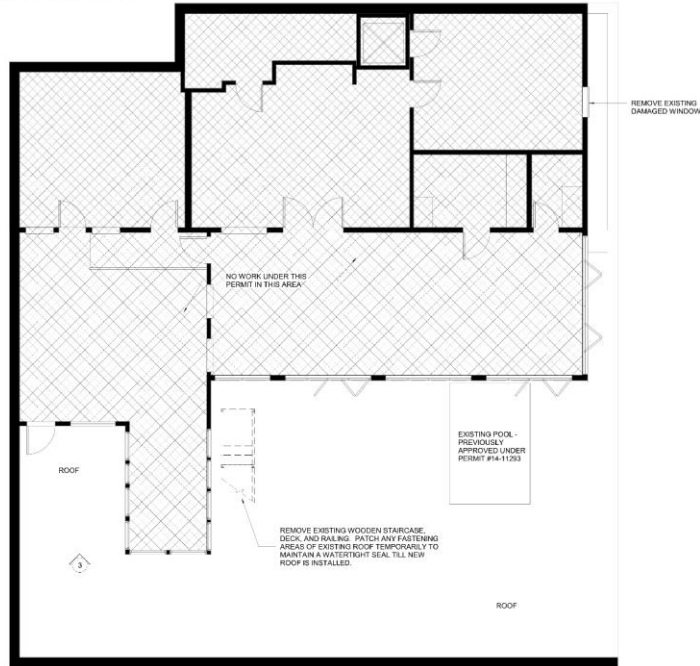
4 EXISTING CONDITION



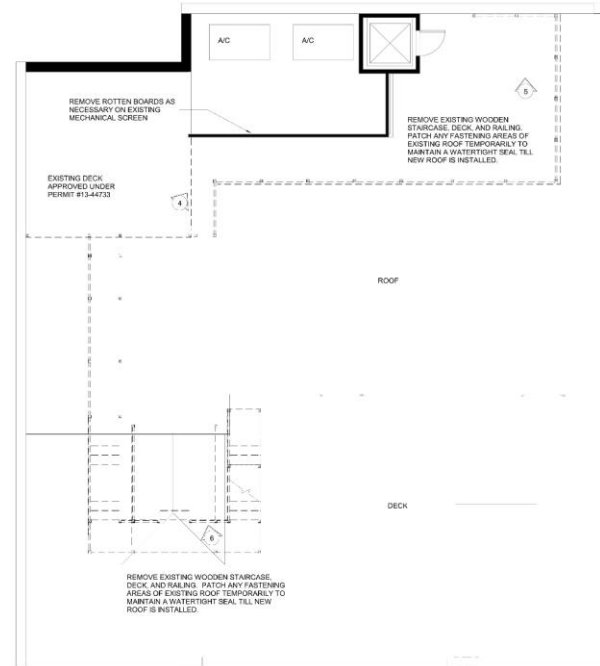
5 EXISTING CONDITION



6 EXISTING CONDITION



1 3RD FLOOR PLAN-DEMO



2 ROOF-DEMO



**ZACH SMITH**  
CONSULTING & DESIGN  
530 S Norman C Francis Parkway Suite 102  
New Orleans, LA 70119  
zach@zachsmithconsulting.com  
+1 (504) 363-3746

CAUSEY RESIDENCE  
ROOF & DECK REPAIR &  
IMPROVEMENTS  
528 WILKINSON ST.  
NEW ORLEANS, LOUISIANA

No.	Description	Date

VCC SUBMITTAL

**ROOF PLAN-DEMO**  
Project name CAUSEY RESIDENCE  
Project number Project Number  
Date 10.19.2022  
Drawn by LTL  
Checked by ZS

A-1







**ZACH SMITH**  
CONSULTING & DESIGN

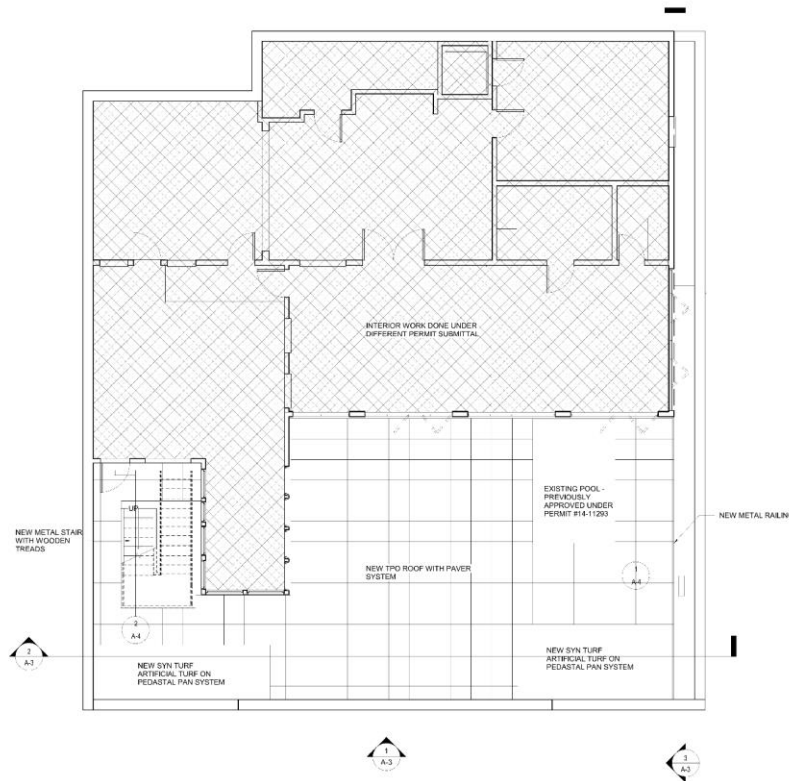
530 S Norman C Francis Parkway Suite 102  
New Orleans, LA 70119  
zach@zachsmithconsulting.com  
+1 (504) 383-3748

CAUSEY RESIDENCE  
ROOF & DECK REPAIR &  
IMPROVEMENTS  
528 WILKINSON ST.  
NEW ORLEANS, LOUISIANA

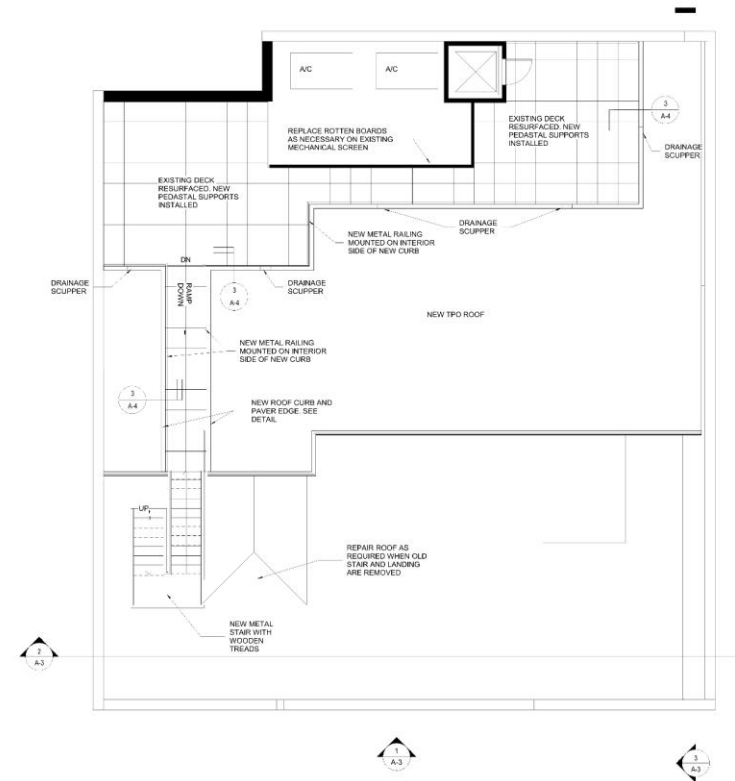
No.	Description	Date

ROOF PLAN - NEW  
Project name CAUSEY RESIDENCE  
Project number 10.19.2022  
Date 10.19.2022  
Drawn by LTL  
Checked by ZS

A-2



1 3RD FLOOR PLAN-NEW  
3/16" = 1'-0"



2 ROOF-NEW  
3/16" = 1'-0"

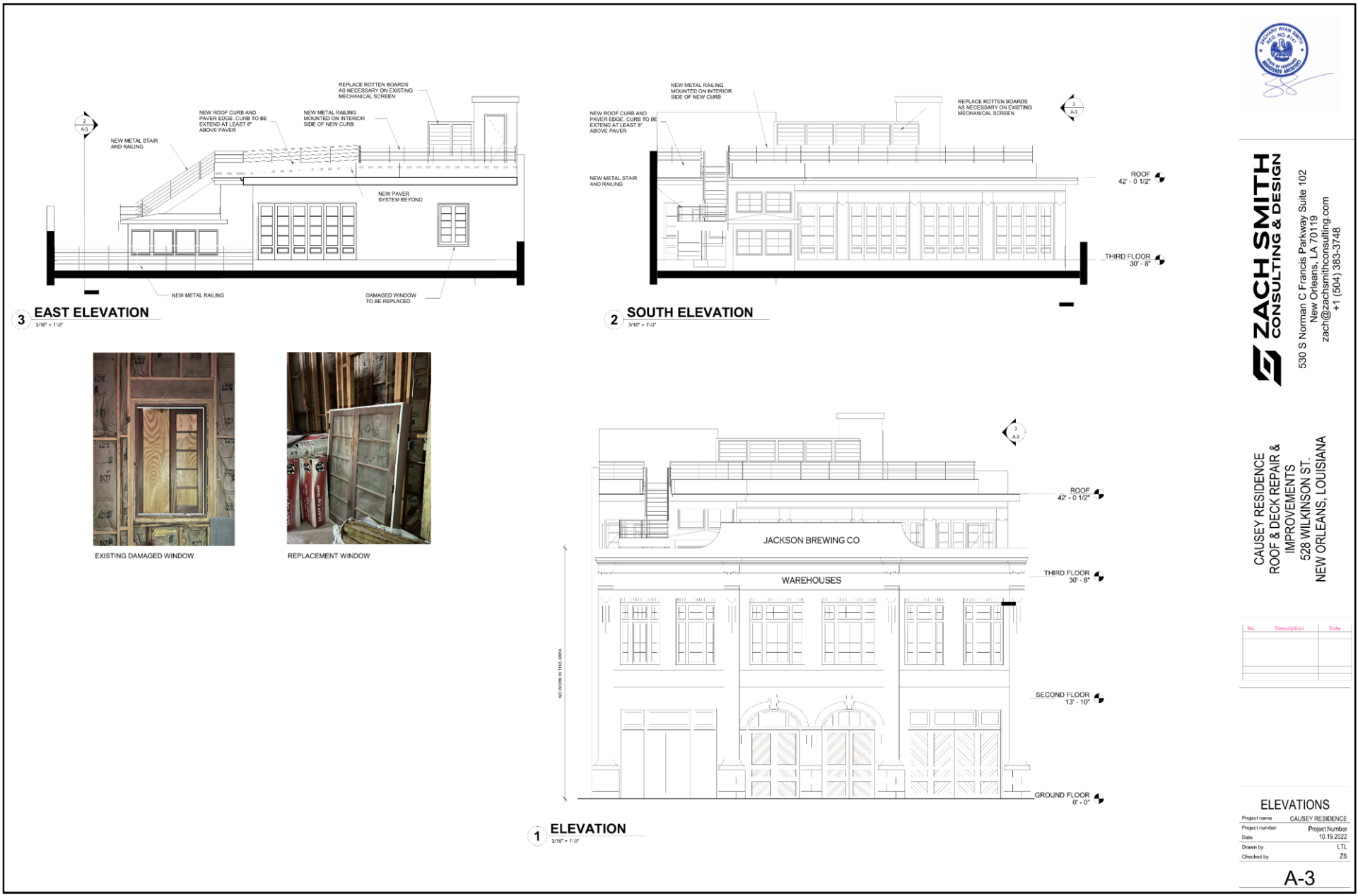
528 Wilkinson

VCC Architectural Committee

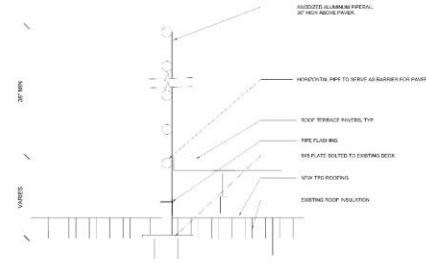
November 22, 2022



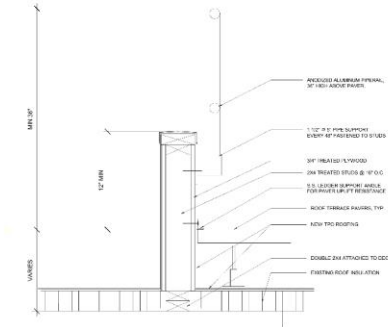




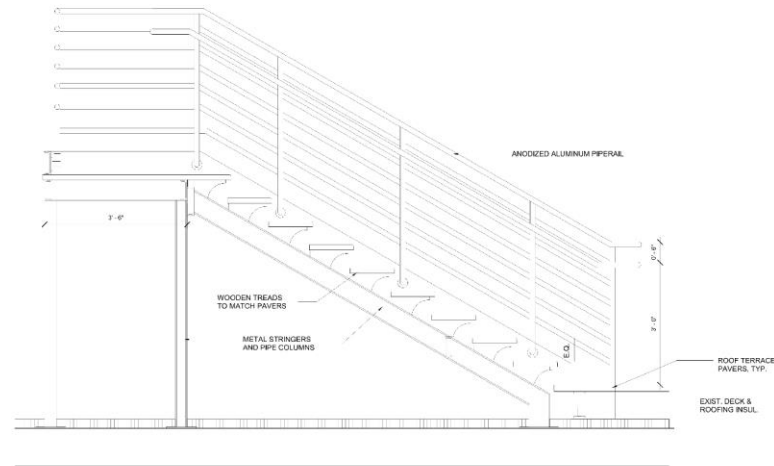




**1 PIPE RAIL DETAIL-3RD FLOOR ROOF**  
1 1/2" = 1'-0"



**3 ROOF CURB DETAIL-ROOFTOP**  
1 1/2" = 1'-0"



**2 STAIR DETAILS**  
3/4" = 1'-0"



**ZACH SMITH**  
CONSULTING & DESIGN

530 S Norman C Francis Parkway Suite 102  
New Orleans, LA 70119  
zach@zachsmithconsulting.com  
+1 (504) 383-3748

CAUSEY RESIDENCE  
ROOF & DECK REPAIR &  
IMPROVEMENTS  
528 WILKINSON ST.  
NEW ORLEANS, LOUISIANA

No.	Description	Date

#### DETAILS

Project name CAUSEY RESIDENCE  
Project number Project Number  
Date 10-19-2022  
Drawn by LTL  
Checked by ZS

A-4

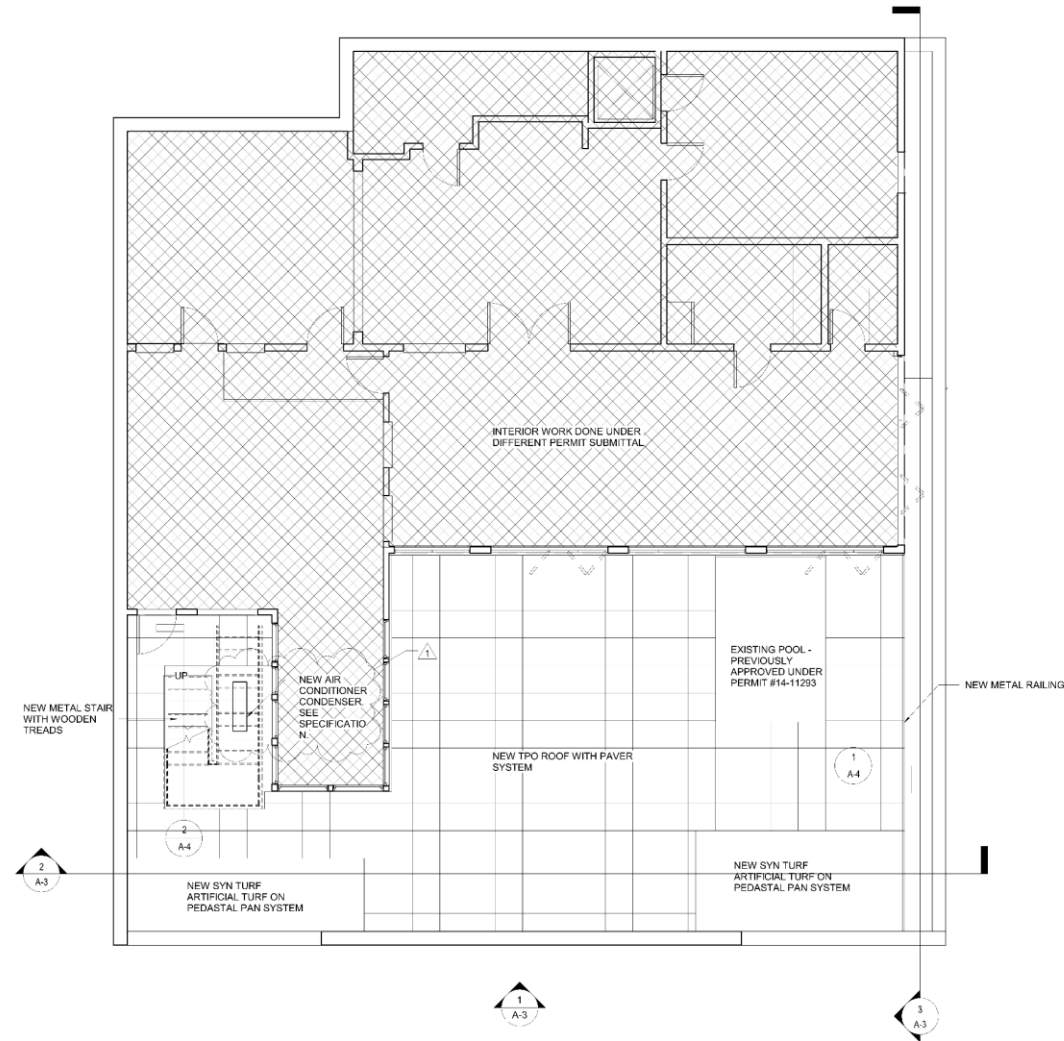
528 Wilkinson

VCC Architectural Committee

November 22, 2022







**1 3RD FLOOR PLAN-NEW**  
3/16" = 1'-0"





## Lennox® mini-split systems come appointed with:

Variable-speed fan motor produces consistent airflow, preventing temperature swings

Effortless control available in wireless remote or wall-mounted thermostat

Secure installation that, unlike window units, isn't vulnerable to insects, weather, or theft

	Heat Pump MLA	Heat Pump MPB	Heat Pump MHA	Air Conditioner MCA
Energy Efficiency	Up To 24.00 SEER Up To 14.5 EER 12.5 HSPF	Up to 23.5 SEER Up to 14.9 EER Up to 11.5 HSPF	Up To 19.00 SEER Up To 11.5 EER Up To 10.0 HSPF	Up To 20.00 SEER Up To 11.1 EER
Zone Type	Single And Multi	Single and Multi	Single	Single
Number Of Zones	Up To 4	Up To 5	1	1
Sound Rating - Indoor	As Low As 25 dB	As Low As 24 dB	As Low As 24 dB	As Low As 24.5 dB
Sound Rating - Outdoor	As Low As 52 dB	As Low As 52.5 dB	As Low As 52 dB	As Low As 51 dB
ENERGY STAR® Certified	✓	✓		
Limited Warranty On Compressor	12-Year <sup>12</sup>	12-Year <sup>12</sup>	7-Year	5-Year
5-Year Limited Warranty On Covered Components	✓ <sup>12</sup>	✓ <sup>12</sup>	✓	✓

Contact your local utility company to determine if there are available rebates.

For a full list of product details and warranty information, visit [Lennox.com/terms-and-conditions](http://Lennox.com/terms-and-conditions).

[www.lennox.com](http://www.lennox.com) 1-800-9-LENNOX

For a complete list of the registered and common law trademarks owned by Lennox Industries Inc., please visit [www.lennox.com](http://www.lennox.com).  
© 2020 Lennox Industries Inc. 19LNX0076 10/20 (20B19)



Lennox MPB Series, 4 Ton Mini-Split Heat Pump Outdoor Unit, 19 SEER, 208-230 VAC 1 Ph 60 Hz  
Cat # : 15U51  
Model/Part # : MPB048S4M-1P

Product Overview

Ideal for all types of homes and room spaces, Lennox MPB048S4M-1P mini-split heat pump system is ideal for areas where installing or extending ductwork isn't practical. Easy to install, each system uses a compact indoor and outdoor unit connected through a small hole in the wall. One outdoor unit can support up to five indoor comfort zones, creating a customized whole-home heating and cooling solution.

- **Inverter Technology** - The digital inverter adjusts motor speed in increments versus typical stops and starts associated with conventional systems. The accurate sensing of cooling and heating loads prevents frequent changes in capacity and ensures economical operation
- **Quiet Performance** - Smooth inverter operation helps create an environment that's as quiet as it is comfortable.
- **Smart Control** - Depending on the system, a wireless remote control or wall-mounted thermostat is available. Both measure the air temperature in the room and automatically signal the system to adjust heating or cooling
- **Peace-of-mind Protection** - Mini-split heat pump systems come with a 5-year limited warranty on covered components and 7-year limited warranty on compressor. Covered components including the compressor may be eligible to receive a 12-year limited warranty with product registration within 60 days of installation.

Specifications

Brand	Lennox
Catalog Number	15U51
Model/Part Number	MPB048S4M-1P
Minimum Order Quantity	0.0
Base Unit Of Measure	Unit(S)
Product Depth	15-7/8 IN
Product Height	52-1/2 IN
Product Width	41-3/4 IN
Product Voltage	208/230v 1ph 60 hz
Single Or MultiZone	Multi-Zone
Compressor	Variable Frequency Twin Rotary
Refrigerant	R-410A
No. of Zones	Up to 4
Gross Weight	250 LB
Family	MPB
Cooling Capacity	4.0 Ton Cooling
Efficiency	22.0 SEER

Hertz	60 hz
Phase	1 Phase
Family	MPB
Type	Heat Pump Outdoor Unit
Cooling Capacity	4 Ton
SEER/IEER	Up to 23.00 SEER
HSPF	Up to 11.5 HSPF
Product Voltage	208-230 VAC 1 Ph 60 Hz
Product Width	41.75 Inch
Product Depth	15.875 Inch
Product Height	52.5 Inch
Single or Multi-Zone	Multi Zone
Gross Weight	250 lbs.
Heating Capacity	48000 Btuh





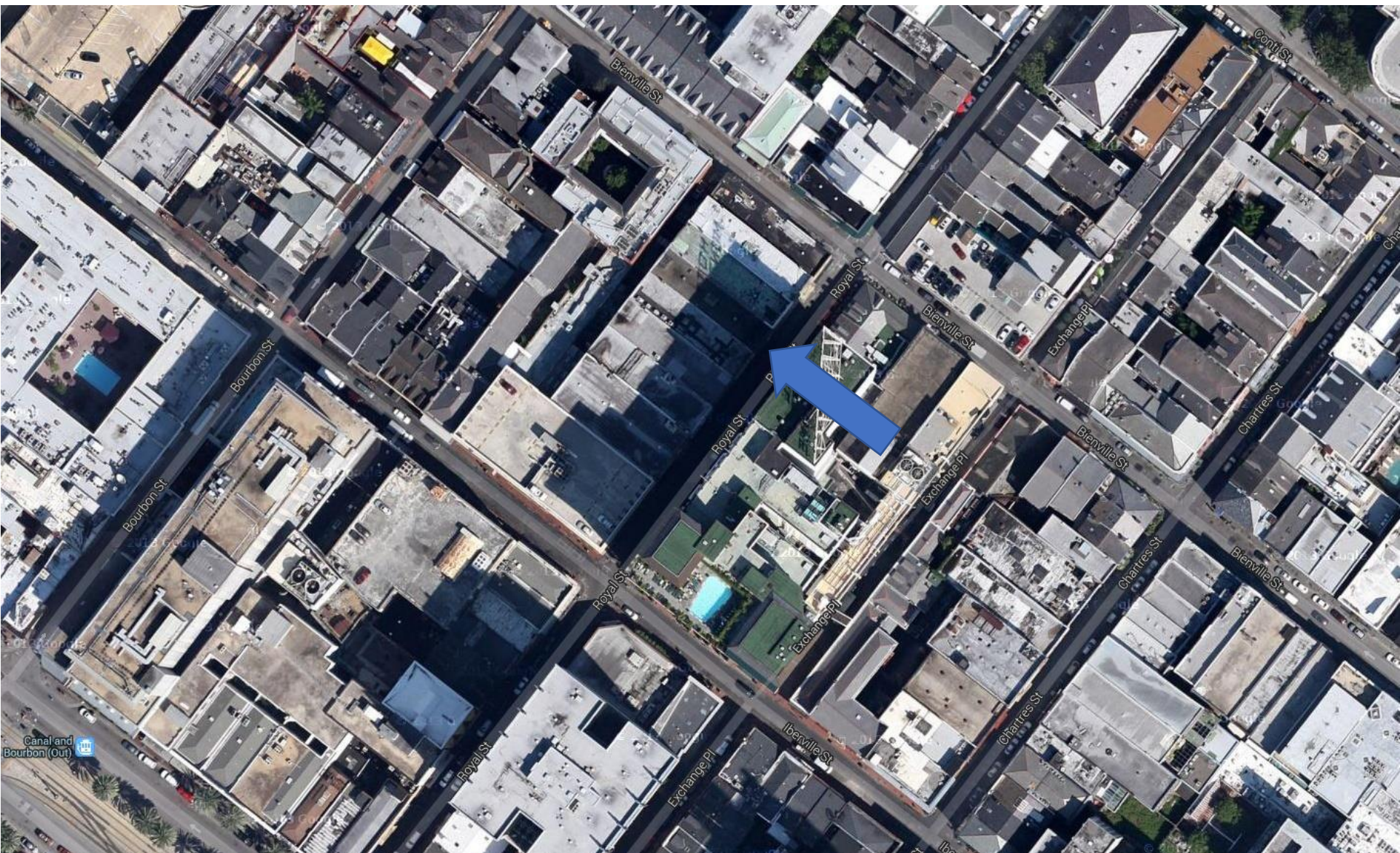


**New Business**



229 Royal





229 Royal

VCC Architectural Committee

November 22, 2022











229 Royal

VCC Architectural Committee

1963

November 22, 2022





229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022





229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022





229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

November 22, 2022





# ALTERATIONS TO 229 ROYAL ST.

## 229 ROYAL STREET

### NEW ORLEANS, LOUISIANA

#### GENERAL NOTES:

**PROJECT ADDRESS**  
229 ROYAL STREET  
NEW ORLEANS, LA 70119

#### PROJECT DESCRIPTION

THE SCOPE OF THE PROJECT IS TO RENOVATE AN EXISTING FOUR STORY STRUCTURE LOCATED IN THE FRENCH QUARTER. THE SCOPE OF WORK INCLUDES THE ENTIRE STRUCTURE. THE WORK TO BE PERFORMED INCLUDES INTERIOR LAYOUT MODIFICATIONS, NEW KITCHEN EQUIPMENT AND NEW INTERIOR FINISHES. PLUMBING, HVAC AND ELECTRICAL WORK SHALL BE PERFORMED. NEW SPRINKLER SYSTEM AND FIRE ALARM TO BE INSTALLED WITH NO STRUCTURAL WORK BEING DONE.

#### ZONING

RS.2 CITY OF NEW ORLEANS, VCC-2

#### BUILDING AREA

FIRST FLOOR:	3,149 GROSS SQ. FT.
SECOND FLOOR:	2,919 GROSS SQ. FT.
THIRD FLOOR:	2,832 GROSS SQ. FT.
FOURTH FLOOR:	2,794 GROSS SQ. FT.
ROOF:	2,794 GROSS SQ. FT.

#### OCCUPANCY

##### A. CLASSIFICATION

FIRST & SECOND FLOORS:	ASSEMBLY GROUP A-2
THIRD FLOOR:	BUILDING GROUP 2
FOURTH FLOOR:	ASSEMBLY GROUP A-3
ROOF:	ASSEMBLY

##### B. LOAD

FIRST FLOOR RESTAURANT MAX:	92 SEATS
ACTUAL SEAT COUNT:	79 SEATS
SECOND FLOOR RESTAURANT MAX:	110 SEATS
ACTUAL SEAT COUNT:	110 SEATS

#### CONSTRUCTION TYPE

IBC CLASSIFICATION	TYPE IIIB
--------------------	-----------

#### ARCHITECTURAL APPLICABLE CODES

INTERNATIONAL BUILDING CODE (IBC) - 2015 EDITION  
LIFE SAFETY CODE (NFPA 101) - 2015 EDITION

#### EXIT REQUIREMENTS

COMMON PATH SHALL NOT EXCEED	20 FT
ALLOWABLE DEAD END DISTANCE	20 FT
ALLOWABLE TRAVEL DISTANCE	250 FT

#### VCC RATING

GREEN

#### PROJECT DIRECTORY:

**ARCHITECT**  
JOHN C. WILLIAMS ARCHITECTS, LLC  
824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504.566.0888  
504.566.0897 FAX  
JOHN C. WILLIAMS  
jwilliams@williamsarchitects.com  
MARK HECK  
mheck@williamsarchitects.com

**ELECTRICAL ENGINEER**  
ALL-TEMP REGISTRATION SERVICES  
271 HIGHWAY 1085  
MADISONVILLE, LA 70447  
LOUIS P. VERGES  
lverges@alltempexperts.com

**MECHANICAL ENGINEER**  
MCC  
3330 NORTH CAUSEWAY BOULEVARD  
METAIRE, LA 70002  
504.830.4210  
HERB SCHAEFFER  
herb@mccgroup.com

**STRUCTURAL ENGINEER**  
WALTER ZEHNER & ASSOCIATES INC  
4702 TOULOUSE STREET  
NEW ORLEANS, LA 70119  
504.488.1442  
504.488.1448 FAX  
WALTER ZEHNER  
walterzehner@msn.com

#### SHEET INDEX

##### ARCHITECTURAL

T000	COVER SHEET
LS100	LIFE SAFETY DIAGRAM
A101	FIRST FLOOR CROSS EASEMENT PLAN
A102	SECOND FLOOR CROSS EASEMENT PLAN
A201	REFLECTED CEILING, PROPOSED & DEMOLITION FIRST FLOOR PLANS
A202	REFLECTED CEILING, PROPOSED & DEMOLITION SECOND FLOOR PLANS
A203	REFLECTED CEILING, PROPOSED & DEMOLITION THIRD FLOOR PLANS
A204	REFLECTED CEILING, PROPOSED & DEMOLITION FOURTH FLOOR PLANS
A205	REFLECTED CEILING, PROPOSED & DEMOLITION ROOF PLANS
A301	EXISTING & PROPOSED ROYAL ST ELEVATIONS
A302	EXISTING & PROPOSED BOURBON ST ELEVATIONS
A401	PROPOSED BUILDING SECTIONS
A402	2ND FLOOR ROOF SECTIONS
A403	ROOF DECK PLAN
A501	FINISH AND DOOR SCHEDULES
A502	INTERIOR DOOR & FRAME SCHEDULE
A503a	STAIR SECTIONS
A503b	STAIR SECTIONS
A504	PARTITION LEGEND
A505	WINDOW DETAILS
A506	WINDOW DETAILS

##### STRUCTURAL

S1.1	FRAMING PLANS
S1.2	FRAMING PLANS
S2.0	FRAMING SECTION DETAILS
S3.0	FRAMING SECTION DETAILS

##### PLUMBING

P1.0	PLUMBING PLANS
P2.0	PLUMBING PLAN & SCHEDULES
P3.0	PLUMBING RISER DIAGRAM






##### MECHANICAL

M1.0	MECHANICAL PLANS
M2.0	MECHANICAL PLANS & SCHEDULES

##### ELECTRICAL

E1.0	ELECTRICAL PLAN - FIRST FLOOR
E2.0	ELECTRICAL PLAN - SECOND FLOOR
E3.0	ELECTRICAL PLAN - THIRD FLOOR
E4.0	ELECTRICAL PLAN - FOURTH FLOOR
E5.0	ELECTRICAL PLAN - ROOF
E6.0	SCHEDULES & RISER DIAGRAM
E7.0	ELECTRICAL NOTES

#### SYMBOL LEGEND

	ELEVATION TAG
	SECTION TAG
	ROOM TAG
	EXTERIOR DOOR / WINDOW TAG
	DOOR TAG

#### VICINITY MAP



PROJECT LOCATION  
229 ROYAL STREET



JOHN C. WILLIAMS  
ARCHITECTS, LLC  
824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504.566.0888 PHONE  
504.566.0897 FAX

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

JOHN C. WILLIAMS  
ARCHITECTS, LLC  
17.2018



Copyright © 2018  
John C. Williams Architects, LLC

ALTERATIONS TO  
229 ROYAL ST.  
New Orleans, Louisiana

#### - REVISIONS -

No.	Date	Scope

#### DRAWING TITLE:

TITLE PAGE

#### DRAWN BY:

SCALE:  
JOB No.: 513039.00  
DATE: MAR 20, 2018

#### DRAWING No.:

T000

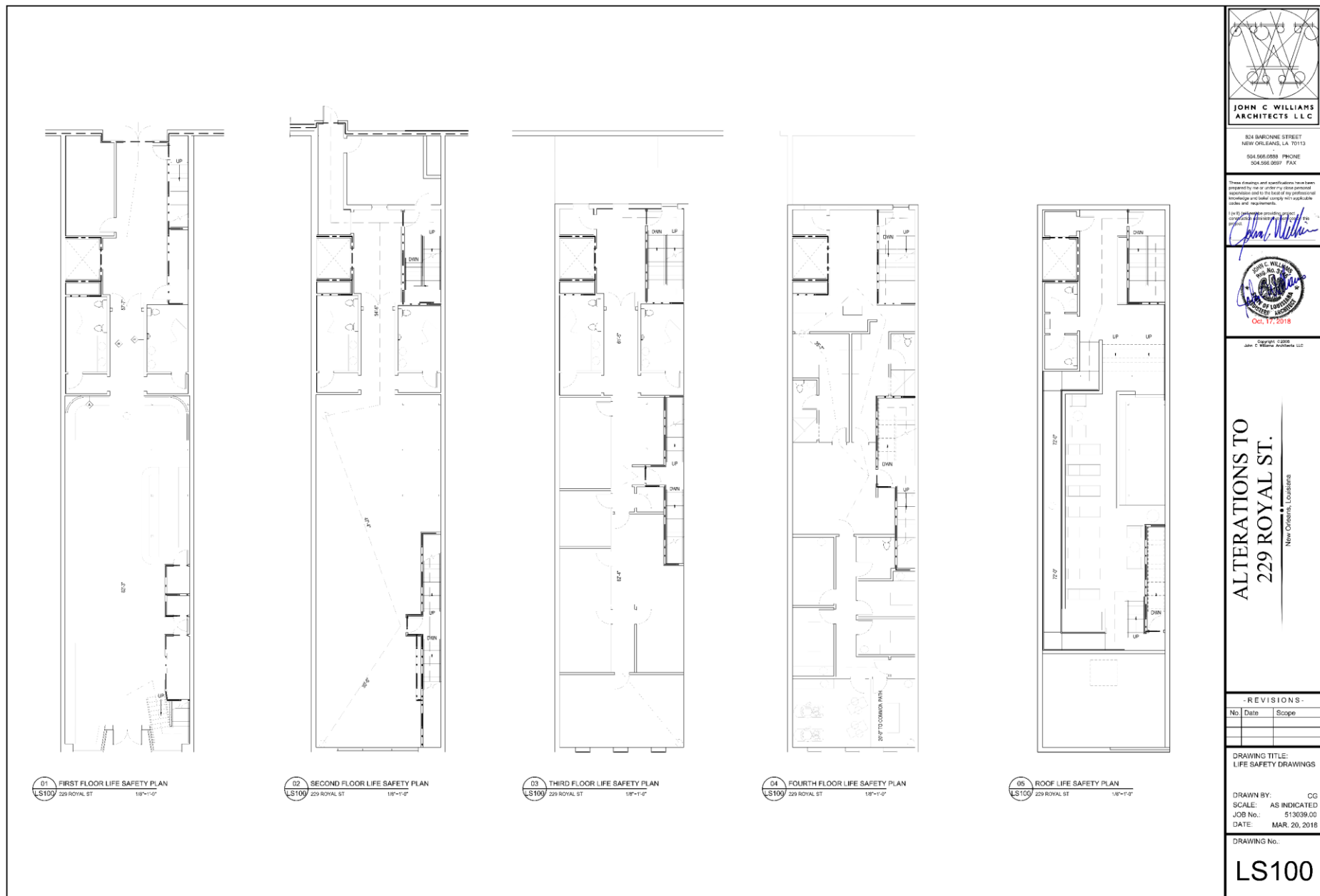
229 Royal

VCC Architectural Committee

November 22, 2022







229 Royal

VCC Architectural Committee

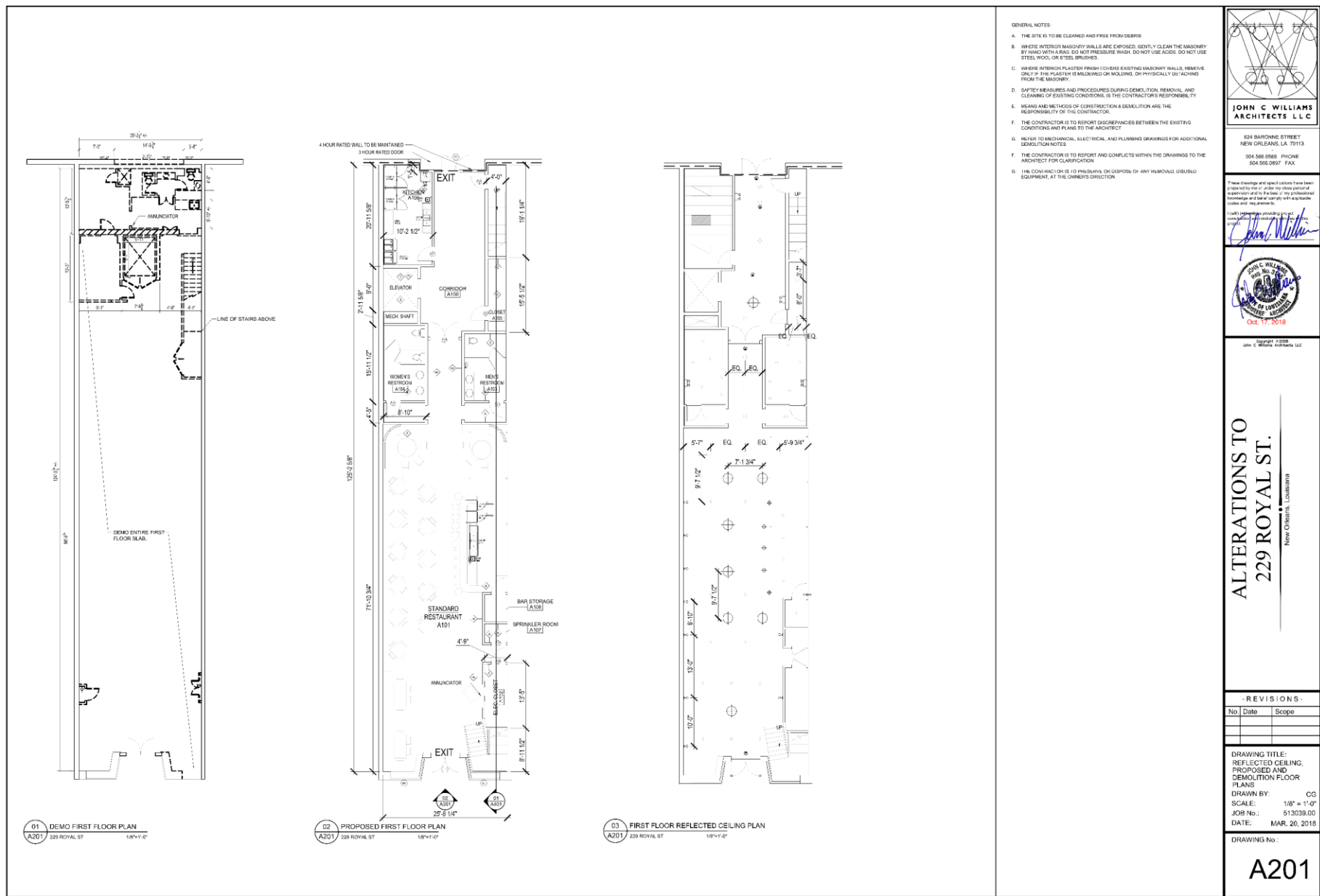
November 22, 2022



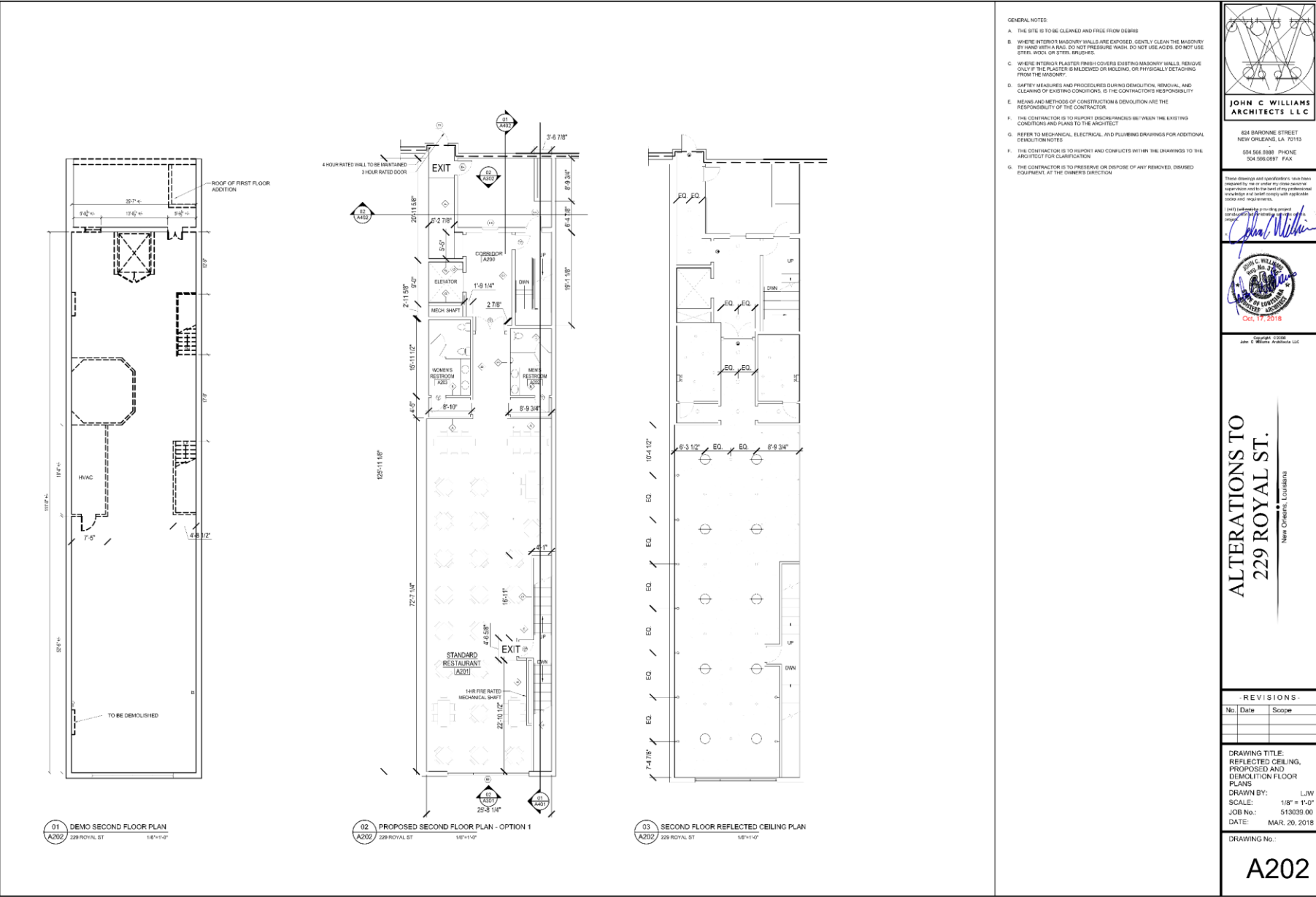


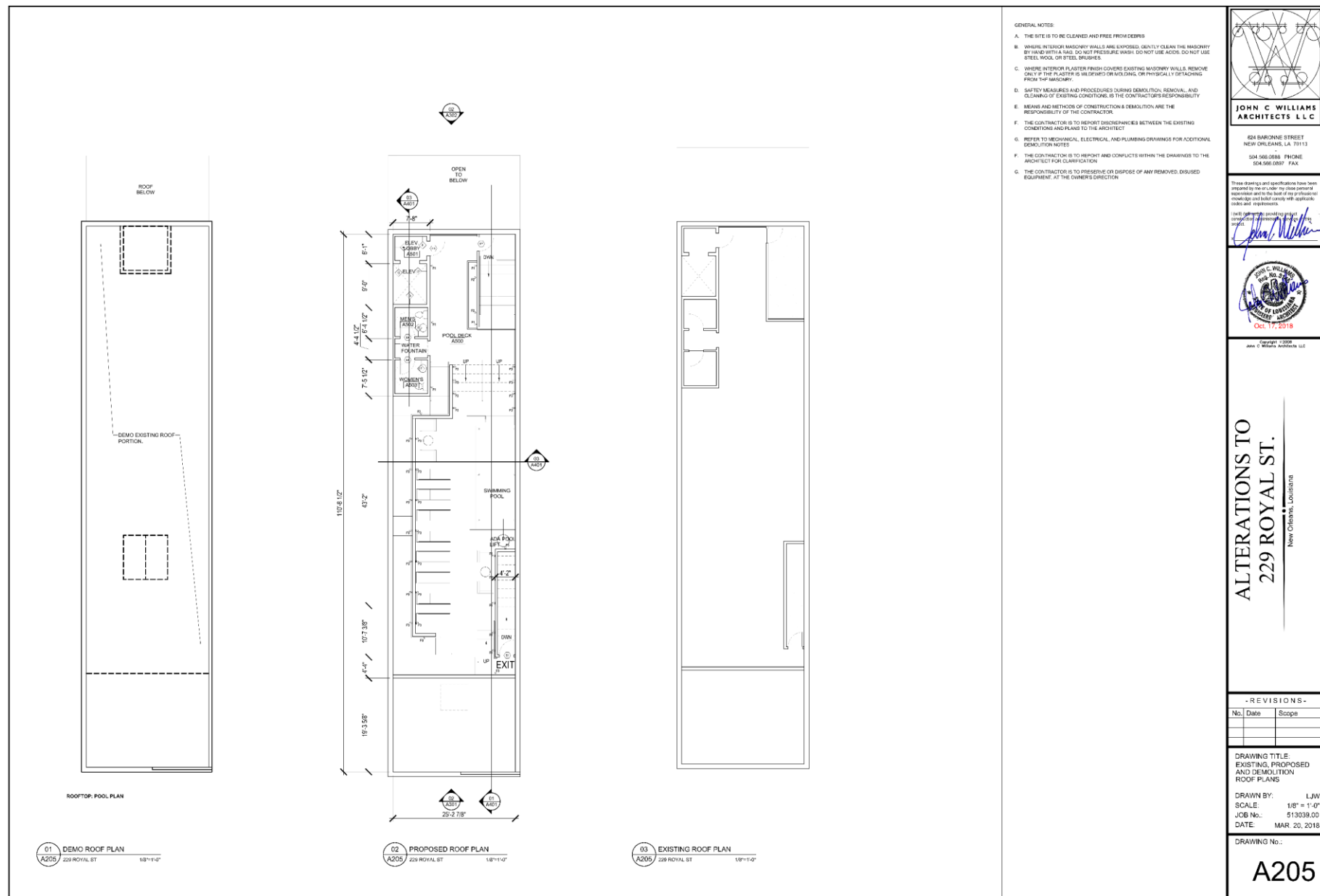












229 Royal

VCC Architectural Committee

November 22, 2022

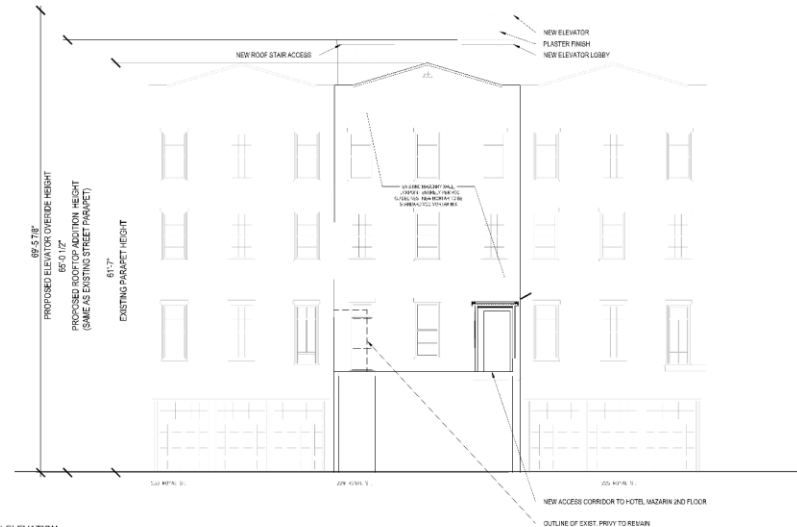








01 EXISTING BOURBON ST (SIDE) ELEVATION  
A302 229 ROYAL ST 1/8" = 1'-0"



02 PROPOSED BOURBON ST (SIDE) ELEVATION  
A302 229 ROYAL ST 1/8" = 1'-0"



JOHN C. WILLIAMS  
ARCHITECTS LLC  
834 BARBONNE STREET  
NEW ORLEANS, LA 70113  
504.566.0888 PHONE  
504.566.0897 FAX

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I seal my drawings and specifications as my official representation of my professional services.



NEWBY 1-2008  
JOHN C. WILLIAMS ARCHITECTS, LLC

# ALTERATIONS TO 229 ROYAL ST. New Orleans, Louisiana

## - REVISIONS -

No.	Date	Scope

DRAWING TITLE:  
EXISTING & PROPOSED  
BOURBON ST ELEVATION

DRAWN BY: L.J.W.  
SCALE: 1/8" = 1'-0"  
JOB No.: 513039-00  
DATE: MAR. 20, 2018

DRAWING No.:

A302

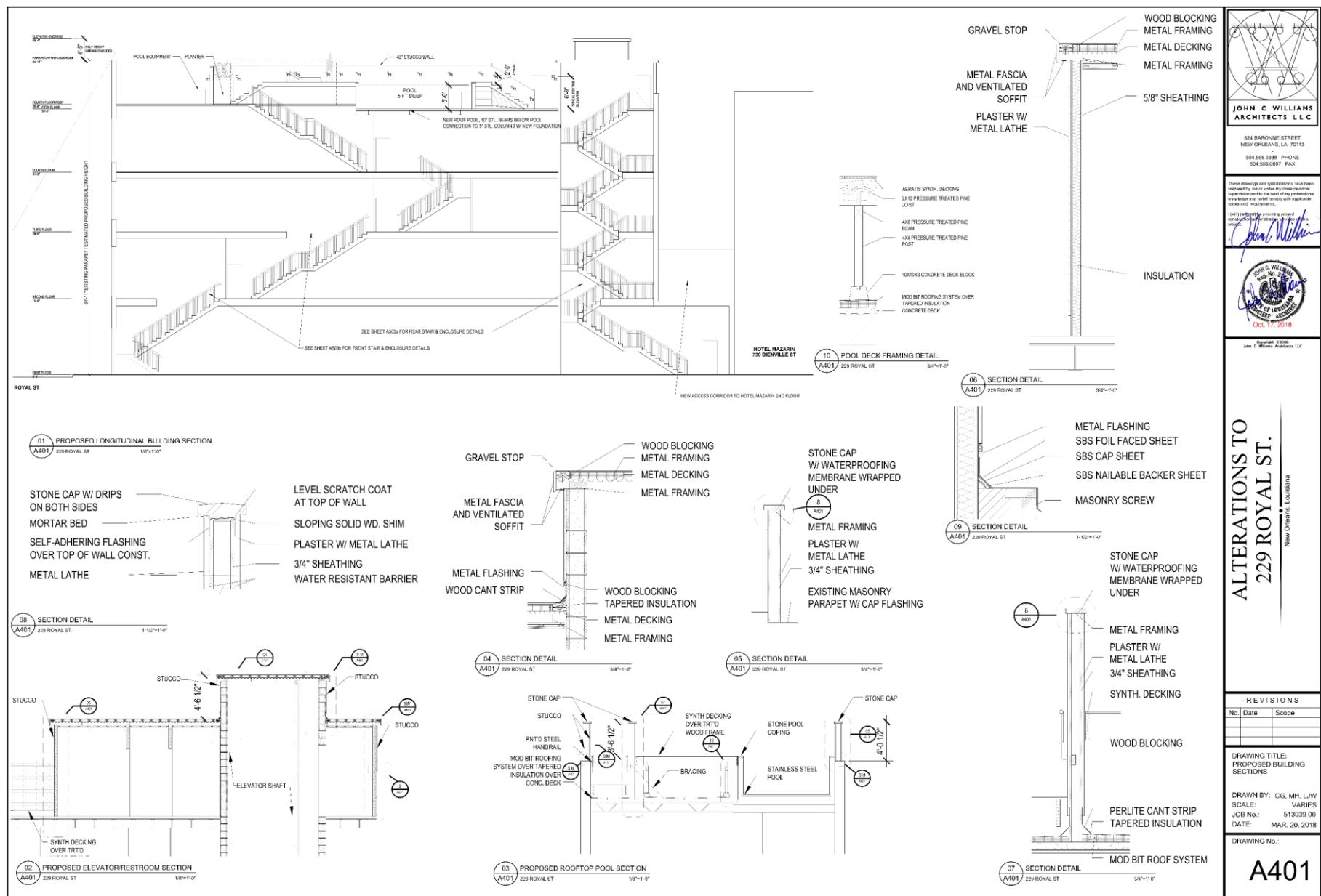
229 Royal

VCC Architectural Committee

November 22, 2022





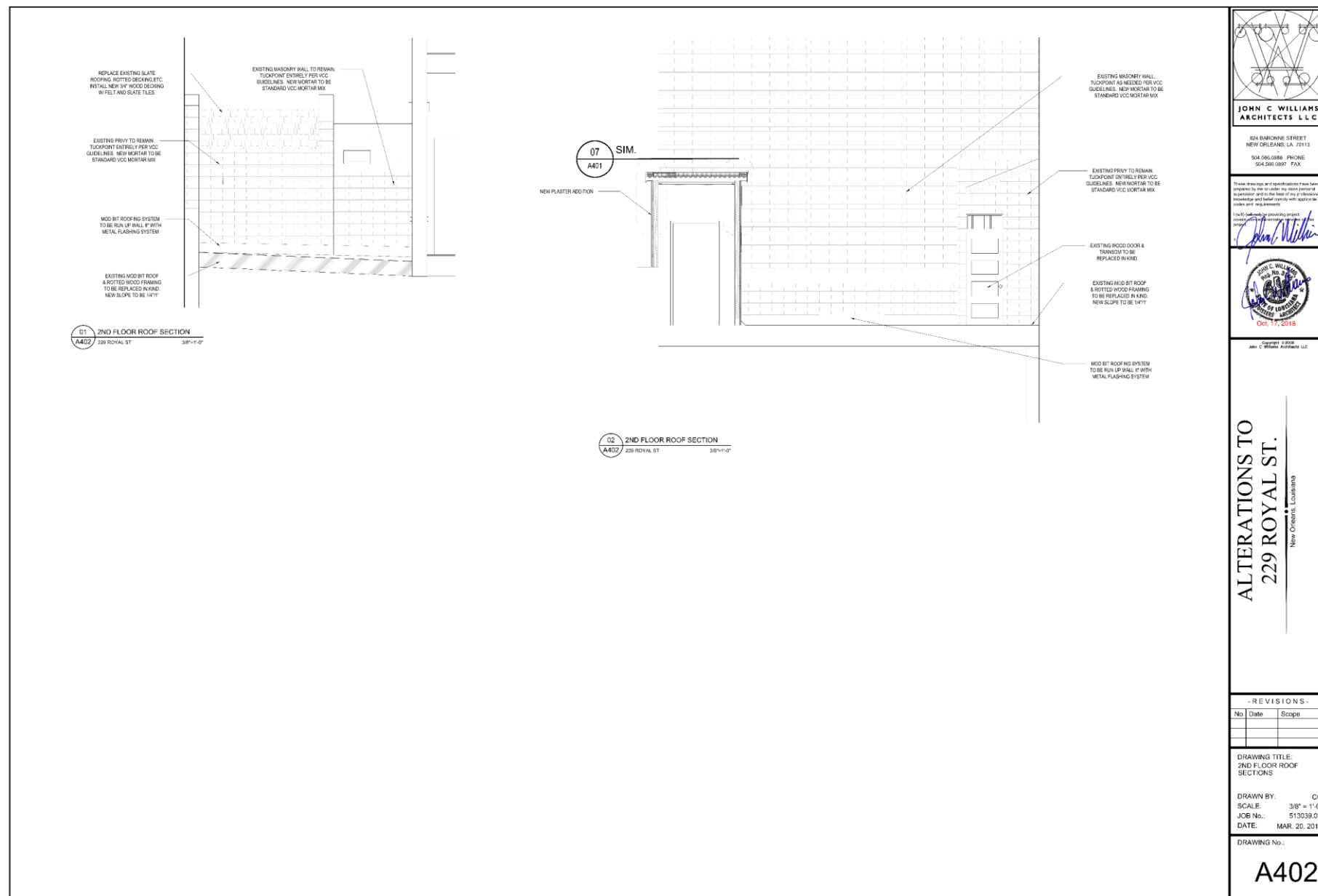


229 Royal

VCC Architectural Committee

November 22, 2022





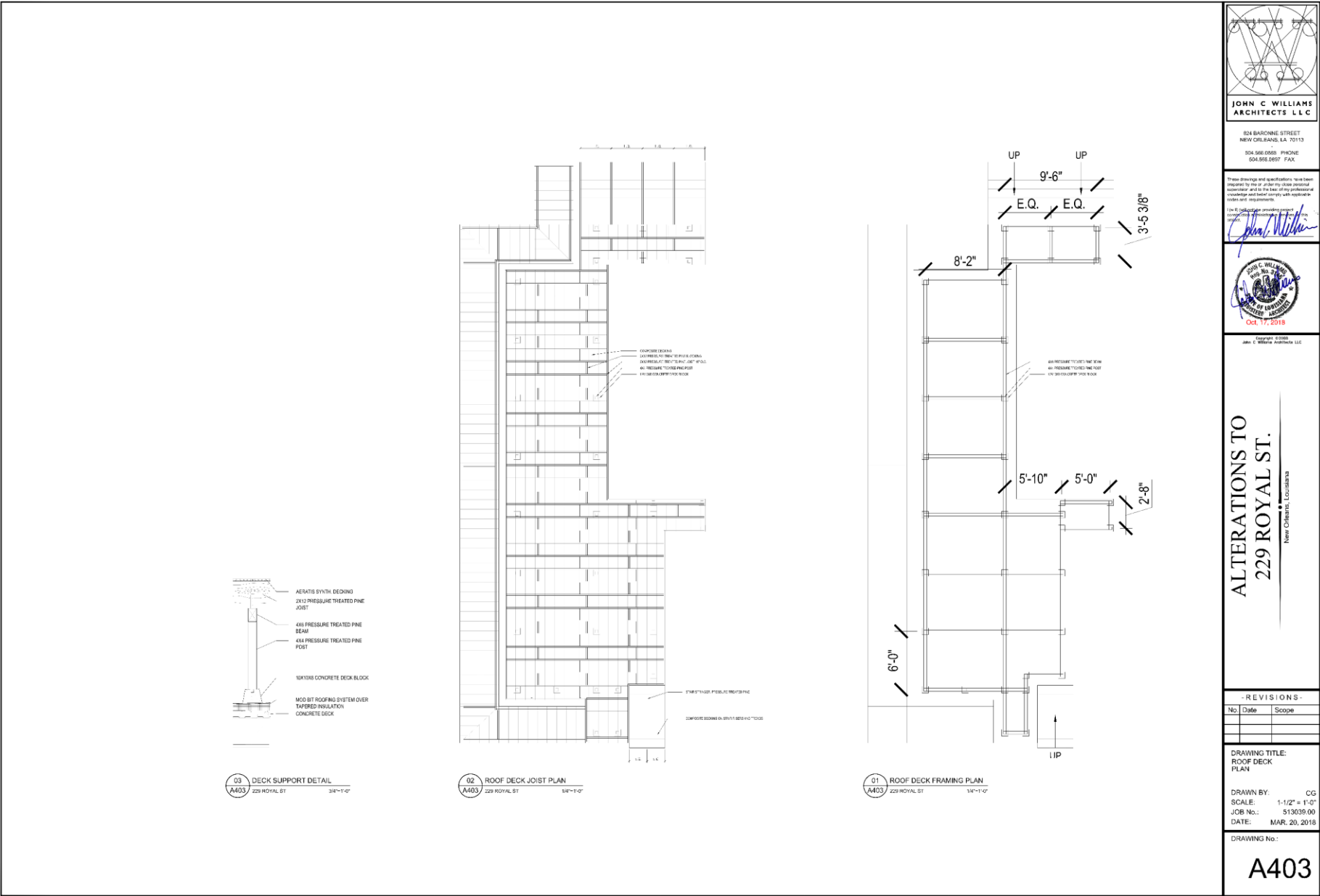
229 Royal

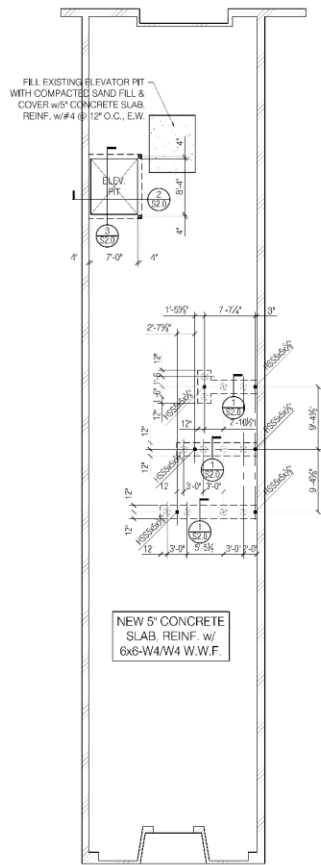
VCC Architectural Committee

November 22, 2022

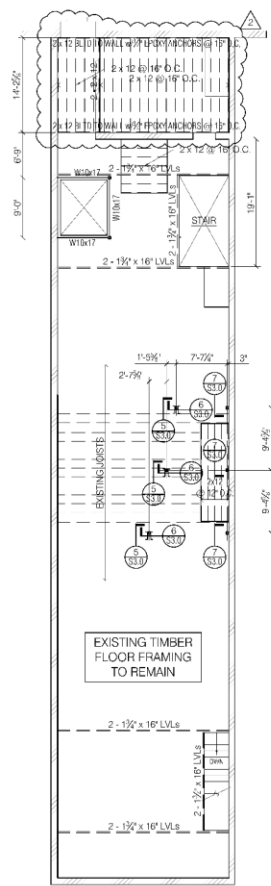








GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



SECOND FLOOR FRAMING PLAN  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

1. ALL NEW PILES SHALL BE HELICAL PILES EQUAL TO THOSE MANUFACTURED BY MacSpang Drive OR A.B. CHANCE. PILES SHALL BE ANCHORED IN SAND STRATUM AT APPROX. 50 FEET BELOW EXISTING GRADE. DESIGN LOAD IS 5 TONS PER PILE.
2. ALL CONCRETE SHALL BE STANDARD WEIGHT AND SHALL TEST AT 4000 PSI AT 28 DAYS. IT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 301 AND 318.
3. REINFORCING STEEL SHALL BE NEW BILLET ASTM A615 GRADE 60. DETAIL REINFORCING AND PROVIDE ACCESSORIES IN ACCORDANCE WITH THE LATEST ACI MANUAL OF STANDARD PRACTICE.
4. ALL STRUCTURAL STEEL, ANGLES, PLATES AND EMBEDDED ITEMS SHALL BE IN ACCORDANCE WITH A.S.T.M. A36 OR A992 AND SHALL BE MANUFACTURED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS.
5. STEEL JOISTS SHALL BE DESIGNED, FABRICATED, ERECTED AND ACCESSORIES PROVIDED INCLUDING ALL BRIDGING IN ACCORDANCE WITH LATEST S.J.I. SPECIFICATIONS.
6. METAL DECK SHALL BE AS SHOWN ON DRAWINGS. ALL DECKING SHALL BE CONTINUOUS OVER MIN. THREE SPANS AND SHALL BE ATTACHED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. COORDINATE ALL OTHER WORK WITH STRUCTURAL WORK ESPECIALLY AS TO LOCATIONS OF SLEEVES, EMBEDDED ITEMS, OPENINGS IN SLABS, ETC. ANY OPENINGS OR OTHER ITEMS DEPENDENT UPON SPECIFIC EQUIPMENT SHALL BE COORDINATED WITH EQUIPMENT PURCHASED.
8. DESIGN LOADS (PSF)

	DEAD	LIVE
GROUND FLOOR	20	100
SECOND, THIRD, & FOURTH FLOOR	50	100
ROOF	50	100
WIND (MPH)	---	130



**JOHN C. WILLIAMS  
ARCHITECTS LLC**

404 KENNEDY BLVD. SUITE 1  
NEW ORLEANS, LA 70113  
(504) 586-0000 FAX (504) 586-0001

Professional Seal of Walter F. Zander II, Registered Professional Engineer, State of Louisiana, No. 124,345, Exp. 12/31/2024

**ALTERATIONS TO  
229 ROYAL STREET**

REVISIONS		
No.	Date	Scope
1	6/15/2018	CD
2	6/15/2018	CONTRACT REVIEW

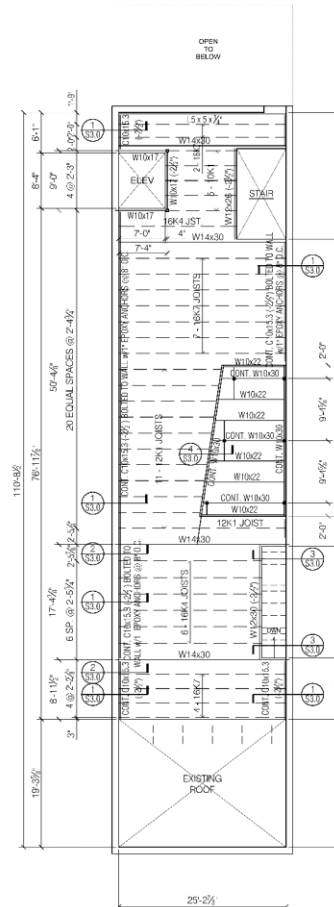
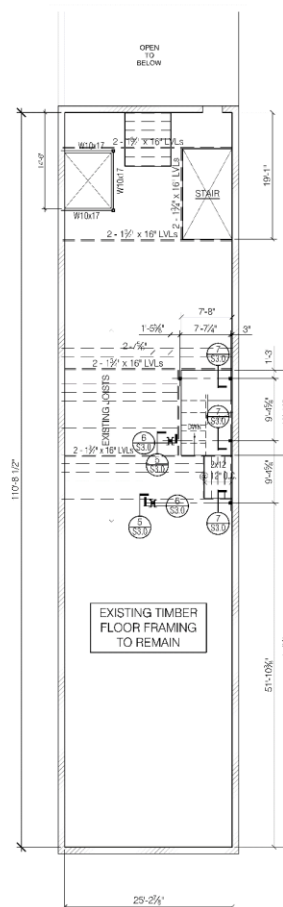
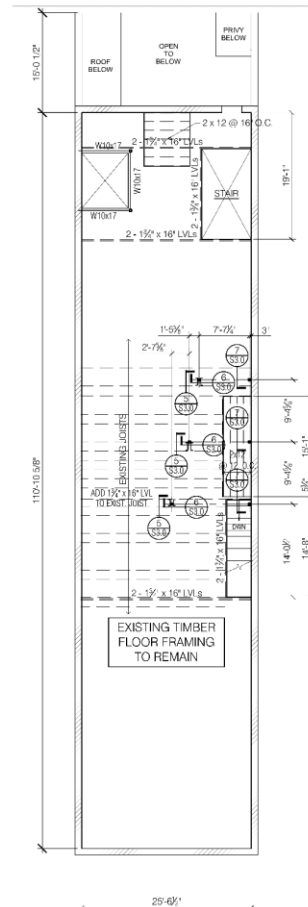
DRAWING TITLE:  
AS NOTED

DRAWN BY:  
SCALE:  
JOB NO.:  
DATE: JULY 27, 2017

DRAWING No.:  
**S1.1**









**JOHN C. WILLIAMS  
ARCHITECTS, LLC**

804 GARDEN STREET  
NEW ORLEANS, LA 70112  
504.586.0386 (PHONE)  
504.586.0677 (FAX)

These drawings are not guaranteed to be true and correct. The user of these drawings is responsible for verifying the accuracy of the information provided. The user of these drawings is also responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these drawings is also responsible for obtaining all necessary insurance and bonding. The user of these drawings is also responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these drawings is also responsible for obtaining all necessary insurance and bonding.



**WALTER F. ZIEMER**  
Professional Engineer  
State of Louisiana  
License No. 14632

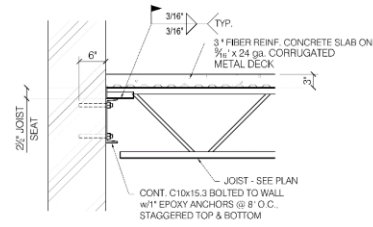
**ALTERATIONS TO  
229 ROYAL STREET**

REVISIONS		
No.	Date	Scope
1	6/15/2018	CD

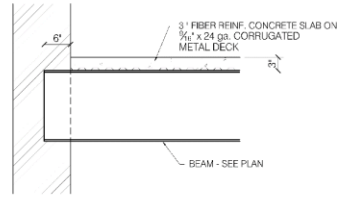
DRAWING TITLE:  
AS NOTED

DRAWN BY:  
SCALE:  
JOB NO.:  
DATE: JULY 27, 2017

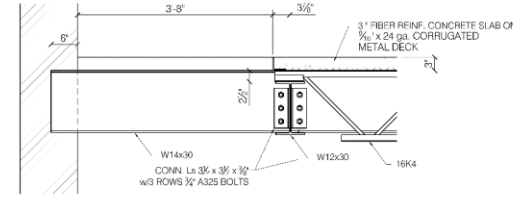
DRAWING No.:  
**S1.2**



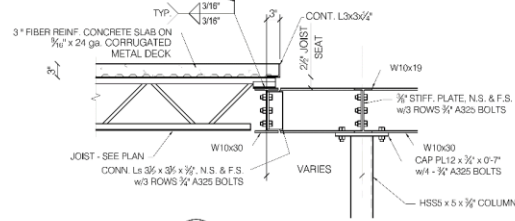
1 SECTION  
S3.0 SCALE: 1" = 1'-0"



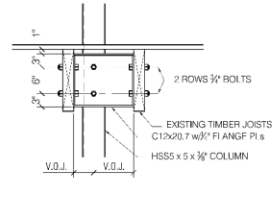
2 SECTION  
S3.0 SCALE: 1" = 1'-0"



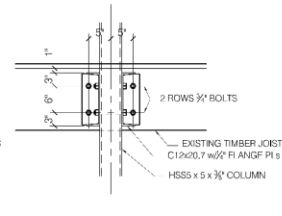
3 SECTION  
S3.0 SCALE: 1" = 1'-0"



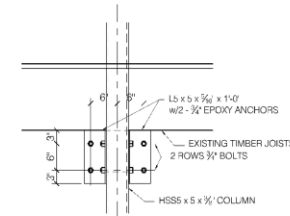
4 SECTION  
S3.0 SCALE: 1" = 1'-0"



5 SECTION  
S3.0 SCALE: 1" = 1'-0"



6 SECTION  
S3.0 SCALE: 1" = 1'-0"



7 SECTION  
S3.0 SCALE: 1" = 1'-0"



**JOHN C. WILLIAMS  
ARCHITECTS LLC**

1000 MARKET STREET  
NEW ORLEANS, LA 70113  
504.586.8888 PHONE  
504.586.0888 FAX

These drawings and specifications shall remain the property of the architect. No part of these drawings shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission of the architect.



**WALTER F. ZEIMER, II**  
P.E.  
No. 14854

**ALTERATIONS TO  
229 ROYAL STREET**

REVISIONS		
No.	Date	Scope
1	9/15/2018	CD

DRAWING TITLE:  
AS NOTED

DRAWN BY:  
SCALE:  
JOB NO.  
DATE: JULY 27, 2017

DRAWING No.:  
**S3.0**







The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal features a stylized architectural design, including a central archway flanked by columns and topped with a decorative finial.

**730 Bienville**





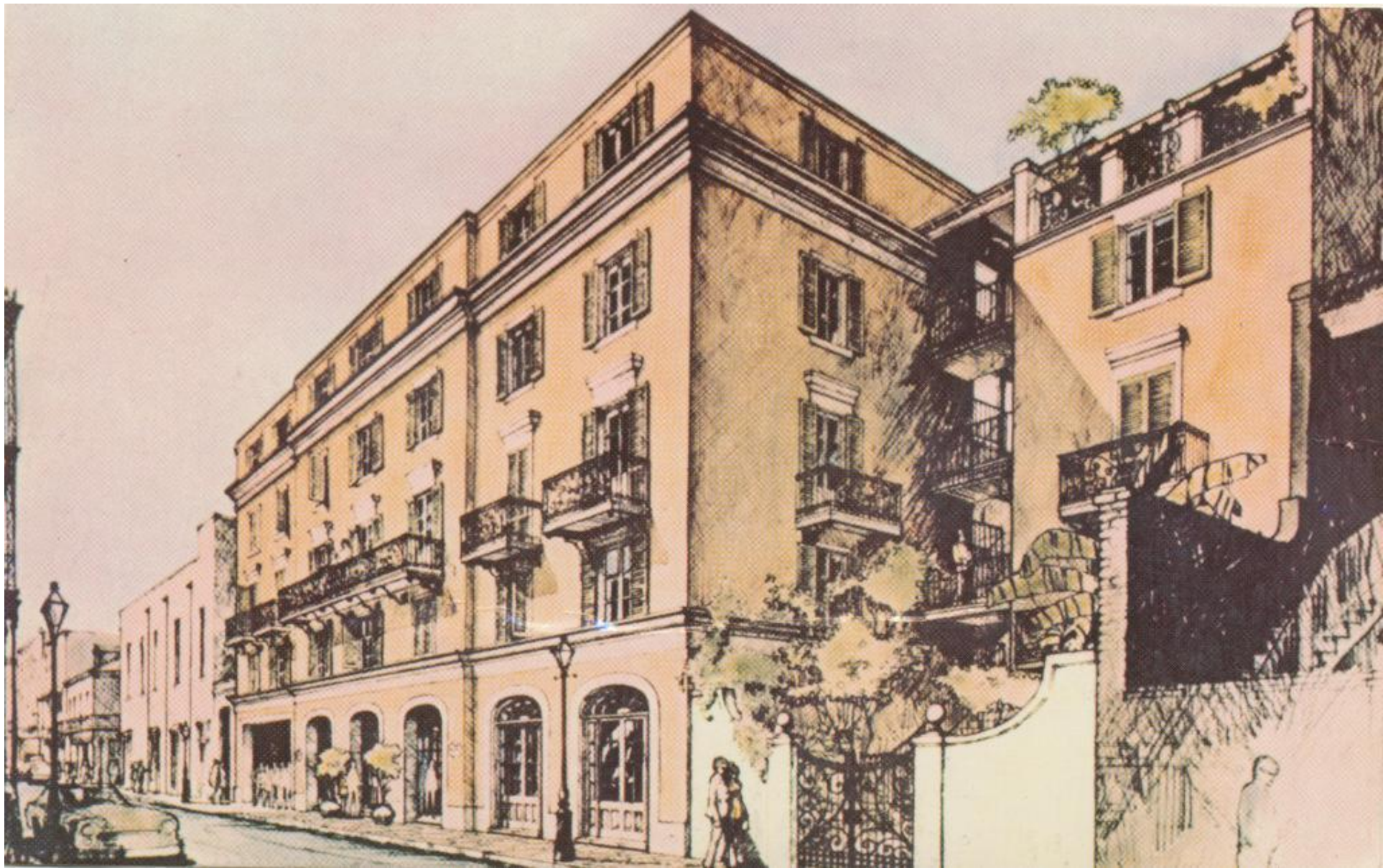
730 Bienville

VCC Architectural Committee

November 22, 2022







730 Bienville – ca. 1972 advertising postcard

VCC Architectural Committee

November 22, 2022







730 Bienville

VCC Architectural Committee

November 22, 2022







730 Bienville

VCC Architectural Committee

November 22, 2022







730 Bienville

VCC Architectural Committee

November 22, 2022







730 Bienville

VCC Architectural Committee

November 22, 2022







730 Bienville

VCC Architectural Committee

November 22, 2022







730 Bienville

VCC Architectural Committee

November 22, 2022





# CANOPY ADDITION

Hotel Mazarin  
730 Bienville Street  
New Orleans, Louisiana

CLIENT 730 Rue Bienville, LLC  
PROJECT NO. 511031.00  
PROJECT PHASE Construction Documents

## PROJECT DIRECTORY

**ARCHITECT:**  
John C. Williams Architects, LLC  
824 Baronne Street  
New Orleans, LA 70113  
504.566.0888  
lwotring@williamsarchitects.com

**STRUCTURAL ENGINEER**  
Walter Zehner  
4702 Toulouse Street  
New Orleans, LA 70119  
504.488.1442  
walterzehner@msn.com

**ELECTRICAL ENGINEER**  
Herb Schaeffer  
3001 17th Street  
Metairie, LA 70002  
504.841.2498  
herb@mcgroup.com

## SHEET INDEX:

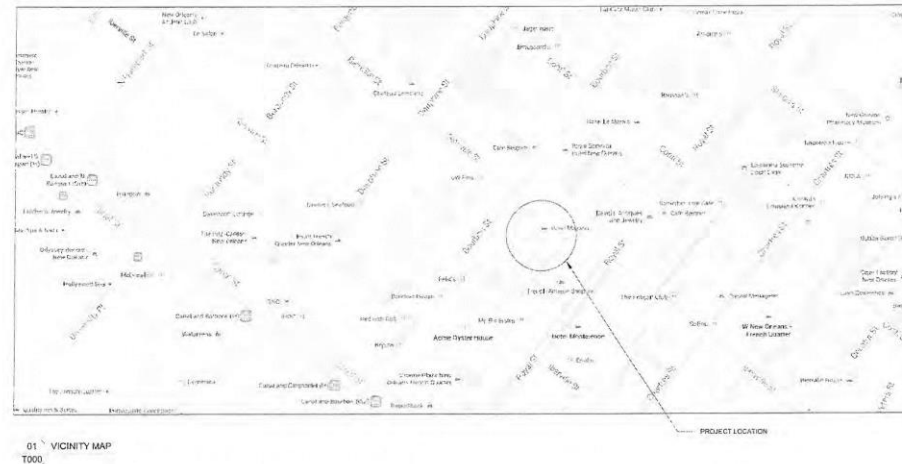
**GENERAL:**  
G000 COVER  
G001 PROJECT INFORMATION

**STRUCTURAL:**  
S101 ROOF FRAMING PLAN & DETAILS

**ARCHITECTURAL:**  
AD100 DEMOLITION ROOF PLAN  
A100 ROOF PLAN (CANOPY OPEN)  
A101 ROOF PLAN (CANOPY CLOSED)  
A300 BUILDING SECTION + ROOF DETAIL

**ELECTRICAL:**  
E-1.0 ELECTRICAL ROOF PLAN

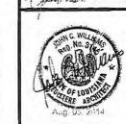
**ROLL-A-COVER**  
1-15 RETRACTABLE CANOPY DETAILS



824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504.566.0888 PHONE  
504.566.0887 FAX

These drawings and specifications have been prepared by me or under my direct supervision and to the best of my knowledge and belief they comply with applicable codes and regulations.

I am responsible for providing proper professional administration services on this project.



HOTEL MAZARIN  
730 Bienville Street  
New Orleans, Louisiana

## - REVISIONS -

No.	Date	Scope

DRAWING TITLE:  
COVER

DRAWN BY:  
SCALE:  
JOB No.: 511031.00  
DATE: August 01, 2014

DRAWING No.:

G000

730 Bienville

VCC Architectural Committee

November 22, 2022



## BUILDING INFORMATION:

**BUILDING ADDRESS:**  
730 BIENVILLE STREET  
NEW ORLEANS, LA 70130

**PROJECT DESCRIPTION:**  
CONSTRUCTION OF A RETRACTABLE CANOPY OVER THE  
HOTEL'S EXISTING COURTYARD

**BUILDING AREA:**  
LOT SIZE: 14,512 SF  
BUILDING GROSS SF: 32,684 SF  
EXISTING COURTYARD SF: 4,212 SF

**FLOOD ZONE/FIRE DISTRICT:**  
FLOOD ZONE: B  
FIRE DISTRICT: NO

**ZONING - CITY OF NEW ORLEANS:**  
ZONING DISTRICT: VCC-2  
ZONING DESCRIPTION: Vieux Carre Commercial District

**APPLICABLE CODES AND REGULATIONS:**  
(NOT LIMITED TO THE FOLLOWING)  
INTERNATIONAL BUILDING CODE, 2009 EDITION W/ CITY OF  
NEW ORLEANS AMENDMENTS

COMMERCIAL BUILDING ENERGY CONSERVATION CODE  
(ANSI / ASHRAE / IESNA 90.1-2009)

NFPA 101 LIFE SAFETY CODE, 2009 EDITION

## LEGEND:

### SYMBOLS

WINDOW TYPES

PT-1

102A

3/4" X 3/4"

200 X 200

MEN

101"

3/4" X 3/4"

KEYNOTES / GENERAL

COLORADO LINES

0'-0"

0'-0" AFF

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

CEILING ELEVATION

### HATCH PATTERNS

BRICK

EARTH

CONCRETE

STUCCO

WOOD BLOCKING

GYP. BOARD

CONCRETE MASONRY

FINISHED WOOD

WOOD GRAIN

STUCCO

GYP. BOARD

CONCRETE MASONRY

BRICK RUNNING

BATTING

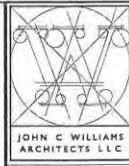
PLYWOOD

STEEL

ACT	ACOUSTIC TILE CEILING
A.F.F.	ABOVE FINISHED FLOOR
ALUM./TEMP. GLASS	ALUMINUM TEMPERED GLASS
ANO. ALUM.	ANODIZED ALUMINUM
BO.	BOARD
B.F.F.	BELOW FINISHED FLOOR
CPT.	CARPET
CONC.	CONCRETE
DIA.	DIAMETER
F.O.B.	FACE OF BOARD
GYP.	GYP. BOARD
H.M.	HOLLOW METAL
O.C.	ON CENTER
PTD.	PAINTED
PTD. GYP. BD.	PAINTED GYP. BOARD
PTD. MR. GYP. BD.	PAINTED MOISTURE RESISTANT GYP. BOARD
SIM.	SIMILAR
S.C. WOOD	SOLID CORE WOOD
T & G	TONGUE AND GROOVE
TH.	THICK
TYP.	TYPICAL
VCT.	VINYL COMPOSITE TILE
V.I.F.	VERIFY IN FIELD

## GENERAL NOTES

- SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND BECOME GENERALLY FAMILIAR WITH THE PROJECT AND WITH THE IMPACT OF THE NEW WORK ON EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO MEET THIS REQUIREMENT.
- SURVEY EXISTING ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL SYSTEM LOCATIONS AND COORDINATE WITH THE DOCUMENTS PRIOR TO SUBMITTING A PROPOSAL. FOR THE WORK, VERIFY THAT ALL NEW CONSTRUCTION AND EQUIPMENT INSTALLATIONS ARE COMPATIBLE WITH BOTH THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. ALL COST OF RELOCATING OR MODIFYING EQUIPMENT SHALL BE REFLECTED IN THE CONTRACTOR'S PROPOSAL. CHANGE ORDERS OR JOB EXTRAS FOR WORK SHALL NOT BE CONSIDERED IF VERIFICATION OF JOB CONDITIONS COULD HAVE BEEN MADE PRIOR TO SUBMITTING THE PROPOSAL.
- PROVIDE POSITIVE SEPARATION OF DIS-SIMILAR MATERIALS.
- WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS. LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK OR IMMEDIATELY UPON DISCOVERY.
- THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT.
- REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS.
- THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH HIS SUBCONTRACTORS. ANY CONFLICTS WITH THEIR WORK, EQUIPMENT PLACEMENT, ETC. ARE TO BE RESOLVED PRIOR TO INSTALLATION OF THE WORK.
  - THE CONTRACTOR SHALL COORDINATE AND LOCATE ELECTRICAL DEVICES, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CONFLICTS WITH CASEWORK, DOORS AND OTHER TRADES.
  - THE CONTRACTOR SHALL VERIFY & COORDINATE WITH ALL TRADES, THE SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, OR BASES AS WELL AS POWER, WATER AND DRAIN INSTALLATIONS BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES WORK. ALL CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND FINISH SAMPLES FOR ALL CASEWORK, MILLWORK, HARDWARE, FINISHES, AND SPECIALTY ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- VARIATIONS FROM WORK SPECIFIED DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, VARIATIONS IN EQUIPMENT SPECS, ETC. SHALL BE MADE WITH THE APPROVAL OF THE ARCHITECT AND OWNER.
- ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND ORDINANCES AND IN ACCORDANCE WITH THE AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK.
- IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE FOR COMPLETE FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS THAT ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATION, BUT WHICH ARE REQUIRED AS ESSENTIAL AESTHETICS OR FUNCTIONAL COMPONENT OF THE WORK, SHALL BE INCLUDED AS IF IT WERE DRAWN OR SPECIFIED.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS ENCOUNTERED THAT AFFECTS THE NEW CONSTRUCTION.
- SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS, DUST CONTROL, UTILITY DISCOVERED HAZARDS AND DISPOSAL, CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.
- FURNITURE INDICATED ON PLANS IS FOR REFERENCE AND COORDINATION PURPOSES.
- PROTECT ADJACENT PROPERTY AND PERSONS FROM THE WORK. WORKING OUTSIDE THE DESIGNATED LIMITS IS PROHIBITED UNLESS APPROVED BY THE CLIENT/USER.
- LIMIT NOISE TO NORMAL CONSTRUCTION OPERATIONS.
- TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, BUT THE WORK OF OTHER RELATED TRADES AS WELL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE COORDINATED IN ADVANCE OF NEED.
- VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK.
- CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE. PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.
- PROVIDE SECURITY AND FACILITIES TO PROTECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HIS/HER OWN EQUIPMENT AND TOOLS.
- THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.
- PROVIDE TEMPORARY LIGHTING AS REQUIRED, CONNECT TO TEMPORARY ELECTRIC SERVICE.
- PROVIDE TEMPORARY VENTILATION TO PROTECT WORKERS AS REQUIRED.
- CONNECT TO EXISTING WATER SOURCE FOR TEMPORARY WATER SERVICE. IF UTILITY IS CAPPED, COORDINATE WITH OWNER.
- PROVIDE TEMPORARY SANITARY FACILITIES.
- MAINTAIN FIRE SAFETY/CONTROL AT ALL TIMES.



2426 BARDONE STREET  
NEW ORLEANS, LA 70113  
504.565.0089 PHONE  
504.565.0087 FAX



730 BIENVILLE STREET  
NEW ORLEANS, LOUISIANA

HOTEL MAZARIN

## REVISIONS

No.	Date	Scope

DRAWING TITLE:  
COVER

DRAWN BY  
SCALE  
JOB No.: 511031.00  
DATE August 01, 2014

DRAWING No.

G001

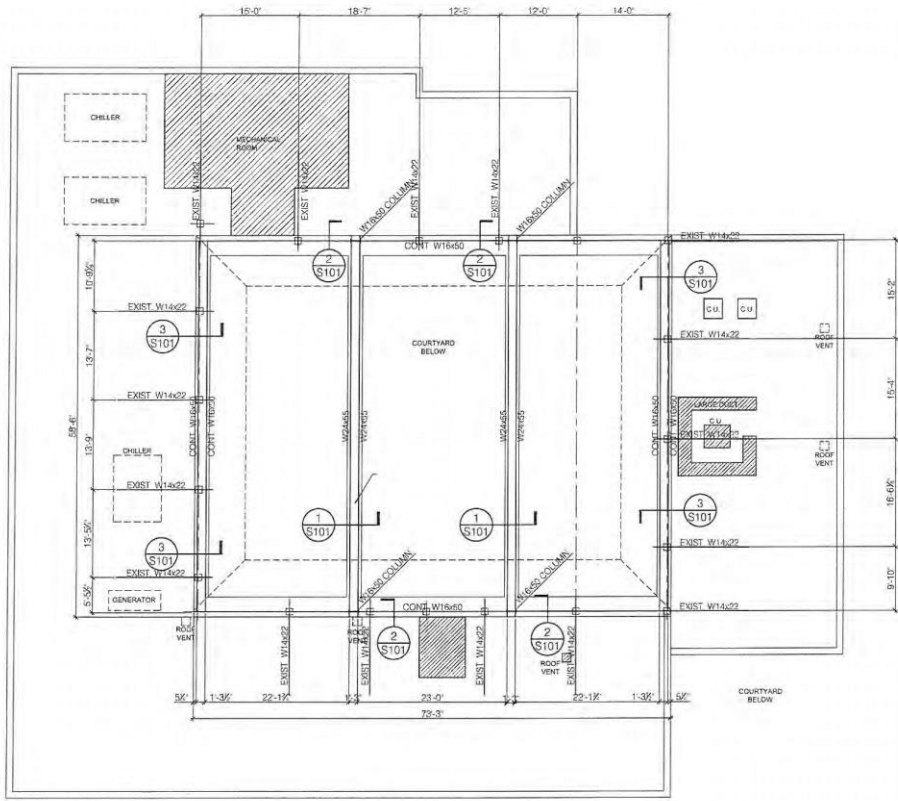
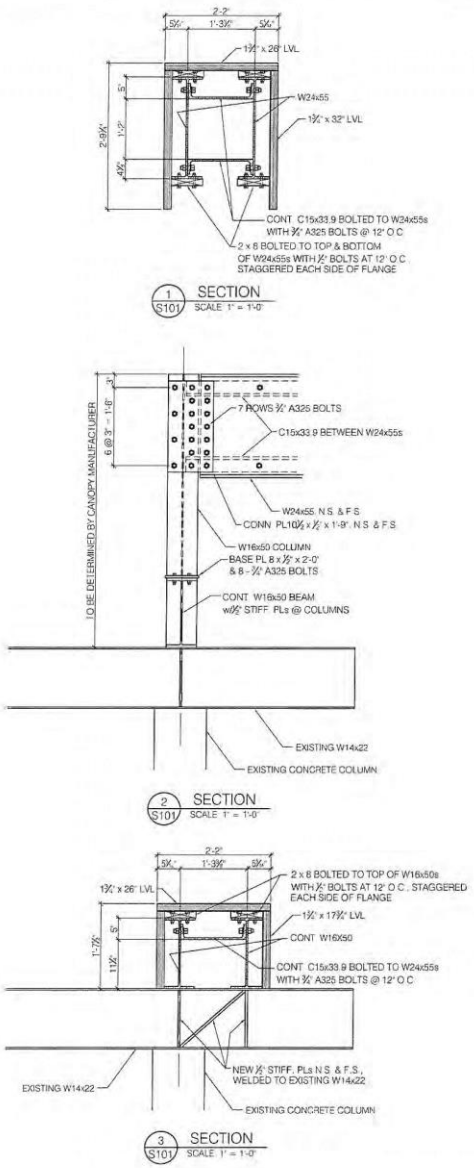
730 Bienville

VCC Architectural Committee

November 22, 2022







FRAMING PLAN FOR OPERABLE CANOPY  
SCALE: 1/8" = 1'-0"



JOHN C. WILLIAMS ARCHITECTS LLC  
100 BAYOU DRIVE  
NEW ORLEANS, LA 70117  
PHONE: (504) 581-1111 FAX: (504) 581-1112

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.  
I am not responsible for providing or using construction administration services on this project.

Copyright © 2014  
John C. Williams Architects LLC

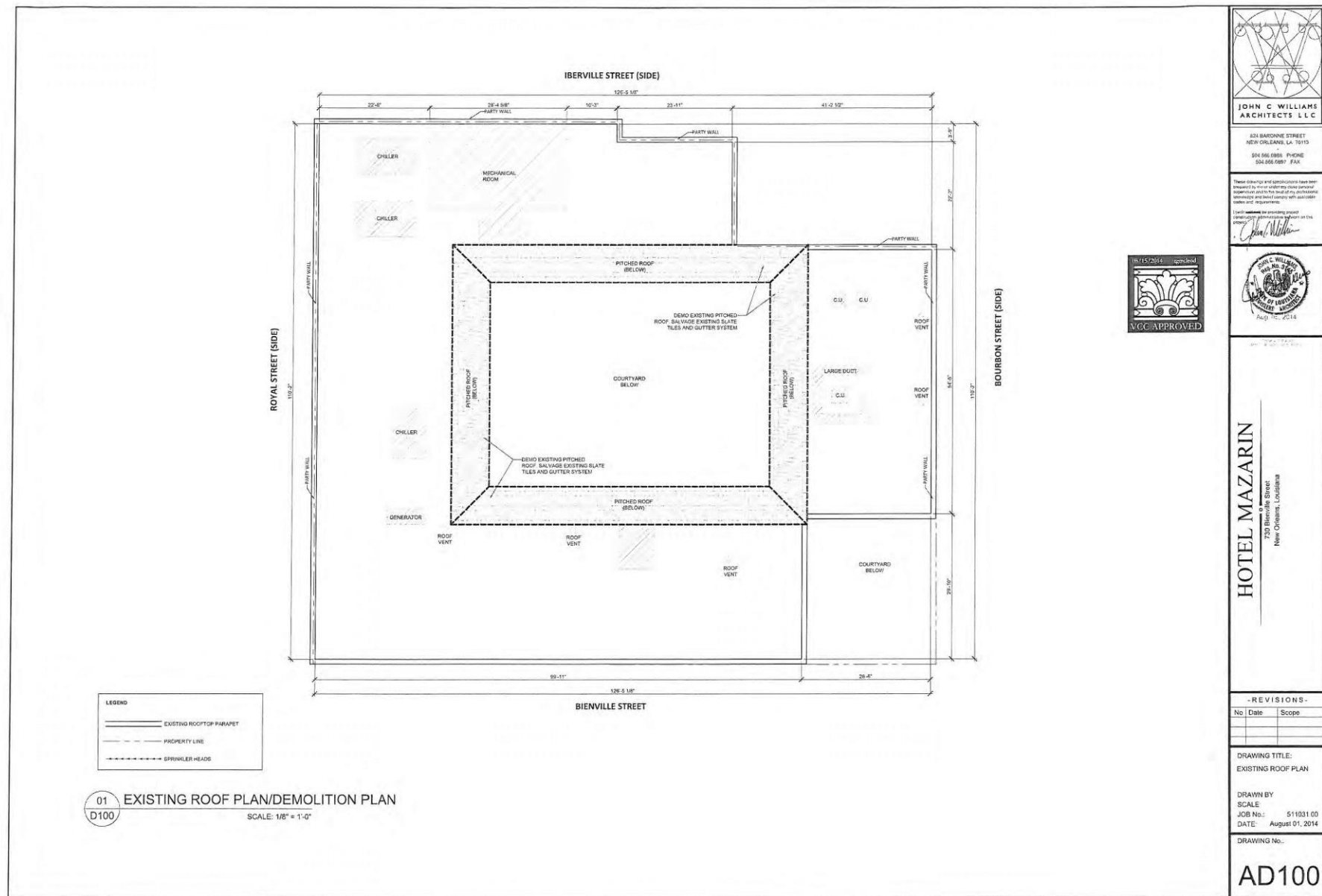
-REVISIONS-		
No.	Date	Scope

DRAWING  
ROOF FRAMING PLAN & DETAILS

DRAWING BY  
SCALE AS NOTED  
JOB No. 11002-03  
DATE 07/01/14  
Sheet No.

**S101**





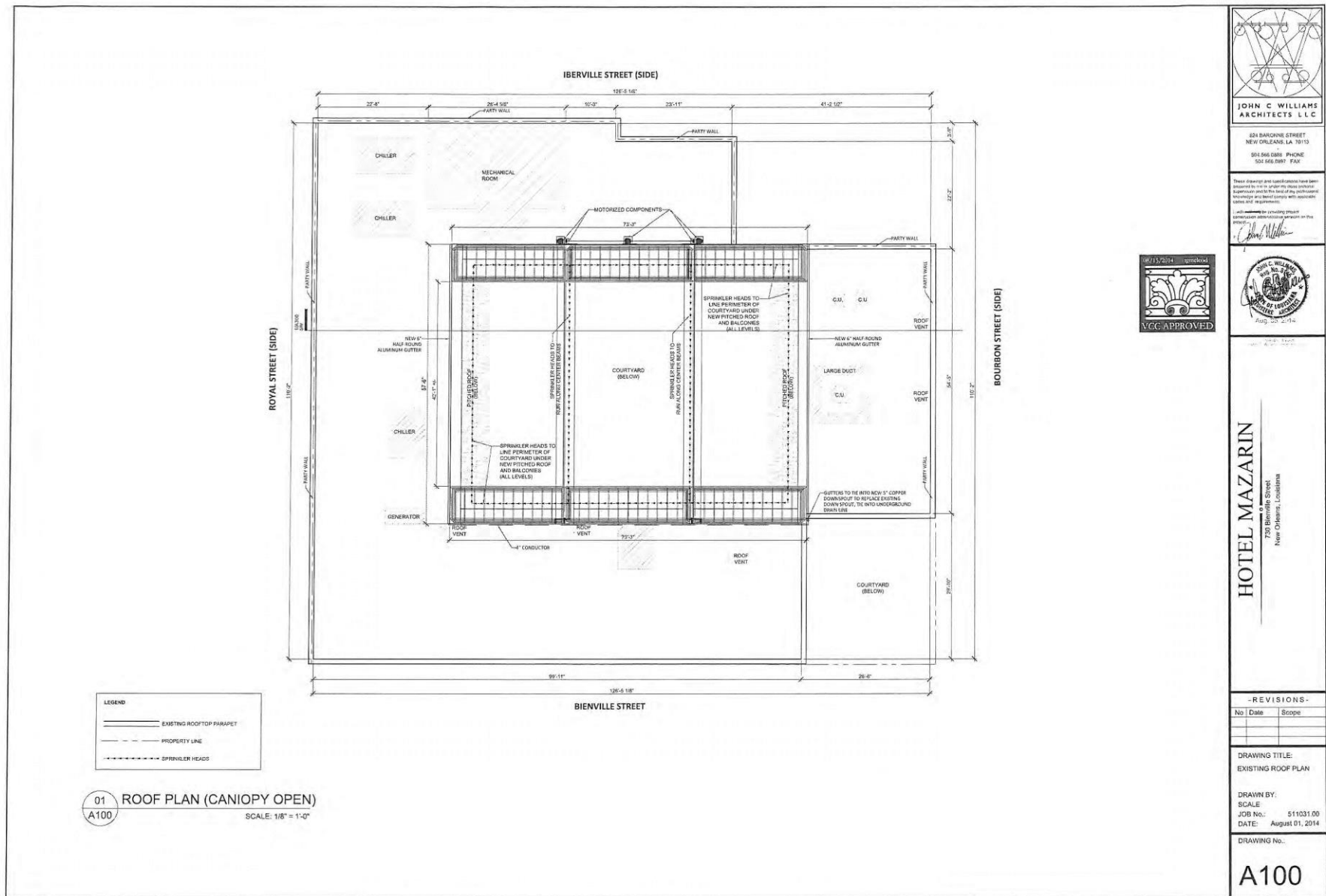
730 Bienville

VCC Architectural Committee

November 22, 2022





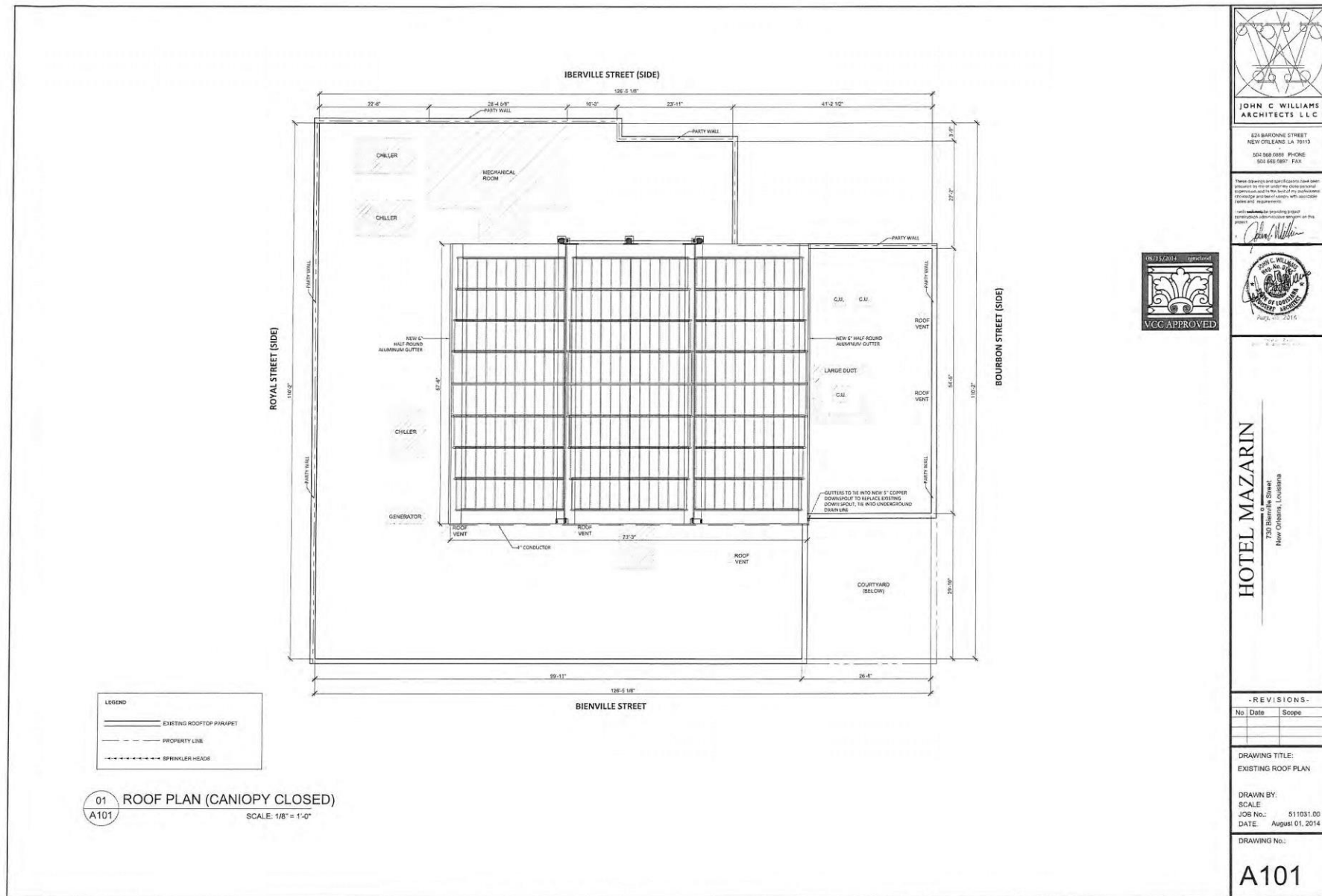


730 Bienville

VCC Architectural Committee

November 22, 2022





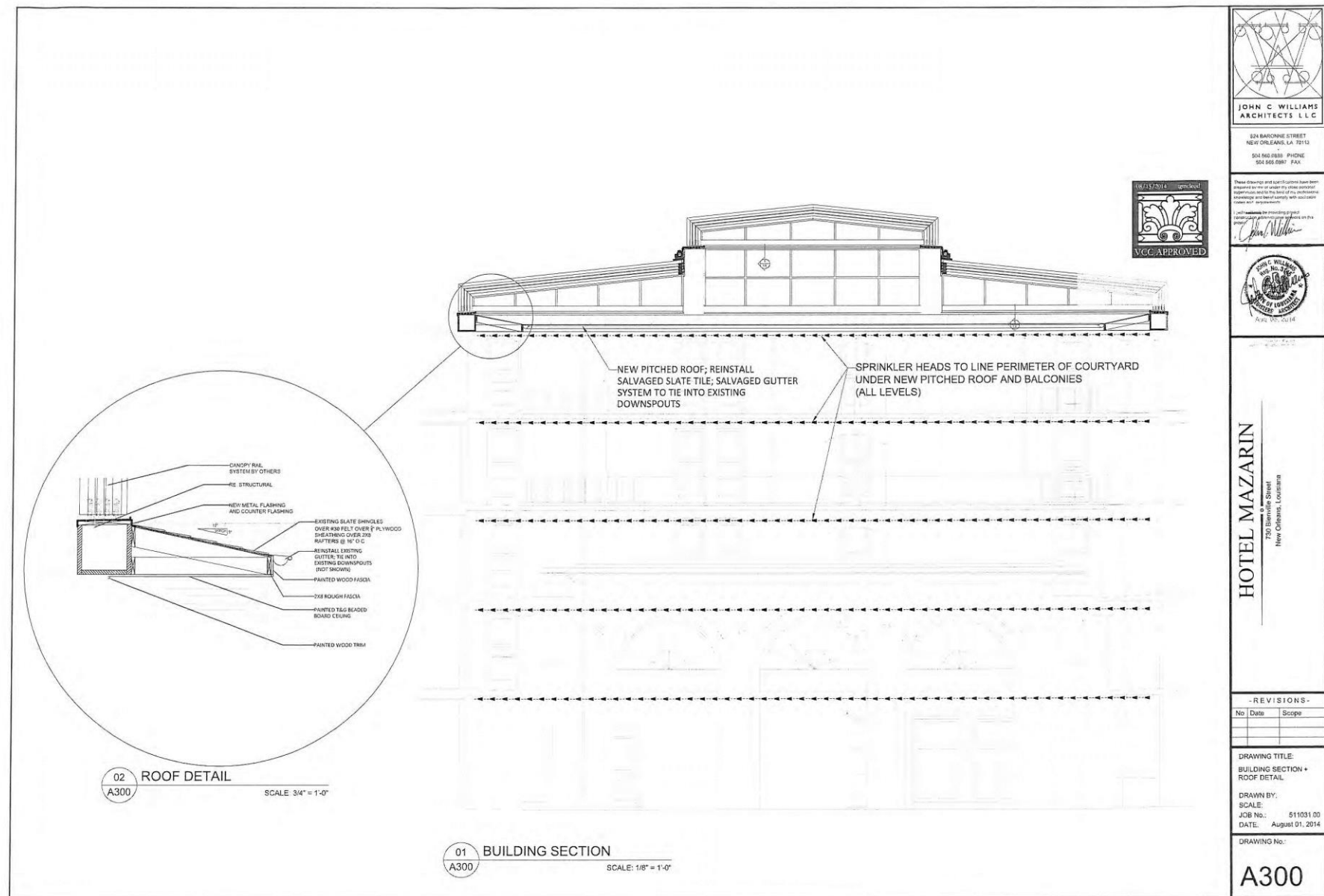
730 Bienville

VCC Architectural Committee

November 22, 2022







730 Bienville

VCC Architectural Committee

November 22, 2022





# ROLL-A-COVER INT'L DESIGN DEPARTMENT

E-MAIL: [engineering@rollacover.com](mailto:engineering@rollacover.com)

## MAZARIN HOTEL

SOLD TO:  
MAZARIN HOTEL

MODEL #: UNIT A: 56-8SLT44-24LB-TBA  
UNIT B: 56-8SLT44-24LB-TBA  
UNIT C: 56-8SFS44-26LB-TBA

FRAME COLOR: SANDTONE

### GLAZING:

WALLS: 10mm SOLAR GREY TINT MULTIWALL POLYCARBONATE

EAVE: N/A

ROOF: 10mm SOLAR GREY TINT MULTIWALL POLYCARBONATE

### RAFTER STYLE:

WALLS: HD (10mm)

EAVE: N/A

ROOF: HD (10mm)

### PURLIN STYLE:

PRESSURE PLATE

### OPTIONS:

- |                                               |                |        |
|-----------------------------------------------|----------------|--------|
| 1) DOORS-(0)                                  | TYPE-          |        |
| 2) WINDOWS-(0)                                |                |        |
| 3) RAFTER STIFFENERS-(NO)                     |                |        |
| 4) 1/2" AL. HEAD FLASHING-(YES)               | LIN. FT.- 117' |        |
| 5) 1/2" AL. PAN FLASHING-FRONT & GABLES-(YES) | LIN. FT.- 384' |        |
| 6) DIVIDED LIGHT IN FRONT TRANSOM-(0)         |                |        |
| 7) EXHAUST FAN-(0)                            |                |        |
| 8) ROLL-A-TRACK-(NO)                          | LIN. FT.       | COLOR- |
| 9) HIGH WIND TRACK-(YES)                      | LIN. FT.- 234' |        |
| 10) INFILL WALLS-(NO)                         | SQ. FT. ( )    |        |

### CUSTOM FEATURES:

12" GUSSETS

DRAWING #: MB-MAZ-01A

SHEET #	DESCRIPTION
1	COVER SHEET
2	NOTES
3	PLAN CLOSED
4	PLAN OPEN
5	FRONT ELEVATION
6	SIDE ELEVATIONS
7	RAC UNIT SECTION
8	SITE SECTION
9	BEAM DETAIL
10	LT SILL DETAIL
11	GABLE SILL DETAIL
12	RAFTER RELATIONSHIPS
13	PURLIN CONNECTIONS
14	MOTOR LAYOUT
15	WIRING DIAGRAM

ROLLACOVER HAS THE RIGHT TO ALTER THE MATERIALS, DESIGN AND FEATURES OF THIS PROJECT WITH AS GOOD IF NOT BETTER DETAILS OR MATERIALS WHILE ROLLACOVER IS UNDER THE FABRICATION PROCESS OF THIS PLAN. ROLLACOVER DOES NOT HAVE TO REQUEST ANY PERMISSION BY THE CLIENT FOR SUCH CHANGES.

**DRAWINGS MUST BE APPROVED BY ALL PARTIES  
IN ORDER FOR PROJECT TO MOVE FORWARD.**

- ☐ APPROVED AS DRAWN FOR ORDERING:
- ☐ APPROVED WITH CHANGES FOR ORDERING:

APPROVED BY (SIGN & DATE)

APPROVED BY (PRINT NAME)

- ☐ APPROVED AS DRAWN FOR FABRICATION:
- ☐ APPROVED WITH CHANGES FOR FABRICATION:

APPROVED BY (SIGN & DATE)

APPROVED BY (PRINT NAME)

UPON RETURN OF A SIGNED COPY OF THESE PLANS, YOUR ENCLOSURE WILL BE SENT TO OUR PRODUCTION DEPARTMENT. THEY WILL BEGIN TO ORDER MATERIALS AND ASSEMBLE THEM INTO THE FINAL PRODUCT. IF YOU HAVE ANY QUESTIONS, CONCERNS OR CHANGES TO THESE PLANS FROM THIS POINT FORWARD, PLEASE CONTACT MICHAEL MORRIS AT (203) 393-7292 OR BY E-MAIL at [mmorris@rollacover.com](mailto:mmorris@rollacover.com).

UNLESS A SIGNED COPY IS RECEIVED, YOUR PROJECT WILL NOT BE SUBMITTED FOR ENGINEERING STAMPS NOR WILL CONSTRUCTION OF YOUR PROJECT BEGIN.

ROLL-A-COVER INT'L

36 SARGENT DR.  
BETHANY, CT 06524

[www.rollacover.com](http://www.rollacover.com)

Tel: 203-393-7292  
Fax: 203-393-6072

SCALE:

SALESMAN: M. BONURA

DRAWN BY: B. TAYLOR

JOB NAME & ADDRESS:  
MAZARIN HOTEL

DRAWING #:  
MB-MAZ-01A

SHEET #:  
1 OF 15

DATE: 7-15-14  
ORIGINATOR  
REVISED 7-25-14  
REVISED  
REVISED





## GENERAL NOTES

- 1) ROLL-A-COVER LLC IS HEREBY REFERENCED AS RAC.
- 2) "BY OTHERS" REFERS TO THE COMPANY/PERSON RESPONSIBLE FOR THE SPECIFIC DETAIL OTHER THAN RAC.
- 3) ALL SITE CONDITIONS ARE THE RESPONSIBILITY OF THE CUSTOMER. THIS INCLUDES ALL WOOD, STEEL AND CONCRETE NECESSARY TO PROVIDE THE LEVEL AND FLAT SURFACES REQUIRED AT EVERY CONNECTION OR OPERATING POINT
- 4) ROLL-A-COVER ONLY SUPPLIES THE FABRICATED MATERIALS THAT MAKE UP THE ENCLOSURE AS SPECIFIED IN THIS SET OF PLANS
- 5) THE SITE MUST BE 100% LEVEL, PLUMB, PARALLEL, AND SQUARE RELATIVE TO EACH CONNECTING SURFACE WITH NO DEVIATIONS, BOWS, OR CUPS.
- 6) ALL BEAMS FOR ATTACHMENT OF THE ROLL-A-COVER ENCLOSURE MUST BE STRUCTURALLY SOUND AND SMOOTH, WITH NO DEVIATIONS OR BOWS. ALL FASTENERS MUST BE COUNTERSUNK BELOW THE BEAM SURFACE.
- 7) THE FLOOR/BASE SURFACE AREA WHERE THE RAC ENCLOSURE WILL OPERATE MUST BE SMOOTH, LEVEL AND FLAT WITH NO SEPARATIONS, GAPS, HOLES OR ELEVATION CHANGES THAT WILL AFFECT THE OPERATION OF THE MOVING COVER.  $\frac{1}{4}$ " PER FOOT PITCHED TO THE OUTSIDE ALWAYS RECOMMENDED.
- 8) ALL FLASHING, INCLUDING COUNTER FLASHING AND TRIMMING OF ANY EXPOSED WOOD, STEEL, AND CONCRETE SURFACES, IS BY OTHERS EXCEPT WHERE SHOWN BY RAC IF APPLICABLE.
- 9) RAC IS ABLE TO PROVIDE THE LOADS IMPOSED BY THE RAC STRUCTURE. IT IS THE RESPONSIBILITY OF THE PURCHASER TO ENSURE ALL CONNECTION AND SUPPORT POINTS ARE ABLE TO WITHSTAND THE RAC LOADS PER ALL APPLICABLE CODES.
- 10) ANY DISCREPANCIES SHALL BE REPORTED PRIOR TO PROCEEDING.
- 11) ONCE THE MATERIAL HAS BEEN ORDERED ANY CHANGE TO THE DESIGN MAY INCUR WITH AN ADDITIONAL CHARGE TO ALTER THE FABRICATION PROCEDURE. THIS INCLUDES COLOR, DESIGN, AND SIGNIFICANT (MORE THAN A FEW INCHES) DIMENSION ALTERATIONS.
- 12) RAC IS NOT RESPONSIBLE FOR ENSURING SITE WORK MEETS REQUIRED CODES OR COMPLIES WITH THE RAC REQUIRED CONDITIONS.
- 13) RAC UNIT IS STAMPED TO MEET ENGINEERING REQUIREMENTS BASED ON PROVIDED ZIP CODE AND IS STAMPED SITE SPECIFIC FOR RAC PRODUCTS ONLY.
- 14) RAC SLIDING WINDOWS ARE AVAILABLE IN  $\frac{1}{2}$ " TEMPERED GLASS ONLY.

## STEEL NOTES

- 1) ALL STEEL WORK, IF APPLICABLE, INCLUDING THE DESIGN, ENGINEERING, PURCHASING, AND INSTALLATION, IS TO BE DONE BY THE PURCHASER.
- 2) ALL POINTS WHERE THE RAC UNIT CONNECTS TO STEEL MUST BE BUFFERED BY AN LVL. RAC UNIT DOES NOT CONNECT DIRECTLY TO STEEL UNLESS OTHERWISE NOTED.
- 3) IT IS THE RESPONSIBILITY OF THE PURCHASER TO ENSURE ANY REQUIRED STEEL STRUCTURE MEETS ALL APPLICABLE CODES AND IS ABLE TO WITHSTAND THE LOADS IMPOSED BY THE RAC STRUCTURE.
- 4) ALL STEEL WORK MUST BE PERFECTLY LEVEL OR PITCHED AS PER PLAN AND SQUARE. ALL ATTACHED LVL IS BY OTHERS.
- 5) ROLL-A-COVER DOES NOT RECOMMEND A NON LVL HEADER SURFACE. BOLTING RAC HEADERS INTO STEEL BY OTHERS.

## LVL NOTES

- 1) LVL REFERS TO LAMINATED VENEER LUMBER.
- 2) ALL LVLS SHOWN IN RAC PLANS ARE TO BE PURCHASED AND INSTALLED BY THE PURCHASER UNLESS OTHERWISE STATED.
- 3) ALL EXPOSED WOOD MUST BE WRAPPED TO PREVENT DAMAGE FROM THE ELEMENTS WITH TAR PAPER OR ANY OTHER SECURE WATERPROOF MATERIAL.
- 4) ALL HARDWARE USED FOR LVL CONNECTIONS MUST BE COUNTERSUNK BELOW SURFACE TO ALLOW RAC ATTACHMENT.
- 5) ALL LVLS MUST BE PERFECTLY LEVEL, STRAIGHT, AND PLUMB WITH NO DEVIATIONS, BOWS, OR HORIZONTAL SEAMS. LVLS UNDER A RAC SYSTEM'S SILL MUST BE PITCHED  $\frac{1}{4}$ " PER FOOT, NO MORE NO LESS, TO THE OUTSIDE FOR DRAINAGE.
- 6) ALL FLASHING, INCLUDING COUNTER FLASHING AND TRIMMING OF ANY EXPOSED WOOD, IS BY OTHERS EXCEPT WHERE SHOWN BY RAC IF APPLICABLE.

## WOOD/LUMBER NOTES

- 1) ALL WOOD INDICATED FOR RAC ATTACHMENT IS THE RESPONSIBILITY OF THE PURCHASER UNLESS OTHERWISE NOTED.
- 2) ALL EXPOSED LUMBER IS TO BE WRAPPED AND PROTECTED FROM THE ELEMENTS. THIS IS THE RESPONSIBILITY OF THE PURCHASER.  $\frac{1}{2}$ " COIL STOCK ALUMINUM WITH COLOR TO MATCH RAC UNIT IS TYPICALLY RECOMMENDED.
- 3) A 2x6 IS REQUIRED AT EACH VERTICAL END OF THE LVL HEADER FOR A LEAN-TO WITH A GABLE WALL FOR ATTACHMENT.
- 4) ALL HARDWARE USED MUST BE COUNTERSUNK BELOW SURFACE.
- 5) MUST BE PERFECTLY LEVEL WITH NO BREAKS, CUPS, BOWS, SEAMS, OR DEVIATIONS. PURCHASER MUST ENSURE ALL SITE WORK IS LEVEL AND SQUARE FOR RAC ATTACHMENT.
- 6) ALL FLASHING AND COUNTERFLASHING IS THE RESPONSIBILITY OF THE PURCHASER UNLESS OTHERWISE NOTED.

## CONCRETE NOTES

- 1) ALL CONCRETE WORK, IF APPLICABLE, IS THE RESPONSIBILITY OF THE PURCHASER. THIS INCLUDES DESIGNING, PURCHASING, AND POURING.
- 2) ALL CONCRETE MUST BE PERFECTLY LEVEL AND SMOOTH FOR RAC OPERATION WITH NO CUPS, BOWS, GAPS, OR BREAKS.
- 3) CONCRETE MUST BE SQUARE AND PARALLEL WITH APPLICABLE LVLS/HEADERS.
- 4) ALL DRAINAGE IS THE RESPONSIBILITY OF THE OWNER. A CONTINUOUS GRATED DRAIN IS HIGHLY RECOMMENDED BY RAC UNLESS OTHERWISE NOTED.
- 5) ALL CONCRETE MUST MEET APPLICABLE CODES.
- 6) AREAS UNDER A RAC SILL MUST BE EITHER CURBED OR PITCHED  $\frac{1}{4}$ " PER FOOT TO THE OUTSIDE FOR DRAINAGE. WATER CAN INFILTRATE SILL AREAS INTO INSIDE SPACE SO SITE DESIGN CONSIDERATIONS MUST BE MADE TO ACCOUNT FOR THIS PROBABILITY.
- 7) CONTINUOUS FLOOR DRAINAGE IS RECOMMENDED ON ALL LEAN-TO ENCLOSURES ON THE INSIDE AND OUT OF THE ROOM DUE TO THE ENCLOSURE BEING TRACKLESS. DESIGN IS BY OTHERS.



## ADDITIONAL SITE PREP NOTES

- 1) ALL ADDITIONAL SITE WORK, IF APPLICABLE, IS THE RESPONSIBILITY OF THE PURCHASER. ADDITIONAL SITE WORK INCLUDES ALL WALLS, PARAPETS, INFILL, DRAINAGE, AND ALL REQUIRED MODIFICATIONS EXCLUDING THE RAC UNIT ITSELF. PURCHASER IS REQUIRED FOR THE DESIGN, ENGINEERING, PURCHASING, AND INSTALLATION.
- 2) ALL SITE WORK MUST MEET APPLICABLE CODES.
- 3) ALL SITE WORK MUST BE CAPABLE OF SUSTAINING RAC LOADS WHERE APPLICABLE.
- 4) ANY REQUIRED FLASHING, DRAINAGE, WRAPPING, AND WEATHERPROOFING IS THE RESPONSIBILITY OF THE PURCHASER.
- 5) ALL SITE WORK MUST BE PERFECTLY LEVEL, PLUMB, AND SQUARE WITH NO BREAKS, CUPS, BOWS OR DEVIATIONS FOR RAC OPERATION.
- 6) ALL HARDWARE MUST BE COUNTERSUNK BELOW SURFACE FOR RAC ATTACHMENT.
- 7) APPLICABLE AREAS UNDER A RAC SILL MUST BE EITHER CURBED OR PITCHED  $\frac{1}{4}$ " PER FOOT TO THE OUTSIDE FOR DRAINAGE. ANY ADDITIONAL DRAINAGE IS AT THE DISCRETION OF THE PURCHASER.

## INSTALLATION NOTES

- 1) RAC'S PRODUCTS ARE FOB FREIGHT UNLESS OTHERWISE STATED WITHIN AGREEMENT. ANY REQUIRED RELOCATION OR STORAGE IS THE RESPONSIBILITY OF THE PURCHASER. DOUBLE HANDLING BY RAC WILL BE CHARGED AS ADDED LABOR.
- 2) ANY REQUIRED ASSISTANCE FOR INSTALLATION OF RAC UNIT IS THE RESPONSIBILITY OF THE PURCHASER INCLUDING CRANING AND ADDITIONAL LABOR AS REQUIRED IN ACCORDANCE WITH RAC CONTRACT.
- 3) ANY DISCREPANCIES FOUND DURING RAC INSTALLATION MUST BE RECTIFIED BEFORE CONTINUATION. THIS INCLUDES ANY ISSUES AS A RESULT OF THE SITE BEING OUT OF LEVEL OR SQUARE. RAC IS NOT RESPONSIBLE FOR APPROVALS OF FINAL SITE CONDITIONS OR LOST TIME DUE TO IMPROPER SITE WORK.
- 4) ANY APPLICABLE UNION COSTS ARE THE RESPONSIBILITY OF THE PURCHASER.
- 5) RAC RELINQUISHES ALL RESPONSIBILITY FOR IMPROPER UNIT OPERATION OR STRUCTURAL STABILITY SHOULD ANY PART OF THE SYSTEM BE DISASSEMBLED OR MODIFIED WITHOUT RAC CONSENT.
- 6) RAC DOES NOT WARRANTY ANY LABOR OF ANY PRODUCT THAT IS NOT 100% INSTALLED BY RAC CORPORATE EMPLOYEES.

Important Notice to all Customers of Roll-A-Cover

Roll-A-Cover is a custom fabrication company and has the right to adjust details, parts, connection details, location of parts from the original approved plan if they find that while fabricating the project in their facility that the design approved has flaws and by modifying the design while under fabrication that the project will be better off. These changes will not have to be approved by the client based on fabrication timing and if any changes are made Roll-A-Cover does not have to supply any written notice unless it changes the size or makeup of the systems overall plan.

ROLL-A-COVER INT'L

36 SARGENT DR  
BETHANY, CT 06524

Tel: 203-383-7282  
Fax: 203-386-2012  
www.rollacover.com

SCALE

SALESMAN: M. BONURA

DRAWN BY: B. TAYLOR

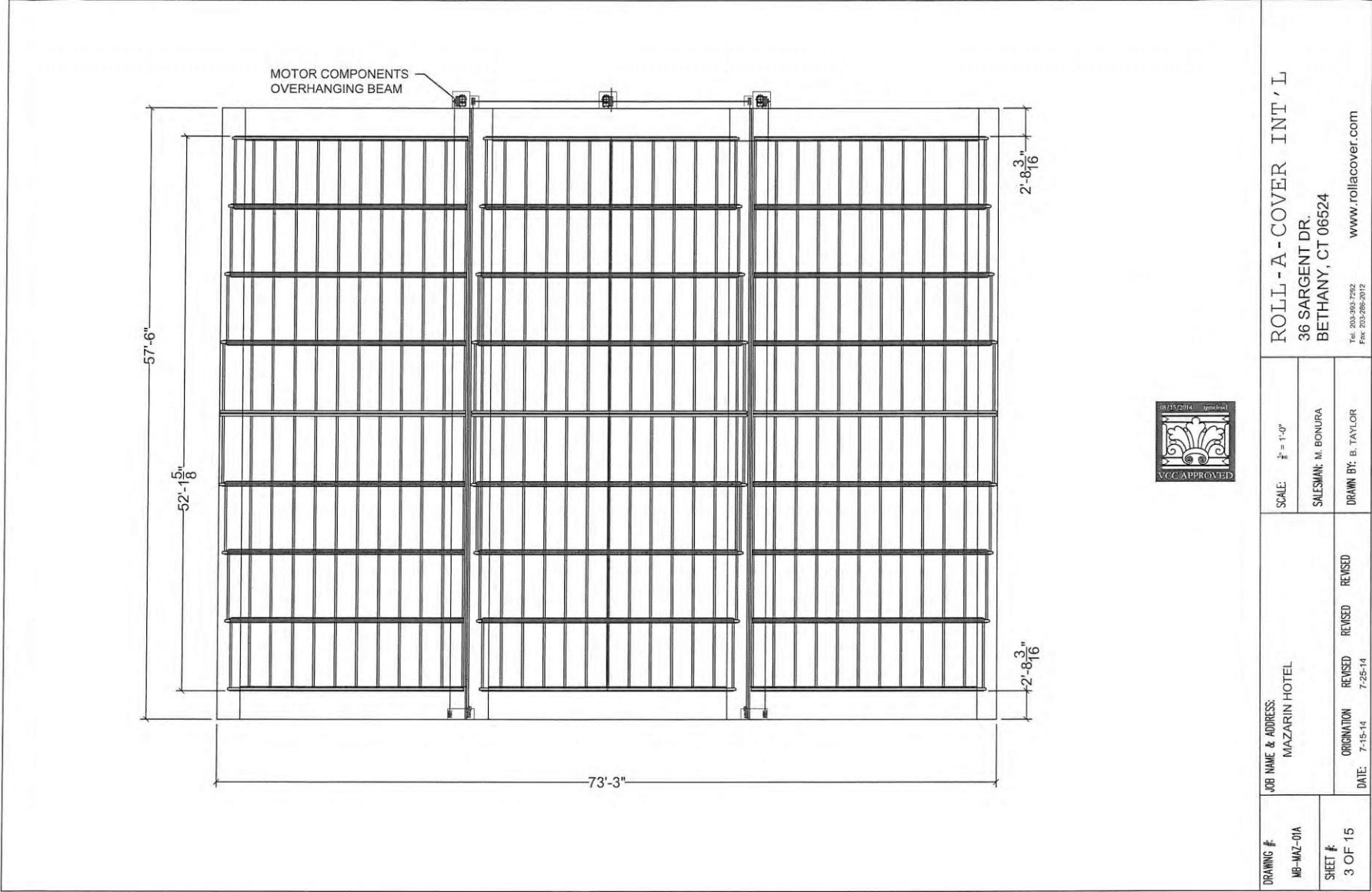
JOB NAME & ADDRESS:  
MAZARIN HOTEL

DRAWING #  
MB-MAZ-01A

SHEET #  
2 OF 15

DATE  
7-15-14  
7-25-14  
REVISION  
REVISED  
REVISED





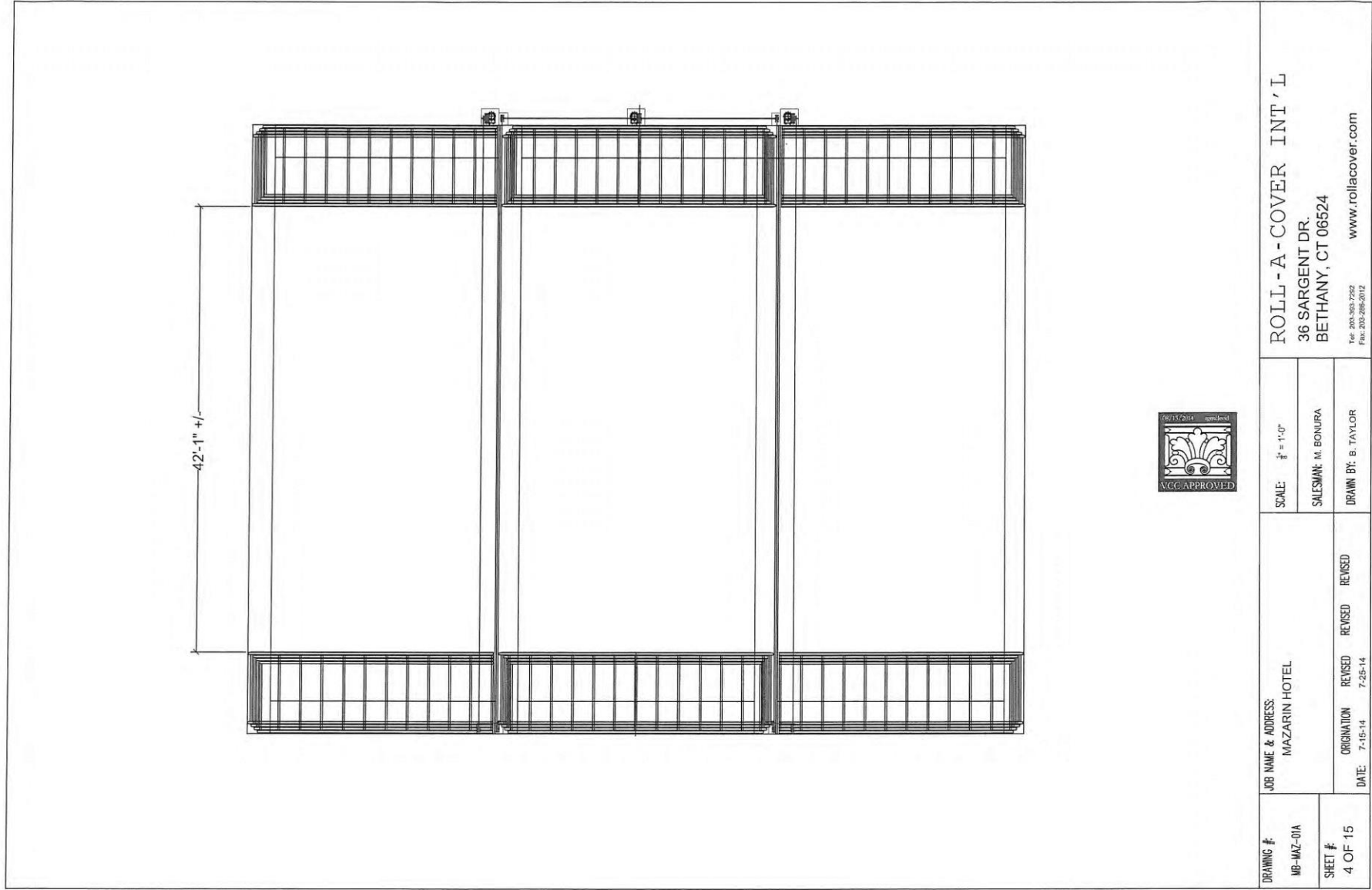
730 Bienville

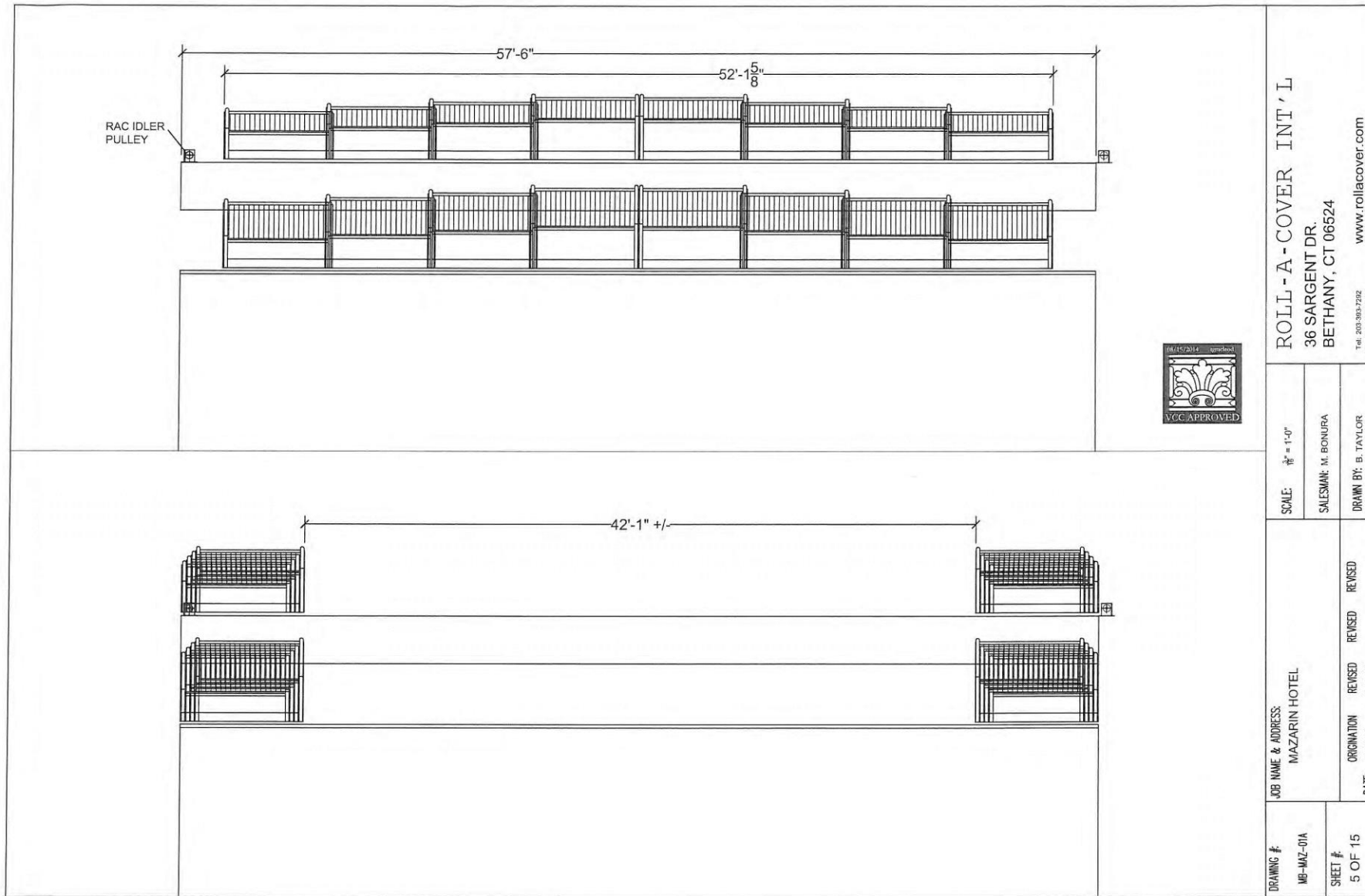
VCC Architectural Committee

November 22, 2022









DRAWING # MB-MAZ-01A	JOB NAME & ADDRESS MAZARRIN HOTEL		SCALE: $\frac{3}{8}" = 1'-0"$		ROLL-A-COVER INT'L 36 SARGENT DR. BETHANY, CT 06524 Tel: 203-933-7292 Fax: 203-286-2012 www.rollacover.com
	SHEET # 5 OF 15	ORIGINATOR 7-15-14	REVISED 7-25-14	SALESMAN: M. BONURA DRAWN BY: B. TAYLOR	

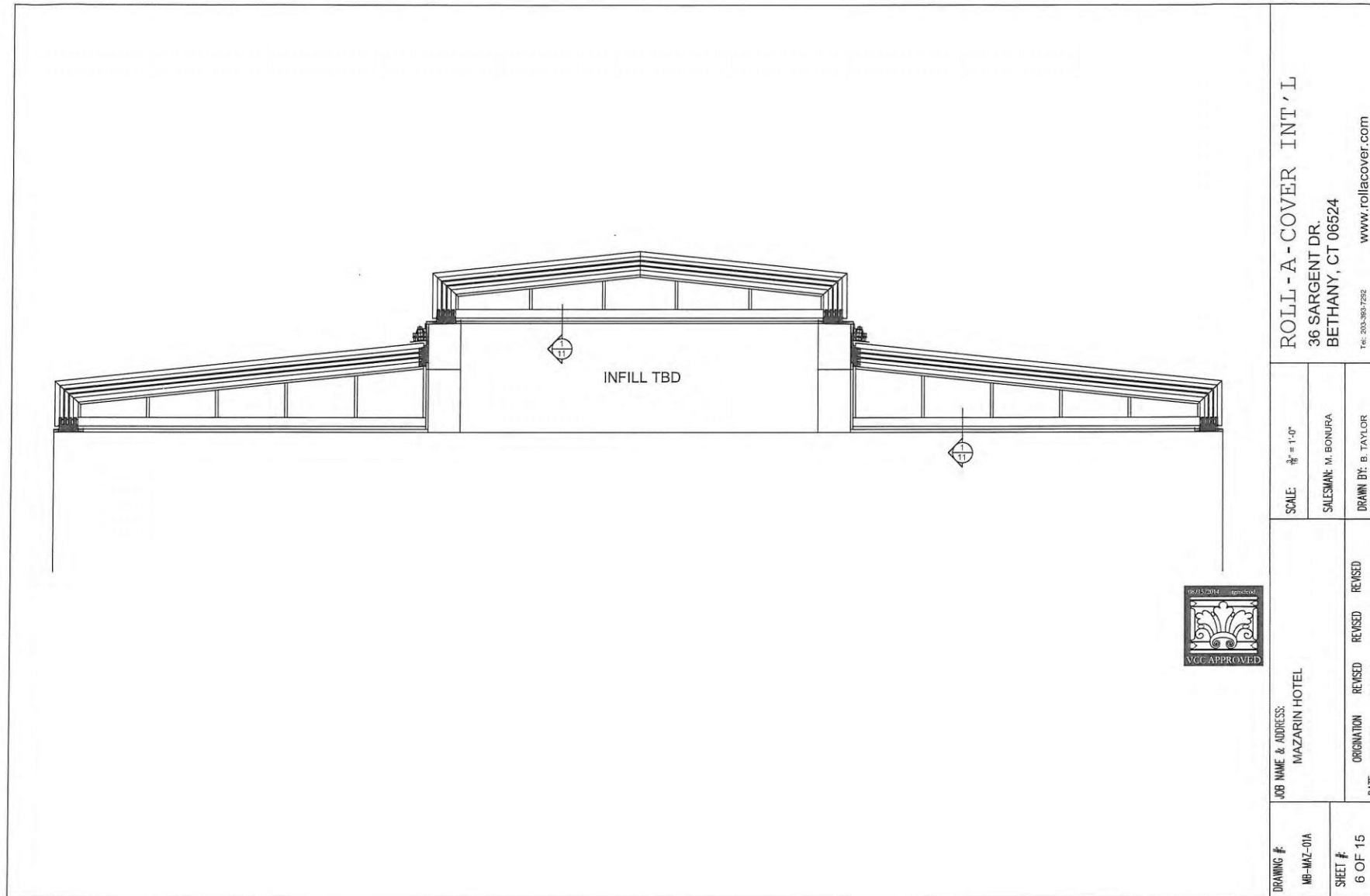
730 Bienville

VCC Architectural Committee

November 22, 2022





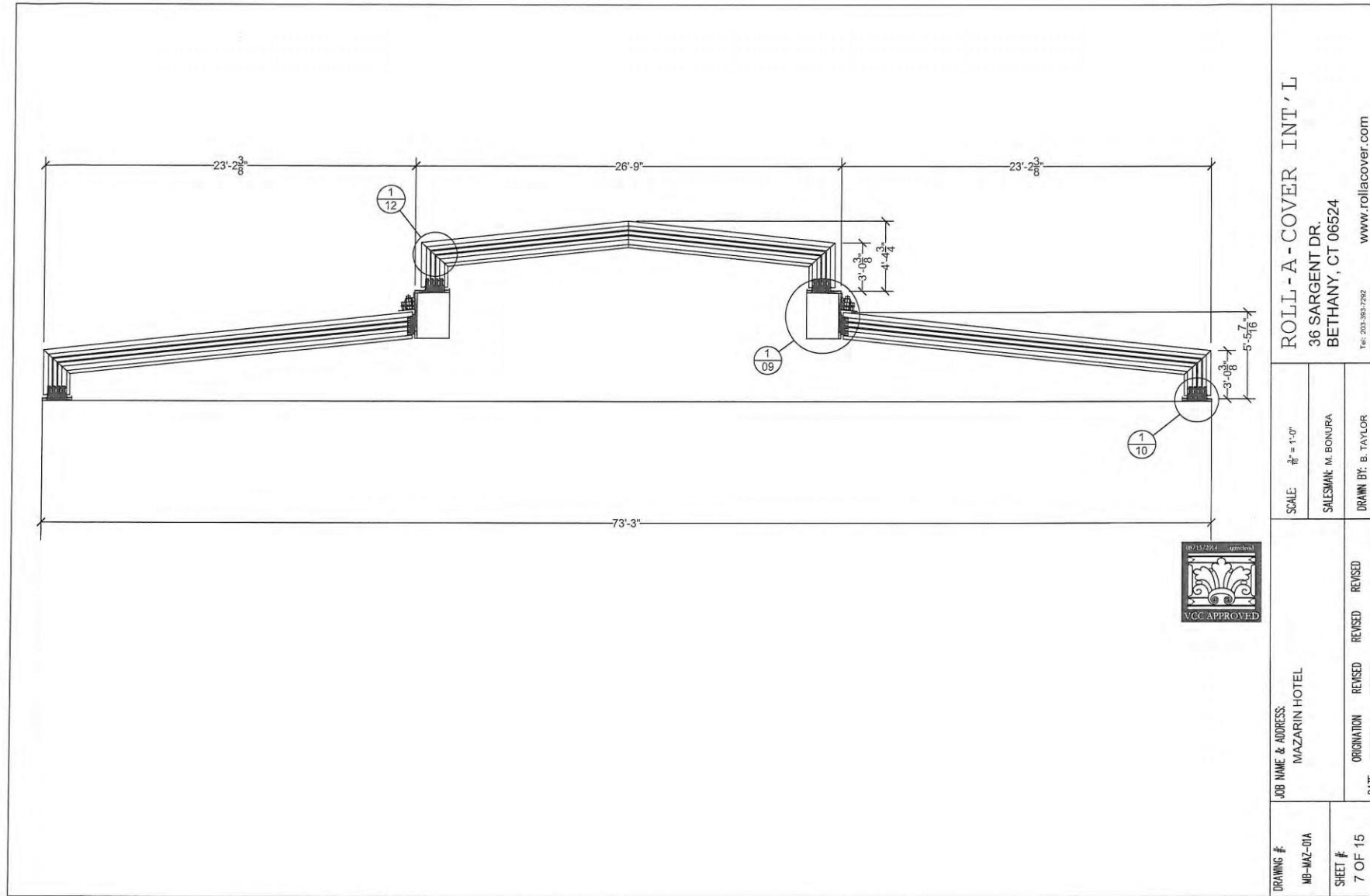


730 Bienville

VCC Architectural Committee

November 22, 2022





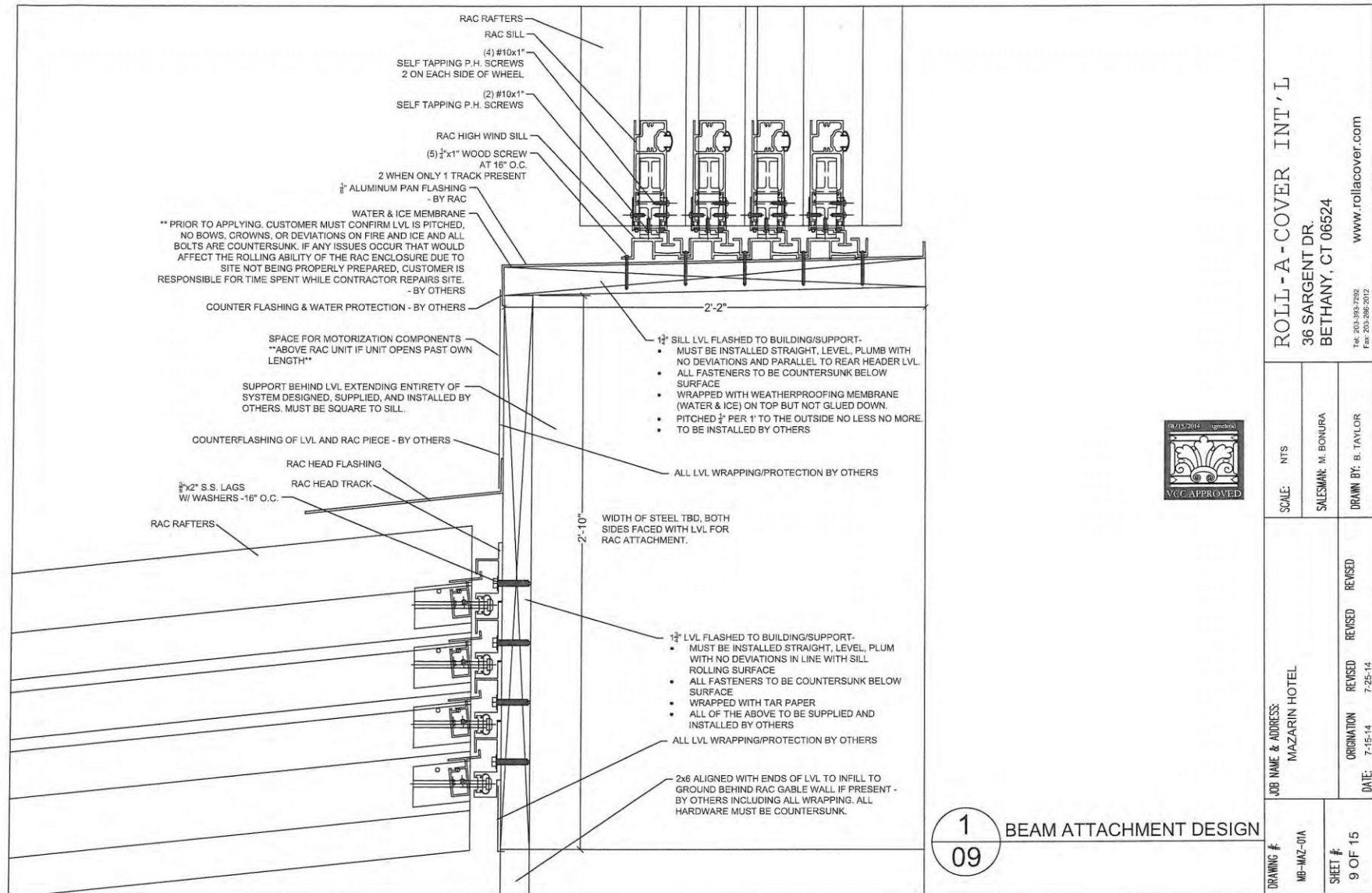
730 Bienville

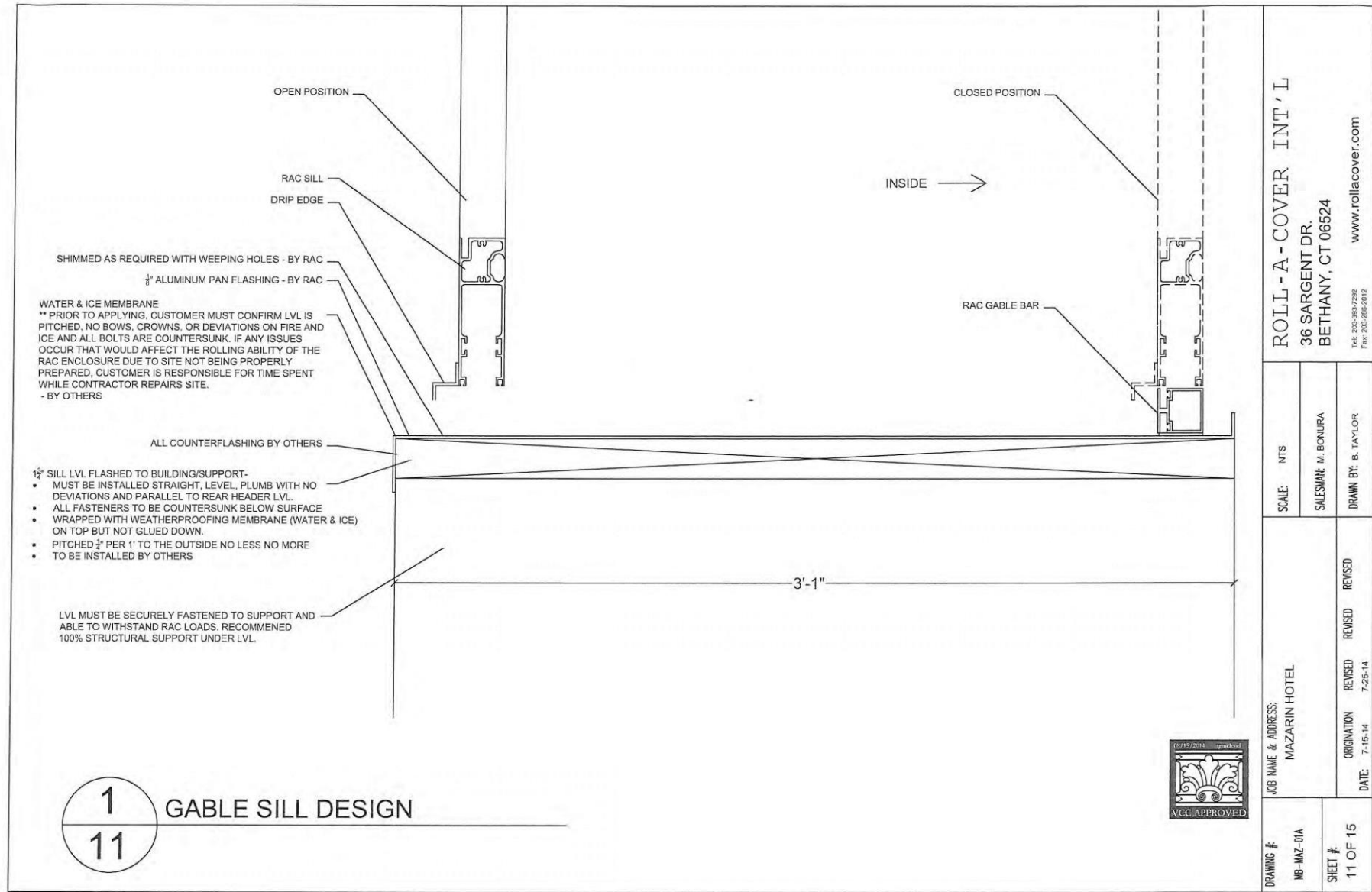
VCC Architectural Committee

November 22, 2022





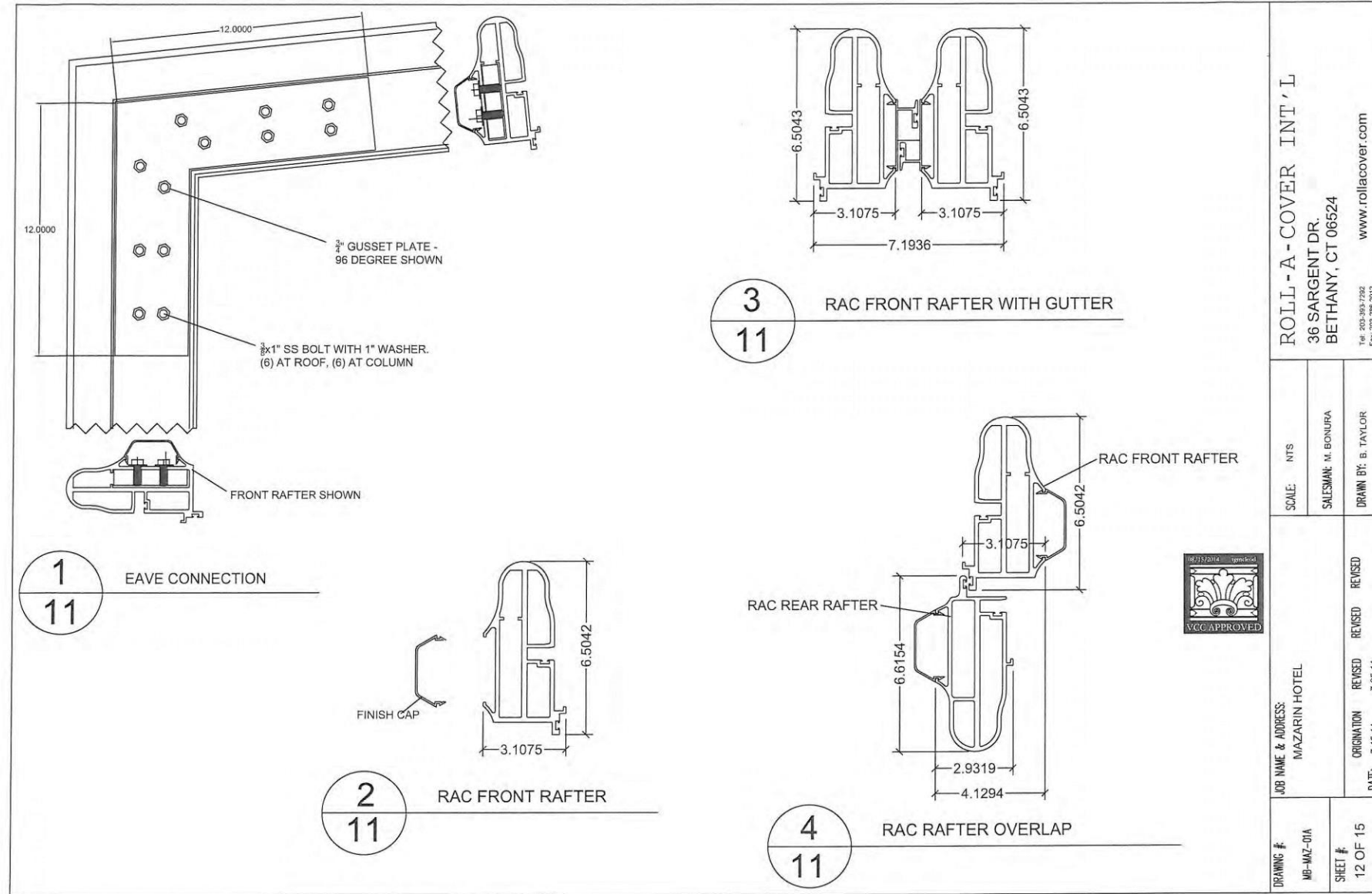




1  
11

## GABLE SILL DESIGN



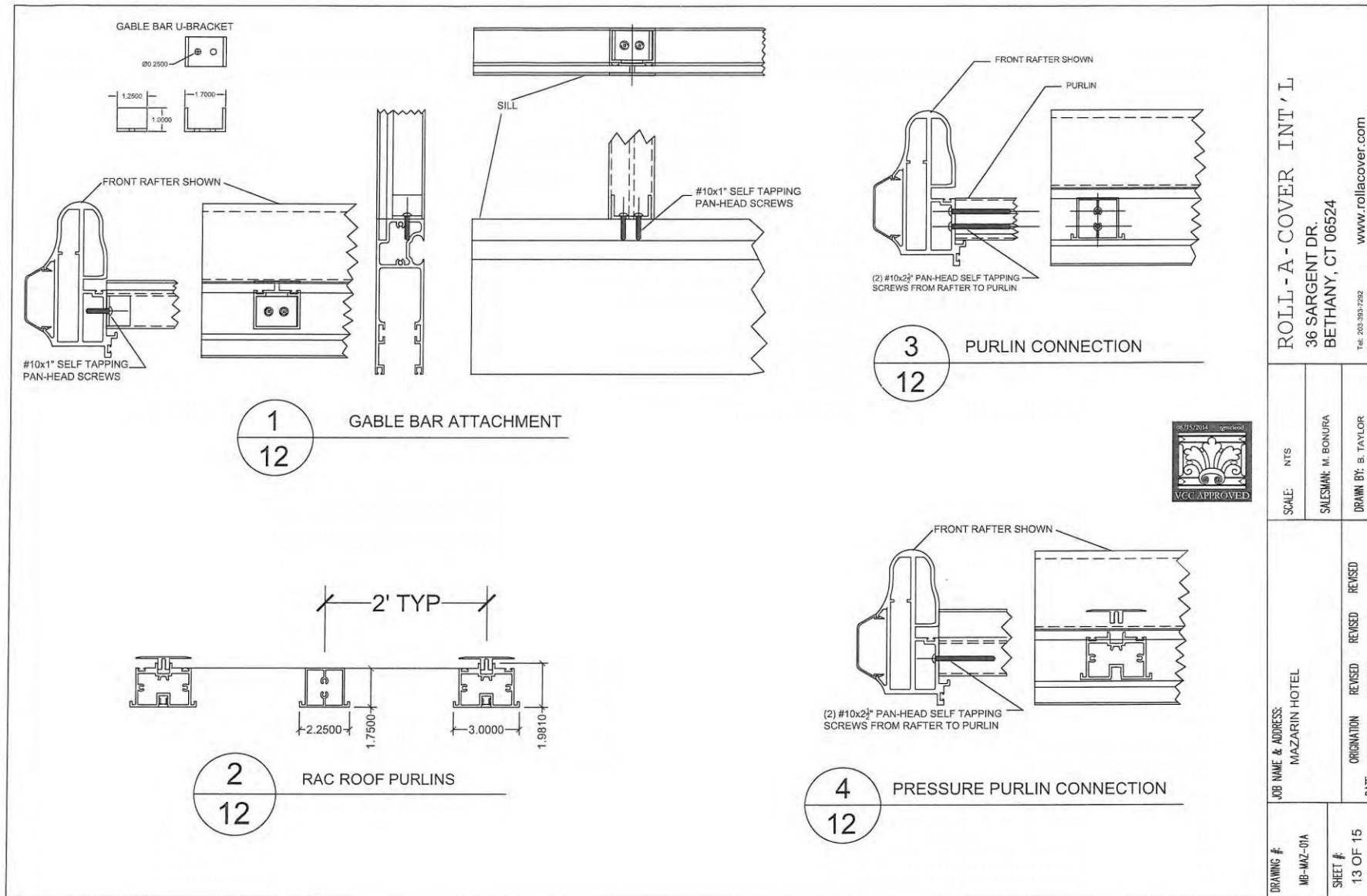


ROLL-A-COVER INT'L  
36 SARGENT DR.  
BETHANY, CT 06524  
Tel: 203-393-7292  
Fax: 203-398-2012  
www.rollacover.com

SCALE: NTS  
SALESMAN: M. BONURA  
DRAWN BY: B. TAYLOR

JOB NAME & ADDRESS:  
MAZARIN HOTEL  
ORIGINATION  
DATE: 7-15-14 7-25-14

DRAWING #:  
MB-MAZ-01A  
SHEET #:  
12 OF 15



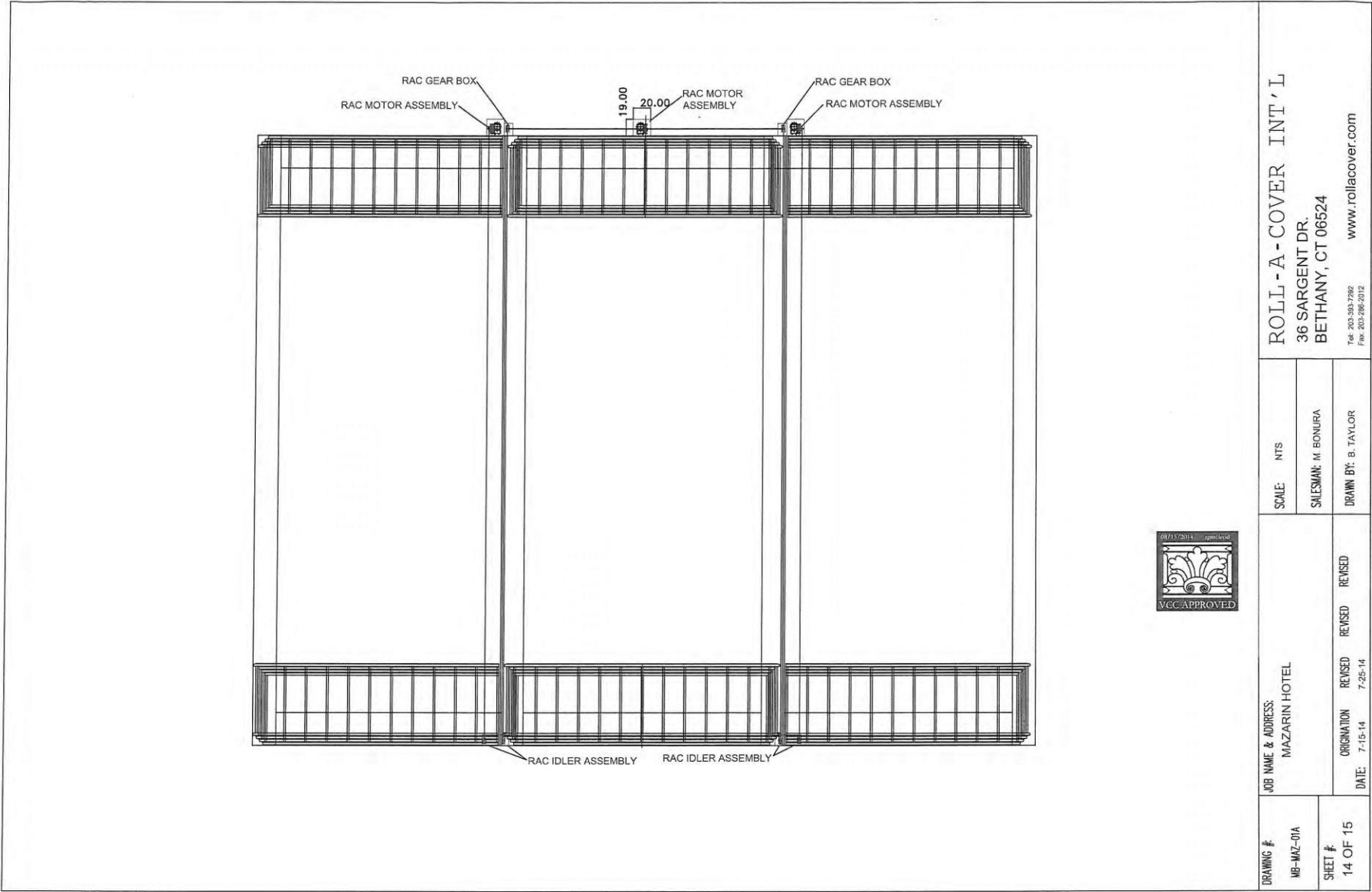
730 Bienville

VCC Architectural Committee

November 22, 2022







ROLL-UP COVER INT'L  
36 SARGENT DR.  
BETHANY, CT 06524  
Tel: 203-393-7292  
Fax: 203-286-2012  
www.rollacover.com

SCALE: NTS  
SALESMAN: M. BONURA  
DRAWN BY: B. TAYLOR

JOB NAME & ADDRESS:  
MAZARIN HOTEL  
ORIGINATION: 7-15-14  
REVISION: 7-25-14  
DATE: 7-25-14

DRAWING #  
WB-MAZ-01A  
SHEET #  
14 OF 15



## COURTYARD COVERING & ENCLOSURE GUIDE

All permanent, semi-permanent and temporary coverings or enclosures, including a tent, are subject to review for conformance with the Comprehensive Zoning Ordinance. Contact the City Planning Commission or Department of Safety and Permits for requirements.

The VCC does not regulate structures or furnishings that can be moved by a single person, such as a table umbrella or tent installed for a special event that is promptly removed after the event.

### **THE VCC REQUIRES:**

- Maintaining openness to the sky in a courtyard

### **THE VCC RECOMMENDS:**

- Installing a movable, temporary covering, such as an umbrella, rather than mounting a more permanent roof structure to a building

### **THE VCC DOES *NOT* ALLOW:**

- Installing a permanent courtyard covering or enclosure

## BALCONY & GALLERY SCREENING GUIDE

### **THE VCC REQUIRES:**

- Limiting the enclosure of a balcony or gallery with louvered blinds to only those locations with a demonstrated need for additional privacy

### **THE VCC RECOMMENDS:**

- Installing a drop awning at a balcony or gallery where shading is desired and louvered blinds are inappropriate (Refer to *Awnings, Guidelines for Signage & Awnings*, page 12-8 and photograph caption, *Guidelines for Balconies, Galleries & Porches*, page 08-9)

### **THE VCC DOES *NOT* ALLOW:**

- Enclosing a balcony, gallery, porch or loggia with a wall, window or door



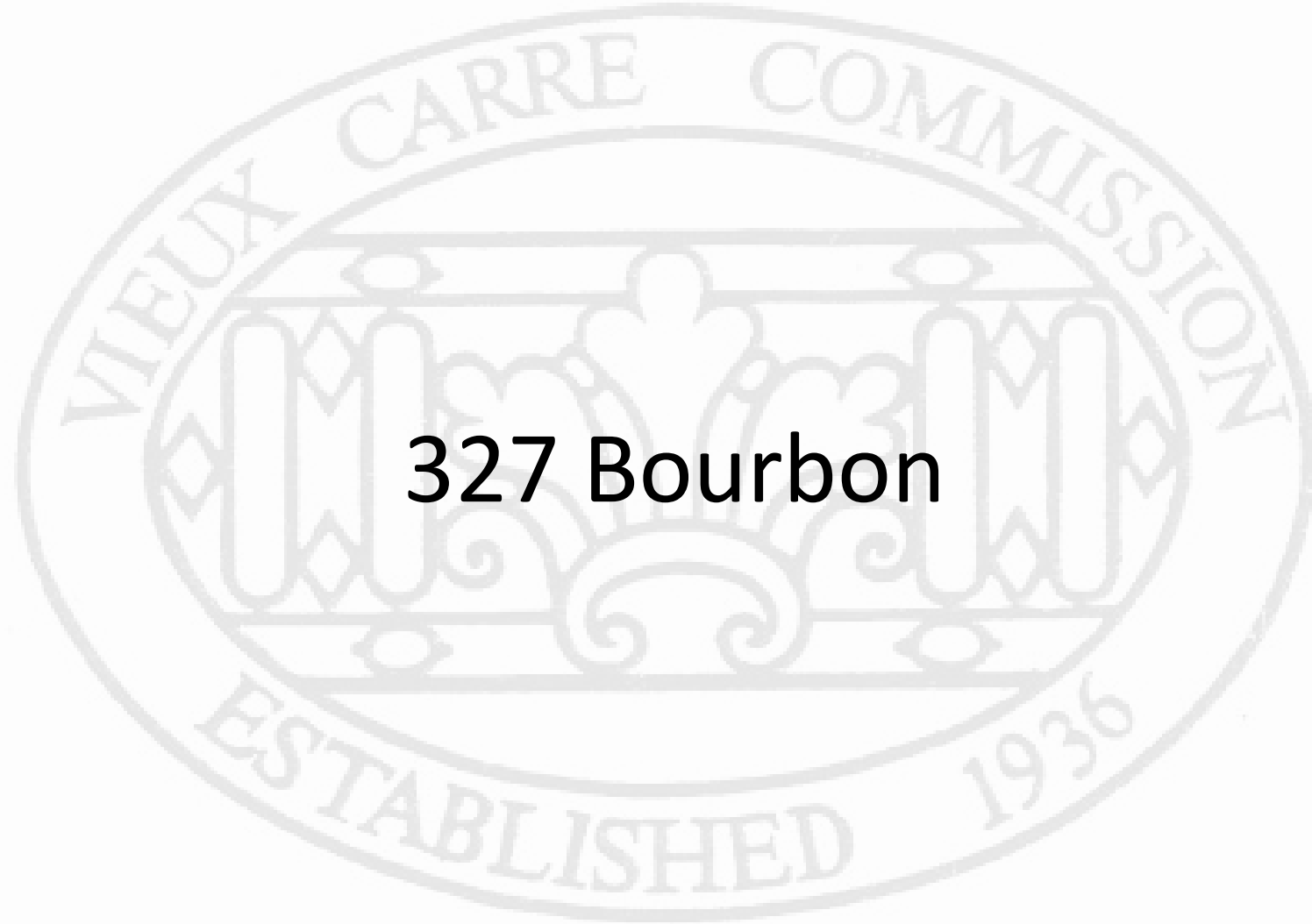


**Table 10-2: Bulk & Yard Regulations**

Table 10-2: Bulk & Yard Regulations

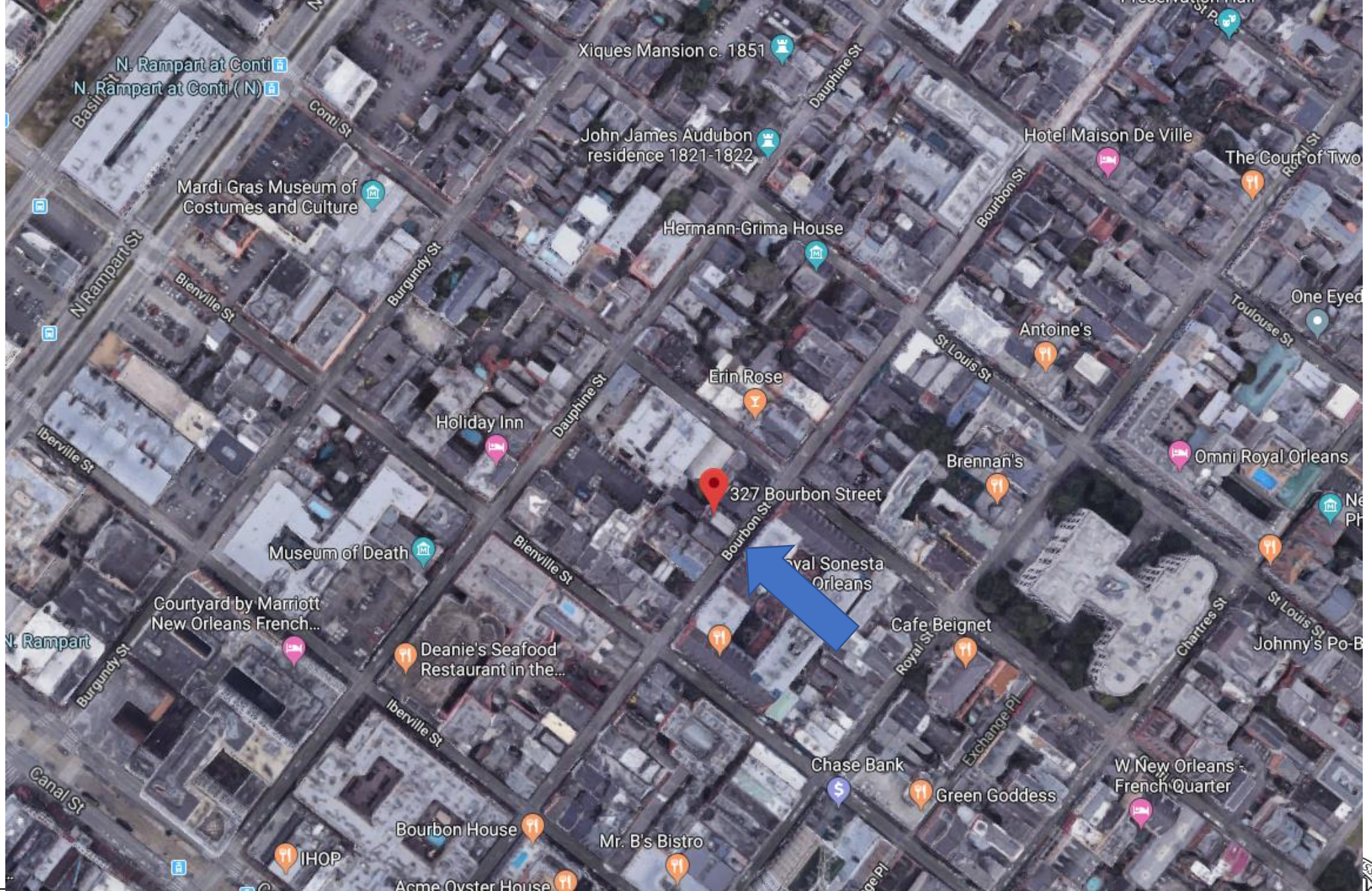
BULK & YARD REGULATIONS		DISTRICTS									
		VCC-1	VCC-2	VCE	VCE-1	VCS	VCS-1	VCP	HMC-1	HMC-2	HM-MU
<b>BULK REGULATIONS</b>											
MINIMUM LOT AREA		SF: 1,500sf/du 2F: 1,000sf/du MF – 3 Units: 800sf/du MF – 4+ Units: 600sf/du Non-Residential: None	SF: 1,500sf/du 2F: 1,000sf/du MF – 3 Units: 800sf/du MF – 4+ Units: 600sf/du Non-Residential: None	SF: 1,500sf/du 2F: 1,000sf/du MF – 3 Units: 800sf/du MF – 4+ Units: 600sf/du Non-Residential: None	SF: 1,500sf/du 2F: 1,000sf/du MF – 3 Units: 800sf/du MF – 4+ Units: 600sf/du Non-Residential: None	SF: 1,500sf/du 2F: 1,000sf/du MF – 3 Units: 800sf/du MF – 4+ Units: 600sf/du Non-Residential: None	SF: 1,500sf/du 2F: 1,000sf/du MF – 3 Units: 800sf/du MF – 4+ Units: 600sf/du Non-Residential: None	None	SF: 1,500sf/du 2F: 1,200sf/du MF: 900sf/du Small MF Affordable: None Non-Residential: None	SF: 1,500sf/du 2F: 1,000sf/du MF – 3 Units: 800sf/du MF – 4+ Units: 600sf/du Small MF Affordable: None Non-Residential: None	SF: 1,500sf/du 2F: 1,000sf/du MF – 3 Units: 800sf/du MF – 4+ Units: 600sf/du Small MF Affordable: None Non-Residential: None
A MAXIMUM BUILDING HEIGHT		50'	50'	50'	50'	50'	50'	50'	40'	50'	55'
MINIMUM OPEN SPACE RATIO		By Lot Type Corner: .20 Interior: .30	By Lot Type Corner: .20 Interior: .30	By Lot Type Corner: .20 Interior: .30	By Lot Type Corner: .20 Interior: .30	By Lot Type Corner: .20 Interior: .30	By Lot Type Corner: .20 Interior: .30	By Lot Type Corner: .20 Interior: .30	Residential or Mixed-Use: .30 Non-Residential: .20	Residential or Mixed-Use: .30 Non-Residential: None	Residential or Mixed-Use: .30 Non-Residential: None
MINIMUM PERMEABLE OPEN SPACE		None	None	None	None	None	None	None	15% of lot area	15% of lot area	15% of lot area
MAXIMUM FAR		None	None	None	None	None	None	None	1.4	2.2	2.5
MAXIMUM TOTAL FLOOR AREA <sup>1</sup>									Non-Residential: 3,000sf	Non-Residential: Any use over 10,000sf is a conditional use	
<b>MINIMUM YARD REQUIREMENTS</b>											
B FRONT YARD		None	None	None	None	None	None	None	None	None	None
C INTERIOR SIDE YARD		None	None	None	None	None	None	None	None	None	None
D CORNER SIDE YARD		None	None	None	None	None	None	None	None	None	None
E REAR YARD		None	None	None	None	None	None	None	None	None	None





**327 Bourbon**





327 Bourbon





327 Bourbon

VCC Architectural Committee



November 22, 2022





327 Bourbon - 2018

VCC Architectural Committee



February 23, 2021





327 Bourbon – November, 2020

VCC Architectural Committee

February 23, 2021





327 Bourbon

VCC Architectural Committee



November 22, 2022







327 Bourbon

VCC Architectural Committee

November 22, 2022





327 Bourbon - 1945

VCC Architectural Committee



November 22, 2022



327 Bourbon - 1945

VCC Architectural Committee



November 22, 2022





327 Bourbon

VCC Architectural Committee



November 22, 2022





327 Bourbon

VCC Architectural Committee



11 07 2019

November 22, 2022







327 Bourbon

VCC Architectural Committee

November 22, 2022







327 Bourbon

VCC Architectural Committee

November 22, 2022







327 Bourbon

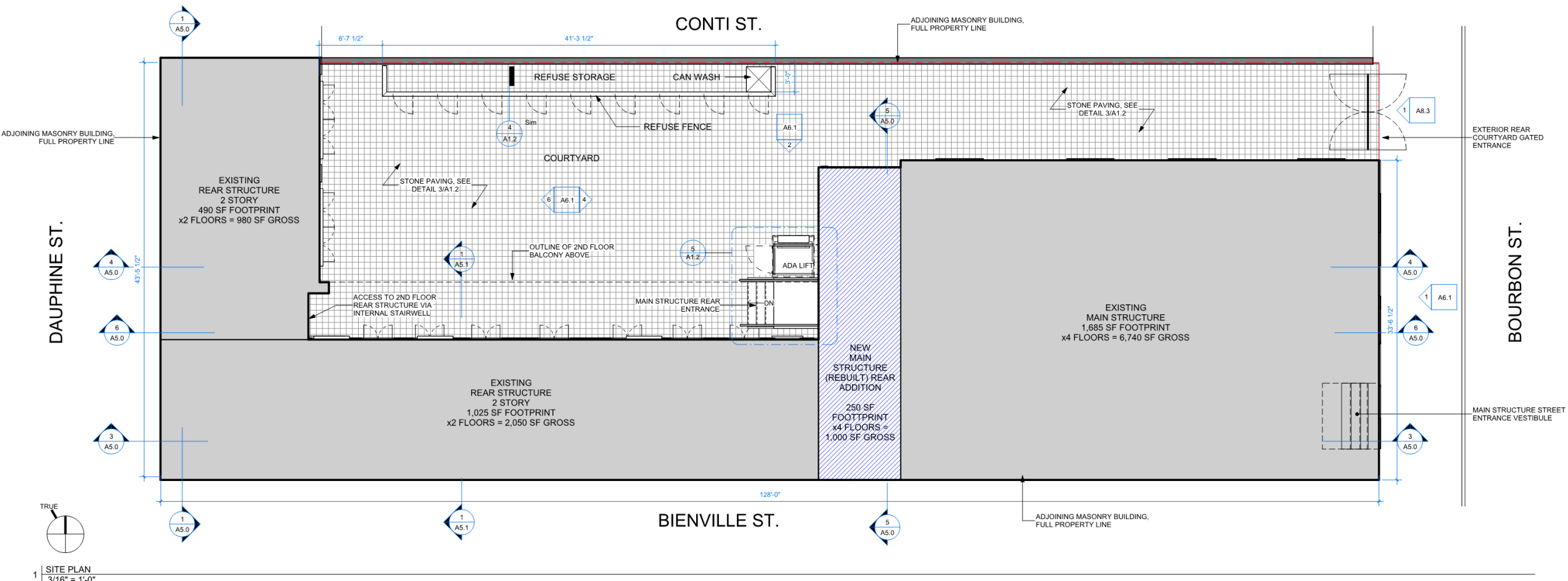
VCC Architectural Committee

November 22, 2022









327 Bourbon

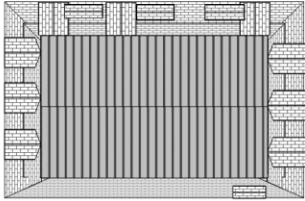
VCC Architectural Committee

November 22, 2022



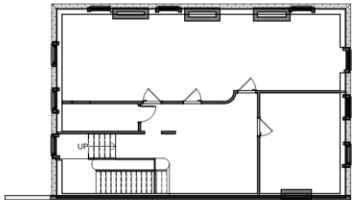
327 Bourbon

VCC Architectural Committee



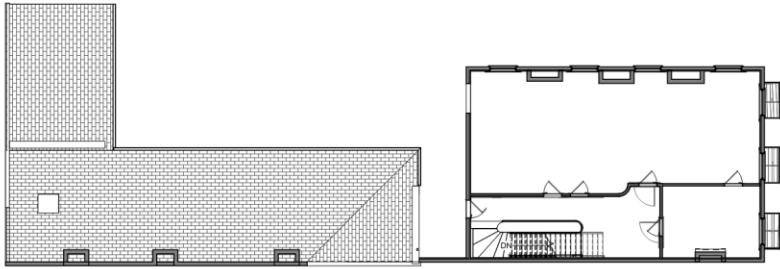
ROOF PEAK

5 | ROOF - EXISTING  
1" = 10'-0"



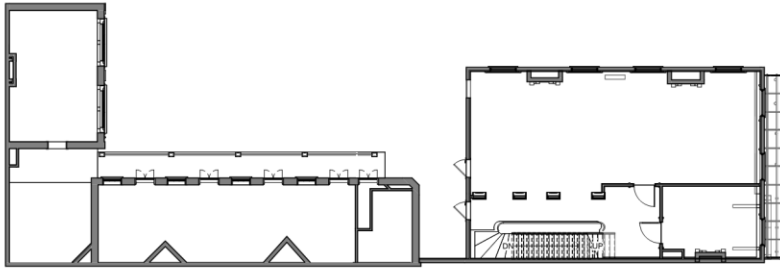
4TH FLOOR

4 | 4TH FLOOR - EXISTING  
1" = 10'-0"



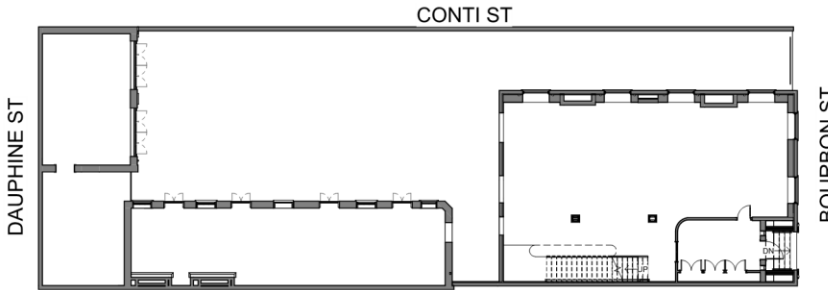
3RD FLOOR

3 | 3RD FLOOR - EXISTING  
1" = 10'-0"



2ND FLOOR

2 | 2ND FLOOR PLAN - EXISTING  
1" = 10'-0"



1ST FLOOR

1 | 1ST FLOOR - EXISTING  
1" = 10'-0"



21\_113  
327 BOURBON RESTORATION & RENOVATION  
327 BOURBON ST  
NEW ORLEANS, LA 70130

#	TYPE (SEE CHANGE LOG)	DATE



M3 DESIGN GROUP  
3309 BARRIS ST. | NO. LA 70118 | (504) 584-8800  
WWW.M3DESIGNGROUP.COM

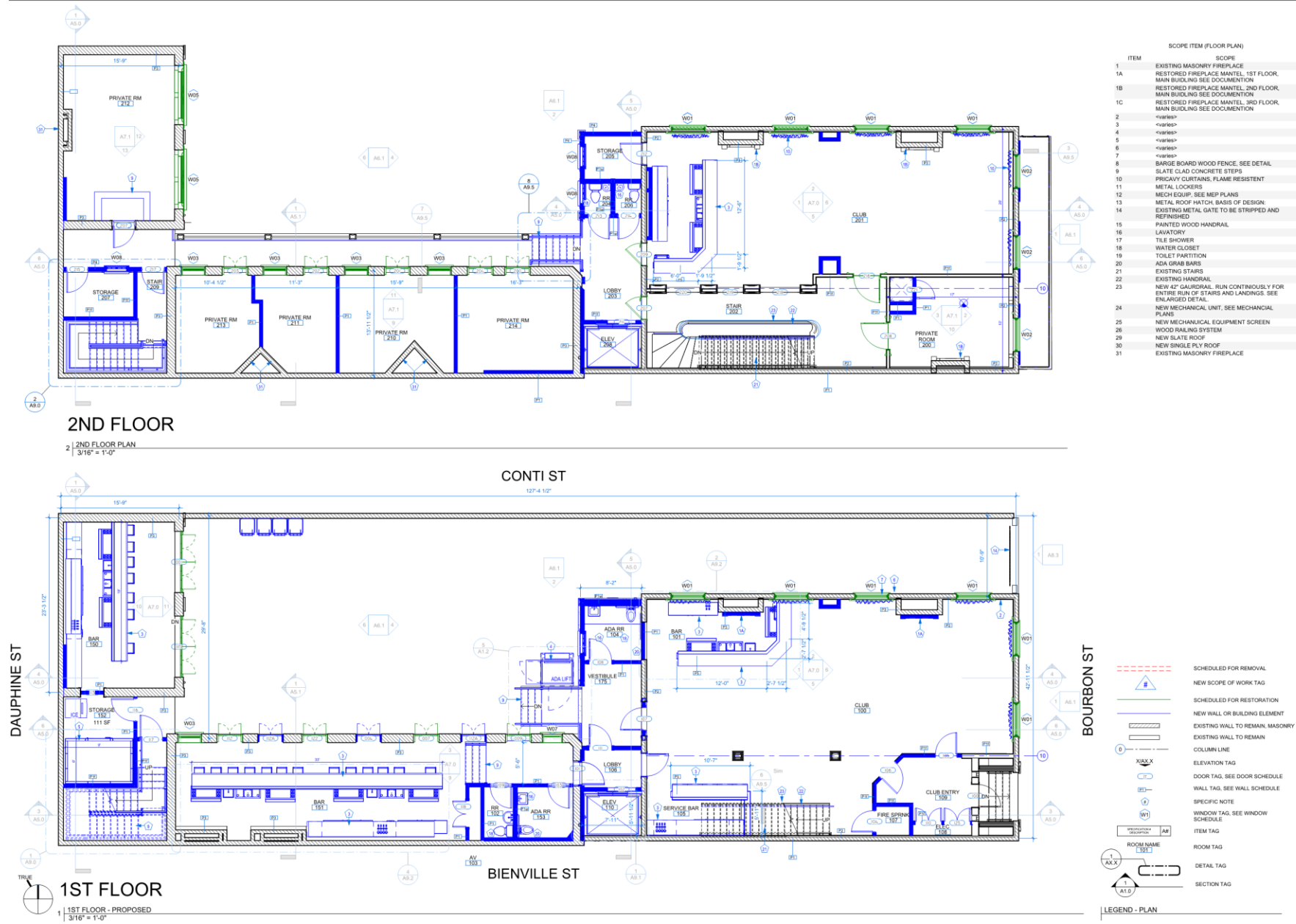
REVIEW SET  
ISSUED 11/20/22

A2.1  
FLOOR PLANS  
EXISTING

November 22, 2022







21\_113

327 BOURBON RESTORATION & RENOVATION

327 BOURBON ST  
NEW ORLEANS, LA 70130

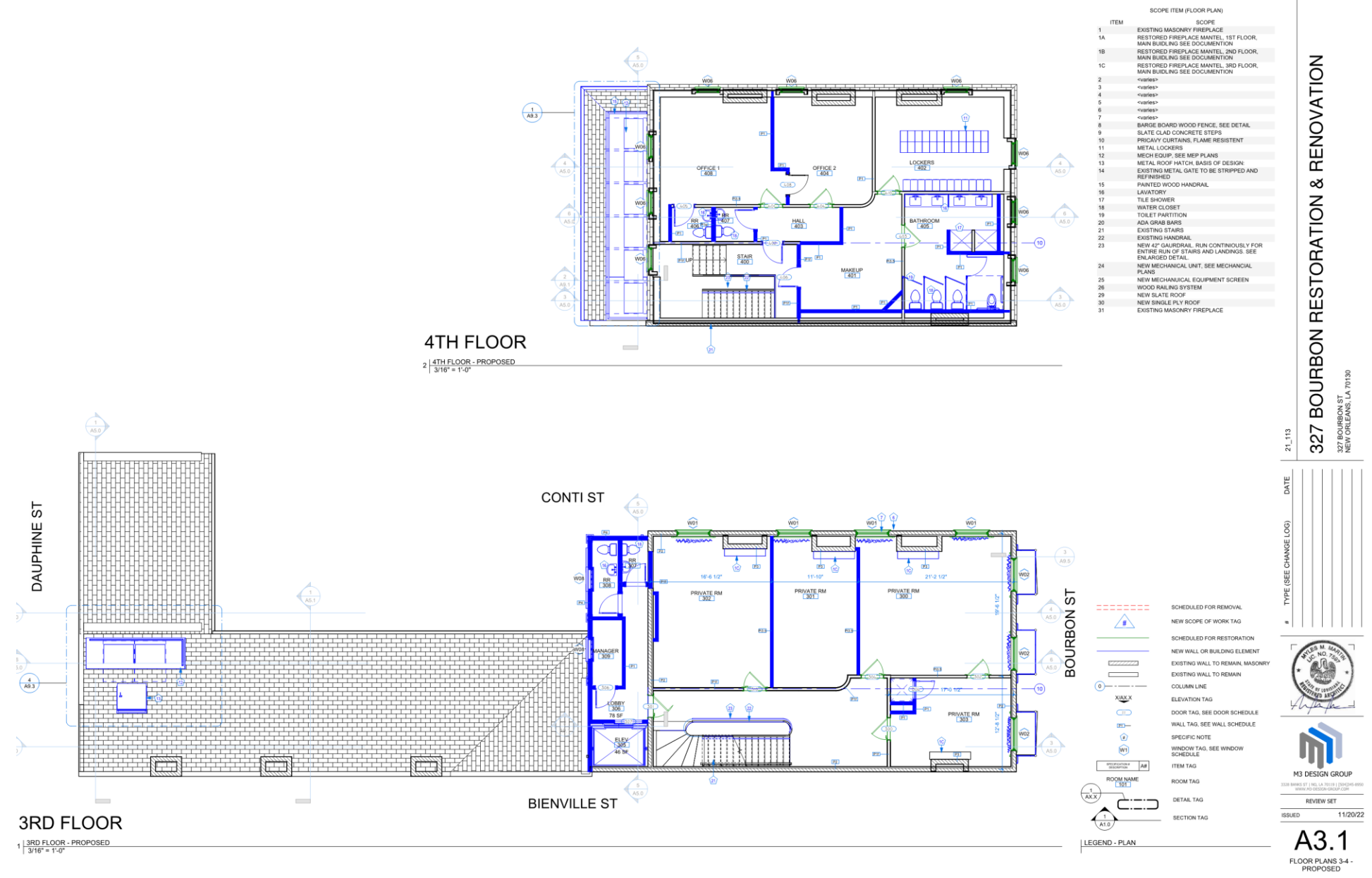
# TYPE (SEE CHANGE LOG)

DATE

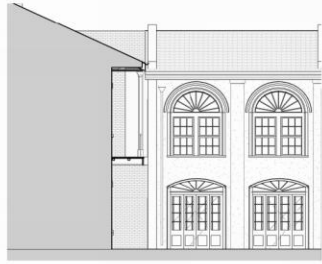
11/20/22

**A3.0**  
FLOOR PLANS 1-2 - PROPOSED









6 | PLAN SOUTH REAR COURTYARD  
ELEVATION  
1/8" = 1'-0"



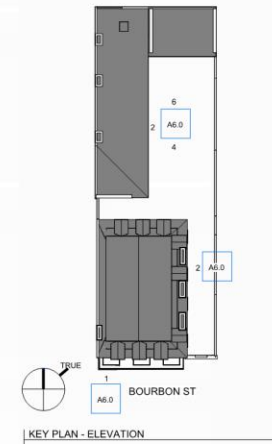
4 | PLAN NORTH ELEVATION  
1/8" = 1'-0"



1 | PLAN SOUTH ELEVATION  
1/8" = 1'-0"



2 | PLAN EAST ELEVATION  
1/8" = 1'-0"



21\_113

# 327 BOURBON RESTORATION & RENOVATION

327 BOURBON ST  
NEW ORLEANS, LA 70130

DATE

# TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP  
3232 BARRING ST. #100, LA 70118 | (504) 246-8888  
WWW.M3-DESIGN-GROUP.COM

REVIEW SET

ISSUED 11/20/22

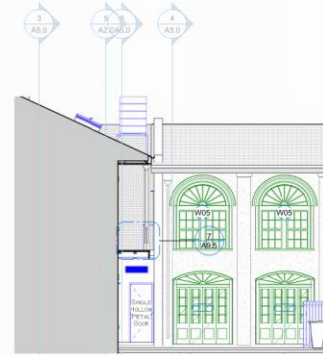
A6.0  
EXISTING  
EXTERIOR  
ELEVATIONS



327 Bourbon

VCC Architectural Committee

November 22, 2022



6 | PLAN SOUTH REAR COURTYARD  
ELEVATION PROPOSED  
1/8" = 1'-0"



4 | PLAN NORTH ELEVATION PROPOSED  
1/8" = 1'-0"

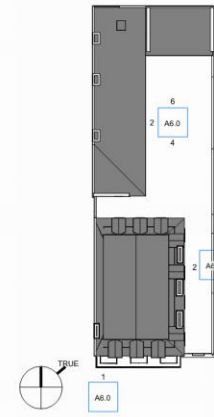


1 | PLAN SOUTH ELEVATION PROPOSED  
1/8" = 1'-0"



2 | PLAN EAST ELEVATION PROPOSED  
1/8" = 1'-0"

SCOPE ITEM (ELEVATION)	
ITEM	SCOPE
1e	INSERT



KEY PLAN - ELEVATION PROPOSED

21.113

DATE

# TYPE (SEE CHANGE LOG)



REVIEW SET

ISSUED 09/02/22

A6.1  
PROPOSED  
EXTERIOR

327 BOURBON RESTORATION & RENOVATION

327 BOURBON ST  
NEW ORLEANS, LA 70130



327 Bourbon

VCC Architectural Committee

November 22, 2022





MECH  
EQUIPMENT  
OPTION 1

21\_113

DATE

# TYPE (SEE CHANGE LOG)

327 BOURBON RESTORATION & RENOVATION

327 BOURBON ST  
NEW ORLEANS, LA 70130



REVIEW SET

ISSUED 11/20/22

A6.2.1

EXTERIOR AXON -  
MECH OPT 1



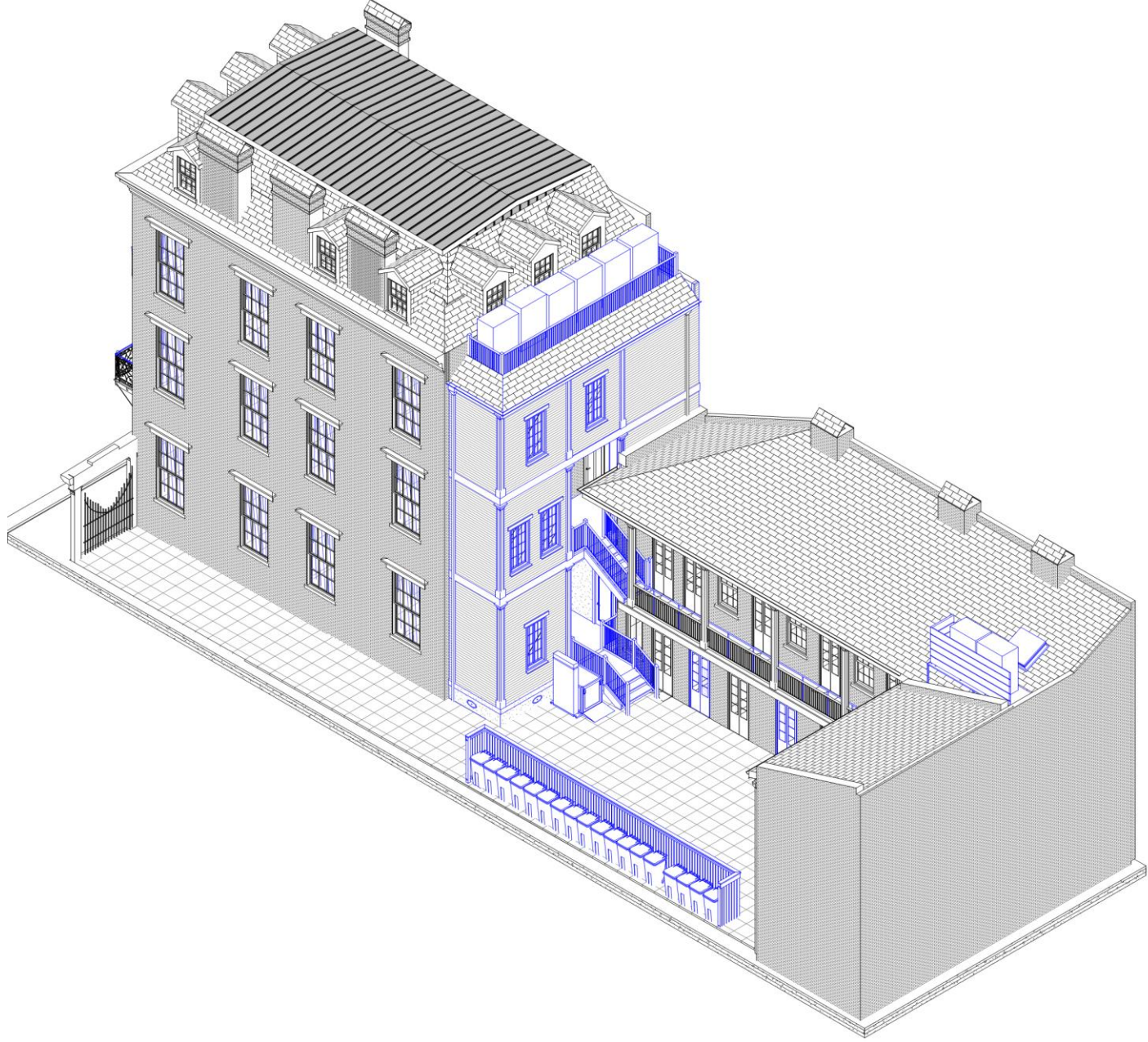
327 Bourbon

VCC Architectural Committee

PROPOSED WORK  
LEGEND - PERSPECTIVE

November 22, 2022





MECH  
EQUIPMENT  
OPTION 1

21\_113

DATE

# TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP  
1000 PUEBLO ST. #1000, NEW ORLEANS, LA 70112-1000  
WWW.M3DESIGNGROUP.COM

REVIEW SET

ISSUED 11/20/22

A6.3.1

EXTERIOR AXON -  
MECH OPT 1

327 BOURBON RESTORATION & RENOVATION  
327 BOURBON ST.  
NEW ORLEANS, LA 70130

327 Bourbon

VCC Architectural Committee

PROPOSED WORK  
LEGEND - PERSPECTIVE

November 22, 2022







MECH  
EQUIPMENT  
OPTION 1

21\_113

DATE

# TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP  
1201 BARRIE ST. SUITE 100 NEW ORLEANS, LA 70113  
www.m3designgroup.com

REVIEW SET

ISSUED 11/20/22

A6.5.1  
EXT  
PERSPECTIVES  
COURTYARD -  
MECH OPT 1

327 BOURBON RESTORATION & RENOVATION  
327 BOURBON ST  
NEW ORLEANS, LA 70130

PROPOSED WORK  
LEGEND - PERSPECTIVE



327 Bourbon

VCC Architectural Committee

November 22, 2022



MECH  
EQUIPMENT  
OPTION 2

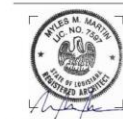


21\_113

DATE

# TYPE (SEE CHANGE LOG)

#



M3 DESIGN GROUP  
3338 BARRIS ST. #100, LA ROCHE, LOUISIANA 70001  
WWW.M3DESIGNGROUP.COM

REVIEW SET

ISSUED 11/20/22

A6.2.2

EXTERIOR AXON -  
MECH OPT 2

327 BOURBON RESTORATION & RENOVATION  
327 BOURBON ST  
NEW ORLEANS, LA 70130



327 Bourbon

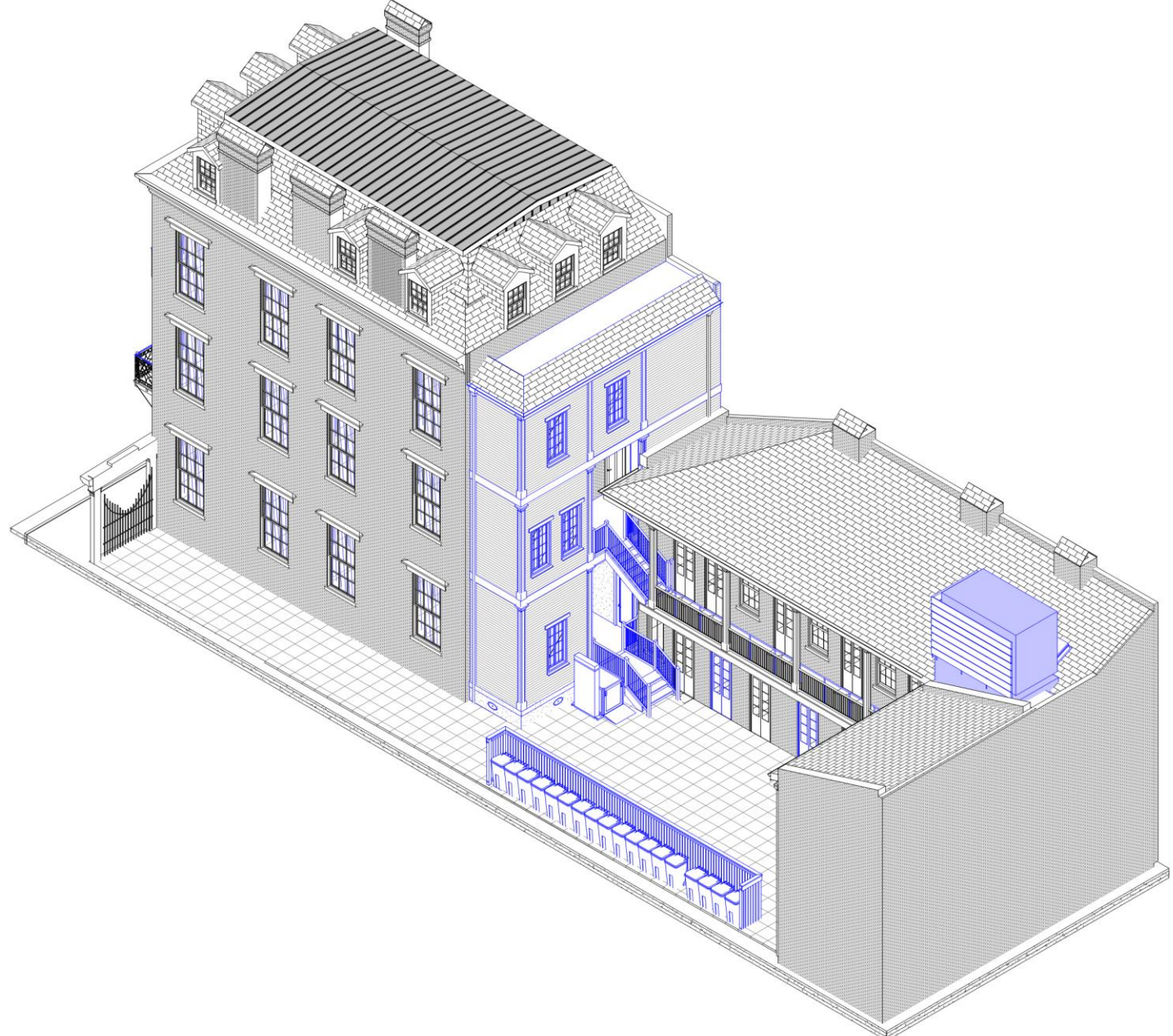
VCC Architectural Committee

November 22, 2022

PROPOSED WORK

LEGEND - PERSPECTIVE





MECH  
EQUIPMENT  
OPTION 2

21\_113

DATE

# TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP  
3333 BARRIS ST. #100 LA 70114 | (504) 586-8800  
WWW.M3DESIGNGROUP.COM

REVIEW SET  
ISSUED 11/20/22

A6.3.2  
EXTERIOR AXON -  
MECH OPT 2



327 Bourbon

VCC Architectural Committee

PROPOSED WORK  
LEGEND - PERSPECTIVE

November 22, 2022





MECH  
EQUIPMENT  
OPTION 2

21.113

DATE

# TYPE (SEE CHANGE LOG)

327 BOURBON RESTORATION & RENOVATION  
327 BOURBON ST  
NEW ORLEANS, LA 70130



M3 DESIGN GROUP  
1515 BARRIS ST. | NEW ORLEANS, LA 70112 | (504) 581-1111  
WWW.M3DESIGNGROUP.COM

REVIEW SET  
ISSUED 11/20/22

■ PROPOSED WORK  
LEGEND - PERSPECTIVE

A6.5.2  
EXT  
PERSPECTIVES  
COURTYARD -  
MECH OPT 2



327 Bourbon

VCC Architectural Committee

November 22, 2022



MECH  
EQUIPMENT  
OPTION 3



#	TYPE (SEE CHANGE LOG)	DATE
21_113		

327 BOURBON RESTORATION & RENOVATION

327 BOURBON ST  
NEW ORLEANS, LA 70130



REVIEW SET  
ISSUED 11/20/22

A6.2.3  
EXTERIOR AXON -  
MECH OPT 3

PROPOSED WORK  
LEGEND - PERSPECTIVE







48

327 BOURBON ST  
NEW ORLEANS, LA 70130



Λ6 3 3

### A6.3.3



November 22, 2022

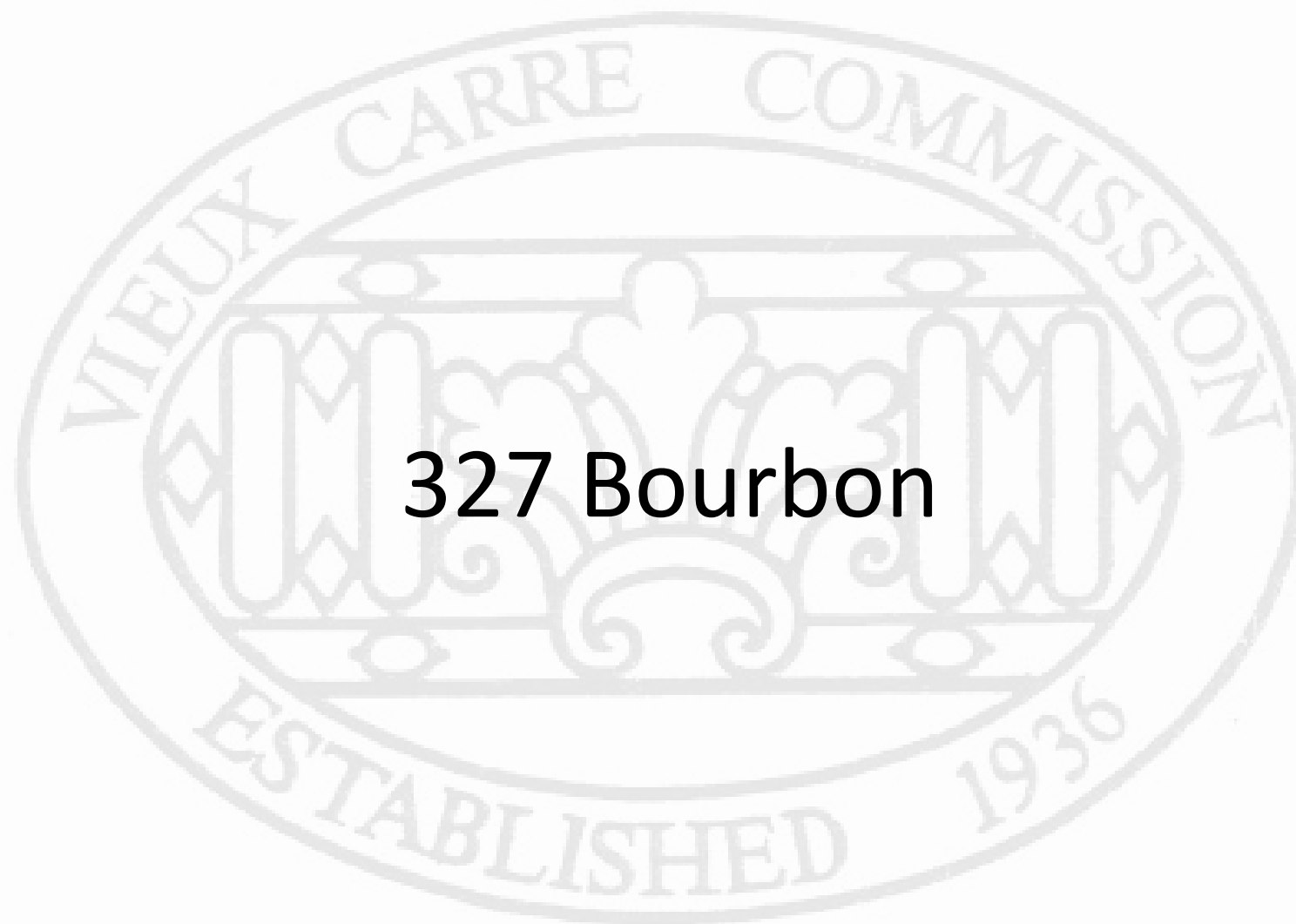




The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork base. The shield is flanked by two vertical bars. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

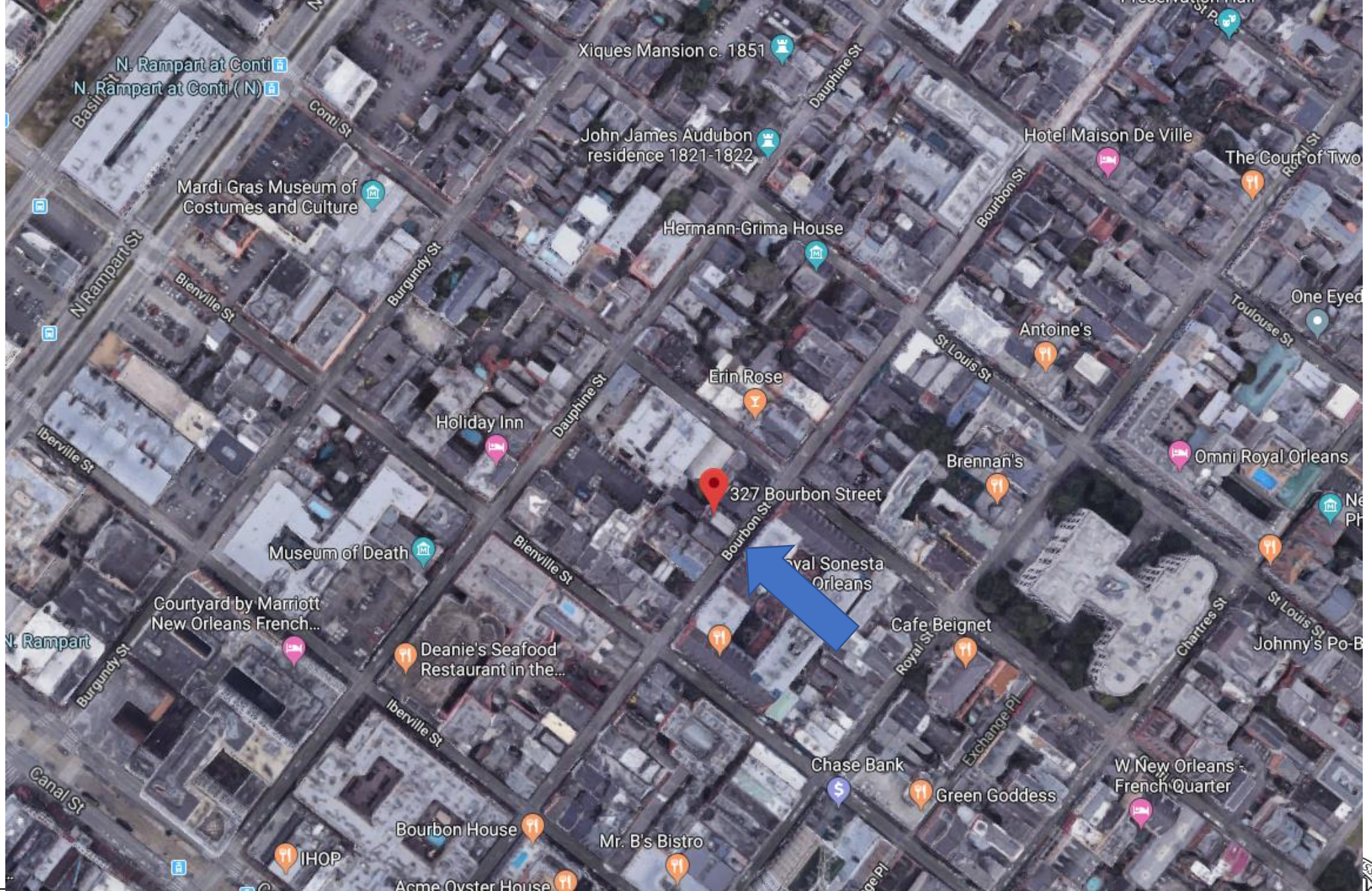
# Appeals and Violations





327 Bourbon





327 Bourbon





327 Bourbon

VCC Architectural Committee



November 22, 2022



327 Bourbon - 2018

VCC Architectural Committee



February 23, 2021







327 Bourbon – November, 2020

VCC Architectural Committee

February 23, 2021





327 Bourbon

VCC Architectural Committee



November 22, 2022







327 Bourbon

VCC Architectural Committee

November 22, 2022





327 Bourbon

VCC Architectural Committee



10 11 2022

November 22, 2022







327 Bourbon

VCC Architectural Committee

November 22, 2022





327 Bourbon

VCC Architectural Committee



10 11 2022

November 22, 2022





327 Bourbon

VCC Architectural Committee



November 22, 2022







327 Bourbon

VCC Architectural Committee

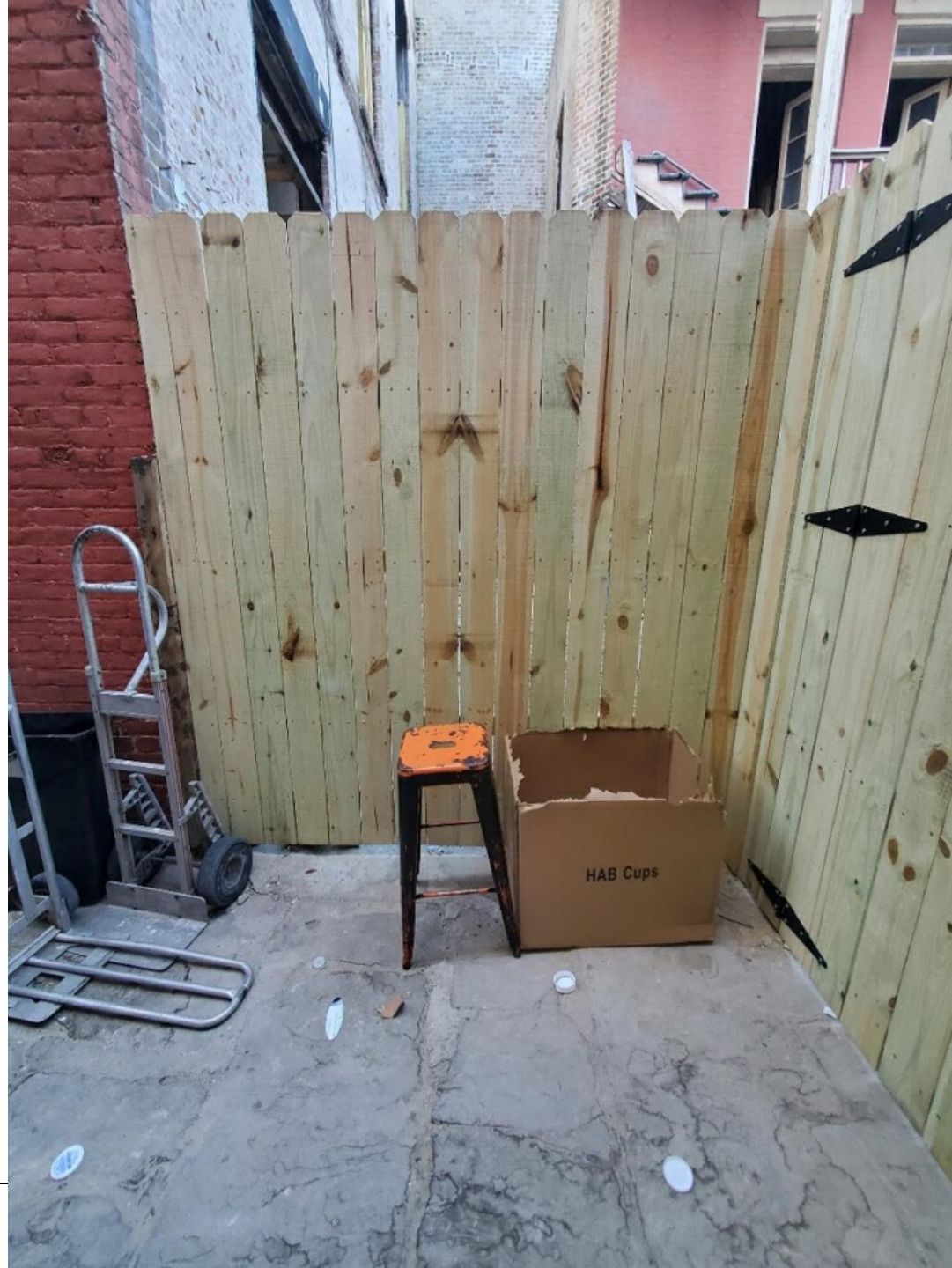
November 22, 2022





327 Bourbon

VCC Architectural Committee

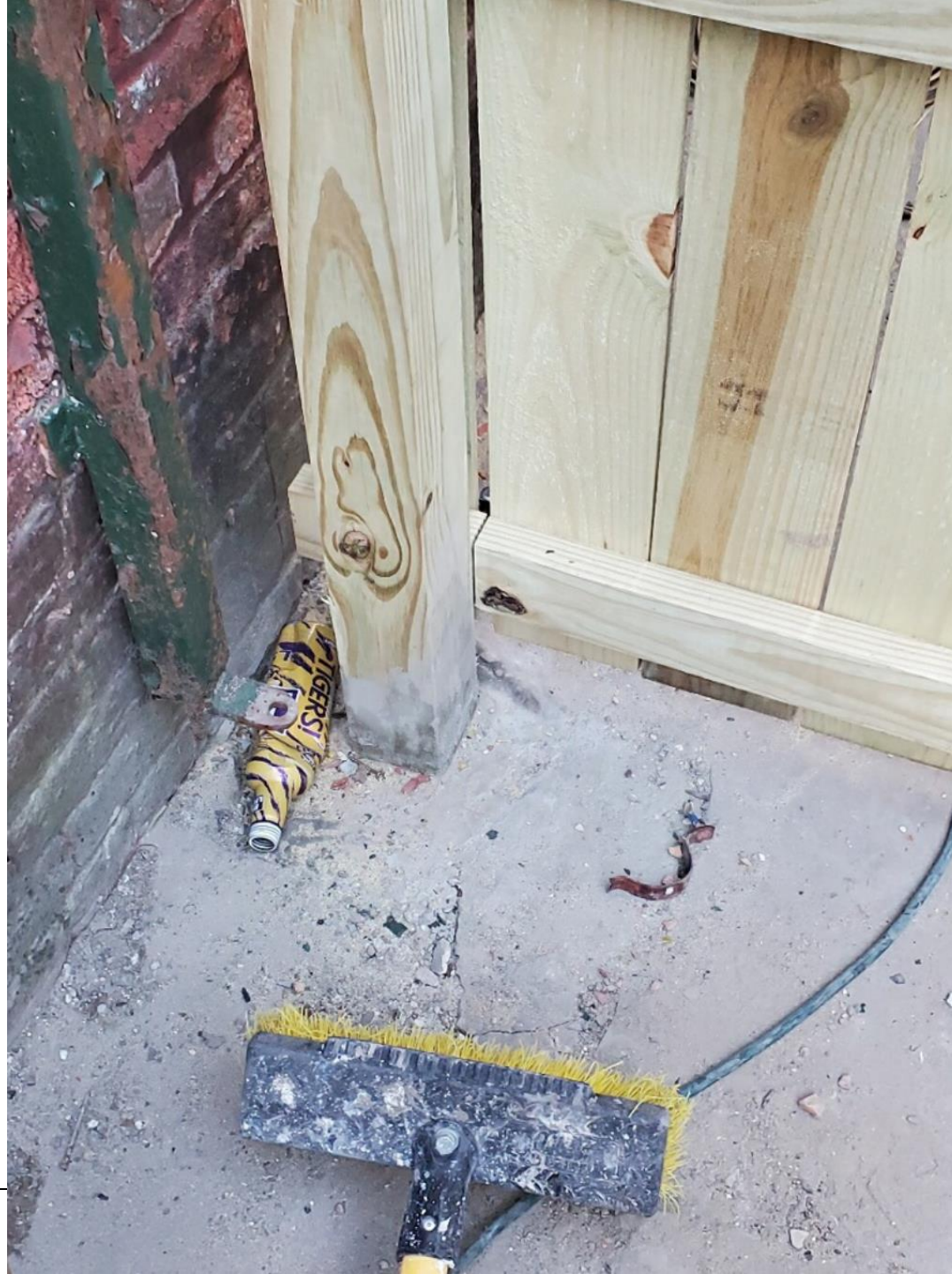


November 22, 2022



327 Bourbon

VCC Architectural Committee



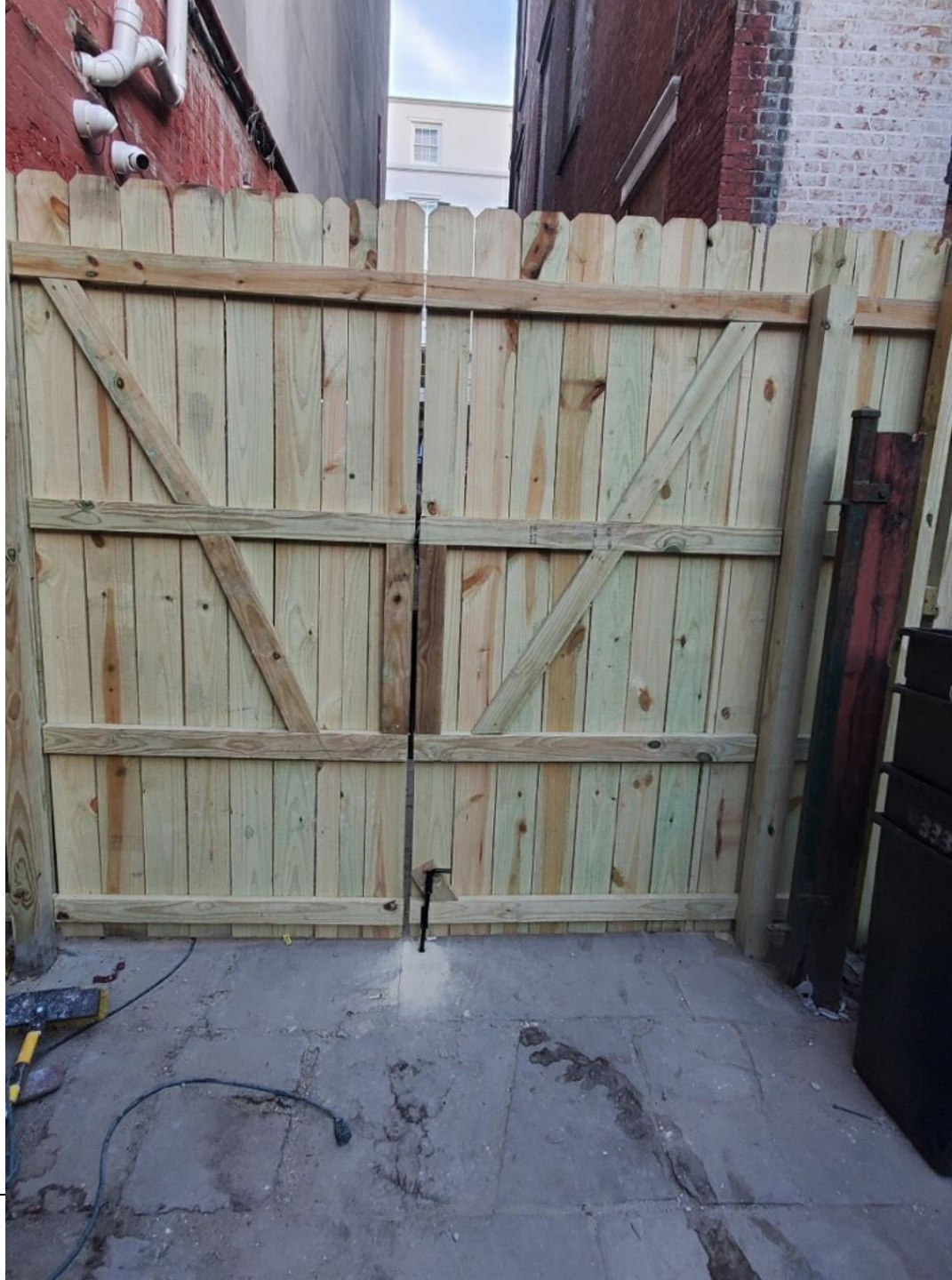
November 22, 2022





327 Bourbon

VCC Architectural Committee



November 22, 2022



327 Bourbon

VCC Architectural Committee



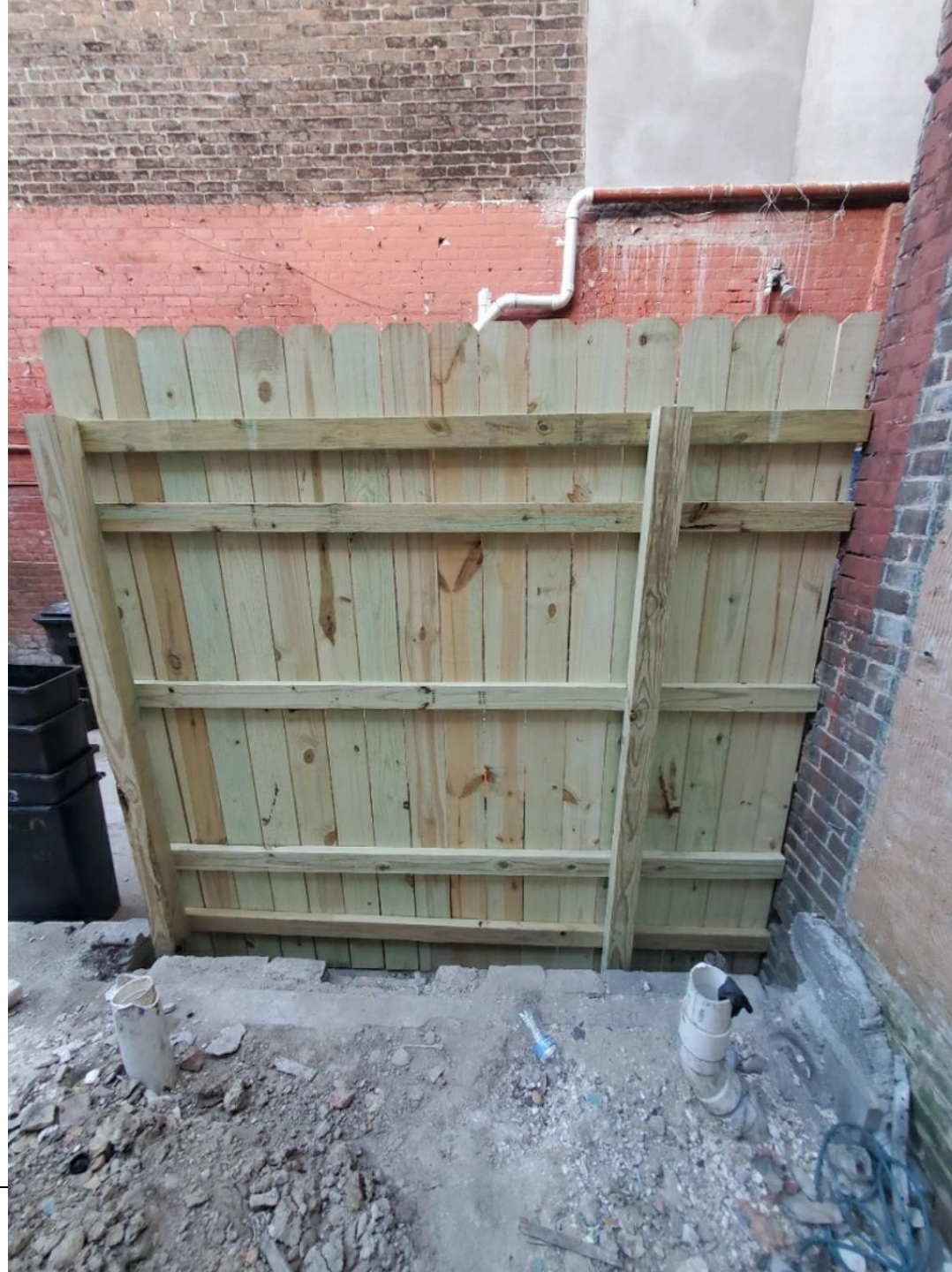
November 22, 2022





327 Bourbon

VCC Architectural Committee



November 22, 2022





717-19 Royal,  
700-08 Orleans





700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022





700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022







700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022





700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022







700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022







700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022







700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022







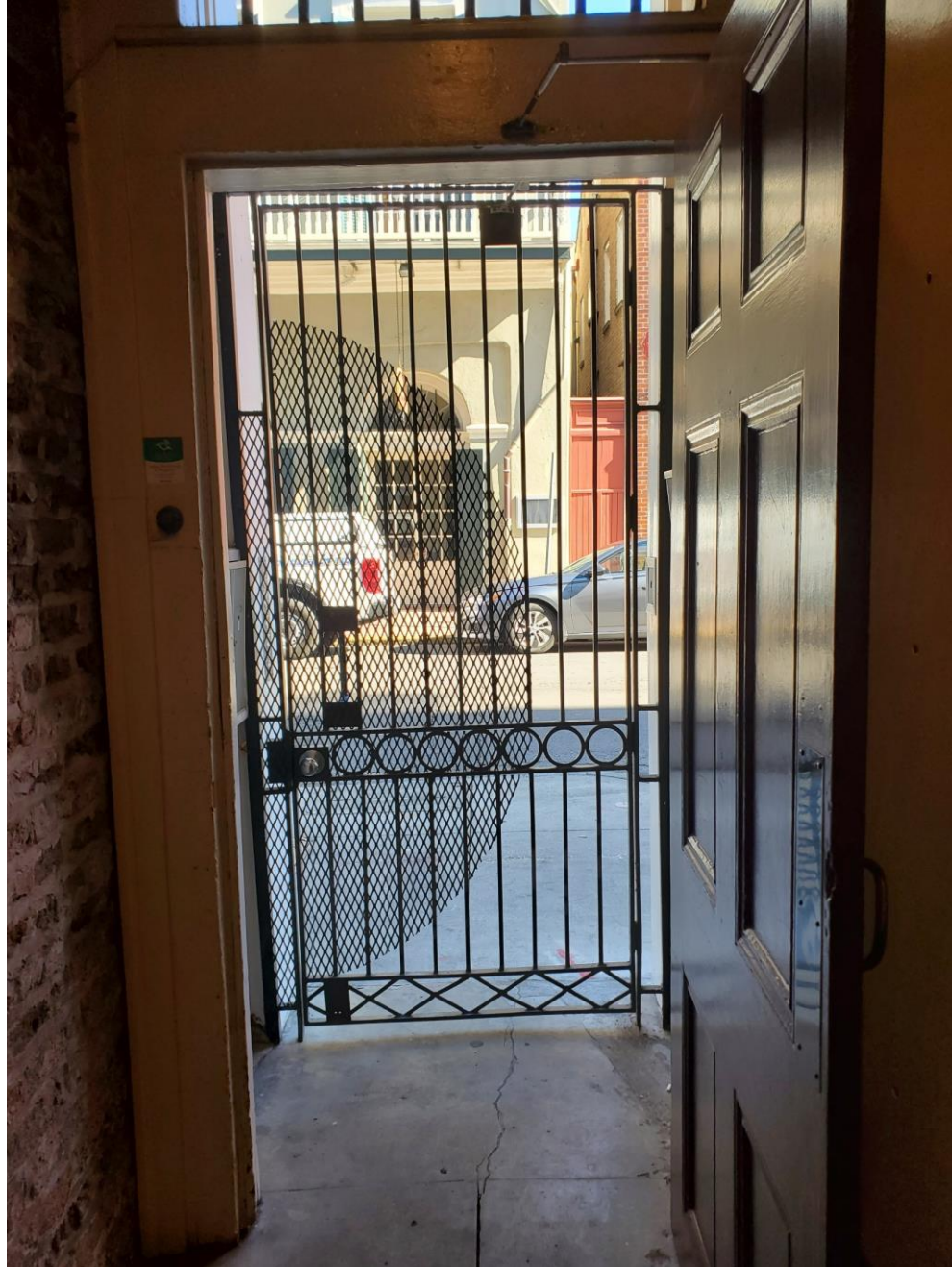
700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022





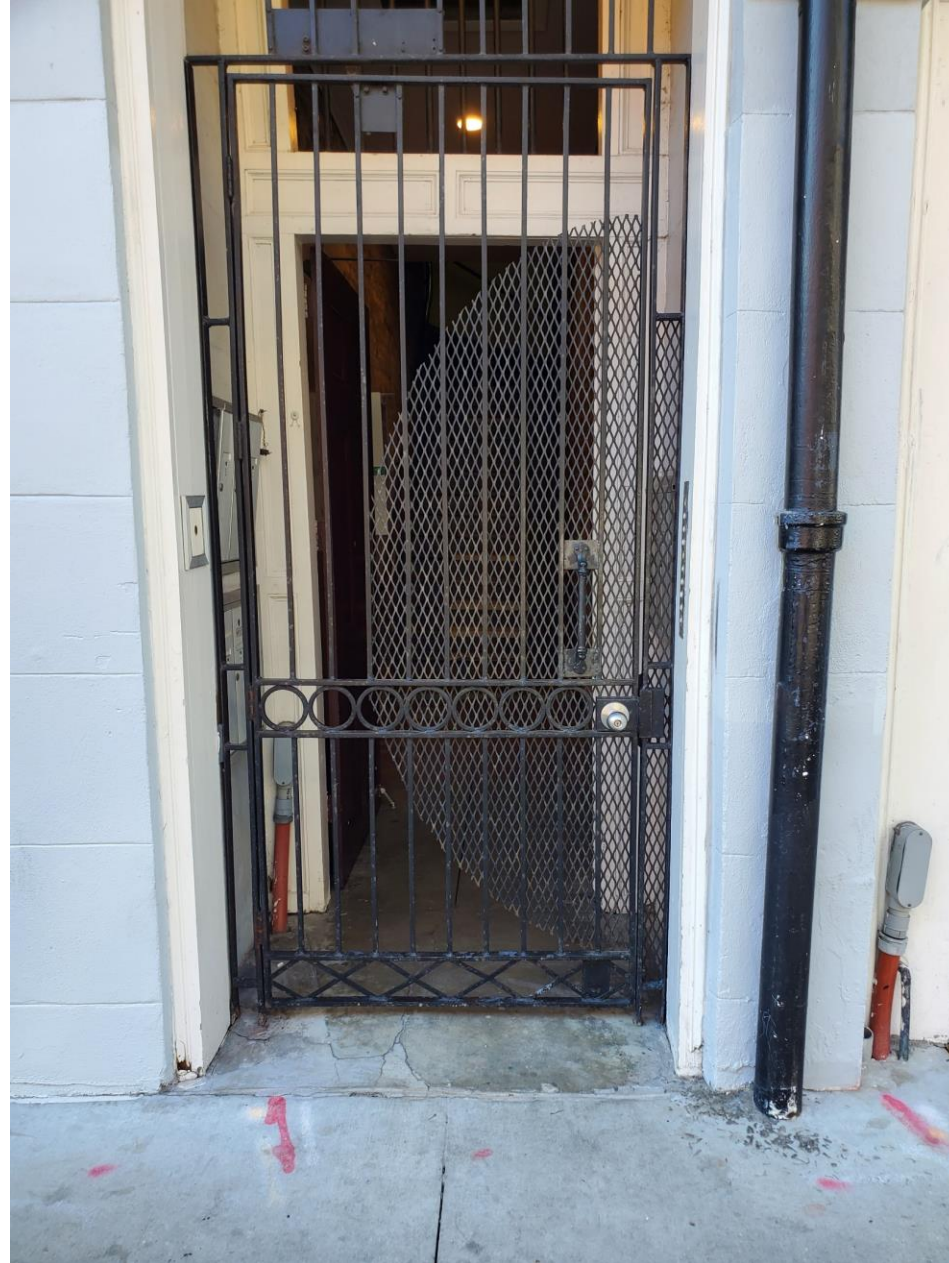


700 Orleans/717 Royal

VCC Architectural Committee

November 22, 2022





700 Orleans/717 Royal

VCC Architectural Committee

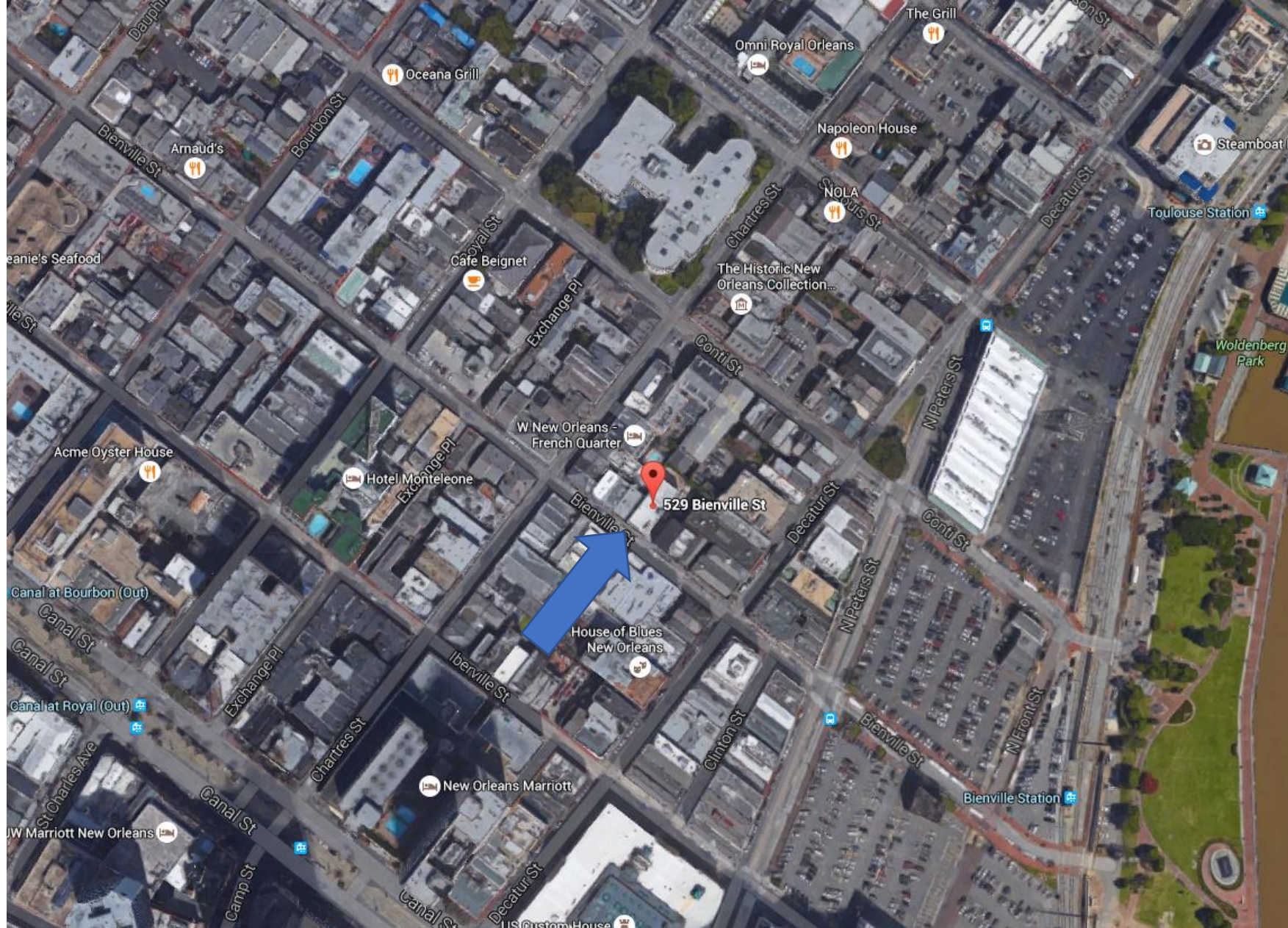
November 22, 2022







529 Bienville



529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018





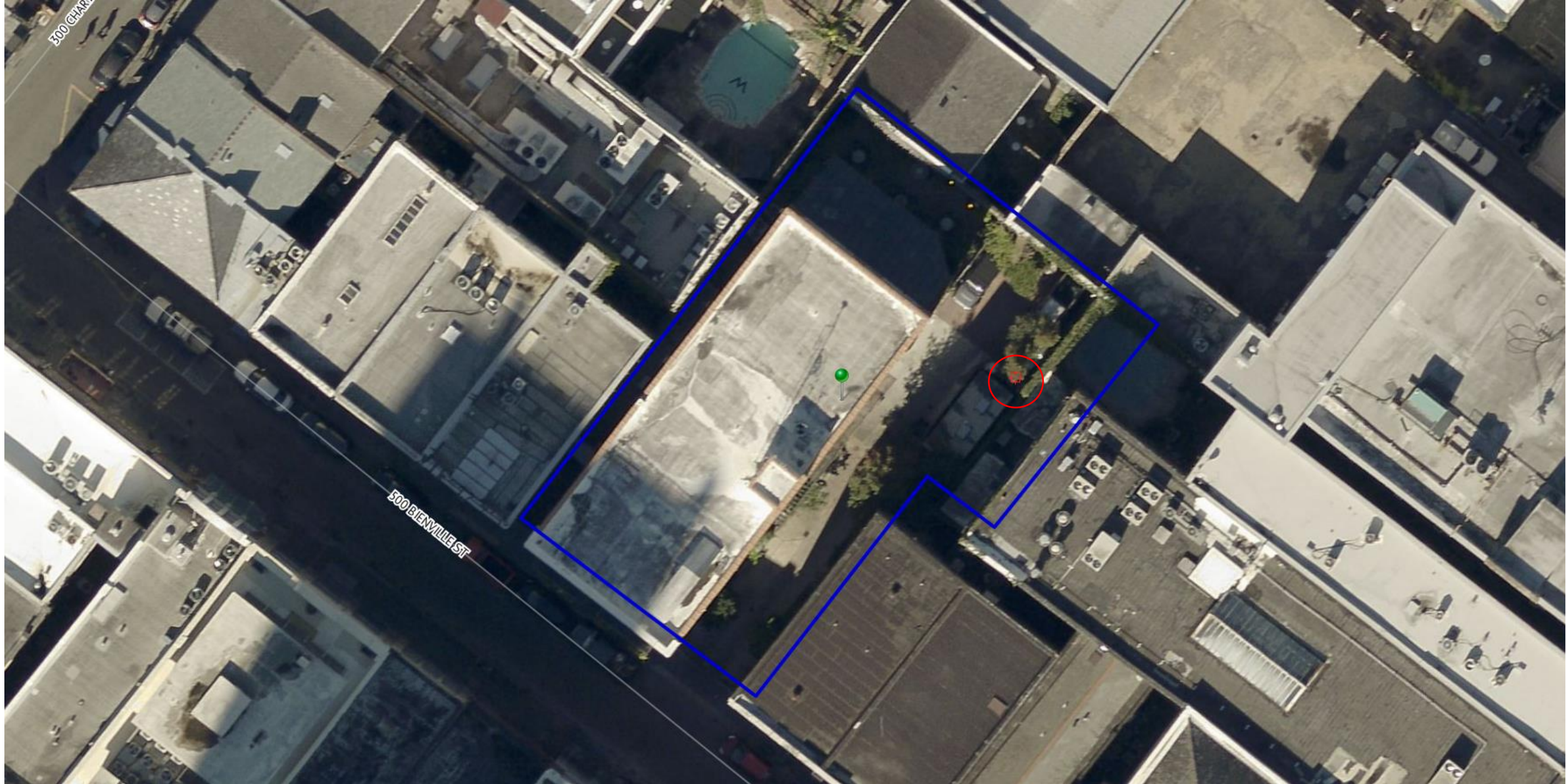
529 Bienville

VCC Architectural Committee

July 10, 2018







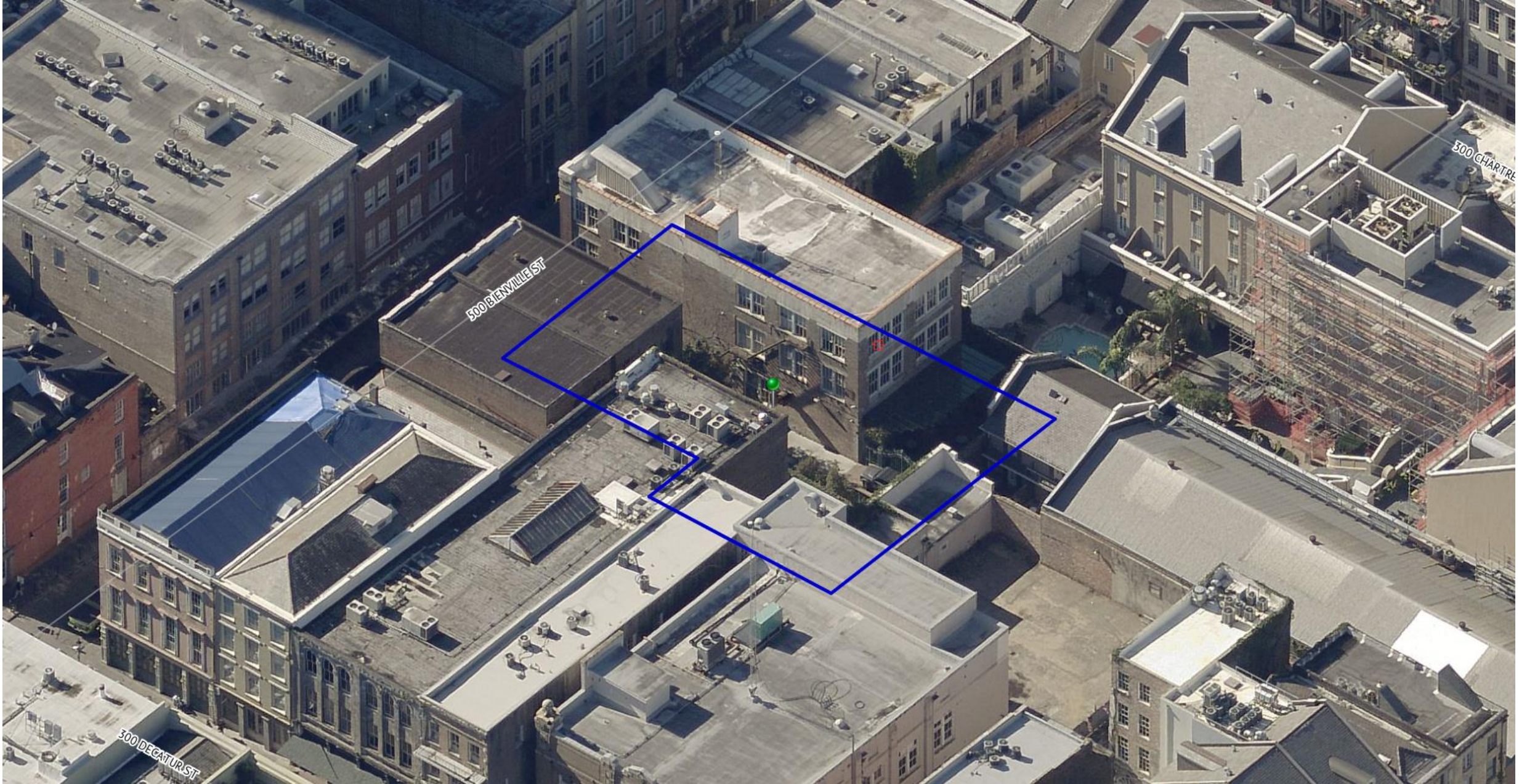
529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

July 10, 2018







529 Bienville

VCC Architectural Committee

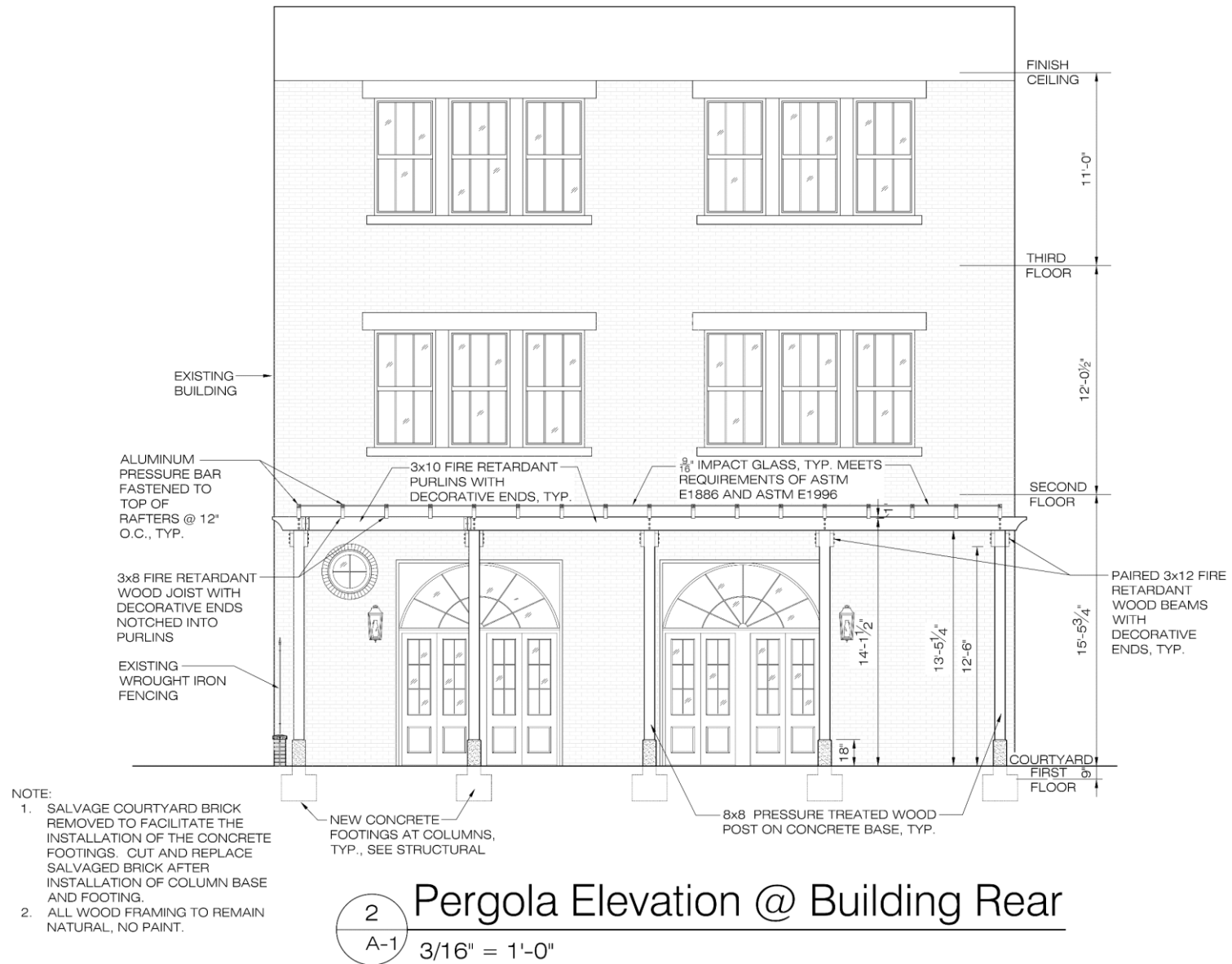
July 10, 2018



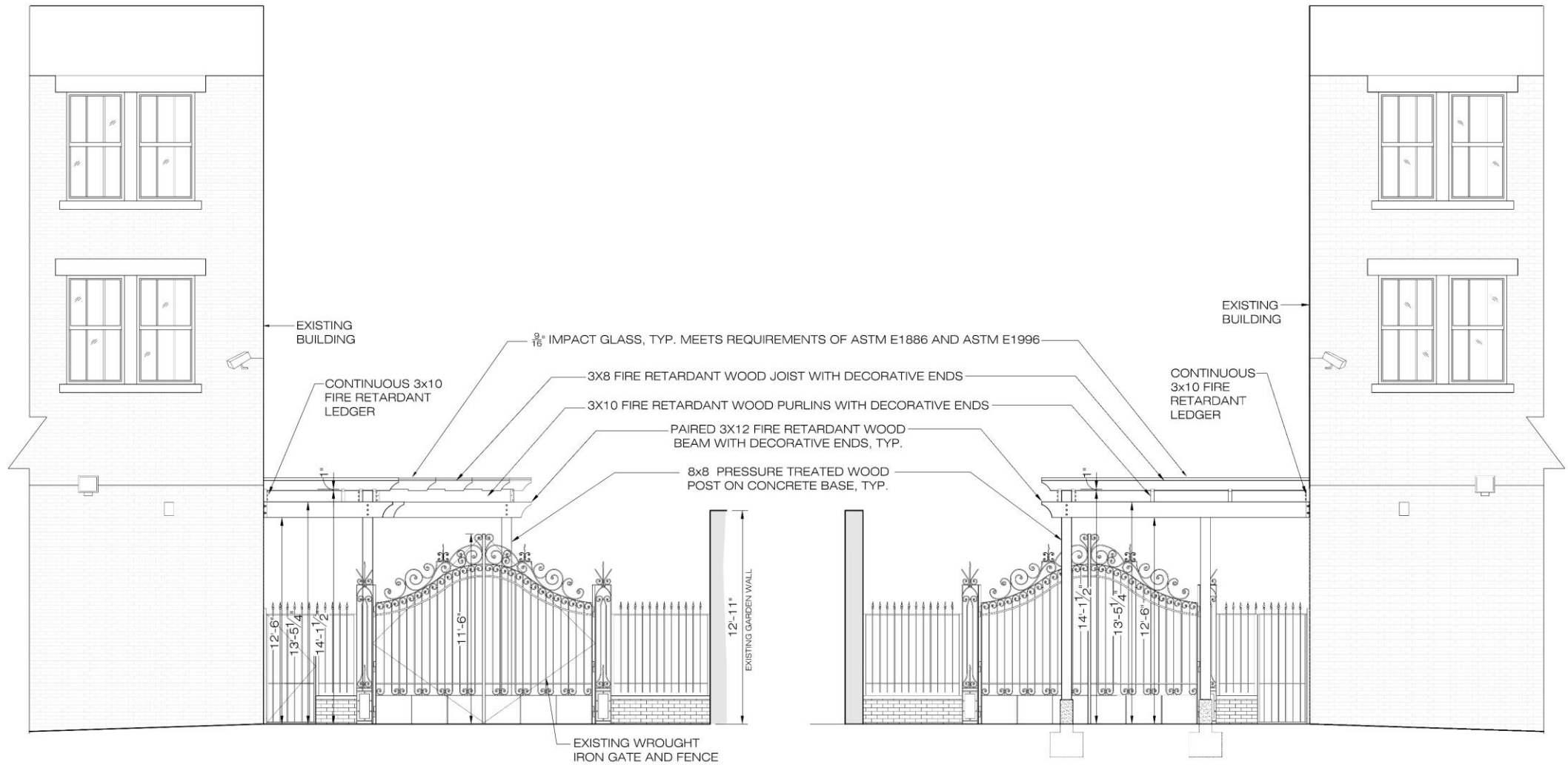






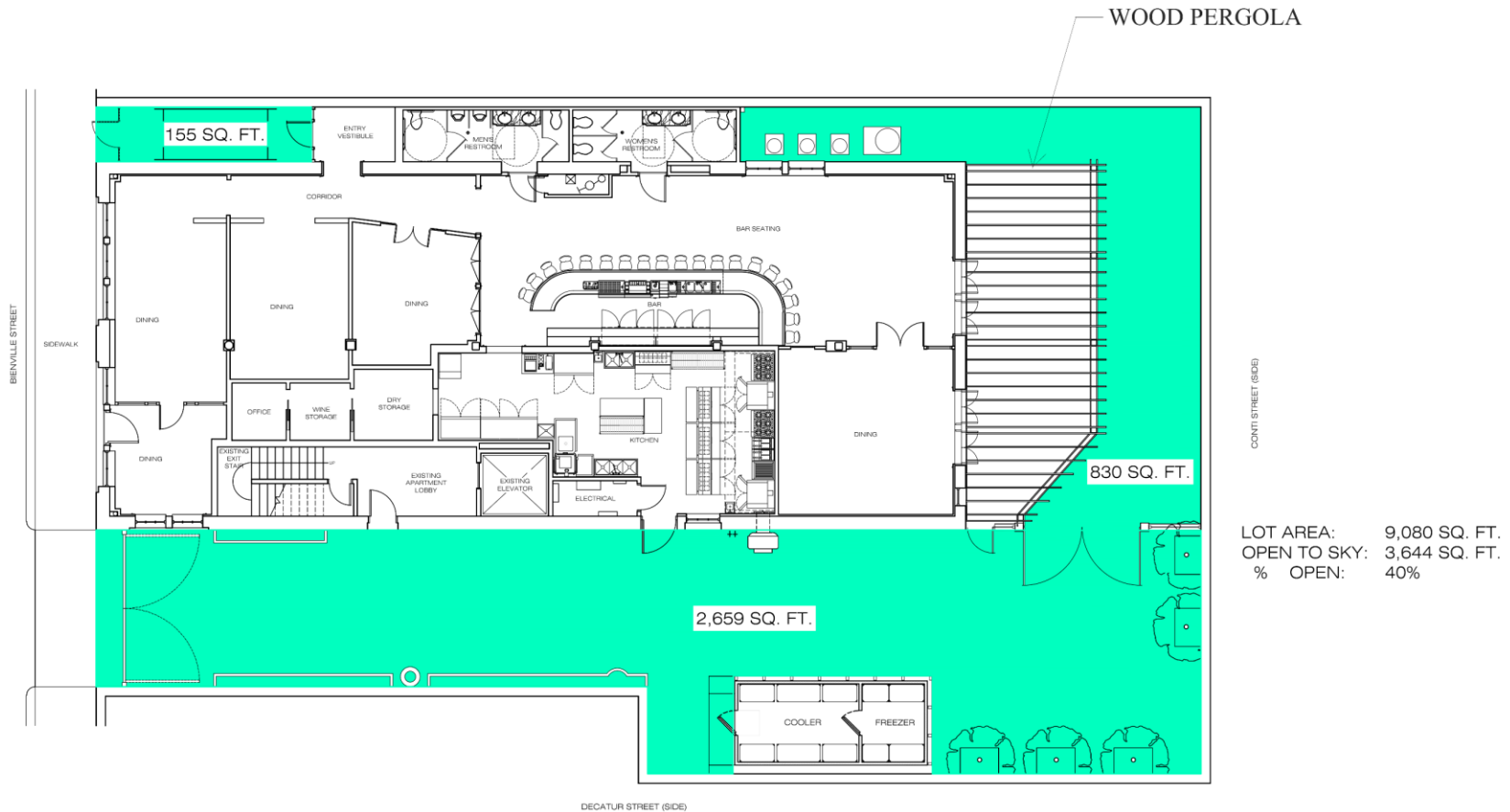






3 Pergola Elevation - side  
A-1 3/16" = 1'-0"

4 Pergola Elevation - side  
A-1 3/16" = 1'-0"



529 BIENVILLE-SITE PLAN

529 Bienville

VCC Architectural Committee

July 10, 2018

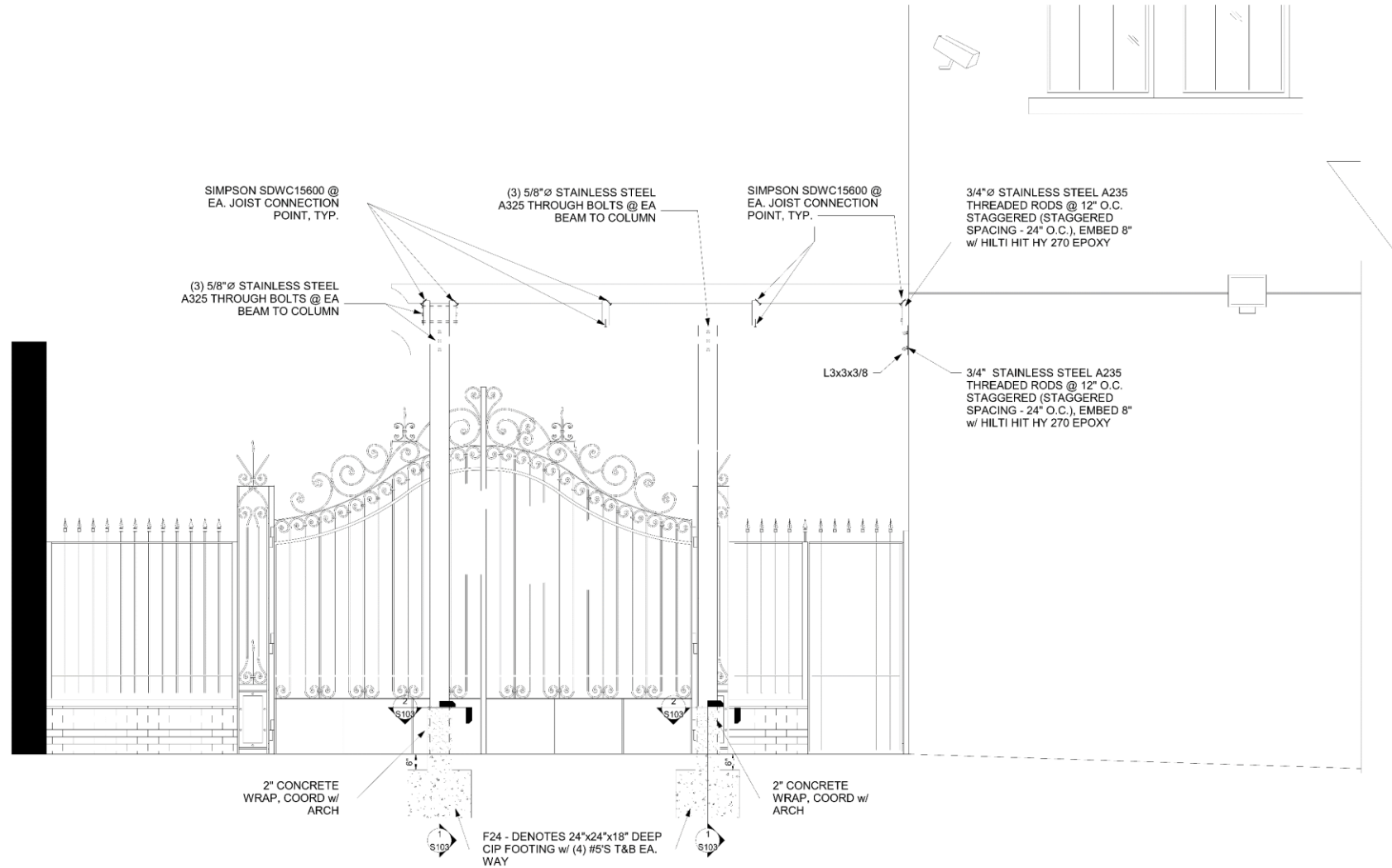












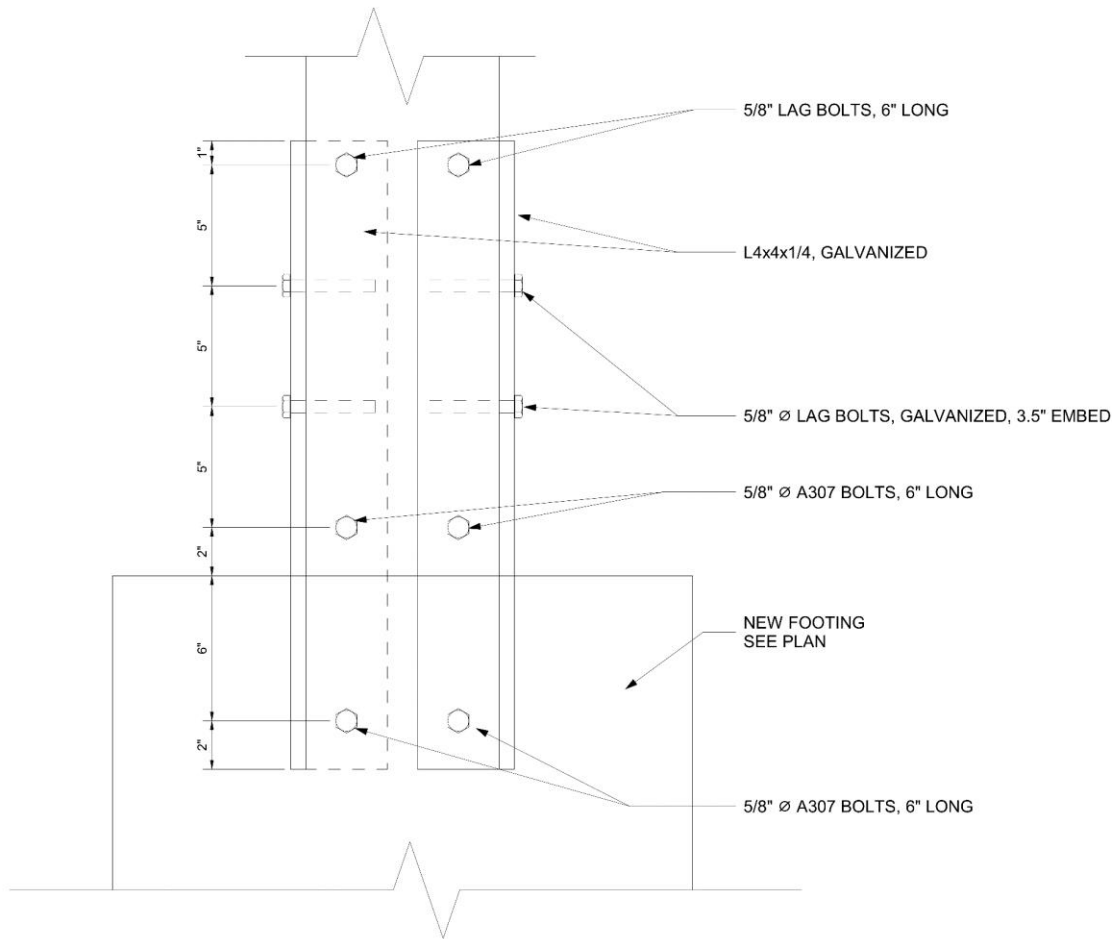
1 Pergola Side Elevation  
S102 1/2" = 1'-0"

529 Bienville

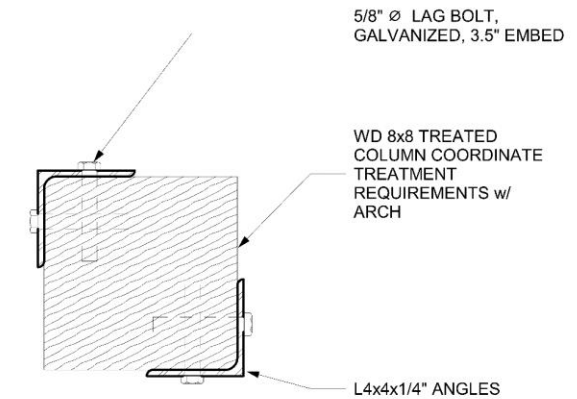
VCC Architectural Committee

July 10, 2018





**1** Column Base Connection  
S103 3" = 1'-0"



**2** Column Base Connection (Plan)  
S103 3" = 1'-0"