



Vieux Carré Commission Architecture Committee Meeting

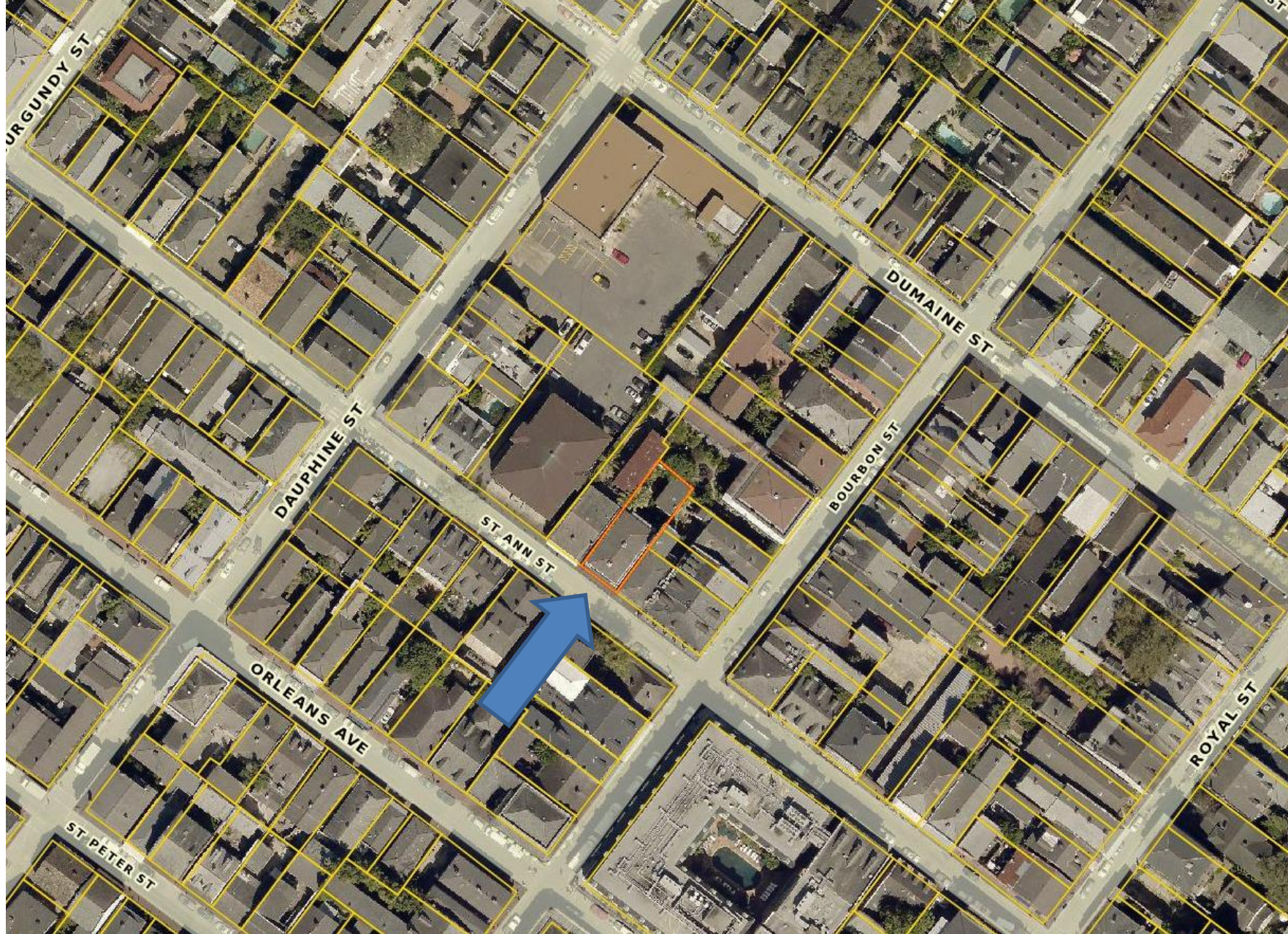
Tuesday, March 22, 2022

The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE" at the top and "COMMISSION" at the bottom. The inner circle features a stylized architectural design with columns and a central figure. The words "ESTABLISHED" and "1936" are inscribed at the bottom of the inner circle.

Old Business

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and vertical bars. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

815 St Ann



815 St. Ann





815 St. Ann



815 St. Ann

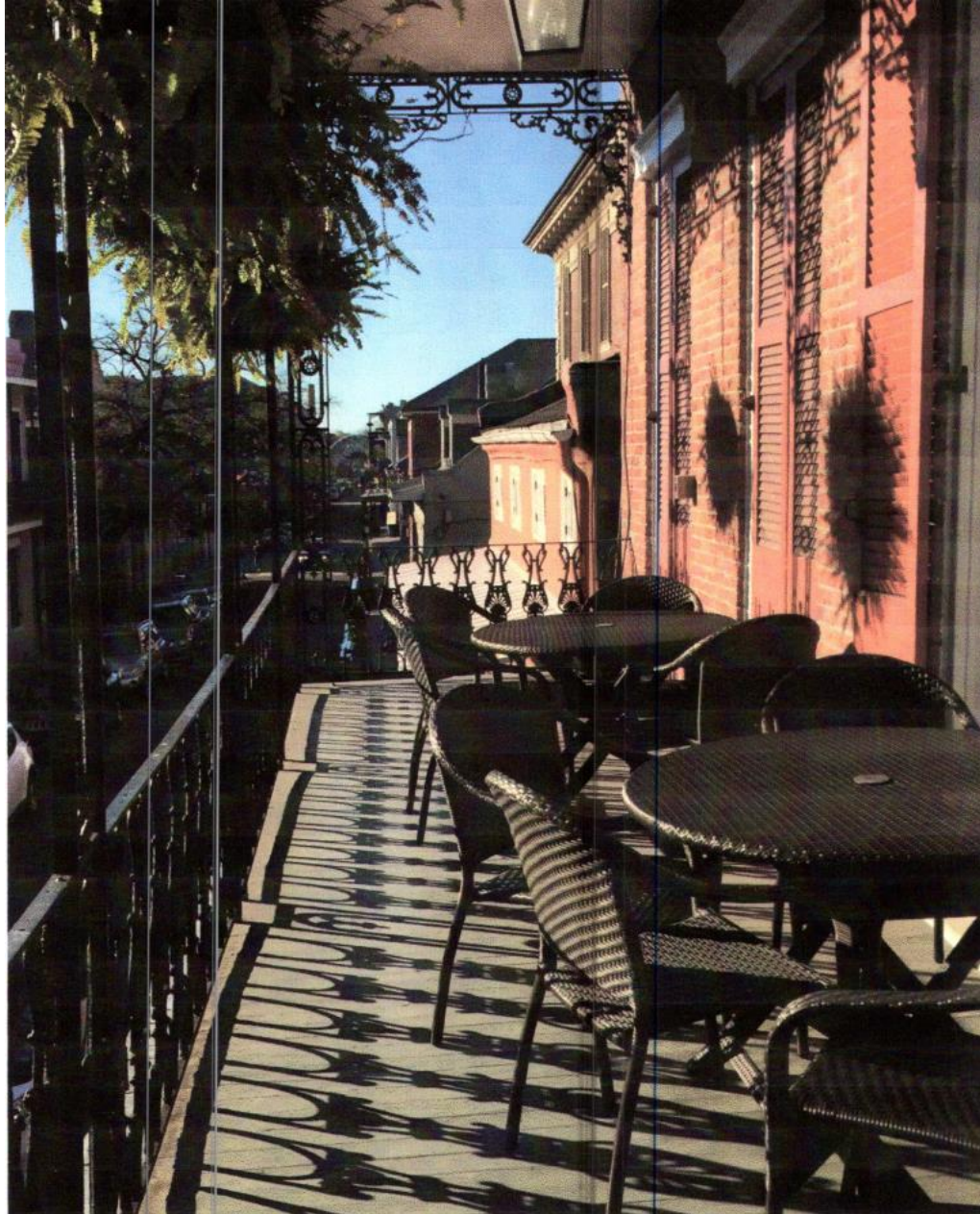
VCC Architectural Committee

March 22, 2022





815 St. Ann - 1974



815 St. Ann

VCC Architectural Committee

March 22, 2022





815 St. Ann

VCC Architectural Committee

March 22, 2022





815 St. Ann

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March 22, 2022





815 St. Ann – 1st Floor Interior

VCC Architectural Committee

March 22, 2022





815 St. Ann – 1st Floor Interior
VCC Architectural Committee

11 04 2021

March 22, 2022





815 St. Ann – 1st Floor Interior

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March 22, 2022





815 St. Ann – 1st Floor Interior

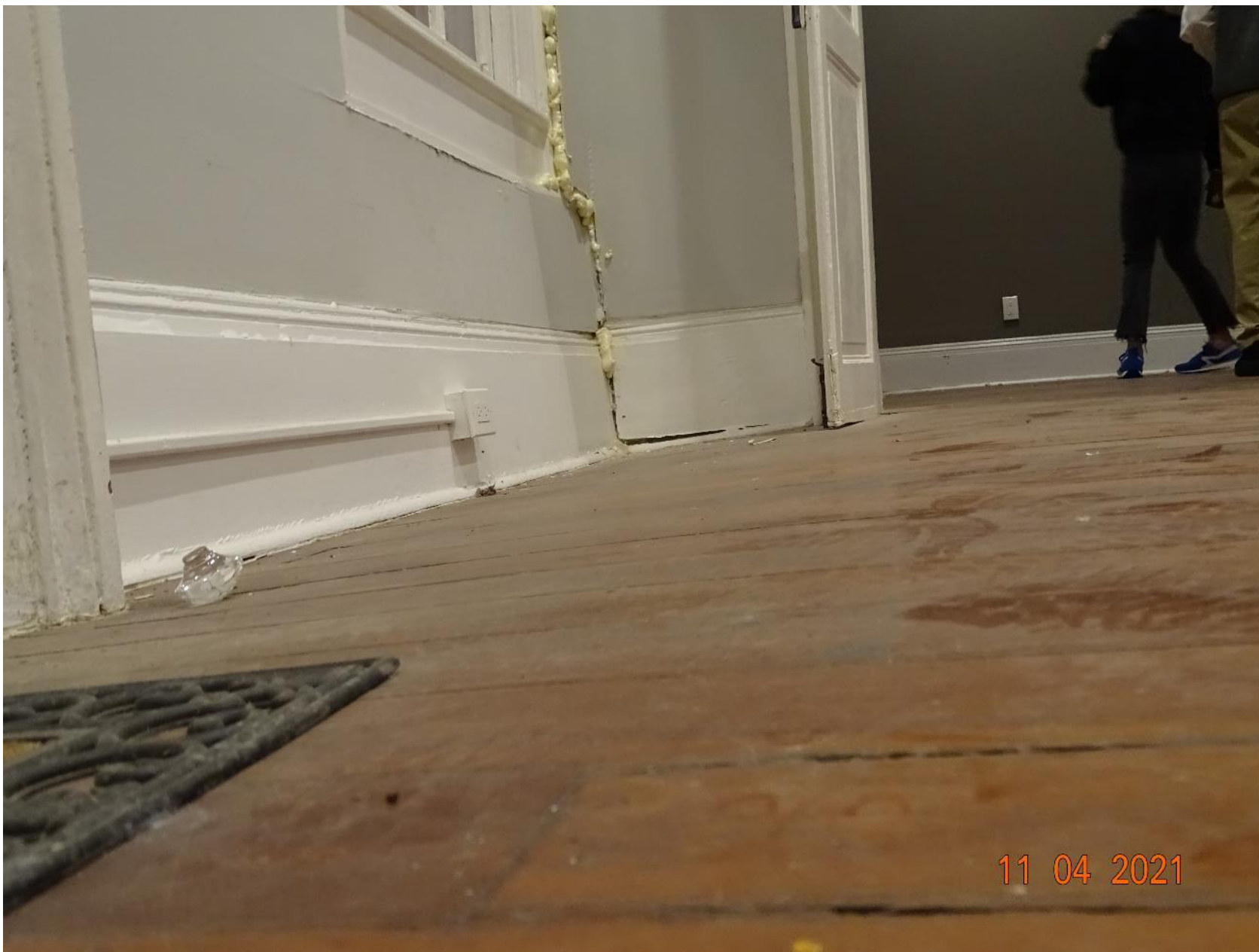
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11 04 2021



815 St. Ann – 1st Floor Interior

VCC Architectural Committee

March 22, 2022



815 St. Ann – 1st Floor Interior
VCC Architectural Committee



11 04 2021

March 22, 2022





815 St. Ann – 1st Floor Interior
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11 04 2021

March 22, 2022





815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior

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815 St. Ann – 1st Floor Interior

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815 St. Ann – 1st Floor Interior

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815 St. Ann – 1st Floor Interior

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March 22, 2022





815 St. Ann – 1st Floor Interior
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02 17 2022

March 22, 2022





815 St. Ann – 1st Floor Interior
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02 17 2022

March 22, 2022





815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior

VCC Architectural Committee

March 22, 2022





815 St. Ann – 1st Floor Interior

VCC Architectural Committee

March 22, 2022



815 St. Ann – 2nd Floor Interior
VCC Architectural Committee



March 22, 2022





815 St. Ann – 2nd Floor Interior

VCC Architectural Committee

March 22, 2022





815 St. Ann – 2nd Floor Interior

VCC Architectural Committee

March 22, 2022





815 St. Ann – 2nd Floor Interior

815 St. Ann – 2nd Floor Exterior
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March 22, 2022





815 St. Ann – 2nd Floor Exterior
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02 17 2022

March 22, 2022





815 St. Ann – 2nd Floor Exterior

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March 22, 2022





815 St. Ann – 2nd Floor Exterior
VCC Architectural Committee

March 22, 2022



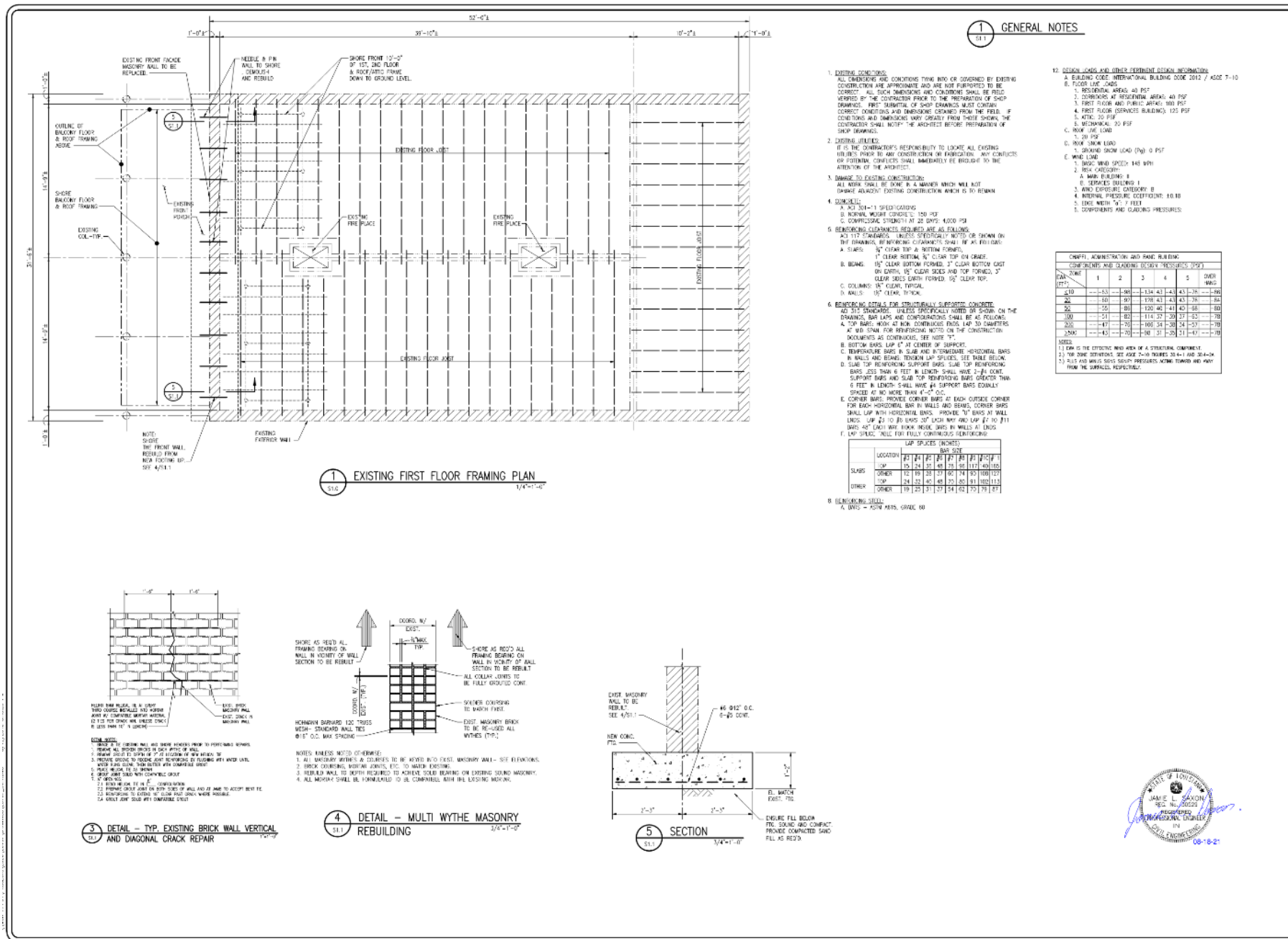


815 St. Ann – 2nd Floor Exterior

VCC Architectural Committee

March 22, 2022





REVISIONS

BY

DATE

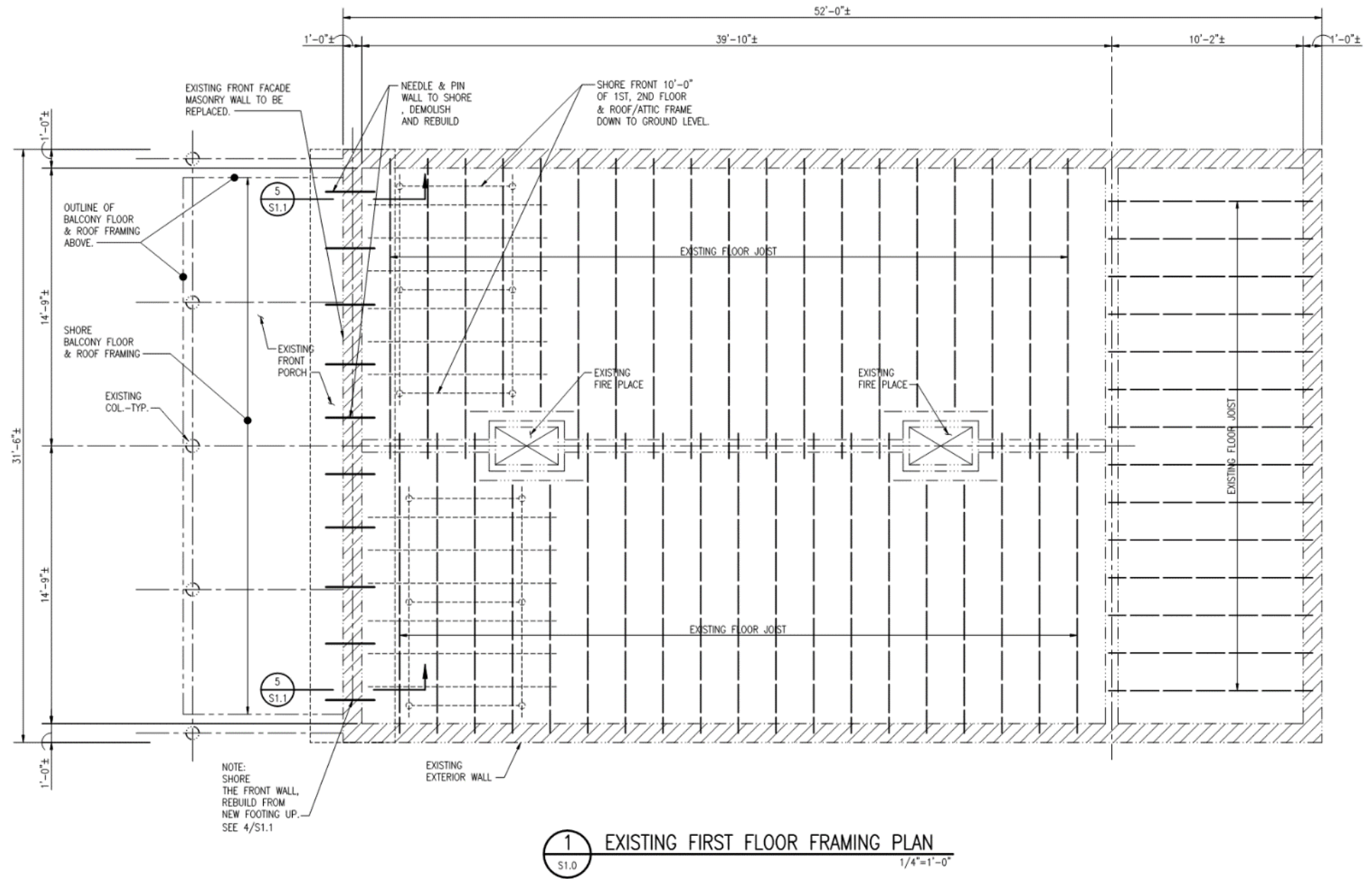
DESCRIPTION

815 ST ANN ST
MASONRY WALL REPAIRS
NEW ORLEANS, LA 70130

DRAWN
CHECKED
DATE
ISSUE
SCALE
JOB NO.
SHEET

S1.1
1 of 3

JARRE COMMISSION
ESTABLISHED 1936

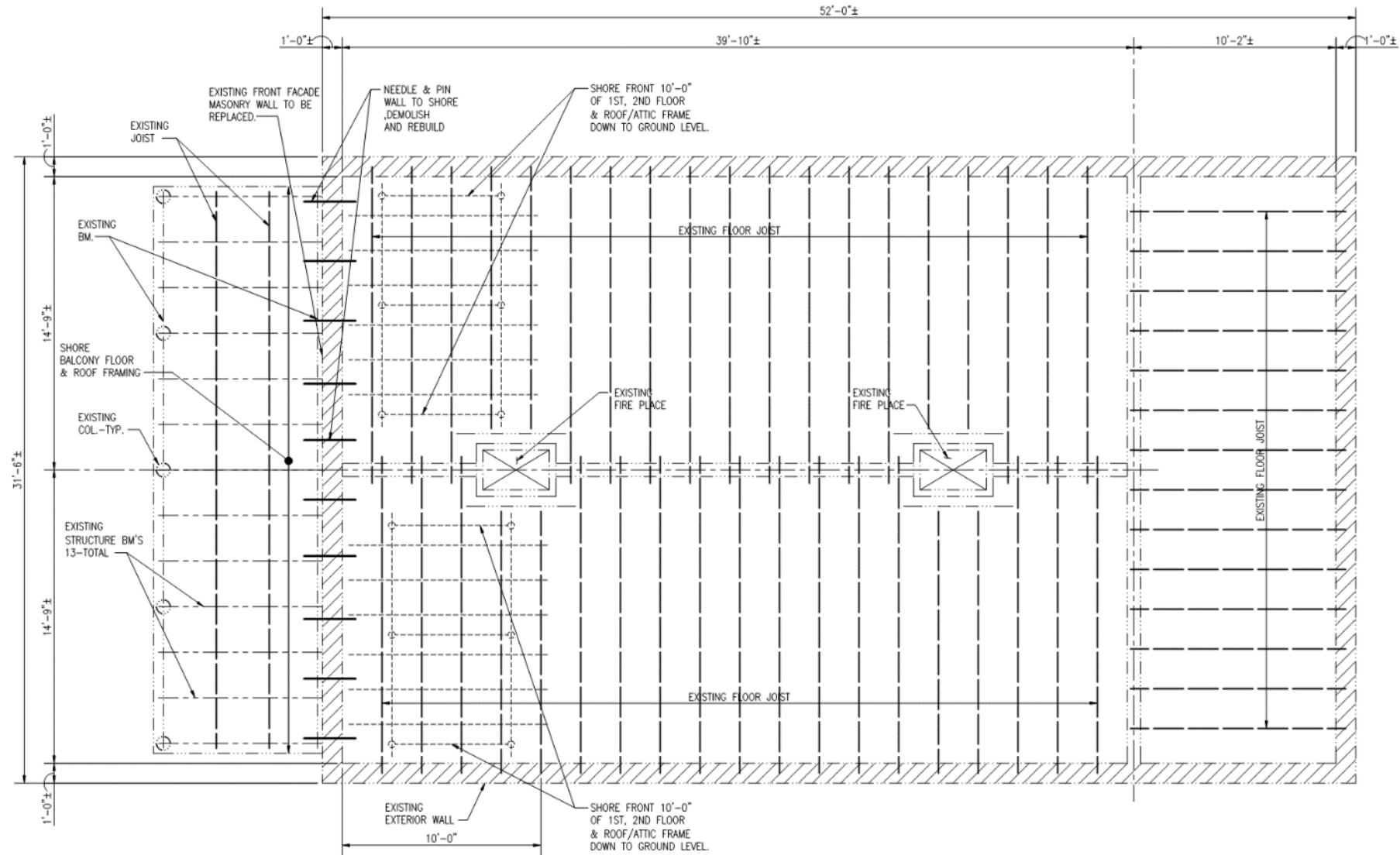


815 St. Ann

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March 22, 2022





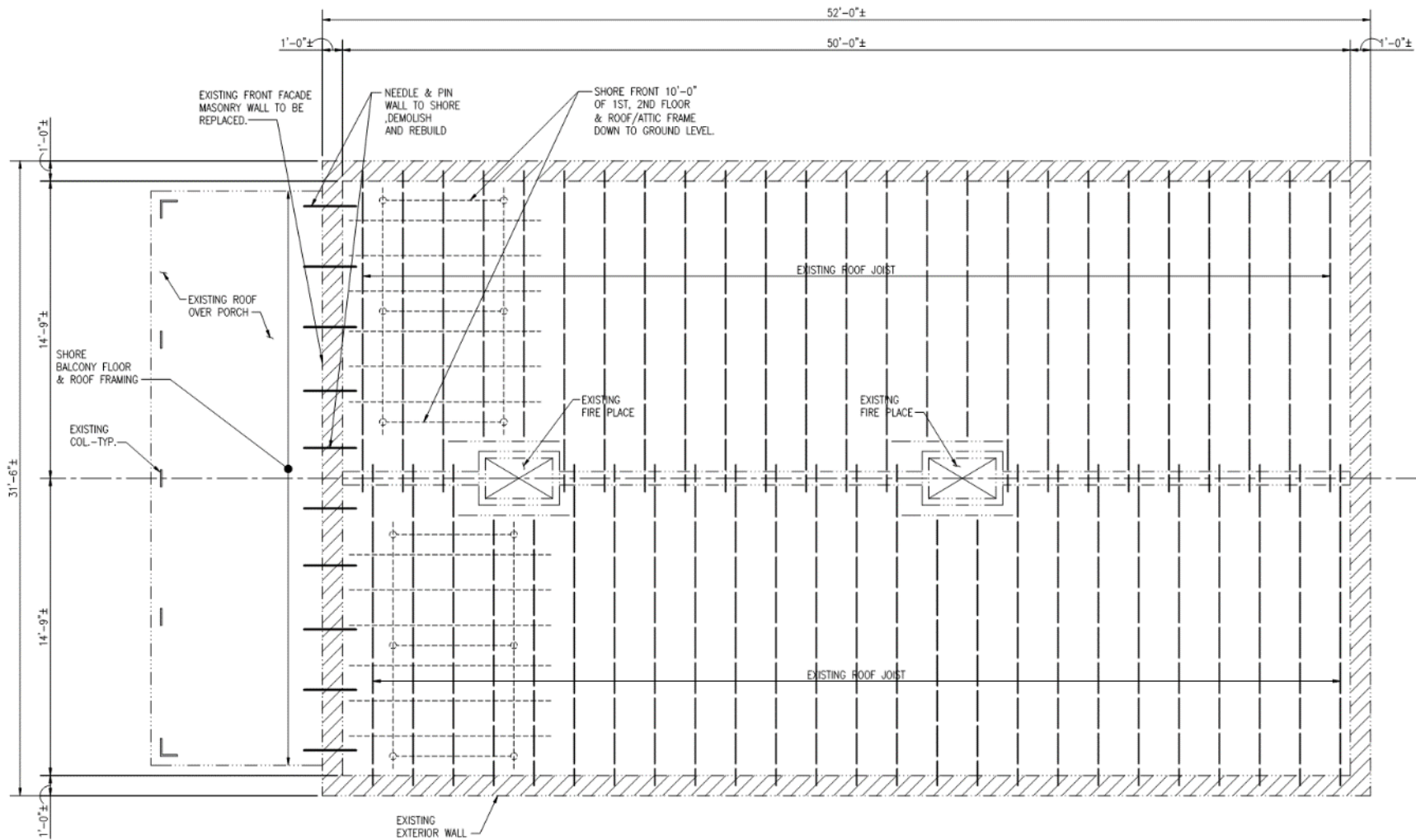
1
S1.2
EXISTING SECOND FLOOR FRAMING PLAN
1/4"=1'-0"

815 St. Ann

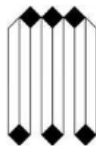
VCC Architectural Committee

March 22, 2022





1 EXISTING ROOF FRAMING PLAN
S1.3 1/4"=1'-0"



MORPHY, MAKOFSKY, INC.
CONSULTING ENGINEERS
336 N. Norman C. Francis Parkway
New Orleans, LA 70119
P:504/488-1317 F:504/488-0924
www.mmi-eng.com

Jamie L. Saxon
Jonathan A. Sofranko
H. Stephan Bernick

September 24, 2021

John Williams
Williams Architects
824 Baronne Street
New Orleans, LA 70113

RE: 815 St Ann Street
New Orleans, La.

Dear Mr. Williams,

We are writing this letter to explain that the front façade wall will need to be rebuilt. The existing building is two stories tall with wood framing at the 1st, 2nd and roof levels. The exterior walls are multi-wythe, load bearing, clay masonry brick walls. The front of the building abuts onto St. Ann Street. The floor joists appear to span in the direction parallel with the street.

At the time of our inspection, Tuesday, October 27, 2020, we could see displacement of the front façade wall and cracking in the masonry wall. The lower section of the wall tilts outwards, and the masonry towards the Dauphine Street side has cracked and begun to separate. The front wall has actually buckled which occurred when the footing under the front wall was undermined and likely rotated. Above the second floor we can also see significant horizontal movement across the wall resulting in large cracks above and adjacent to the windows. In addition, the front wall is separating from the side and central walls.

In consideration that the lower half of the wall needs to be removed to allow for the total replacement of the footing, and theoretically, significant sections removed to allow for needle beams to be installed to support the upper portions and finally portions of the upper wall need to be removed and rebuilt to restore the integrity; the portion that would remain is insignificant and would be very difficult to maintain during all the renovations. In view of this extent of work, the entire front façade will need to be removed and rebuilt. This also provides the safest means of restoration of the front façade when you consider that this wall is on the property line and close to a very busy part of the French Quarter.

Morphy Makofsky, Inc.

Yours truly


Jamie Saxon, P.E.



815 St. Ann

VCC Architectural Committee

March 22, 2022



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Morphy Makofsky, Inc.

815 St. Ann

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March 22, 2022



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll. The shield is flanked by two vertical bars with diamond shapes. The entire shield is enclosed within a circular border. The text "VIEUX CARRE COMMISSION" is written along the top arc of the border, and "ESTABLISHED 1936" is written along the bottom arc.

1130 Chartres



1130 Chartres

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March 22, 2022



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March 22, 2022





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March 22, 2022





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March 22, 2022





1130 Chartres

VCC Architectural Committee

March 22, 2022



SONIAT HOUSE
1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116
Project No. AA2109

NOT FOR CONSTRUCTION
FOR COORDINATION ONLY

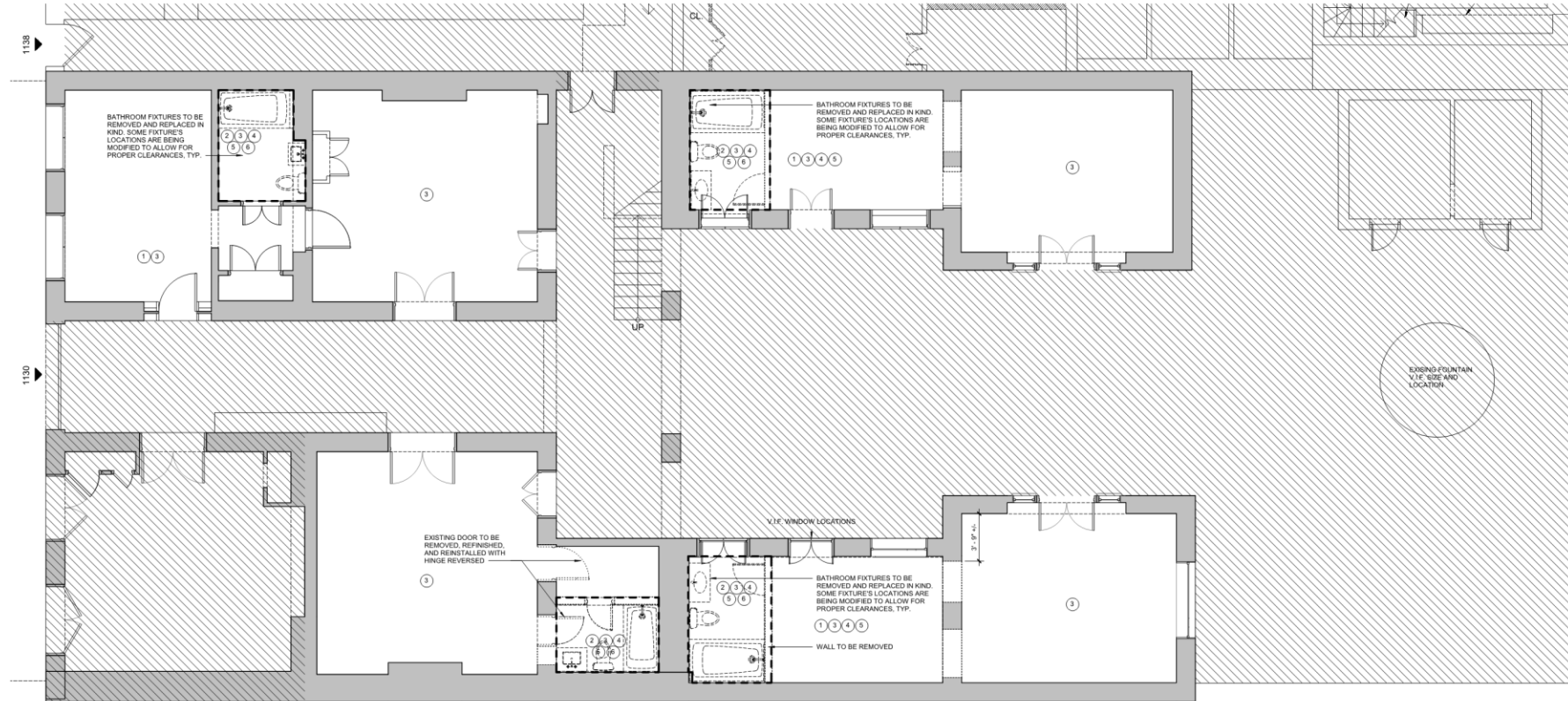
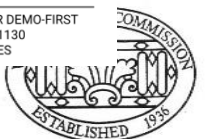
03.14.22

Drawn by: AP
Checked by: JM

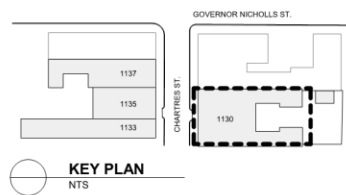
Interior Demolition Set	08.13.21
Permit Set	09.23.21
Revised Permit Set	11.05.21
Revised Demolition Set	12.16.21
Permit Revisions	01.27.22
Permit Revisions	02.07.22
80% CD	03.02.22
VCC Revisions	03.14.22

D-1.01

INTERIOR DEMO-FIRST
FLOOR- 1130
CHARTRES

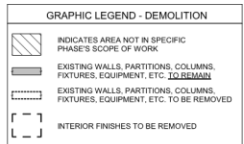


1
D-1.01
DEMO- FIRST FLOOR - 1130 CHARTRES
1/4" = 1'-0"



- GENERAL DEMOLITION NOTES**
- DOORS, FRAMES, AND CASINGS INDICATED FOR REMOVAL TO BE SALVAGED, STORED, AND PROTECTED FOR REUSE.
 - ALL EXISTING HISTORIC ELEMENTS TO REMAIN ARE TO BE COVERED AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.

- REMOVE ALL EXISTING CARPET AND UNDERLAYMENT. TAKE CARE TO NOT DAMAGE EXISTING WOOD FLOORS BELOW.
- REMOVE ALL EXISTING FLOOR FINISHES AND SUBSTRATE.
- REMOVE EXISTING ARCHITECTURAL LIGHTING.
- REMOVE ALL EXISTING MILLWORK.
- REMOVE EXISTING CROWN, CASING BASE AND WALL PANELING, TYP. HISTORIC MOULDING TO BE CAREFULLY REMOVED AND STORED ON SITE.
- REMOVE ALL PLUMBING FIXTURES AND FITTINGS.
- LIGHT EXPLORATORY CEILING DEMO TO VISUALLY INSPECT EXISTING FLOOR STRUCTURE.



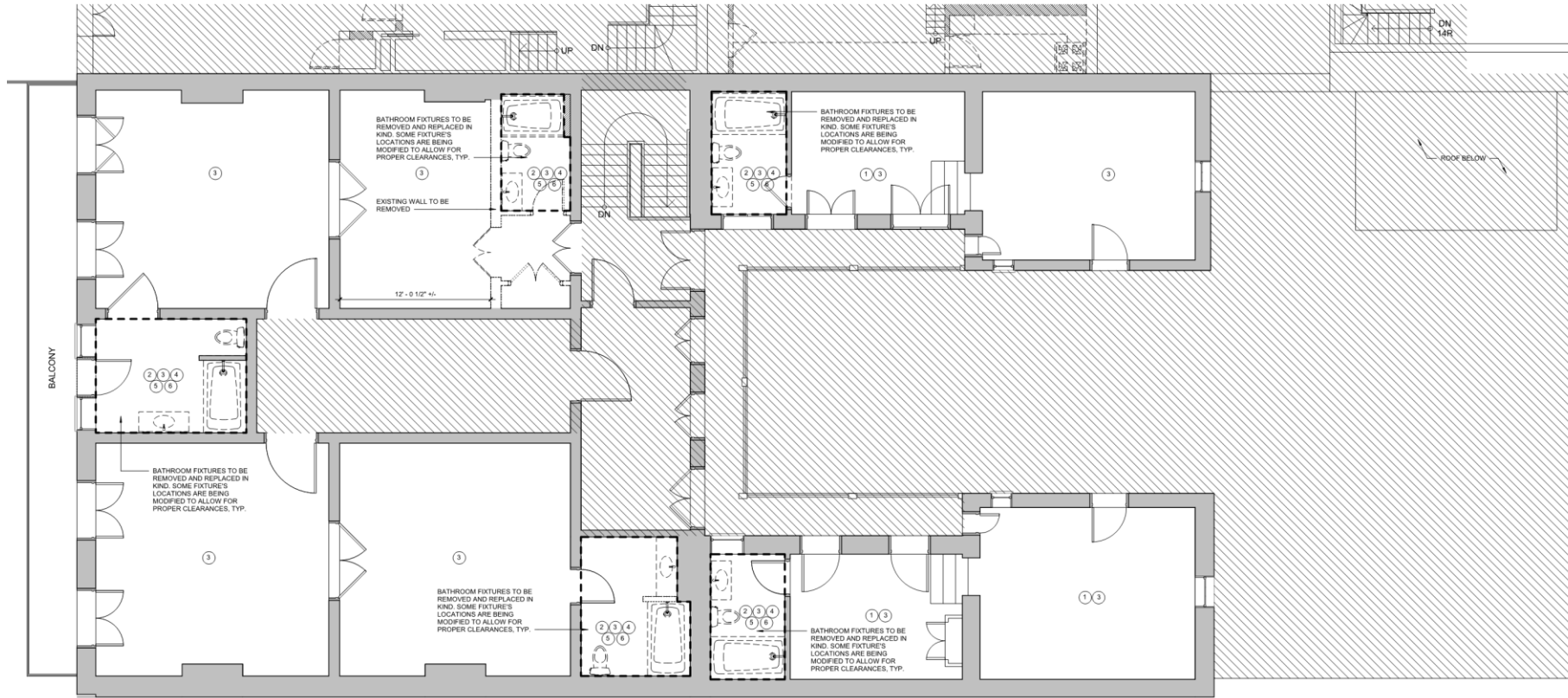
SONIAT HOUSE
1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116
Project No. AA2109

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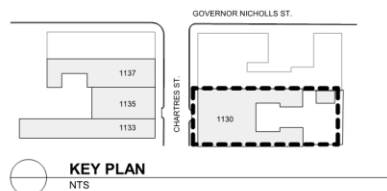
03.14.22	
Drawn by:	AP
Checked by:	JM
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D-1.03

INTERIOR
DEMO-SECOND FLOOR-
1130 CHARTRES



1 DEMO - SECOND FLOOR - 1130 CHARTRES
1/4" = 1'-0"



- GENERAL DEMOLITION NOTES**
- DOORS, FRAMES, AND CASINGS INDICATED FOR REMOVAL TO BE SALVAGED, STORED, AND PROTECTED FOR REUSE.
 - ALL EXISTING HISTORIC ELEMENTS TO REMAIN ARE TO BE COVERED AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.

- REMOVE ALL EXISTING CARPET AND UNDERLAYMENT. TAKE CARE TO NOT DAMAGE EXISTING WOOD FLOORS BELOW.
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- REMOVE ALL PLUMBING FIXTURES AND FITTINGS.
- LIGHT EXPLORATORY CEILING DEMO TO VISUALLY INSPECT EXISTING FLOOR STRUCTURE.

GRAPHIC LEGEND - DEMOLITION

[Hatched Box]	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK.
[Solid Grey Box]	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. <u>TO REMAIN</u> .
[Dotted Box]	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED.
[Dashed Box]	INTERIOR FINISHES TO BE REMOVED.



SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109

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Permit Revisions 01.27.22

Permit Revisions 02.07.22

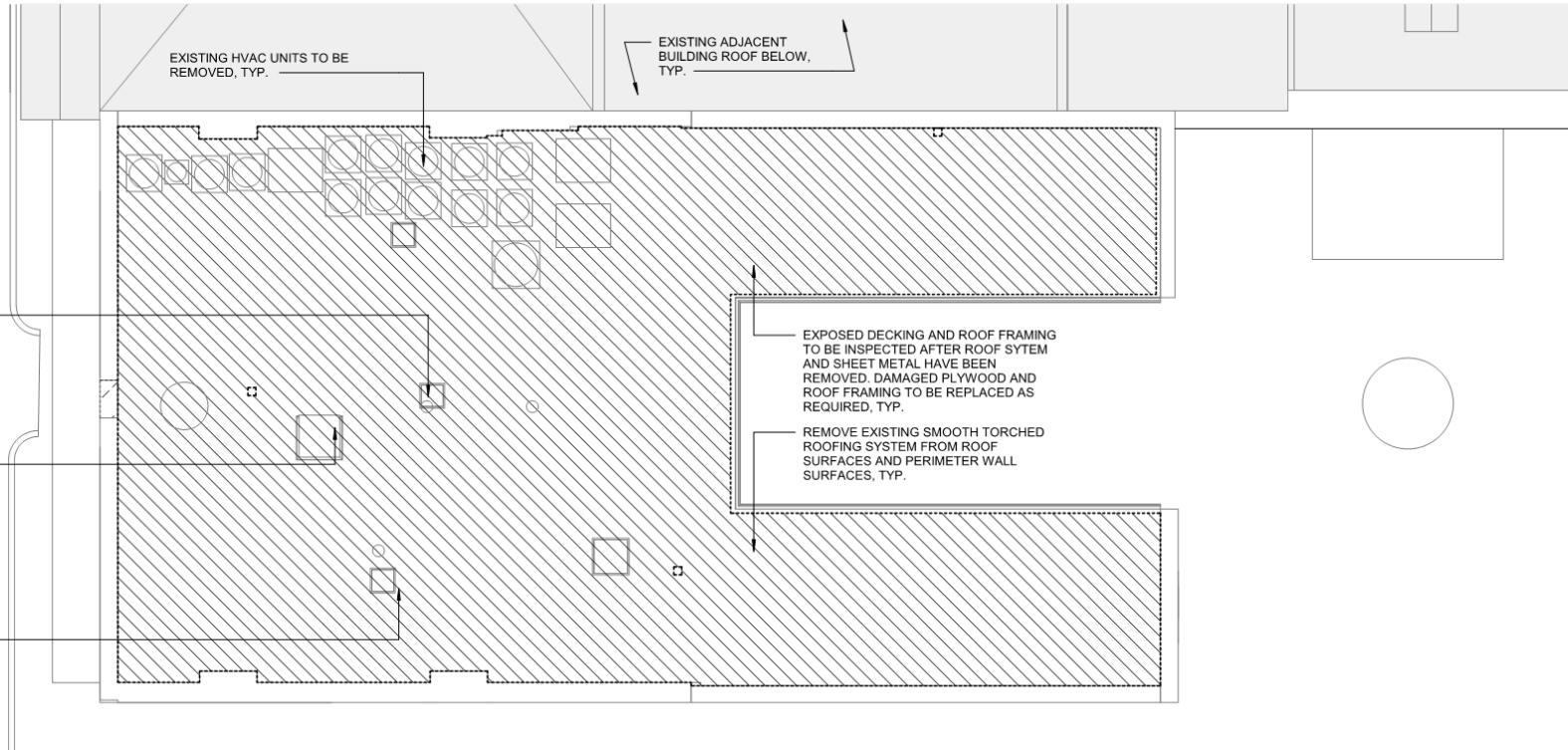
80% CD 03.02.22

VCC Revisions 03.14.22

D-1.05

DEMO - ROOF -
1130-1135

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2
D-1.05

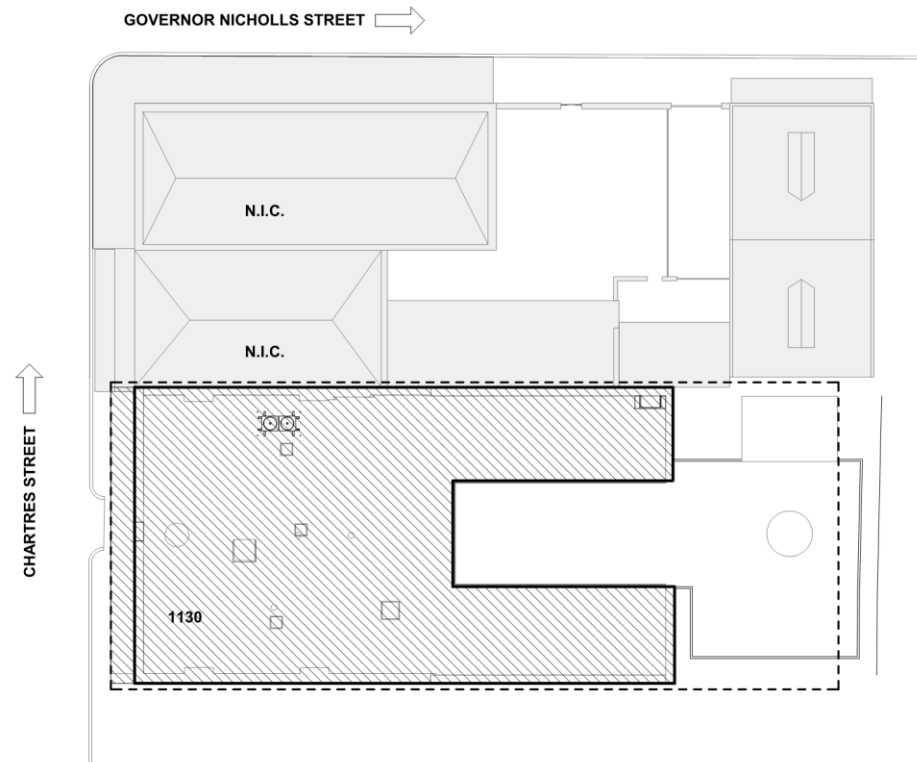
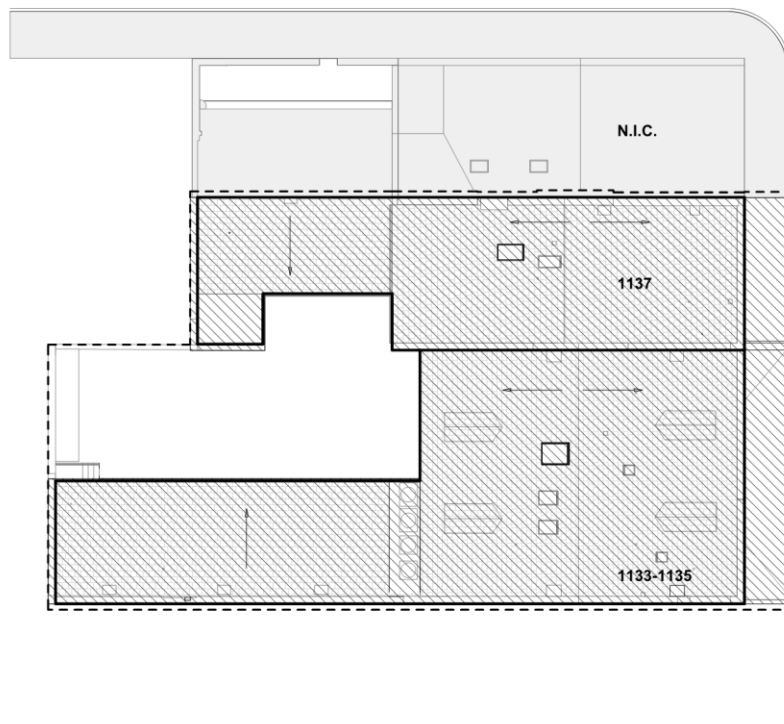
ROOF PLAN - 1130 DEMO

1/8" = 1'-0"

1130 Chartres

VCC Architectural Committee

March 22, 2022



CLARIFICATION OF RENOVATION GRAPHICS	
PERTAINING TO SITE PLAN	
	PROPERTY LINE
	BUILDING - IN SCOPE
	BUILDING - NOT IN SCOPE

1
A-1.00
SITE PLAN
1" = 10'-0"



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3221 Tulane Avenue
New Orleans, LA 70119
504.827.0056

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A-1.00

SITE PLAN



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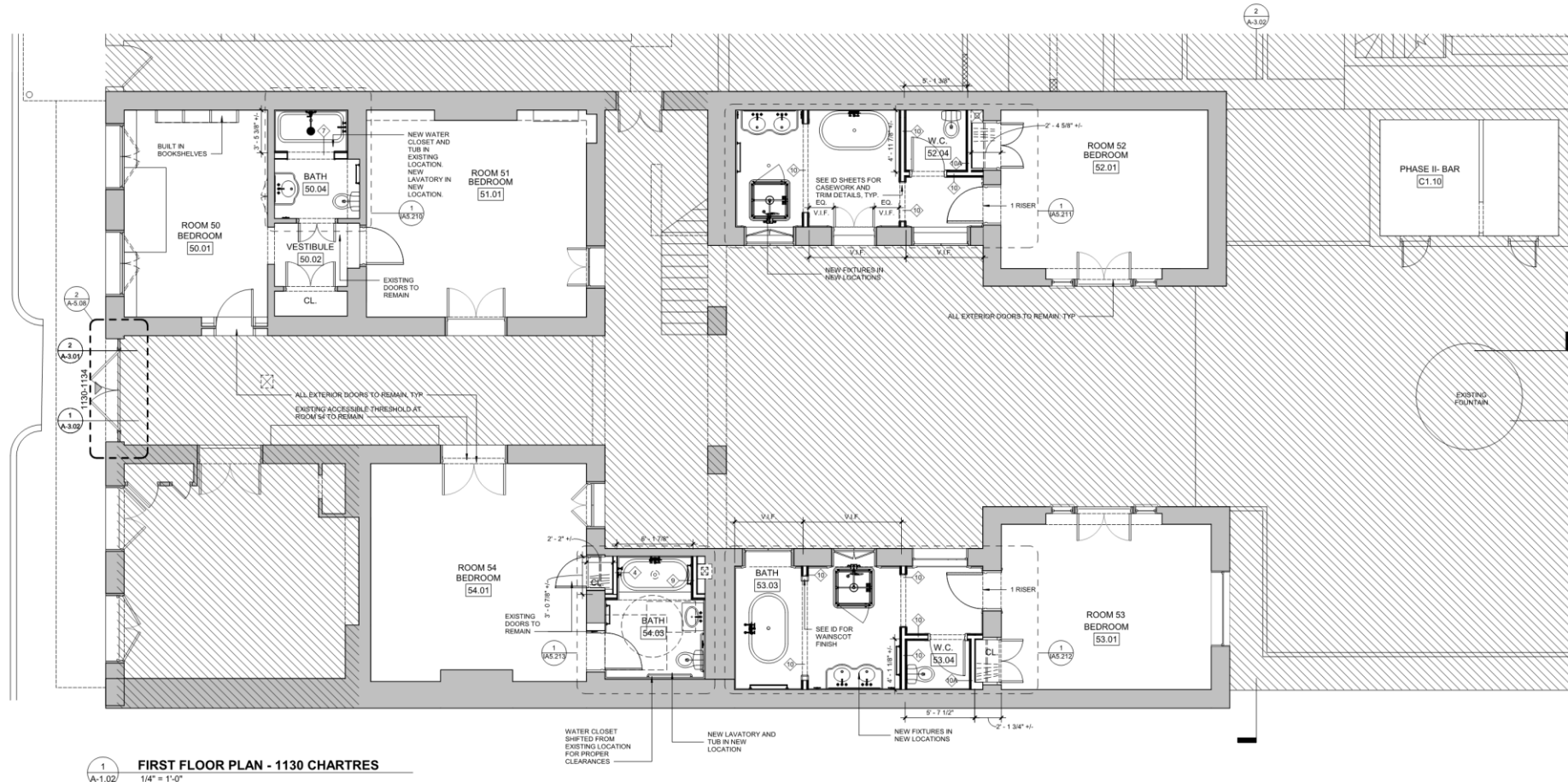
03.14.22

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Checked by: JM

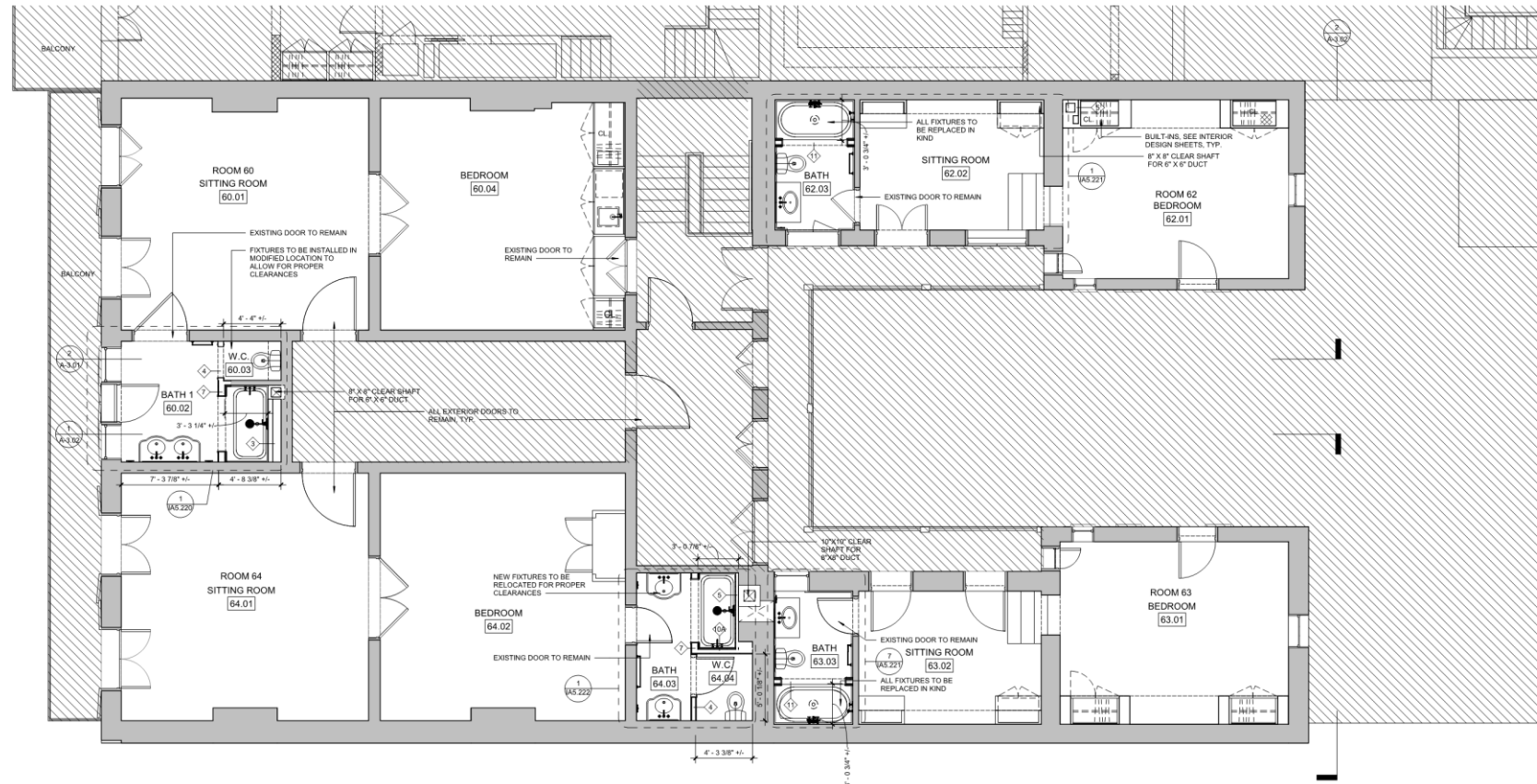
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A-1.02

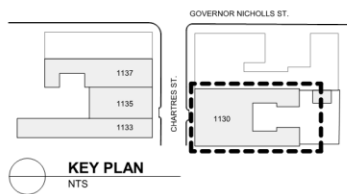
FIRST FLOOR PLAN -
1130 CHARTRES



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1 SECOND FLOOR PLAN - 1130 CHARTRES
1/4" = 1'-0"



GRAPHIC LEGEND

	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
	EXISTING CEILING WALL TO REMAIN
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
	NEW WALL



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VCC Revisions	03.14.22

A-1.04

SECOND FLOOR PLAN -
1130 CHARTRES



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03.14.22

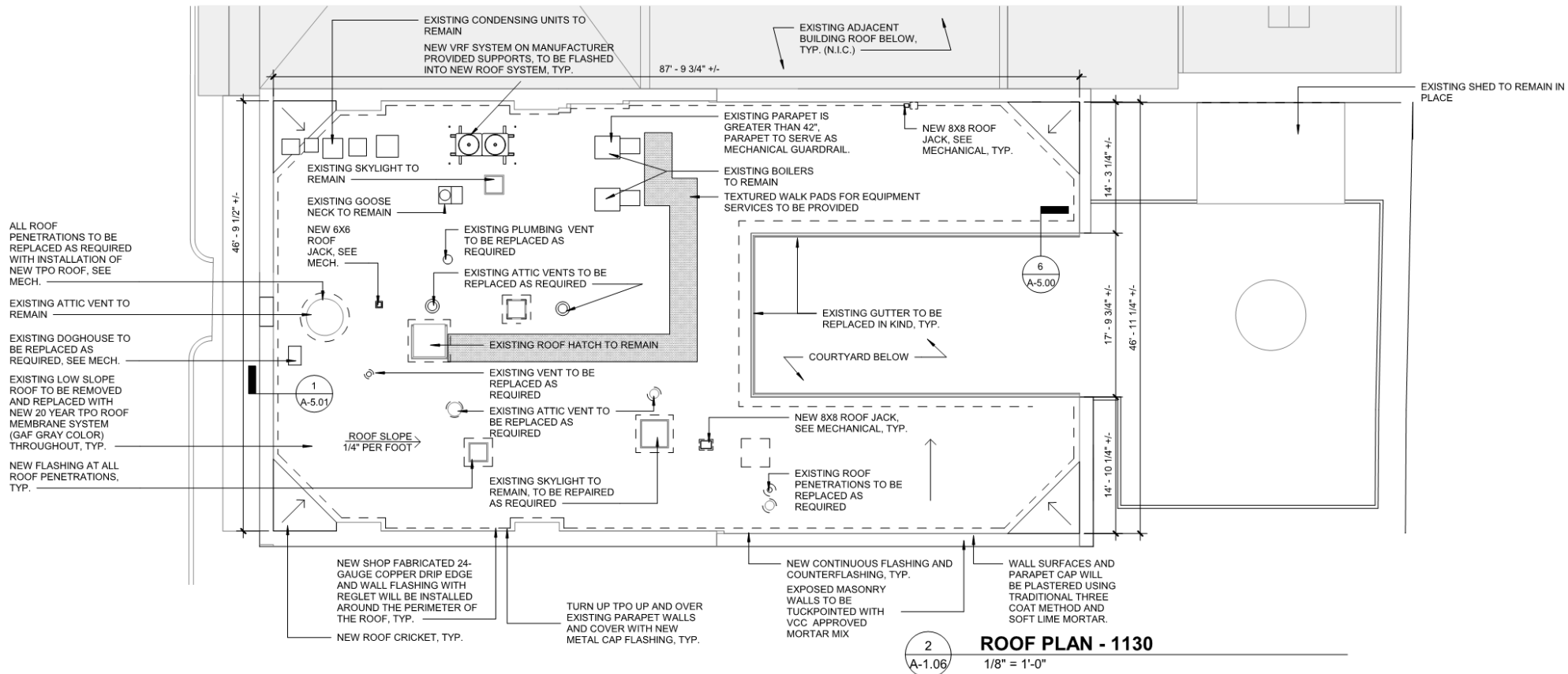
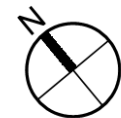
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VCC Revisions	03.14.22

A-1.06

ROOF PLAN

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NEW VRF SYSTEM ON
MANUFACTURER PROVIDED
SUPPORTS, FLASHED INTO NEW
ROOF SYSTEM, TYP.

EXISTING LOW SLOPE
ROOF TO BE REMOVED
AND REPLACED WITH
NEW 20 YEAR TPO ROOF
MEMBRANE SYSTEM
THROUGHOUT, TYP.

EXPOSED MASONRY
WALLS TO BE
REPOINTED WITH VCC
APPROVED MORTAR
MIX

CLEAN AND REPAIR
EXISTING OVERHANGS AS
NEEDED, TYP.

ELECTRIC LAMPS AND WALL
SCONCES TO BE REPLACED
WITH NEW VCC APPROVED
SCONCES, TYP.

EXISTING GATE TO REMAIN
AT THE 1130 CHARTRES
ENTRANCE

NEW SHOP FABRICATED 24-
GAUGE COPPER DRIP EDGE
AND WALL FLASHING WITH
REGLET WILL BE INSTALLED
AROUND THE PERIMETER OF
THE ROOF, TYP.

ROOF - 1130
28'-2 1/4"

WALL SURFACES AND
PARAPET CAP WILL
BE PLASTERED USING
TRADITIONAL THREE
COAT METHOD AND
SOFT LIME MORTAR.

SECOND FLOOR - 1130
13'-6 1/2"

NO ADDITIONAL CONDUIT OR
UTILITIES WILL BE ADDED TO
EXTERIOR OF BUILDING.
EXISTING ABANDONED
WIRING AND UTILITY RUNS
WILL BE REMOVED, TYP.

FIRST FLOOR
0"

NOTE:

REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.05) FOR
APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF
APPLICABILITY OF DETAIL IS IN QUESTION.

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NEW ORLEANS, LA 70116

Project No. AA2109

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03.14.22

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80% CD 03.02.22

VCC Revisions 03.14.22

A-2.00

EXTERIOR ELEVATIONS

1130 Chartres

VCC Architectural Committee

March 22, 2022



NOTE:

REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.05) FOR APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF APPLICABILITY OF DETAIL IS IN QUESTION.

SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116

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A-3.01

SECTIONS 2



2
A-3.01
SECTION / COURTYARD ELEVATION 4 - 1130 CHARTRES
3/16" = 1'-0"

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1130 Chartres

VCC Architectural Committee

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1 SECTION / COURTYARD ELEVATION 5 - 1130 CHARTRES
 3/16" = 1'-0"



2 SECTION / REAR ELEVATION 6 - 1130 CHARTRES
 3/16" = 1'-0"

NOTE:
 REFERENCE GENERAL VCC GUIDELINE SHEETS (A-5.02 - A-5.05) FOR APPROVED STANDARD DETAILS. CONTACT ARCHITECT IF APPLICABILITY OF DETAIL IS IN QUESTION.

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 1130, 1133-1137 CHARTRES STREET
 NEW ORLEANS, LA 70116
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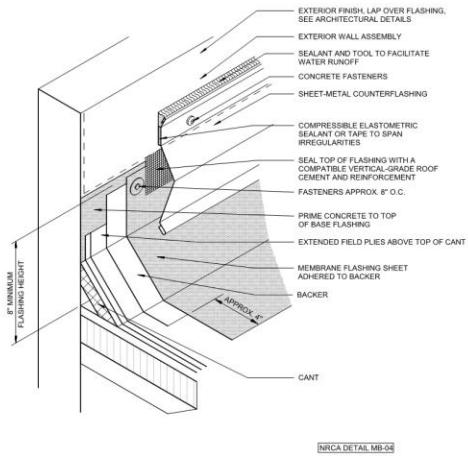
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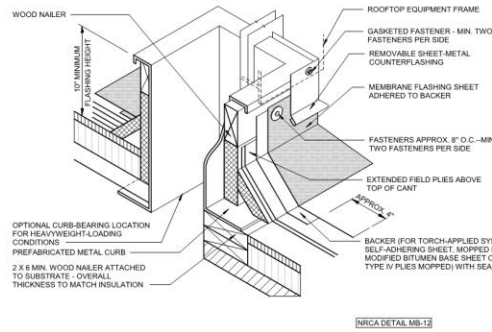
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SECTIONS 3

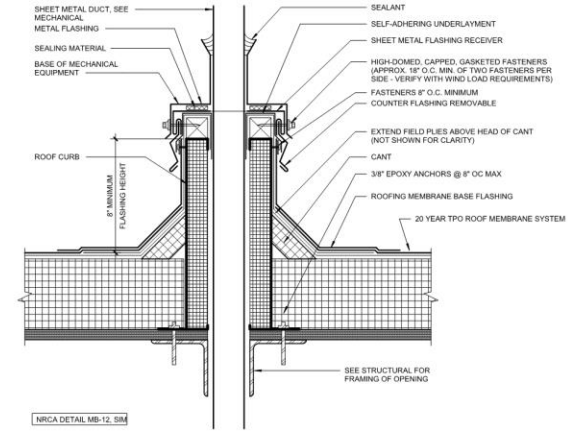




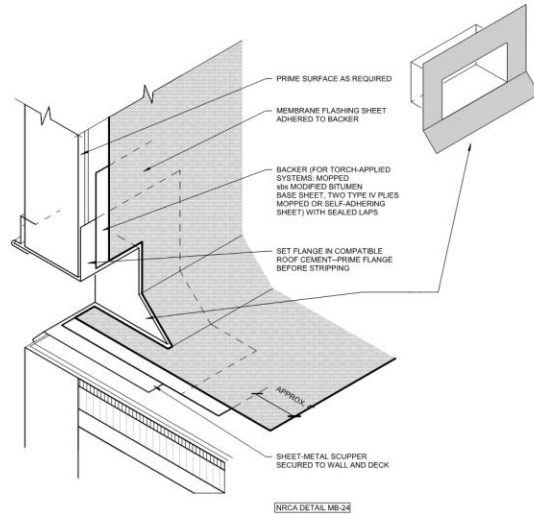
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A-5.00
PICTORIAL VIEW AT BASE FLASHING
1" = 1'-0"



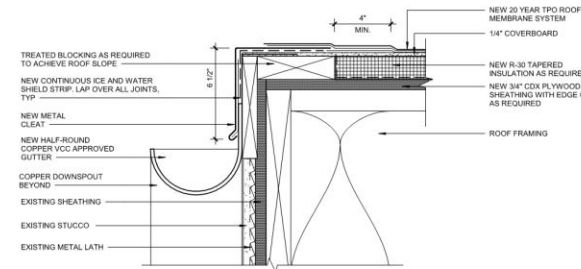
2
A-5.00
PICTORIAL VIEW OF BASE FLASHING AT METAL CURB
1" = 1'-0"



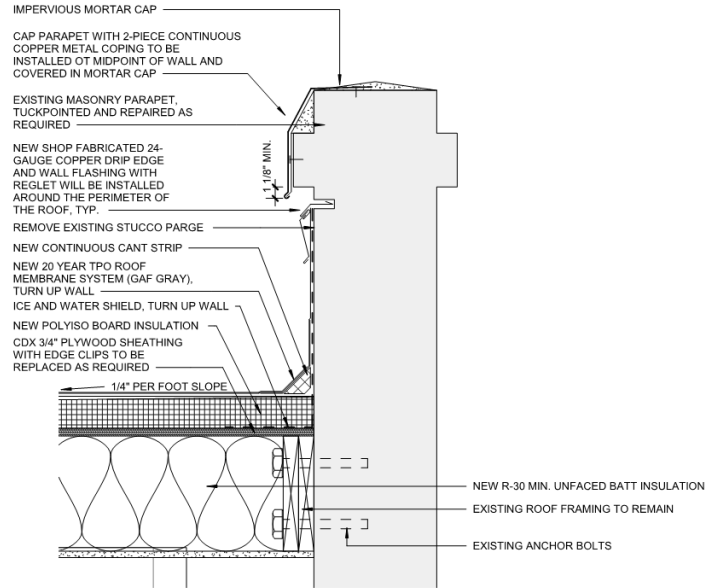
3
A-5.00
SECTION THRU ROOF AT CURB FOR DUCT PENETRATIONS
3" = 1'-0"



4
A-5.00
PICTORIAL VIEW AT SCUPPER
1" = 1'-0"



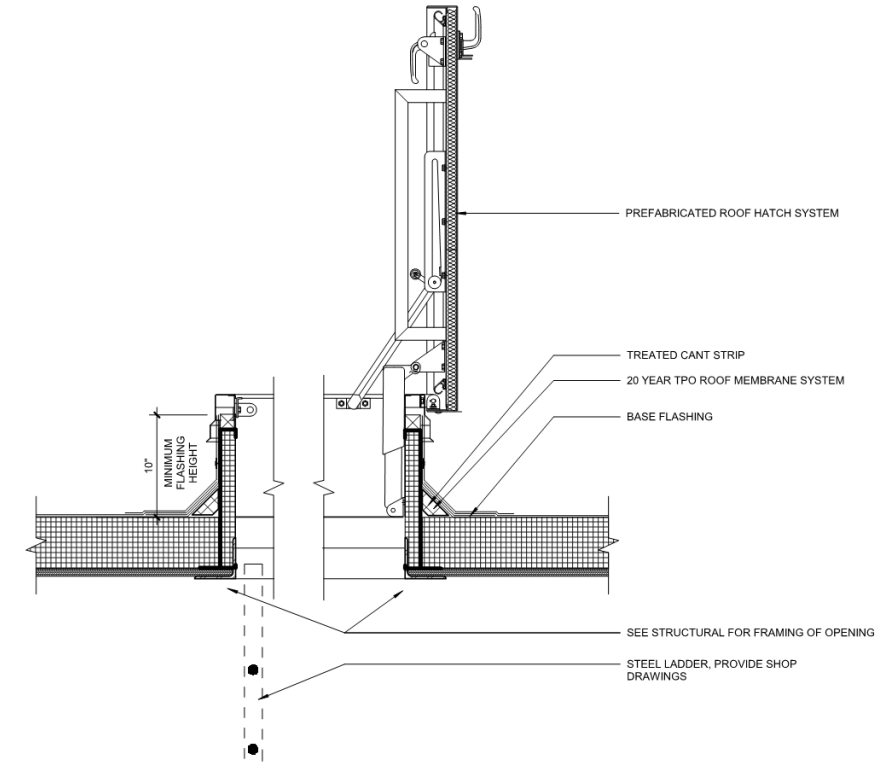
5
A-5.00
TPO ROOF EDGE DETAIL
3" = 1'-0"



1
A-5.01

SECTION AT TPO ROOF AT EXISTING PARAPET - 1130 CHARTRES

1 1/2" = 1'-0"



2
A-5.01

SECTION AT ROOF HATCH

1 1/2" = 1'-0"

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A-5.01

ROOF DETAILS

1130 Chartres

VCC Architectural Committee

March 22, 2022



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Vieux Carré Commission Approved Standard Mortar & Stucco Details

Mortar: No more than:
• 1 part Portland Cement, to
• 3 parts lime, and
• 9 parts sand, and
• enough water to form a workable mix.

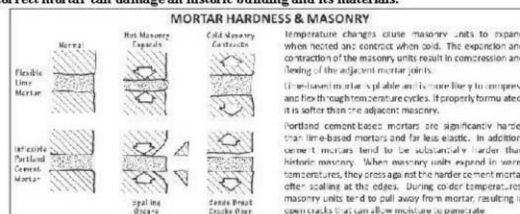
Prepackaged mixes are not permitted.

The resulting mortar should range in color from white to beige but should not be grey in color. When repointing all mortar to be tooled to match existing joint profiles. Consult with VCC staff if existing joint profile indeterminate.

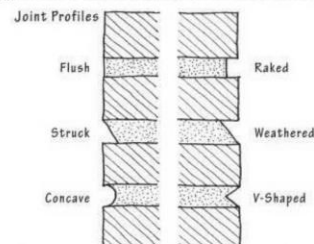
Stucco: Base coat consists of 2 coats, doubled up work of 5/8" total thickness. Proportioned as follows:
• no greater than 1:12 part Portland Cement, to
• 3 parts lime, and
• 9 parts sand,
• 6 lbs/cubic yard hair or fiber, and
• enough water to form a workable mix.

Finish coat is 1/4" in total thickness proportioned as follows:
• No more than 1 Part Portland cement,
• 3 Parts Lime,
• 9 Parts Sand,
• Enough water to form a workable mix.
Prepackaged mixes are not permitted.

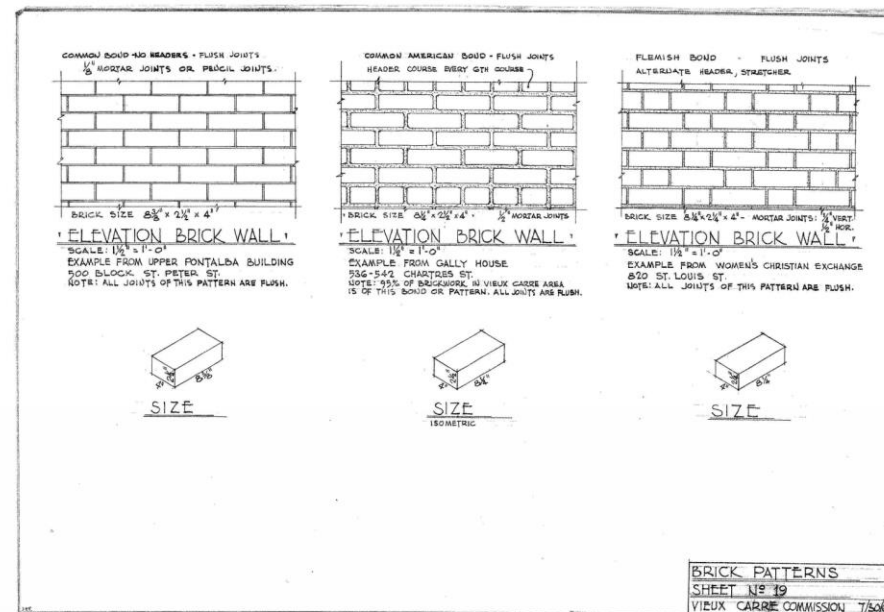
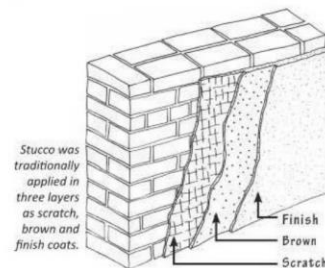
The resulting mix should range in color from white to beige but should not be grey in color.
Note: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12.
An incorrect mortar can damage an historic building and its materials.



1 VCC- MORTAR MIX
A-5.02 NTS



There are numerous joint profile types, or shapes, of mortar joints, each producing different shadow lines and highlights. When repointing an area of masonry, it is important to tool the mortar to match the existing joint profile for a consistent appearance.



2 VCC- BRICK PATTERNS
A-5.02 NTS

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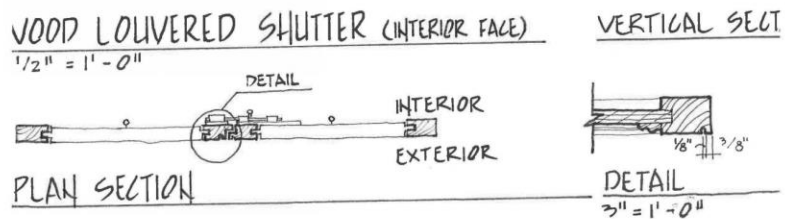
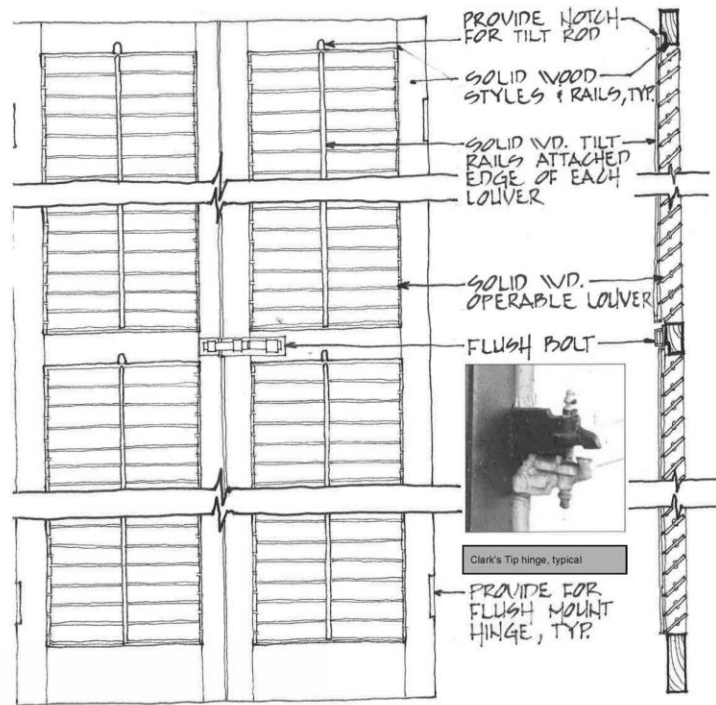
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Interior Demolition Set 08.13.21
Permit Set 09.23.21
Revised Permit Set 11.05.21
Revised Demolition Set 12.16.21
Permit Revisions 01.27.22
Permit Revisions 02.07.22
80% CD 03.02.22
VCC Revisions 03.14.22

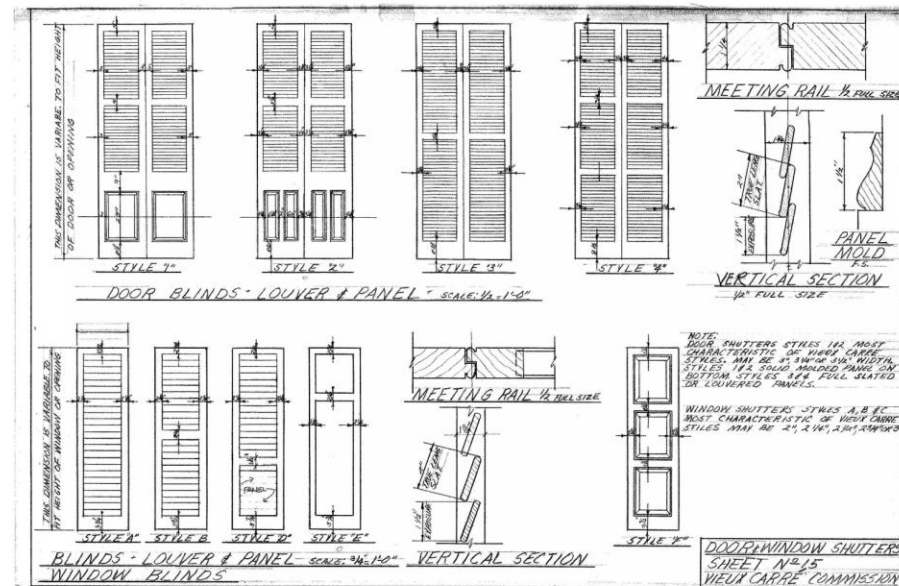
A-5.03

VCC STANDARD
DETAILS - BRICK AND
MORTAR





1
A-5.03
NTS
VCC- LOUVERED SHUTTER DETAIL



2
A-5.03
NTS
VCC- SHUTTER DETAILS

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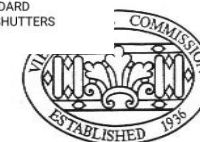
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A-5.04

VCC STANDARD
DETAILS- SHUTTERS



1130 Chartres

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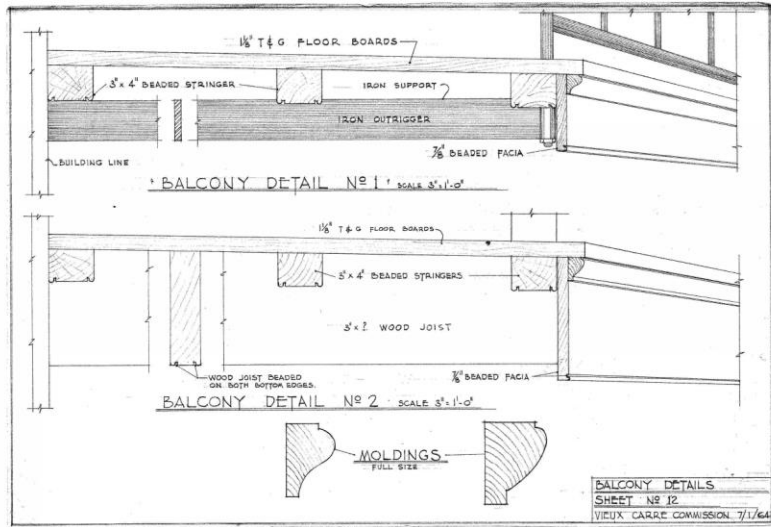
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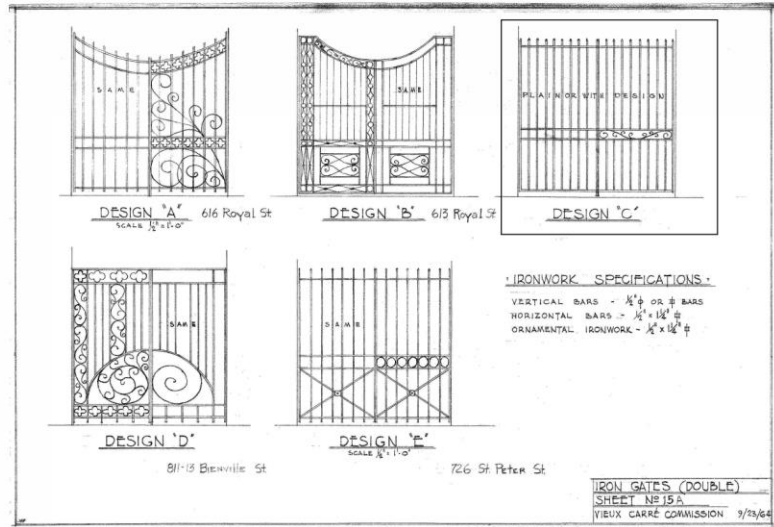
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1
A-5.05
VCC- DORMER DETAILS
NTS



2
A-5.05
VCC- DORMER DETAILS
NTS

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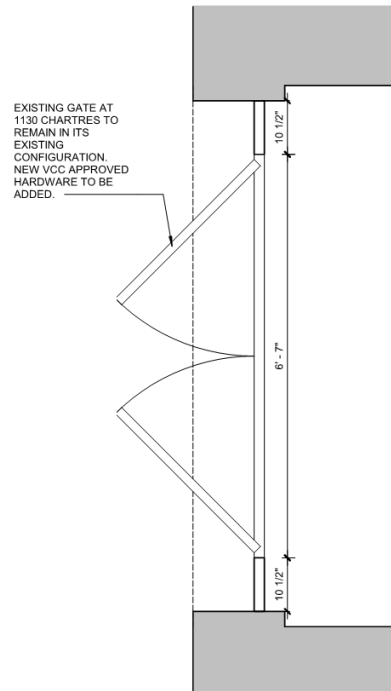
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A-5.06
VCC STANDARD
DETAILS- IRON
BALCONY AND GATES

March 22, 2022

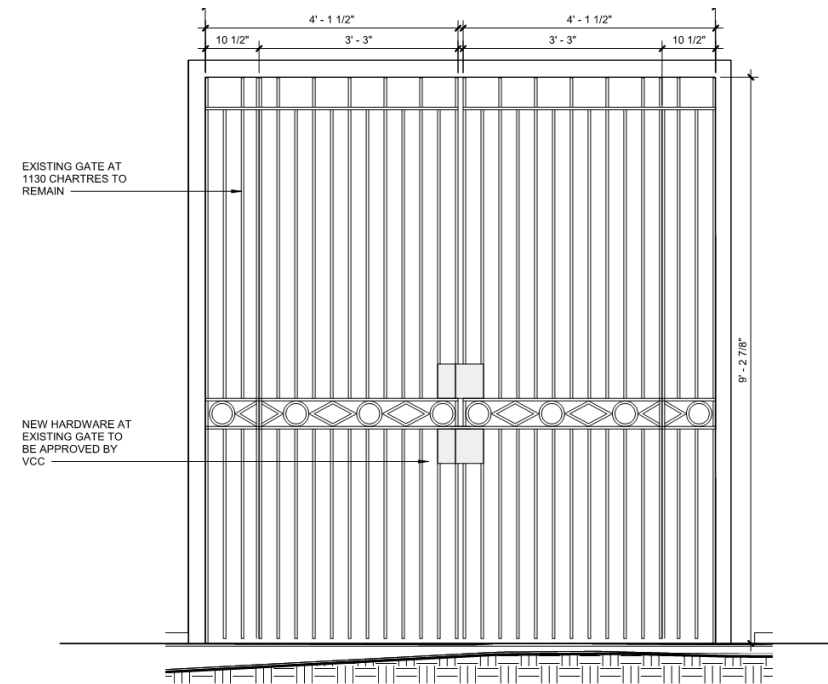




2
A-5.08

1130 CHARTRES ENTRY- PLAN

3/4" = 1'-0"



3
A-5.08

1130 CHARTRES STREET ENTRY GATE

3/4" = 1'-0"

ALBERT ARCHITECTURE

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A-5.08

EXTERIOR GATE/DOOR
DETAILS

lc



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NOTE:

EXTERIOR STEEL GATE DESIGN BASED ON VCC STANDARD DETAILS. GATE ELEVATIONS ARE BEING PROPOSED AND APPROPRIATENESS TO BE DETERMINED BY AHJ. PROPOSED CONFIGURATION FOR BOTH 1130 & 1133 CHARTRES. NEW PROPOSED WOODEN DOORS TO MATCH EXISTING AND NEW WROUGHT IRON GATE BEHIND.



NOTE: YELLOW FLAG INDICATES LOCATION AND HEIGHT OF PROPOSED VRF UNIT

1 PANORAMIC VIEW FACING FRONT PARAPET
A-5.11 NTS



2 VIEW FROM ROOF FACING FRONT PARAPET
A-5.11 NTS



3 VIEW AT FRONT LEFT CORNER - 1130
A-5.11 NTS



4 VIEW AT FRONT RIGHT CORNER - 1130
A-5.11 NTS



5 VIEW AT FRONT RIGHT CORNER - 1130
A-5.11 NTS



NOTE: YELLOW FLAG INDICATES LOCATION AND HEIGHT OF PROPOSED VRF UNIT

1 PANORAMIC VIEW FACING FRONT PARAPET
A-5.11 NTS





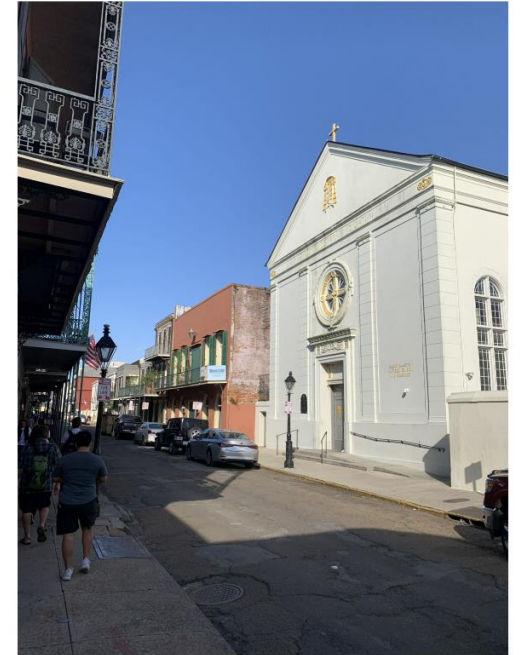
2 VIEW FROM ROOF FACING FRONT PARAPET
A-S.11 NTS



3 VIEW AT FRONT LEFT CORNER - 1130
A-S.11 NTS



4 VIEW AT FRONT RIGHT CORNER - 1130
A-S.11 NTS



5 VIEW AT FRONT RIGHT CORNER - 1130
A-S.11 NTS

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1133 Chartres



1135 Chartres

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1135 Chartres – 1865 Plan Book

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1135 Chartres - 1963
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1135 Chartres – 1865 Plan Book Detail

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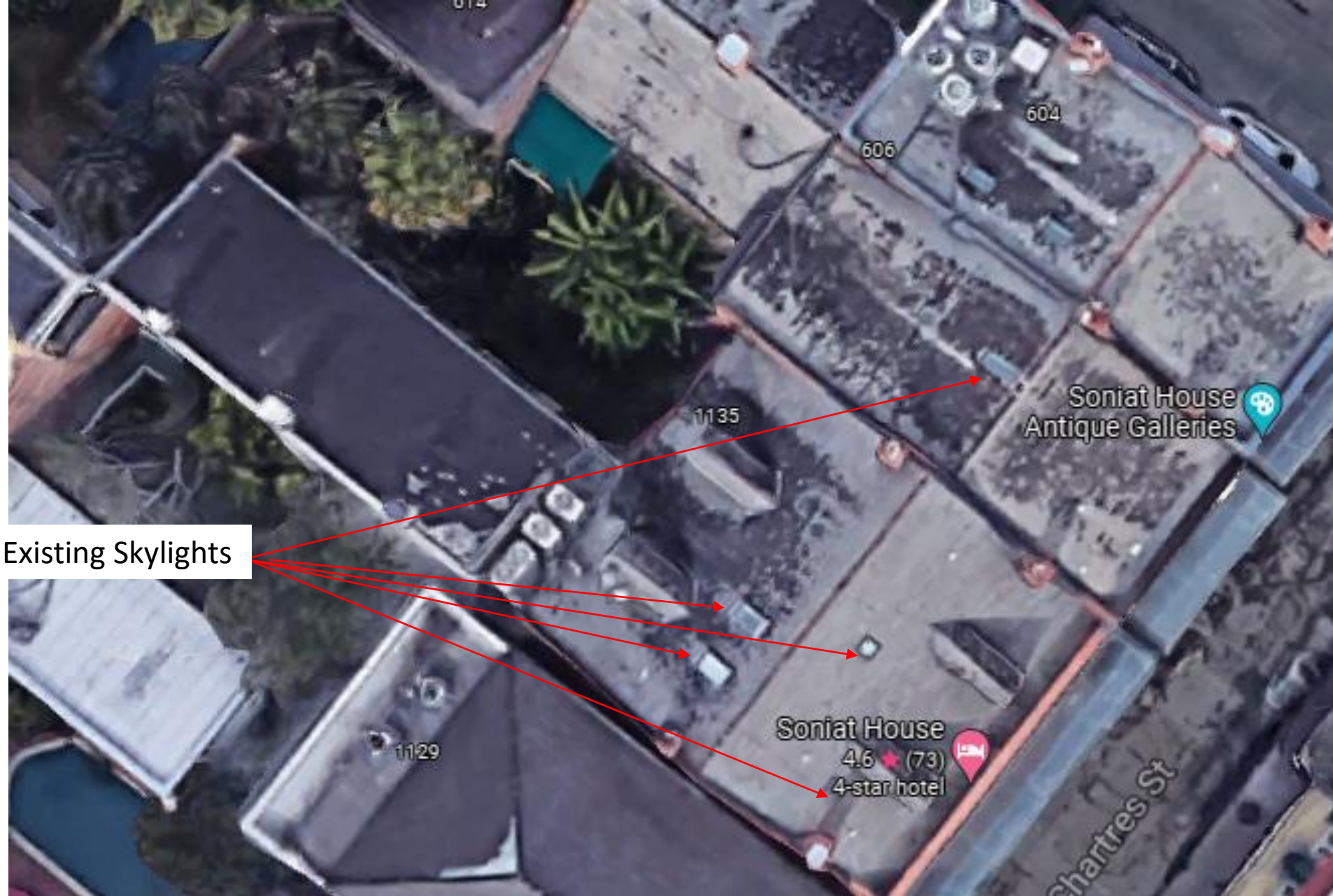
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Existing front slope
skylights

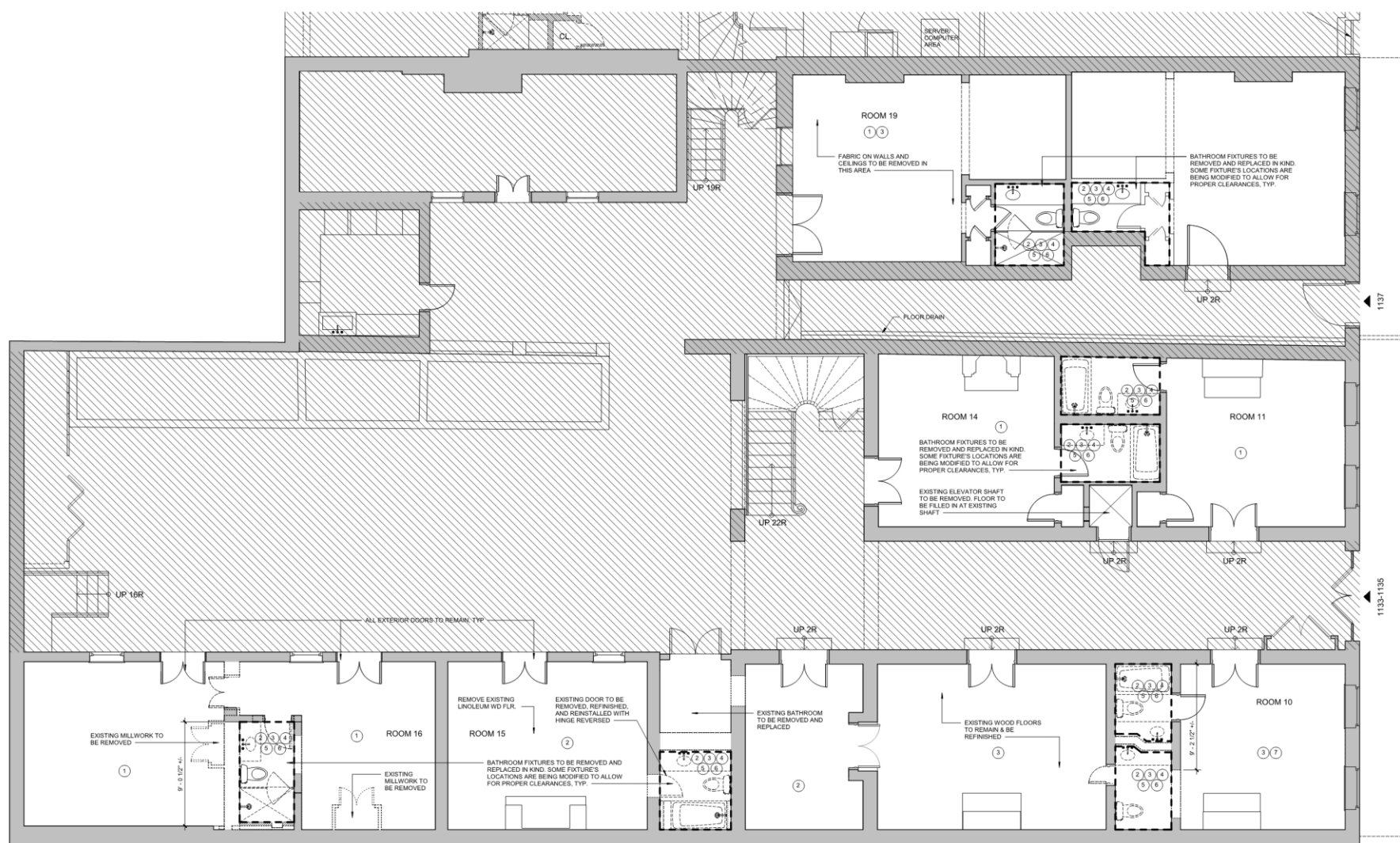


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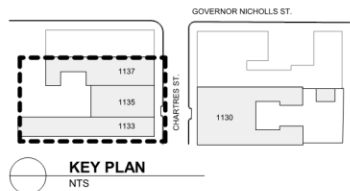


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Checked by: JM

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Revised Demolition Set 12.16.21
Permit Revisions 01.27.22
Permit Revisions 02.07.22
80% CD 03.02.22
VCC Revisions 03.14.22



GENERAL DEMOLITION NOTES

- DOORS, FRAMES, AND CASINGS INDICATED FOR REMOVAL TO BE SALVAGED, STORED, AND PROTECTED FOR REUSE.
- ALL EXISTING HISTORIC ELEMENTS TO REMAIN ARE TO BE COVERED AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.

- REMOVE ALL EXISTING CARPET AND UNDERLAYMENT. TAKE CARE TO NOT DAMAGE EXISTING WOOD FLOORS BELOW.
- REMOVE ALL EXISTING FLOOR FINISHES AND SUBSTRATE.
- REMOVE EXISTING ARCHITECTURAL LIGHTING.
- REMOVE ALL EXISTING MILLWORK.
- REMOVE EXISTING CROWN, CASING BASE AND WALL PANELING. TYP. HISTORIC MOLDING TO BE CAREFULLY REMOVED AND STORED ON SITE.
- REMOVE ALL PLUMBING FIXTURES AND FITTINGS.
- LIGHT EXPLORATORY CEILING DEMO TO VISUALLY INSPECT EXISTING FLOOR STRUCTURE.

GRAPHIC LEGEND - DEMOLITION

- INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK.
- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN.
- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED.
- INTERIOR FINISHES TO BE REMOVED.



D-1.00

INTERIOR DEMO-FIRST
FLOOR- 1133-1137
CHARTRES



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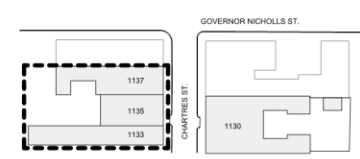
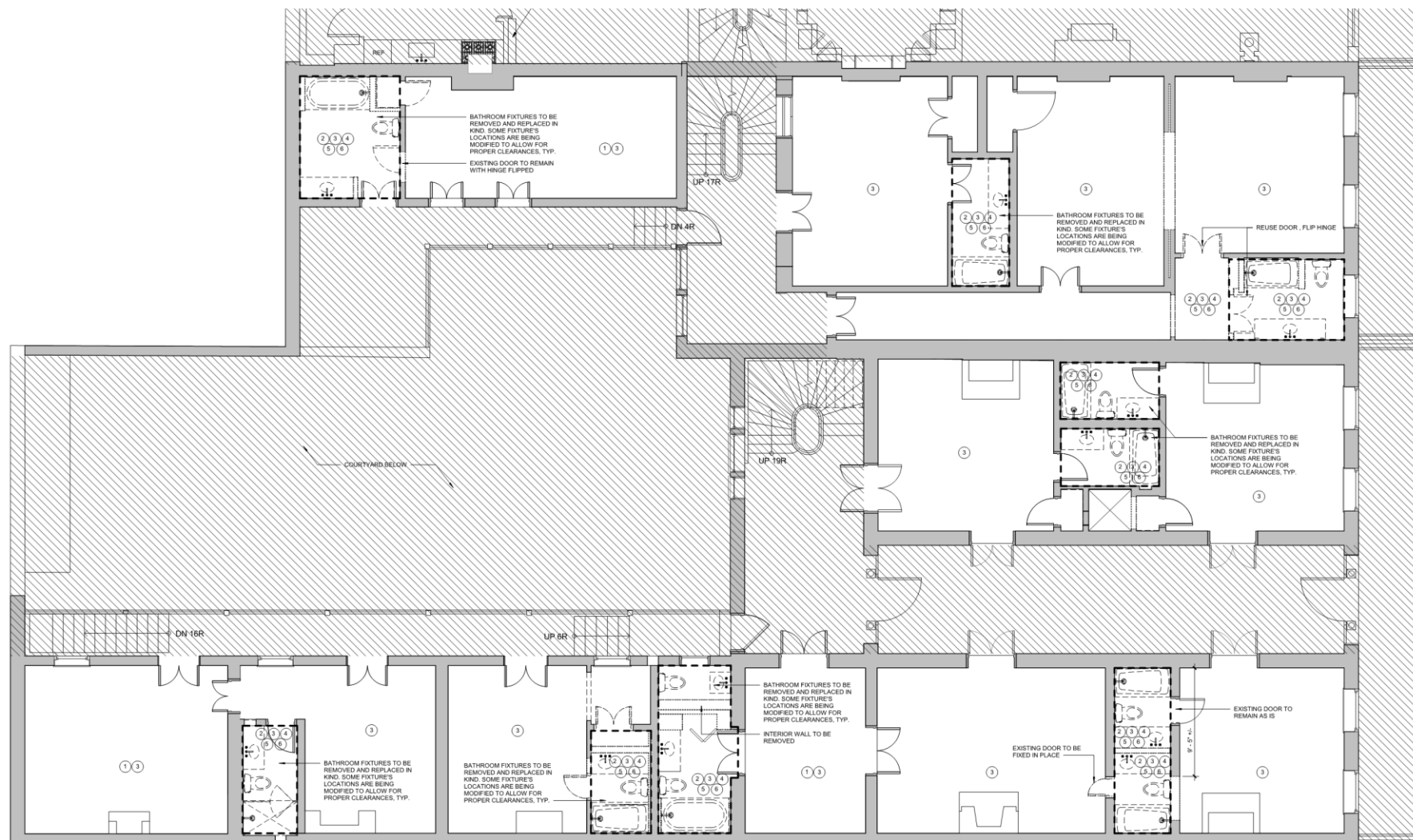
Permit Revisions 02.07.22

80% CD 03.02.22

VCC Revisions 03.14.22

D-1.02

INTERIOR
DEMO-SECOND FLOOR-
1133-1137 CHARTRES



KEY PLAN
NTS

GENERAL DEMOLITION NOTES

- DOORS, FRAMES, AND CASINGS INDICATED FOR REMOVAL TO BE SALVAGED, STORED, AND PROTECTED FOR REUSE.
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- LIGHT EXPLORATORY CEILING DEMO TO VISUALLY INSPECT EXISTING FLOOR STRUCTURE.

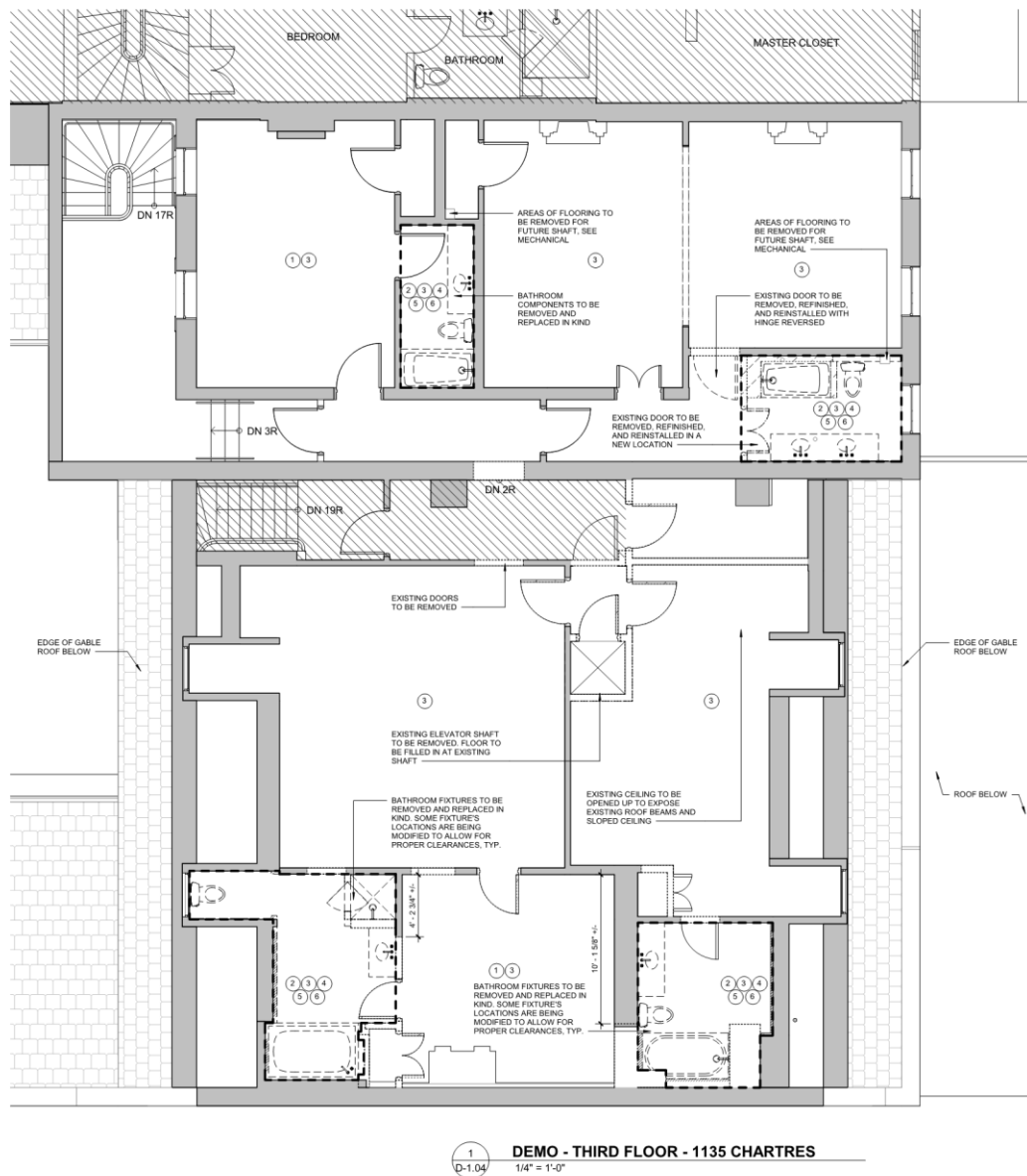
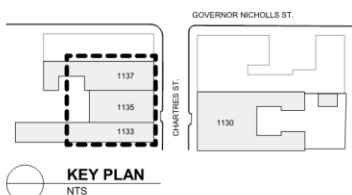
GRAPHIC LEGEND - DEMOLITION

- INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK.
- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN.
- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED.
- INTERIOR FINISHES TO BE REMOVED.



1135 Chartres

VCC Architectural Committee



GENERAL DEMOLITION NOTES

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1. REMOVE ALL EXISTING CARPET AND UNDERLAYMENT. TAKE CARE TO NOT DAMAGE EXISTING WOOD FLOORS BELOW.
2. REMOVE ALL EXISTING FLOOR FINISHES AND SUBSTRATE.
3. REMOVE EXISTING ARCHITECTURAL LIGHTING.
4. REMOVE ALL EXISTING MILLWORK.
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6. REMOVE ALL PLUMBING FIXTURES AND FITTINGS.
7. LIGHT EXPLORATORY CEILING DEMO TO VISUALLY INSPECT EXISTING FLOOR STRUCTURE.

GRAPHIC LEGEND - DEMOLITION	
	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK
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	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
	INTERIOR FINISHES TO BE REMOVED

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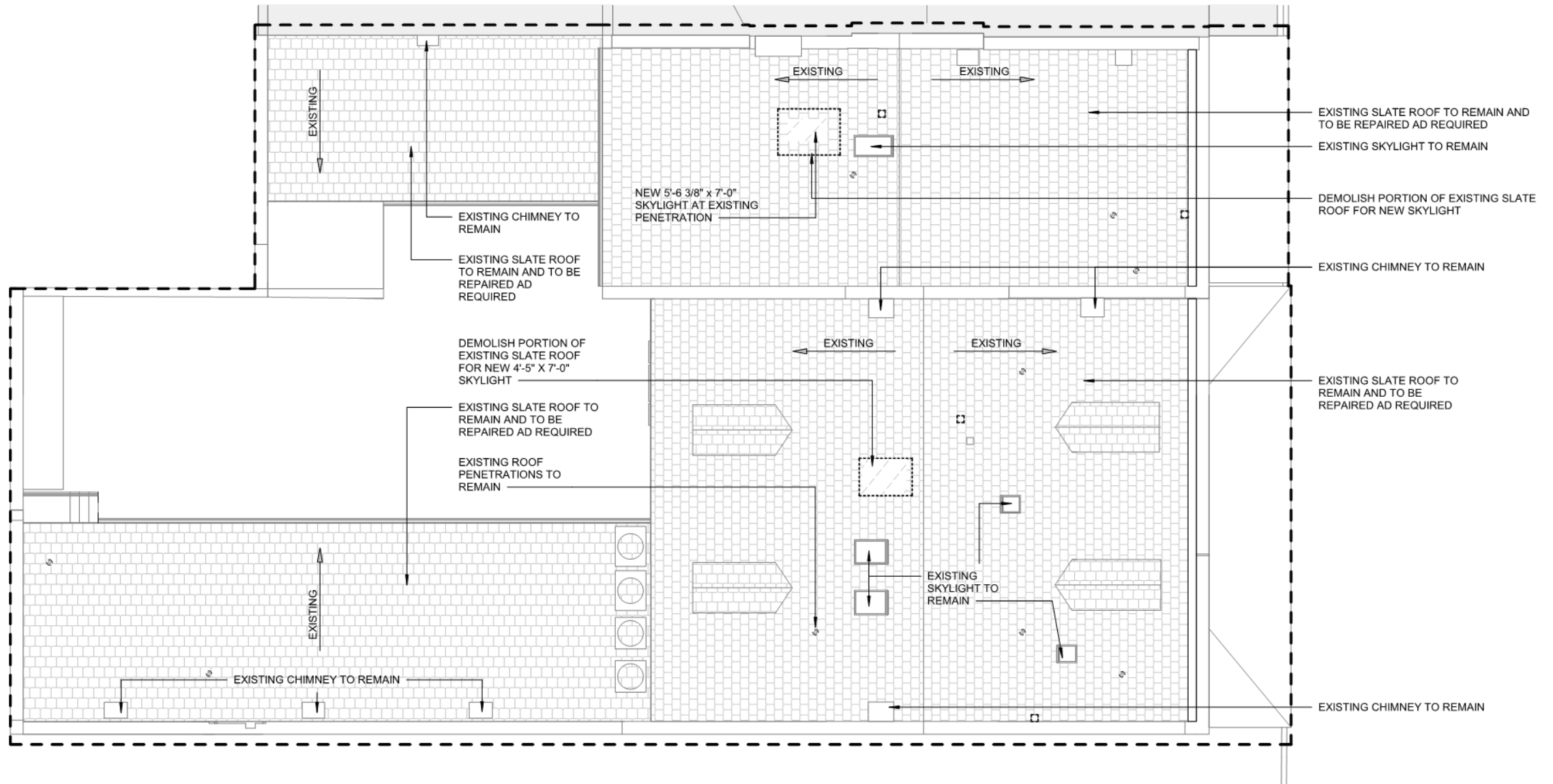
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INTERIOR DEMO-THIRD
FLOOR-1133-1137
CHARTRES

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1
D-1.05

ROOF PLAN - 1133-1135 DEMO

1/8" = 1'-0"

D-1.05

DEMO - ROOF -
1130-1135

1135 Chartres

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March 22, 2022



**CLARIFICATION OF
RENOVATION GRAPHICS**

PERTAINING TO SITE PLAN

PROPERTY LINE

BUILDING - IN SCOPE

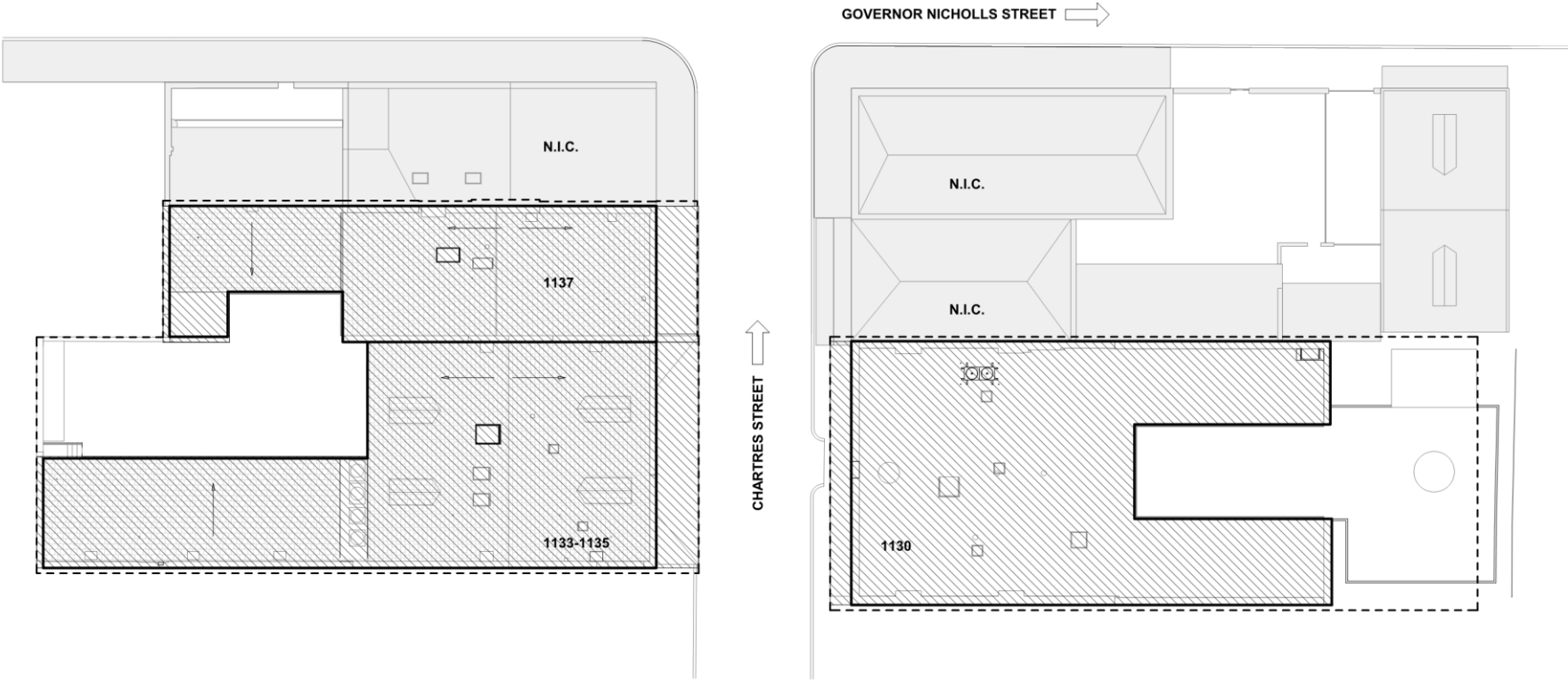
BUILDING - NOT IN SCOPE

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Checked by:

AP

JM

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1
A-1.00

SITE PLAN
1" = 10'-0"

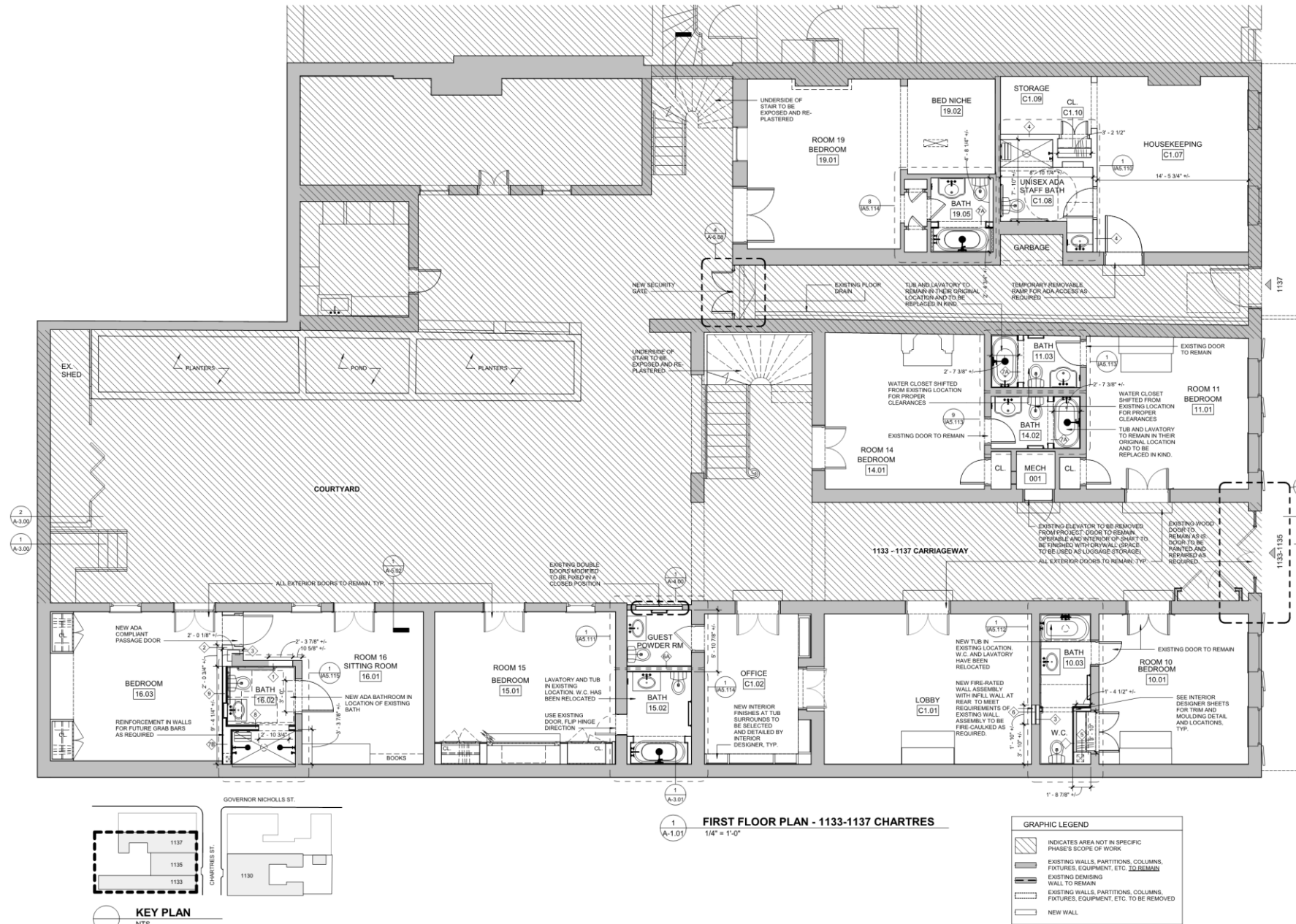


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SITE PLAN

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FIRST FLOOR PLAN -
1133-1137 CHARTRES
STREET



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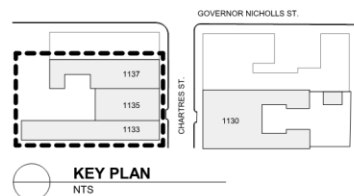
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80% CD	03.02.22
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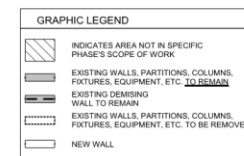
SECOND FLOOR PLAN -
1133 - 1137 CHARTRES



1
A-1.03

SECOND FLOOR PLAN - 1133-1137 CHARTRES

1/4" = 1'-0"



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SONIAT HOUSE

1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109

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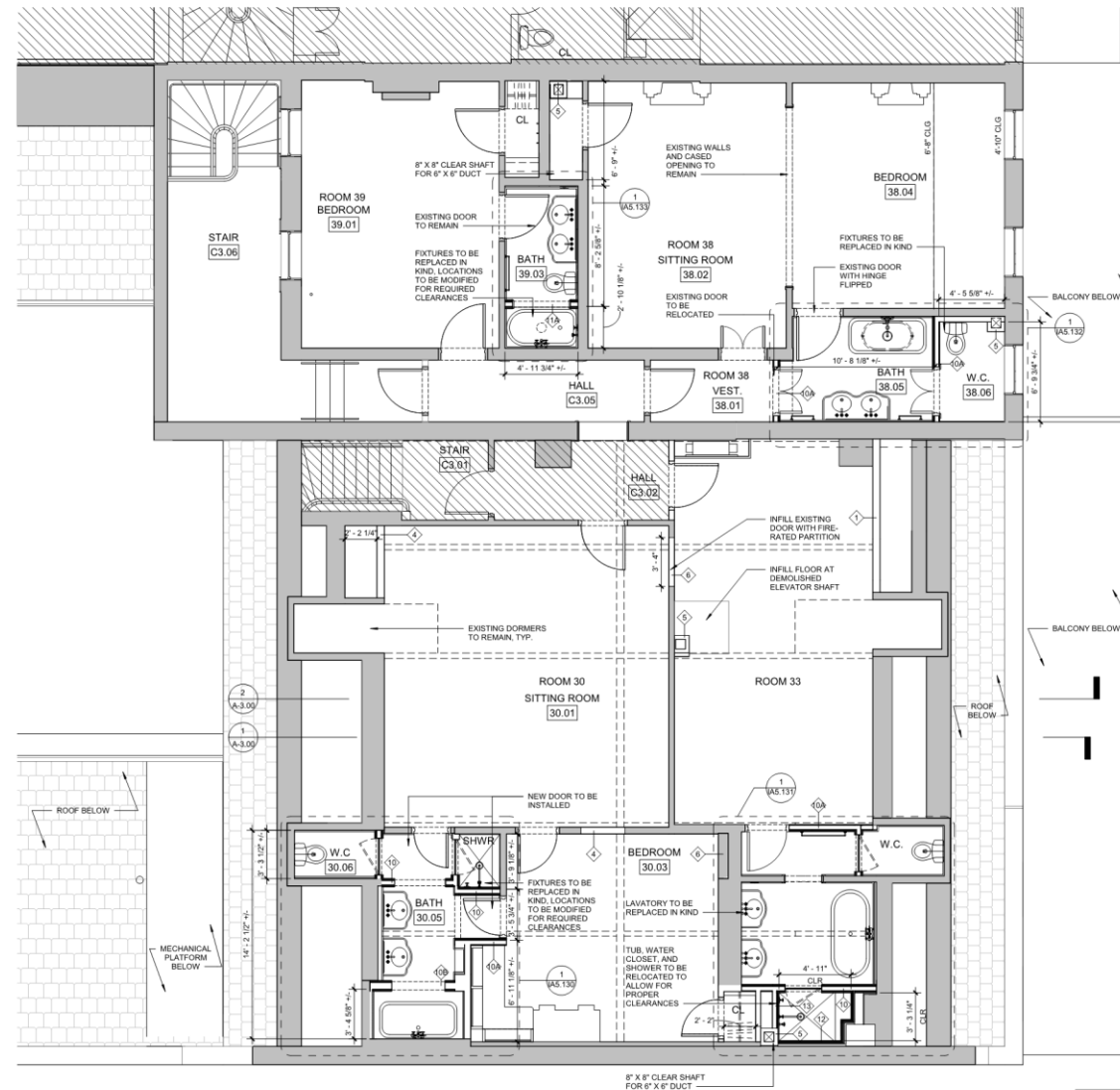
03.14.22

Drawn by: AP
Checked by: JM

Interior Demolition Set	08.13.21
Permit Set	09.23.21
Revised Permit Set	11.05.21
Revised Demolition Set	12.16.21
Permit Revisions	01.27.22
Permit Revisions	02.07.22
80% CD	03.02.22
VCC Revisions	03.14.22

A-1.05

THIRD FLOOR PLAN -
1133 - 1137 CHARTRES

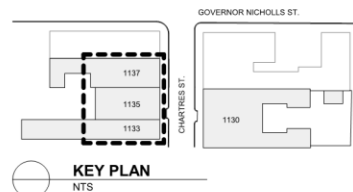


03 THIRD FLOOR - 1133-1137 CHARTRES
1/4" = 1'-0"

GRAPHIC LEGEND	
	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
	EXISTING DEMISING WALL TO REMAIN
	EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
	NEW WALL



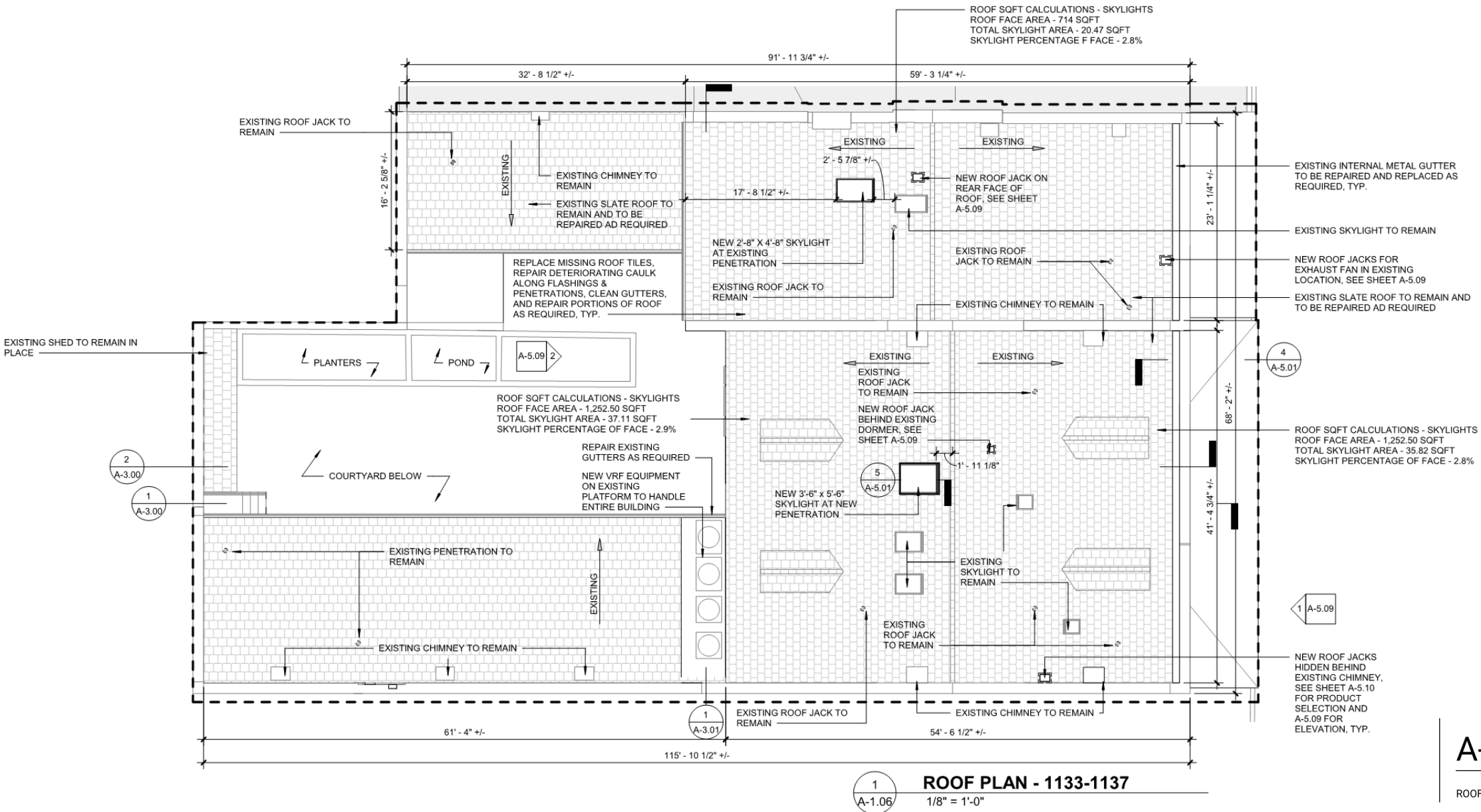
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A-1.06

ROOF PLAN

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1
A-2.00

1133-1137 CHARTRES STREET ELEVATION

3/16" = 1'-0"

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A-2.00

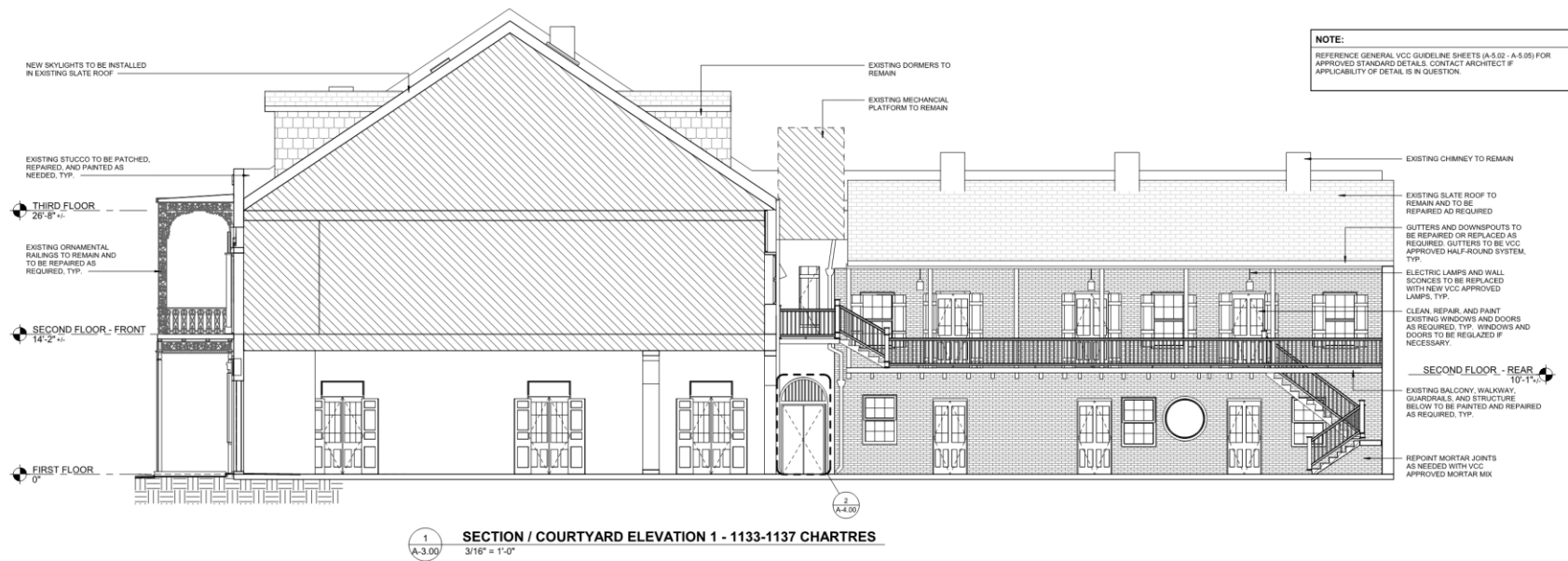
EXTERIOR ELEVATIONS

1135 Chartres

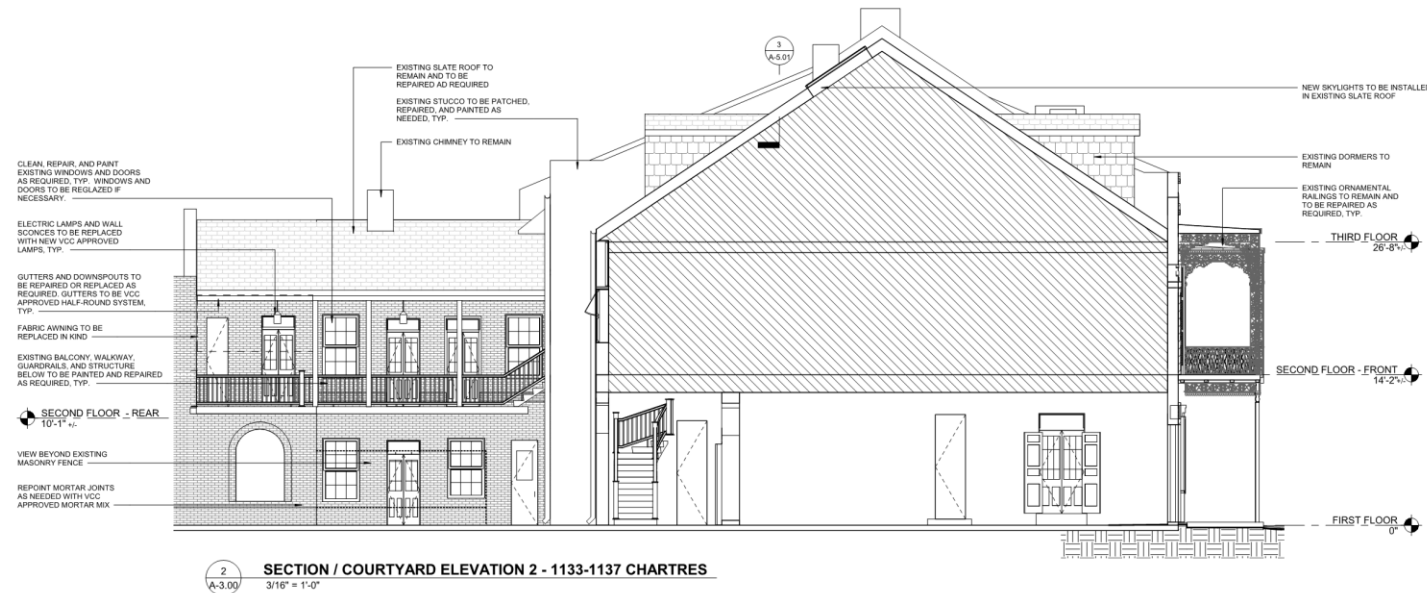
VCC Architectural Committee

March 22, 2022





SECTION / COURTYARD ELEVATION 1 - 1133-1137 CHARTRES
3/16" = 1'-0"



SECTION / COURTYARD ELEVATION 2 - 1133-1137 CHARTRES
3/16" = 1'-0"

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Permit Revisions	02.07.22
80% CD	03.02.22
VCC Revisions	03.14.22

A-3.00

SECTIONS



1
A-3.01

SECTION / REAR ELEVATION 3 - 1133-1137 CHARTRES

3/16" = 1'-0"

plc

A-3.01

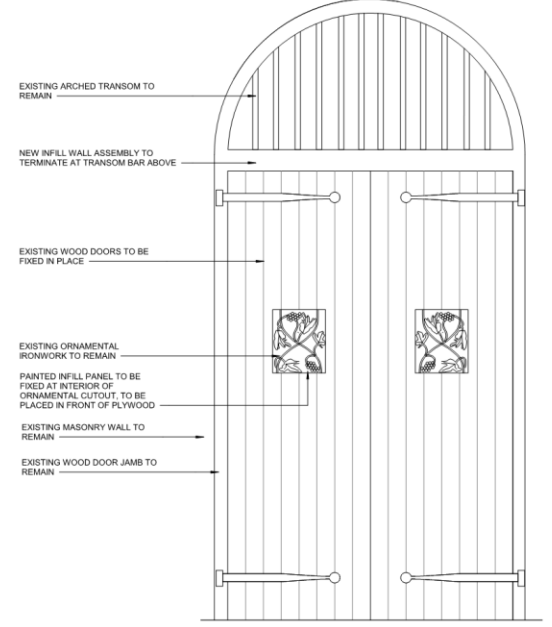
SECTIONS 2

1135 Chartres

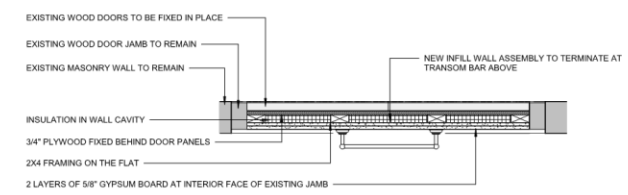
VCC Architectural Committee

March 22, 2022





2
A-4.00
ELEVATION AT HISTORIC DOOR- 1133-1137 CHARTRES
1" = 1'-0"



1
A-4.00
INFILL AT HISTORIC DOOR- 1133-1137 CHARTRES
1" = 1'-0"

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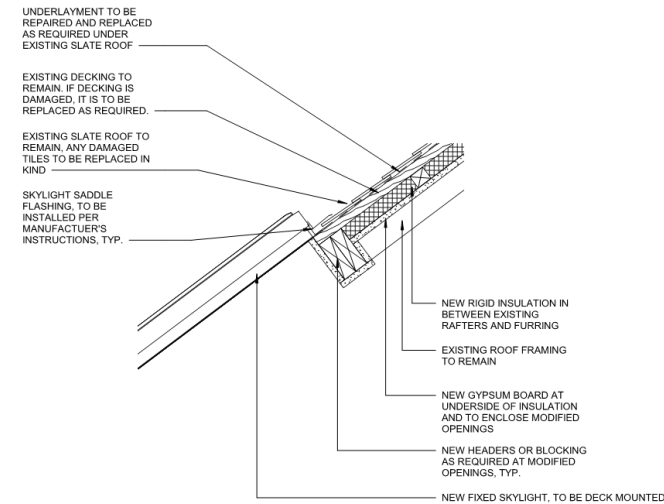
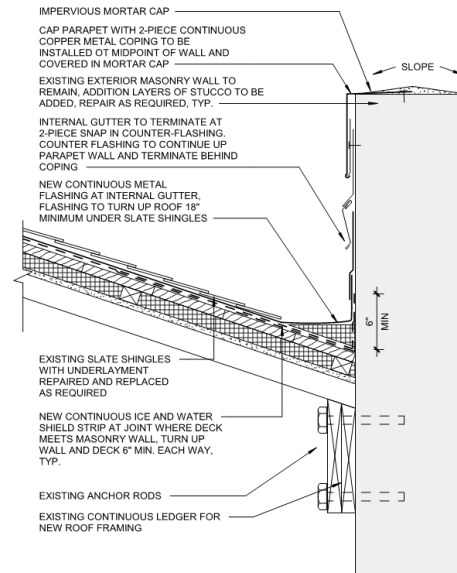
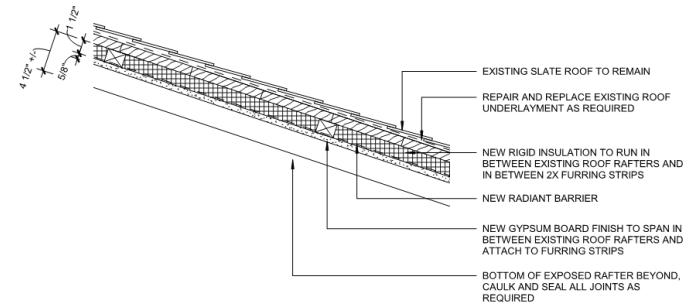
03.14.22
Drawn by: AP
Checked by: JM

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Permit Revisions	02.07.22
80% CD	03.02.22
VCC Revisions	03.14.22

A-4.00

ENLARGED
PLAN/DETAILS





3
A-5.01
SECTION AT NEW INSULATION AT SLATE ROOF - 1133 CHARTRES
1 1/2" = 1'-0"

4
A-5.01
SECTION THRU INTERNAL GUTTER - 1133 CHARTRES
1 1/2" = 1'-0"

5
A-5.01
SECTION THRU NEW SKYLIGHT
1 1/2" = 1'-0"

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Revised Permit Set 11.05.21

Revised Demolition Set 12.16.21

Permit Revisions 01.27.22

Permit Revisions 02.07.22

80% CD 03.02.22

VCC Revisions 03.14.22

A-5.01

ROOF DETAILS

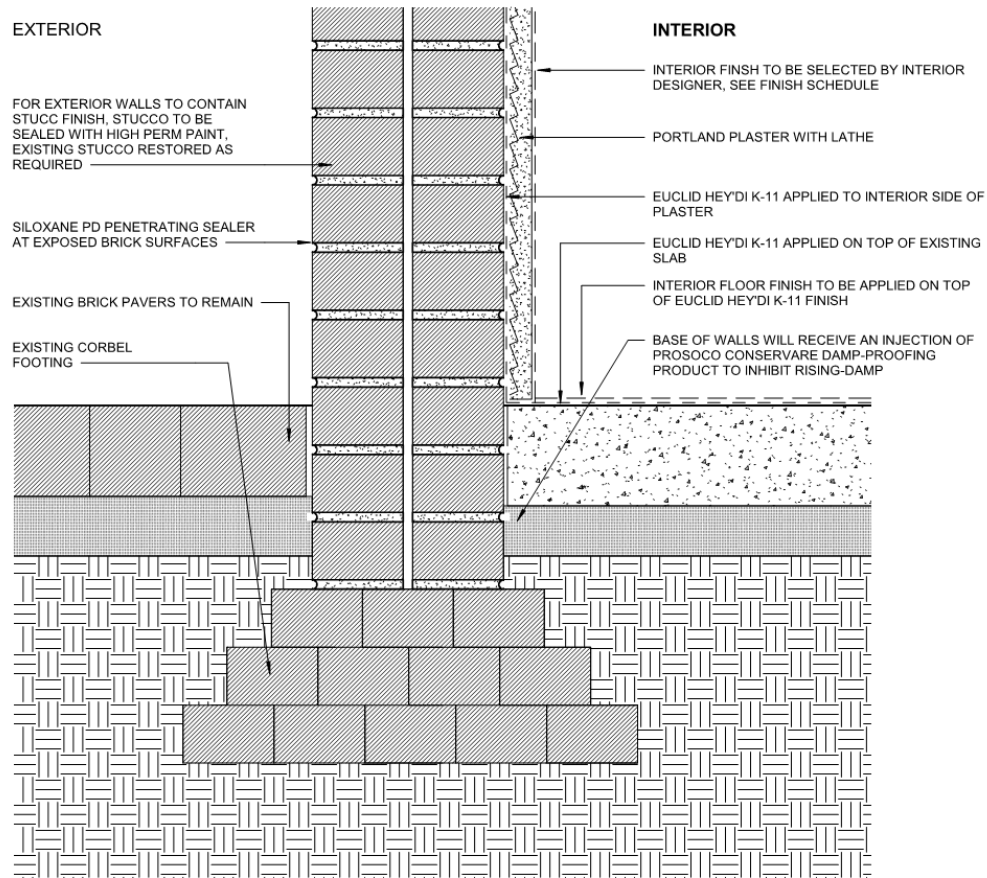
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1
A-5.02

DAMP-PROOFING AT COURTYARD WALLS - 1133 CHARTRES

3" = 1'-0"

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A-5.02

EXTERIOR DETAILS

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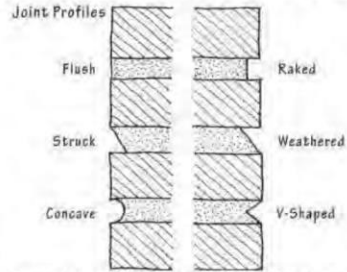
Vieux Carré Commission Approved Standard Mortar & Stucco Details

Mortar: No more than:

- 1 part Portland Cement, to
- 3 parts lime,
- 9 parts sand, and
- enough water to form a workable mix.

Prepackaged mixes are not permitted.

The resulting mortar should range in color from white to beige but should not be grey in color. When repointing all mortar to be tooled to match existing joint profiles. Consult with VCC staff if existing joint profile indeterminate.



There are numerous joint profile types, or shapes, of mortar joints, each producing different shadow lines and highlights. When repointing an area of masonry, it is important to tool the mortar to match the existing joint profile for a consistent appearance.

Stucco: Base coat consists of 2 coats, doubled up work of 5/8" total thickness. Proportioned as follows:

- no greater than 1:12 part Portland Cement, to
- 3 parts lime, and
- 9 parts sand,
- 6 lbs/cubic yard hair or fiber, and
- enough water to form a workable mix.

Finish coat is 1/4" in total thickness proportioned as follows:

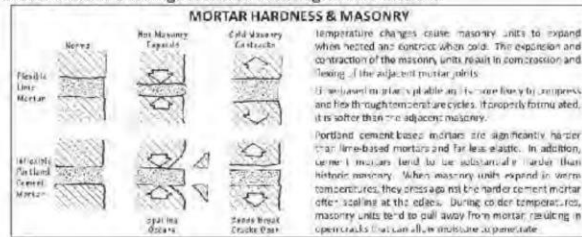
- No more than 1 Part Portland cement,
- 3 Parts Lime,
- 9 Parts Sand,
- Enough water to form a workable mix.

Prepackaged mixes are not permitted.

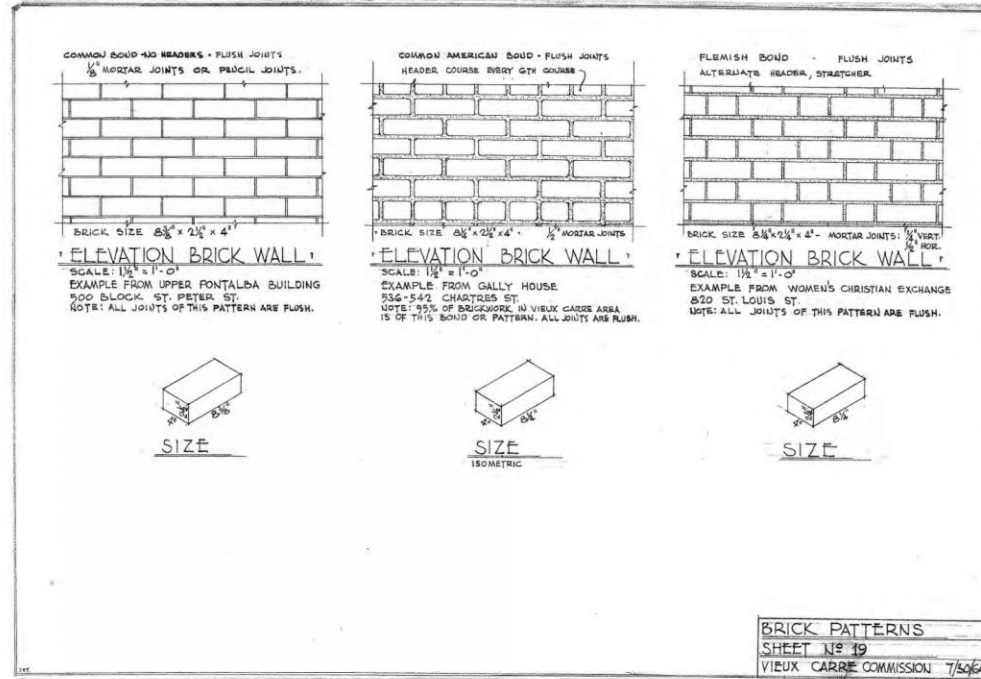
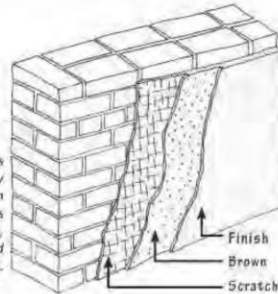
The resulting mix should range in color from white to beige but should not be grey in color.

Note: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12.

An incorrect mortar can damage an historic building and its materials.



Stucco was traditionally applied in three layers as scratch, brown and finish coats.



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A-5.03

VCC STANDARD
DETAILS - BRICK AND
MORTAR



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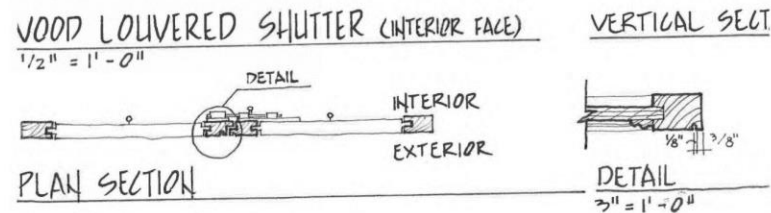
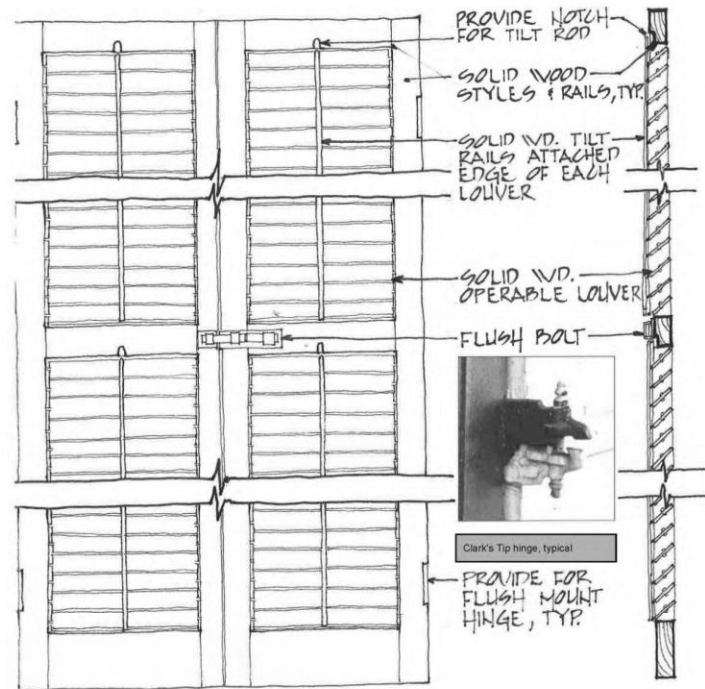
1135 Chartres

VCC Architectural Committee

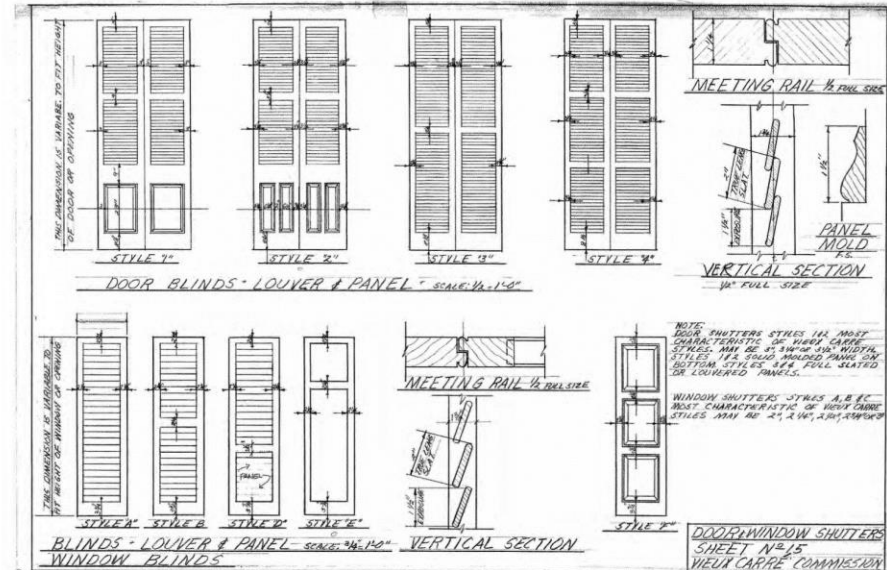
March 22, 2022

1 VCC- MORTAR MIX
A-5.02 NTS

2 VCC- BRICK PATTERNS
A-5.02 NTS



1 VCC- LOUVERED SHUTTER DETAIL
A-5.03 NTS



2 VCC- SHUTTER DETAILS
A-5.03 NTS

NOTE:
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DETERMINED ON A CASE BY CASE BASIS. IF APPLICABILITY IS IN
QUESTION, CONTACT ARCHITECT

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ARCHITECTURE

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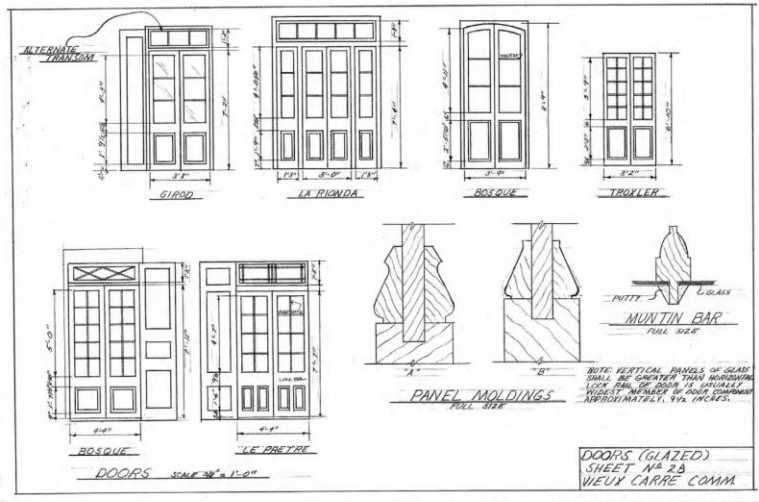
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80% CD	03.03.22
VCC Revisions	03.14.22

A-5.04

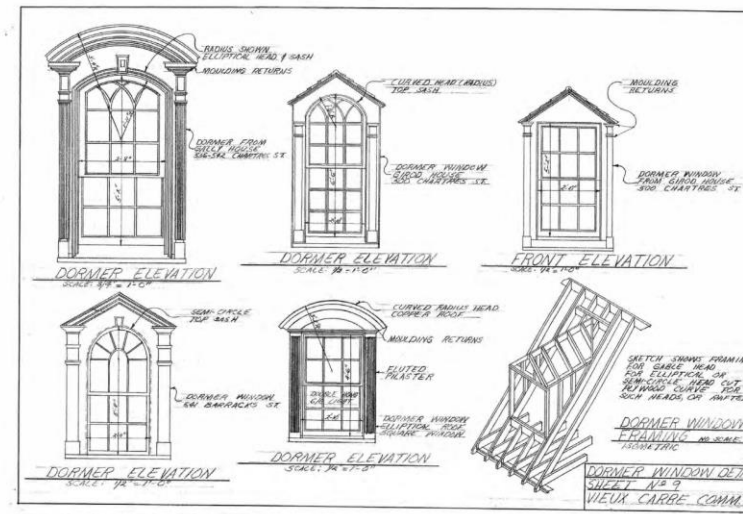
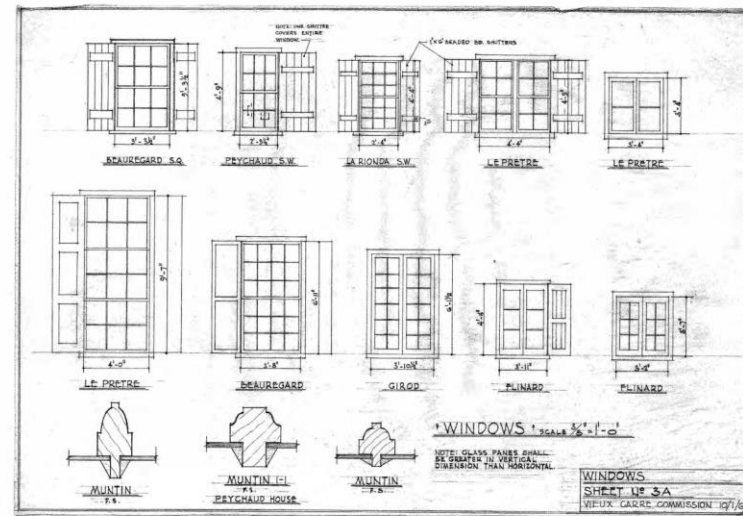
VCC STANDARD
DETAILS- SHUTTERS

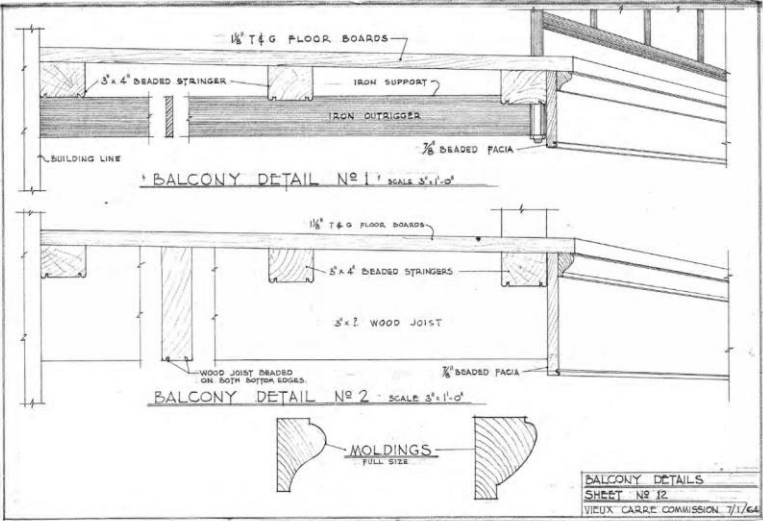
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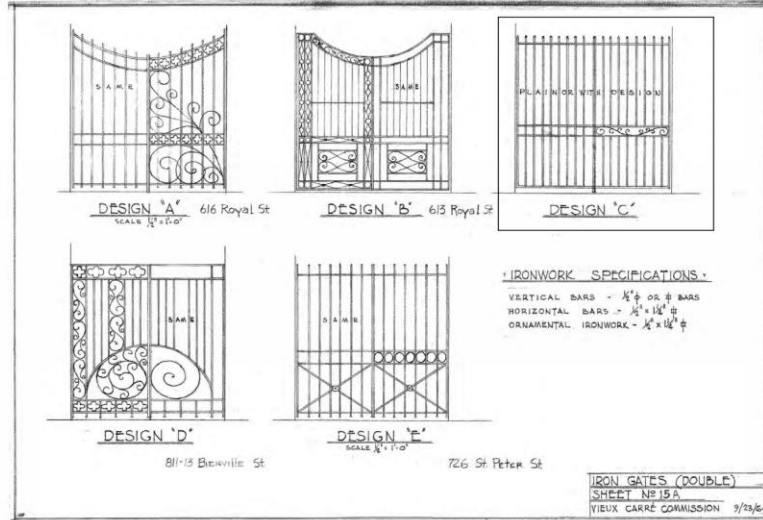


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1 VCC- DORMER DETAILS
A-5.05 NTS



2 VCC- DORMER DETAILS
A-5.05 NTS

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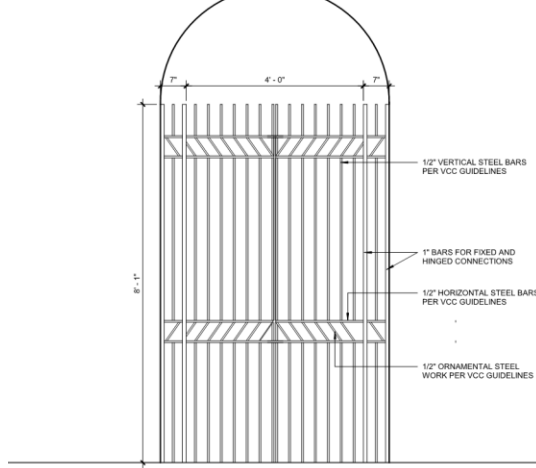
03.14.22
Drawn by: AP
Checked by: JM

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A-5.06
VCC STANDARD
DETAILS- IRON
BALCONY AND GATES

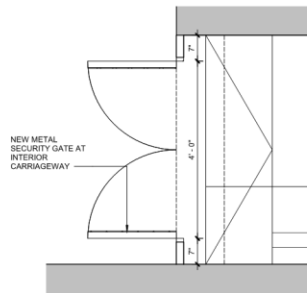
March 22, 2022



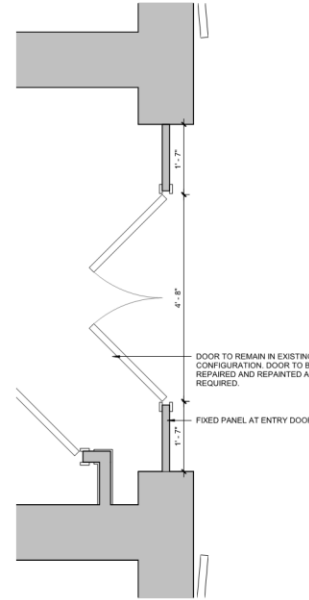


1
A-5.08
INTERIOR SECURITY GATE- 1133-1137 CHARTRES
3/4" = 1'-0"

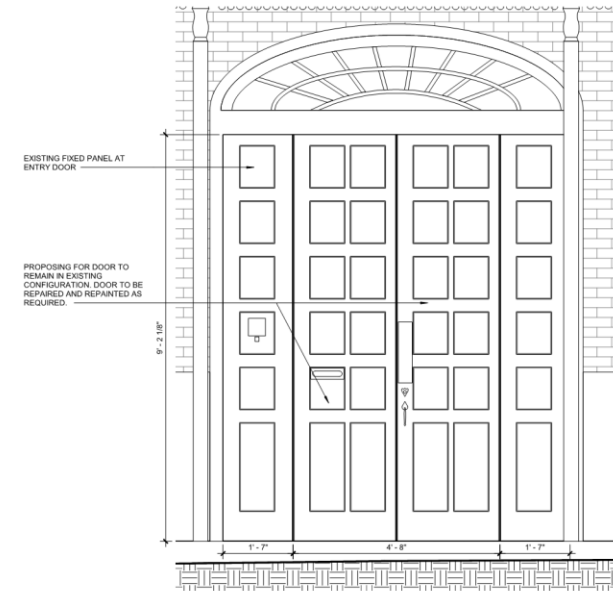
NOTE:
EXTERIOR STEEL GATE DESIGN BASED ON VCC STANDARD DETAILS. GATE ELEVATIONS ARE BEING PROPOSED AND APPROPRIATENESS TO BE DETERMINED BY AHJ. PROPOSED CONFIGURATION FOR BOTH 1130 & 1133 CHARTRES. NEW PROPOSED WOODEN DOORS TO MATCH EXISTING AND NEW WROUGHT IRON GATE BEHIND.



4
A-5.08
SECURITY GATE AT 1133-1137 CHARTRES
3/4" = 1'-0"



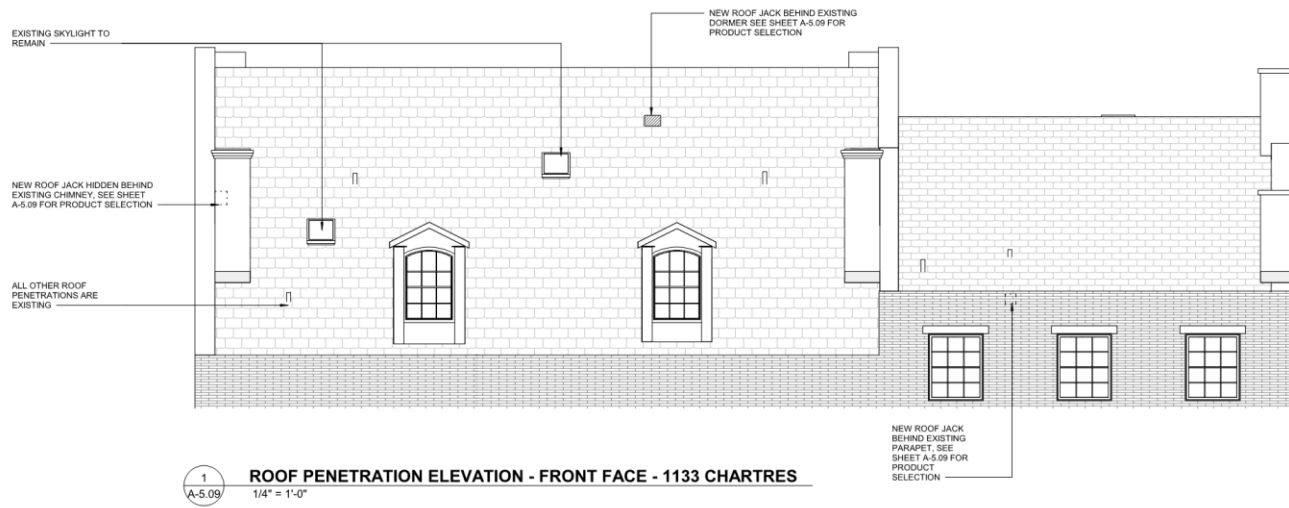
5
A-5.08
FIRST FLOOR - 1135 CHARTRES ENTRY-PLAN
3/4" = 1'-0"



6
A-5.08
1133-1137 CHARTRES STREET -ENTRY DOOR
3/4" = 1'-0"

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A-5.09

ELEVATION OF ROOF
PENETRATIONS

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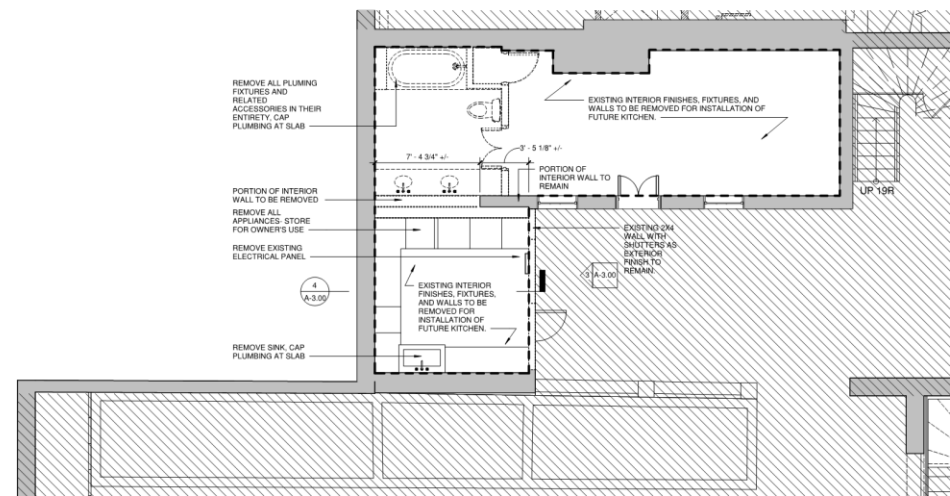
1135 Chartres

VCC Architectural Committee

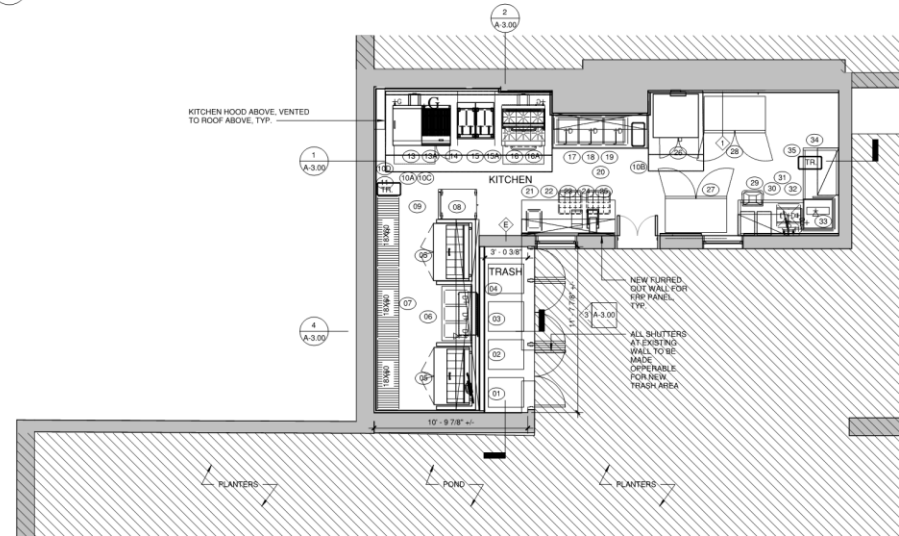
March 22, 2022



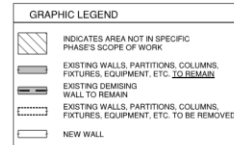
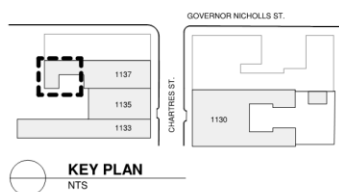
EQUIPMENT SCHEDULE			
NO	QTY	DESCRIPTION	REMARKS
01	1 LOT	POS SYSTEM	BY OWNER
02	1	DISH-UP COUNTER	—
03	1	HEAT LAMP	—
04	1	PASS SHELVES/STORAGE SHELVES	—
05	2	REFRIGERATED WORKSTATION	—
06	1	HOT FOOD COUNTER	—
07	1 LOT	DRY STORAGE SHELVING	—
08	1	HEATED HOLDING CABINET	—
09	—	SPARE NUMBER	—
10A	1	EXHAUST HOOD	—
10B	1	EXHAUST HOOD	—
10C	1 LOT	FAN/CURB PACKAGE	—
10D	1 LOT	FAN CONTROL PANEL	WALL MOUNT
11	1 LOT	FIRE SUPPRESSION SYSTEM	WALL MOUNT
13	1	GRIDDLE/CHARBROILER/CONV. OVEN	—
13A	1	GAS QUICK DISCONNECT	—
14	1 LOT	S/S WALL PANELS	—
15	2	FRYERS	—
15A	1	GAS QUICK DISCONNECT	—
16	1	6 BURNER RANGE/CONV OVEN	W/ SALAMANDER
16A	1	GAS QUICK DISCONNECT	—
17	1	3 COMP SINK/PREP COUNTER	CUTTING BOARD SINK COVERS
18	2	FAUCETS	SPLASH MOUNT
19	2	OVERSHELVES	WALL MOUNT
20	—	SPARE NUMBER	—
21	1	FAUCET	—
22	1	BEVERAGE COUNTER	—
23	2	OVERSHELVES	WALL MOUNTED
24	1	COFFEE BREWER	—
25	1	TEA BREWER	—
26	1	COMBI OVEN	—
27	1	REACH-IN REFRIGERATOR	—
28	1	REACH-IN FREEZER	—
29	1	RACK SHELF W/SILVER SOAK BRKTS	WALL MOUNT
30	1	SOILED DISHTABLE	—
31	1	PRE-RINSE FAUCET	—
32	1	GARBAGE DISPOSER	—
33	1	DISHWASHER	—
34	1	CLEAN DISHTABLE	—
35	1	RACK SHELF	WALL MOUNT



1 DEMO - KITCHEN- 1133-1137 CHARTRES
1/4" = 1'-0"



2 PROPOSED KITCHEN LAYOUT - 1133-1137 CHARTRES
1/4" = 1'-0"



SONIAT HOUSE

Phase II
1130, 1133 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109

03.14.22

Drawn by: AP
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Interior Demolition Set 08.13.21

Permit Set 09.23.21

Phase II - Kitchen Layout 10.08.21

Phase II - Revisions 01.07.21

Phase II 03.02.22

VCC Update 03.14.22

A-1.01

KITCHEN LAYOUT -
1133-1137 CHARTRES
STREET



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March 22, 2022

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SONIAT HOUSE

Phase II
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03.14.22

Drawn by: AP
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Interior Demolition Set 08.13.21

Permit Set 09.23.21

Phase II 10.27.21

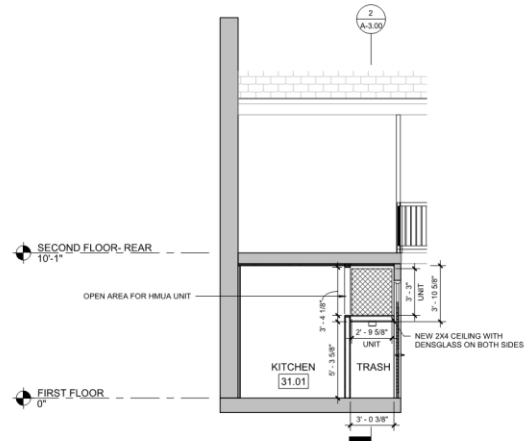
Phase II - Revisions 01.07.21

Phase II 03.02.22

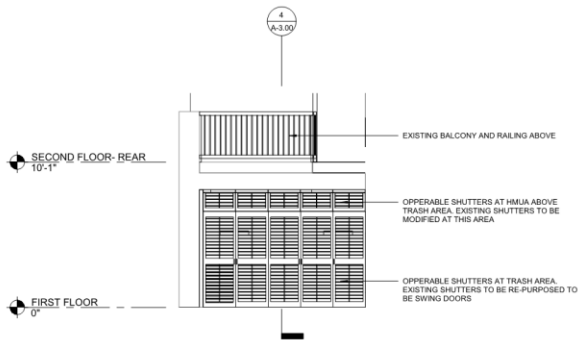
VCC Update 03.14.22

A-3.00

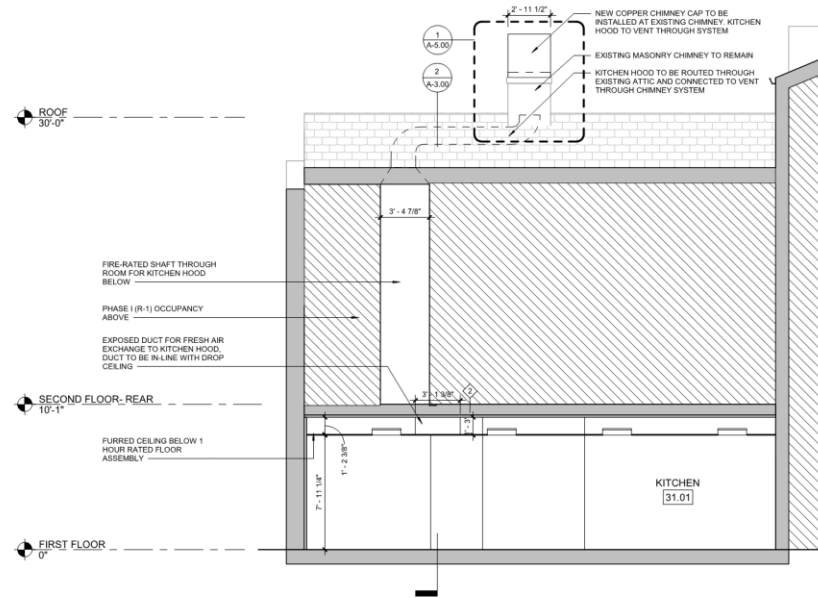
SECTIONS



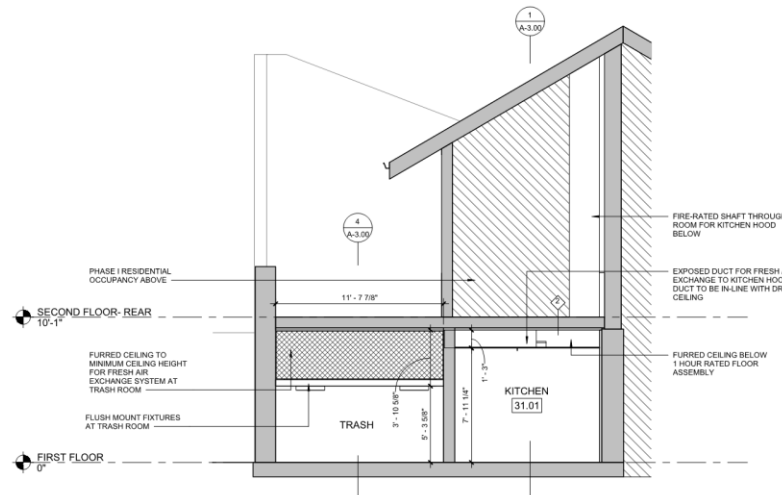
SECTION THRU TRASH AREA
1/4" = 1'-0"



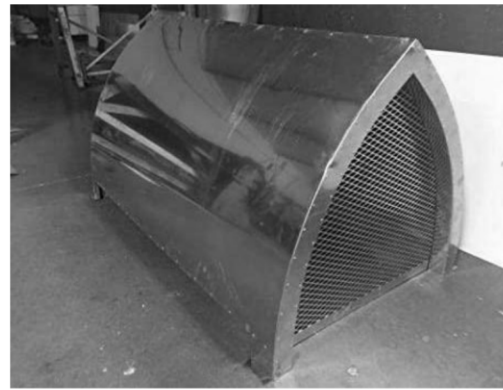
ELEVATION AT TRASH AREA
1/4" = 1'-0"



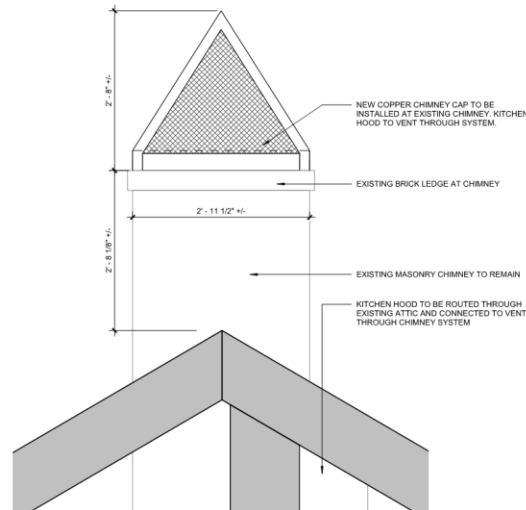
SECTION THRU KITCHEN 1
1/4" = 1'-0"



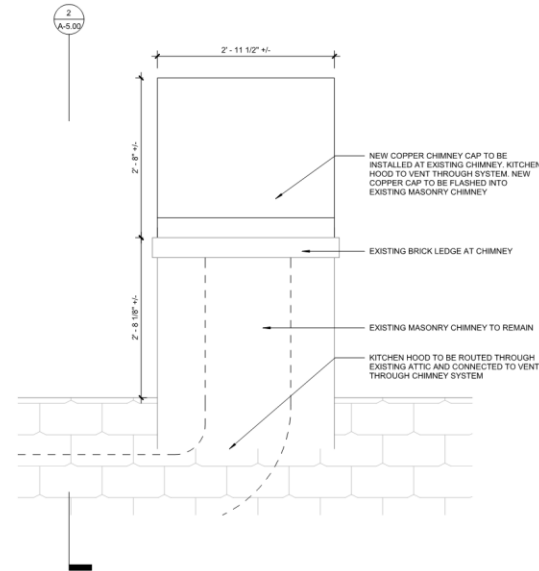
SECTION THRU KITCHEN 2
1/4" = 1'-0"



3
A-5.00
EXAMPLE OF COPPER CHIMNEY CAP
NTS



2
A-5.00
SECTION THRU NEW CHIMNEY CAP
1" = 1'-0"



1
A-5.00
ELEVATION VIEW OF NEW CHIMNEY CAP
1" = 1'-0"

SONIAT HOUSE

Phase II

1130, 1133 CHARTRES STREET
NEW ORLEANS, LA 70116

Project No. AA2109

03.14.22

Drawn by: AP
Checked by: JM

Interior Demolition Set 08.13.21

Permit Set 09.23.21

Phase II 10.27.21

Phase II - Revisions 01.07.21

Phase II 03.02.22

VCC Update 03.14.22

A-5.00

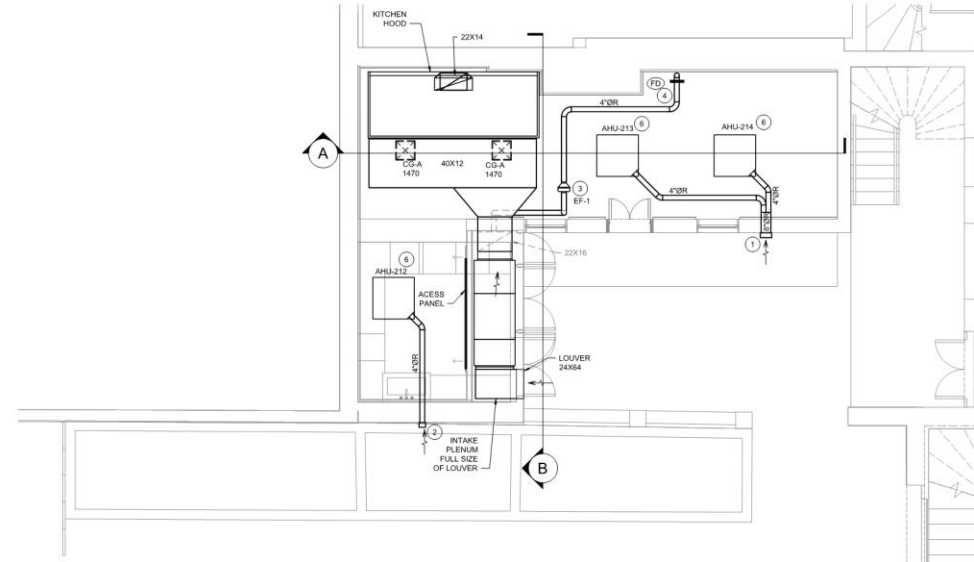
EXTERIOR DETAILS

1135 Chartres

VCC Architectural Committee

March 22, 2022





NUMBERED NOTES THIS SHEET

- 1 PROVIDE AN 8" ARTIS METALS COMPANY MODEL SWV8 INTAKE COPPER WALL VENT CAP.
- 2 PROVIDE A 4" ARTIS METALS COMPANY MODEL SWV4 INTAKE COPPER WALL VENT CAP.
- 3 INSTALL TRASH AREA EXHAUST FAN TIGHT TO CEILING. ROUTE THROUGH KITCHEN WALL CHASE AND UP TO ROOF.
- 4 PROVIDE DYNAMIC FIRE DAMPER IN DUCTWORK AT PENETRATION OF RATED PARTITION. PROVIDE AN ACCESS PANEL IN DUCT AND CEILING WHERE NECESSARY FOR FIRE DEPARTMENT ACCESS.
- 5 ROUTE GREASE DUCT UP IN RATED CHASE TO IN-LINE EXHAUST FAN. WRAP GREASE DUCT IN 3M FIRE BARRIER DUCT WRAP 815+ SEAL ALL FIRE WRAP SEAMS WITH 3M FIRE BARRIER SILICONE SEALANT 2000+.
- 6 SEE VRF INDOOR UNIT EQUIPMENT SCHEDULE ON PHASE 1B SHEET M0.02 FOR AHU INFORMATION.

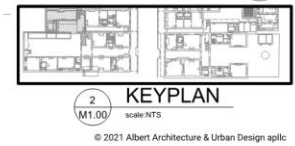
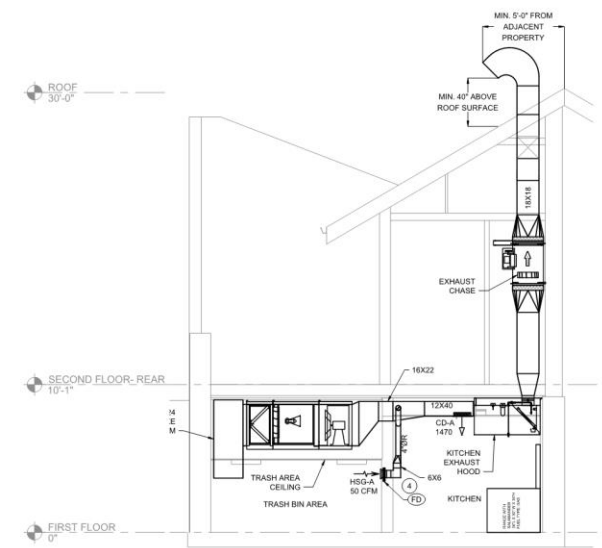
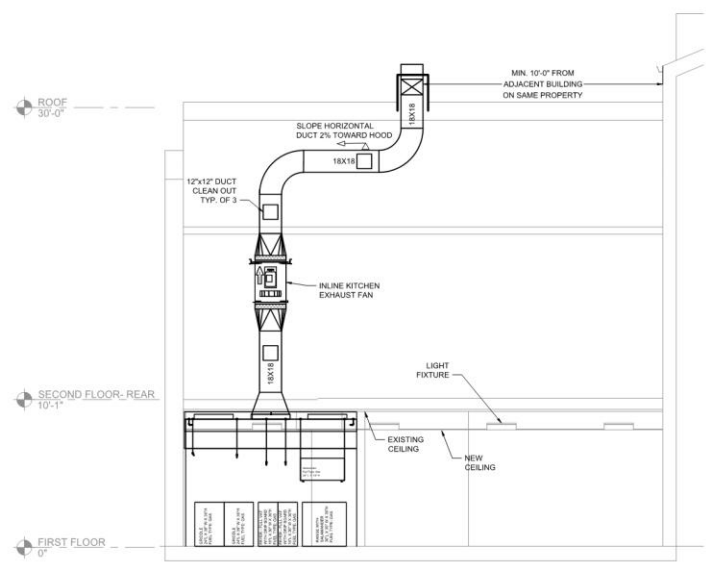
Albert Architecture & Urban Design ap/c
2739 Conti Street
New Orleans, LA 70119
504.827.0056

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NOT FOR
CONSTRUCTION

SONIAT HOUSE
1130, 1133-1137 CHARTRES STREET
NEW ORLEANS, LA 70116
Project No. AA2109

11.05.21	
Drawn by:	AT
Checked by:	MPL
Interior Demolition Set	08.13.21
Permit Set	09.23.21
Revise Permit Set	11.05.21
80% Progress Set	02.25.22

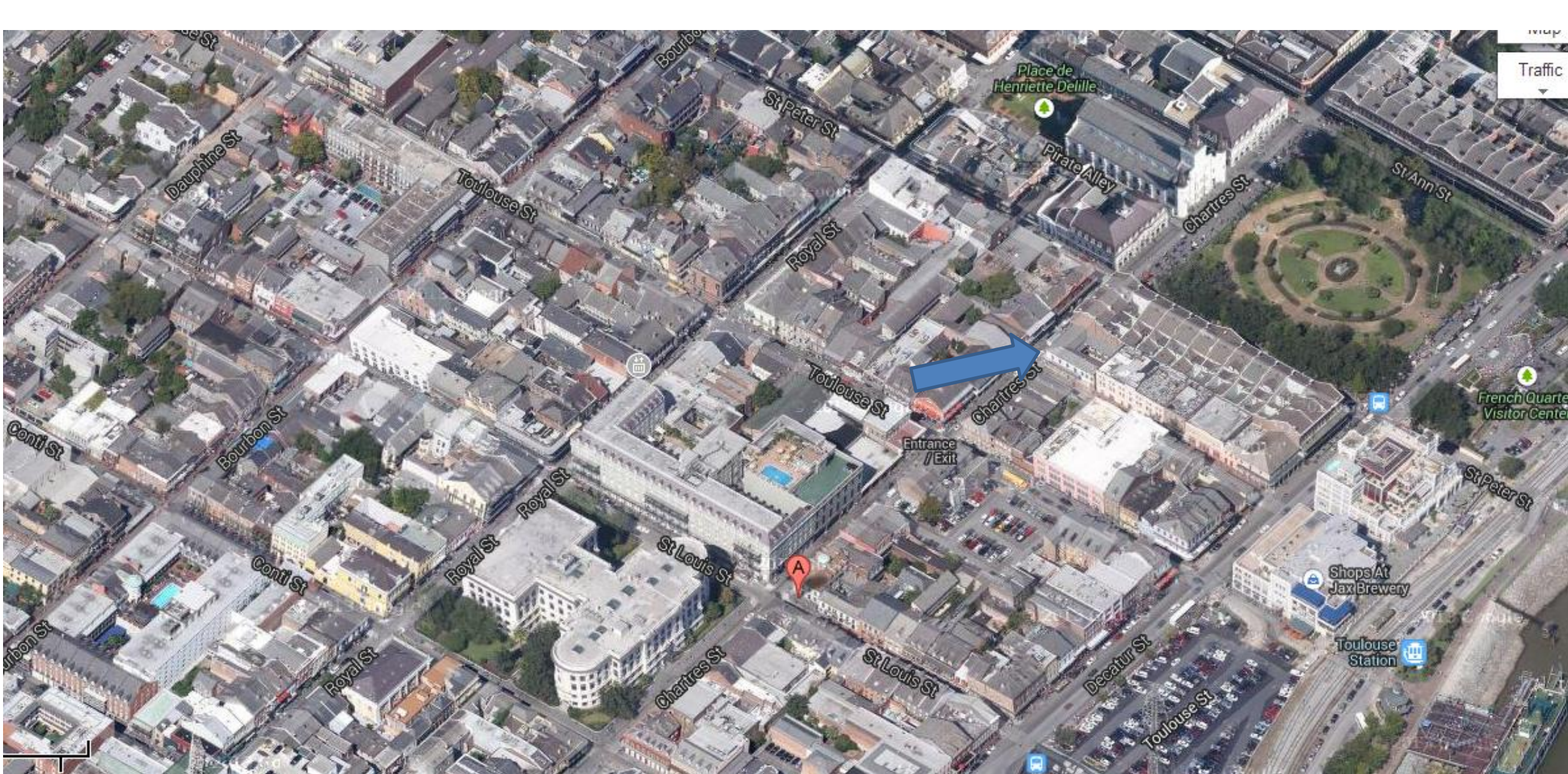


M1.00
KITCHEN HVAC PLAN





620 Chartres



620 Chartres

VCC Architectural Committee

March 22, 2022





620 Chartres

VCC Architectural Committee

March 22, 2022





620 Chartres- 1947



620 Chartres

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March 22, 2022





620 Chartres

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620 Chartres

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March 22, 2022





620 Chartres

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March 22, 2022





620 Chartres

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March 22, 2022



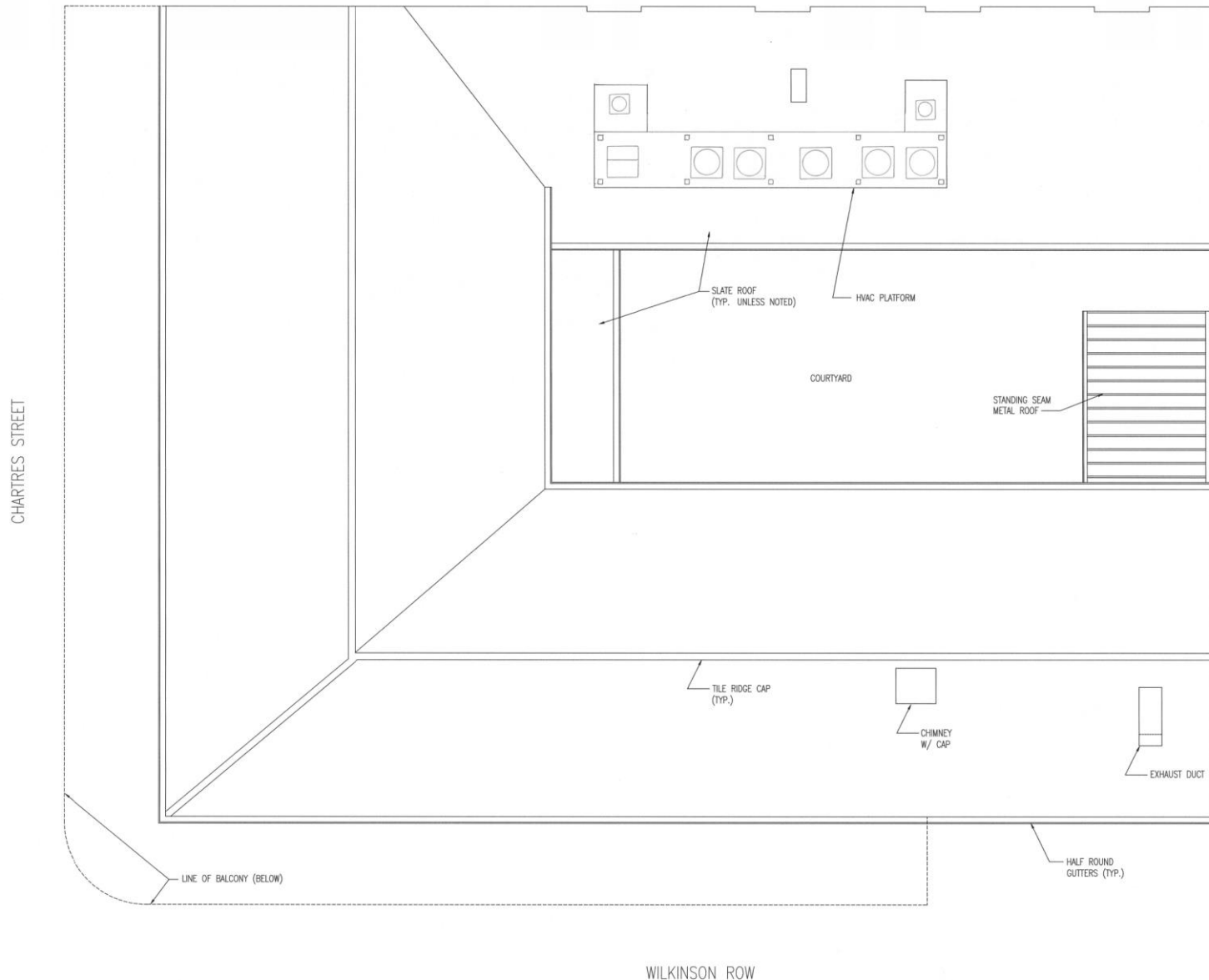


620 Chartres

VCC Architectural Committee

March 22, 2022





EXISTING CONDITIONS ROOF PLAN
SCALE: 1/4" = 1'-0"



SHEET
1 OF 4



620 Chartres

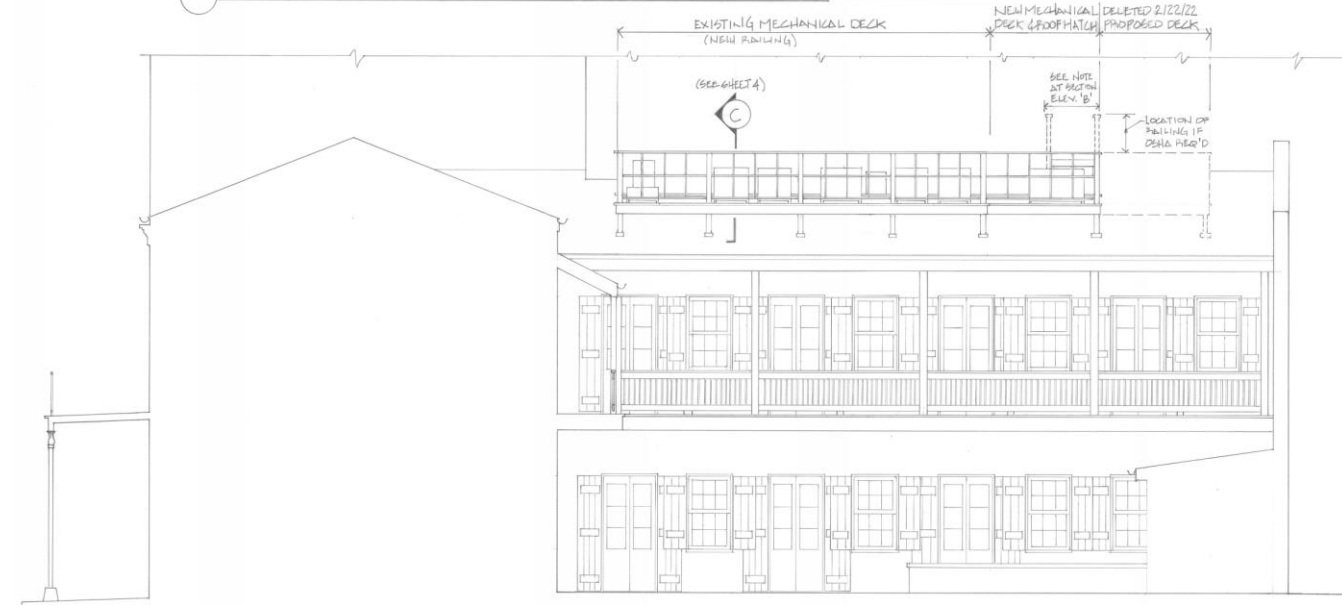
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(B) BUILDING SECTION/ELEVATION-EXPANDED MECHANICAL DECK

1/4"=1'-0"



(A) BUILDING SECTION/ELEVATION-EXPANDED MECHANICAL DECK

1/4"=1'-0"

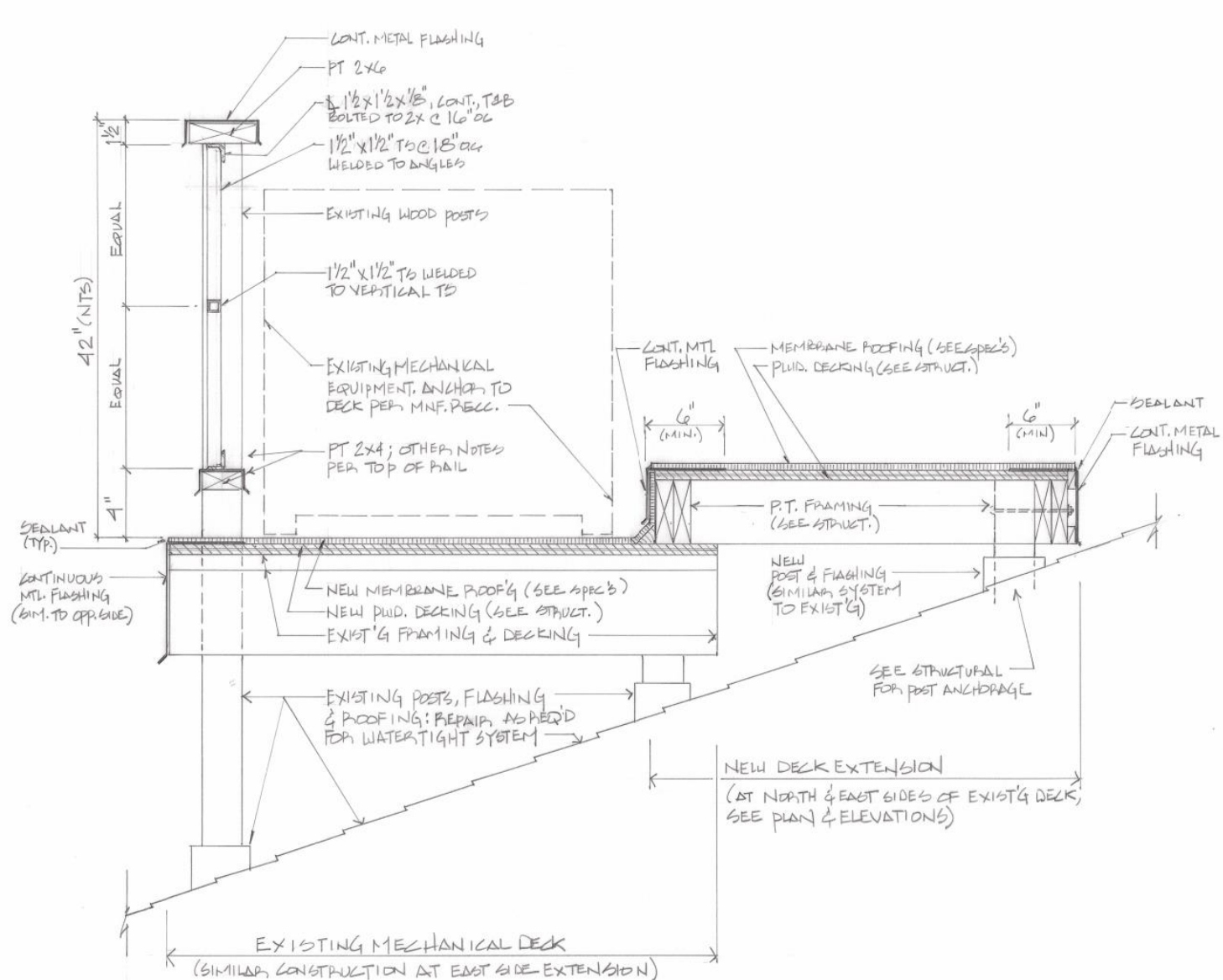
620 Chartres

VCC Architectural Committee

SHEET
3 OF 4

March 22, 2022





(C) SECTION DETAIL THRU EXISTING AND NEW DECKS.

1/2"=1'-0"

NEW BAR AND OFFICES AT DORIS METROPOL
620 CHARTRES STREET, NEW ORLEANS
FOR DORIS METROPOLITAN NEW ORLEANS

EDWARD FLEMING, ARCHITECT, 3342 BELL STREET

DATE:

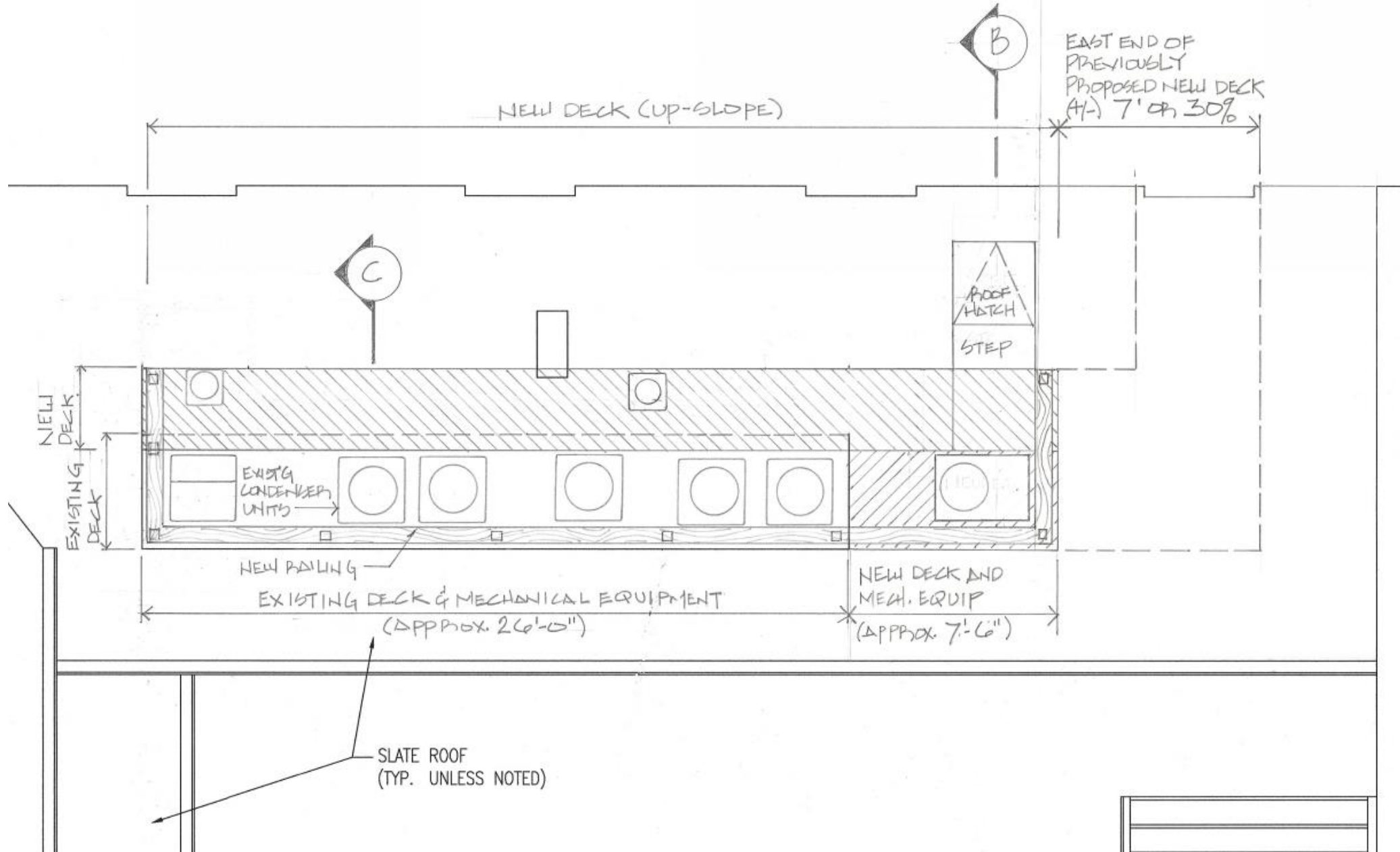
2.21.22

2.22.22

3.11.22

SHEET

4 OF 4



NOTE: HATCH SHOWN WITHOUT
RAILING, PENDING
OSHA APPROVAL

SEE SECTION - DTL.
SHEET 4

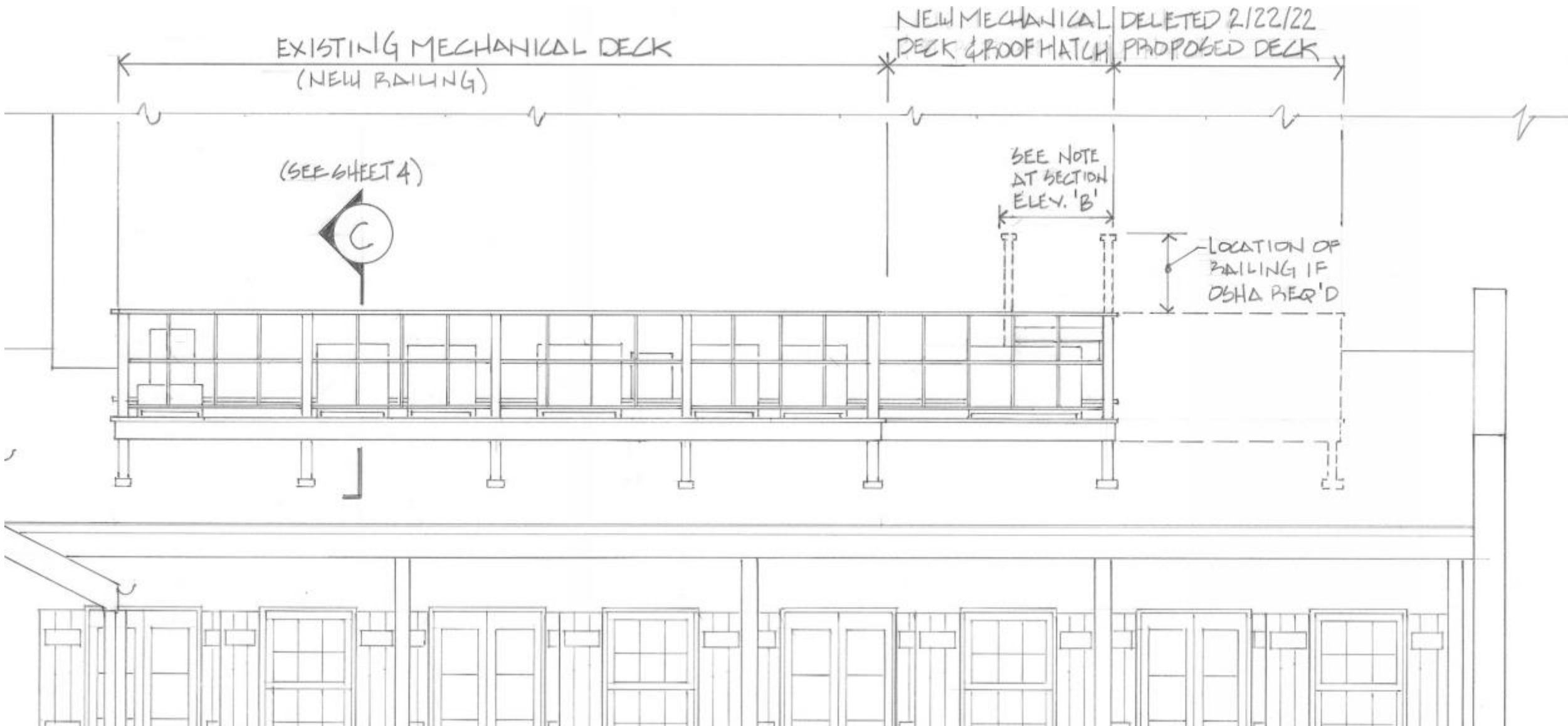
NEW RAIL

MECH.
EQUIP.

EXISTING
DECK

NEW ROOF HATCH
AND LANDING

NEW
DECK
& STEPS





New Business

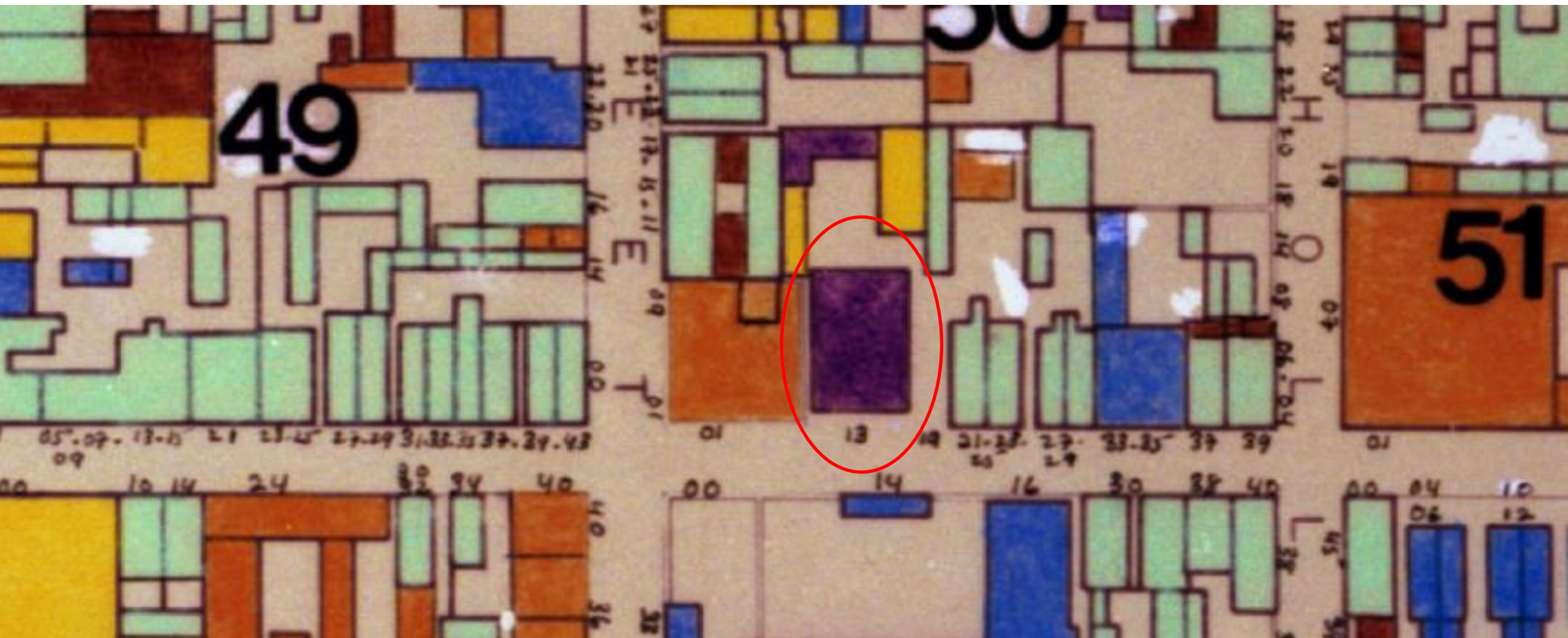
The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll. The shield is flanked by two vertical bars with diamond-shaped patterns. The entire shield is enclosed within a circular border. The text "VIEUX CARRE COMMISSION" is written along the top arc of the border, and "ESTABLISHED 1936" is written along the bottom arc.

1113 Chartres



March 22, 2022





1113 Chartres

VCC Architectural Committee

March 22, 2022





1113 Chartres, 1900

VCC Architectural Committee

March 22, 2022



Paneled shutters
on front elevation



Louvered shutters on
side elevation

1113 Chartres, 1900

VCC Architectural Committee

March 22, 2022





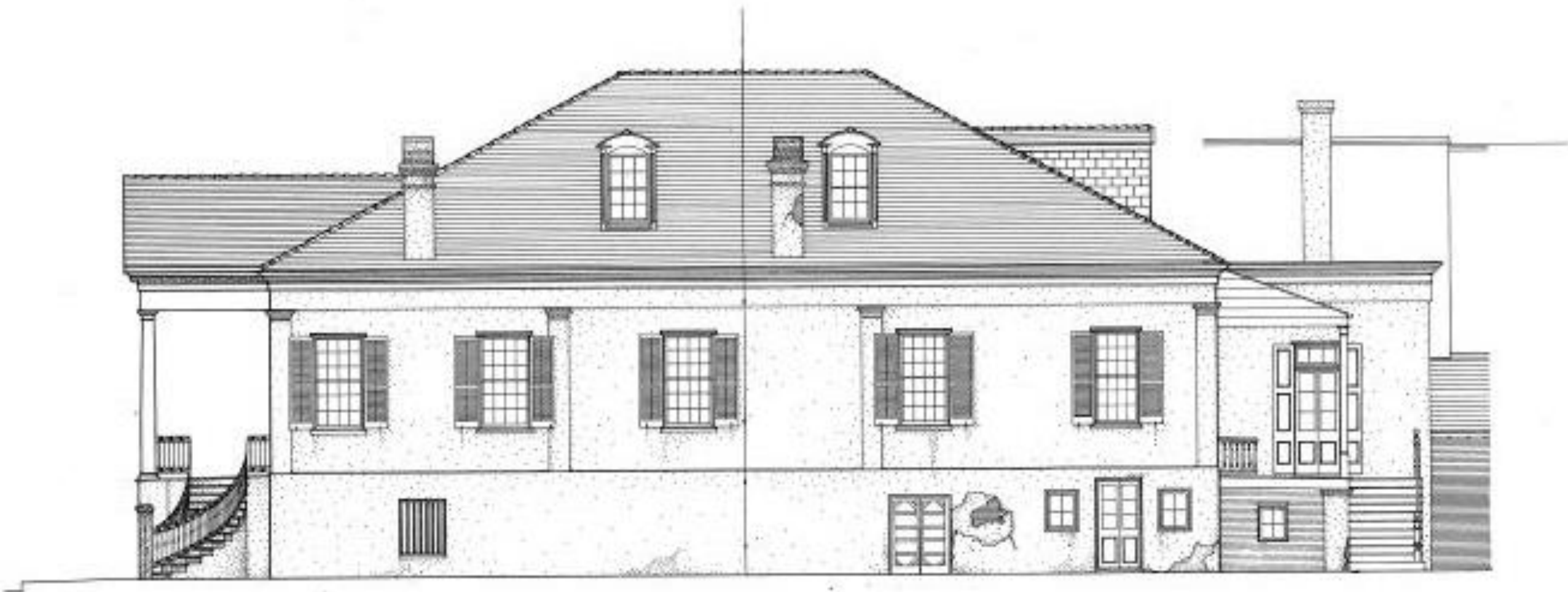
1113 Chartres, ca. 1920s

VCC Architectural Committee

March 22, 2022







N · E · SIDE ELEVATION

1113 Chartres, 1934 HABS

VCC Architectural Committee

March 22, 2022



Louvered shutters on
side elevation



Louvered shutters on
front elevation

1113 Chartres, no later than 1954

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March 22, 2022





1113 Chartres

VCC Architectural Committee

March 22, 2022





1113 Chartres

VCC Architectural Committee

March 22, 2022





1113 Chartres
VCC Architect





1113 Chartres

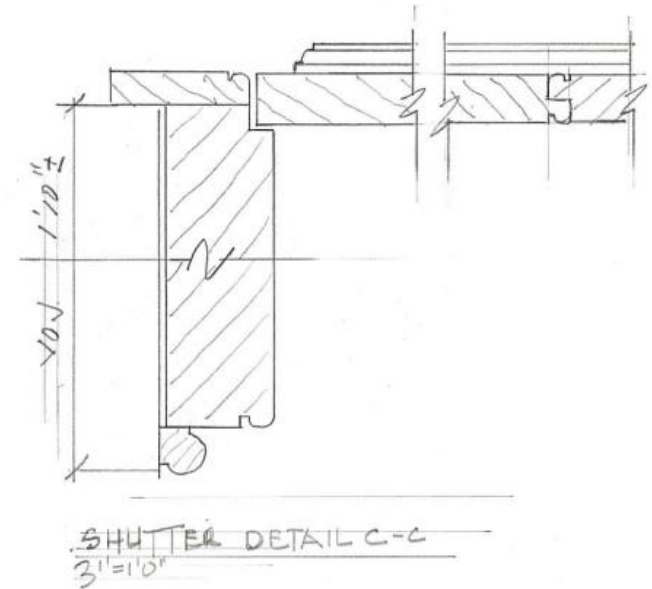
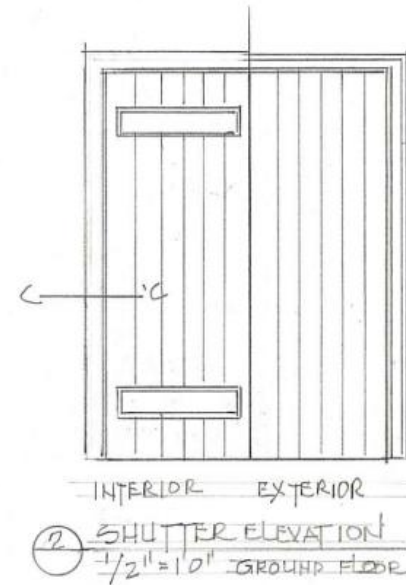
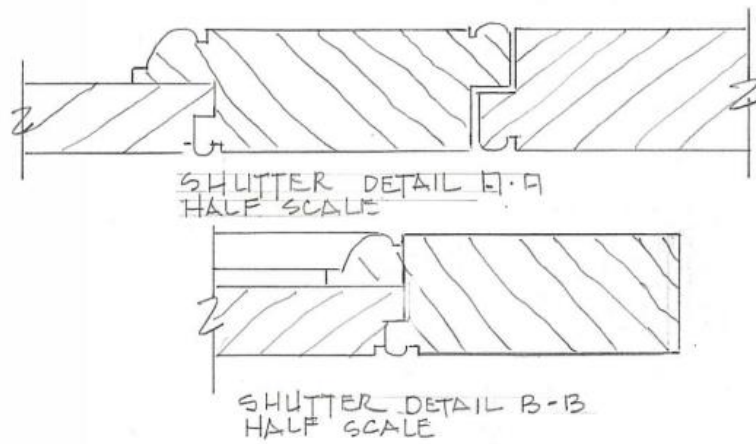
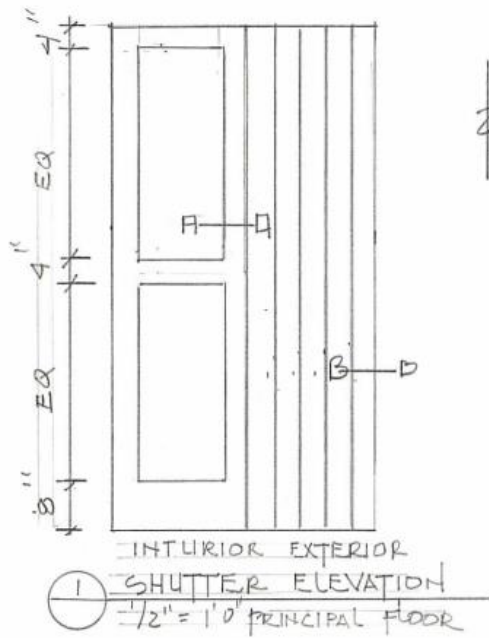
VCC Architectural Committee

March 22, 2022









OPENING SCHEDULE

1. 3'9" X 7'2" Existing 12 over 12 lite double hung windows. Repair both interior and exterior of opening, especially at the lock rail. Make windows operable. Provide new pairs of two panel shutters. Clean, repair and reuse existing shutter hardware. Provide four replacement shutter dogs, match existing dogs; one slide bolt, matching existing; a pintle matching existing, three sill bolts matching existing and interior window lock matching typical existing. Paint exterior of the opening the historic colors used on the Chartres Street façade and the interior of the opening the existing color. Paint exterior hardware the color on which they are adjacent to.
2. 3' 4" X 7'2" Existing 12 over 12 double hung window. Repair both interior and exterior of opening especially at the lock rail. Make window operable. Provide new pair of two panel shutters. Reuse hardware from existing shutter leaf. Provide new pair of pintles and a pair of strap hinges as well as slide bolt and pair of shutter dogs. Paint exterior of the opening the historic colors used on the Chartres Street façade and the interior of the opening the existing color. Paint exterior hardware the color they are adjacent to. Provide an interior sash lock.
3. 4'4" X 5'9" New board and batten shutter and frame. Lower sill to align with driveway. Provide a pair of strap hinges each leaf hinges, lock keyed to master key, head and foot bolts and slide bolt. Paint exterior and interior of opening the historic colors used on the Chartres Street façade. Paint hardware the color they are adjacent to.
4. 3'2" X 6'0" New board and batten shutter and frame. Provide pair of strap hinges each leaf, head, foot bolts and slide bolts. Reuse existing keyed lock. Paint exterior and interior of opening the historic colors used on the Chartres Street façade. Paint hardware the color they are adjacent to.
5. 3'10" x 5'6" New board and batten shutter and frame. Lower sill to align with the highest adjacent elevation. Provide pair of strap hinges for each leaf, lock keyed to master, head, foot, and slide bolts. Paint opening the historic colors used on the Chartres Street façade. Paint hardware the color they are adjacent to.
6. 3'3" X 5'3" New board and batten shutter and frame. Lower sill to align with the highest adjacent elevation. Provide pair of strap hinges for each leaf, lock keyed to master, head, foot and slide bolts. Paint exterior and interior of opening the historic colors used on the Chartres Street façade. Paint the hardware the color they are adjacent to.
7. 3'4" X 6'2" New board and batten shutter and frame with curved head. Accommodate conduits at the head of opening. Provide pair of strap hinges on each leaf, head, foot and slide bolts. Reuse existing lock. Paint opening the historic colors used on the Chartres Street façade.
8. 3'5" X 6'9" Existing 12 over 12 double hung windows repaired. Make sash fit and operate properly. Repair pair of two section fixed louvered shutters. Paint exterior of the opening the historic colors used on the Chartres Street façade and the interior of the opening the existing color. Replace two shutter dogs, match those on the main house.
9. 2'6" X 7'0" Repair existing vertical board door. Paint exterior of the opening the historic colors used on the Chartres Street façade and the interior of the opening the existing color. Replace lock keyed to master. Provide a new brass door knob, mushroom head.
10. 2'6" X 3'6" Repair existing pair of three lite casement windows. Replace pair of single section of fixed louvered shutters. Match details of Opening 11. Provide a pair of three knuckle hinges per leaf matching typical hinges on pavilion building, pair of shutter dogs matching those on Opening 11; slide, head and sill bolts.
11. 3'0" X 6'0" Repair existing 6 over 6 double hung window. Adjust fit of sash. Replace two section fixed louver shutter. Match existing shutter details. Provide pair and a half of three knuckle hinges each leaf, a pair of shutter dogs, & slide, head and sill bolts.
12. 3'4" X 7'4" Repair existing 3 lite over 1 panel casement doors. Replace pair of fixed louvered shutters over 1 panel shutters. Match details of Opening 13. Provide a pair and a half of three knuckle hinges per leaf match typical existing hinges of pavilion building, & slide, foot and head bolts.
13. 3'4" X 8'4" Repair existing 4 lite over 1 panel casement doors. Replace one leaf of fixed louvers over 1 panel shutters. Match existing details. Provide one and a half pair of three knuckle hinges each leaf, & slide, head and foot bolts.



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll at the base. The shield is flanked by two vertical bars with diamond-shaped details. The words "VIEUX CARRE COMMISSION" are arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

300 Decatur

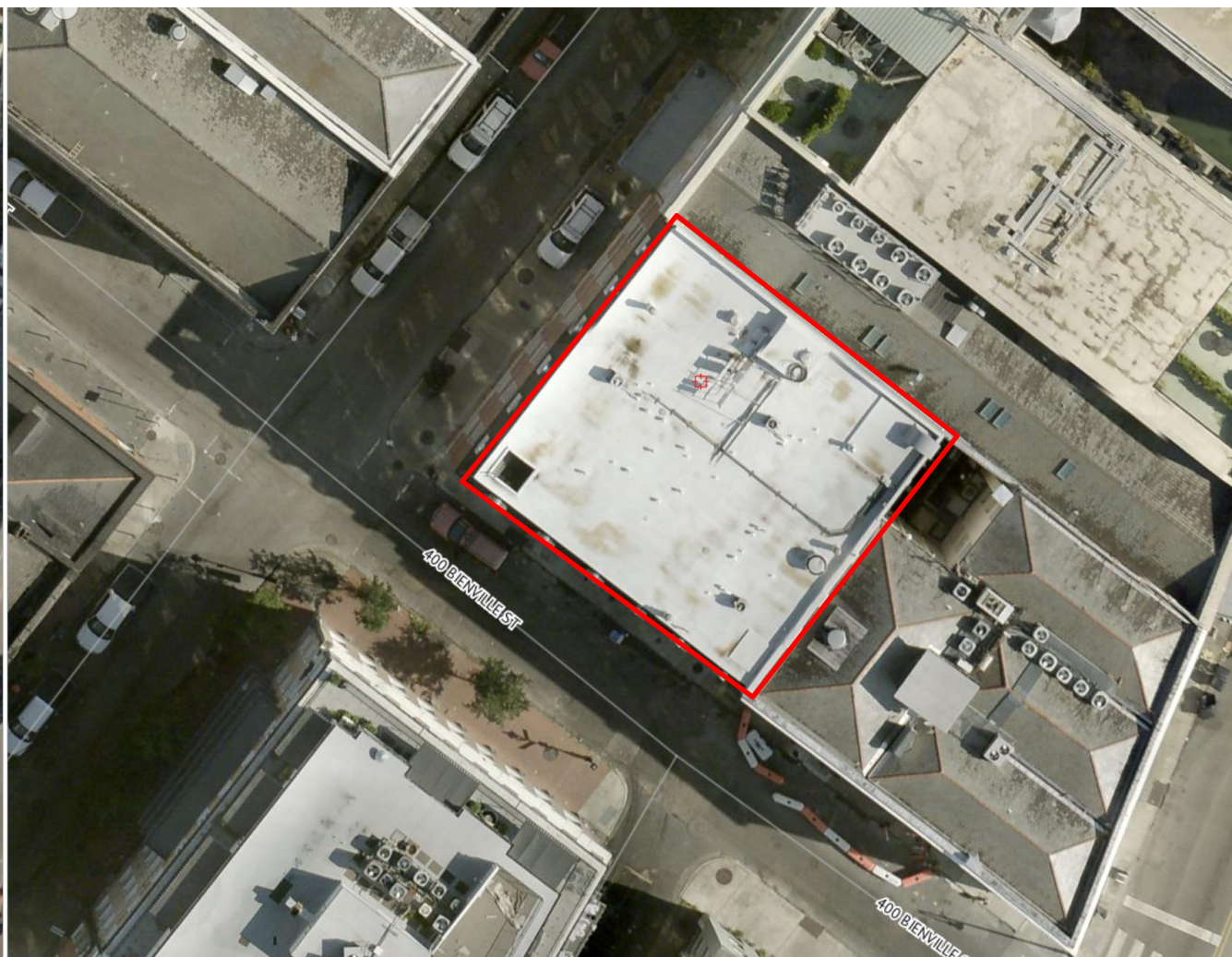


300 Decatur

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March 22, 2022





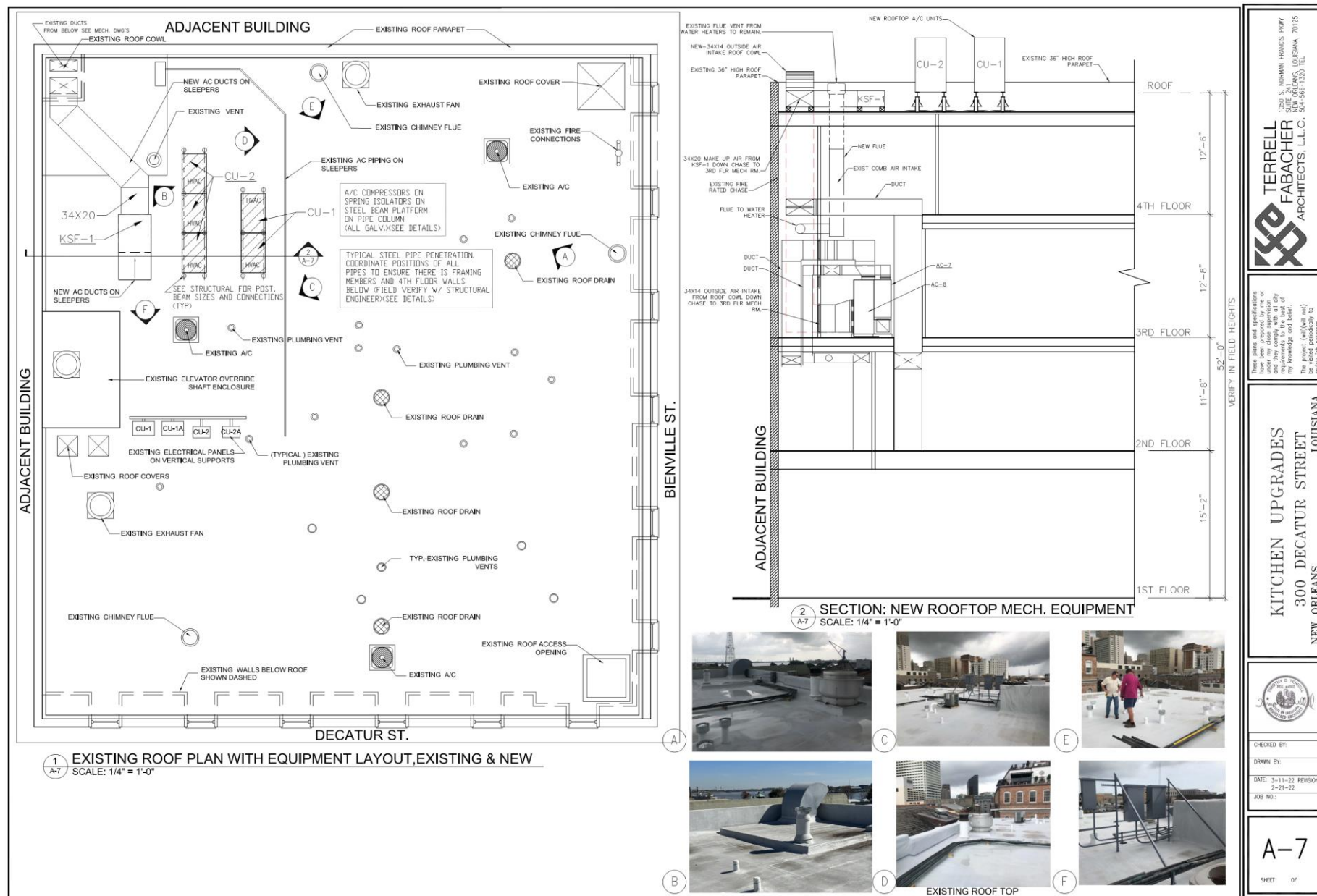
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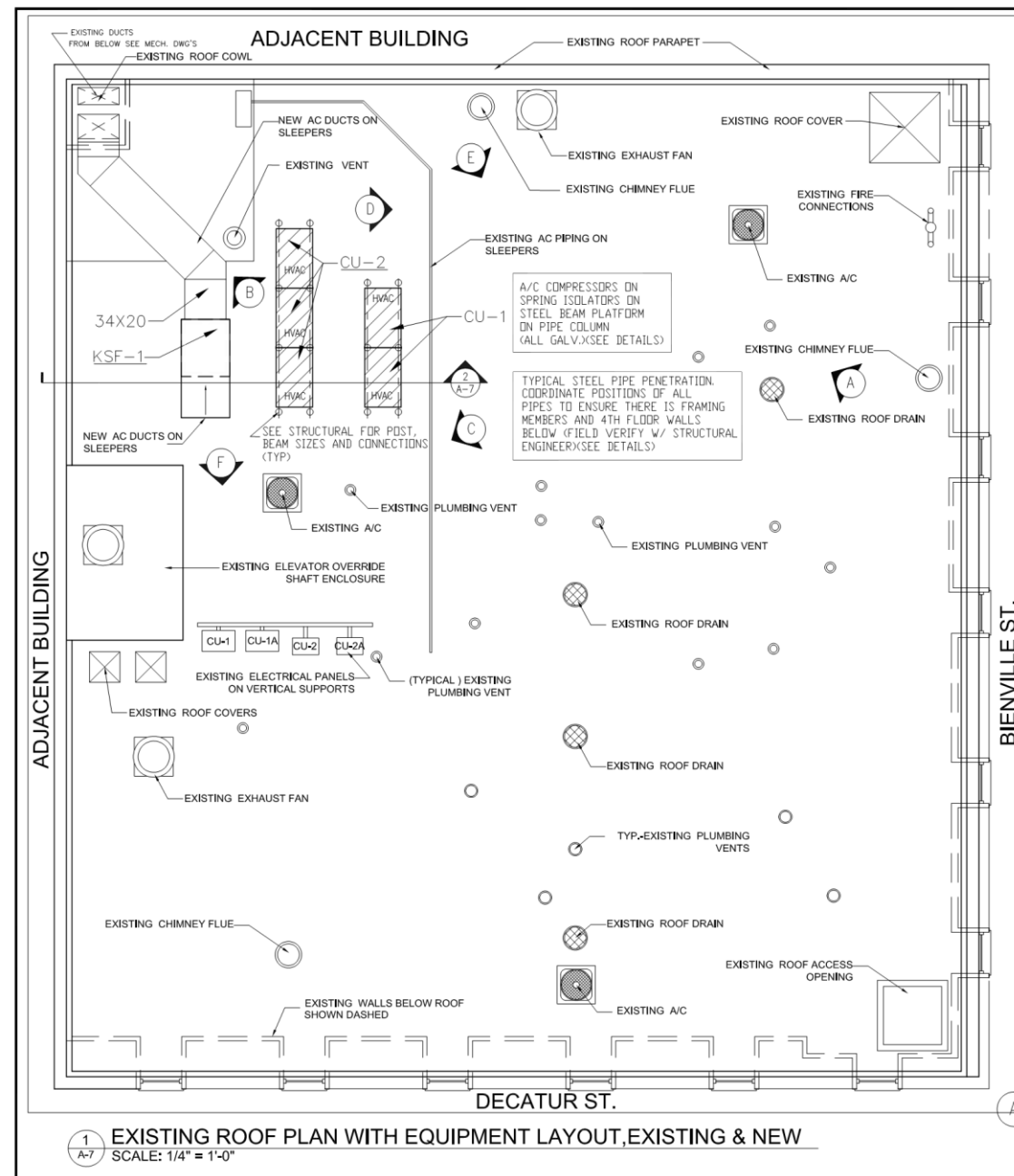
VCC Architectural Committee

March 22, 2022



VCC Architectural Committee



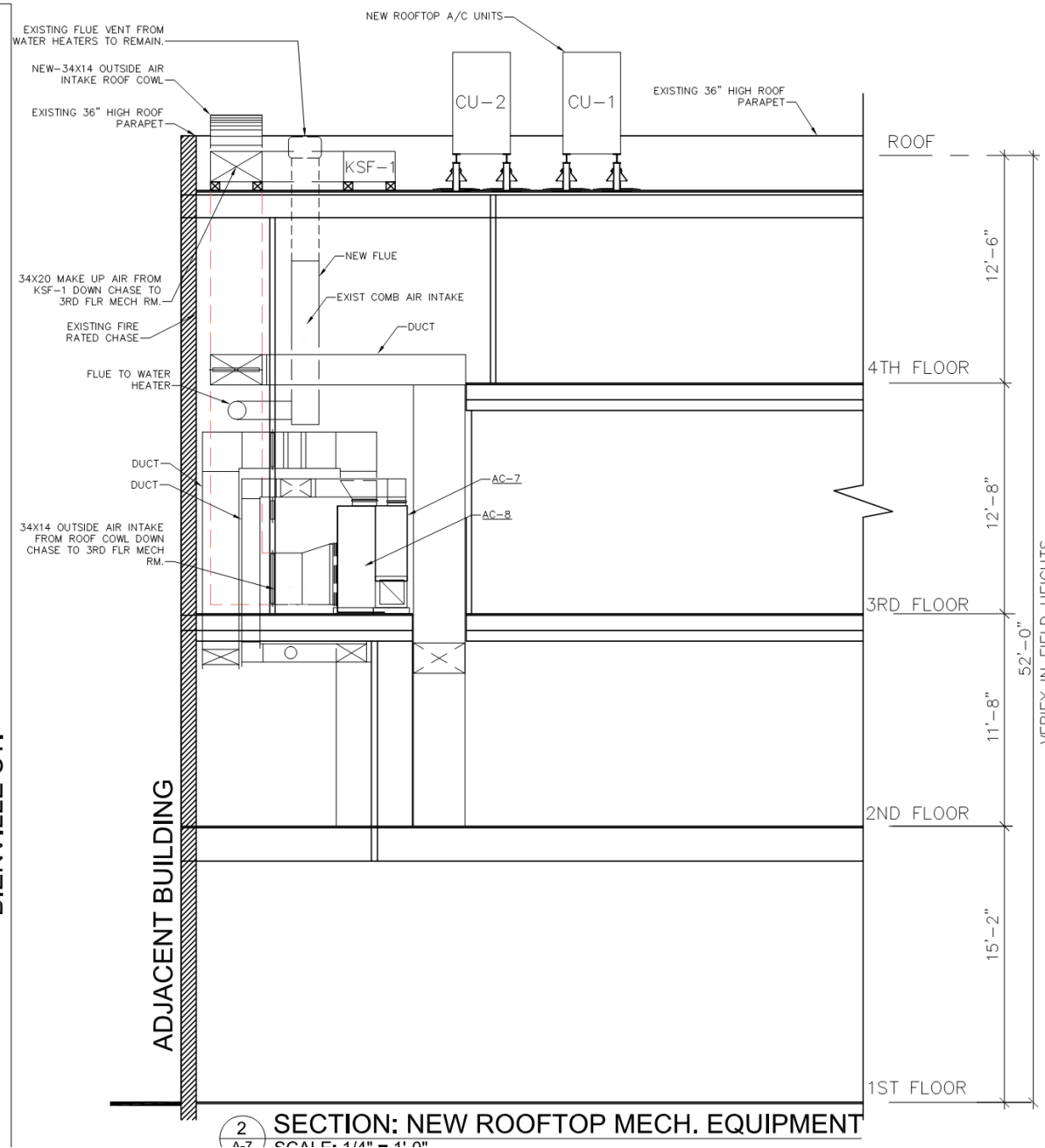


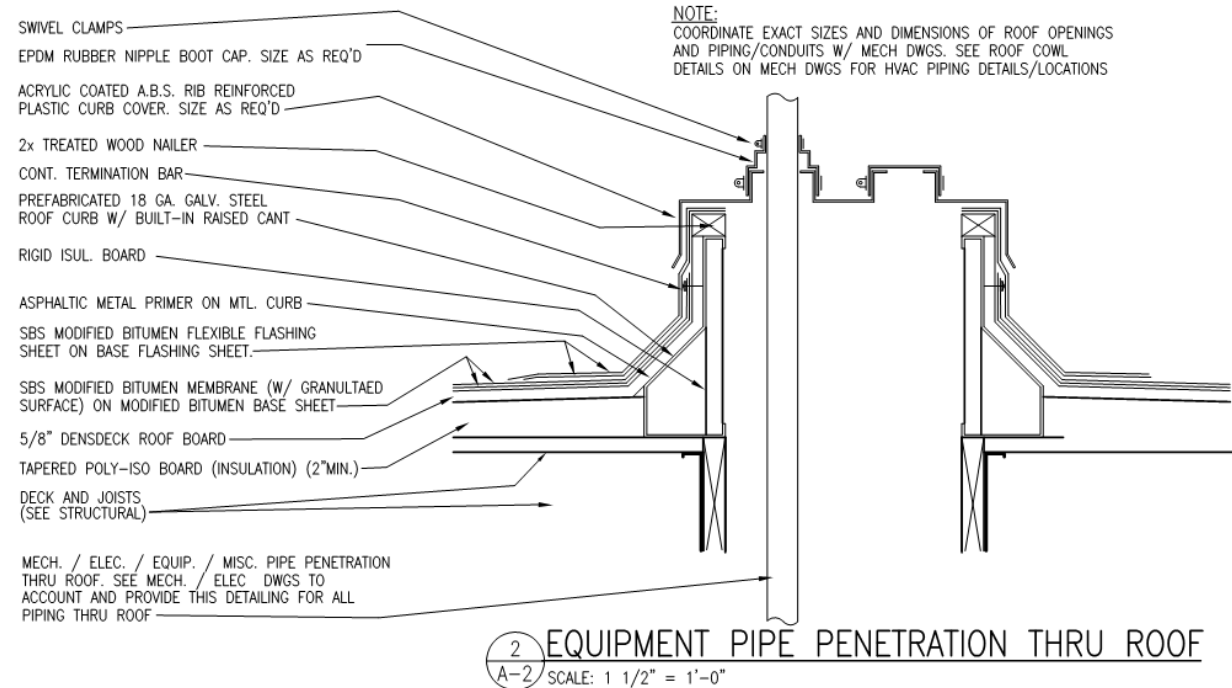
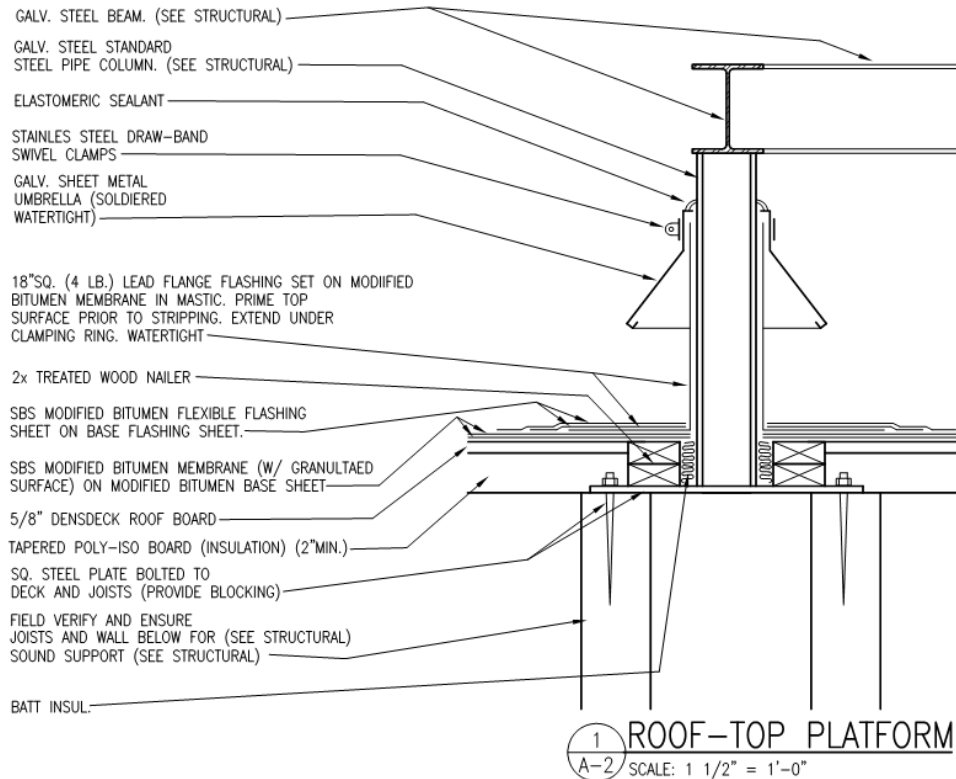
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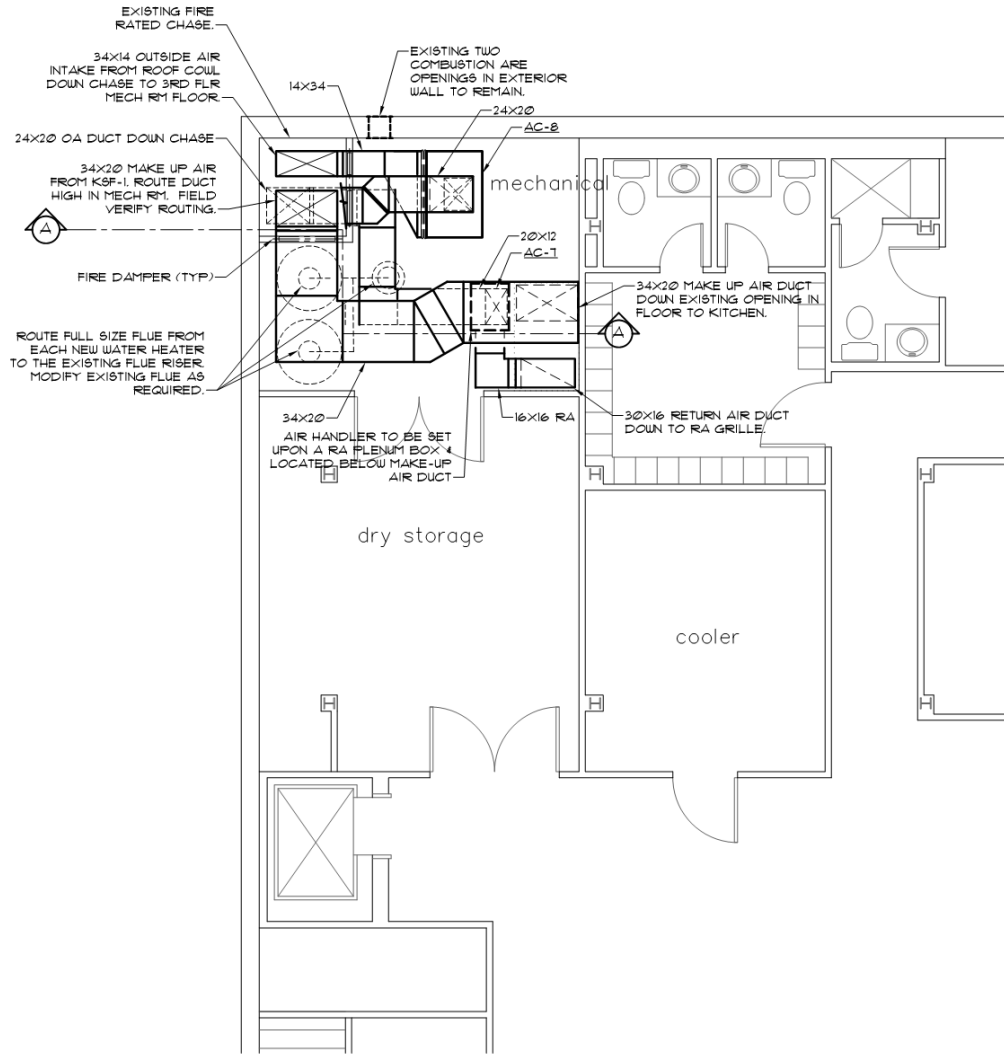
VCC Architectural Committee

March 22, 2022

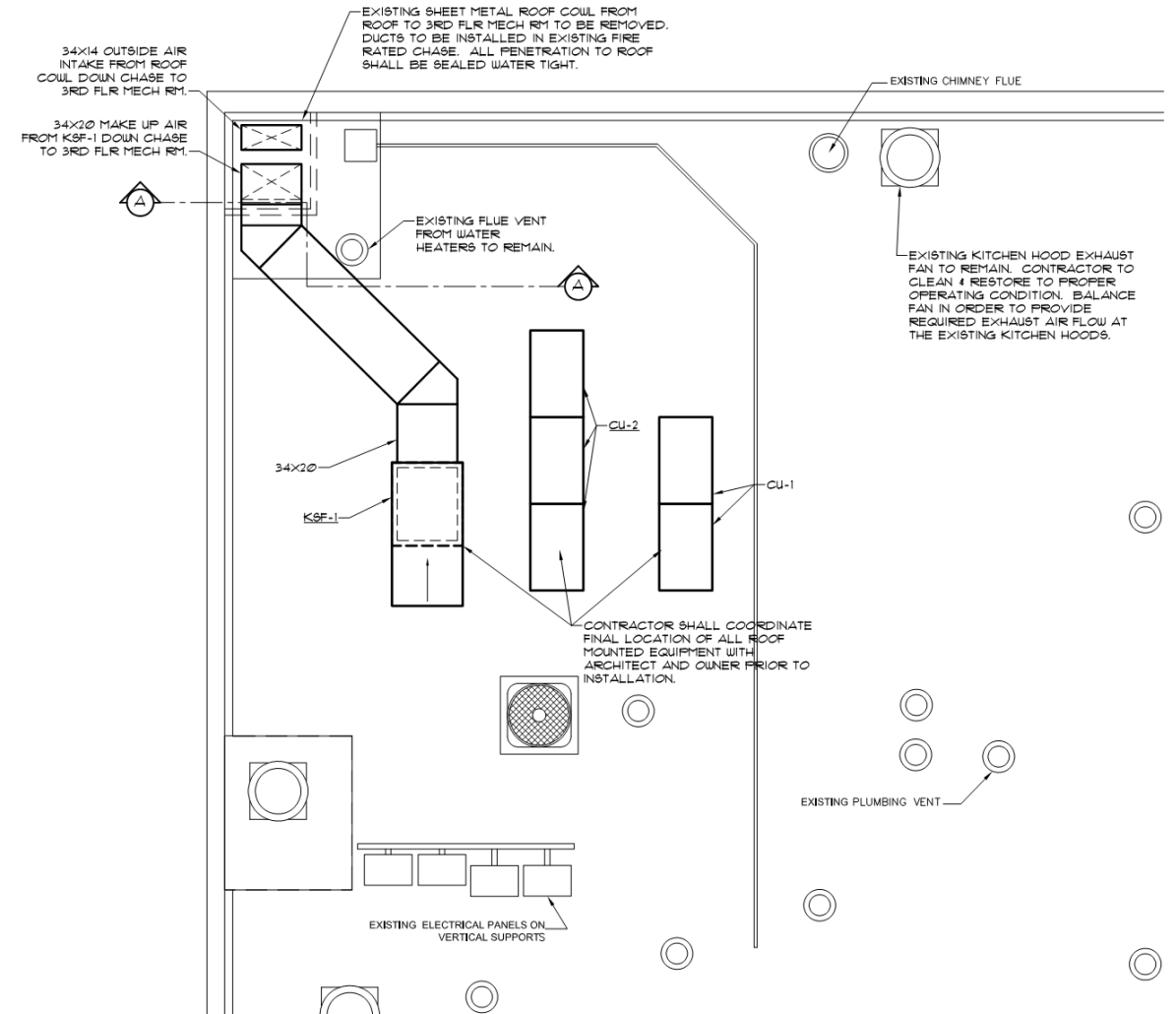




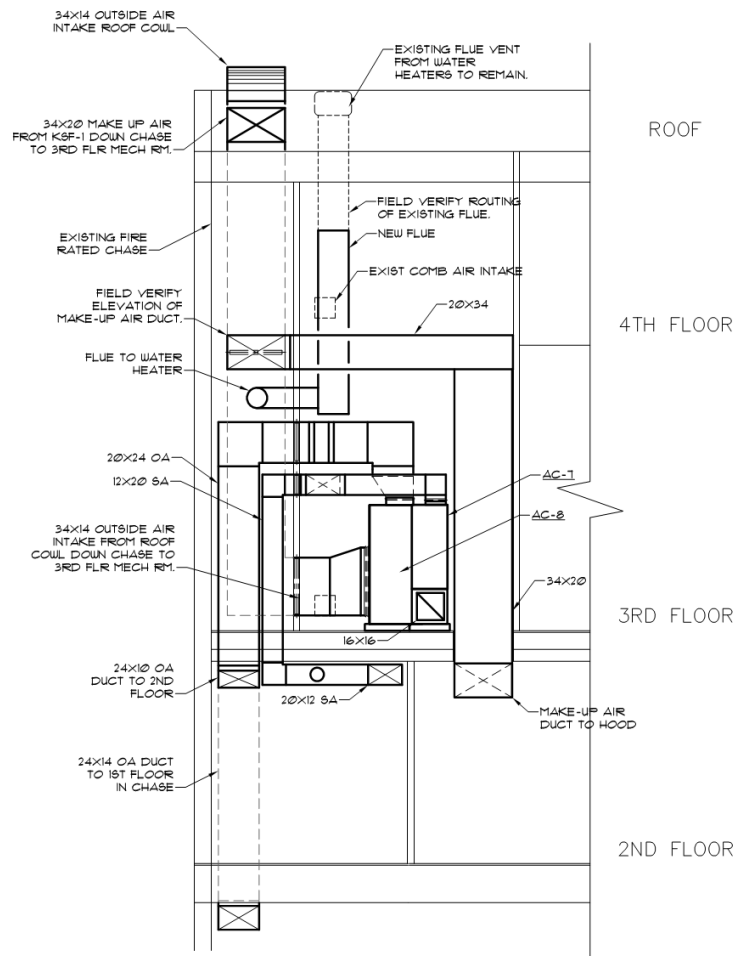




1 PARTIAL THIRD FLOOR PLAN - MECHANICAL
M-3 SCALE: 1/4" = 1'-0"



2 PARTIAL ROOF PLAN - MECHANICAL
M-3 SCALE: 1/4" = 1'-0"



SECTION - MECHANICAL
SCALE: 1/4" = 1'-0"

AIR CONDITIONING SYSTEM SCHEDULE															
SYSTEM NO.	NOMINAL TONS	AIR CAPACITY			CAPACITY			AIR HANDLING UNIT			CONDENSING UNIT				REMARKS
		MIN CFM	MAX CFM	MINIMUM O.A. CFM	COOLING BTU/HR	HEATING BTU/HR	AUX HEAT KW	DAIKIN MODEL NO.	TOTAL AMP'S	WEIGHT LBS.	DAIKIN MODEL NO.	VOLTS/FH	UNIT MCA MCA/MOCF	WEIGHT LBS.	
AC-1	5	1260	1800	0	60,000	66,000	0	FXTQ60TAVJJA	15	150	RXYQ336XATJA	208/3	55 / 60	1380	1, 2, 3, 4, 5, 6, 7
AC-2	5	1260	1800	0	60,000	66,000	0	FXTQ60TAVJJA	15	150					
AC-3	5	1260	1800	0	60,000	66,000	0	FXTQ60TAVJJA	15	150					
AC-4	5	1260	1800	0	60,000	66,000	0	FXTQ60TAVJJA	15	150					
AC-5	4	1060	1520	0	48,000	54,000	0	FXTQ48TAVJJA	15	150					
AC-6	4	1060	1520	0	48,000	54,000	0	FXTQ48TAVJJA	15	150					
AC-7	4	1060	1520	0	48,000	54,000	0	FXTQ48TAVJJA	15	150					
AC-8	32	2000	4000	4000	310,000	413,322	24	BCVD0901	5 HP	100	RXYQ384XATJA	208/3	55 / 60	1744	1, 2, 3, 4, 6, 7, 8, 9

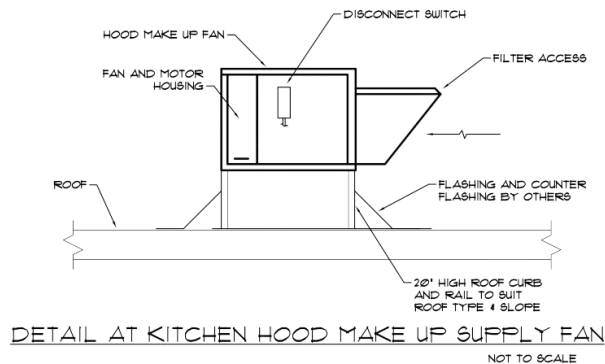
1. FURNISH WITH HARD WIRED REMOTE CONTROLLER MOUNTED AS INDICATED ON THE PLANS AS WELL AS STANDARD WIRELESS REMOTE CONTROLLER
2. REFER TO PLANS FOR HORIZONTAL OR VERTICAL INSTALLATION.
3. COMPRESSOR SHALL BE INVERTER DRIVEN, VARIABLE SPEED, ROTARY TYPE
4. ROUTE 1" CONDENSATE DRAIN TO HUB DRAIN. COORDINATE WITH PLUMBING.
5. PROVIDE ACCESS PANEL IN CEILING IF REQUIRED.
6. FURNISH WITH BRANCH PIPING KITS, VALVE KITS AND MULTI CONDENSING UNITS CONNECTION PIPING.
7. COORDINATE WITH MANUFACTURE FOR SIZING OF ALL REFRIGERANT LINES.
8. UNIT SHALL PROVIDE TEMPERED AIR TO SPACE. SET UNIT TO OPERATE AT LOW SPEED DURING UNOCCUPIED HOURS.
9. PROVIDE 1" EXTERNAL STATIC, MERV 8 FILTERS, DOUBLE-WALL INSULATED PANELS.

FAN SCHEDULE									
FAN DESIG.	TYPE	BALANCE CFM	SELECTION CFM	S.P. IN INCHES	RPM	MOTOR DATA			GREENHECK MODEL NO.
EF-1	INLINE	450	475	0.5	1080	0.5	120	1	CSP-A710
KSF-1	HOOD MAKEUP AIR	7250	7500	0.5	876	5	208	3	K8B-115-H25

1. FAN SHALL BE SELECTED BASED ON SELECTION CFM AND STATIC PRESSURE LISTED.
- FAN SHALL BE BALANCED IN FIELD TO BALANCE CFM INDICATED.
2. INTERLOCK FAN TO RUN WHENEVER FAN IN AC-8 IS RUNNING.
3. PROVIDE SOLID STATE SPEED SWITCH MOUNTED ON FAN.
4. PROVIDE BACK DRAFT DAMPER AND DISCONNECT SWITCH.
5. PROVIDE DISCONNECT SWITCH.
6. CONTRACTOR TO FIELD VERIFY HOOD EXHAUST REQUIREMENTS AND BALANCE SUPPLY FAN TO PROVIDE 80% MAKEUP AIR.
7. PROVIDE STANDARD WEATHERHOOD WITH FILTER (H2) 4 ROOF CURB. STRAP FAN DOWN TO MEET WIND LOAD REQUIREMENTS.
8. CONNECT FAN TO EXISTING HOOD CONTROL PANEL AND FIRE SUPPRESSION SYSTEM.

DIFFUSER SCHEDULE - ROUND NECK					
CFM RANGE	CEILING TYPE	NECK SIZE	FLEX DUCT CONN SIZE	MAX FLEX LENGTH	REMARKS
50-100	LAY-IN OR GYP	9x9	6"	12'	1, 2
101-200	LAY-IN OR GYP	12x12	8"	12'	1, 2
201-275	LAY-IN OR GYP	12x12	10"	12'	1, 2
276-325	LAY-IN OR GYP	12x12	12"	12'	1, 2
326-400	LAY-IN OR GYP	15x15	12"	12'	1, 2
401-450	LAY-IN OR GYP	15x15	14"	12'	1, 2
451-550	LAY-IN OR GYP	18x18	14"	12'	1, 2
551-700	LAY-IN OR GYP	18x18	16"	12'	1, 2

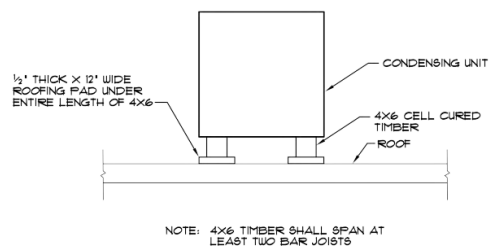
1. SIZES BASED ON TITUS MODEL TDCA-AA ALL ALUMINUM ADJUSTABLE DIFFUSER - REFER TO SPECS FOR EXACT TYPE REQUIRED.
2. WHERE INDICATED ON PLANS TO HAVE ROUND DUCT CONNECTION, FURNISH DIFFUSER WITH SQUARE TO ROUND TRANSITION - FRAME STYLE TO SUIT CEILING (DROP BEVELED FACE FOR GYP BD CEILING)



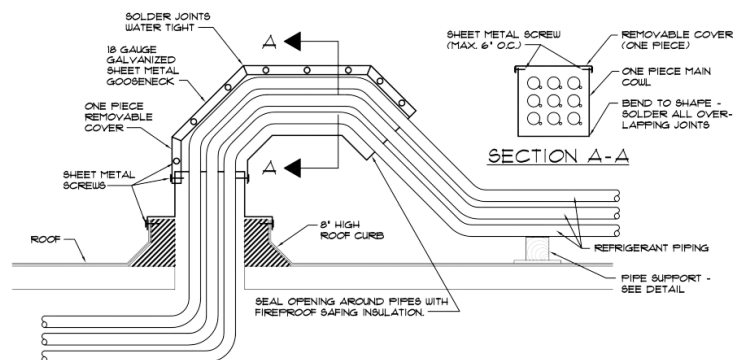
NOTES:

1. PROVIDE UL LISTED DAMPER AND SLEEVE IN ACCORDANCE WITH UL 555.
2. INSTALL DAMPER AND SLEEVE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. PROVIDE MIN. 14 GA. SLEEVE. EXTEND BEYOND WALL MAX. 6 INCHES.
4. PROVIDE EXPANSION SPACE PER MANUFACTURER'S INSTRUCTION. BUT NOT LESS THAN 1/8" PER LINEAR FOOT BOTH DIRECTIONS.
5. PROVIDE MINIMUM 2"x2"x3/16" RETAINING ANGLE ON TOP, BOTTOM AND SIDES. ATTACH ANGLES TO SLEEVE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DAMPER SHALL BE SELF SUPPORTING. INDEPENDENT OF DUCTWORK ANGLES SHALL OVERLAP WALL MIN. OF ONE INCH.
6. DAMPER SHALL BE SIZED TO PROVIDE EQUIVALENT FREE AREA OF DUCT, SEE SCHEDULE OF SIZES REQUIRED OR INCREASE DAMPER SIZE CROSS SECTIONAL AREA BY 20% ABOVE CONNECTING DUCT SIZE.

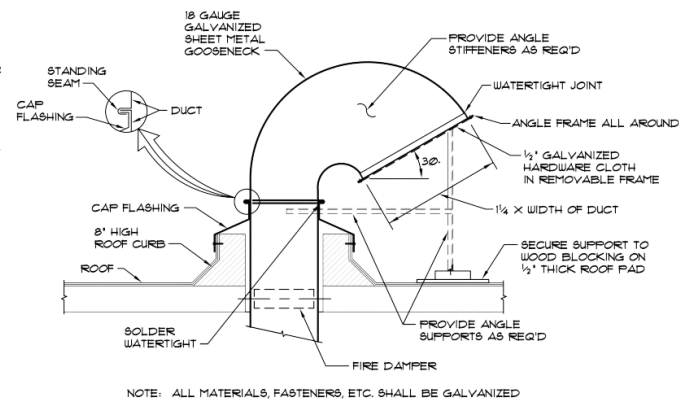
FIRE DAMPER INSTALLATION DETAIL



CONDENSING UNIT MOUNTING DETAIL



REFRIGERANT PIPING ROOF PENETRATION DETAIL



ROOF COWL DETAIL

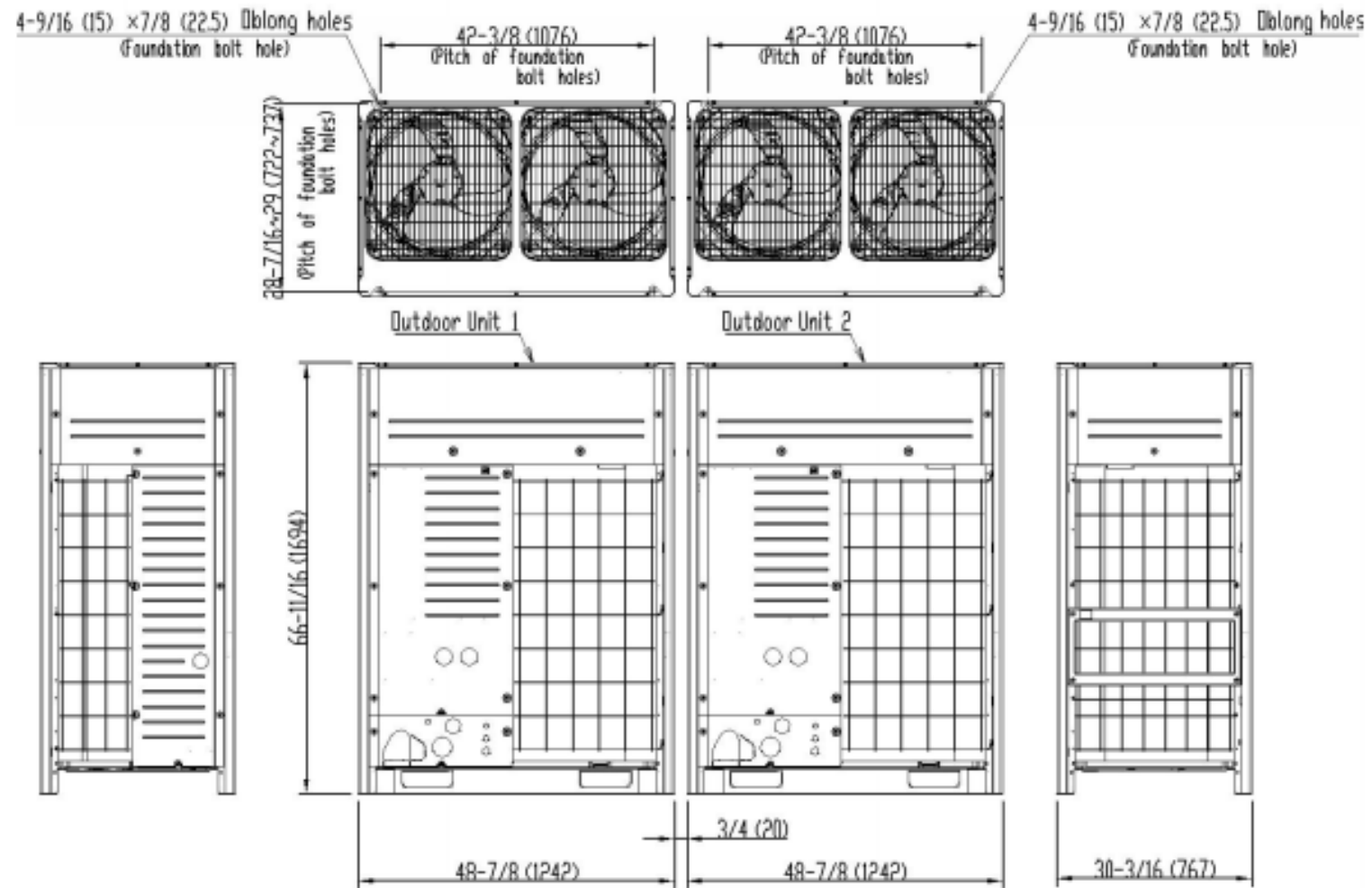


300 Decatur

VCC Architectural Committee

March 22, 2022







619 Governor Nicholls

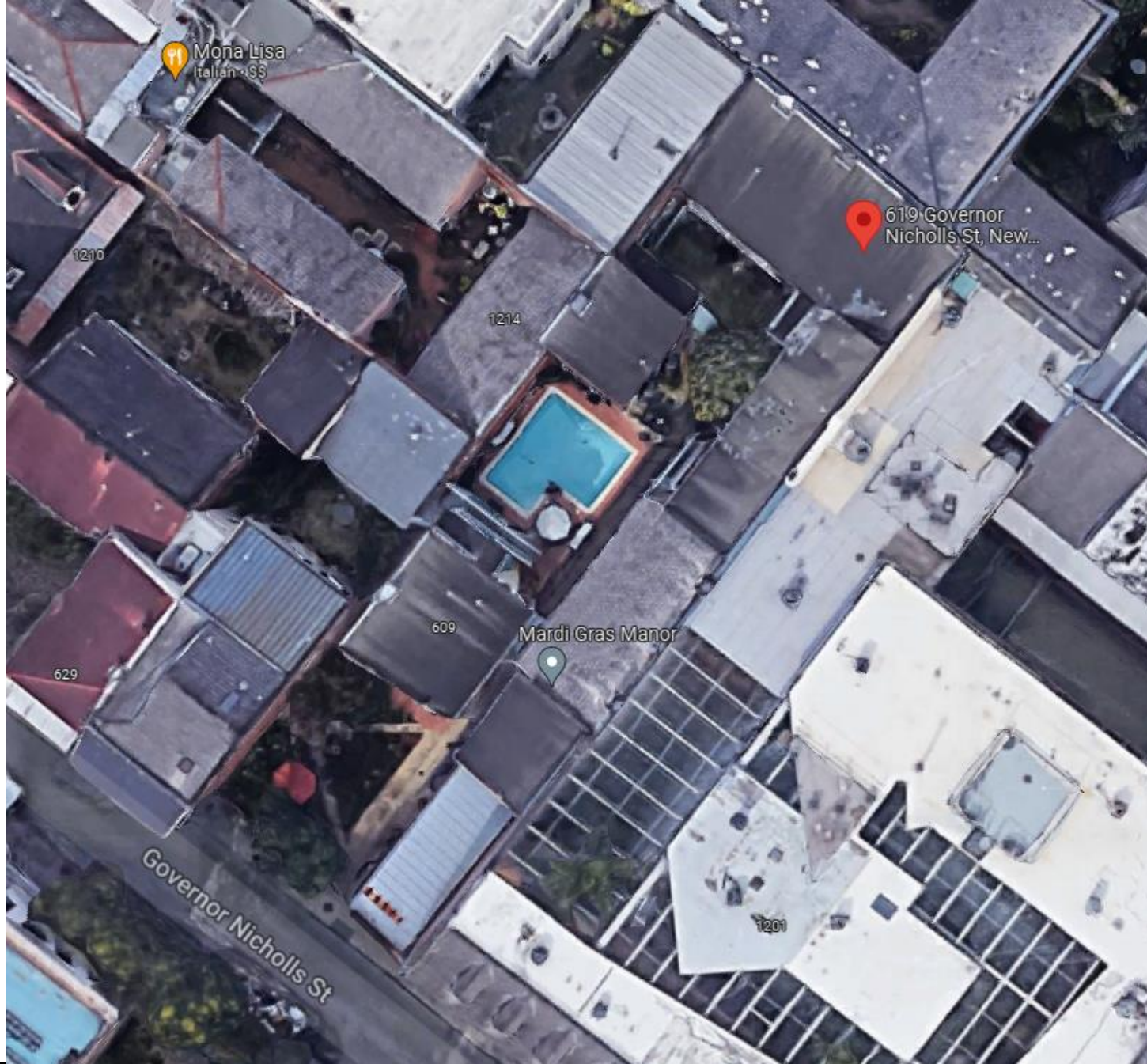


619 Gov. Nicholls

VCC Architectural Committee

March 22, 2022





619 Gov. Nicholls

VCC Architectural Committee

March 22, 2022





619 Gov. Nicholls

VCC Architectural Committee

March 22, 2022





619 Gov. Nicholls

VCC Architectural Committee

March 22, 2022



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March 22, 2022



JOB# _____

"SINCE 1928"

Orleans

SHEET METAL WORKS & ROOFING, INC.

504-872-0152 • 504-822-4892

1926 Airline Dr Metairie, LA 70001

LOCALLY OWNED AND OPERATED IN NEW ORLEANS AREA FOR OVER 93 YEARS



Owner/Buyer Mardi Gras Manor Date _____
 Address 619 Governor Nicholls St Phone (H) _____
 City/State/Zip New Orleans, LA 70116 Phone (W) _____
 Email Address _____ Phone (C) 504 232 5767

INSURANCE SCOPE AND CONTRACT SPECIFICATIONS

Scope of Loss	Description	Quan/Unit	Unit Cost	Proposal	Settlement
	Tear OFF haul + Dispose				
	Slate Roofing				
	✓				
	Install Synthetic Felt				
	Remove + Replace Drip edge				
	Recover Roof with				
	12" Single Width Smoke Gray				
	DaVinci Slate				
	Building 1 12#				
	Building 2 5#				
	Building 3 39#				
	all New pipe Boots				

619 Gov. Nicholls

VCC Architectural Committee

March 22, 2022





Vieux Carré Commission

334 Royal Street, Second Floor
New Orleans, LA 70130
(504)528-3950



Permit No. 050581

**The Vieux Carré Commission hereby grants permission
for the approved work specified below.**

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

Address: 619 Gov. Nicholls

Applicant: Jay Schwander

Owner: Mardi Gras Manor

Contractor: Schwander Roofing

Work approved:

To address damage done by Hurricane Katrina by doing the following roofing work to the buildings as necessary:

- Remove existing asbestos shingle roofing.
- Repair and/or replace underlayment as necessary.
- Install/repair flashing and vents, to match existing.
- Install new Lamarite synthetic slate roofing, dark gray in color, with underlayment in accordance with manufacturers instructions for Class "A" fire rating.
- Reinstall existing ridge tiles.

**Notes: Trash chutes are required for removal of debris from all roofs.
All work must conform to standard VCC policies & guidelines**

Estimated cost: Not Stated

hsi, November 28, 2005

This permit expires six (6) months from date of issuance, and may be renewed if work is proceeding satisfactorily.

A permit may still be required from the City of New Orleans, Department of Safety and Permits. A Vieux Carré surcharge will be assessed against all city building permits which also require a Vieux Carré Commission permit. This project will be inspected on a regular basis by the Vieux Carré Commission staff to guarantee that the work executed conforms to this permit.

I, the undersigned, understand that the work must be executed exactly as specified on this permit. If it is determined that changes are necessary, I will apply for those modifications prior to the commencement of any work on those changes.

I certify that I have the authority of the current property owner(s) to perform the "permitted" work.

619 Gov. Nicholls – 2005 permit for Lamarite roofing

VCC Architectural Committee

March 22, 2022

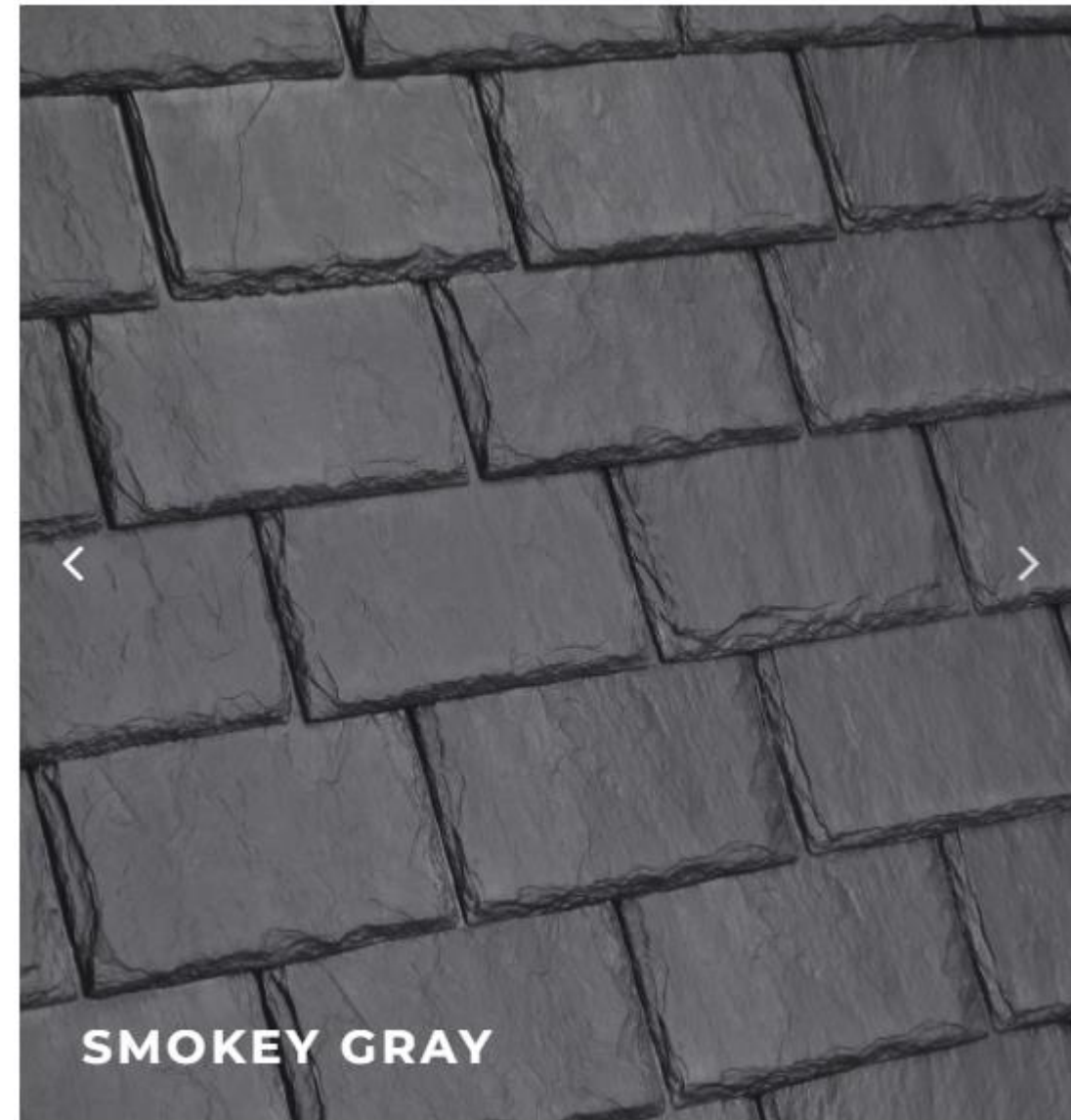


SINGLE-WIDTH

Single-width tiles reduce material and speed up installation time without compromising style.



12"



VIEUX CARRE ROOFING POLICY SUMMARY

RATINGS	Slate (Traditional)	Slate (Contemporary)	Clay Tile	Cement, Slate- type shingles <i>* Ludo Slate</i>	Non- cement, synthetic slate- type shingles	Standing seam copper	Standing seam painted galvanized metal
Purple	X		♦			♦	♦
Blue	X	X	♦			♦	♦
Green	X	X	♦	X		♦	♦
Pink	X	X	♦	X		♦	♦
Yellow	X	X	♦	X	X	♦	♦
Orange	X	X	♦	X	X	♦	♦
Brown	X	X	♦	X	X	♦	♦

X= approved material

♦ = may be applicable after review of building type and history





1201-03 Bourbon



1203 Bourbon

VCC Architectural Committee

March 22, 2022





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March 22, 2022





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March 22, 2022



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork base. The shield is flanked by two vertical bars with diamond-shaped details. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

939 Iberville

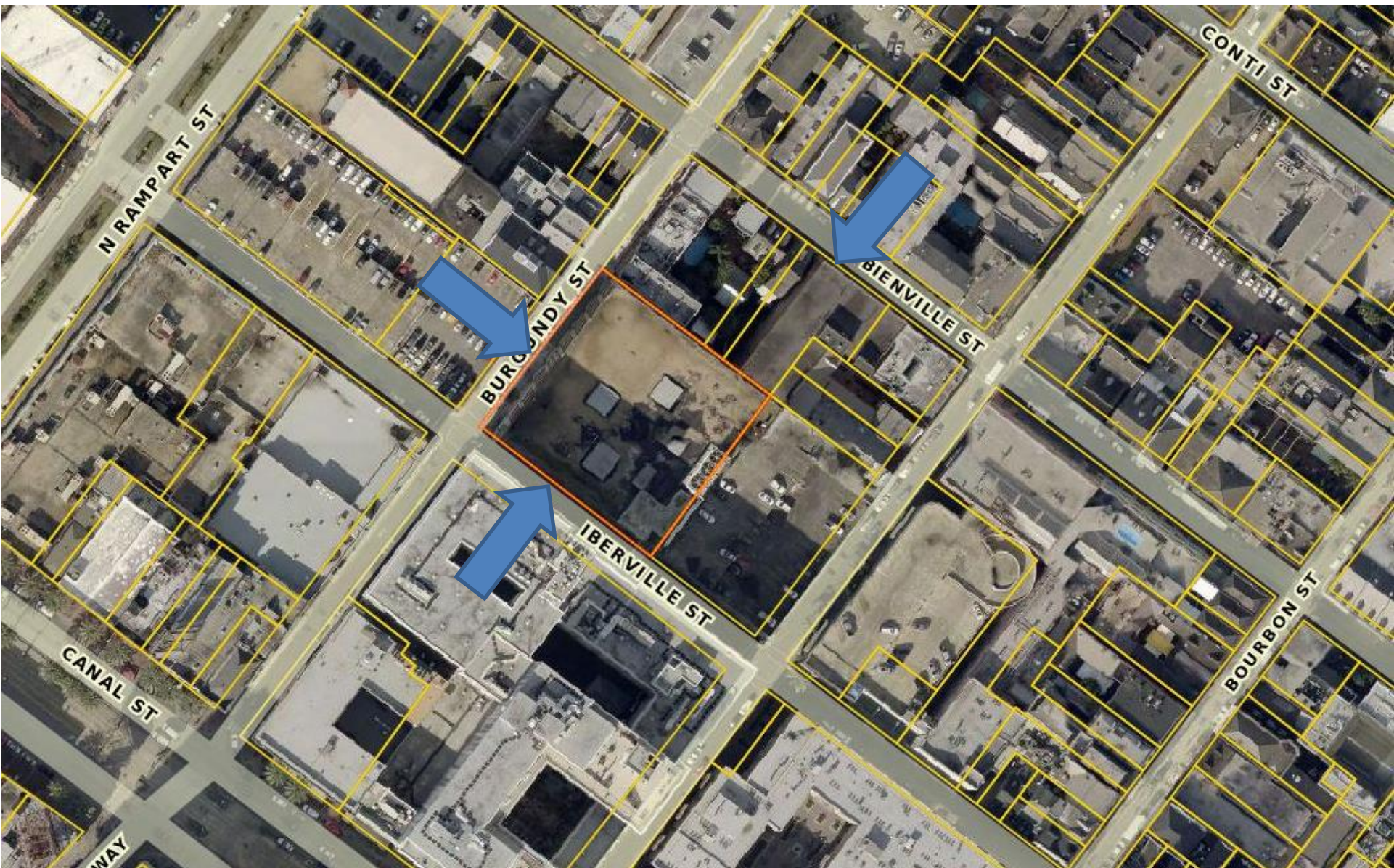


939 Iberville

VCC Architectural Committee

March 22, 2022





939 Iberville

VCC Architectural Committee

March 22, 2022





939 Iberville-1920s or 30s

VCC Architectural Committee

March 22, 2022





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March 22, 2022





939 Iberville

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March 22, 2022



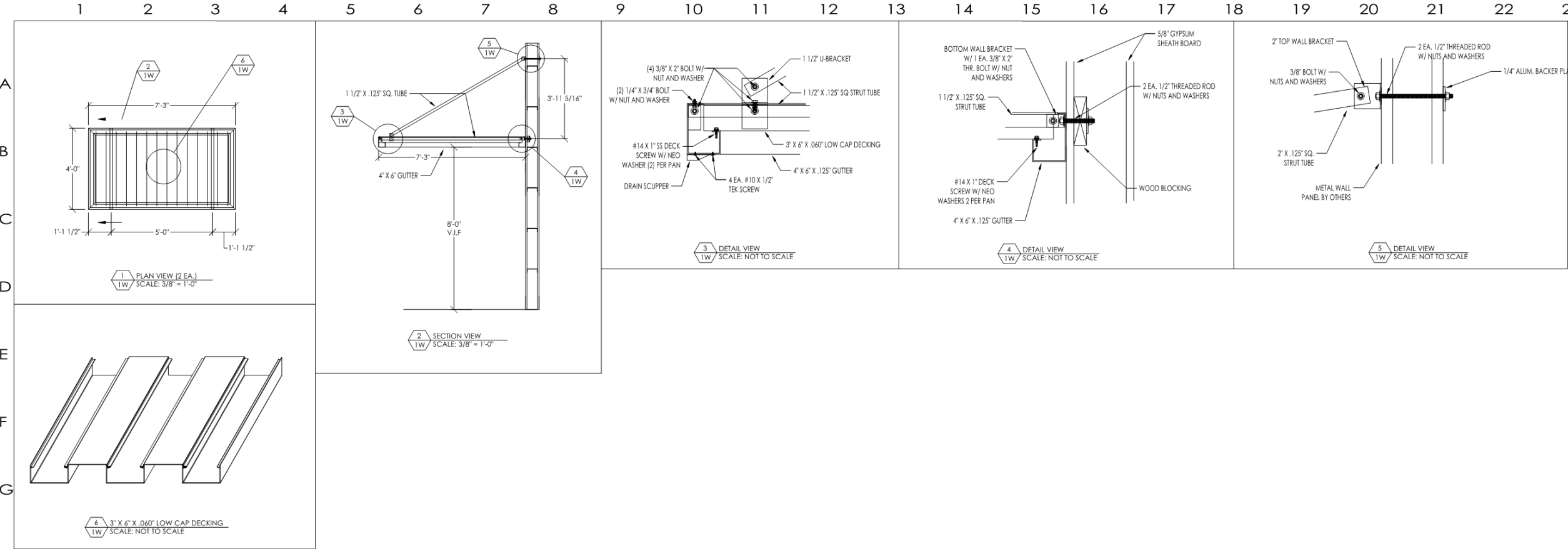


939 Iberville (916 Bienville)
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March 22, 2022









939 Iberville
VCC Architectural Committee

March 22, 2022

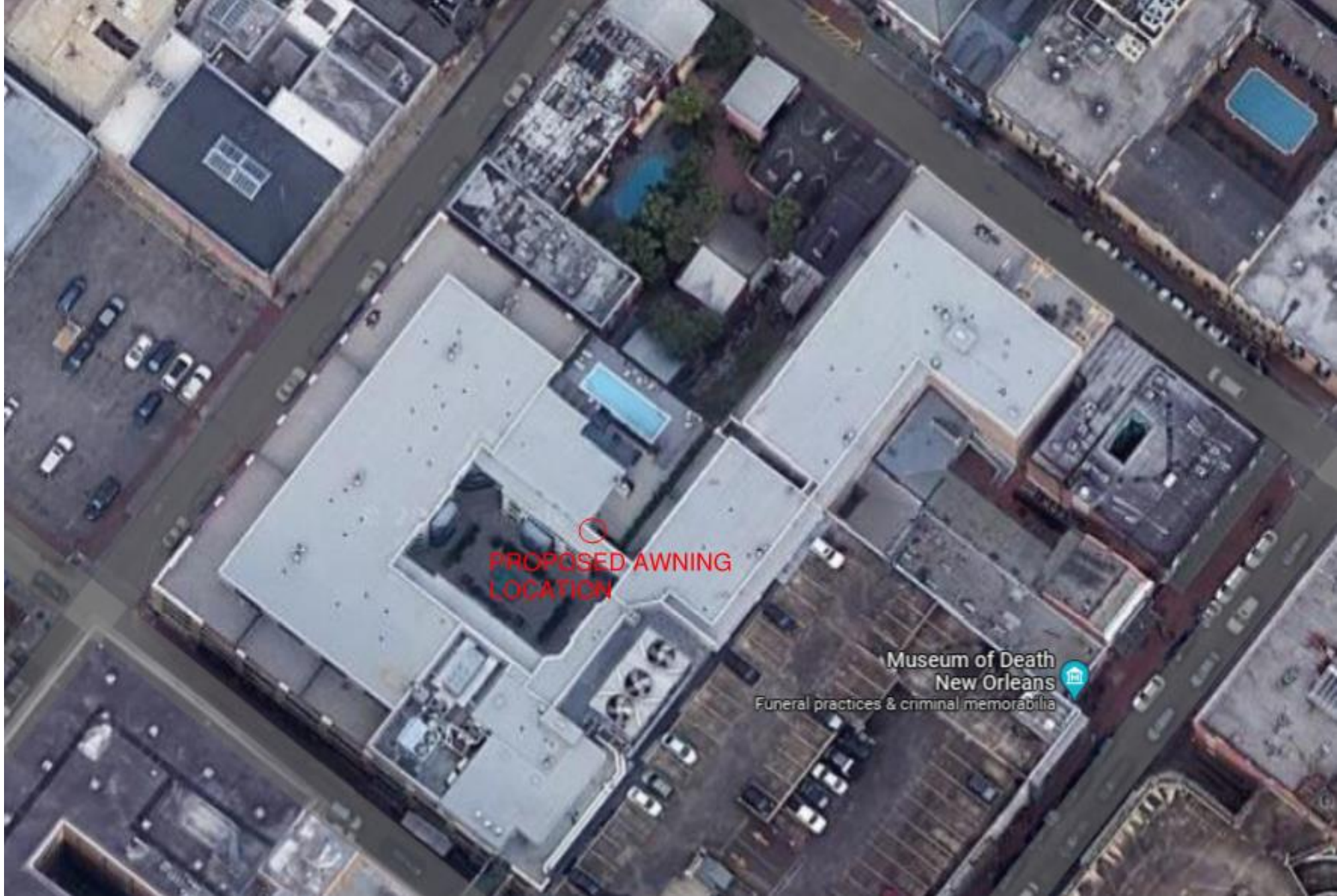




Lake Forest, IL
(800)759-6985
www.cpidaylighting.com

CPICRF premium plus
JET BLACK CPI-PP9
JKA0004

*(Lab prepared color standard, color may vary
slightly in production line application.)*



939 Iberville

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March 22, 2022





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March 22, 2022







939 Iberville – Existing Awning at Main Entrance

VCC Architectural Committee

March 22, 2022





939 Iberville (920 Bienville)

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March 22, 2022





939 Iberville (920 Bienville) – Water Draining onto Neighboring Property

VCC Architectural Committee

March 22, 2022





939 Iberville (920 Bienville) – Water Draining onto Neighboring Property

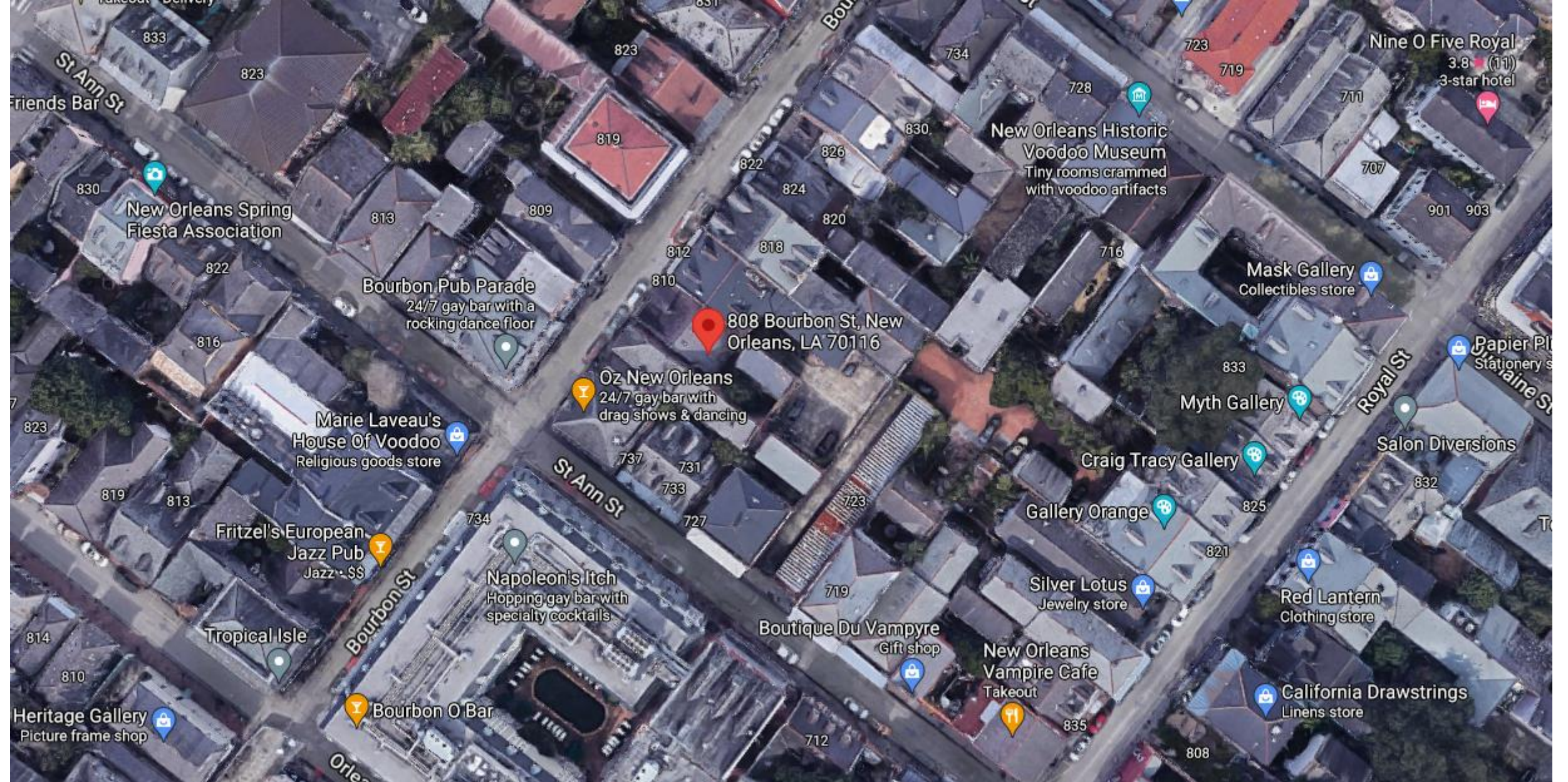
VCC Architectural Committee

March 22, 2022





810 Bourbon



808 Bourbon

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March 22, 2022





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March 22, 2022





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March 22, 2022





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March 22, 2022





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VCC Architect





Stairs previously
approved for
demolition

03 14 2019



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March 22, 2022





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VCC Architectural Committee

01 31 2022

March 22, 2022



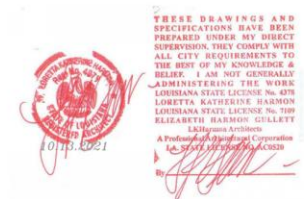
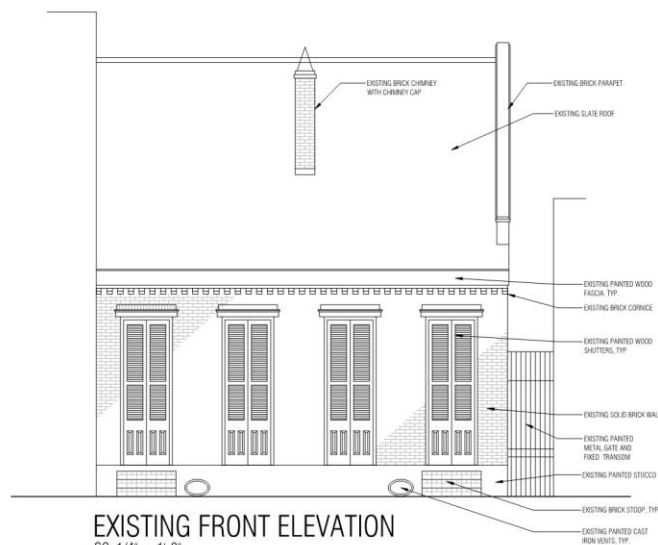
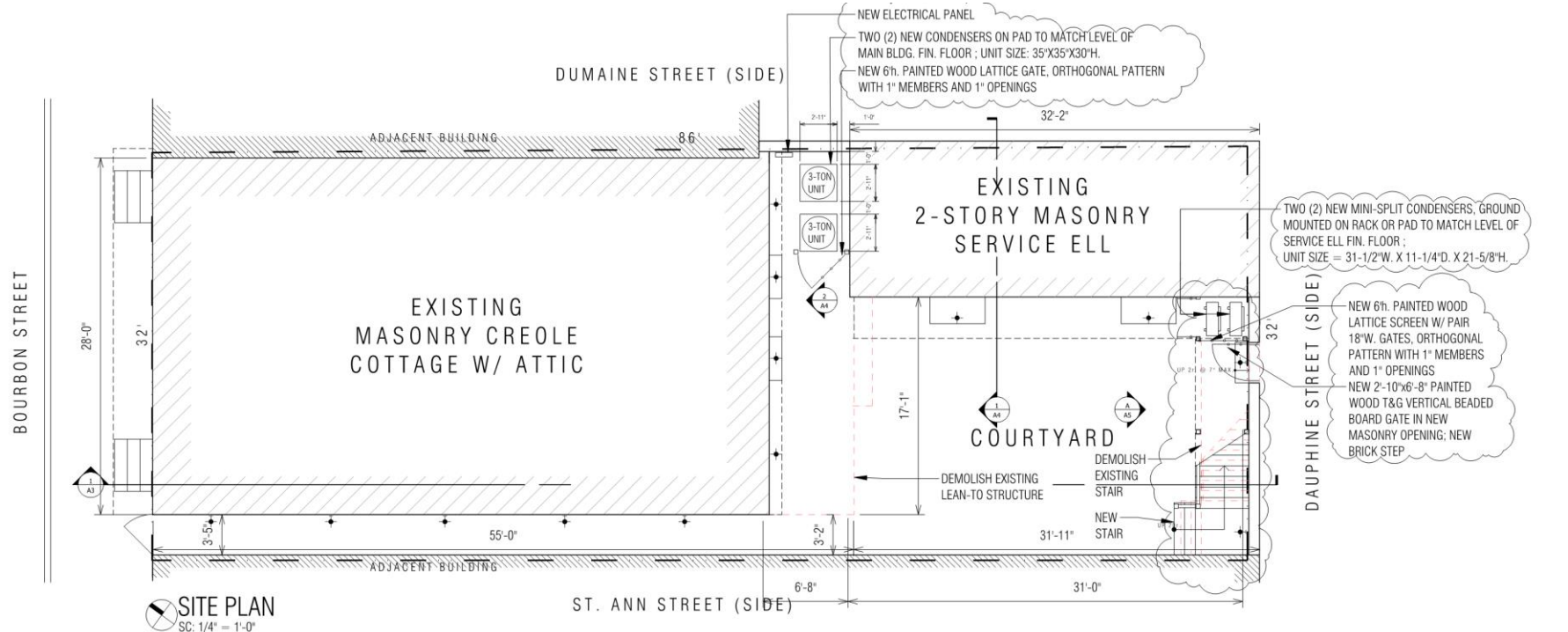


808 Bourbon

VCC Architectural Committee

March 22, 2022





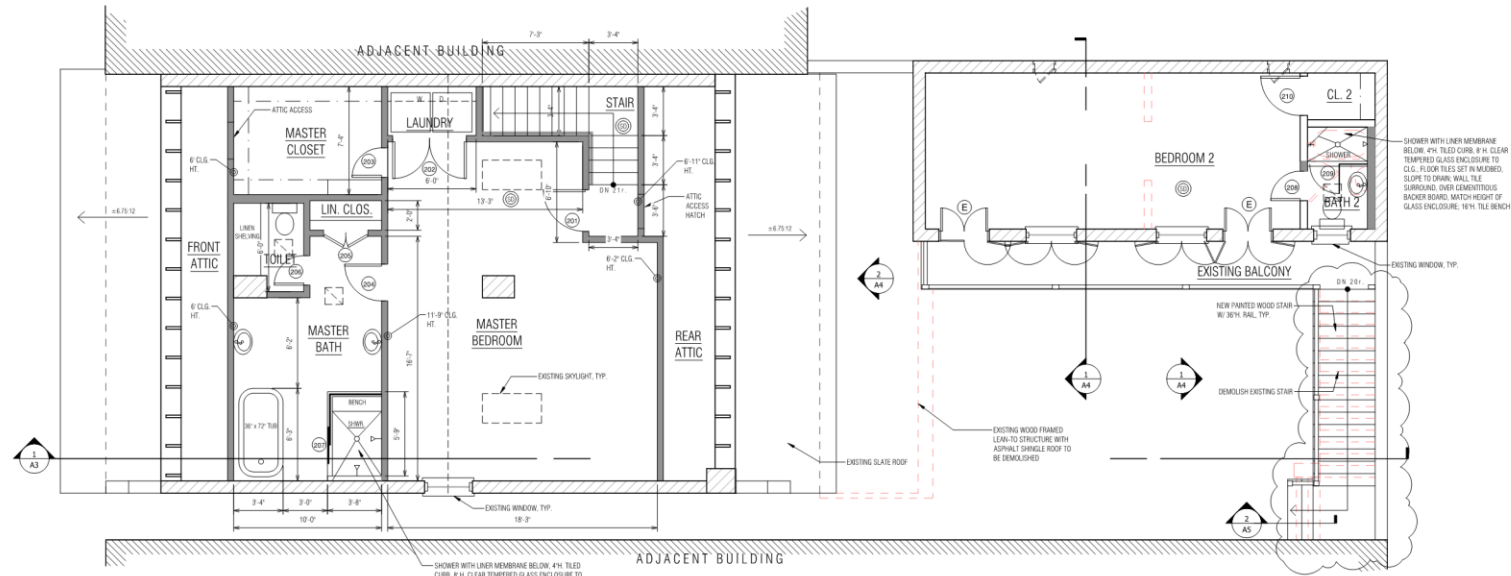
RENOVATION OF 810 BOURBON ST. RESIDENCE New Orleans, Louisiana 70116	 LKHarmon Architects A Professional Architectural Corporation 6236 Argonne Boulevard New Orleans, Louisiana 70124 504.485.5870 harmon@lkharchitects.com	7.19.2021	A1 LKH#3421
		8.17.2021	
		10.13.2021	
		2.23.2022	



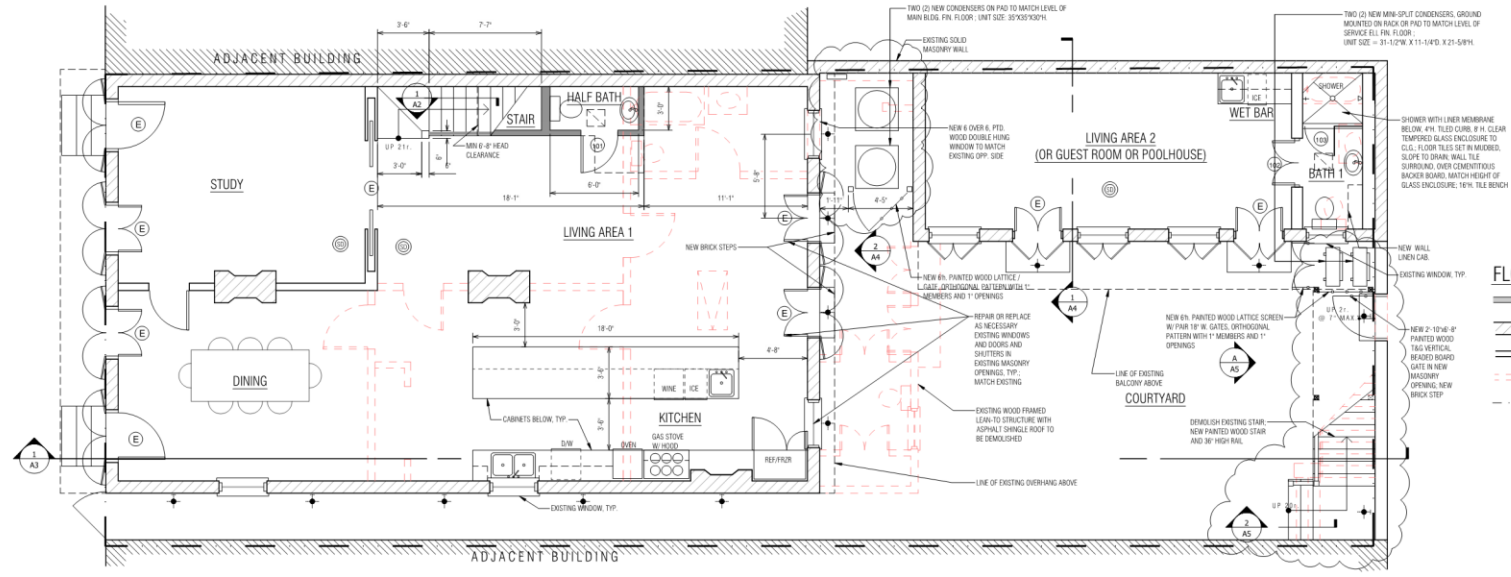
808 Bourbon

VCC Architectural Committee

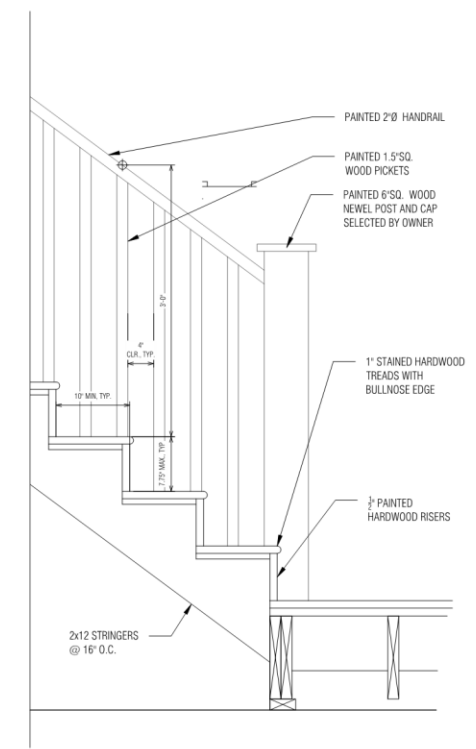
March 22, 2022



SECOND FLOOR PLAN
SC: 1/4" = 1'-0"



FIRST FLOOR PLAN
SC: 1/4" = 1'-0"



PARTIAL SECTION THRU NEW INTERIOR STAIR
SC: 1/2" = 1'-0"

FLOOR PLAN LEGEND:

- NEW INTERIOR STUD WALL
- EXISTING SOLID MASONRY WALL
- EXISTING STUD WALL
- DEMOLISH
- 2 ROWS OF VINYL COATED WIRE SHELF / RACK
- SMOKE / CARBON MONOXIDE DETECTOR HARDWIRED TO HOUSE ELECTRICAL DETECTORS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS
- EXISTING DOOR OR NEW TO MATCH EXISTING
- NEW DOOR PER DOOR SCHEDULE, SHEET A4
- CILING MOUNTED ELECTRICAL EXHAUST FAN DUCTED TO EXTERIOR
- BRANCHKIT 110 SERIES 30 4 2000 RPM MOUNTED CAN LIGHTS WITH 3000K TEMP. BULBS, RE. CUTOFFSET ON A3
- BRANCHKIT 210 SERIES 4 2000 RPM MOUNTED CAN LIGHTS WITH 3000K TEMP. BULBS, RE. CUTOFFSET ON A3



808 Bourbon

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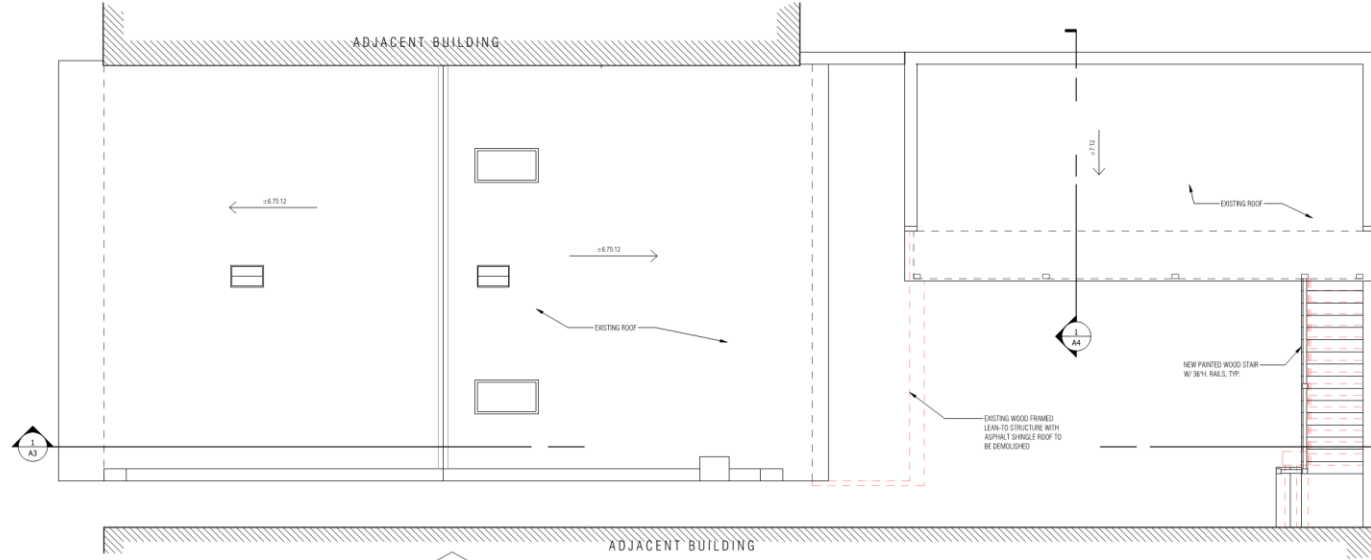
**RENOVATION OF
810 BOURBON ST. RESIDENCE**
New Orleans, Louisiana 70116

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504.485.5870 info@lkharmonarchitects.com

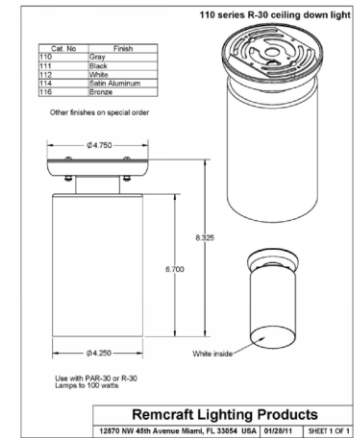
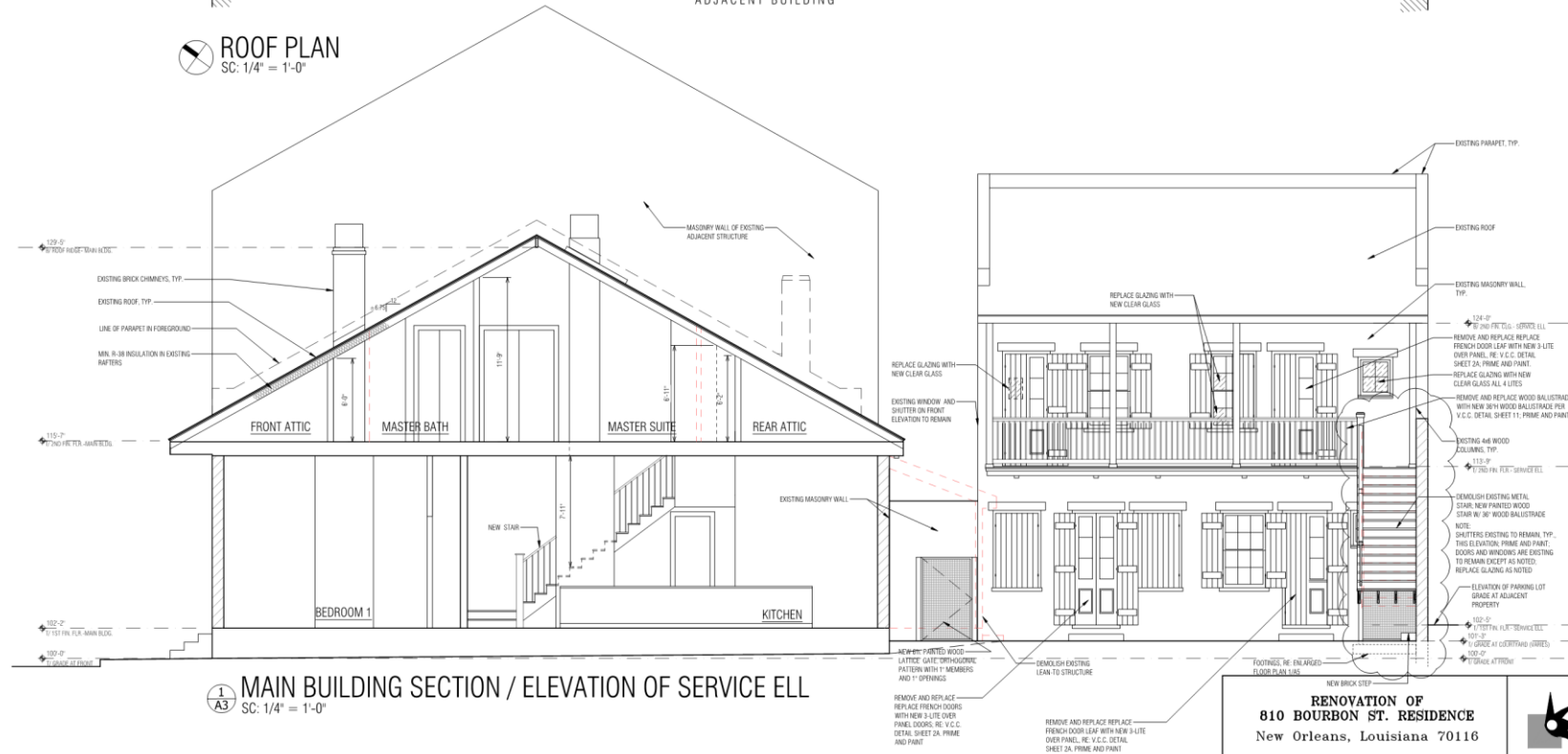
7.19.2021	A2
8.17.2021	
10.13.2021	
2.23.2022	
LKH#3421	



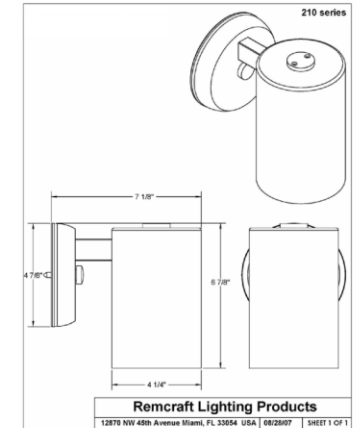
March 22, 2022



ROOF PLAN
SC: 1/4" = 1'-0"



SOFFIT MOUNTED FIXTURE



WALL MOUNTED FIXTURE

LIGHTING CUTSHEETS
N.T.S.



808 Bourbon

VCC Architectural Committee

**RENOVATION OF
810 BOURBON ST. RESIDENCE**
New Orleans, Louisiana 70116

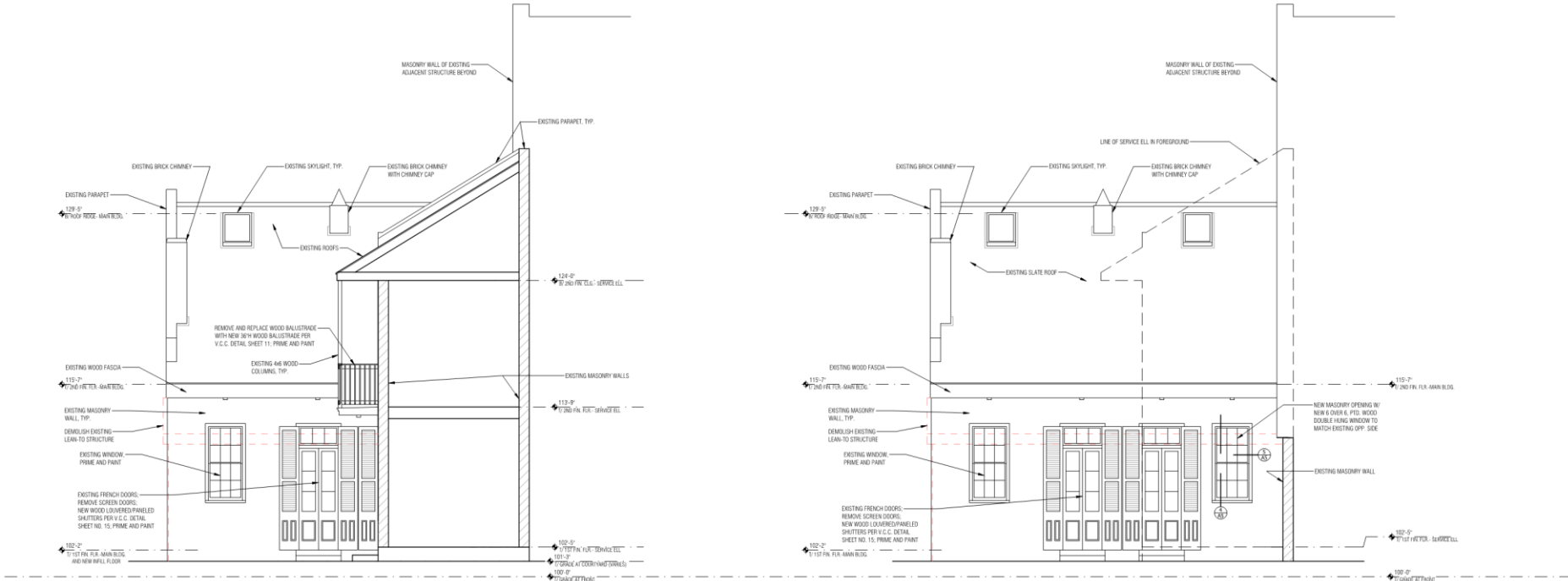
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8.17.2021
10.13.2021
1.17.2022
2.23.2022

A3
LKH#3421



March 22, 2022



1 A4 SERVICE ELL BUILDING SECTION / REAR ELEVATION OF MAIN BUILDING
SC: 1/4" = 1'-0"

2 A4 REAR ELEVATION OF MAIN BUILDING
SC: 1/4" = 1'-0"

DOOR SCHEDULE

MARK	SIZE	TYPE	HARDWARE SET	REMARKS
101	2'-0"x6'-0"x1-3/4"	PTD. WOOD, PANEL	PRIVACY LOCKSET, HINGES, DOOR STOP	
102	PAN 1'-6"x6'-0"x1-3/4"	PTD. WOOD, PANEL	DUMMYP LOCKSET, BALL CATCH LATCH, HINGES, DOOR STOPS, SLIDE AND LOCK ON INTERIOR	
103	2'-0"x6'-0"x3/4"	GLASS TEMPERED FRAMELESS GLASS	PUSH/PULL HANDLES BOTH SIDES	
104	2'-10"x6'-0"x1-3/4"	PTD. WOOD, PANEL	PRIVACY LOCKSET, HINGES, DOOR STOP	
105	PAN 2'-0"x6'-0"x1-3/4"	PTD. WOOD, PANEL	DUMMYP LOCKSET, BALL CATCH LATCH, HINGES, DOOR STOPS	
106	2'-0"x6'-0"x1-3/4"	PTD. WOOD, PANEL	PASSAGE LOCKSET, HINGES, DOOR STOP	
107	2'-0"x6'-0"x1-3/4"	PTD. WOOD, PANEL	PRIVACY LOCKSET, HINGES, DOOR STOP	
108	PAN 1'-6"x6'-0"x1-3/4"	PTD. WOOD, PANEL	DUMMYP LOCKSET, BALL CATCH LATCH, HINGES, DOOR STOPS	
109	2'-0"x6'-0"x1-3/4"	PTD. WOOD, PANEL	PRIVACY LOCKSET, HINGES, DOOR STOP	
110	2'-0"x6'-0"x3/4"	GLASS TEMPERED FRAMELESS GLASS	PUSH/PULL HANDLES BOTH SIDES	
111	2'-0"x6'-0"x1-3/4"	PTD. WOOD, PANEL	PASSAGE LOCKSET, HINGES, DOOR STOP	

WINDOW, DOOR AND FINISH NOTES

FINISHES

- PAINT ALL NEW AND EXISTING INTERIOR WINDOW TRIM, DOOR TRIM, DOORS, AND WALL BASE.
- INTERIOR PAINTING:
WALLS: 2 COATS ACRYLIC LATEX OVER PRIMER
INTERIOR WOOD AND TRIM: 2 COATS ACRYLIC LATEX OVER PRIMER
- ALL PAINT COLORS AND FINISHES TO BE SELECTED BY OWNER.
- WOOD PLANK FLOORING SHALL BE SELECTED BY OWNER.
- TILE SCHEDULED FOR FLOORS AND WALLS AND TUB / SHOWER SURROUNDS SHALL BE SELECTED BY OWNER.
- IN LIEU OF DRYLUM BOARD, PROVIDE 1/2" CEMENTITIOUS BACKER BOARD WHERE CERAMIC TILE IS SCHEDULED FOR WALLS.
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT WET LOCATIONS.
- WOOD WALL BASE, 4" INTERIOR DOOR AND WINDOW TRIM AND CHOWN MOLDING SHALL BE SELECTED BY OWNER FROM STOCK PROFILES.

DOOR AND WINDOW NOTES

- PROVIDE SAFETY GLazing IN WINDOWS AND DOORS IN ACCORDANCE WITH IRC 2015 SECTION 310.2.
- DOOR HARDWARE FINISH SHALL BE SELECTED BY OWNER.
- DOOR PANEL STYLE SHALL BE SELECTED BY OWNER.
- IN LIEU OF IMPACT RESISTANT DOORS AND WINDOWS, PROVIDE WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 7/16" AND MAX. SPAN OF 8' PRECUT TO COVER ALL GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED PER RECORTS TABLE 1001.2.2. PANELS SHALL BE STORED ON SITE AND SHALL BE ATTACHED TO OPENINGS ONLY IN THE EVENT OF AN IMPENDING HURRICANE.

FINISH SCHEDULE

ROOM	FLOOR	BASE	WALLS	CEILING	MOLDING	REMARKS
LIVING AREA 1	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW WALL BASE, TRIM AND CHOWN SHALL MATCH EXISTING TYP.
KITCHEN	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
STUDY	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
DINING	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
HALF BATH	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
STAIR	WOOD TRIMMED - STAINED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
LIVING AREA 2	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
BATH 1	CERAMIC OR NATURAL STONE TILE, THINSET	WALL, TILE	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
SHOWER	CERAMIC OR NATURAL STONE TILE, THINSET	TILE COVE	WALL, TILE	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
BEDROOM 2	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
BATH 2	CERAMIC OR NATURAL STONE TILE, THINSET	WALL, TILE	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
SHOWER	CERAMIC OR NATURAL STONE TILE, THINSET	TILE COVE	WALL, TILE	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
CLOS. 2	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
WOOD WALL BASE, 4" INTERIOR DOOR AND WINDOW TRIM AND CHOWN MOLDING SHALL BE SELECTED BY OWNER FROM STOCK PROFILES.	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
MASTER BATH	CERAMIC OR NATURAL STONE TILE, THINSET	WALL, TILE	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
SHOWER	CERAMIC OR NATURAL STONE TILE, THINSET	TILE COVE	WALL, TILE	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
LINEN	CERAMIC OR NATURAL STONE TILE, THINSET	TILE COVE	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
TOILET	CERAMIC OR NATURAL STONE TILE, THINSET	TILE COVE	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
MASTER CLOSET	STAINED WOOD PLANK	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	
LAUNDRY	CERAMIC OR NATURAL STONE TILE, THINSET	TILE COVE	NEW OR EXISTING WALL PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	NEW OR EXISTING PAINTED WOOD	

808 Bourbon

VCC Architectural Committee

RENOVATION OF
810 BOURBON ST. RESIDENCE
New Orleans, Louisiana 70116

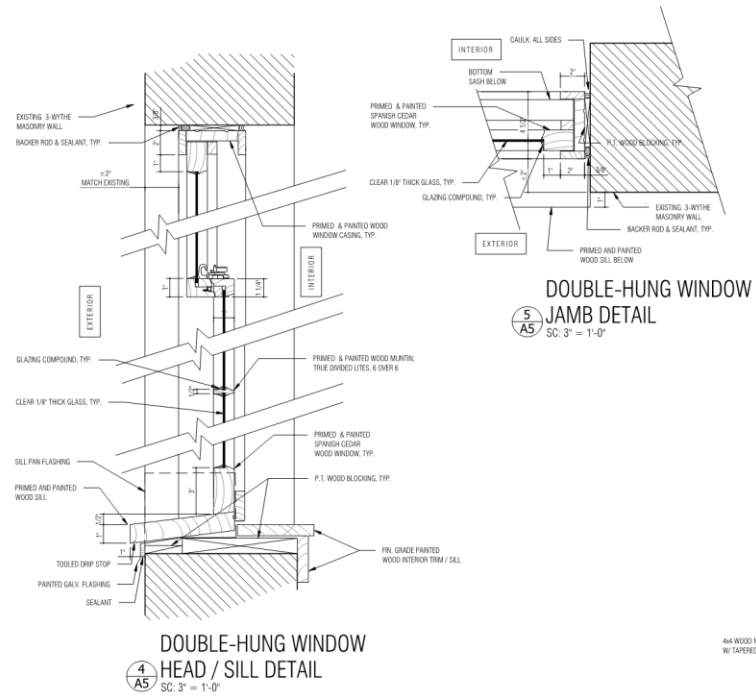
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504.485.5870 harmon@lkharchitects.com

7.19.2021
8.17.2021
10.13.2021
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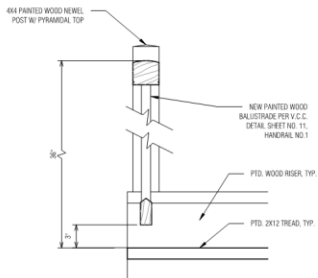


March 22, 2022



DOUBLE-HUNG WINDOW
JAMB DETAIL
SC: 3" = 1'-0"

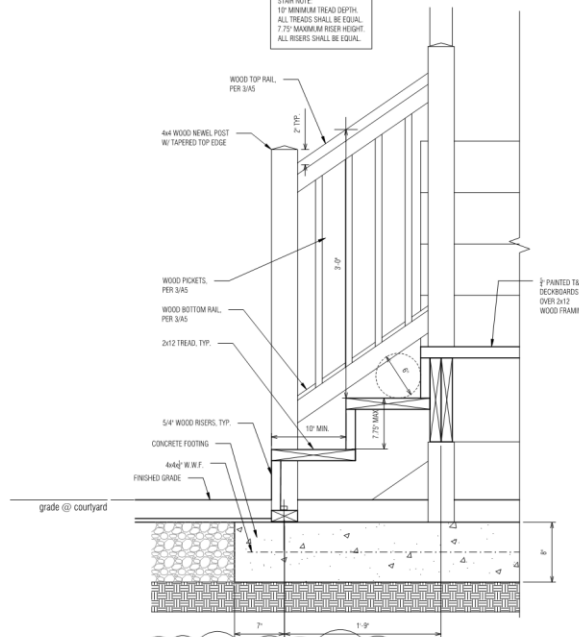
DOUBLE-HUNG WINDOW
HEAD / SILL DETAIL
SC: 3" = 1'-0"



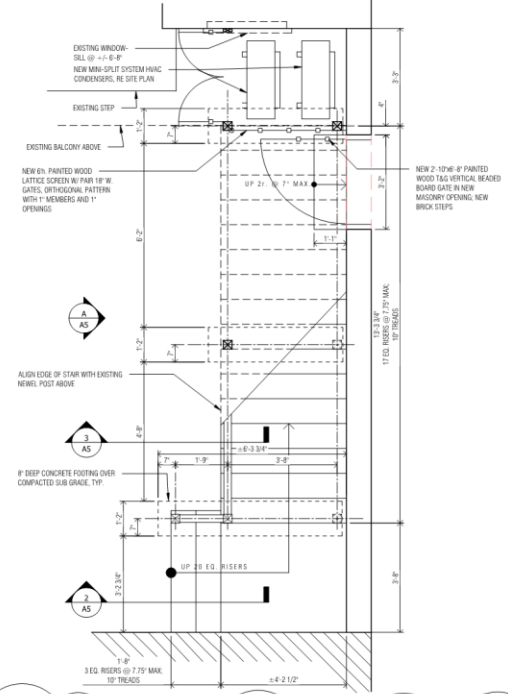
SECTION THRU NEW EXTERIOR STAIR RAIL
SC: 1-1/2" = 1'-0"

EXTERIOR WOOD SHALL BE SOLID, TREATED FOR EXTERIOR USE, AND AIR OR KILN DRIED PRIOR TO INSTALLATION. PRIME AND PAINT, TYP.

STAIR NOTE:
10" MINIMUM TREAD DEPTH
ALL TREADS SHALL BE EQUAL
7 7/8" MINIMUM RISER HEIGHT
ALL RISERS SHALL BE EQUAL



EXTERIOR STAIR SECTION
SC: 1-1/2" = 1'-0"



ENLARGED FLOOR PLAN AT NEW EXTERIOR STAIR
SC: 1/2" = 1'-0"



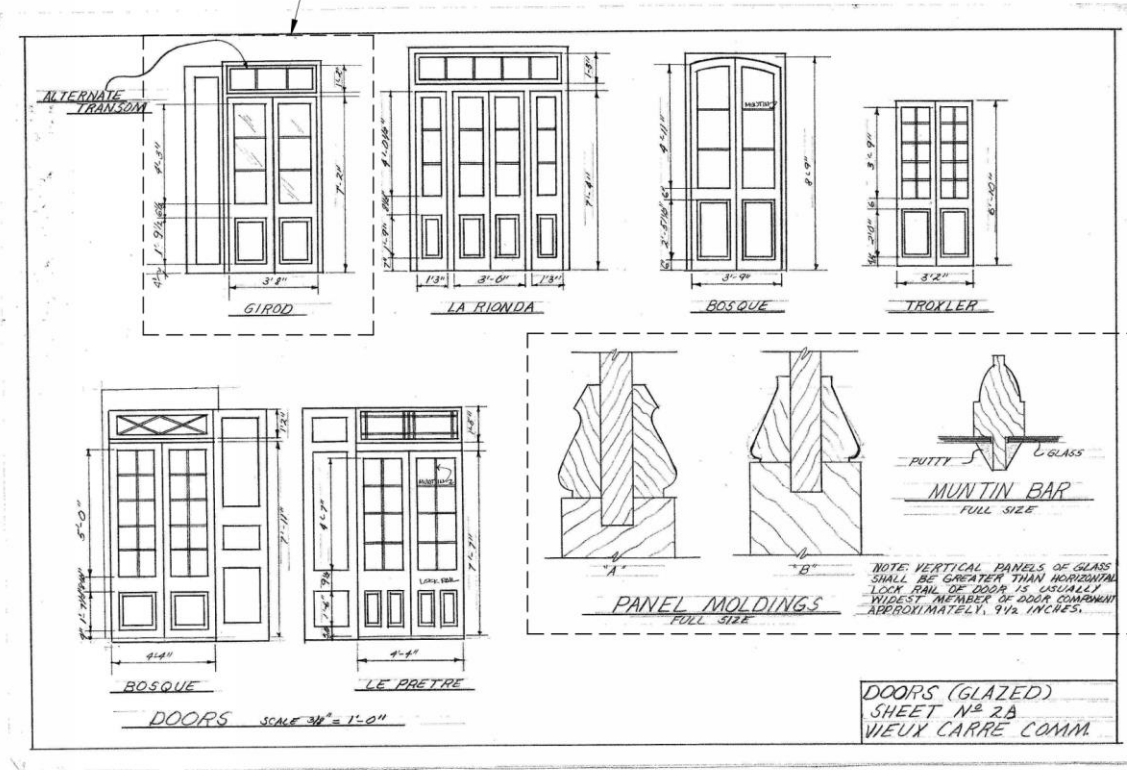
808 Bourbon

VCC Architectural Committee

RENOVATION OF 810 BOURBON ST. RESIDENCE New Orleans, Louisiana 70116	 LKHarm Architect A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans, Louisiana 70124 504.485.5879 harmon@lkharmarchitects.com	10.13.2021	A5 ARRE COMMISSION ESTABLISHED 1936
		1.17.2022	
		2.23.2022	
		LKH#3421	

March 22, 2022

TYP. NEW FRENCH DOORS;
OMIT TRANSOM; MATCH
PANEL MOLDING STYLE TO
OF EXISTING DOORS



808 Bourbon

VCC Architectural Committee

V.C.C. DETAIL SHEET No. 2A

RENOVATION OF
810 BOURBON ST. RESIDENCE
New Orleans, Louisiana 70116



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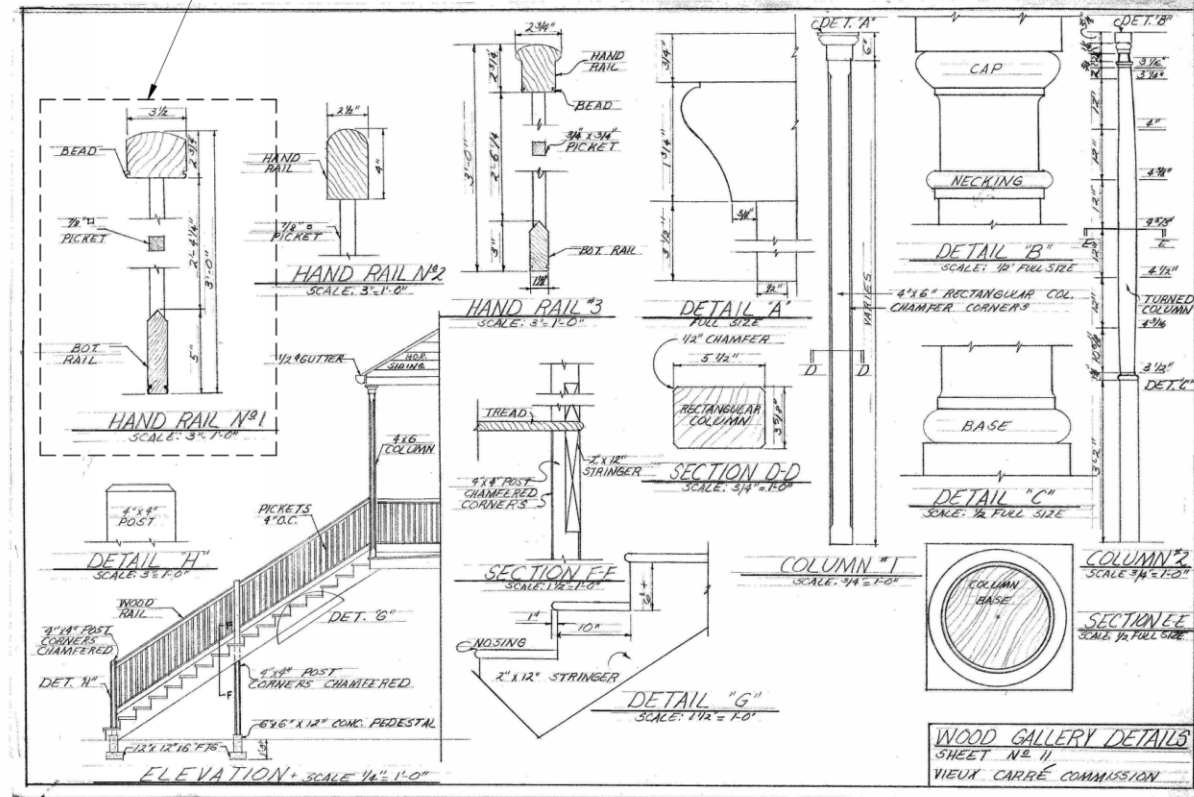
1.17.2022

A6
LKH#3421



March 22, 2022

TYP. NEW BALCONY AND
STAIR RAILING



V.C.C. DETAIL SHEET No. 11

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VCC Architectural Committee

RENOVATION OF
810 BOURBON ST. RESIDENCE
New Orleans, Louisiana 70116



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1.17.2022

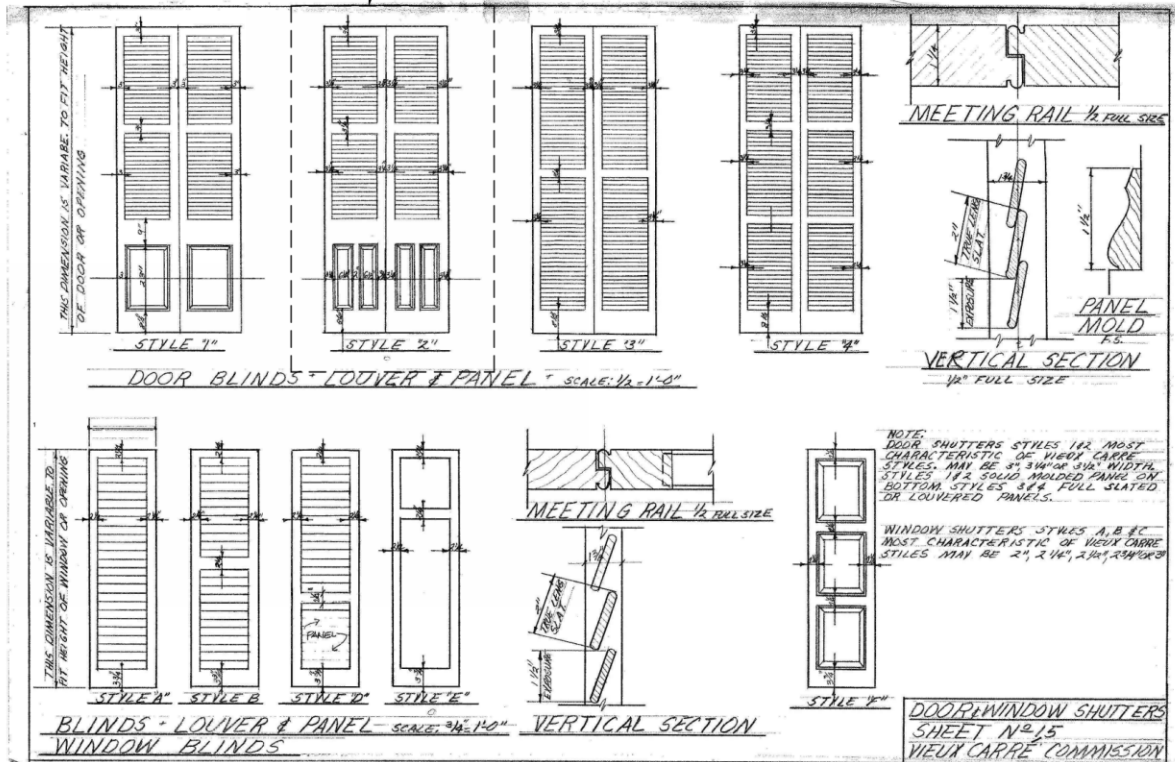
A7

LKH#3421



March 22, 2022

TYP. NEW SHUTTERS AT REAR
ELEVATION OF MAIN BUILDING



808 Bourbon

VCC Architectural Committee

V.C.C. DETAIL SHEET No. 15

RENOVATION OF
810 BOURBON ST. RESIDENCE
New Orleans, Louisiana 70116



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1.17.2022	A8
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March 22, 2022



927 Toulouse



927 Toulouse





927 Toulouse

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927 Toulouse

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March 22, 2022





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Suite 107
Jacksonville, FL 32216
Phone: (800) 890-4835
www.itelinc.com

Attn: **Ethan Ozburn** From: **ITEL Customer Experience Dept.**
To: **Witten Roofing** Email: **customerexperience@itelinc.com**
Email: **ethan@wroofing.net**

SLATE ROOFING EVALUATION

<u>CUSTOMER INFORMATION</u>			
Customer:	Generic Customer/, FL	Control #:	ERS8100776
Cust ID:	CUST0004	Date Received:	1/10/2022
Adjuster:	Pre-Paid Not a Bill	Date Invoiced:	1/11/2022
Additional:		Witten Roofing	
Vendor Job#:			
Contact:		Ethan Ozburn, ethan@wroofing.net	
Comments: ***01/25/2022: REVISED REPORT: Updated address /			
<u>INSURED INFORMATION</u>			
Claim #:	NOT PROVIDED TO ITEL		Loss Date:
Insured Name:	Roland Touns		Area Damaged: 927 Toulouse Street
City,State,Zip:	New Orleans, LA 70112		
Comments:			
<u>ORIGINAL PRODUCT</u>			
	<u>Brand</u>	<u>Line</u>	<u>Color</u>
Comments:	The original sample appears to match the specifications and characteristics of a Non-weathering Gray Slate with a nominal overall thickness of (.1875- .250"). This type of product is still available, however due to weathering of the existing roof tiles the initial color appearance may vary. Recommend blending new tiles into various points in each slope to minimize initial color difference. /		
<u>SIMILAR MATCH(ES)</u>			
<u>*Similarity Rating</u>	<u>Brand</u>	<u>Line</u>	<u>Color</u>
2	Vermont Structural Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	Local Distributor/Supplier: Approx. 11 miles away, The Roof Tile & Slate Company, 504-712-6859, Kenner, LA 70062		
	Manufacturer Contact Info: Vermont Structural Slate Company / www.vermontstructuralslate.com / (800) 343-1900		
2	Evergreen Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	Local Distributor/Supplier: Approx. 5 miles away, ABC Supply #079, 504-733-2225, Jefferson, LA 70121		
	Manufacturer Contact Info: Evergreen Slate Company / www.evergreenslate.com / 866-USA-SLATE		
Comments:			
*Similarity Rating: 1- Excellent match in pattern, color, specifications (candidate for same slope repair) 2- Good match, pattern very similar, specifications exact or very close, color close (may be candidate for full elevation and/or non-adjacent slope replacement) 3- Comparable specification match only, no suitable repair match found, (quality indicator for warranty determination only)			
<u>SLATE ANALYSIS</u>			
Color:	Gray/Green - W		
Width:	0		
Height:	12.000		
Average Thickness:	0.1875 - 0.2500 (3/16 - 1/4)"		
Specialty Shape:	N/A		
Nail Holes:	Yes		
Comments:	Installers should verify visual and dimensional compatibility before purchasing and installing replacement products. /		
<u>COMMENTS</u>			

927 Toulouse

VCC Architectural Committee

March 22, 2022



Existing slate shingles

Proposed Slates for
Repairs Option 1



927 Toulouse

VCC Architectural Committee

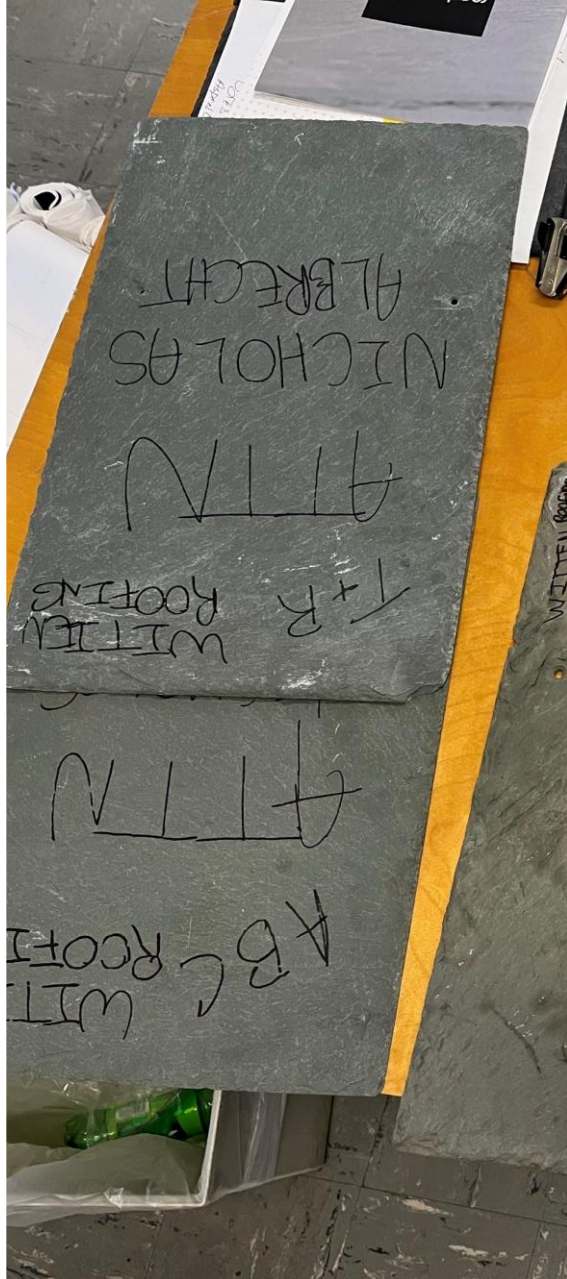
March 22, 2022



Existing slate shingles

Proposed Slates for
Repairs Option 2





927 Toulouse Proposed
VCC Architectural Committee

Existing

March 22, 2022



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork base. The shield is flanked by two vertical bars with diamond-shaped details. The entire shield is set within a circular border. The text "VIEUX CARRE COMMISSION" is written along the top arc of the border, and "ESTABLISHED 1936" is written along the bottom arc.

1114 Royal



1114 Royal

VCC Architectural Committee

March 22, 2022





1114 Royal

VCC Architectural Committee

March 22, 2022





1114 Royal ca. 1900

VCC Architectural Committee

March 22, 2022





1114 Royal - 1962

VCC Architectural Committee

March 22, 2022





1114 Royal

VCC Architectural Committee

March 22, 2022





1114 Royal

VCC Architectural Committee

▼ Sep 2021 - Sep 2021 ▼ ◀ image 1 of 12 ▶ 09/09/2021

March 22, 2022





1114 Royal

VCC Architectural Committee

March 22, 2022





1114 Royal

VCC Architectural Committee

March 22, 2022





1114 Royal

VCC Architectural Committee

March 22, 2022





1114 Royal

VCC Architectural Committee

March 22, 2022



SLATE ROOFING EVALUATION

<u>CUSTOMER INFORMATION</u>			
Customer:	Generic Customer/, FL	Control #:	ERS8103747
Cust ID:	CUST0004	Date Received:	1/11/2022
Adjuster:	Pre-Paid Not a Bill	Date Invoiced:	1/12/2022
		Additional:	Witten Roofing
		Vendor Job#:	
		Contact:	Ethan Ozburn, ethan@wroofing.net
Comments: ***1/25/2022- REVISED REPORT: Updated address /			
<u>INSURED INFORMATION</u>			
Claim #:	NOT PROVIDED TO ITTEL		Loss Date:
Insured Name:	Ronald Toups		Area Damaged:
City,State,Zip:	New Orleans, LA 70116		1114 Royal Street, Suite A & B
Comments:			
<u>ORIGINAL PRODUCT</u>			
	<u>Brand</u>	<u>Line</u>	<u>Color</u>
Comments:	The original sample appears to match the specifications and characteristics of a semi-weathering Gray/Green slate with a nominal overall thickness of (.1875- .250"). This type of product is still available, however due to weathering of the existing roof tiles the initial color appearance may vary. Recommend blending new tiles into various points in each slope to minimize initial color difference. /		
<u>SIMILAR MATCH(ES)</u>			
<u>*Similarity Rating</u>	<u>Brand</u>	<u>Line</u>	<u>Color</u>
2	Vermont Structural Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	Local Distributor/Supplier: Approx. 12 miles away, The Roof Tile & Slate Company, 504-712-6859, Kenner, LA 70062		
	Manufacturer Contact Info: Vermont Structural Slate Company / www.vermontstructuralslate.com / (800) 343-1900		
2	Evergreen Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	Local Distributor/Supplier: Approx. 6 miles away, ABC Supply #079, 504-733-2225, Jefferson, LA 70121		
	Manufacturer Contact Info: Evergreen Slate Company / www.evergreenslate.com / 866-USA-SLATE		
Comments:			
*Similarity Rating: 1- Excellent match in pattern, color, specifications (candidate for same slope repair) 2- Good match, pattern very similar, specifications exact or very close, color close (may be candidate for full elevation and/or non-adjacent slope replacement) 3- Comparable specification match only, no suitable repair match found, (quality indicator for warranty determination only)			
<u>SLATE ANALYSIS</u>			
Color:	Gray/Green - NW		Average Thickness: 0.1875 - 0.2500 (3/16 - 1/4)"
Width:	11.500		Specialty Shape: N/A
Height:	12.000		Nail Holes: No
Comments:	Installers should verify visual and dimensional compatibility before purchasing and installing replacement products. /		
<u>COMMENTS</u>			
Original sample was received broken into pieces. /			

1114 Royal

VCC Architectural Committee

March 22, 2022



Existing slate shingles

Proposed Slates for
Repairs Option 1



Existing slate shingles

Proposed Slates for
Repairs Option 1

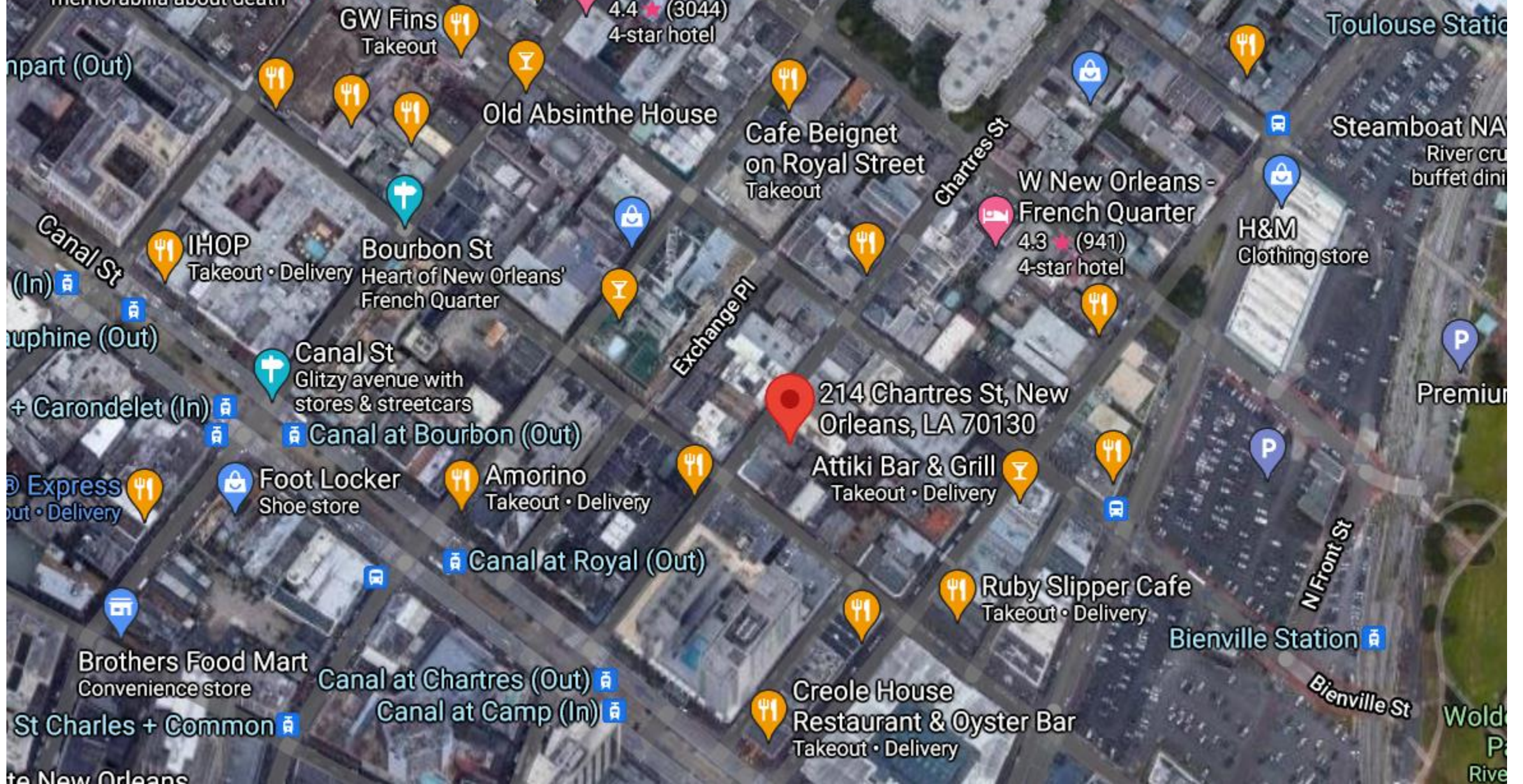


The background features a large, faint, light-gray oval seal. The seal's border contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal depicts a stylized architectural scene with a central archway, flanked by columns and topped with decorative elements.

Appeals and Violations

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll. The shield is flanked by two vertical bars with diamond-shaped patterns. The entire shield is enclosed within a decorative border. The text "VIEUX CARRE COMMISSION" is written in a semi-circle along the top edge of the oval, and "ESTABLISHED 1936" is written along the bottom edge.

214 Chartres



214 Chartres

VCC Architectural Committee

March 22, 2022





214 Chartres

VCC Architectural Committee

March 22, 2022





214 Chartres

VCC Architectural Committee

March 22, 2022





214 Chartres

VCC Architectural Committee

March 22, 2022





214 Chartres

VCC Architectural Committee

March 22, 2022





214 Chartres

VCC Architectural Committee

March 22, 2022





214 Chartres

VCC Architectural Committee

March 22, 2022





214 Chartres

VCC Architectural Committee

March 22, 2022





214 Chartres

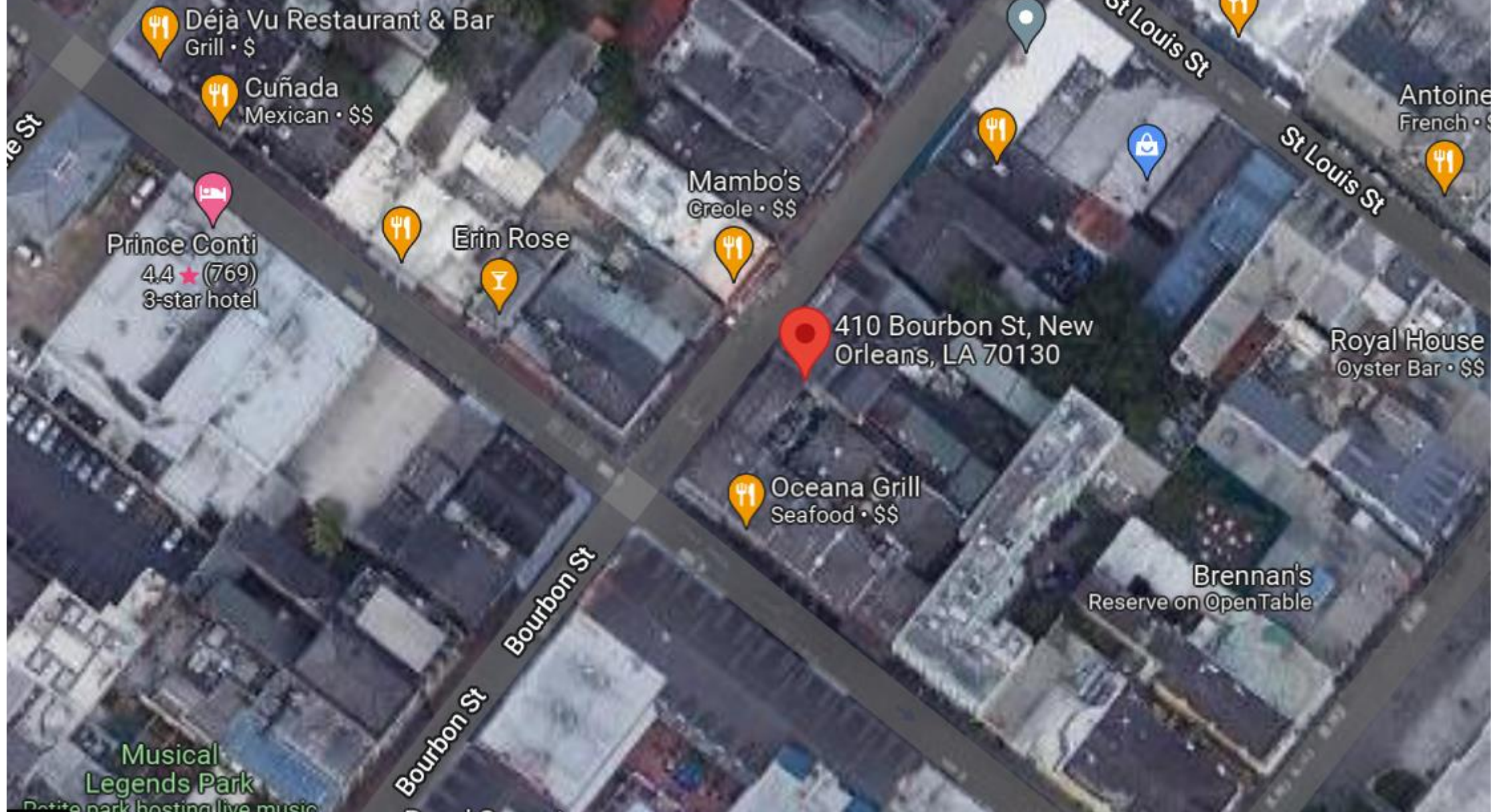
VCC Architectural Committee

March 22, 2022





410 Bourbon



410 Bourbon

VCC Architectural Committee

March 22, 2022





410 Bourbon

VCC Architectural Committee

March 22, 2022





410 Bourbon

VCC Architectural Committee

March 22, 2022





410 Bourbon

VCC Architectural Committee

March 22, 2022





410 Bourbon

VCC Architectural Committee

March 22, 2022





410 Bourbon

VCC Architectural Committee

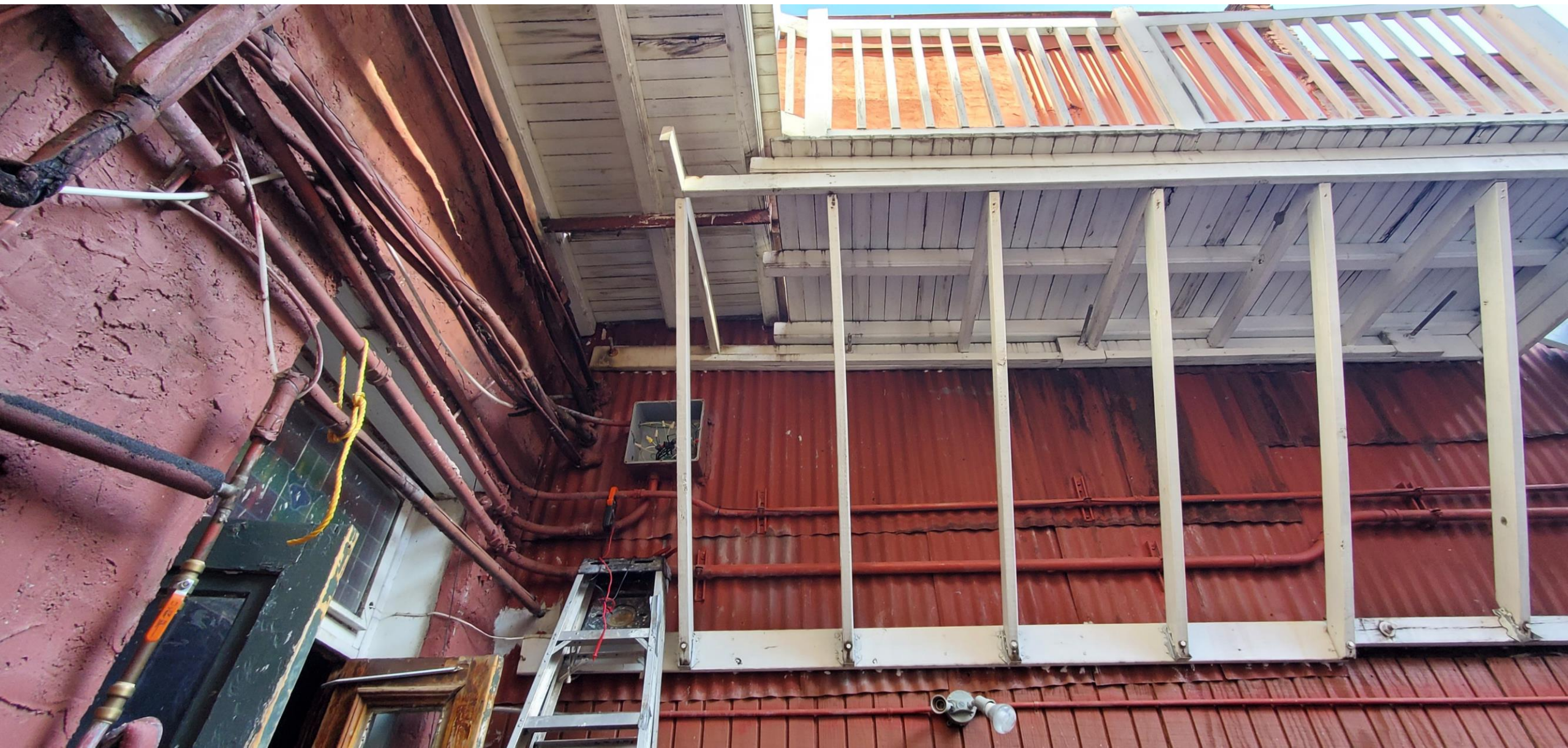
March 22, 2022









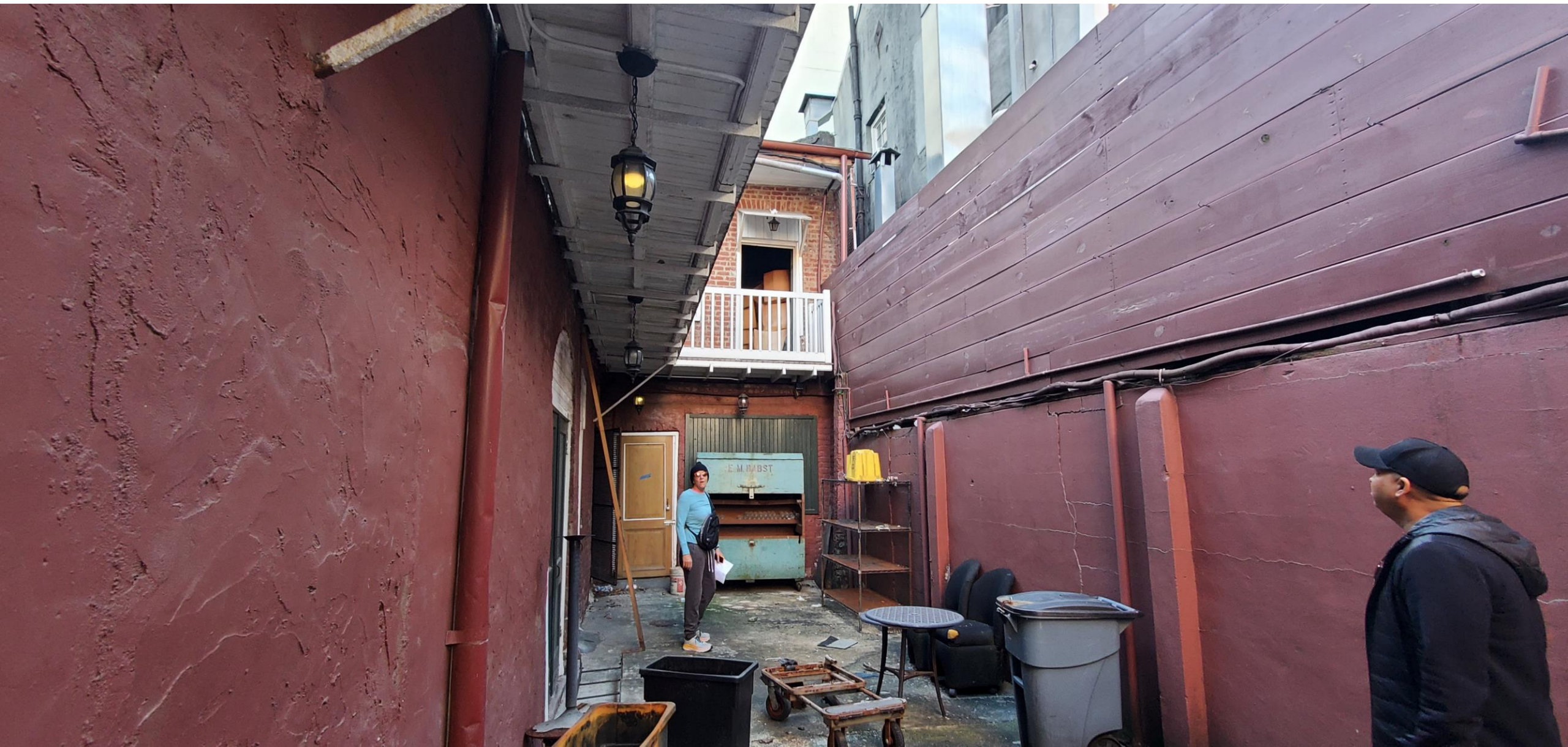


410 Bourbon
VCC Architectural Committee

March 22, 2022





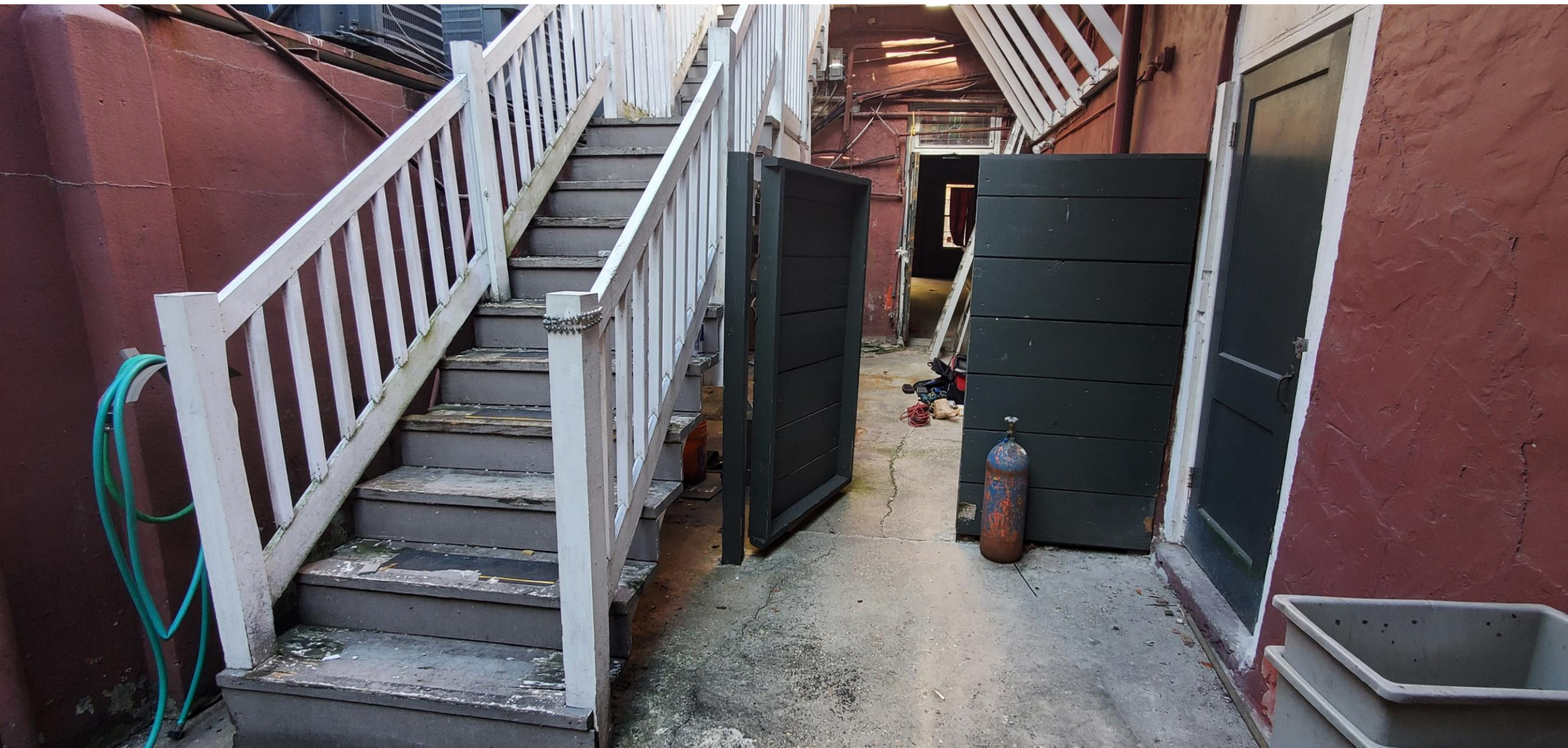


410 Bourbon

VCC Architectural Committee

March 22, 2022



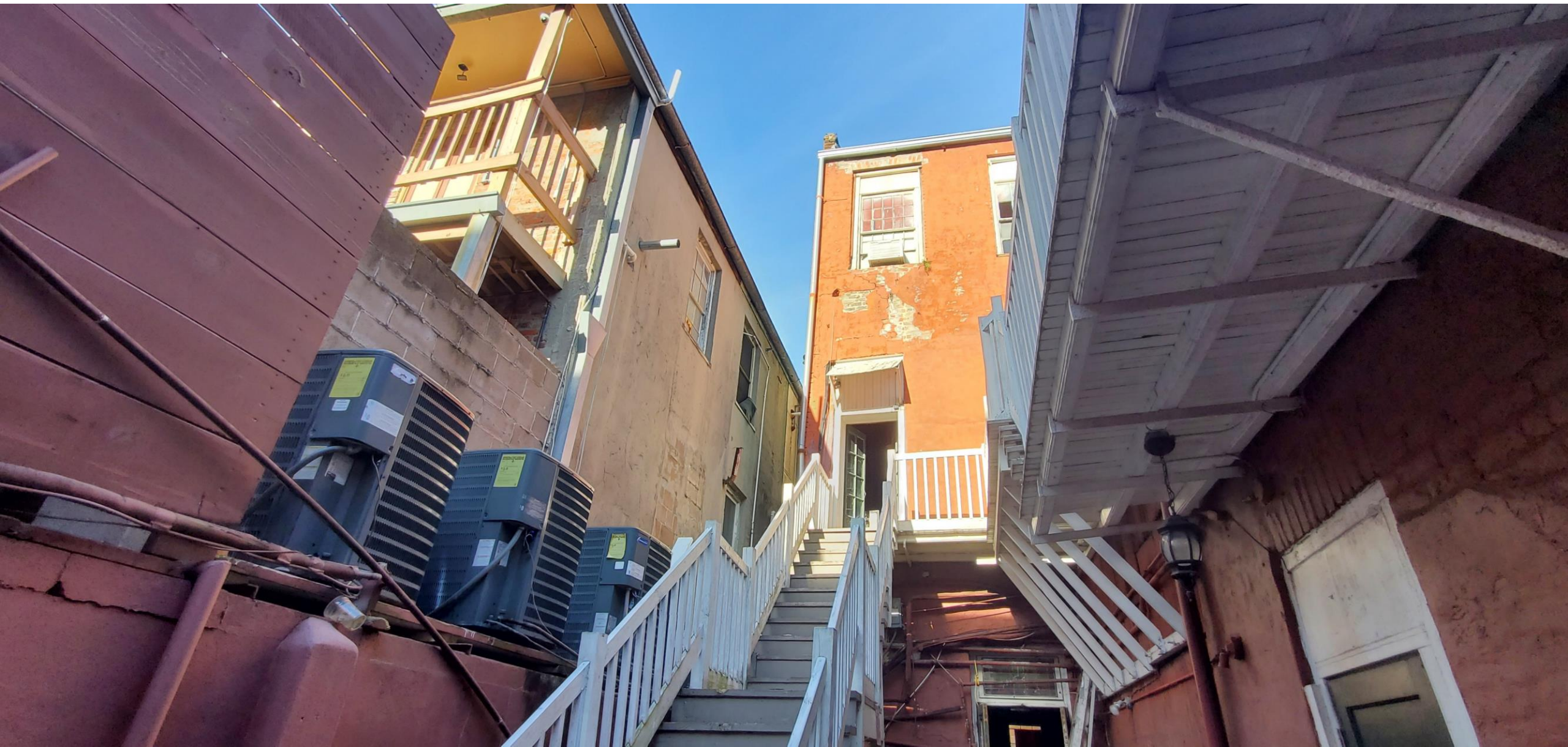


410 Bourbon

VCC Architectural Committee

March 22, 2022







410 Bourbon

VCC Architectural Committee

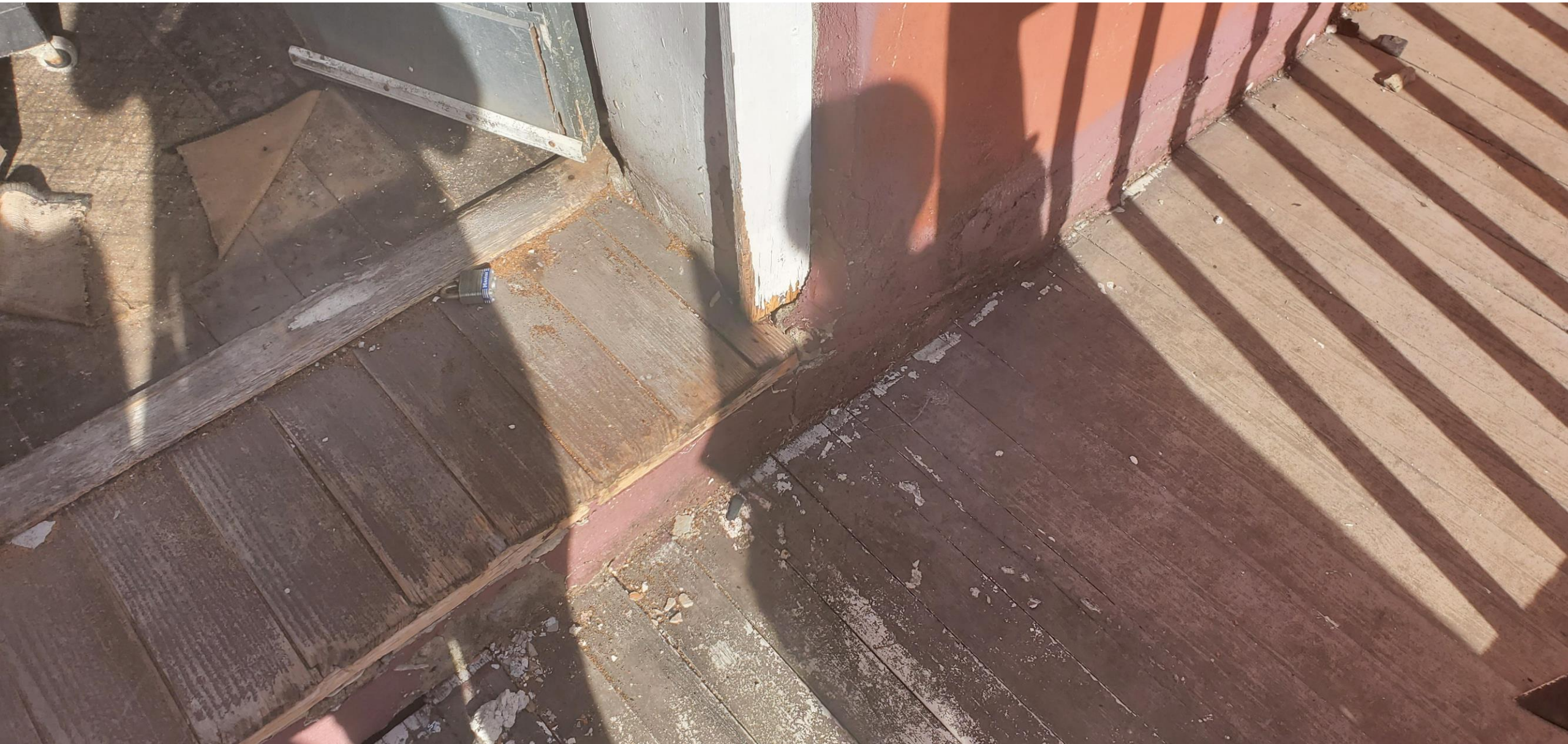
March 22, 2022













410 Bourbon

VCC Architectural Committee

March 22, 2022







410 Bourbon

VCC Architectural Committee

March 22, 2022



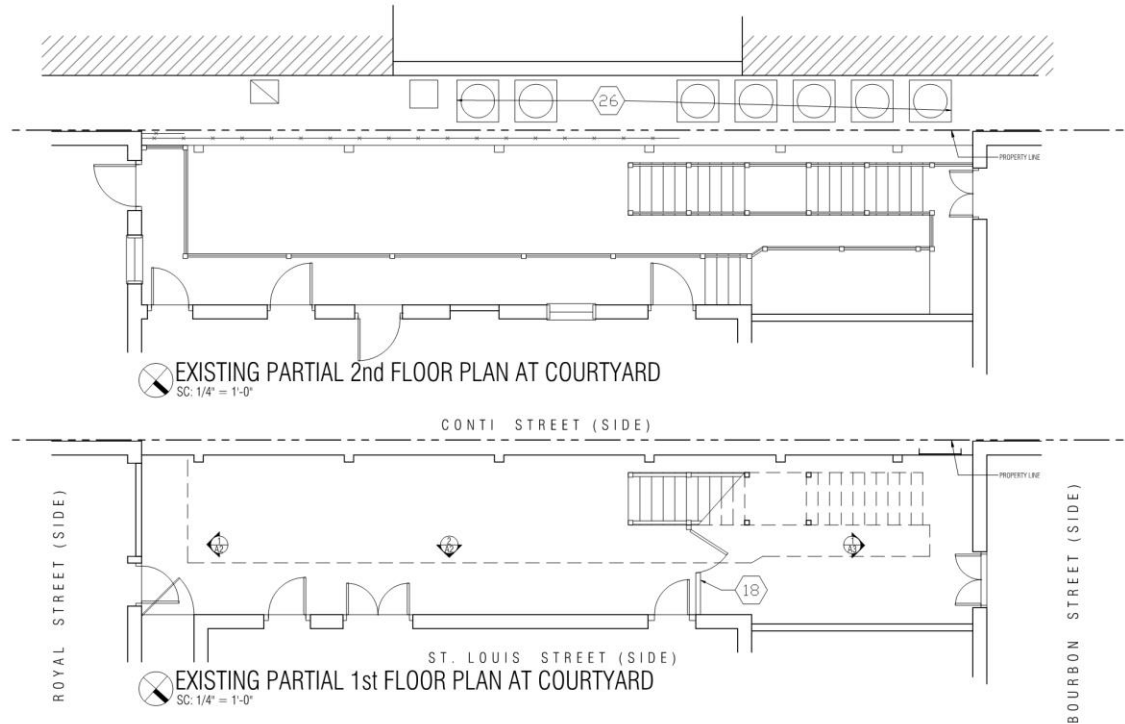


410 Bourbon

VCC Architectural Committee

March 22, 2022





KEYNOTES

1. REPAIR BRICK AND/OR MORTAR DAMAGE, TYP. THROUGHOUT
2. PATCH CRACKS IN STUCCO; PAINT.
3. REMOVE SCORED STUCCO INFILL; NEW STUCCO; PAINT.
4. REMOVE CORRUGATED METAL WALL CLADDING; NEW STUCCO; PAINT
5. REMOVE T-111 PLYWOOD WALL CLADDING; NEW STUCCO; PAINT
6. REPAIR OR REPLACE ROOF
7. REPAIR CHIMNEYS (2)
8. REPAIR WINDOWS; REPLACE TRIM AS NECESSARY; PAINT
9. REMOVE AND REPLACE WINDOWS WITH NEW 12 OVER 8 TRUE DIVIDED LITE WOOD DOUBLE HUNG WINDOWS TO FILL MASONRY OPENINGS
10. REMOVE AND REPLACE WOOD DOOR; NEW PAINTED WOOD 4-PANEL DOOR; NEW PAINTED WOOD JAMB/CASING
11. REMOVE T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
12. REMOVE PLYWOOD PANEL.
13. REMOVE SHEET METAL FASCIA.
14. REPAIR OR REPLACE WOOD FASCIA AND SOFFIT. PAINT.
15. REPAIR EXISTING WOOD AND/OR METAL BALCONY & STAIR FRAMING. PAINT. WOOD T&G DECKBOARDS TO REMAIN. REPAIR OR REPLACE WOOD TREADS AND RISERS. PAINT.
16. REMOVE AND REPLACE BALCONY RAILING INCLUDING TOP RAIL, PICKETS AND BOTTOM RAIL PER A1A2 (V.C.C. DETAIL SHEET NO.11, DETAIL NO. 1.) RAIL SHALL BE 42" H. VERTICAL 4x4 POSTS TO REMAIN. PAINT.
17. REMOVE VEGETATION.
18. RETAIN EXISTING PAINTED WOOD 7-BOARD FENCE AND GATE (SEE 1ST FLOOR PLAN)
19. RETAIN EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS. PAINT.
20. RETAIN EXISTING K-STYLE GUTTERS AND ROUND DOWNSPOUTS. PAINT.
21. REMOVE PLYWOOD AWINGS AND T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
22. REMOVE EXISTING PENDANT FIXTURES; REPLACE WITH 6 NEW REMCRAFT BALCONY MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
23. FILL CRACKS AT CORNICE WITH EPOXY. PAINT.
24. REMOVE UNUSED WIRING. SECURE EXISTING WIRING. PAINT TO MATCH.
25. REMOVE LIGHTS AT EXISTING PLYWOOD AWINGS. REPLACE WITH NEW REMCRAFT WALL MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
26. REMOVE LIGHTS AT EXISTING PLYWOOD AWINGS. REPLACE WITH NEW REMCRAFT SOFFIT MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
27. RETAIN EXISTING HVAC UNITS. (TENANT AT 410 BOURBON IS SAME ENTITY AS 408 BOURBON.)



1 A1 PHOTO OF FRONT FACADE

WINDOW NOTES

1. PER LSUCC AMENDMENTS.
IN LIEU OF IMPACT RESISTANT DOORS AND WINDOWS ON THE 1ST AND 2ND FLOORS PROVIDE WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 7/16" AND MAX. SPAN OF 8' PRECUT TO COVER ALL GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED PER IBC2015 TABLE 1609.1.2. PANELS SHALL BE STORED ON SITE.
2. ALL GLAZING SHALL BE CLEAR.
3. SAFETY GLAZING REQUIRED IN THE FOLLOWING LOCATIONS:
 - ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS
 - GLAZING WITHIN 2FT OF THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - AN INDIVIDUAL PANE IS GREATER THAN 9SF AND THE BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE WALKING SURFACE AND THE TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FLOOR

NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24"x36" SHEETS

V.C.C. MODIFICATIONS to
410 Bourbon Street
New Orleans, Louisiana 70130

LKHarmon Architects
A Professional Architectural Corporation
6238 Argonne Boulevard
New Orleans, Louisiana 70124
504.485.5870 harmon@lkharmearchitects.com

11.5.2021	A1	LKH #6021
1.18.2022		
2.4.2022		

410 Bourbon

VCC Architectural Committee

March 22, 2022

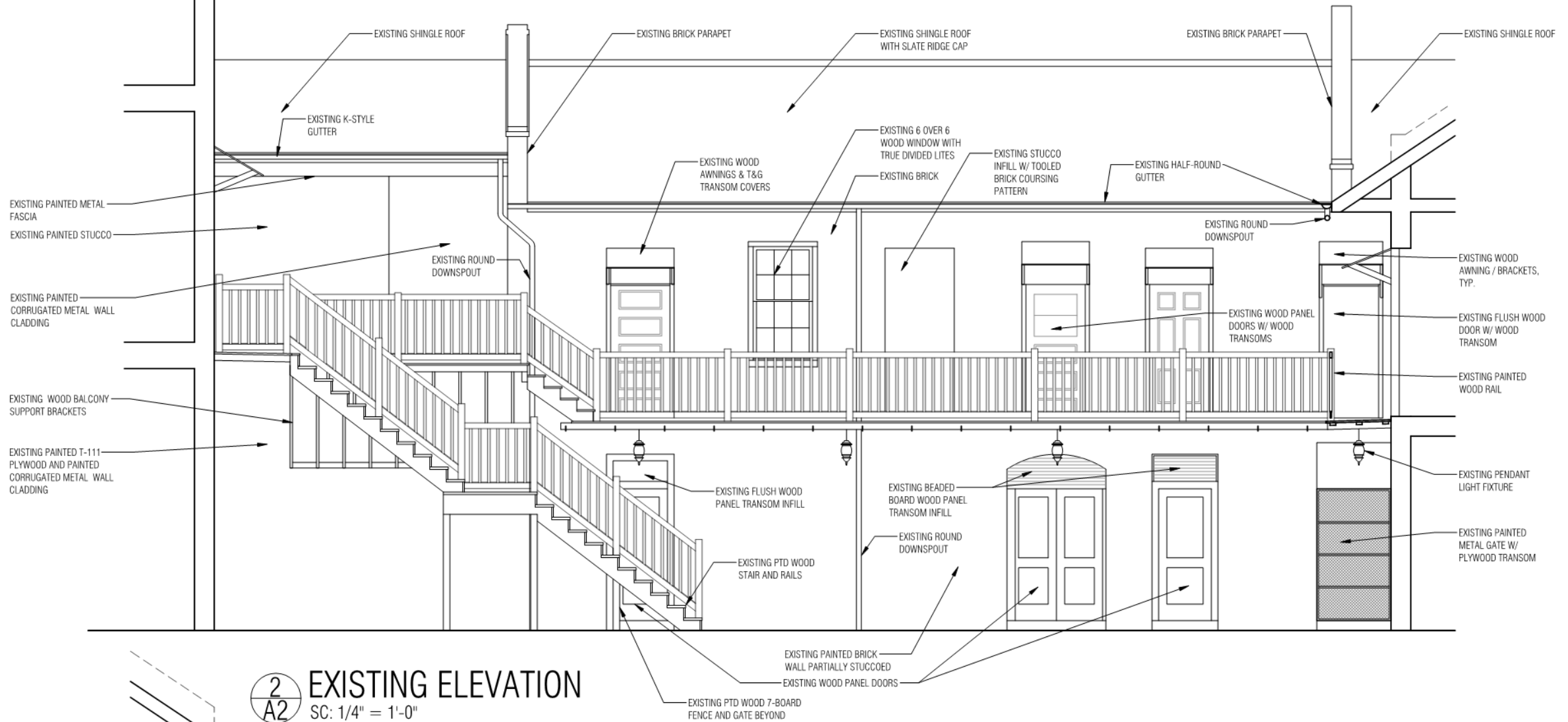


KEYNOTES

1. REPAIR BRICK AND/OR MORTAR DAMAGE, TYP. THROUGHOUT
2. PATCH CRACKS IN STUCCO; PAINT.
3. REMOVE SCORED STUCCO INFILL; NEW STUCCO; PAINT.
4. REMOVE CORRUGATED METAL WALL CLADDING; NEW STUCCO; PAINT
5. REMOVE T-111 PLYWOOD WALL CLADDING; NEW STUCCO; PAINT
6. REPAIR OR REPLACE ROOF
7. REPAIR CHIMNEYS (2)
8. REPAIR WINDOWS; REPLACE TRIM AS NECESSARY; PAINT
9. REMOVE AND REPLACE WINDOWS WITH NEW 12 OVER 8 TRUE DIVIDED LITE WOOD DOUBLE HUNG WINDOWS TO FILL MASONRY OPENINGS
10. REMOVE AND REPLACE WOOD DOOR; NEW PAINTED WOOD 4-PANEL DOOR; NEW PAINTED WOOD JAMB/CASING
11. REMOVE T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
12. REMOVE PLYWOOD PANEL.
13. REMOVE SHEET METAL FASCIA.
14. REPAIR OR REPLACE WOOD FASCIA AND SOFFIT. PAINT.
15. REPAIR EXISTING WOOD AND/OR METAL BALCONY & STAIR FRAMING; PAINT. WOOD T&G DECKBOARDS TO REMAIN. REPAIR OR REPLACE WOOD TREADS AND RISERS. PAINT.
16. REMOVE AND REPLACE BALCONY RAILING INCLUDING TOP RAIL, PICKETS AND BOTTOM RAIL PER A/A2 (V.C.C. DETAIL SHEET NO.11, DETAIL NO. 1.) RAIL SHALL BE 42" H. VERTICAL 4x4 POSTS TO REMAIN. PAINT.
17. REMOVE VEGETATION.
18. RETAIN EXISTING PAINTED WOOD 7-BOARD FENCE AND GATE (SEE 1ST FLOOR PLAN)
19. RETAIN EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS. PAINT.
20. RETAIN EXISTING K-STYLE GUTTERS AND ROUND DOWNSPOUTS. PAINT.
21. REMOVE PLYWOOD AWINGS AND T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
22. REMOVE EXISTING PENDANT FIXTURES; REPLACE WITH 6 NEW REMCRAFT BALCONY MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
23. FILL CRACKS AT CORNICE WITH EPOXY. PAINT.
24. REMOVE UNUSED WIRING. SECURE EXISTING WIRING. PAINT TO MATCH.
25. REMOVE LIGHTS AT EXISTING PLYWOOD AWNINGS. REPLACE WITH NEW REMCRAFT WALL MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
26. REMOVE LIGHTS AT EXISTING PLYWOOD AWNINGS. REPLACE WITH NEW REMCRAFT SOFFIT MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
27. RETAIN EXISTING HVAC UNITS. (TENANT AT 410 BOURBON IS SAME ENTITY AS 408 BOURBON.)

V.C.C. MO
410 Bo
New Orleans



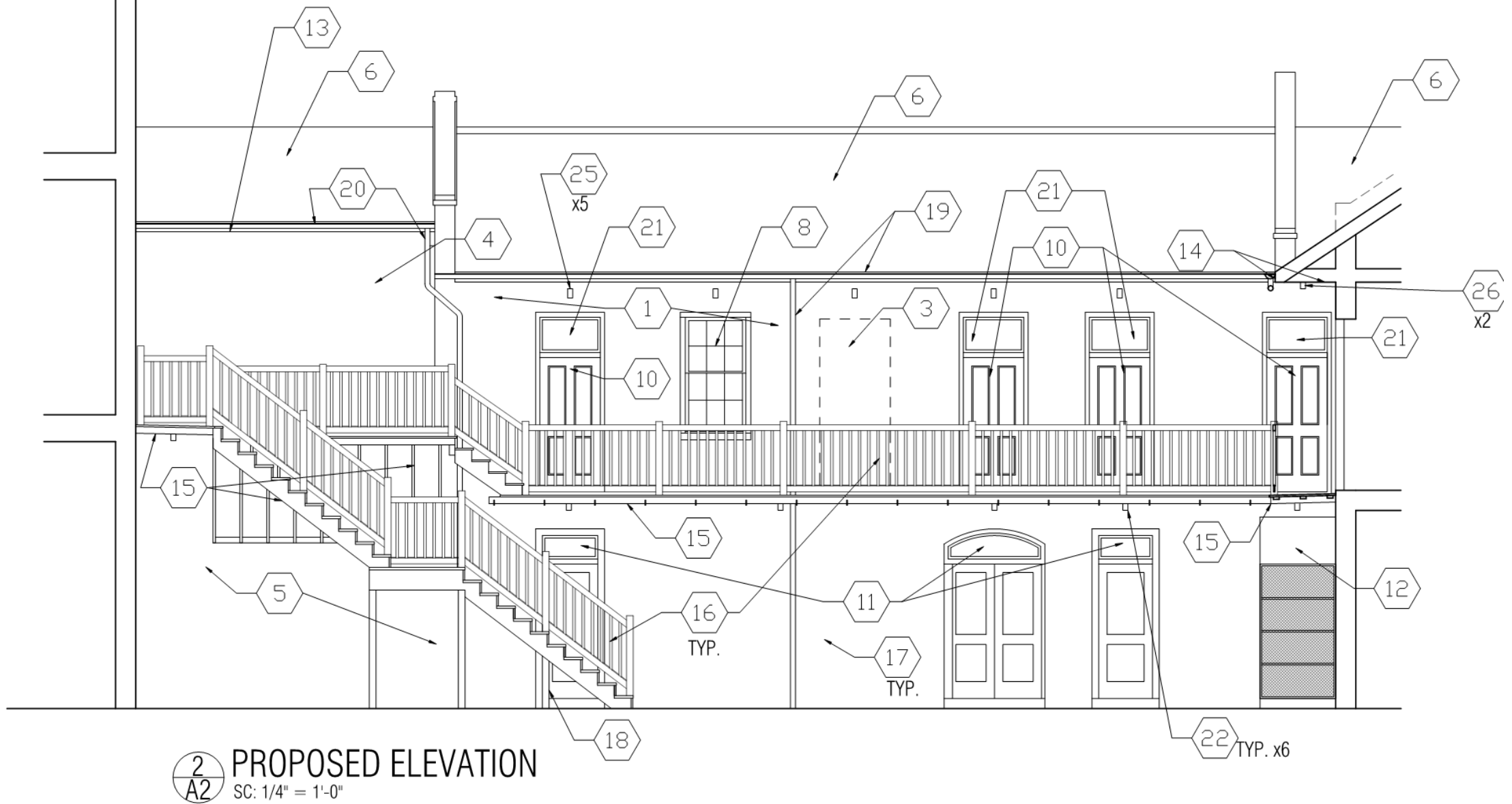


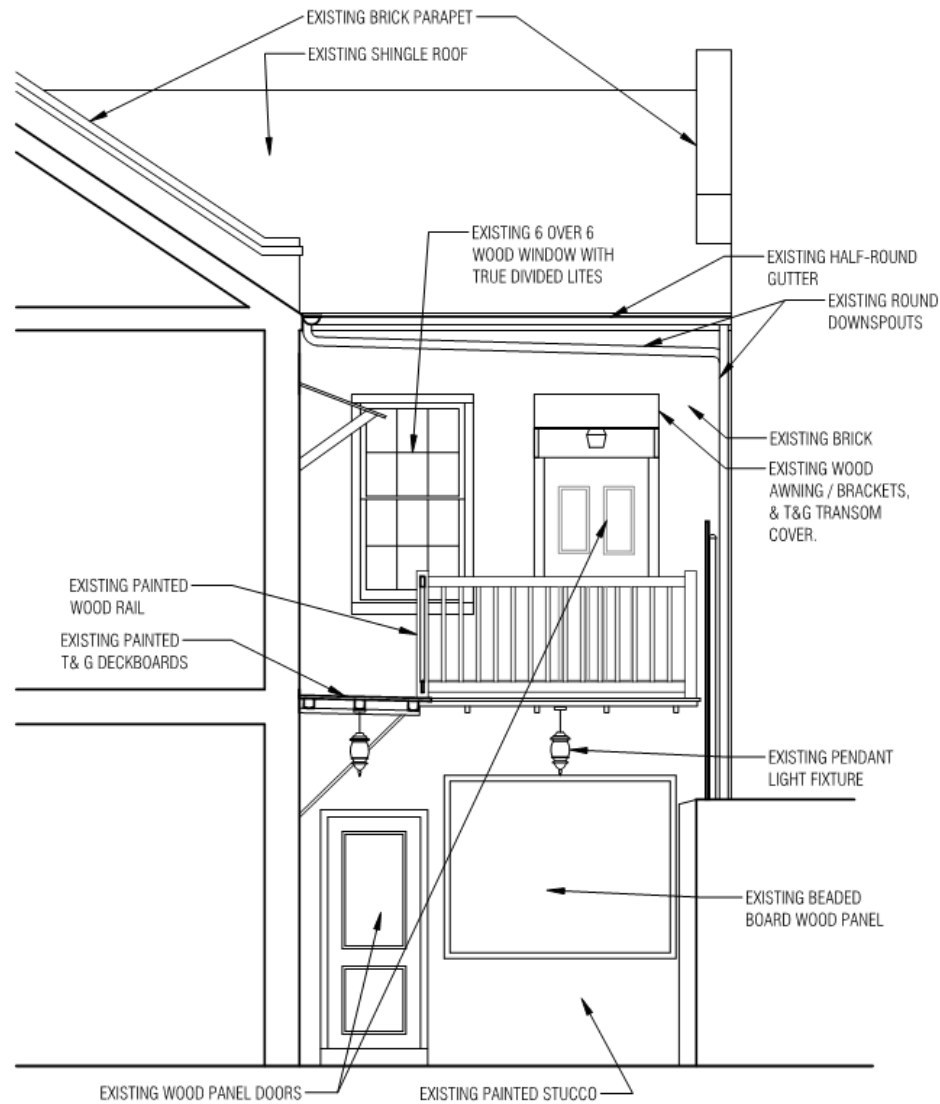
410 Bourbon

VCC Architectural Committee

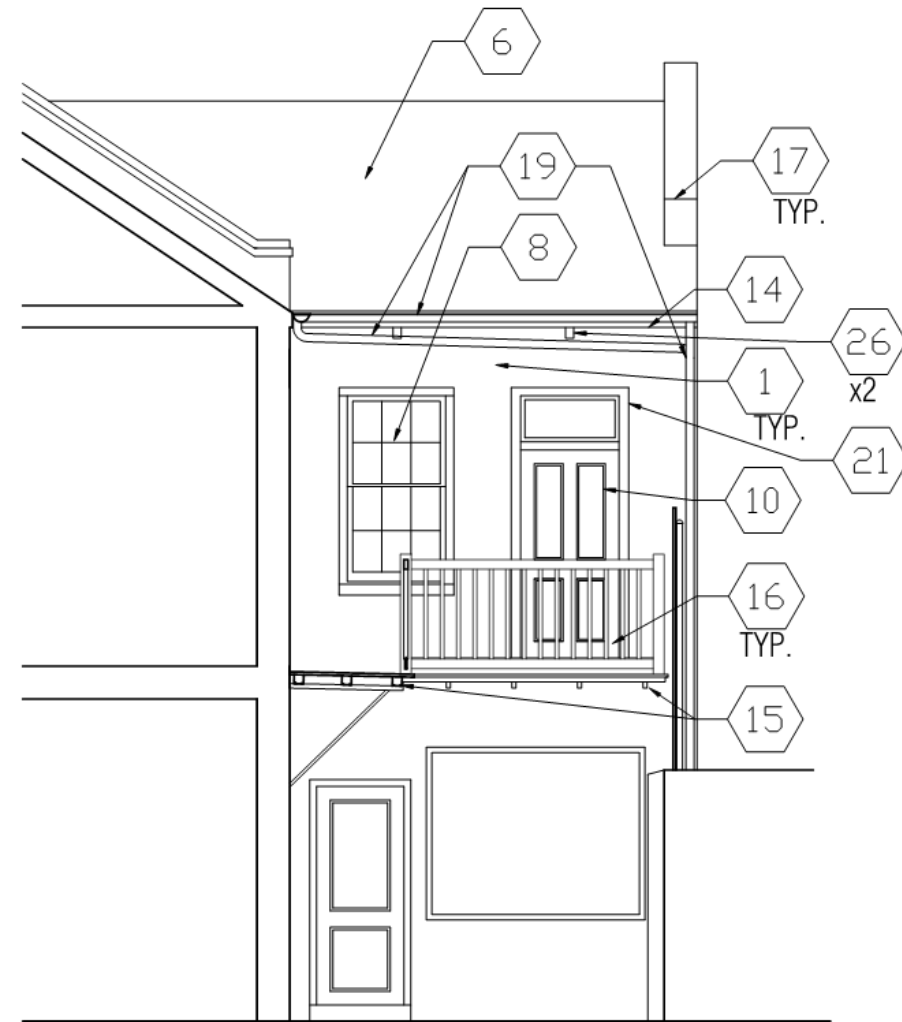
March 22, 2022



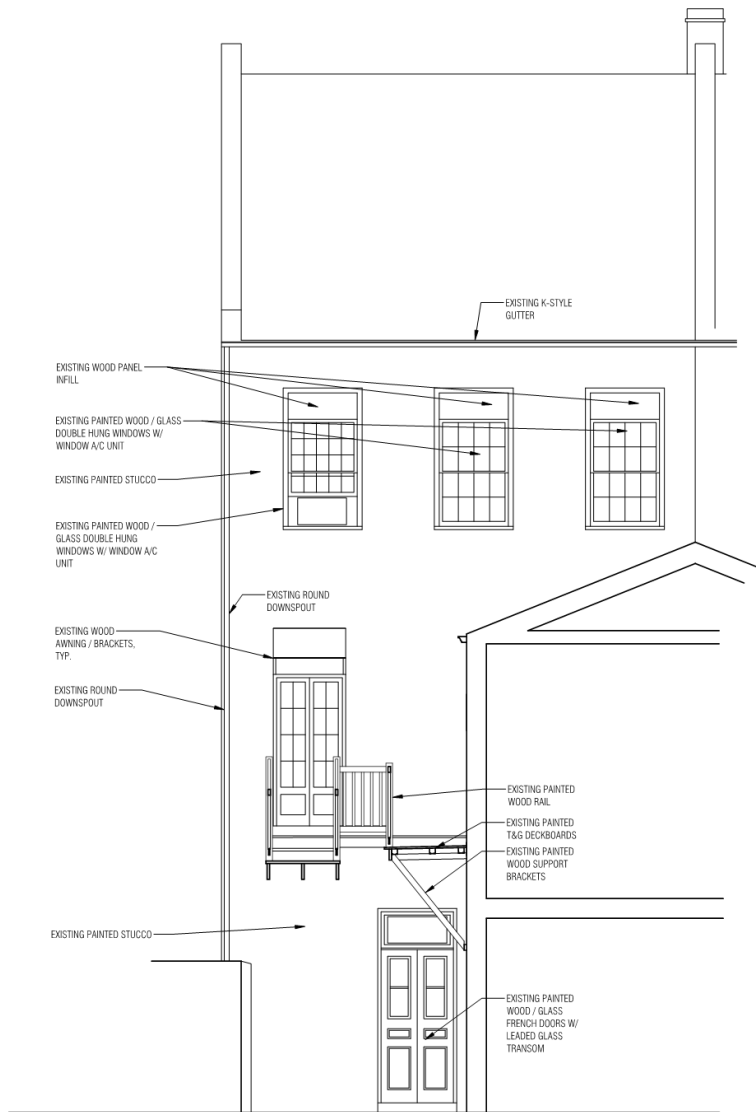




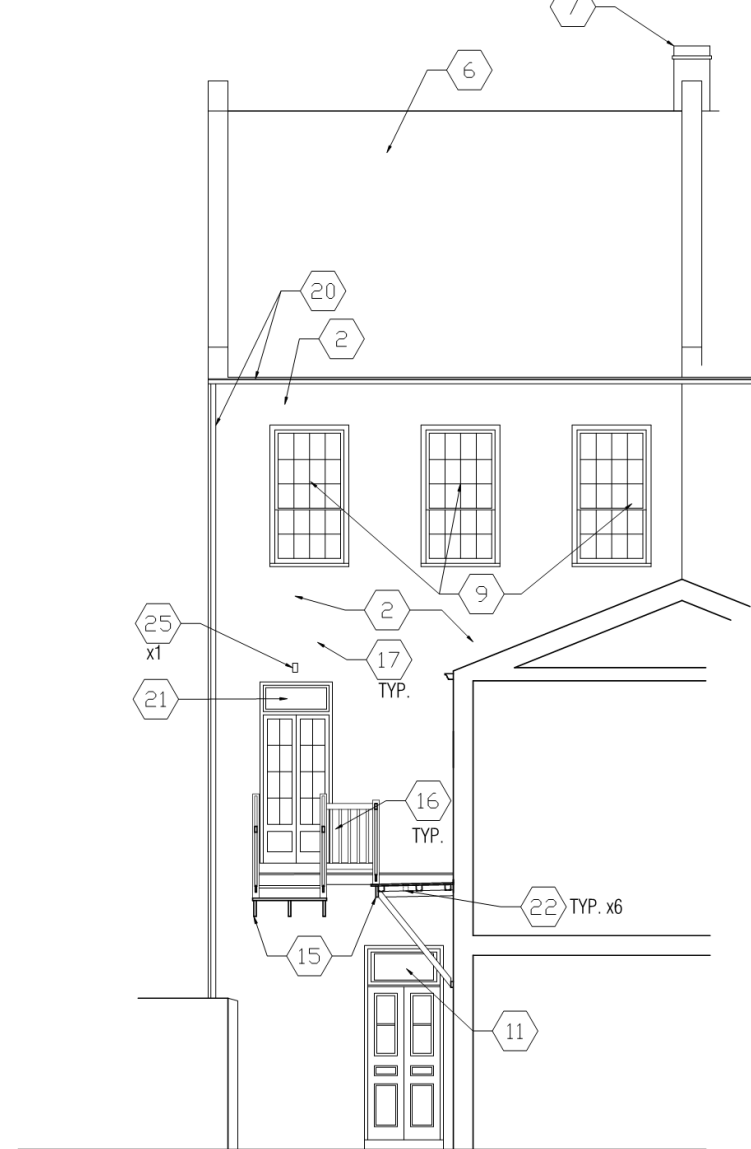
1
A2 EXISTING ELEVATION
SC: 1/4" = 1'-0"



1
A2 PROPOSED ELEVATION
SC: 1/4" = 1'-0"

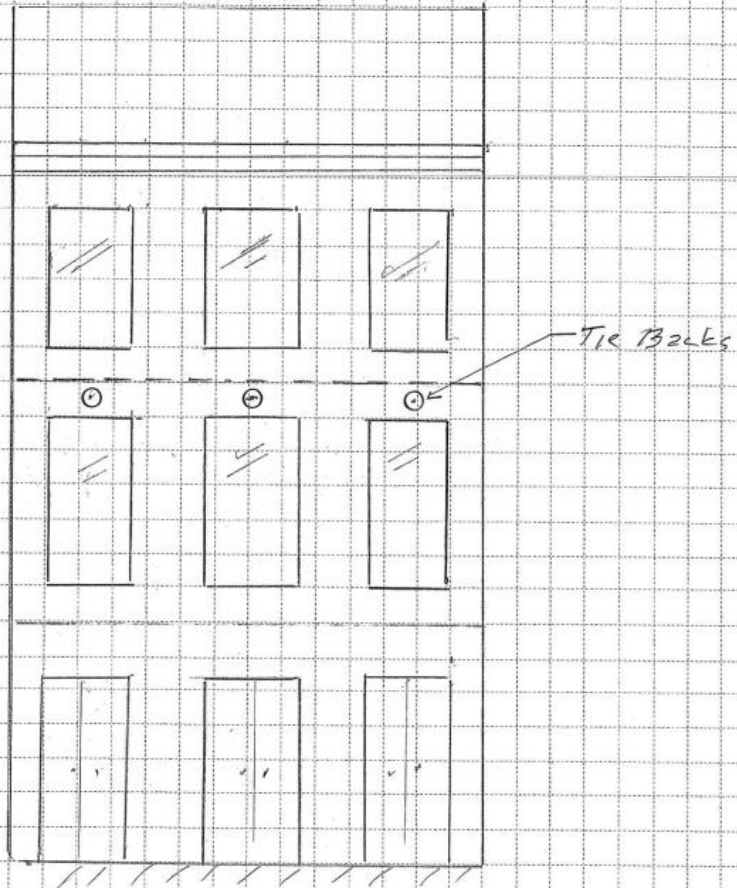


1
A3 EXISTING ELEVATION
SC: 1/4" = 1'-0"

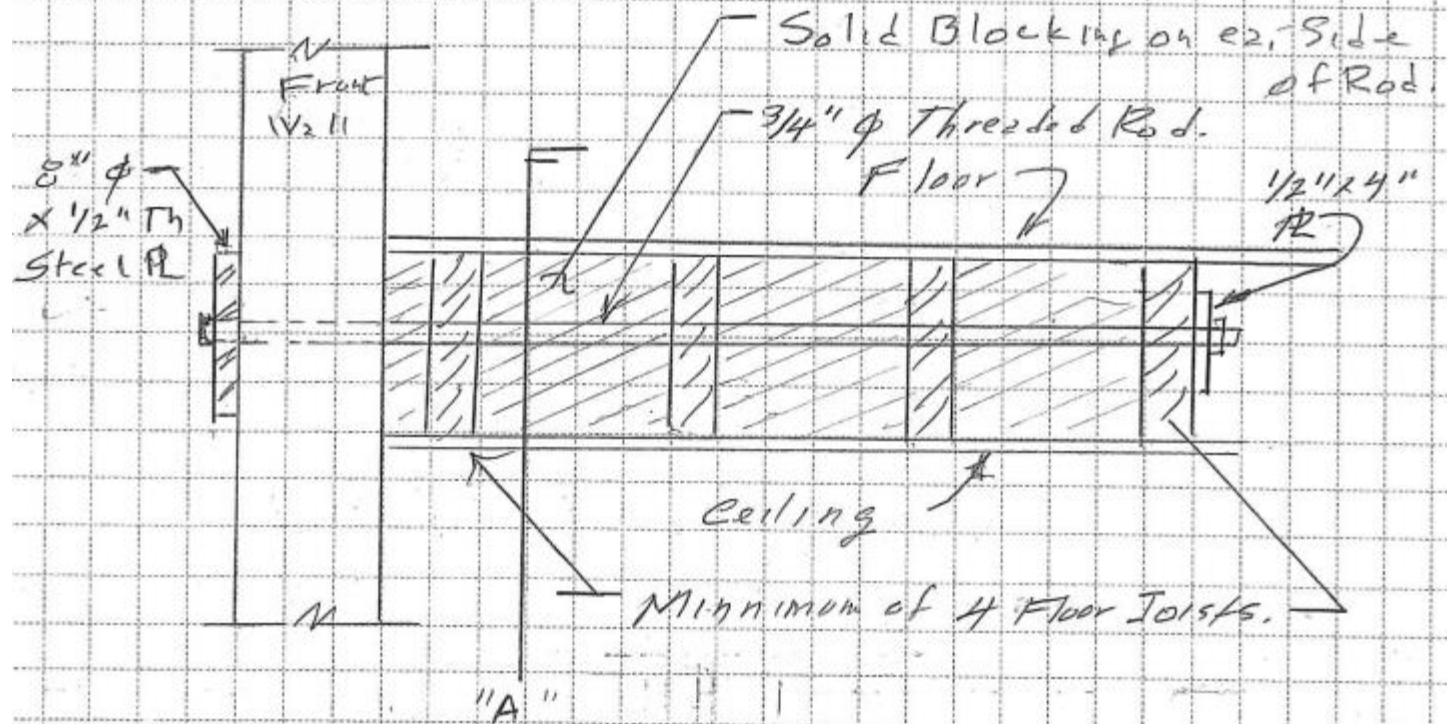


1
A3 PROPOSED ELEVATION
SC: 1/4" = 1'-0"

Elevation
(Schematic)

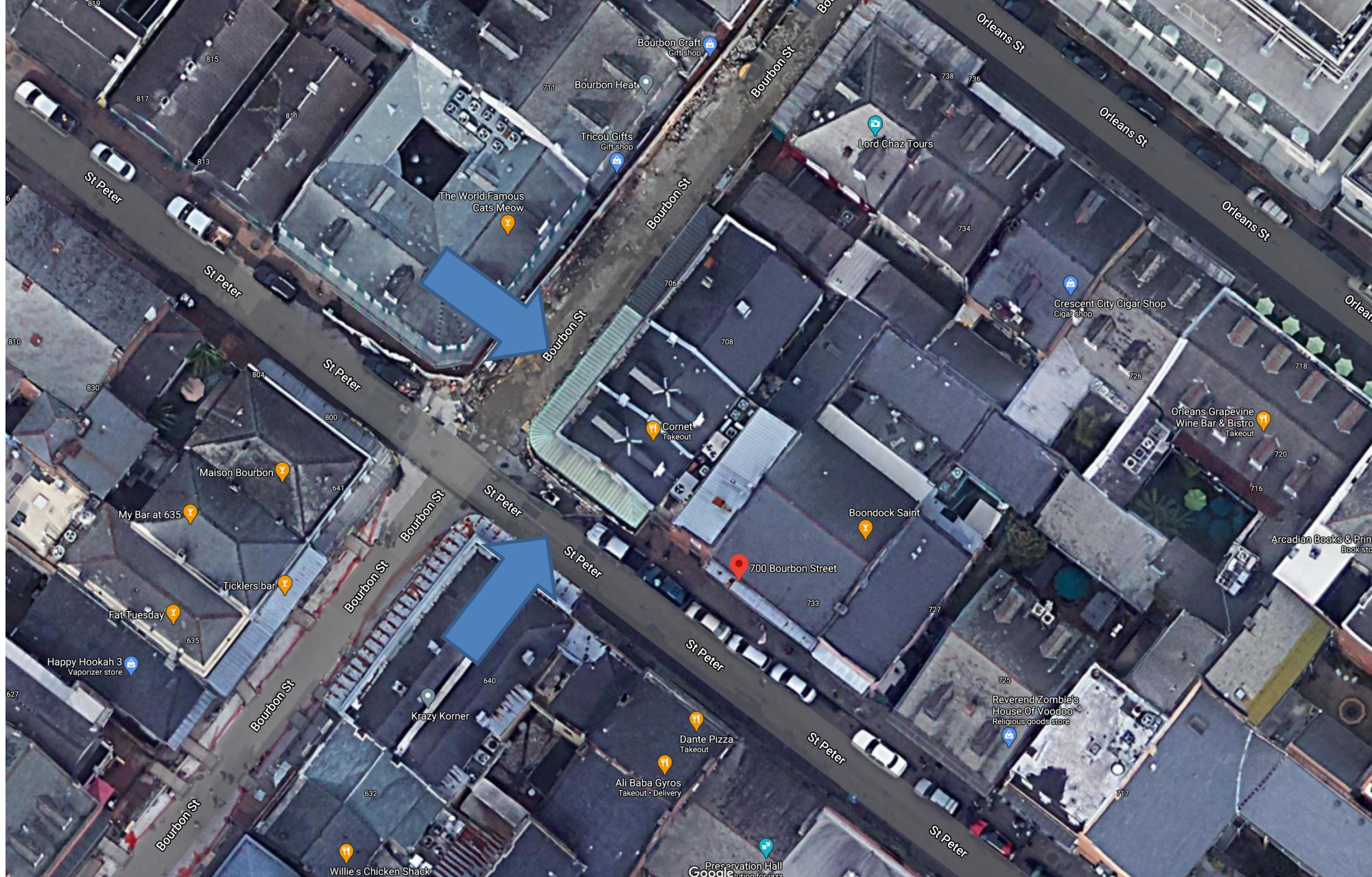


Tie-Back Detail





700 Bourbon



700 Bourbon

VCC Architectural Committee

March 22, 2022





700 Bourbon

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March 22, 2022





700 Bourbon – 1946

VCC Architectural Committee

March 22, 2022





700 Bourbon – 1961

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March 22, 2022





700 Bourbon – 1963

VCC Architectural Committee

March 22, 2022





700 Bourbon – 1967

VCC Architectural Committee

March 22, 2022





700 Bourbon – 1975

VCC Architectural Committee

March 22, 2022





700 Bourbon – 1980

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March 22, 2022





700 Bourbon

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March 22, 2022





700 Bourbon

VCC Architectural Committee

March 22, 2022





700 Bourbon

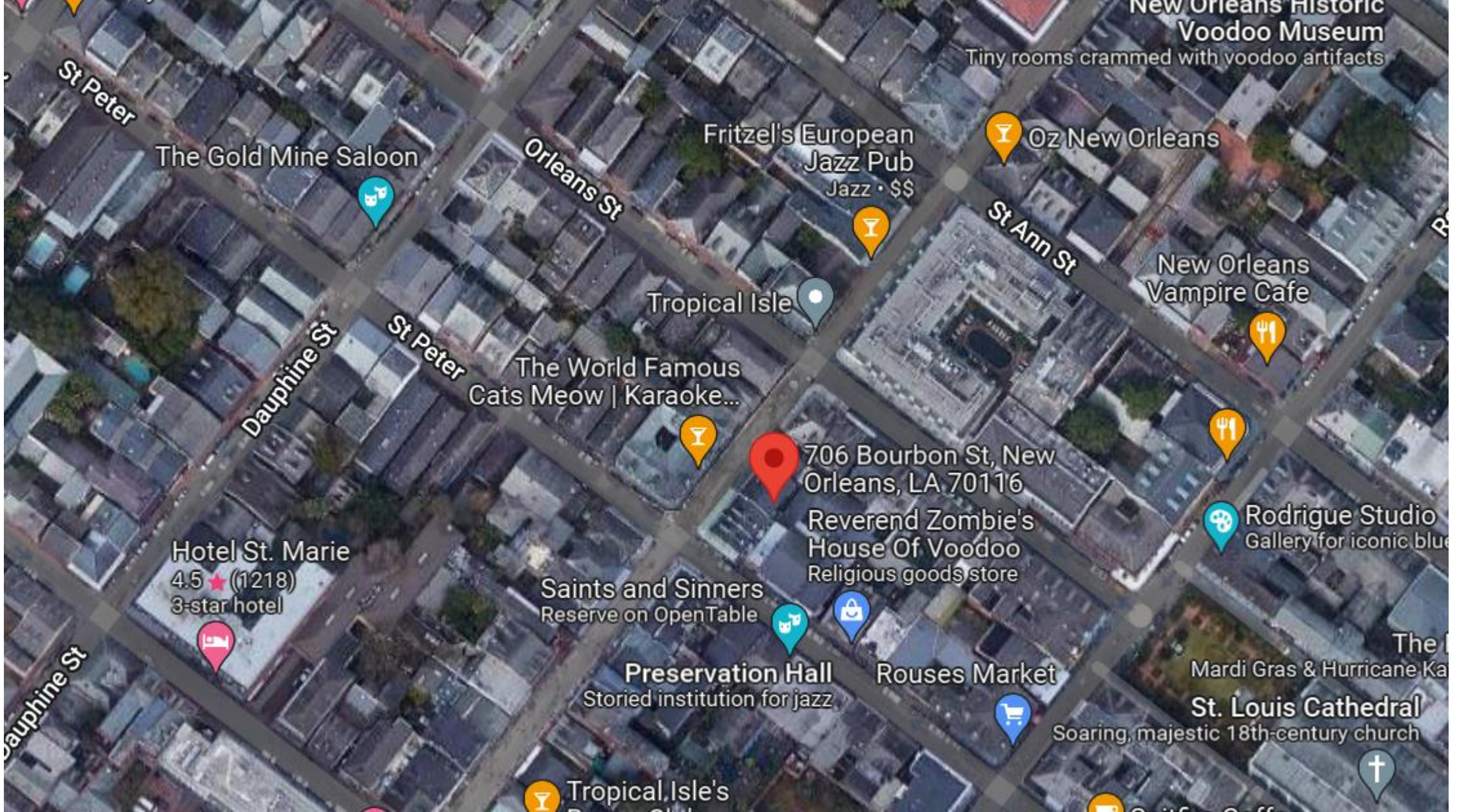
VCC Architectural Committee

March 22, 2022





706 Bourbon



706 Bourbon

VCC Architectural Committee

March 22, 2022



706 Bourbon

VCC Architectural Committee



March 22, 2022





706 Bourbon

VCC Architectural Committee

March 22, 2022





706 Bourbon

VCC Architectural Committee

March 22, 2022





706 Bourbon

VCC Architectural Committee

March 22, 2022





706 Bourbon

VCC Architectural Committee

March 22, 2022





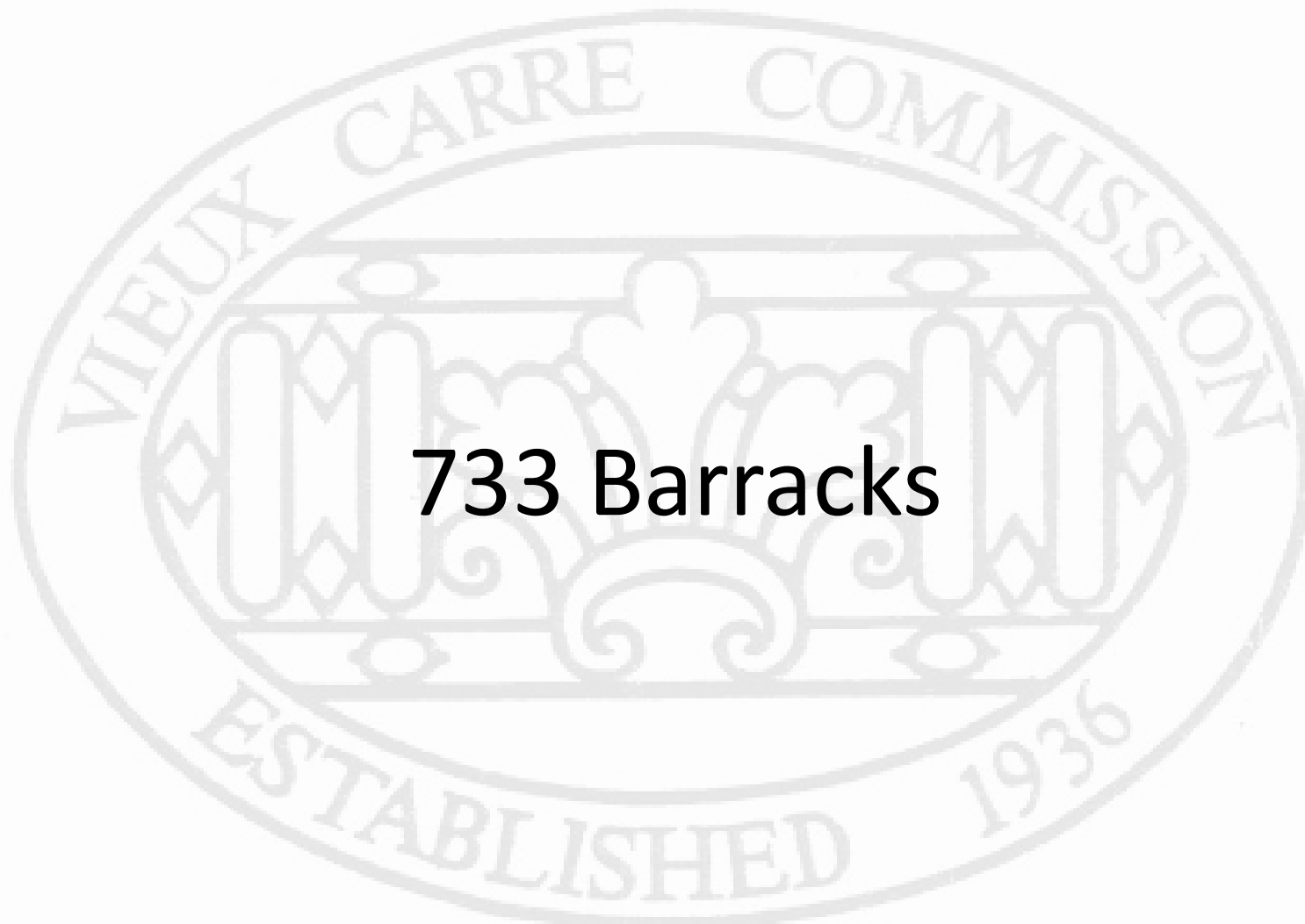
706 Bourbon

VCC Architectural Committee

March 22, 2022



733 Barracks







733 Barracks

VCC Architectural Committee

March 22, 2022





733 Barracks – April 2015

VCC Architectural Committee

March 22, 2022





733 Barracks

VCC Architectural Committee

March 22, 2022





733 Barracks

VCC Architectural Committee

March 22, 2022



733 Barracks

VCC Architectural Committee



12 21 2021

March 22, 2022



GV-EBD8800 AI 8MP H.265 Super Low Lux WDR Pro IR Eyeball IP Dome



- AI Deep learning: AI Perimeter Protection & Classification (Human, Vehicle)
- 1/2.7" progressive scan low lux CMOS sensor
- Triple streams from H.265, H.264 or MJPEG
- Wide Dynamic Range Pro (WDR Pro)
- Min. illumination at 0.01 lux
- Up to 20 fps at 3840 x 2160
- Intelligent IR
- Day and night function (with removable IR-cut filter)
- 3-axis mechanism (pan / tilt / rotate)
- IR distance up to 30 m (100 ft)
- Ingress protection (IP67)
- Built-in micro SD card slot (SD / SDHC / SDXC / UHS-I, Class 10) for local storage
- DC 12 V / PoE (IEEE 802.3af)
- ONVIF (Profile S, G, T) conformant

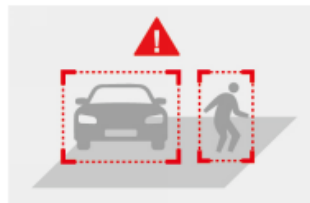
Introduction

The Eyeball Dome IP Camera is an outdoor, network camera equipped with an automatic IR-cut filter and IR LEDs for day and night surveillance. The camera supports H.265 video codec to achieve better compression ratio while maintaining high quality pictures at reduced network bandwidths. GV-EBD8800 adheres to IP67 standards, and can be powered through PoE.

Empowered by deep learning algorithms, AI technology distinguishes human and vehicles from other moving objects. Integrated with GeoVision Video Management Software (VMS), it supports AI perimeter protection, real time alert, events playback and more.

Deep Learning Function

AI Perimeter Protection
(Intrusion, Crossing Line
Entering Area, Leaving Area)

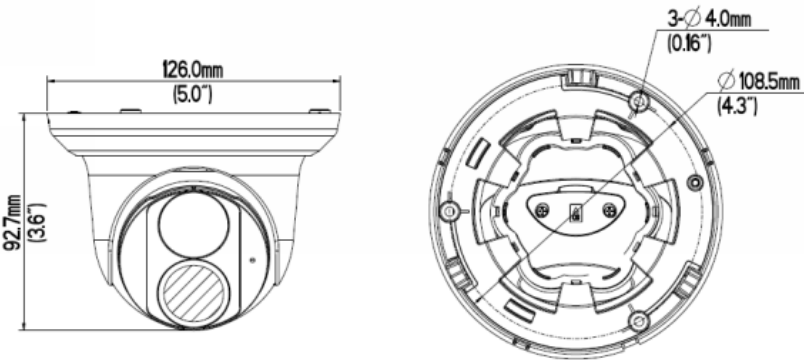


AI Event Search
(VMS V18.3 or later)



Note: The integration of AI events of the camera to GV-VMS is coming soon.

Dimensions



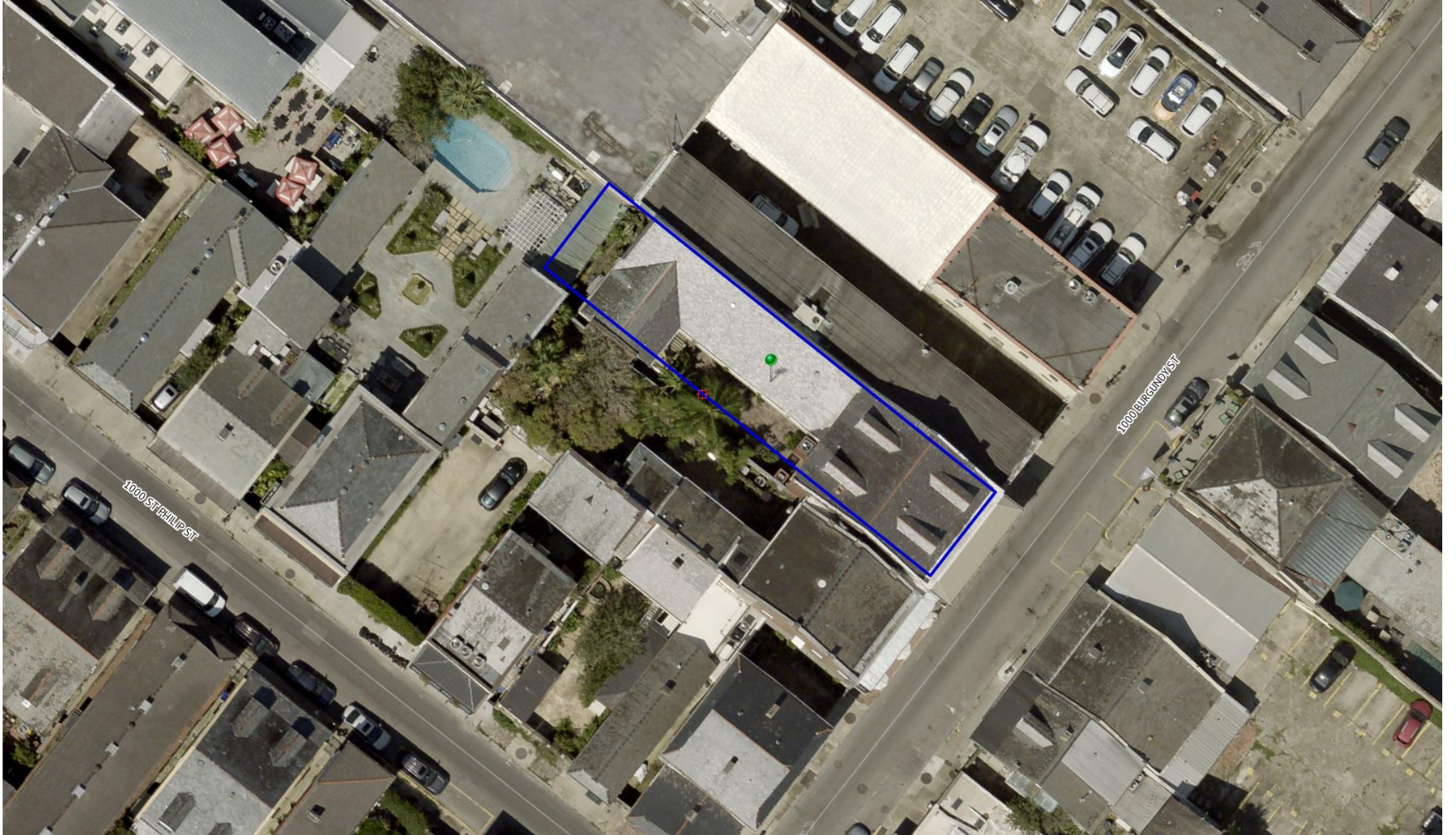
Specifications

Camera		
Image Sensor		1/2.7" progressive scan low lux CMOS
Picture Elements		3840 (H) x 2160 (V)
Minimum Illumination	Color	0.01 Lux (F2.0, AGC ON)
	IR ON	0 Lux
Shutter Speed		Auto / Manual (1 ~ 1/100000 sec)
White Balance		Auto / Manual
Gain Control		Auto / Manual
S/N Ratio		56 dB
WDR		WDR Pro
Dynamic Range		Up to 120 dB
Optical Lens		
Megapixel		Yes
Day / Night		Yes (with removable IR-cut filter)
Lens Type		Fixed
Focal Length		2.8 mm
Maximum Aperture		F/2.0
Mount		M12
Horizontal FOV		112°
Operation	Focus	Fixed
	Zoom	
	Iris	
IR LED Quantity		1 IR LED
Max. IR Distance		30 m (100 ft)
Operation		
Video Compression		H.265, H.264, MJPEG
Video Streaming		Triple streams from H.265, H.264 or MJPEG
Frame Rate		20 fps at 3840 x 2160, 30 fps at 3072 x 1728 / 2560 x 1440 / 1920 x 1080 (60 /50 Hz) *The frame rate and performance may vary depending on the number of connections and data bitrates (different scenes).
Video Analytics		Motion Detection, Tampering Alarm, Audio Detection *Tampering alarm, Audio detection are only accessible through the camera's Web interface, which can be used to trigger alerts such as e-mail and FTP.
Image Setting		Brightness, Contrast, Saturation, Sharpness, Flicker-less, Image Orientation (Flip, Mirror, 0°, 90°, 180°, 270°-including Corridor format)
Audio Compression		G.711





1015 Burgundy



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Holiday and event lighting is festive and celebratory. However, lights installed for more than 90 days, including string lights in a courtyard or on a tree, are subject to VCC review.



Seasonal Decorative Lighting & Displays

Seasonal decorative lighting or displays for holidays like Mardi Gras, Halloween and Christmas, as well as lights associated with special events, sports teams or seasons, can create a festive atmosphere for the residents and visitors of the French Quarter. These lights are to be installed for a short period of time and in a manner that does not necessitate permanent electrical wiring or conduit. When installing seasonal decorative lighting, great care should be taken to minimize potential damage to the building fabric from an anchor and/or penetration through a wall or architectural element. Seasonal decorative lights are not typical of the historic character of the Vieux Carré and should be removed promptly following the holiday or event.

Seasonal Lighting & Displays

Decorative lighting and displays installed for more than 90 days are subject to VCC review and must be approved. These include light strings, often white "Christmas" lights, that are sometimes used as ambient lighting in a courtyard or to wrap a tree trunk and/or limbs.

LIGHTING GUIDE

The VCC highly recommends referencing the *Exterior Lighting Design Guidelines* for more specific information regarding approvable lighting options and placement related to a building's type and style, prior to submitting an application for exterior lighting.

The VCC requires submission of the following information for the review of all proposed exterior lighting:

- Manufacturer's specification sheets with size and finish of the light(s) and mounting bracket(s) and fastener(s)
- Detailed drawings and/or annotated photographs with location of the light(s), bracket(s) and all exposed exterior wiring components clearly shown
- Elevations of existing architectural elements and all adjacent elements and details around the area proposed for the light(s) installation

THE VCC RECOMMENDS:

- Using a wireless lighting device with a discreetly located solar collector at a walkway, courtyard or yard whenever possible
- Using a motion detector for security lighting at a side walkway or private courtyard
- Locating mounting hardware for lighting in a mortar joint of a masonry wall, or at a flat plaster or non-decorative portion of siding or millwork
- Installing a lamp control appropriate for use, such as a motion sensor for security lighting, light sensor or timer, to activate lights and a dimming feature to allow adjustment based upon intensity of use – All of these controls can conserve energy and extend lamp life
- Installing a LED lamp with a CRI of 80 or greater and a color rendering of 3000K

THE VCC REQUIRES:

- Selecting decorative lighting appropriate to the building type, style and mounting location
- Minimizing the size of an ambient or security light fixture and locating it discreetly
- Selecting lighting that is simple in form, generally cylindrical, without a decorative feature and as small as possible, limited up to 3-inches in diameter and 7-inches in depth – A recessed, ground-mounted up-light may be up to 6-inches in diameter
- Matching the color of the ambient or security lighting fixture to the color of the surface upon which it is mounted or painting it to match
- Directing ambient and security lighting with a louver, baffle or cowl to minimize glare and prevent spill over onto an adjacent property
- Submitting for review all traditional temporary lights or a display, such as seasonal Christmas lights or a holiday display, installed for longer than 90-days
- Minimizing the use of lights that direct light upwards, and providing a louver or similar shield to control the direction of each light

THE VCC DOES NOT ALLOW:

- Inoperable lighting – All inoperable, non-historic lighting must be removed
- Inoperable or unused wiring or conduit – All existing inoperable or unused wiring or conduit must be removed
- A floodlight or spotlight, a mercury vapor, sodium vapor or fluorescent tube lamp, visible CFL lamp in non-traditional shapes or colored light



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll at the base. The shield is flanked by two vertical bars with diamond-shaped details. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" along the bottom arc.

617 Decatur



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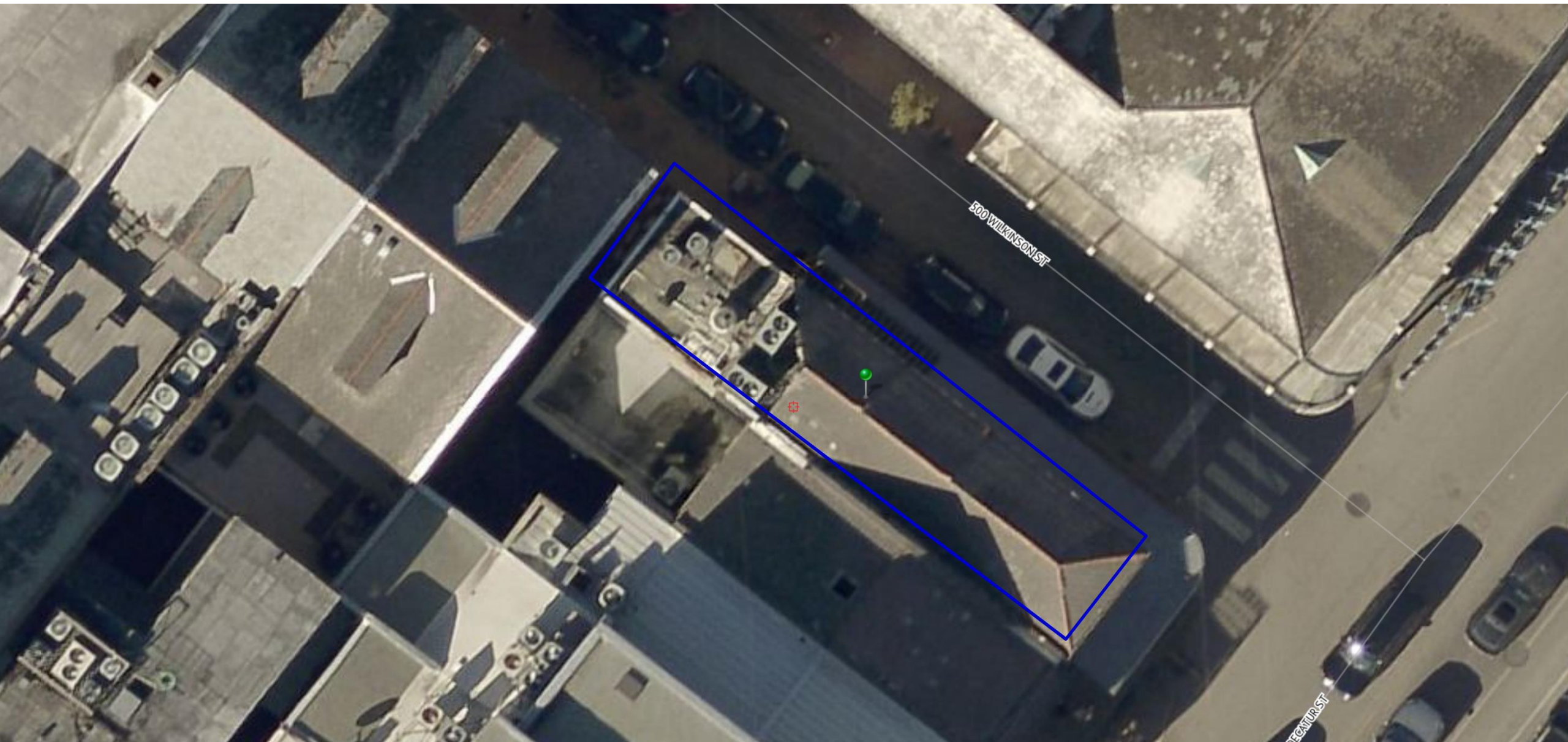


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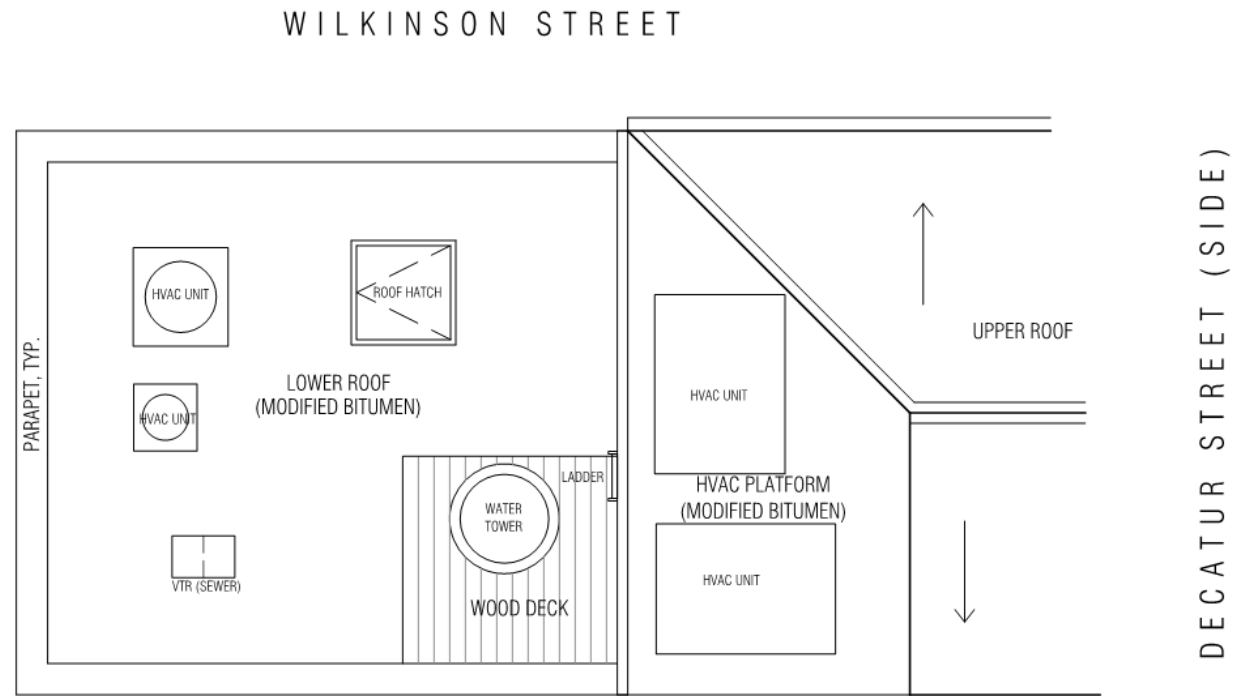


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 **PARTIAL ROOF PLAN**
SC: 1/4" = 1'-0"

EXISTING CONDITIONS 617 Decatur Street New Orleans, Louisiana 70130	 LKHarmen Architects A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans Louisiana 70124 504.485.5870 harmon@lkharmonarchitects.com	2.15.2022	A1
		3.10.2022	
			LKH #1222