



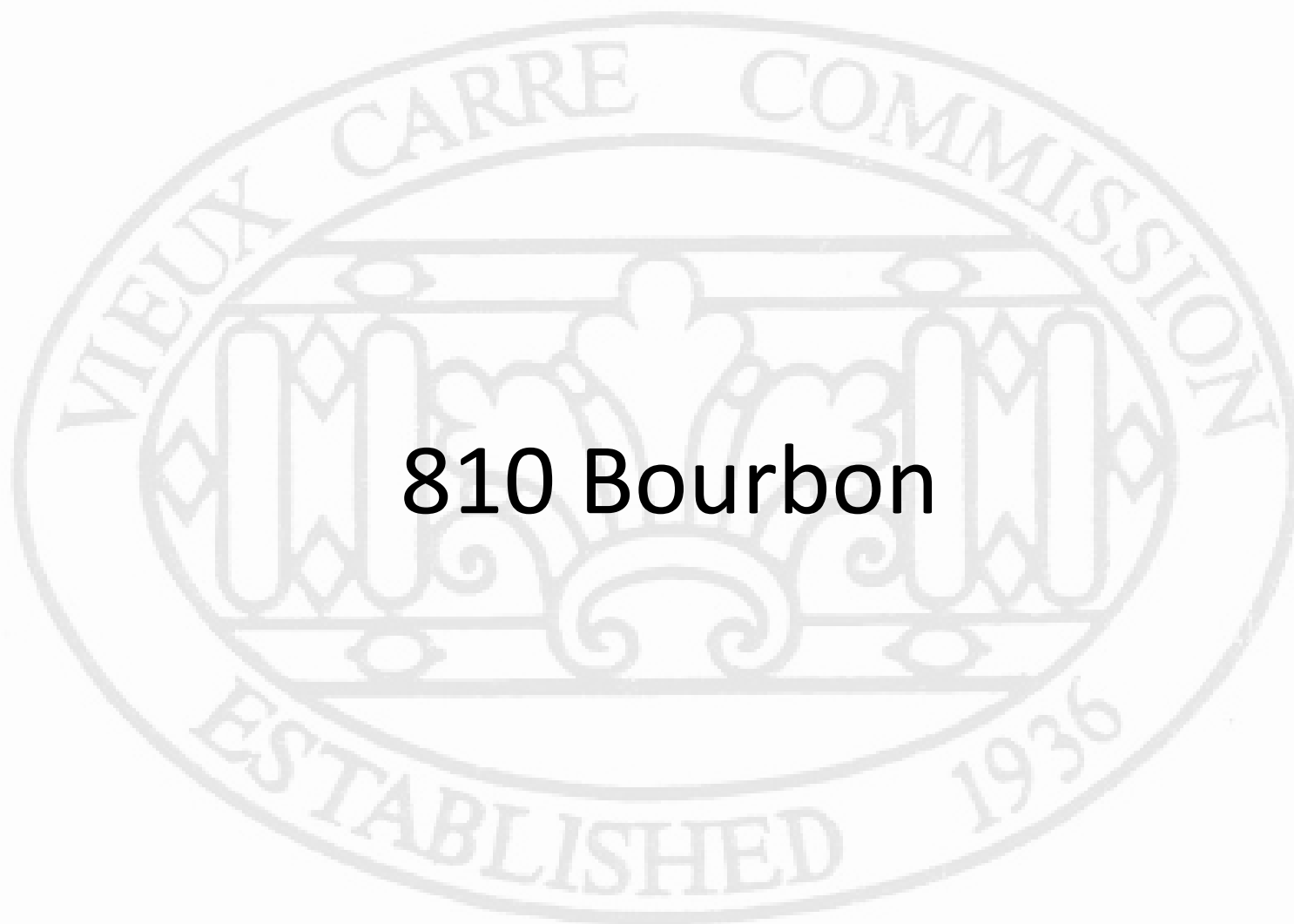
# Vieux Carré Commission Architecture Committee Meeting

Tuesday, March 29, 2022



**New Business**

**810 Bourbon**







## VCC Architectural Committee





808 Bourbon





808 Bourbon

VCC Architectural Committee

March 29, 2022







808 Bourbon

VCC Architectural Committee

March 29, 2022







808 Bourbon

VCC Architectural Committee

03 14 2019

March 29, 2022







808 Bourbon

VCC Architectural Committee

03 14 2019

March 29, 2022







808 Bourbon

VCC Architectural Committee

March 29, 2022











Stairs previously  
approved for  
demolition

03 14 2019







808 Bourbon

VCC Architectural Committee

March 29, 2022







Stairs previously  
approved for  
demolition

808 Bourbon

VCC Architectural Committee

March 29, 2022







808 Bourbon

VCC Architectural Committee

March 29, 2022







808 Bourbon





808 Bourbon

VCC Architectural Committee

March 29, 2022







808 Bourbon

VCC Architectural Committee

March 29, 2022







808 Bourbon

VCC Architectural Committee

01 31 2022

March 29, 2022







808 Bourbon

VCC Architectural Committee

March 29, 2022

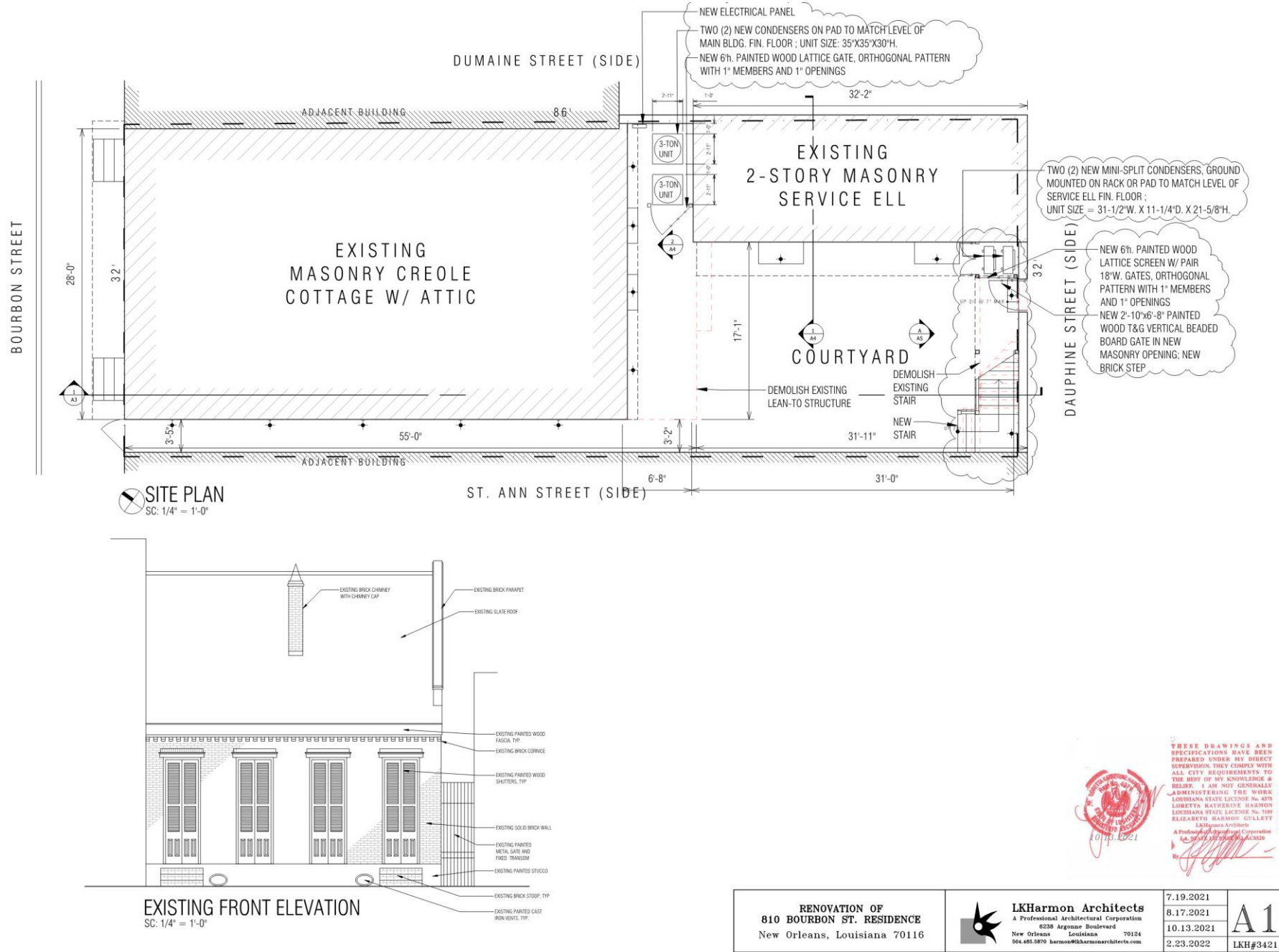




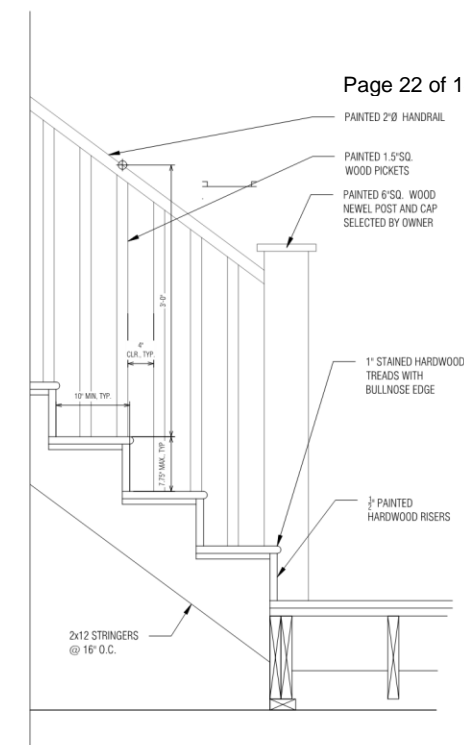
## 808 Bourbon

## VCC Architectural Committee

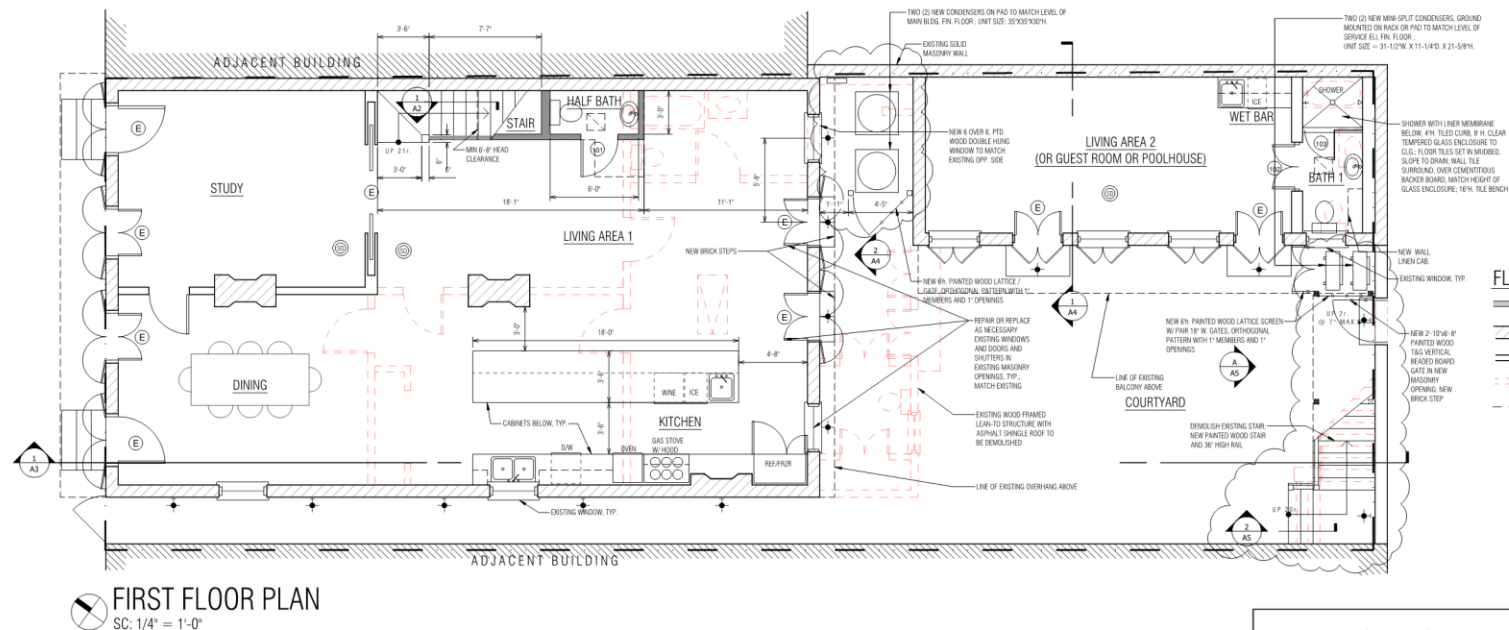
March 29, 2022







1  
A2 PARTIAL SECTION THRU NEW INTERIOR STAIR  
SC: 1/2" = 1'-0"



 FIRST FLOOR PLAN  
SC: 1/4" = 1'-0"

## VCC Architectural Committee

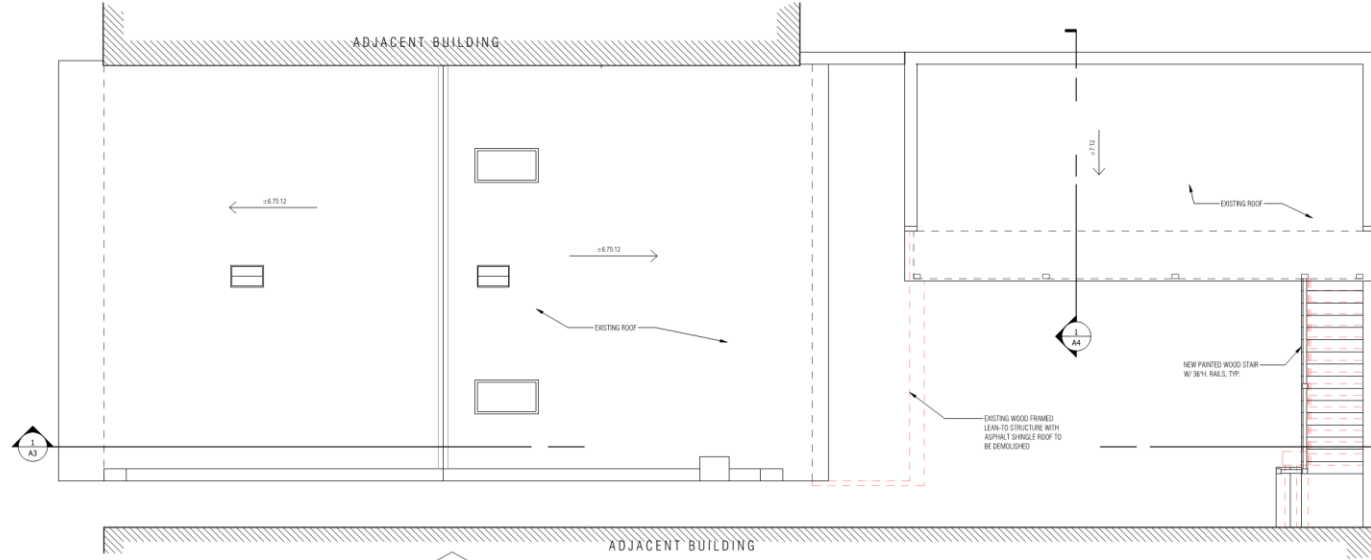
 **LKHarm on Architects**  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans Louisiana 70124  
504.485.5870 [harmon@lkhharmonarchitects.com](http://harmon@lkhharmonarchitects.com)

7.19.2021	A2
8.17.2021	
10.13.2021	
2.23.2022	

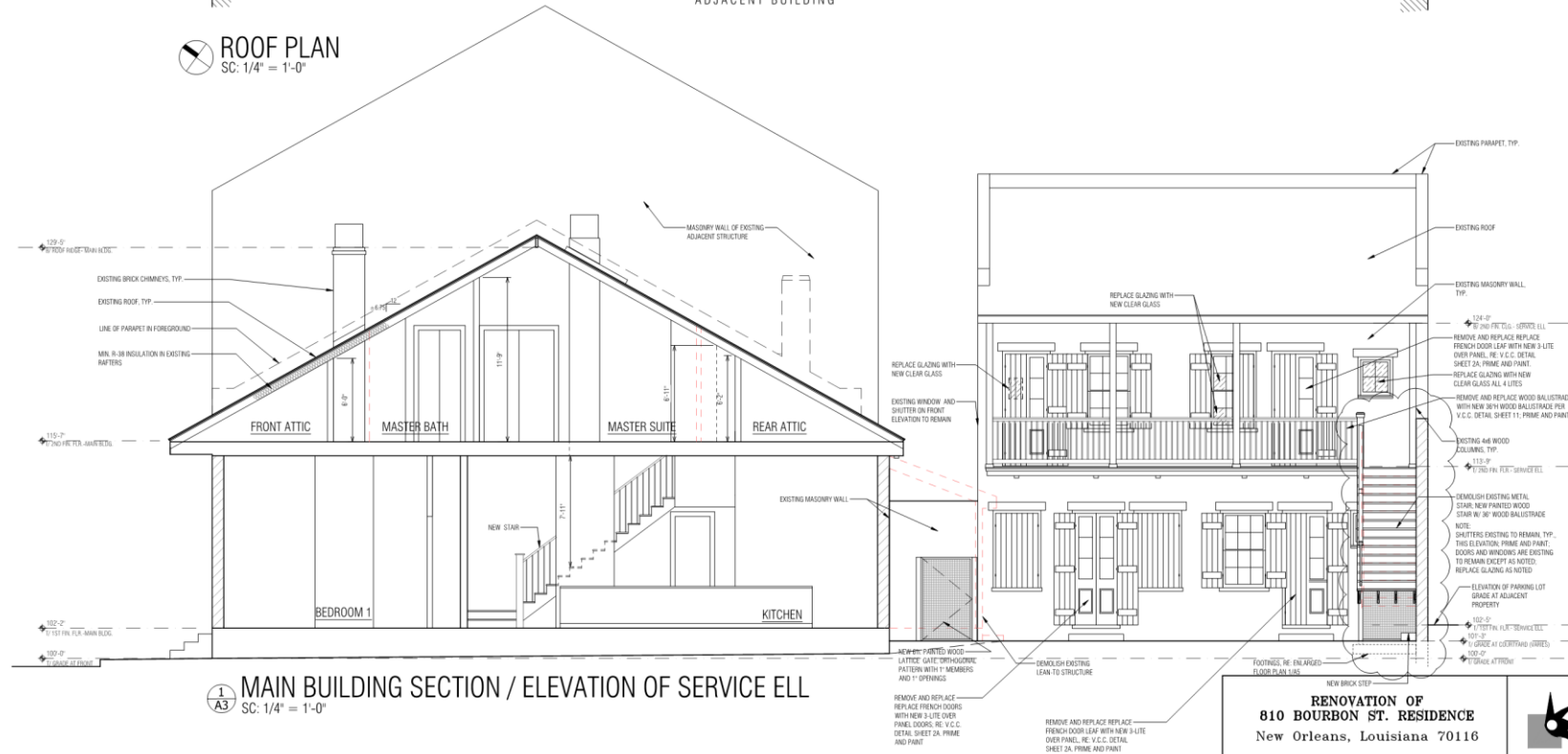


March 29, 2022

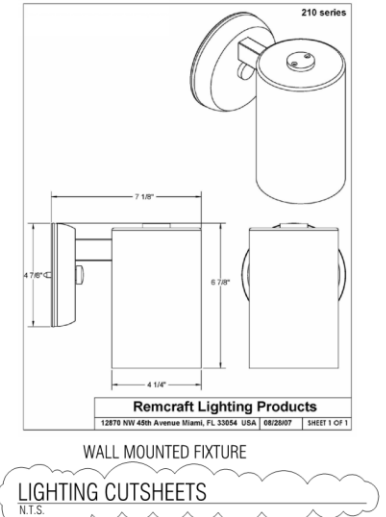
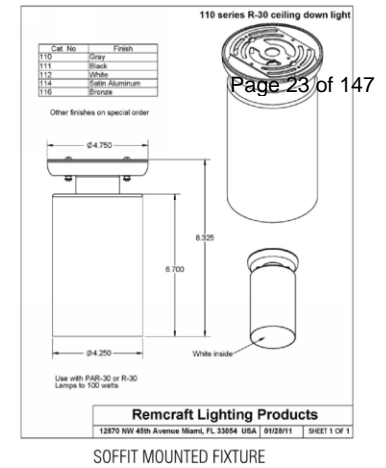




**ROOF PLAN**  
SC: 1/4" = 1'-0"



**MAIN BUILDING SECTION / ELEVATION OF SERVICE ELL**  
SC: 1/4" = 1'-0"



808 Bourbon

VCC Architectural Committee

**RENOVATION OF  
810 BOURBON ST. RESIDENCE**  
New Orleans, Louisiana 70116

**LKHarmon Architects**  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans, Louisiana 70134  
504.455.5870 harmon@lkharchitects.com

7.19.2021  
8.17.2021  
10.13.2021  
1.17.2022  
2.23.2022

**A3**  
LKH#3421



March 29, 2022





SC:  $1/4" = 1'-0"$



SC:  $1/4'' = 1'-0''$

DOOR SCHEDULE				
MARK	SIZE	TYPE	HARDWARE SET	REMARKS
101	2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	PRIVACY LOCKSET; HINGES; DOOR STOP	
102	P&R 2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	DUMMNY LOCKSET; BALL CATCH LATCH; HINGES; DOOR STOPS; SLIDE AND LOCK ON INTERIOR	
103	2'-0"0 x 3'-11"3/4"	CLEAR TEMPORED FRAMELESS GLASS	PUSH/PULL HANDLES BOTH SIDES	
104	2'-10"0 x 3'-11"3/4"	FTD. WOOD. PANEL	PRIVACY LOCKSET; HINGES; DOOR STOP	
105	P&R 2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	DUMMNY LOCKSET; BALL CATCH LATCH; HINGES; DOOR STOPS	
106	2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	PASSAGE LOCKSET; HINGES; DOOR STOP	
107	2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	PRIVACY LOCKSET; HINGES; DOOR STOP	
108	P&R 2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	DUMMNY LOCKSET; BALL CATCH LATCH; HINGES; DOOR STOPS	
109	2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	PRIVACY LOCKSET; HINGES; DOOR STOP	
110	2'-0"0 x 3'-11"3/4"	SLIDING, CLEAR TEMPORED FRAMELESS GLASS	TOP AND BOT TRACKS; PULL HANDLES BOTH SIDES	
111	2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	PRIVACY LOCKSET; HINGES; DOOR STOP	
112	2'-0"0 x 3'-11"3/4"	CLEAR TEMPORED FRAMELESS GLASS	PUSH/PULL HANDLES BOTH SIDES	
113	2'-0"0 x 3'-11"3/4"	FTD. WOOD. PANEL	PASSAGE LOCKSET; HINGES; DOOR STOP	

### FINISHES

1. PAINT ALL BASE AND EXISTING INTERIOR WINDOW, DOOR TRIM, DOORS, AND WALL BASE.
2. INTERIOR PAINTING:  
WALLS 2 COATS ACRYLIC C LATEX OVER PRIMER  
INTERIOR WOOD TRIM 2 COATS ACRYLIC LATEX OVER PRIMER
3. ALL PAINT COLORS AND SHEENS TO BE SELECTED BY OWNER.
4. WOOD PLANK FLOORING SHALL BE SELECTED BY OWNER.
5. TILE SCHEDULED FOR FLOORS AND WALLS AND TUB / SHOWER SURROUNDS SHALL BE SELECTED BY OWNER.
6. IN LIEU OF DRYBATH BOARD, PROVIDE 3/4" CEMENTITIOUS BACKER BOARD WHERE CERAMIC TILE IS SCHEDULED FOR WALLS.
7. PROVIDE MIXTURE AND MOLD RESISTANT GIPSUM BOARD AT WET LOCATIONS
8. WOOD WALL BASE, 4" INTERIOR DOOR AND WINDOW TRIM AND CROWN MOULDING TO BE SELECTED BY OWNER FROM STOCK PROFIT.

1. PROVIDE SAFETY GLAZING IN WINDOWS AND DOORS IN ACCORDANCE WITH IRC 2015 SECTION 312.2
2. DOOR HARDWARE FINISH SHALL BE SELECTED BY OWNER
3. DOOR PANEL STYLE SHALL BE SELECTED BY OWNER
4. IN LIEU OF IMPACT RESISTANT DOORS AND WINDOWS, PROVIDE WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 7/16" AND MAX. SPAN OF 8' PRECUT TO COVER ALL GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED PER IRC605.1.2. PANELS SHALL BE STORED AND HANDLED AND SHALL BE OPENED TO ATTACHMENT ONLY IN THE EVENT OF AN IMPENDING HURRICANE

ROOM	FLOOR	BASE	WALLS	CEILING	MOLDING	REMARKS
LIVING AREA 1	STAINED WOOD PLANK	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	NEW WALL BASE TRIM AND CROWN MILL FINISH EXISTING TR
KITCHEN	STAINED WOOD PLANK	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
STUDY	STAINED WOOD PLANK	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
DINING	STAINED WOOD PLANK	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
HALF BATH	STAINED WOOD PLANK	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
STAR	STAINED WOOD PLANK	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
LIVING AREA 2	NEW WOOD STAINED WOOD PLANK WOOD TRIM, FLOOR AND PAINT	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
BATH 1	CEMIC OR NATURAL STONE TILE THURGET	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
SHOWER	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
BEDROOM 2	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
BATH 2	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
SHOWER	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
CLOS 2	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
MASTER BEDROOM	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
MASTER BATH	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
SHOWER	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
LINEN	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
TOILET	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
MASTER CLOSET	CEMIC OR NATURAL STONE TILE THURGET	NEW OR EXISTING FOURTEEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	
LAUNDRY	CEMIC OR NATURAL STONE TILE THURGET	TILE CODE	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING BOARD AND BATTEN	NEW OR EXISTING PATTERNED SHOOD COVER	



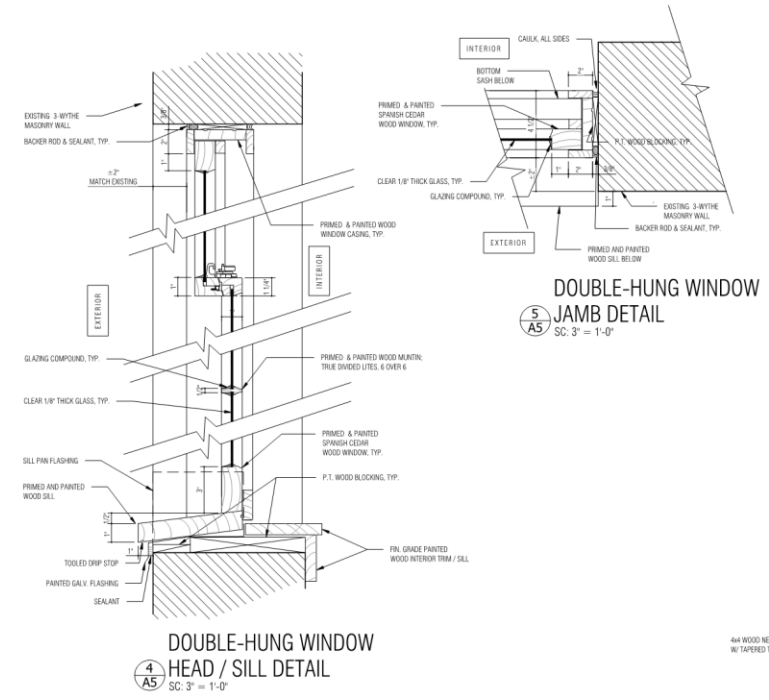
7.19.2021
8.17.2021
10.13.2021
1.23.2022

	A4
	LKH#342



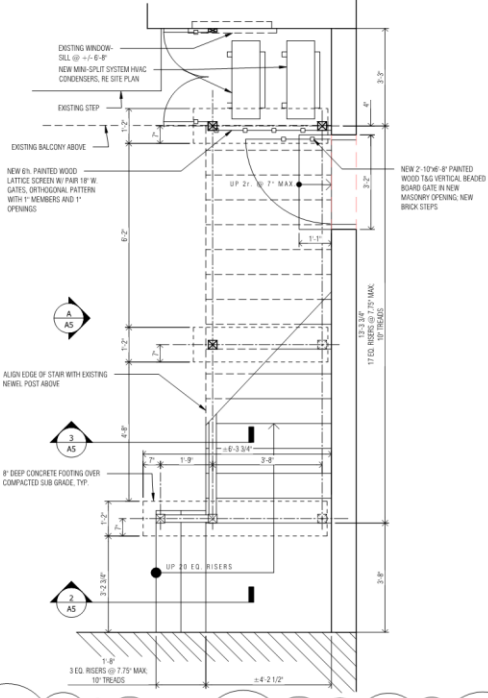
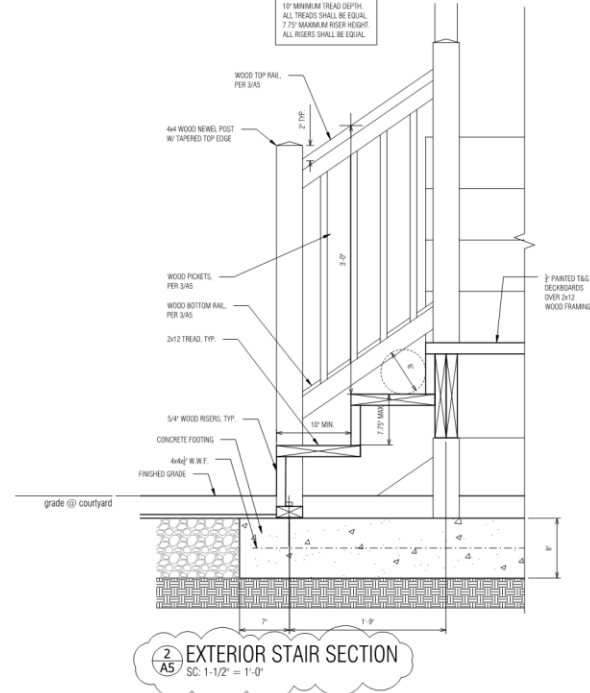
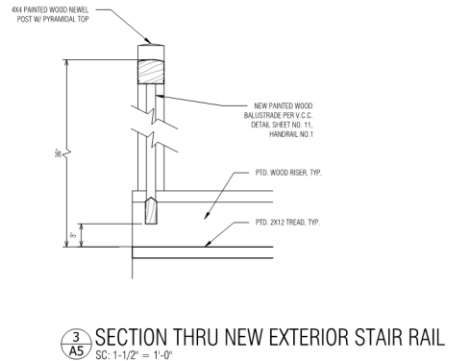
March 29, 2022





EXTERIOR WOOD SHALL BE SOLID, TREATED FOR EXTERIOR USE, AND AIR OR KILN DRIED PRIOR TO INSTALLATION. PRIME AND PAINT, TYP.

STAR NOTE:  
10" MINIMUM TREAD DEPTH  
ALL TREADS SHALL BE EQUAL  
7 1/2" MINIMUM RISER HEIGHT  
ALL RISERS SHALL BE EQUAL



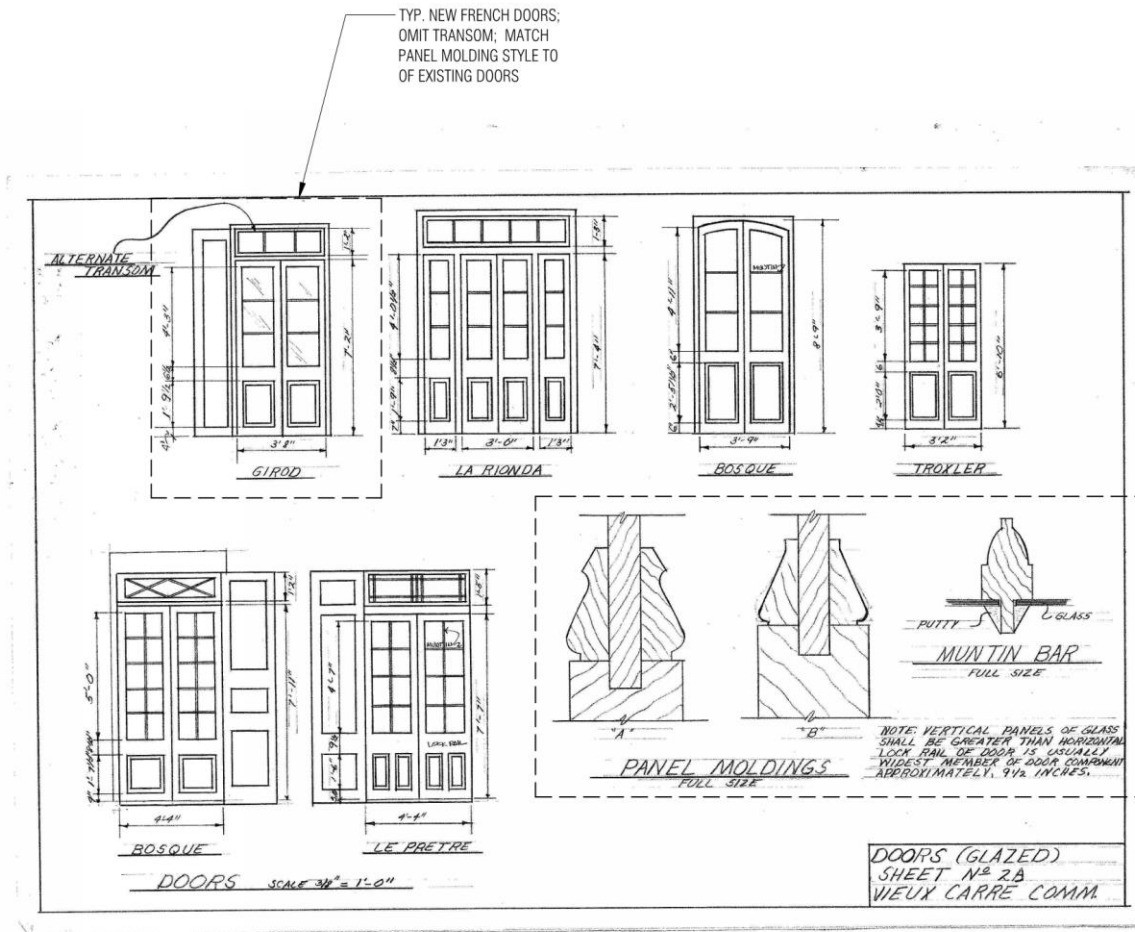
808 Bourbon

VCC Architectural Committee

<b>RENOVATION OF</b> <b>810 BOURBON ST. RESIDENCE</b> New Orleans, Louisiana 70116	 <b>LKHarmone Architects</b> A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans, Louisiana 70124 504.485.5870 harmone@lkharmonearchitects.com	10.13.2021	<b>A5</b> LKH#3421	 10.13.2021	 ESTABLISHED 1936
		1.17.2022			
		2.23.2022			

March 29, 2022





808 Bourbon

VCC Architectural Committee

V.C.C. DETAIL SHEET No. 2A

RENOVATION OF  
810 BOURBON ST. RESIDENCE  
New Orleans, Louisiana 70116



LKHarmen Architects  
A Professional Architectural Corporation  
6258 Argonne Boulevard  
New Orleans Louisiana 70124  
504.485.5870 harmon@lkharmenarchitects.com

1.17.2022

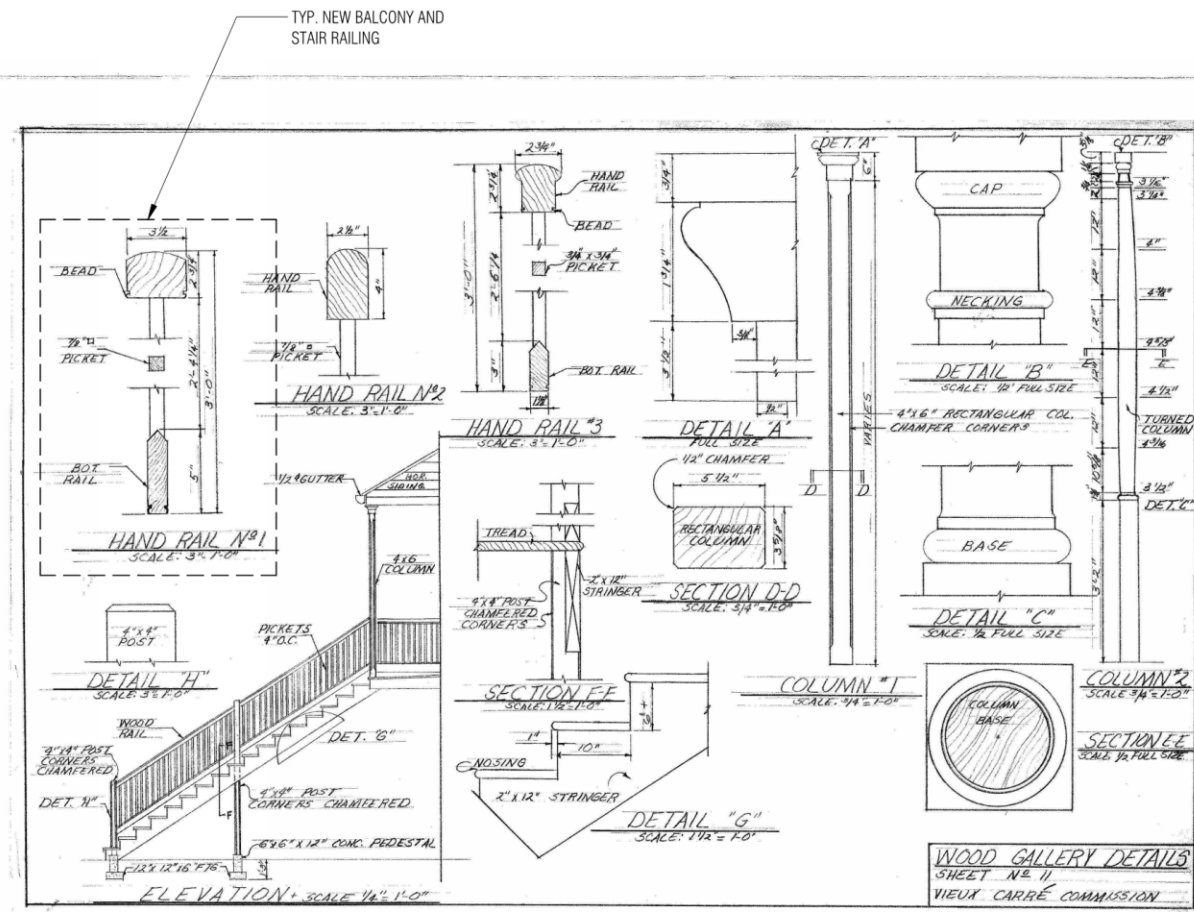
A6

LKH#3421



March 29, 2022





808 Bourbon

VCC Architectural Committee

V.C.C. DETAIL SHEET No. 11

RENOVATION OF  
810 BOURBON ST. RESIDENCE  
New Orleans, Louisiana 70116



**LKHarmon Architects**  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans, Louisiana 70124  
504.485.5870 harmon@lkharmearchitects.com

1.17.2022

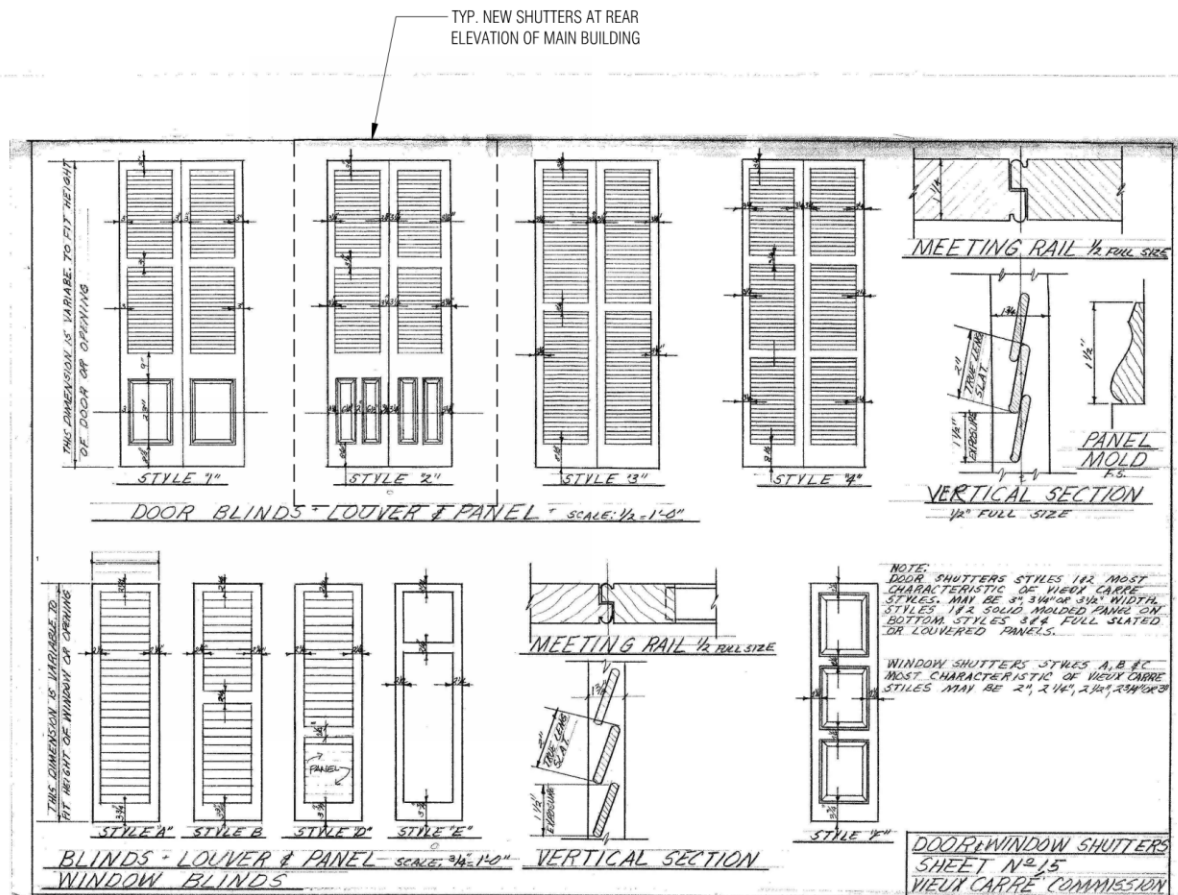
**A7**

LKH#3421



March 29, 2022





808 Bourbon

VCC Architectural Committee

V.C.C. DETAIL SHEET No. 15

RENOVATION OF  
810 BOURBON ST. RESIDENCE  
New Orleans, Louisiana 70116



LKHarmen Architects  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans Louisiana 70124  
504.485.5870 harmon@lkharmenarchitects.com

1.17.2022	A8
LKH#3421	



March 29, 2022





927 Toulouse



927 Toulouse







927 Toulouse



927 Toulouse

VCC Architectural Committee

March 29, 2022







02 26 2021

927 Toulouse

VCC Architectural Committee

March 29, 2022





927 Toulouse

VCC Architectural Committee

March 29, 2022







927 Toulouse

VCC Architectural Committee

March 29, 2022





927 Toulouse

VCC Architectural Committee

March 29, 2022







6676 Corporate Center Parkway  
Suite 107  
Jacksonville, FL 32216  
Phone: (800) 890-4835  
www.itelinc.com

Attn: **Ethan Ozburn** From: **ITEL Customer Experience Dept.**  
To: **Witten Roofing** Email: **customerexperience@itelinc.com**  
Email: **ethan@wroofing.net**

## SLATE ROOFING EVALUATION

CUSTOMER INFORMATION			
Customer:	Generic Customer/, FL	Control #:	ERS8100776
Cust ID:	CUST0004	Date Received:	1/10/2022
Adjuster:	Pre-Paid Not a Bill	Date Invoiced:	1/11/2022
		Additional:	Witten Roofing
		Vendor Job#:	
		Contact:	Ethan Ozburn, ethan@wroofing.net
Comments: ***01/25/2022: REVISED REPORT: Updated address /			
INSURED INFORMATION			
Claim #:	NOT PROVIDED TO ITEL		Loss Date:
Insured Name:	Roland Touns		Area Damaged: 927 Toulouse Street
City,State,Zip:	New Orleans, LA 70112		
Comments:			
ORIGINAL PRODUCT			
	Brand	Line	Color
Comments:	The original sample appears to match the specifications and characteristics of a Non-weathering Gray Slate with a nominal overall thickness of (.1875- .250"). This type of product is still available, however due to weathering of the existing roof tiles the initial color appearance may vary. Recommend blending new tiles into various points in each slope to minimize initial color difference. /		
SIMILAR MATCH(ES)			
*Similarity Rating	Brand	Line	Color
2	Vermont Structural Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	Local Distributor/Supplier: Approx. 11 miles away, The Roof Tile & Slate Company, 504-712-6859, Kenner, LA 70062		
	Manufacturer Contact Info: Vermont Structural Slate Company / www.vermontstructuralslate.com / (800) 343-1900		
2	Evergreen Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	Local Distributor/Supplier: Approx. 5 miles away, ABC Supply #079, 504-733-2225, Jefferson, LA 70121		
	Manufacturer Contact Info: Evergreen Slate Company / www.evergreenslate.com / 866-USA-SLATE		
Comments:			
*Similarity Rating: 1- Excellent match in pattern, color, specifications (candidate for same slope repair) 2- Good match, pattern very similar, specifications exact or very close, color close (may be candidate for full elevation and/or non-adjacent slope replacement) 3- Comparable specification match only, no suitable repair match found, (quality indicator for warranty determination only)			
SLATE ANALYSIS			
Color:	Gray/Green - W		Average Thickness: 0.1875 - 0.2500 (3/16 - 1/4)"
Width:	0		Specialty Shape: N/A
Height:	12.000		Nail Holes: Yes
Comments: Installers should verify visual and dimensional compatibility before purchasing and installing replacement products. /			
COMMENTS			

927 Toulouse

VCC Architectural Committee

March 29, 2022



Existing slate shingles

Proposed Slates for  
Repairs Option 1

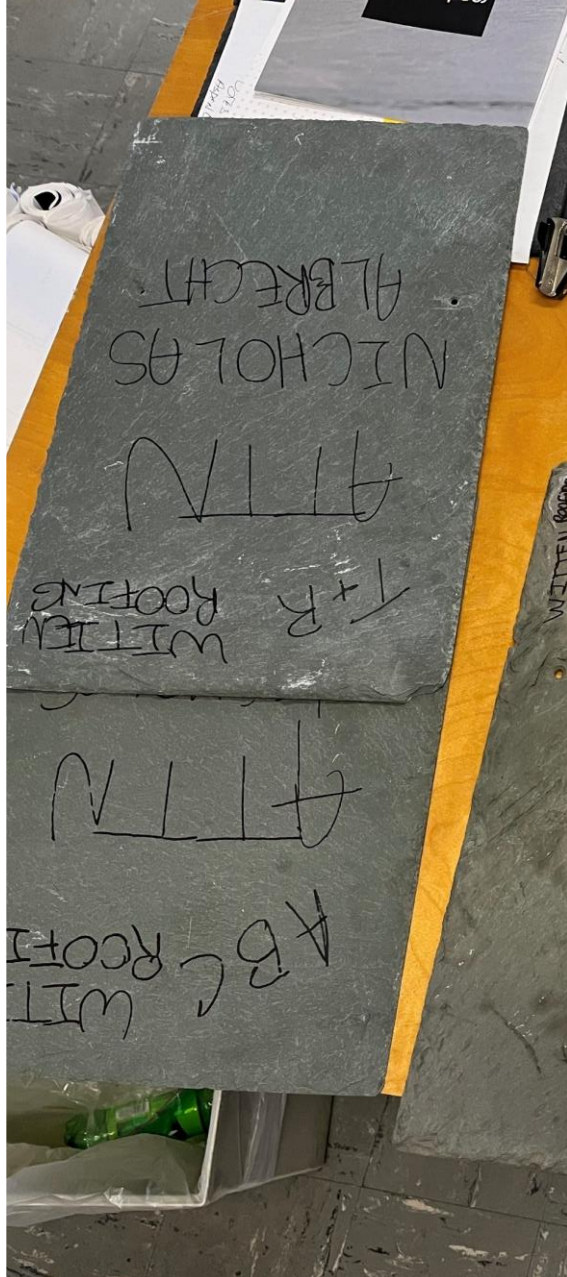




Existing slate shingles

Proposed Slates for  
Repairs Option 2





927 Toulouse Proposed  
VCC Architectural Committee

Existing

March 29, 2022







**1114 Royal**



1114 Royal

VCC Architectural Committee

March 29, 2022







1114 Royal

VCC Architectural Committee

March 29, 2022







1114 Royal ca. 1900

VCC Architectural Committee

March 29, 2022







1114 Royal - 1962

VCC Architectural Committee

March 29, 2022





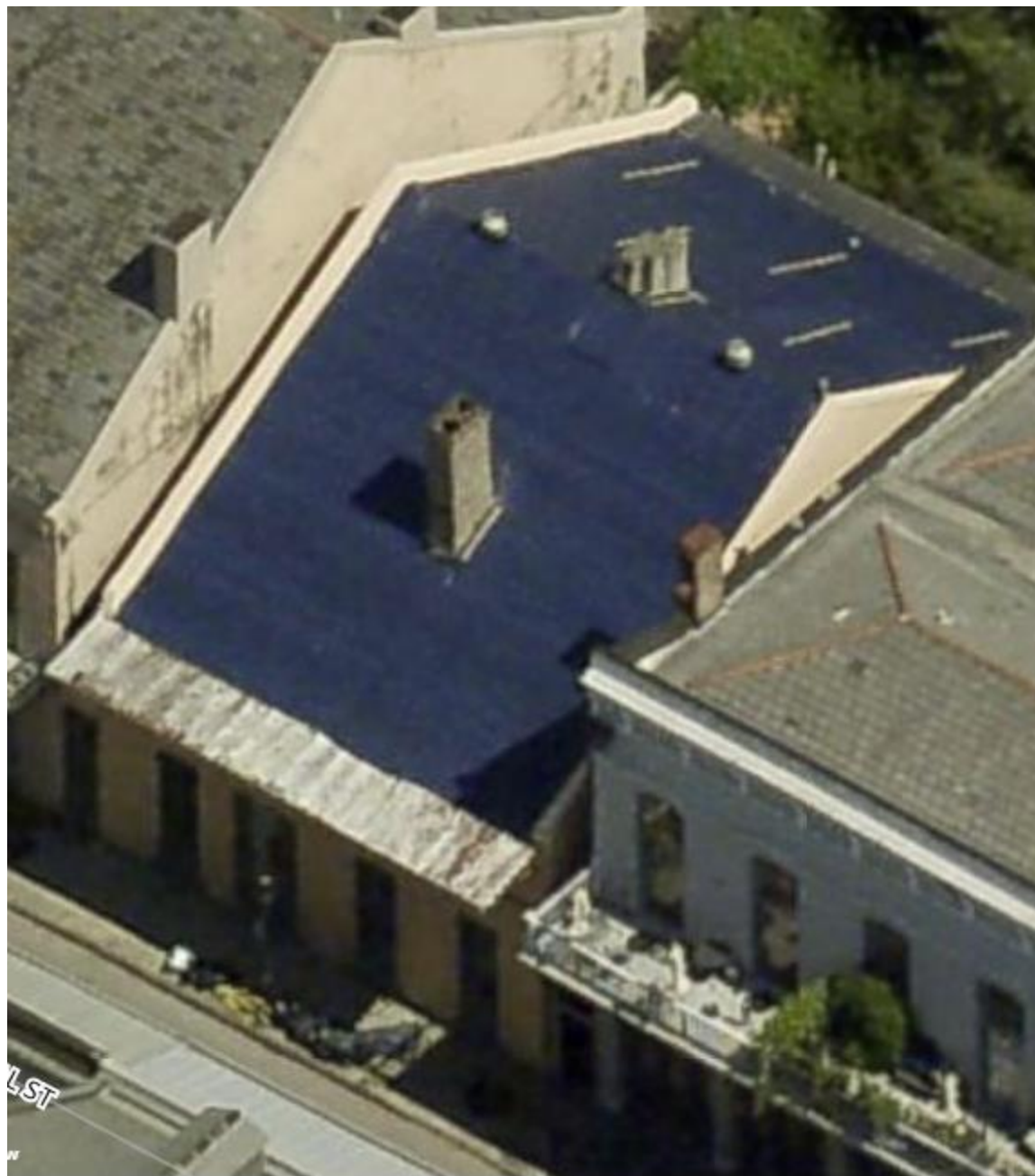
1114 Royal

VCC Architectural Committee

March 29, 2022







1114 Royal

VCC Architectural Committee

▼ Sep 2021 - Sep 2021 ▼ ◀ image 1 of 12 ▶ 09/09/2021

March 29, 2022







1114 Royal

VCC Architectural Committee

March 29, 2022







1114 Royal

VCC Architectural Committee

March 29, 2022







1114 Royal

VCC Architectural Committee

07 26 2021

March 29, 2022







1114 Royal

VCC Architectural Committee

March 29, 2022



# SLATE ROOFING EVALUATION

<u>CUSTOMER INFORMATION</u>			
Customer:	<b>Generic Customer/, FL</b>	Control #:	<b>ERS8103747</b>
Cust ID:	<b>CUST0004</b>	Date Received:	<b>1/11/2022</b>
Adjuster:	<b>Pre-Paid Not a Bill</b>	Date Invoiced:	<b>1/12/2022</b>
		Additional:	<b>Witten Roofing</b>
		Vendor Job#:	
		Contact:	<b>Ethan Ozburn, ethan@wroofing.net</b>
Comments: ***1/25/2022- REVISED REPORT: Updated address /			
<u>INSURED INFORMATION</u>			
Claim #:	<b>NOT PROVIDED TO ITTEL</b>		Loss Date:
Insured Name:	<b>Ronald Toups</b>		Area Damaged: <b>1114 Royal Street, Suite A &amp; B</b>
City,State,Zip:	<b>New Orleans, LA 70116</b>		
Comments:			
<u>ORIGINAL PRODUCT</u>			
	<u>Brand</u>	<u>Line</u>	<u>Color</u>
Comments:	The original sample appears to match the specifications and characteristics of a semi-weathering Gray/Green slate with a nominal overall thickness of (.1875- .250"). This type of product is still available, however due to weathering of the existing roof tiles the initial color appearance may vary. Recommend blending new tiles into various points in each slope to minimize initial color difference. /		
<u>SIMILAR MATCH(ES)</u>			
<u>*Similarity Rating</u>	<u>Brand</u>	<u>Line</u>	<u>Color</u>
2	Vermont Structural Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	<b>Local Distributor/Supplier:</b> Approx. 12 miles away, The Roof Tile & Slate Company, 504-712-6859, Kenner, LA 70062		
	<b>Manufacturer Contact Info:</b> Vermont Structural Slate Company / www.vermontstructuralslate.com / (800) 343-1900		
2	Evergreen Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	<b>Local Distributor/Supplier:</b> Approx. 6 miles away, ABC Supply #079, 504-733-2225, Jefferson, LA 70121		
	<b>Manufacturer Contact Info:</b> Evergreen Slate Company / www.evergreenslate.com / 866-USA-SLATE		
Comments:			
*Similarity Rating: 1- Excellent match in pattern, color, specifications (candidate for same slope repair) 2- Good match, pattern very similar, specifications exact or very close, color close (may be candidate for full elevation and/or non-adjacent slope replacement) 3- Comparable specification match only, no suitable repair match found, (quality indicator for warranty determination only)			
<u>SLATE ANALYSIS</u>			
Color:	<b>Gray/Green - NW</b>		Average Thickness: <b>0.1875 - 0.2500 (3/16 - 1/4)"</b>
Width:	<b>11.500</b>		Specialty Shape: <b>N/A</b>
Height:	<b>12.000</b>		Nail Holes: <b>No</b>
Comments:	<b>Installers should verify visual and dimensional compatibility before purchasing and installing replacement products. /</b>		
<u>COMMENTS</u>			
Original sample was received broken into pieces. /			





Existing slate shingles

Proposed Slates for  
Repairs Option 1



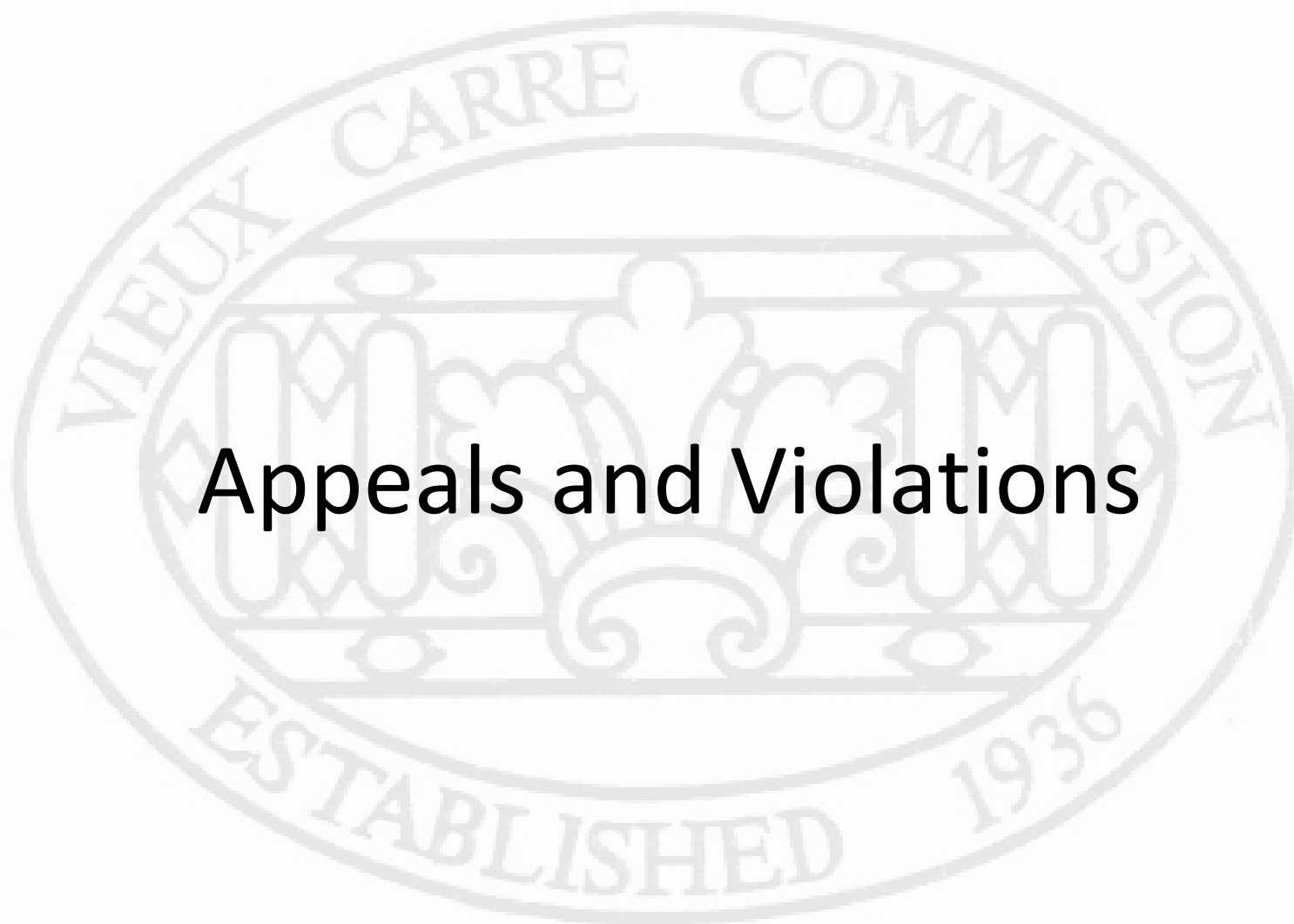
Existing slate shingles

Proposed Slates for  
Repairs Option 1





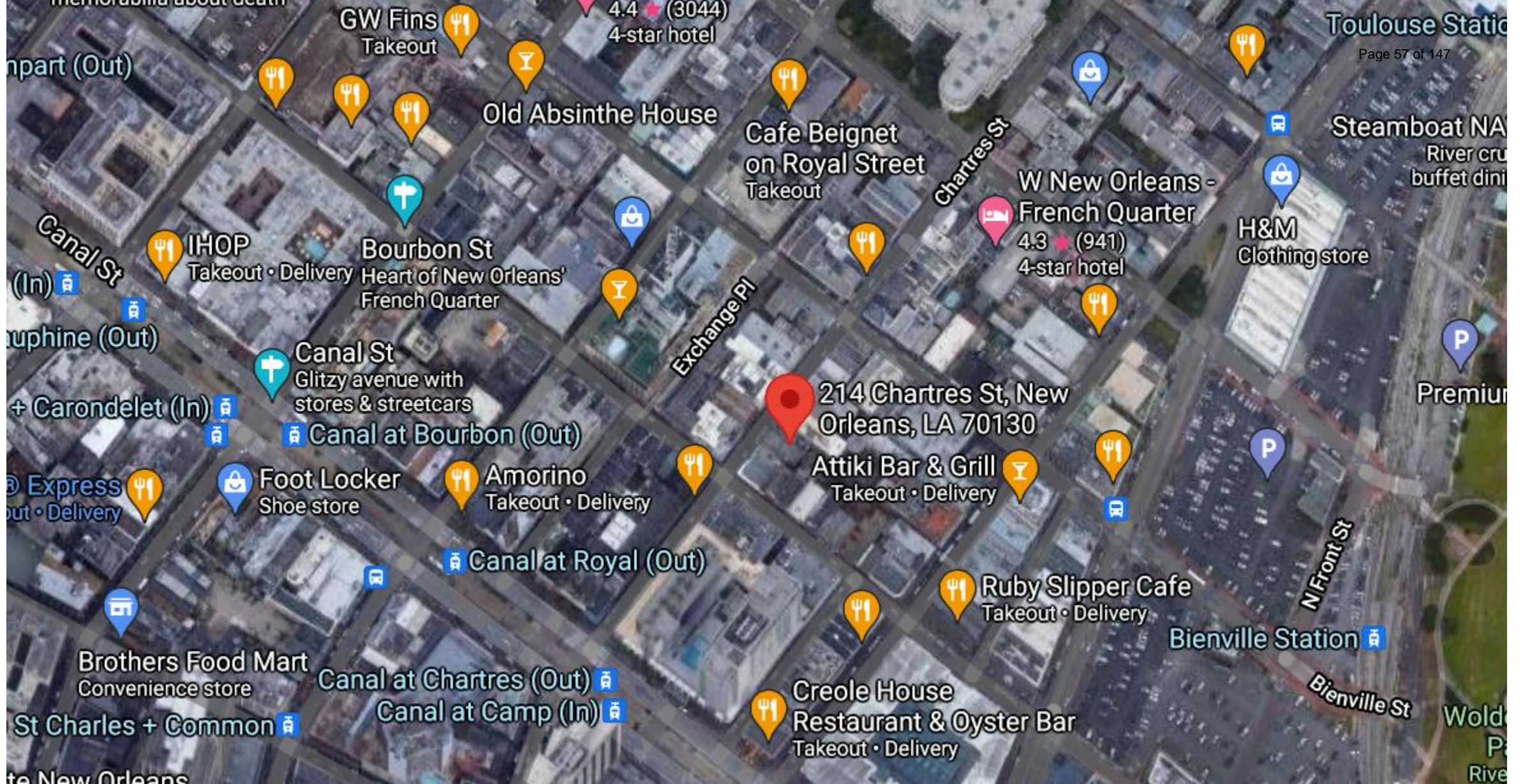
# Appeals and Violations



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll. The shield is flanked by two vertical bars with diamond shapes. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

**214 Chartres**





214 Chartres

VCC Architectural Committee

March 29, 2022







214 Chartres

VCC Architectural Committee

March 29, 2022







214 Chartres

VCC Architectural Committee

March 29, 2022





214 Chartres

VCC Architectural Committee

March 29, 2022







214 Chartres

VCC Architectural Committee

March 29, 2022





214 Chartres

VCC Architectural Committee

March 29, 2022







214 Chartres

VCC Architectural Committee

March 29, 2022







214 Chartres

VCC Architectural Committee

March 29, 2022







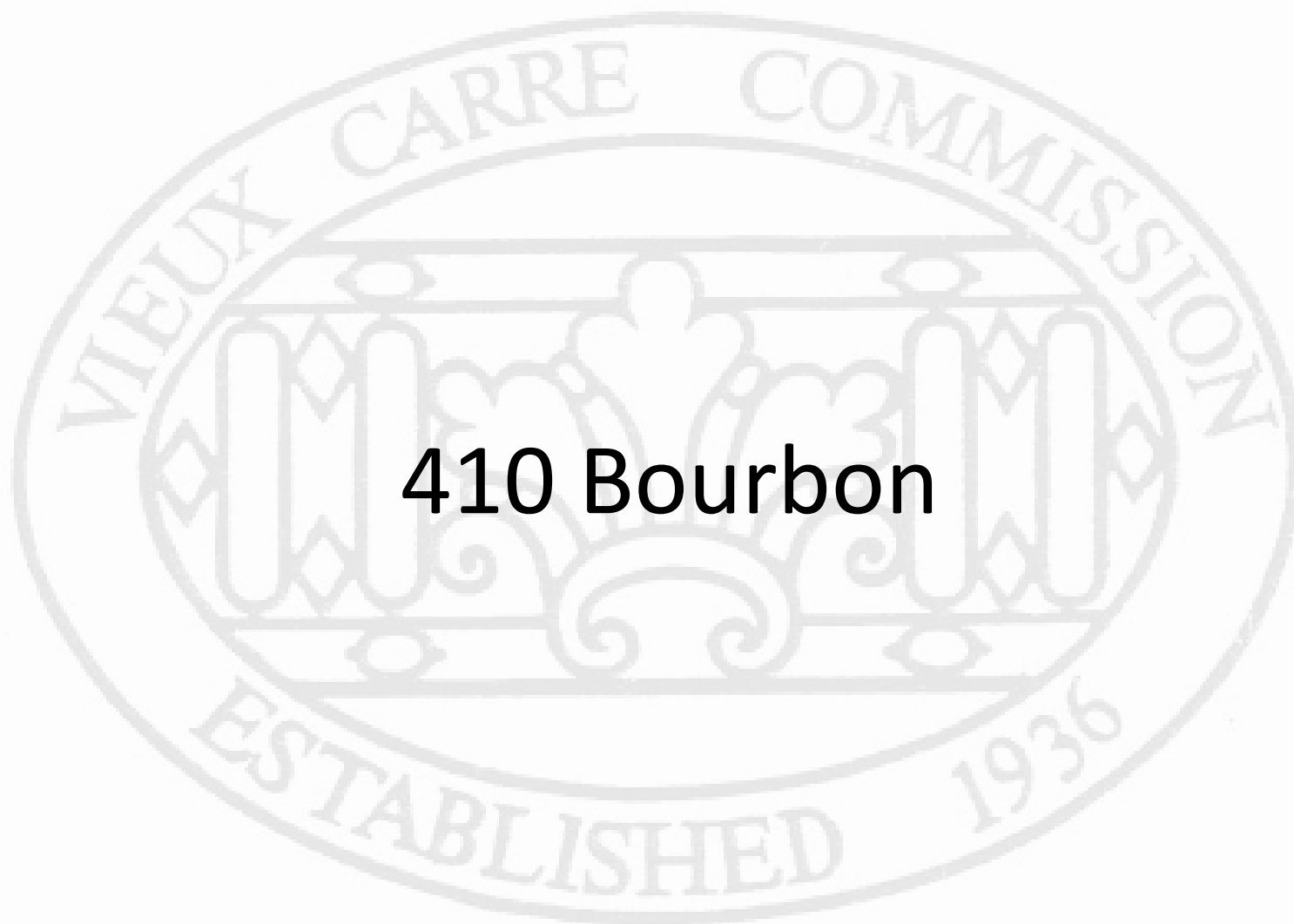
214 Chartres

VCC Architectural Committee

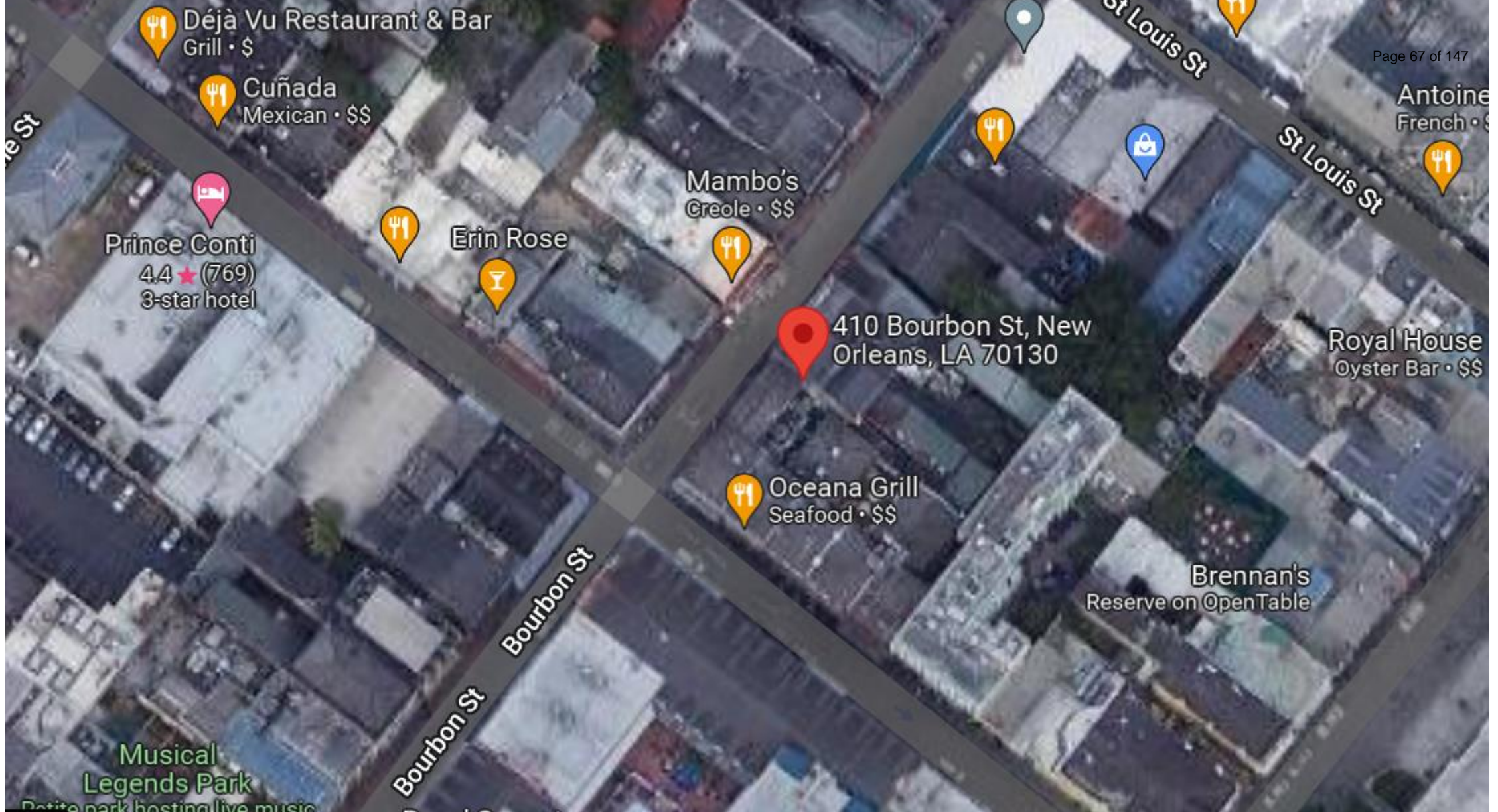
March 29, 2022



410 Bourbon







410 Bourbon

VCC Architectural Committee

March 29, 2022





410 Bourbon

VCC Architectural Committee

March 29, 2022







410 Bourbon

VCC Architectural Committee

March 29, 2022





410 Bourbon

VCC Architectural Committee

March 29, 2022







410 Bourbon

VCC Architectural Committee

March 29, 2022







410 Bourbon  
VCC Architectural Committee

March 29, 2022







410 Bourbon

VCC Architectural Committee

March 29, 2022







410 Bourbon

VCC Architectural Committee

March 29, 2022















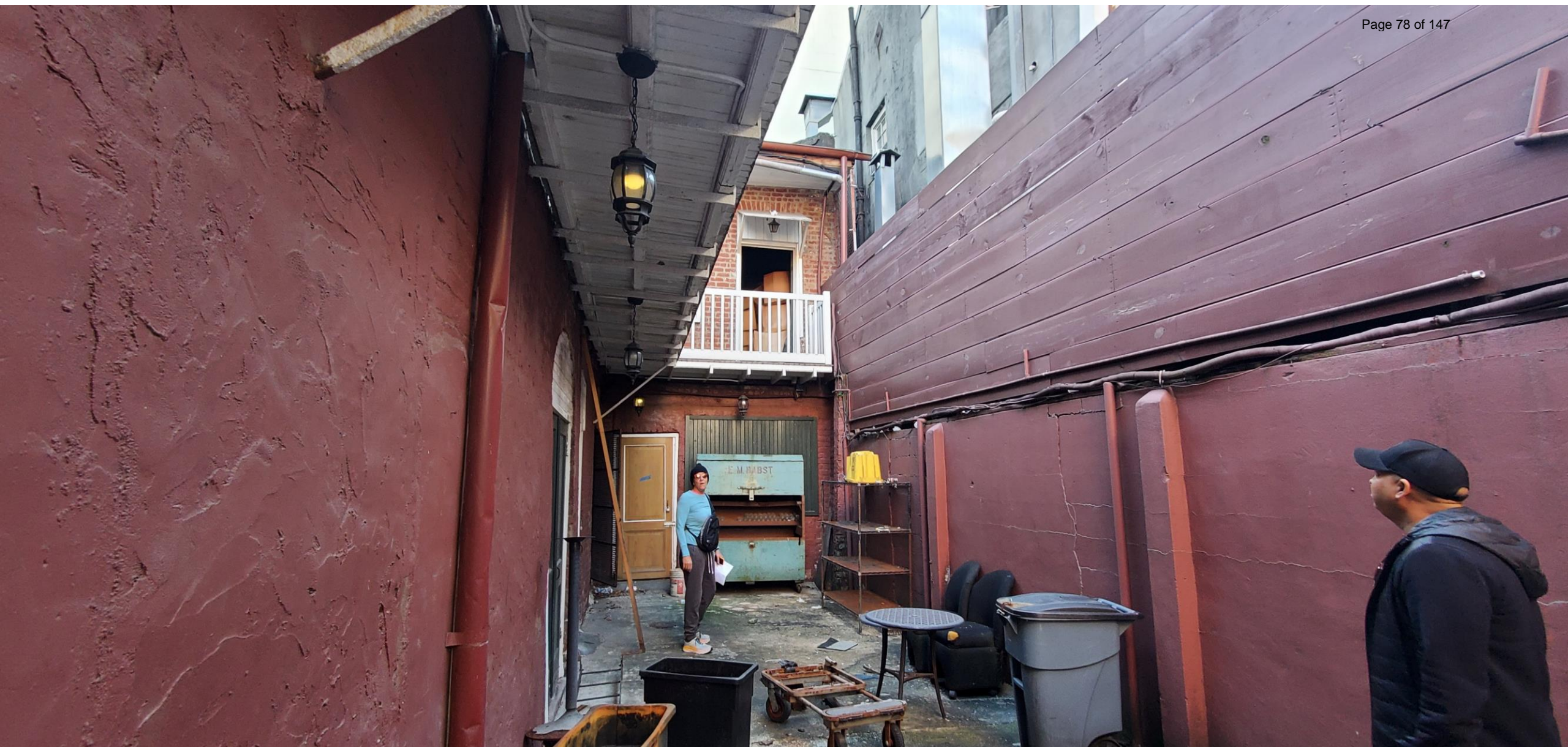
410 Bourbon

VCC Architectural Committee

March 29, 2022







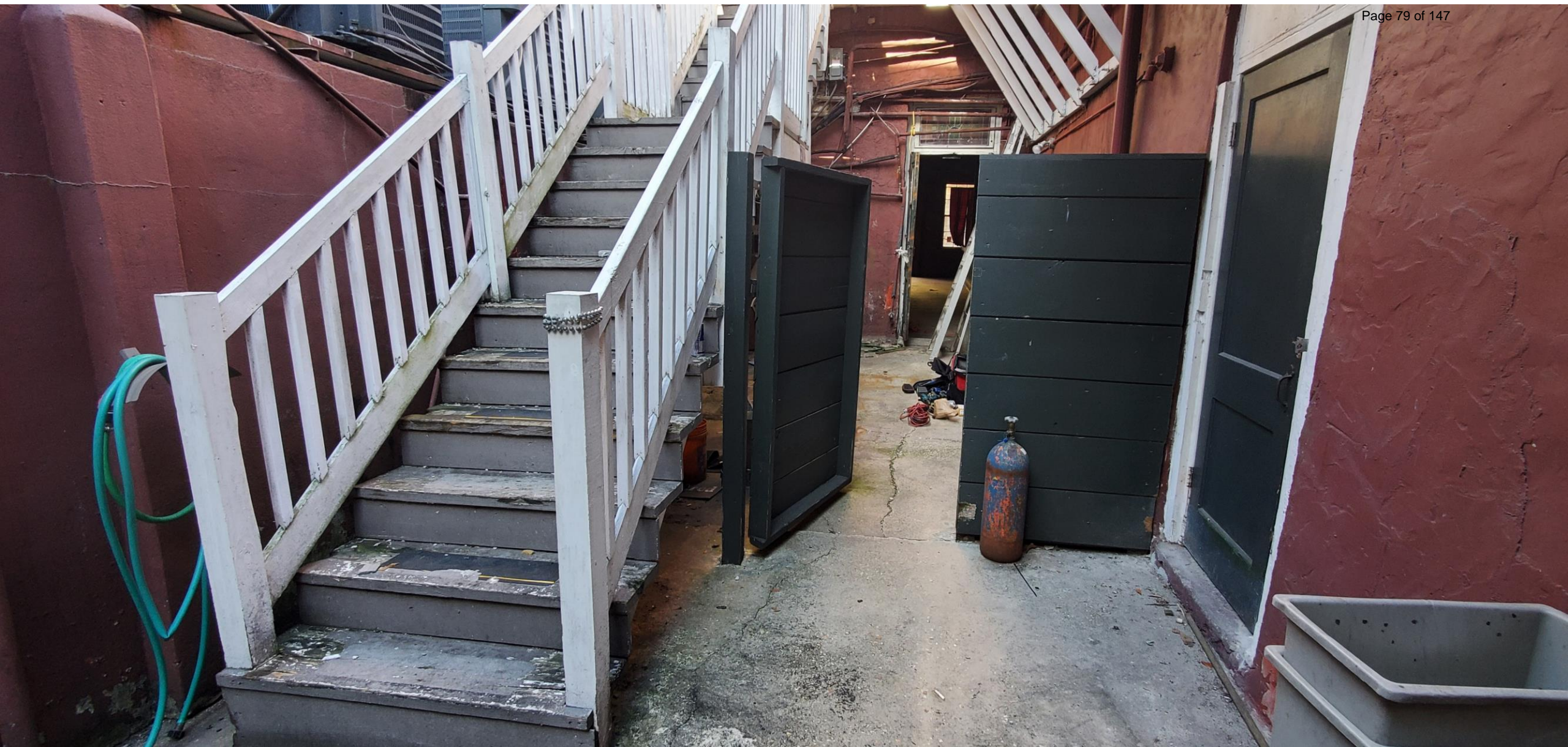
410 Bourbon

VCC Architectural Committee

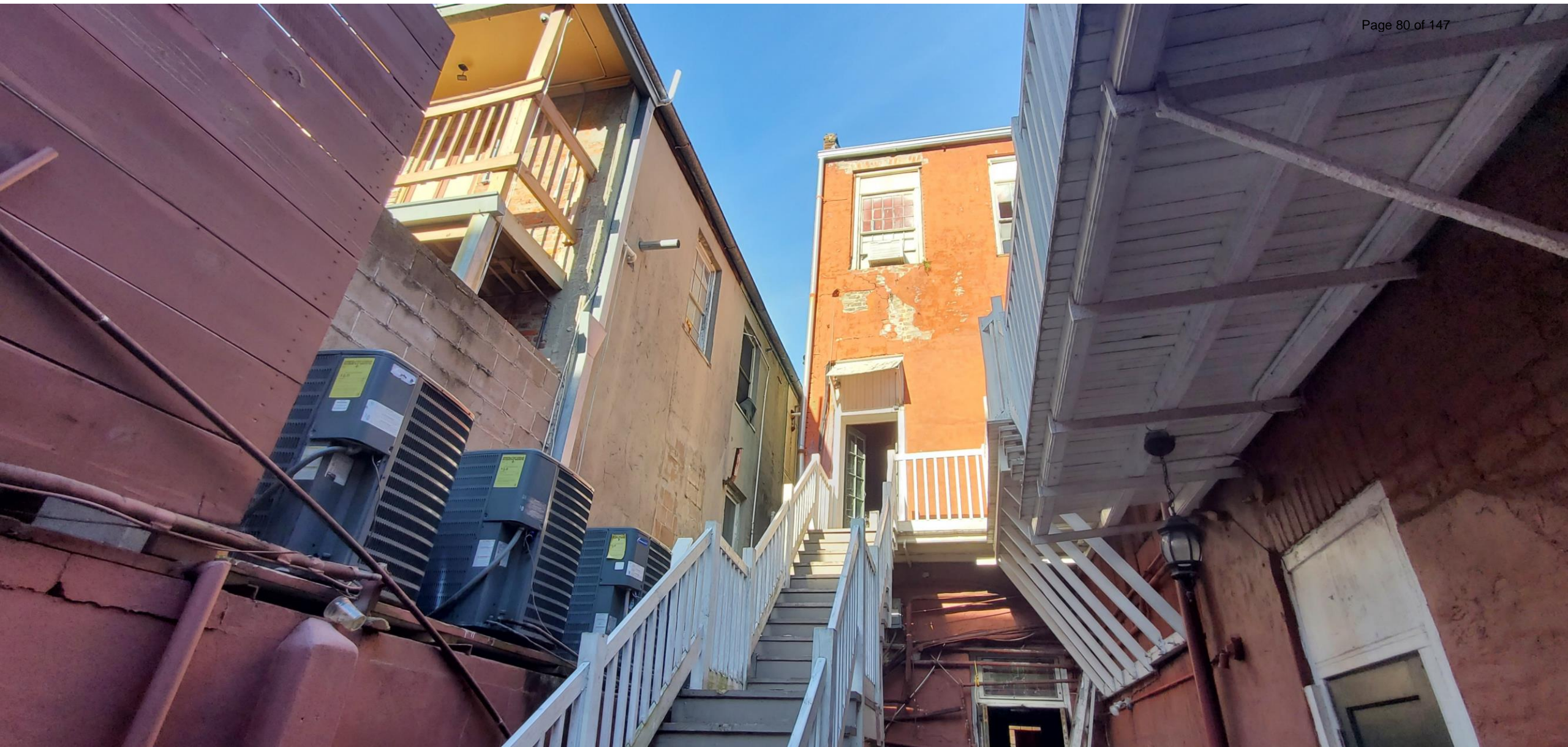
March 29, 2022















410 Bourbon

VCC Architectural Committee

March 29, 2022



















410 Bourbon

VCC Architectural Committee

March 29, 2022







410 Bourbon

VCC Architectural Committee

March 29, 2022











410 Bourbon  
VCC Architectural Committee

March 29, 2022







410 Bourbon  
VCC Architectural Committee

March 29, 2022





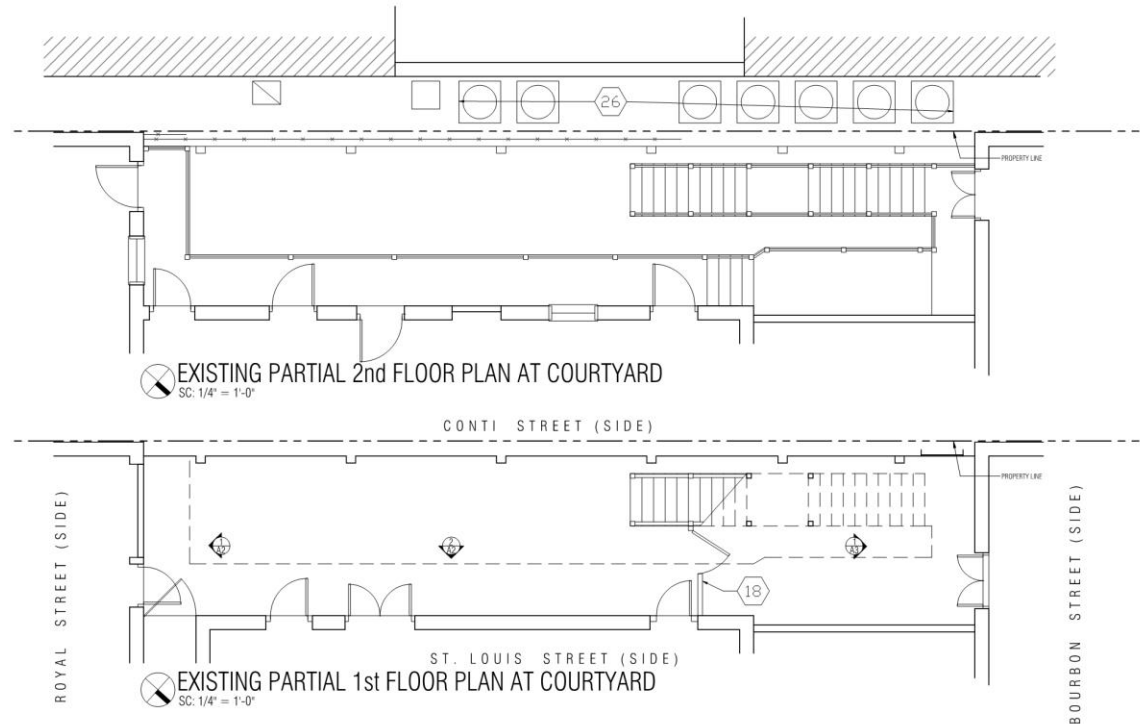


PHOTO OF FRONT FACADE

KEYNOTES

1. REPAIR BRICK AND/OR MORTAR DAMAGE, TYP. THROUGHOUT
2. PATCH CRACKS IN STUCCO; PAINT.
3. REMOVE SCORED STUCCO INFILL; NEW STUCCO; PAINT.
4. REMOVE CORRUGATED METAL WALL CLADDING; NEW STUCCO; PAINT
5. REMOVE T-111 PLYWOOD WALL CLADDING; NEW STUCCO; PAINT
6. REPAIR OR REPLACE ROOF
7. REPAIR CHIMNEYS (2)
8. REPAIR WINDOWS; REPLACE TRIM AS NECESSARY; PAINT
9. REMOVE AND REPLACE WINDOWS WITH NEW 12 OVER 8 TRUE DIVIDED LITE WOOD DOUBLE HUNG WINDOWS TO FILL MASONRY OPENINGS
10. REMOVE AND REPLACE WOOD DOOR; NEW PAINTED WOOD 4-PANEL DOOR; NEW PAINTED WOOD JAMB/CASING
11. REMOVE T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
12. REMOVE PLYWOOD PANEL.
13. REMOVE SHEET METAL FASCIA.
14. REPAIR OR REPLACE WOOD FASCIA AND SOFFIT. PAINT.
15. REPAIR EXISTING WOOD AND/OR METAL BALCONY & STAIR FRAMING. PAINT. WOOD T&G DECKBOARDS TO REMAIN. REPAIR OR REPLACE WOOD TREADS AND RISERS. PAINT.
16. REMOVE AND REPLACE BALCONY RAILING INCLUDING TOP RAIL, PICKETS AND BOTTOM RAIL PER A1A2 (V.C.C. DETAIL SHEET NO.11, DETAIL NO. 1.) RAIL SHALL BE 42" H. VERTICAL 4x4 POSTS TO REMAIN. PAINT.
17. REMOVE VEGETATION.
18. RETAIN EXISTING PAINTED WOOD 7-BOARD FENCE AND GATE (SEE 1ST FLOOR PLAN)
19. RETAIN EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS. PAINT.
20. RETAIN EXISTING K-STYLE GUTTERS AND ROUND DOWNSPOUTS. PAINT.
21. REMOVE PLYWOOD AWINGS AND T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
22. REMOVE EXISTING PENDANT FIXTURES; REPLACE WITH 6 NEW REMCRAFT BALCONY MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
23. FILL CRACKS AT CORNICE WITH EPOXY. PAINT.
24. REMOVE UNUSED WIRING. SECURE EXISTING WIRING. PAINT TO MATCH.
25. REMOVE LIGHTS AT EXISTING PLYWOOD AWINGS. REPLACE WITH NEW REMCRAFT WALL MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
26. REMOVE LIGHTS AT EXISTING PLYWOOD AWINGS. REPLACE WITH NEW REMCRAFT SOFFIT MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
27. RETAIN EXISTING HVAC UNITS. (TENANT AT 410 BOURBON IS SAME ENTITY AS 408 BOURBON.)

WINDOW NOTES

1. PER LSUCC AMENDMENTS.  
IN LIEU OF IMPACT RESISTANT DOORS AND WINDOWS ON THE 1ST AND 2ND FLOORS PROVIDE WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 7/16" AND MAX. SPAN OF 8' PRECUT TO COVER ALL GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED PER IBC2015 TABLE 1609.1.2. PANELS SHALL BE STORED ON SITE.
2. ALL GLAZING SHALL BE CLEAR.
3. SAFETY GLAZING REQUIRED IN THE FOLLOWING LOCATIONS:
  - ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS
  - GLAZING WITHIN 2FT OF THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
  - AN INDIVIDUAL PANE IS GREATER THAN 9SF AND THE BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE WALKING SURFACE AND THE TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FLOOR

V.C.C. MODIFICATIONS to  
410 Bourbon Street  
New Orleans, Louisiana 70130

**LKHarmon Architects**  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans, Louisiana 70124  
504.485.5870 harmon@lkharmearchitects.com

INDICATED ARE VALID ONLY IF PRINTED ON 24"x36" SHEETS	
11.5.2021	A1
1.18.2022	
2.4.2022	
	LKH #6021





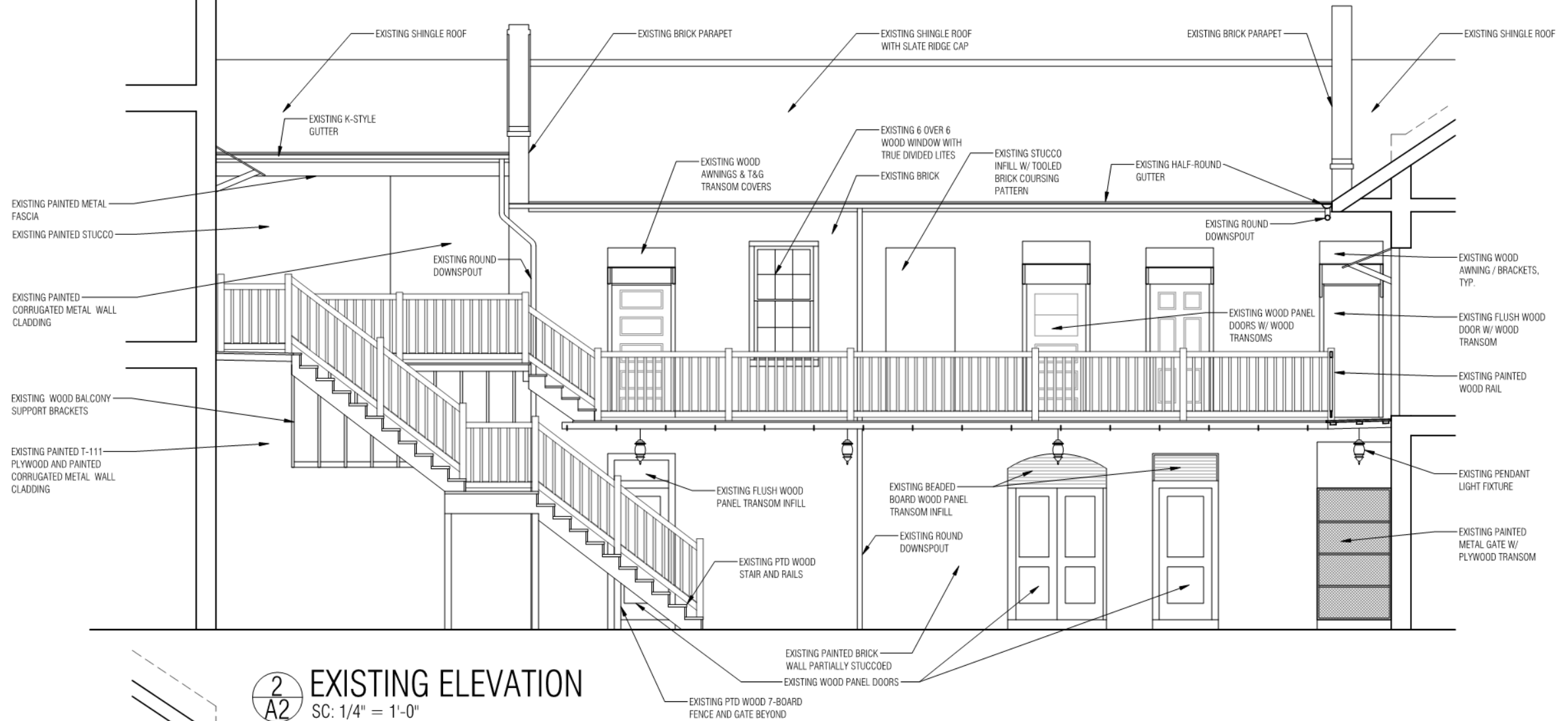
## KEYNOTES

1. REPAIR BRICK AND/OR MORTAR DAMAGE, TYP. THROUGHOUT
2. PATCH CRACKS IN STUCCO; PAINT.
3. REMOVE SCORED STUCCO INFILL; NEW STUCCO; PAINT.
4. REMOVE CORRUGATED METAL WALL CLADDING; NEW STUCCO; PAINT
5. REMOVE T-111 PLYWOOD WALL CLADDING; NEW STUCCO; PAINT
6. REPAIR OR REPLACE ROOF
7. REPAIR CHIMNEYS (2)
8. REPAIR WINDOWS; REPLACE TRIM AS NECESSARY; PAINT
9. REMOVE AND REPLACE WINDOWS WITH NEW 12 OVER 8 TRUE DIVIDED LITE WOOD DOUBLE HUNG WINDOWS TO FILL MASONRY OPENINGS
10. REMOVE AND REPLACE WOOD DOOR; NEW PAINTED WOOD 4-PANEL DOOR; NEW PAINTED WOOD JAMB/CASING
11. REMOVE T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
12. REMOVE PLYWOOD PANEL.
13. REMOVE SHEET METAL FASCIA.
14. REPAIR OR REPLACE WOOD FASCIA AND SOFFIT. PAINT.
15. REPAIR EXISTING WOOD AND/OR METAL BALCONY & STAIR FRAMING; PAINT. WOOD T&G DECKBOARDS TO REMAIN. REPAIR OR REPLACE WOOD TREADS AND RISERS. PAINT.
16. REMOVE AND REPLACE BALCONY RAILING INCLUDING TOP RAIL, PICKETS AND BOTTOM RAIL PER A/A2 (V.C.C. DETAIL SHEET NO.11, DETAIL NO. 1.) RAIL SHALL BE 42" H. VERTICAL 4x4 POSTS TO REMAIN. PAINT.
17. REMOVE VEGETATION.
18. RETAIN EXISTING PAINTED WOOD 7-BOARD FENCE AND GATE (SEE 1ST FLOOR PLAN)
19. RETAIN EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS. PAINT.
20. RETAIN EXISTING K-STYLE GUTTERS AND ROUND DOWNSPOUTS. PAINT.
21. REMOVE PLYWOOD AWINGS AND T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
22. REMOVE EXISTING PENDANT FIXTURES; REPLACE WITH 6 NEW REMCRAFT BALCONY MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
23. FILL CRACKS AT CORNICE WITH EPOXY. PAINT.
24. REMOVE UNUSED WIRING. SECURE EXISTING WIRING. PAINT TO MATCH.
25. REMOVE LIGHTS AT EXISTING PLYWOOD AWNINGS. REPLACE WITH NEW REMCRAFT WALL MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
26. REMOVE LIGHTS AT EXISTING PLYWOOD AWNINGS. REPLACE WITH NEW REMCRAFT SOFFIT MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
27. RETAIN EXISTING HVAC UNITS. (TENANT AT 410 BOURBON IS SAME ENTITY AS 408 BOURBON.)

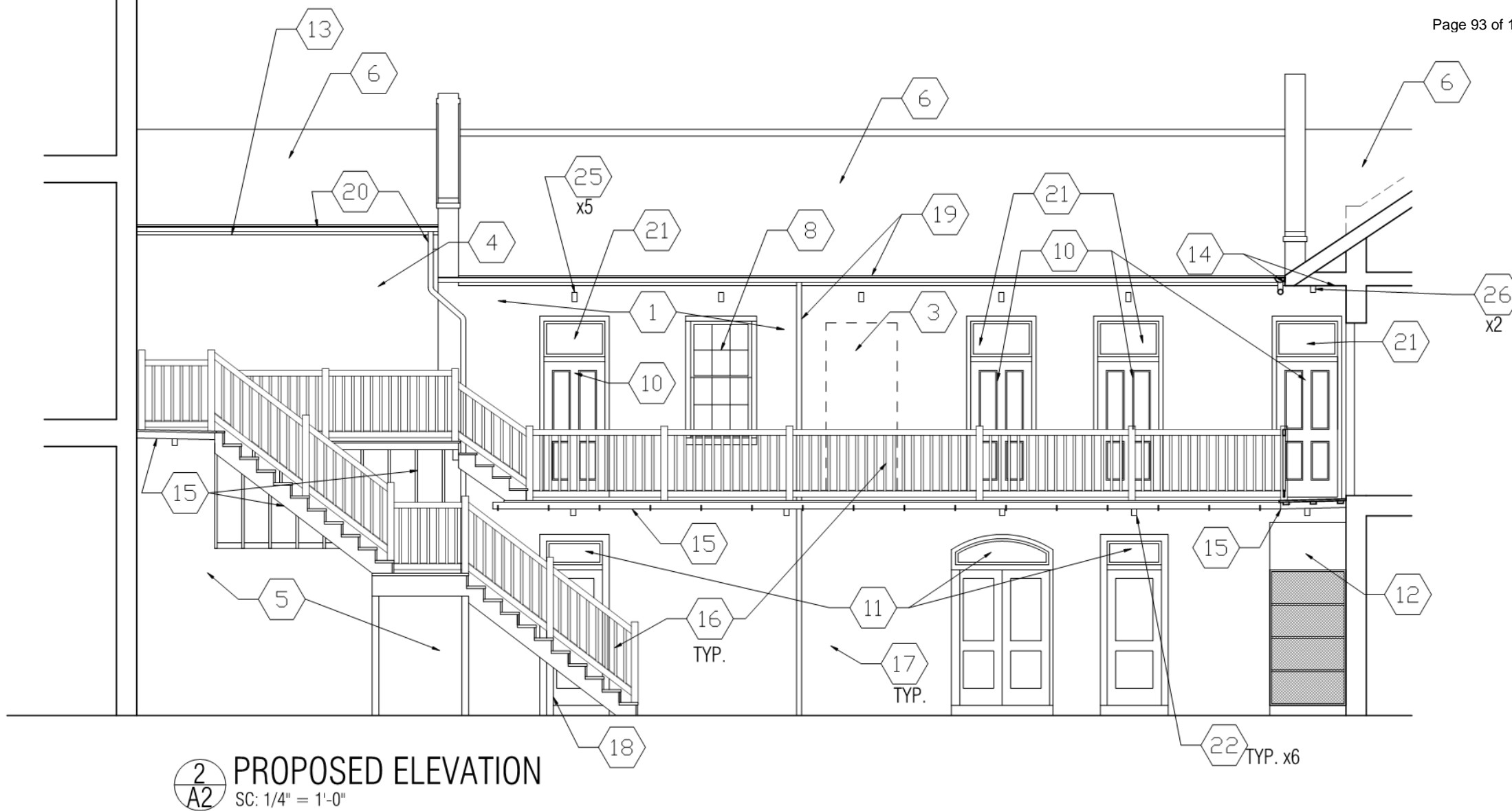
V.C.C. MOI  
410 Bo1  
New Orleans



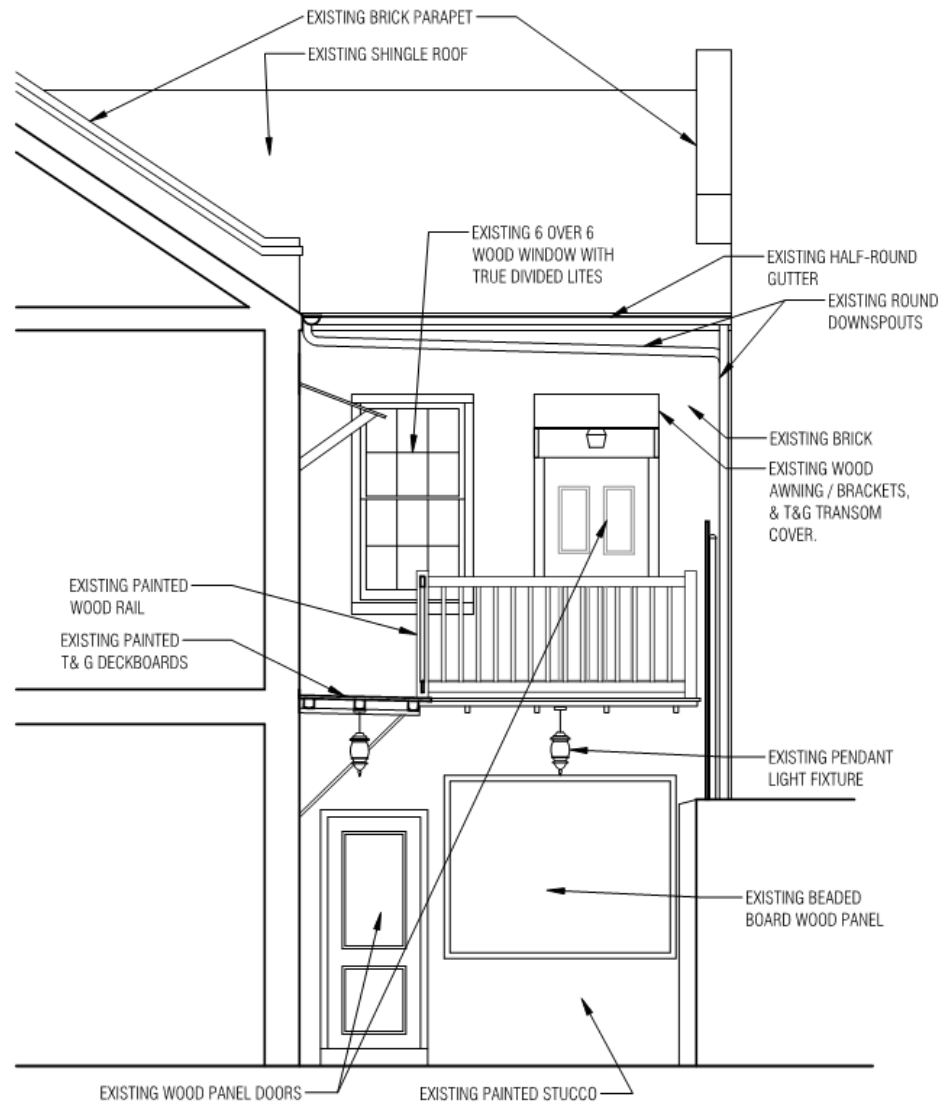




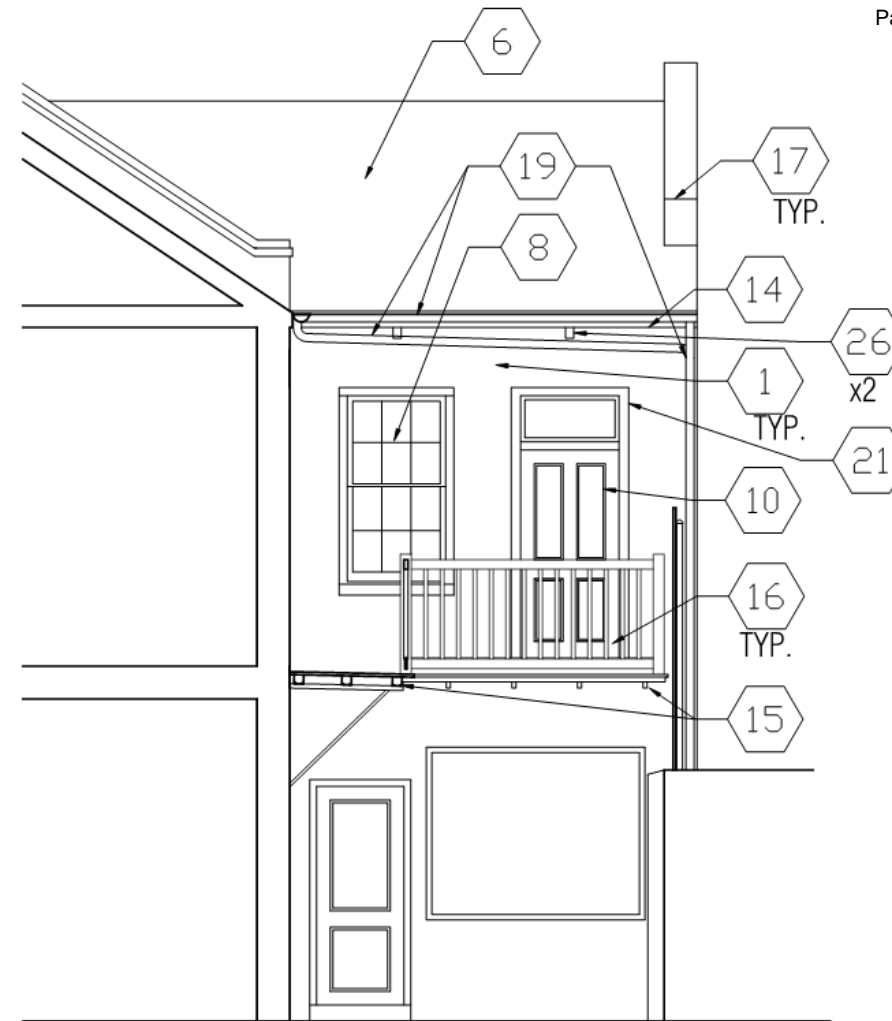






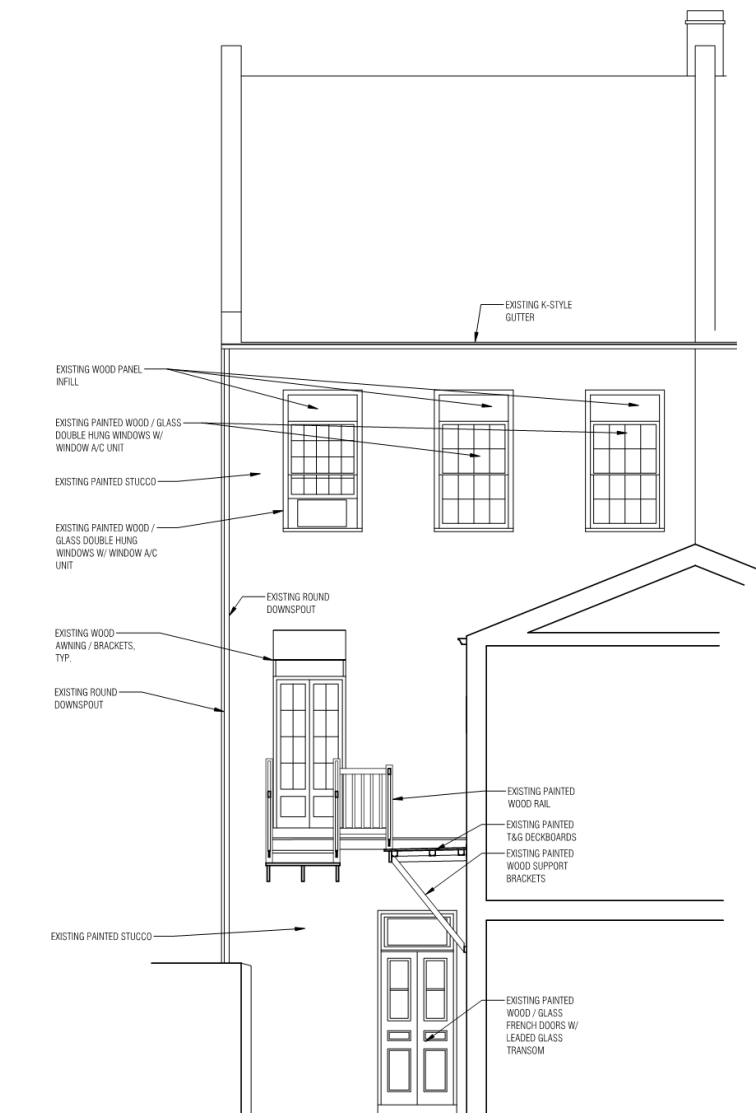


**1**  
**A2** **EXISTING ELEVATION**  
SC: 1/4" = 1'-0"

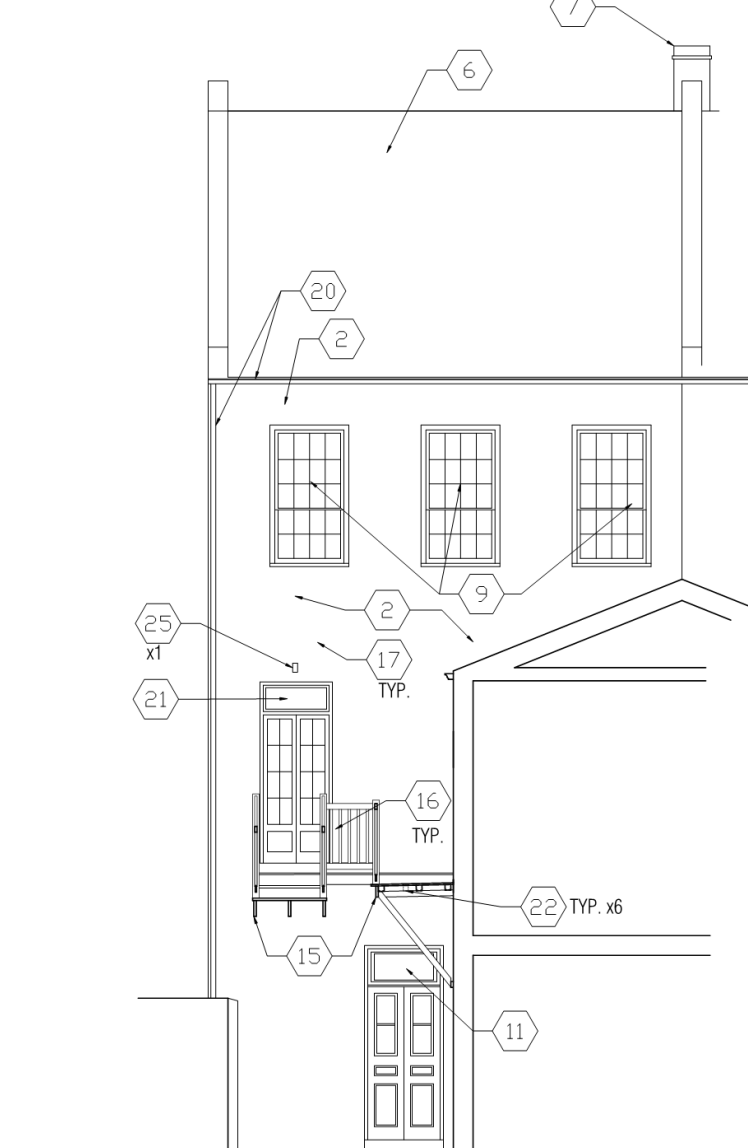


**1**  
**A2** **PROPOSED ELEVATION**  
SC: 1/4" = 1'-0"





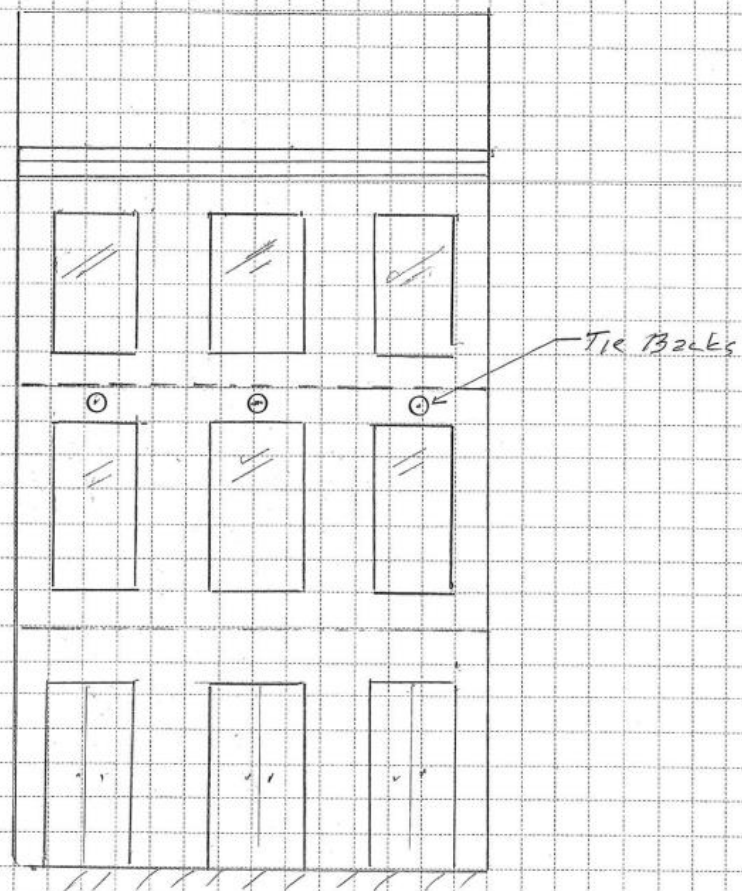
1  
A3 EXISTING ELEVATION  
SC: 1/4" = 1'-0"



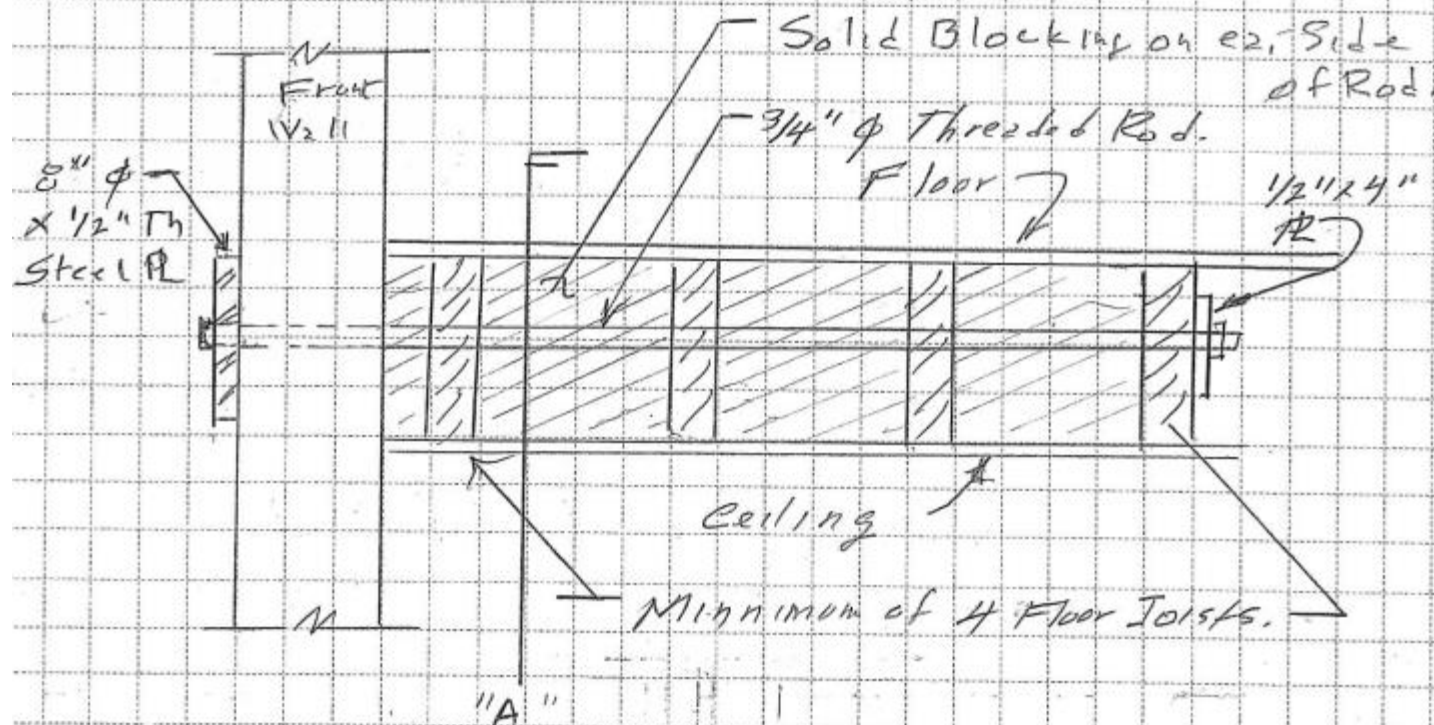
1  
A3 PROPOSED ELEVATION  
SC: 1/4" = 1'-0"



Elevation  
(Scheme)

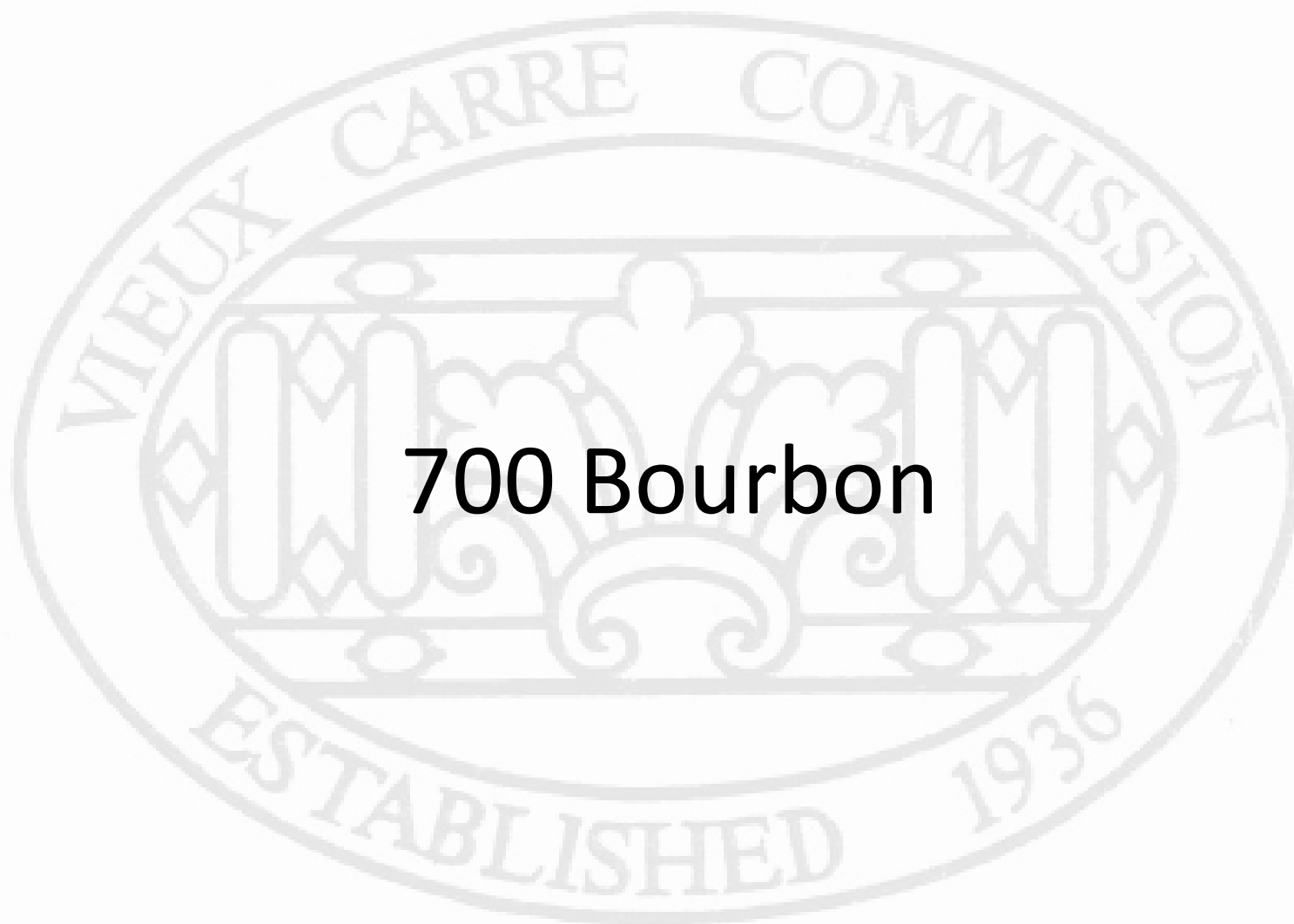


Tie-Back Detail





700 Bourbon





700 Bourbon

VCC Architectural Committee

March 29, 2022







700 Bourbon

VCC Architectural Committee

March 29, 2022





700 Bourbon – 1946

VCC Architectural Committee

March 29, 2022







700 Bourbon – 1961

VCC Architectural Committee

March 29, 2022





700 Bourbon – 1963

VCC Architectural Committee

March 29, 2022







700 Bourbon – 1967

VCC Architectural Committee

March 29, 2022







700 Bourbon – 1975

VCC Architectural Committee

March 29, 2022







700 Bourbon – 1980

VCC Architectural Committee

March 29, 2022







700 Bourbon

VCC Architectural Committee

March 29, 2022







700 Bourbon

VCC Architectural Committee

March 29, 2022





700 Bourbon

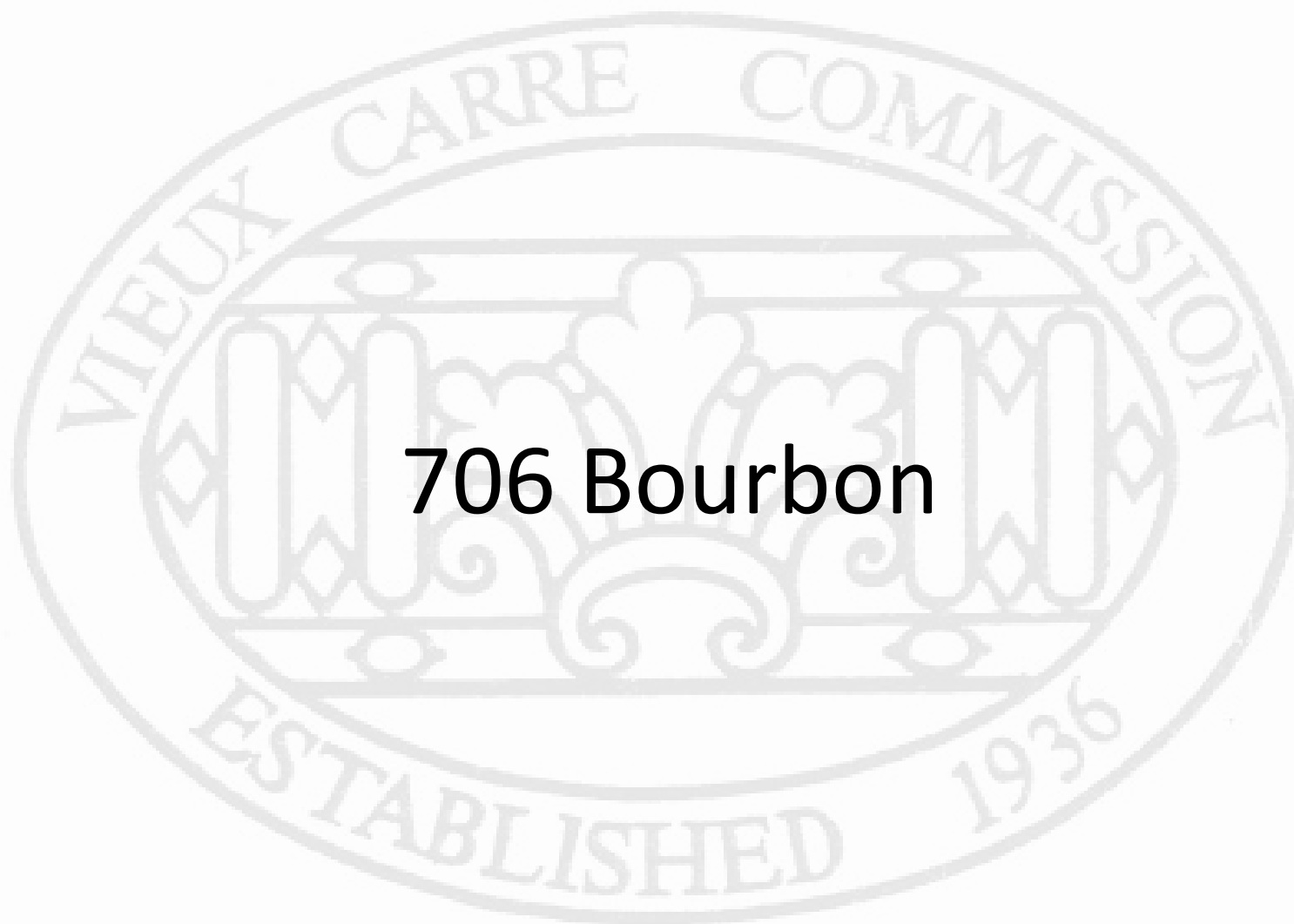
VCC Architectural Committee

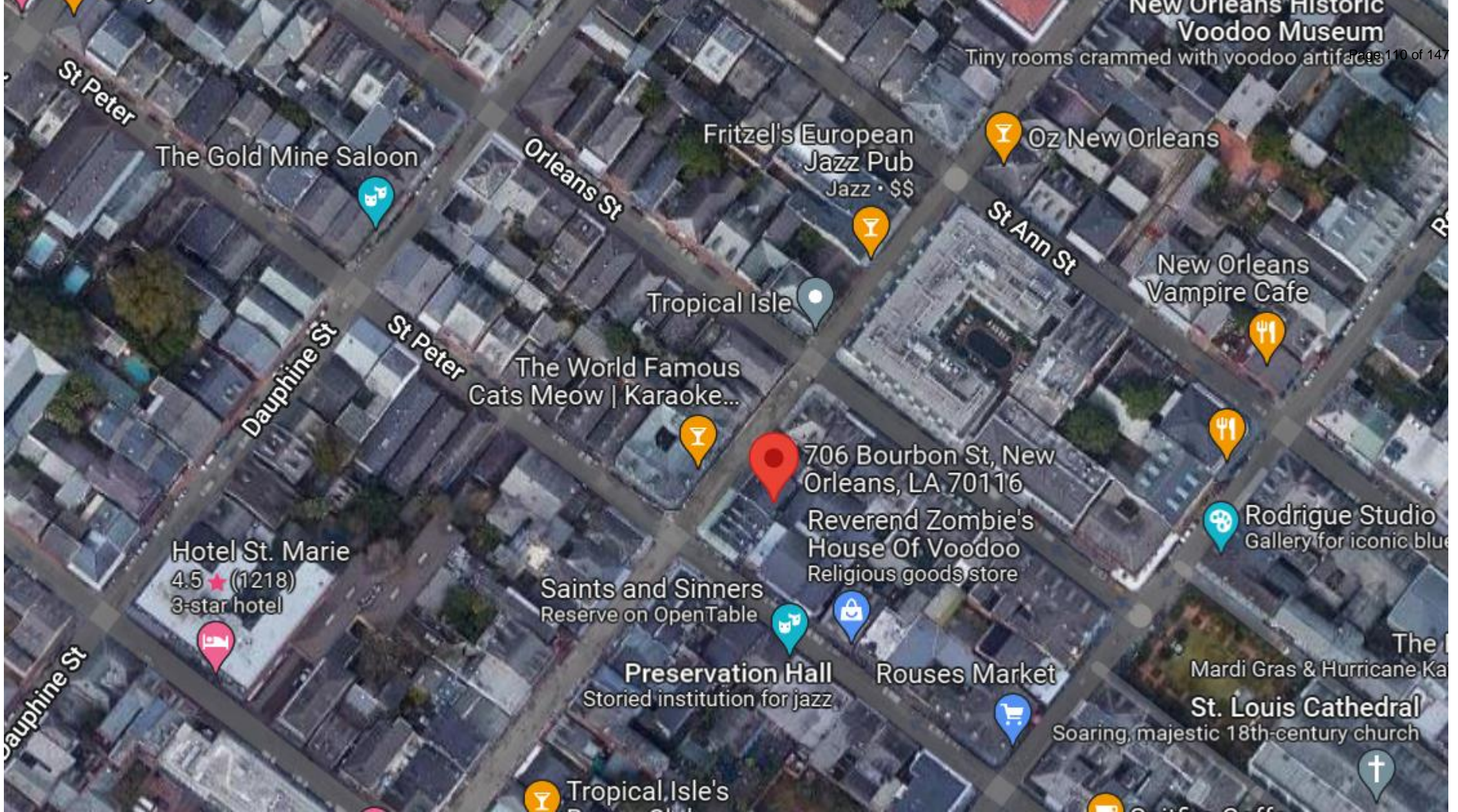
March 29, 2022





706 Bourbon





706 Bourbon

VCC Architectural Committee

March 29, 2022







706 Bourbon

VCC Architectural Committee

March 29, 2022





706 Bourbon

VCC Architectural Committee

March 29, 2022







706 Bourbon

VCC Architectural Committee

March 29, 2022





706 Bourbon

VCC Architectural Committee

March 29, 2022







706 Bourbon

VCC Architectural Committee

March 29, 2022





706 Bourbon

VCC Architectural Committee

March 29, 2022





The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal features a stylized architectural design, including a central fleur-de-lis and vertical columns, all rendered in a light gray tone.

**733 Barracks**



## 733 Barracks

VCC Architectural Committee

March 29, 2022







733 Barracks

VCC Architectural Committee

March 29, 2022





733 Barracks – April 2015

VCC Architectural Committee

March 29, 2022







733 Barracks

VCC Architectural Committee

March 29, 2022







733 Barracks

VCC Architectural Committee

March 29, 2022







733 Barracks

VCC Architectural Committee

March 29, 2022





- AI Deep learning: AI Perimeter Protection & Classification (Human, Vehicle)
- 1/2.7" progressive scan low lux CMOS sensor
- Triple streams from H.265, H.264 or MJPEG
- Wide Dynamic Range Pro (WDR Pro)
- Min. illumination at 0.01 lux
- Up to 20 fps at 3840 x 2160
- Intelligent IR
- Day and night function (with removable IR-cut filter)
- 3-axis mechanism (pan / tilt / rotate)
- IR distance up to 30 m (100 ft)
- Ingress protection (IP67)
- Built-in micro SD card slot (SD / SDHC / SDXC / UHS-I, Class 10) for local storage
- DC 12 V / PoE (IEEE 802.3af)
- ONVIF (Profile S, G, T) conformant

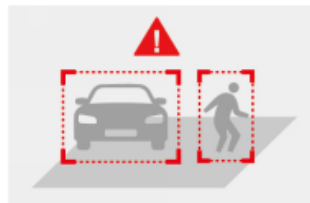
### Introduction

The Eyeball Dome IP Camera is an outdoor, network camera equipped with an automatic IR-cut filter and IR LEDs for day and night surveillance. The camera supports H.265 video codec to achieve better compression ratio while maintaining high quality pictures at reduced network bandwidths. GV-EBD8800 adheres to IP67 standards, and can be powered through PoE.

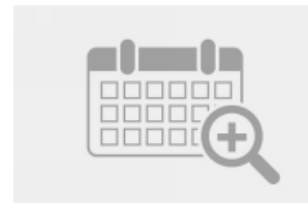
Empowered by deep learning algorithms, AI technology distinguishes human and vehicles from other moving objects. Integrated with GeoVision Video Management Software (VMS), it supports AI perimeter protection, real time alert, events playback and more.

### Deep Learning Function

**AI Perimeter Protection**  
(Intrusion, Crossing Line  
Entering Area, Leaving Area)

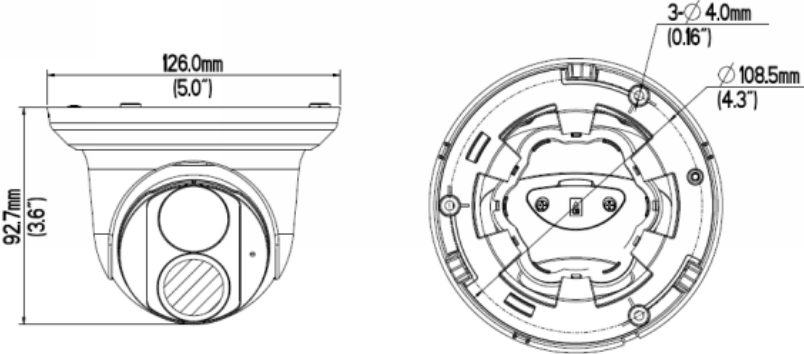


**AI Event Search**  
(VMS V18.3 or later)



**Note:** The integration of AI events of the camera to GV-VMS is coming soon.





Specifications

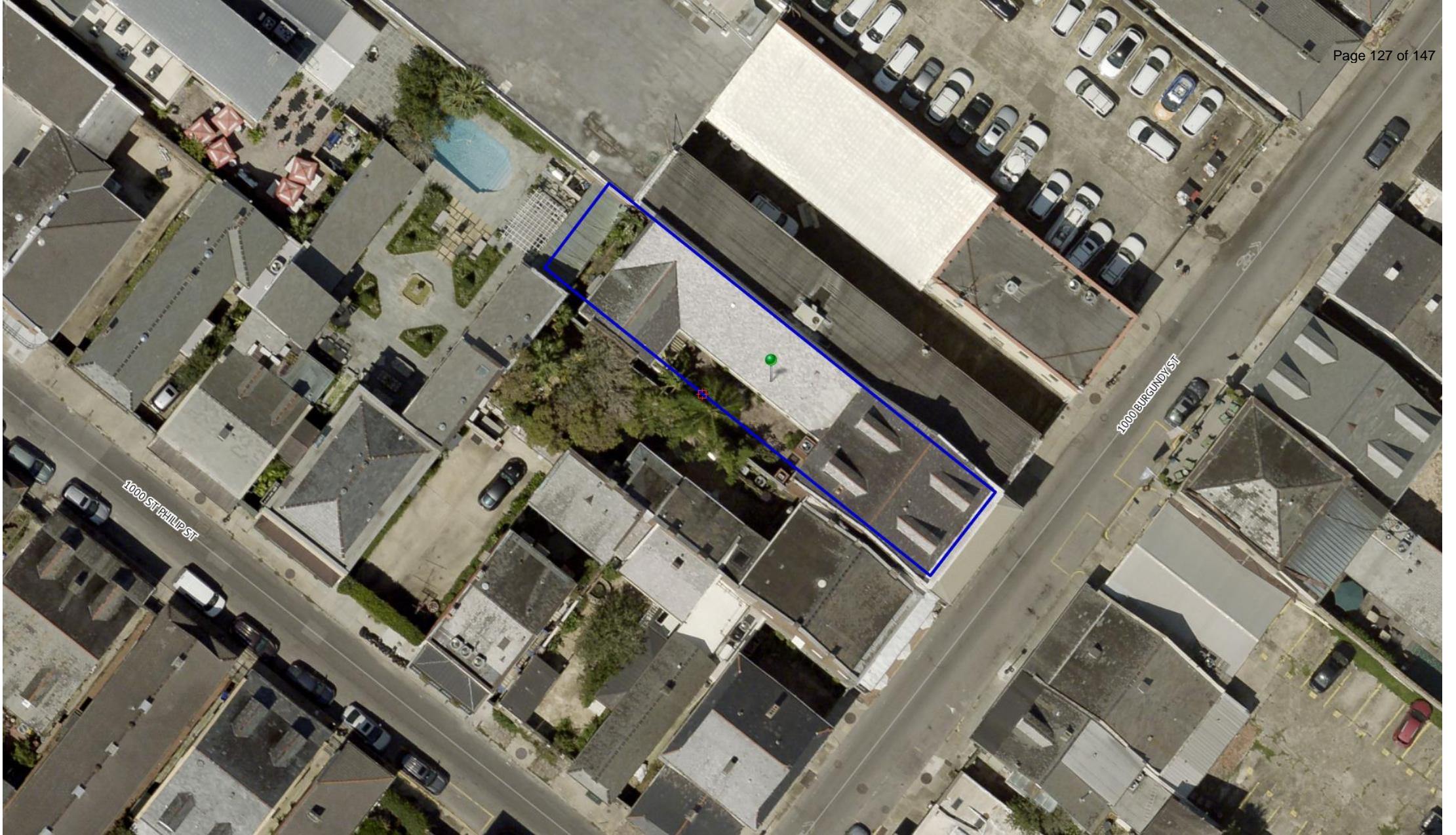
Camera		
Image Sensor		1/2.7" progressive scan low lux CMOS
Picture Elements		3840 (H) x 2160 (V)
Minimum Illumination	Color	0.01 Lux (F2.0, AGC ON)
	IR ON	0 Lux
Shutter Speed		Auto / Manual (1 ~ 1/100000 sec)
White Balance		Auto / Manual
Gain Control		Auto / Manual
S/N Ratio		56 dB
WDR		WDR Pro
Dynamic Range		Up to 120 dB
Optical Lens		
Megapixel		Yes
Day / Night		Yes (with removable IR-cut filter)
Lens Type		Fixed
Focal Length		2.8 mm
Maximum Aperture		F/2.0
Mount		M12
Horizontal FOV		112°
Operation	Focus	Fixed
	Zoom	
	Iris	
IR LED Quantity		1 IR LED
Max. IR Distance		30 m (100 ft)
Operation		
Video Compression		H.265, H.264, MJPEG
Video Streaming		Triple streams from H.265, H.264 or MJPEG
Frame Rate		20 fps at 3840 x 2160, 30 fps at 3072 x 1728 / 2560 x 1440 / 1920 x 1080 (60 /50 Hz) *The frame rate and performance may vary depending on the number of connections and data bitrates (different scenes).
Video Analytics		Motion Detection, Tampering Alarm, Audio Detection *Tampering alarm, Audio detection are only accessible through the camera's Web interface, which can be used to trigger alerts such as e-mail and FTP.
Image Setting		Brightness, Contrast, Saturation, Sharpness, Flicker-less, Image Orientation (Flip, Mirror, 0°, 90°, 180°, 270°-including Corridor format)
Audio Compression		G.711





1015 Burgundy





1015 Burgundy

VCC Architectural Committee

March 29, 2022







1015 Burgundy

VCC Architectural Committee

March 29, 2022







1015 Burgundy – 2010

VCC Architectural Committee

March 29, 2022





1015 Burgundy

VCC Architectural Committee

March 29, 2022







1015 Burgundy

VCC Architectural Committee

March 29, 2022





1015 Burgundy

VCC Architectural Committee

March 29, 2022







1015 Burgundy

VCC Architectural Committee

March 29, 2022





1015 Burgundy

VCC Architectural Committee

March 29, 2022







1015 Burgundy

VCC Architectural Committee

March 29, 2022





1015 Burgundy

VCC Architectural Committee

March 29, 2022





Holiday and event lighting is festive and celebratory. However, lights installed for more than 90 days, including string lights in a courtyard or on a tree, are subject to VCC review.



### Seasonal Decorative Lighting & Displays

Seasonal decorative lighting or displays for holidays like Mardi Gras, Halloween and Christmas, as well as lights associated with special events, sports teams or seasons, can create a festive atmosphere for the residents and visitors of the French Quarter. These lights are to be installed for a short period of time and in a manner that does not necessitate permanent electrical wiring or conduit. When installing seasonal decorative lighting, great care should be taken to minimize potential damage to the building fabric from an anchor and/or penetration through a wall or architectural element. Seasonal decorative lights are not typical of the historic character of the Vieux Carré and should be removed promptly following the holiday or event.

#### Seasonal Lighting & Displays

Decorative lighting and displays installed for more than 90 days are subject to VCC review and must be approved. These include light strings, often white "Christmas" lights, that are sometimes used as ambient lighting in a courtyard or to wrap a tree trunk and/or limbs.

## LIGHTING GUIDE

Page 137 of 147

### THE VCC REQUIRES:

- Selecting decorative lighting appropriate to the building type, style and mounting location
- Minimizing the size of an ambient or security light fixture and locating it discreetly
- Selecting lighting that is simple in form, generally cylindrical, without a decorative feature and as small as possible, limited up to 3-inches in diameter and 7-inches in depth – A recessed, ground-mounted up-light may be up to 6-inches in diameter
- Matching the color of the ambient or security lighting fixture to the color of the surface upon which it is mounted or painting it to match
- Directing ambient and security lighting with a louver, baffle or cowl to minimize glare and prevent spill over onto an adjacent property
- Submitting for review all traditional temporary lights or a display, such as seasonal Christmas lights or a holiday display, installed for longer than 90-days
- Minimizing the use of lights that direct light upwards, and providing a louver or similar shield to control the direction of each light

### THE VCC DOES NOT ALLOW:

- Inoperable lighting – All inoperable, non-historic lighting must be removed
- Inoperable or unused wiring or conduit – All existing inoperable or unused wiring or conduit must be removed
- A floodlight or spotlight, a mercury vapor, sodium vapor or fluorescent tube lamp, visible CFL lamp in non-traditional shapes or colored light

The VCC highly recommends referencing the *Exterior Lighting Design Guidelines* for more specific information regarding approvable lighting options and placement related to a building's type and style, prior to submitting an application for exterior lighting.

The VCC requires submission of the following information for the review of all proposed exterior lighting:

- Manufacturer's specification sheets with size and finish of the light(s) and mounting bracket(s) and fastener(s)
- Detailed drawings and/or annotated photographs with location of the light(s), bracket(s) and all exposed exterior wiring components clearly shown
- Elevations of existing architectural elements and all adjacent elements and details around the area proposed for the light(s) installation

### THE VCC RECOMMENDS:

- Using a wireless lighting device with a discreetly located solar collector at a walkway, courtyard or yard whenever possible
- Using a motion detector for security lighting at a side walkway or private courtyard
- Locating mounting hardware for lighting in a mortar joint of a masonry wall, or at a flat plaster or non-decorative portion of siding or millwork
- Installing a lamp control appropriate for use, such as a motion sensor for security lighting, light sensor or timer, to activate lights and a dimming feature to allow adjustment based upon intensity of use – All of these controls can conserve energy and extend lamp life
- Installing a LED lamp with a CRI of 80 or greater and a color rendering of 3000K



The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal features a stylized, symmetrical design that resembles a fleur-de-lis or a decorative crest, with vertical bars and ornate scrollwork.

**617 Decatur**





617 Decatur

VCC Architectural Committee

March 29, 2022







617 Decatur

VCC Architectural Committee

March 29, 2022







617 Decatur

VCC Architectural Committee

March 29, 2022





617 Decatur

VCC Architectural Committee

March 29, 2022







617 Decatur

VCC Architectural Committee

March 29, 2022





617 Decatur

VCC Architectural Committee

March 29, 2022





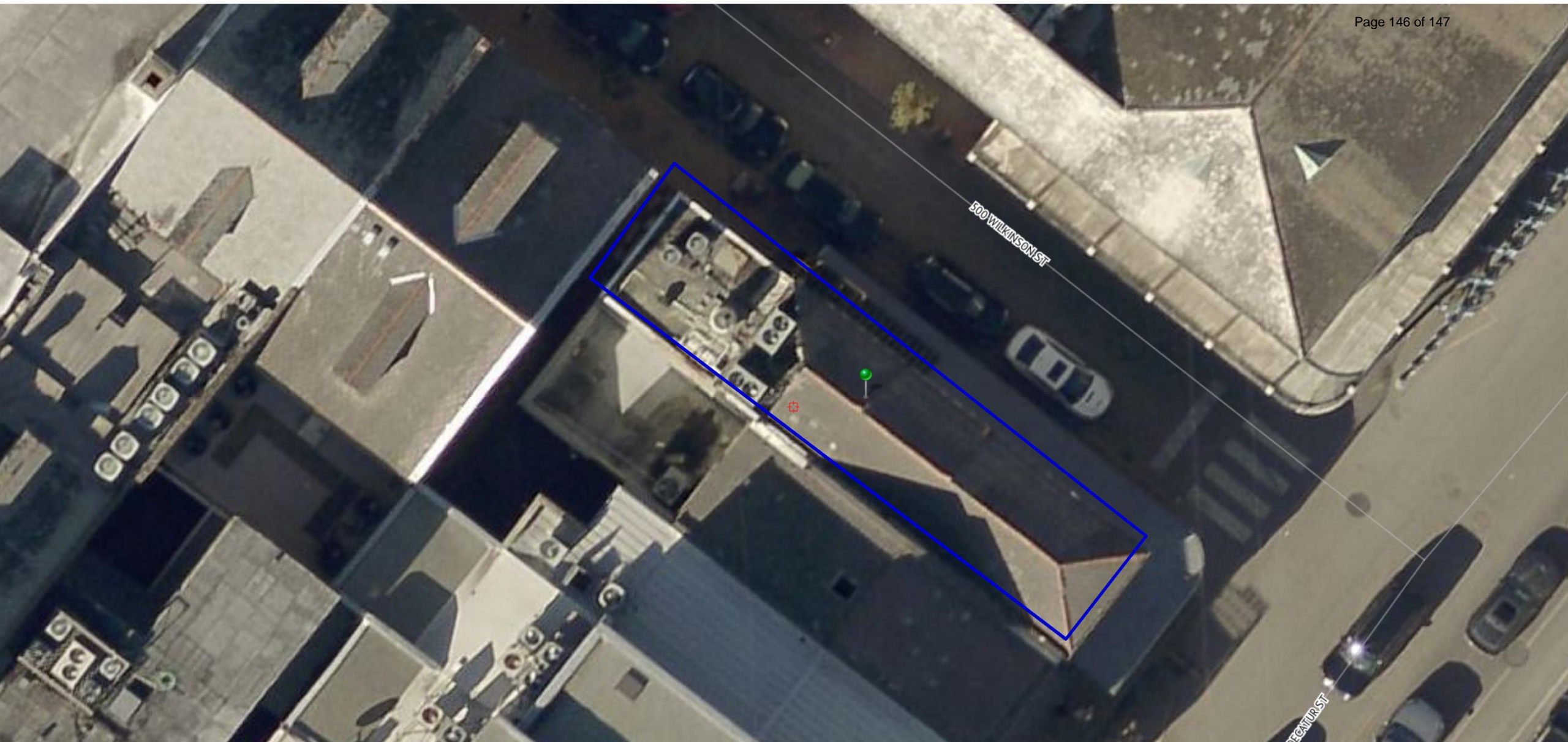


617 Decatur

VCC Architectural Committee

March 29, 2022





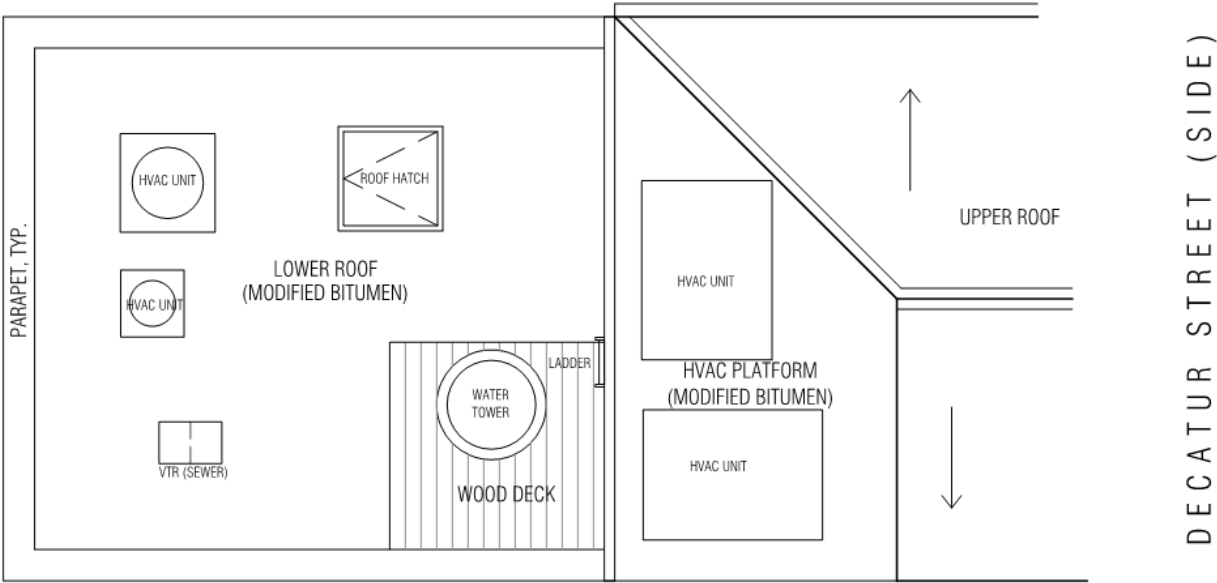
617 Decatur

VCC Architectural Committee

March 29, 2022







 PARTIAL ROOF PLAN  
SC: 1/4" = 1'-0"

EXISTING CONDITIONS 617 Decatur Street New Orleans, Louisiana 70130	 <b>LKHarmen Architects</b> A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans Louisiana 70124 504.485.5870 harmon@lkharmonarchitects.com	2.15.2022	A1  LKH #1222
		3.10.2022	

