



Vieux Carré Commission Architecture Committee Meeting

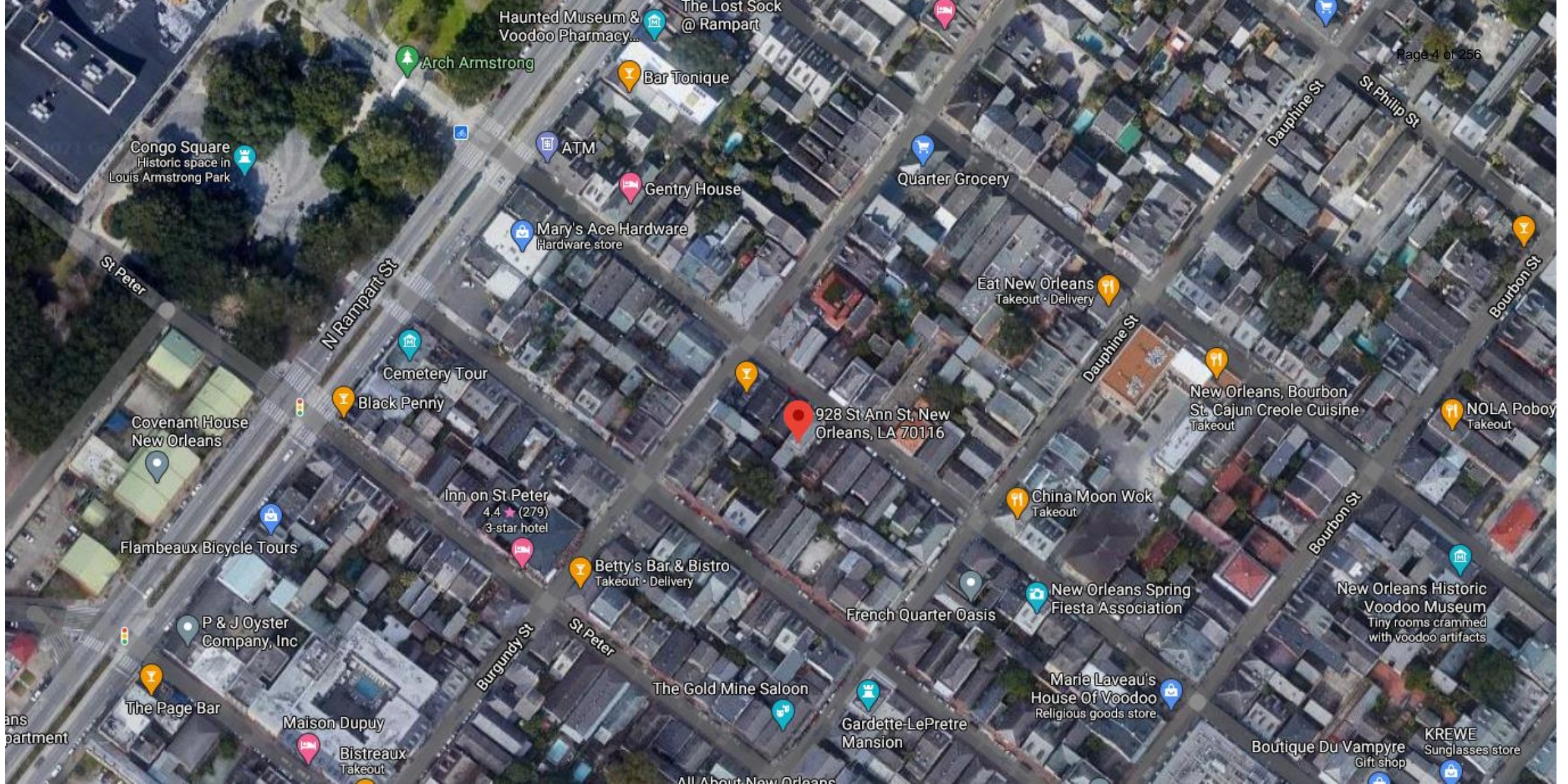
Tuesday, May 10, 2022

Old Business



928 St Ann





928 St Ann

VCC Architectural Committee

May 10, 2022





928 St Ann

VCC Architectural Committee

May 10, 2022





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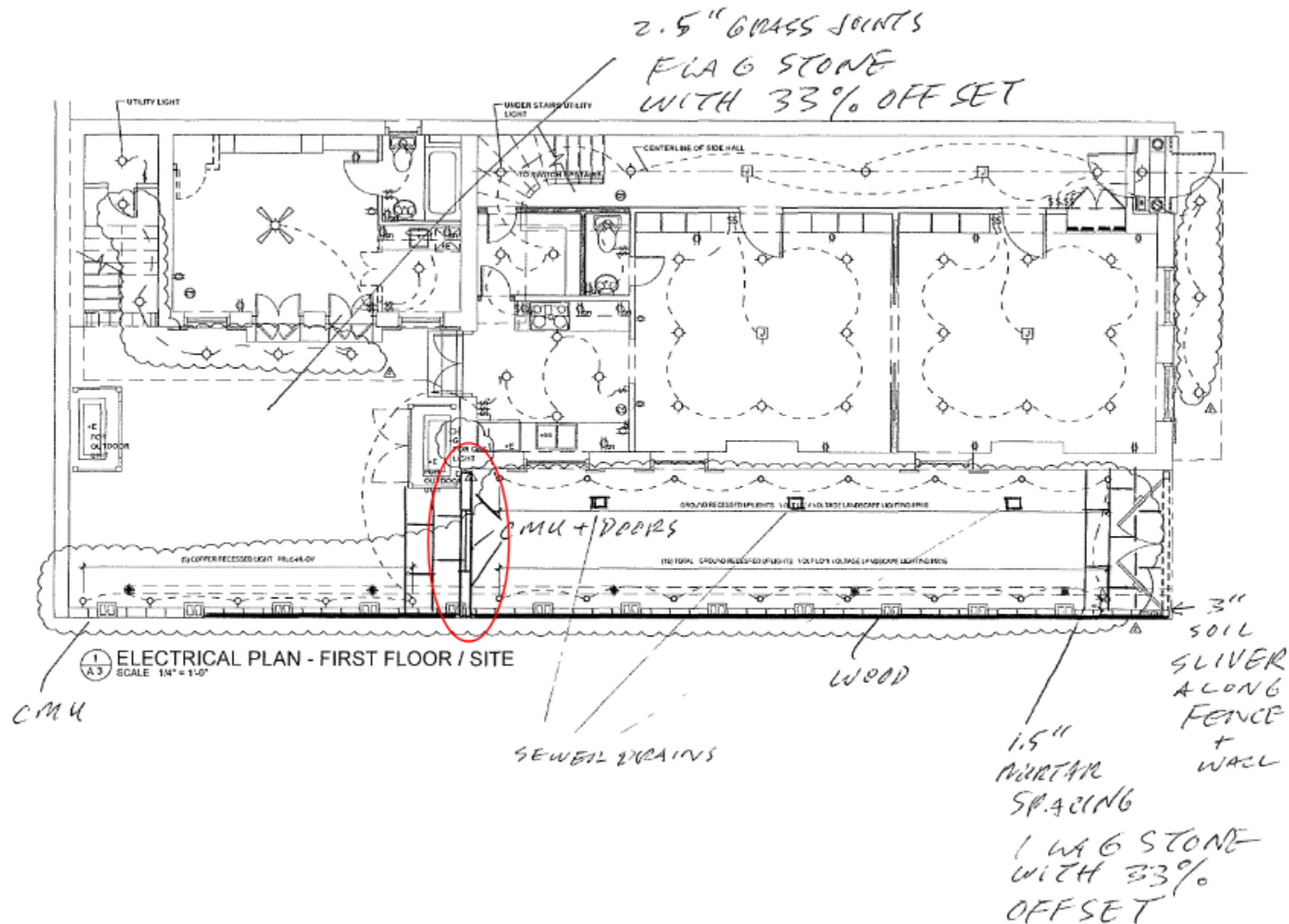


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VCC Architectural Committee

May 10, 2022



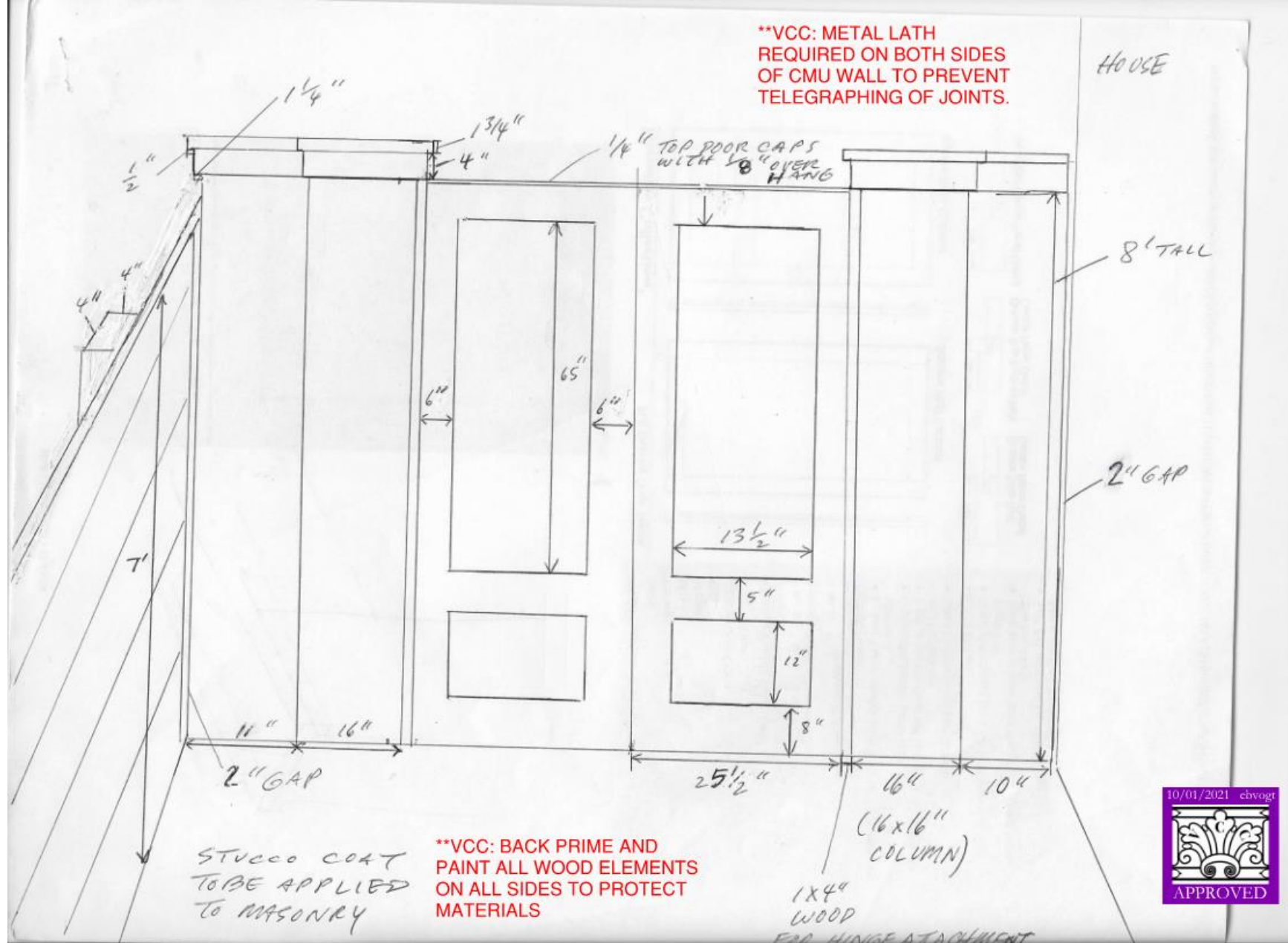


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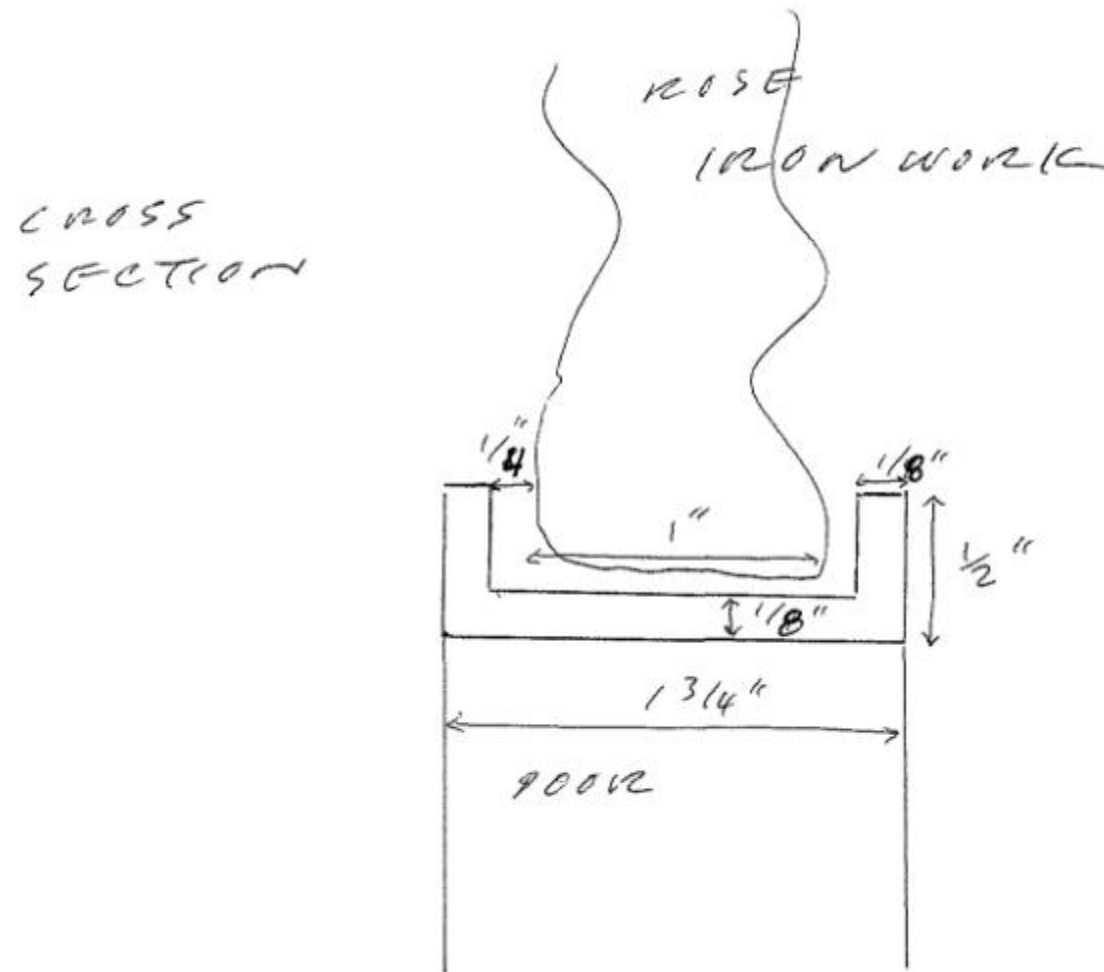


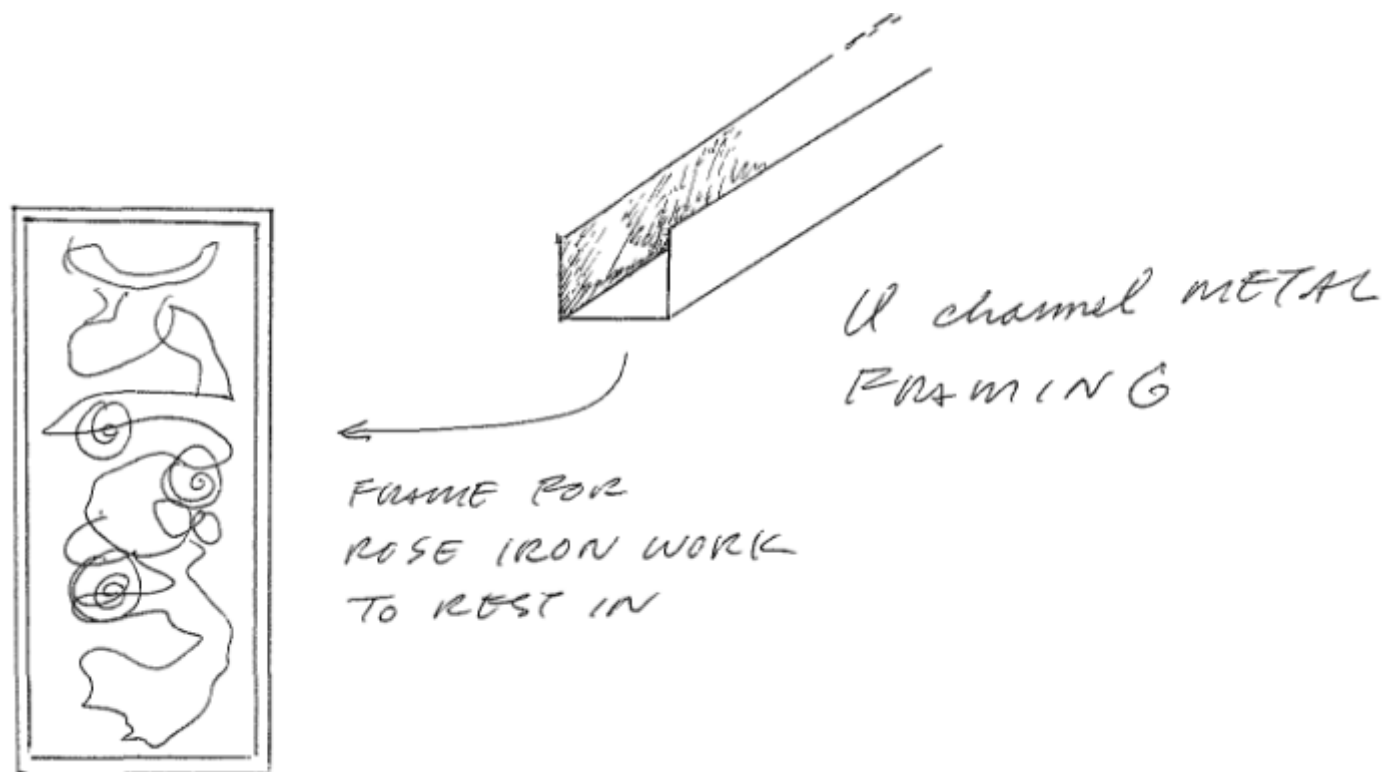
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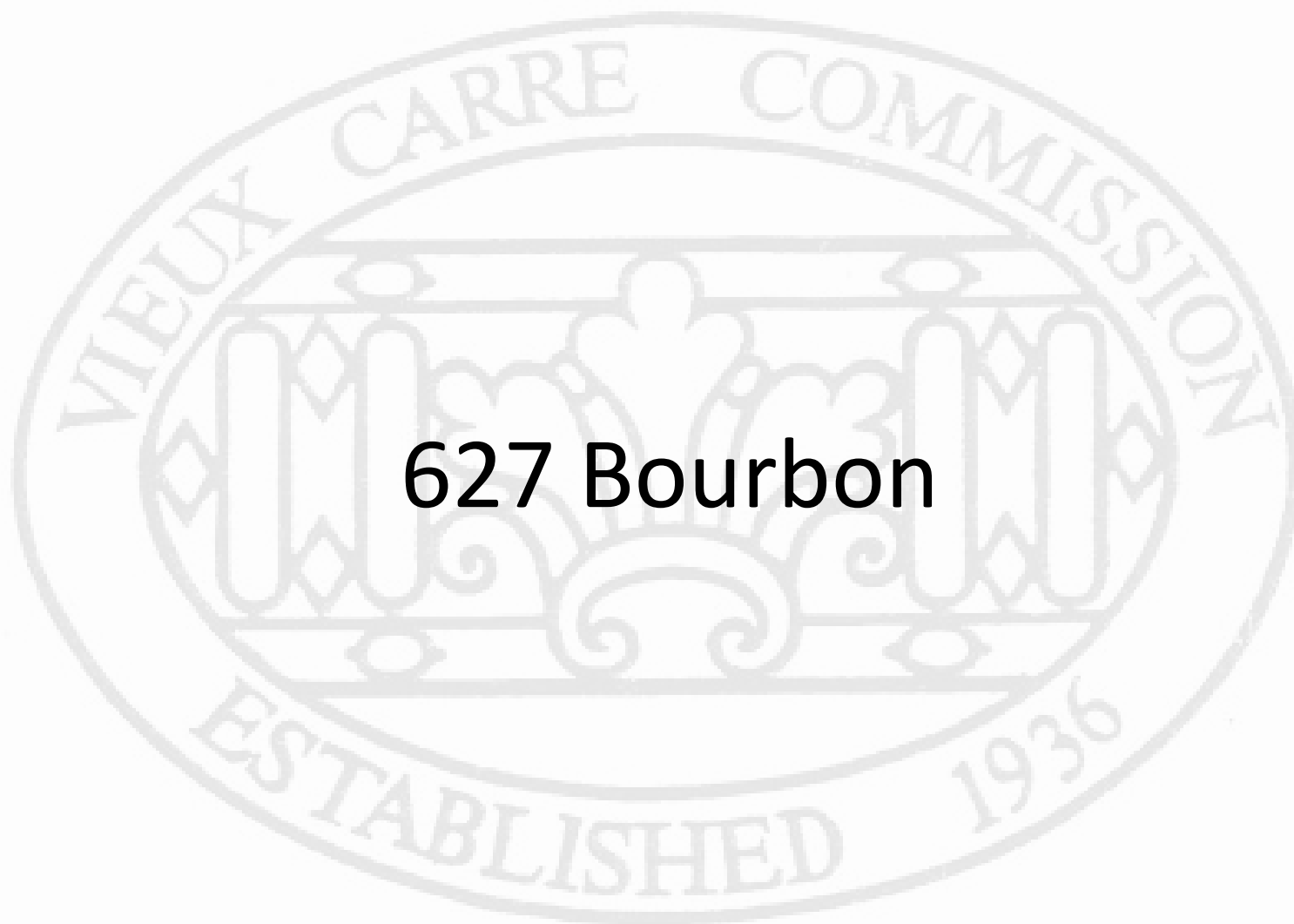
May 10, 2022







627 Bourbon





627 Bourbon





627 Bourbon

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May 10, 2022





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May 10, 2022





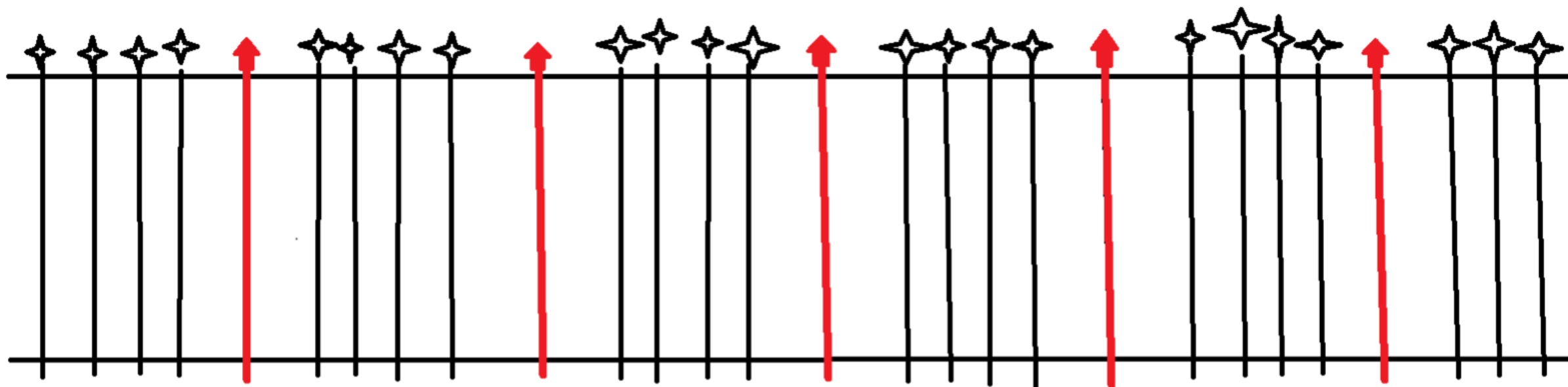
627 Bourbon

VCC Architectural Committee

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May 10, 2022

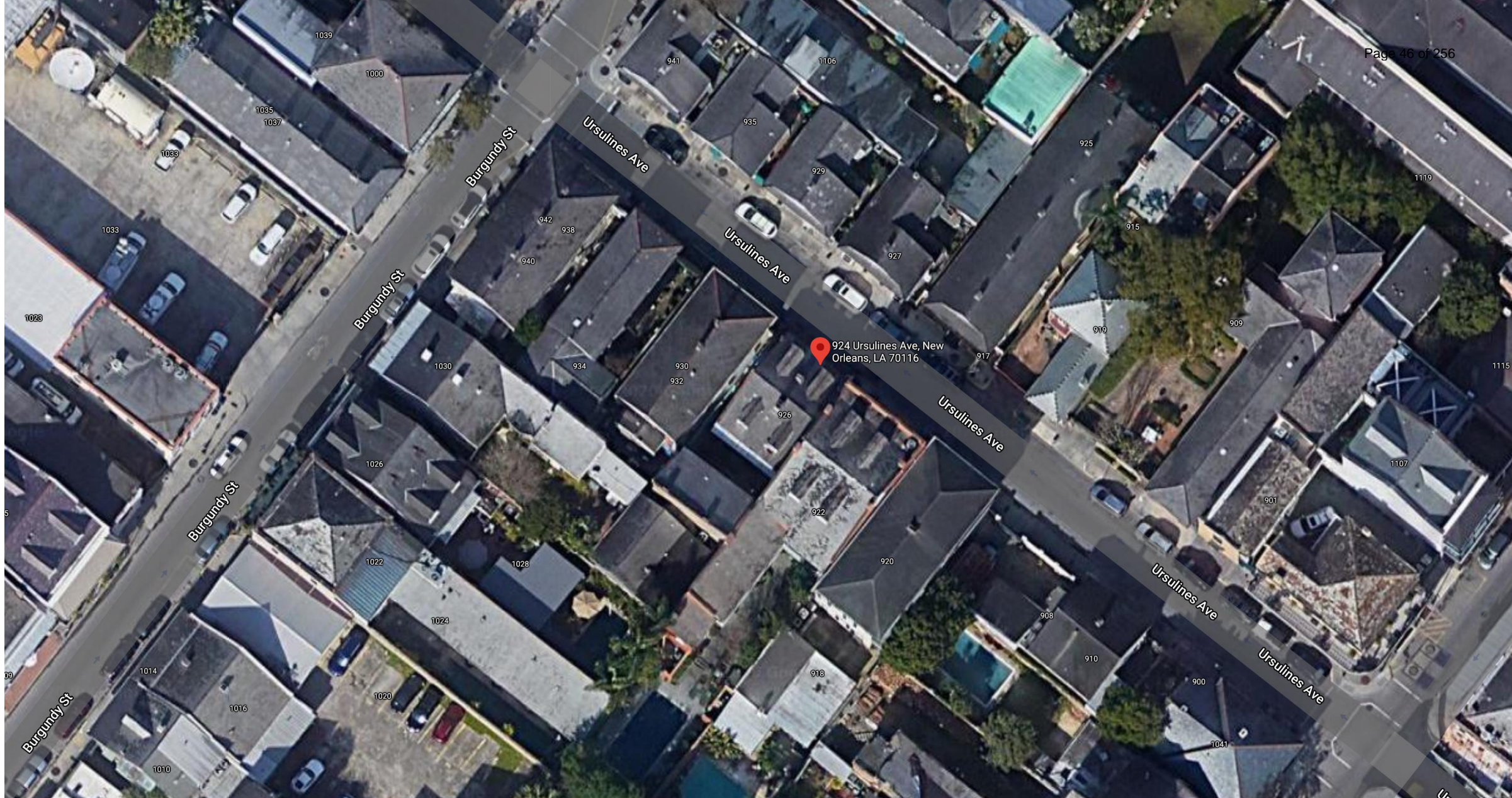




627 Bourbon – Possible Alternate Finials



924 Ursulines



924 Ursulines

VCC Architectural Committee

May 10, 2022





924 Ursulines

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924 Ursulines

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May 10, 2022



924 Ursulines - 1977

VCC Architectural Committee



May 10, 2022





924 Ursulines

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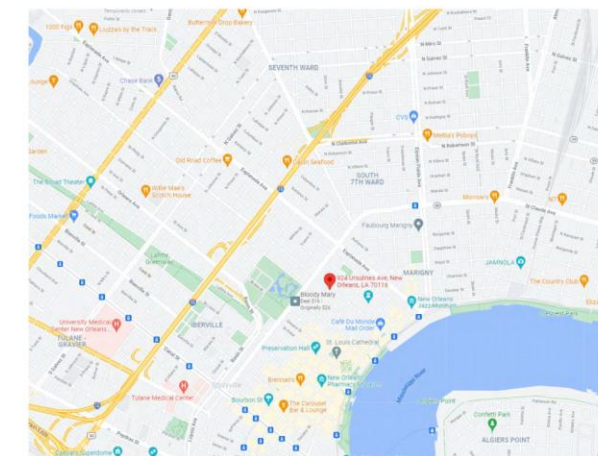


924 Ursulines – Rear Building, 1980

VCC Architectural Committee

May 10, 2022





GENERAL NOT

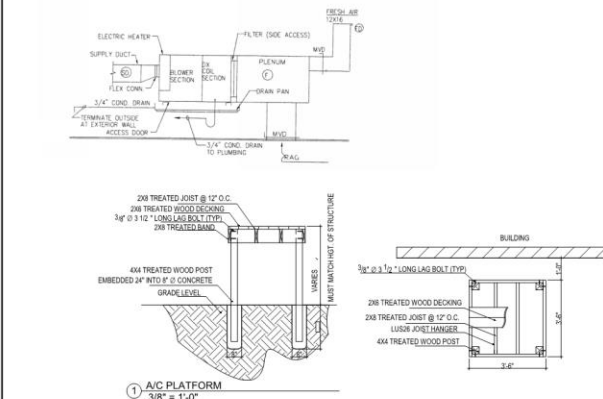
- THE OWNER, ARCHITECT, AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK.
- ALL CONSTRUCTION MUST CONFORM TO PROCEDURES, CODES, LAWS, AND STATUTES GOVERNING THE PROJECT AND THE CITY OF LOS ANGELES.
- ALL FLOOR DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL FINAL DIMENSIONS & B/P OF STRUCTURE INCLUDING VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE PROCEEDING.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE PROFESSIONAL OF RECORD BEFORE ANY WORK CONTINUES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS AND ELEVATIONS WITH THE DESIGNER BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN PLANNING, SUPPORT, ETC. OF ALL AND ALL SHORING, BRACING, THE BACKS, ETC. NEEDED TO MAINTAIN ANY PART OF THE OLD OR EXISTING CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PROCESS TO INSURE THE SAFETY AND INTEGRITY OF THE STRUCTURE UNTIL THE NECESSARY FORMAL ELEMENTS ARE IN PLACE.
- UNLESS NOTED OTHERWISE, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TRUE AND CORRECT. SIMILAR CONDITIONS SHALL BE TREATED AS SUCH.
- ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE DESIGNER FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS FOR DISCREPANCIES. IF NECESSARY, IT MAY BE NECESSARY THAT A MEETING BE HELD TO HAVE A CLEAR AND FULL UNDERSTANDING OF THE SCOPE OF WORK AT HAND.
- DURING THE BUILDING PROCESS ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OR INTERPRETATION OF UNKNOWN MEANINGS IN THE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT FOR CLARIFICATION.
- THE DESIGNER WILL NOT BE HELD RESPONSIBLE FOR ORAL INSTRUCTIONS, NO ALLOWANCE WILL BE MADE FOR AFTER THE CONSTRUCTION DUE TO A MISUNDERSTANDING.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED.
- ALL CONSTRUCTION SHALL BE BUILT TO WITHSTAND 107 MPH WINDS.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS.
- STRUCTURE TO BE BUILT IN ACCORDANCE WITH THE HURRICANE RESISTANT CONSTRUCTION STANDARD.
- ALL CONSTRUCTION TO BE BUILT TO THE CODES AND STANDARDS LISTED IN THE IRC 2015

HURRICANE CLIPS AND SHEAR WALLS

1. The installation of plywood sheathing on the exterior wall shall be installed in order to provide shear walls.
2. Provide hurricane clips at every ceiling joist, securing joist to top.
3. Provide hurricane clips at every vertical stud, securing to the top and bottom plates.
4. Provide hurricane clips at every rafter, securing rafters to ceiling joists.

LIMBER

1. All lumber and plywood shall be identified by official grade mark and shall be of the following grades:
- | | |
|---|-----------------------------|
| a. Studs | #2 Fir or SYP #4S |
| b. Plates, Furring,
Joists & Rafters | #2 Fir or SYP #4S |
| c. Roofing, Sheathing | 1/2" SYP |
| d. 1/2" plywood | C-D with exterior glue, APA |
2. Framing lumber shall be the following nominal sizes:
- | | |
|------------------------|------------------------------------|
| a. Exterior walls | 2"x4" studs @ 16" o.c., Fir or SYP |
| b. Interior partitions | 2"x4" studs @ 16" o.c., Fir or SYP |
| c. Base Plates | 2"x thickness of wall, Fir or SYP |
| d. Ceiling Joist | See plans for sizes, Fir or SYP |



EXTERIOR SHEATHING

1. 1/2" x 4" APA plywood applied on all exterior walls.
2. ROOF INTERIORS
- A) SIP'WALLS plywood applied over rafters across entire roof area.
- B) FLOORING
1. All surfaces must be clean and dry before paint application.
2. Exterior painting shall be one coat of primer, and second coat of color.
3. Interior gypsum board shall receive two coats, after joints have been floated, of interior latex paint.
- C) PLUMBING NOTES
1. Plumbing fixtures shall be installed and connected to the sewer main and stops at the end of cold water lines to the wall.
2. ALL FRESH WATER PIPES SHALL BE PEAK TYPING.
3. All sanitary pipe (hot, waste and vent) shall be PVC piping.
4. Where any plumbing piping is penetrating a fire protective barrier or whatever shall be required to maintain the protection level.
5. PROVIDE LABIOR MATERIAL AND EQUIPMENT FOR OPERATING SYSTEM THE SYSTEM SHALL INCLUDE SHOWER, SINK, CUPBATH, DRAIN, GAS, DRAINAGE, VENTILATION, HEATING, VULCANIZERS, SUPPORTS AND PLUMBING FITTINGS RESTRICTED VALVULE, COUPLER AND PATCHES REQUIRED PIPING.
6. WORK MATERIAL AND MATERIAL SHALL CONFORM STRICKLY TO OAC, CITY, PARISH STATE AND NATIONAL GOVERNMENT CODES.
7. CONTRACTOR IS TO HOLD VEINRY ALL EXISTING UTILITY LINES IDENTIFYING IDEAS PRIOR TO COMMENCING ANY WORK ON CONTRACTOR SHALL PAY ALL NECESSARY FEES FOR SUCH SERVICE.
8. CONTRACTOR IS RESPONSIBLE TO VERIFY THE DESIGN SET NEW INVERTS OF SEWERAGE AND DRAINAGE PIPES.
9. SEWERAGE LINES 3 INCH AND SMALLER SHALL BE SLIP-FOIT LINE# 40 AND LARGER SHALL BE SLOPE PER SPEC.
10. TEST AT SPOUT AT REQUIRED PRESSURE.
11. CLIENT WILL APPLY A WATER RELATION SYSTEM FOR PROTECTING

WINDBORNE DEBRIS PROTECTION

1. WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DERRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBORNE DERRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2015.
2. GLAZED OPENING PROTECTION FOR WINDBORNE DERRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM 996 AND OR ASTM 1886 REFERENCED THEREIN PROVIDE INSULATION TO MEET OR EXCEED THE R VALUE OF THE ELECTRIC UTILITY COMPANY AND/OR MANUFACTURERS SPEC.
3. FLASH AL ROOF CHIMNEYS, VALLEYS, ETC. AREAS IN THE PRESCRIBED MANNER WITH METAL OR FABRIC FLASHING. DOORS AND WINDOWS TO BE FLASHED AS REQUIRED.

STRUCTURAL LOAD DESIGN

- A. SLAB = 100 PSF
B. 1ST FLOOR 40'LL 15'DL = 55P
C. ROOF 25'LL 15'DL = 35PSF

DRIVEWAY & SIDEWALK NOTES

- SIDEWALK**
1. 1' FROM PROPERTY LINE, OR ALIGN WITH ADJACENT SIDEWALKS
 2. SIDE WALK TO BE 4' WIDE UNLESS OTHERWISE NOTE
 3. CONCRETE TO BE 4" THICK
 4. SCORED JOINTS AT 4' O.C.
 5. ADJUST ELEVATION TO BE FLUSH AT FRONT WALKWAY AND DRIVEWAY
- DRIVEWAY**
1. 4" THICK CONCRETE DRIVEWAY WITH 6X12 01' WWM EXCEPT @ CURB CUT
 2. NO 6X12 01' WWM SHALL BE PLACED IN CURB CUT
 3. EXPANSION JOINTS @ 20' O.C.
 4. DRIVEWAY SHALL BE SLOPED TOWARDS STREET

CODE REQUIREMENTS

MEMBER SIZE	END OF MEMBER (1/4 D)	OUTER 1/3 OF SPAN (1/8 D)	HOLE DIAM. (1/3 D)
2x4	7/8"	9/16"	NOT PERMITTED
2x6	1-3/8"	15/16"	1-1/2"
2x8	1-13/16"	1-3/8"	2-7/16"
2x10	2-5/16"	1-9/16"	3-1/16"
2x12	2-13/16"	1-7/8"	3-3/4"

2" of wood must be above & below the hole

Note all notches shall be in the outer 1/3 of the span.
"D" equals actual depth of members in inches.

MEMBER SIZE	EXTERIOR WALLS & INTERIOR BEARING WALLS		NONBEARING	
	NOTCH (1/4" D)	HOLE (3/4 D)	NOTCH (3/4 D)	HOLE (3/4 D)
2x4	7/8"	NOTCH (1/4" D)	NOTCH (1/4" D)	NOTCH (1/4" D)
2x6	1-3/8"	2-7/8"	2-7/8"	4-3/8"
2x8	1-13/16"			

- I HAVE DETERMINED THAT THEY COMPLY WITH THE FOLLOWING EXISTING STATE AND LOCAL BUILDING CODES FOR THE JURISDICTION IN WHICH THE RESIDENCE IS TO BE LOCATED
- | | |
|----------|------------|
| <u>X</u> | Structural |
| | Mechanical |
| | Electrical |
| | Plumbing |

AIR HANDLING UNIT DIAGRAM & NOTES

1. A/C CONTRACTOR TO DETERMINE UNIT SIZE AND MOST EFFICIENT DUCT LAYOUT. DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR INSUFFICIENT TONNAGE OF HVAC OR DUCT WORK.
2. IF INSUFFICIENT SPACE IS PROVIDED IN THE DESIGN OF THE STRUCTURE THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION
3. HIGH EFFICIENCY DIX UNIT, CARRIER (SEER 15-MIN. REQUIRED BY CODE) OR SIMILAR UNITS - ALUMINUM GRILLS
4. INSTALL THE HEATING AND AIR CONDITIONING UNIT IN THE ATTIC, & P ROVIDE 3" DRAIN CONNECTED TO THE SEWER LINE WITH A "P" TRAP.
5. A/C COMPRESSOR TO BE LOCATED AS PER SITE PLAN.

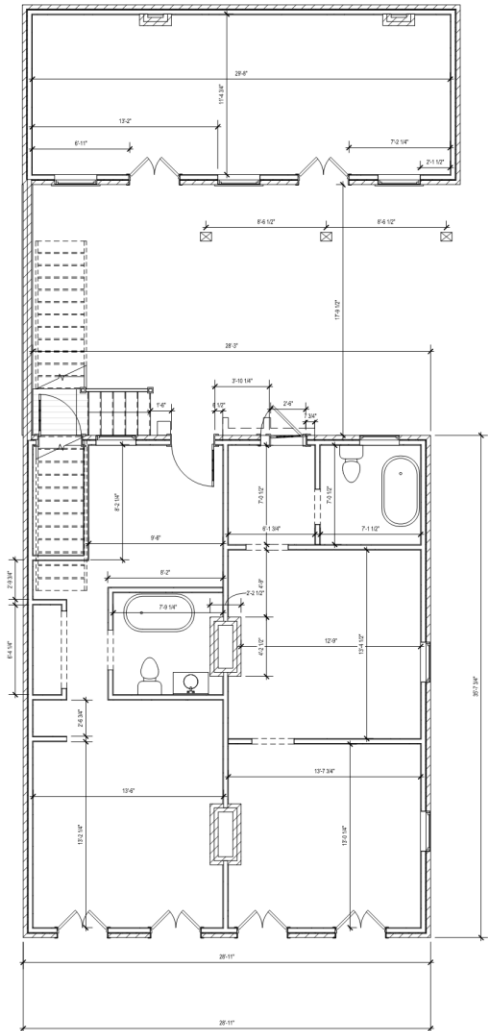
SCOPE OF WORK

1. REPAIR AND REPOINT DAMAGE/DETERIORATED BRICK.
2. REPAIR BRICK MORTAR JOINT DAMAGE.
3. REPAIR DETERIORATED STUCCO WHERE APPROPRIATE.
4. REPAIR WINDOW HOUSING AND TRIM WHERE NECESSARY.
5. REPAIR AND PANT DAMAGE/DETERIORATED WINDOW TRIM, FRAME AND SASH.
6. REPLACE EXISTING DUSTERS AND DOWNSPOUTS THAT ARE BEYOND REPAIR.
7. REPLACE DAMAGE/DETERIORATED SLOTTED AND FACED MATERIAL.
8. REMOVE AND REPLACE DETERIORATED EXTERIOR TRIM AND PANT.
9. REBUILD EXISTING SERVICE STRUCTURE BALCONY. REPAIR EXISTING BALCONY COLUMNS/POSTS AND BALCONY RAILING REPLACING ANY DAMAGED OR DETERIORATED MATERIALS.
10. REMOVE ALL VEGETATION GROWING ON THE TWO STRUCTURES.
11. CLEAN AND FILL STUCCO/CRACKS AND PANT TO MATCH EXISTING COLOR.
12. REROUTE ALL EXISTING EXPOSED WIRING IN CONDUIT AND PANT TO PROTECT FROM WEATHER AND DAMAGE TO THE STRUCTURE WITH THE LATEST DESIGN OF THE NEC AND VEC GUIDELINES.
13. ALL EXISTING DOORS AND WINDOWS ARE TO BE SUBMITTED TO VCC FOR APPROVAL.
14. ARCHITECT TO SUBSEQUENTLY PROVIDE SUPPLEMENT DRAWINGS, SPECIFICATION AND PRODUCT DATA IN SUPPORT OF VCC REVIEW.

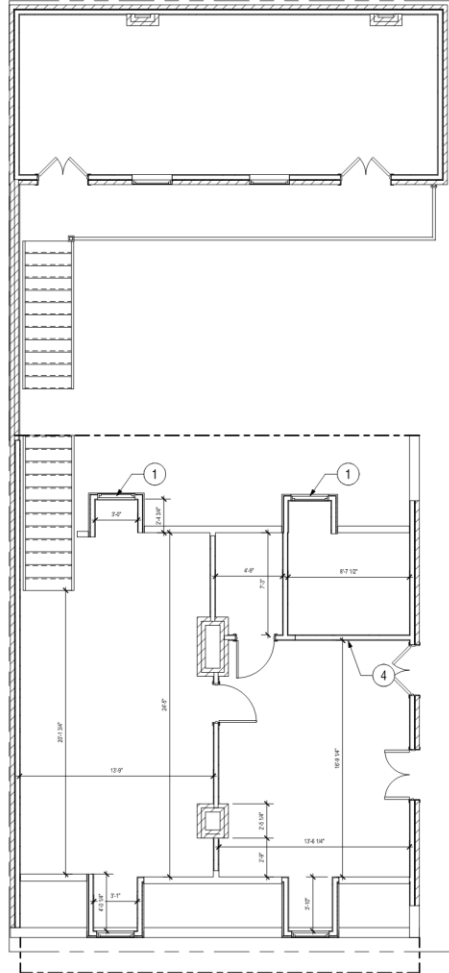
- GENERAL DEMOLITION NOTES: DIMENSIONS ARE INDICATED WITH HEAVY DOTTED LINES.
1. WORK SHALL BE COORDINATED SO THAT FINISHED WORK WILL BE COMPLETE IN EVERY RESPECT.
 2. NEW MATERIALS AND ALTERATIONS SHALL MATCH, AS NEARLY AS POSSIBLE, EXISTING ADJOINING WORK, UNLESS OTHERWISE SPECIFIED OR NOTED.
 3. PATCHES AND REPAIRS SHOWN OR NOTED AND WHERE NECESSARY FOR PROPER INTEGRATION OF NEW AND ALTERATION WORK, SHALL CONFORM TO APPLICABLE REQUIREMENTS FOR NEW WORK.
 4. EQUIPMENT, TOOLS, AND FACILITIES SHALL BE SUITABLE FOR PERFORMING THE WORK.
 5. EVERY PRECAUTIONARY MEASURE SHALL BE TAKEN TO PROTECT AGAINST INJURY TO PERSONS AND DAMAGES TO PROPERTY AT ALL TIMES.
 6. COVERING FOR REMOVAL OR REPLACEMENT OF ITEMS TO PROTECT AGAINST DAMAGE BY CUTTING, CHIPPING, DEMOLITION AND OTHER WORK SHALL BE PERFORMED AS NECESSARY.
 7. REMOVE EXISTING WORK AS NOTED OR AS REQUIRED TO PERFORM WORK SHOWN ON THESE DRAWINGS.
 8. ALL MATERIALS OR ITEMS SUITABLE FOR INCORPORATION IN THE NEW WORK OR SPECIFIED TO BE BALANCED SHALL BE CAREFULLY HANDLED AND SEPARATED FROM OTHER MATERIALS AND SUITABLY STORED UNTIL USED, REINSTALLED OR DISPOSED OF AS SPECIFIED.
 9. ACCUMULATIONS OF OLD MATERIALS AND/OR DEBRIS WILL NOT BE PERMITTED WITHIN THE FACILITY. ALL DEBRIS SHALL BE REMOVED FROM THE FACILITY DAILY AND ROOMS SHALL BE CLEANED UP AS APPROVED AT THE TERMINATION OF EACH DAY'S WORK OR UPON COMPLETION OF WORK WITHIN THE SPACE.
 10. PERFORM CLEANING JUST PRIOR TO INSTALLATION OF NEW WORK WHERE PRACTICAL.
 11. PROVIDE ADEQUATE SHORING, BRACING, AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. RETAIN THE SERVICES OF A QUALIFIED SPECIALTY ENGINEER TO DESIGN AND MONITOR THE TEMPORARY SUPPORT. SUBMIT DRAWINGS FOR RECORD ONLY.
 12. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBERS IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.
 13. IN GENERAL, SELECTIVE STRUCTURAL DEMOLITION IS TO BE PERFORMED WITH PHYSICAL CUTTING ACTION (E.G. SAWING AND GRINDING INSTEAD OF HAMMERING AND CHIPPING). DO NOT USE JACKHAMMERS ON STRUCTURALLY SUPPORTED MEMBERS.
 14. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
 15. COORDINATE ALL WORK TO BE PERFORMED WITH MECHANICAL AND ELECTRICAL.

ALL AREAS		
NAME	AREA	
UNIT A	1031 SF	
UNIT B	288 SF	
UNIT C	654 SF	
UNIT D	398 SF	
IMPERVIOUS	2407 SF	

DEMO NOTES	
Note Number	Note Text
1	REMOVE
2	REMOVE
3	REMOVE
4	REMOVE
5	REMOVE
6	REMOVE
7	REPLACE STAIR CASE AND LANDING
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	



1. EXISTING/DEMO FIRST FLOOR PLAN
1/4" = 1'-0"



2. EXISTING/DEMO SECOND FLOOR PLAN
1/4" = 1'-0"

HISTORIC RENOVATION

HISTORIC RENOVATION
924-26 URSULINE AVE
NEW ORLEANS, LA



SPECTRUM
DESIGNS & ENGINEERING, LLC
1000 PINE ST., SUITE 100
HARVEY, LA 70058 (504) 366-0710
E-Mail: admin@spectrumdesignsllc.com



Date: 8-2-2021
Drawn: A. MARTIN
Checked: PITTMAN

Sheet Title:

EXISTING FLOOR PLANS

Drawing No.

A-2

THIS DRAWING IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SPECTRUM DESIGNS, LLC

CONTRACTOR SHALL DIRECT ANY QUESTIONS PERTAINING TO THESE PLANS WITHOUT CONSULTING AND/OR WRITTEN

CONSENT FROM THE ENGINEER. ANY DEVIATIONS FROM THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.





Date: 8-3-2021
Drawn: A.MARTIN
Checked: PITTMAN

Sheet Title:

EXISTING
CONDITIONS

Drawing No.

A-2.1



SERVICE (REAR BUILDING) HOUSE DOORS



EXISTING PARAPET



CORNER IN SERVICE QUARTERS (REAR BUILDING)



EXISTING REAR COTTAGE

SPECIFIC REPAIR NOTES

1. Clean existing brick and repoint in accordance with ASTM historic masonry repair notes found on sheet A-9
2. Replace existing deteriorated, broken and/or damaged roof slate shingles. Replace with traditional slate of same quality, color and size as existing; remove any non-tile roofing, if any and install new slate roof.
3. Repair existing brick parapet cap. Replace missing/broken brick units and repoint with flush joints. See ASTM historic masonry repair notes on Sheet A-4.3
4. Repair existing brick chimney. Remove concrete surfaces patches and repoint brick clean chimney cap as required.
5. Replace existing window with new DBL hung wood window with 6/6 lite/ AND arch top window to match existing.
6. Replace/repair deteriorated sill with matching wood sill and profile repaint.
7. Replace/repair deteriorated window trim with matching wood trim & profile. Repaint.
8. Replace/repair deteriorated window sash with matching wood sash and profile. Repaint.
9. Replace window glazing with new glazing. Match thickness
10. Replace/rebuild window shutters & match existing profile and type repaint.
11. Repair/replace existing metal hardware as needed
12. Remove existing security bars
13. Remove window air conditioning unit.
14. Remove abandoned pipes and conduit not in use.
15. Remove existing vegetation surround windows and doors, if any.
16. Clean and remove debris from existing gutters and make sure that gutter hangers and brackets are properly secured to fascia. Resolder/resealed and open joints. Sand and paint gutter per vcc guidelines.
17. Repair and repaint existing fascia and soffit material. San and repaint in accordance with VCC guidelines. Do not rotary sand. All sanding to be manual. Replace and damaged/dry rot deteriorated material with material of the same type. See woodwork repair notes on sheet A-4.3
18. Repair existing door & window frames and sashes. Replace loose board with similar material. Remove loose caulk and re caulk perimeter of window frame. Replace deteriorated glazing compound. Paint. Finish and paint with high quality primer and oil based paint. See woodwork notes on sheet A-8.
19. Remove metal awning that was added without permit
20. Repair existing shutter
21. New handrails and guardrails. Repair columns and paint
22. Remove Existing stair and replace with new treated wood stair.
23. Replace existing metal downspout



EXISTING REAR DORMERS



FRONT ELEVATION



STAIR CASE

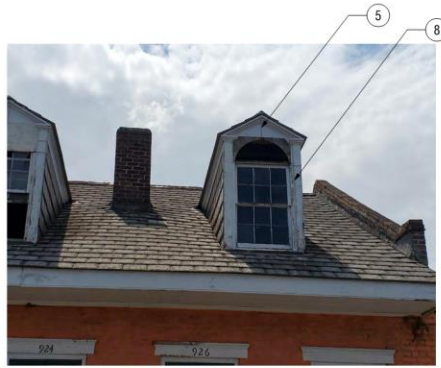


FRONT ELEVATION

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CONTRACTOR SHALL DIRECT ANY QUESTIONS PERTAINING TO THESE PLANS TO THE ENGINEER. ANY DEVIATIONS FROM THESE PLANS TO THE ENGINEER SHALL BE IN COMPLIANCE WITH THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE WITH THE VCC RULES AND REGULATIONS

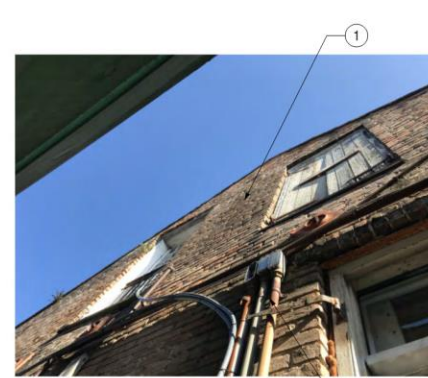
I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE ENGINEERING CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE WITH THE VCC RULES AND REGULATIONS



EXPOSED DORMER



SECOND FLOOR SERVICE (REAR BUILDING) LANDING



COTTAGE RIGHT SIDE



SERVICE (REAR BUILDING) STRUCTURE BALCONY



SERVICE STRUCTURE



COTTAGE ROOF AT REAR



URSULINE STREET SCAPE

- SPECIFIC REPAIR NOTES**
1. Clean existing brick and repoint in accordance with ASTM historic masonry repair notes found on sheet a-9
 2. Replace existing deteriorated, broken and/or damaged roof slate shingles. Replace with traditional slate of same quality, color and size as existing; remove any non-tile roofing, if any and install new slate roof.
 3. Repair existing brick parapet cap. Replace missing/broken brick units and repoint with flush joints. See ASTM historic masonry repair notes on Sheet A-4.3
 4. Repair existing brick chimney. Remove concrete surfaces patches and repoint brick clean chimney cap as required.
 5. Replace existing window with new DBL hung wood window with 6/6 lite/ AND arch top window to match existing.
 6. Replace/repair deteriorated sill with matching wood sill and profile repaint.
 7. Replace/repair deteriorated window trim with matching wood trim & profile. Repaint.
 8. Replace/repair deteriorated window sash with matching wood sash and profile. Repaint.
 9. Replace window glazing with new glazing. Match thickness
 10. Replace/rebuild window shutters & match existing profile and type repaint.
 11. Repair/replace existing metal hardware as needed
 12. Remove existing security bars
 13. Remove window air conditioning unit.
 14. Remove abandoned pipes and conduit not in use.
 15. Remove existing vegetation surround windows and doors, if any.
 16. Clean and remove debris from existing gutters and make sure that gutter hangers and brackets are properly secured to fascia. Resolder/resealed and open joints. Sand and paint gutter per vcc guidelines.
 17. Repair and repaint existing fascia and soffit material. San and repaint in accordance with VCC guidelines. Do not rotary sand. All sanding to be manual. Replace and damaged/dry rot deteriorated material with material of the same type. See woodwork repair notes on sheet a-4.3
 18. Repair existing door & window frames and sashes. Replace loose board with similar material. Remove loose caulk and re caulk perimeter of window frame. Replace deteriorated glazing compound. Paint. Finish and paint with high quality primer and oil based paint. See woodwork notes on sheet a-8.
 19. Remove metal awning that was added without permit
 20. Repair existing shutter
 21. New handrails and guardrails. Repair columns and paint
 22. Remove Existing stair and replace with new treated wood stair.
 23. Replace existing metal downspout



Date: 8-2-2021
By: awm: A.MARTIN
Checked: PITTMAN

Sheet Title:

EXISTING
CONDITIONS

Drawing No.

A-2.2



924 Ursulines

VCC Architectural Committee

May 10, 2022

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Date: 8-9-2021
Drawn: A.MARTIN
Checked: PITTMAN

Sheet Title:

FLOOR PLANS

Drawing No.

A-3.0



GENERAL NOTES

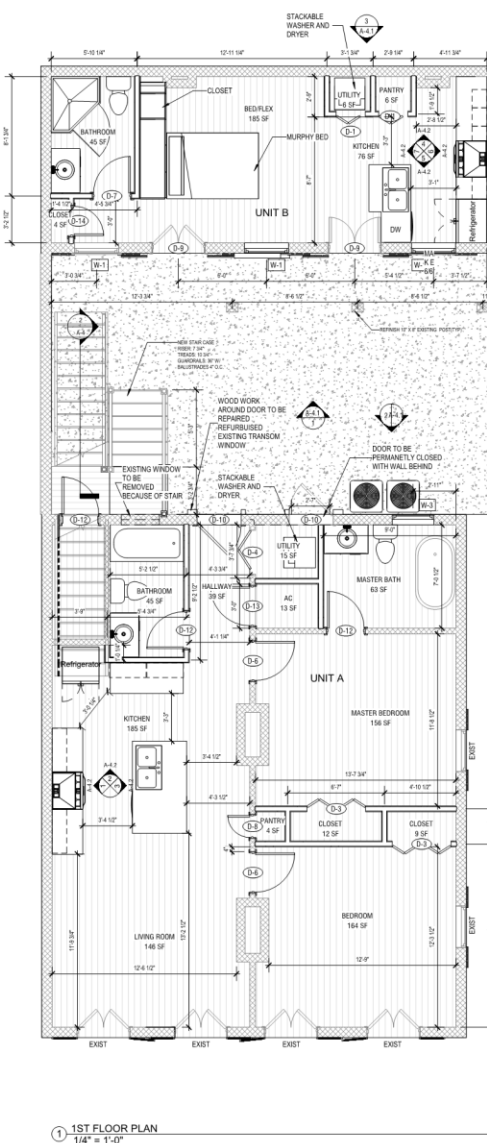
1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. WHERE NO DIMENSIONS ARE SHOWN AT PARTITIONS INDICATED AT COLUMN OR GRID LINES, CENTER PARTITIONS UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS ARE TO FACE OF FINISH FURNITURE, AND EQUIPMENT.
2. NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
3. VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO SUBMISSION OF SHOP DRAWINGS.
4. PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND REPAIR OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
5. WHERE WORK OCCURS IN AREAS WITH EXISTING FINISHES TO REMAIN, REFINISH DISTURBED AREA TO MATCH EXISTING FINISHES AND MATERIALS UNLESS OTHERWISE NOTED OR DIRECTED.
6. PROVIDE BLOCHING AND ANCHORAGE AS NECESSARY FOR PROPER INSTALLATION OF NEW WORK, INCLUDING WALL MOUNTED ACCESSORIES AND HANGERS WHETHER INSTALLED BY CONTRACTOR OR OWNER.
7. CONDUCT MOISTURE TESTS ON ALL CONCRETE SLABS WHERE FINISH MATERIALS ARE SCHEDULED.
8. ALL SURFACES MUST BE FREE OF DIRT AND RESIDUE BEFORE PAINT, TILE, ETC. IS APPLIED.
9. ALL CERAMIC, PORCELAIN OR OTHER FLOOR TILE FINISHES MUST MEET OR EXCEED A MINIMUM COEFFICIENT OF FRICTION OF 0.6 (WET AND DRY) FOR ACCESSIBLE ROUTES AND 0.8 (WET AND DRY) FOR RAMP.
10. PROVIDE ANGLE OR COVE BASE AT ALL WET AREAS OR WHERE SPECIFIED.
11. PROVIDE SHOP DRAWINGS TO CONFIRM TILE LAYOUTS AT FLOORS AND WALLS BEFORE INSTALLATION.
12. ALL SURFACES SCHEDULED TO RECEIVE PAINT, SHALL BE PAINTED WITH ONE COAT OF PRIMER AND TWO COATS OF LATEX PAINT.
13. REFER TO OWNER FOR WALL FINISHES.
14. ALL FURNISHING TEXTILES MUST MEET FIRE TEST CODE NFPA 701 AND FLAMMABILITY RATING CLASS 117.
15. ALL INTERIOR PARTITION TYPES ARE A TYPICAL 8' 0" INTERIOR WALL.
16. FOR FURNITURE LAYOUT, T.B.D BY OWNER.
17. SEE SHEETS A4.2 FOR FURNITURE & EQUIPMENT LAYOUTS.
18. SEE SHEET A4.4 FOR PLUMBING FIXTURES, TOILET ACCESSORIES, AND OTHER MISC. ITEMS SCHEDULE.
19. SEE SHEET A4.2 CASEWORK DETAIL.

SPECIFIC REPAIR NOTES

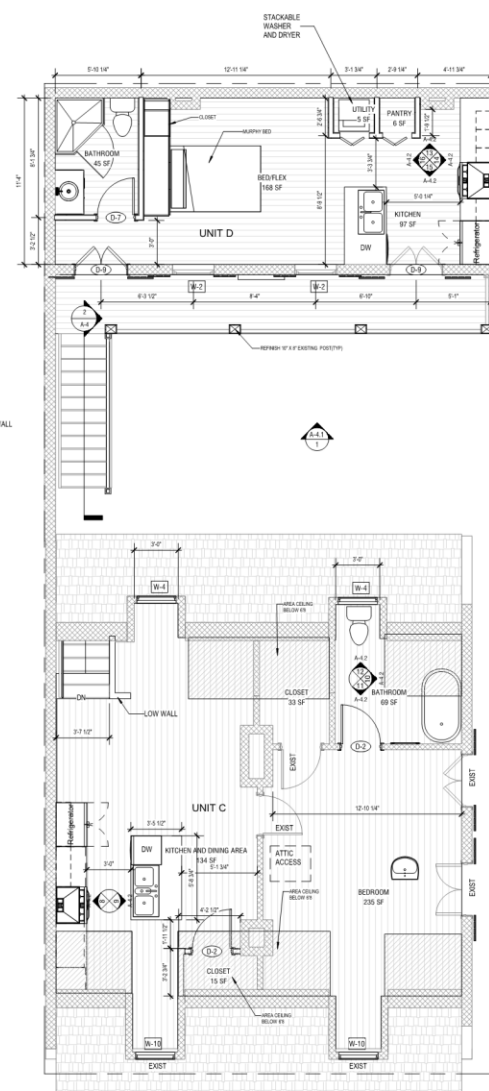
1. CLEAN EXISTING BRICK AND REPOINT IN ACCORDANCE WITH ASTM HISTORIC MASONRY REPAIR NOTES FOUND ON SHEET A-8
2. REPLACE EXISTING DETERIORATED, BROKEN AND/OR DAMAGED ROOF SLATE SHINGLES. REPLACE WITH TRADITIONAL, SLATE OR SAME QUALITY, COLOR AND SIZE AS EXISTING. REMOVE ANY NON-TILE ROOFING, IF ANY AND INSTALL NEW SLATE ROOF.
3. REPAIR EXISTING BRICK PARAPET CAP. REPLACE DETERIORATED BRICK UNITS AND REPOINT WITH FLUSH JOINTS. SEE ASTM HISTORIC MASONRY REPAIR NOTES ON SHEET A-4.3
4. REPAIR EXISTING BRICK CHIMNEY. REMOVE CONCRETE SURFACES PATCHES AND REPOINT BRICK. CLEAN CHIMNEY CAP AS REQUIRED.
5. REPLACE EXISTING WINDOW WITH NEW OBL. HUNG WOOD WINDOW WITH H&L LITE.
6. REPLACE EXISTING DETERIORATED SILL WITH MATCHING WOOD SILL AND PROFILE. REPAIR.
7. REPLACE EXISTING DETERIORATED WINDOW TRIM WITH MATCHING WOOD TRIM & PROFILE. REPAIR.
8. REPLACE EXISTING DETERIORATED WINDOW SASH WITH MATCHING WOOD SASH AND PROFILE. REPAIR.
9. REPLACE WINDOW GLAZING WITH NEW GLAZING MATCH THICKNESS.
10. REPLACE EXISTING WINDOW SHUTTERS & MATCH EXISTING PROFILE AND TYPE. REPAIR.
11. REPAIR/REPLACE EXISTING METAL HARDWARE AS NEEDED.
12. REMOVE EXISTING SECURITY BARS.
13. REMOVE WINDOW AIR CONDITIONING UNIT.
14. REMOVE ABANDONED PIPES AND CONDUIT NOT IN USE.
15. REMOVE EXISTING VEGETATION SURROUND WINDOWS AND DOORS, IF ANY.
16. CLEAN AND REMOVE DEBRIS FROM EXISTING GUTTERS AND MAKE SURE THAT GUTTER HANGERS AND BRACKETS ARE PROPERLY SECURED TO FASCIA. RESOLDER/RESEAL AND OPEN JOINTS SAND AND PAINT GUTTER PER VCC GUIDELINES.
17. REPAIR AND REPAINT EXISTING FASCIA AND SOFFIT MATERIAL. SAN AND REPAIR IN ACCORDANCE WITH VCC GUIDELINES. DO NOT ROTARY SAND. ALL SANDING TO BE MANUAL. REPLACE AND DAMAGED/ROT FASCIA/DOOR MATERIAL WITH MATERIAL OF THE SAME TYPE. SEE WOODWORK REPAIR NOTES ON SHEET A-4.3
18. REPAIR EXISTING DOOR & WINDOW FRAMES AND SASHES. REPLACE LOOSE BOARD WITH SIMILAR MATERIAL. REMOVE LOOSE CAULK AND RE CAULK PERIMETER OF WINDOW FRAME. REPLACE DETERIORATED GLAZING COMPLING PAINT. FINISH AND PAINT WITH HIGH QUALITY PRIMER AND OIL BASED PAINT. SEE WOODWORK NOTES ON SHEET A-4.
19. REPLACE EXISTING METAL DOWNPOUT

Type Mark	Count	Height	Width	Comments
D-1	4	6'-8"	2'-0"	SINGLE BI FOLD DOOR
D-2	2	5'-0"	2'-8"	
D-3	2	8'-0"	4'-0"	BI FOLD DOUBLE DOOR
D-4	1	6'-8"	3'-0"	SINGLE BI FOLD DOOR
D-5	2	8'-0"	2'-6"	
D-6	2	6'-8"	2'-8"	
D-7	2	8'-0"	2'-6"	
D-8	1	8'-0"	1'-6"	PANEL DOOR
D-9	10	8'-0"	1'-6"	DOUBLE DOOR
D-10	2	6'-8"	3'-0"	EXTERIOR DOOR TO MATCH EXISTING
D-11	2	8'-0"	2'-8"	
D-12	3	6'-8"	2'-6"	4 PANEL DOOR
D-13	1	5'-0"	2'-8"	
D-14	1	8'-0"	2'-0"	

Type Mark	Count	Height	Width	Sill Height	Level	Comments
W-1	3	5'-0"	3'-0"	8'-0"	3'-0"	LEVEL 1 T.O.F.
W-2	2	6'-4 3/4"	2'-10"	8'-0"	1'-7 1/4"	LEVEL 2 T.O.F.
W-3	3	4'-0"	2'-10"	8'-0"	4'-0"	LEVEL 1 T.O.F.
W-4	2	4'-0"	2'-8"	7'-3"	3'-3"	LEVEL 2 T.O.F.
W-5	2	1'-4"	2'-8"	8'-8"	7'-4"	LEVEL 2 T.O.F.
W-6	1	1'-0"	2'-0"	3'-3 7/8"	2'-3 7/8"	LEVEL 1 T.O.F.
W-7	8	8'-0"	3'-6"			LEVEL 2 T.O.F.
W-8	2	6'-4 3/4"	2'-10"	9'-4 3/4"	3'-0"	LEVEL 1 T.O.F.
W-9	2	1'-4"	2'-8"	7'-10"	6'-6"	LEVEL 2 T.O.F.
W-10	2	4'-0"	2'-8"	6'-2"	2'-2"	LEVEL 2 T.O.F.



1 1ST FLOOR PLAN
1/4" = 1'-0"



2 2ND FLOOR PLAN
1/4" = 1'-0"

924 Ursulines

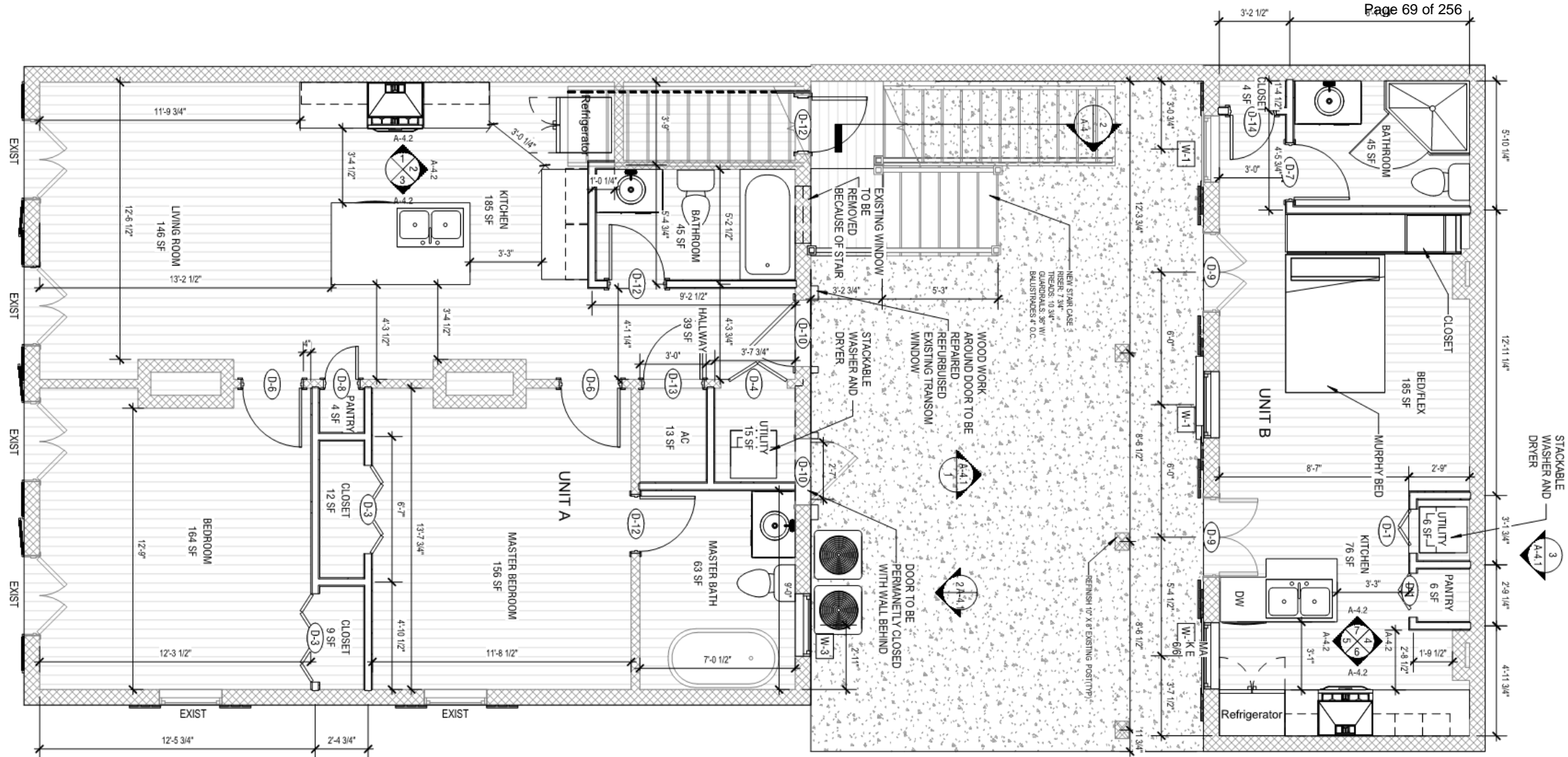
VCC Architectural Committee

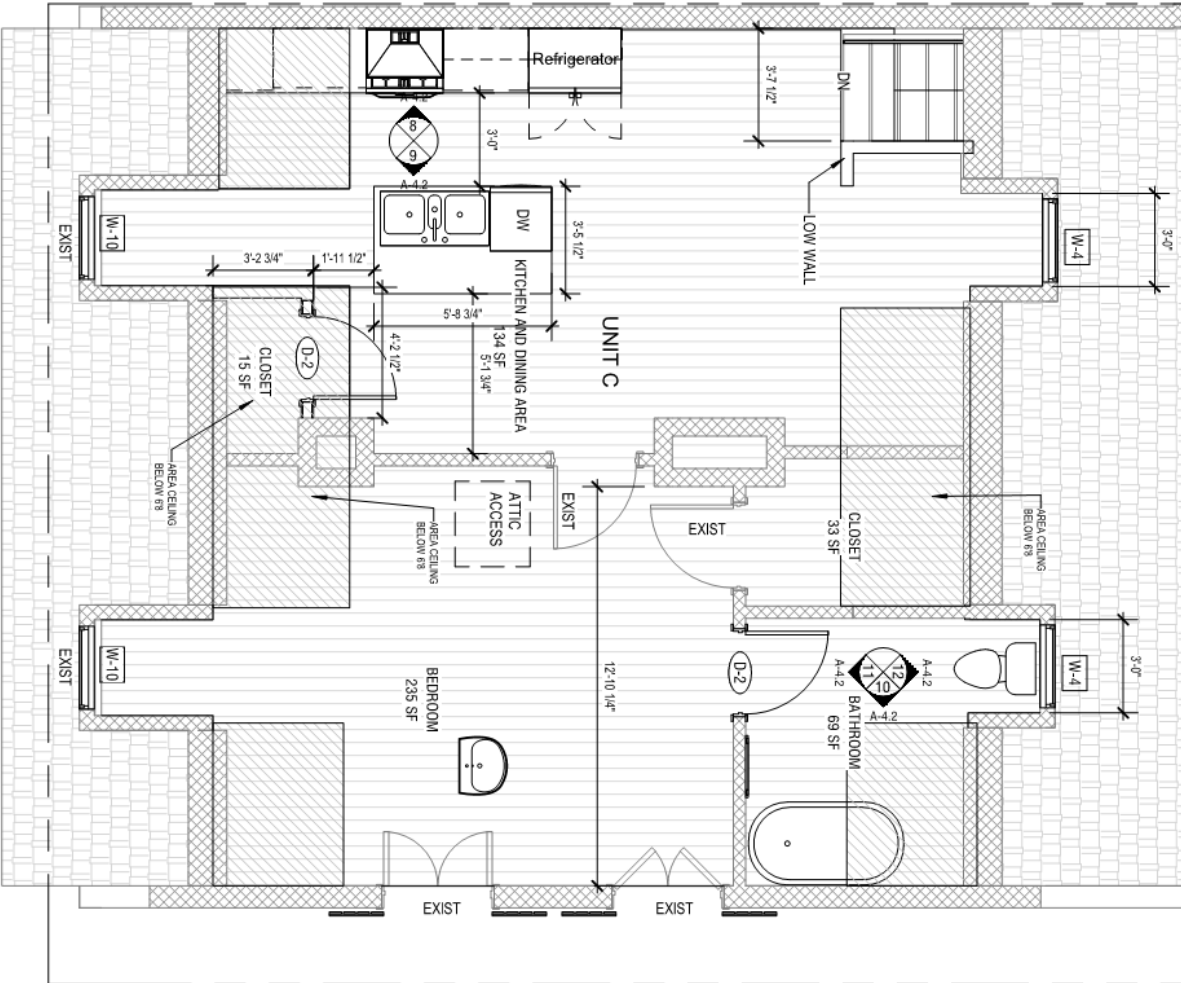
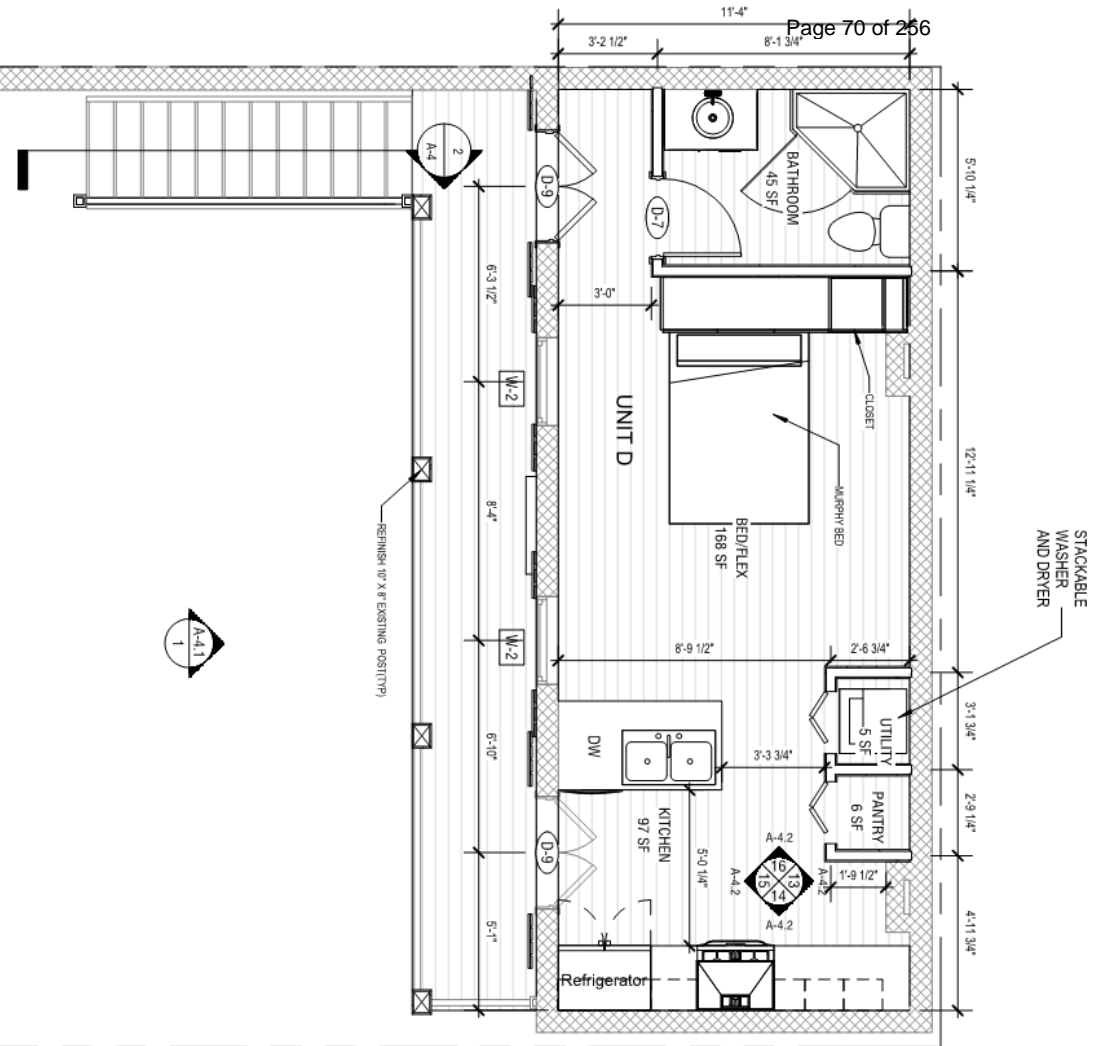
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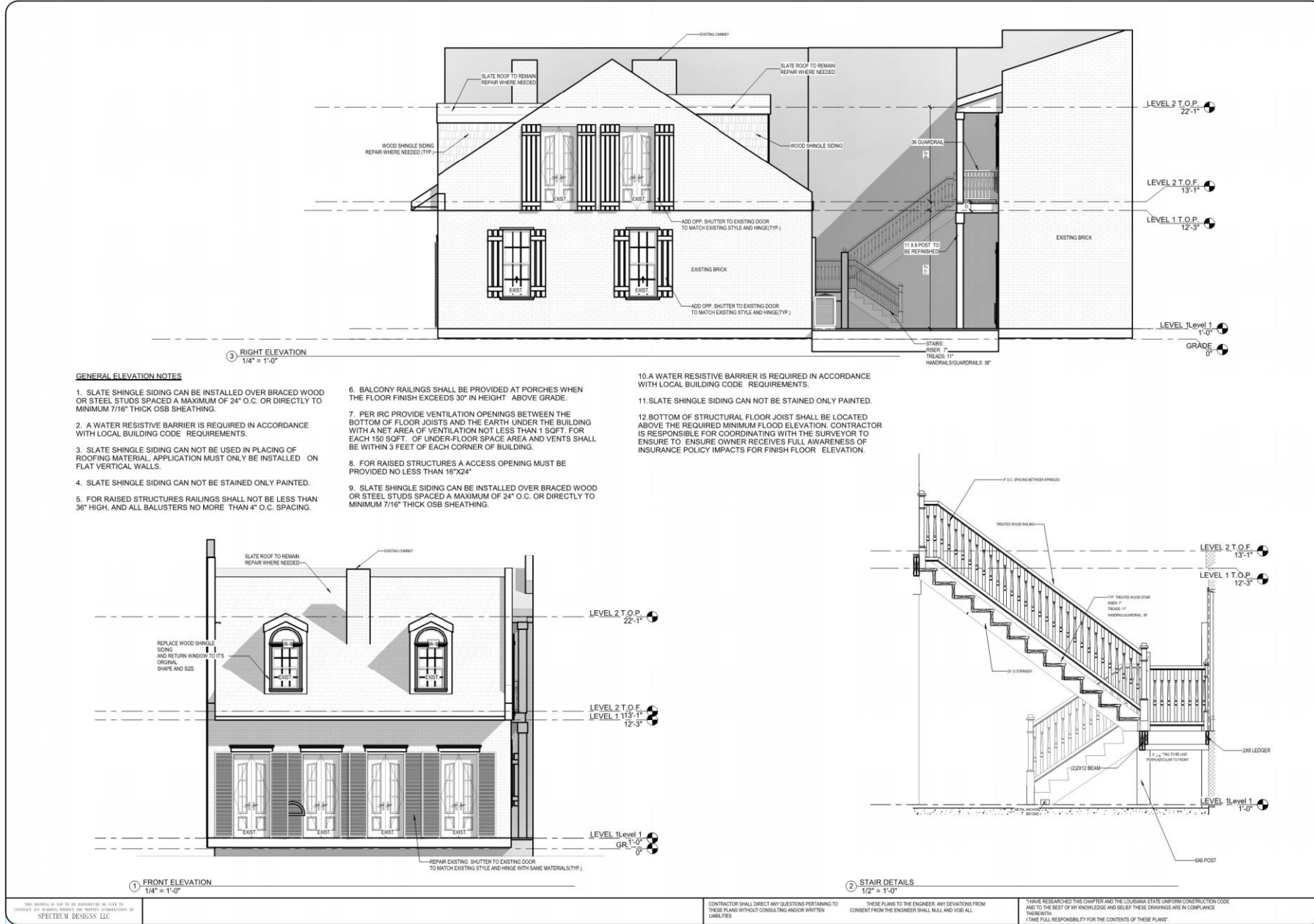
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STATE OF LOUISIANA
THOMAS L. PITTMAN
PROFESSIONAL ENGINEER
4-28-2022

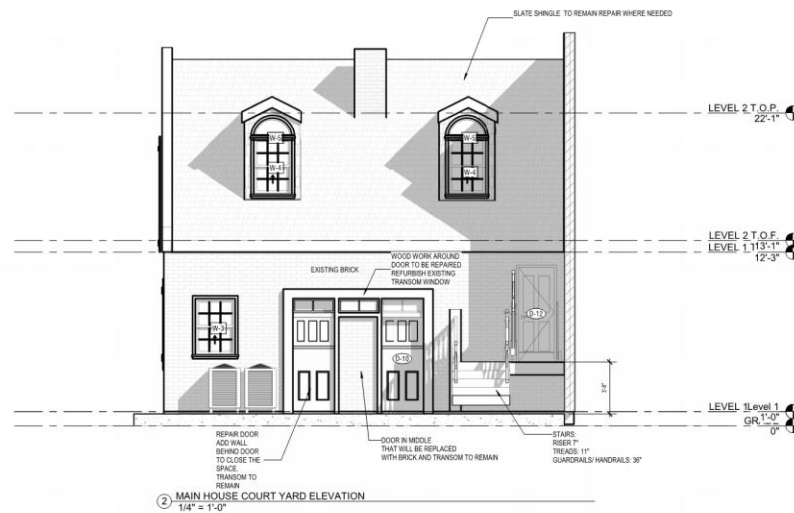
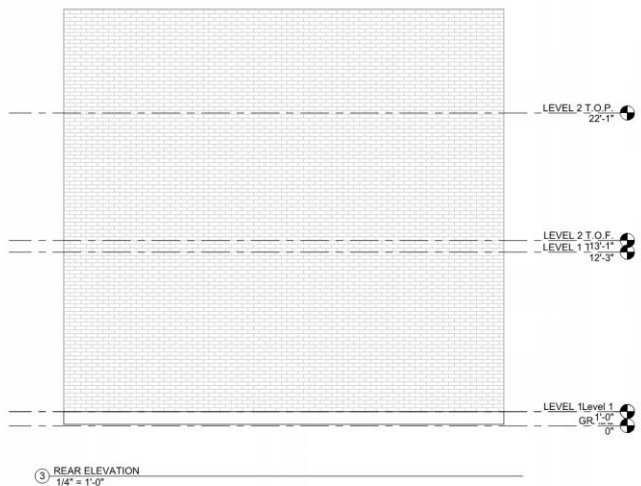
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E-Mail: admin@spectrumdesignsllc.com

Date: 8-3-2021
Drawn: A. MARTIN
Checked: PITTMAN
Sheet Title: EXTERIOR ELEVATIONS
Drawing No. A-4



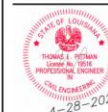


May 10, 2022



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EXTERIOR
ELEVATIONS

Drawing No.

A-4.1

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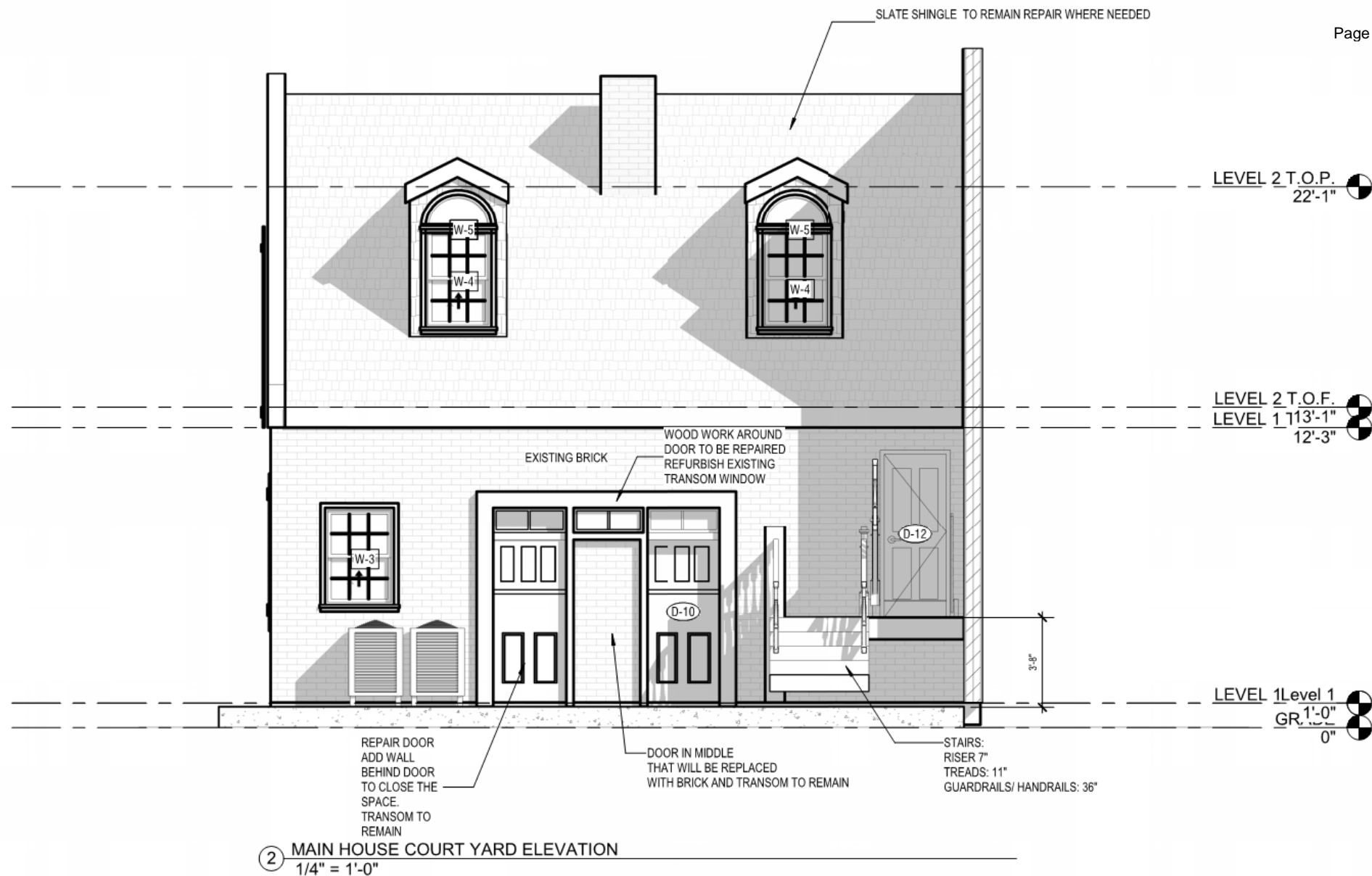
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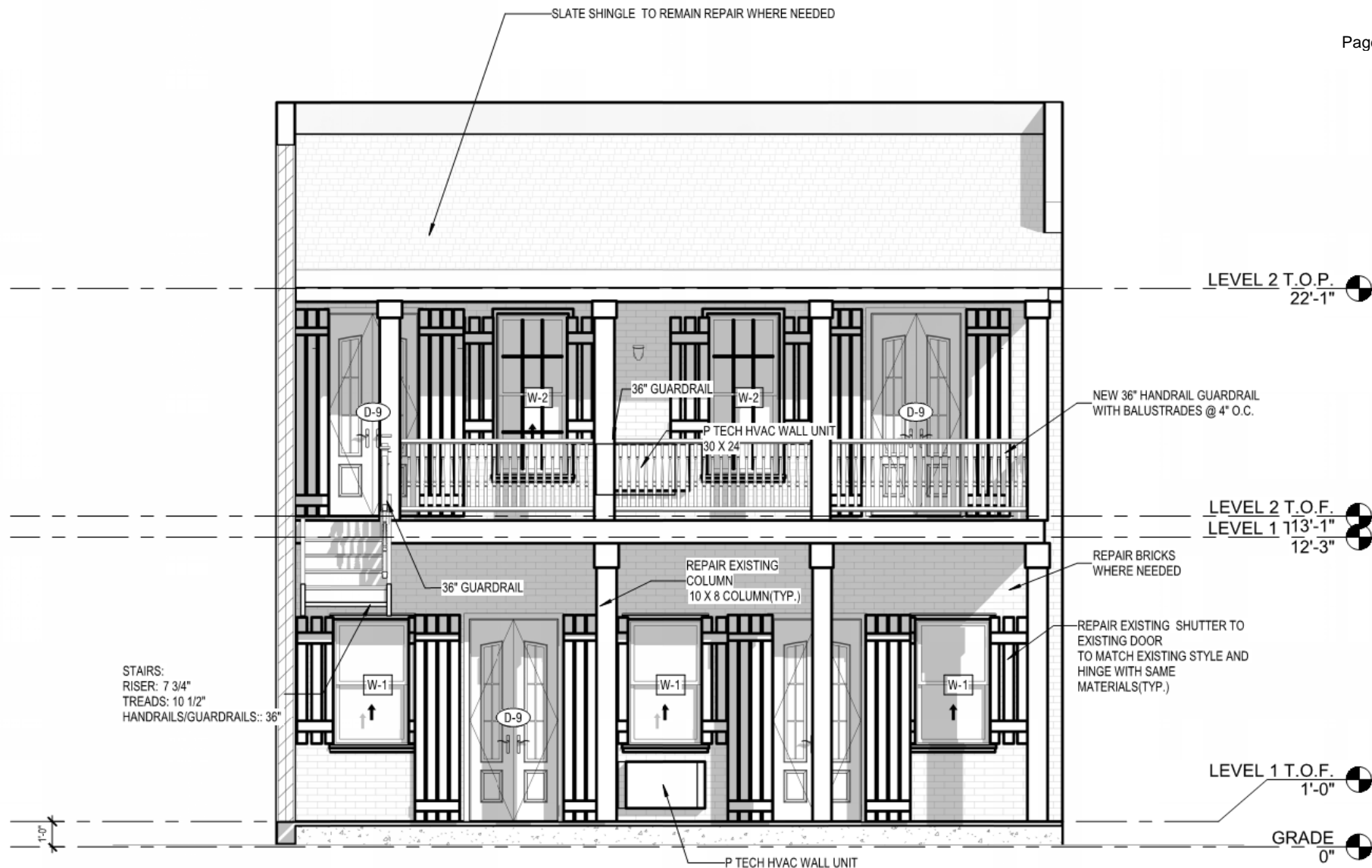
924 Ursulines

VCC Architectural Committee

May 10, 2022







① REAR HOUSE COURTYARD ELEVATION
1/4" = 1'-0"

924 Ursulines

VCC Architectural Committee

May 10, 2022



HISTORIC RENOVATION

HISTORIC RENOVATION
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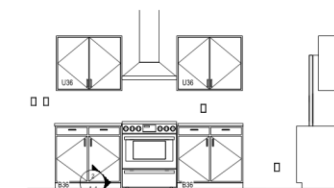
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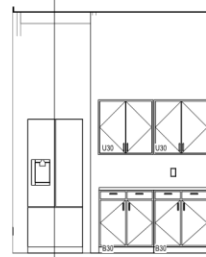
INTERIOR
ELEVATIONS

Drawing No.

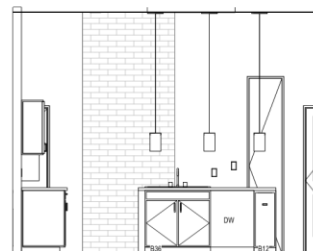
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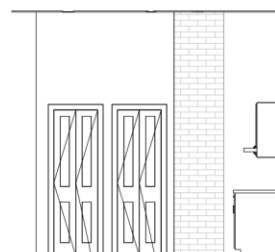
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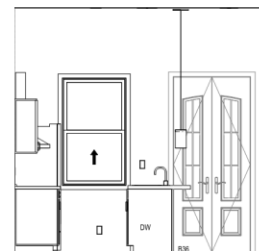
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3 UNIT A- KITCHEN C
3/8" = 1'-0"



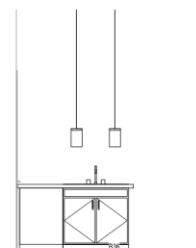
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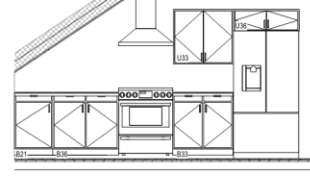
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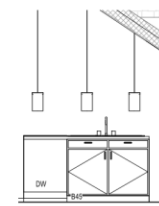
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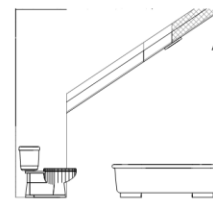
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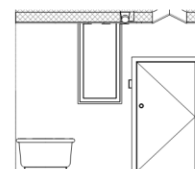
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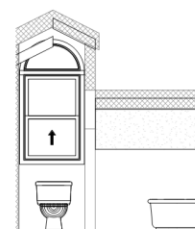
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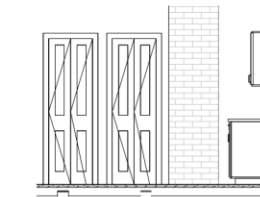
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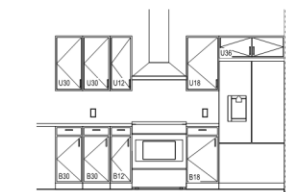
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3/8" = 1'-0"



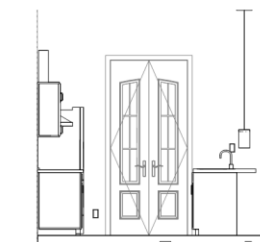
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3/8" = 1'-0"



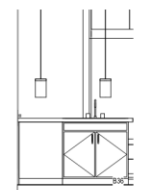
13 UNIT D- KITCHEN A
3/8" = 1'-0"



14 UNIT D- KITCHEN B
3/8" = 1'-0"



15 UNIT D- KITCHEN C
3/8" = 1'-0"



16 UNIT D- KITCHEN D
3/8" = 1'-0"

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924 Ursulines

VCC Architectural Committee

May 10, 2022

HISTORIC RENOVATION

HISTORIC RENOVATION
924-26 URSULINE AVE
NEW ORLEANS, LA



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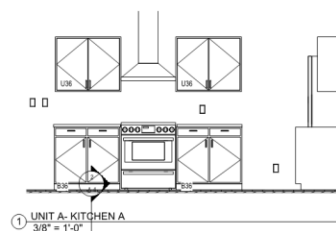
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Checked: PITTMAN

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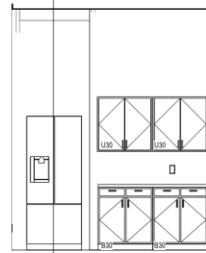
INTERIOR
ELEVATIONS

Drawing No.

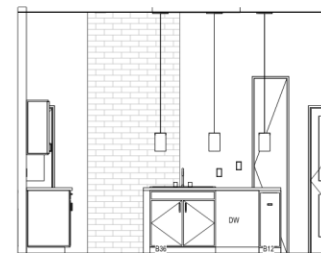
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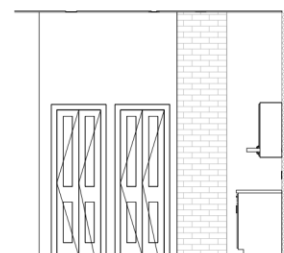
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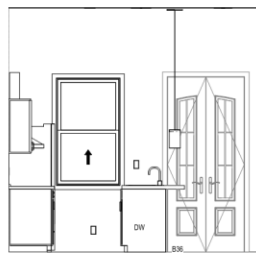
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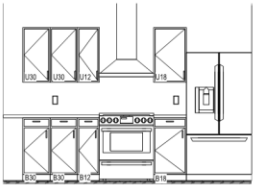
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3/8" = 1'-0"



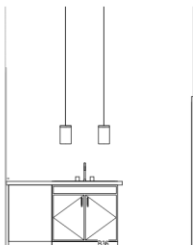
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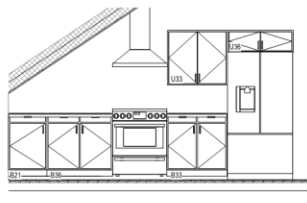
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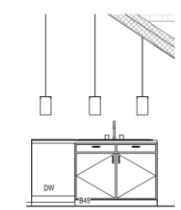
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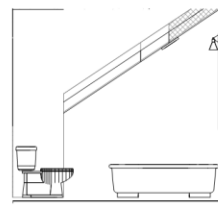
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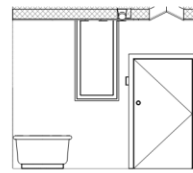
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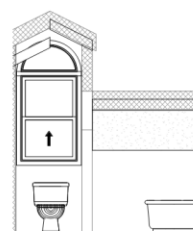
9 UNIT C-KITCHEN B
3/8" = 1'-0"



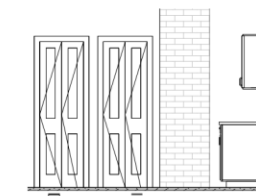
10 UNIT C-BATHROOM B
3/8" = 1'-0"



11 UNIT C-BATHROOM C
3/8" = 1'-0"



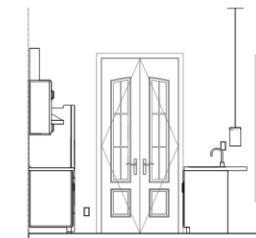
12 UNIT C-BATHROOM-A
3/8" = 1'-0"



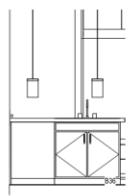
13 UNIT D-KITCHEN A
3/8" = 1'-0"



14 UNIT D-KITCHEN B
3/8" = 1'-0"



15 UNIT D-KITCHEN C
3/8" = 1'-0"



16 UNIT D-KITCHEN D
3/8" = 1'-0"

THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SPECTRUM DESIGNS LLC

CONTRACTOR SHALL DIRECT ANY QUESTIONS PERTAINING TO THESE PLANS WITHOUT CONSULTING AND/OR WRITTEN CONSENT FROM THE ENGINEER. ANY DEVIATIONS FROM THESE PLANS TO THE ENGINEER SHALL BE AT THE CONTRACTOR'S RISK AND VOID ALL WARRANTIES.

THESE PLANS TO THE ENGINEER. ANY DEVIATIONS FROM THESE PLANS TO THE ENGINEER SHALL BE AT THE CONTRACTOR'S RISK AND VOID ALL WARRANTIES.

THESE PLANS TO THE ENGINEER. ANY DEVIATIONS FROM THESE PLANS TO THE ENGINEER SHALL BE AT THE CONTRACTOR'S RISK AND VOID ALL WARRANTIES.

924 Ursulines

VCC Architectural Committee

May 10, 2022

The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal features a stylized architectural design, including a central fleur-de-lis and vertical columns with decorative elements.

301 Decatur

VCC Architectural Committee





301 Decatur

VCC Architectural Committee

May 10, 2022





301 Decatur - 2004

VCC Architectural Committee

May 10, 2022





301 Decatur

VCC Architectural Committee

May 10, 2022





301 Decatur

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May 10, 2022





301 Decatur

VCC Architectural Committee

May 10, 2022





301 Decatur

VCC Architectural Committee

May 10, 2022



CRU LOUNGE - 301 DECATUR STREET

Page 87 of 256

PROJECT DIRECTORY

BUILDING OWNER

CRU LOUNGE
CRU@UNIONCLAB.COM

ARCHITECT

JOHN C. WILLIAMS ARCHITECTS, LLC
824 BARBOURNE ST.
NEW ORLEANS, LA 70113
TEL: (504) 566-0888 FAX: (504) 566-0887
CONTACT: CALEB BOULET (cboulet@williamsarchitects.com)

GENERAL CONTRACTOR

DAVID RANEY
TEL: (981) 402-9577

PROJECT INFORMATION

PROJECT ADDRESS

301 DECATUR STREET
NEW ORLEANS 70130

PROJECT DESCRIPTION

NO EXTERIOR WORK
CHANGE OF USE
INTERIOR RENOVATIONS

BUILDING SQUARE FOOTAGE

LOT 3,344 SQ. FT.

MUNICIPAL DISTRICT 2

BOUNDING STREETS: DECATUR STREET & BIENVILLE STREET

PRIMARY ZONING: VCE-1

ENTERTAINMENT DISTRICT
OVERLAY ZONING:
VEU1 CARRE HEIGHT INTERIM ZONING DISTRICT

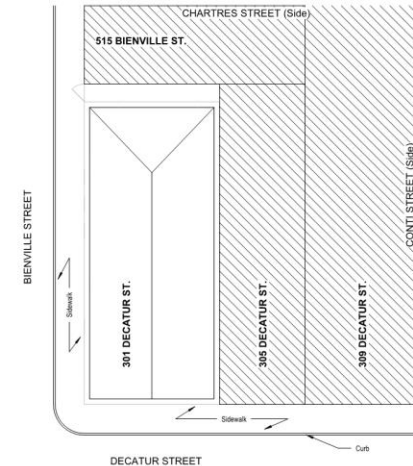
SHEET INDEX

01 GENERAL
G001 TITLE PAGE

06 Architectural

A101	DEMOLITION FLOOR PLAN
A102	EXISTING & NEW FLOOR PLAN
A103	ENLARGED PLANS & SCHEDULES
A104	EXISTING ROOF PLAN & EXTERIOR SIGNAGE

VICINITY MAP



1 Site
1/16" = 1'-0"

GENERAL NOTES

- NO EXTERIOR WORK TO BE DONE TO THE BUILDING, ASIDE FROM NEW SIGNAGE
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION AND CONSTRUCTION OF STRUCTURES, SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS, DUST CONTROL, UTILITY DISCOVERY, HAZARDS, AND DISPOSAL. CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.
- EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER BEFORE PROCEEDING WITH WORK.
- THE DESIGNER HAS ENDEAVORED TO IDENTIFY IN THE DRAWINGS EXISTING ELEMENTS, WALLS, CONSTRUCTION, ETC. THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED TO ALLOW THE EXECUTION OF THE WORK. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR, AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BIDDING AND TO BECOME FAMILIAR WITH THE PROJECT AND CONDITIONS TO EXECUTE THE WORK
- LOCATION OF UNDERGROUND AND/OR NO VISIBLE UTILITIES TO BE DETERMINED FROM DATA AND RECORDS PRIOR TO WORK.
- PRIOR TO EXCAVATION AND DIGGING CALL LA-ONE-CALL (1-800-272-3020) IN THE EVENT THAT UTILITY LINES ARE UNCOVERED, WHICH ARE NOT INDICATED ON THE DRAWING. WORK SHALL BE STOPPED IMMEDIATELY AND THE OWNER/ARCHITECT SHALL BE NOTIFIED AND THE FOLLOWING UTILITIES WHERE APPLICABLE:
A. DRAIN, SEWER AND WATER: SEWERAGE AND WATER BOARD OF NEW ORLEANS
B. GAS AND ELECTRIC: ENTENGY
- TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE PRIOR TO BIDDING AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, THE WORK OF OTHER RELATED TRADES AS WELL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE APPROVED BY THE OWNER 48 HRS. IN ADVANCE OF NEED.
- VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK. CONTACT UTILITY COMPANIES FOR UNDERGROUND INFORMATION AND DEMOLITION WORK REQUIREMENTS
- REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS, UNLESS OTHERWISE INDICATED TO BE SALVAGED AND/OR SAVED FOR REUSE.
- THE CONTRACTOR WILL DEVISE A WORKING METHOD FOR THE CONTROL OF NOISE AND DUST PARTICLES FROM THE ADJACENT NEIGHBORS AND NEIGHBORHOOD AND SHALL MAINTAIN THOSE CONTROLS DURING THE DURATION OF THE WORK.
- THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND SHALL ALSO PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNTIL TURNED OVER THE OWNER.
- COLLECT AND MAINTAIN AREAS FREE OF WASTE MATERIALS. THE SITE WILL NOT BE USED AS A MATERIAL SALVAGE STORAGE AREA EXCEPT FOR THOSE ITEMS NOTED. NO SALE OF SALVAGED MATERIAL WILL BE ALLOWED ON SITE.
- PARKING: THERE IS NO PARKING AVAILABLE ON SITE. OFF STREET PARKING IS AVAILABLE. FOLLOW ALL LOCAL LAWS AND ORDINANCES.
- THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING IF REQUIRED AND CONNECT TO TEMPORARY ELECTRIC SERVICE.
- PROVIDE TEMPORARY VENTILATION EQUIPMENT AS REQUIRED.
- TEMPORARY WATER SERVICE: CONNECT TO EXISTING WATER SOURCE. IF UTILITY IS CAPPED, COORDINATE ACCESS WITH OWNER.
- PROVIDE REQUIRED TEMPORARY SANITARY FACILITIES. EXISTING OWNER FACILITIES MAY NOT BE USED.
- CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.
- ALL REQUESTS FOR INFORMATION ARE TO BE SUBMITTED TO THE ARCHITECT IN WRITING AND WILL BE RESPONDED TO WITHIN NO MORE THAN FIVE (5) CALENDAR DAYS.
- CONTRACTOR TO PROVIDE ALL NECESSARY INSURANCE PER CONTRACT.
- ALL PATCHES IN EXISTING WALLS TO BE FLUSH WITH EXISTING WALL SURFACE AND TO MATCH IN TEXTURE WITH SURROUNDING SO AS TO NOT BE EVIDENT.
- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCE ARS 40-1603.
- ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER. ALL FIXTURES TO BE INSTALLED BY CONTRACTOR.
- ALL MATERIALS SHALL BE NEW AND U.L. LISTED UNLESS SPECIFICALLY DESIGNATED OTHERWISE.
- NO WORK SHALL BE CONCEALED UNTIL APPROVED BY INSPECTORS.

GENERAL NOTES, CONT.

- ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE, AND NATIONAL CODES AS REQUIRED.
- CONTRACTOR TO WARRANTEE ALL WORK FOR ONE YEAR FROM ACCEPTANCE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL PAY FOR ALL WATER AND POWER USED FOR CONSTRUCTION, FROM EXISTING SOURCES.
- EXTERIOR CAULKING SHALL BE TOP QUALITY PAINTABLE CAULK/MINIMUM 35 YEAR LIFE.
- PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE THREE (3) COATS. COLOR AND FINISH TO BE SELECTED BY OWNER AND VERIFIED BY CONTRACTOR PRIOR TO CONTRACT SIGNING. ALL PAINT TO BE HIGHEST QUALITY BY THE MANUFACTURER & COLORS.
- FINE NAP FINISH FOR ALL NEW GYPSUM BOARD WALLS UNLESS SPECIFIED OTHERWISE.
- SITE SHALL BE LEFT BROOM CLEAN DAILY. PROVIDE COMPLETE CLEANUP ON A WEEKLY BASIS. NO TRASH SHALL BE STORED IN BUILDING. PROPER DISPOSAL REQUIRED.
- ALL BATT INSULATION SHALL HAVE A CLASS 'A' (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
- ALL WOOD SHALL BE TREATED, AIR LUMBER, WHERE IN CONTACT WITH THE GROUND. PAINTED EXTERIOR WOOD SHALL BE TREATED AND FULLY AIR DRIED BEFORE PRIMING OF BACK, END, AND EDGE AND (2) COATS OF PREMIUM GRADE, EXTERIOR PAINT.
- THE CONTRACTOR SHALL ENSURE PROPER WATER DRAINAGE FROM ROOF TO UNDERGROUND. NO PART OF THE SITE SHALL BE ALLOWED TO ACCUMULATE NEXT TO THE EXISTING OR PROPOSED STRUCTURE.
- THE CONTRACTOR ACKNOWLEDGES THAT HE HAS EXAMINED AND THOROUGHLY FAMILIARIZED HIMSELF WITH ALL EXISTING CONDITIONS INCLUDING ALL APPLICABLE LAWS, CODES, ORDINANCES, RULES, AND REGULATIONS THAT WILL AFFECT HIS WORK. THE CONTRACTOR FURTHER ACKNOWLEDGES THAT HE HAS VISITED THE SITE, EXAMINED THE GROUNDS AND ALL EXISTING BUILDINGS, UTILITIES, AND ROADS; THAT HE HAS INVESTIGATED AND SATISFIED HIMSELF AS TO CONDITIONS AFFECTING THE WORK INCLUDING BUT NOT RESTRICTED TO THOSE BEARING UPON TRANSPORTATION, DISPOSAL, HANDLING, AND STORAGE OF MATERIALS, THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING PROSECUTION OF THE WORK.
- THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN GRADES, LINES, LEVELS, AND DIMENSIONS SHOWN ON DRAWINGS AND REPORT ANY OBSERVED ERRORS OR INCONSISTENCIES TO THE ARCHITECT BEFORE BEGINNING WORK.
- ESTABLISH BENCHMARKS AND BASIC LINES AND GRADES IN CONFORMITY WITH ARCHITECT'S PERMANENT BENCHMARKS AND COORDINATE SYSTEMS FOR THE CONSTRUCTION AREA.
- BEFORE STARTING EACH SECTION OF WORK, THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL PREPARATORY WORK THAT HAS BEEN EXECUTED. THE CONTRACTOR SHALL CHECK CAREFULLY TO ENSURE THAT HIS WORK AND ANY RELATED WORK WILL FINISH TO PROPER CONTOURS, PLANES, AND LEVELS. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DEFECTS OR IMPERFECTIONS IN PREPARATORY WORK, WHICH WILL, IN ANY WAY, AFFECT SATISFACTORY COMPLETION OF WORK. ABSENCE OF SUCH NOTIFICATION WILL BE CONSTRUED AS AN ACCEPTANCE OF PREPARATORY WORK, AND LATER CLAIMS OF DEFECTS THEREIN WILL NOT BE RECOGNIZED. UNDER NO CONDITION SHALL A SECTION OF WORK PROCEED PRIOR TO PREPARATORY WORK HAVING BEEN COMPLETED, CURED DRIED, AND OTHERWISE MADE SATISFACTORY TO RECEIVE SUCH RELATED WORK. RESPONSIBILITY FOR TIMELY INSTALLATION OF ALL MATERIALS REST SOLELY WITH THE CONTRACTOR, WHO SHALL MAINTAIN COORDINATION CONTROL AT ALL TIMES.
- COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE HIGHER STANDARD PREVAILS.
- AT NO TIME SHALL THE CONTRACTOR LEAVE THE JOB SITE OPEN AND UNLOCKED WITHOUT PERSONNEL ON SITE.
- DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS OR SIZES OF COMPONENTS.
- CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES, TEL/DATA, OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF THE WORK.

EXTERIOR PAINTING NOTES:

- LEAD BASE PAINT IS SUSPECTED ON ALL PREVIOUSLY PAINTED SURFACES. CONTRACTOR IS TO INCLUDE ABATEMENT/ENCAPSULATION IN CONTRACT PRICE FOR WORK
- A MINIMUM 3'-0" X 3'-0" SAMPLE OF COLOR IS TO BE PAINTED IN PLACE FOR V.C.C. REVIEW AND APPROVAL PRIOR TO PAINTING OF ENTIRE SURFACE. FINAL COLOR APPROVAL IS TO BE SIGNED BY OWNER AND V.C.C. PRIOR TO PAINTING OF ENTIRE SURFACE.



WILLIAMS ARCHITECTS
824 BARBOURNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (williams) make no representation or warranty as to the accuracy of the information provided by others in connection with this project.

John C. Williams
Architect



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CRU LOUNGE
301 Decatur Street
New Orleans, LA 70130

-REVISIONS-

No.	Date	Scope

DRAWING
TITLE PAGE

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SCALE: As indicated
JOB No: 520088
DATE: 02/01/2022
Sheet No.

G001

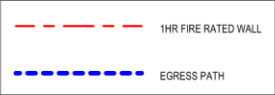


301 Decatur

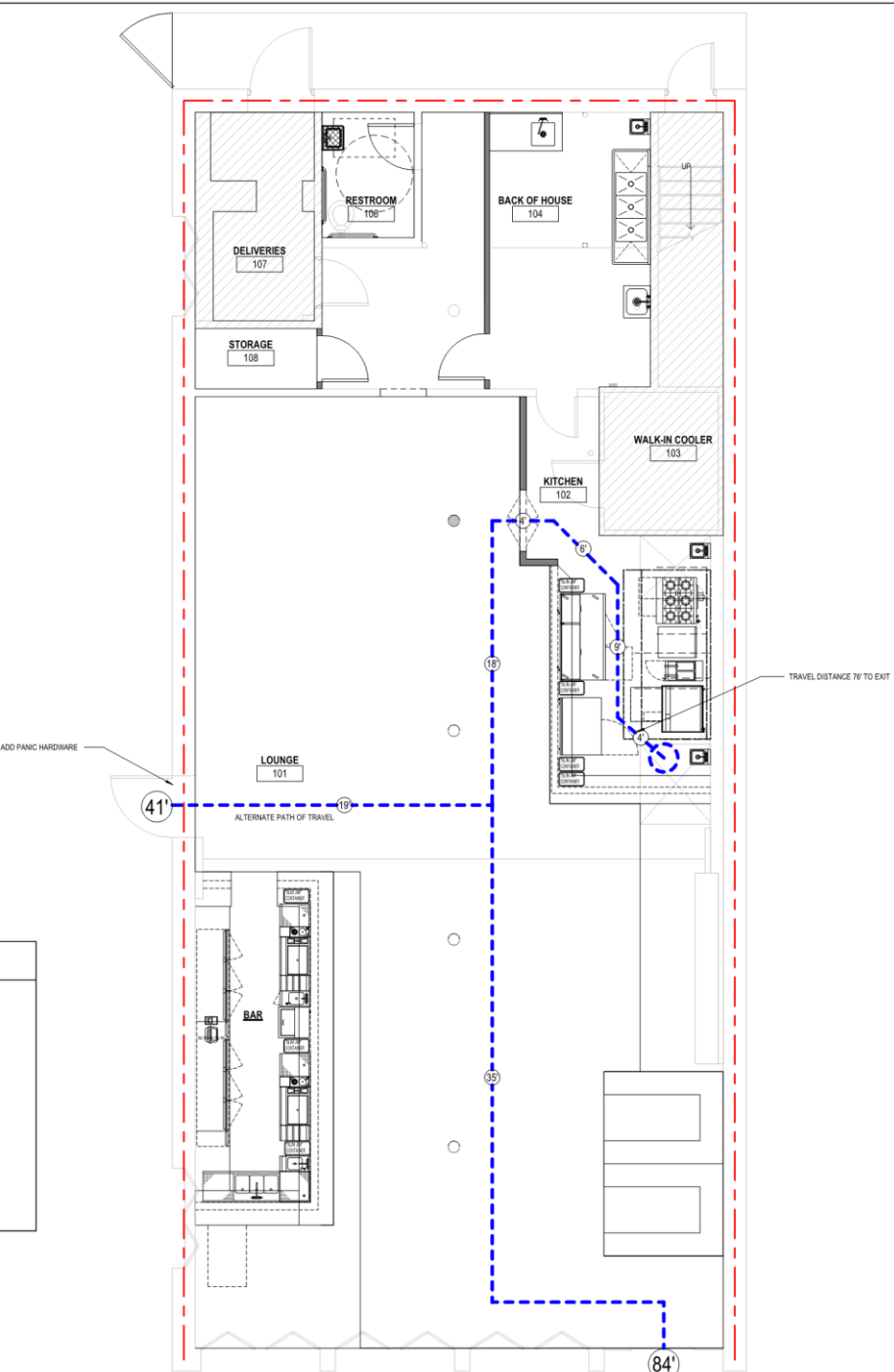
VCC Architectural Committee

May 10, 2022

LIFE SAFETY CALCULATIONS			
Occupancy: Assembly – Chapter 12 & 13 (Exist)			
Occupant Load Factor			
Assembly		15 sf/person	
Unconcentrated use		1 person per 18 linear in.	
Bench Type Seating/Bar		100 sf/person	
Kitchen			
Loads:			
Assembly - Unconcentrated		621 sf @ 1:15 = 41	
Assembly - Bar		22 sf @ 1:18 = 14	
Assembly - Booth Seating		8 per booth = 24	
Assembly - Kitchen		400 sf/100 = 4	
TOTAL OCCUPANTS		83	



1
LIFE SAFETY PLAN
1/4" = 1'-0"



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824 BARRINGER STREET
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John C. Williams



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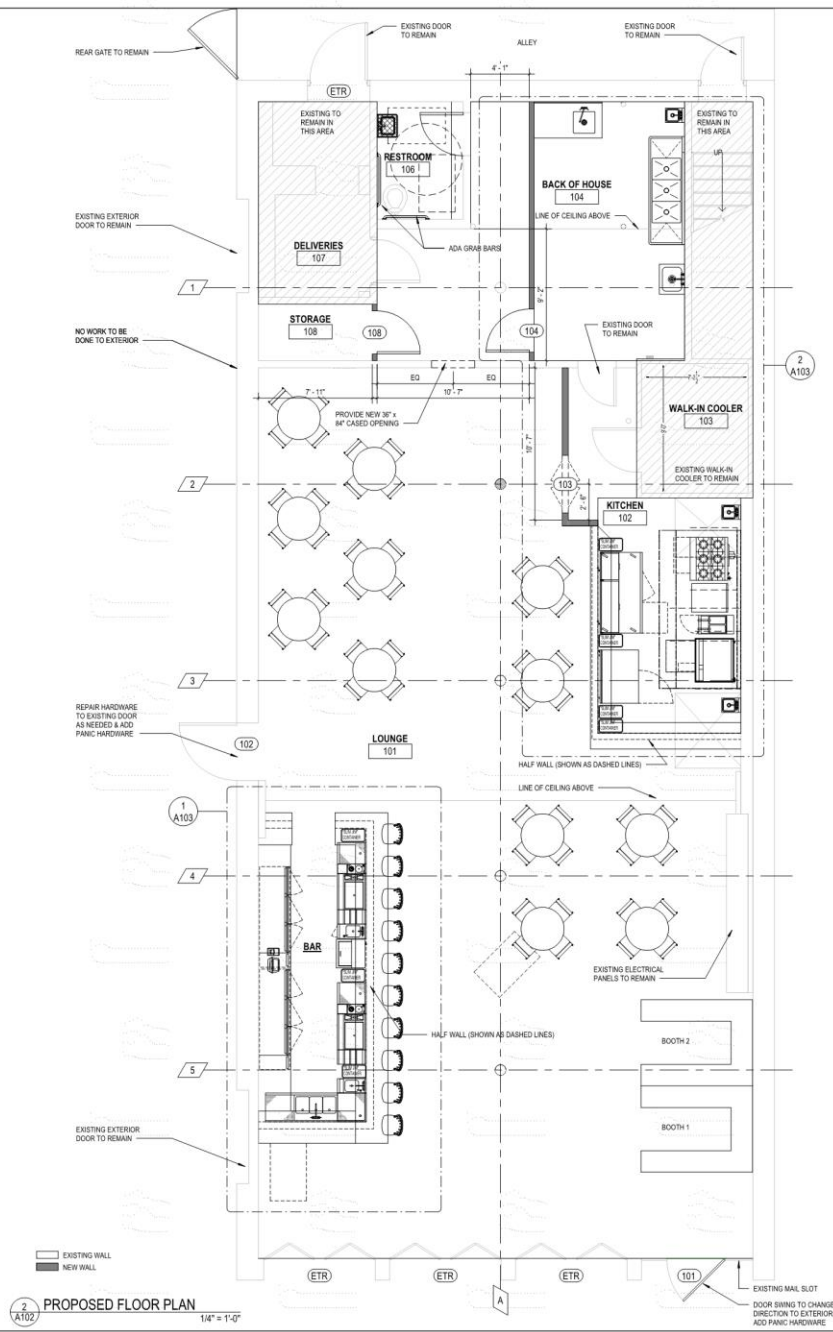
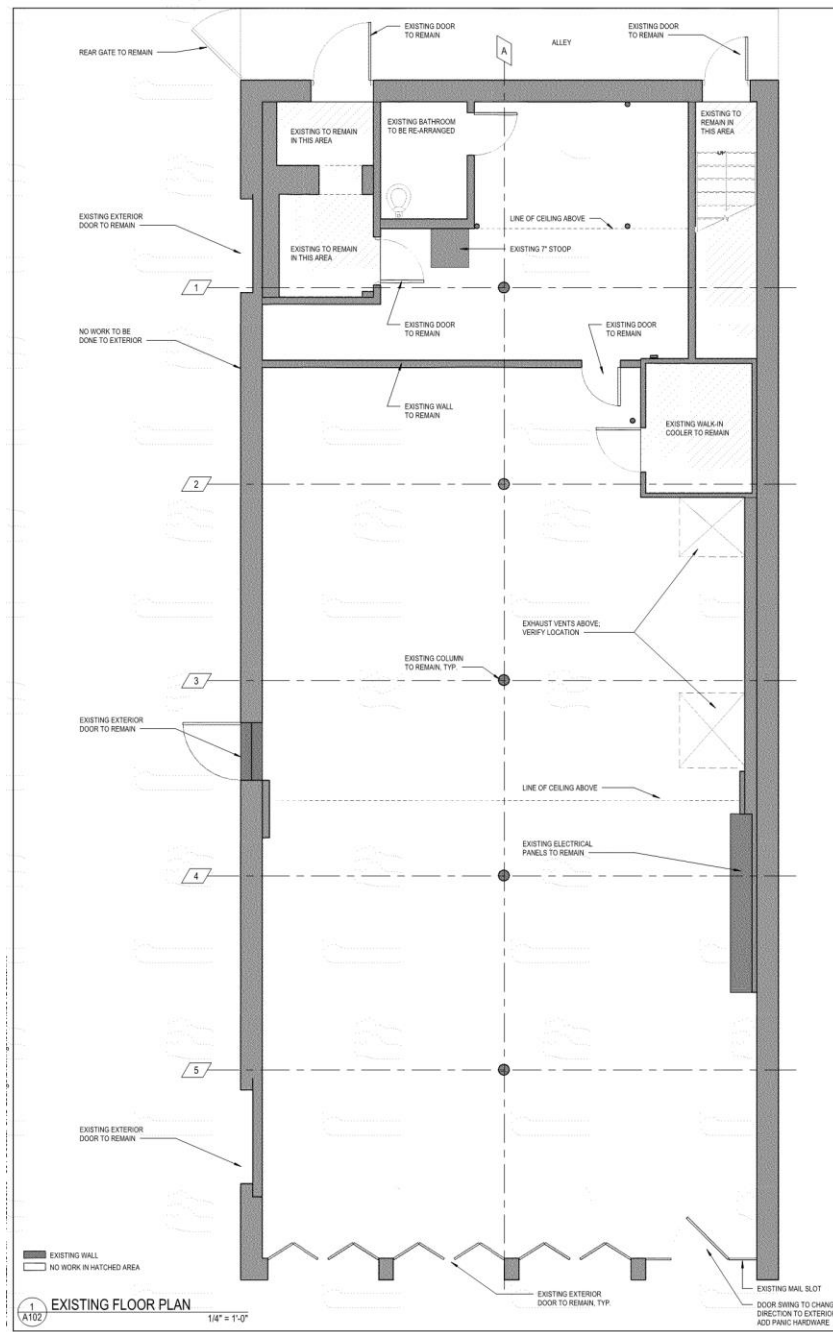
CRU LOUNGE
301 Decatur Street
New Orleans, LA 70130

-REVISIONS-		
No.	Date	Scope

DRAWING
EXISTING & NEW FLOOR
PLAN

DRAWING BY 1/4" = 1'-0" CB
SCALE 520088
JOB No. 02/01/2022
DATE
Sheet No.

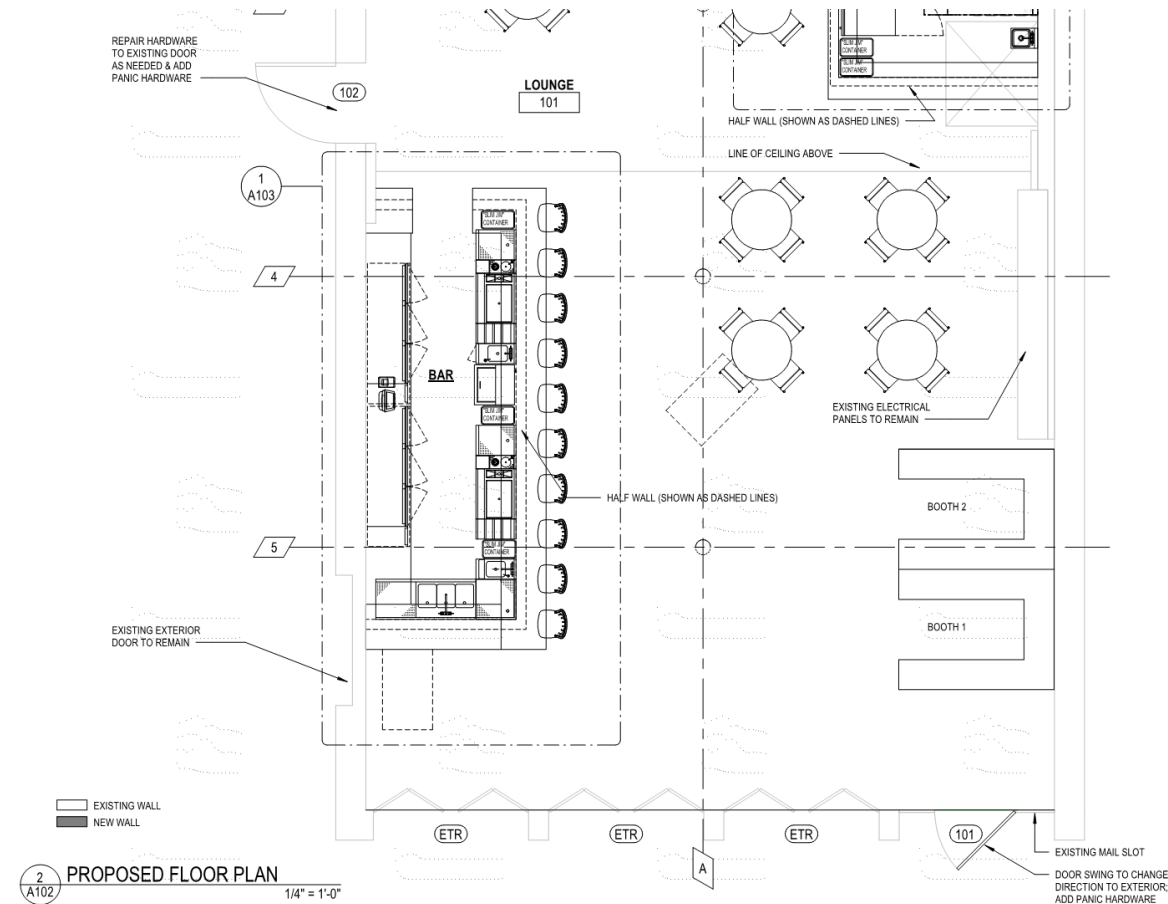
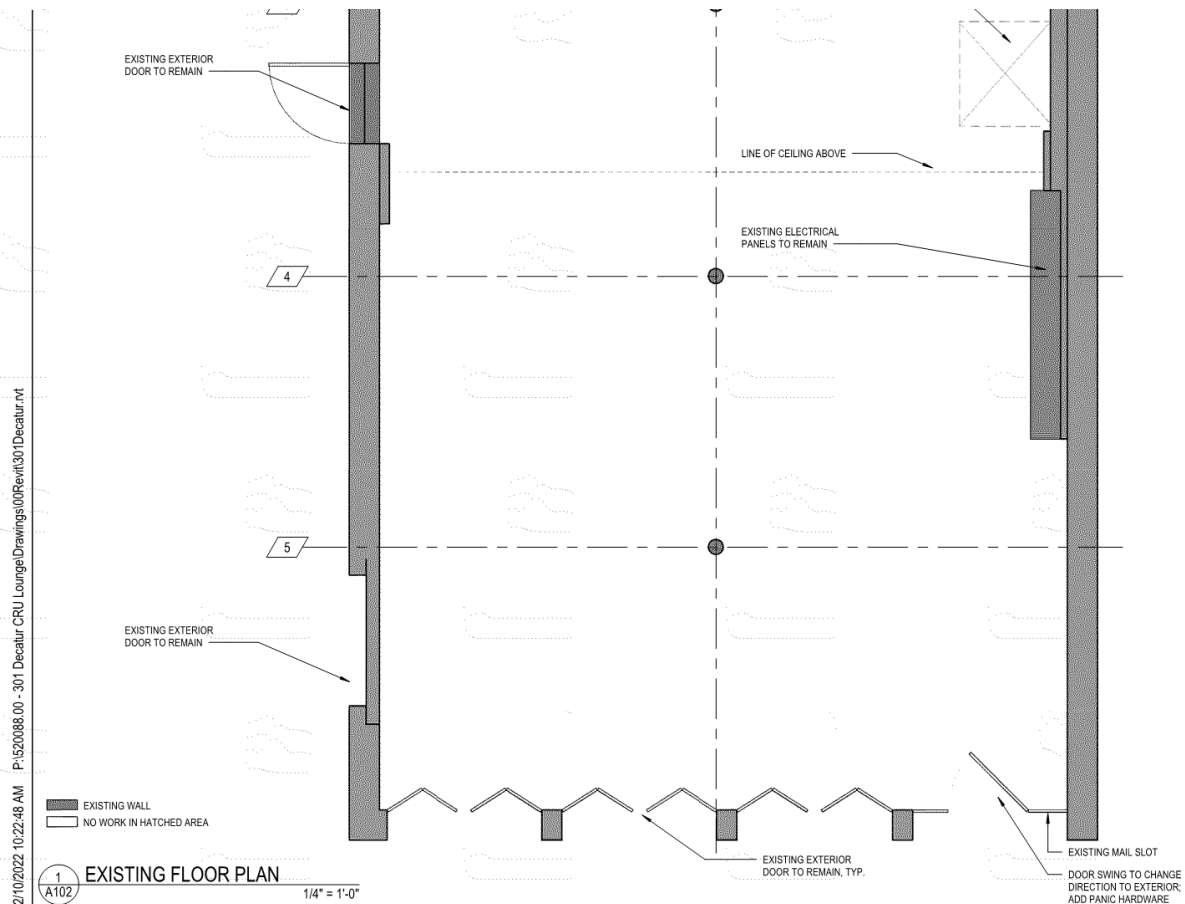
A102



301 Decatur

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May 10, 2022





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824 BARONNE STREET
NEW ORLEANS, LA 70113
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I (we) ~~will~~ provide project construction administrative services on this project.

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301 Decatur Street
New Orleans, LA 70130

-REVISIONS-

No.	Date	Scope

DRAWING DETAILS

DRAWING BY
SCALE
JOB No. 520088
DATE 03/21/22
Sheet No.

A500



INTERIOR OF DOOR
LOCATION OF EXTERIOR DOOR HINGES



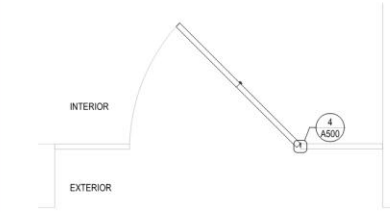
INTERIOR SIDE OF DOOR
EXISTING DOOR HINGE



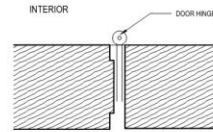
EXTERIOR OF DOOR
LOCATION OF EXTERIOR DOOR HINGES



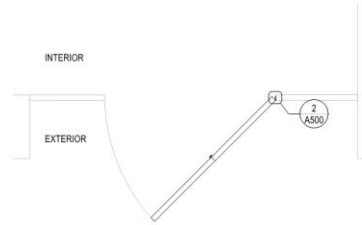
EXTERIOR SIDE OF DOOR
NEW DOOR HINGE LOCATION



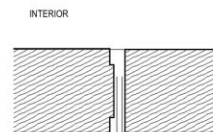
EXISTING DOOR CONDITION
3/4" = 1'-0"



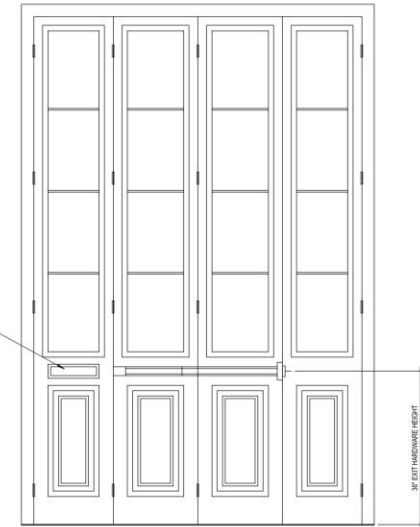
EXISTING DOOR JAMB
12" = 1'-0"



PROPOSED DOOR CONDITION
3/4" = 1'-0"



PROPOSED DOOR JAMB
12" = 1'-0"



NOTE: EXIT HARDWARE NOT TO BE VISIBLE FROM EXTERIOR.

EXTERIOR DOOR ELEVATION
3/4" = 1'-0"



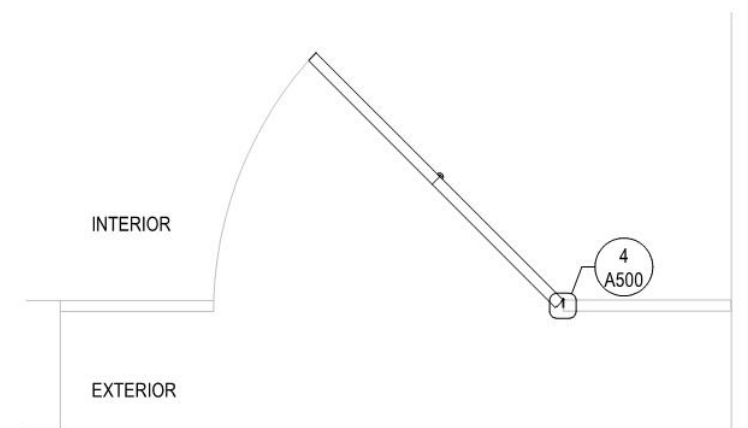
INTERIOR OF DOOR
LOCATION OF EXTERIOR DOOR HINGES



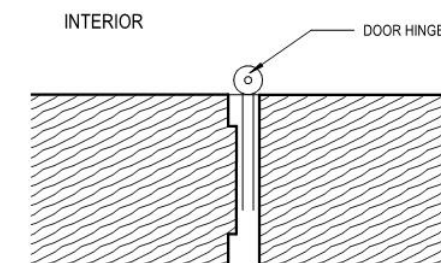
INTERIOR SIDE OF DOOR
EXISTING DOOR HINGE



301 Decatur
VCC Architectural Committee



3 A500 EXISTING DOOR CONDITION
3/4" = 1'-0"



4 A500 EXISTING DOOR JAMB
12" = 1'-0"

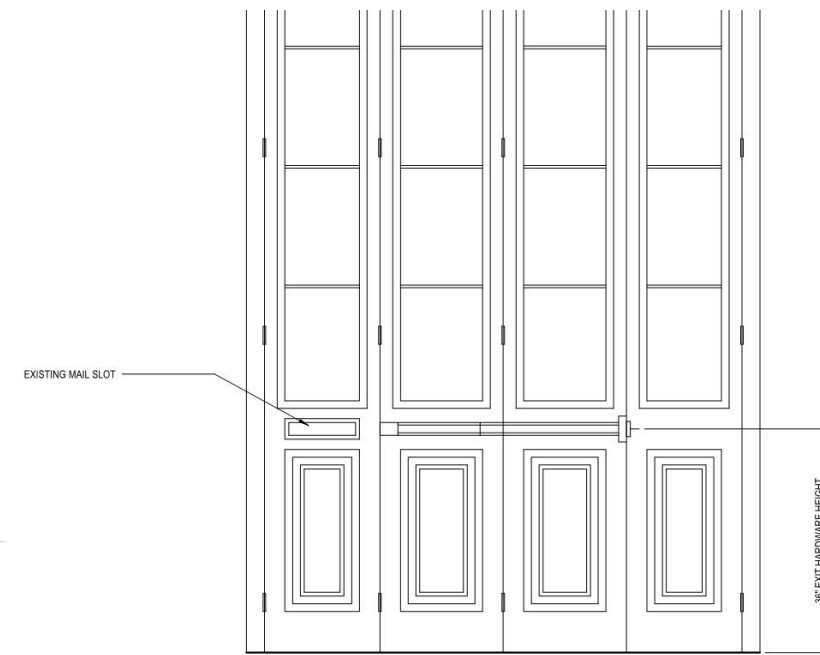
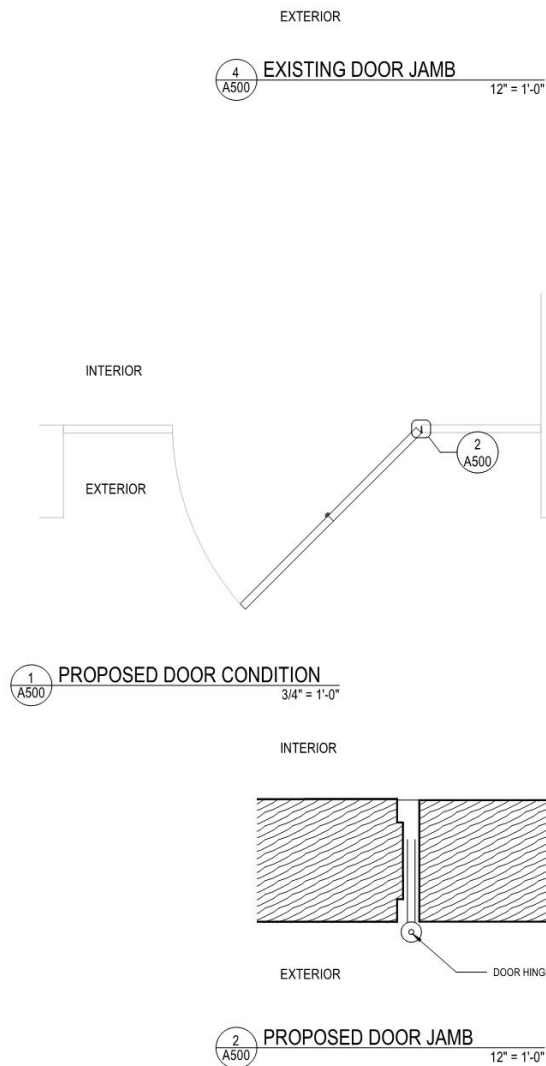




EXTERIOR OF DOOR
LOCATION OF EXTERIOR DOOR HINGES



EXTERIOR SIDE OF DOOR
NEW DOOR HINGE LOCATION



NOTE: EXIT HARDWARE NOT TO BE VISIBLE FROM EXTERIOR.

5
A500

EXTERIOR DOOR ELEVATION

3/4" = 1'-0"



John Bel Edwards
GOVERNOR

Office of State Fire Marshal

8181 Independence Blvd. Baton Rouge, LA 70806
(225) 925-4911 (800) 256-5452 Fax (225) 925-4241

PLAN REVIEW APPLICATION



H. "Butch" Browning
FIRE MARSHAL

JOHN WILLIAMS JOHN C. WILLIAMS ARCHITECTS, LLC
824 BARONNE STREET
NEW ORLEANS LA 70113

Project Number: **AR-21-019908**
Review Type: **Architectural Review**
Status: **Corrections Requested**
Date Completed:
Code Edition: **2015**

DEFICIENCIES CITED ON THE PROJECT

In accordance with L.R.S. 40:1574 et seq., satisfactory compliance with the requirements of the laws, rules, regulations and codes of the state that are entrusted to the State Fire Marshal to uphold must be achieved before any work is performed. As such, a permit shall not be issued or construction or installation of the scope of work identified herein shall not commence until the Status of this review is "Released" and the requirements of other state and local entities have been satisfied.

Project Description:				NO EXTERIOR WORK TO BE DONE; ONLY WORK DONE ON GROUND FLOOR; SLIGHT RENOVATIONS TO INTERIOR LAYOUT; REUSE OF EXISTING MECHANICAL EXHAUST VENTS TO BE USED FOR KITCHEN			
Project Name:				Address:			
CRU LOUNGE				301 DECATUR STREET, NEW ORLEANS, LA 70130			
Funding Type:	Within City Limits?	Number of Stories:	High Rise Building:				
Private Project	YES	3	No				
Occupancy Separation Type:	Total Occupancy Square Feet:	Project on which Floor(s):	Construction Type:				
	3100	1	V-A / V(111)				
Additional Features (if applicable):				Sprinkler System - 13, Kitchen Hood Fire Suppression System, Fire Alarm System			

Occupancy Type(s) and Square Feet		
Occupancy Type:	Square Feet:	Details:
Assembly - Group A	2000	OCCUPANCY RATING: 50 TO 299 OCCUPANTS; ASSEMBLY TYPES: GROUP A-2

Renovation		
Renovation or Addition:		
Alteration Level 2 (less than or equal to 50% of the building's physical value), Change in use of the building		
Date of Original Building Construction:		
Date of Latest Major Renovation to this Building:		
Existing Square Feet:	Additional Square Feet:	Renovated Square Feet:
3100		2695
Previous Occupancies:		
Mercantile		
Generator Installation:		
Facility Licensed By DHH Health Standards Section: No		

Louisiana State Uniform Construction Code Review	
Review for the LSUCCC performed by:	3rd Party Provider's Registration Number:
Parish or Municipal Permitting Office	

301 Decatur

VCC Architectural Committee

May 10, 2022



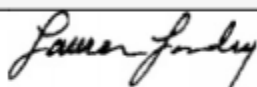
Individuals Involved in this Project		
Name:	Role:	Address:
JOHN WILLIAMS	Professional of Record (A-3145)	824 BARONNE STREET, NEW ORLEANS, LA 70113
MALCOLM JOHNSON	Owner	301 DECATUR STREET, NEW ORLEANS, LA 70130

Deficiencies	
1	<p>RS 40:1574 and/or RS 40:1730.39.A Additional action, drawings and/or specifications are required:</p> <p>~ THE ADDITION OF WALL(s) AND/OR DOOR(s), or a CHANGE OF OCCUPANCY TYPE EXCEEDS "ALTERATION LEVEL 1" CLASSIFICATION. Review of this project will continue after payment of the BALANCE DUE of \$65.00.</p> <p>THIS IS NOT AN ALTERATION LEVEL 1; ADDITIONAL PAYMENT REQUIRED.</p>
2	<p>101:7.2.1.2.3.2, 101:7.1.5.1, and IBC 1010.1.1 A doorway in a means of egress shall provide at least 32" in clear width (consider installing 36" wide doors) and at least 6'-8" in nominal height. Where a pair of doors is provided, at least one leaf shall comply with clear width requirement.</p> <p>THIS APPLIES TO THE BAR DOOR, EGRESS DOORS AND ALL NEW DOOR. PROVIDE A DOOR SCHEDULE.</p>
3	<p>101:7.2.1.4 and IBC 1010.1.2 Egress door(s) at the BAR COUNTER shall be side-hinged and capable of swinging from any position to the full required width of the opening in which it is installed.</p> <p>REVISION REQUIRED, DETAIL 1/A103 - BAR LAYOUT, DOOR AT THE BAR MUST BE SIDE-HINGED AND MEET REQUIREMENTS OF REFERENCED CODE ABOVE. REFERENCE OSFM MARKUP ATTACHED.</p>
4	<p>101:7.2.1.4.2 and IBC 1010.1.2.1 Egress door(s) serving an area with 50 or more occupants shall swing in the direction of egress travel.</p> <p>REVISION REQUIRED, THIS APPLIES TO THE EXIT DOOR ON DECATUR STREET.</p>
5	<p>IBC 1010.1.10 Doors in a required means of egress serving any ASSEMBLY area having an occupant load of 50 or more persons shall NOT be equipped with a latch or lock other than panic hardware or fire exit hardware.</p> <p>THIS APPLIES TO THE EXIT DOORS; INDICATE SPECIFIED HARDWARE.</p>
6	<p>LRS 40:1731-(Effective 10/01/11) Provide access for persons with disabilities in accordance with the ADA-ABA Accessibility Guidelines, July 23, 2004 (also known as the 2010 Standards). This does not include a review for compliance with the Federal Americans with Disabilities (Civil Rights) Act of 1990. Compliance with state regulations and requirements does not guarantee compliance with federal law. NOTE: As per ADA-ABA 2004, Section F103, Office of State Fire Marshal appeal determinations are not valid for facilities that are designed, constructed, altered, or operated with federal funds, or leased by a federal agency. The authority having jurisdiction over such appeals is the administrator of the General Services Administration (GSA). Particular deficiencies and paragraph references are noted as follows:</p> <p>--ADA-ABA:604.1 Water closets and toilet compartments shall comply with 604.2 through 604.8 and 603 as follows:</p> <p>1. 604.3.1 Provide a clearance around the water closet that complies with Figure 604.3.1. Clearance around a water closet shall be 60 inches minimum measured perpendicular from the side wall and 56 inches minimum measured perpendicular from the rear wall. (NOTE: As per 604.3.2 No other fixtures or obstructions shall be located within the required water closet clearance.)</p> <p>2. 603.2.1 Provide a 5' turning radius or T-shaped turning space complying with 304 within the room (located outside of any stalls and clear of all fixtures.)</p> <p>REVISION REQUIRED, THE ALTERED SINGLE USE RESTROOM IS TO BE ACCESSIBLE.</p> <p>--ADA-ABA:207.1 Provide a minimum of 1 accessible means of egress.</p> <p>SHOW THE ACCESSIBLE MEANS OF EGRESS FROM THE LOUNGE.</p> <p>--ADA-ABA:226.1 Where dining surfaces are provided for the consumption of food or drink, at least 5% (and no less than 1) of the seating spaces shall comply with Section 902. Accessible dining shall be dispersed.</p> <p>--ADA-ABA:902.1 Dining surfaces and work surfaces shall comply with the following:</p> <p>~ 902.2 Provide a 30" x 48" clear floor space positioned for a forward approach.</p> <p>~ 902.3 The tops of dining surfaces and work surfaces shall be 28" minimum and 34" maximum above the finish floor or ground</p> <p>PROVIDE AN ACCESSIBLE PORTION OF THE BAR AS STATED ABOVE AND PROVIDE ACCESSIBLE TABLE DINING.</p>



	REVISION REQUIRED, DETAIL 1/A103 - BAR LAYOUT, DOOR AT THE BAR MUST BE SIDE-HINGED AND MEET REQUIREMENTS OF REFERENCED CODE ABOVE. REFERENCE OSFM MARKUP ATTACHED.
4	101:7.2.1.4.2 and IBC 1010.1.2.1 Egress door(s) serving an area with 50 or more occupants shall swing in the direction of egress travel. REVISION REQUIRED, THIS APPLIES TO THE EXIT DOOR ON DECATUR STREET.
5	IBC 1010.1.10 Doors in a required means of egress serving any ASSEMBLY area having an occupant load of 50 or more persons shall NOT be equipped with a latch or lock other than panic hardware or fire exit

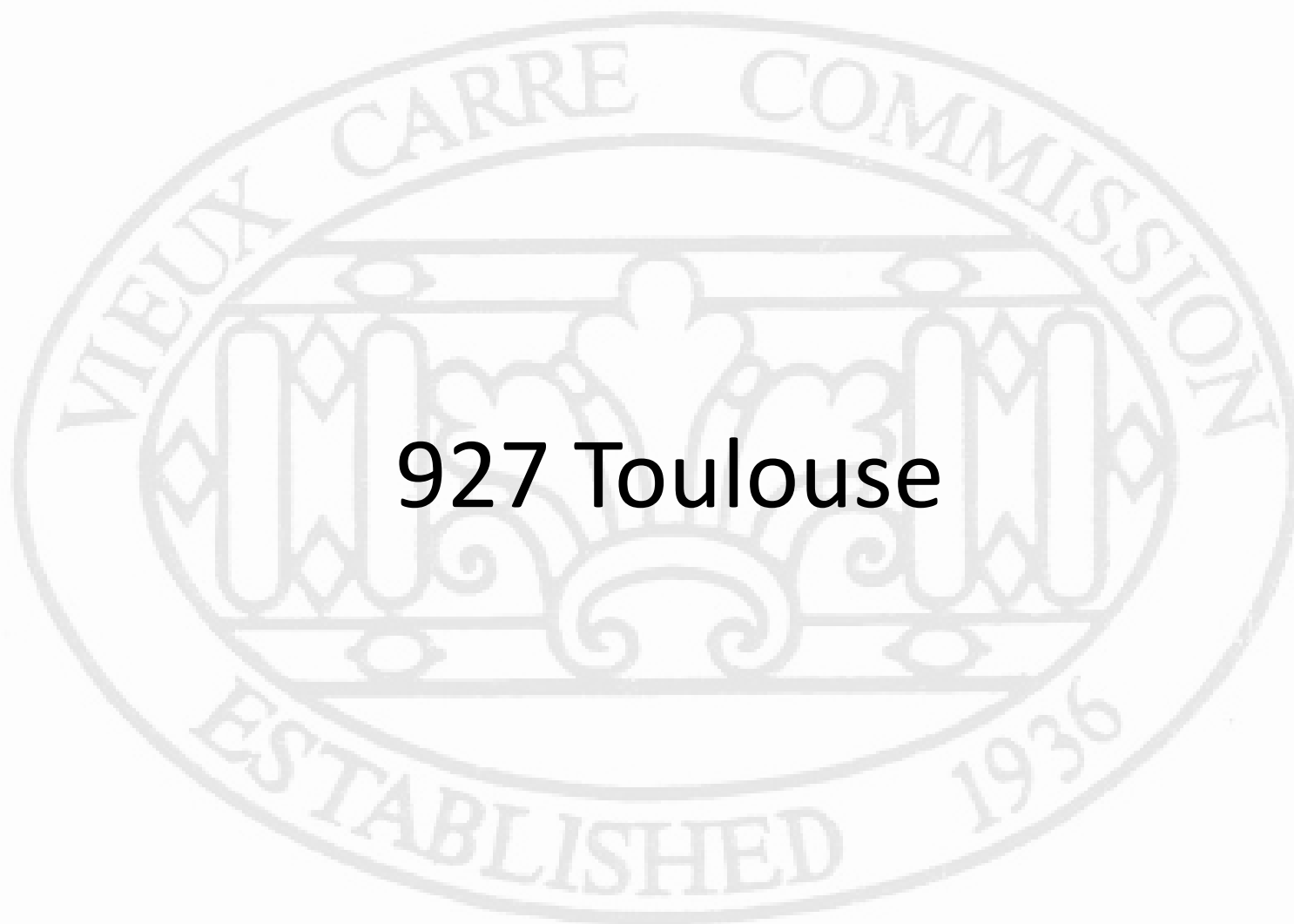
Corrections to the deficiencies identified herein are required. The review will continue upon receipt of revised drawings, addendum, change orders, or other appropriate documentation that satisfactorily addresses corrections to the listed item(s). If this information is not received by this office within 21 days of the date of this notice, the status will be identified as "Resubmittal Required" whereby a resubmittal of the project along with the applicable review fee will be required. In accordance with L.R.S. 40:1574 et seq., CONSTRUCTION IS NOT AUTHORIZED until a satisfactory review by this office has been performed by this office. As such, permits shall not be issued until the Status of this review is identified as "Released"

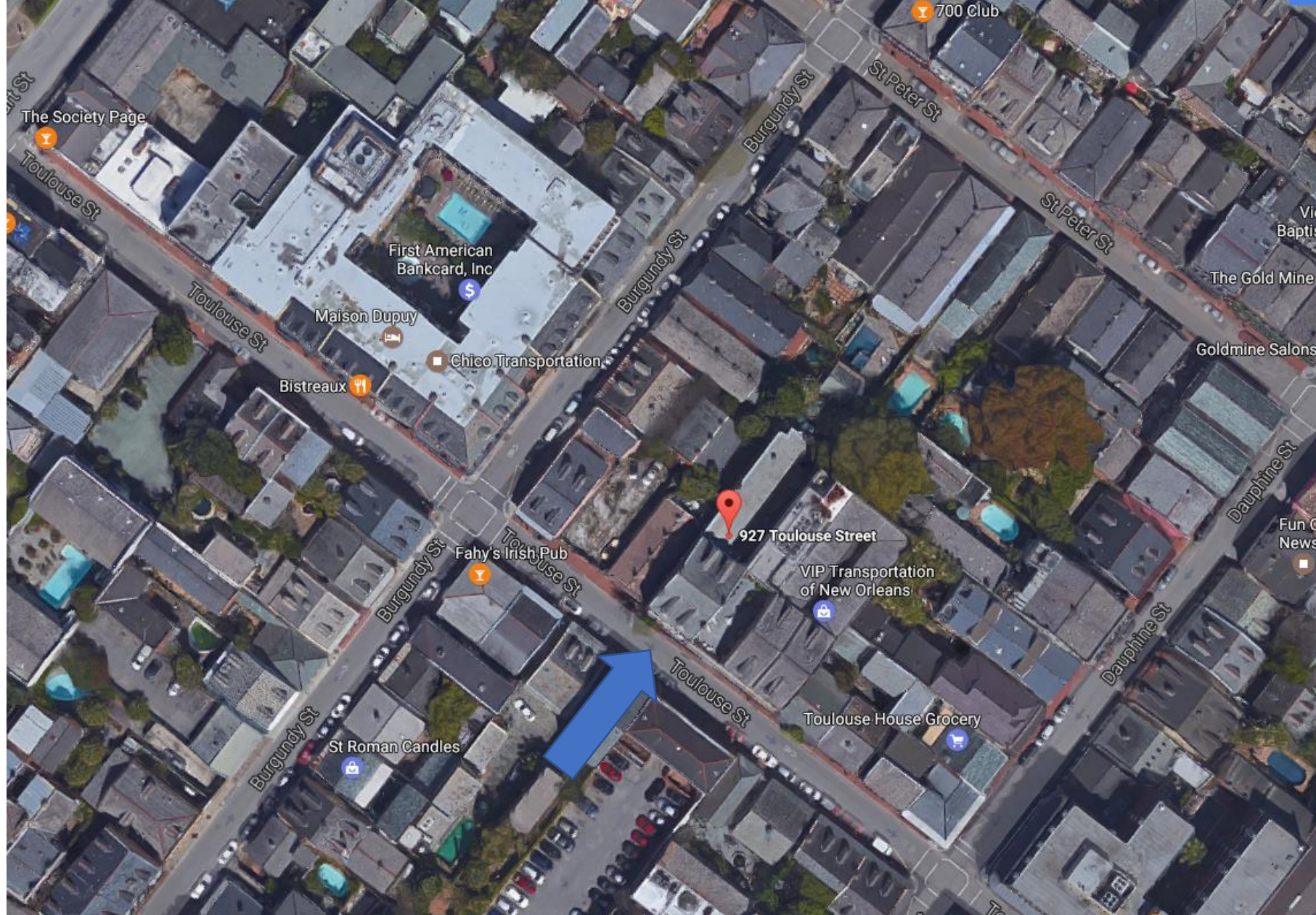
Review Completed By	
Signature:	
Name: Lauren Landry	Badge No.: 702

Distribution List		
Name	Firm Name	Role
NEW ORLEANS CITY PERMITS		Permit Office



927 Toulouse





927 Toulouse





927 Toulouse



927 Toulouse

VCC Architectural Committee

May 10, 2022





927 Toulouse

VCC Architectural Committee

02 26 2021

May 10, 2022





927 Toulouse

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May 10, 2022





927 Toulouse

VCC Architectural Committee

May 10, 2022





927 Toulouse

VCC Architectural Committee

May 10, 2022





6676 Corporate Center Parkway
Suite 107
Jacksonville, FL 32216
Phone: (800) 890-4835
www.itelinc.com

Attn: **Ethan Ozburn** From: **ITEL Customer Experience Dept.**
To: **Witten Roofing** Email: **customerexperience@itelinc.com**
Email: **ethan@wroofing.net**

SLATE ROOFING EVALUATION

CUSTOMER INFORMATION			
Customer:	Generic Customer/, FL	Control #:	ERS8100776
Cust ID:	CUST0004	Date Received:	1/10/2022
Adjuster:	Pre-Paid Not a Bill	Date Invoiced:	1/11/2022
		Additional:	Witten Roofing
		Vendor Job#:	
		Contact:	Ethan Ozburn, ethan@wroofing.net
Comments: ***01/25/2022: REVISED REPORT: Updated address /			
INSURED INFORMATION			
Claim #:	NOT PROVIDED TO ITEL		Loss Date:
Insured Name:	Roland Touns		Area Damaged: 927 Toulouse Street
City,State,Zip:	New Orleans, LA 70112		
Comments:			
ORIGINAL PRODUCT			
	Brand	Line	Color
Comments:	The original sample appears to match the specifications and characteristics of a Non-weathering Gray Slate with a nominal overall thickness of (.1875- .250"). This type of product is still available, however due to weathering of the existing roof tiles the initial color appearance may vary. Recommend blending new tiles into various points in each slope to minimize initial color difference. /		
SIMILAR MATCH(ES)			
*Similarity Rating	Brand	Line	Color
2	Vermont Structural Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	Local Distributor/Supplier: Approx. 11 miles away, The Roof Tile & Slate Company, 504-712-6859, Kenner, LA 70062		
	Manufacturer Contact Info: Vermont Structural Slate Company / www.vermontstructuralslate.com / (800) 343-1900		
2	Evergreen Slate Company	Semi-Weathering Gray-Green 12"	Gray/Green - W
	Local Distributor/Supplier: Approx. 5 miles away, ABC Supply #079, 504-733-2225, Jefferson, LA 70121		
	Manufacturer Contact Info: Evergreen Slate Company / www.evergreenslate.com / 866-USA-SLATE		
Comments:			
*Similarity Rating: 1- Excellent match in pattern, color, specifications (candidate for same slope repair) 2- Good match, pattern very similar, specifications exact or very close, color close (may be candidate for full elevation and/or non-adjacent slope replacement) 3- Comparable specification match only, no suitable repair match found, (quality indicator for warranty determination only)			
SLATE ANALYSIS			
Color:	Gray/Green - W		Average Thickness: 0.1875 - 0.2500 (3/16 - 1/4)"
Width:	0		Specialty Shape: N/A
Height:	12.000		Nail Holes: Yes
Comments:	Installers should verify visual and dimensional compatibility before purchasing and installing replacement products. /		
COMMENTS			

927 Toulouse

VCC Architectural Committee

May 10, 2022



Existing slate shingles

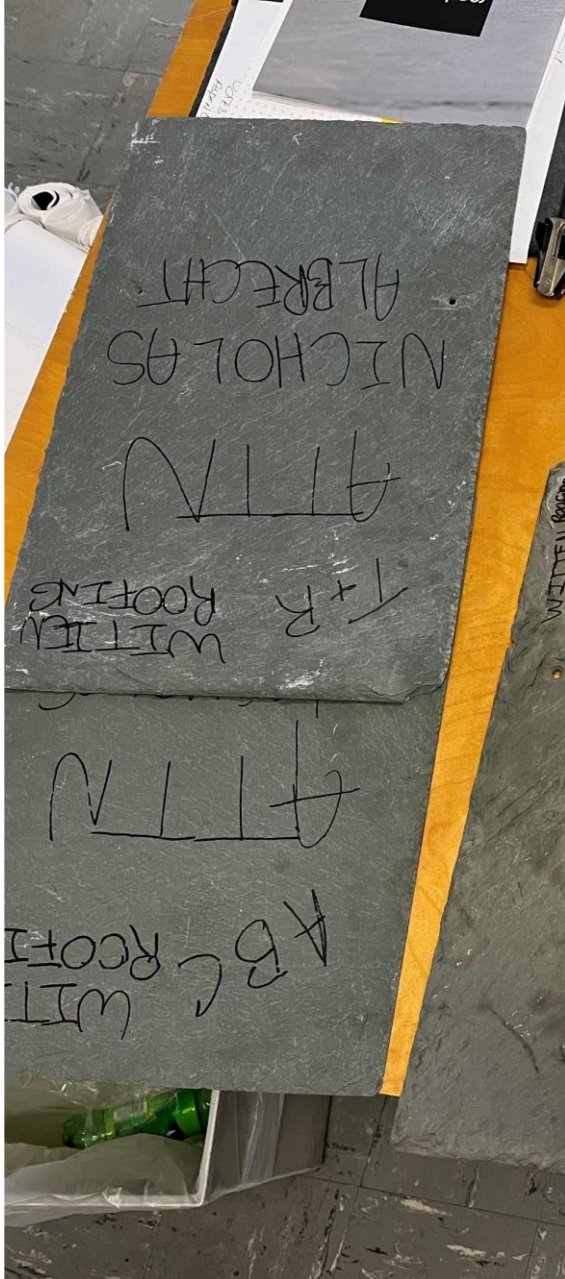
Proposed Slates for
Repairs Option 1



Existing slate shingles

Proposed Slates for
Repairs Option 2





927 Toulouse Proposed
VCC Architectural Committee

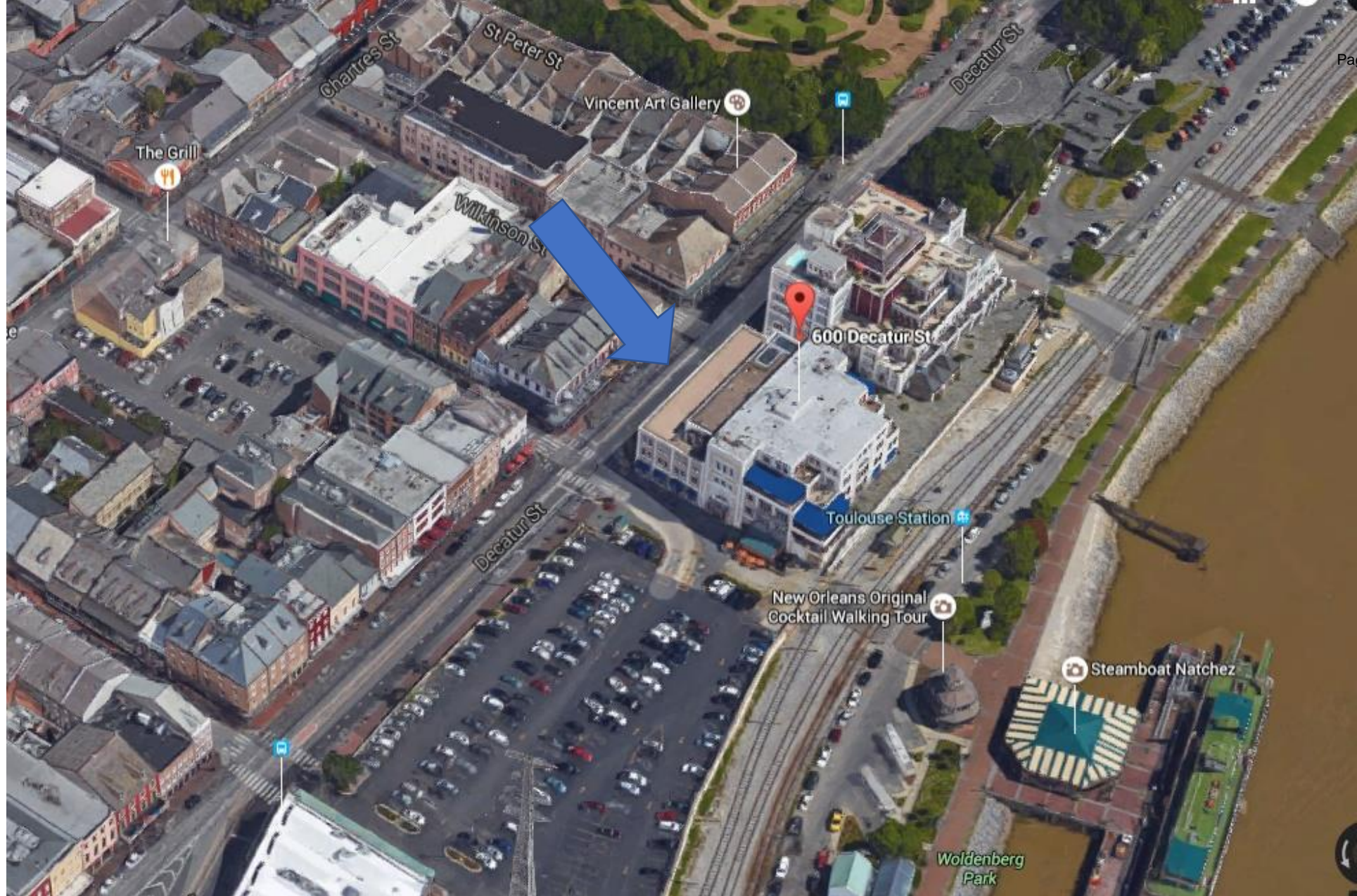
Existing

May 10, 2022



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The shield is flanked by two vertical bars with diamond-shaped details. The entire shield is set within a circular border. The text "VIEUX CARRE COMMISSION" is written in a serif font along the top arc of the border, and "ESTABLISHED 1936" is written along the bottom arc.

600 Decatur

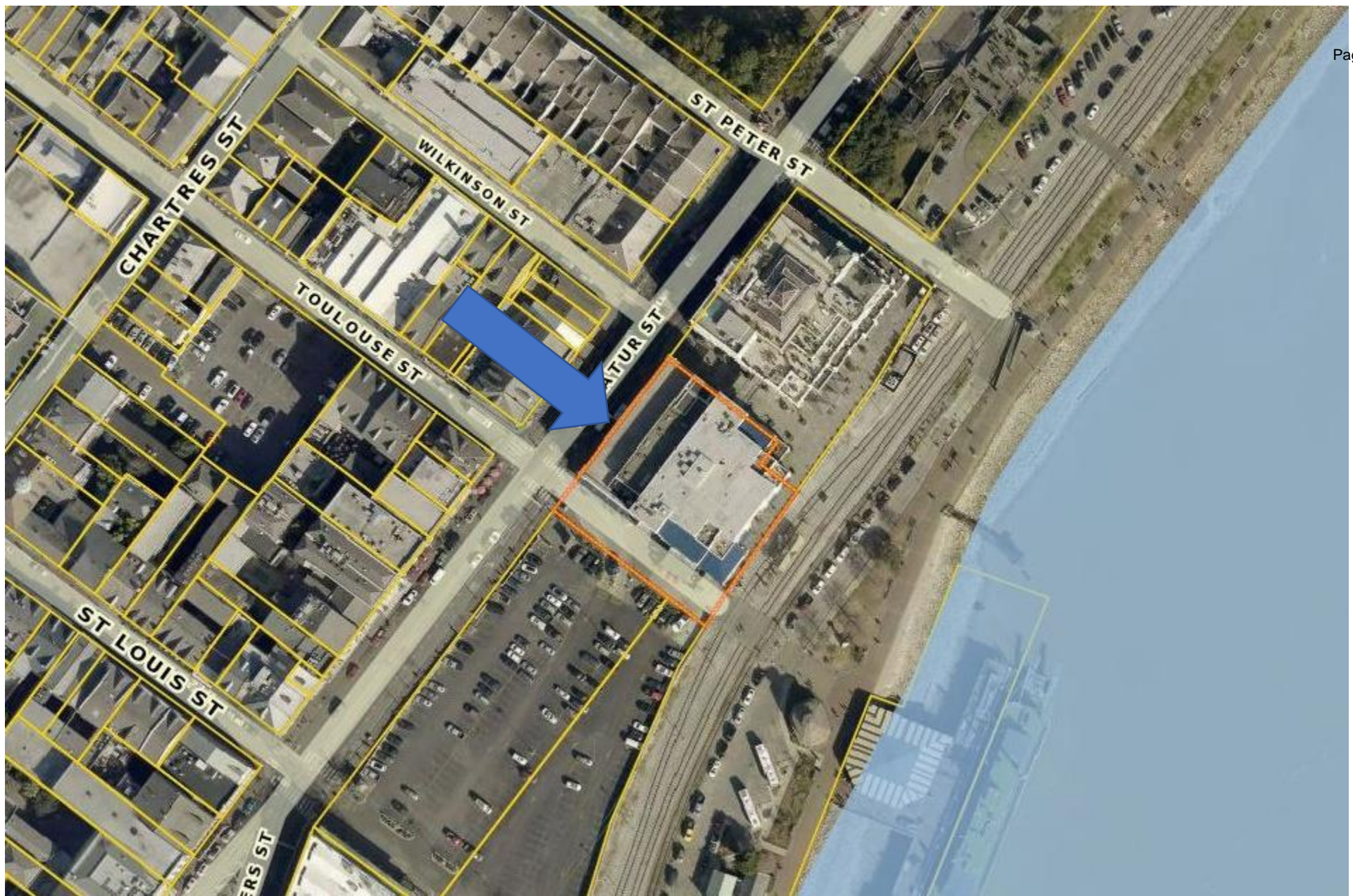


600 Decatur

VCC Architectural Committee

May 10, 2022



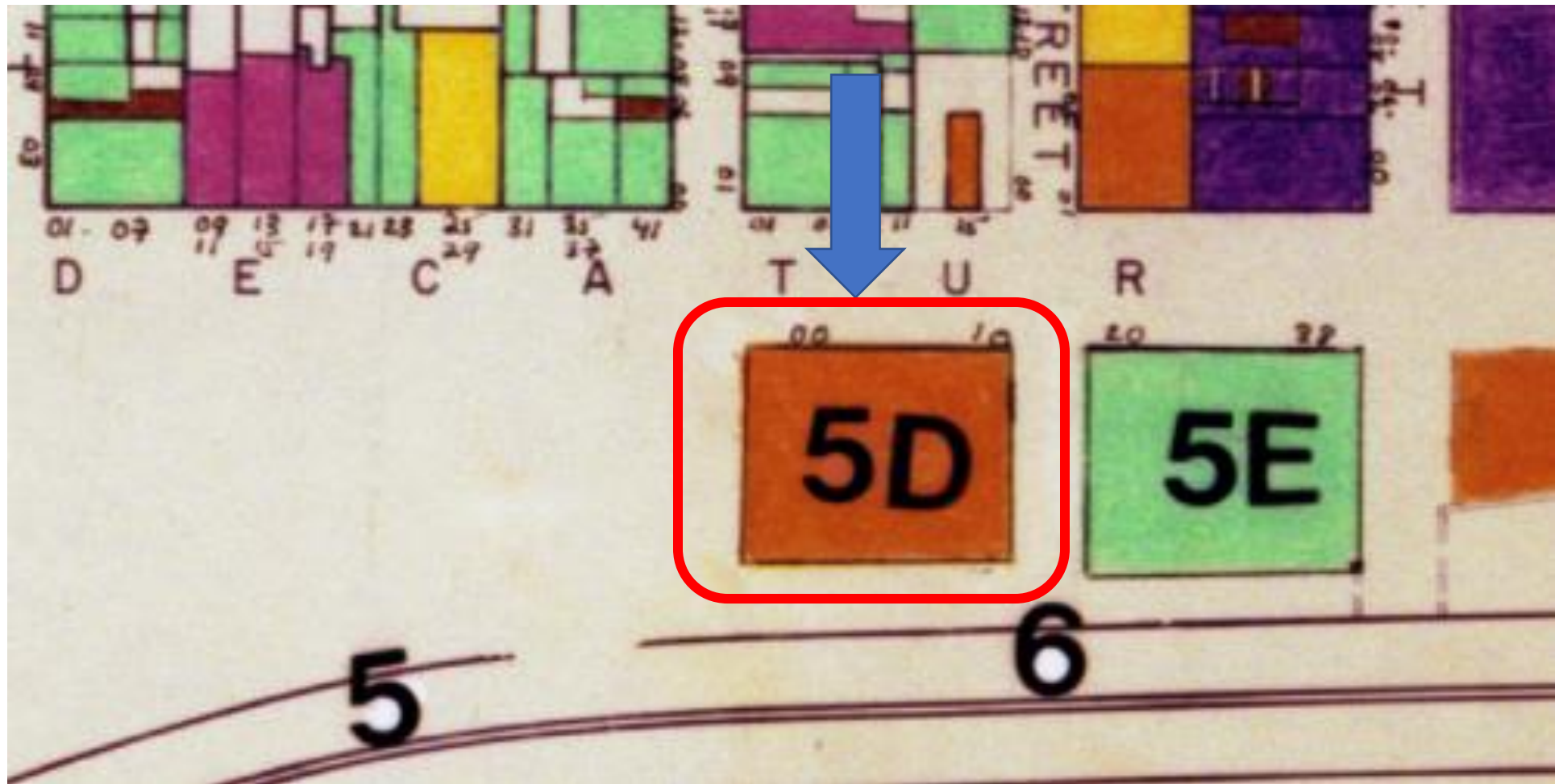


600 Decatur

VCC Architectural Committee

May 10, 2022







600 Decatur

VCC Architectural Committee

May 10, 2022





600 Decatur

VCC Architectural Committee

May 10, 2022





600 Decatur

VCC Architectural Committee

May 10, 2022





600 Decatur

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May 10, 2022





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600 Decatur

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May 10, 2022





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600 Decatur

VCC Architectural Committee

May 10, 2022





600 Decatur
VCC Architectural Committee

May 10, 2022





S.OLSON ARCHITECT, 400 N.PETERS, SUITE 212, NEW ORLEANS, LA. 70130

March 29, 2022

Building Plans Examiner
Vieux Carré Commission
1300 Perdido Street – rm. 7e05
NEW ORLEANS, LA 70112
P.504.658.1429
F.504.658.6742

RE: 600 Decatur.

Jackson Brewery Millhouse II LLC
100 Conti Street
New Orleans, La. 70130

Re: Proposal to change existing wood windows to aluminum with insulated glass
600 Decatur - Jackson Brewery Millhouse
New Orleans, Louisiana, 70130

Dear VCC staff,

This letter, drawings 1-5 and informational photographs are submitted as an application for VCC approval to begin the discussion regarding window replacement.

The referenced building was constructed in 1986 and is located at 600 Decatur Street. It is located in the Vieux Carré Service District (zoned VCS) and is orange rated. The 4 bounding streets are Wilkinson, Decatur, Toulouse and the river. The 5 story building is made with a post tensioned concrete structure (columns and floor slabs). The facade is constructed with metal stud exterior walls that are finished with a decorated stucco finish. It has 190+ windows and 46 doors that fenestrate the facade on 4 sides, along with companion pilaster and decorative stucco elements.

During Hurricane IDA the windows along with other facade elements sustained significant damage. The existing windows are large in size (4' to 5' in width and as much as 8'+ in height). They are typically fixed wood construction and have a narrow sash and muntin profile with putty glazed single pane glass

This submittal is a request to discuss with the committee and staff, the option to replace the existing wood windows with aluminum windows and insulating glass. The use of high efficiency windows is consistent with the NPS preservation briefs that entertain insulating and high efficiency glazing to address and encourage efforts to reduce energy consumption.

The attached drawings show the facade of the building with a graphic window schedule to give a scope of the project area.

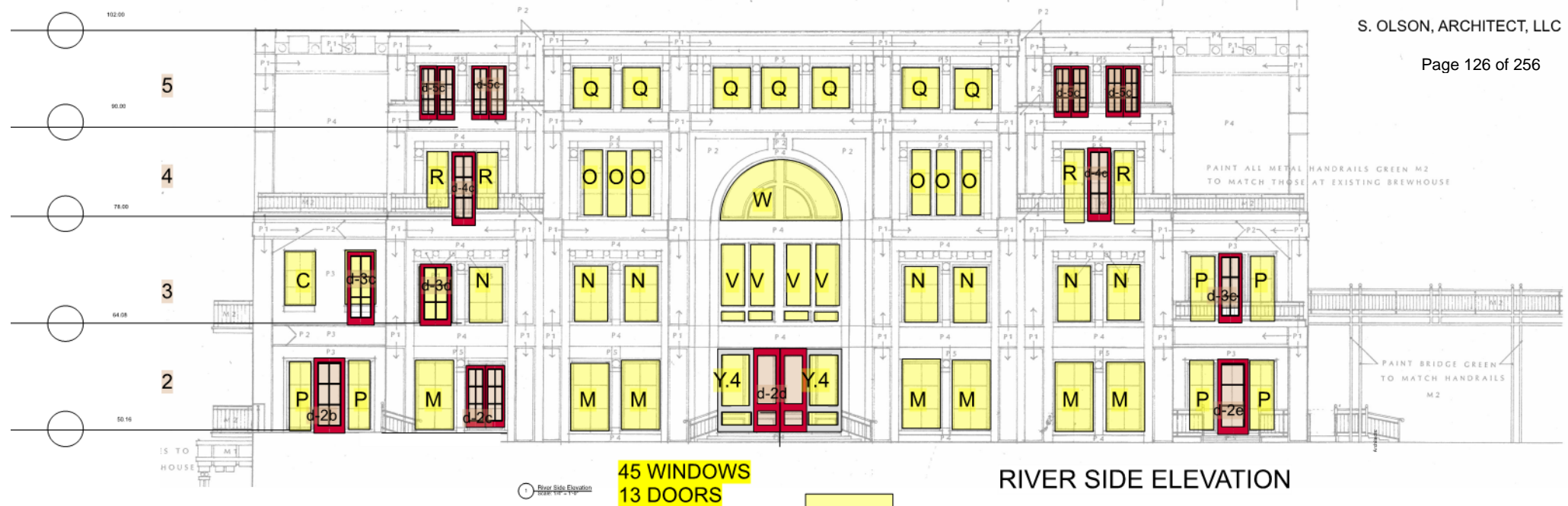
Sincerely

Steve Olson, AIA

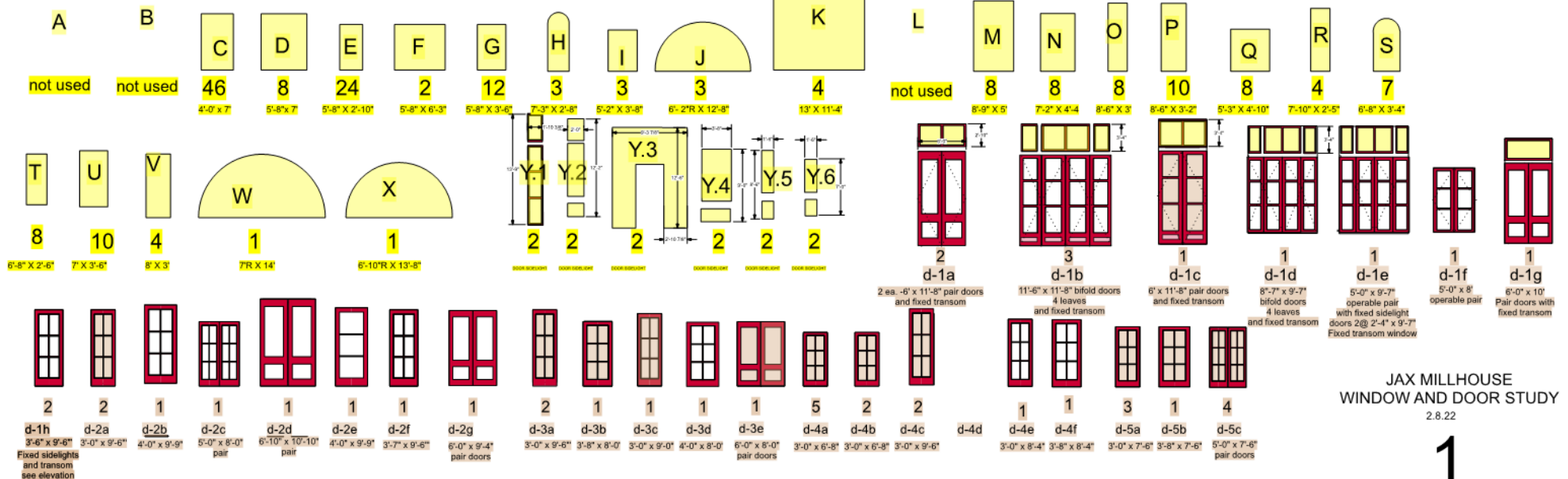
600 Decatur
VCC Architectural Committee

May 10, 2022





RIVER SIDE ELEVATION



JAX MILLHOUSE
WINDOW AND DOOR STUDY
2.8.22



DECATUR SIDE ELEVATION

JAX MILLHOUSE
WINDOW AND DOOR STUDY
2.8.22

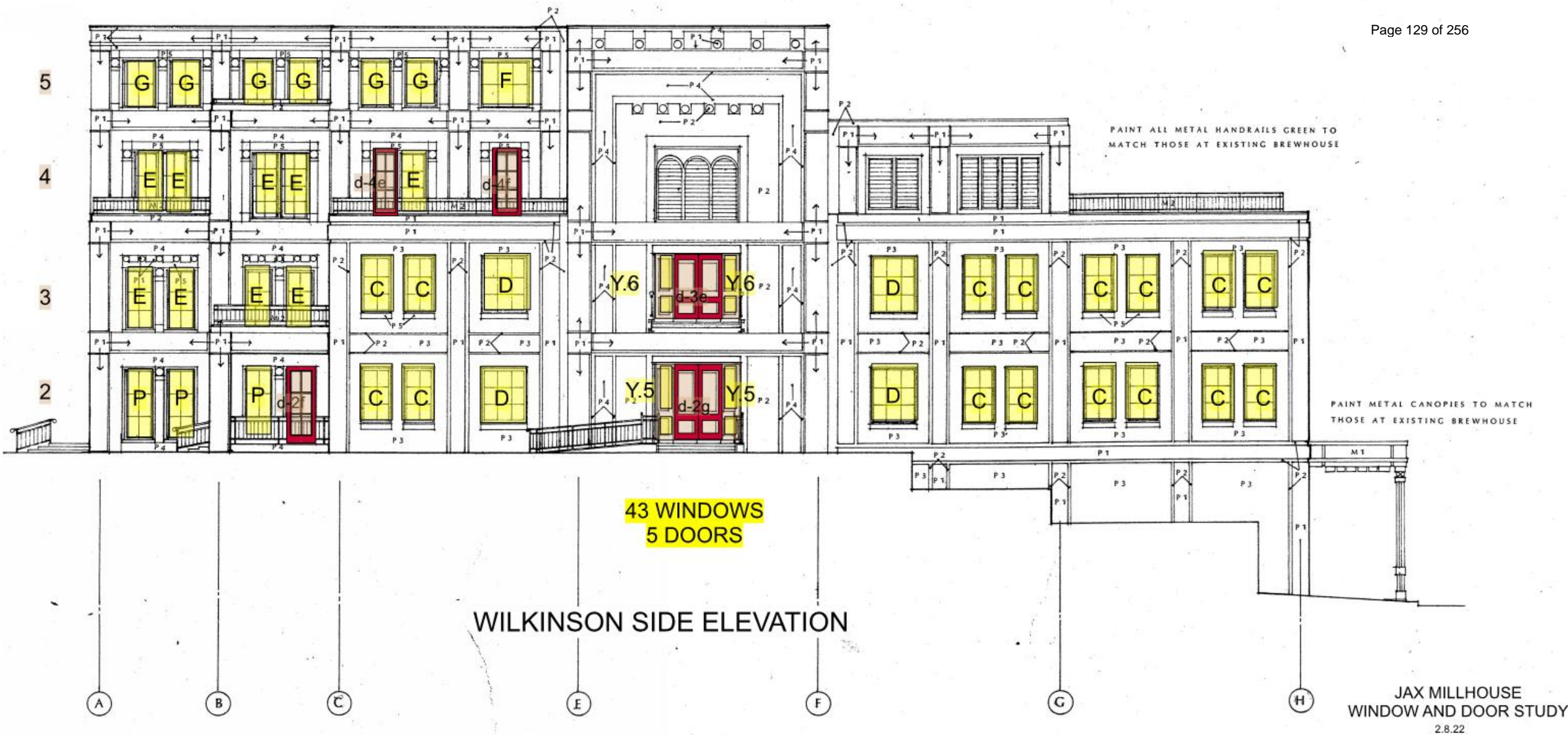
2



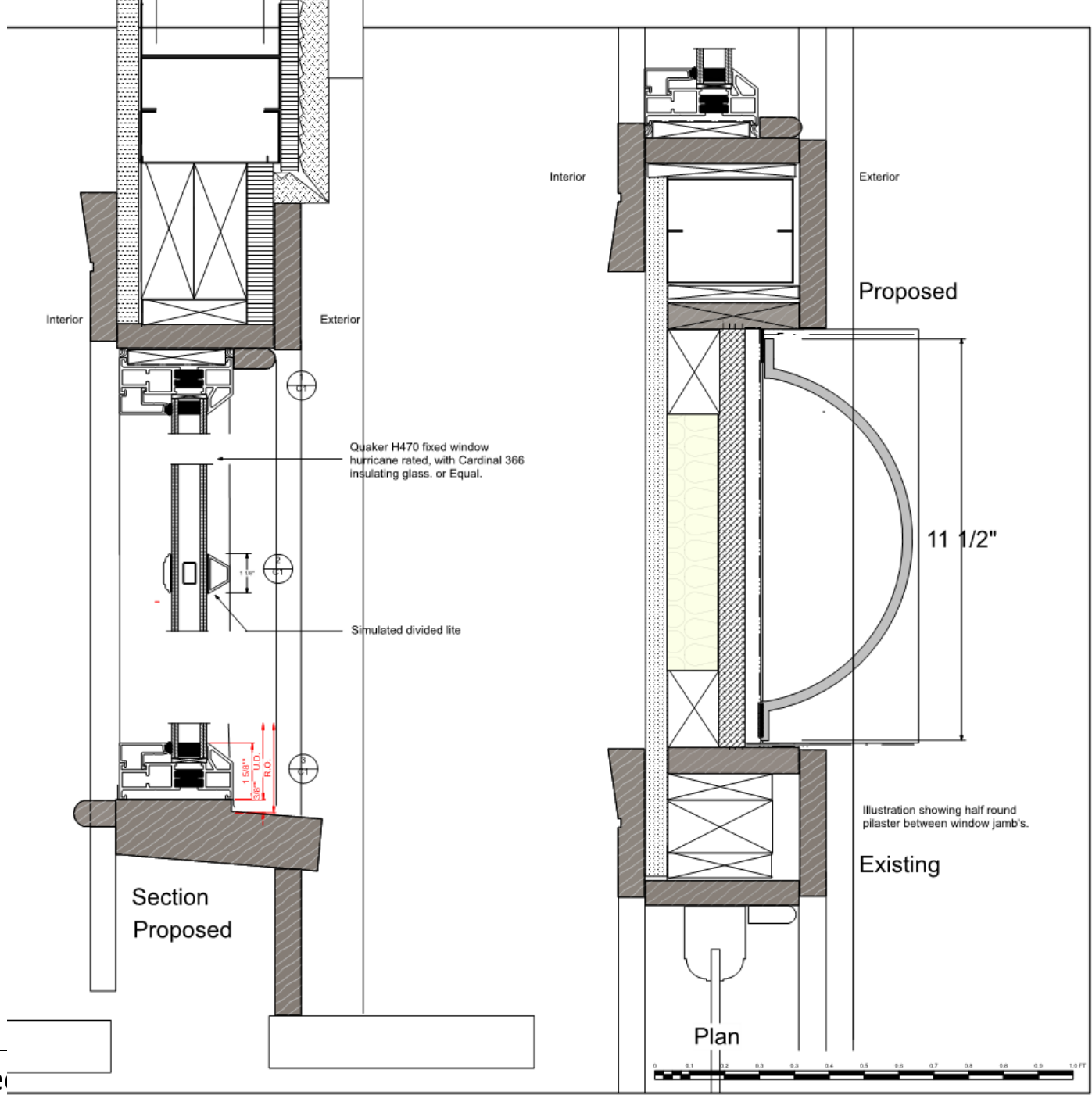
TOULOUSE SIDE ELEVATION

JAX MILLHOUSE
WINDOW AND DOOR STUDY
2.8.22

3



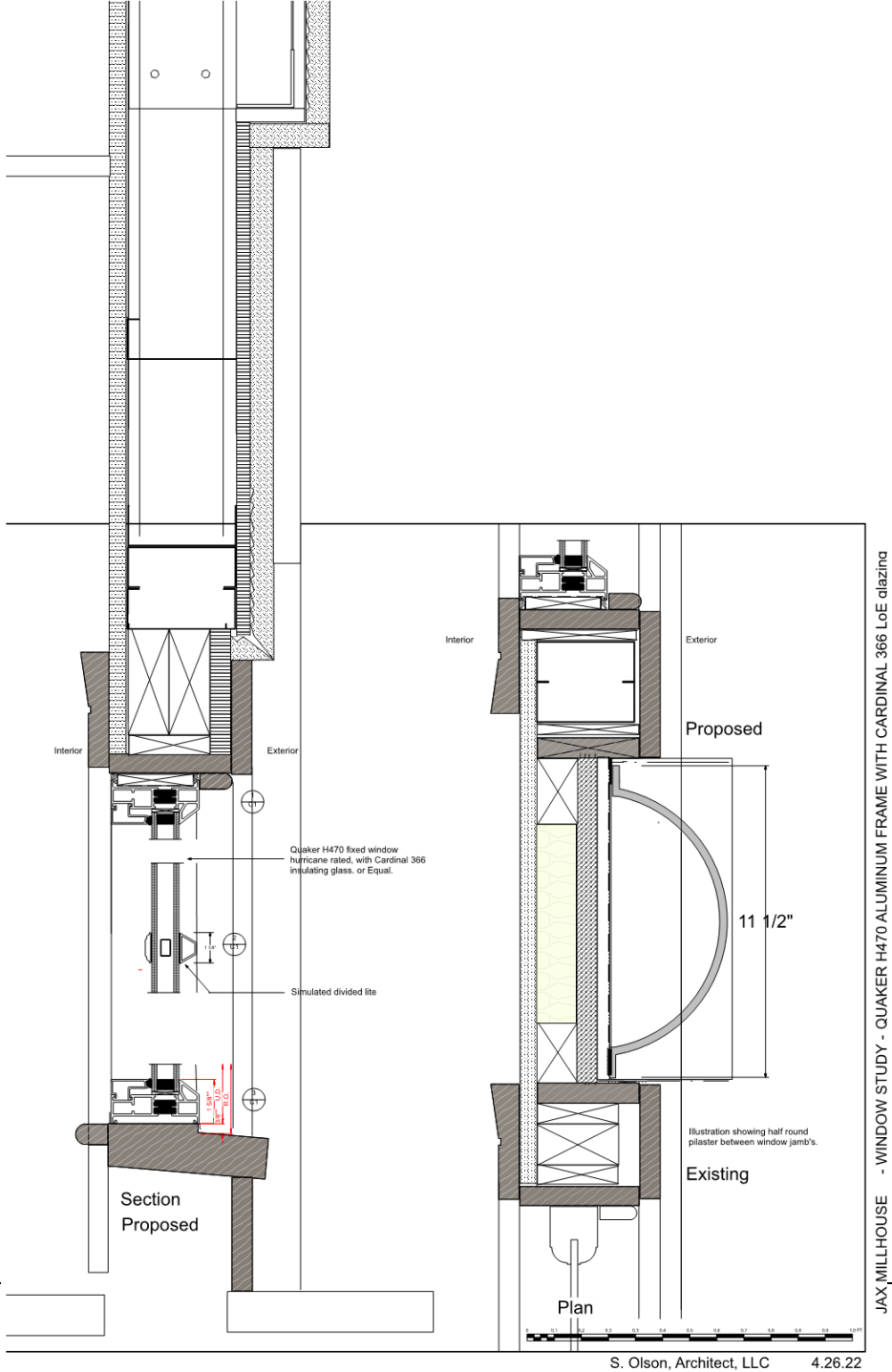
600 Decatur
VCC Architectural Committee

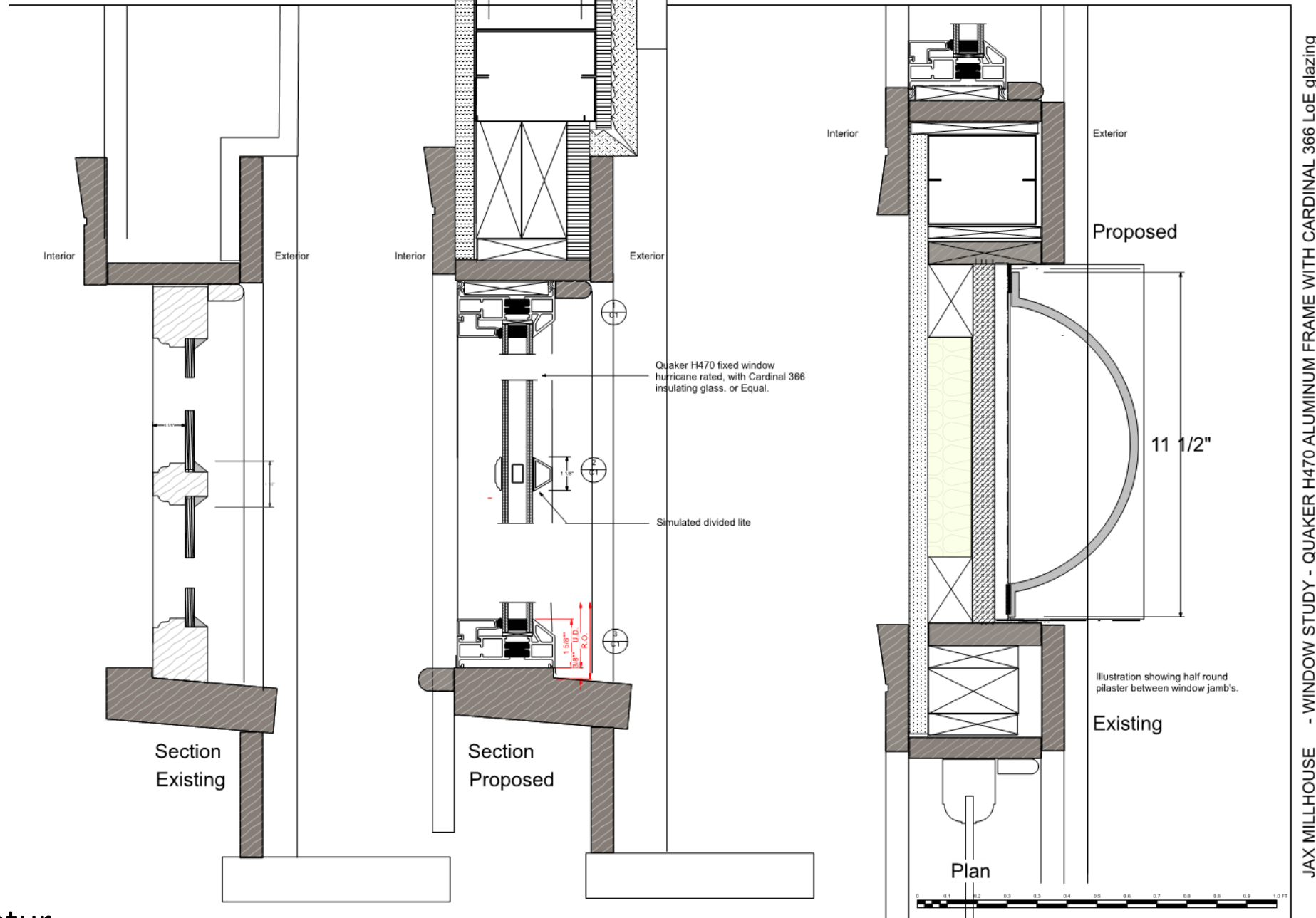


JAX MILL HOUSE - WINDOW STUDY - QUAKER H470 ALUMINUM FRAME WITH CARDINAL 366 INSULATING GLASS

May 10, 2022







600 Decatur

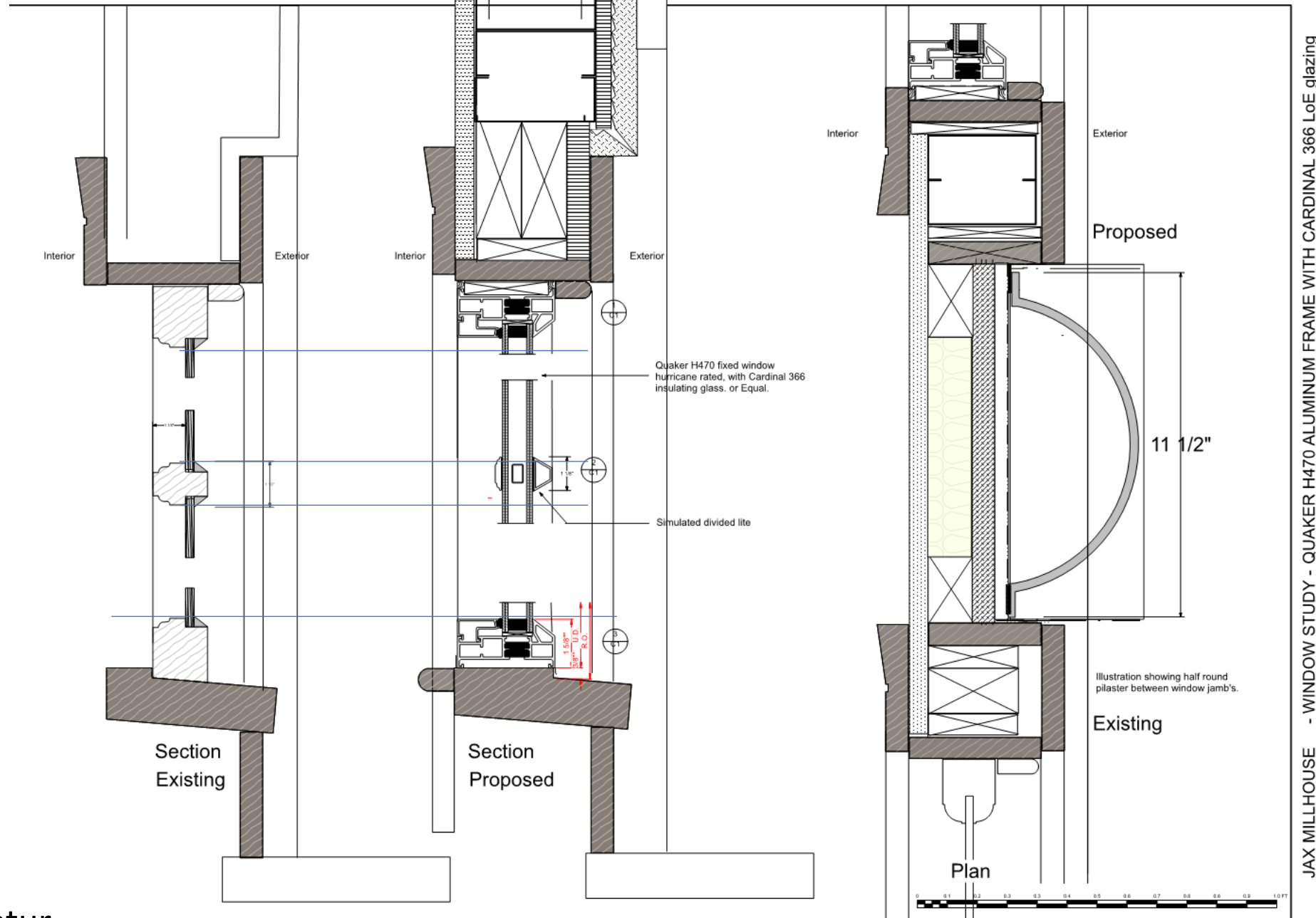
VCC Architectural Committee

S. Olson, Architect, LLC

4.26.22

May 10, 2022





600 Decatur

VCC Architectural Committee

S. Olson, Architect, LLC

4.26.22

May 10, 2022





Photo



Photo



New Business

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a fleur-de-lis at the top, a scroll at the bottom, and a central crest. The shield is flanked by two vertical bars. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" is inscribed along the bottom arc.

1040 N Rampart

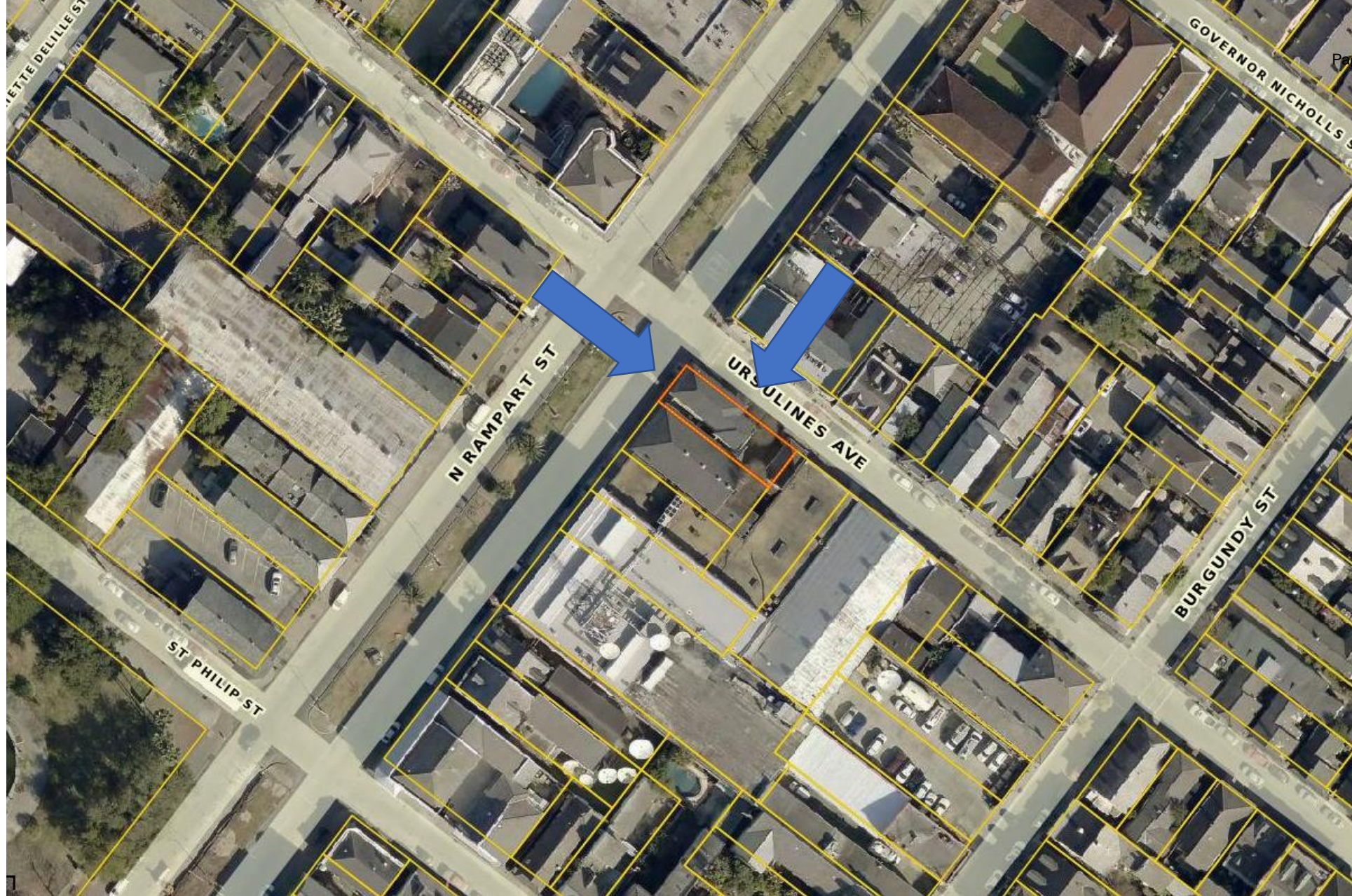


1040 N. Rampart

VCC Architectural Committee

May 10, 2022





1040 N. Rampart

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May 10, 2022





1040 N. Rampart, 1941

VCC Architectural Committee

May 10, 2022





1040 N. Rampart, 1942

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1040 N. Rampart, 1948
VCC Architectural Committee

May 10, 2022





1040 N. Rampart, 1964

VCC Architectural Committee

May 10, 2022





1040 N. Rampart, 1973

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1040 N. Rampart, c. 1987-1988

VCC Architectural Committee

May 10, 2022





1040 N. Rampart

VCC Architectural Committee

May 10, 2022





1040 N. Rampart

VCC Architectural Committee

May 10, 2022





1040 N. Rampart

VCC Architectural Committee

May 10, 2022





1040 N. Rampart

VCC Architectural Committee

May 10, 2022





1040 N. Rampart

VCC Architectural Committee

May 10, 2022





1040 N. Rampart

VCC Architectural Committee

May 10, 2022





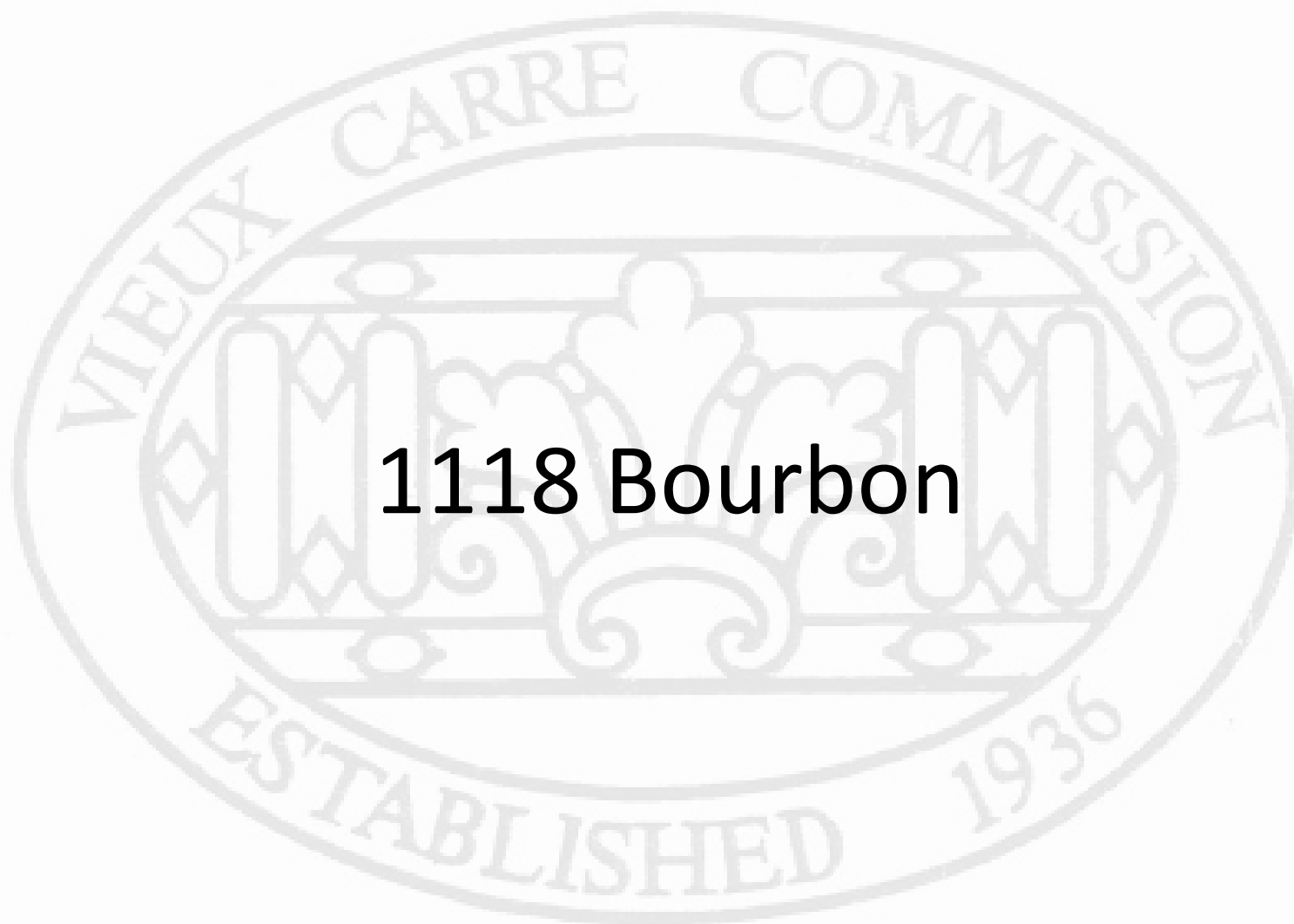
1040 N. Rampart

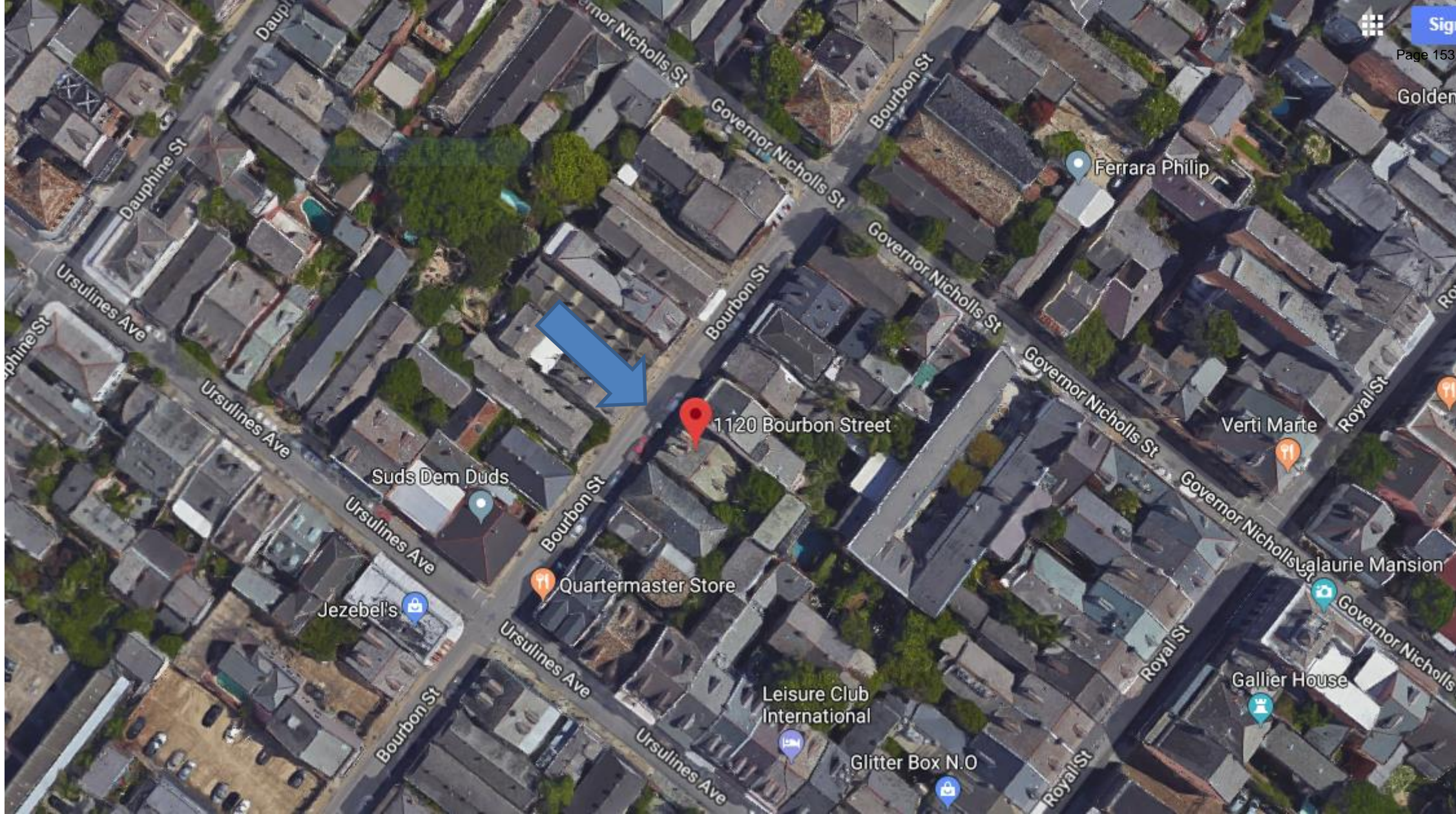
VCC Architectural Committee

May 10, 2022



1118 Bourbon





1118 Bourbon

VCC Architectural Committee

May 10, 2022





1118 Bourbon

VCC Architectural Committee

May 10, 2022





1118 Bourbon

VCC Architectural Committee

May 10, 2022





1118 Bourbon

VCC Architectural Committee

May 10, 2022





4 SIDE YD. GOV. NICHOLS SIDE



5 REAR STRUCTURE



6 REAR STRUCTURE

1118 Bourbon

VCC Architectural Committee

May 10, 2022





1118 Bourbon

VCC Architectural Committee

May 10, 2022



1118 Bourbon - 1949

VCC Architectural Committee

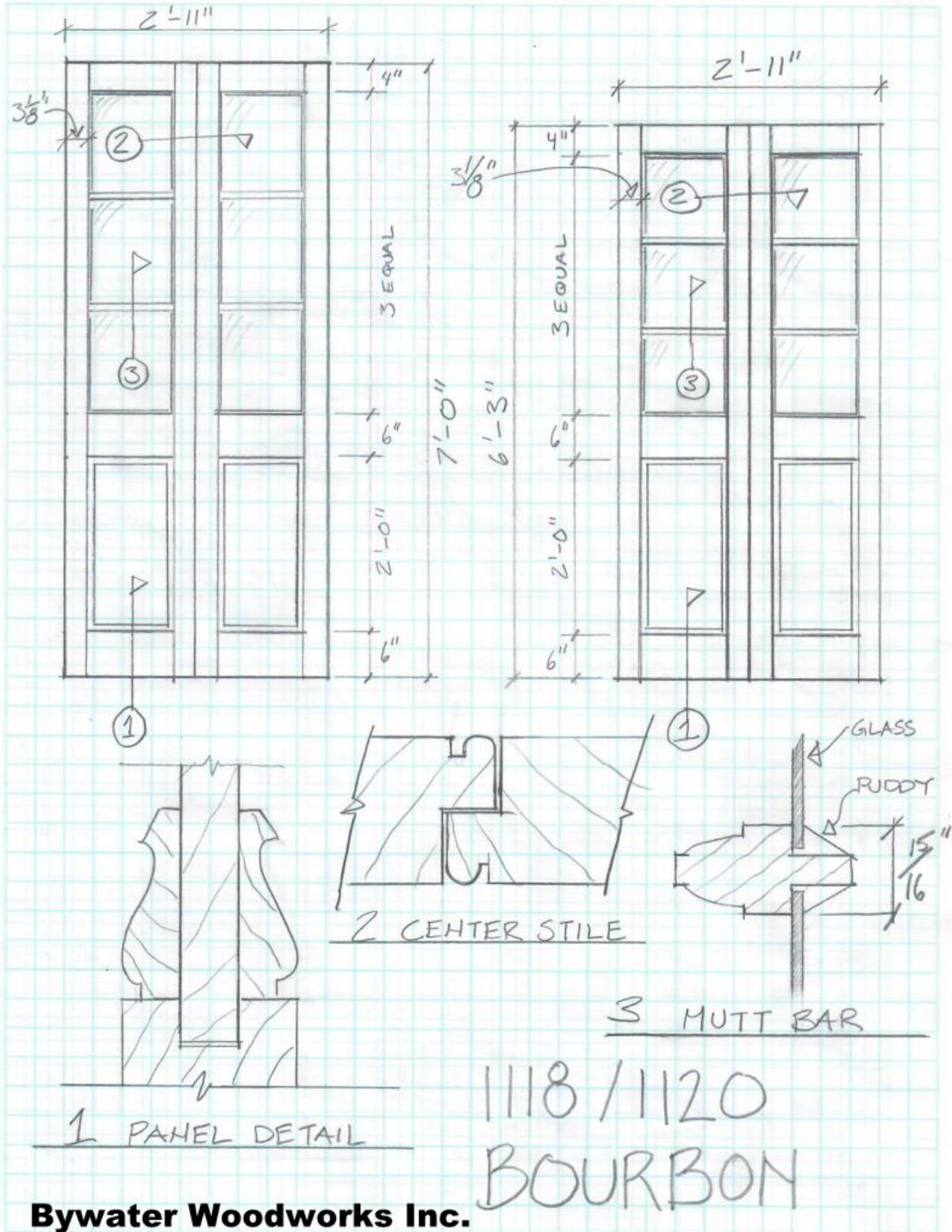


May 10, 2022





1118 Bourbon – Existing Rear Building Doors

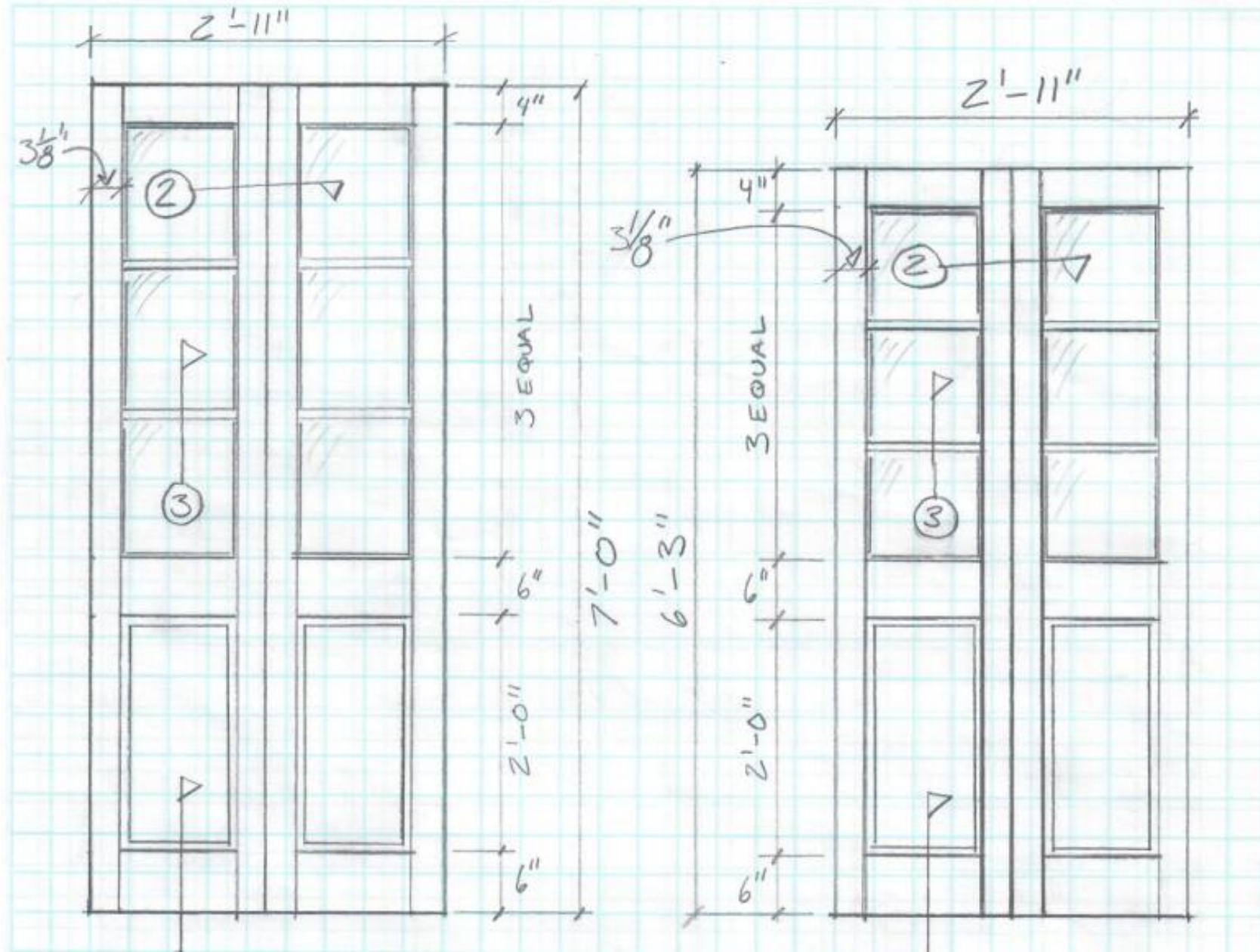


1118 Bourbon

VCC Architectural Committee

May 10, 2022



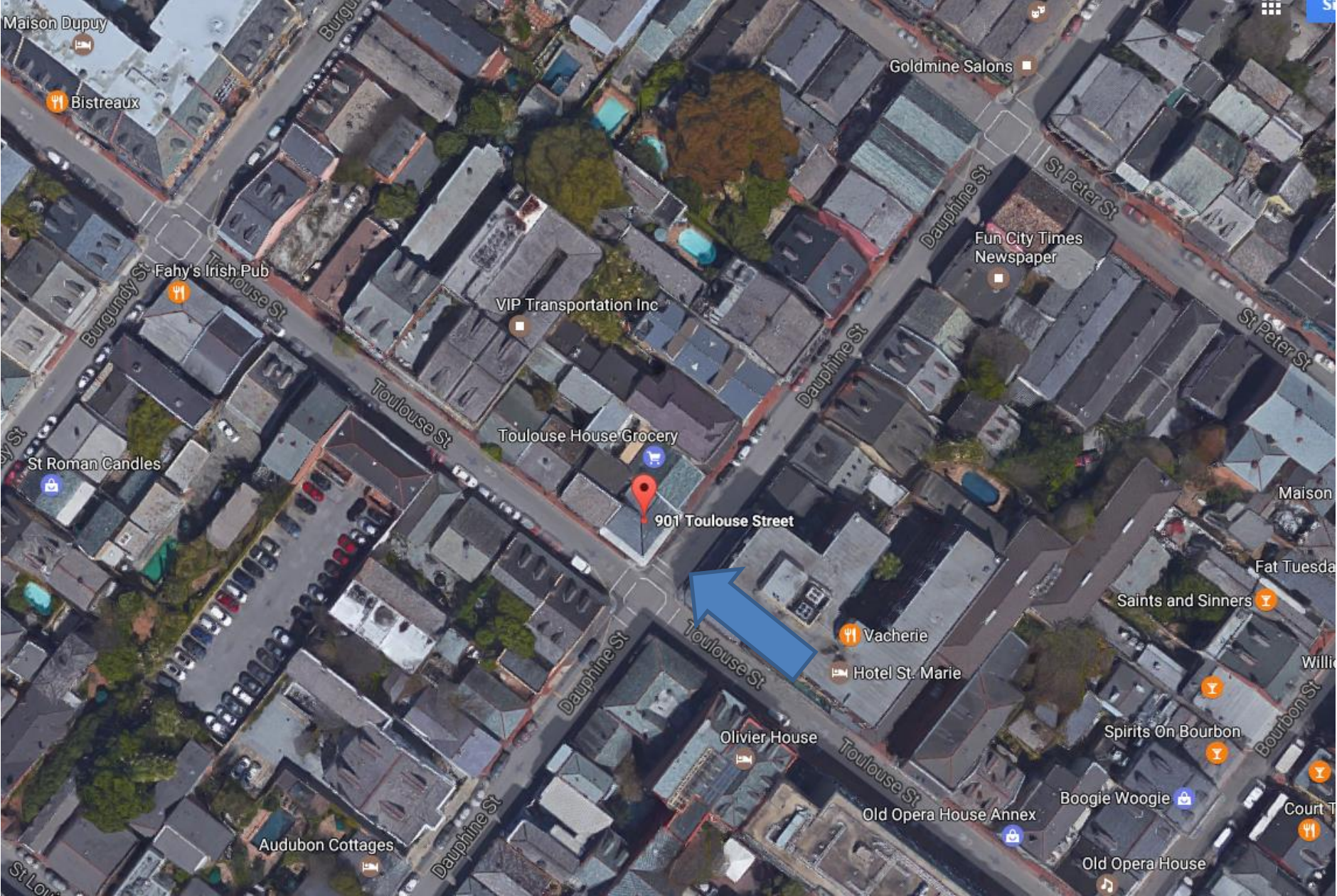


1118 Bourbon – Proposed Replacement Doors





901 Toulouse



901-905 Toulouse





901-905 Toulouse – 1852 Plan Book

VCC Architectural Committee

May 10, 2022





901-905 Toulouse -- 1994



901-905 Toulouse



901-905 Toulouse





901-905 Toulouse – 1852 Plan Book

VCC Architectural Committee

May 10, 2022





901-905 Toulouse

VCC Architectural Committee

May 10, 2022





901-905 Toulouse

VCC Architectural Committee

May 10, 2022





901-905 Toulouse

VCC Architectural Committee

May 10, 2022



New Orleans Jazz & Heritage Archive

Exterior and Interior Alterations

Directory

Owner:
New Orleans Jazz & Heritage Foundation
1225 N. Rampart St.
New Orleans, LA 70116
Contact:
Rachel E. Lyons, Archivist
504-558-6138

Architect:
Trapolin-Peer Architects
850 Tchoupitoulas Street
New Orleans, LA 70130
504-523-2772
Contact:
Peter Trapolin
ptrapolin@trapolinpeer.com

Building Information

Project Address:
901 Toulouse St. (601-603 Dauphine St.)
New Orleans, LA 70130

Zoning:
VCR-1 Vieux Carré Residential District

Historic Designations:
Vieux Carré (Rating: Green)

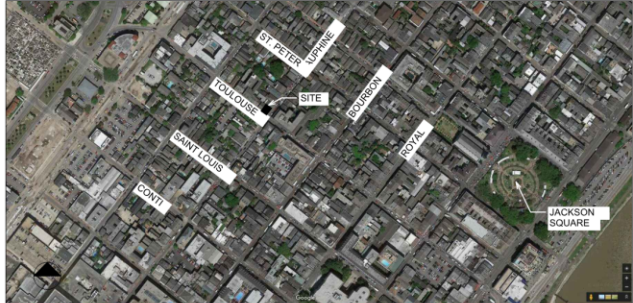
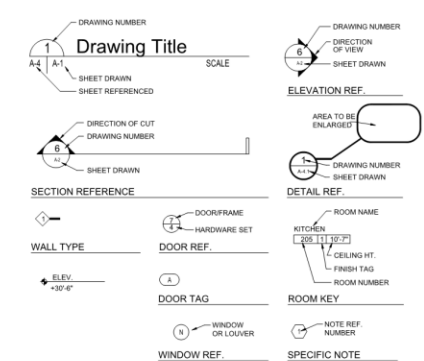
Index of Drawings

A0.1 INFORMATION/COVER SHEET
A1.1 EXTERIOR SCOPE: OPENINGS
A1.2 EXTERIOR SCOPE: STUCCO REPLACEMENT

General Notes

1. All materials and work shall conform to all governing codes, regulations, and agencies.
2. Contractor shall coordinate and obtain all necessary permits and approvals or guidelines from governing agencies before proceeding with any items of work under or within such jurisdictions.
3. Contractor shall provide public protections necessary per all applicable codes.
4. Do not scale drawings.
5. Consult with Architect regarding clarifications. Verify location of all equipment with Architect prior to installation.
6. Variance of actual existing site conditions from those illustrated on these documents may occur. The General Contractor shall verify existing conditions prior to commencing work and report any and all discrepancies to the Architect. It is the General Contractor's responsibility to verify all field dimensions prior to purchase and installation. Contact Architect immediately if discrepancies are found between field-verified dimensions and dimensions shown in drawings. Dimensions requiring field verification by general contractor are noted with "V.I.F." in the drawings.
7. Work indicated as "not in contract," "N.I.C.," or "by others" shall be performed by Owner's separate contractor. Contractor to coordinate with Owner and cooperate in completion of separate contracts.
8. All existing items to remain unless otherwise noted.
9. To establish the complete scope of its work and to affect close coordination with the other trades, each trade shall completely review the plans and specifications, not only for its respective trades but for the work of other related trades as well.
10. Plan orientation reference: True north is indicated by a north arrow shown on the site plan.
11. Protect all items not scheduled for demolition during the demolition phase.
12. General contractor to supply materials need to separate areas of construction from the occupied and Archive areas of the building.
13. It is the general contractor's responsibility to provide scaled shop drawings of all millwork / casework prior to purchase and installation. Drawings provided by Architect are not considered shop drawings and will not be reviewed for conformance to the Construction Documents.
14. All finish millwork / casework is to be paint grade solid birch unless otherwise noted in drawings.
15. Sand, prime and paint all millwork and casework. Sand, prime and paint all finishes in rooms indicated to receive paint in construction documents.
16. Rough carpentry in contact with masonry is required to be pressure treated.

Architectural Symbols



1 Site Map
SCALE: 1" = 300'-0"



2 Exterior Perspective - Existing

NOJ&HF Archive
EXTERIOR AND INTERIOR ALTERATIONS
901 Toulouse St., New Orleans, Louisiana 70116
TRAPOLIN-PEER ARCHITECTS
A PROFESSIONAL CORPORATION (not Transpaction 6) | New Orleans, Louisiana 70130 | (504) 523-2772 | www.trapolinpeer.com

New Orleans Jazz & Heritage Foundation
1225 N. Rampart St.
New Orleans, LA 70116
(504) 558-6100
Contact: Rachel Lyons, Archivist

CONTRACTOR
Address 1
Address 2
T (area code) number



Project Number	CN21160
Drawn By	JWH
Checked By	PMT
Date	04/21/2022

INFORMATION/
COVER SHEET

A0.1

901-905 Toulouse

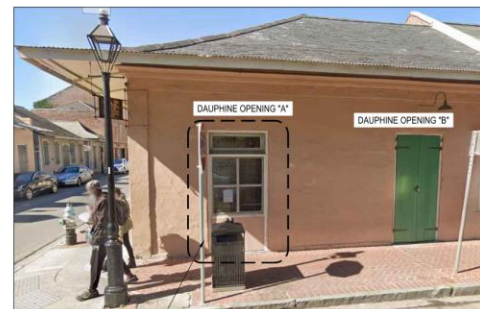
VCC Architectural Committee

May 10, 2022

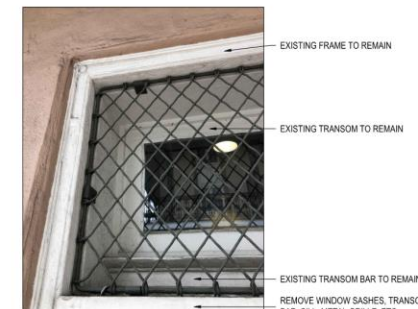




1 Toulouse Elevation
A1.1 PHOTOGRAPH
SCALE: NTS



2 Dauphine Elevation
A1.1 PHOTOGRAPH
SCALE: NTS



3 Dauphine Opening "A": Existing Transom
A1.1 PHOTOGRAPH
SCALE: NTS



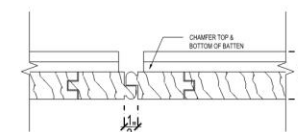
4 Toulouse Opening "A" Enlarged - Open
A1.1 PHOTOGRAPH
SCALE: NTS



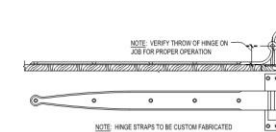
5 Toulouse Opening "B" Doors
A1.1 PHOTOGRAPH
SCALE: NTS



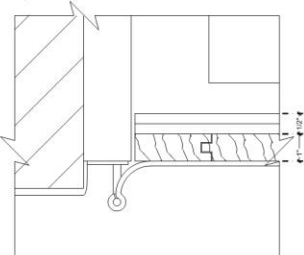
6 Circa 1852 Illustration (Diboll Survey)
A1.1 PHOTOGRAPH
SCALE: NTS



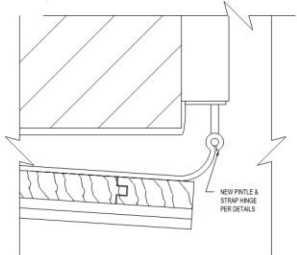
7 Detail of Shutter Leaf Overlap
A1.1
SCALE: HALF SIZE



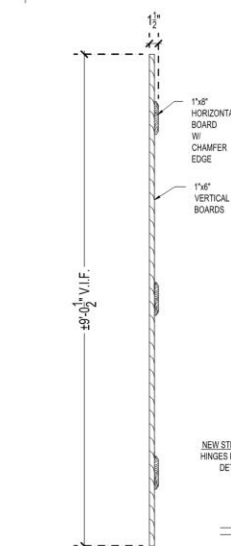
8 Detail of Strap Hinge
A1.1
SCALE: 3" = 1'-0"



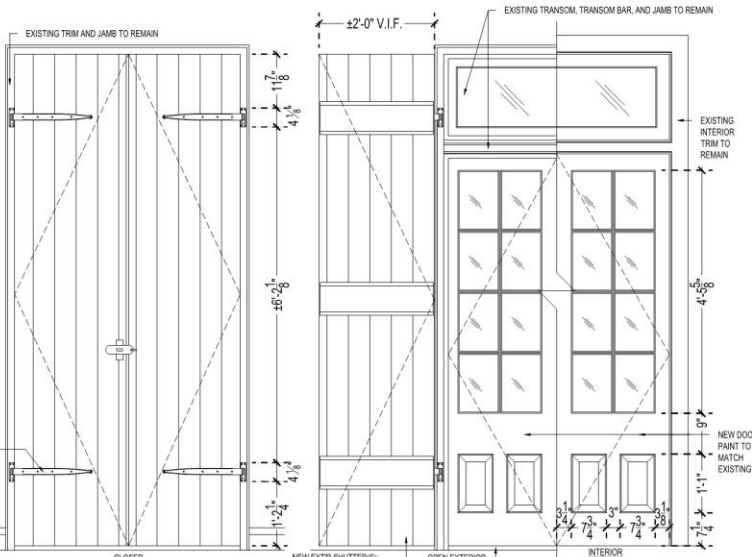
9 Detail of Shutter Hinge - Closed
A1.1
SCALE: HALF SIZE



10 Detail of Shutter Hinge - Open
A1.1
SCALE: HALF SIZE



11 Section Through Shutter
A1.1
SCALE: 1" = 1'-0"



12 Elevations of Opening
A1.1
SCALE: 1" = 1'-0"

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EXTERIOR AND INTERIOR ALTERATIONS
901 Toulouse St., New Orleans, Louisiana 70116
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A PROFESSIONAL CORPORATION (LLC) (TAPOLIN-PEER) (NEW ORLEANS, LOUISIANA 70116) | (504) 533-8772 | www.nojandhf.com

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Address 2
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Project Number	CN21160
Drawn By	JWH
Checked By	PMT
Issue Date	04/21/2022

Project Number: CN21160
Drawn By: JWH
Checked By: PMT
Issue Date: 04/21/2022

EXTERIOR SCOPE: OPENINGS

A1.1

901-905 Toulouse

VCC Architectural Committee

May 10, 2022





EXISTING WINDOW SASH, SILL, AND INFILL BELOW SILL TO BE REMOVED;
EXISTING FRAME, TRANSOM, AND TRANSOM BAR TO REMAIN;
CUSTOM-MILLED SHUTTERS TO BE REPLICATED FROM EXISTING SHUTTERS
AT TOULOUSE OPENING "A"; DOOR TO BE REPLICATED FROM EXISTING DOOR
AT TOULOUSE OPENING "B"

2 Dauphine Elevation
- A1.1 PHOTOGRAPH

SCALE: NTS



EXISTING FRAME TO REMAIN

EXISTING TRANSOM TO REMAIN

EXISTING TRANSOM BAR TO REMAIN

REMOVE WINDOW SASHES, TRANSOM
BAR, SILL, METAL GRILLE, ETC.

3 Dauphine Opening "A": Existing Transom
- A1.1 PHOTOGRAPH

SCALE: NTS

901-905 Toulouse

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May 10, 2022







PRIOR TO DEMOLITION OF STUCCO, MEASURE AND RECORD
DIMENSIONS OF EXISTING PILASTERS AND CORNICE FOR
REPLICATION;
RECORD LOCATIONS OF EXISTING SIGNAGE FOR REINSTALLATION

- REMOVE EXISTING STUCCO AND ELASTOMERIC COATING BELOW CORNICE (AT LINE DRAWN).
- REPLACE DETERIORATED BRICKS AND TUCK-POINT BRICKS WITH VCC-APPROVED MORTAR MIX.
- APPLY 3-COAT VCC-APPROVED STUCCO MIX.
- PAINT TO MATCH EXISTING

PRIOR TO DEMOLITION OF STUCCO,
— MEASURE AND RECORD DIMENSIONS
OF EXISTING BASE FOR REPLICATION

1 **Toulouse Elevation**



- REMOVE EXISTING STUCCO AND ELASTOMERIC COATING BELOW CORNICE (AT LINE DRAWN).
- REPLACE DETERIORATED BRICKS AND TUCK-POINT BRICKS WITH VCC-APPROVED MORTAR MIX.
- APPLY 3-COAT VCC-APPROVED STUCCO MIX.
- PAINT TO MATCH EXISTING

PRIOR TO DEMOLITION OF STUCCO, MEASURE AND RECORD DIMENSIONS OF EXISTING PILASTERS FOR REPLICATION; RECORD LOCATIONS OF EXISTING SIGNAGE FOR REINSTALLATION

2 Dauphine Elevation
- A12 PHOTOGRAPH



3 Existing Deteriorated Stucco and Bricks



Mortar: No more than:

- 1 part Portland Cement, to
- 3 parts lime,
- 9 parts sand, and
- enough water to form a workable mix.

Prepackaged mixes are not permitted.

The resulting mortar should range in color from white to beige but should not be greener. When repointing, all mortar is tooled to match existing joint profile. Consult with VCC staff if existing joint profile indeterminate.

Stucco: Base coat consists of 2 coats, doubled up work of 5/8" total thickness. Proportioned as follows:

- no greater than 1:12 part Portland Cement, to
- 3 parts lime, and
- 9 parts sand,
- 6 lbs./cubic yard hair or fiber, and
- enough water to form a workable mix.

Finish coat is 1/4" in total thickness proportioned as

- No more than 1 Part Portland cement
 - 3 Parts Lime,
 - 9 Parts Sand,
 - Enough water to form a workable mix.
- Drumhead and sole are not permitted.

Prepackaged mixes are not permitted.

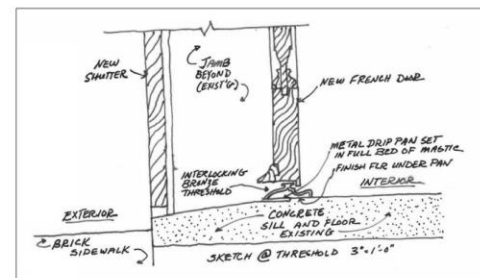
The resulting mix should range in color from white to beige but should not be grey in color.

Note: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12.

MORTAR GUARDRAILS & MASONRY



VCC-APPROVED MORTAR AND STUCCO MIX GUIDELINES



4 Sketch at Threshold

A1.1 A1.2 SECTION SCALE: 3"=1'-0"





841 Royal
Deferral Requested by Applicant

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll at the base. The shield is flanked by two vertical bars with diamond-shaped details. The words "VIEUX CARRE COMMISSION" are arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

233 Decatur



233 Decatur

VCC Architectural Committee

May 10, 2022





233 Decatur

VCC Architectural Committee

May 10, 2022





233 Decatur

VCC Architectural Committee

May 10, 2022



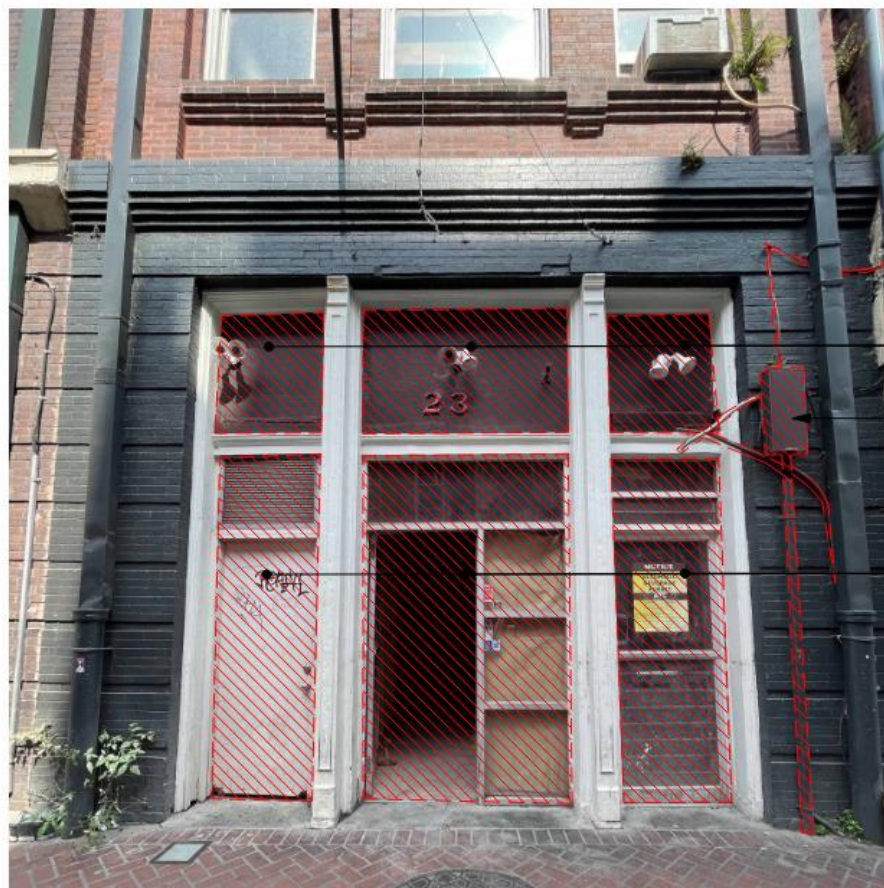


233 Decatur

VCC Architectural Committee

May 10, 2022





ALL ITEMS IN RED ARE TO BE REMOVED

ALL ITEMS IN RED ARE TO BE REMOVED

ALL ITEMS IN RED ARE TO BE REMOVED

1. CONTRACTOR TO DEMOLISH AND DISPOSE OF ALL ASSOCIATED MATERIALS KEYED FOR REMOVAL.
2. WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
3. CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

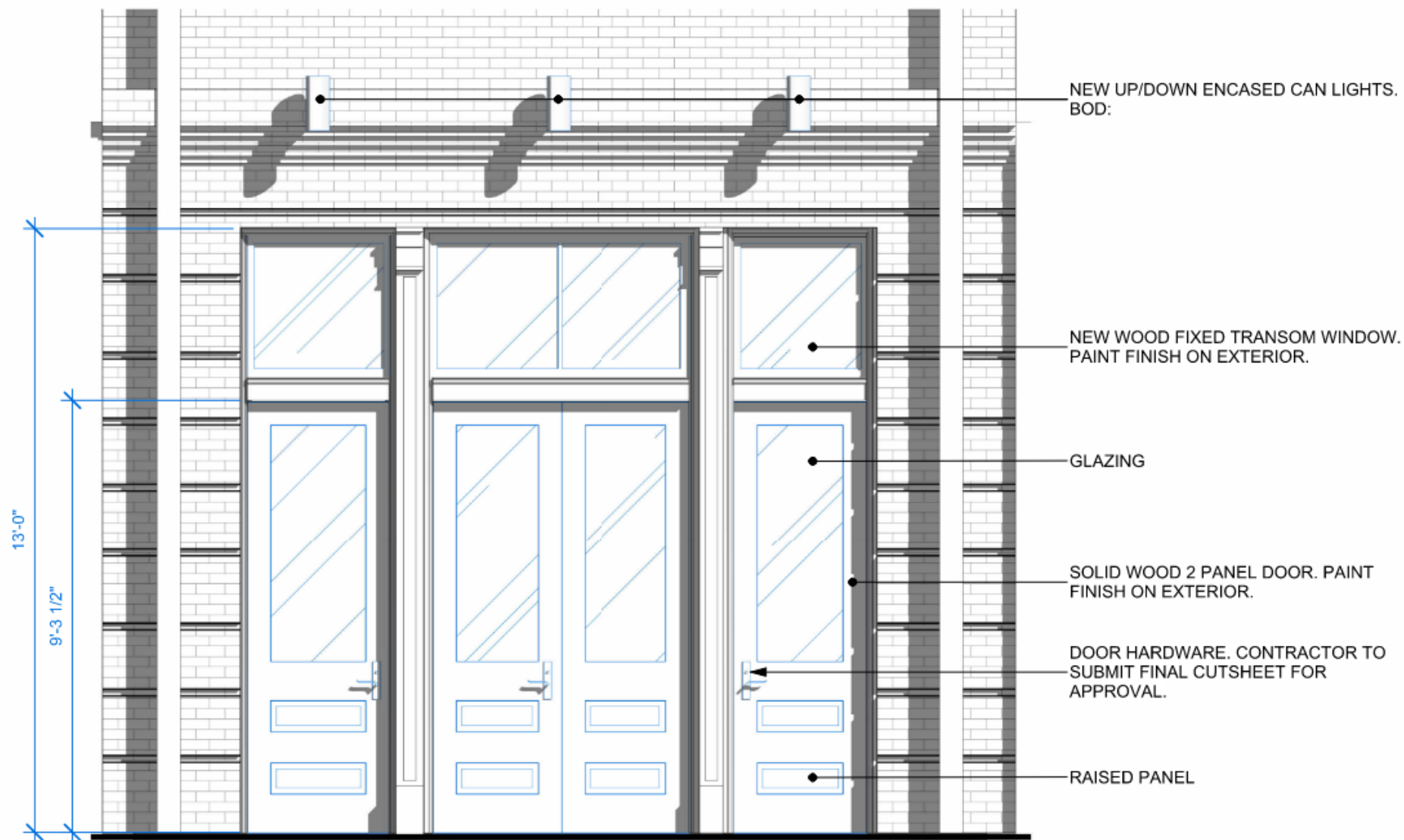
EXISTING STOREFRONT DEMO

233 Decatur

VCC Architectural Committee

May 10, 2022





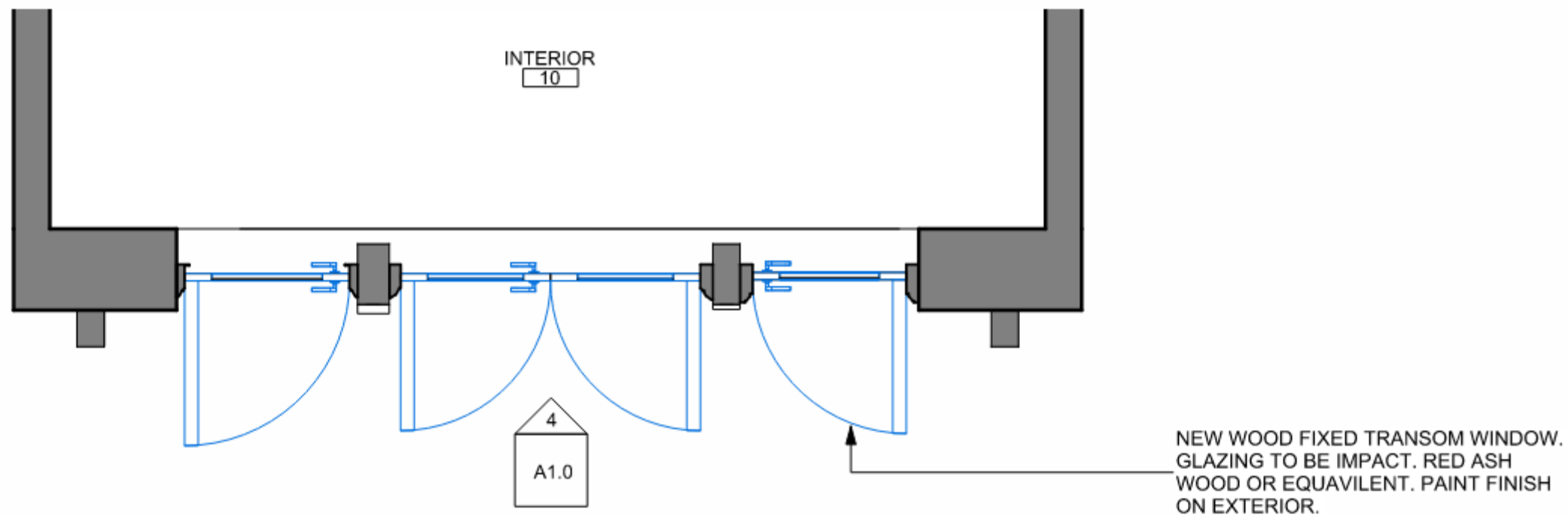
4 | PROPOSED STOREFRONT ELEVATION
3/8" = 1'-0"

233 Decatur

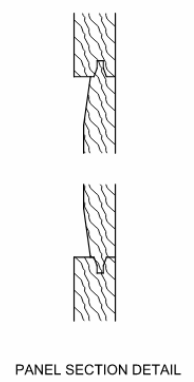
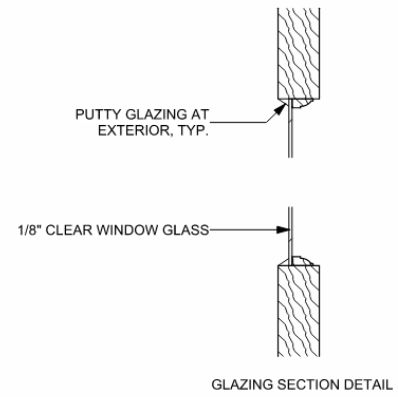
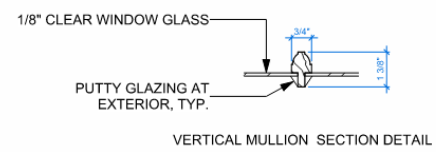
VCC Architectural Committee

May 10, 2022



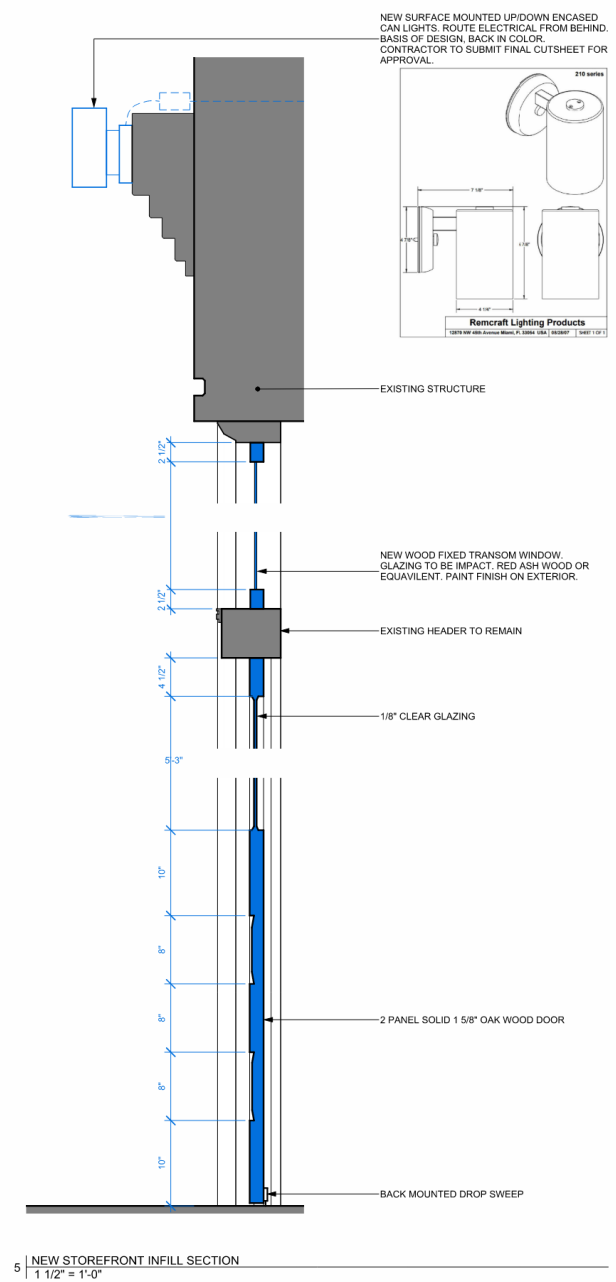


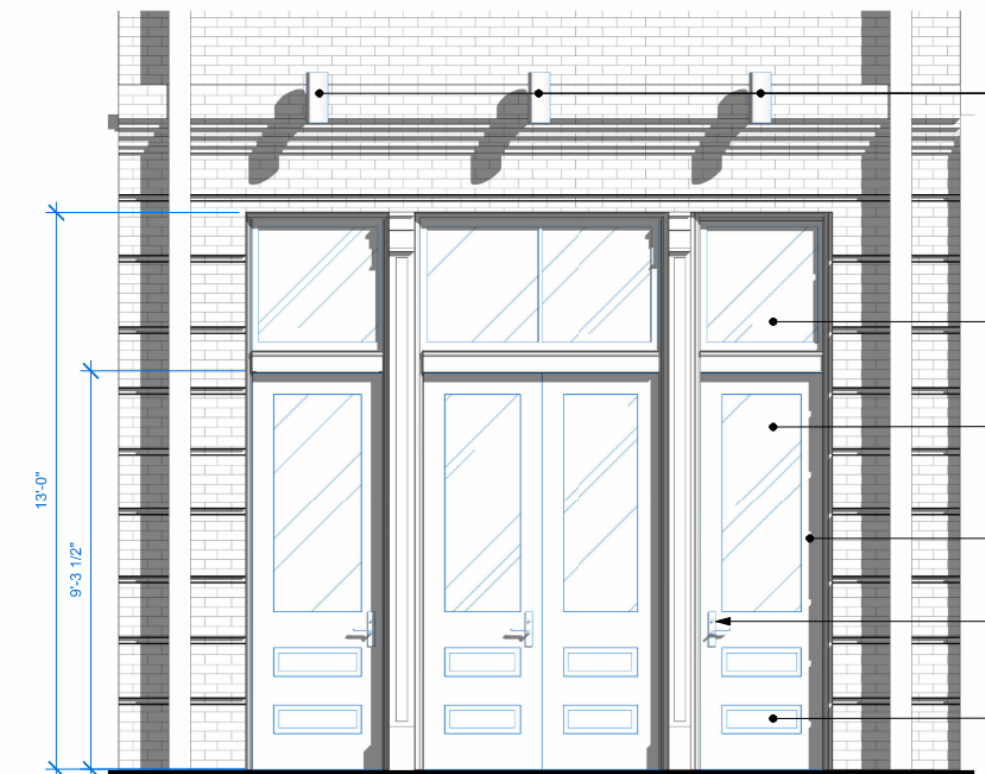
3 | 1ST FLOOR PLAN - PROPOSED
3/8" = 1'-0"



COMPLETE STOREFRONT SHOP DRAWING TO BE SUBMITTED FOR REVIEW BY ARCHITECT/VCC

1 | WOOD STOREFRONT DETAILS
3" = 1'-0"





4 | PROPOSED STOREFRONT ELEVATION
3/8" = 1'-0"



233 Decatur, 239 Decatur
VCC Architectural Committee

May 10, 2022



1011 Orleans





1011 Orleans

VCC Architectural Committee

May 10, 2022





1011 Orleans

VCC Architectural Comm

May 10, 2022





1011 Orleans

VCC Architectural Committee

May 10, 2022





1011 Orlean
VCC Architect

08 06 2021





1011 Orleans

VCC Architectural Committee

May 10, 2022





1011 Orleans

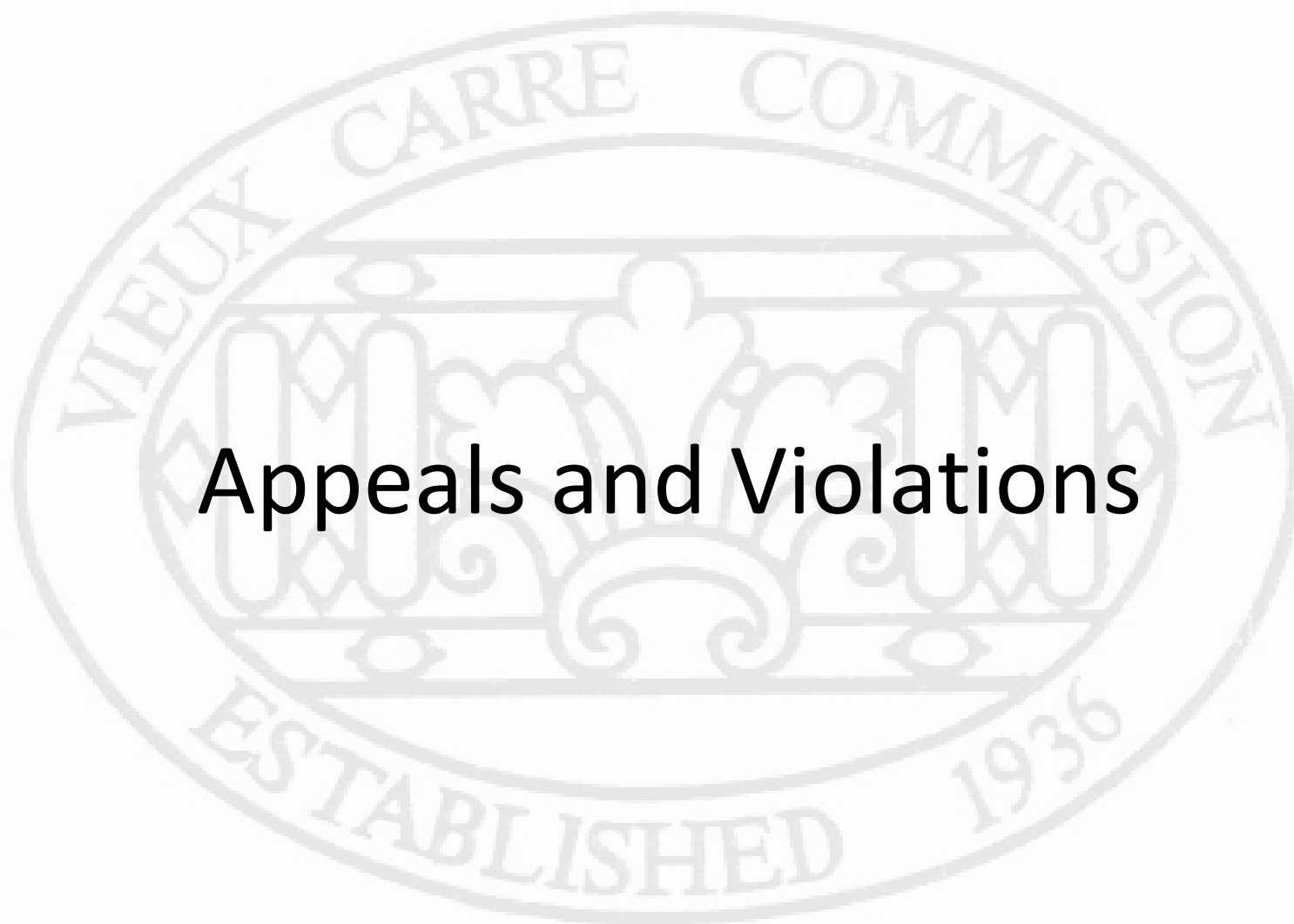
VCC Architectural Committee

May 10, 2022





Appeals and Violations



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The shield is flanked by two vertical bars. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

1201 Chartres



VCC Architectural Committee



1201 Chartres

VCC Architectural Committee

May 10, 2022





1201 Chartres

VCC Architectural Committee

May 10, 2022





1201 Chartres

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May 10, 2022





1201 Chartres

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May 10, 2022





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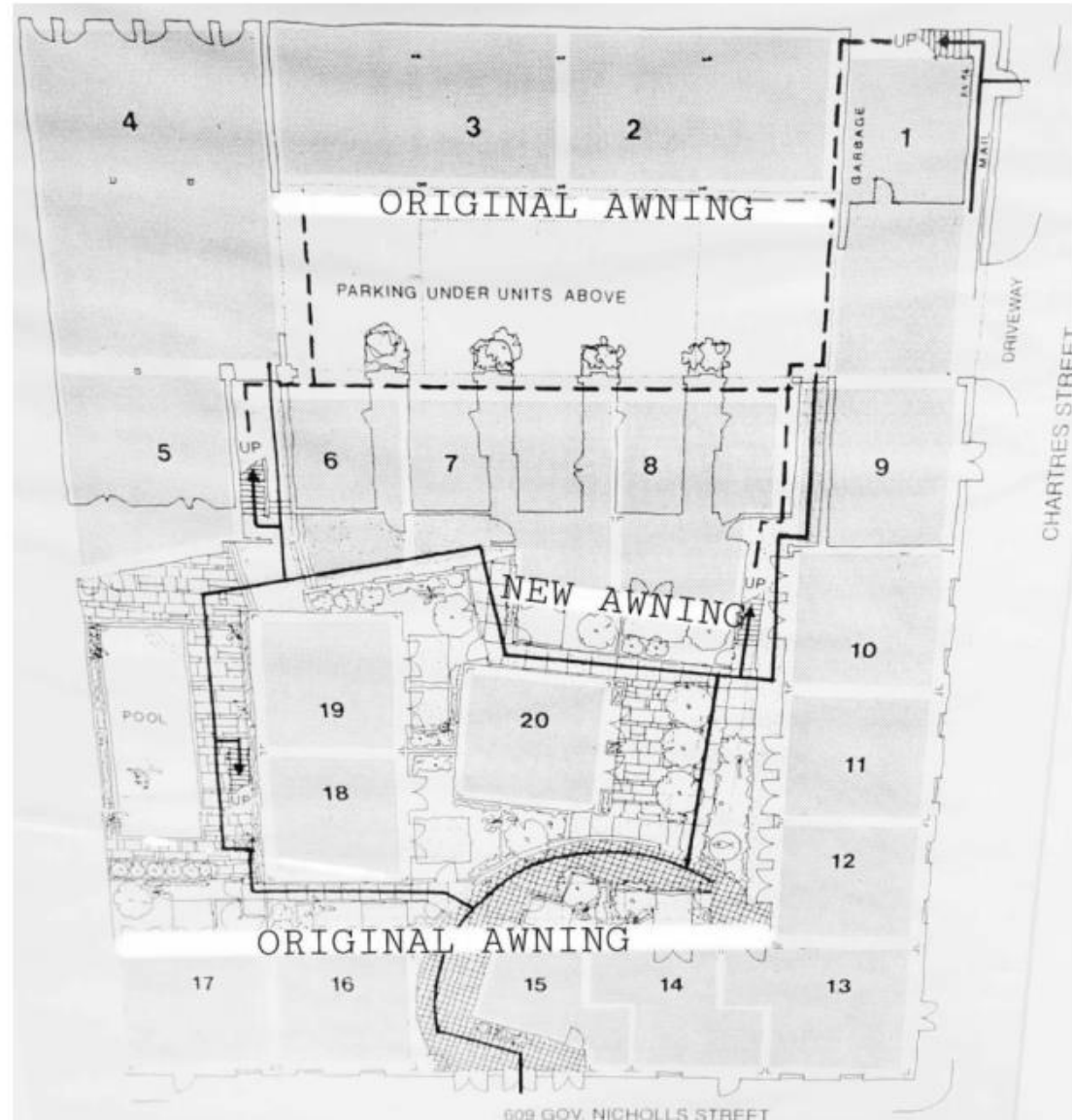
May 10, 2022



Stella Maris - 1201 Chartres Street

Page 205 of 256

This is a ground map showing the locations of the "Vol au Vent" awnings.
The original awnings are located over Units 2 & 3 as well as Units 13 – 17.
The new awning is located over Units 7 & 8.
All of the awnings are located within the interior courtyard of the property.



1201 Chartres

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May 10, 2022





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NEW AWNING UNITS 7&8

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ORIGINAL AWNING UNITS 13-17

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ORIGINAL AWNING units 2&3



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ORIGINAL AWNING - UNIT 17 by the pool area

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ORIGINAL AWNING units 13-17



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May 10, 2022





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May 10, 2022





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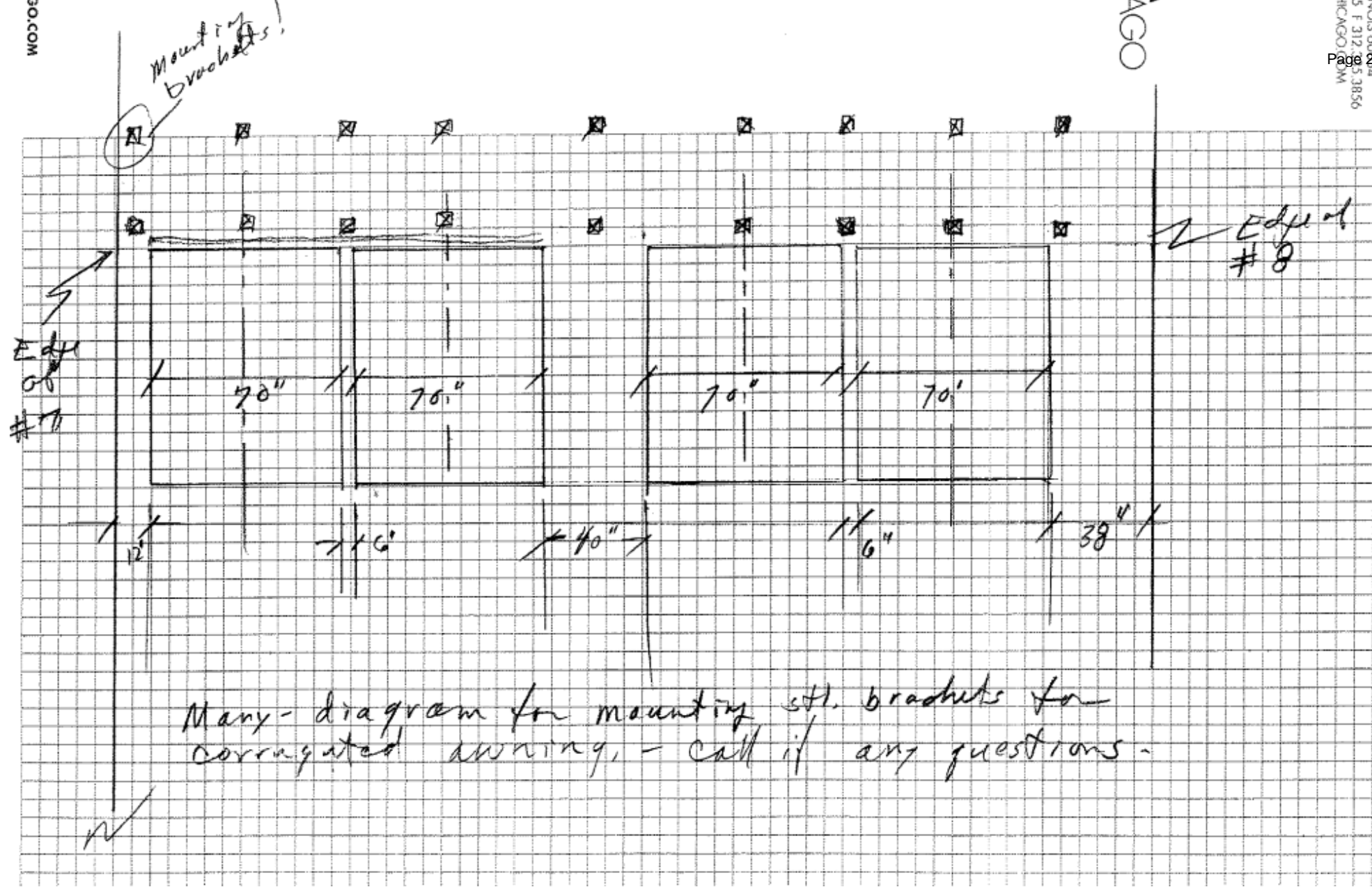
1201 Chartres

VCC Architectural Committee



May 10, 2022





Mr. Bryan Block
Executive Director
Vieux Carre Commission.
CITY OF NEW ORLEANS.

VIA E-MAIL c/o
nqalbrecht@nola.gov

RE:1201 Chartres St: 20-31834-VCGEN

Dear Mr. Block and Members of The Commission:

Please consider my request for your Appeal of the Architecture Committee approval to retain a corrugated metal awning installed above Units 7 and 8 at Stella Maris Condominiums, 1201 Chartres Street.

The purpose of my request is to ask that the application be returned to the Committee for modifications to the design currently being considered for the reasons outlined here below:

The application submitted as 1201 Chartres St: 20-31834-VCGEN (attached), represents that the awning design "duplicates the existing awning protecting Units 2, 3, 13, 14, 15, 16, and 17", it in fact does not "duplicate" the design, nor does it "protect" in its present form or function.

In the first instance, the awning constructed does not duplicate the awning protecting Units 2 and 3 as suggested and as is illustrated in the photographs here. It is inferior in its design, its material and its function. In the second case, it does not "protect" the space beneath it, but to the contrary actually compounds the

I respectfully request the application be returned to the Architectural Review Committee for modifications.

Thank you for your consideration,



Robert Bodet
as agent for David Trautenberg
Owner, Unit Number 7





1201 Chartres – Previously Existing Awnings

VCC Architectural Committee

May 10, 2022





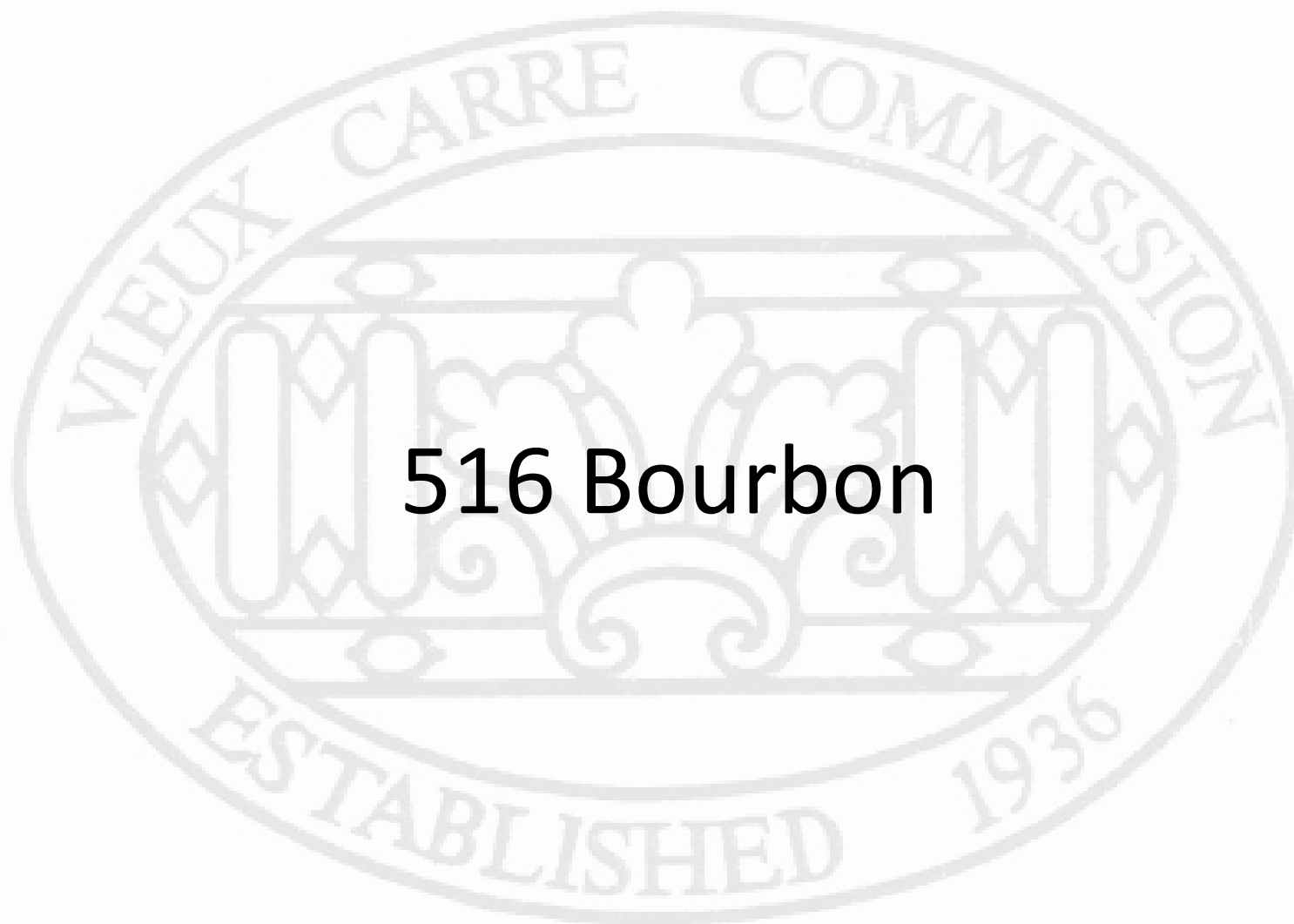
1201 Chartres – Previously Existing Awnings

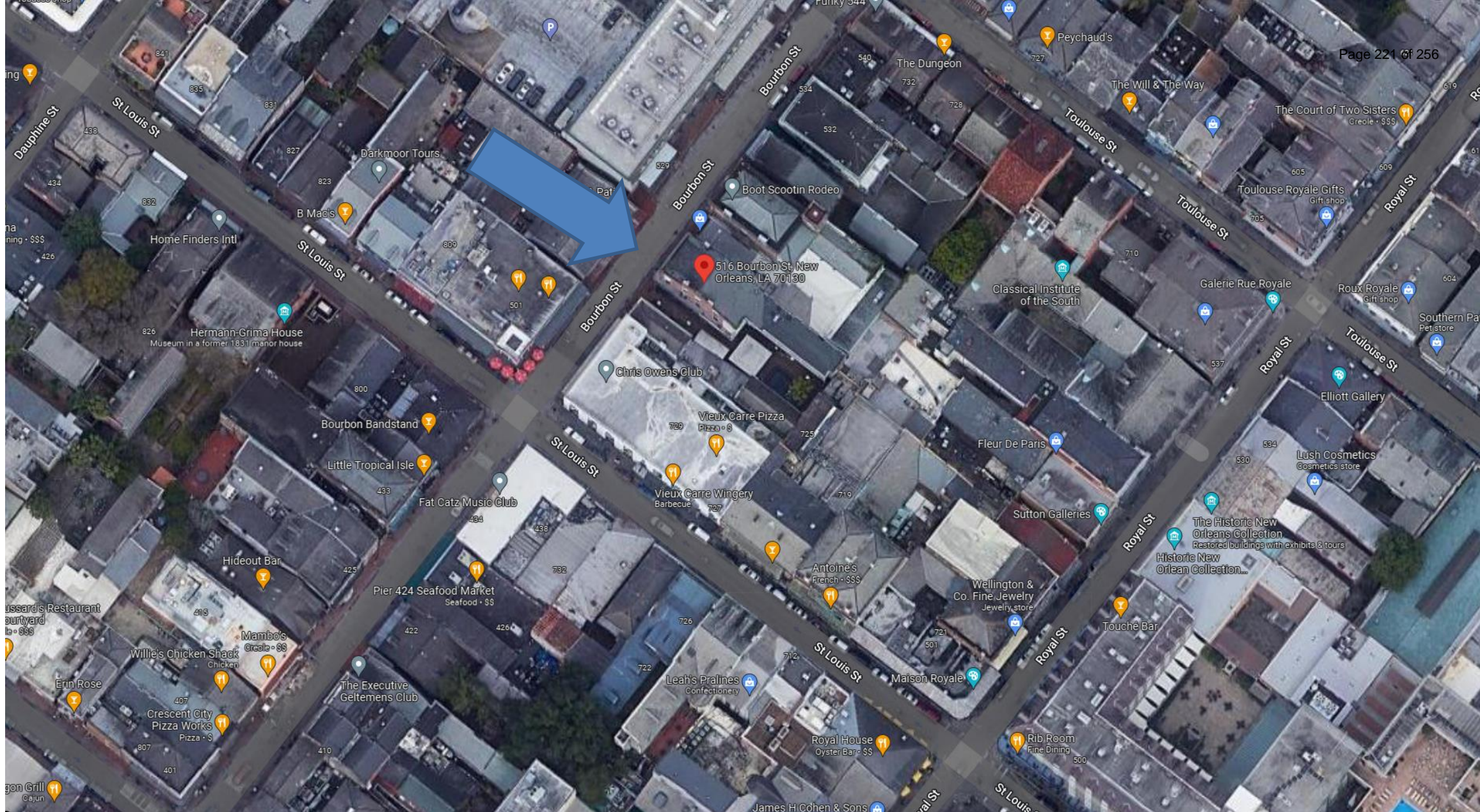
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May 10, 2022



516 Bourbon





516 Bourbon

VCC Architectural Committee

May 10, 2022



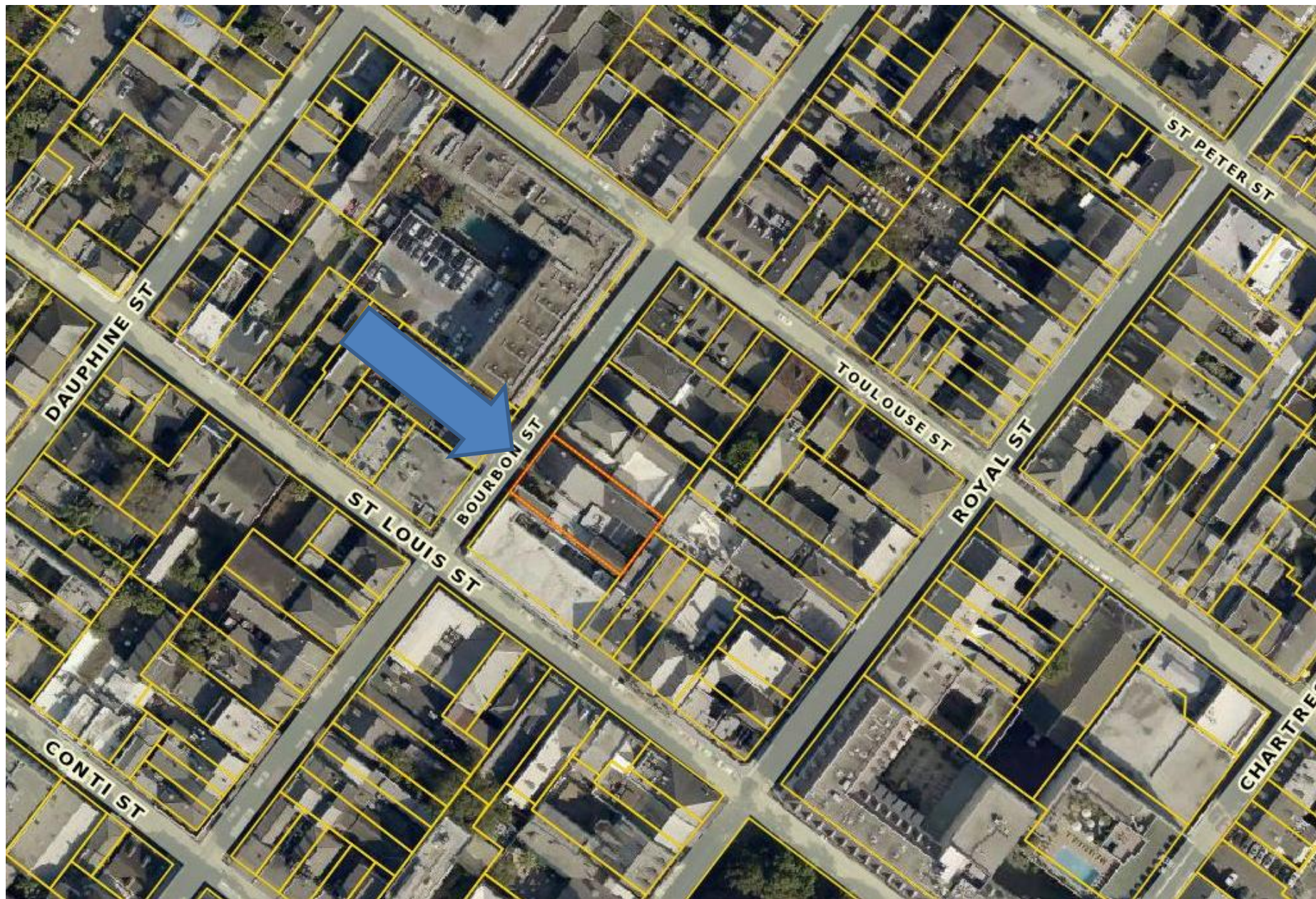


516 Bourbon

VCC Architectural Committee

May 10, 2022





516 Bourbon

VCC Architectural Committee

May 10, 2022



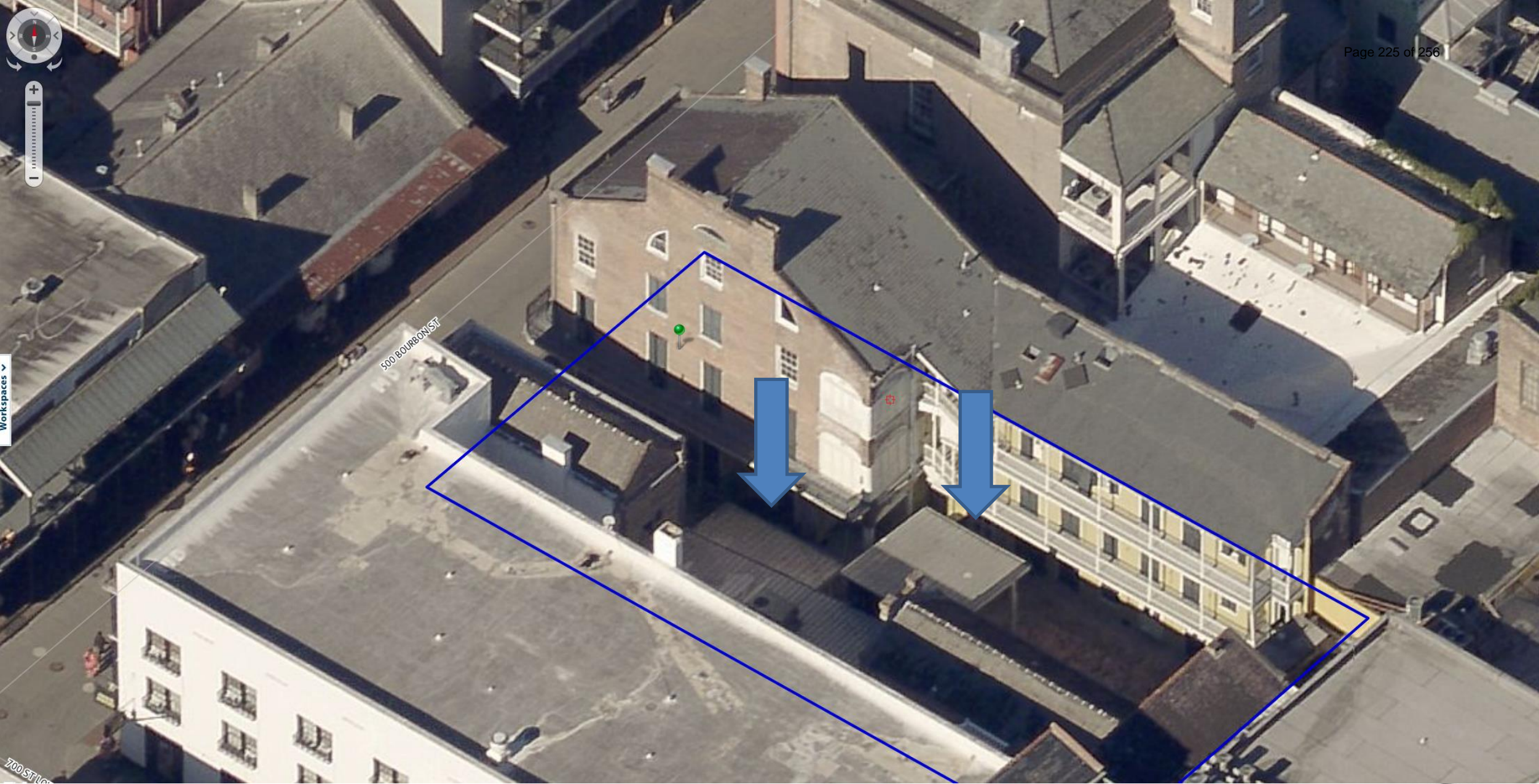


516 Bourbon

VCC Architectural Committee

May 10, 2022





516 Bourbon

VCC Architectural Committee

May 10, 2022





516 Bourbon

VCC Architectural Committee

May 10, 2022





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May 10, 2022





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May 10, 2022





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May 10, 2022





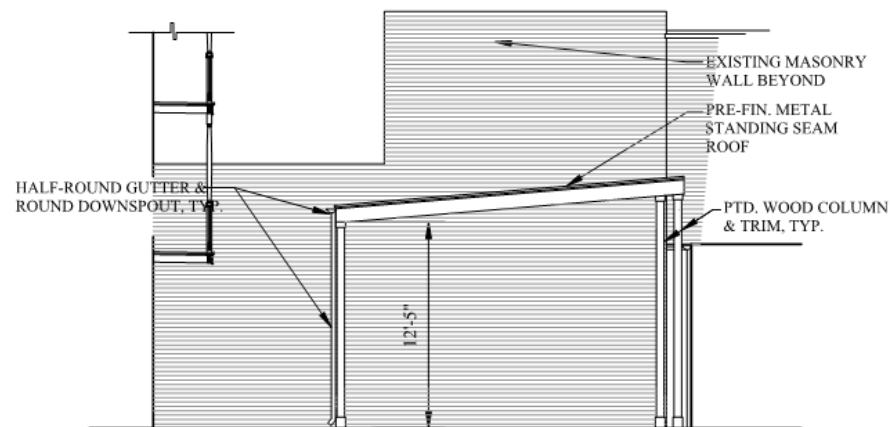
516 Bourbon

VCC Architectural Committee

May 10, 2022

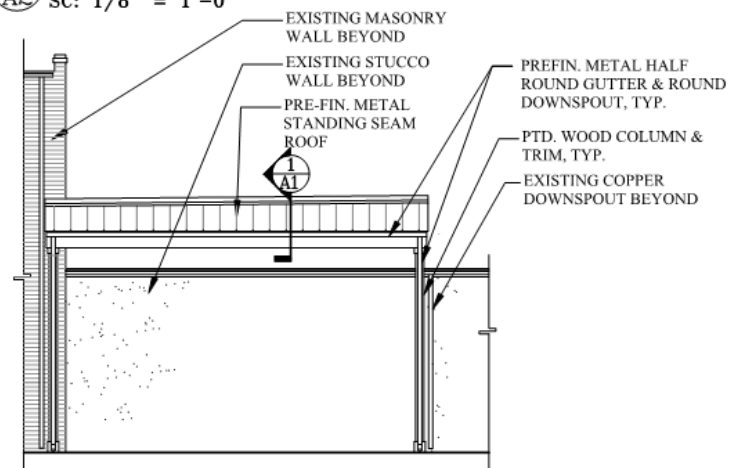






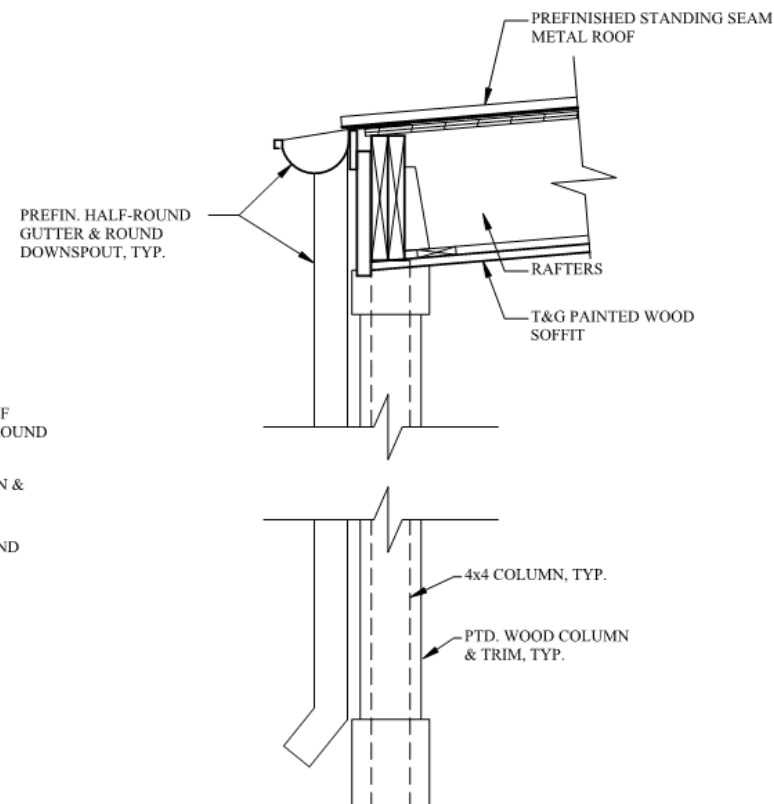
APPROVED BY V.C.C. 12.21.2010

A
A2 CANOPY ELEVATION
SC: 1/8" = 1'-0"



APPROVED BY V.C.C. 12.21.2010

B
A1 CANOPY ELEVATION
SC: 1/8" = 1'-0"



1
A1 CANOPY SECTION
SC: 1" = 1'-0"



805-07 Dauphine



805-07 Dauphine

VCC Architectural Committee

May 10, 2022





805-07 Dauphine

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May 10, 2022





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May 10, 2022





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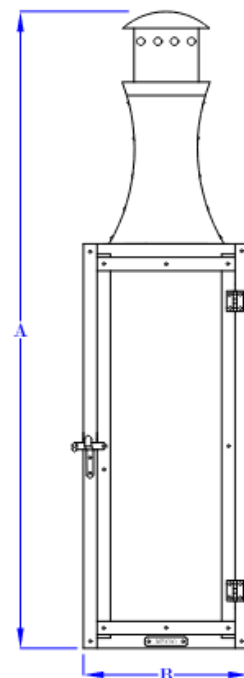


805-07 Dauphine

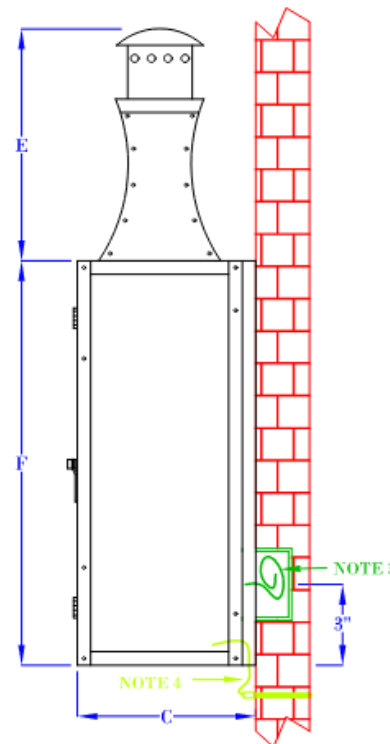
VCC Architectural Committee

May 10, 2022





FRONT VIEW
(NTS)



SIDE VIEW
(NTS)

**FLUSH MOUNTED
GAS FIXTURES
CANNOT BE MOUNTED TO
ANY COMBUSTIBLE
MATERIALS INCLUDING
WOOD, VINYL, PVC
OR COMPOSITES**

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}$ " COPPER GAS LINE AND $\frac{3}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	24"	30"	36"
A:	23 $\frac{3}{8}$ "	29 $\frac{1}{2}$ "	36"
B:	6"	7 $\frac{1}{2}$ "	9"
C:	6 $\frac{1}{2}$ "	8"	9 $\frac{1}{2}$ "
E:	8 $\frac{3}{8}$ "	10 $\frac{3}{4}$ "	13 $\frac{1}{2}$ "
F:	15"	18 $\frac{3}{4}$ "	22 $\frac{1}{2}$ "

BEVOLO GAS & ELECTRIC LIGHTS				DRW BY:	JJG	COPYRIGHT 2019, BEVOLO GAS & ELECTRIC LIGHTS. THIS DRAWING AND ANY DESIGN OR DATA CONTAINED THEREIN ARE CONSIDERED PROPERTY OF BEVOLO GAS AND ELECTRIC LIGHTS. NEITHER THE DRAWING NOR ITS CONTENT MAY BE COPIED, REPRODUCED, OR EDITED TO A LIKENESS WITHOUT THE WRITTEN CONSENT OF BEVOLO GAS AND ELECTRIC LIGHTS.
LIGHT:	GOVERNOR		DATE:	APP. BY:	JJG	
BRACKET:	FLUSH MOUNT		9-10-19	REVISION:	3	



To Whom it may concern,

I've been asked to write a letter regarding the lanterns currently installed at 807 Dauphine Street. It is in my opinion that these lanterns are appropriate as currently installed. The lanterns are each placed near the entrance and on the 'action' side of the door. Using one light near each door would be reminiscent of historic gas lanterns, as two lights on each door would be unnecessary to accomplish the goal of lighting the doorknob and/or lock. Using a sconce style lantern, one that was designed in the early part of the 19th century, allows for a gas flame to be closer to the area it's trying to light. This style of lantern is simple in that it just has a box, and a fluted top to expel heat. The tall linear design was/is typically used in situations precisely like this one where there is not much horizontal space to accommodate a lantern. If I can be of any further assistance, please feel free to reach out.

Sincerely,

Chris Bevolo

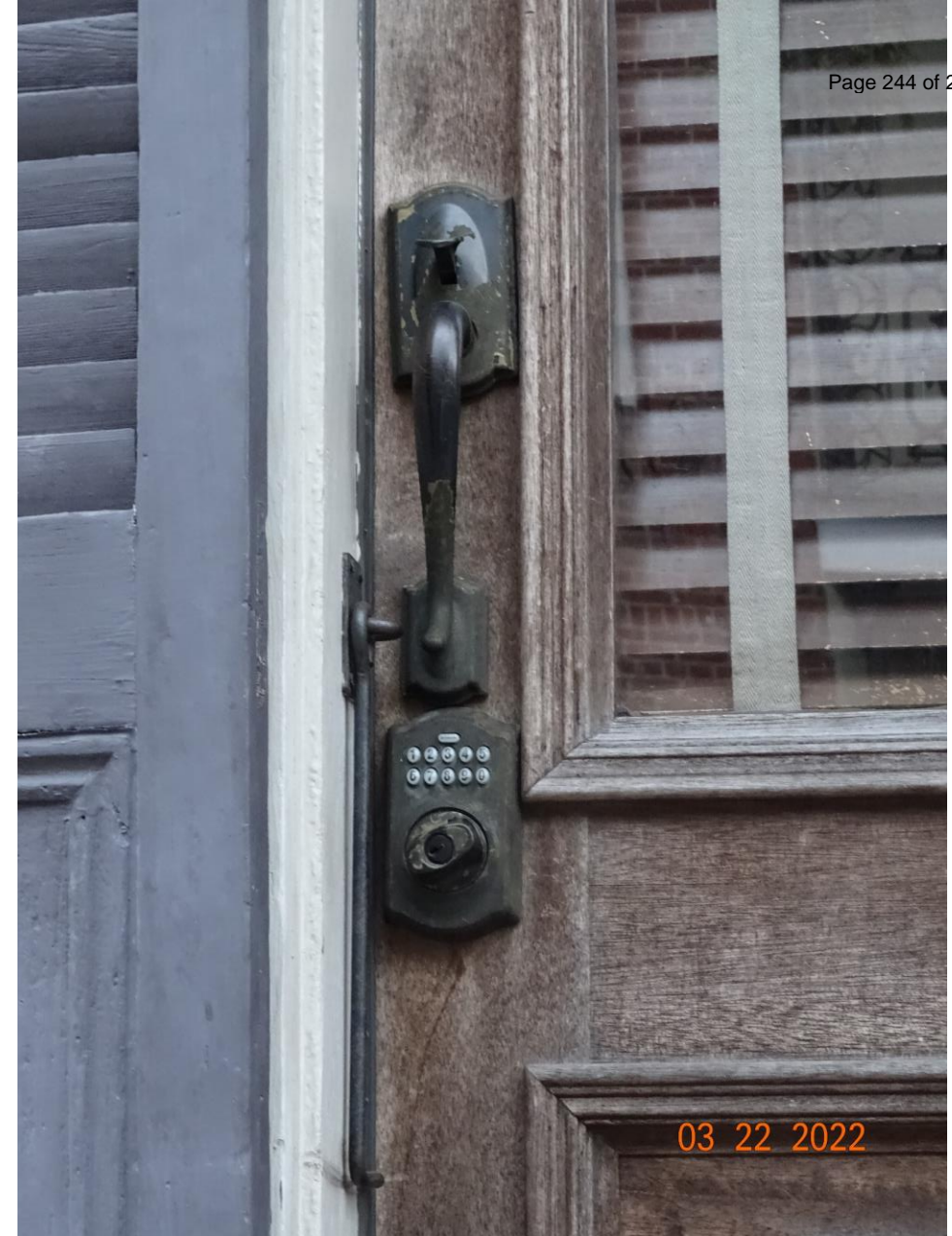
Chris Bevolo
chris@bevolo.com
504-522-9485

805-07 Dauphine

VCC Architectural Committee

May 10, 2022



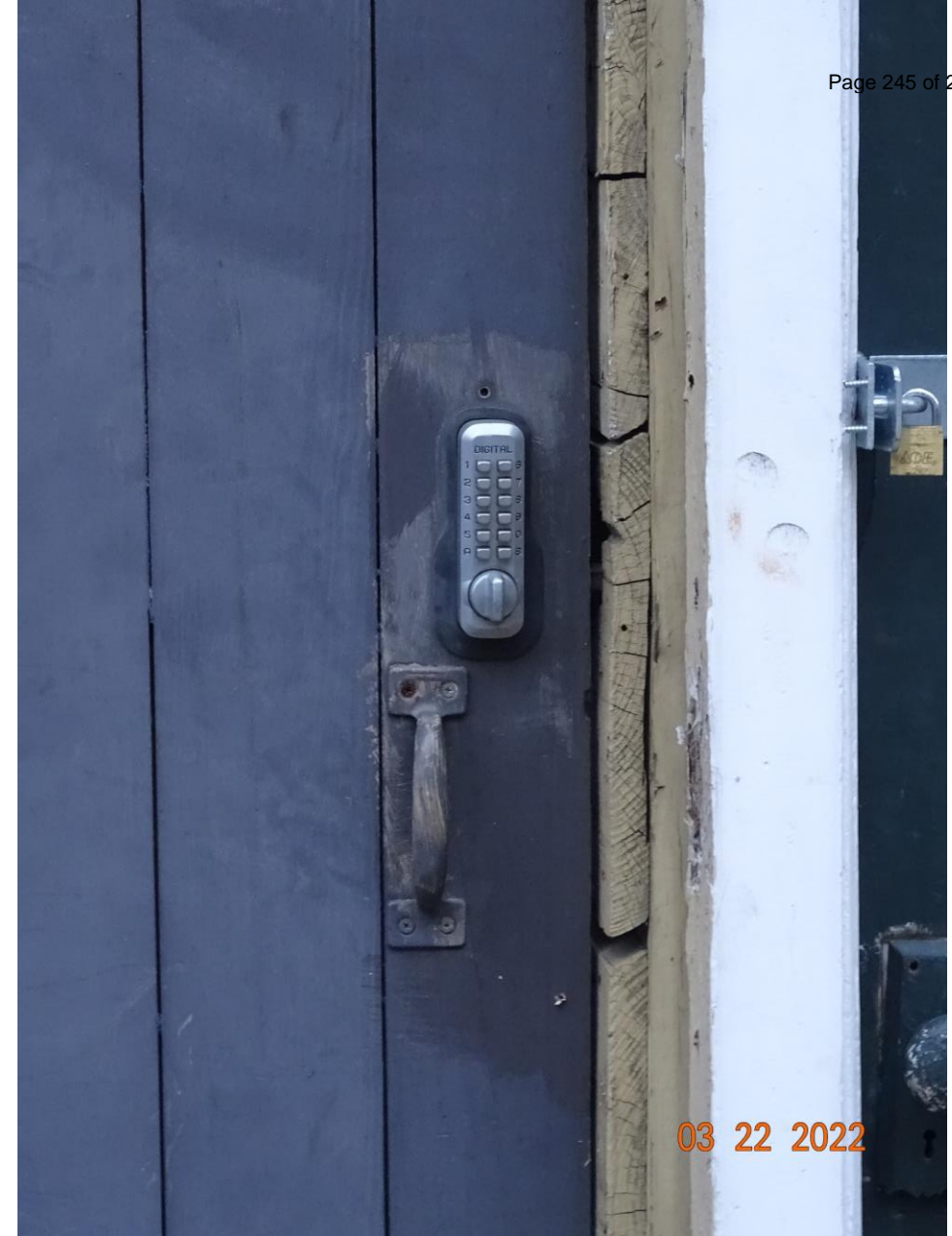


805-07 Dauphine

VCC Architectural Committee

May 10, 2022





805-07 Dauphine

VCC Architectural Committee

May 10, 2022



Schlage Encode™ Smart WiFi Deadbolt with Century Trim

Page 246 of 256

BE489WB CEN 716



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Schlage Encode™ Smart WiFi Deadbolt with Camelot Trim

BE489WB CAM 716



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Finish: Aged Bronze



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928 Conti

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May 10, 2022





928 Conti

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928 Conti - 2010

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928 Conti

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10 05 2021

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928 Conti

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03 22 2022

May 10, 2022

