

Vieux Carré Commission Architecture Committee Meeting

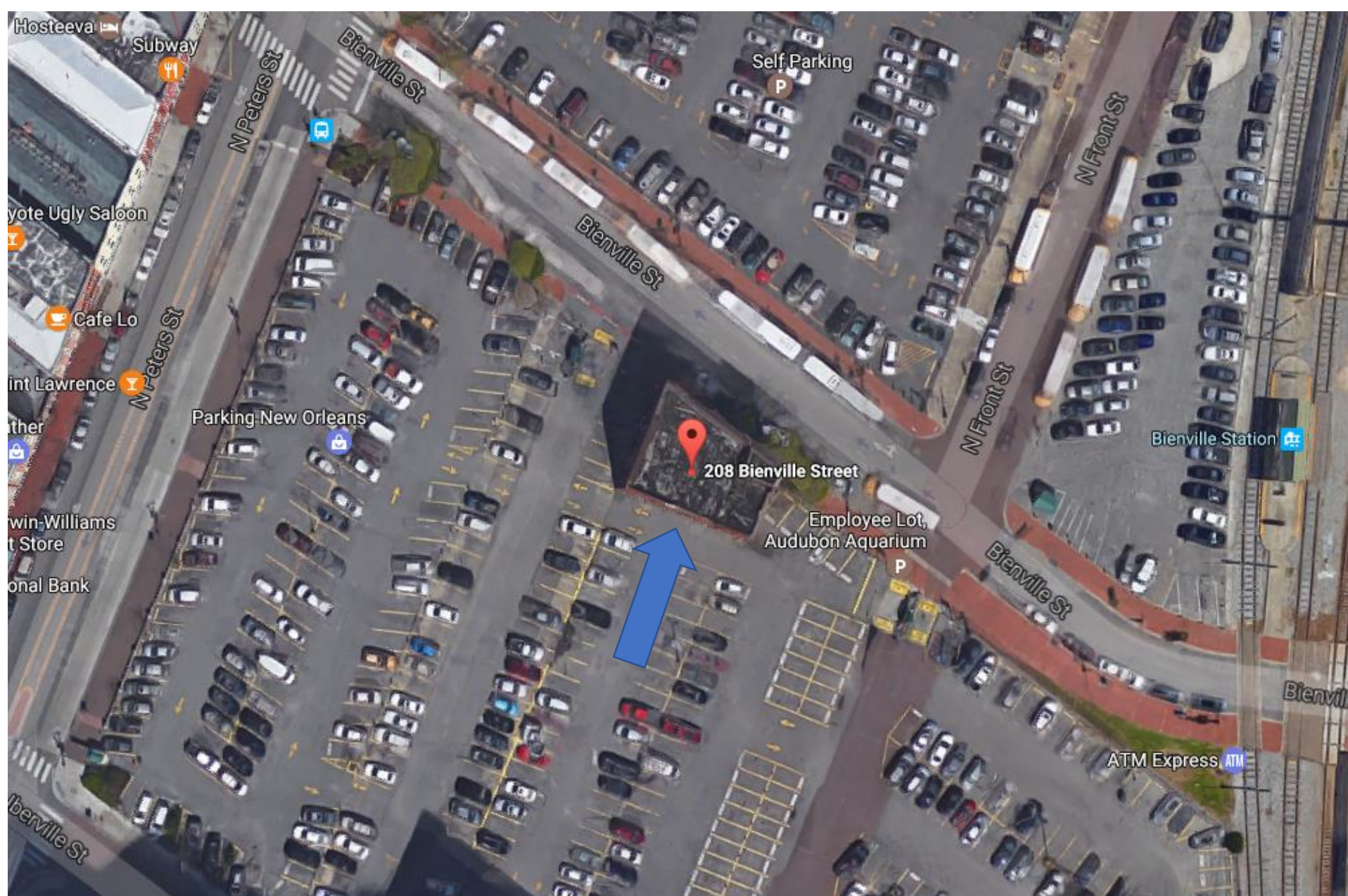
Tuesday, July 12, 2022

Old Business





208 Bienville

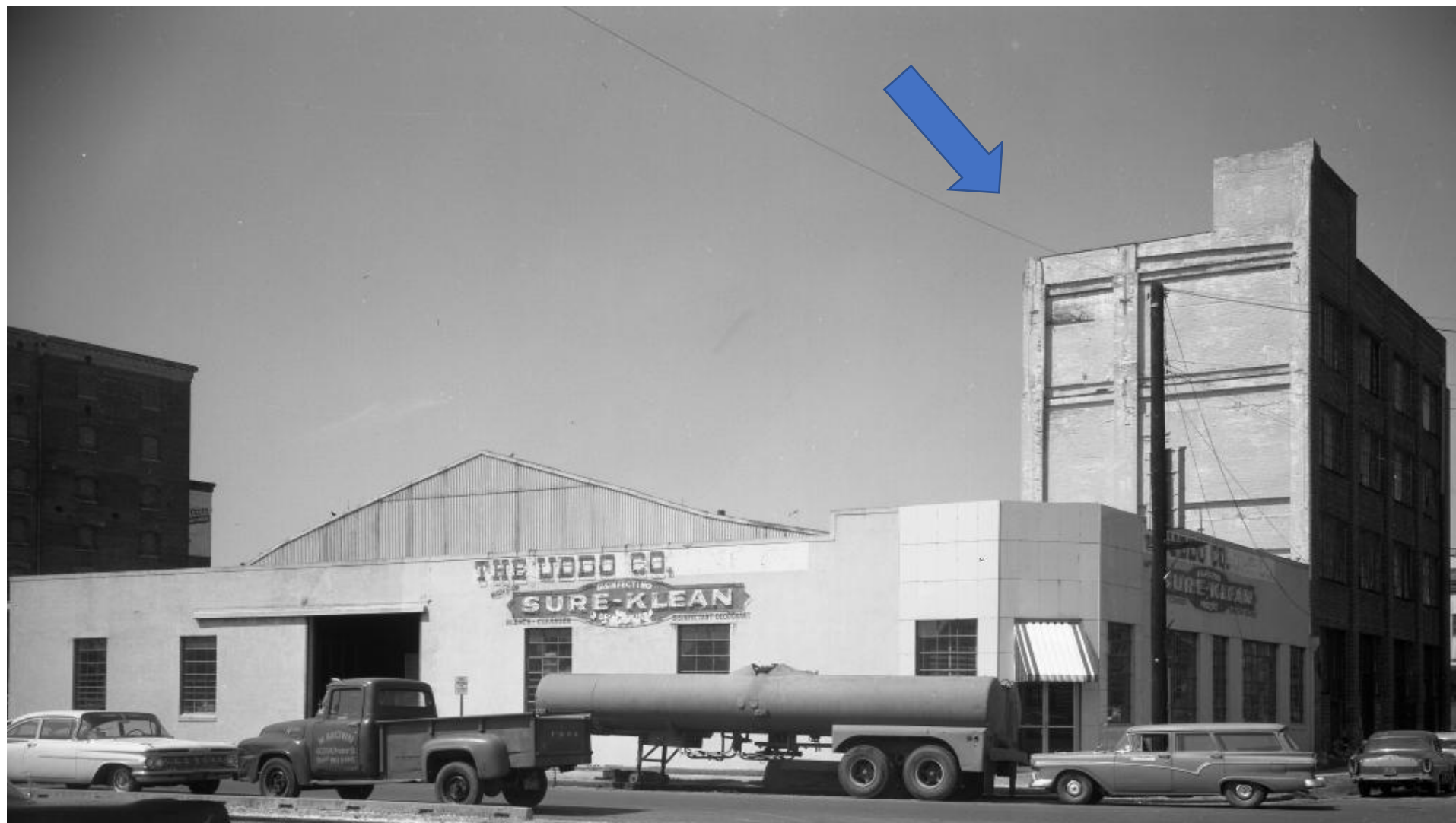


208 Bienville

VCC Architectural Committee

July 12, 2022





208 Bienville, 1962

VCC Architectural Committee

July 12, 2022



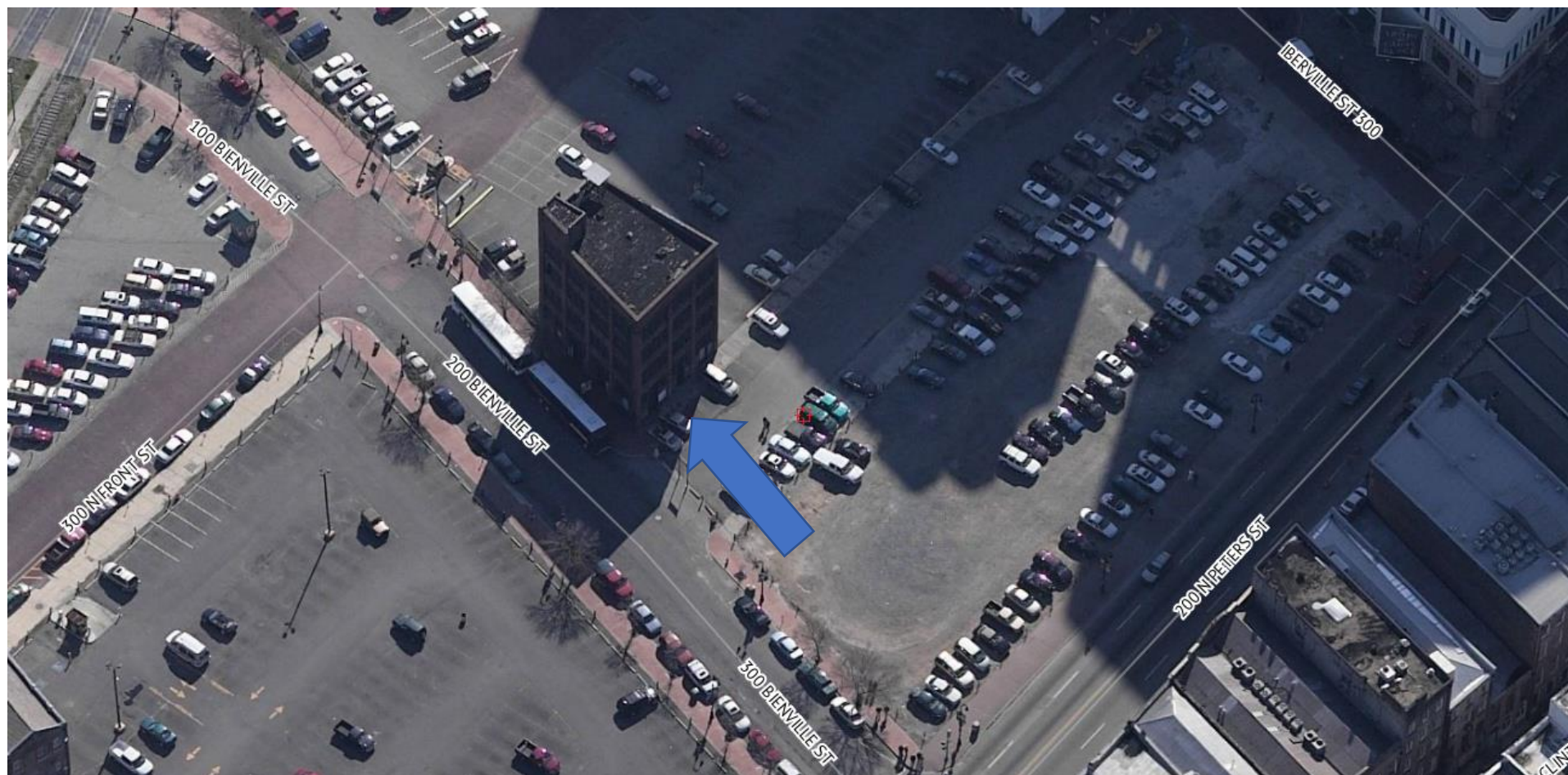


208 Bienville

VCC Architectural Committee

July 12, 2022





208 Bienville

VCC Architectural Committee

July 12, 2022





208 Bienville

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July 12, 2022



208 Bienville

VCC Architectural Committee



05 27 2021

July 12, 2022





208 Bienville

VCC Architectural Committee

July 12, 2022





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VCC Architectural Committee

July 12, 2022





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VCC Architectural Committee

July 12, 2022



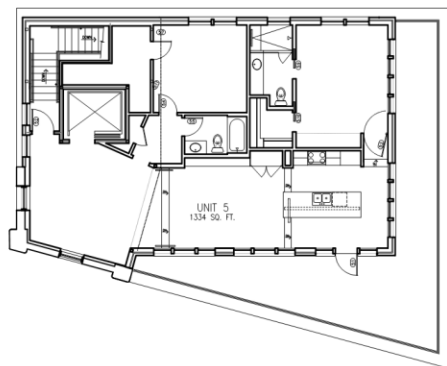


208 Bienville

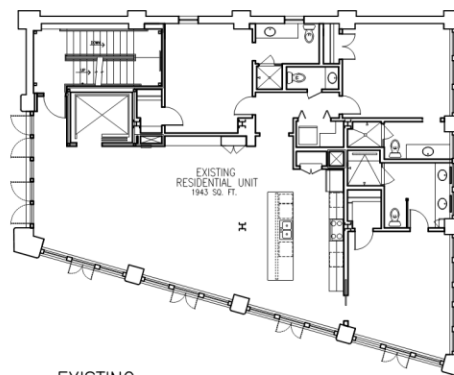
VCC Architectural Committee

July 12, 2022

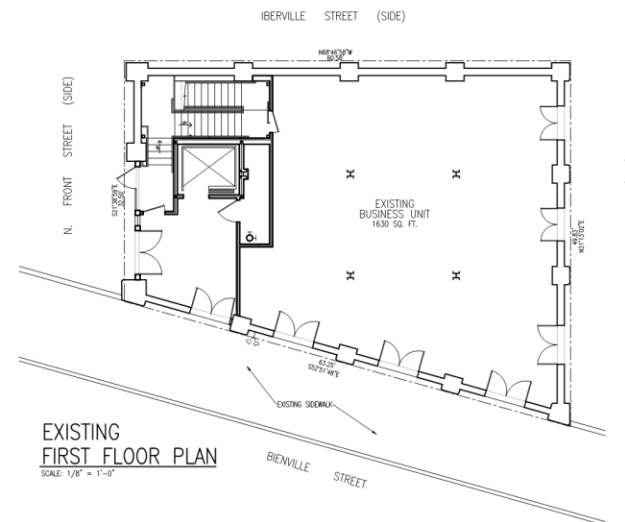




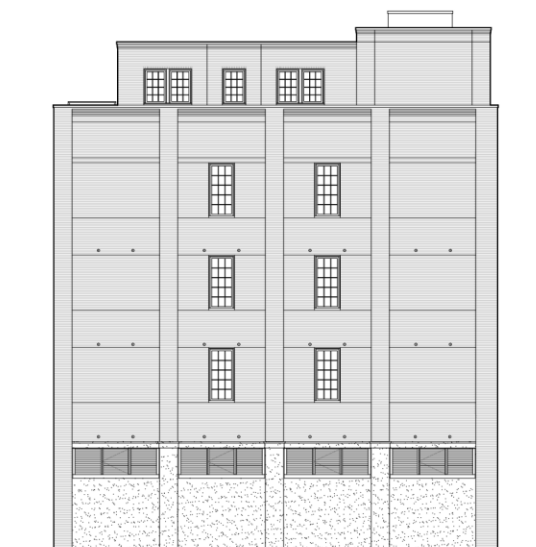
EXISTING
5TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



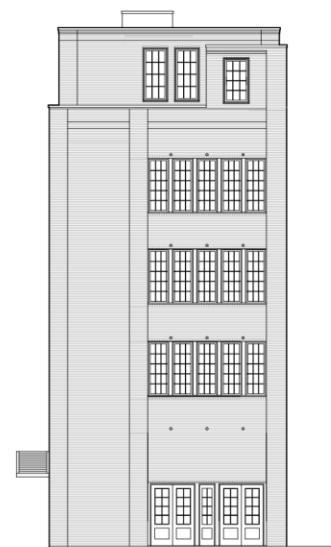
EXISTING
2ND/3RD/4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



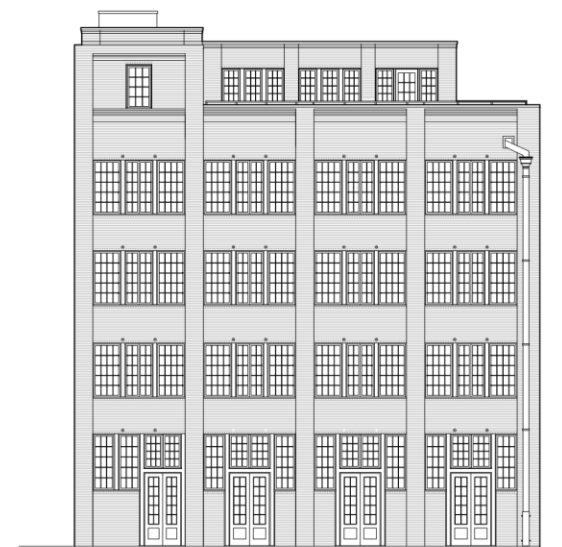
EXISTING
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING
CANAL PLACE SIDE ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING
RIVER SIDE ELEVATION



EXISTING
BIENVILLE STREET ELEVATION
SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to

GALLERY PROPOSAL
208 BIENVILLE ST.
NEW ORLEANS, LOUISIANA

NO.	REVISION:
CHECKED BY:	
DRAWN BY:	
DATE:	
6-1	
JOB NO.:	

EX1

SHEET OF

**TERRELL
FABACHER
ARCHITECTS, LLC**
1525 ST. CHARLES AVE., Ste. 300
NEW ORLEANS, LOUISIANA, 70125
504-566-1376
504-566-1376

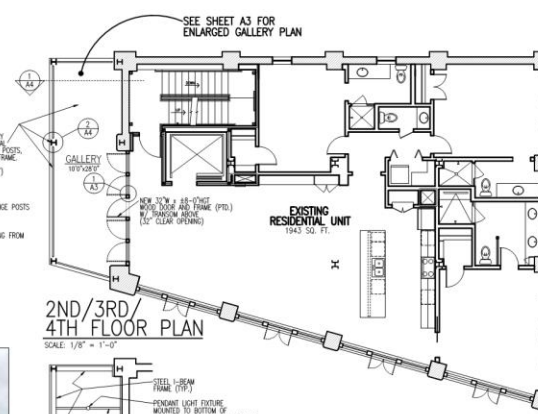




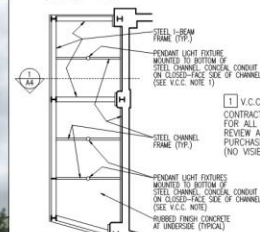
EXISTING CURRENT CONDITIONS



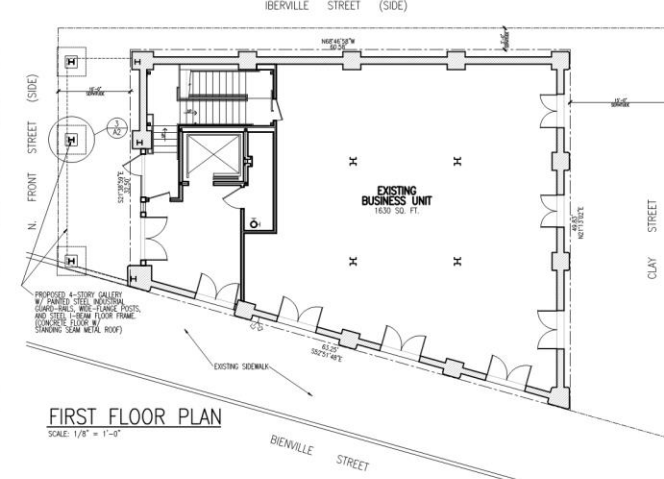
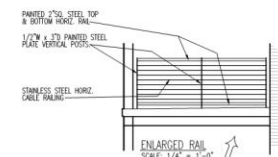
EXISTING CURRENT CONDITIONS



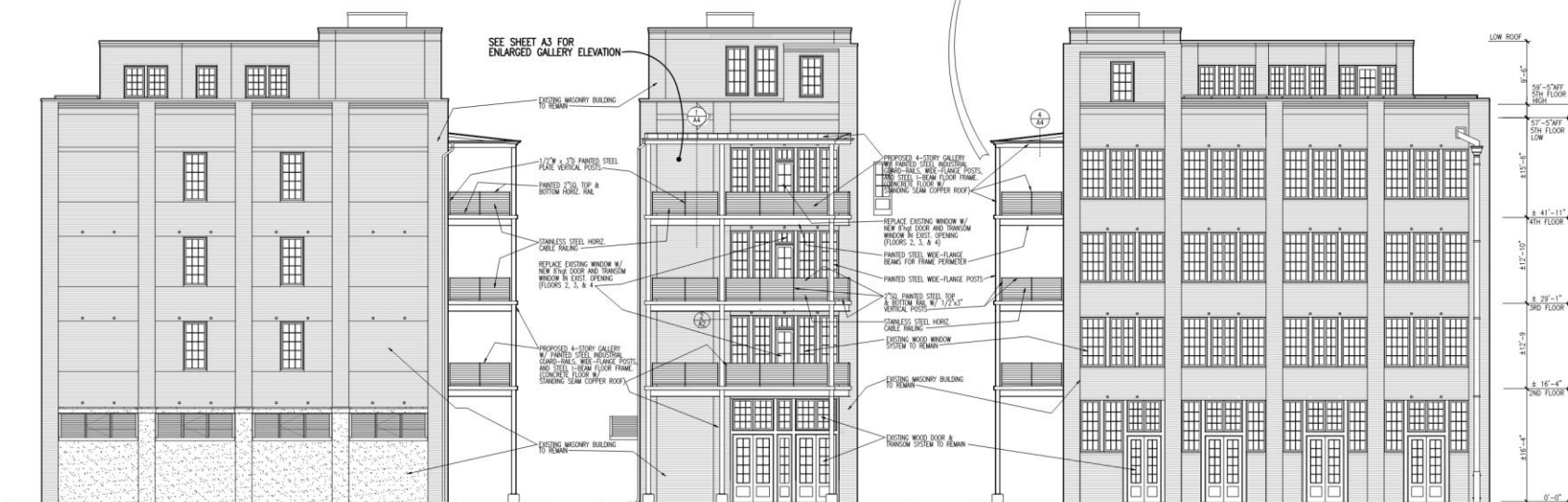
2ND/3RD/
4TH FLOOR PLAN



REFLECTED CEILING PLAN



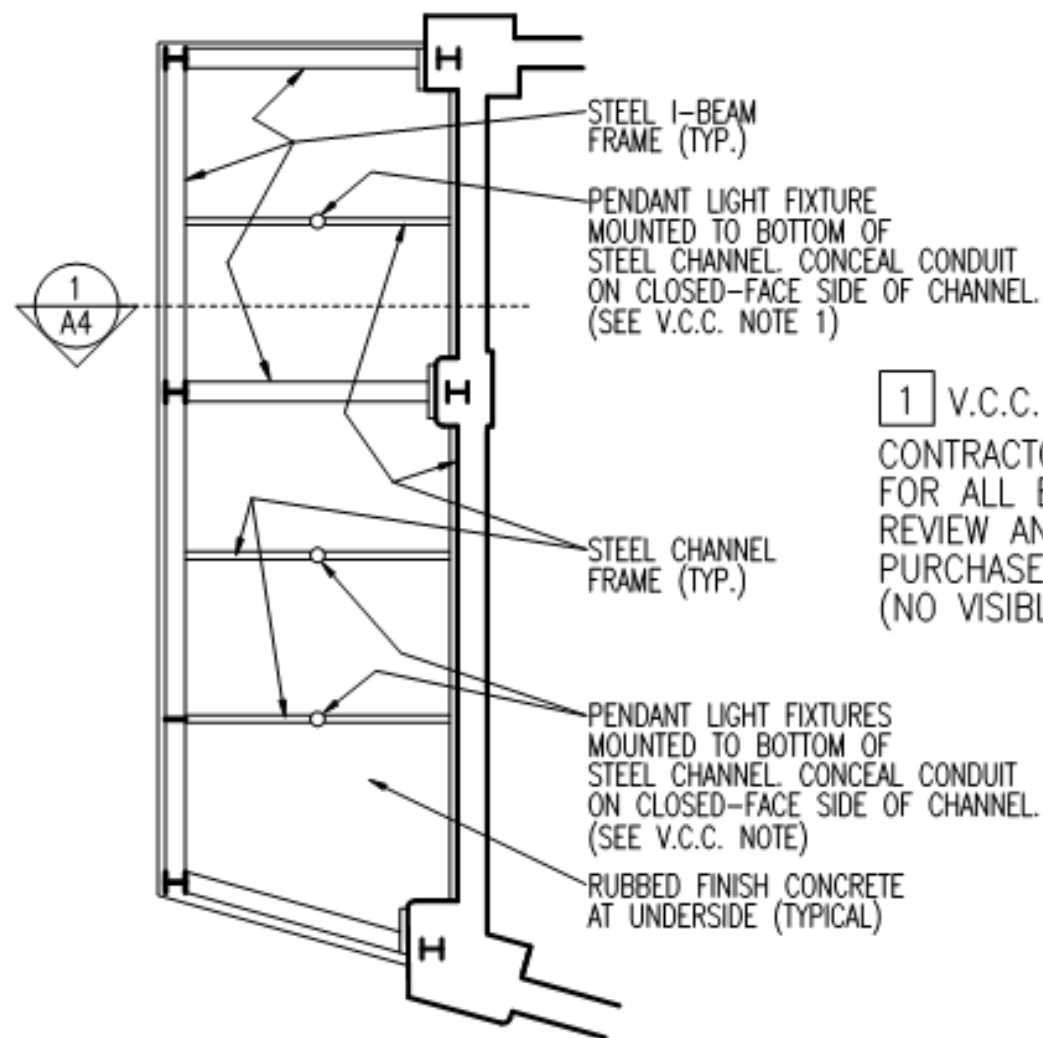
FIRST FLOOR PLAN



CANAL PLACE SIDE ELEVATION

RIVER SIDE ELEVATION

BIENVILLE STREET ELEVATION



1 V.C.C. NOTE:
CONTRACTOR/OWNER SHALL SUBMIT CUT SHEETS FOR ALL EXTERIOR LIGHTING FIXTURES FOR REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION (MANDATORY) (NO VISIBLE EXPOSED WIRING/CONDUIT)

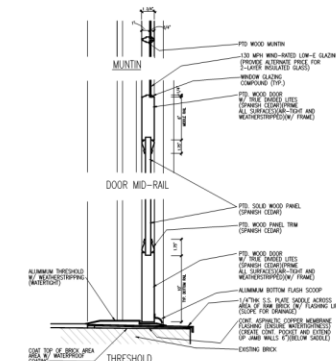
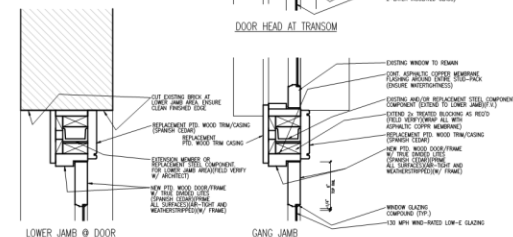
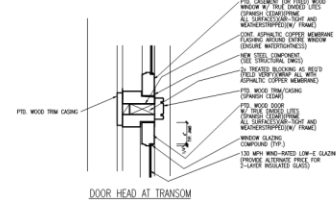
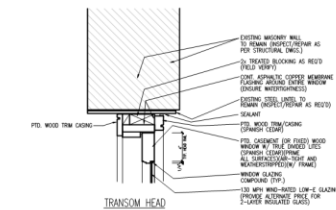
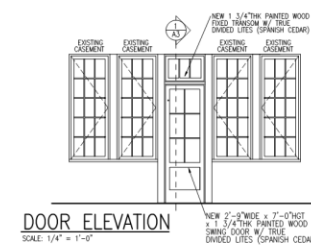
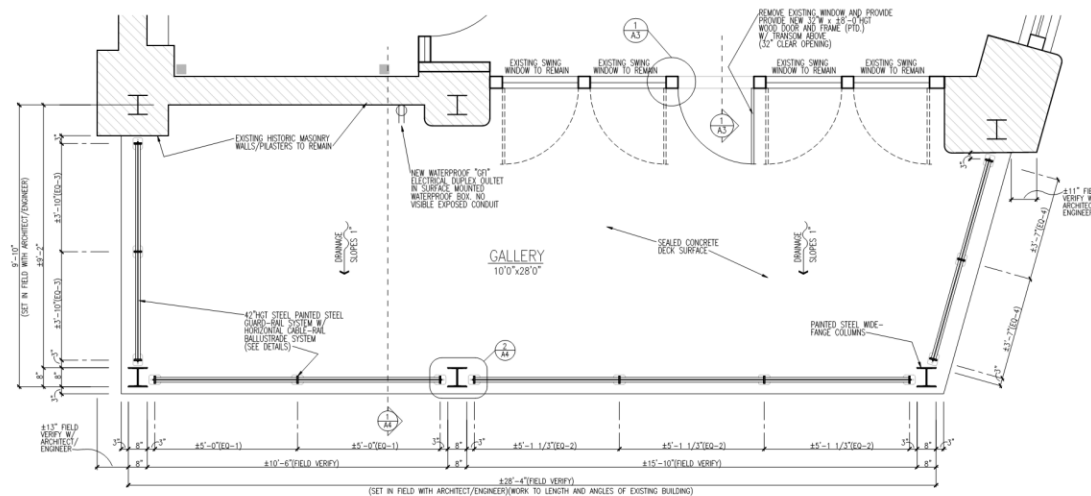
PAINTED 2"
& BOTTOM

1/2"W x 3"
PLATE VERT

STAINLESS
CABLE RAIL

REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

GALLERY PROPOSAL
208 BIENVILLE ST.
NEW ORLEANS, LOUISIANA

NO.	REVISIONS

CHECKED BY:

DRAWN BY:

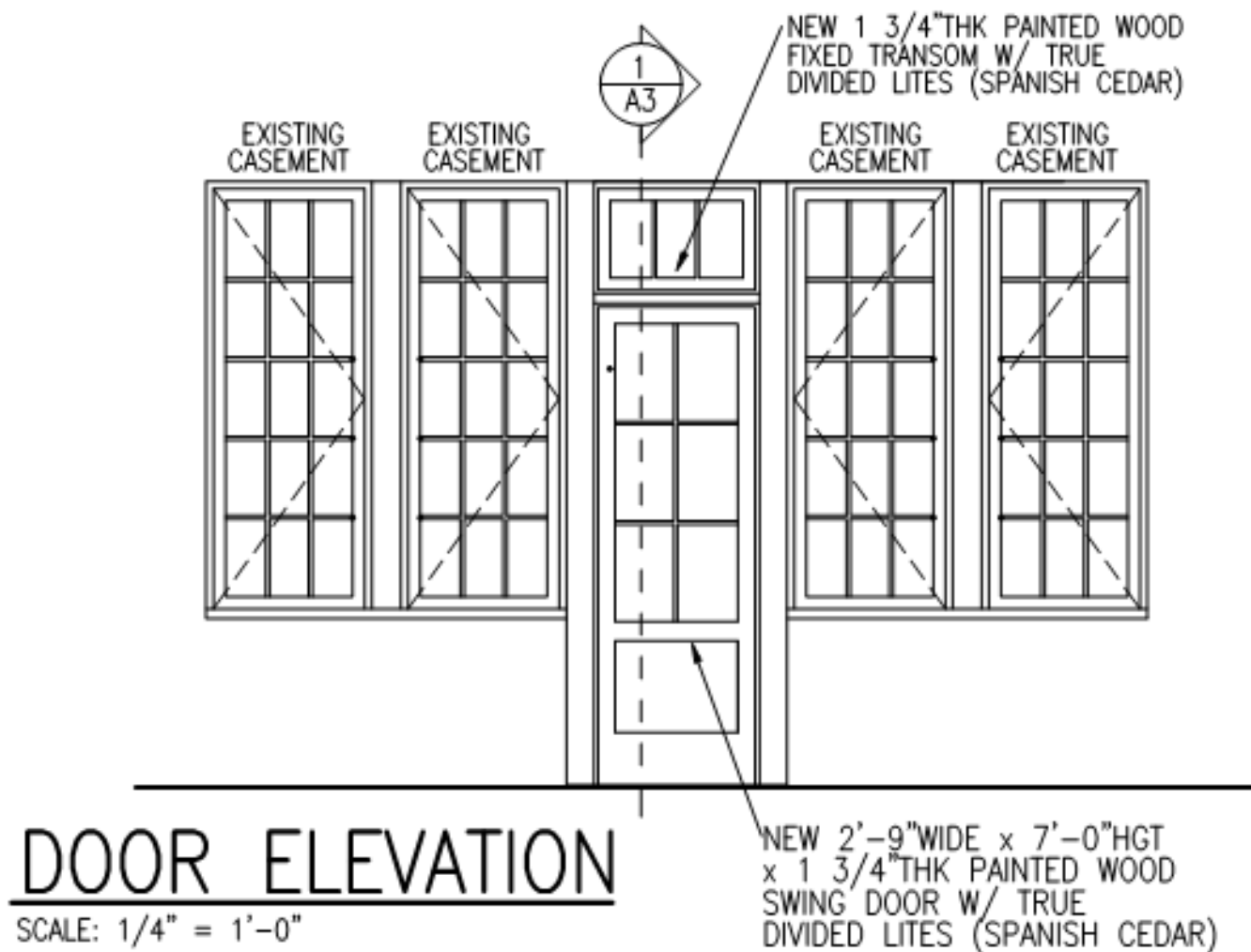
DATE: 6-1-22

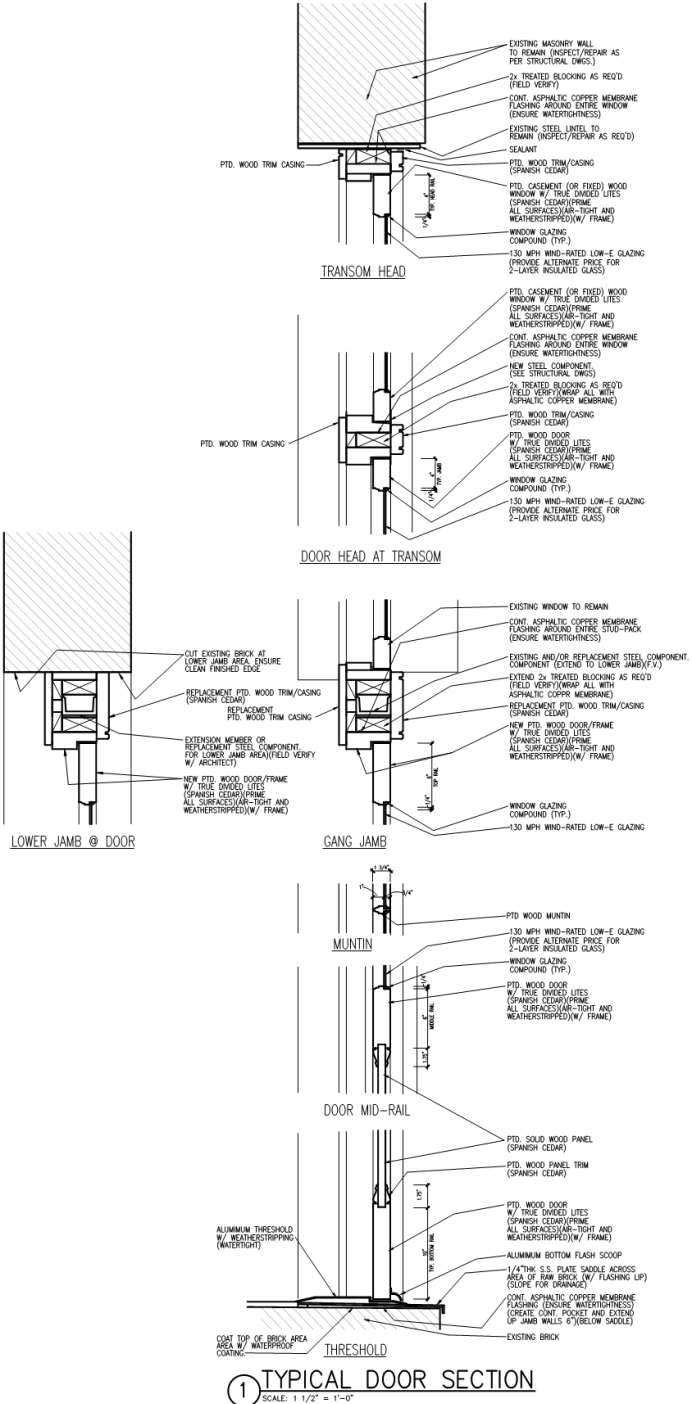
JOB NO.:

A3

SHEET OF







① TYPICAL DOOR SECTION
SCALE: 1 1/2" = 1'-0"

208 Bienville

VCC Architectural Committee

July 12, 2022

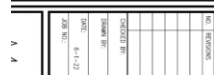


VCC Architectural Committee



**TERRELL
FABACHER**
ARCHITECTS, L.L.C.

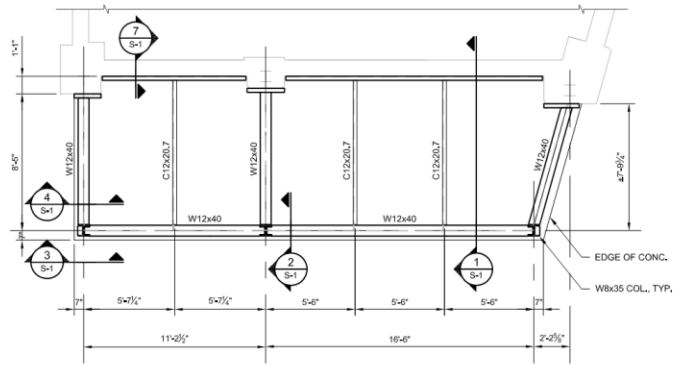
1050 S. NORMAN FRANCIS PKWY
SUITE 241
NEW ORLEANS, LOUISIANA, 70125
504-566-1320 TEL
504-566-1320 FAX



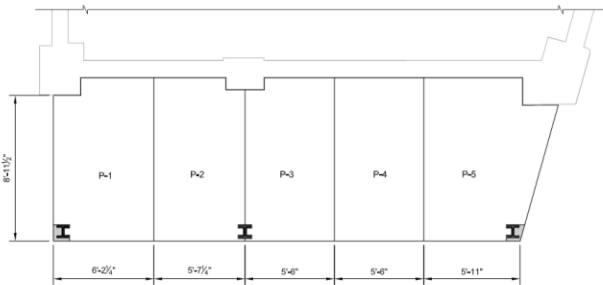
The project ☐ will ☐ will not be visited periodically to review job progress.

208 Bienville

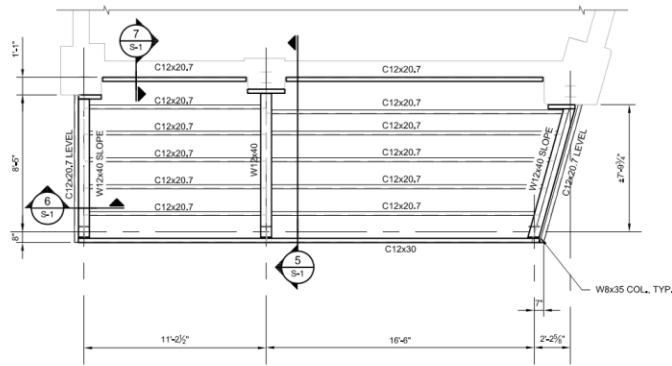
VCC Architectural Committee



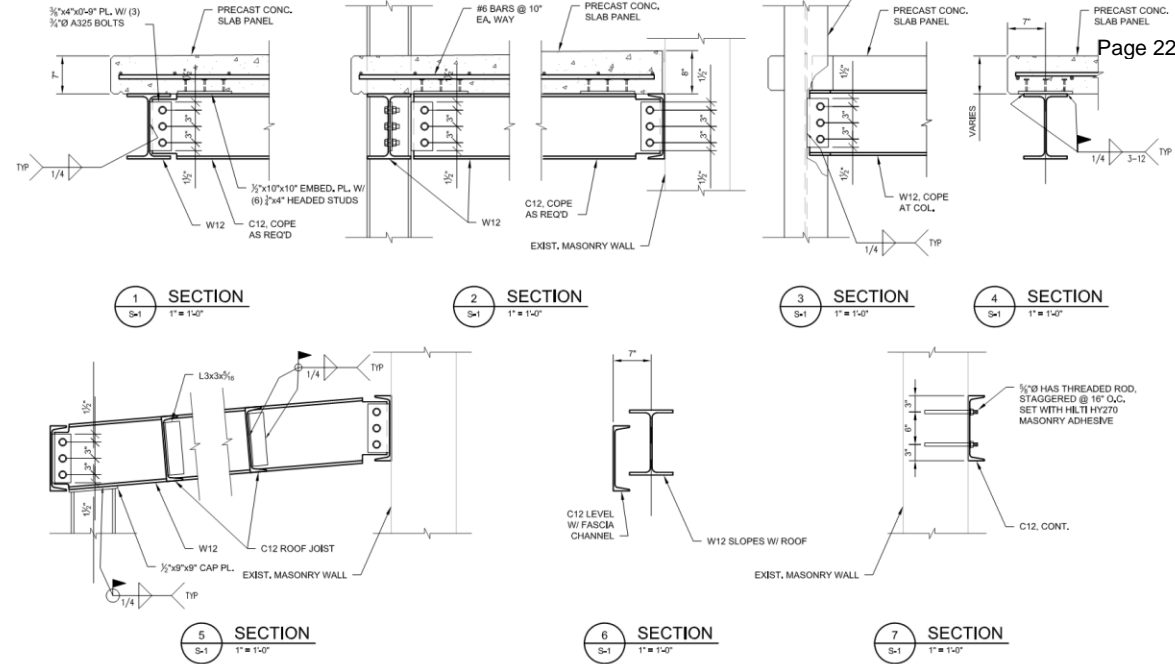
TYPICAL FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



TYPICAL PRECAST PANEL PLAN
SCALE: 1/4" = 1'-0"



TYPICAL ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



STRUCTURAL GENERAL NOTES

A. GENERAL

- DO NOT SCALE CONTRACT DRAWINGS FOR THE PURPOSE OF ESTABLISHING DIMENSIONS.
- DIMENSIONS SHOWN OF EXISTING CONSTRUCTION ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK OR FABRICATING MATERIALS.
- ENGINEERS APPROVAL MUST BE SECURED FOR ALL SUBSTITUTIONS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING AND DAMP PROOFING DETAILS.
- CHECK ALL DIMENSIONS ON STRUCTURAL DRAWINGS AGAINST ARCHITECTURAL DRAWINGS.

B. STRUCTURAL STEEL

- FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC 303 "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION.
- ALL STRUCTURAL STEEL MEMBERS AND CONNECTIONS DESIGNED USING CODES, STANDARDS, AND SPECIFICATIONS IN THE AISC STEEL CONSTRUCTION MANUAL, FIFTEENTH EDITION.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:

TYPE	EX. KSI	ASTM
a.) STEEL SHAPES, W AND WT	50	A992
b.) STEEL SHAPES OTHER THAN W AND WT	36	A36
c.) STEEL PLATES	36	A36
d.) STRUCTURAL PIPE	35	A53, GR B
e.) HSS, RECTANGULAR	46	A500, GR B
f.) HSS, ROUND	42	A500, GR B
g.) STRUCTURAL BOLTS	52	A325
- PROVIDE ALL WELDING DONE BY QUALIFIED, CURRENTLY CERTIFIED WELDERS IN ACCORDANCE WITH AWS STRUCTURAL WELDING CODE-6/STEEL D1, D2/D20, PROVIDE E70XX ELECTRODES UNLESS OTHERWISE NOTED.
- STRUCTURAL STEEL DETAILS AND CONNECTIONS SHALL CONFORM TO THE STANDARDS OF THE AISC.
- PROVIDE BEARING TYPE BOLTS AND INSTALL "SNUG TIGHT".

C. PRECAST CONCRETE FLOOR PANELS

- PRECAST CONCRETE SHALL DEVELOP 5,000 PSI ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS.
- DESIGN AND FABRICATION OF PRECAST CONCRETE UNITS SHALL BE IN ACCORDANCE WITH PCA MIN. 117 & ACI 318 CODE, LATEST EDITION.
- SIZE OF PRECAST MEMBERS SHALL NOT BE CHANGED UNLESS ACCEPTED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- NO WELDING OF REINFORCING SHALL BE PERMITTED UNLESS SPECIFICALLY CALLED FOR OR ACCEPTED BY THE STRUCTURAL ENGINEER.
- PRECAST UNITS SHALL BE CAST TO TOLERANCES SHOWN IN PART 8, "PRECAST CONCRETE INSTITUTE'S DESIGN HANDBOOK".
- SEE DRAWINGS FOR INSERTS, CONNECTIONS AND REINFORCING.

DATE	06/01/22
REV. NO.	0
REVISIONS / COMMENTS	ISSUED FOR VCC REVIEW

PRELIMINARY
"NOT FOR
CONSTRUCTION"
DATE ISSUED: 06/01/2022
PREP: BASIN ENGINEERING & SURVEYING
ENGINEER: David J. Basin, P.E.
LICENSE NO. 38648

208 BIENVILLE ST., NEW ORLEANS
FOUR-STORY GALLERY ADDITION
VCC ARCHITECTURAL COMMITTEE
FRAMING PLAN & DETAILS
APPROVED BY: DFB
CHECKED BY: DFB
DATE: 06/01/2022
SHEET NO.: S-1



July 12, 2022



518 Conti



518 Conti



518 Conti



518 Conti

VCC Architectural Committee

July 12, 2022





518 Conti



518 Conti

VCC Architectural Committee

July 12, 2022





518 Conti

VCC Architectural Committee

July 12, 2022





518 Conti

VCC Architectural Committee

July 12, 2022





518 Conti

VCC Architectural Committee

July 12, 2022





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518 Conti

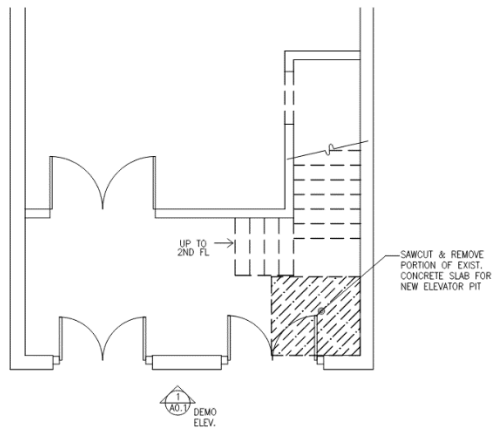
VCC Architectural Committee

July 12, 2022

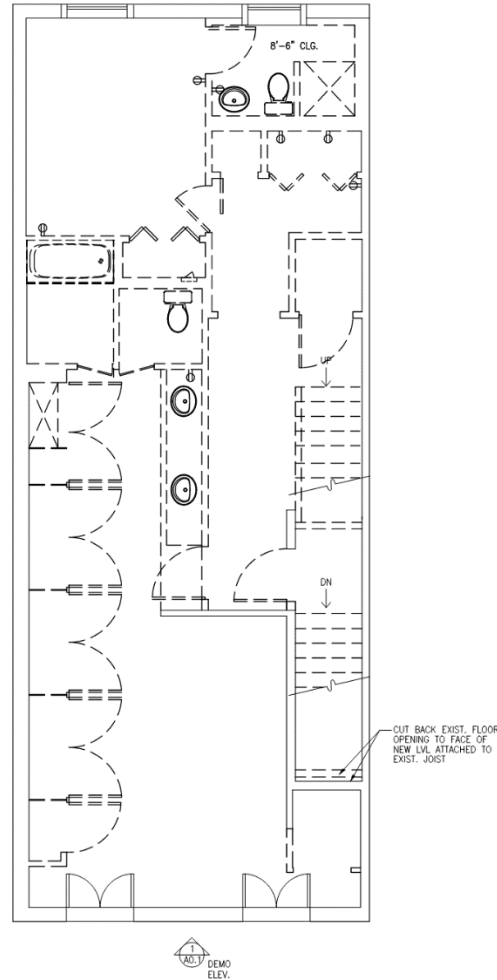




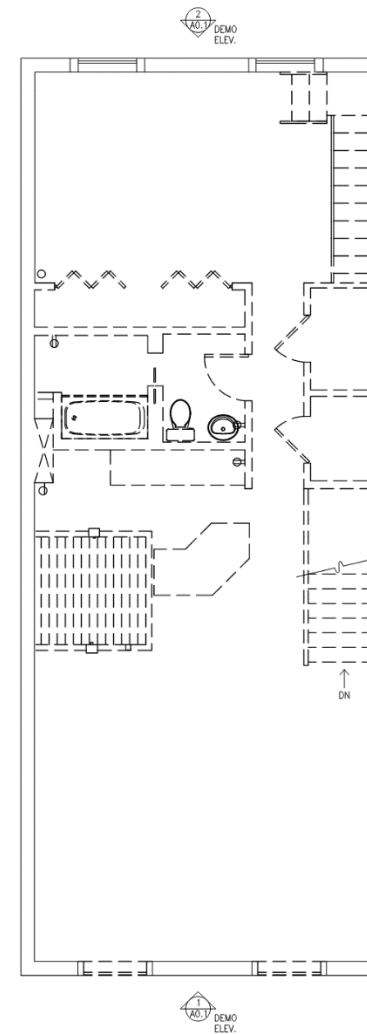
518 Conti



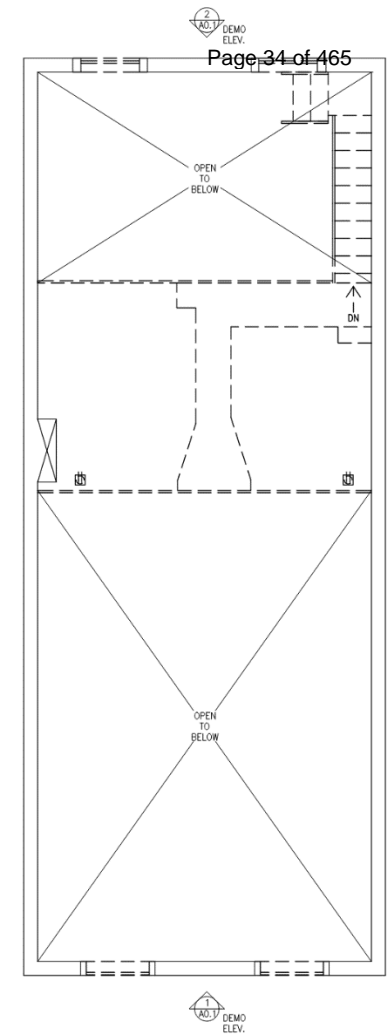
1 PARTIAL 1ST FLOOR
DEMOLITION PLAN
SCALE: 1/4"=1'-0"



2 2ND FLOOR
DEMOLITION PLAN
SCALE: 1/4"=1'-0"



3 3RD FLOOR
DEMOLITION PLAN
SCALE: 1/4"=1'-0"



4 LOFT DEMOLITION PLAN
SCALE: 1/4"=1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

518 Conti

VCC Architectural Committee

July 12, 2022

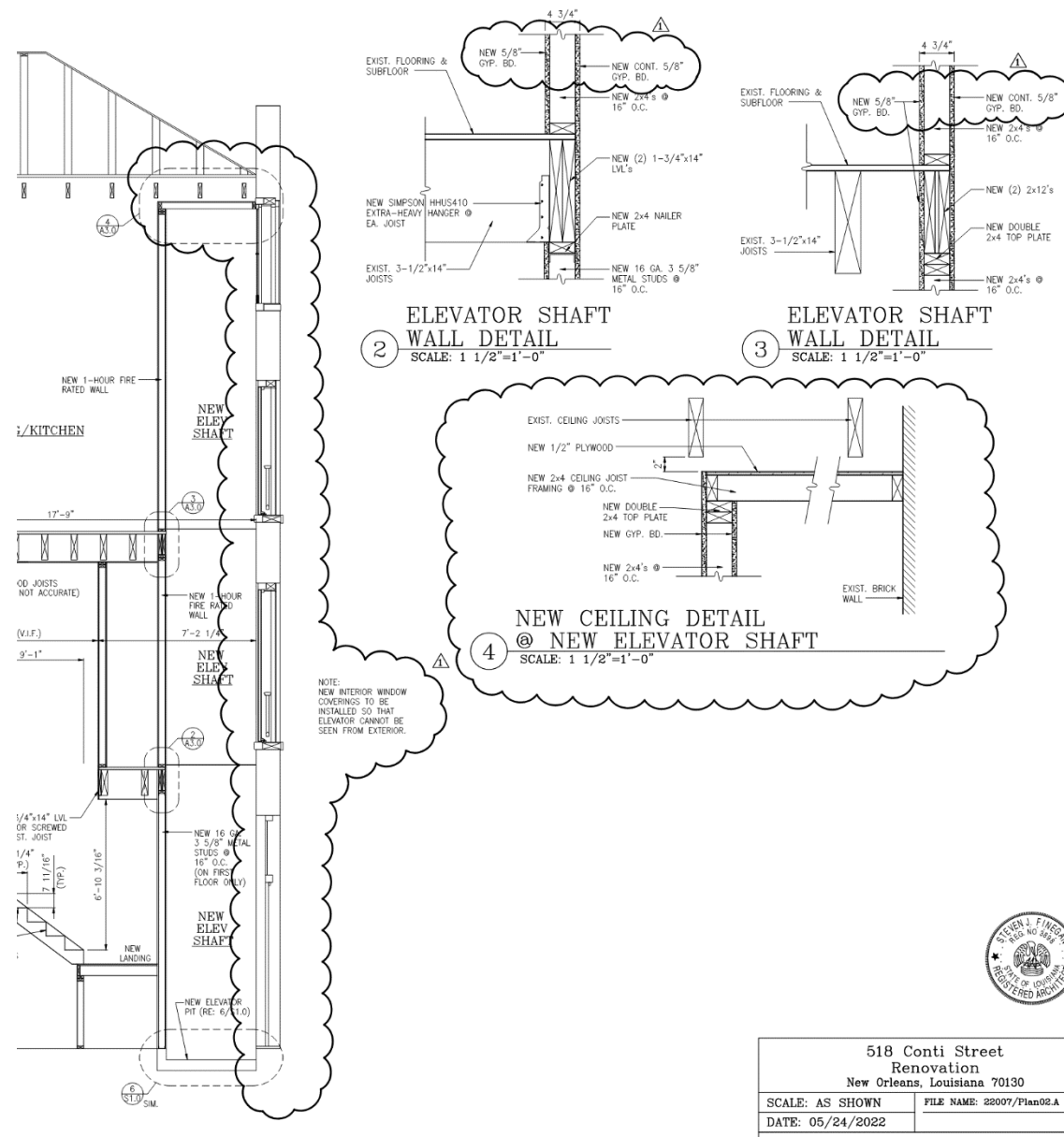


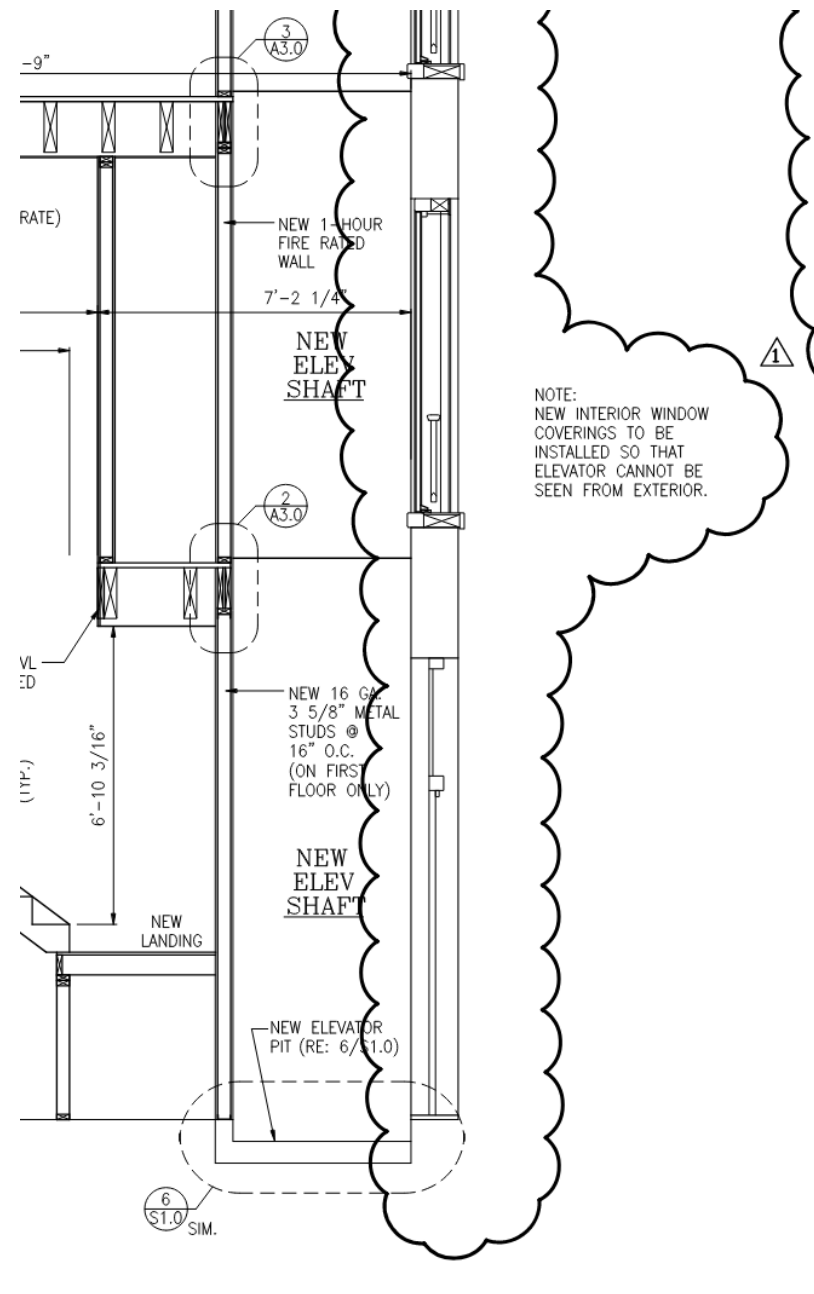


1 EXISTING/DEMOLITION CONTI STREET ELEVATION
SCALE: 1/4"=1'-0"

518 Conti







518 Conti

VCC Architectural Committee

July 12, 2022



June 28, 2022

Page 38 of 465

To: Vieux Carre' Commission

Re: 518 Conti Street

Attn: Erin Vogt

Dear Ms. Vogt:

As you know, the decision on the approval of the new elevator in the windows and the A/C condensing units' locations was deferred by the VCC ARC on June 28th, 2022, pending the receipt of more information regarding the effect of the elevator on the structure, the elevator itself, and the window treatments in the windows in front of the elevator.

Please see the attached excerpts from the Planning Guide of the Inclinator Elevette, the elevator that is being used in the project. The clouded Code 2 model on sheet 7 was chosen as the model number because a new wall is not required on the door/window/exterior wall side of the elevator as all of the structure required to run the elevator is mounted on the other two walls – see attached page 11 of the Planning Guide. The car depth is 39.75" and the car width is 42.5 ". The structural loads of the elevator are found on the attached sheet 12 of the Planning Guide: the static vertical load is 1,100 lbs. and the impact vertical load (the load on the slab if the elevator falls to the ground) is 2,200 lbs. – the loads are very light. I met with my structural engineer, Walter Zehner, and he blessed our foundation drawing based on the light loads. He also said that the existing corbelled footings do not normally start until 18"-24" below the existing slab and therefore our new elevator foundation shall be above it with no impact on it. We did add a new 12" deep x 24" wide foundation beam under the wall that is the entrance to the elevator as all of the ceiling beams are now being supported by it (there is no existing foundation under that area). The Machine Room is being located under the stair in the retail space and the cables for the pulleys shall run under the stair landing in the front Vestibule.

The windows and doors along the Conti sidewalk shall remain operable as there shall be no wall up against them. Regarding the window treatments that shall be seen from the street, the Owner shall install either curtains or blinds in the windows – please let us know if you have a preference. There are also shutters on the exterior of the building that shall be operable.

Regarding the A/C condensing units, they shall be mounted on grade rather than mounted to the rear yard walls per the Staff's request.

Thank you.

Sincerely,



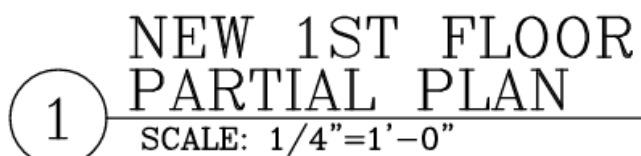
Steve Finegan, AIA

518 Conti

VCC Architectural Committee

July 12, 2022



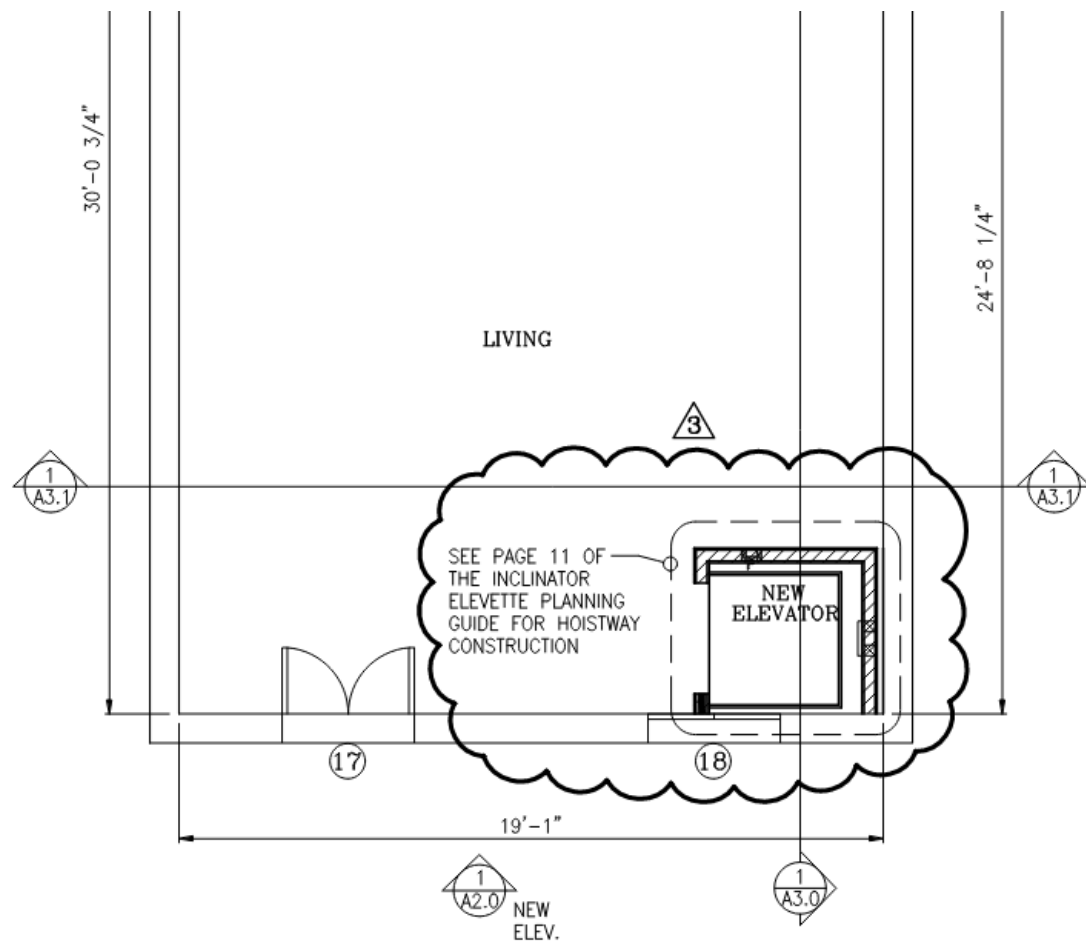


518 Conti

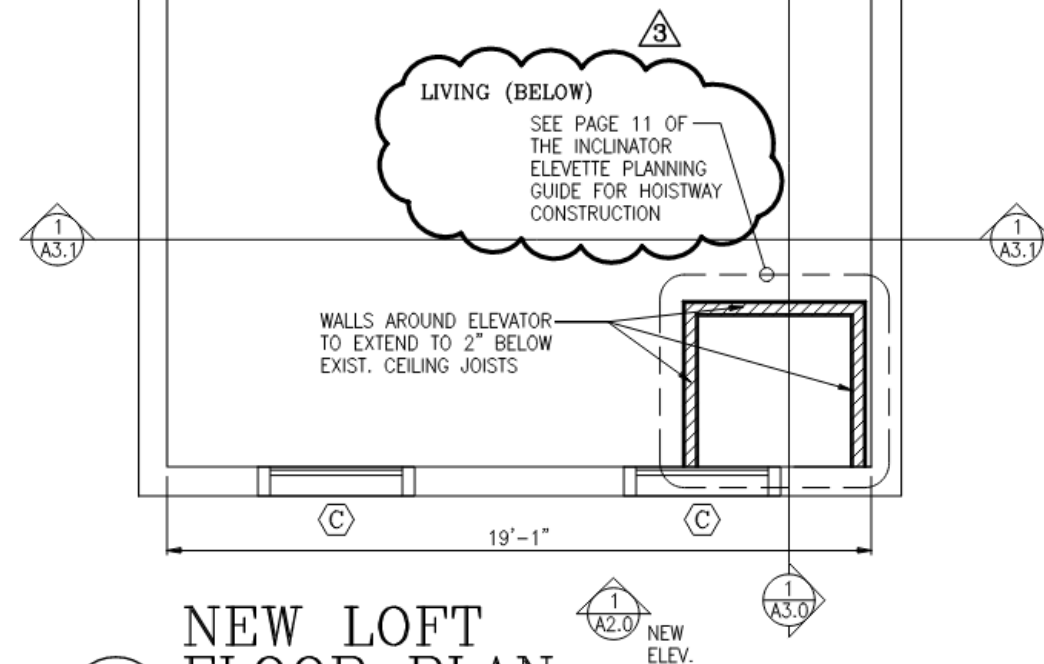
VCC Architectural Committee



July 12, 2022



3 NEW 3RD FLOOR PLAN
SCALE: 1/4"=1'-0"



4 NEW LOFT FLOOR PLAN
SCALE: 1/4"=1'-0"

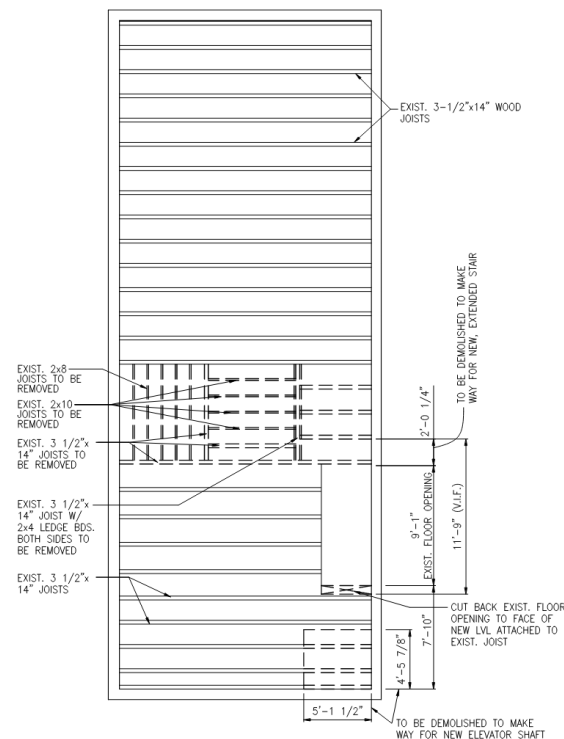
518 Conti Street
Renovation

518 Conti

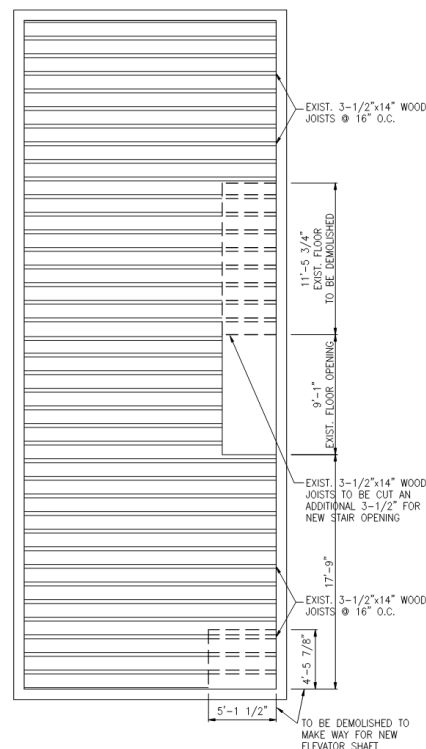
VCC Architectural Committee

July 12, 2022

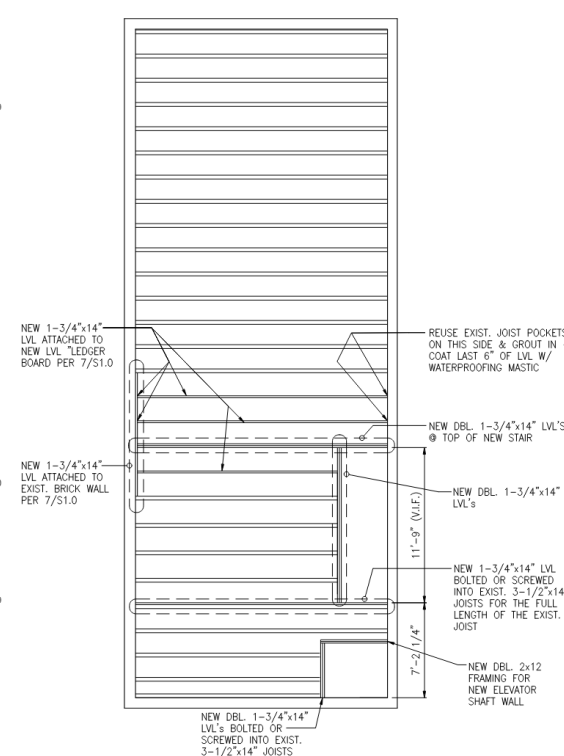




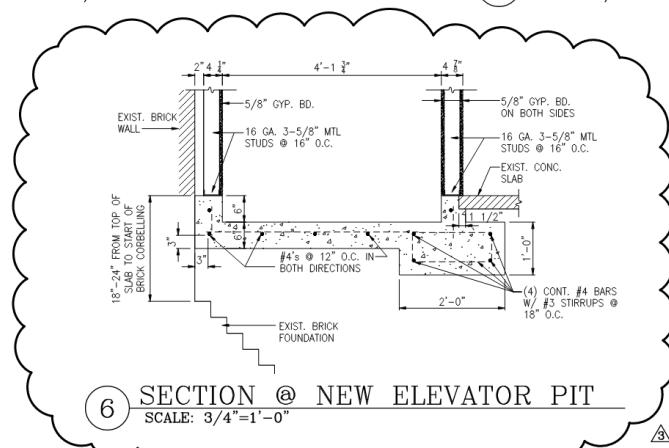
1 2ND FLOOR EXIST./DEMO. FRAMING PLAN
SCALE: 3/16"=1'-0"



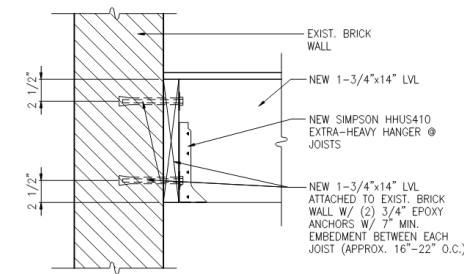
2 3RD FLOOR EXIST./DEMO. FRAMING PLAN
SCALE: 3/16"=1'-0"



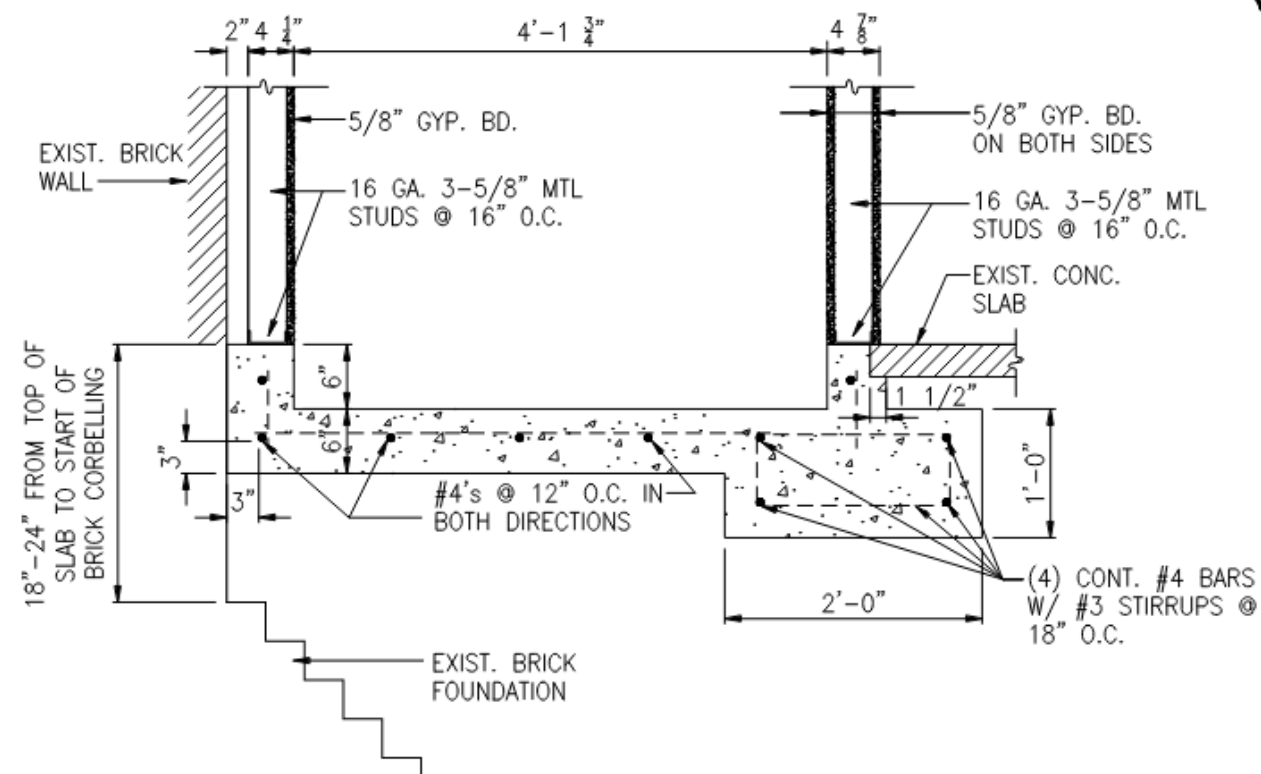
3 2ND FLOOR NEW FRAMING PLAN
SCALE: 3/16"=1'-0"



6 SECTION @ NEW ELEVATOR PIT
SCALE: 3/4"=1'-0"



7 LVL ATTACHMENT DETAIL
SCALE: 1 1/2"=1'-0"



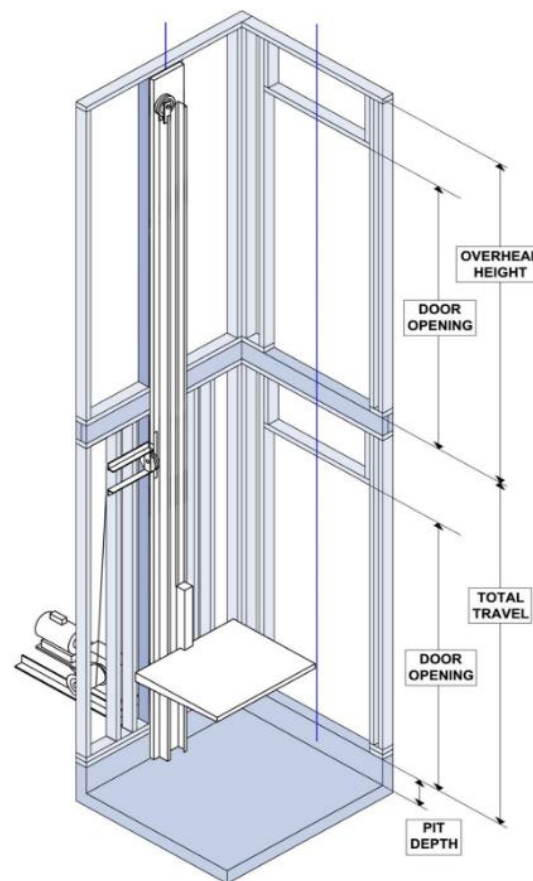
6 SECTION @ NEW ELEVATOR PIT
SCALE: 3/4"=1'-0"

3

INCLINATOR ELEVETTE®

Planning Guide

CABLE DRUM
500 lb.
(227 Kg)



AMERICA'S MOST CUSTOMIZABLE ELEVATOR



PN 67209703 Rev L

518 Conti

VCC Architectural Committee

July 12, 2022



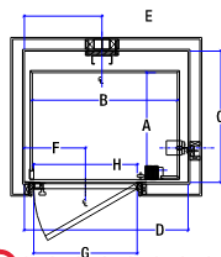
Hoistway Layout

The following data is for typical industry size elevators.

Any size cab is available in ¼" increments to dimensions **A** and **C** or **B** and **D** within the maximum and minimum dimensions shown in the diagram on page 6 not to exceed 12 SQ. FT. or 15 SQ. FT. where allowed.

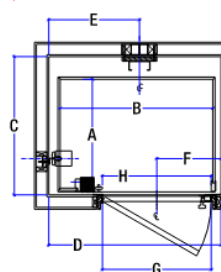


- Applicable to standard size wheelchairs



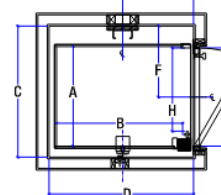
CODE 1

CODE 1	CAR SIZE (O.D.)	A CAB DEPTH (I.D.)	B CAR WIDTH (I.D.)	C SHAFT DEPTH	D SHAFT WIDTH	E CENTER OF RAIL	F CENTER OF DOOR	G DOOR SIZE	H CLEAR OPENING
	38" x 50"	34.25"	48.50"	45.50"	55.00"	27.00"	21.25"	36"	UP TO 42"
	42" x 44"	38.25"	42.50"	49.50"	49.00"	24.00"	21.25"	36"	UP TO 36"



CODE 2

CODE 2	CAR SIZE (O.D.)	A CAB DEPTH (I.D.)	B CAR WIDTH (I.D.)	C SHAFT DEPTH	D SHAFT WIDTH	E CENTER OF RAIL	F CENTER OF DOOR	G DOOR SIZE	H CLEAR OPENING
	38" x 50"	34.25"	48.50"	45.50"	55.00"	28.00"	21.25"	36"	UP TO 42"
	42" x 44"	38.25"	42.50"	49.50"	49.00"	25.00"	21.25"	36"	UP TO 36"



CODE 3

CODE 3	CAR SIZE (O.D.)	A CAB DEPTH (I.D.)	B CAR WIDTH (I.D.)	C SHAFT DEPTH	D SHAFT WIDTH	E CENTER OF RAIL	F CENTER OF DOOR	G DOOR SIZE	H CLEAR OPENING
	38" x 50"	36.50"	46.25"	48.00"	52.75"	22.75"	24.00"	32"	UP TO 30"
	42" x 44"	40.50"	40.25"	52.00"	46.75"	22.75"	26.00"	36"	UP TO 34"

CABLE DRUM - 500 PLANNING GUIDE

7

PN 67209703 Rev L

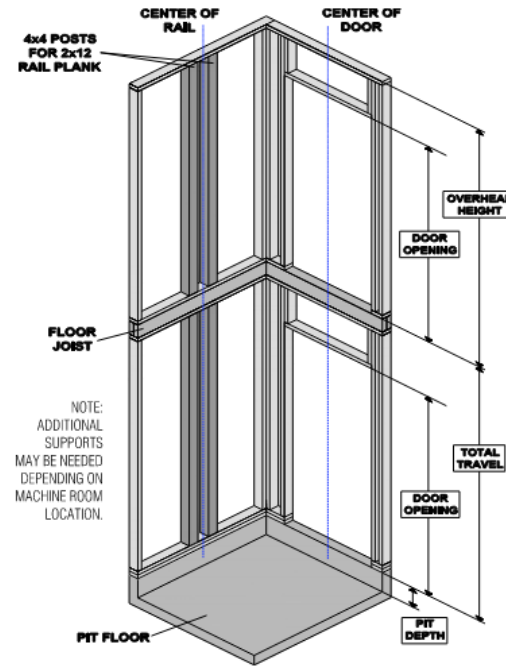


518 Conti

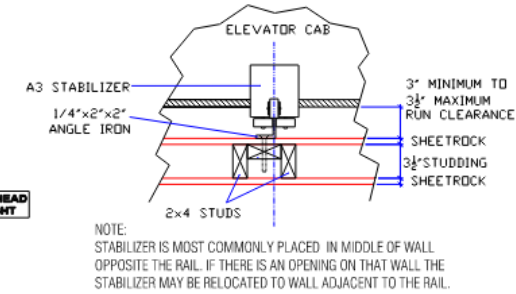
VCC Architectural Committee

July 12, 2022

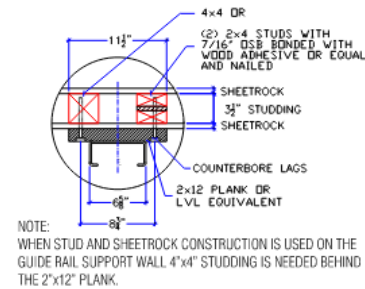




STABILIZER DETAILS

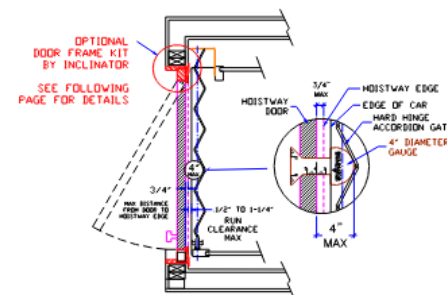


RAIL DETAILS

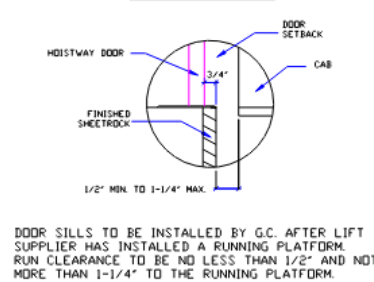


3/4" X 4" RULE / DOOR FRAME DETAILS

Reference ASME 17.1-2016 5.3.1.4.2, 5.3.1.7.2, & 5.3.1.8.3



SILL DETAIL

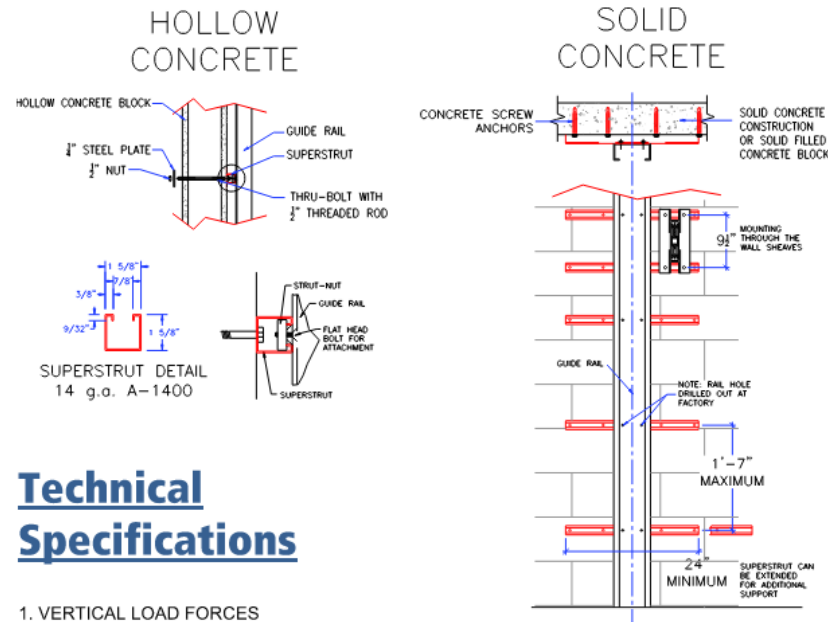


Alternate Hoistway Construction

The following recommendations are for hoistways constructed of concrete or hollow concrete block.

When mounting to a solid concrete wall or solid filled concrete block use (2) concrete screw anchors with a minimum ultimate strength in tension of 3000 lbs (i.e. Redhead LDT – Large Diameter Tapcon) per a mounting bracket.

When mounting to hollow concrete block it is best to use 1/2" threaded rod and thru-bolt the superstrut to the wall. 1/2" Steel plate should be used on the back side of the wall for additional strength.



Technical Specifications

1. VERTICAL LOAD FORCES
STATIC = 1,100 LBS
IMPACT = 2,200 LBS.
2. BOLT FASTENING OF CAR
TO TROLLEY 1/2" - 13 x 4"
SOCKET HD CAP SCREWS
3. RAIL FASTENING TO 2"x12" PLANK
#14 x 1 3/4" TYPE A S.M.S.
RAIL IS PRE-DRILLED AT FACTORY
4. ALL SHEAVE PITCH DIA. 5 3/4"

NOTE: All mounting points should meet or exceed the minimum pull out force for all rail reactions.

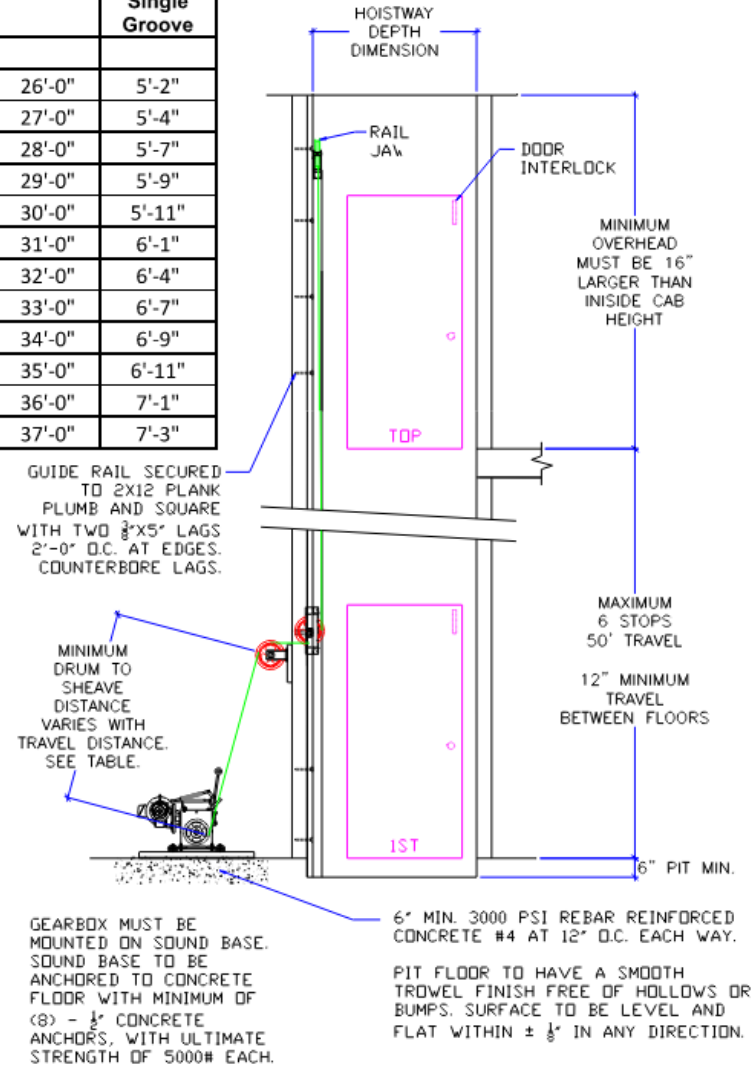
NOTE: Follow the anchor manufacturer's recommendations for type and size of drill bit to be used.



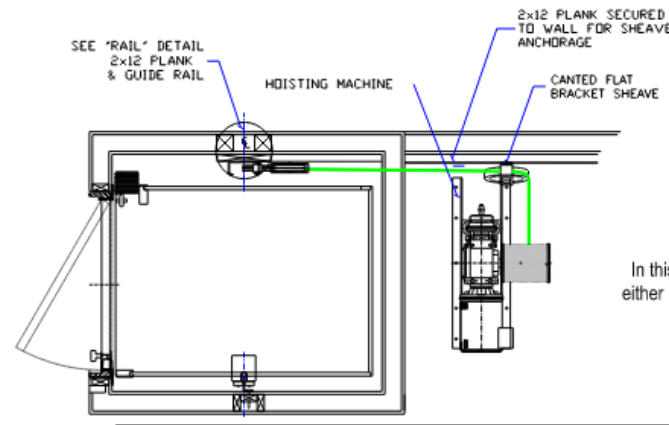
Hoistway Elevation

TRAVEL	Single Drum Double Groove	Double Drum Single Groove
8'-0"	3'-8"	1'-9"
8'-6"	3'-10"	1'-10"
9'-0"	4'-1"	1'-11"
9'-6"	4'-3"	2'-0"
10'-0"	4'-5"	2'-1"
10'-6"	4'-8"	2'-3"
11'-0"	4'-10"	2'-4"
11'-6"	5'-0"	2'-5"
12'-0"	5'-3"	2'-6"
12'-6"	5'-5"	2'-7"
13'-0"	5'-7"	2'-9"
13'-6"	5'-9"	2'-10"
14'-0"	6'-0"	2'-11"
14'-6"	6'-2"	3'-0"
15'-0"	6'-4"	3'-1"
15'-6"	6'-7"	3'-2"
16'-0"	6'-9"	3'-3"
16'-6"	6'-11"	3'-4"
17'-0"	7'-2"	3'-6"
17'-6"	7'-4"	3'-7"
18'-0"	7'-6"	3'-8"
18'-6"	7'-8"	3'-9"
19'-0"	7'-11"	3'-10"
19'-6"	8'-1"	3'-11"
20'-0"	8'-3"	4'-1"
21'-0"	8'-8"	4'-3"
22'-0"	9'-0"	4'-5"
23'-0"	9'-5"	4'-7"
24'-0"	9'-10"	4'-10"
25'-0"	10'-2"	5'-0"

TRAVEL	Double Drum Single Groove
26'-0"	5'-2"
27'-0"	5'-4"
28'-0"	5'-7"
29'-0"	5'-9"
30'-0"	5'-11"
31'-0"	6'-1"
32'-0"	6'-4"
33'-0"	6'-7"
34'-0"	6'-9"
35'-0"	6'-11"
36'-0"	7'-1"
37'-0"	7'-3"



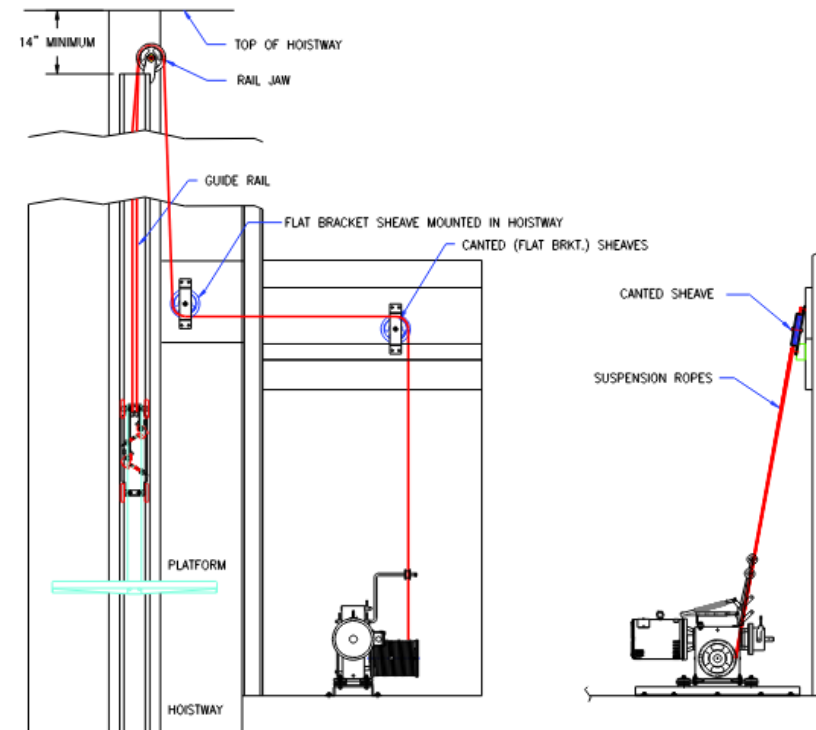
Machine Room Configurations



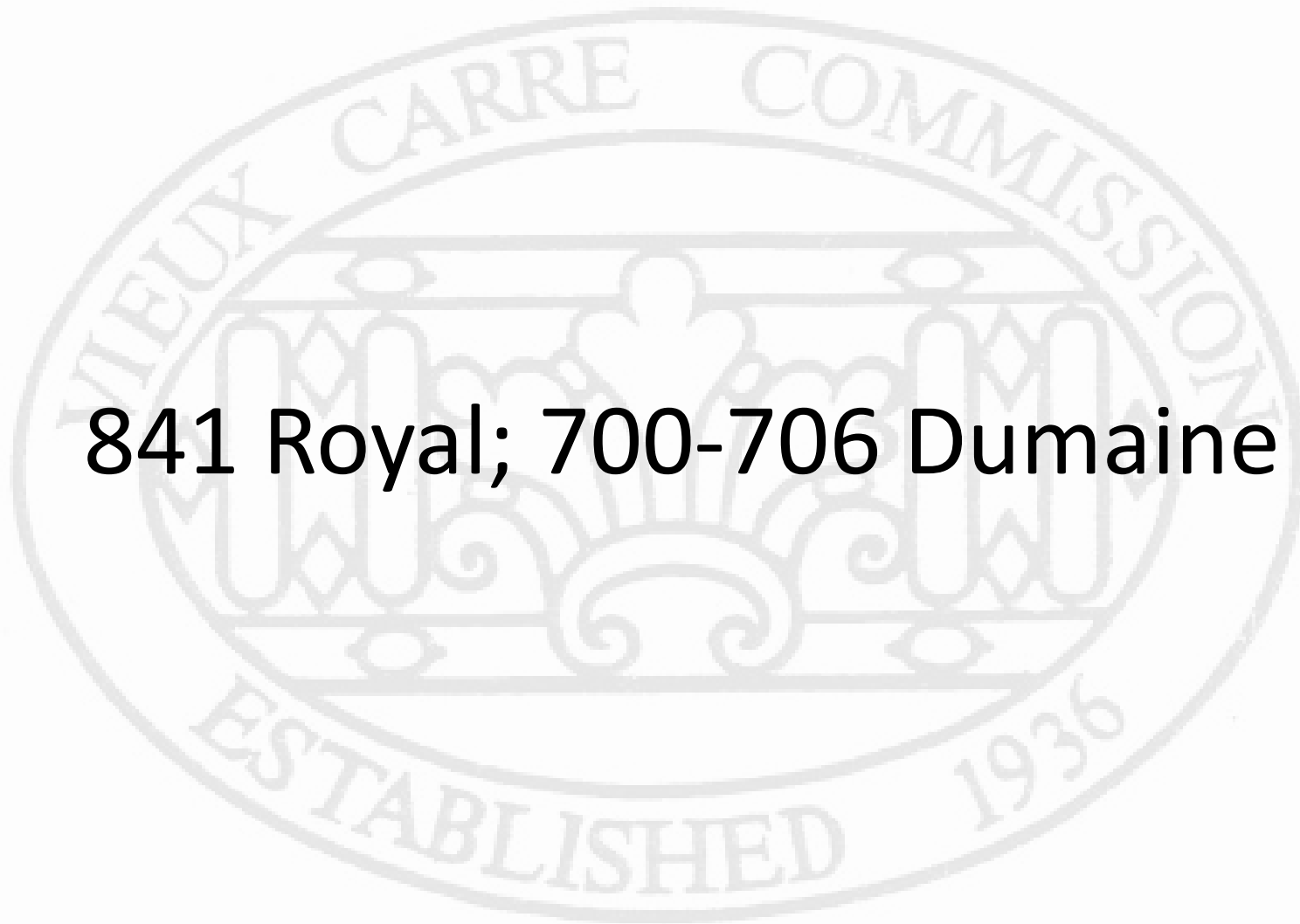
MACHINE ROOM ADJACENT

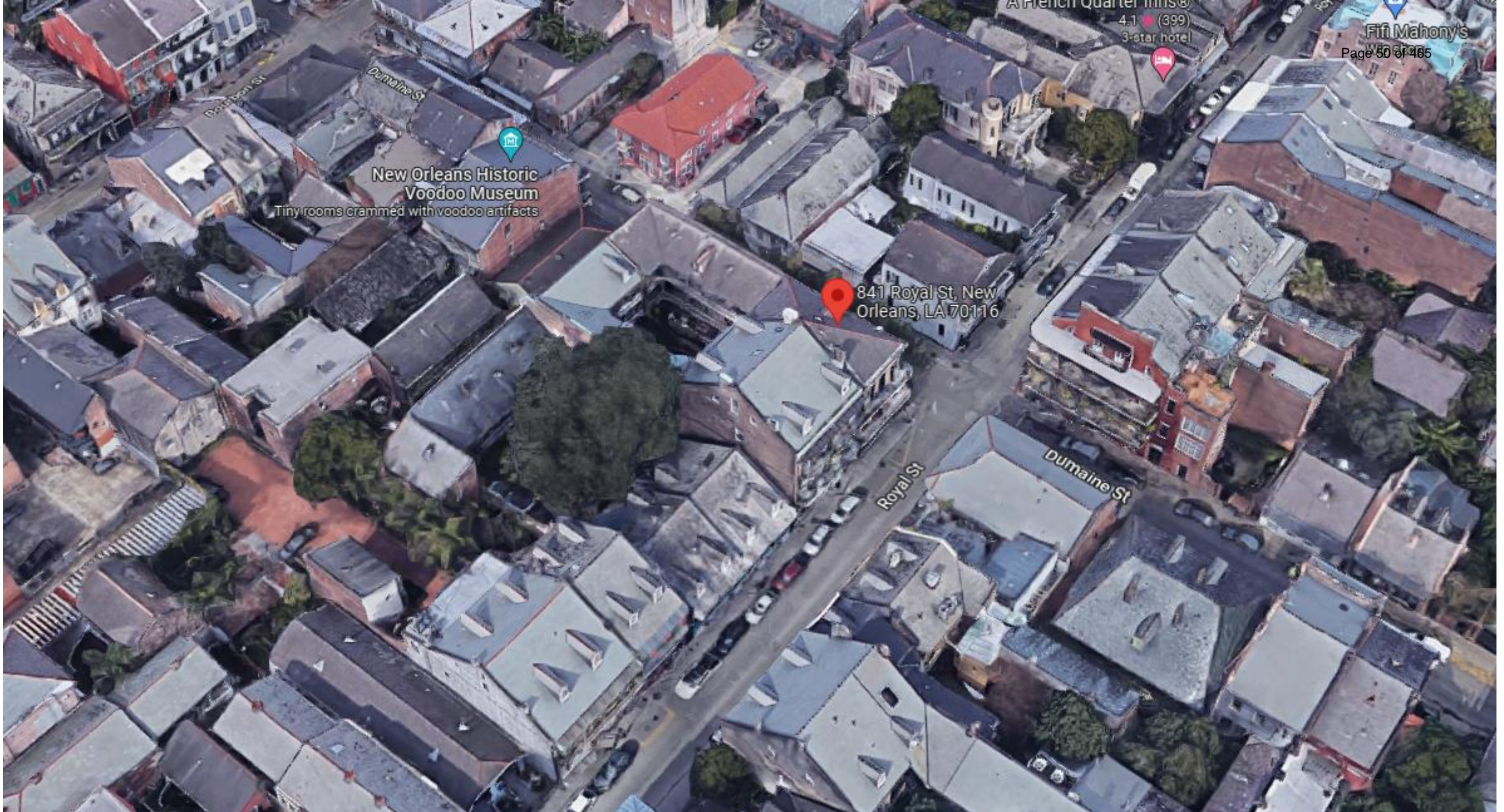
In this configuration the machine room is located either to the right or left of the guide rail. Requires:

- (2) Flat Bracket Sheaves
- (1) Rail Jaw



841 Royal; 700-706 Dumaine





841 Royal

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841 Royal, 1945

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841 Royal, 1964

VCC Architectural Committee

July 12, 2022





841 Royal, 1963
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841 Royal

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841 Royal

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July 12, 2022





841 Royal

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837 & 841 Royal, 1964

VCC Architectural Committee

July 12, 2022





837 & 841 Royal, Unknown Date
VCC Architectural Committee

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837 & 841 Royal, 1975

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837 & 841 Royal, 1987

VCC Architectural Committee

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837 & 841 Royal, 1990
VCC Architectural Committee

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841 Royal

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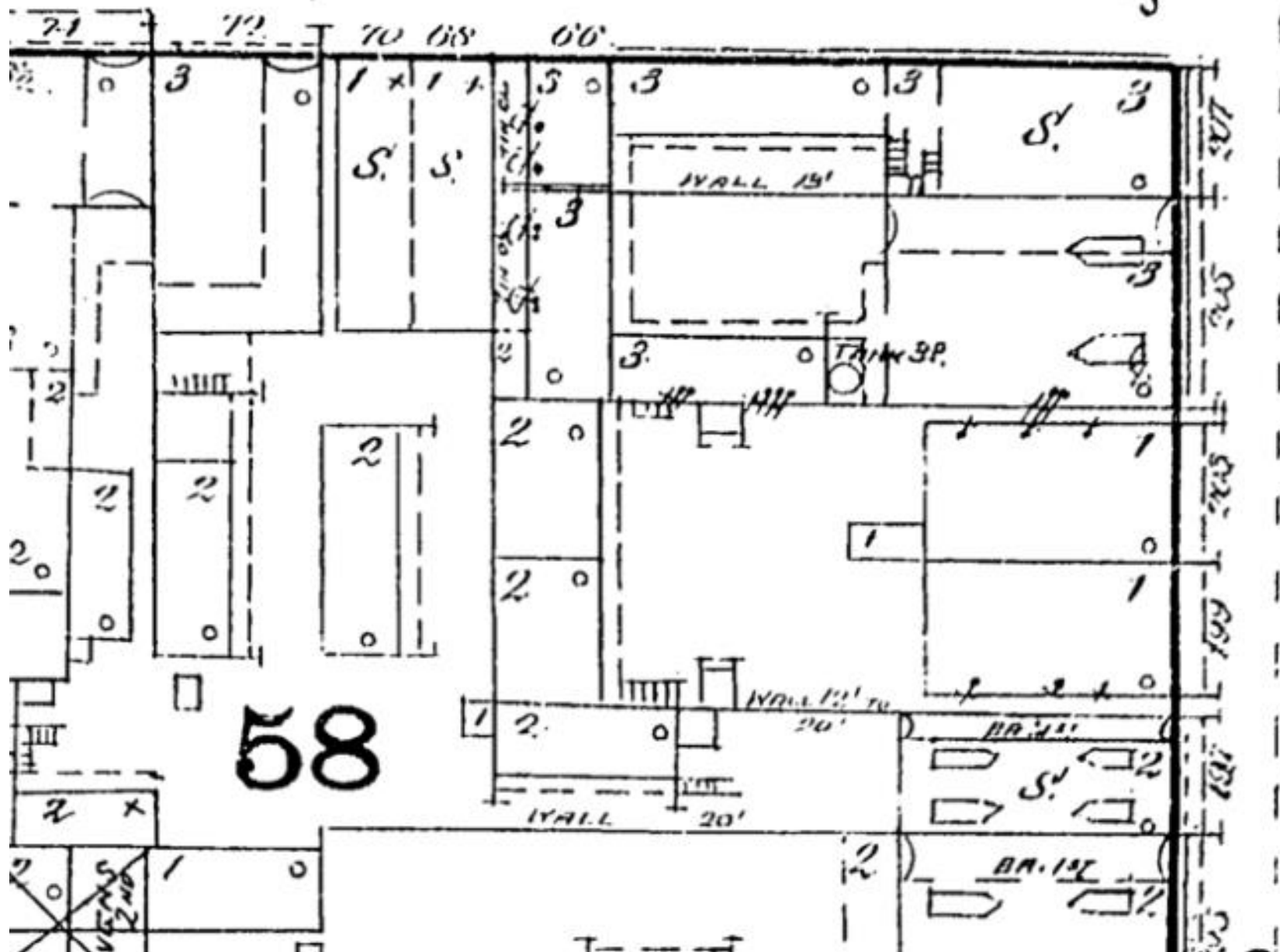


841 Royal

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58

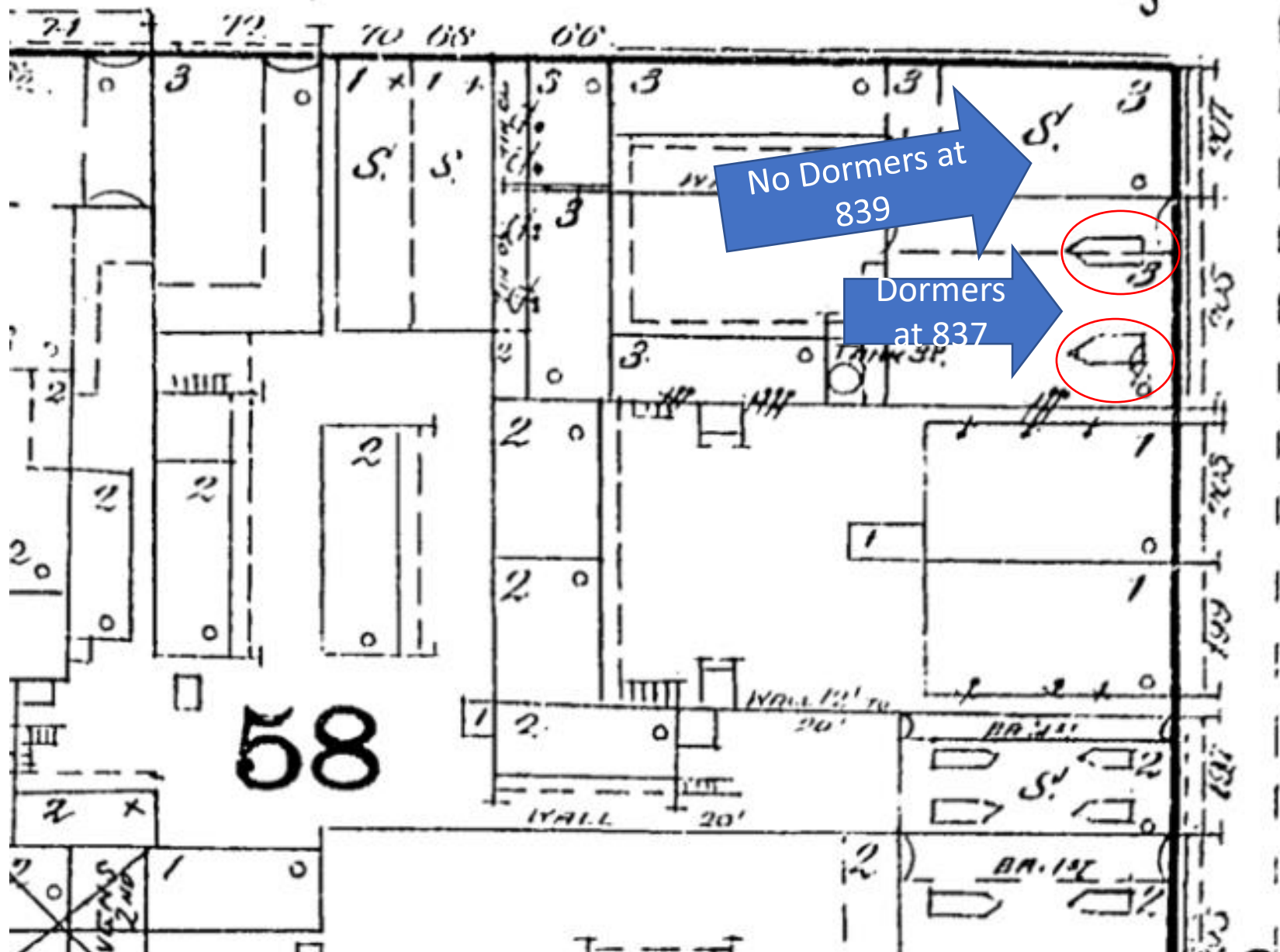
4

841 Royal, 1885 Sanborn

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841 Royal, 1885 Sanborn

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841 Royal

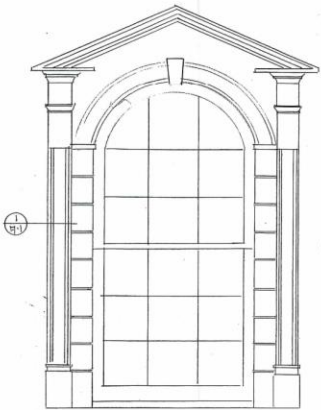
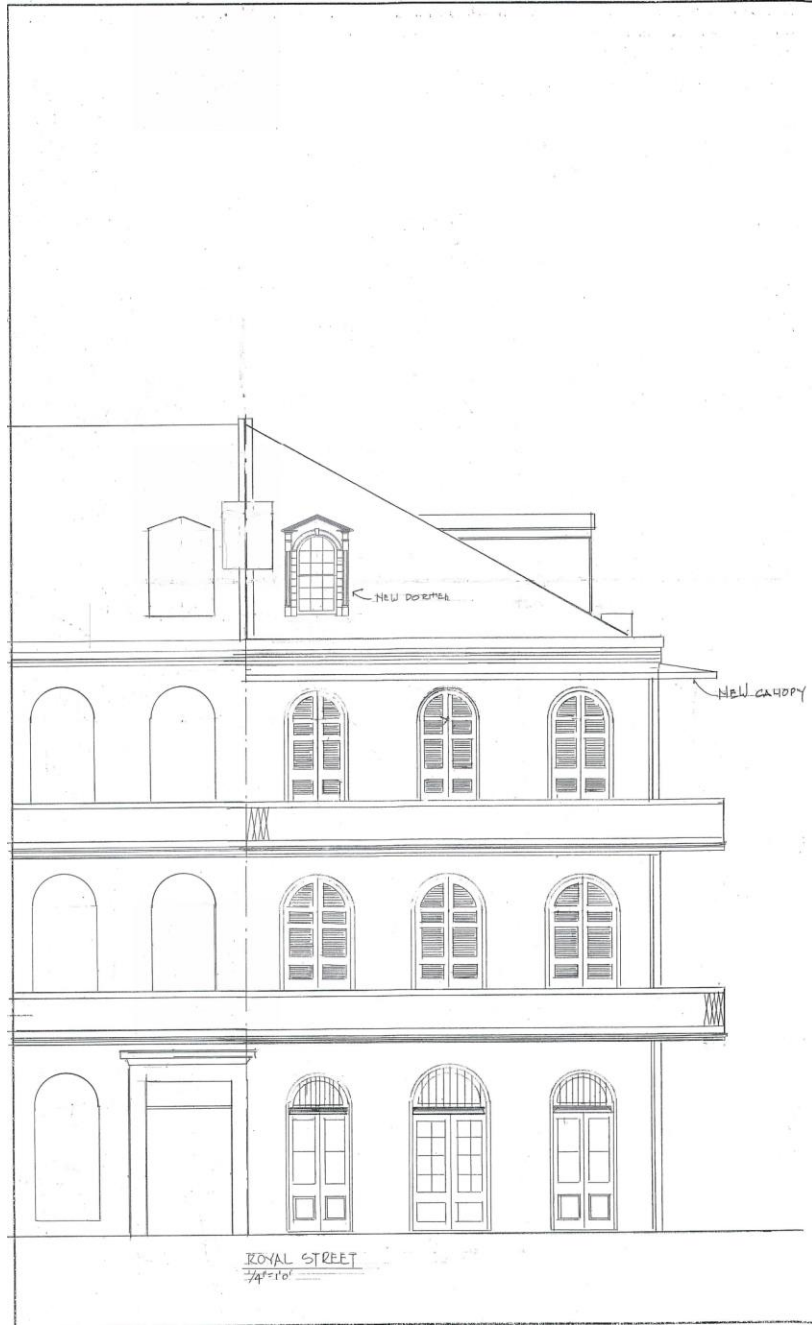
VCC Architectural Committee

July 12, 2022





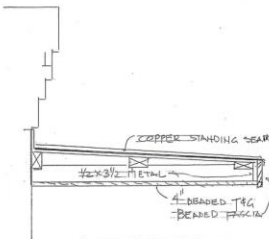
Koch and Wilson Architects
A Professional Corporation (504) 581-7023
1100 Jackson Avenue, New Orleans, LA 70130
architects@kochandwilson.com



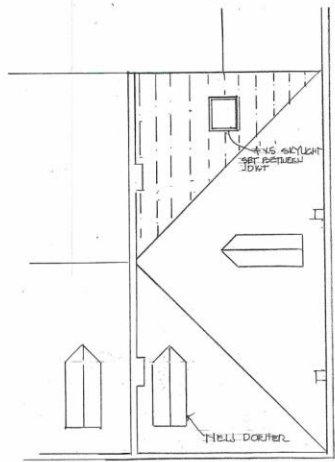
DORMER
1/8" = 1'-0"



DETAIL
1/4" = 1'-0"



CANOPY DETAIL
1" = 10"



ROOF PLAN
1/8" = 1'-0"

REVISIONS
TO
841 ROYAL ST

Proj. No.

Issued

Revised

Sheet Title

Drawn

Check

Date

7-1

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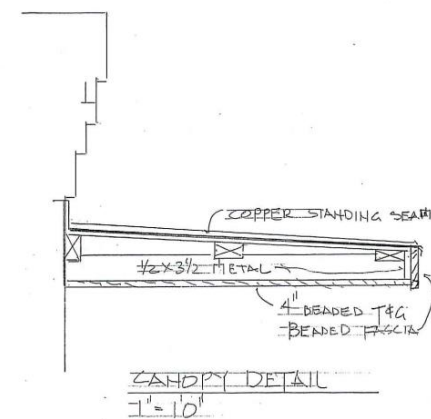
7-1

841 Royal

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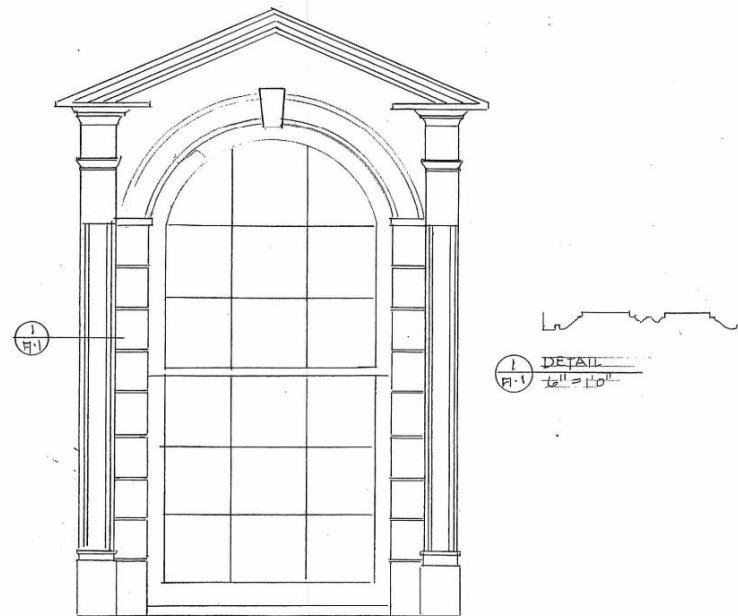


841 Royal

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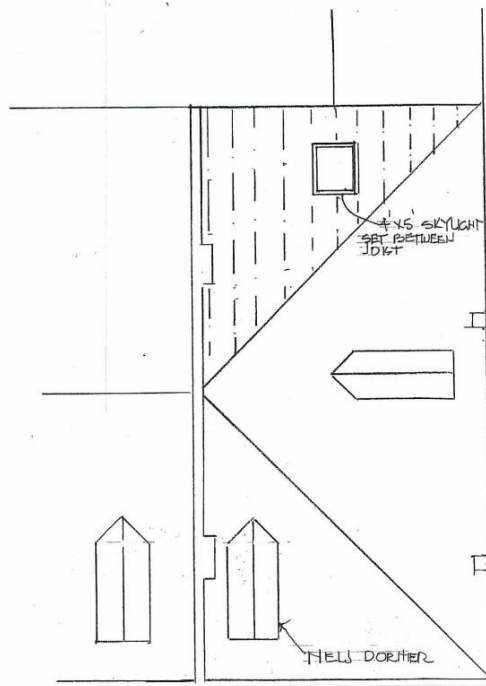
July 12, 2022





DETAIL
1/8" = 1'-0"

DORMER
1/8" = 1'-0"



ROOF PLAN
1/8" = 1'-0"

841 Royal

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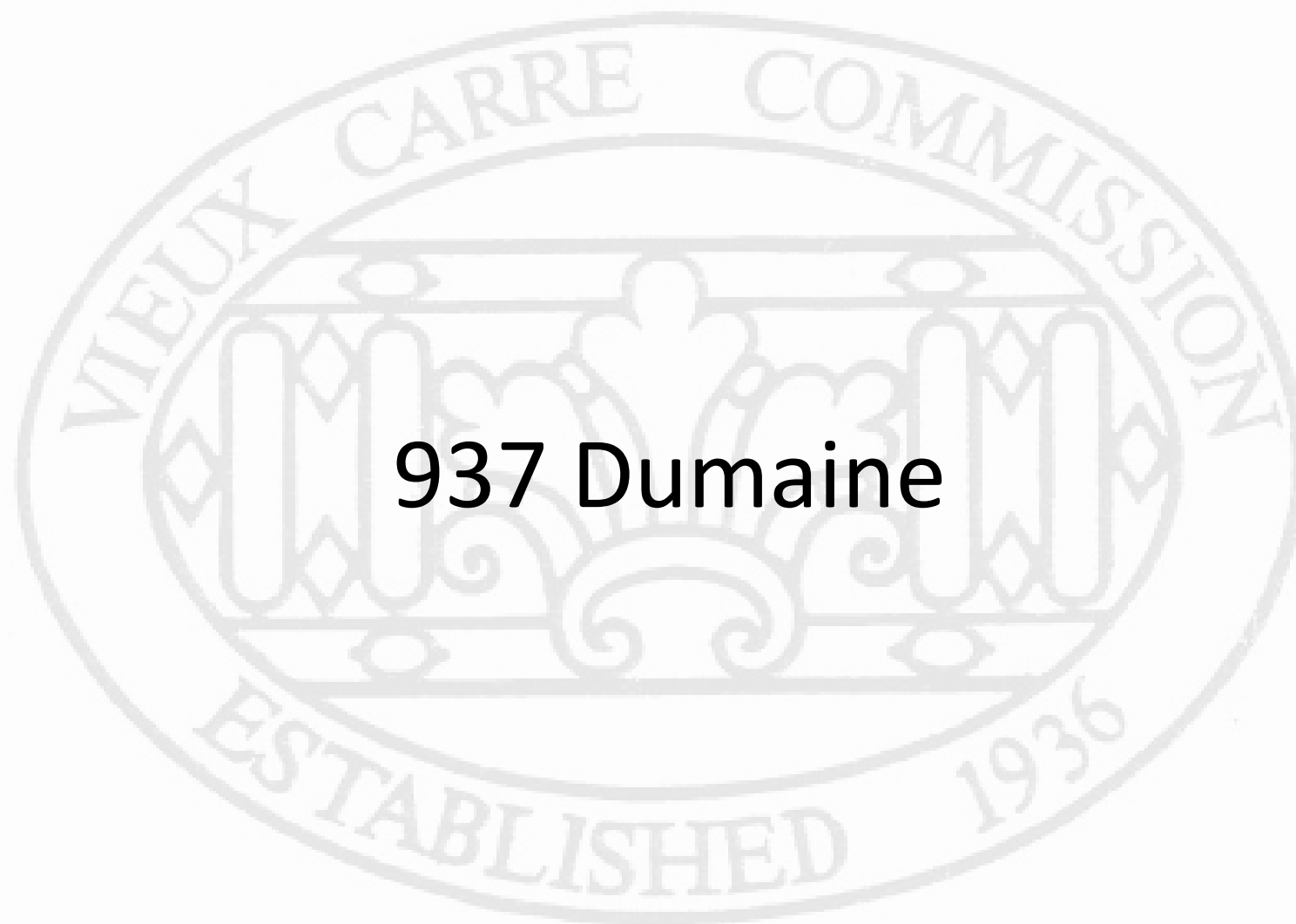


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 1100 Jackson Avenue, New Orleans, LA 70130
 architects@kochandwilson.com



RENOVATION S
 841 ROYAL ST.
 PROJECT NO. K0207
 SHEET NO. 0000
 DATE 07/12/22
 F-2







937 Dumaine

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July 12, 2022



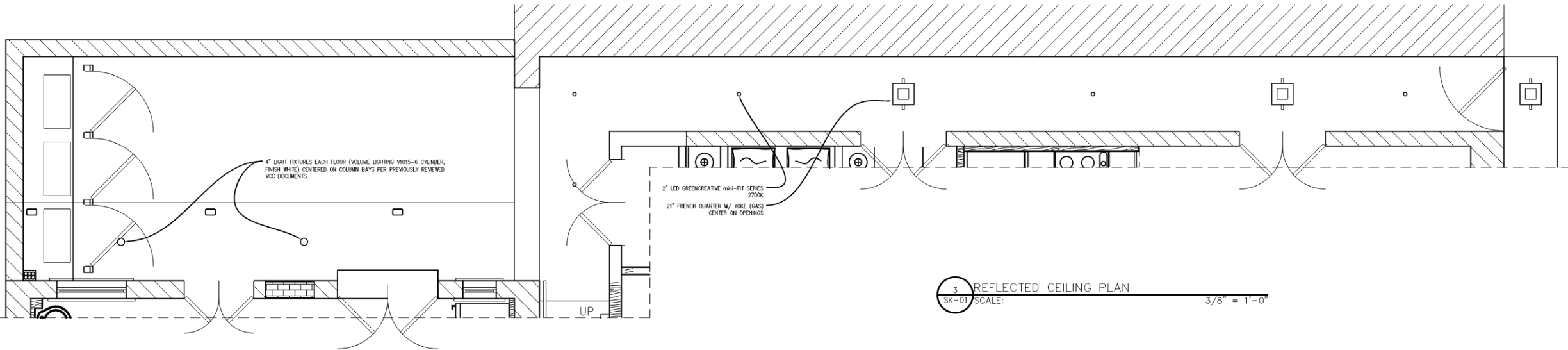


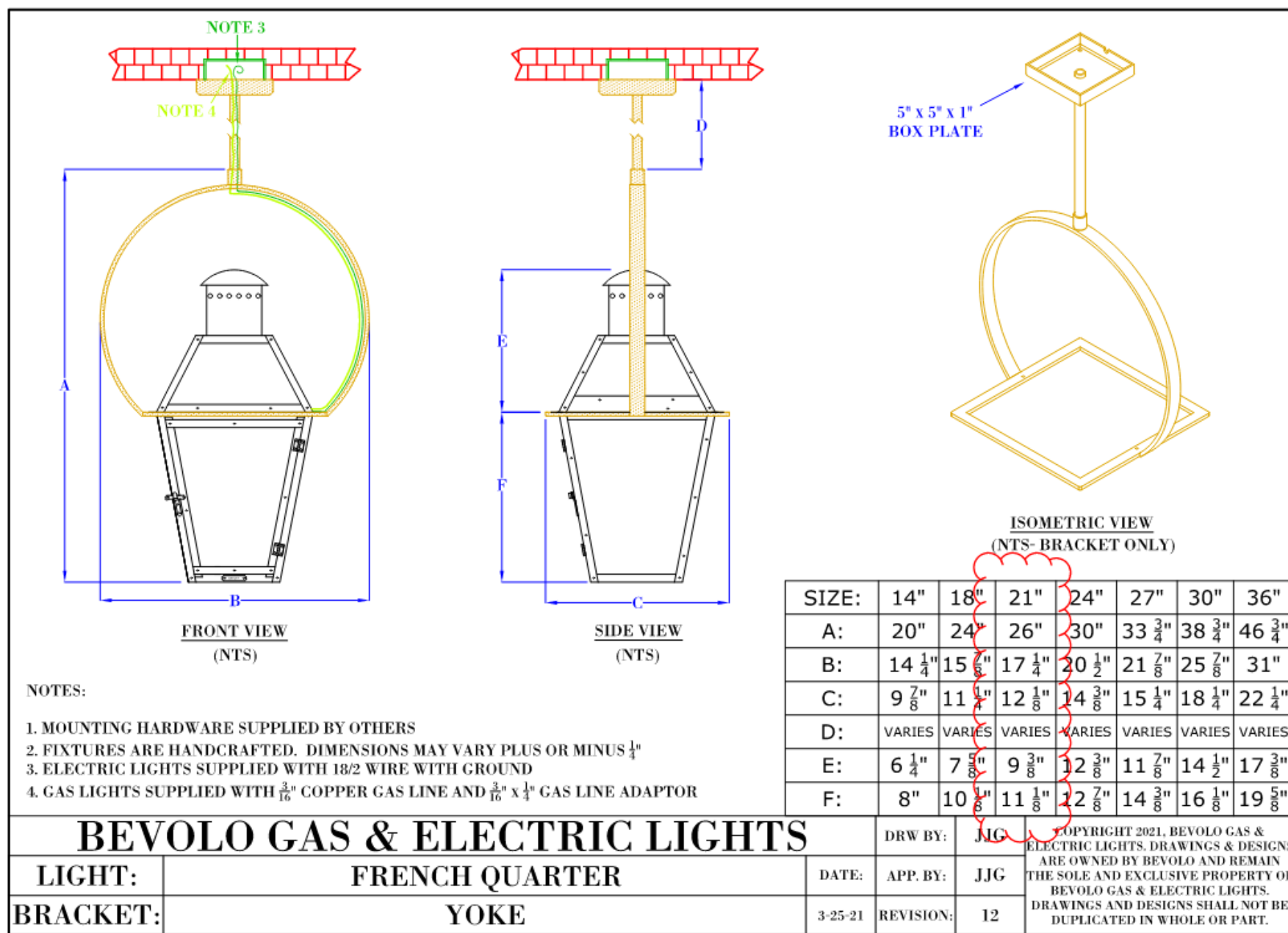
937 Dumaine

VCC Architectural Committee

July 12, 2022







Project Name:	Type:
Part Number:	Date:



2" MINIFIT MODULE

SPECIFICATION FEATURES

- **Mechanical** - 2" MINIFIT module with external driver snaps into field interchangeable trims and install from below the ceiling. Trim mounted spring action clips accommodate ceiling thicknesses between 1/2" and 2".
- **Electrical** - 120V, 50/60 Hz driver. Dimmable to 10% with Forward phase (TRIAC) / Reverse phase (ELV) dimmers. Plenum rated quick connect cable allows for easy wiring.
- **Optical** - 2700K, 3000K, 4000K and 5000K color temperatures available. 38° narrow beam distribution. COB technology ensures minimum 90CRI with 3-step SDCM. Open Round Flat and Round Deep Trims tilt up to 45°. Field interchangeable reflectors available with Round Deep Trims.
- **Thermal** - Extruded aluminum heat sink. Rated L70 lifetime of 50,000 hours. Ambient temperature rating: -4°F to 104°F (-20°C to 40°C).
- **Compliance and Warranty** - ETL Listed for Damp location. ETL listed for Wet location when used with Glass trims (MM2T/RFT/GL/xx). IC rated. Energy Star® listed. JA8 Certified to meet CA Title 24 requirements. 5 year parts warranty for complete fixture.



041621

BENEFITS

- Shallow form factor for easy installation
- IC Rated and wet location listed with glass trims
- 120V dimmable down to 10%
- Multiple choice of finish and options

APPLICATIONS

- New construction and retrofit application
- Shallow plenum applications: including soffits, bulkheads, and casework
- Residential & Hospitality
- Retail & Office

ORDERING INFORMATION

Module						Trims		
Series	Size	CRI	Color	Beam Angle	Dimming	Trim	Style	Finish
MM Mini Module	2 2" 780lm	90 CRI 90	<input checked="" type="checkbox"/> 27 2700K	FL Flood 38°	DIM120 120V - Line voltage dimming	MM2T MM2 Trim	<input type="checkbox"/> RFT/OP Round Flat - Open	<input type="checkbox"/> WH White
			<input type="checkbox"/> 30 3000K				<input type="checkbox"/> RFT/GL Round Flat - Glass Cover	<input type="checkbox"/> BM* Brushed Metal
			<input type="checkbox"/> 40 4000K				<input type="checkbox"/> RDT/OP Round Deep - Open	
			<input type="checkbox"/> 50 5000K				<input type="checkbox"/> RDT/PN Round Deep - Pinhole	
							<input type="checkbox"/> RDT/WW Round Deep - Wall Wash	

*Brushed Metal finish is only available for Round Flat trims.



PROJECT:
CONTACT:
LOCATION:
TYPE:



PRODUCT DESCRIPTION

1-Light indoor flush mount with cylinder shade is suitable for dry locations. Cylinder shade provides a directional glow to a specific area. Enjoy modern design that complements homestyle surroundings and décor. Hard surface provides top quality protection against scratches. Easy maintenance—simply clean and polish to achieve an even more lustrous shine. Outer lacquer finish provides an attractive sheen and additional layer of protection. Perfect for dining rooms, bedrooms, and many other indoor areas.

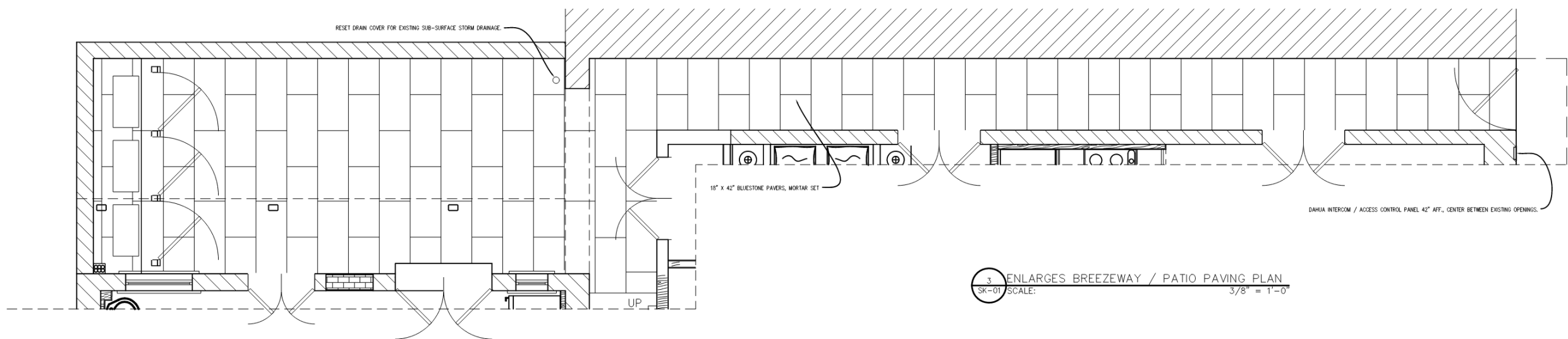
V1015

1-LIGHT INDOOR CYLINDER FLUSH MOUNT DOWNLIGHT

SPECIFICATIONS

Type of Lighting	Indoor Lighting
Product Type	Flush Mount
Height	8 in.
Width	4 1/2 in.
Available Finishes	Black (V1015-5) White (V1015-6)
Main Material	Steel
Shade Material	Steel
Light Direction	Downward
Installation/Mounting Position	Downward
Number of Lights	1
Watts per Light	75 W
Total Wattage	75 W
Light Bulb(s) Included	No
Lumens per Light	N/A
Total Lumens	N/A
Dimmable	Yes
Base Type	Medium Base (E26)
Voltage	120V
Installation Location	Dry
Safety Ratings	UL Listed
Assembly	Assembly Required
Warranty	1-Year Limited Warranty



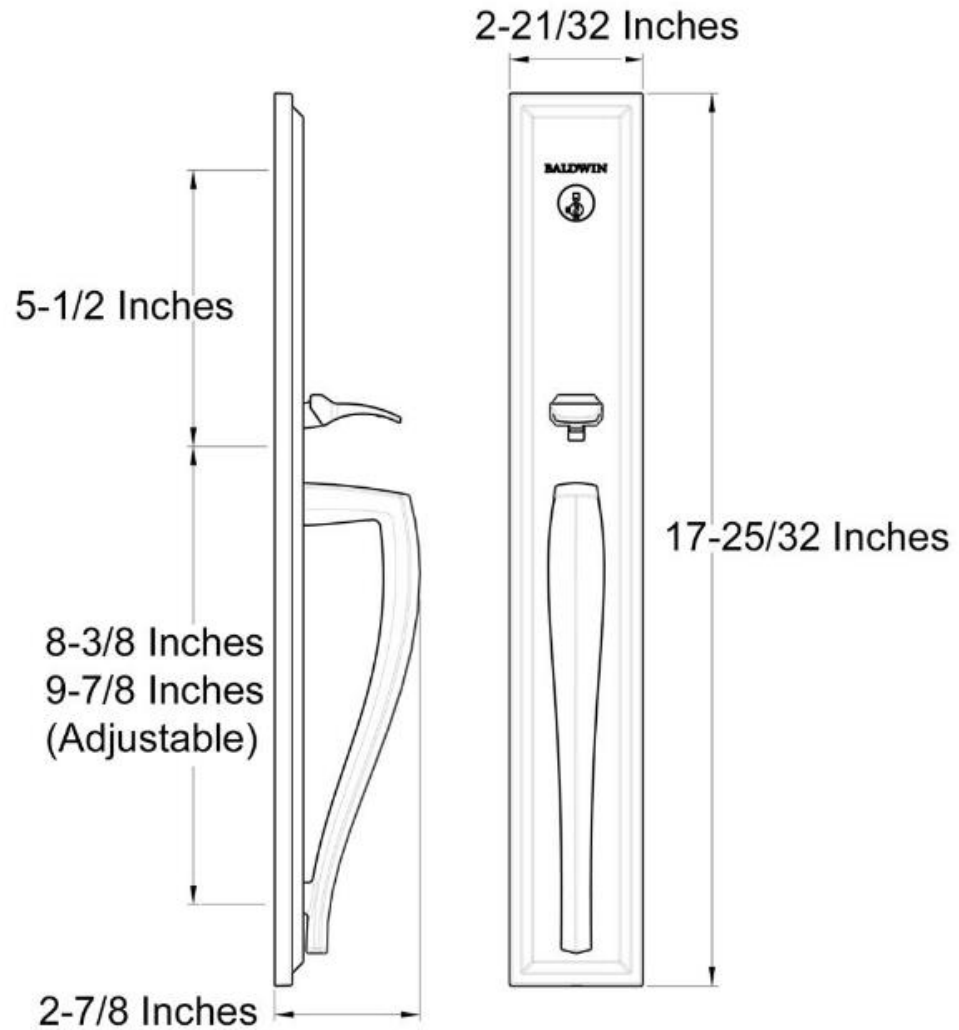


937 Dumaine

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July 12, 2022





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Intercom Modular Outdoor Station

Part of the Dahua Modular Intercom System



System Overview

The Dahua Intercom Modular System is a complete intercom solution that offers full customization of the entire system. This intercom system starts with a 2 MP outdoor video intercom module that offers a wide-angle view lens, high-resolution images even in dark environments, and two-way talk. Then, add optional modules that offer door access capability (card reader, fingerprint reader, and keypad), call buttons, information text display, and status light indicators. The system also offers optional accessories to flush-or surface-mount a two-or three-module intercom system.

Modular Intercom Components

- DHI-VTO4202F-P-S2: 2 MP Outdoor Video Intercom (Required)
- DHI-VTO4202F-MB5: Five-button Call Panel
- DHI-VTO4202F-MF: Fingerprint Reader
- DHI-VTO4202F-MK: Keypad
- DHI-VTO4202F-ML: Status Light Panel
- DHI-VTO4202F-MN: Blank Panel
- DHI-VTO4202F-MR: IC Card Reader
- DHI-VTO4202F-MS: Information Text Display

- 2 MP Wide Angle Camera with Night Vision
- Built-in Microphone with Two-way Talk
- Records Call Sessions from the Indoor Monitor
- Access Control Supports Two Locks
- Performs Remote Door Unlock
- Compatible with Two-wire or RJ45 Connection
- Supports Secure Password Entry
- Anodized Aluminum Panel can be Surface- or Flush-mounted
- Fully Customizable System
- IP65 Ingress Protection and IK07 Vandal Resistance

Technical Specification: DHI-VTO4202F-P-S2

System

Main Processor	Embedded Processor
Operating System	Embedded Linux

Video

Image Sensor	1/2.5-in. 2 MP CMOS Sensor
Lens	1.9 mm
Angle of View	Horizontal: 168.6° Vertical: 87.1° Diagonal: 176.7°
Wide Dynamic Range	120 dB
Noise Reduction	3D NR
Compression	H.265, H.264
Resolution	Main Stream: 720p at 30 fps Sub Stream: 1080p 30 fps
Bit Rate	256 Kbps to 4 Mbps
Day/Night	Auto (ICR)

Audio

Compression	G.711a, G.711u, PCM
Input	Omnidirectional Microphone
Output	Built-in Speaker
Bi-directional Talk	Support for Dual-way Bi-directional Talk
Enhancement	Echo Suppression, Digital Noise Reduction
Bit Rate	16 KHz, 16 Bit

Interface

Ports	One (1) Electric Lock One (1) Exit Button One (1) Door Status Detection One (1) Lock Control
Alarm Output	One (1) Channel
Power Output	12 VDC, 100 mA

Ordering Information

Type	Part Number	Description
Video Intercom, Required	DHI-VTO4202F-P-S2	2 MP Outdoor Station
	DHI-VTO4202F-MB5	Five-button Call Panel
Intercom Modules, optional	DHI-VTO4202F-MF	Fingerprint Reader
	DHI-VTO4202F-MK	Keypad
	DHI-VTO4202F-ML	Status Light Panel
	DHI-VTO4202F-MN	Blank Panel
	DHI-VTO4202F-MR	IC Card Reader
	DHI-VTO4202F-MS	Information Text Display
	VTM125	Two-module Front Panel Bezel (use with VTM127 or VTM02R2)
Mounting Accessories, optional	VTM126	Three-module Front Panel Bezel (use with VTM128 or VTM03R3)
	VTM127	Two-module Flush-mount Box (use with VTM125)
	VTM128	Three-module Flush-mount Box (use with VTM126)
	VTM03R3	Three-module Surface-mount Box (use with VTM128)
	VTM52R2	Two-module Surface-mount Box (use with VTM125)
	VTM53R3	Three-module Surface-mount Box (use with VTM128)
	VTM54R4	Intercom Surface-mount Box for DHI-VTO4202F (2 x 2 system)
	VTM56R6	Intercom Surface-mount Box for DHI-VTO4202F (2 x 3 system)
	Two-wire Switch, optional	DHI-VTNS82003B-2
ADS-65LSI-S2-1 48060G VI		Power adapter for DHI-VTNS2003B-2 Power Input: 100 VAC to 240 VAC Power Output: 48 VDC, 1.25 A
Power Supply, optional ²	EDP-240-48	Power adapter for DHI-VTNS2003B-2 Power Input: 100 VAC to 240 VAC Power Output: 48 VDC, 5 A

2. One of the listed power adapters is required for the DHI-VTNS2003B-2.

Intercom Module Images



DHI-VTO4202F-P-S2
2 MP Outdoor Station



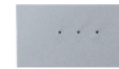
DHI-VTO4202F-MB5
Call Button Panel



DHI-VTO4202F-MF
Fingerprint Reader



DHI-VTO4202F-MK
Keypad



DHI-VTO4202F-ML
Status Light Panel



DHI-VTO4202F-MN
Blank Panel



DHI-VTO4202F-MR
IC Card Reader



DHI-VTO4202F-MS
Information Text Display

Mounting Accessory Images



VTM125
Two-module
Front Panel Bezel



VTM126
Three-module
Front Panel Bezel



VTM127
Two-module
Flush-mount Box



VTM128
Three-module
Flush-mount Box



VTM03R3
Three-module
Surface-mount Box



VTM52R2
Two-module
Surface-mount Box



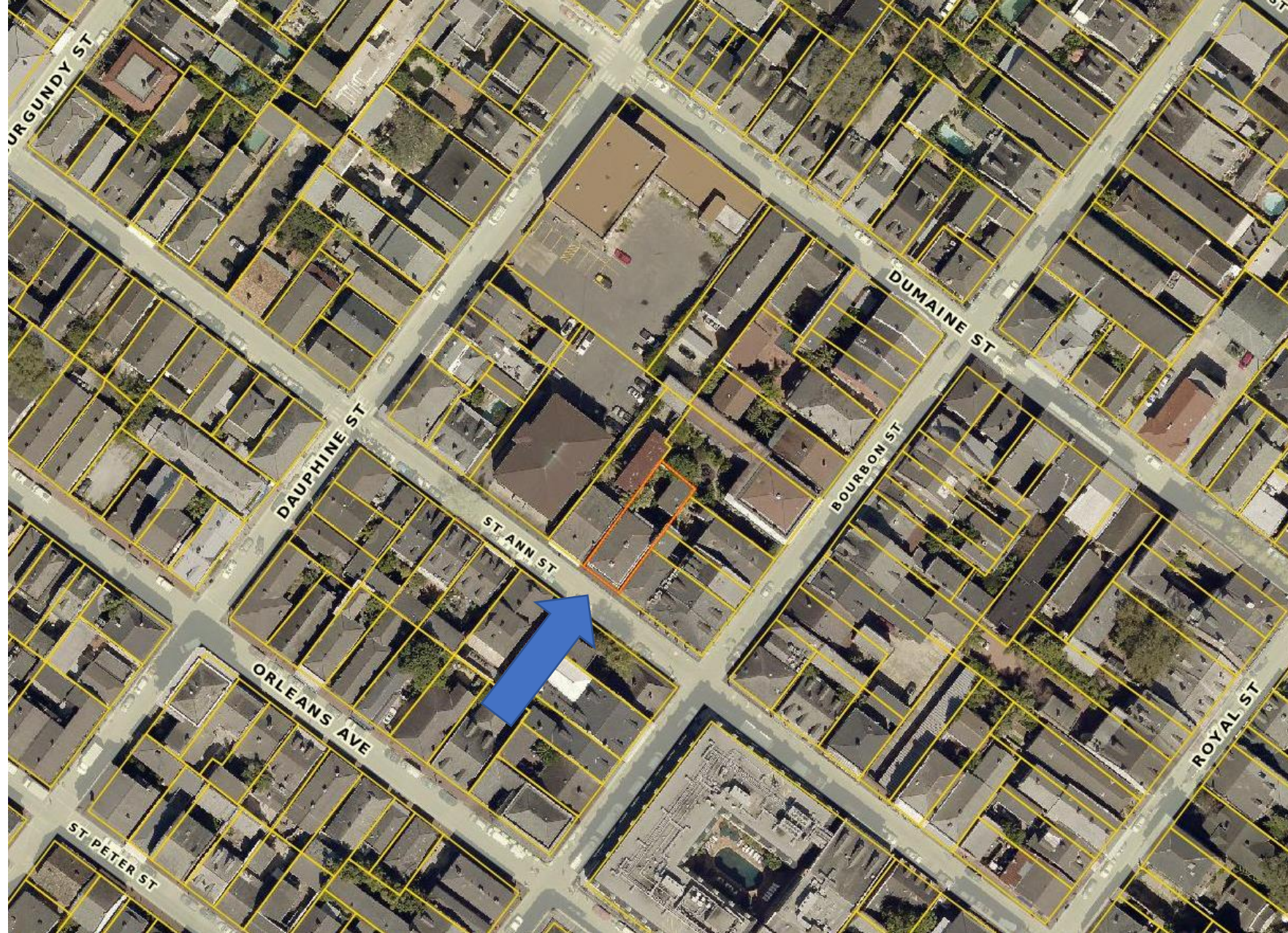
VTM54R4
2 x 2 Surface-mount
Box



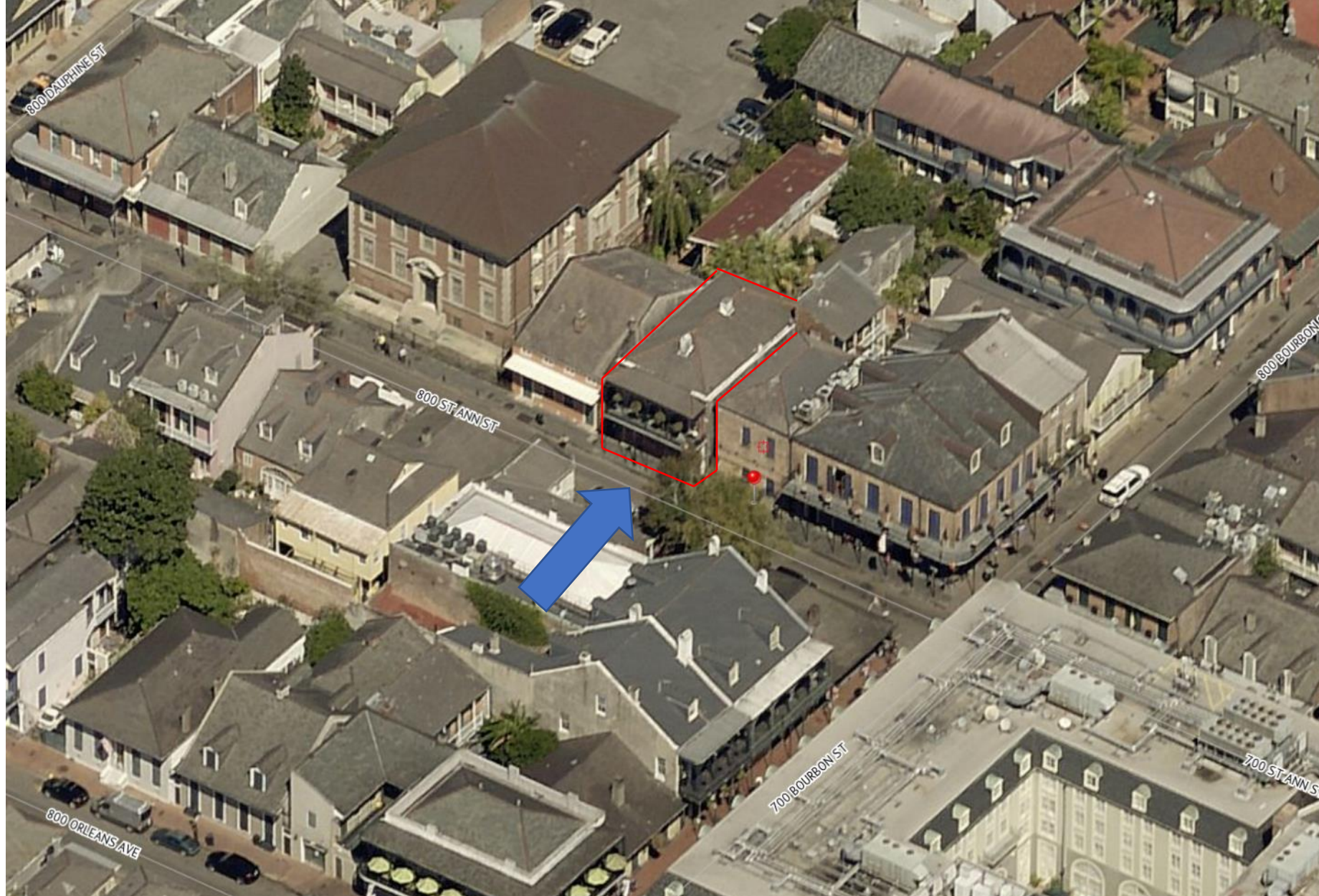
VTM56R6
2 x 3 Surface-mount
Box



815 St Ann



815 St. Ann



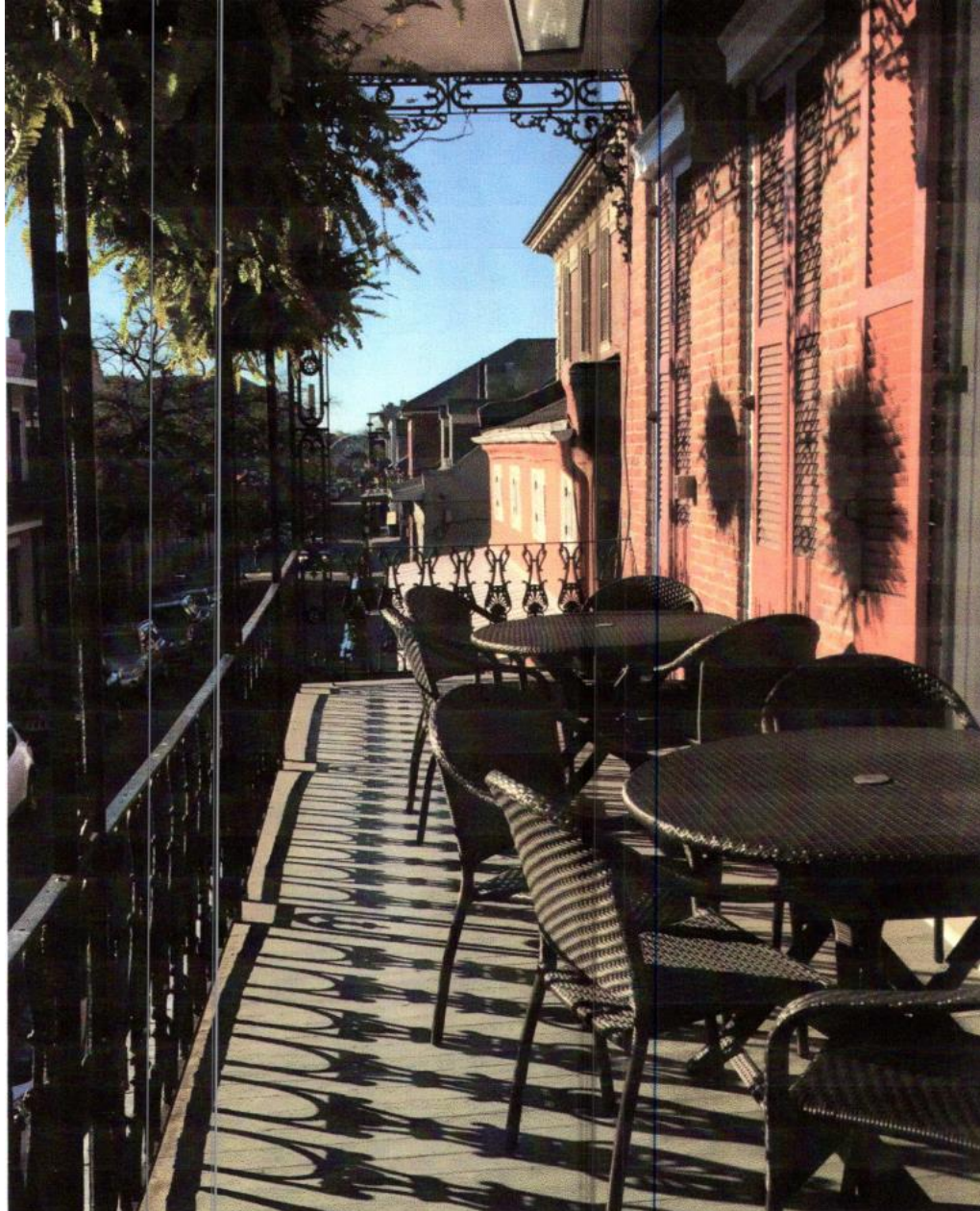
815 St. Ann



815 St. Ann



815 St. Ann - 1974



815 St. Ann

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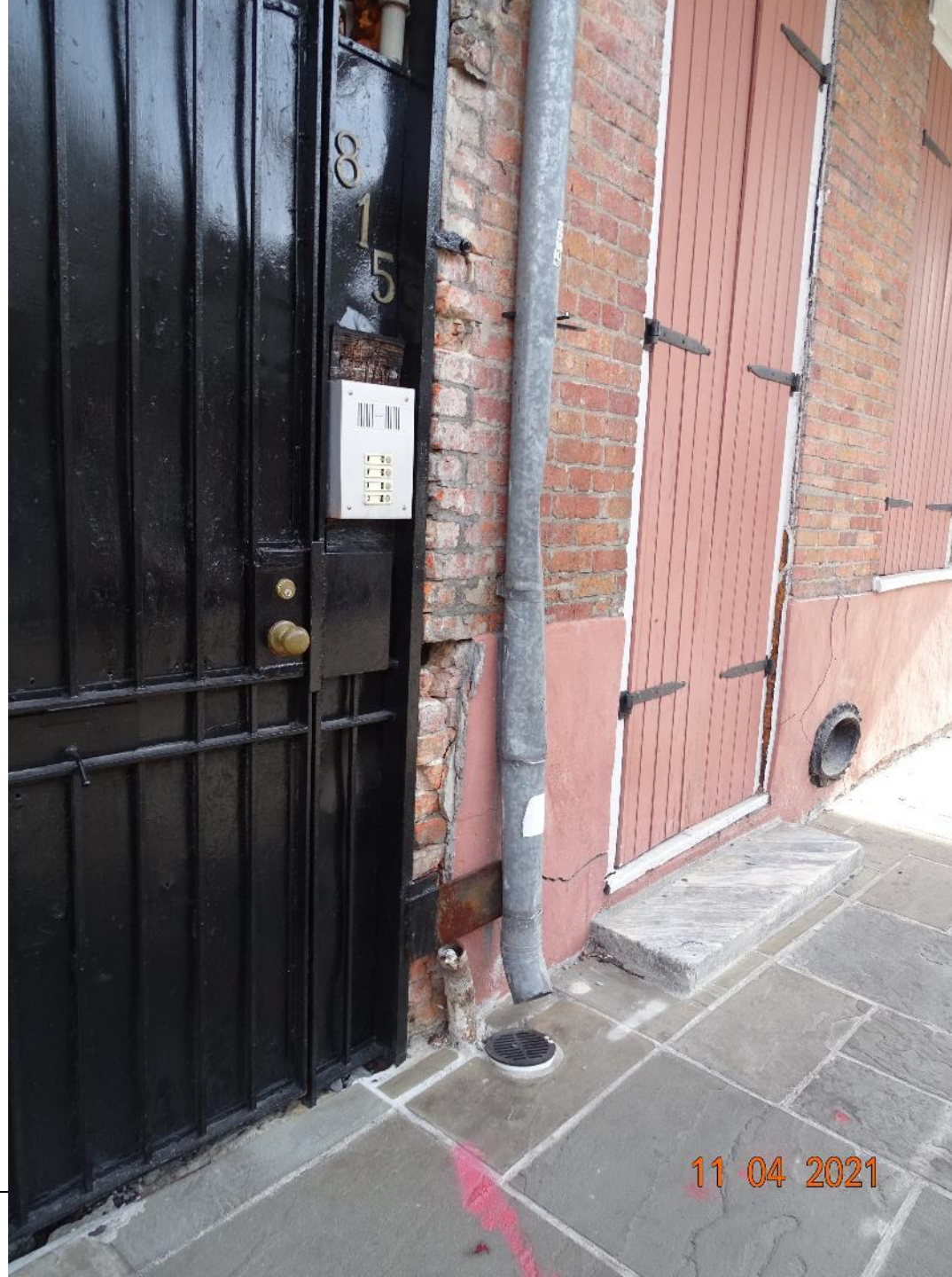


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815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior
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11 04 2021

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815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior

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11 04 2021



815 St. Ann – 1st Floor Interior



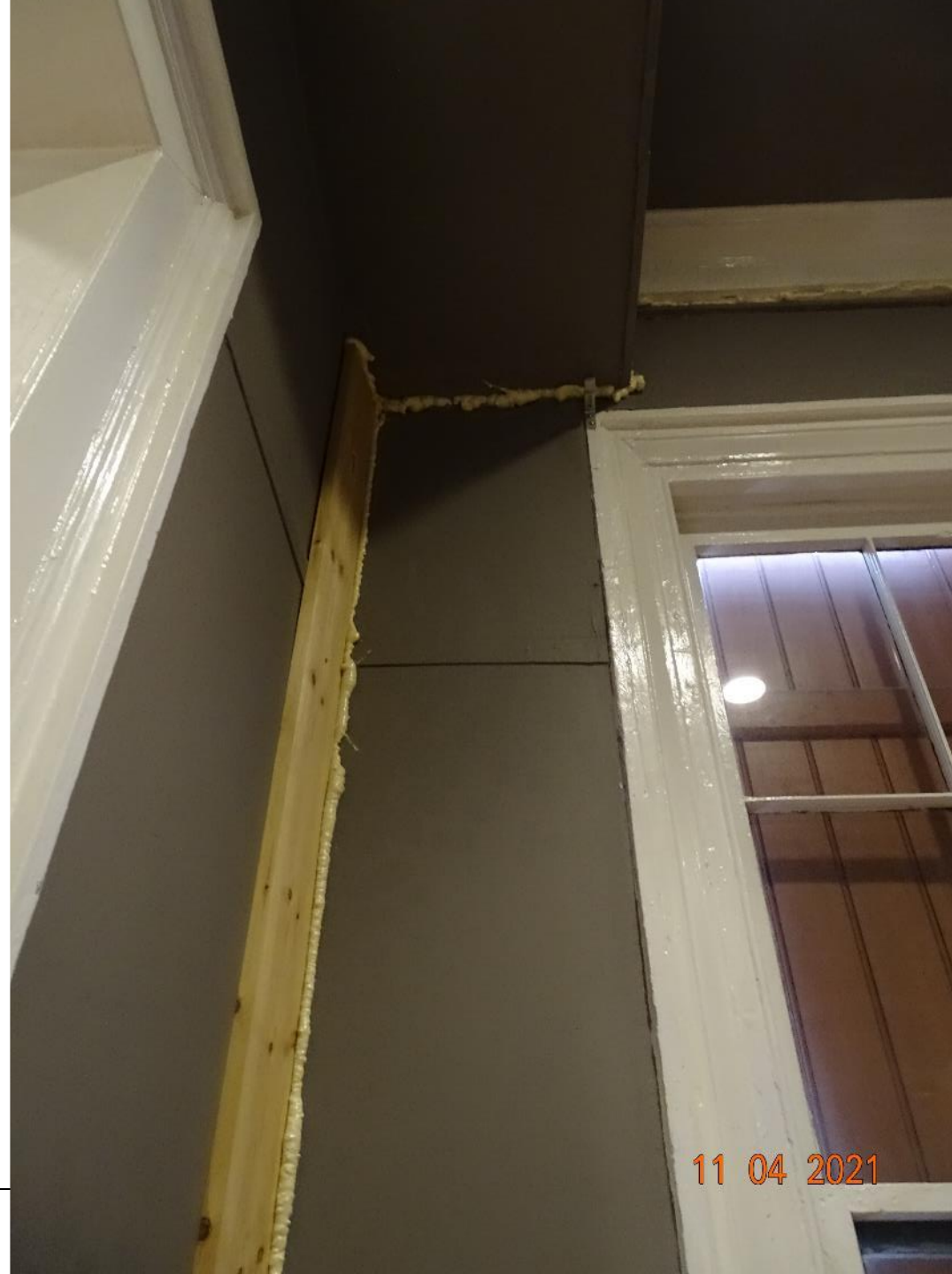
815 St. Ann – 1st Floor Interior
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815 St. Ann – 1st Floor Interior
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815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior



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815 St. Ann – 1st Floor Interior
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July 12, 2022





815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior



815 St. Ann – 1st Floor Interior

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815 St. Ann – 2nd Floor Interior
VCC Architectural Committee



July 12, 2022





815 St. Ann – 2nd Floor Interior



815 St. Ann – 2nd Floor Interior



11 04 2021

815 St. Ann – 2nd Floor Interior

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815 St. Ann – 2nd Floor Exterior
VCC Architectural Committee



02 17 2022

July 12, 2022





815 St. Ann – 2nd Floor Exterior
VCC Architectural Committee

02 17 2022

July 12, 2022





815 St. Ann – 2nd Floor Exterior



815 St. Ann – 2nd Floor Exterior
VCC Architectural Committee

02 17 2022

July 12, 2022





815 St. Ann – 2nd Floor Exterior



815 St. Ann

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815 St. Ann

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Established 1840
PHONE 504-488-2671 * FAX 504-482-2862
3319 ORLEANS AVENUE * P.O. BOX 19737
NEW ORLEANS, LA 70179-0737
www.abrybrothers.com
LA CONTRACTORS LICENSE NO. 26319

May 18, 2021

William Wolf
Yazoo Restorations, LLC
7611 Maple St
New Orleans, LA 70118

An initial inspection was conducted at: **815 St. Ann Street NOLA 70116**

As per your request, a visual inspection was conducted at the above address. The purpose of the inspection was to develop a cost estimate for structural shoring at the site.

We are pleased to quote a cost range of \$65,000.00 to \$68,000.00.

The price is based on the following scope of work:

- ❖ Shoring the interior framing from the ground up to the roof, the balcony and the balcony roof to allow removal of the front masonry wall. The removal is to be done by others.
- ❖ Installing a new foundation under the removed wall.

The quote **does not include** the demo or removal of the wall or any finishes that need to be replaced. It **does not include** rebuilding of the wall.

If you should require further information and/or a contract to make the necessary repairs, please let us know.

Thank you for contacting **ABRY BROTHERS, INC.** for your raising/shoring/leveling requirements.

Sincerely,

H. Greg Abry

815 St. Ann

VCC Architectural Committee

July 12, 2022



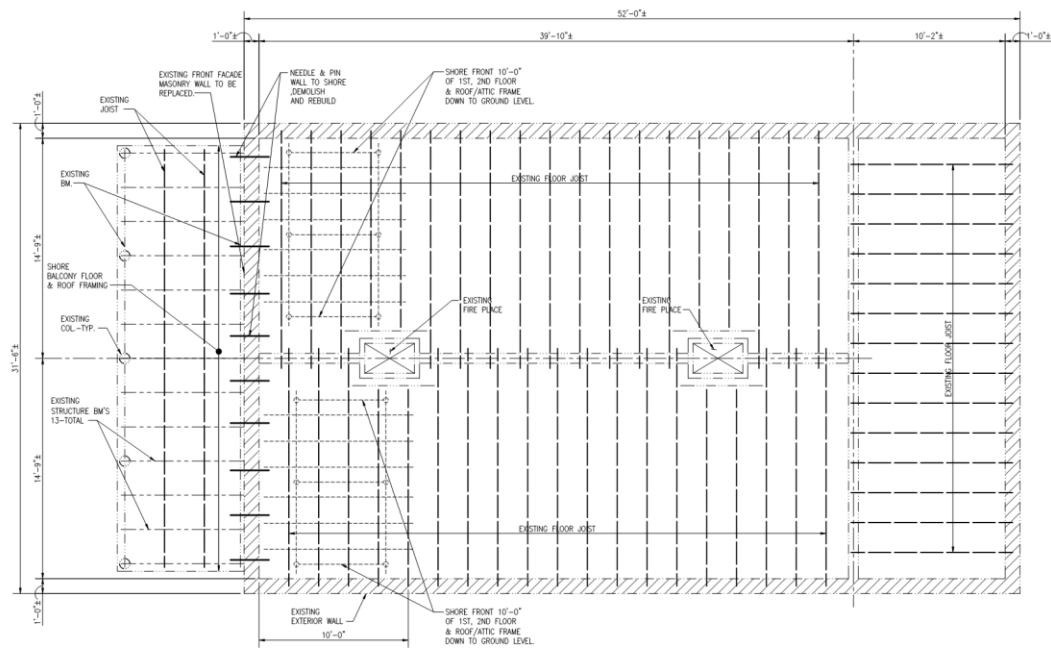
REVISIONS	BY

MORPHY Consulting Engineers
336 N. NORMAN C. FRANCIS PARK
NEW ORLEANS, LOUISIANA 70119
PHONE: (504) 488-1317
FAX: (504) 488-0924
Web: www.morphy-eng.com

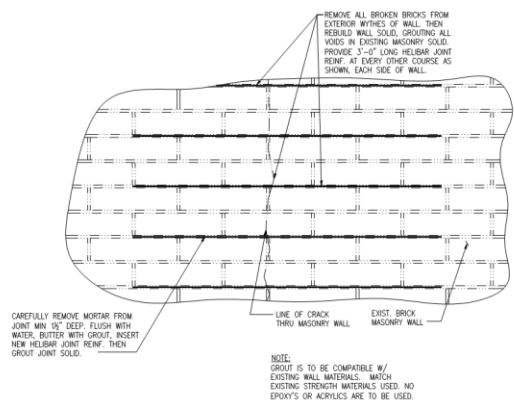
MAKOFSKY
INCORPORATED

815 ST ANN ST
MASONRY WALL REPAIRS
NEW ORLEANS, LA 70130

DRAWN	AS
CHECKED	AS
DATE	08-18-21
ISSUE	
SCALE	AS SHOWN
JOB NO.	20167
SHEET	
S1.2	
2 OF 3	

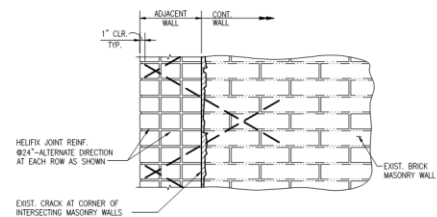


1 EXISTING SECOND FLOOR FRAMING PLAN
S1.2 1/8"=1'-0"

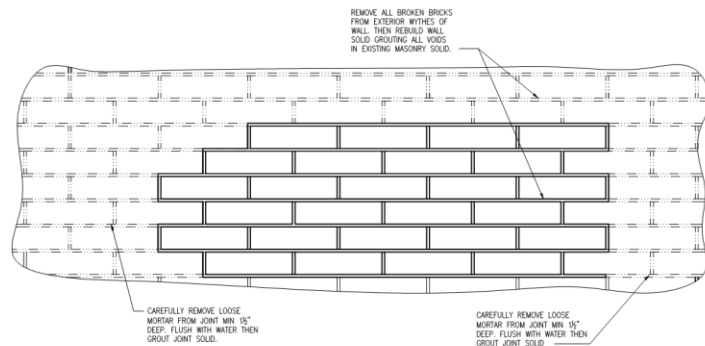


2 DETAIL-BRICK REPAIR
S1.2 NTS

- DETAIL NOTES:**
- HELPHAND REPAIR AT INTERSECTING WALL:
 - PRE-DRILL HOLES AT APPROX. 30° ANGLE AT LOCATION OF HELPHAND REINFORCING. LOCATE ALL HOLES IN NEAREST HORIZONTAL MORTAR JOINT.
 - PREPARE HOLES BY FLUSHING WITH WATER. INJECT HOLES WITH HELPHAND GROUT.
 - PLACE HELPHAND HELPHAND JOINT REINFORCING SPACED AT 24" O.C. MAX. VERTICAL, 6" O.C. MAX. HORIZONTAL, 2 VERTICAL ROWS, CENTERED ON CONTINUOUS WALL.
 - EACH VERTICAL ROW OF REINFORCING BARS TO ALTERNATE DIRECTION AS SHOWN.
 - REINFORCING TO EXTEND 18" MIN. CLEAR PAST CRACK EACH SIDE WHERE POSSIBLE.
 - FILL CRACK AND HOLES SOLID WITH COMPATIBLE MORTAR.



3 DETAIL-CRACK REPAIR AT INSIDE CORNER
S1.2 NTS

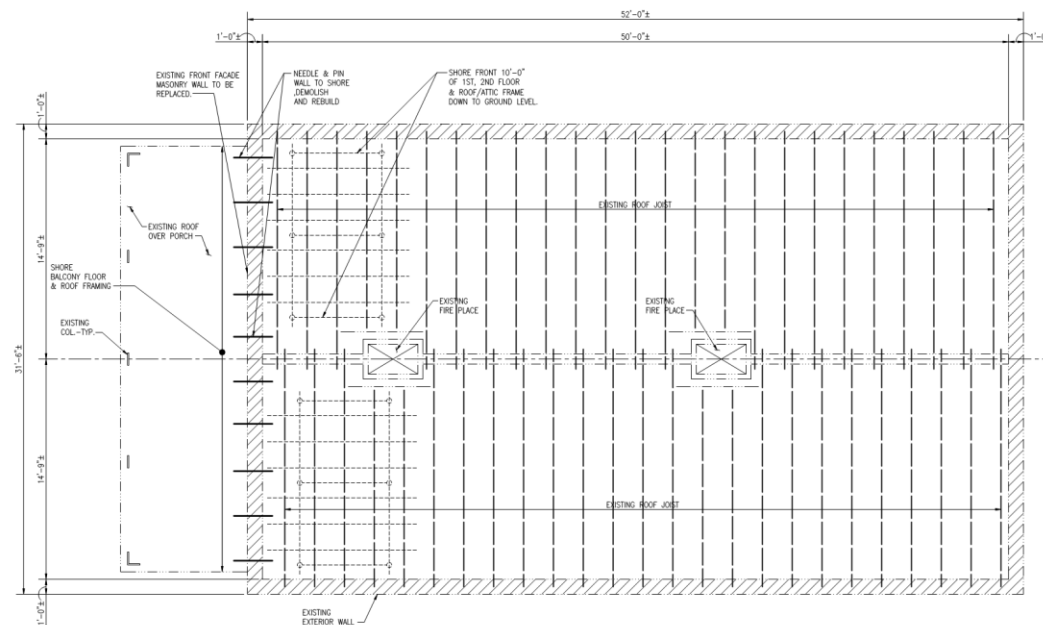


4 DETAIL-BRICK REPAIR
S1.2 NTS

815 St. Ann

VCC Architectural Committee

July 12, 2022



1 EXISTING ROOF FRAMING PLAN
S1.3 1/4"=1'-0"



DRAWN	JLS
CHECKED	JLS
DATE	08-18-21
ISSUE	
SCALE	AS SHOWN
JOB NO.	20167
SHEET	
S1.3	
3 OF 3	



MORPHY Consulting Engineers
338 N. NORMAN C. FRANCIS PARKY
NEW ORLEANS, LOUISIANA 70119
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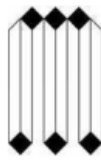
MAKOFSKY
INCORPORATED

815 ST ANN ST
MASONRY WALL REPAIRS
NEW ORLEANS, LA 70130

815 St. Ann

VCC Architectural Committee

July 12, 2022



MORPHY, MAKOFSKY, INC.
CONSULTING ENGINEERS
336 N. Norman C. Francis Parkway
New Orleans, LA 70119
P:504/488-1317 F:504/488-0924
www.mmi-eng.com

Jamie L. Saxon
Jonathan A. Sofranko
H. Stephan Bernick

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June 27, 2022

John Williams
Williams Architects
824 Baronne Street
New Orleans, LA 70113

RE: 815 St Ann Street
New Orleans, La.

Dear Mr. Williams,

We are writing this letter to explain that the front façade wall will need to be rebuilt. The existing building is two stories tall with wood framing at the 1st, 2nd and roof levels. The exterior walls are multi-wythe, load bearing, clay masonry brick walls. The front of the building abuts onto St. Ann Street. The floor joists appear to span in the direction parallel with the street.

At the time of our inspection, Tuesday, October 27, 2020, we could see displacement of the front façade wall and cracking in the masonry wall. The footing was damaged due to the ongoing construction. See attached photos. The lower section of the wall has the outer wythe of masonry tilting outwards, the inner wythes tilt inwards and the masonry towards the Dauphine Street side has cracked and begun to separate. The front wall has actually buckled which occurred when the footing under the front wall was undermined and likely rotated. Above the second floor we can also see significant horizontal movement across the wall resulting in large cracks above and adjacent to the windows. In addition, the front wall is separating from the side and central walls.

In consideration that the lower half of the wall needs to be removed to allow for the total replacement of the footing and rebuilding of the lower section of the wall. To shore the front wall needle beams need to be placed thru the wall above the windows of the first level. This will remove a significant portion of the wall. All the masonry below these needle beam will need to be replaced as it has suffered damage and the wythes have separated. The upper wall also has significant issues. The sections at each end have significant cracks above the second level windows and thru the outer jambs each side. These sections of masonry have moved outwards. These sections cannot be safely shored and need to be rebuilt. See attached elevation with notes.

When considering that wall sections are removed to allow for needle beam installation, the lower half of the wall below the needle beams has to be rebuilt, the two outer masonry piers at the second level and corresponding section of masonry above this outer windows will also be replaced, then only the upper interior piers and masonry above the two second level windows is left in place. This is an insignificant portion of the wall that would remain. Also the shoring for this small section would be above the area of footing and wall replacement, making it a very dangerous area to work.

815 St. Ann

VCC Architectural Committee

July 12, 2022



In view of this extent of work, the entire front façade will need to be removed and rebuilt. This also provides the safest means of restoration of the front façade when you consider that this wall is on the property line and close to a very busy part of the French Quarter.

Morphy Makofsky, Inc.

Yours truly

Jamie L. Saxon.
Jamie Saxon, P.E.





Photo 1: DAMAGED FOOTING



Photo 3: DAMAGED/MISSING FOOTING



Photo 2: DAMAGED/MISSING FOOTING.



Photo 4: DAMAGED FOOTING.



Photo 5: CLOSE UP OF DAMAGED BRICK OF FORMER FOOTING.



Photo 6: CLOSE UP OF DMAGED BRICK IN FORMER FOOTING.



Photo 7: CLOSE UP OF DAMAGED AND DISPLACED BRICK IN FOOTING.



815 St. Ann

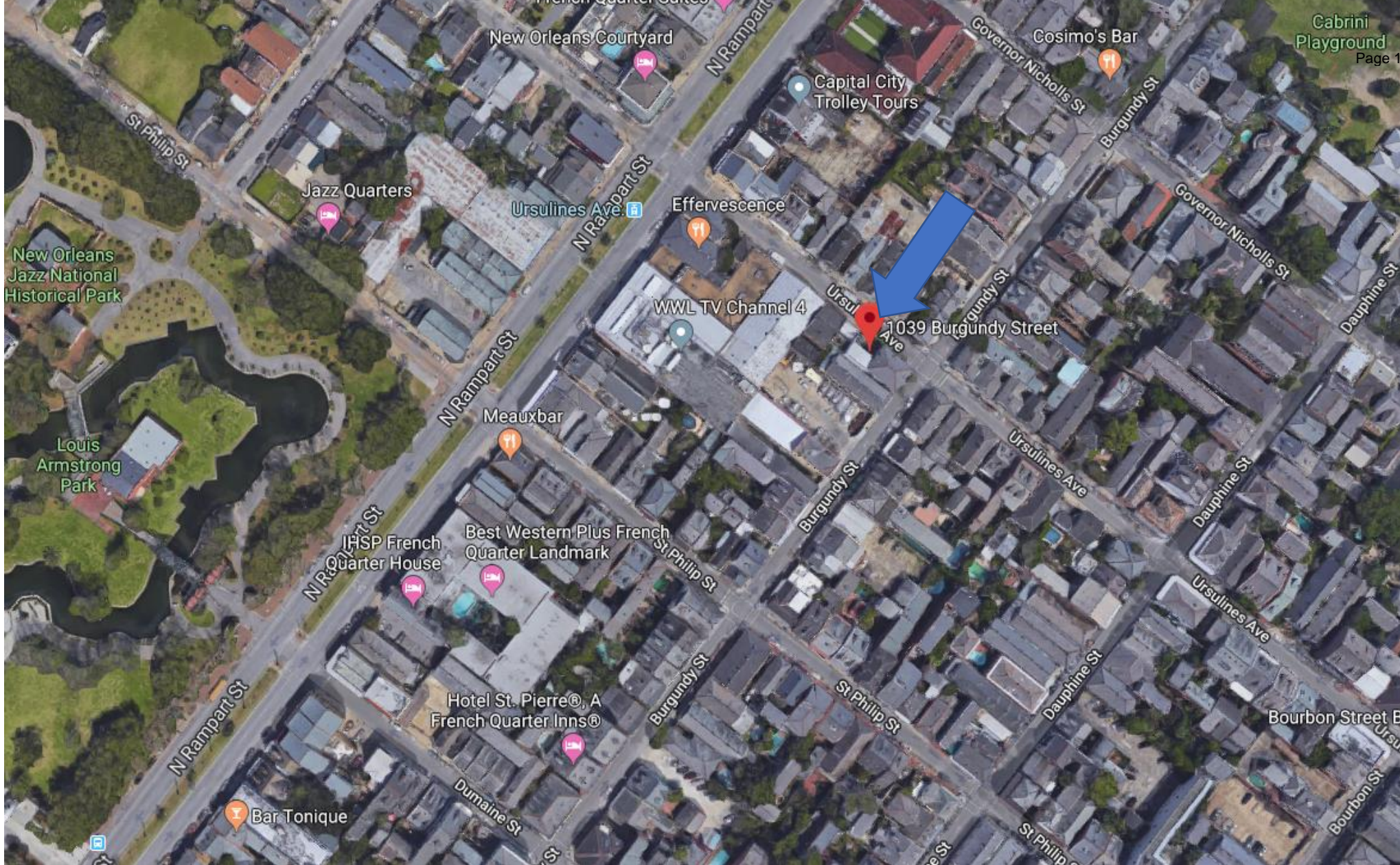
VCC Architectural Committee

July 12, 2022





1039 Burgundy



1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022







1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022





1039 Burgundy

VCC Architectural Committee

July 12, 2022



1039 Burgundy Street

New Orleans, LA. 70116

Exterior Renovations

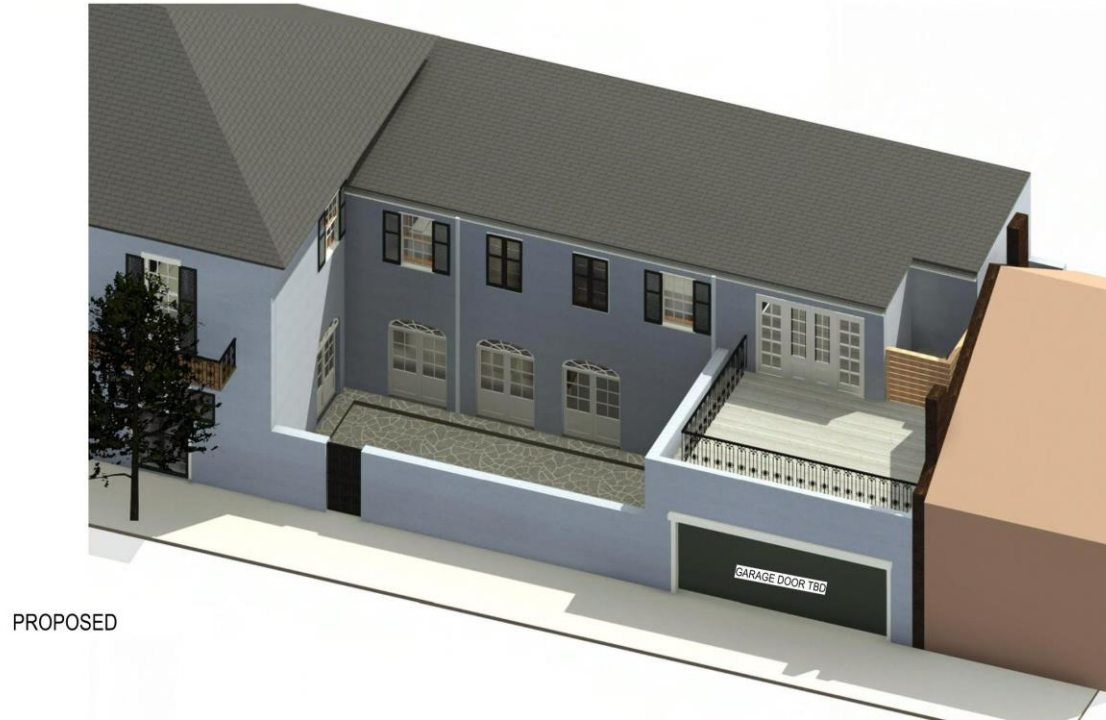
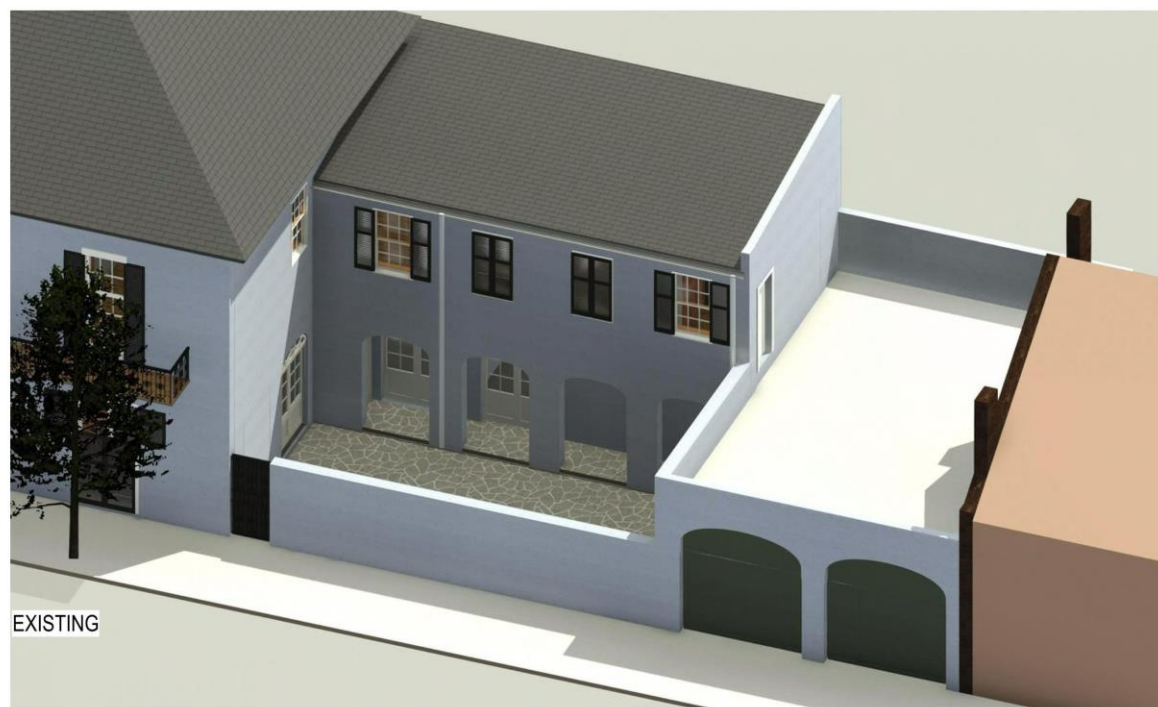
VCC ARC 7/12/2022

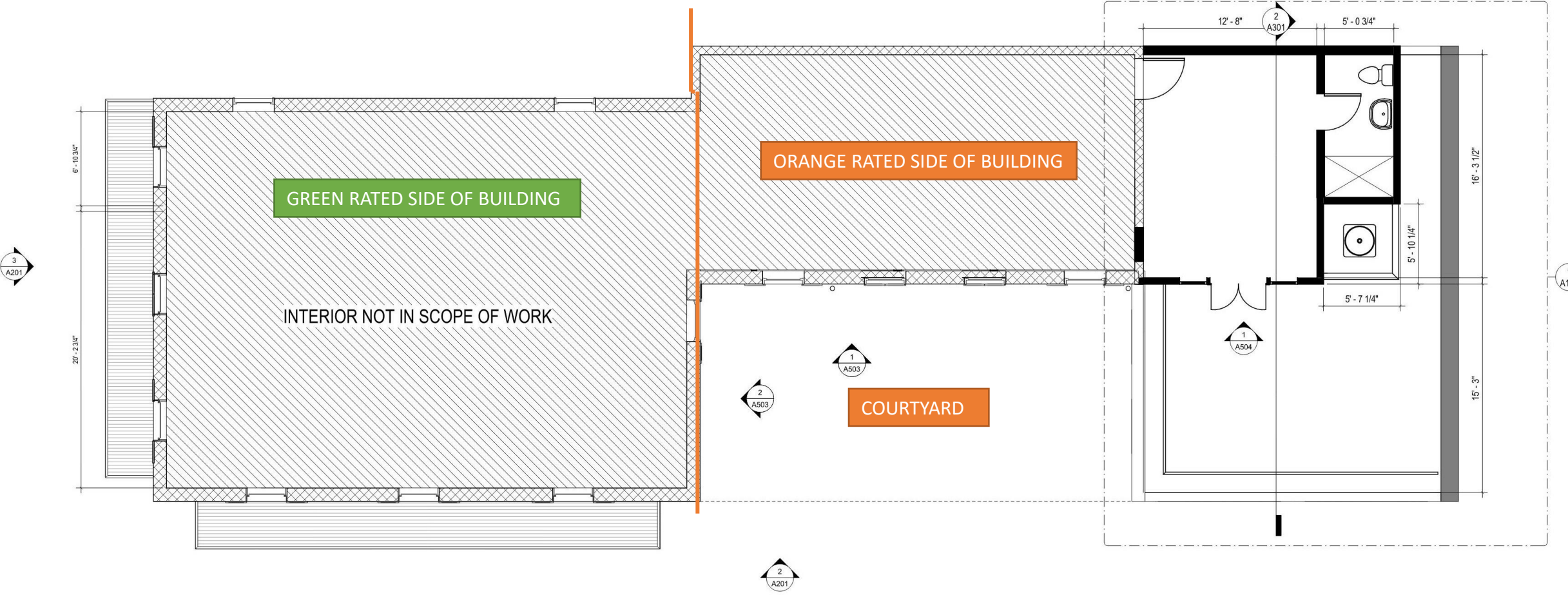
NOTE

3D VIEWS ARE DIAGRAMATIC IN NATURE
ONLY. SEE PLANS AND ELEVATIONS FOR
DETAILS AND DIMENSIONS

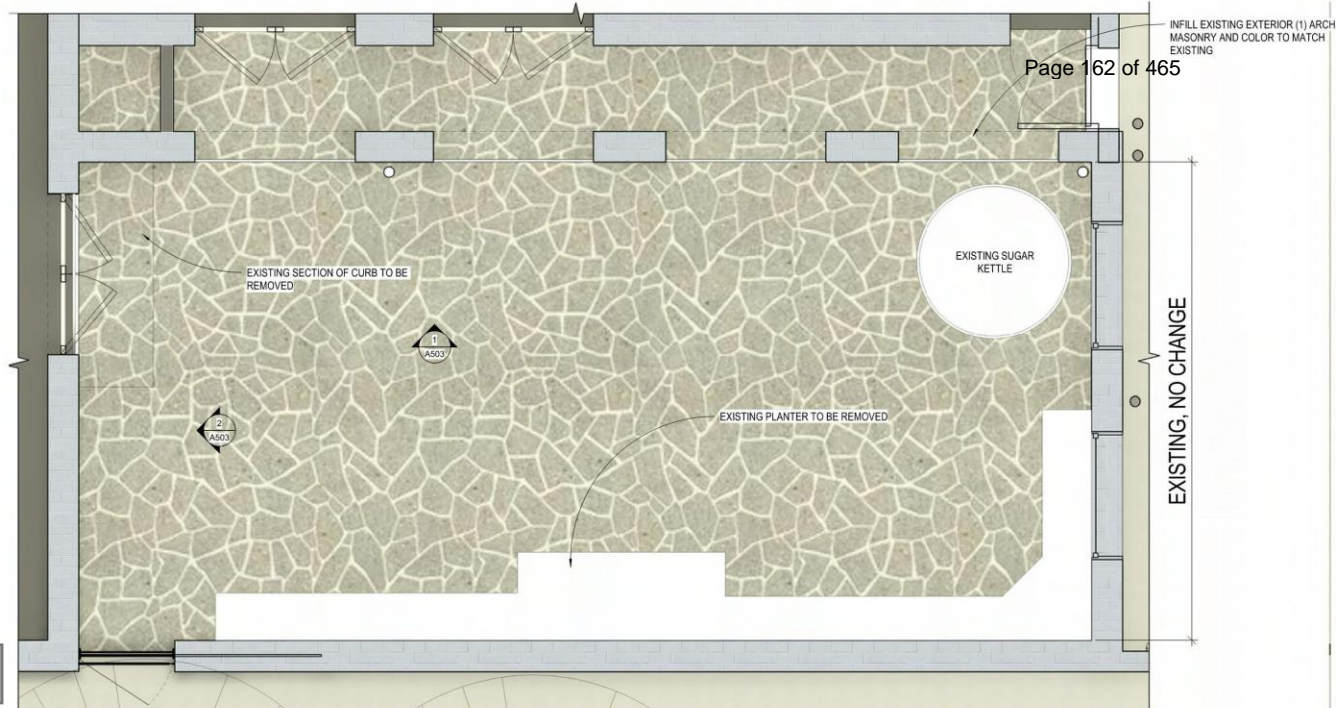
“New building construction is a sign of economic health and vitality in a city. It can take many forms including a new primary building, an addition to an existing building or a new secondary building. All forms of new construction within a historic district can be dynamic and vibrant, but at the same time should be sensitive to their 100- to 250-year-old neighbors. Vacant lots, particularly those located towards the boundaries of the Vieux Carré, provide the greatest opportunity for creative and sensitive new ground-up construction, while an addition or a new secondary building can allow the continued use of a historic building or property to meet current and future needs.”

VCC Guidelines 14-1

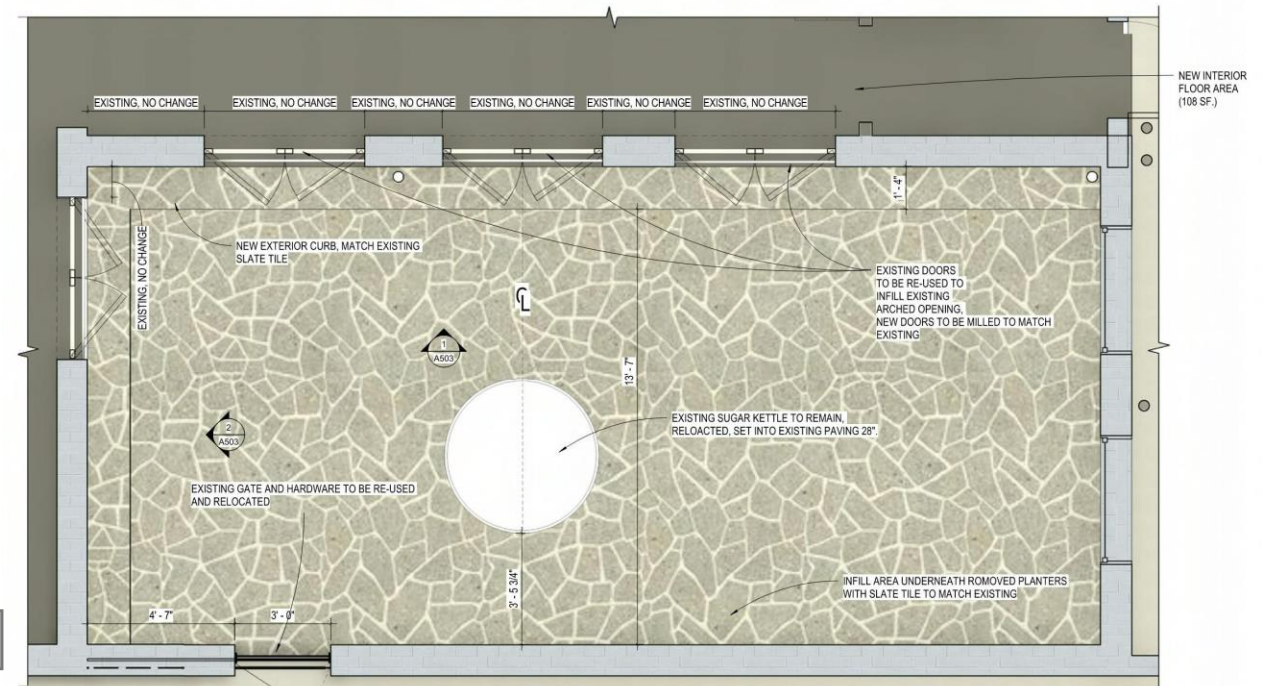




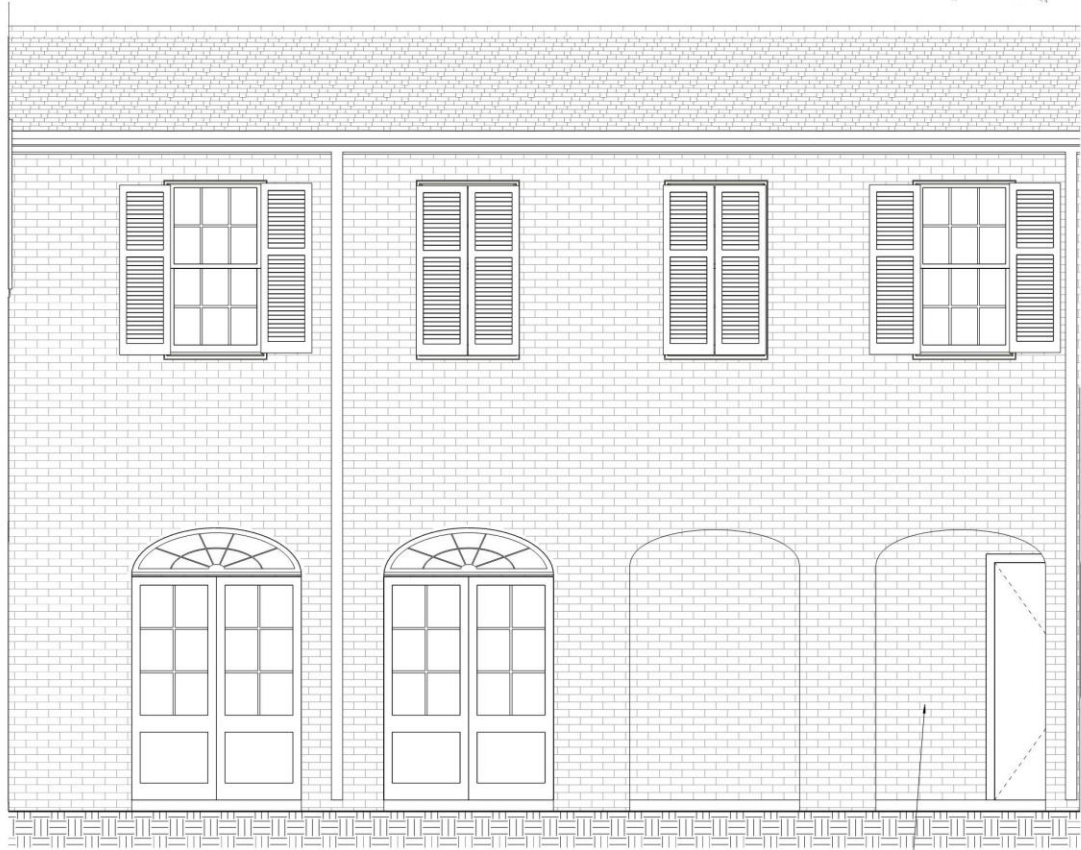
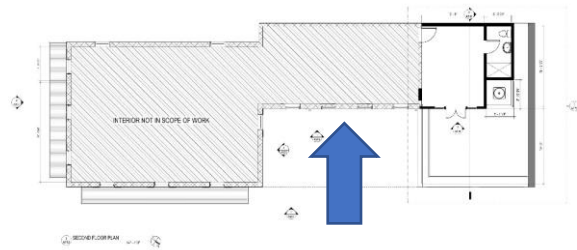
1 A112 SECOND FLOOR PLAN 1/4" = 1'-0"



EXISTING

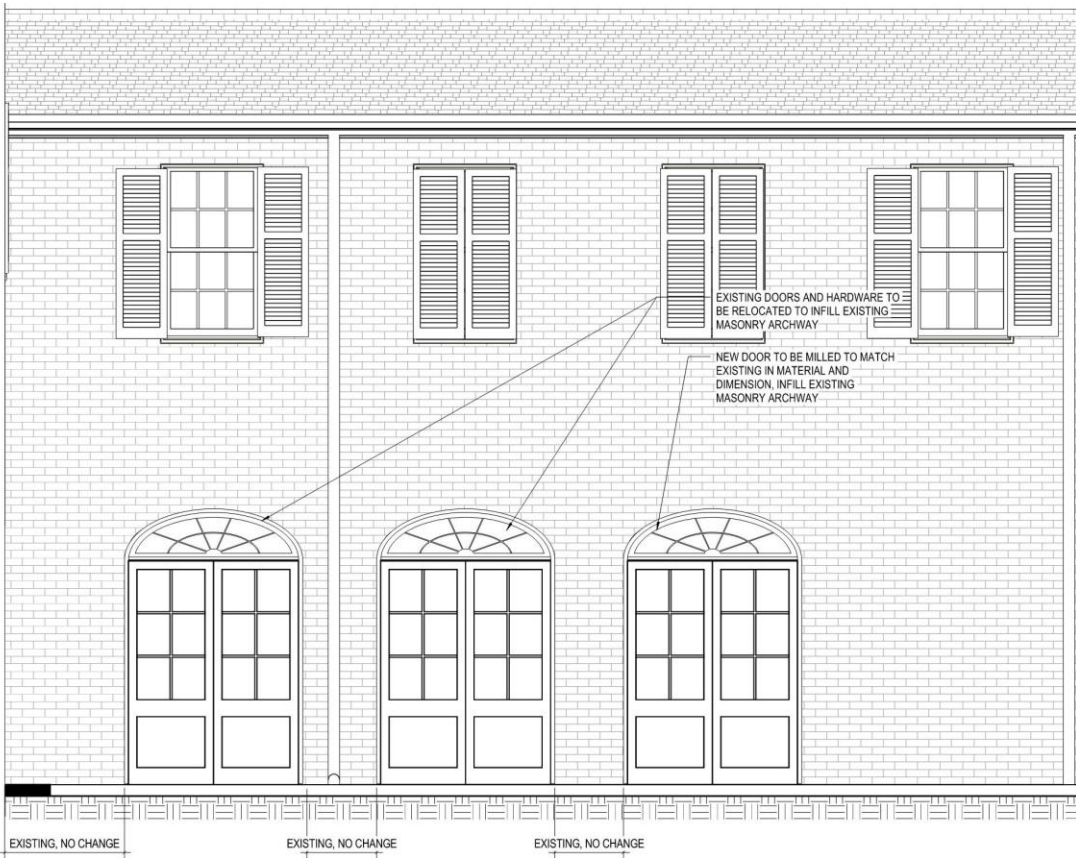


PROPOSED



2
A502
NORTH COURTYARD
ELEVATION - EXISTING
1/2" = 1'-0"

(1) EXISTING ARCHWAY TO BE
INFILLED WITH MASONRY TO MATCH
EXISTING IN KIND, VCC APPROVED
MORTAR MIX



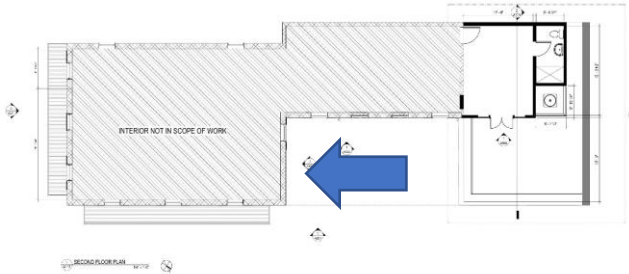
EXISTING DOORS AND HARDWARE TO
BE RELOCATED TO INFILL EXISTING
MASONRY ARCHWAY
NEW DOOR TO BE MILLED TO MATCH
EXISTING IN MATERIAL AND
DIMENSION, INFILL EXISTING
MASONRY ARCHWAY

1
A503
NORTH COURTYARD
ELEVATION - PROPOSED
1/2" = 1'-0"

West Courtyard Wall



1
A502
WEST COURTYARD ELEVATION
- EXISTING
1/2" = 1'-0"

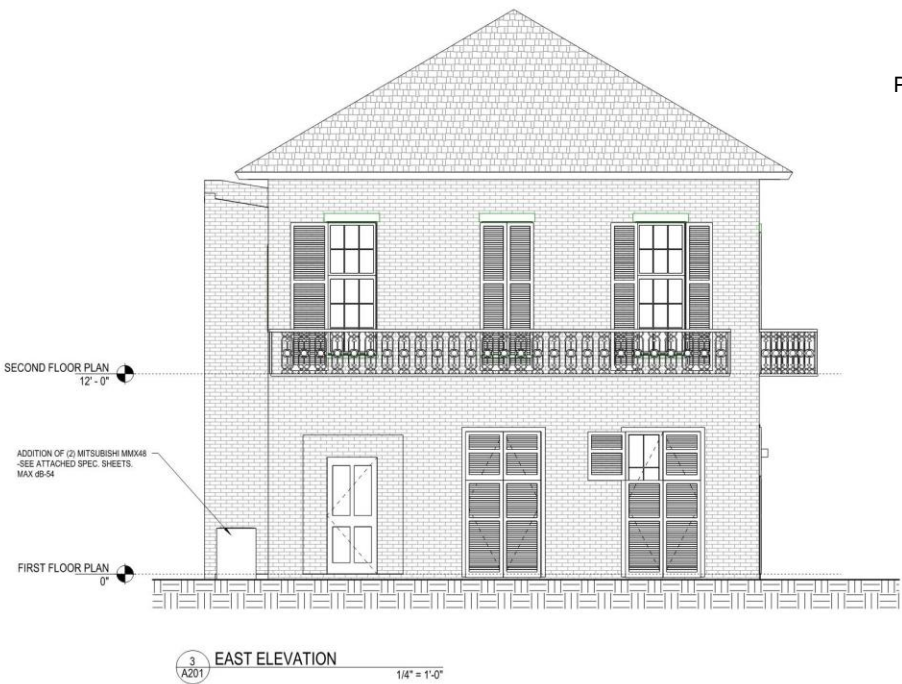
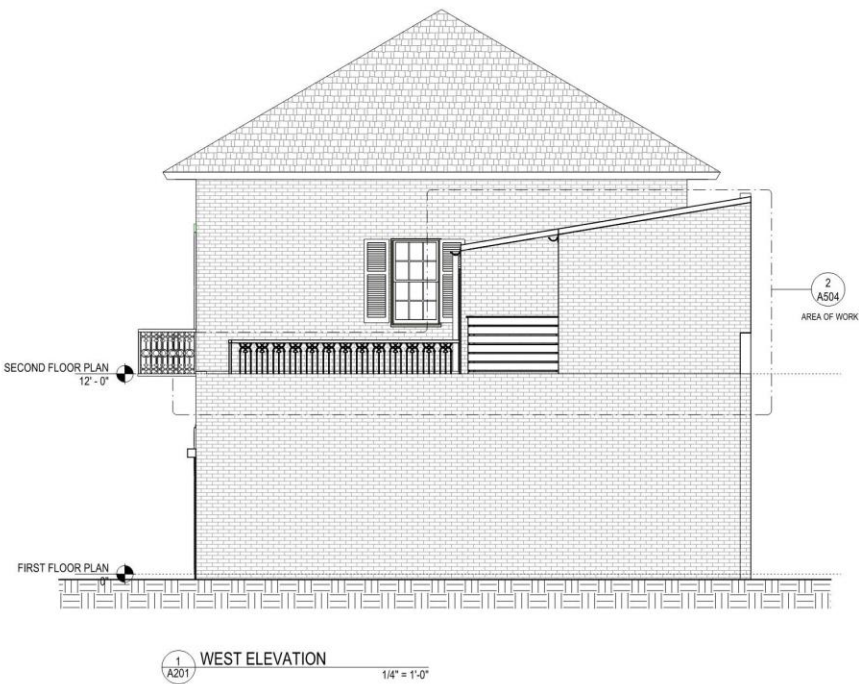


EXISTING DOOR TO REMAIN, EXISTING
CURB UNDERNEATH TO BE REMOVED





2
A503
WEST COURTYARD ELEVATION
- PROPOSED
1/2" = 1'-0"

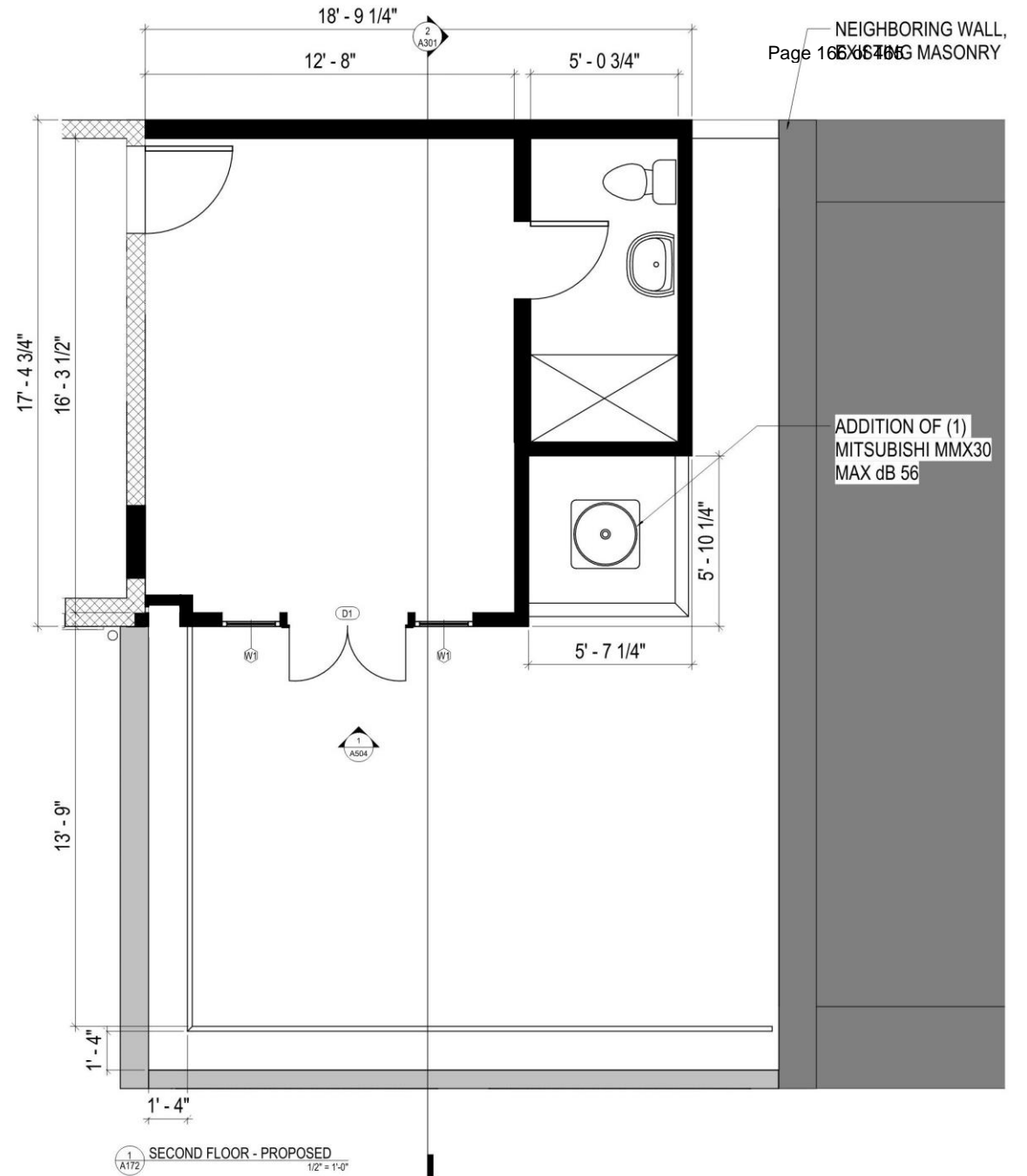


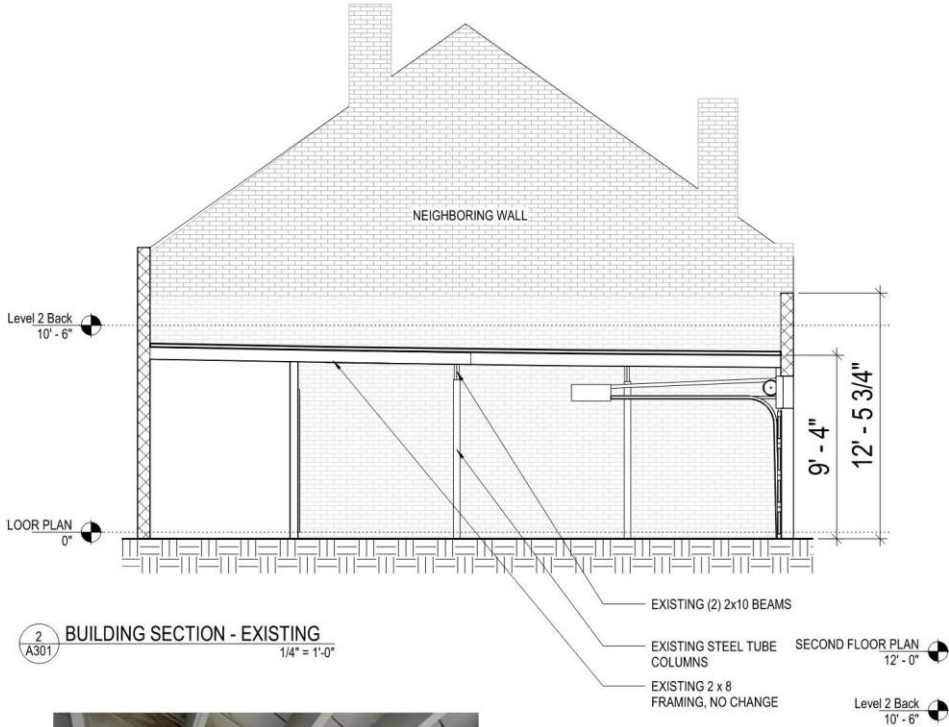




WALL PHASING LEGEND

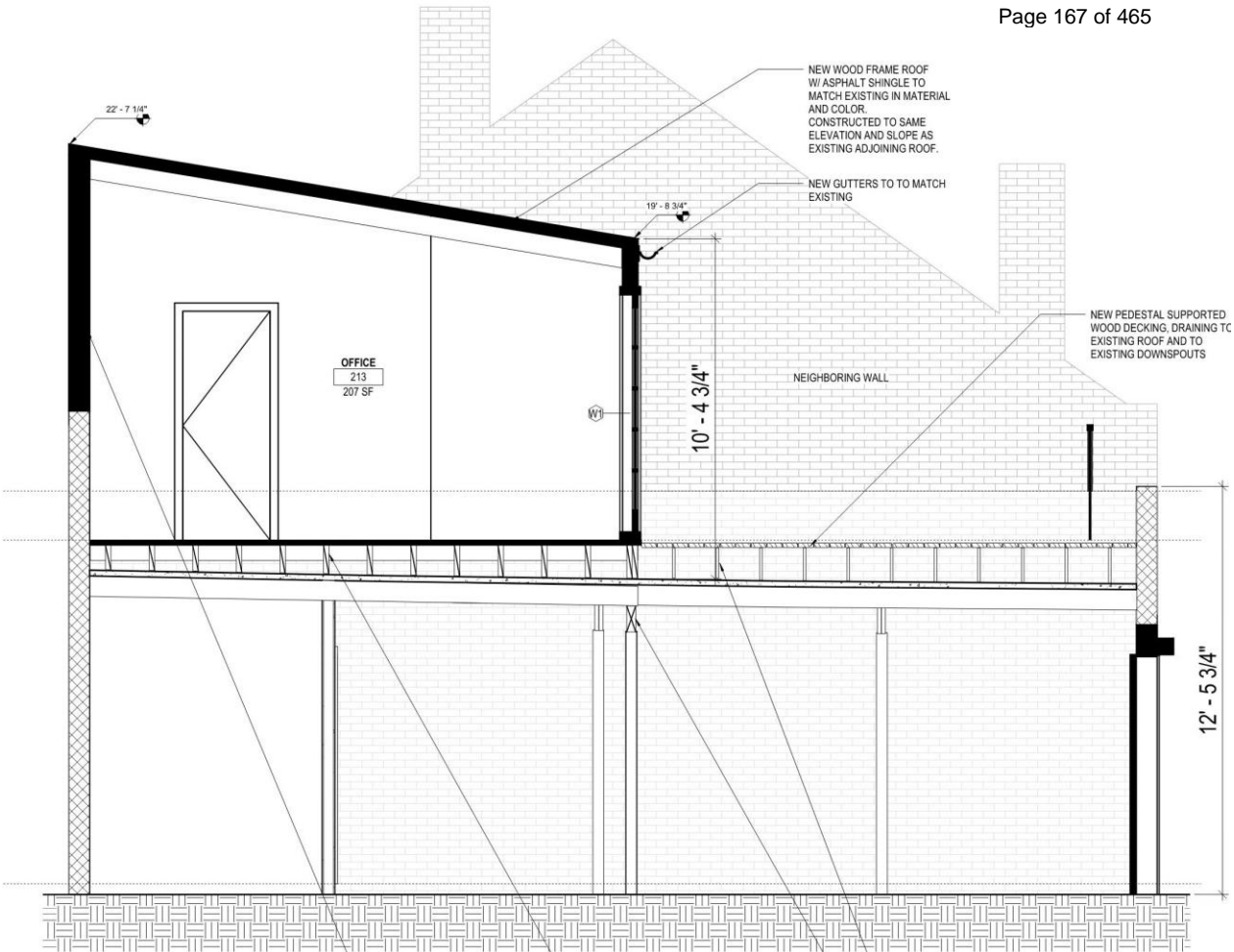
-  EXISTING WALLS TO REMAIN
-  NEW WALLS AND AREA OF INFILL





GARAGE INTERIOR

FIRST FLOOR PLAN
0"



1
A301

BUILDING SECTION - PROPOSED

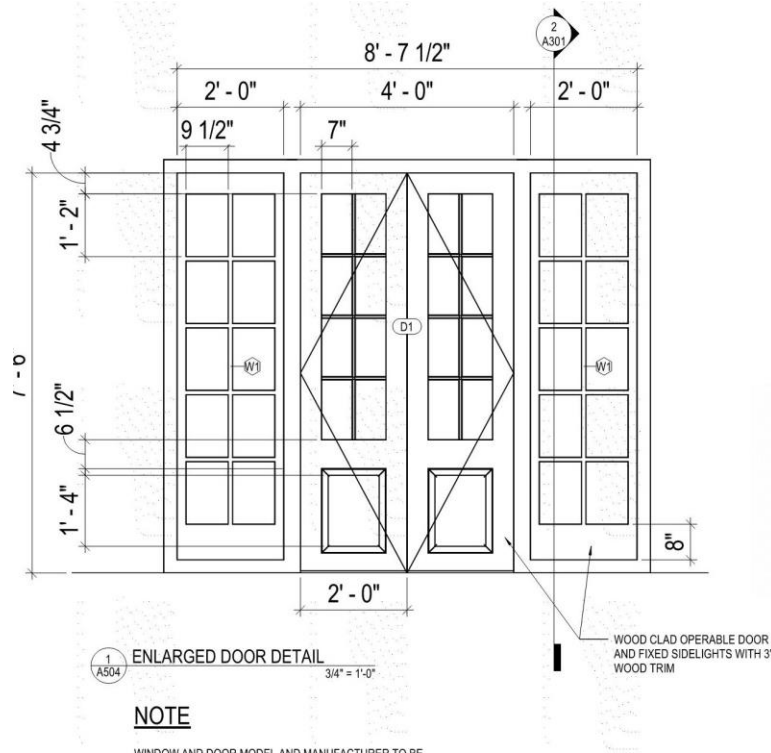
1/2" = 1'-0"

WALL PHASING LEGEND

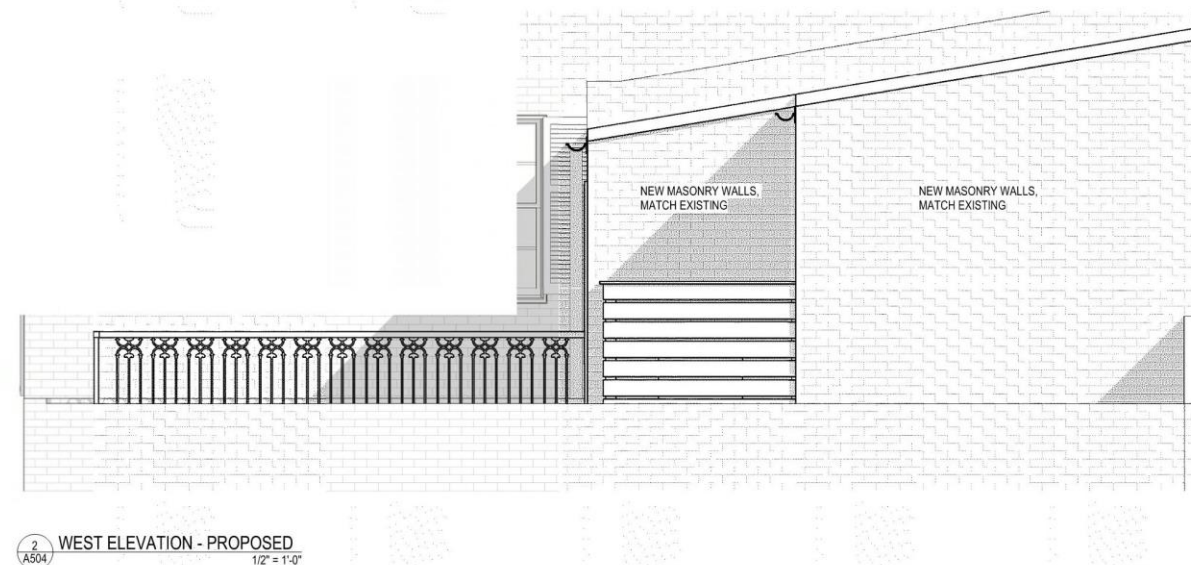
- EXISTING WALLS TO REMAIN
- NEW WALLS AND AREA OF INFILL

NOTE

ALL STAMPED STRUCTURAL DRAWING TO BE SUBMITTED TO VCC FOR APPROVAL.



- A rooftop addition on a Purple or Blue rated building
- A rooftop addition on a building originally constructed as a residential building
- A rooftop addition on a roof with a pitch greater than 3-inches vertically in 12-inches horizontally and an existing parapet less than 18-inches in height – Except at a camelback shotgun
- A roof addition greater than one story and/or 12'-0" in height or with a roof form other than a flat or lowsloped roof – Excluding an elevator override

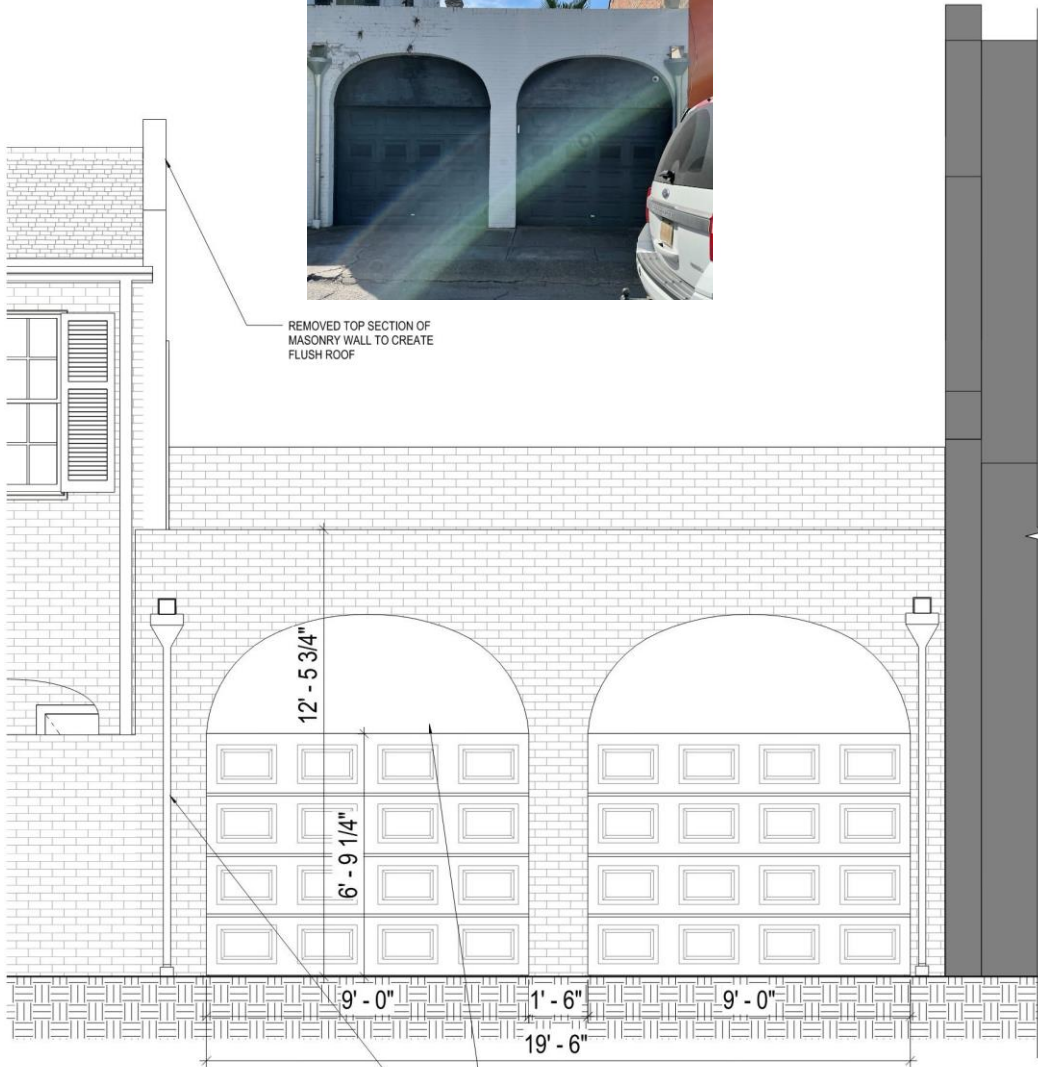


When reviewing a proposal for a rooftop addition, the VCC evaluates the application on a case by case basis. An approved rooftop addition at one location should not be considered a precedent or construed to mean that a similar proposal for another property will be approved. Factors considered by the VCC in its review include:

- The significance of the building or site as defined by its color rating
- The location of the building and site
- The height of the existing building, the proposed addition and surrounding buildings – It must also meet zoning requirements including height and setback
- The visibility of the proposed addition
- The architectural treatment of the proposed addition and its compatibility with the existing building – it should not be obtrusive or detract from the architecture of the existing building or the surrounding Vieux Carré Historic District, streetscape or adjacent buildings.



REMOVED TOP SECTION OF
MASONRY WALL TO CREATE
FLUSH ROOF



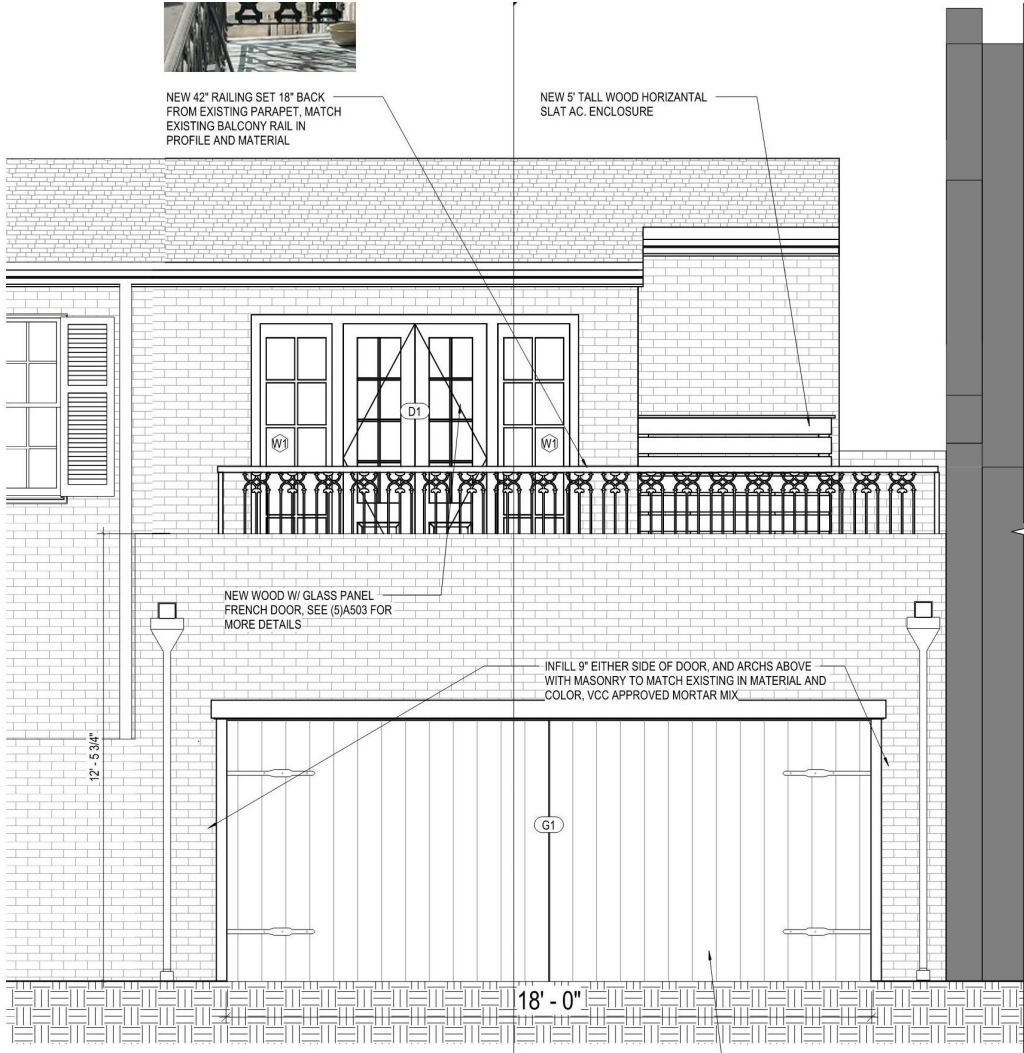
1
A501 NORTH ELEVATION - EXISTING
1/2" = 1'-0"

EXISTING GARAGE DOORS,
METAL ROLL-UP, TOP OF DOORS CURRENTLY INFILLED
WITH PLYWOOD BOARD



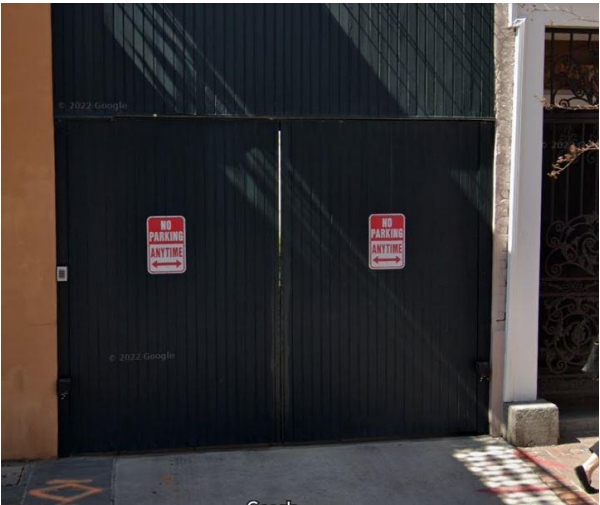
NEW 42" RAILING SET 18" BACK
FROM EXISTING PARAPET, MATCH
EXISTING BALCONY RAIL IN
PROFILE AND MATERIAL

NEW 5' TALL WOOD HORIZONTAL
SLAT AC. ENCLOSURE



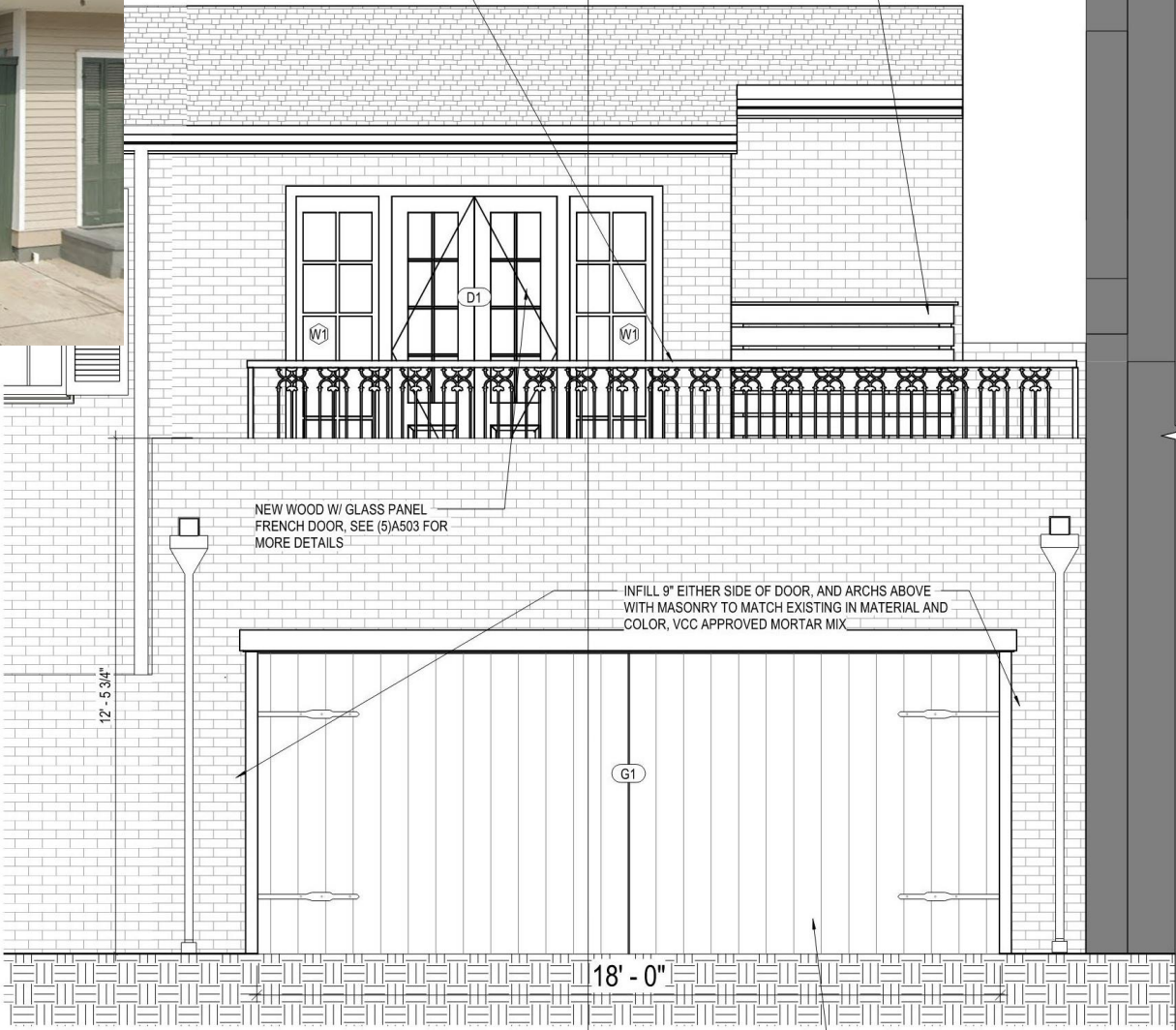
2
A501 NORTH ELEVATION -
PROPOSED
1/2" = 1'-0"

NEW SINGLE 18' GARAGE DOOR,
WOOD, OUTWARD SWING



NEW 42" RAILING SET 18" BACK FROM EXISTING PARAPET, MATCH EXISTING BALCONY RAIL IN PROFILE AND MATERIAL

NEW 5' TALL WOOD HORIZONTAL SLAT AC. ENCLOSURE



NORTH ELEVATION - PROPOSED

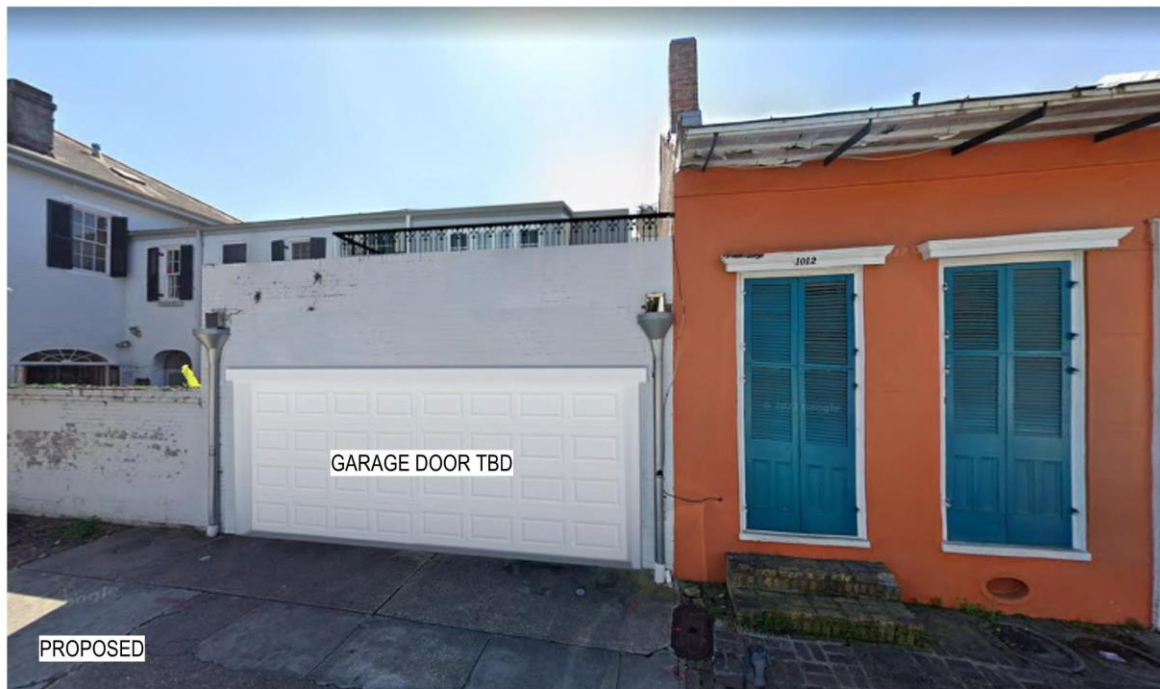
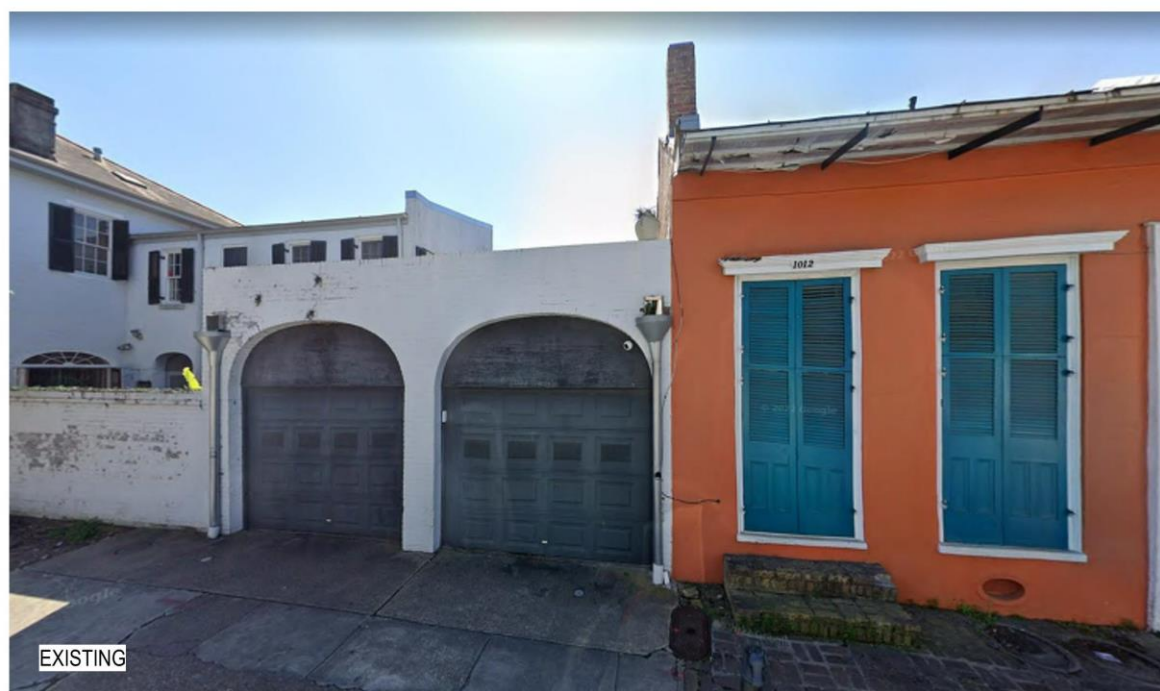
2
A501

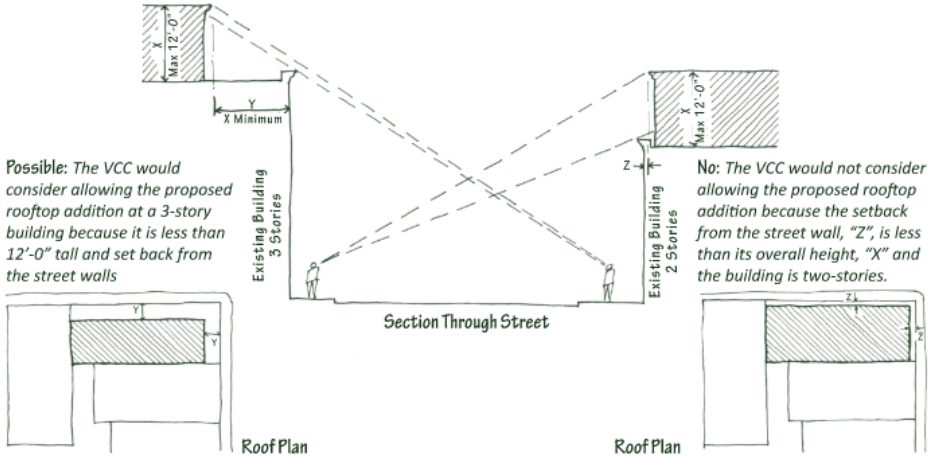
1/2" = 1'-0"

NEW SINGLE 18' GARAGE DOOR, WOOD, OUTWARD SWING

NOTE

3D VIEWS ARE DIAGRAMTIC IN NATURE
ONLY. SEE PLANS AND ELEVATIONS FOR
DETAILS AND DIMENSIONS





A rooftop addition must be set back from the street walls of the existing building by a minimum of the proposed height of the addition, (i.e. 12'-0" high rooftop addition must be set back from the street wall a minimum of 12'-0".) The VCC discourages a rooftop addition on a building less than three full stories in height because of the increased likelihood of visibility.

DESIGN STANDARDS FOR ROOFTOP ADDITION REVIEW

If allowable by the Comprehensive Zoning Ordinance (CZO) and appropriate at a particular site, the VCC uses specific design standards to review a rooftop addition proposal. In its review of a proposed rooftop amenity or addition, the VCC:

- Strives to make a rooftop addition, including an elevator and mechanical equipment, as well as furnishings as unobtrusive and minimally visible as possible
- Limits the overall height of a rooftop addition, including framing and parapet, to 12'-0" above the lowest surface of the existing roof, except for code-required components, such as an elevator override
- Requires that a rooftop addition be set back from the street façade(s) of the building by a minimum of the overall height of the proposed addition (i.e., a 12'-0" high rooftop addition should be set back from the street wall a minimum of 12'-0")
- Requires that a rooftop addition incorporate elevator, mechanical and HVAC equipment within the single story and allowable addition footprint
- Requires that all furnishings including railings, screens, planters, plants and permanent rooftop furnishings taller than the closest parapet be setback from the street wall(s) a minimum of the height of the proposed furnishing from the lowest roof surface
- Considers a proposal for a rooftop addition that does not conform to these *Guidelines* at a Green, Pink or Yellow rated building under limited circumstances; however, excellence in design and the architectural character of the existing building are strong factors in the review

Rooftop Addition Review

Construct a rooftop addition
1 2 3 Commission

ROOFTOP ADDITIONS

THE VCC REQUIRES:

- Compliance with the Comprehensive Zoning Ordinance (CZO) – A rooftop addition shall not require a variance for height limit or floor area ratios
- Review of all exterior items located on a roof surface including paving, railings and built-in furnishings

THE VCC DOES NOT RECOMMEND:

- A rooftop addition on a Green, Pink or Yellow rated building
- A rooftop addition on a building of less than three full stories in height

THE VCC DOES NOT ALLOW:

- A rooftop addition on a Purple or Blue rated building
- A rooftop addition on a building originally constructed as a residential building
- A rooftop addition on a roof with a pitch greater than 3-inches vertically in 12-inches horizontally and an existing parapet less than 18-inches in height – Except at a camelback shotgun
- A roof addition greater than one story and/or 12'-0" in height or with a roof form other than a flat or low-sloped roof – Excluding an elevator override



DESIGN PRINCIPLES	NEW CONSTRUCTION & ADDITIONS
Scale: Height & Width	Proportions and size of the new building/addition compared with neighboring buildings/existing building
Building Form & Massing	The three-dimensional relationship and configuration of the new building/addition footprint, its walls and roof compared with neighboring buildings/existing building
Setback	Distance of the new building/addition to the street or property line when compared with other buildings on the block/existing building
Site Coverage	Percentage of the site that is covered by a building/addition, when compared to nearby sites of compatible size
Orientation	Location of the front of the new building/addition and principal entrance relative to other buildings on the block
Alignment, Rhythm & Spacing	Effect the new building/addition will have on the existing patterns on its block
Architectural Elements & Projections	Size, shape, proportions and location of each entrance, balcony, gallery, porch, roof overhang, chimney, dormer, parapet and other elements that contribute to the building's overall shape and silhouette relative to neighboring buildings
Façade Proportions: Window & Door Patterns	Relationship of the size, shape and location of the new building/addition façade and building elements to each other, as well as when compared to other buildings on the property, block/existing building
Trim & Detail	Mouldings, decorative elements and features of a building that are secondary to major surfaces such as walls and a roof and how they relate to the neighboring buildings/existing building
Materials	Products with which an addition or new building is composed or constructed and how these relate to neighboring buildings/existing building

14-4 Vieux Carré Commission – Guidelines for New Construction, Additions & Demolition

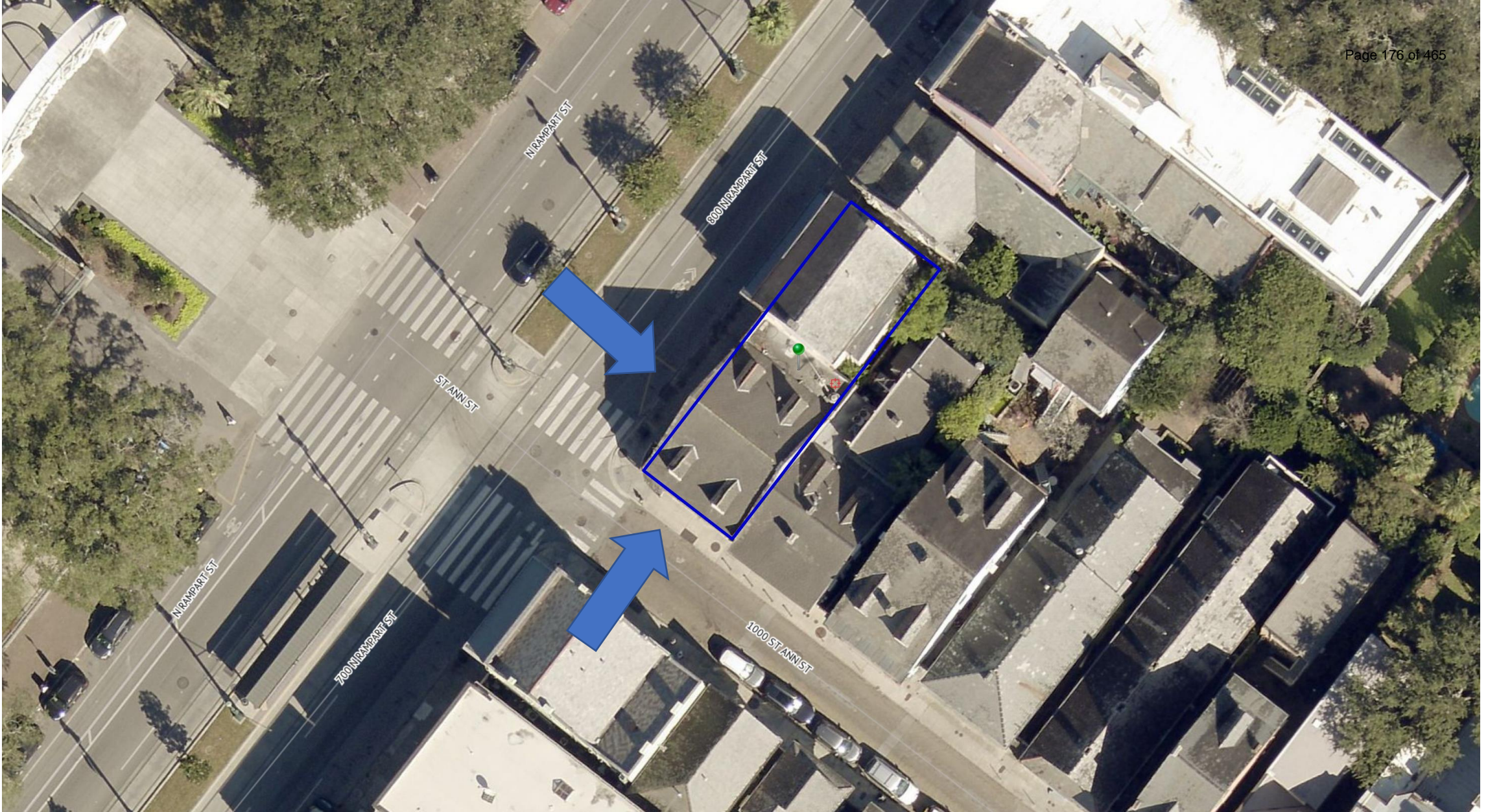




New Business



800 N Rampart



800 N. Rampart

VCC Architectural Committee

July 12, 2022





800 N. Rampart

VCC Architectural Committee

July 12, 2022





800 N. Rampart 1858

VCC Architectural Committee

July 12, 2022



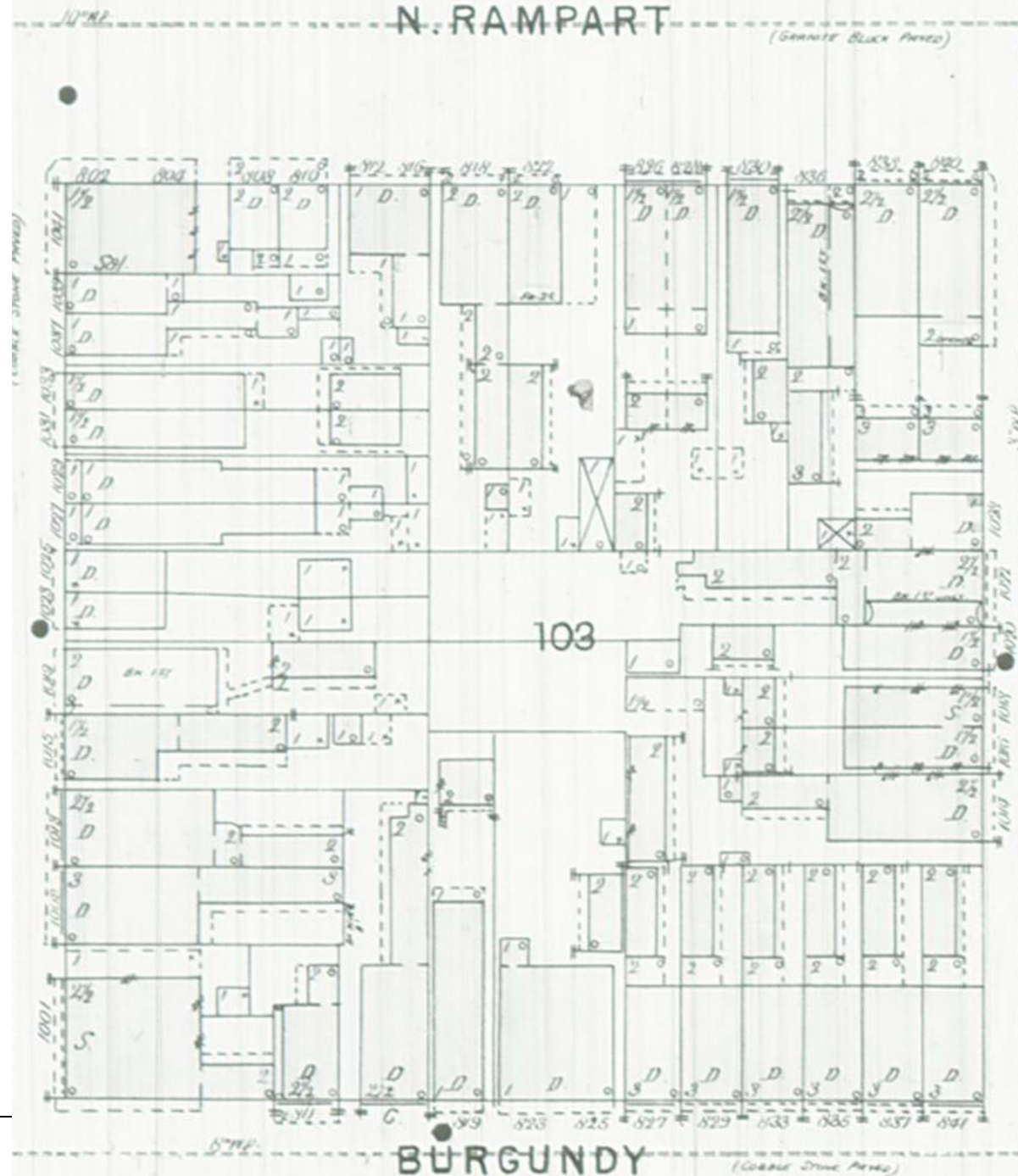


800 N. Rampart - 1863

VCC Architectural Committee

July 12, 2022





800 N. Rampart - 1896

VCC Architectural Committee

July 12, 2022





800 N. Rampart

VCC Architectural Committee

July 12, 2022





800 N. Rampart



800 N. Rampart



800 N. Rampart

VCC Architectural Committee

July 12, 2022





800 N. Rampart

VCC Architectural Committee

July 12, 2022





800 N. Rampart – 9/2021



800 N. Rampart – 9/2021



800 N. Rampart – 9/2021



800 N. Rampart – 06/2022



800 N. Rampart – 06/2022

MAINTENANCE AGREEMENT AND GALLERY CONSENT

J&R Rental Properties, L.L.C., Half James Properties, L.L.C., Michelle Cahn Wolfson Trust, James Lenard Cahn Trust, and Richard M. Cahn Trust (collectively, "**Owner**") and the Sewerage and Water Board of New Orleans ("**Board**") hereby enter into this Maintenance Agreement and Gallery Consent (this "**Agreement**") under the terms described herein.

WHEREAS, Owner is the owner of the real property located at municipal address 800 N. Rampart Street, New Orleans, LA 70116, Lot 1, Square 103, in the Second Municipal District, City of New Orleans, Louisiana (the "**Property**");

WHEREAS, the Board has certain water and/or sewer lines (the "**Board Lines**") under the public right of way sidewalk adjacent to the Property, which said Board Lines are subject to a servitude in favor of Board (the "**Servitude**");

WHEREAS, Owner desires to renovate the existing, historic structure located upon the Property including the addition of a gallery (the "**Gallery**") to be attached to the structure, extending over and above the public right of way sidewalk and the Board Lines and Servitude, at a height of approximately twelve feet eight inches (12'8") above the adjacent sidewalk, including over the Board Lines and Servitude, which Gallery is planned by Owner to be constructed at 12'8" generally according to plans (the "**Plans**") as attached hereto as Exhibit "A"; and

WHEREAS, Board has objected to the addition of the Gallery above and over the Lines and Servitude because it needs the Servitude for access to its Lines and related facilities to maintain water and sewer services, for work to be done and performed by Board, its employees, the City of New Orleans or its employees, their respective officials, agents (including contractors and subcontractors) acting within the scope of their authority; and

WHEREAS, Owner recognizes and is willing to assume and indemnify Board for the risks and complexities due to the addition of the Gallery over and above the Board Lines and the Servitude;

NOW THEREFORE, the parties agree as follows:

1. The Board withdraws its objection to the construction of the Gallery over the Board Lines and Servitude at a height of twelve feet eight inches (12'8") generally in accord with the Plans attached as Exhibit A.

2. Owner acknowledges that damage to or removal of the Gallery may be necessary to the performance of such Board work and Owner agrees that, so long as the Board Lines and/or Servitude exists beneath the Gallery, Owner, to the fullest extent permitted by law, shall indemnify and hold harmless the Board, its employees, officials, agents (including contractors and subcontractors) acting within the scope of their authority, and the Board's assigns (collectively, the "**Indemnified Parties**") for any damages to, including the removal of, the Gallery caused by the Board, its employees, officials, contractors, subcontractors or agents in the maintenance, servicing, or replacement of the Board Lines, provided the Board, its contractors, and agents exercise reasonable and standard care and are not negligent in causing such damage.

3. Owner agrees that, so long as the Board Lines and/or Servitude exists beneath the Gallery, Owner, to the fullest extent permitted by law, shall indemnify and hold harmless the Indemnified Parties from and against any and all claims, suits, damages, losses, costs, demands, judgments, and liabilities accrued against the Indemnified Parties, for any and all liability arising from or relating to any act or omission of the Owner, its employees, officials, or agents (including contractors and subcontractors) acting within the scope of their authority while the Owner is engaged in, or in connection with the discharge or performance of, any work or other activity that has an effect on the Board's Lines and/or Servitude; and for any and all claims and/or liens for labor, services, or materials furnished to the Owner in connection with performance of work that has an effect on the Board's Line, including but not limited to damages, losses, claims, costs, demands, and judgments of sums of money suffered or incurred by any or all of the Indemnified Parties, specifically including without limitation, all reasonable attorney's fees and related costs..

4. Except in the case of emergency, Board agrees to provide written notice to Owner to the address and contact on record for Board billing of the Property no less than thirty (30) days prior to any maintenance, servicing, or replacement of the Board Lines that may damage, cause the removal of, or otherwise impact the Gallery. Upon receipt of such notice, Owner shall have the opportunity to fully or partially remove, fortify, or otherwise prepare the Gallery for the work planned by Board, within such thirty (30) day period.

5. The Owner has an immediate and independent obligation, at the Board's option, to: (a) defend the Board from and/or (b) reimburse the Board for its costs (including but not limited to reasonable attorney fees and related costs) incurred in the assertion or defense of any claim that actually falls within this indemnity (even if the allegations are, or may be groundless or the Owner is ultimately absolved from liability in whole or in part).

6. The indemnity provided herein does not extend to the extent of any claims, suits, damages, losses, costs, demands, judgments, and liabilities arising from or relating to the gross negligence or willful misconduct by any of the Indemnified Parties.

7. All covenants, stipulations, terms, conditions, and provisions of this Agreement shall extend to and are binding upon the respective successors and assigns of the Appearer and the Board.

[THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK]

[SIGNATURES CONTAINED ON THE NEXT PAGE]



8. This agreement shall run with the Property and shall be binding on Owner's successors. Owner shall record this Agreement timely upon its execution in the official land records of Orleans Parish.

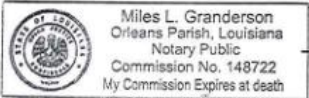
Executed before the undersigned notary and the undersigned competent witnesses in New Orleans, Louisiana on the 24th day of JUNE, 2022.

J&R RENTAL PROPERTIES, L.L.C.,
HALF JAMES PROPERTIES, L.L.C.,
MICHELLE CAHN WOLFSON TRUST,
JAMES LENARD CAHN TRUST, AND
RICHARD M. CAHN TRUST

WITNESSES:

BY: [Signature]
JAMES LENARD CAHN
AS AUTHORIZED SIGNATORY OF EACH

SIGN: [Signature]
PRINT NAME: Michael G. Sherman
SIGN: [Signature]
PRINT NAME: Sheila Tahvildari



[Signature]
NOTARY PUBLIC

Executed before the undersigned notary in New Orleans, Louisiana on the _____ day of _____, 2022.

SEWERAGE & WATER BOARD
OF NEW ORLEANS

WITNESSES:

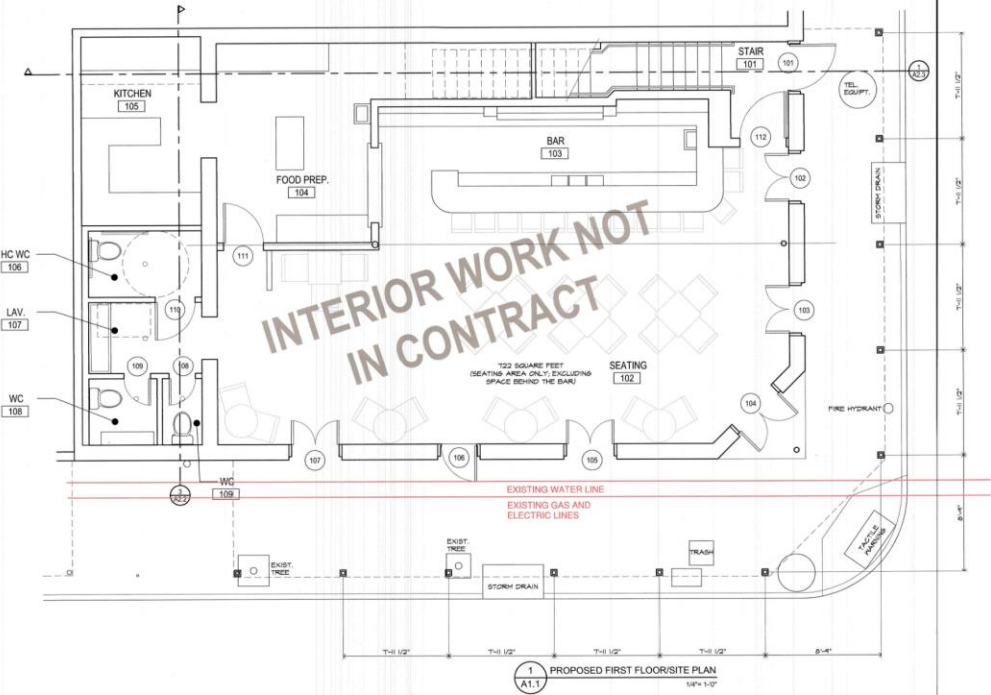
BY: _____
GHASSAN KORBAN
ITS: EXECUTIVE DIRECTOR

SIGN: _____
PRINT NAME: _____
SIGN: _____
PRINT NAME: _____

FORM AND LEGALITY APPROVED:
Legal Department
BY: _____
YOLANDA Y. GRINSTEAD, SPECIAL COUNSEL

NOTARY PUBLIC





THE BOARD OF FIRE ALARM AND SIGNALS OF THE SEWERAGE AND WATER BOARD CERTIFIES THAT IT HAS BEEN REVIEWED FOR GENERAL COMPLIANCE WITH THE BOARD'S MINIMUM ACCEPTED STANDARDS AND SHALL NOT BE CONSTRUED AS A WARRANTY OF THIS AND THE ACCOMPANYING PLANS AND SPECIFICATIONS. IT DOES NOT RELIEVE THE DEVELOPER OF THE RESPONSIBILITY FOR ERRORS, DISCREPANCIES, OMISSIONS, ELEVATIONS, OBSTRUCTIONS, OR OTHER REQUIREMENTS OF A COMPLETE AND WORKABLE DESIGN, NOR DOES IT PROHIBIT THE BOARD FROM HAVING THE DEVELOPER MAKE FURTHER MODIFICATIONS TO THE PLANS OR ADJUSTMENTS IN THE FIELD DURING CONSTRUCTION.

William Elmer
FOR GENERAL SUPERINTENDENT

DATE: 7/12/2022

JOHN C. WILLIAMS ARCHITECTS L.L.C.

824 BARONNE STREET
NEW ORLEANS, LA 70113
504.566.0888 PHONE
504.566.0897 FAX

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will be providing project construction administration services.

John C. Williams

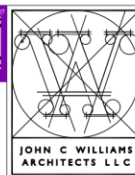
Copyright © 2013
John C. Williams Architects, L.L.C.

ART STREET
RELEANS, LA

DOOR SCHEDULE							FINISH SCHEDULE							
MARK	DIMENSIONS	HARDWARE	DESCRIPTION	FRAME	DETAILS			REMARKS	ROOM #	ROOM NAME	FLOOR	BASE	WALLS	CEILINGS
					HEAD	JAMB	SILL							
101	3'-5 1/2" x 8'-0" x 1 3/4"		EXT. 8 LIGHT/2 PANEL RAIL & STILE WOOD DOOR	WOOD	3/A3.4	5/A3.5	4/A3.4	SEE ELEVATION 3/A3.5	101	STAIR	POLISHED CONC.	WOOD	PTD. GYP. BOARD	PTD. GYP. BOARD
102	PR. 1'-10" x 8'-0" x 1 3/4"		EXT. 4 LIGHT RAIL & STILE FRENCH DOORS	WOOD	1/A3.4	3/A3.5	2/A3.4	SEE ELEVATION 1/A3.5	102	SEATING	POLISHED CONC.	WOOD	PTD. GYP. BOARD	PTD. GYP. BOARD
103	PR. 1'-10" x 8'-0" x 1 3/4"		EXT. 4 LIGHT RAIL & STILE FRENCH DOORS	WOOD	1/A3.4	3/A3.5	2/A3.4	SEE ELEVATION 1/A3.5	103	BAR	RESINOUS EPOXY	---	CERAMIC TILE	PTD. GYP. BOARD
104	PR. 2'-4" x 7'-0" x 1 3/4"		EXIST. EXT. 4 LIGHT RAIL & STILE FRENCH DOORS	WOOD	---	---	---	EXIST. 4'-2" X 1'-7" FIXED TRANSOM SEE ELEVATIONS	104	FOOD PREP.	RESINOUS EPOXY	---	CERAMIC TILE	SUSP. ACOUST. PANEL
105	PR. 1'-10" x 8'-0" x 1 3/4"		EXT. 4 LIGHT RAIL & STILE FRENCH DOORS	WOOD	1/A3.4	3/A3.5	2/A3.4	SEE ELEVATION 1/A3.5	105	KITCHEN	RESINOUS EPOXY	---	CERAMIC TILE	SUSP. ACOUST. PANEL
106	2'-8" x 8'-0" x 1 3/4"		EXT. 8 LIGHT/2 PANEL RAIL & STILE WOOD DOOR	WOOD	3/A3.4	5/A3.5	4/A3.4	SEE ELEVATION 2/A3.5	106	H.C. WC.	POLISHED CONC.	---	CERAMIC TILE	SUSP. ACOUST. PANEL
107	PR. 1'-10" x 8'-0" x 1 3/4"		EXT. 4 LIGHT RAIL & STILE FRENCH DOORS	WOOD	1/A3.4	3/A3.5	2/A3.4	SEE ELEVATION 1/A3.5	107	LAV.	POLISHED CONC.	---	CERAMIC TILE	SUSP. ACOUST. PANEL
108	2'-0" x 8'-0" x 1 3/4"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.					108	WC.	POLISHED CONC.	---	CERAMIC TILE	SUSP. ACOUST. PANEL
109	2'-0" x 8'-0" x 1 3/4"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.					109	WC.	POLISHED CONC.	---	CERAMIC TILE	SUSP. ACOUST. PANEL
110	3'-0" x 8'-0" x 1 3/4"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.										
111	3'-0" x 8'-0" x 1 3/4"		INT. FLUSH WOOD SOLID CORE DOOR W/ VISION PANEL	H.M.										
112	3'-6" x 8'-0" x 1 3/4"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.			2/A3.4	112 HR. FIRE RATED, HOLD OPEN DEVICE ACTIVATED BY FIRE ALARM						
									201	STAIR	RUBBER TILE	WOOD	PTD. GYP. BOARD	PTD. GYP. BOARD
									202	LOUNGE	WOOD	WOOD	PTD. GYP. BOARD	PTD. GYP. BOARD
									203	OFFICE	WOOD	WOOD	PTD. GYP. BOARD	PTD. GYP. BOARD
									204	CLOSET	WOOD	WOOD	PTD. GYP. BOARD	PTD. GYP. BOARD
									205	CLOSET	WOOD	WOOD	PTD. GYP. BOARD	PTD. GYP. BOARD
									206	CLOSET	WOOD	WOOD	PTD. GYP. BOARD	PTD. GYP. BOARD
201	3'-0" x 8'-0" x 1 3/8"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.				112 HR. FIRE RATED, HOLD OPEN DEVICE ACTIVATED BY FIRE ALARM						
202	3'-0" x 8'-0" x 1 3/8"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.										
203	3'-0" x 8'-0" x 1 3/8"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.										
204	3'-0" x 8'-0" x 1 3/8"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.										
205	3'-0" x 8'-0" x 1 3/8"		INT. FLUSH WOOD SOLID CORE DOOR	H.M.										
206	3'-0" x 8'-0" x 1 3/8"		EXT. 8 LIGHT/2 PANEL RAIL & STILE WOOD DOOR	WOOD	5/A3.4	4/A3.5	6/A3.4	SEE ELEVATION 4/A3.5						
207	3'-0" x 8'-0" x 1 3/8"		EXT. 8 LIGHT/2 PANEL RAIL & STILE WOOD DOOR	WOOD	5/A3.4	4/A3.5	6/A3.4	SEE ELEVATION 4/A3.5						







JOHN C. WILLIAMS
ARCHITECTS LLC

824 BARONNE STREET
NEW ORLEANS, LA 70113
504.566.0890 PHONE
504.566.0897 FAX

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.



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John C. Williams Architects LLC

800 RAMPART STREET
NEW ORLEANS, LA

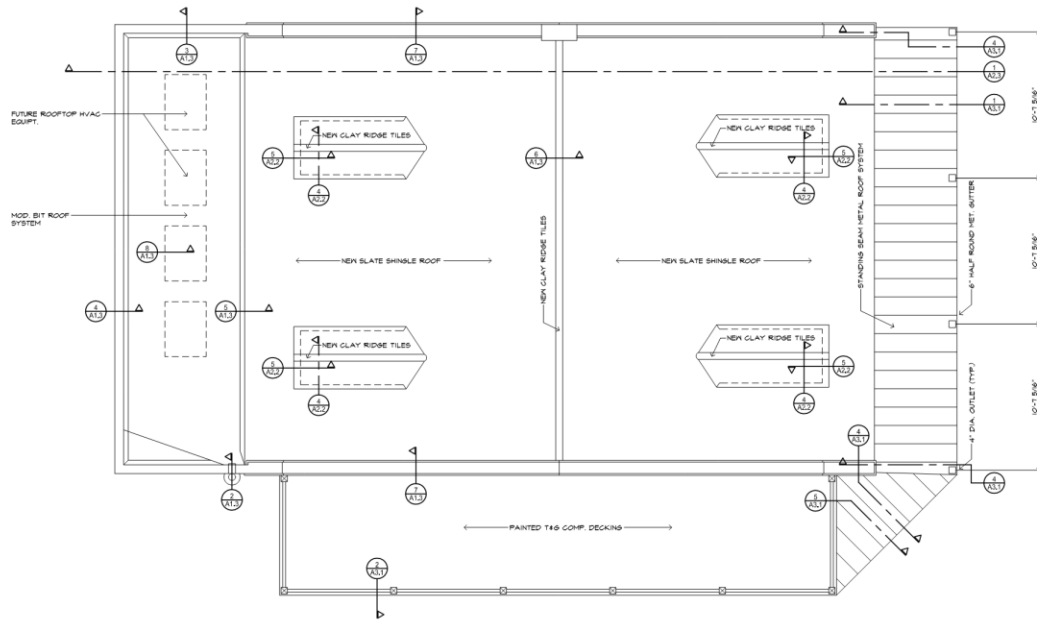
-REVISIONS-

Date	Scope

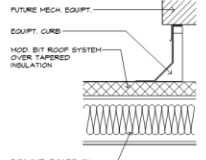
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SECOND FLOOR PLAN

DRAWING BY MR
SCALE 1/4" = 1'-0"
JOB No. 517045.00
DATE 12/31/2019
Sheet No.

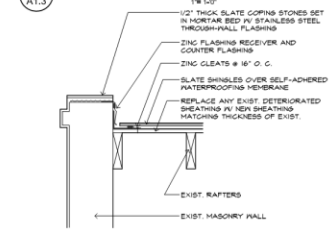
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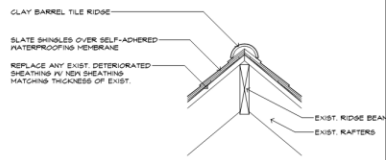
1 ROOF PLAN
1/8" = 1'-0"



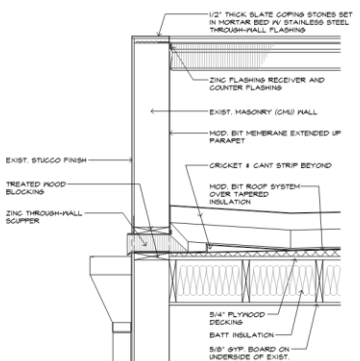
8 EQUIPT. SUPPORT DETAIL
1/8" = 1'-0"



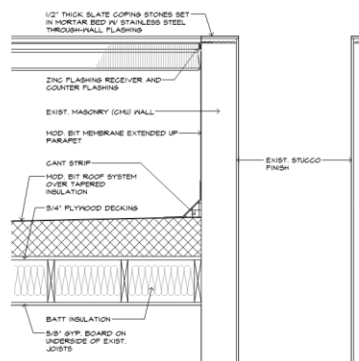
7 PARAPET DETAIL @ SLATE ROOF
1/8" = 1'-0"



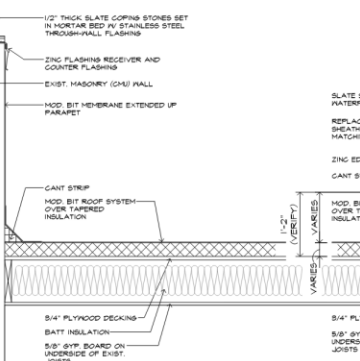
6 MAIN RIDGE DETAIL @ SLATE ROOF
1/8" = 1'-0"



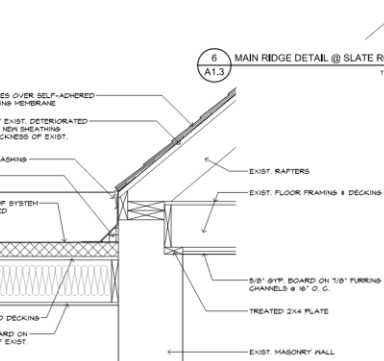
2 THROUGH-WALL SCUPPER DETAIL
1/8" = 1'-0"



3 MOD. BIT. ROOF & PARAPET DETAIL
1/8" = 1'-0"



4 MOD. BIT. ROOF & PARAPET DETAIL
1/8" = 1'-0"

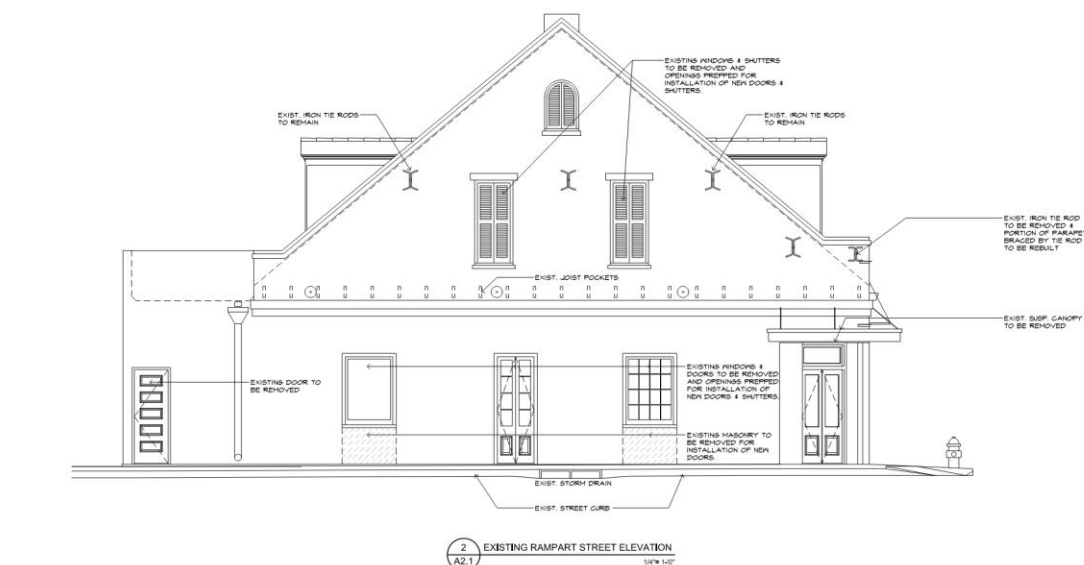


5 MOD. BIT. ROOF SECTION DETAIL @ SLATE ROOF
1/8" = 1'-0"

800 N. Rampart

VCC Architectural Committee

July 12, 2022



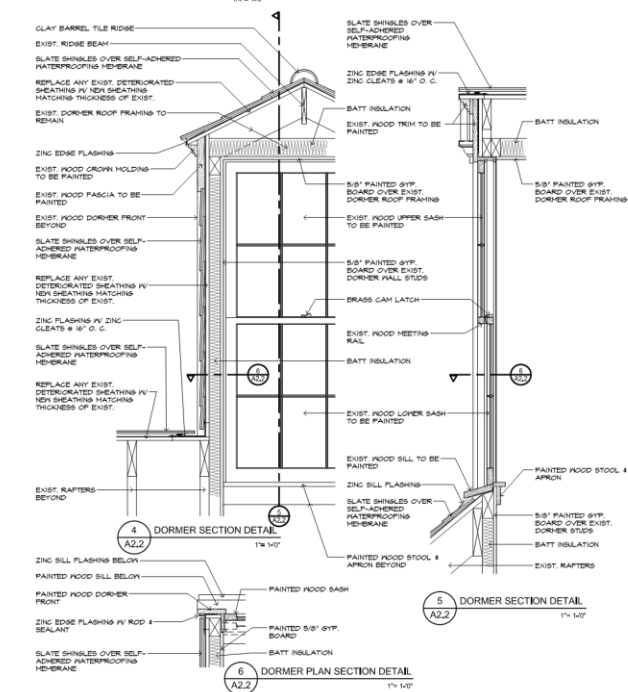
- A. REMOVE GEMENT-BASED PLASTER AND REPAIR DAMAGED BRICK SUBSTRATE RESULTING FROM PLASTER REMOVAL. PATCH WITH LIM-BASED PLASTER MATCHING HISTORIC PLASTER IN ACCORDANCE WITH SPECIFICATION SECTION 090320 "HISTORIC TREATMENT OF PLASTER". MATCH FINISH OF ADJACENT SURFACES AND RE-ESTABLISH JOINTS WITH ALL PATCHED PLASTER AT ORIGINAL LOCATIONS, AND MATCHING EXISTING WIDTH AND PROFILES.
- B. REPAIR ALL CRACKED OR DAMAGED PLASTER IN ACCORDANCE WITH SPECIFICATION SECTION 090320 "HISTORIC TREATMENT OF PLASTER". ALL REPAIRED PLASTER MOLDINGS SHALL MATCH EXISTING PROFILES.
- C. FOR BIDDING PURPOSES, ASSUME THAT 10 PERCENT OF THE EXISTING PLASTER IS FOUND TO BE GEMENT-BASED AND NEEDS TO BE REPLACED WITH LIM-BASED PLASTER. PROVIDE A UNIT PRICE FOR 100 SQUARE FEET OF WORK INDICATED ABOVE.
- D. PAINT ALL EXTERIOR PLASTER WITH A BREATHABLE COATING. SEE SPECIFICATION SECTION 091110 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINT COATINGS.

-REVISIONS-	
Date	Scope

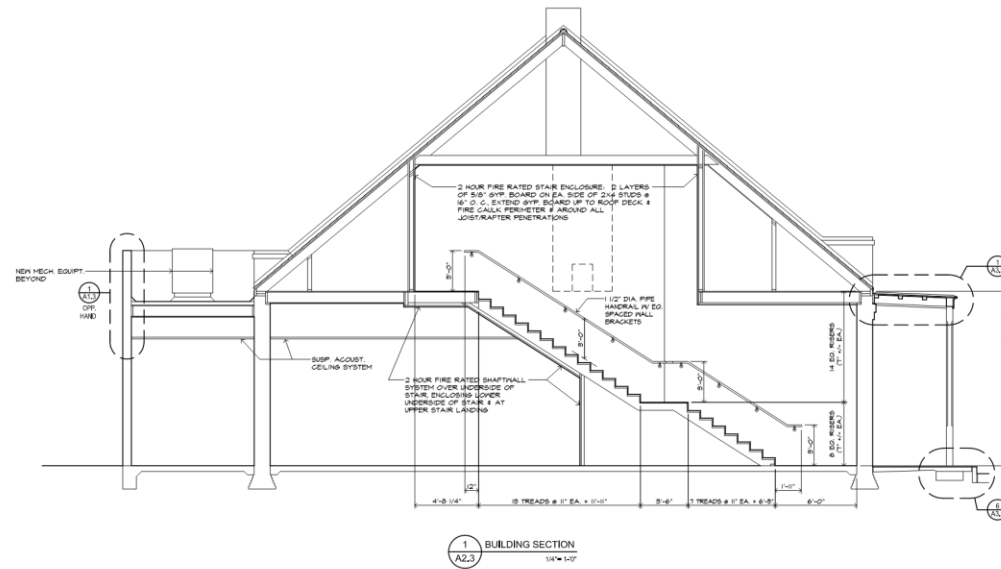
DRAWING BY	
SCALE	1/4" = 1'
JOB No.	5170
DATE	12/31/00
Sheet No.	

A2.1

A2.2



The logo of the Vieux Carre Commission is an oval seal. The top half of the oval contains the text "VIEUX CARRE COMMISSION" in a serif font. The bottom half contains the text "ESTABLISHED 1936". In the center of the oval is a decorative crest featuring a central fleur-de-lis flanked by two vertical bars with diamond-shaped details.



824 BARONNE STREET
NEW ORLEANS, LA 70113
*
504.566.0888 PHONE
504.566.0897 FAX

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will be providing project construction administrative services on this project.

John Wilkins



Copyright © 2013
John C Williams Architects LLC

800 RAMPART STREET
NEW ORLEANS, LA

-REVISIONS-	
Date	Scope

DRAWING
RAMPART STREET ELEVATION

DRAWING BY	MR
SCALE	1/4" = 1'-0"
JOB No.	517045.00
DATE	12/31/2019

Sheet No.

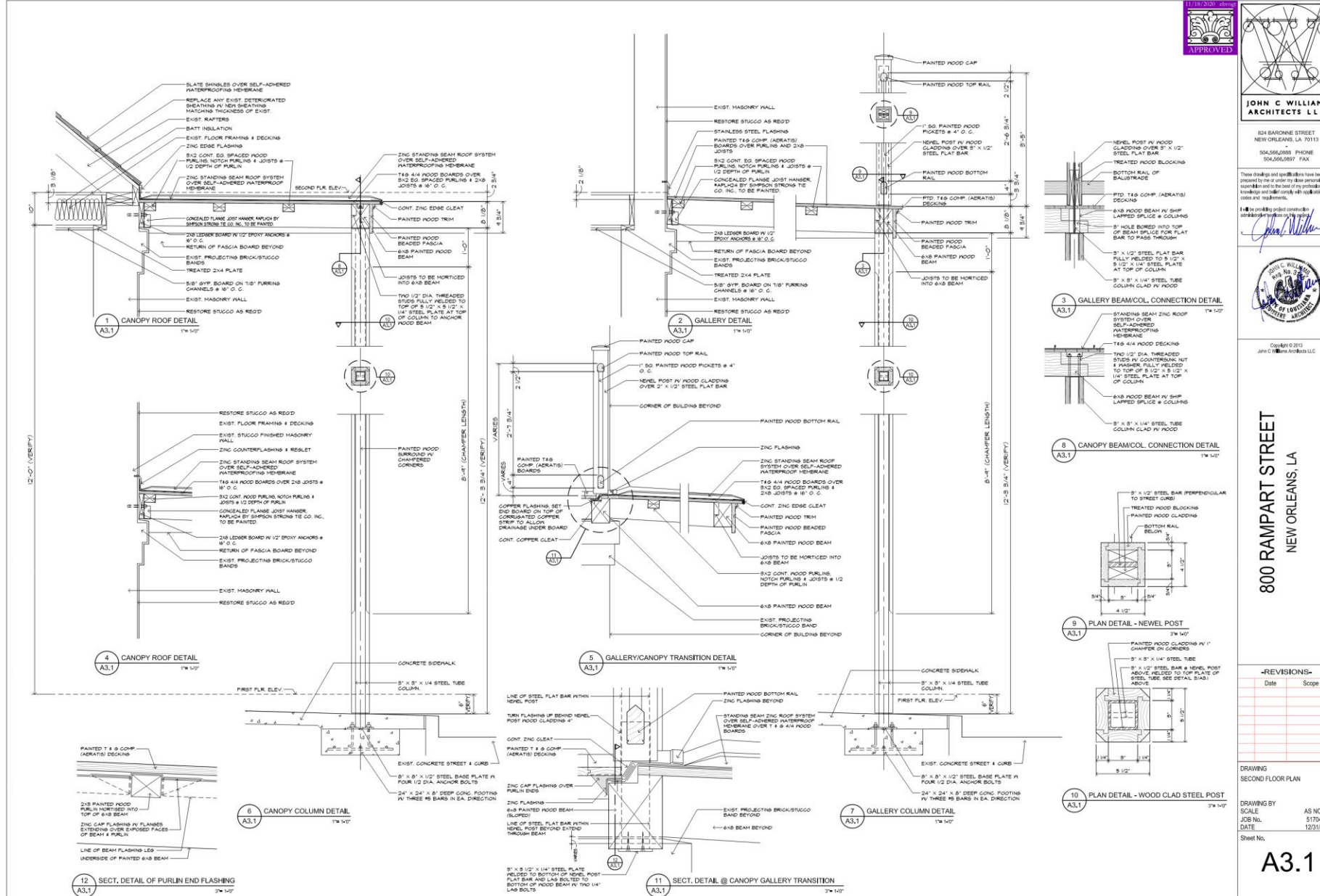
A2.3

800 N. Rampart

VCC Architectural Committee

July 12, 2022



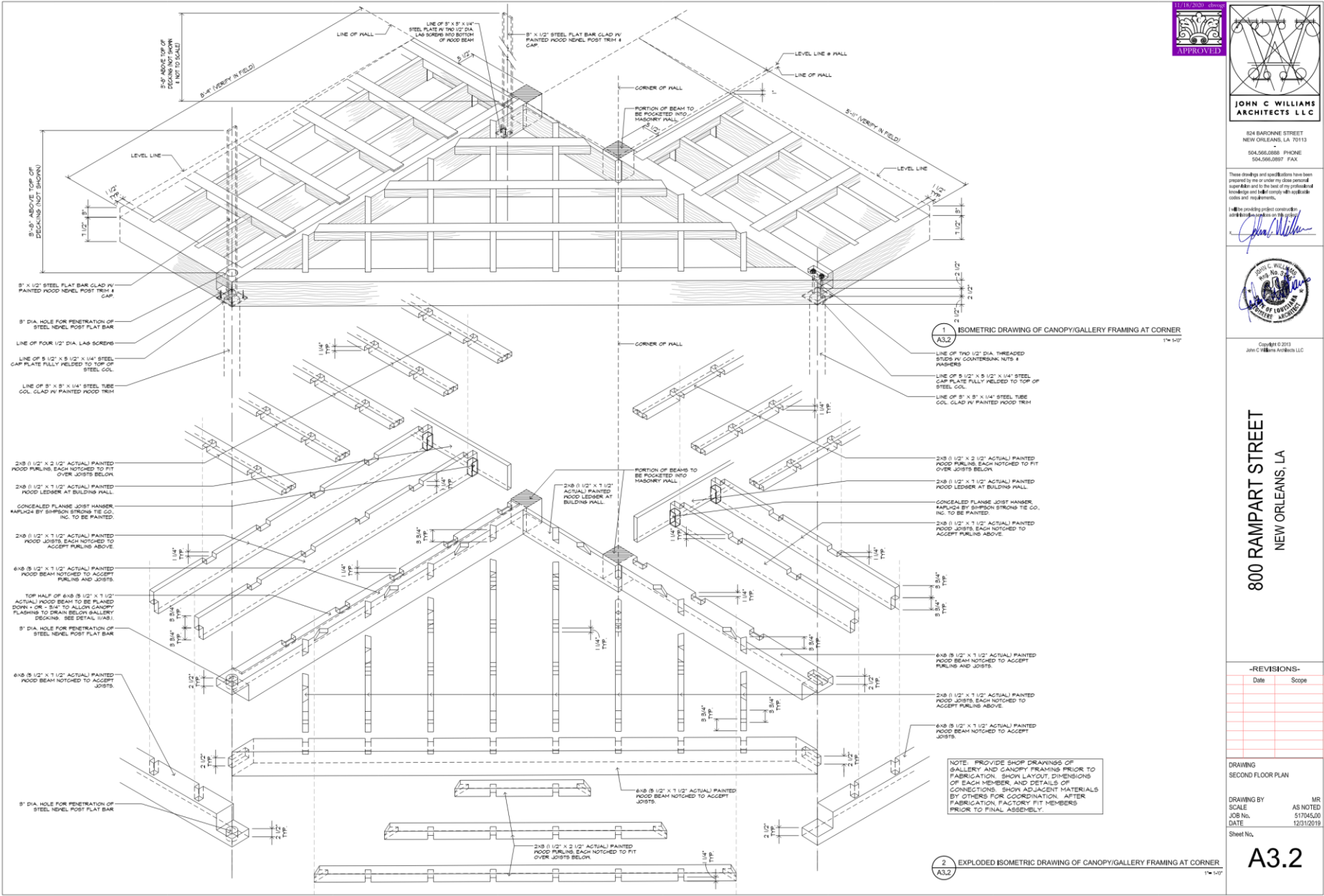


800 N. Rampart

VCC Architectural Committee

July 12, 2022





800 N. Rampart

VCC Architectural Committee

July 12, 2022



APPROVED

JOHN C WILLIAMS ARCHITECTS L.L.C.

824 BARONNE STREET
NEW ORLEANS, LA 70113
504.565.0088 PHONE
504.565.0087 FAX

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I am a duly licensed professional engineer and a duly licensed architect in the State of Louisiana.

John C. Williams

JOHN C. WILLIAMS ARCHITECTS L.L.C.
No. 20000
STATE OF LOUISIANA
Professional Engineer

Copyright © 2013
John C. Williams Architects L.L.C.

**800 RAMPART STREET
NEW ORLEANS, LA**

-REVISIONS-	
Date	Scope

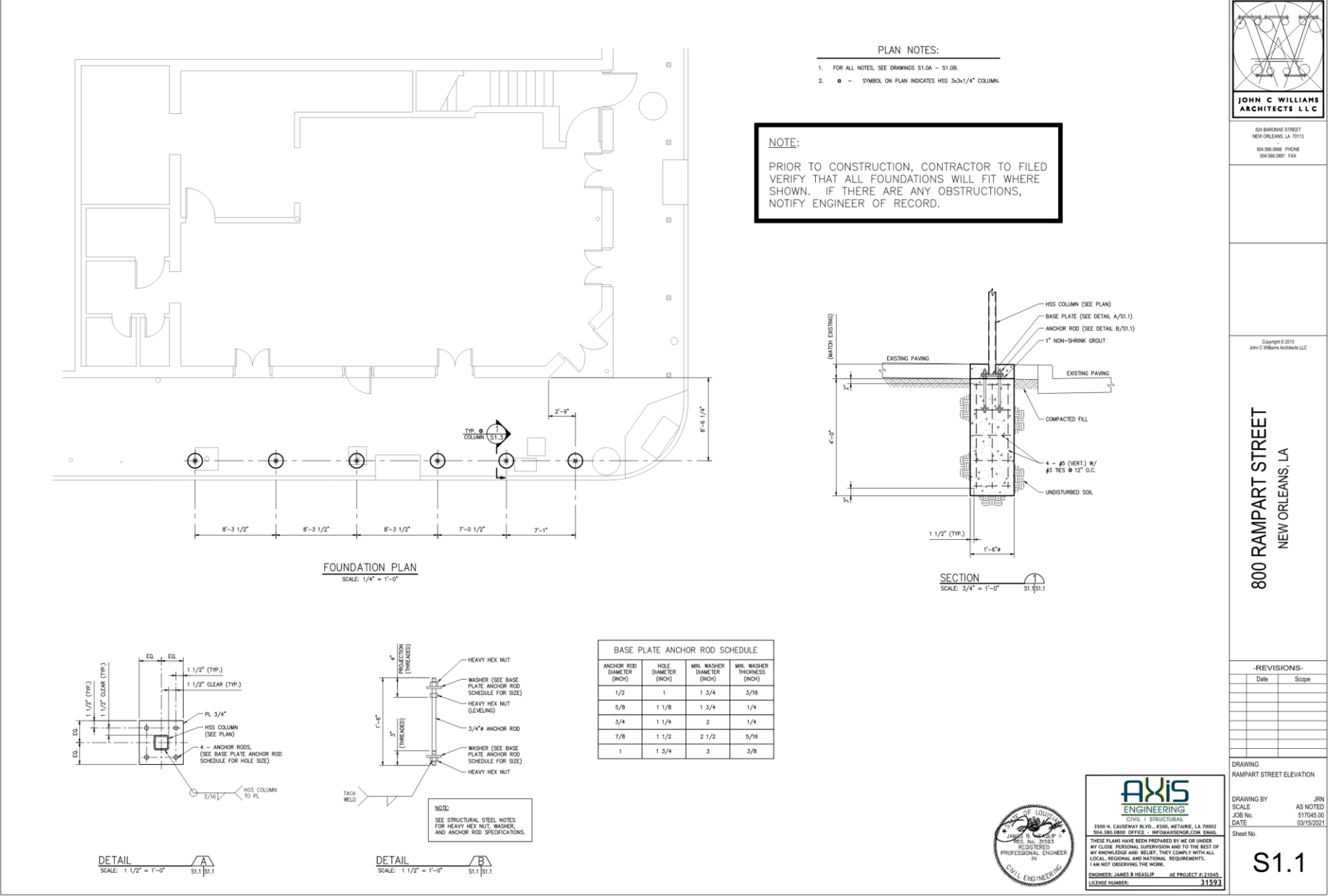
DRAWING
SECOND FLOOR PLAN

DRAWING BY
SCALE
JOB NO.
DATE

MR
AS NOTED
51704540
12/31/2019

Sheet No.

A3.2

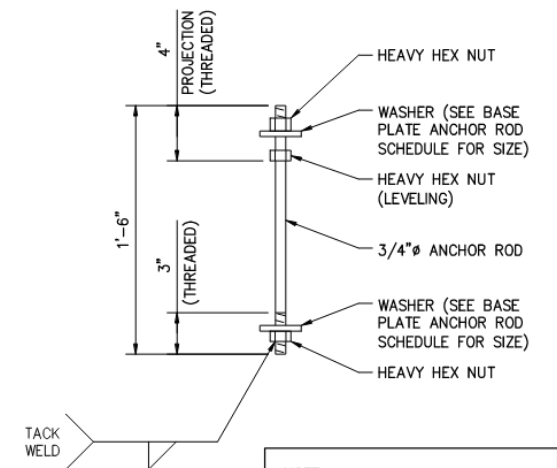
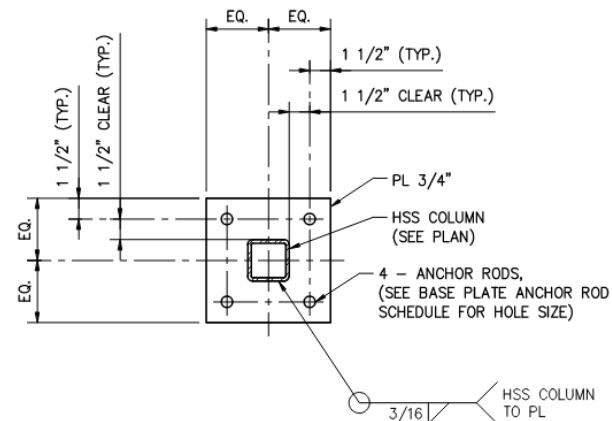
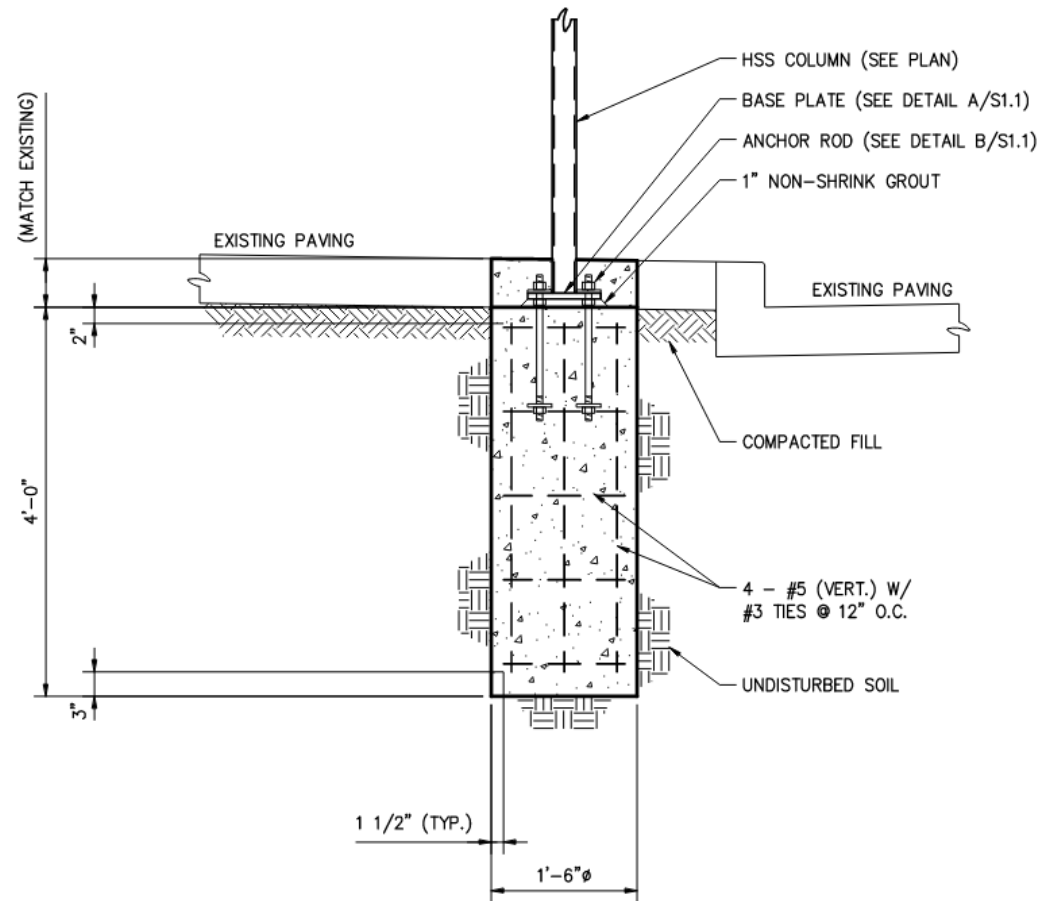


800 N. Rampart

VCC Architectural Committee

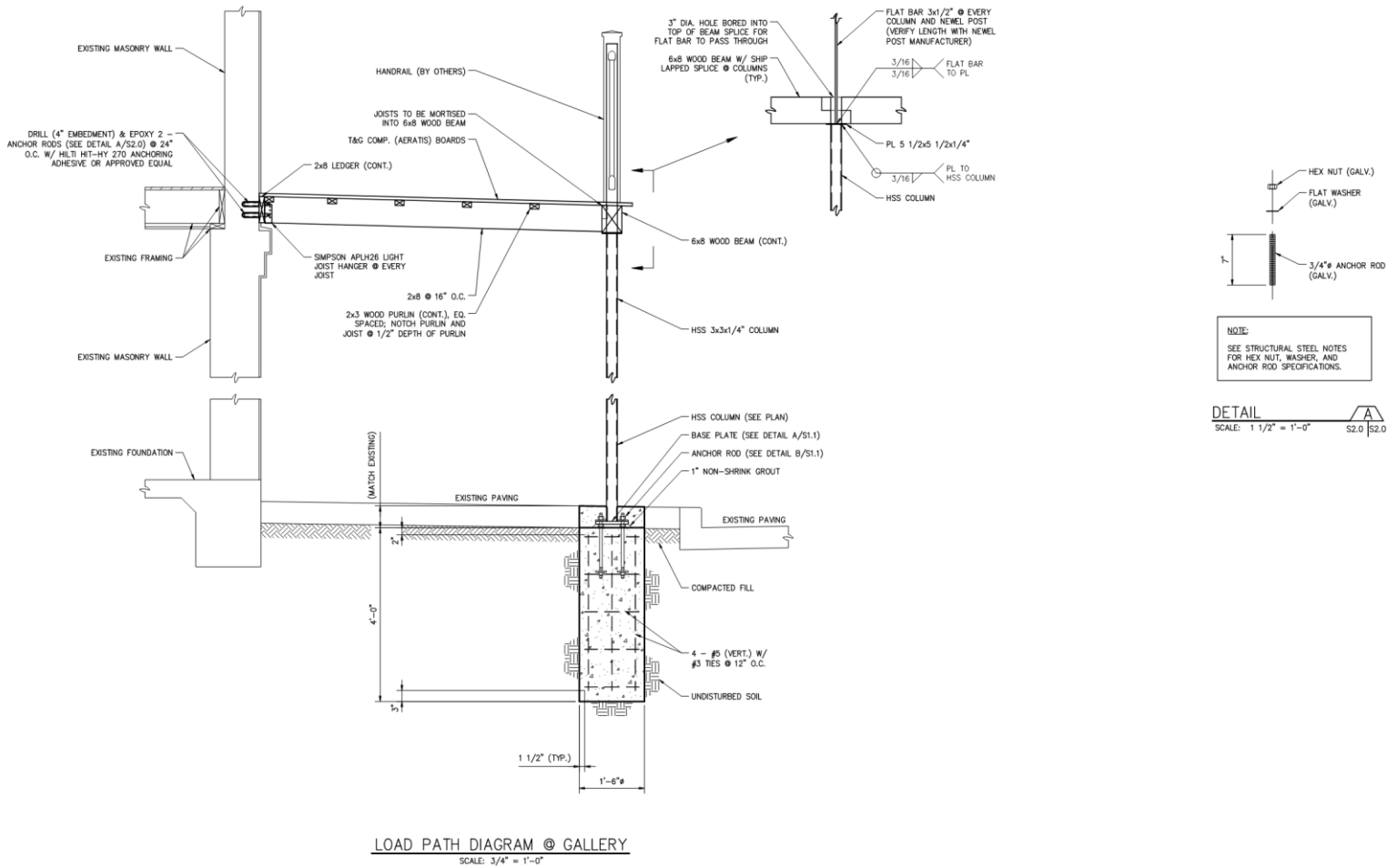
July 12, 2022





NOTE:
SEE STRUCTURAL STEEL NOTES
FOR HEAVY HEX NUT, WASHER,
AND ANCHOR ROD SPECIFICATIONS.





June 27, 2022

City of New Orleans
Department of Safety & Permits
1300 Perdido St., Room 7E06
New Orleans, LA 70112

Reference: 800 N Rampart St.
New Orleans, La

On March 15, 2021, this office submitted structural drawings for a gallery addition to an existing building located at the above reference address to Williams Architects. During the plan review stage one structural issues arose concerning the structural integrity of the building and the ability of the building to withstand the added dead and live loading of the gallery.

The issue concerning the building was as follows, 'Extensive time has gone by since initial review, and it has been known that structural repairs will be needed on the N. Rampart masonry wall. Meanwhile, the building has continued to deteriorate due to continuing demolition by neglect. In light of these facts, VCC staff is requesting an updated engineer's report based on a recent inspection confirming that the building can carry the necessary dead and live loads for a gallery.' The new structure was designed with auger cast-in-place concrete piles to support the added 3-inch steel columns and steel plate joists and wood decking similar to typical New Orleans type galleries. Past photos show the building had a gallery at one time therefore the building is able to support the added dead and live loading of the gallery. We originally inspected the building in 2020 and re-inspected the building on Friday June 24, 2022 after the request by Mr. John Williams. The building is structurally sounds as a whole, during construction all damaged or deteriorated wood framing shall be replaced in-kind and all masonry walls tuck pointed as needed to restore the original structural integrity of the building. This office is to be contacted as needed during construction to ensure all repairs are performed as per all city and state building codes.

All new construction was designed in compliance with the 2015 International Building Code, ACI 318-05 Building Code Requirements for Structural Concrete and ASCE 7-10 Minimum Design Loads for Buildings and Other Structures.

Sincerely,



James B. Heaslip II, P.E.

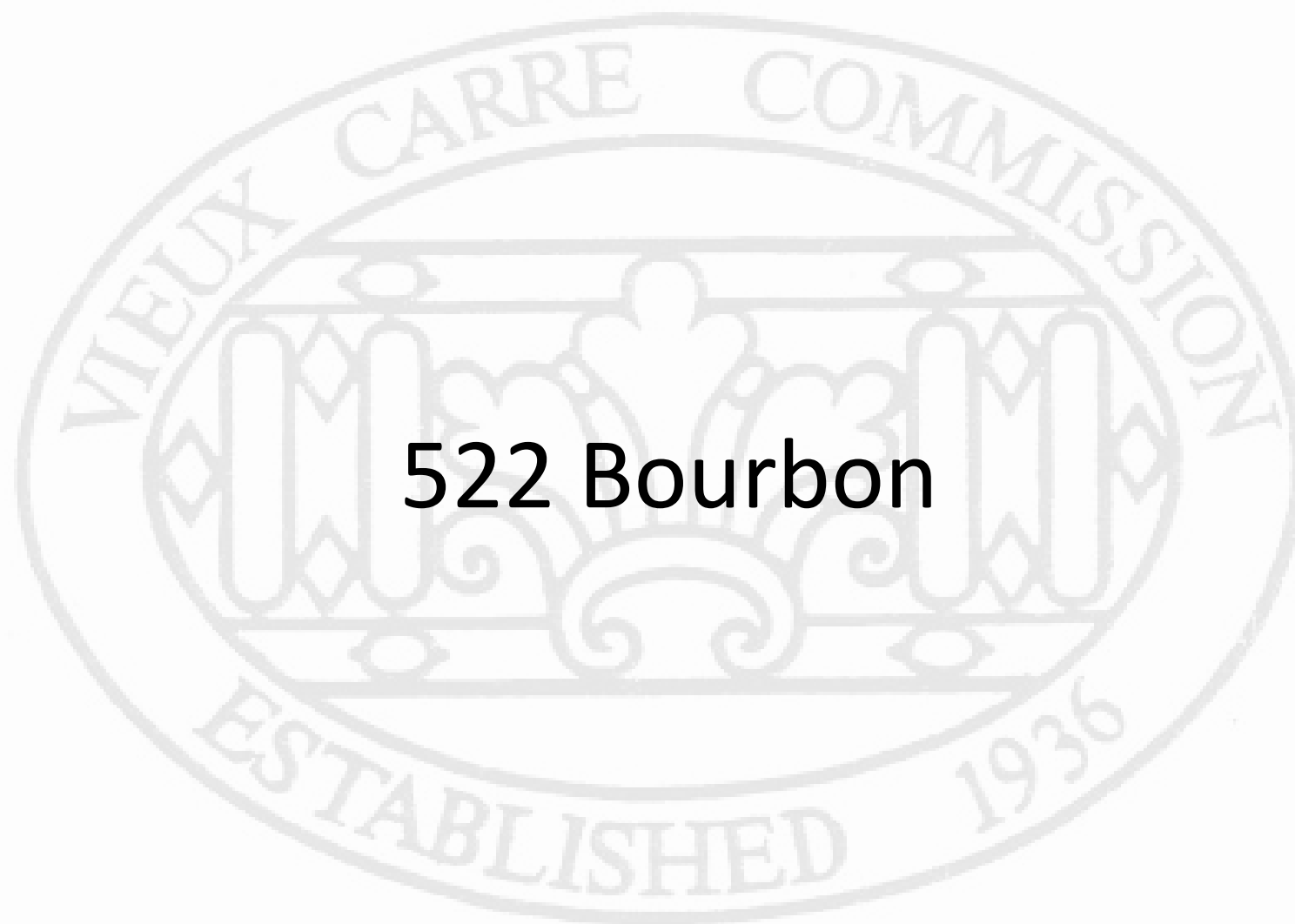


800 N. Rampart

VCC Architectural Committee

July 12, 2022





522 Bourbon



522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022



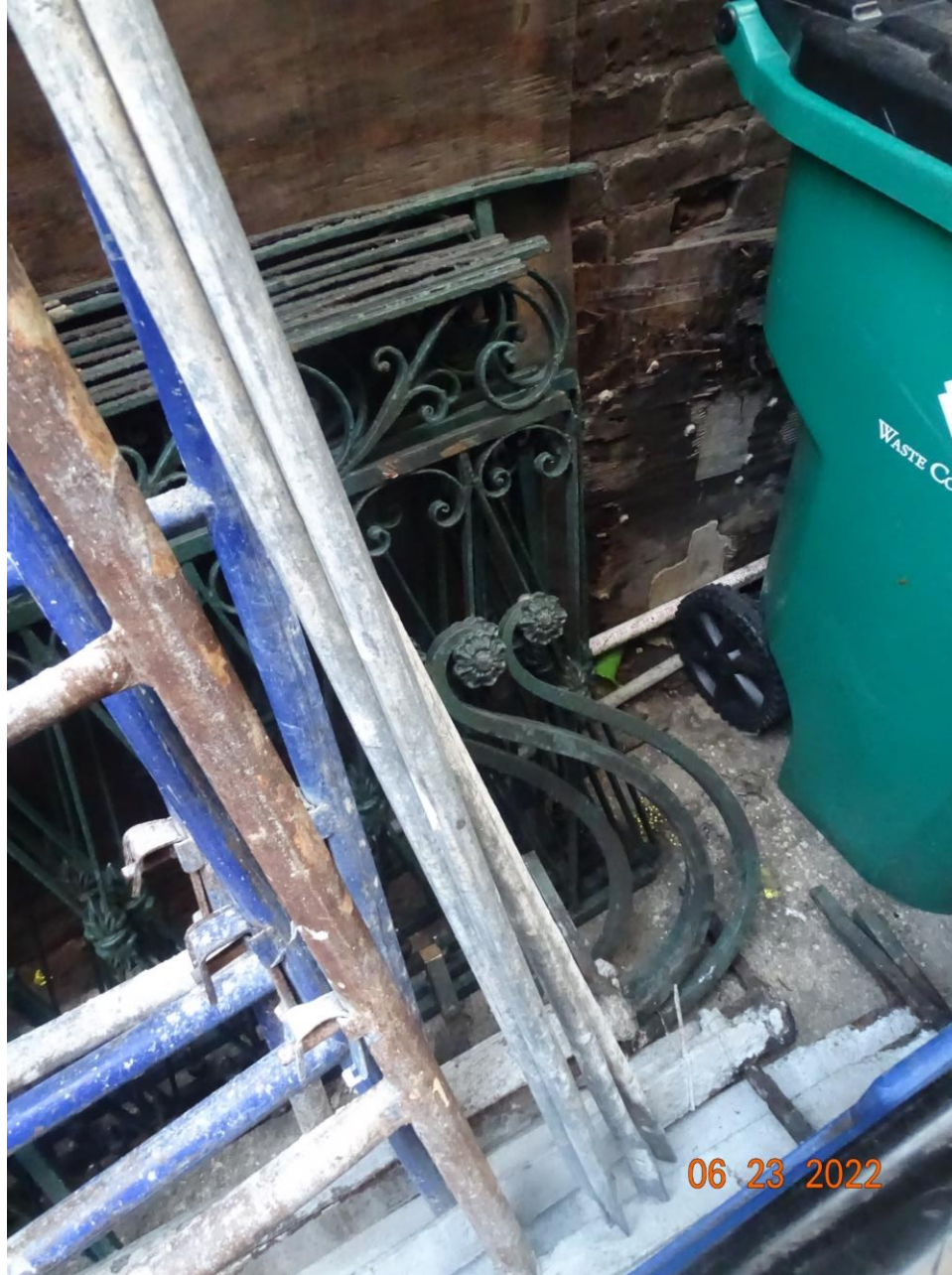


522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

VCC Architectural Committee

July 12, 2022





522 Bourbon

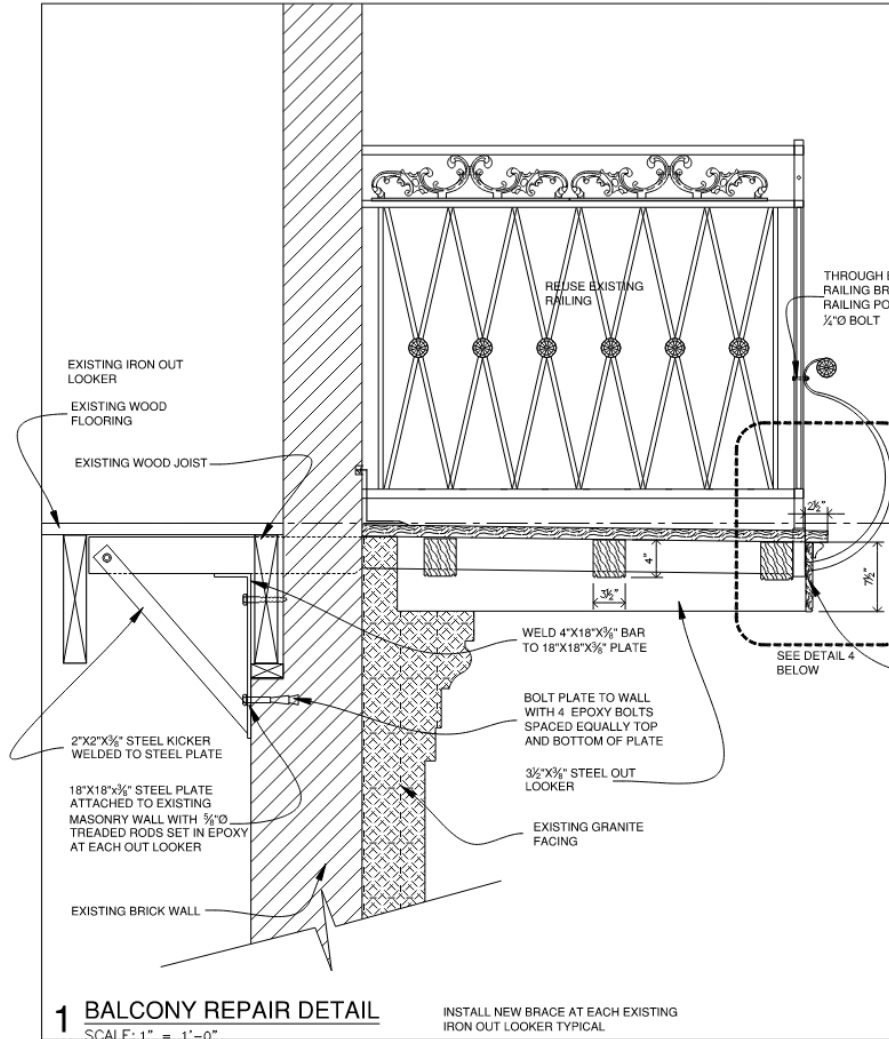
VCC Architectural Committee

July 12, 2022



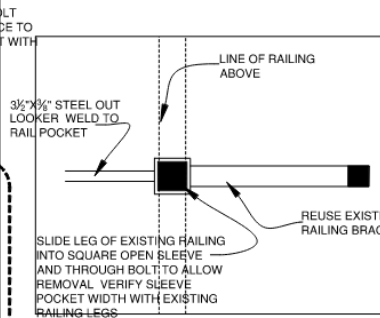
SCOPE:

THE SCOPE OF THIS PROJECT IS TO REINFORCE THE BALCONY SUPPORTS IN THE INTERIOR OF THE BUILDING. THE EXISTING IRON OUTLOOKERS WILL BE RE-SUPPORTED WITH STEEL PLATES BACK TO THE EXISTING MASONRY FRONT WALL. THE WORK WILL BE LESS INTRUSIVE THAN DESTROYING FLOORING AND EXISTING JOIST TO INSTALL NEW STEEL BARS FAR BACK INTO THE EXISTING STRUCTURE.



1 BALCONY REPAIR DETAIL
SCALE: 1" = 1'-0"

INSTALL NEW BRACE AT EACH EXISTING IRON OUT LOOKER TYPICAL



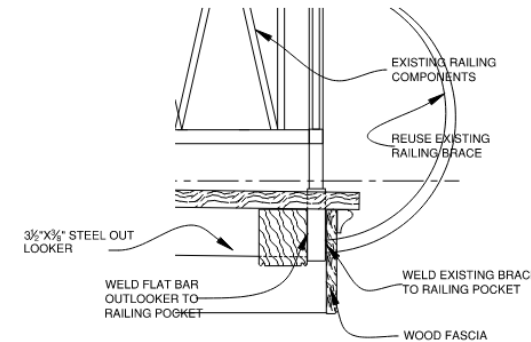
5 POCKET PLAN DETAIL
SCALE: 3" = 1'-0"



2 STREET ELEVATION
SCALE: NTS



3 BRACE TO BE REUSED
SCALE: NTS



4 BRACE DETAIL
SCALE: 1-1/2" = 1'-0"



BALCONY REINFORCEMENT DETAILS
522 BOURBON STREET
NEW ORLEANS, LA



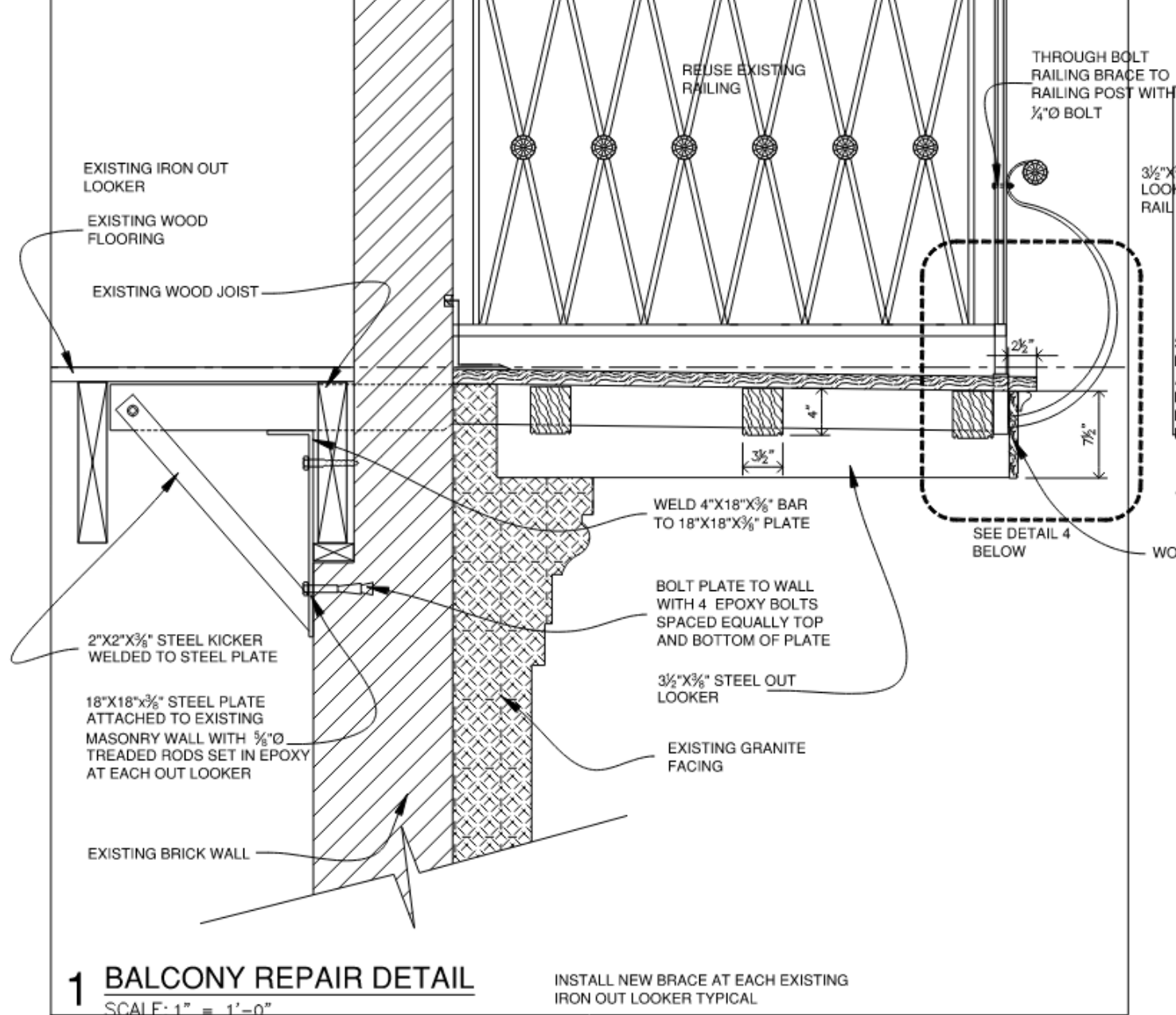
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.

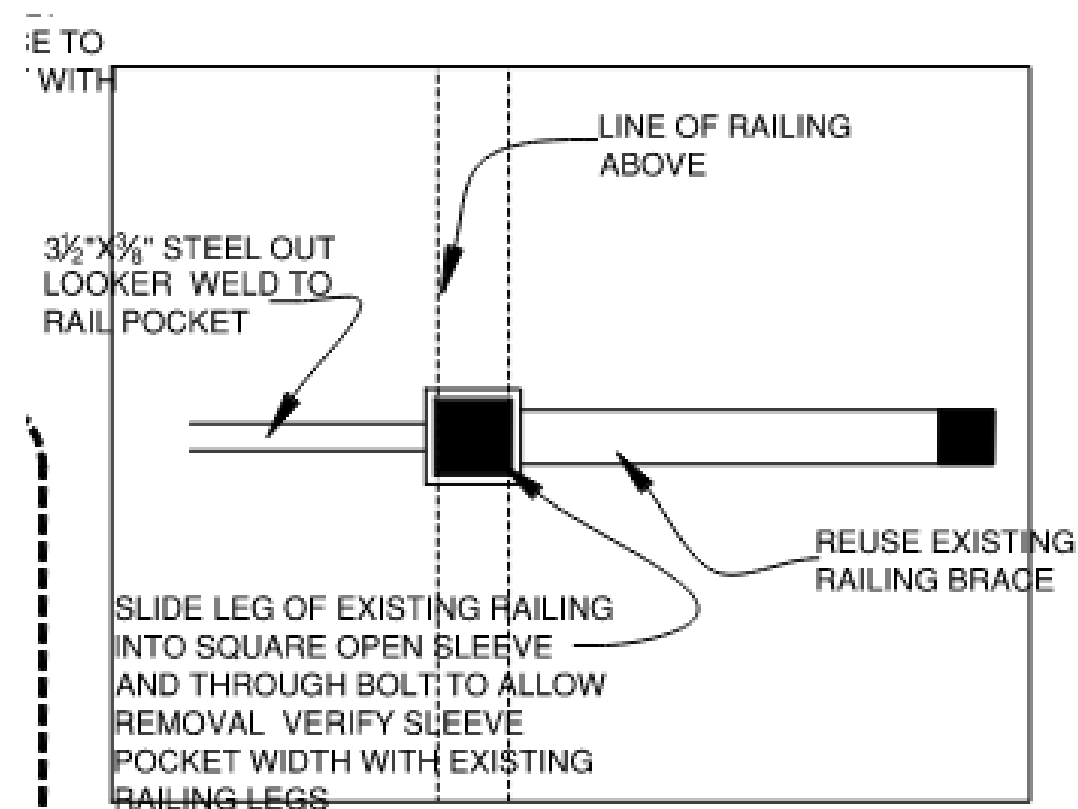
REVISION HISTORY		
NO.	DATE	DESCRIPTION

PROJECT#: 1905
PHASE: CD
DRAFTER: HANK
CHECKER: HANK
SCALE: AS SHOWN
ISSUED: 06/26/2022
SHEET

SP-1.1

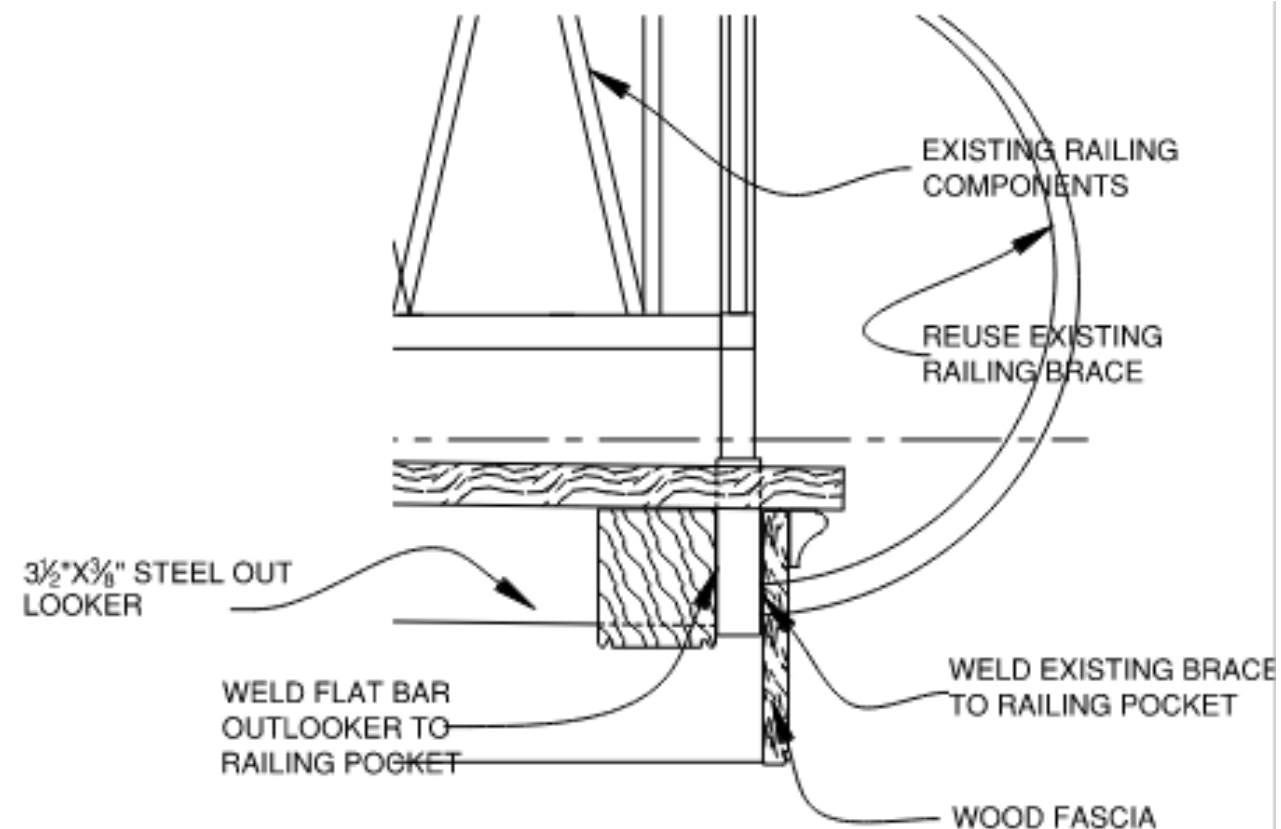






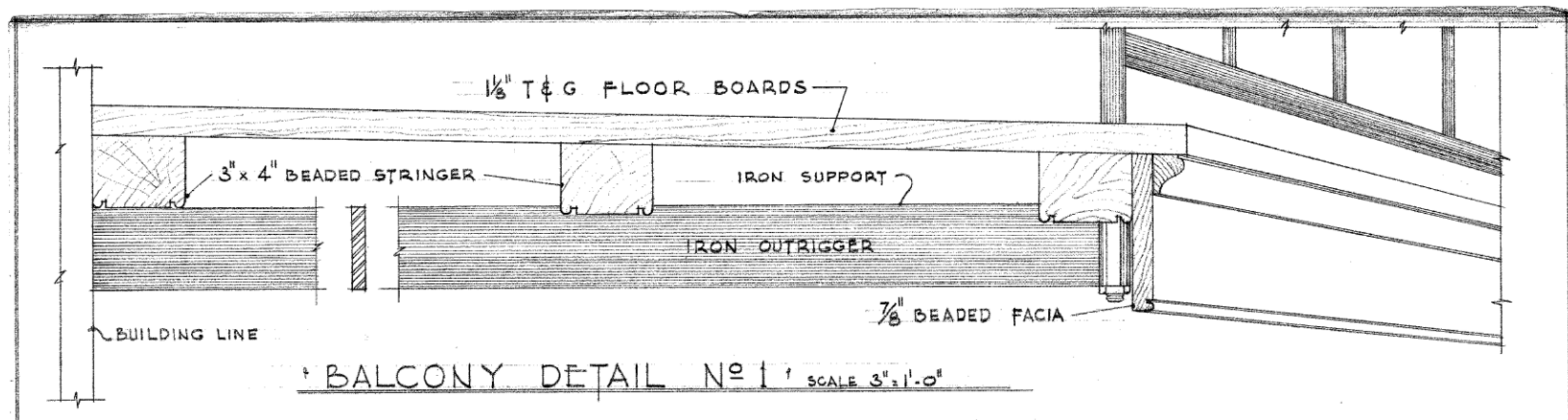
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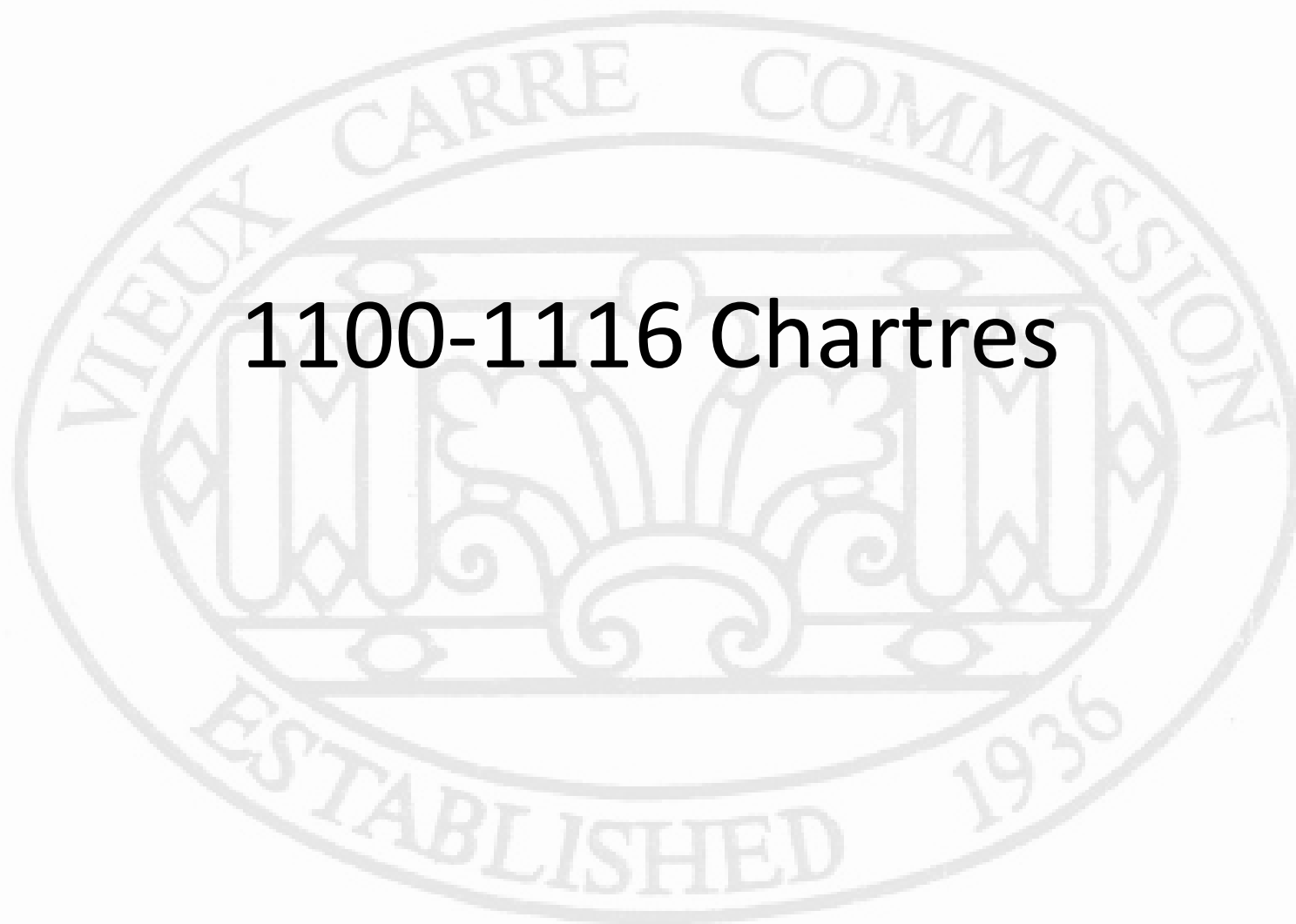


4 BRACE DETAIL

SCALE: 1-1/2"=1'-0"



1100-1116 Chartres





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July 12, 2022





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1100-1116 Chartres, 1900

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1100-1116 Chartres, 1964

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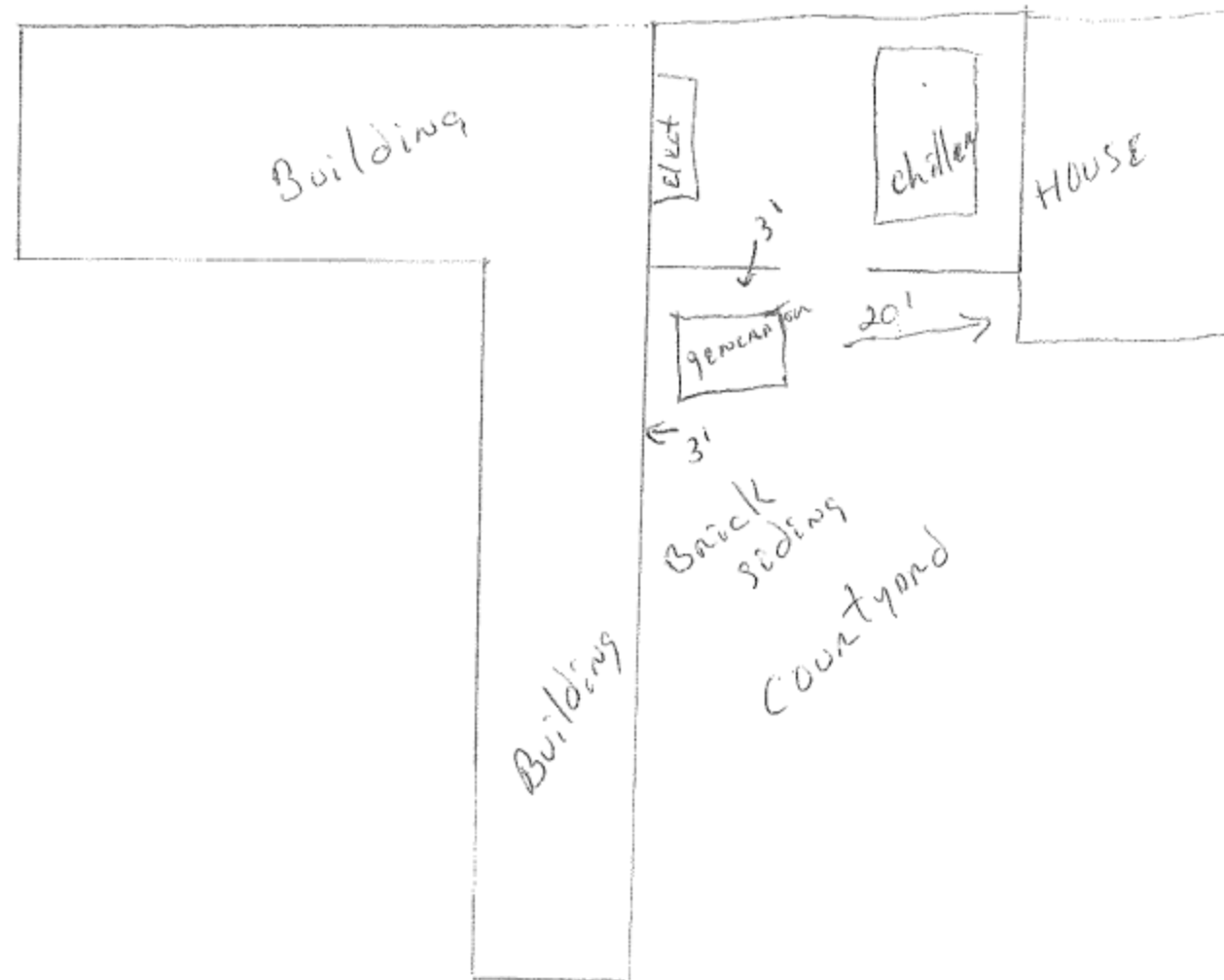


1100-1116 Chartres

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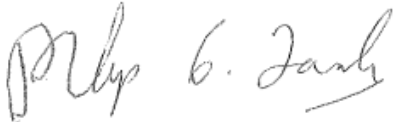





Bill
St Louis Cathedral 1116 Chartres New Orleans, LA 70116

Project

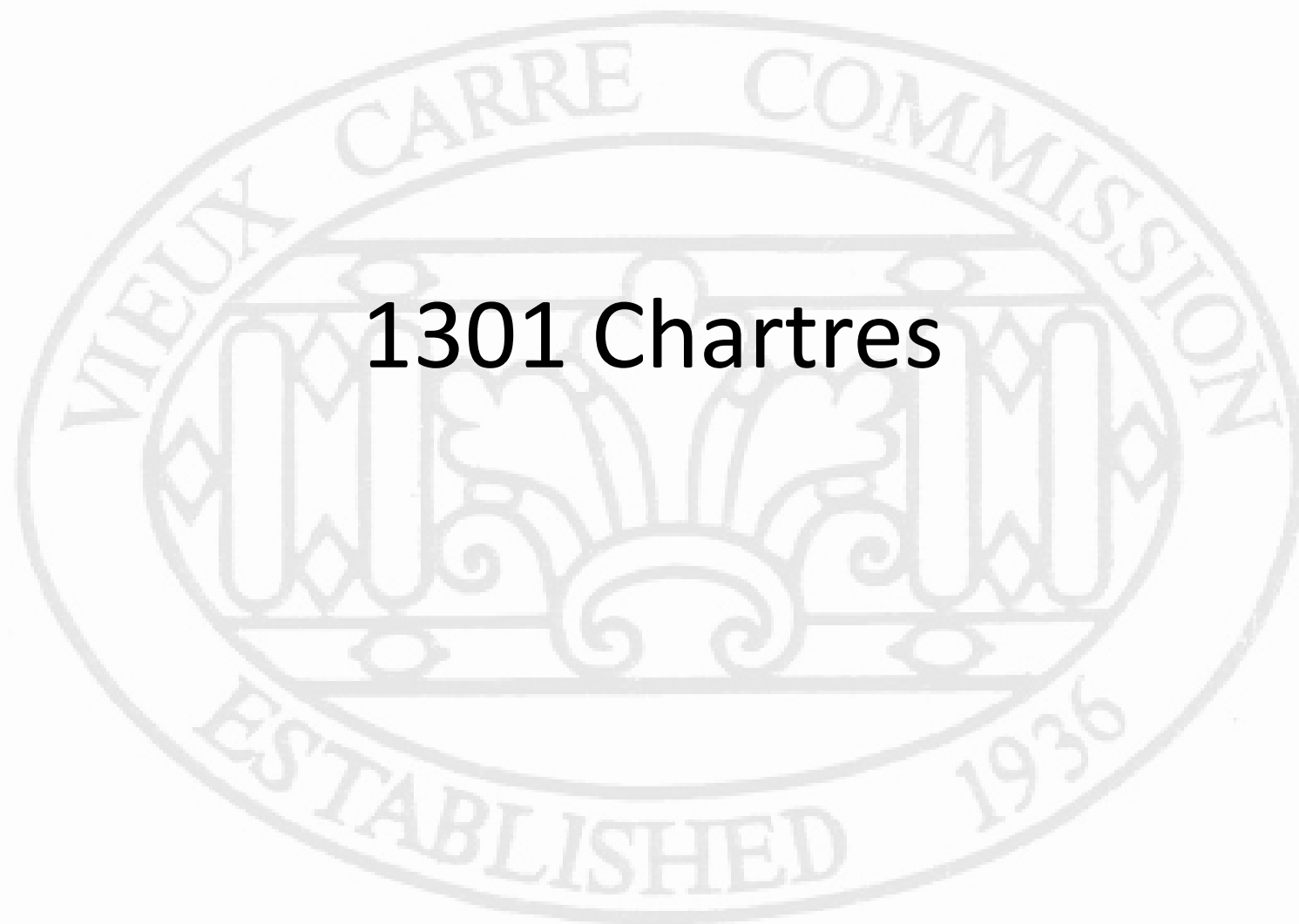
P.O. Number	Terms	Rep
1100	Due on receipt	HL

Quantity	Item Code	Description	Price Each	Amount
1	22 Specialty	30KW GENERAC LIQUID COOLED WITH 200A ATS, 2 SOFT STARTS FOR AIR CONDITIONING UNITS, GAS METER UPGRADE 2LB, 2 REGULATORS 1 FOR BOILER AND OTHER FOR GENERATOR, CONDUIT FOR COMMUNICATIONS/ELECTRICAL LINE VOLTAGE, COMMUNICATION WIRES, ELECTRICAL WIRES, ALUMINUM STAND, BATTERY, BUILDING,GAS,ELECTRICAL PERMITS.  Philip Tandy Deacon  Hector Lopez contractor	34,625.08	34,625.08
			Total	\$34,625.08
Phone #		E-mail	Web Site	Balance Due
504-466-0065		hector@lopezmechanical.net	www.lopezmechanical.net	Payments/Credits

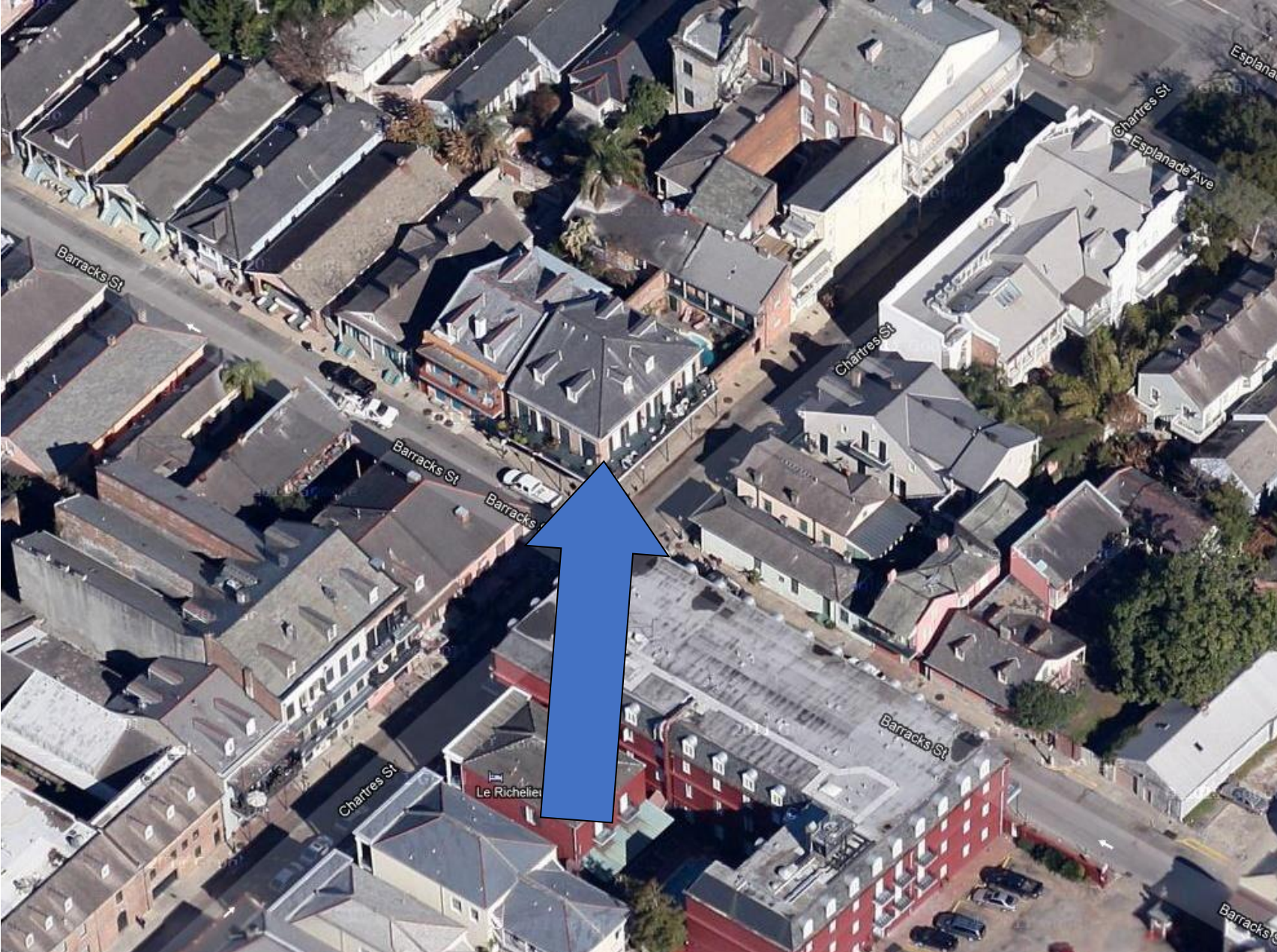
1100-1116 Chartres
VCC Architectural Committee

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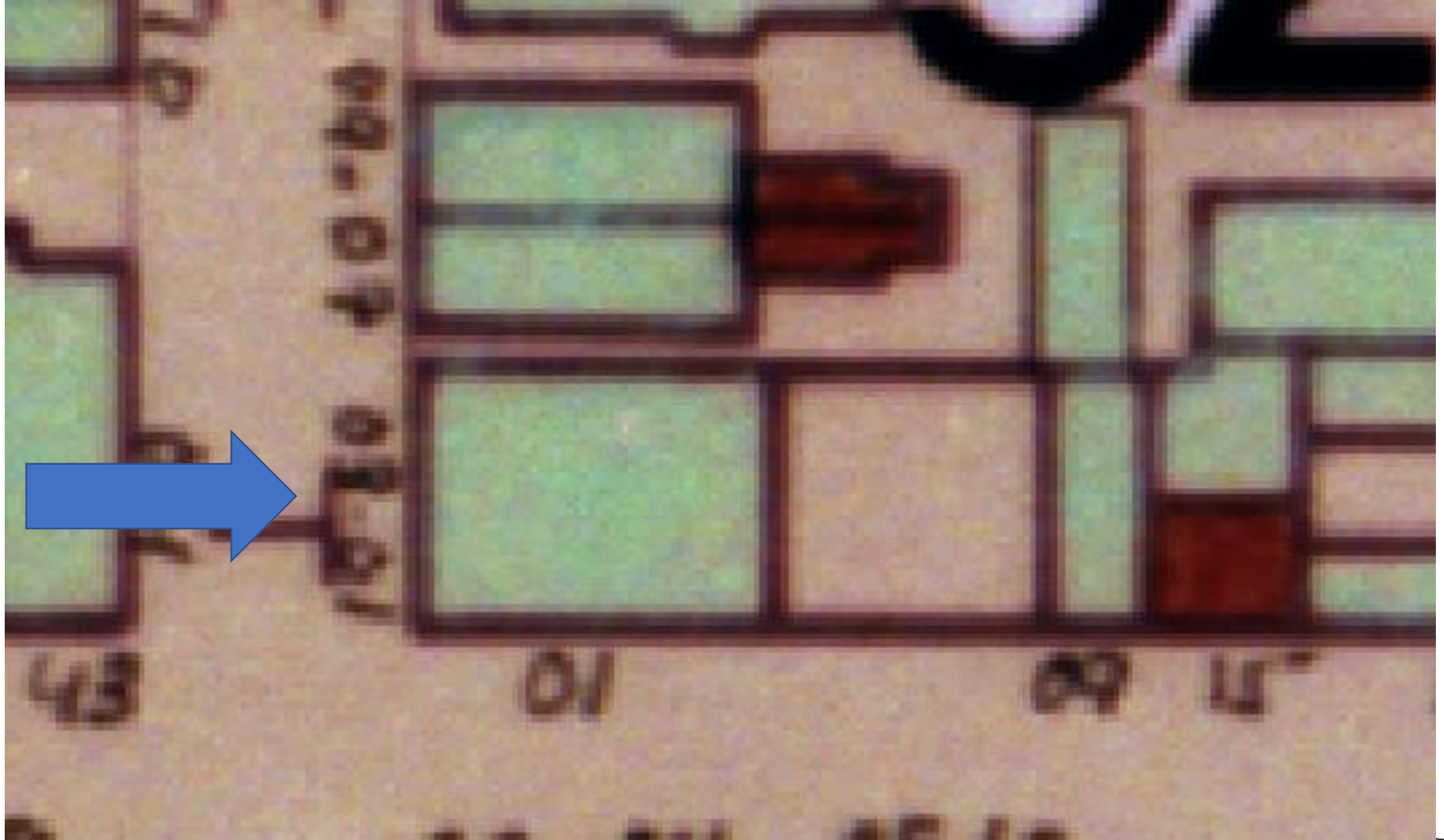




1301 Chartres



1301 Chartres



1301 Chartres

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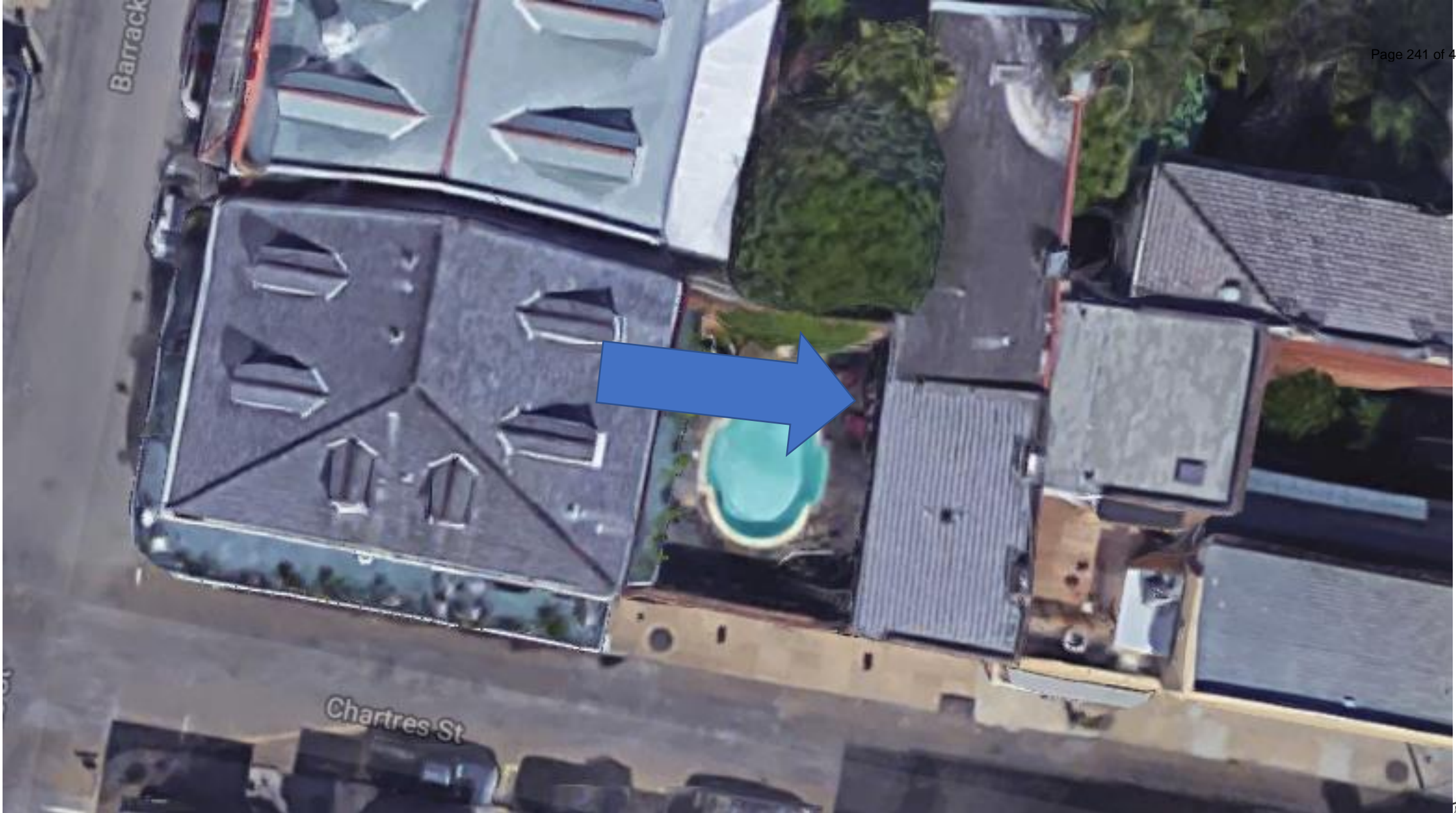
1301 Chartres

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July 12, 2022





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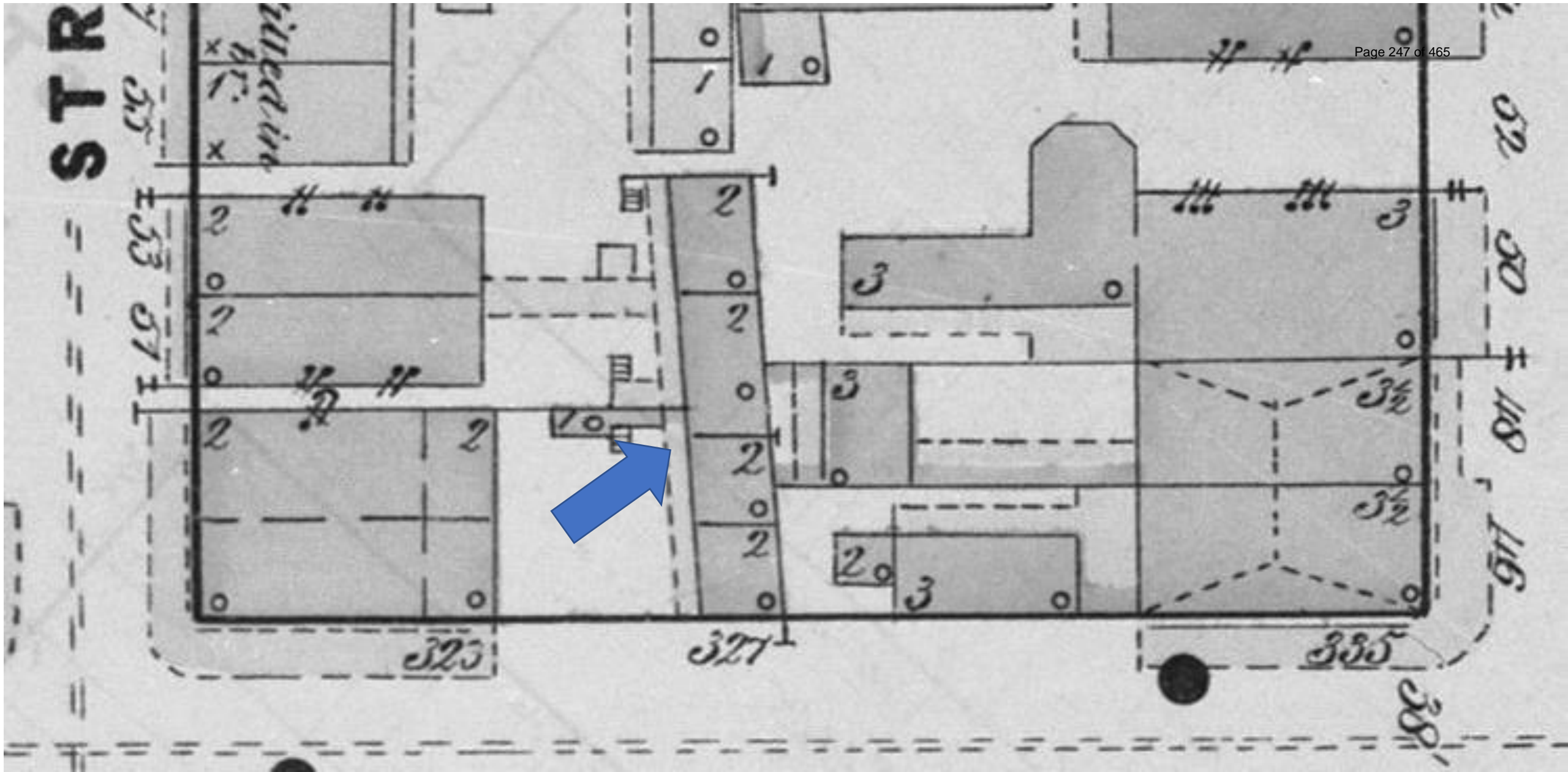


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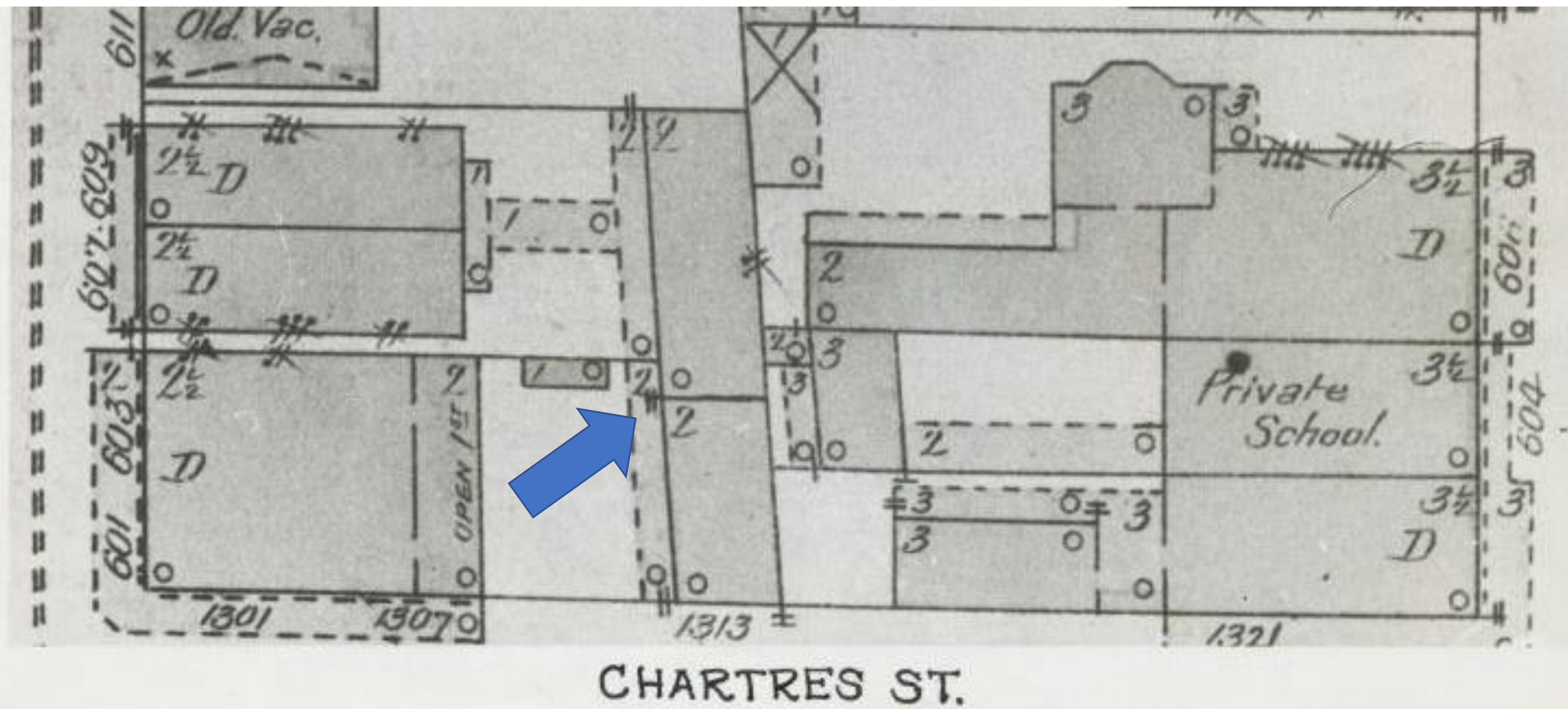


1301 Chartres, 1876

VCC Architectural Committee

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1301 Chartres, 1896

VCC Architectural Committee

July 12, 2022



Sent from my iPhone

* PLEASE READ THIS
LETTER FIRST

Begin forwarded message:

From: Melody Douglas <douglas7565@gmail.com>

Date: May 11, 2022 at 1:01:43 PM CDT

To: Ice 1 <markveer1301@gmail.com>

From: Melody Douglas <douglas7565@gmail.com>

Date: April 25, 2022 at 11:13:15 AM CDT

To: lexitaylor8@hotmail.com, Chartres parapet neighbour Mike Roberts <MROBERTS55@cox.net>

Subject: Parapet wall application for removal

Dear Mr. Galbrecht,

Hello, Margarite Roberts visited our property today at 1301 Chartres St., to view a parapet wall of peculiar positioning. It is a 3 course brick structure in the attic of the slaves quarters, resting upon one beam with pieces of 2x8 placed across it to the next beam being it's only support.

We have multiple issues with this parapet wall, first is the parapet itself is leaking and has caused the ceiling to collapse once already after Ida. I as the owner of this unit had no choice but to repair the leaks temporarily & repoint the parapet as it was at risk

of completely collapsing into both upper & lower units.

Two;

Safety, as the wood beam this parapet rests on could become compromised at any time by insect

1301 Chartres

VCC Architectural Committee



July 12, 2022

issues. No engineer will sign off this as being structurally sound, we've tried, so it must be dealt with before the worst does occur.

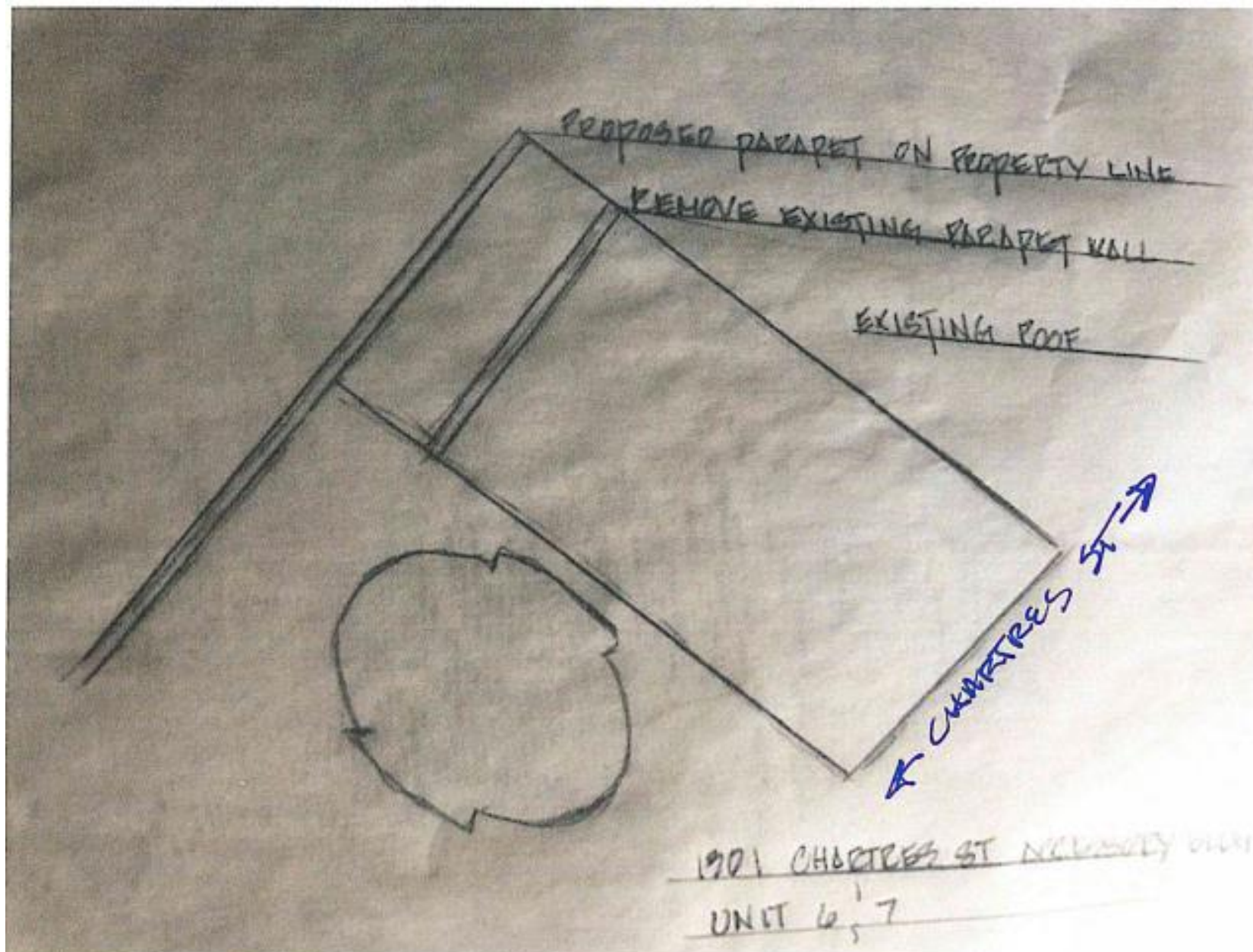
We are working in cooperation with John Matassa & his property manager Mike Roberts at 603 Barracks to redo our roof in the slate that is required. Mr Matassa plans to replace our parapet with one built upon the existing brick wall & property line, reusing our old bricks from the demo'd parapet.

He has a site survey to have placement of this replacement parapet properly positioned.

Please find Photos of the interior attic & suspect parapet wall.

Sent from my iPhone





1301 Chartres

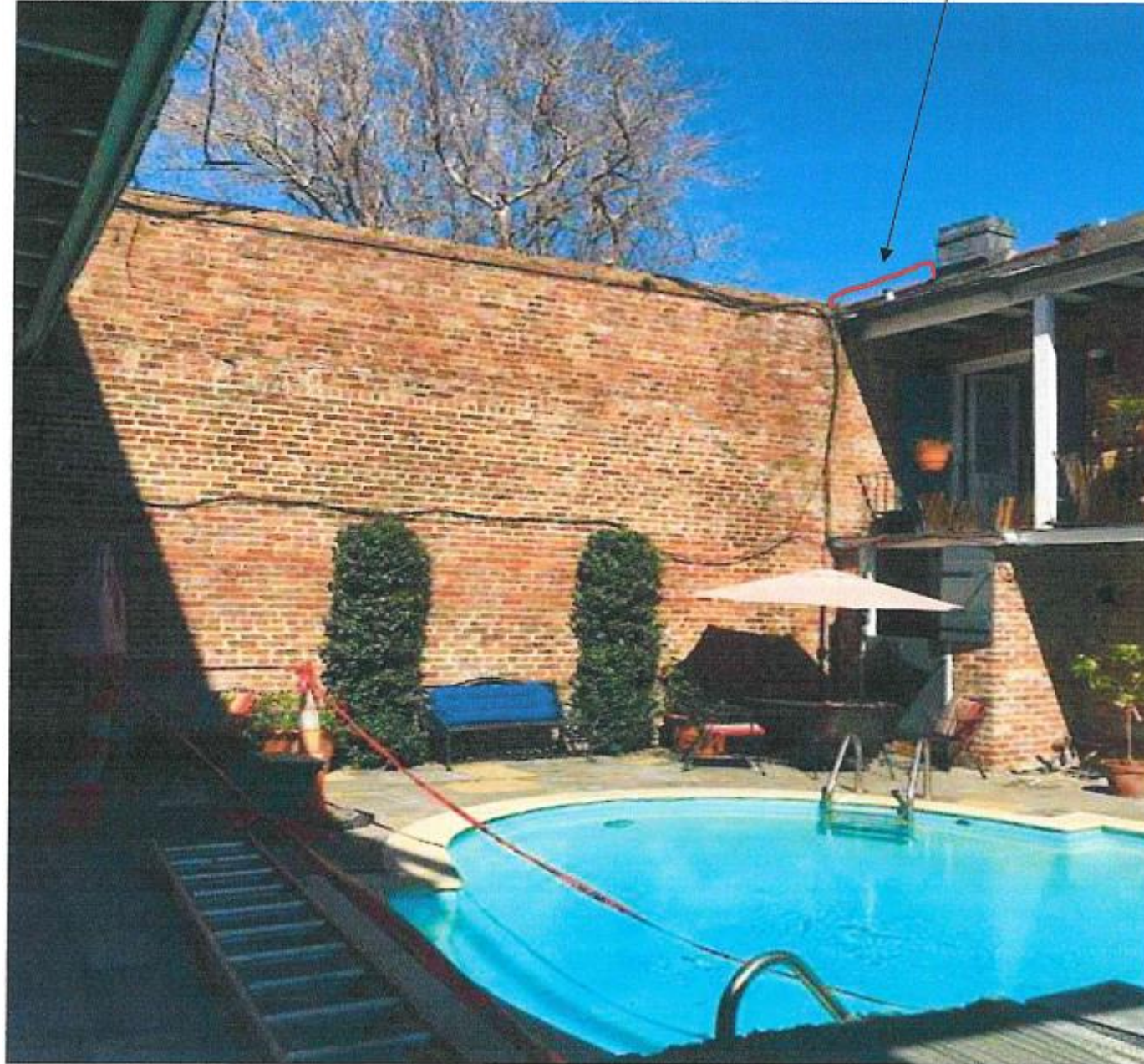
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July 12, 2022



Build a new 16" high by 25" long parapet wall resuing existing brick and adding mortar cap

Page 252 of 465



1301 Chartres

VCC Architectural Committee

July 12, 2022



DECATUR

BARRACKS



CHARTRES

1301 Chartres

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July 12, 2022



BARRHELY

DECATER ST



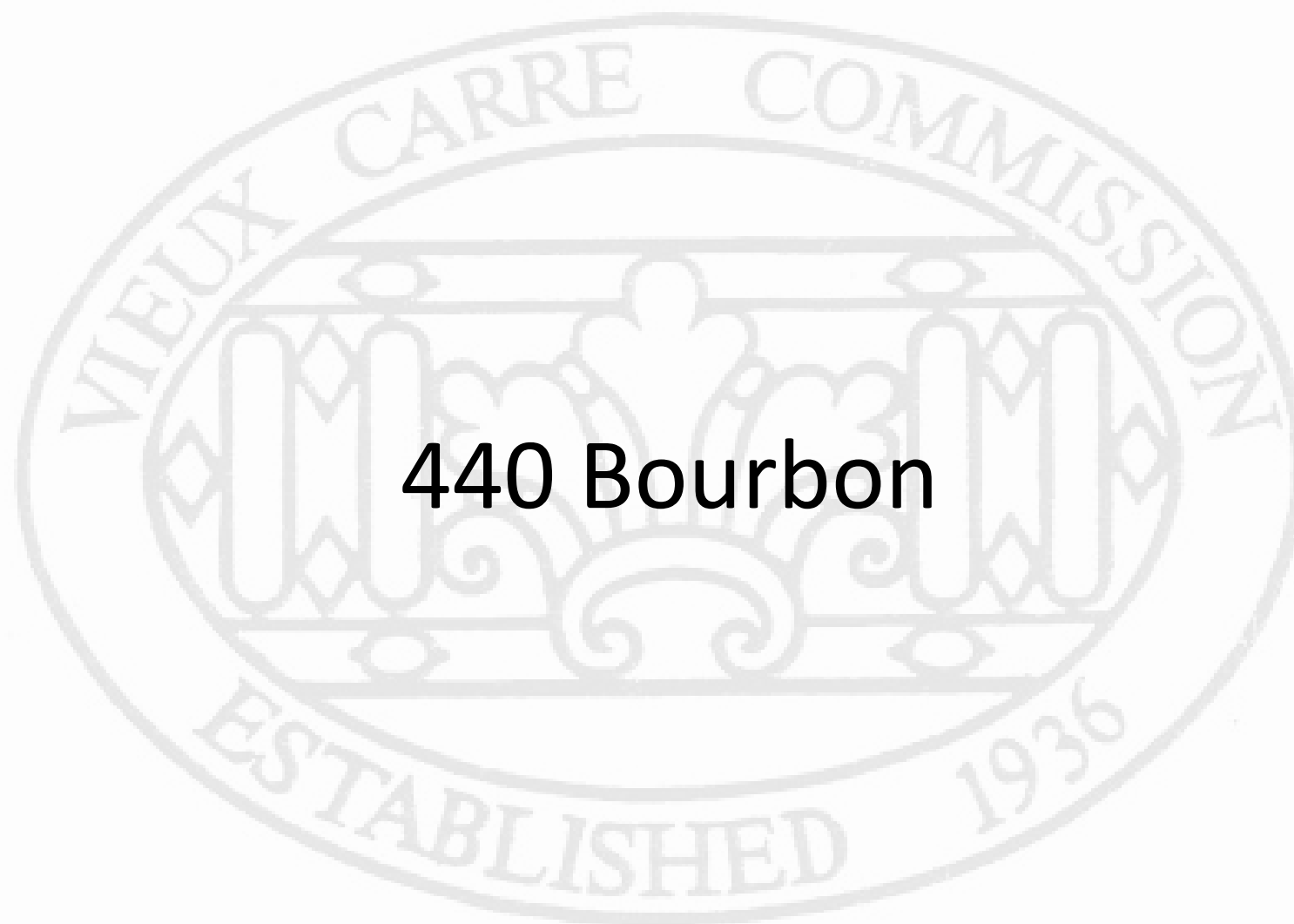
CHARTRES ST

1301 Chartres

VCC Architectural Committee

July 12, 2022





440 Bourbon



440 Bourbon

VCC Architectural Committee

July 12, 2022





440 Bourbon

VCC Architectural Committee

July 12, 2022





440 Bourbon – 1940s-50s

VCC Architectural Committee

July 12, 2022





440 Bourbon

VCC Architectural Committee

July 12, 2022





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VCC Architectural Committee

July 12, 2022



FOR CONCEPTUAL APPROVAL ONLY

PROPOSED EXTERIOR ALTERATIONS 440 BOURBON ST. NEW ORLEANS, LOUISIANA

SPECIAL CONDITIONS	PROPOSED SCOPE OF WORK	SITE PLAN
<p>THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS & SECURE FROM THE ARCHITECT ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY BE REQUISITE TO A CLEAR AND FULL UNDERSTANDING OF THE WORK.</p> <p>ANY WORK OR MATERIAL WHICH IS NOT DIRECTLY OR INDIRECTLY NOTED IN THE SPECIFICATIONS AND DRAWINGS, BUT IS NECESSARY FOR THE PROPER CARRYING OUT OF THE OBVIOUS INTENTION IS TO BE UNDERSTOOD AS "IMPLIED" AND IS TO BE PROVIDED BY THE CONTRACTOR IN HIS PROPOSAL AS FULLY AS IF SPECIFICALLY DESCRIBED OR DELINEATED. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE ARCHITECT FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.</p> <p>DURING THE BIDDING PERIOD, ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF INTERPRETATION IN THE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT PROMPTLY FOR CLARIFICATION. THE ARCHITECT SHALL ISSUE WRITTEN ADDENDA TO BIDDERS CLARIFYING SUCH MATTERS. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ORAL INSTRUCTIONS. IT SHALL BE HELD THAT ALL BIDDERS HAVE EXAMINED ALL DOCUMENTS FOR PROPER COMPREHENSION IN THE DIVISION OF THE WORK, AND THEIR RELATIONSHIP TO OTHER CONTRACTORS OR SECTIONS OF THE WORK. NO ALLOWANCE SHALL BE MADE, AFTER THE BID OPENING, FOR MISUNDERSTANDING ON THE PART OF THE CONTRACTOR.</p> <p>BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, EACH CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.</p> <p>PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS & OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.</p> <p>ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL AND STATE GOVERNING AUTHORITIES.</p>	<ol style="list-style-type: none"> 1. CONSTRUCT A NEW GALLERY ON 2ND FLOOR LEVEL AT THE BOURBON ST. AND ST. LOUIS ST. SIDES. 2. CONSTRUCT A 3 STORY ADDITION TO THE REAR OF THE BUILDING ON THE ST. LOUIS ST. SIDE, WITH A GALLERY ON THE 2ND FLOOR LEVEL AND A BALCONY ON THE 3RD FLOOR LEVEL. 3. REMOVE THE CORNER COLUMN AT FRONT ENTRANCE, GROUND LEVEL. 4. RESTORE EXISTING OPENINGS ON THE GROUND LEVEL WHICH HAVE BRICK FILL. 	<p>EXISTING: 1 STORY PROPOSED: ADD 2 STORIES PLUS 620 SF PENTHOUSE</p> <p>PROPOSED: ADD 2 STORIES</p> <p>MECH. COURT-YARD</p> <p>EXISTING 3 STORY</p> <p>ST. LOUIS STREET</p> <p>BOURBON STREET</p> <p>SITE PLAN APPROX. SCALE: 1"= 20'-0"</p>
<p>PREPARATION AND SAFETY</p> <p>PERFORM ALL WORK IN A SAFE AND ORDERLY MANNER, AVOIDING HAZARDOUS CONDITIONS WHEREVER POSSIBLE.</p> <p>PROVIDE ALL NECESSARY TEMPORARY SHORING AND BRACING REQUIRED TO INSURE SAFE AND STRUCTURALLY SOUND EXECUTION OF THE DEMOLITION, AND PROTECTION OF EXISTING CONSTRUCTION TO REMAIN.</p> <p>ERECT SUITABLE BARRIERS AROUND HAZARDOUS DEMOLITION AREAS TO DETOUR PEDESTRIAN TRAFFIC AND PREVENT NORMAL ACCESS TO SUCH AREAS BY UNAUTHORIZED PERSONS.</p> <p>PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE SAFETY CODES AND STANDARDS.</p> <p>THE CONTRACTOR SHALL KEEP PREMISES CLEAN DURING CONSTRUCTION. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE AT ON SITE DURING CONSTRUCTION. FINAL CLEAN UP AND REPAIR IS PART OF THIS WORK.</p>	<p>BUILDING AREAS/ HEIGHT</p> <p>EXISTING: GROUND FLOOR 5445 SF 2ND FLOOR 2340 SF 3RD FLOOR 2340 SF TOTAL 10,125 SF 32'-8" +/- HIGH</p> <p>NEW: 2ND FLOOR 3101 SF 3RD FLOOR 3101 SF PENTHOUSE 620 SF TOTAL 6822 SF 47'-0" +/- HIGH (TOP OF PENTHOUSE)</p>	
<p>RENOVATION NOTES</p> <p>THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COORDINATING NEW WORK WITH EXISTING AND TO REPAIR ANY PART OF THE BUILDING DAMAGED DUE TO REMODELING WITH MATERIALS AND METHOD TO MATCH EXISTING.</p> <p>WHERE EXISTING BEARING WALLS, BEAM OR ANY OTHER STRUCTURAL SUPPORT OF THE EXISTING BUILDING IS BEING REMOVED, CONTRACTOR SHALL DO ALL NECESSARY SHORING, BRACING, UNDERPINNING, ETC. AS REQUIRED TO MAINTAIN THE SAFETY OF THE STRUCTURE, WORKERS, AND THE GENERAL PUBLIC. NO STRUCTURAL MEMBERS SHALL BE CUT WITHOUT PRIOR APPROVAL.</p> <p>WHEN ANY PART OF THE STRUCTURE IS OPEN TO THE EXTERIOR, PROTECT INTERIOR FROM WIND, STORM, RAIN, AND VANDALISM.</p> <p>PROTECT PEDESTRIAN RIGHT OF WAY IN AREA OF WORK.</p> <p>USE ONLY NEW MATERIALS WITH UL LABEL WHERE APPLICABLE. (EXCEPT AS NOTED)</p>		
<p>AS-BUILT VERIFICATION</p> <p>THIS PROJECT INVOLVES WORKING WITH PREVIOUSLY CONSTRUCTED BUILDING COMPONENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS (LOCATIONS AND CONDITION OF WALLS, COLUMNS, BEAMS, MECHANICAL, ELECTRICAL, PLUMBING, ETC.) AND LAYOUT PLAN PRIOR TO PERFORMING ANY CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES AS TO ACTUAL CONDITIONS AS TO WHAT IS SHOWN HEREIN OR IF PLAN DOES NOT LAY OUT AS AS INTENDED, CONTACT ARCHITECT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED.</p>		

MOUTON LONG TURNER ARCHITECTS

601 Papworth Avenue
Suite 200
Metairie, LA 70005
504.838.8091
www.moutonlong.com



**PROPOSED EXTERIOR ALTERATIONS TO
440 BOURBON ST.
NEW ORLEANS, LA**

Issued

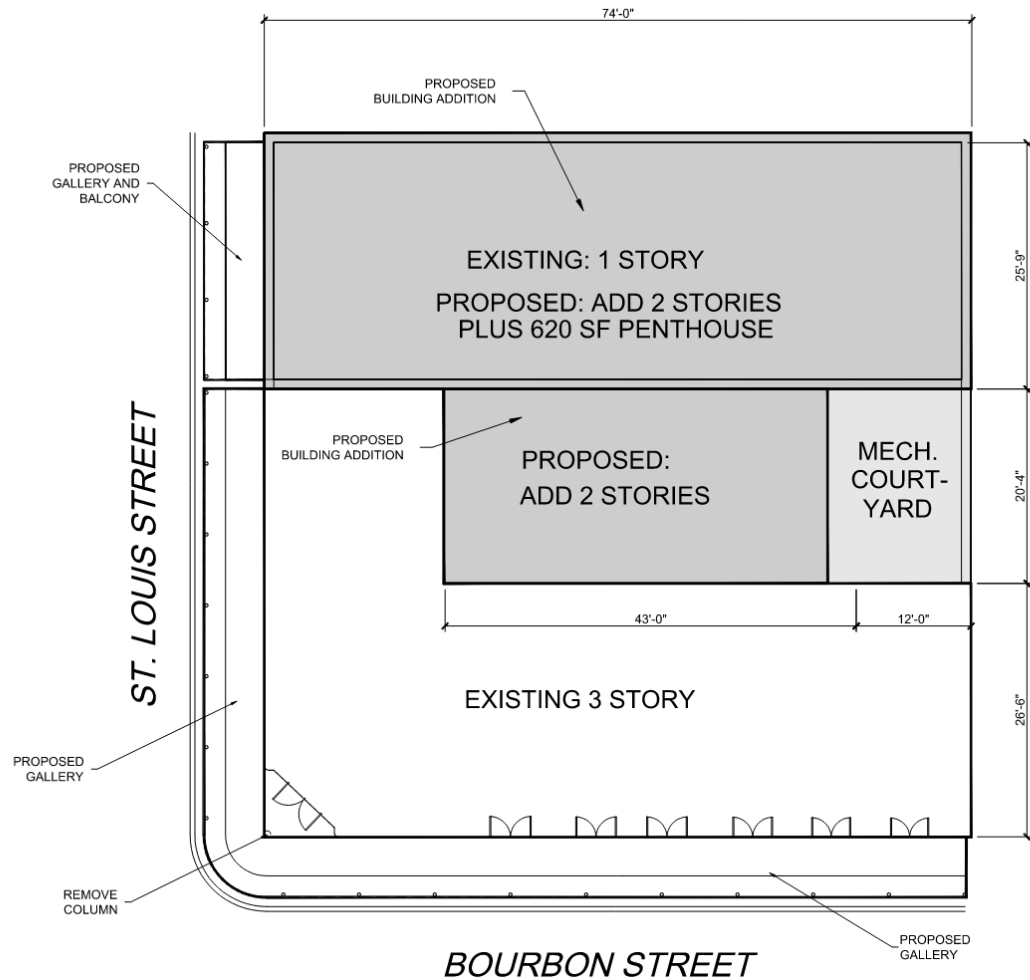
Date	To	Remarks

Revisions

No.	Description	Date
1	05/26/22	22-1709

VCC1





SITE PLAN
APPROX. SCALE: 1"= 20'-0"

EXISTING:		
GROUND FLOOR	5445 SF	
2ND FLOOR	2340 SF	
3RD FLOOR	2340 SF	
TOTAL	10,125 SF	32'-8" +/- HIGH
NEW:		
2ND FLOOR	3101 SF	
3RD FLOOR	3101 SF	
PENTHOUSE	620 SF	
TOTAL	6822 SF	47'-0" +/- HIGH (TOP OF PENTHOUSE)





ST. LOUIS ST. VIEW - EXISTING



CORNER VIEW - EXISTING



BOURBON ST. VIEW - EXISTING



ST. LOUIS ST. VIEW - PROPOSED

1. RESTORE EXISTING OPENINGS ON GROUND LEVEL.
2. NEW 3 STORY STRUCTURE
3. NEW GALLERY AND BALCONY.



CORNER VIEW - PROPOSED

1. ADD GALLERY ON THE SECOND LEVEL. STYLE TO MATCH EXISTING BALCONY.
2. REMOVE CORNER COLUMN AT FRONT ENTRANCE.
3. CLEAN UP AND RESTORE EXISTING EXTERIOR FACADE.



BOURBON ST. VIEW - PROPOSED

1. ADD GALLERY ON SECOND FLOOR LEVEL.
2. REMOVE CORNER COLUMN AT FRONT ENTRANCE.
3. CLEAN UP AND RESTORE EXISTING EXTERIOR FACADE.

MOUTON LONG TURNER
ARCHITECTS

601 Papworth Avenue
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Metairie, LA 70005
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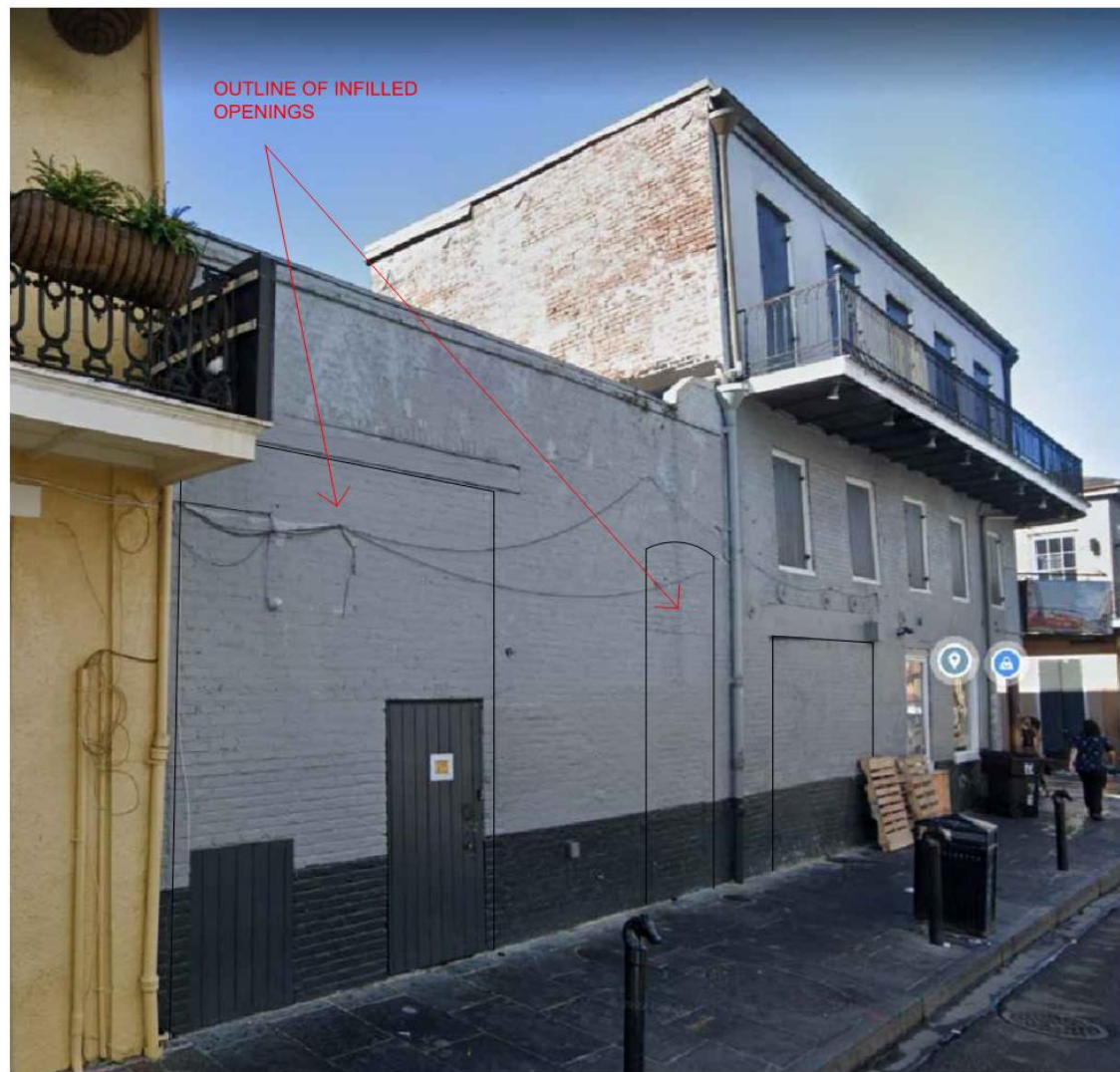
PROPOSED EXTERIOR ALTERATIONS TO
440 BOURBON ST.
NEW ORLEANS, LA

Issued	
Date	Remarks

Revisions	
Revised	By

05/26/22 22-1709
Drawing No. Project No.
VCC2





ST. LOUIS ST. VIEW - EXISTING

440 Bourbon

VCC Architectural Committee



ST. LOUIS ST. VIEW - PROPOSED

1. RESTORE EXISTING OPENINGS ON GROUND LEVEL.
2. NEW 3 STORY STRUCTURE
3. NEW GALLERY AND BALCONY.

July 12, 2022





CORNER VIEW - EXISTING

440 Bourbon

VCC Architectural Committee



CORNER VIEW - PROPOSED

1. ADD GALLERY ON THE SECOND LEVEL. STYLE TO MATCH EXISTING BALCONY.
2. REMOVE CORNER COLUMN AT FRONT ENTRANCE.
3. CLEAN UP AND RESTORE EXISTING EXTERIOR FACADE.

July 12, 2022





BOURBON ST. VIEW - EXISTING

440 Bourbon

VCC Architectural Committee

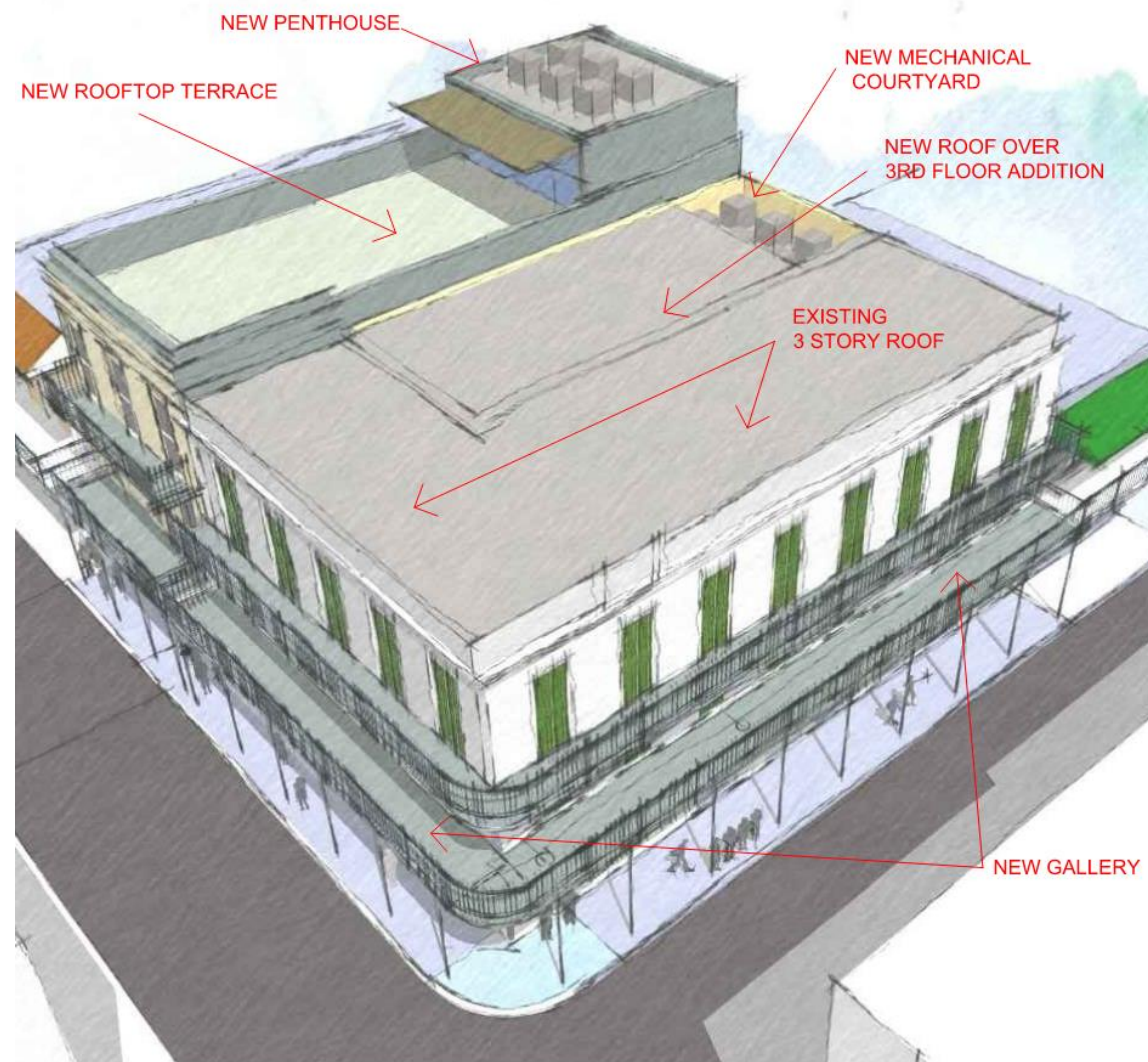


BOURBON ST. VIEW - PROPOSED

1. ADD GALLERY ON SECOND FLOOR LEVEL.
2. REMOVE CORNER COLUMN AT FRONT ENTRANCE.
3. CLEAN UP AND RESTORE EXISTING EXTERIOR FACADE.

July 12, 2022





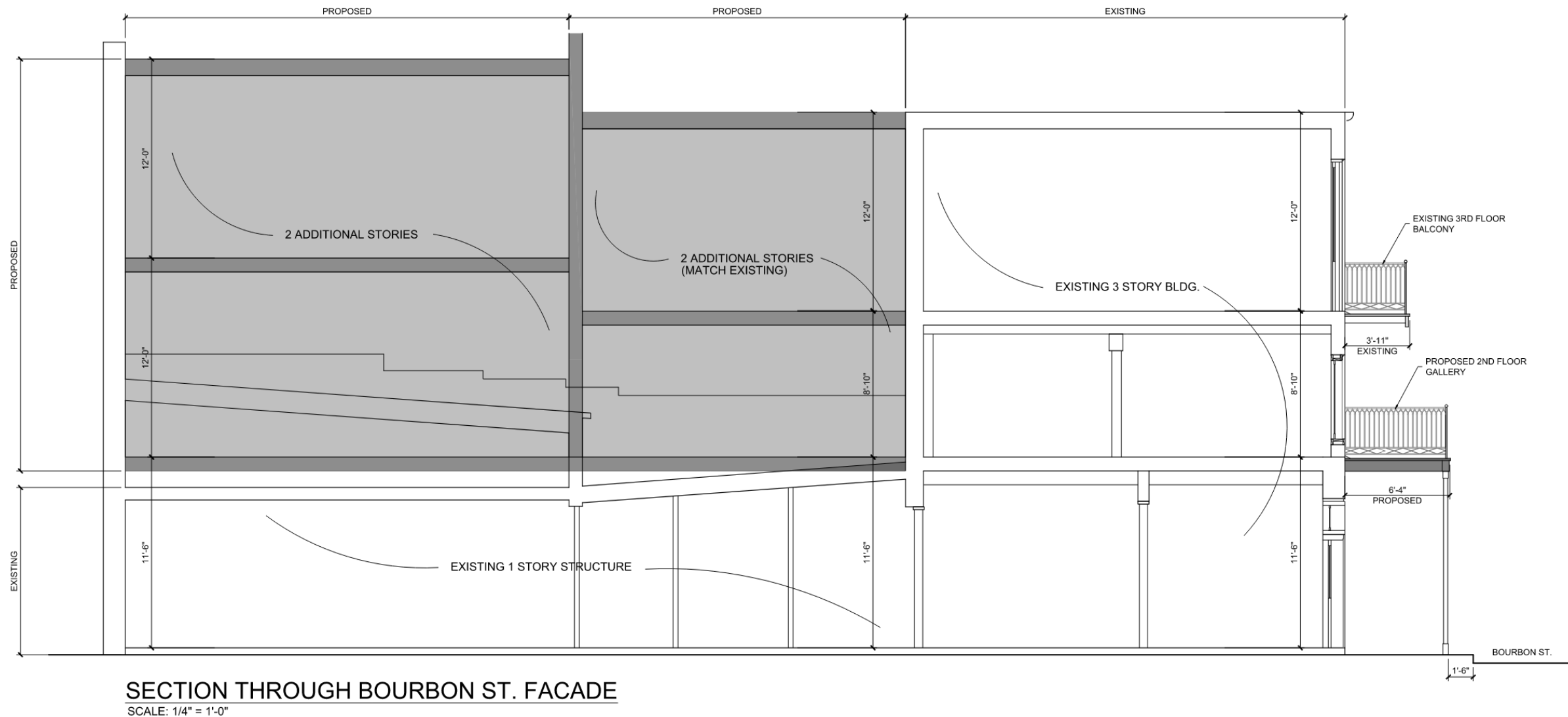
AERIAL VIEW OF ROOFTOPS

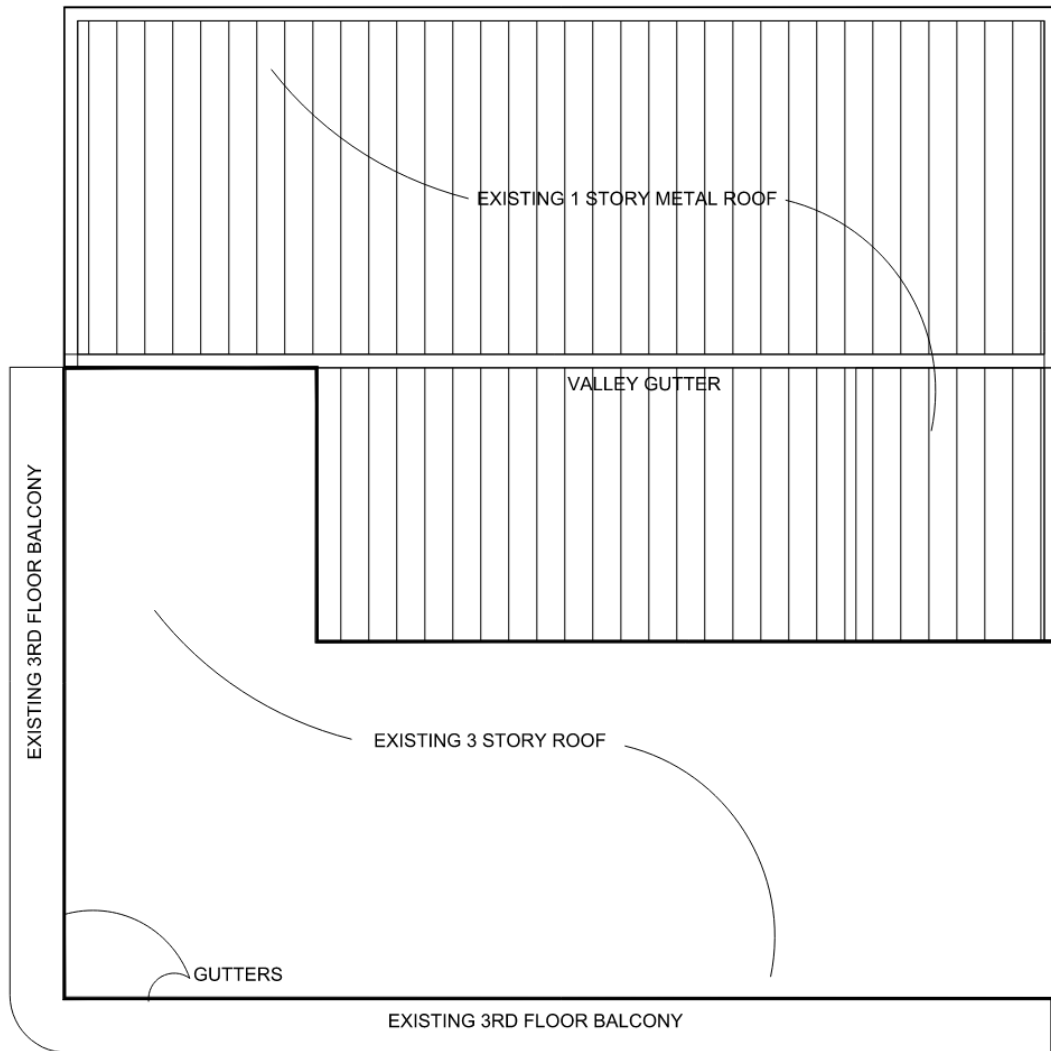
440 Bourbon

VCC Architectural Committee

July 12, 2022



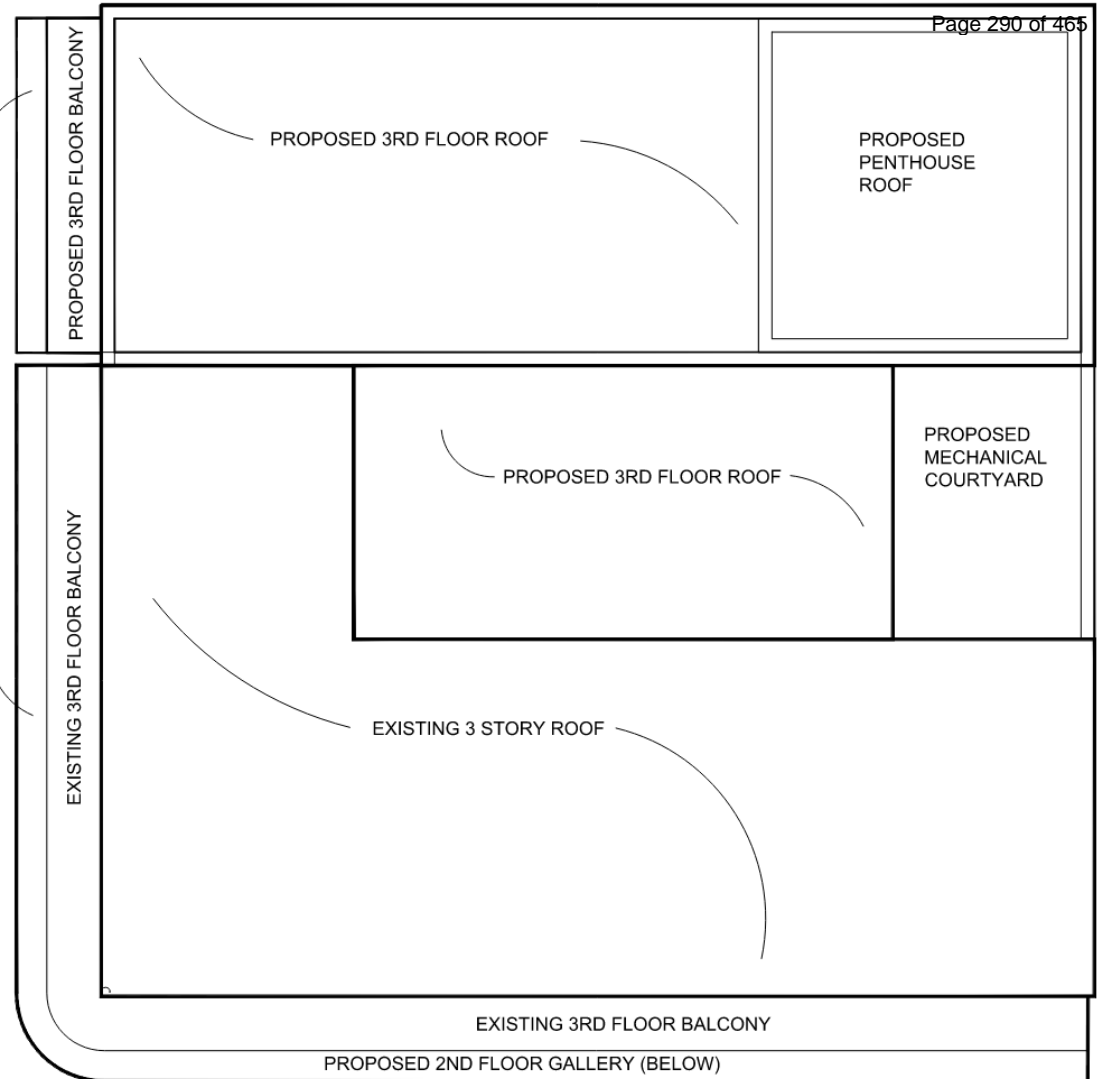




ROOF PLAN - EXISTING

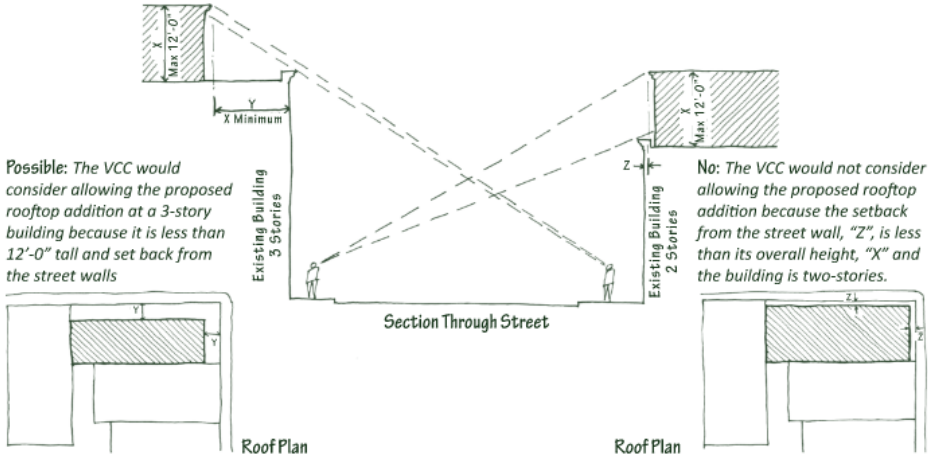
SCALE: 1/8" = 1'-0"

PROPOSED 2ND FLOOR GALLERY (BELOW)



ROOF PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



A rooftop addition must be set back from the street walls of the existing building by a minimum of the proposed height of the addition, (i.e. 12'-0" high rooftop addition must be set back from the street wall a minimum of 12'-0".) The VCC discourages a rooftop addition on a building less than three full stories in height because of the increased likelihood of visibility.

DESIGN STANDARDS FOR ROOFTOP ADDITION REVIEW

If allowable by the Comprehensive Zoning Ordinance (CZO) and appropriate at a particular site, the VCC uses specific design standards to review a rooftop addition proposal. In its review of a proposed rooftop amenity or addition, the VCC:

- Strives to make a rooftop addition, including an elevator and mechanical equipment, as well as furnishings as unobtrusive and minimally visible as possible
- Limits the overall height of a rooftop addition, including framing and parapet, to 12'-0" above the lowest surface of the existing roof, except for code-required components, such as an elevator override
- Requires that a rooftop addition be set back from the street façade(s) of the building by a minimum of the overall height of the proposed addition (i.e., a 12'-0" high rooftop addition should be set back from the street wall a minimum of 12'-0")
- Requires that a rooftop addition incorporate elevator, mechanical and HVAC equipment within the single story and allowable addition footprint
- Requires that all furnishings including railings, screens, planters, plants and permanent rooftop furnishings taller than the closest parapet be setback from the street wall(s) a minimum of the height of the proposed furnishing from the lowest roof surface
- Considers a proposal for a rooftop addition that does not conform to these *Guidelines* at a Green, Pink or Yellow rated building under limited circumstances; however, excellence in design and the architectural character of the existing building are strong factors in the review

Rooftop Addition Review

Construct a rooftop addition
1 2 3 Commission

ROOFTOP ADDITIONS

THE VCC REQUIRES:

- Compliance with the Comprehensive Zoning Ordinance (CZO) – A rooftop addition shall not require a variance for height limit or floor area ratios
- Review of all exterior items located on a roof surface including paving, railings and built-in furnishings

THE VCC DOES NOT RECOMMEND:

- A rooftop addition on a Green, Pink or Yellow rated building
- A rooftop addition on a building of less than three full stories in height

THE VCC DOES NOT ALLOW:

- A rooftop addition on a Purple or Blue rated building
- A rooftop addition on a building originally constructed as a residential building
- A rooftop addition on a roof with a pitch greater than 3-inches vertically in 12-inches horizontally and an existing parapet less than 18-inches in height – Except at a camelback shotgun
- A roof addition greater than one story and/or 12'-0" in height or with a roof form other than a flat or low-sloped roof – Excluding an elevator override



DESIGN PRINCIPLES	NEW CONSTRUCTION & ADDITIONS
Scale: Height & Width	Proportions and size of the new building/addition compared with neighboring buildings/existing building
Building Form & Massing	The three-dimensional relationship and configuration of the new building/addition footprint, its walls and roof compared with neighboring buildings/existing building
Setback	Distance of the new building/addition to the street or property line when compared with other buildings on the block/existing building
Site Coverage	Percentage of the site that is covered by a building/addition, when compared to nearby sites of compatible size
Orientation	Location of the front of the new building/addition and principal entrance relative to other buildings on the block
Alignment, Rhythm & Spacing	Effect the new building/addition will have on the existing patterns on its block
Architectural Elements & Projections	Size, shape, proportions and location of each entrance, balcony, gallery, porch, roof overhang, chimney, dormer, parapet and other elements that contribute to the building's overall shape and silhouette relative to neighboring buildings
Façade Proportions: Window & Door Patterns	Relationship of the size, shape and location of the new building/addition façade and building elements to each other, as well as when compared to other buildings on the property, block/existing building
Trim & Detail	Mouldings, decorative elements and features of a building that are secondary to major surfaces such as walls and a roof and how they relate to the neighboring buildings/existing building
Materials	Products with which an addition or new building is composed or constructed and how these relate to neighboring buildings/existing building

14-4 Vieux Carré Commission – Guidelines for New Construction, Additions & Demolition





A cast iron decorative railing, sometimes found at a window, may include a repetitive pattern of detailed components.

A NEW BALCONY, GALLERY OR PORCH

Adding a new balcony, gallery, porch or overhang will greatly alter the appearance of a building. In select cases, the VCC might approve the installation of a new balcony, gallery, porch or overhang provided that:

- There is documentary evidence supporting a balcony, gallery, porch or overhang previously existed
- The installation is appropriate for the building type
- The installation does not destroy or conceal an important architectural feature or detail
- The proposed design is compatible in size, scale and design to the building and surrounding streetscape

When installing a new balcony, gallery, porch or overhang, great care should be taken to minimize the removal of existing building fabric during its installation and attachment. In addition, the design of the components should be simple and visually minimized to allow the wall surfaces beyond to remain visible. When installing a new metal gallery, simple posts located along the curb with a plain balustrade are generally most appropriate. (Refer to *Guidelines for New Construction, Additions & Demolition* for information regarding the reconstruction or installation of a new balcony, gallery, porch or overhang.)



A drop awning installed at either the front or side of a gallery or porch can help to keep it cooler. To be approved, a drop awning must roll-up, extend between bays and be consistent in color, material and details across a façade. To be considerate of neighbors, a drop awning should be rolled-up when not in use. Note the metal security divider between the adjoining galleries.

VCC REVIEW FOR ADDING OR REMOVING A BALCONY, GALLERY OR PORCH

The VCC does not allow the addition of ornamental wrought or cast iron to a gallery or balcony where it is not documented for the particular style or type of building, such as a former warehouse building. The VCC does not allow the removal of contributing ornamental metals or a porch.





1312 Royal

VCC Architectural Committee

July 12, 2022





1312 Royal, 1948

VCC Architectural Committee

July 12, 2022





1312 Royal, 1948

VCC Architectural Committee

July 12, 2022





1312 Royal, 1948

VCC Architectural Committee

July 12, 2022





1312 Royal, 1948

VCC Architectural Committee

July 12, 2022





1312 Royal, 1962

VCC Architectural Committee

July 12, 2022





1312 Royal

VCC Architectural Committee

July 12, 2022





1312 Royal

VCC Architectural Committee

July 12, 2022





1312 Royal

VCC Architectural Committee

July 12, 2022





1312 Royal

VCC Architectural Committee



July 12, 2022



1312 Royal

VCC Architectural Committee

July 12, 2022





1312 Royal

VCC Architectural Committee

06 16 2022

July 12, 2022





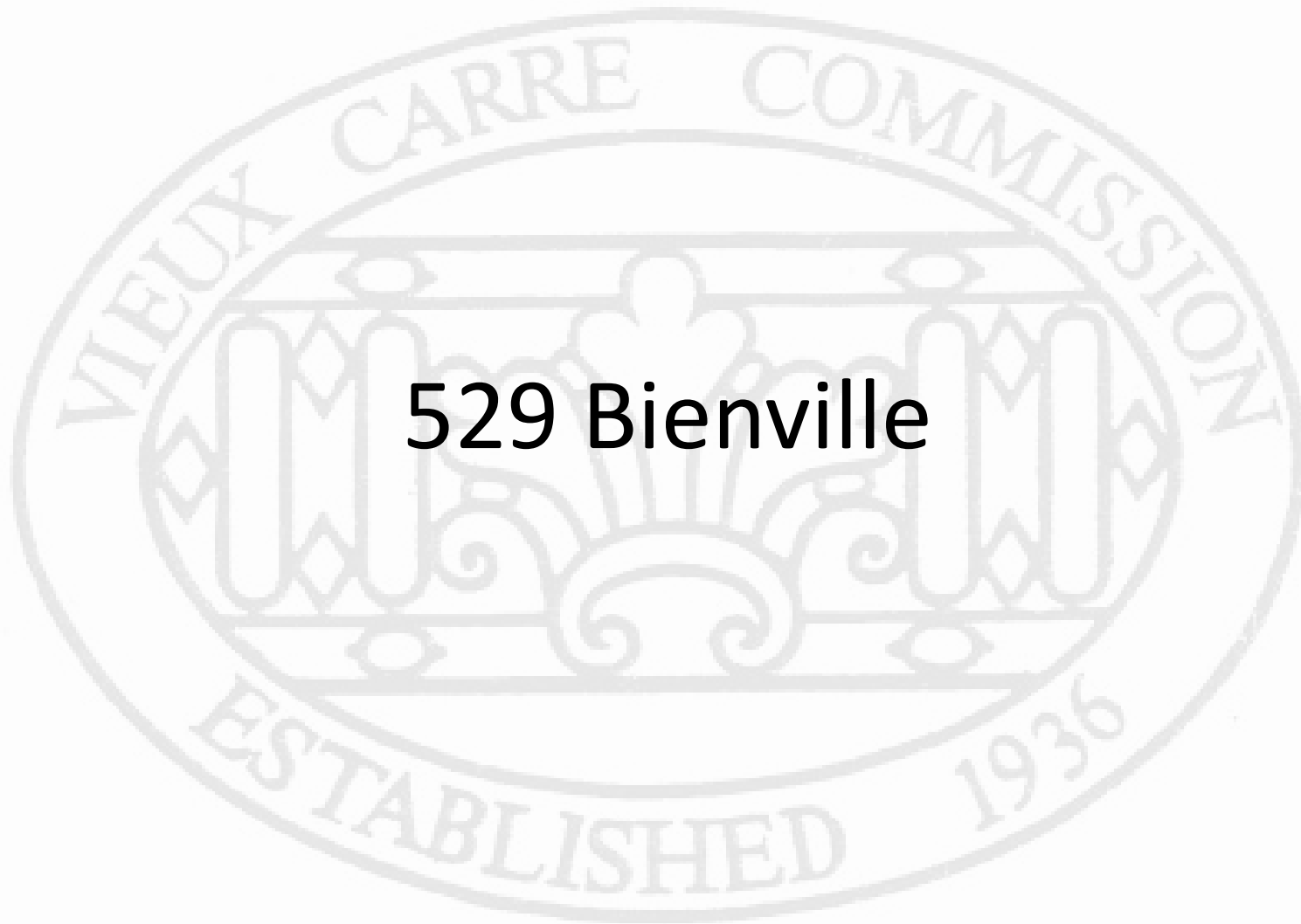
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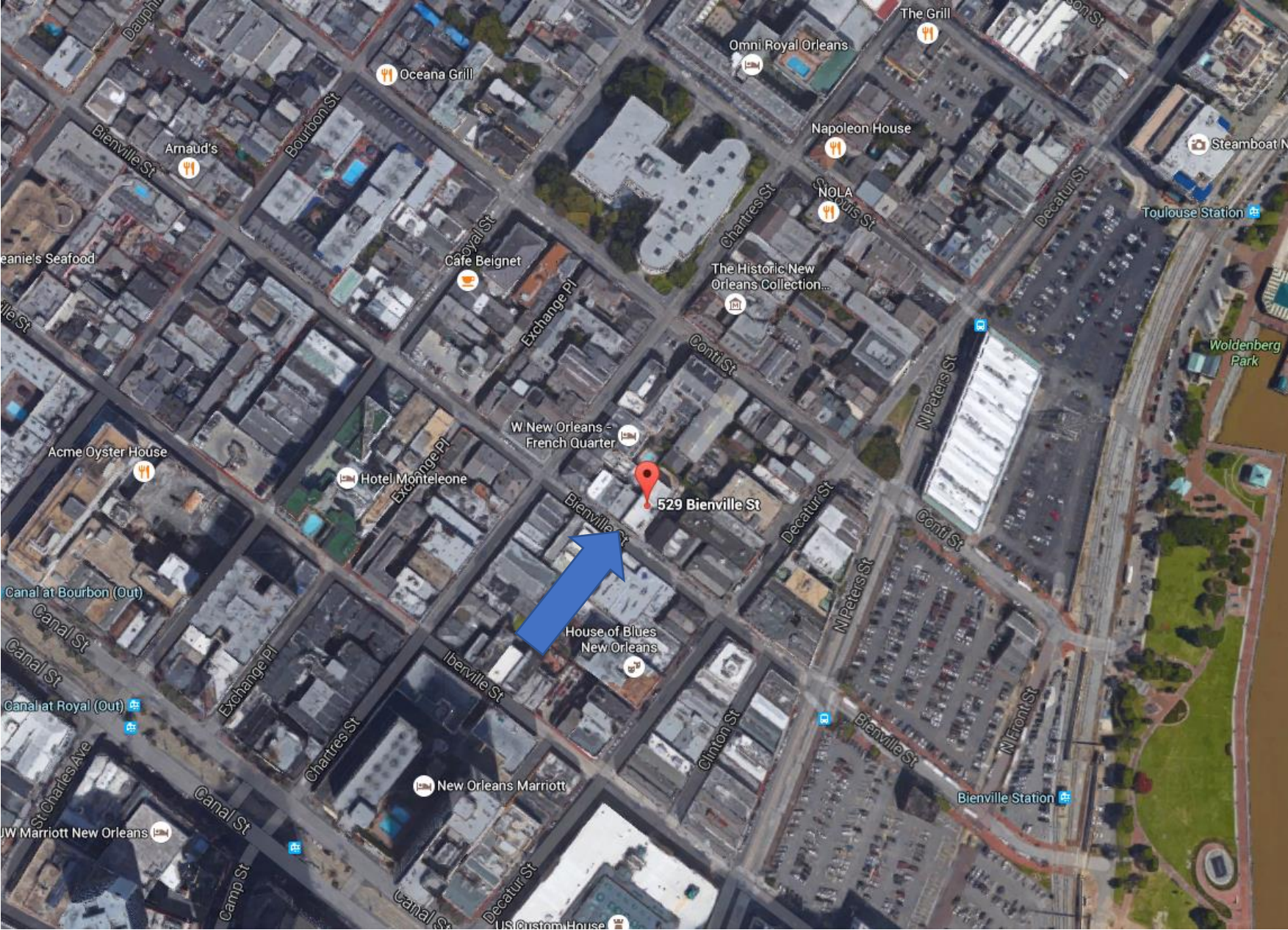
VCC Architectural Committee

July 12, 2022



529 Bienville





529 Bienville

VCC Architectural Committee

July 10, 2018





529 Bienville

VCC Architectural Committee

July 10, 2018



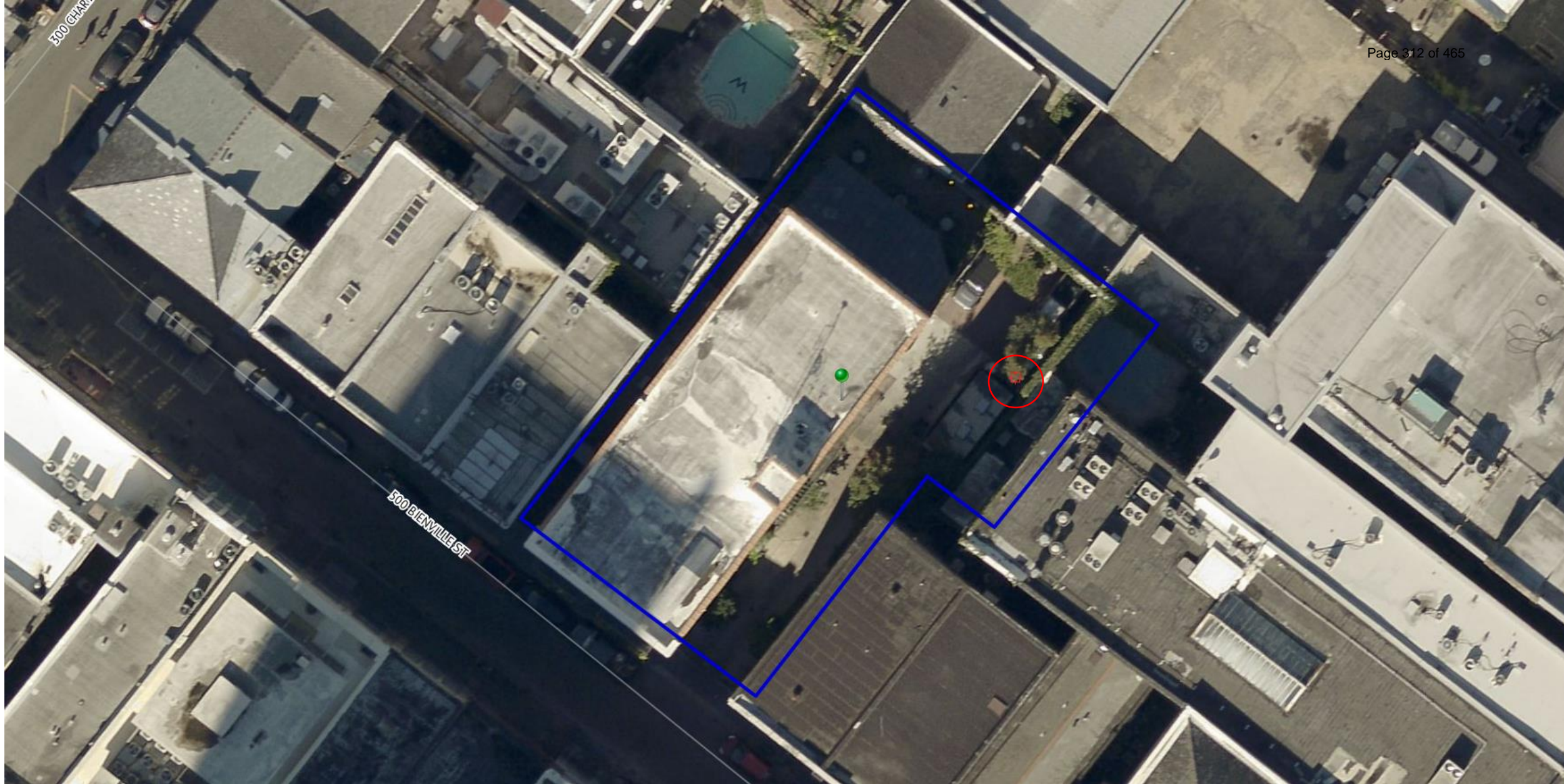


529 Bienville

VCC Architectural Committee

July 10, 2018



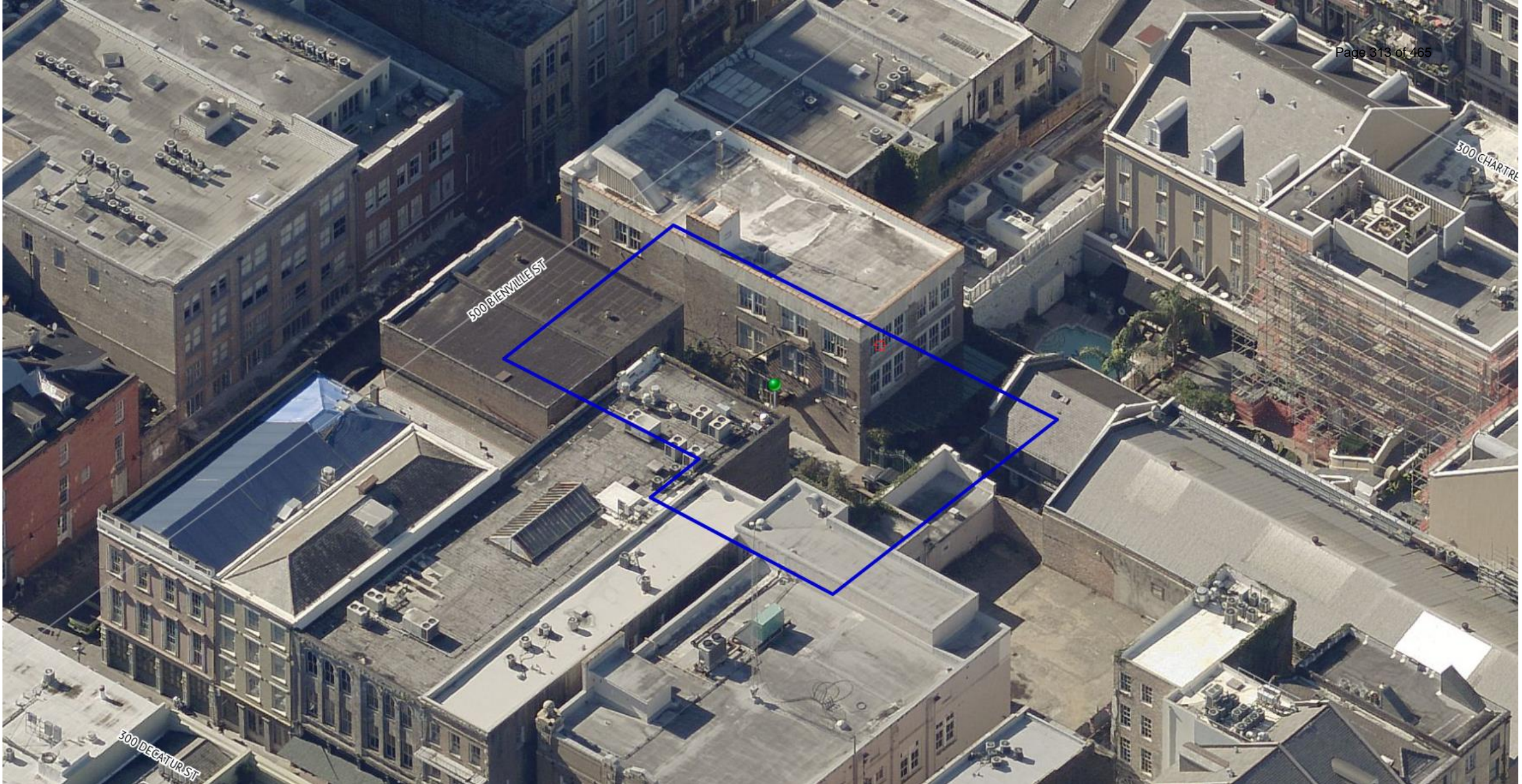


529 Bienville

VCC Architectural Committee

July 10, 2018





529 Bienville

VCC Architectural Committee

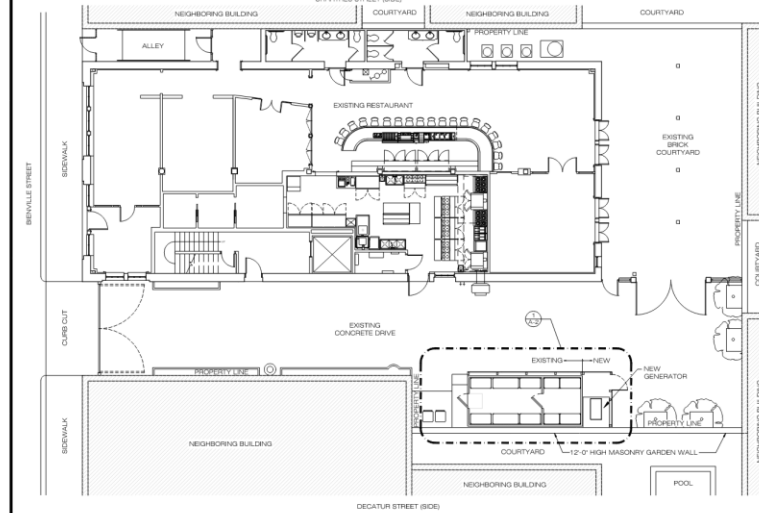
July 10, 2018



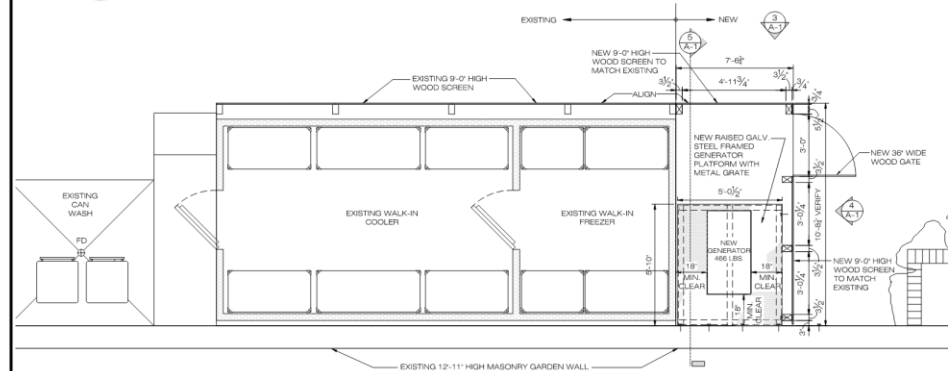
New Generator for Existing Walk-in Cooler for IRENE'S CUISINE 529 Bienville Street

Scope of Work

NEW 22 KW GENERATOR TO SERVICE EXISTING RESTAURANT WALK-IN COOLER.
NEW GENERATOR TO BE LOCATED ON RAISED GALV. STEEL FRAME BEHIND EXISTING WALK-IN COOLER. EXISTING WOOD ENCLOSURE AROUND WALK-IN COOLER TO BE EXTENDED APPROX. 7'-6" TO ENCLOSE THE NEW GENERATOR.



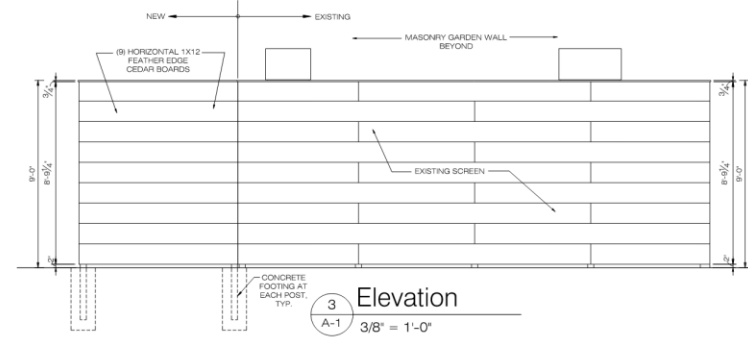
1 Site Plan
A-1 3/32" = 1'-0"



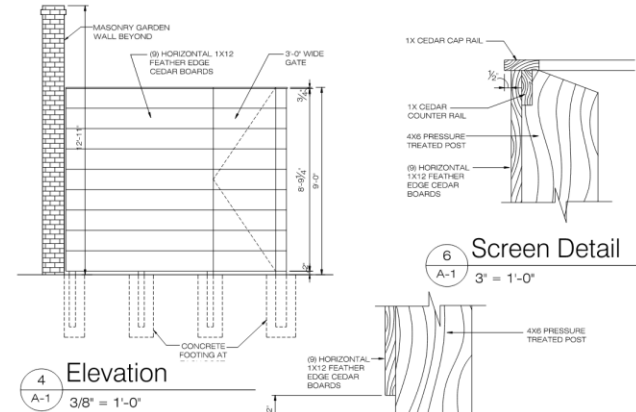
2 Enlarged Plan
A-1 3/8" = 1'-0"



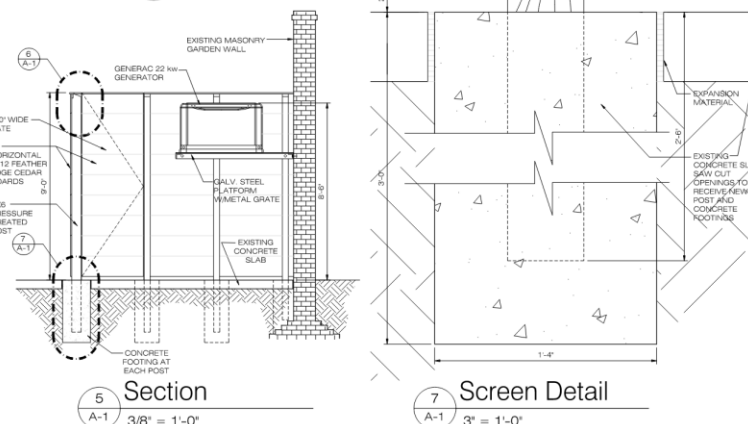
Existing Aerial Photo



3 Elevation
A-1 3/8" = 1'-0"



6 Screen Detail
A-1 3" = 1'-0"



5 Section
A-1 3/8" = 1'-0"

7 Screen Detail
A-1 3" = 1'-0"

terrell-tabachnik architects, llc
5209 Bienville Boulevard, Suite 241
New Orleans, Louisiana 70125
504-566-1320

These plans and specifications have been prepared by me or under my direct supervision and I am a duly licensed professional engineer in the State of Louisiana. I am not providing any warranty or representation for the use of these plans for any purpose other than that for which they were prepared.

**New Generator and Screen
IRENE'S CUISINE
529 Bienville Street
New Orleans, Louisiana**

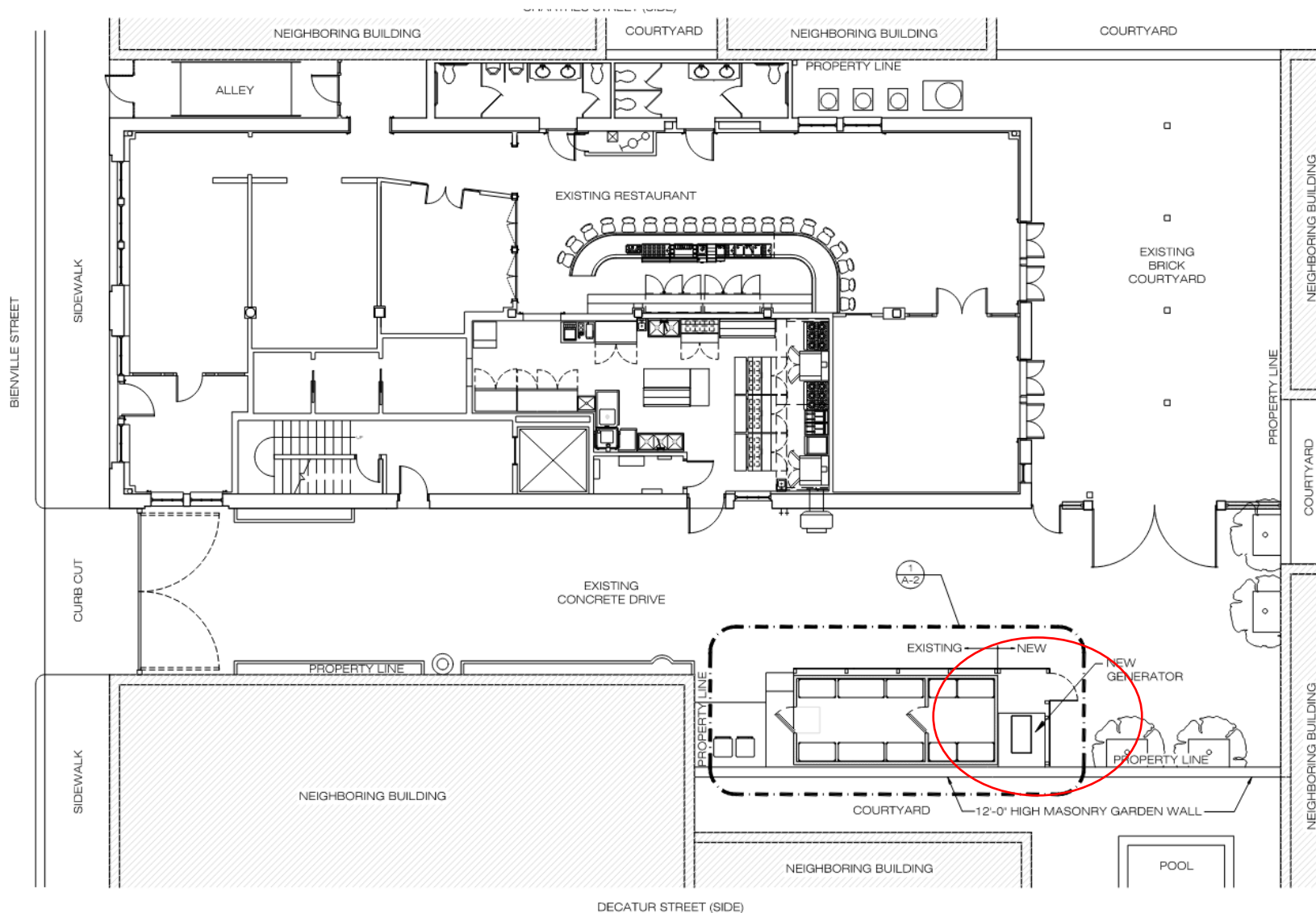
NO.	REVISIONS
1	06/15/2022

CHECKED BY:
DRAWN BY:
DATE: 06/13/2022
JOB NO.:

A-1

SHEET 1 OF 1





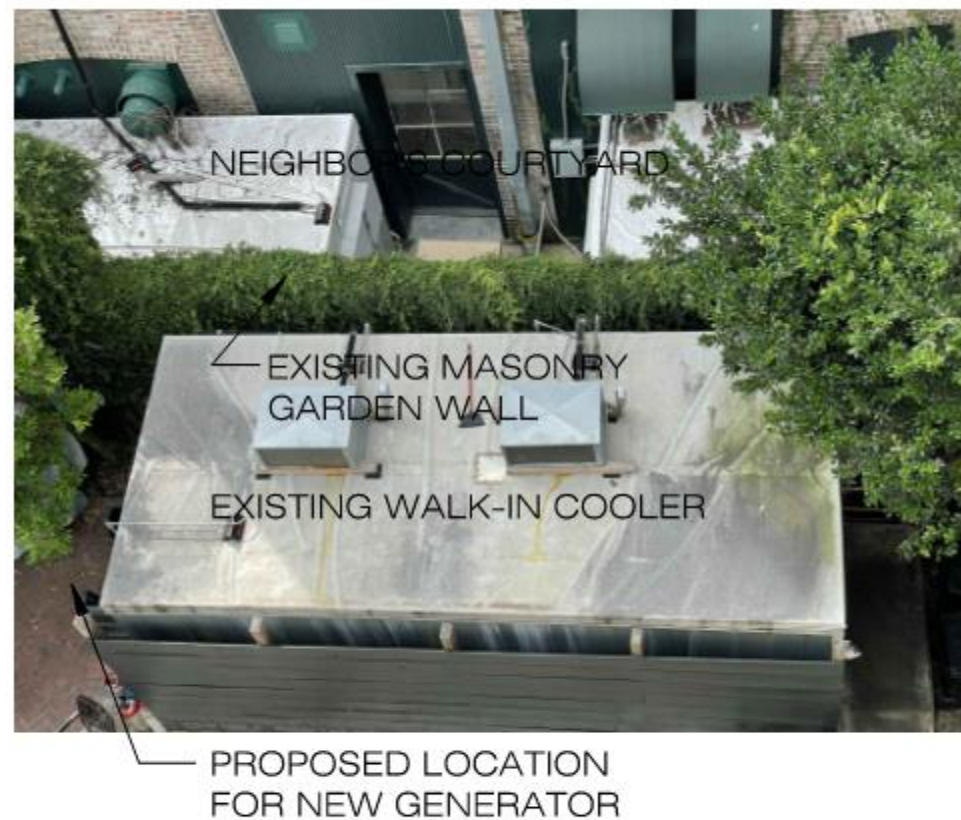
1 Site Plan
A-1 3/32" = 1'-0"

529 Bienville

VCC Architectural Committee

July 10, 2018





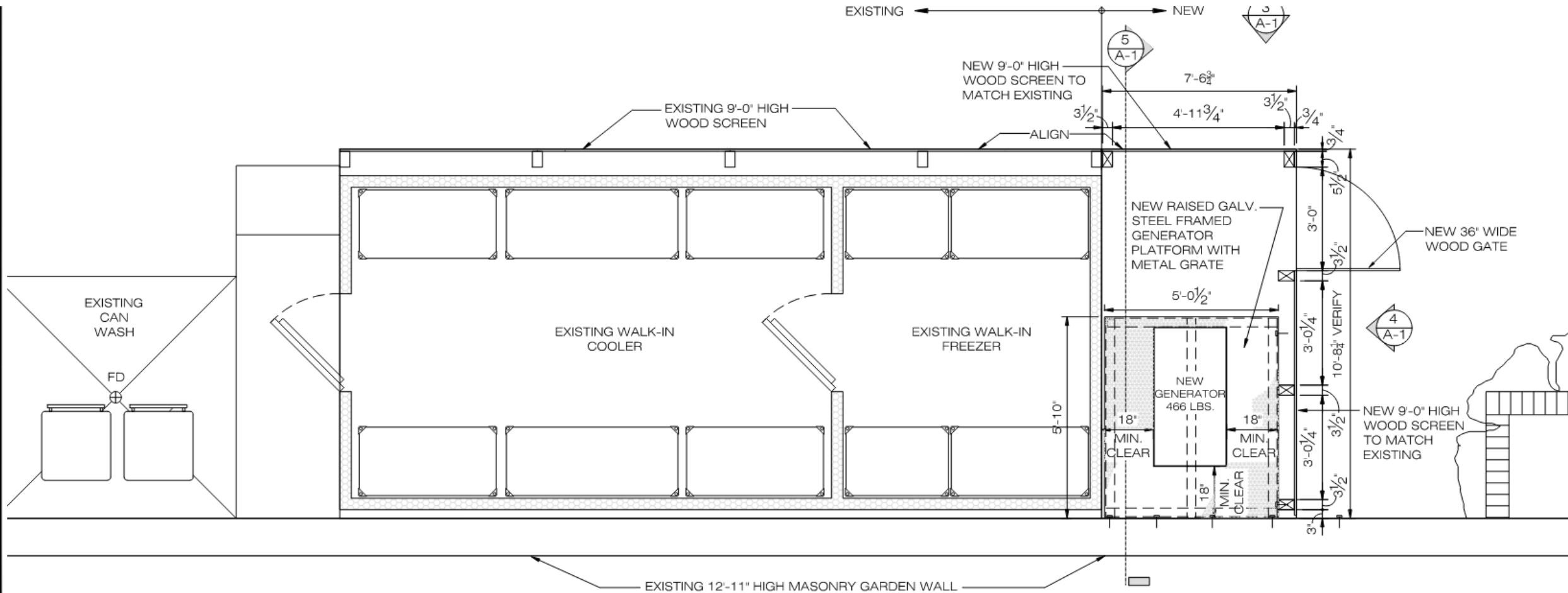
Existing Aerial Photo

529 Bienville

VCC Architectural Committee

July 10, 2018





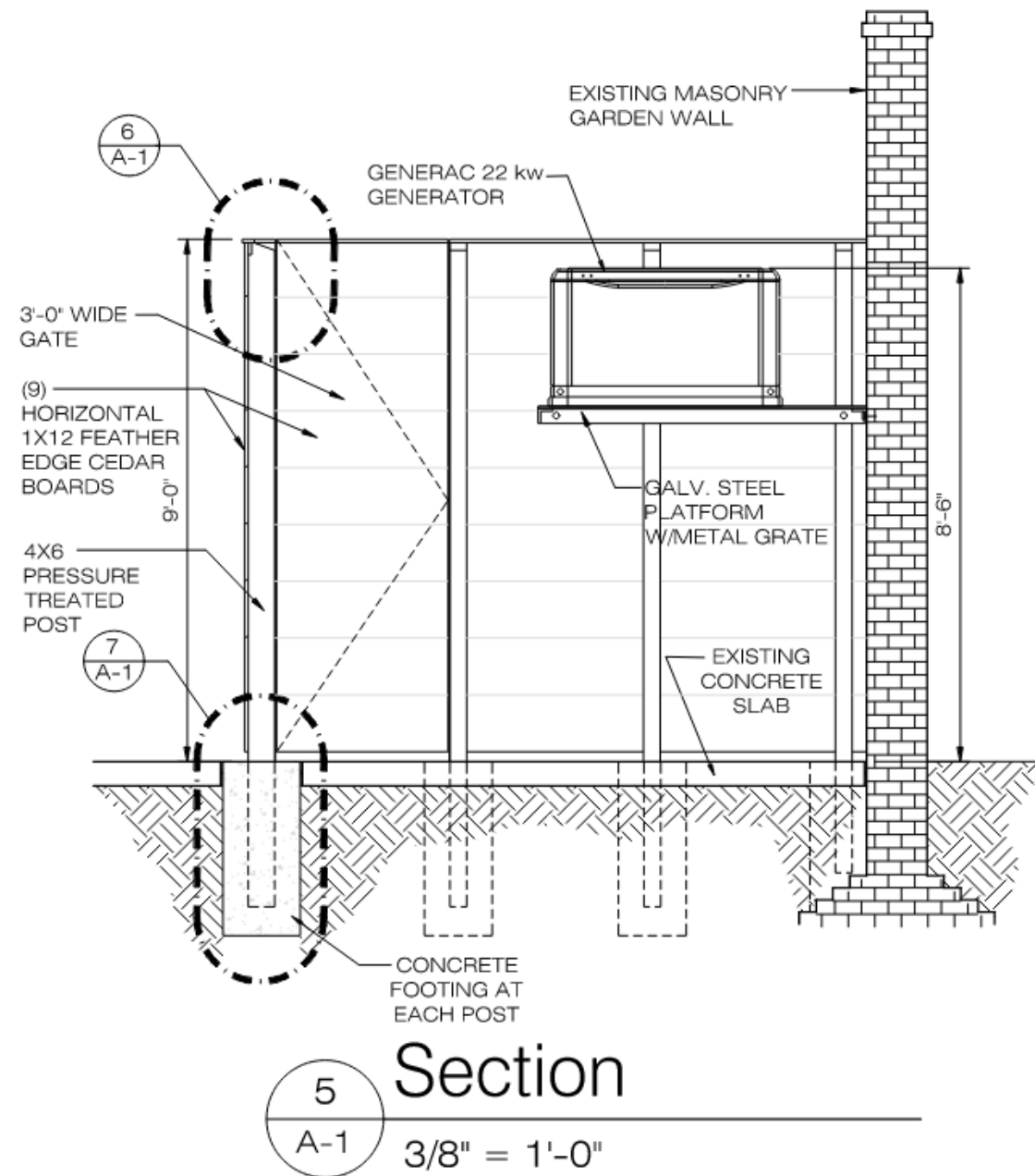
2 Enlarged Plan
A-1 3/8" = 1'-0"

529 Bienville

VCC Architectural Committee

July 10, 2018



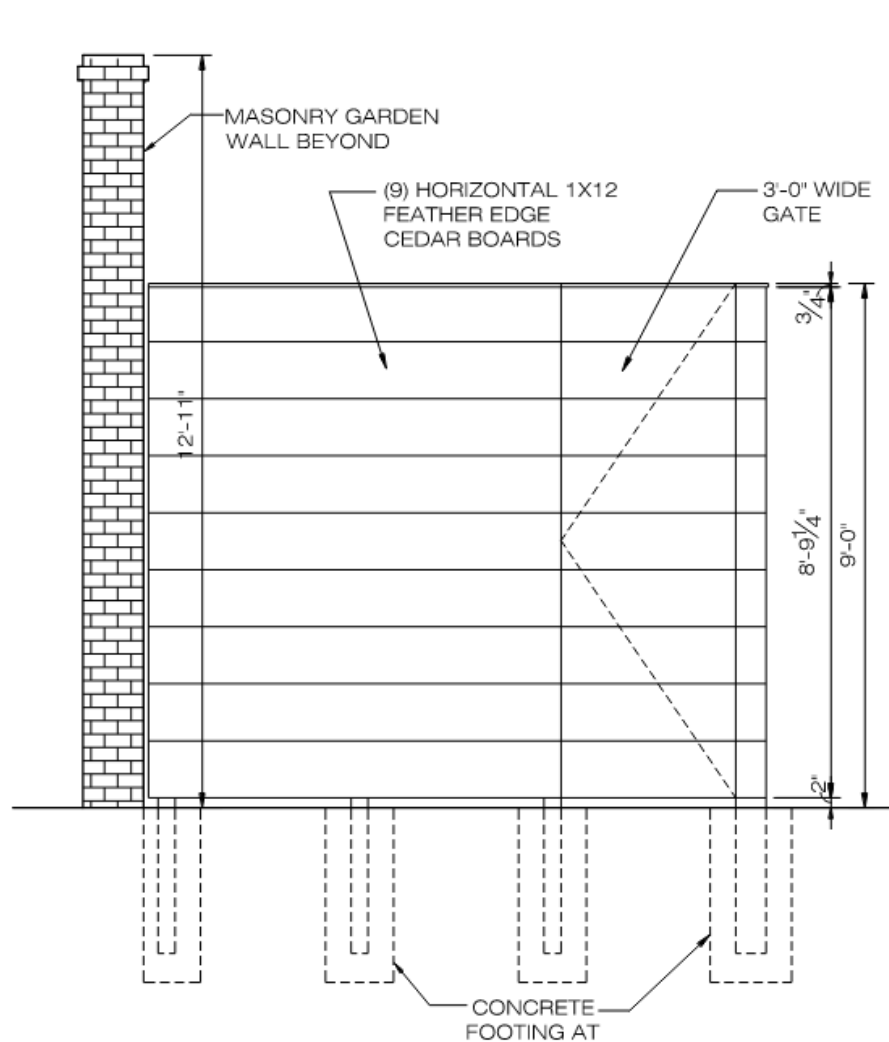


529 Bienville

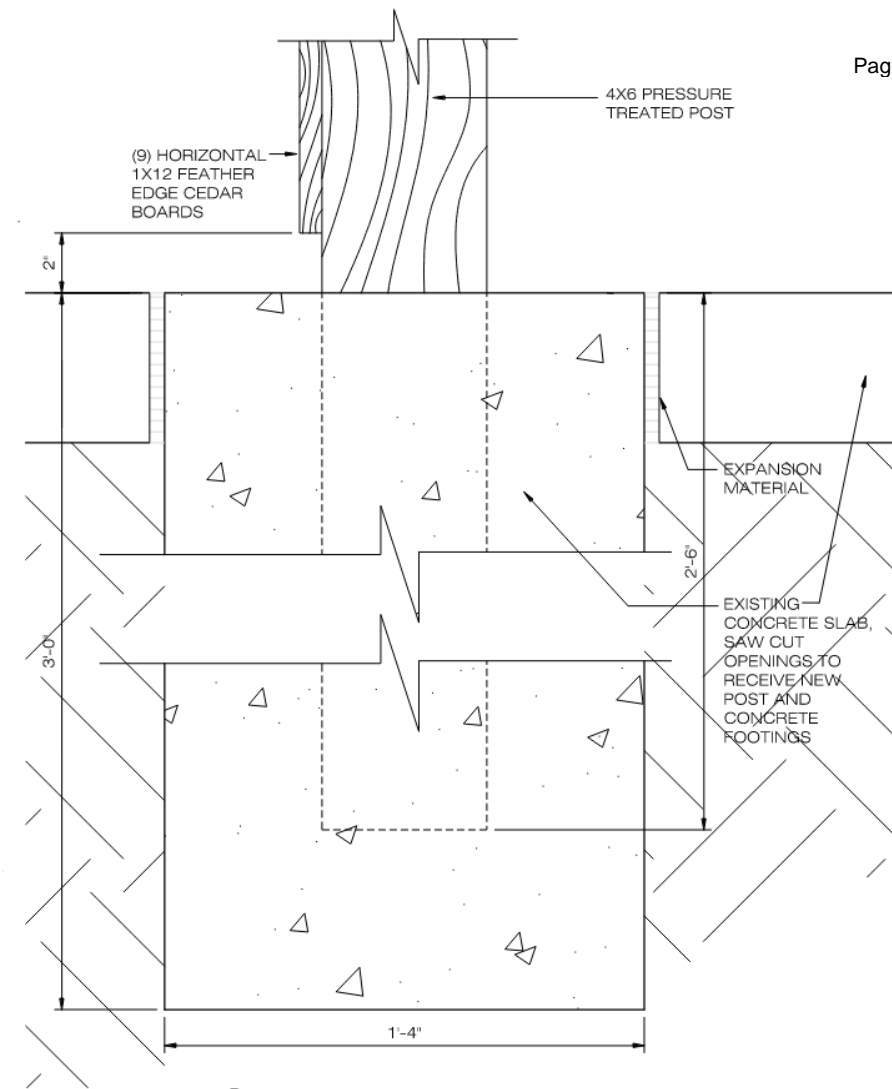
VCC Architectural Committee

July 10, 2018

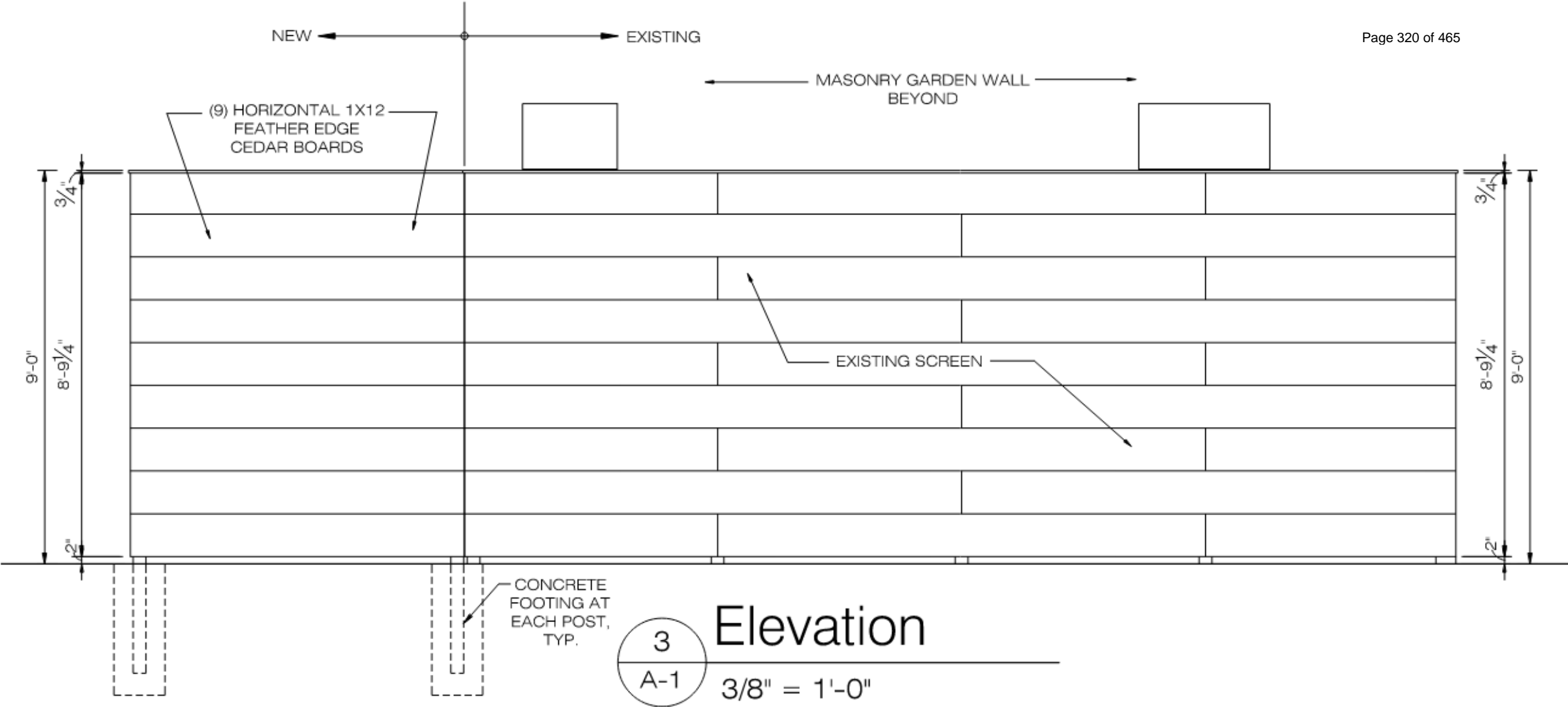


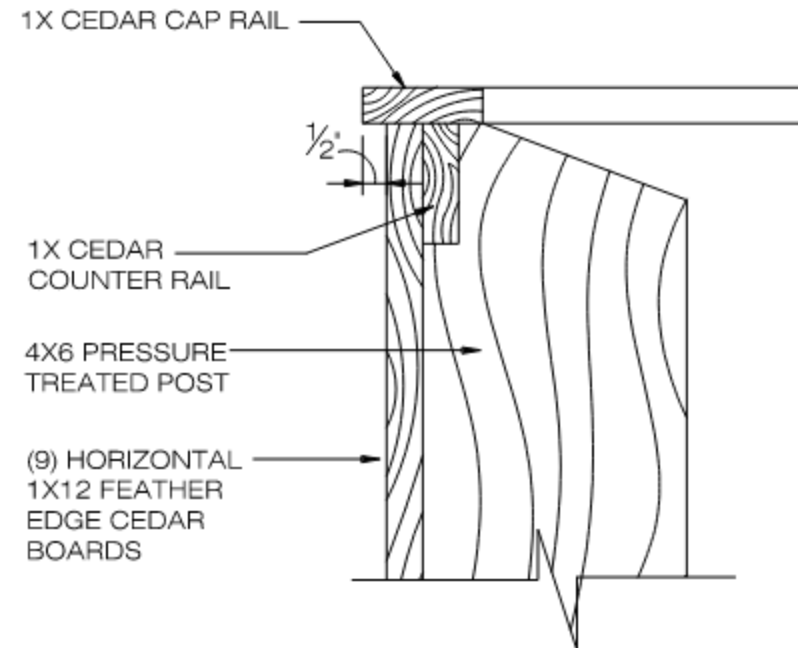


4
A-1
Elevation
3/8" = 1'-0"



7
A-1
Screen Detail
3" = 1'-0"





6 Screen Detail
A-1
3" = 1'-0"

20/22/24 kW

GENERAC®

GUARDIAN® SERIES

Residential Standby Generators

Air-Cooled Gas Engine

20/22/24 kW

1 of 6

INCLUDES:

- True Power™ Electrical Technology
 - Two-line multilingual digital LCO Evolution™ controller (English/Spanish/French/Portuguese)
 - 200 amp service rated transfer switch available
 - Electronic governor
 - Standard Wi-Fi® connectivity
 - System status & maintenance interval LED indicators
 - Sound attenuated enclosure
 - Flexible fuel line connector
 - Natural gas or LP gas operation
 - 5 Year limited warranty
 - Listed and labeled for installation as close as 18 in (457 mm) to a structure.*
- *Must be located away from doors, windows, and fresh air intakes and in accordance with local codes.

Standby Power Rating
G007038-1, G007039-1, G007038-3, G007039-3 (Aluminum - Bisque) - 20 kW 60 Hz
G007042-10, G007042-11, G007043-10, G007043-11 (Aluminum - Bisque) - 22 kW 60 Hz
G007209-10, G007210-10 (Aluminum - Bisque) - 24 kW 60 Hz



Product shown with optional transfer kit



Note: ETL or UL certification only applies to unbundled units and units packaged with limited circuit switches. Units packaged with the Smart Switch are ETL or UL certified in the USA only.

FEATURES

- **INNOVATIVE ENGINE DESIGN & RIGOROUS TESTING:** are at the heart of Generac's success in providing the most reliable generators possible. Generac's G-Force engine lineup offers added peace of mind and reliability for when it's needed the most. The G-Force series engines are purpose built and designed to handle the rigors of extended run times in high temperatures and extreme operating conditions.
- **TRUE POWER™ ELECTRICAL TECHNOLOGY:** Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.
- **TEST CRITERIA:**
 - ✓ **PROTOTYPE TESTED**
 - ✓ **SYSTEM TORSIONAL TESTED**
 - ✓ **NEMA MG1-22 EVALUATION**
 - ✓ **MOTOR STARTING ABILITY**
- **SOLID-STATE, FREQUENCY COMPENSATED VOLTAGE REGULATION:** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. Digital voltage regulation at $\pm 1\%$.
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES:** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is that the GENERAC product line is offered with its own transfer systems and controls for total system compatibility.
- **MOBILE LINK® CONNECTIVITY:** FREE with select Guardian Series Home standby generators, Mobile Link Wi-Fi allows users to monitor generator status from anywhere in the world using a smartphone, tablet, or PC. Easily access information such as the current operating status and maintenance alerts. Users can connect an account to an authorized service dealer for fast, friendly, and proactive service. With Mobile Link, users are taken care of before the next power outage.



20/22/24 kW

GENERAC®

Specifications

Generator

Model	G007038-1 G007039-1 (20 kW)	G007042-10 G007043-10 (22 kW)	G007038-3 G007039-3 (20 kW)	G007042-11 G007043-11 (22 kW)	G007209-10 G007210-10 (24 kW)
Rated maximum continuous power capacity (LP)	20,000 Watts*	22,000 Watts*	20,000 Watts*	22,000 Watts*	24,000 Watts*
Rated maximum continuous power capacity (NG)	18,000 Watts*	19,500 Watts*	18,000 Watts*	19,500 Watts*	21,000 Watts*
Rated voltage	240	240	240	240	240
Rated maximum continuous load current - 240 volts (LPMG)	83.3 / 75.0	91.7 / 81.3	83.3 / 75.0	91.7 / 81.3	100 / 87.5
Total Harmonic Distortion	Less than 5%	Less than 5%	Less than 5%	Less than 5%	Less than 5%
Main line circuit breaker	90 amp	100 amp	90 amp	100 amp	100 amp
Phase	1	1	1	1	1
Number of motor poles	2	2	2	2	2
Rated AC frequency	60 Hz	60 Hz	60 Hz	60 Hz	60 Hz
Power factor	1.0	1.0	1.0	1.0	1.0
Battery requirement (not included)	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum
Unit weight (lb / kg)	445 / 203	466 / 211	436 / 196	445 / 202	455 / 206
Dimensions (L x W x H) in / cm	48 x 25 x 29 / 121.9 x 63.5 x 73.7	48 x 25 x 29 / 121.9 x 63.5 x 73.7	48 x 25 x 29 / 121.9 x 63.5 x 73.7	48 x 25 x 29 / 121.9 x 63.5 x 73.7	48 x 25 x 29 / 121.9 x 63.5 x 73.7
Sound output in dB(A) at 23 ft (7 m) with generator operating at normal load**	67	67	67	67	67
Sound output in dB(A) at 23 ft (7 m) with generator in Quiet-Test™ low-speed exercise mode**	55	57	55	57	57
Exercise duration	5 min	5 min	5 min	5 min	5 min

Engine

Engine type	GENERAC G-Force 1000 Series
Number of cylinders	2
Displacement	990 cc
Cylinder block	Aluminum w/ cast iron sleeve
Valve arrangement	Overhead valve
Ignition system	Solid-state w/ magneto
Governor system	Electronic
Compression ratio	9.5:1
Starter	12 VDC
Oil capacity including filter	Approx. 1.9 qt / 1.8 L
Operating rpm	3,600
Fuel consumption	
Natural gas	
1/2 Load	204 (5.78)
Full Load	301 (8.52)
Liquid propane	
1/2 Load	87 (2.37) (8.98)
Full Load	130 (3.56) (13.48)
1/2 Load	92 (2.53) (9.57)
Full Load	142 (3.90) (14.77)
1/2 Load	164 (4.54)
Full Load	287 (8.13)
1/2 Load	203 (5.75)
Full Load	306 (8.66)

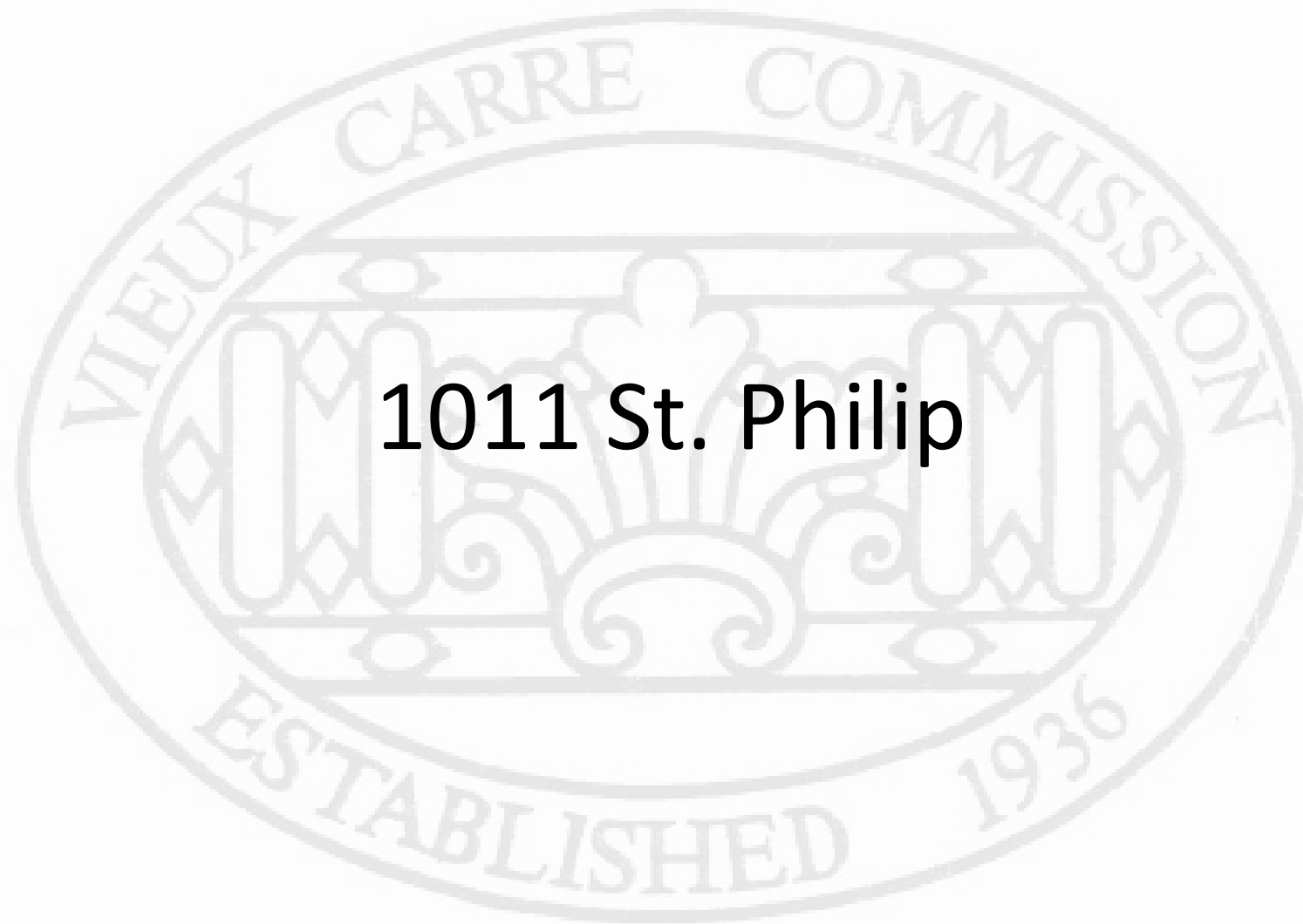
Note: Fuel pipe must be sized for full load. Required fuel pressure to generator fuel inlet at all load ranges - 3.5-7 in water column (0.87-1.74 kPa) for NG, 10-12 in water column (2.49-2.99 kPa) for LP gas. For BTU content, multiply $\text{ft}^3/\text{hr} \times 2500$ (LP) or $\text{ft}^3/\text{hr} \times 1000$ (NG). For megajoule content, multiply $\text{m}^3/\text{hr} \times 93.15$ (LP) or $\text{m}^3/\text{hr} \times 37.26$ (NG).

Controls

Two-line plain text multilingual LCD	Simple user interface for ease of operation.
Mode buttons: AUTO	Automatic start on utility failure. Weekly, Bi-weekly, or Monthly selectable exercise.
MANUAL	Start with starter control, unit stays on, if utility fails, transfer to load takes place.
OFF	Stops unit. Power is removed. Control and charger still operate.
Ready to Run/Maintenance messages	Standard
Engine run hours indication	Standard
Programmable start delay between 2-1500 seconds	Standard (programmable by dealer only)
Utility Voltage Loss/Return to Utility adjustable (brownout setting)	From 140-171 V / 190-216 V
Future Set Capable Exercise/Exercise Set Error warning	Standard
Run/Alarm/Maintenance logs	50 events each
Engine start sequence	Cyclic cranking: 16 sec on, 7 rest (30 sec maximum duration).
Starter lock-out	Starter cannot re-engage until 5 sec after engine has stopped.
Smart Battery Charger	Standard
Charger Fault/Missing AC warning	Standard
Low Battery/Battery Problem Protection and Battery Condition indication	Standard
Automatic Voltage Regulation with Over and Under Voltage Protection	Standard
Under-Frequency/Overload/Stopper Overcurrent Protection	Standard
Safety Fault/Fuse Problem Protection	Standard
Automatic Low Oil Pressure/High Oil Temperature Shutdown	Standard
Overcrank/Overload (at 72 Hz) rpm Sense Loss Shutdown	Standard
High Engine Temperature Shutdown	Standard
Internal Fault/Incorrect Wiring protection	Standard
Common external fault capability	Standard
Field upgradable firmware	Standard

Rating definitions - Optional Standby: Applicable for supplying backup power for the duration of the utility power outage with correct maintenance performed. No overload capability is available for this rating.
* All ratings in accordance with B55514, ISO9046, UL2200, and ANSI711.
** Maximum kilowatt amps and current are subject to and limited by such factors as fuel BTU/megajoule content, ambient temperature, altitude, engine power and condition, etc. Maximum power decreases approximately 3.5% for each 1,000 ft (304.8 m) above sea level, and also will decrease approximately 1% for each 10 °F (6 °C) above 60 °F (16 °C).
*** Sound levels are taken from the front of the generator. Sound levels taken from other sides of the generator may be higher depending on installation parameters.





1011 St. Philip



1011 St. Philip

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July 12, 2022





1011 St. Philip

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1011 St. Philip – 1949

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1011 St. Philip - 1962

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1011 St. Philip – 1988

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1011 St. Philip – 2003

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1011 St. Philip – c. 2005

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1011 St. Philip

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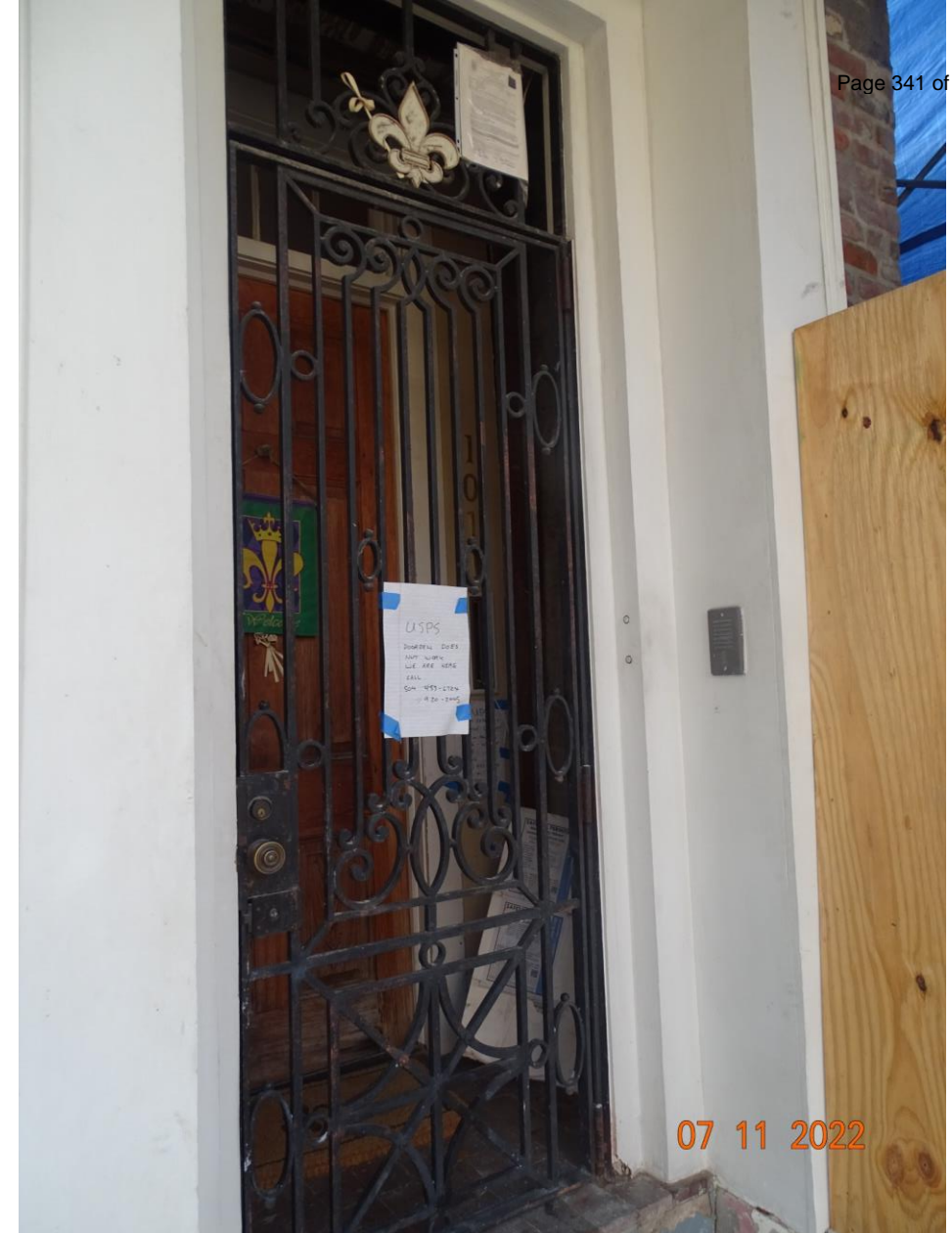


1011 St. Philip

VCC Architectural Committee

July 12, 2022





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July 12, 2022



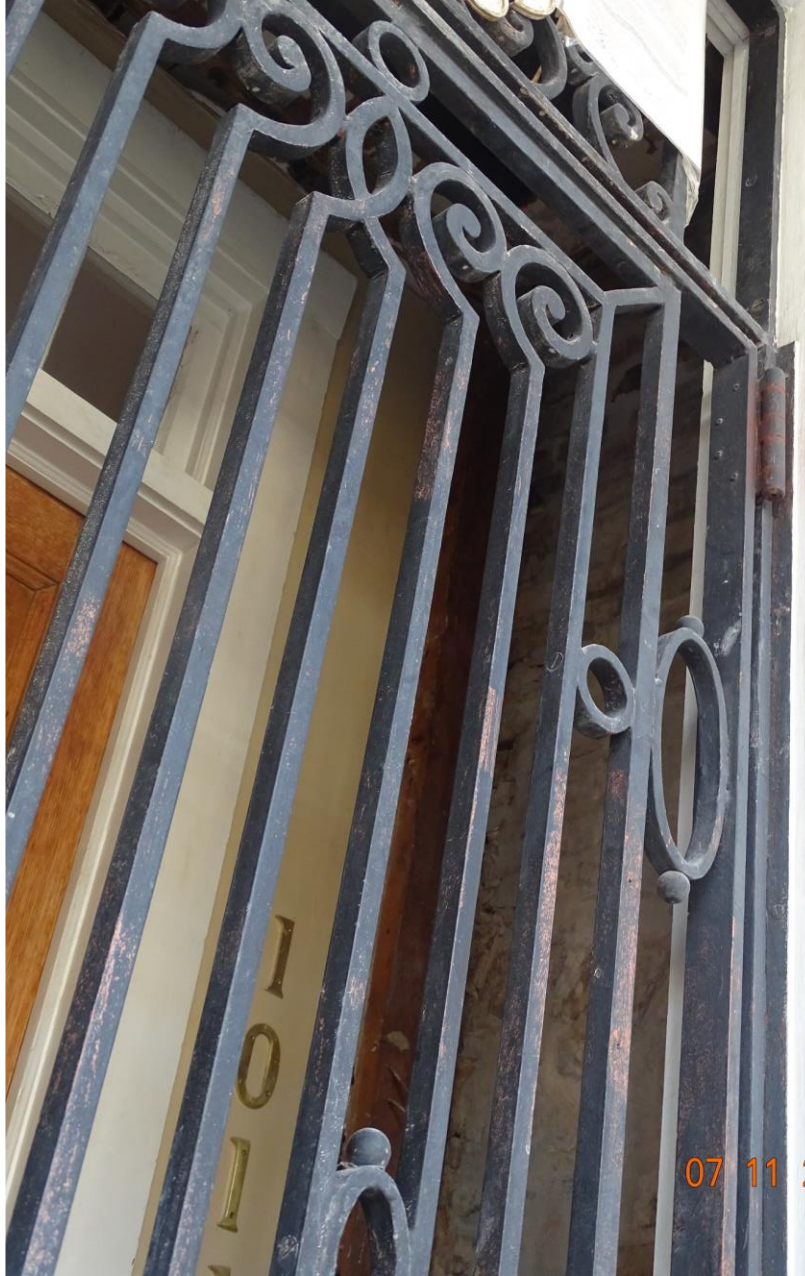


1011 St. Philip

VCC Architectural Committee

July 12, 2022



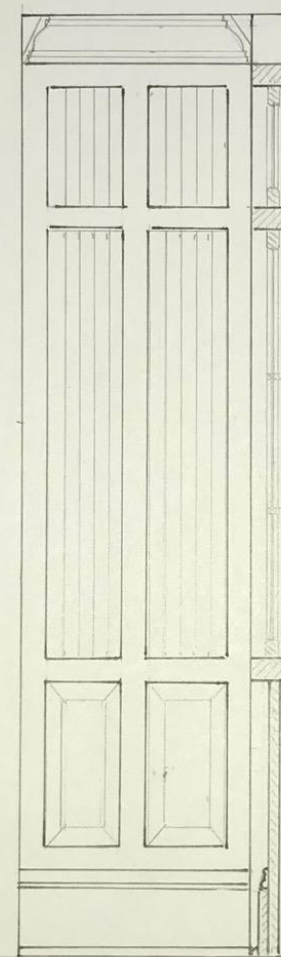
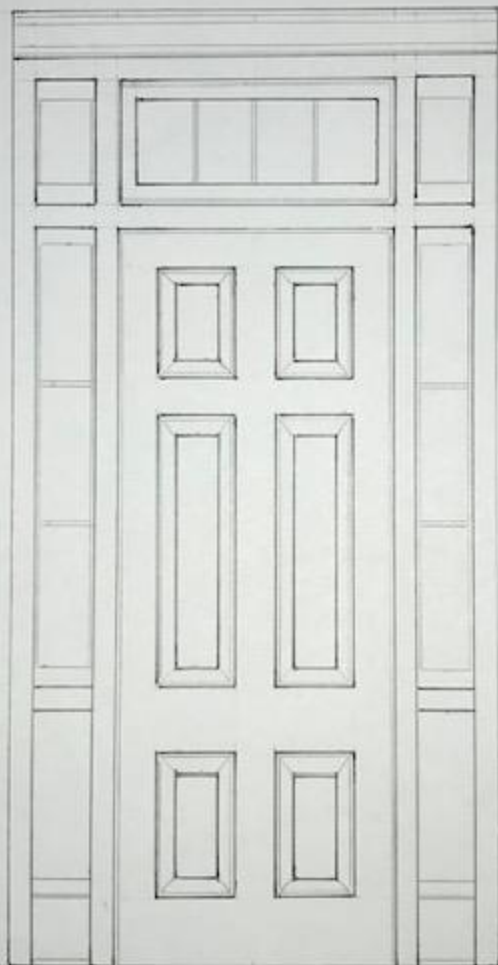


1011 St. Philip

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July 12, 2022



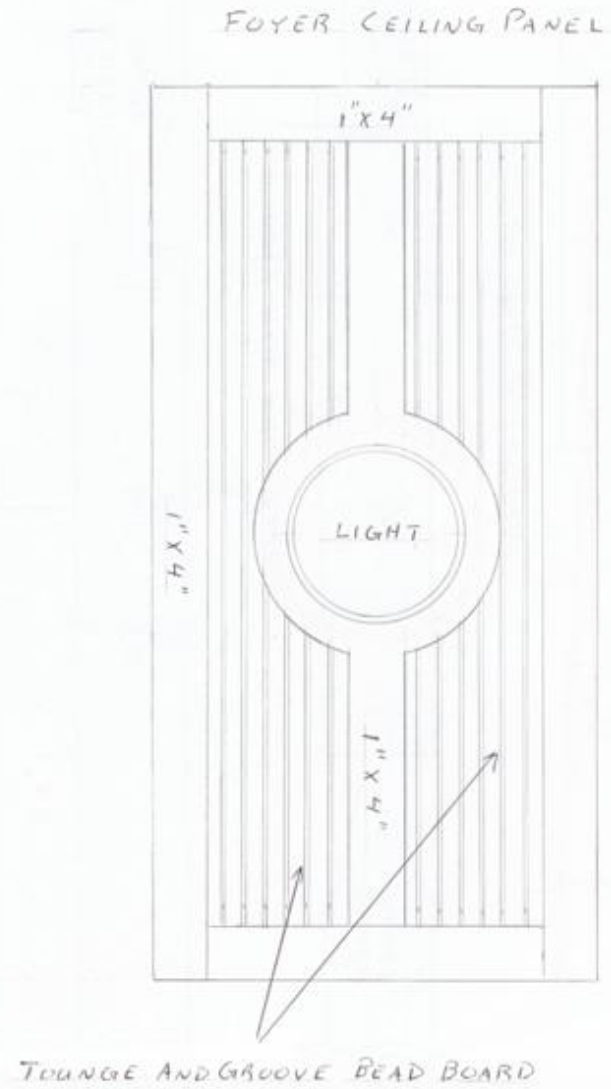


1011 St. Philip

VCC Architectural Committee

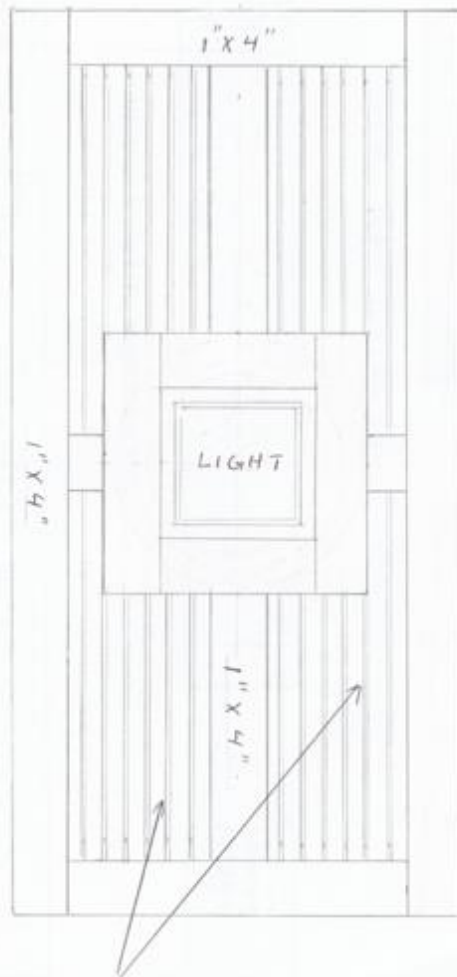
July 12, 2022





own in Bronze.

FOYER CEILING PANEL



TONGUE AND GROOVE BEAD BOARD

NATURE SERIES

Page 346 of 465

2-SIDED CEILING FLUSH



Handmade flush mount electric light fixture adds some discreet beauty and illumination to any area.

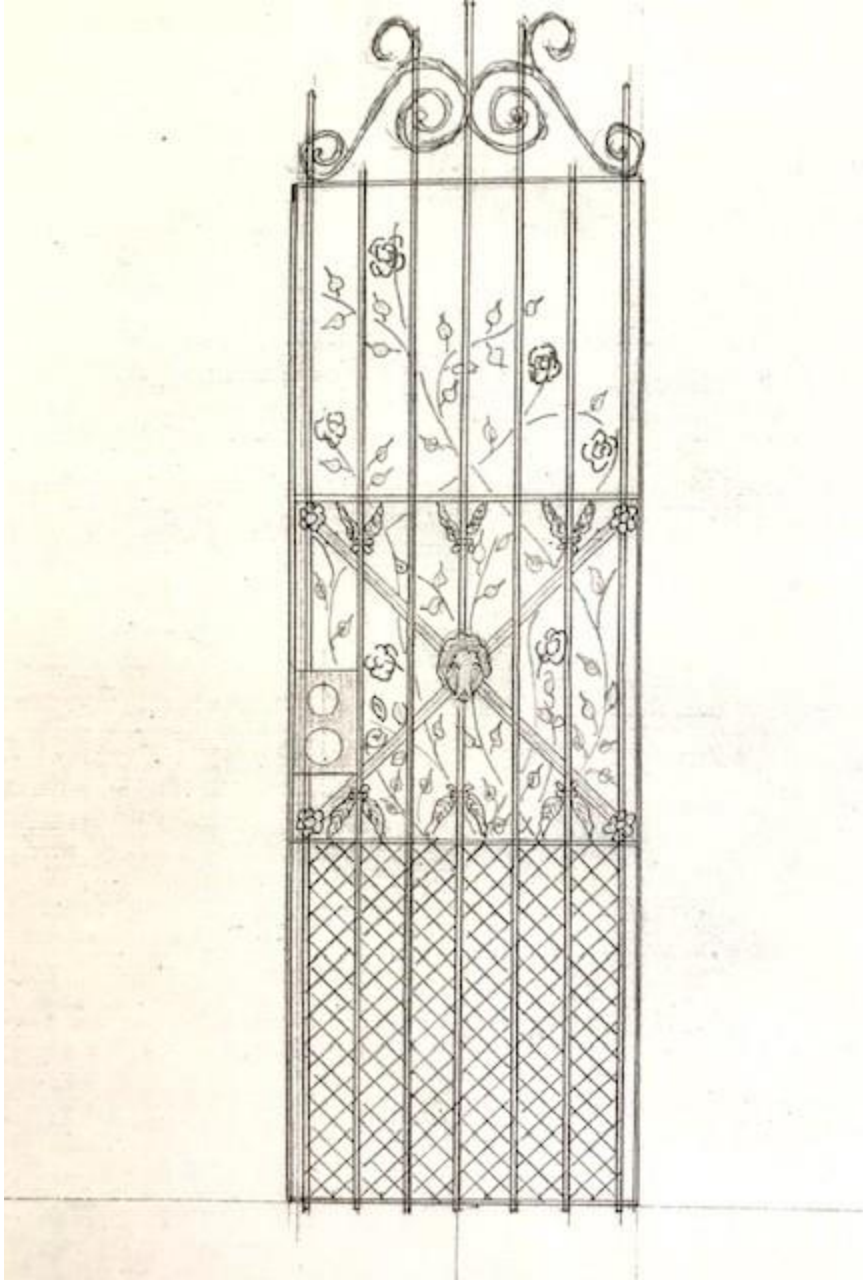


1011 St. Philip

VCC Architectural Committee

July 12, 2022





1011 St. Philip

VCC Architectural Committee

July 12, 2022





1011 St. Philip

VCC Architectural Committee

July 12, 2022





521 St. Louis



521 St. Lou
VCC Architect





521 St. Louis

VCC Architectural Committee

July 12, 2022





521 St. Louis

VCC Architectural Committee

July 12, 2022





521 St. Louis – c. 1858

VCC Architectural Committee

July 12, 2022





521 St. Louis

VCC Architectural Committee

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521 St. Louis

VCC Architectural Committee

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521 St. Louis

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July 12, 2022





521 St. Louis

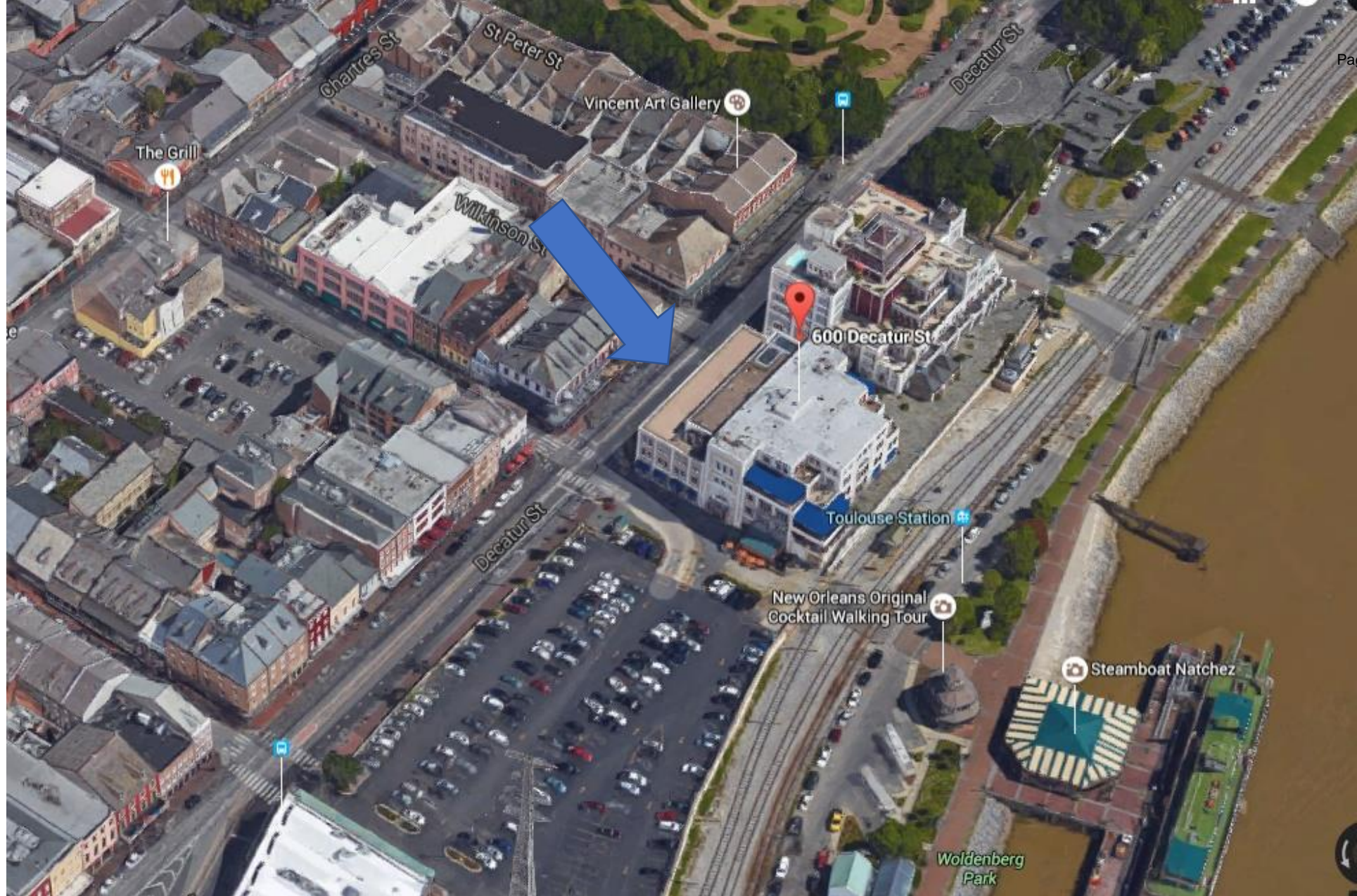
VCC Architectural Committee

July 12, 2022



The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center of the seal features a stylized architectural design, including a central fleur-de-lis and vertical columns with decorative elements.

600 Decatur

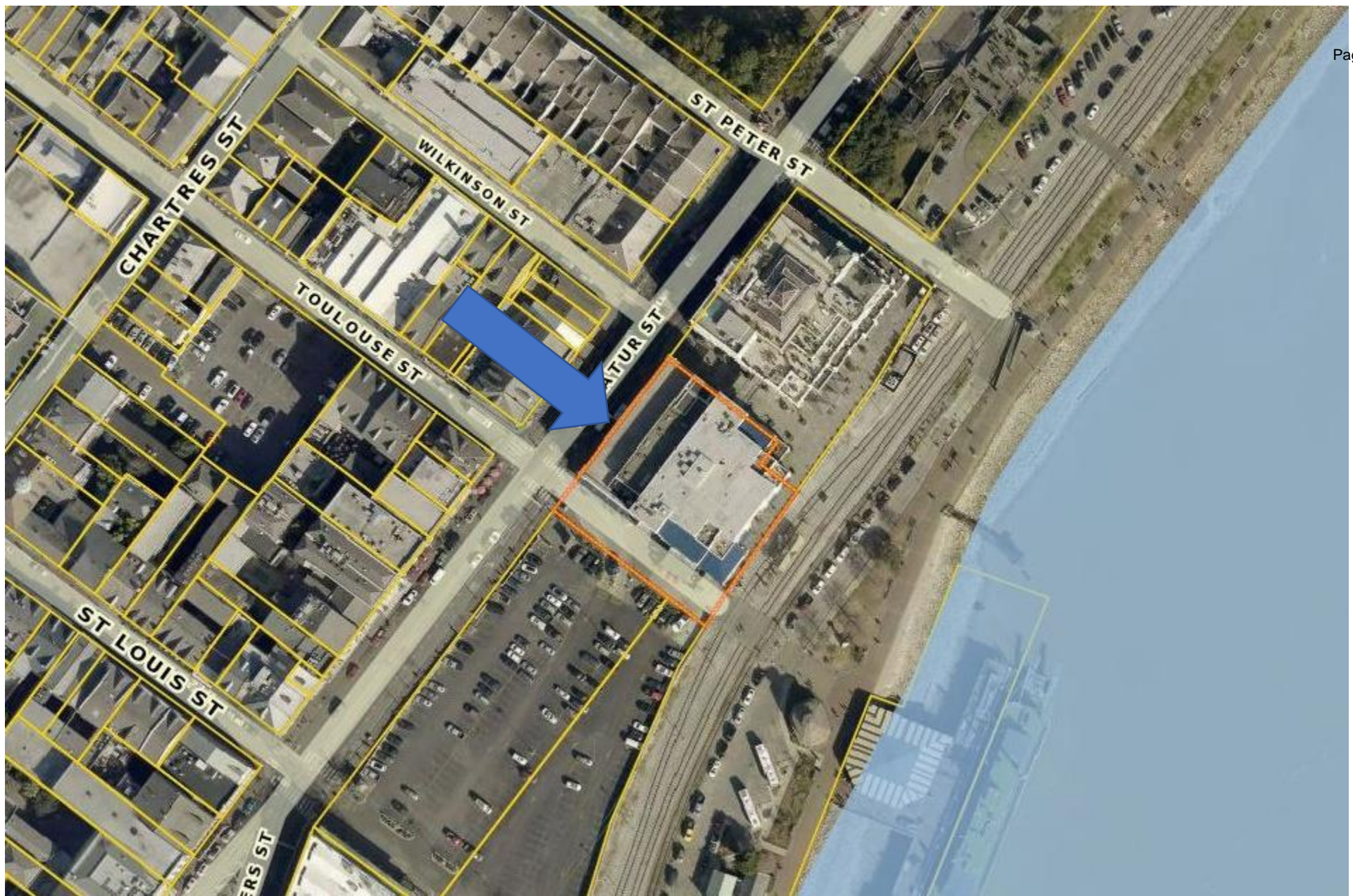


600 Decatur

VCC Architectural Committee

July 12, 2022



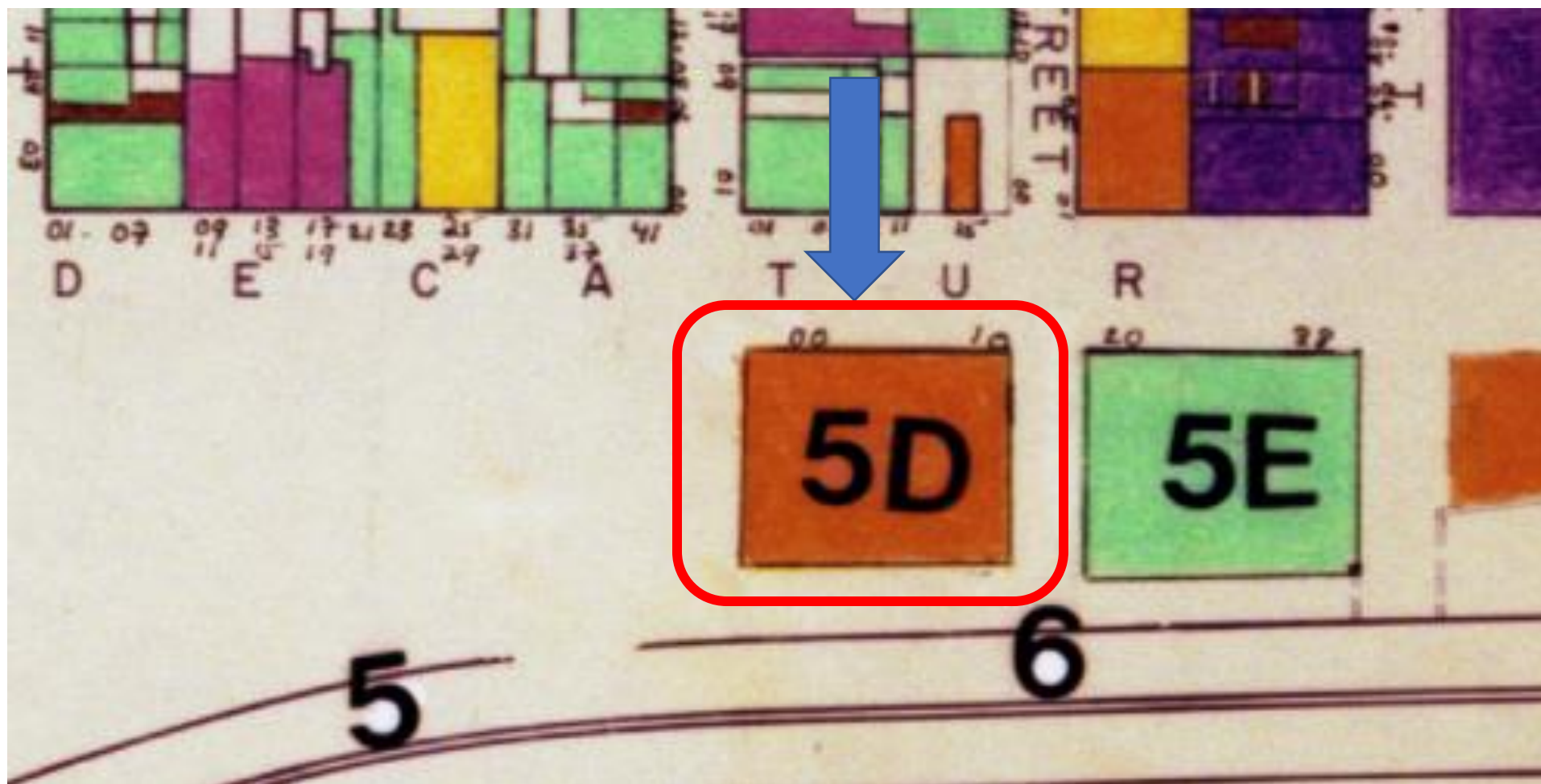


600 Decatur

VCC Architectural Committee

July 12, 2022





600 Decatur

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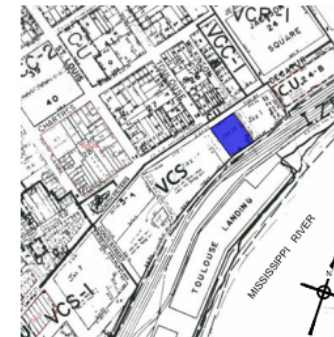
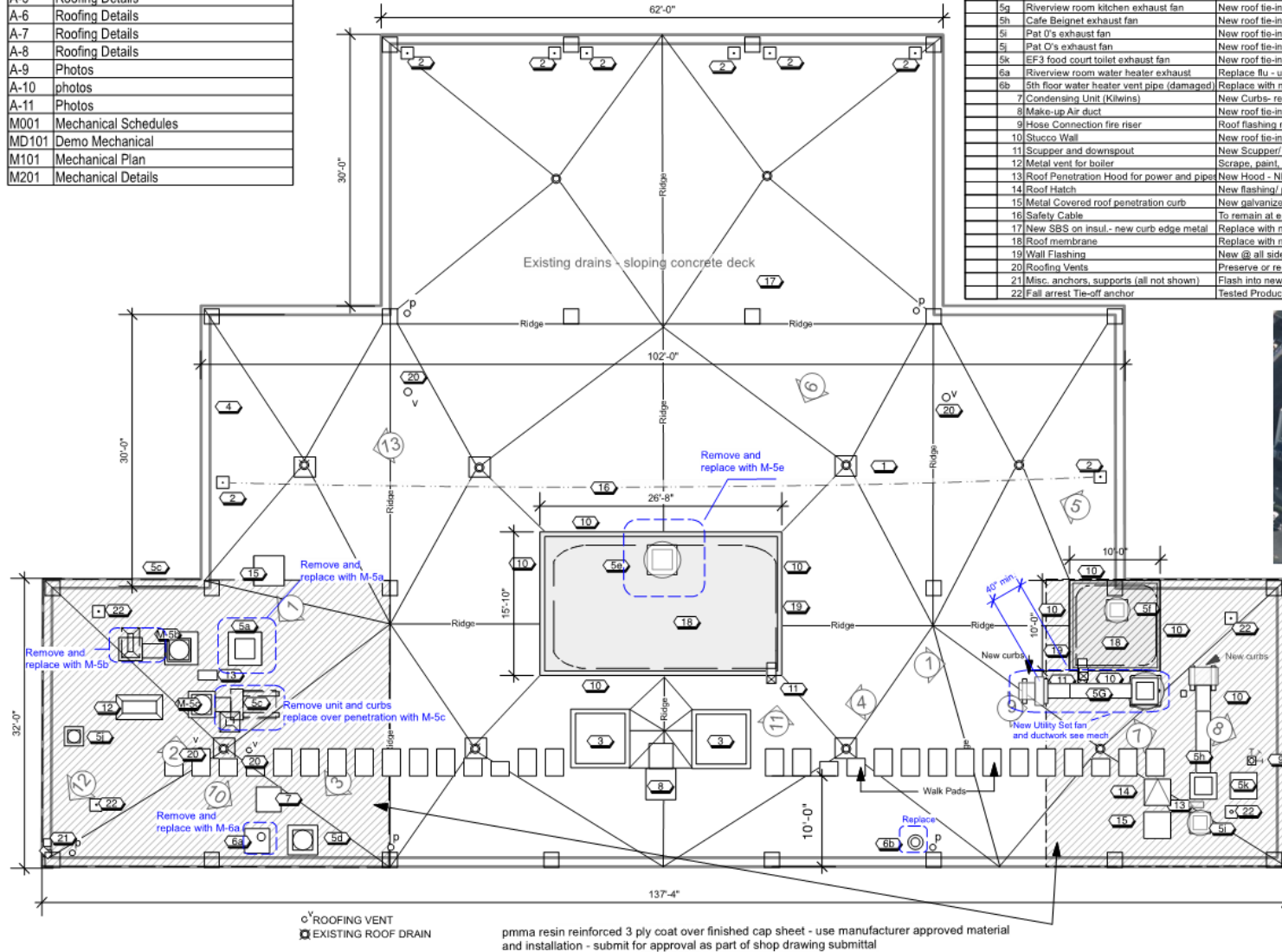
July 12, 2022



A-1	Roof Plan
A-2	Wind - uplift diagram and criteria
A-3	Roofing Details
A-4	Roofing Details
A-5	Roofing Details
A-6	Roofing Details
A-7	Roofing Details
A-8	Roofing Details
A-9	Photos
A-10	photos
A-11	Photos
M001	Mechanical Schedules
MD101	Demo Mechanical
M101	Mechanical Plan
M201	Mechanical Details

JAX BREWERY MILLHOUSE
600 DECATUR STREET
NEW ROOF OVER 5TH FLOOR

	1	Existing Roof Drain	Tie into new roof on new tapered insulation
	2	Existing protection anchor	Cut off and replace with new thru bolted to slab(see 22)
	3	Existing louvered ventilator monitor	Curb flashing.
	4	New Perimeter curb and flashing	New blocking and flashing
	5a	Mens rm Exhaust Fan (damaged)	Replace with new to match specs of exist.
1.2 a7	5b	206b exhaust fan	Remove exist fan ducts and curbs - replace with new mushroom per mech.
1.2 a7	5c	206c exhaust fan	Remove exist fan ducts and curbs - replace with new mushroom per mech.
	5d	EF-11 Natural gas fan	New roof tie-in + curb flashing
	5e	Elevator exhaust fan (damaged)	Replace with new to match specs of exist.
	5f	Elevator exhaust fan	New roof tie-in + curb flashing
	5g	Reviewview room kitchen exhaust fan	New roof tie-in + curb flashing
	5h	Cafe Beignet exhaust fan	New roof tie-in + curb flashing
	5i	Pat O's exhaust fan	New roof tie-in + curb flashing
	5j	Pat O's exhaust fan	New roof tie-in + curb flashing
	5k	EF3 food court toilet exhaust fan	New roof tie-in + curb flashing
	6a	Reviewview room water heater exhaust	Replace flu - utilize Hot pipe Curb Flashing on new penetration cover- galvanized
	6b	5th floor water heater vent pipe (damaged)	Replace with new to meet NMC and NFPA (12")
	7	Condensing Unit (Kilwins)	New Curbs- re-set electrical disconnect
	8	Make-up Air duct	New roof tie-in flashing
	9	Hose Connection fire riser	Roof flashing m- scrape and paint
	10	Stucco Wall	New roof tie-in flashing - re-paint
	11	Scupper and downspout	New Scupper/ new downspout
	12	Metal vent for boiler	Scrape, paint, New tie in flashing
	13	Roof Penetration Hood for power and pipes	New Hood - NRCA detail closure around pipes
	14	Roof Hatch	New flashing/ paint
	15	Metal Covered roof penetration curb	New galvanized 20ga sheetmetal cover- raise curb to accommodate cant detail
	16	Safety Cable	To remain at end of job
	17	New SBS on insul - new curb edge metal	Replace with new SBS wind rated assembly
	18	Roof membrane	Replace with new assembly and edge metal
	19	Wall Flashing	New @ all sides of penthouse walls
	20	Roofing Vents	Preserve or replace and install with new roof
	21	Misc. anchors, supports (all not shown)	Flash into new roofing per roof mfg details
	22	Fall arrest Tie-off anchor	Tested Product: 12" tall- 16x16 base- thru-bolt



600 DECATUR, NEW ORLEANS, LOUISIANA 70130
BLOCK JAX 2A LOT 2A SQ PT JAX2A DECATUR AND TOULOUSE
NEIGHBORHOOD CONSERVATION DISTRICT
ZONING: VCS
BOUNDING STREETS: WILKINSON, TOULOUSE DECATUR, RIVER
Ordinance: New Orleans, Code of Ordinances,
Part II - Code, Chapter 166 - Vieux Carre, Sec. 166-2
CONCRETE STRUCTURE - SPRINKLERED BUILDING

[illegible]

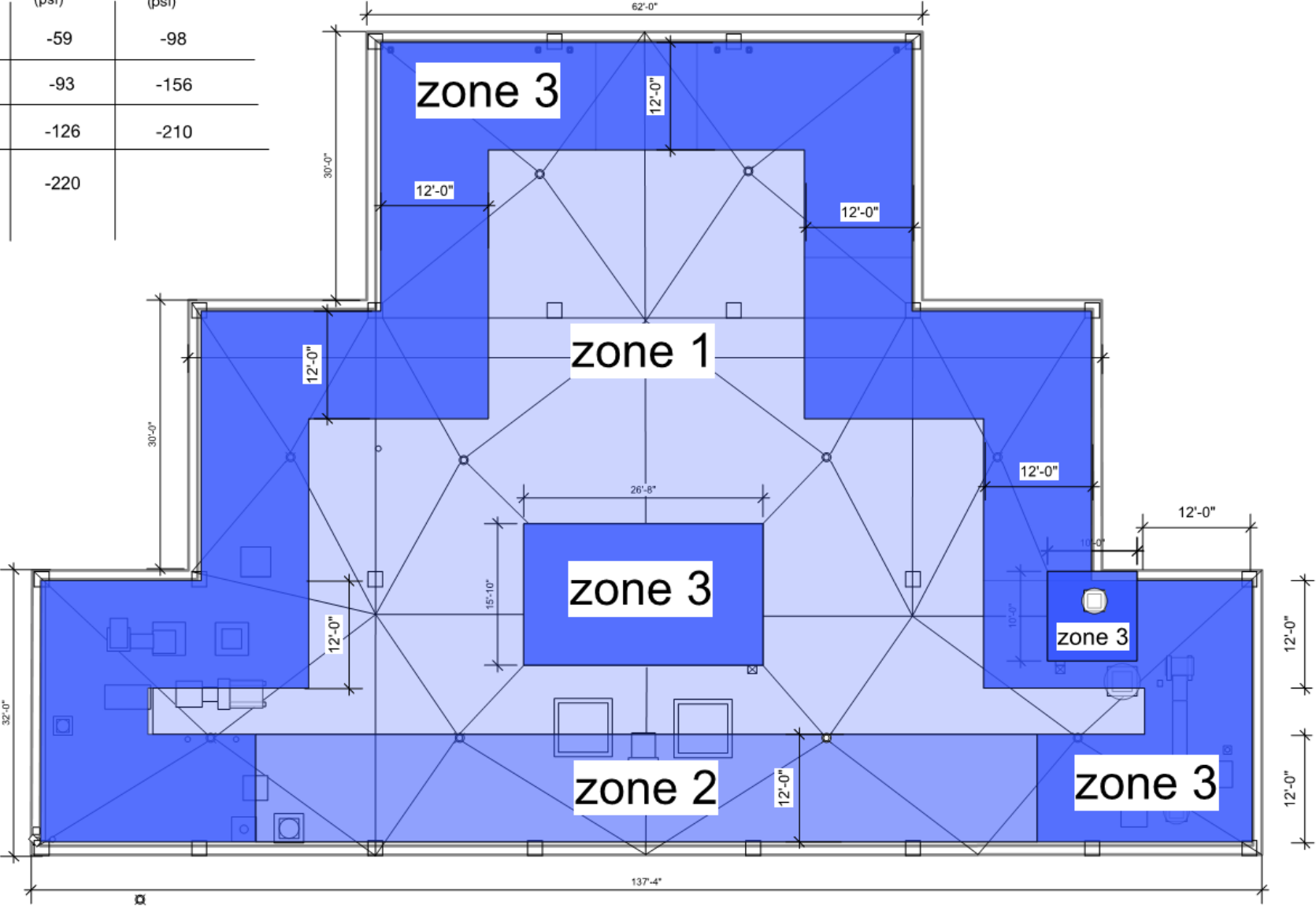
JAX Brewery Millhouse
600 Decatur Street

sheet:	Date:	Remarks:	Revisions:
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A-1



	Allowable wind (psf)	Ultimate wind (psf)
zone 1	-59	-98
zone 2	-93	-156
zone 3	-126	-210
Edge	-220	



Architect	JAX BREWERY, SUITE 212, NEW ORLEANS, LA 70138 805.441.1768 www.jaxbrewery.com		
Project	JAX Brewery Millhouse 600 Decatur Street 5th floor Roof		
Revisions:			
Remarks:			
Date:	6.15.22		
Title:	Wind Zone Plan		
Sheet:	A-2		

Edge metal to meet manufacturers anchor requirements for roof nav pressures required.

Multi-purpose MB flashing cement by system mfg.
System approved Sealant
Facia cover
Extruded anchor bar
Stainless steel fasteners spaced 12" o.c.

New wood blocking
Continue Vapor barrier under new blocking to roof edge

Existing 2 1/2" metal studs.

Existing Stucco

Remove existing Stucco return on top of beam - Cut smooth corner joint trim, Replace stucco where it is separated or cracked between reveal joint and cut surface.

3 (actual) x 12 treated wood blocking - anchor to concrete meet FM1-49 structural design guidelines

Modified Bitumen - 2 ply - Torch applied. Modified bitumen granular surface cap sheet
Base and interply sheets to conform to warranty requirements

1/2" densedeck cover board set with foam adhesive

insulation 4" total thickness (R25)- set with foam adhesive - 2 layers, Polyiso, stagger joints

Vapor barrier (existing installed over a portion of the roof - APP Hydraguard - Torch Pro) Smooth. Remove the Hydraguard and the existing roofing that remains. Scrape clean and install mfg's approved SBS membrane (prime deck as required by manufacturer) . The contractor shall provide an adhesion test of the vapor barrier application to confirm that the existing material will meet or exceed the uplift pressures and conform to the manufacturers warranty. Provide a written confirmation that it will be included in the project warranty as part of the installed system.

Post tensioned concrete deck- with existing slope to drains - verify 1/4"/ft slope

insulation adhesive - put down in ribbons per zone and manufacturers requirements to meet uplift pressures specified.

1 NEW ROOFING- SECTION
0 1 2 FT

Stucco returns over top and under roofing membrane

2 1/2" metal stud - Top track

Stucco reveal trim

3/4" wood blocking

2 1/2" metal stud furring

Stucco

Sheathing ?

Post tensioned concrete deck- sloped to drains

2 EXISTING ROOFING- SECTION
0 1 2 FT

Notes: TYPICAL

1. All roofing details to conform to appropriate published details from NRCA Roofing Manual - Membrane roof systems 2019 or later. And architectural metal flashing and condensation and air leakage control 2020. Any conflicts from published details due to existing conditions shall be brought to the attention of the consultant prior to performing any work.
2. Test for moisture content of the existing concrete deck prior to application of the vapor barrier to insure manufacturers requirements are met with respect to deck priming and max moisture content considerations. Conform to application standards setforth by the roofing manufacturer
- 3.

Architect: 400 N. PETERS, SUITE 122, NEW ORLEANS, LA 70130 504.584.1817-7442
springhouseatc.com



Project:

JAX Brewery Millhouse
600 Decatur Street
5th floor Roof

Revisions:

Remarks:

Date:

6.15.22

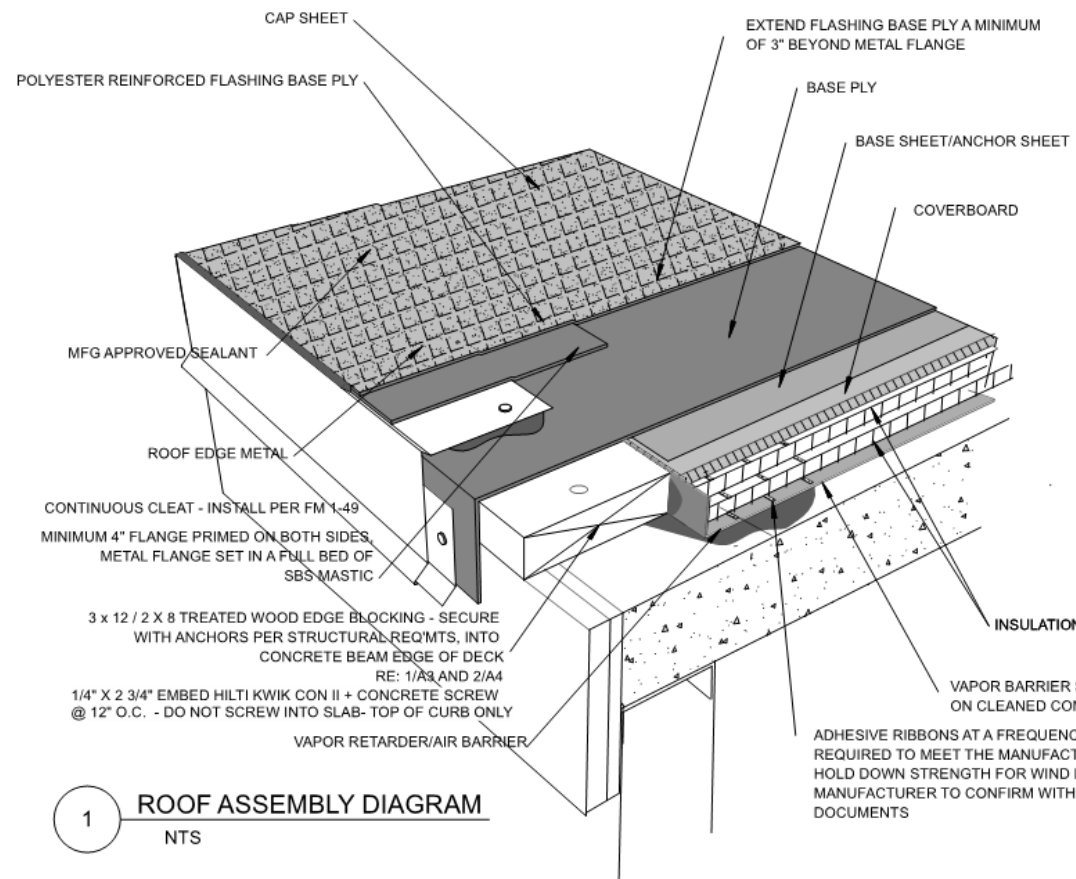
Title:

Roofing details

Sheet:

A-3

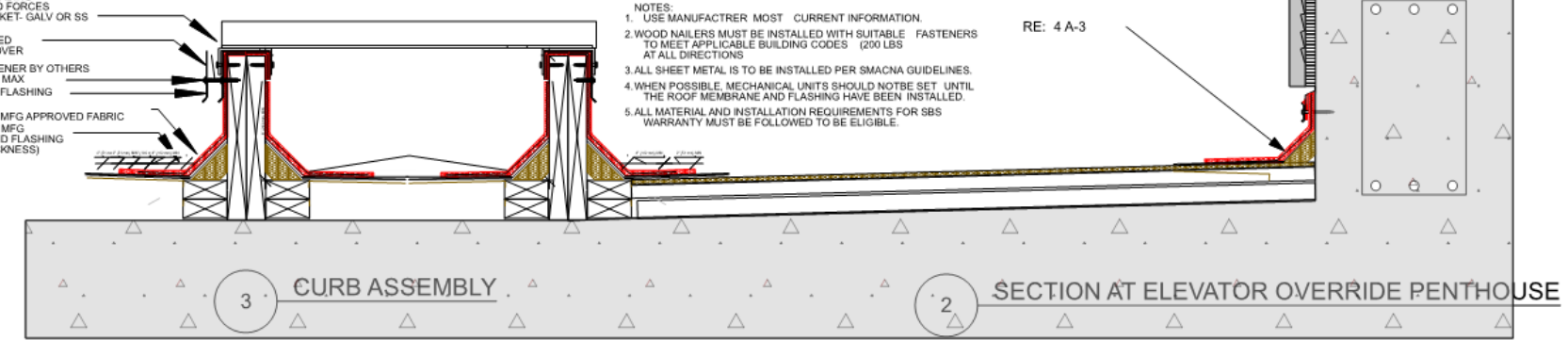




1 ROOF ASSEMBLY DIAGRAM
NTS

IMPORTANT: FASTEN ALL EQUIPMENT SUFFICIENT TO RESIST WIND LOADING PRESSURES AND FORCES U SHAPED BRACKET: GALV OR SS FASTENERS 20 GA. GALVANIZED SHEETMETAL COVER GASKETED FASTENER BY OTHERS 12" (305 mm) O.C. MAX METAL COUNTERFLASHING 3" MIN FACE ULTRAFASH OR MFG APPROVED FABRIC ULTRAFASH OR MFG APPROVED LIQUID FLASHING (30 MIL WET THICKNESS)

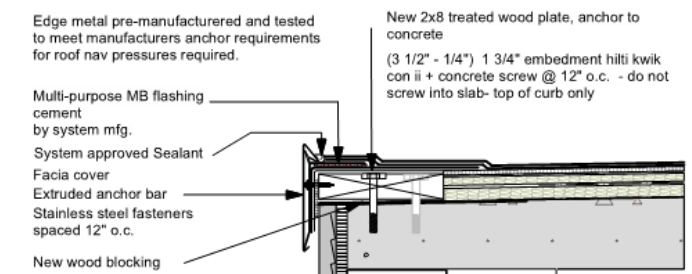
- NOTES:
1. USE MANUFACTURER MOST CURRENT INFORMATION.
 2. WOOD NAILERS MUST BE INSTALLED WITH SUITABLE FASTENERS TO MEET APPLICABLE BUILDING CODES (200 LBS AT ALL DIRECTIONS)
 3. ALL SHEET METAL IS TO BE INSTALLED PER SMACNA GUIDELINES.
 4. WHEN POSSIBLE, MECHANICAL UNITS SHOULD NOT BE SET UNTIL THE ROOF MEMBRANE AND FLASHING HAVE BEEN INSTALLED.
 5. ALL MATERIAL AND INSTALLATION REQUIREMENTS FOR SBS WARRANTY MUST BE FOLLOWED TO BE ELIGIBLE.



3 CURB ASSEMBLY

2 SECTION AT ELEVATOR OVERRIDE PENTHOUSE

- NOTES: TYPICAL
1. WOOD NAILERS MUST BE INSTALLED WITH SUITABLE FASTENERS TO MEET WIND UPLIFT GUIDELINES PER FM 1-49 FOR THE ROOF AND BUILDING CONDITIONS. (200 LBS/LINEAR FOOT MIN- ANY GIVEN DIRECTION)
 2. ALL SHEET METAL IS TO BE INSTALLED PER THE LATEST EDITION OF SMACNA GUIDELINES
 3. GRANULES MUST BE EMBEDDED WHEN THERMALLY FUSING GRANULE SURFACED CAP SHEET
 4. FLASHING LAPS MUST BE OFFSET FROM FIELD LAPS BY A MINIMUM OF 12"



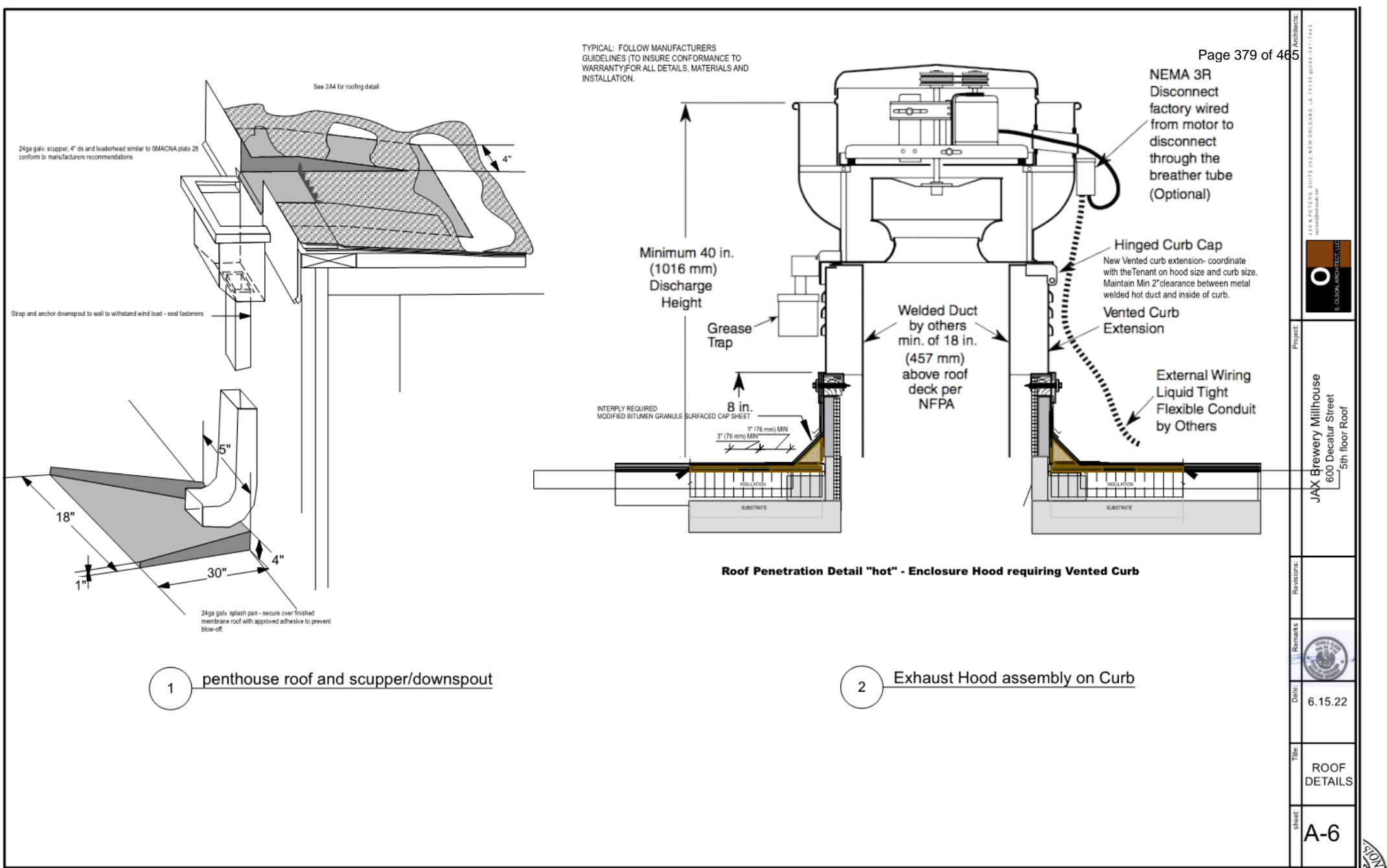
Existing wall system - finish stucco

New 2x8 treated wood plate, anchor to concrete
(3 1/2" - 1/4") 1 3/4" embedment hilti kwik con ii + concrete screw @ 12" o.c. - do not screw into slab- top of curb only

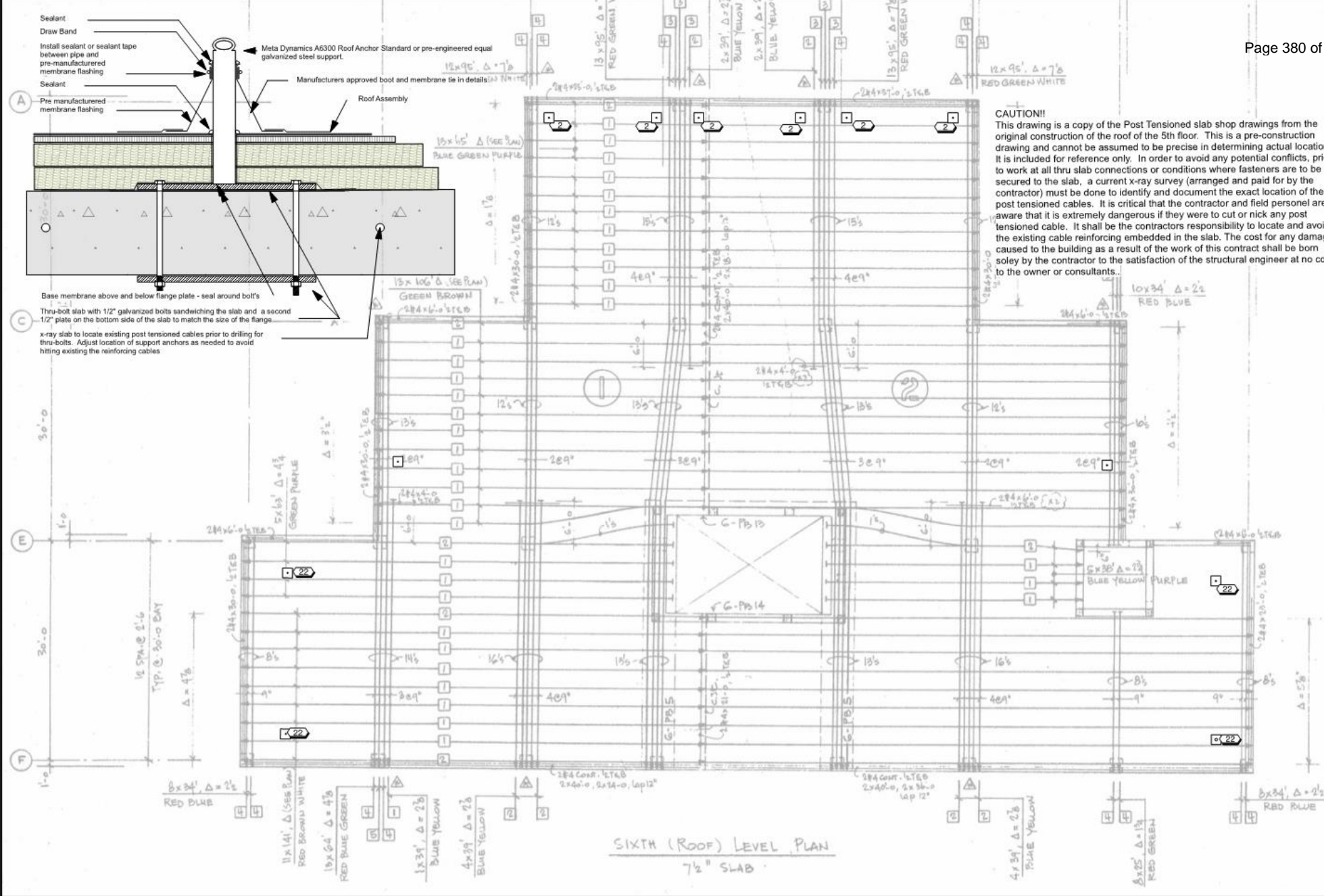
Architect	448 N. PETERS, SUITE 202, NEW ORLEANS, LA 70130 (504) 581-7445 vccarchitect.com
Project	JAX Brewery Millhouse 600 Decatur Street 5th floor Roof
Revisions	
Remarks	
Date	6.15.22
Tab	Roofing details
Sheet	A-4



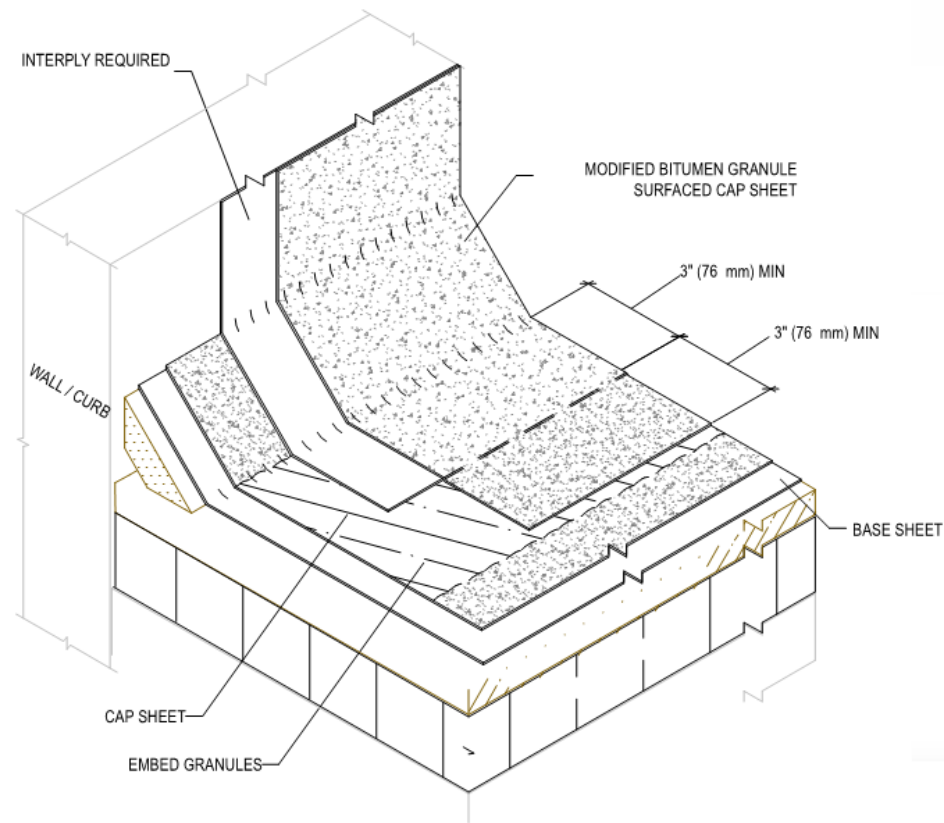




This drawing is a copy of the Post Tensioned slab shop drawings from the original construction of the roof of the 5th floor. This is a pre-construction drawing and cannot be assumed to be precise in determining actual locations. It is included for reference only. In order to avoid any potential conflicts, prior to work at all thru slab connections or conditions where fasteners are to be secured to the slab, a current x-ray survey (arranged and paid for by the contractor) must be done to identify and document the exact location of the post tensioned cables. It is critical that the contractor and field personnel are aware that it is extremely dangerous if they were to cut or nick any post tensioned cable. It shall be the contractors responsibility to locate and avoid the existing cable reinforcing embedded in the slab. The cost for any damage caused to the building as a result of the work of this contract shall be born solely by the contractor to the satisfaction of the structural engineer at no cost to the owner or consultants.

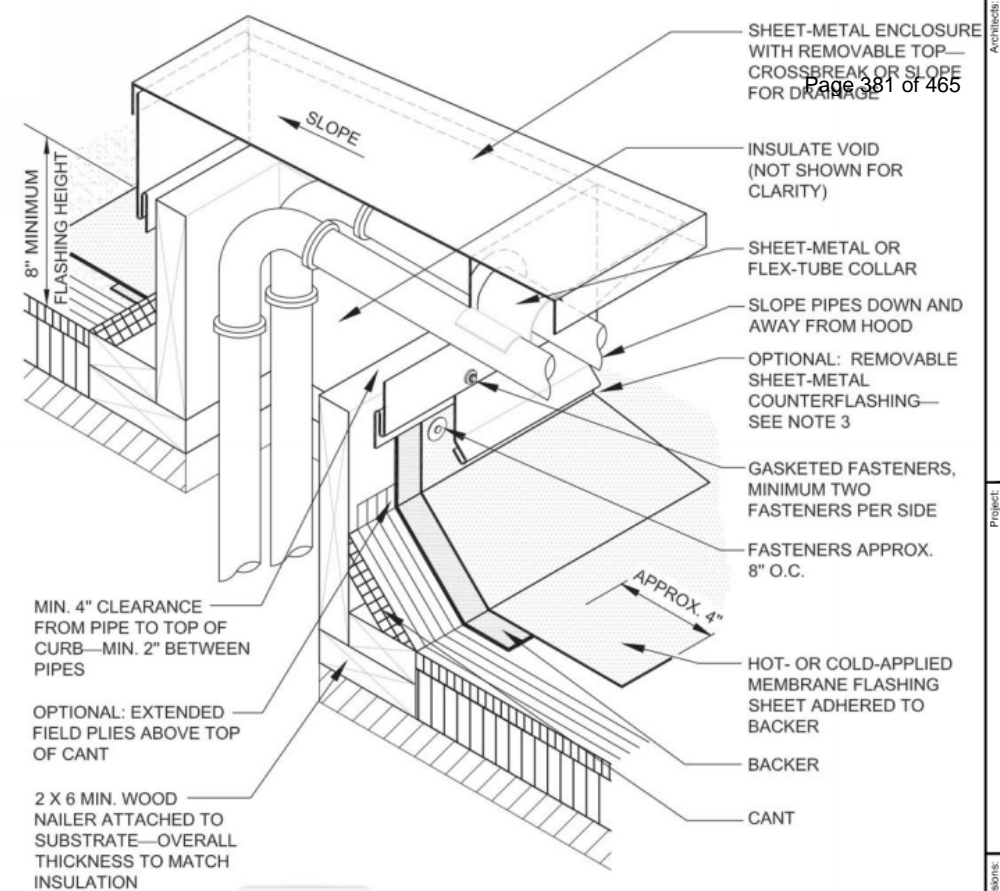


SIXTH (ROOF) LEVEL PLAN
7½" SLAB.



NOTES:

1. REFER TO MANUFACTURERS WEBSITE FOR MOST CURRENT INFORMATION.
3. GRANULES MUST BE EMBEDDED WHEN THERMALLY FUSING GRANULE SURFACED CAP SHEET.
4. FLASHING LAPS MUST BE OFFSET FROM FIELD LAPS BY A MINIMUM OF 12" (305 mm).
5. CURBS WITH NAILABLE SUBSTRATES MUST HAVE A BASE SHEET MECHANICALLY ATTACHED IN ACCORDANCE WITH THE FOLLOWING SPACING:
 UP TO 24" (305-610 mm) 9" (152 mm) ON CENTERS
 24-36" (610-914 mm) 6" (228 mm) ON CENTERS
 FIELD OF WALL ONE PER FT² (929 cm²)



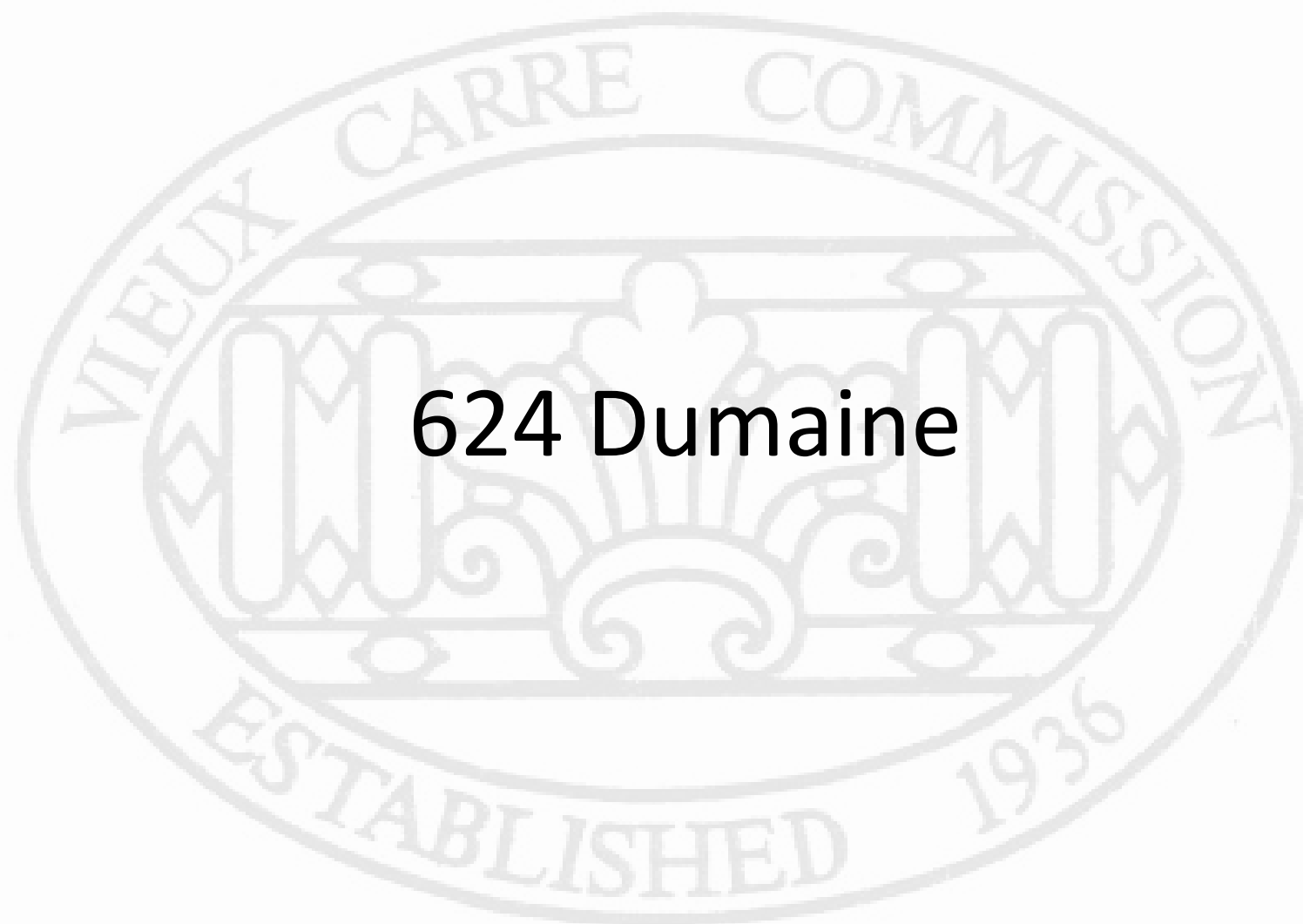
Screenshot



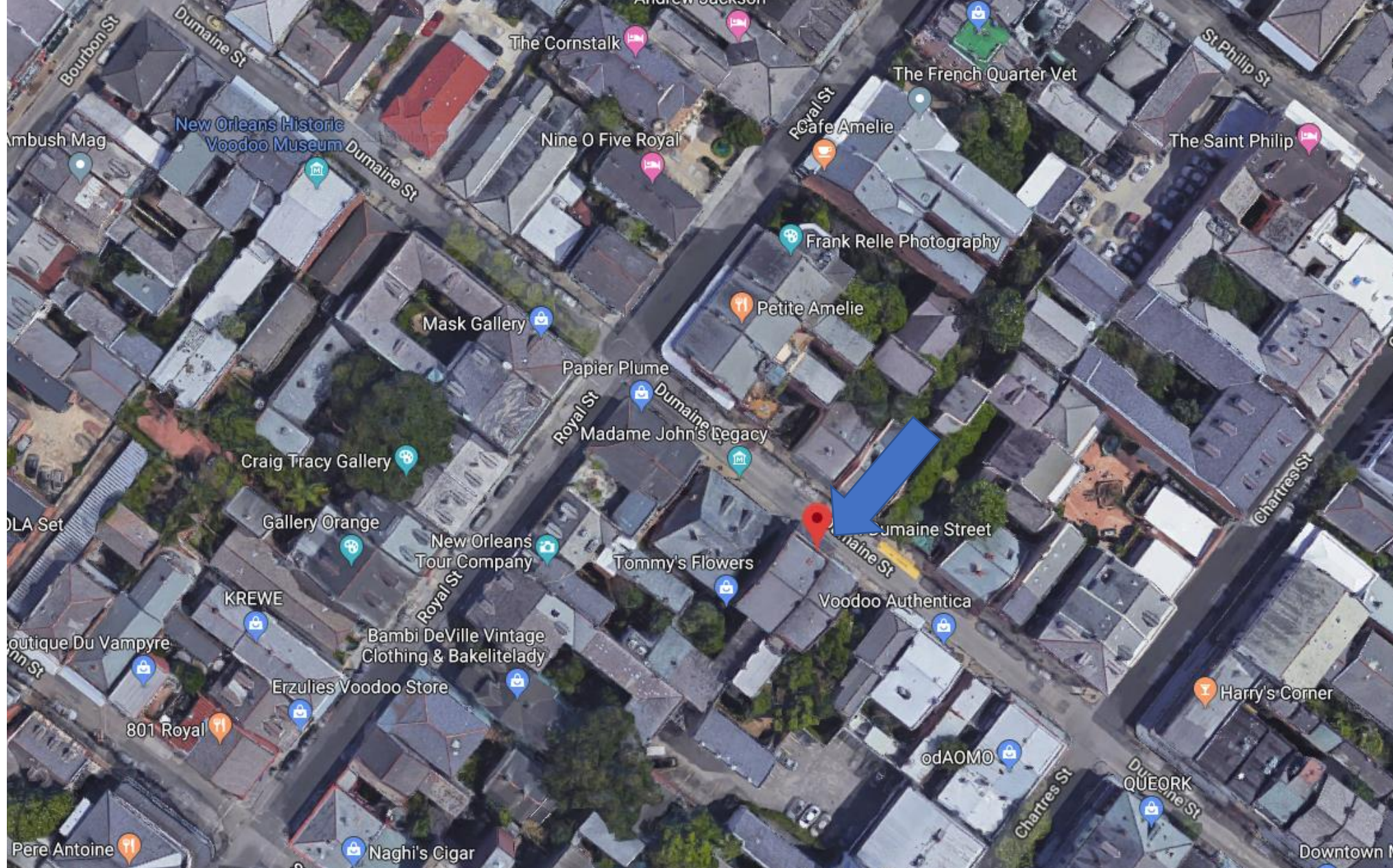


The seal of the Vieux Carre Commission is a large, faint, oval-shaped emblem in the background. It features a central shield with a stylized fleur-de-lis and other heraldic elements. The words "VIEUX CARRE COMMISSION" are arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

Appeals & Violations



624 Dumaine



624 Dumaine

VCC Architectural Committee

July 12, 2022





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July 12, 2022





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05.13.2021

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06 03 2022

July 12, 2022



Helm Paint & Decorating CANAL BLVD
624 DUMAINE EXT BRICK
Custom Color Match Rev: 06/21/2022
Mixed On: 06/21/2022

W105 - 3X (Gallon)

Y3 3x 20.2500

S1 3x 2.7500

W1 2x 2.2500

G1 0x 6.5000

Calculated match quality may not be accurately predicted



512-16 Conti





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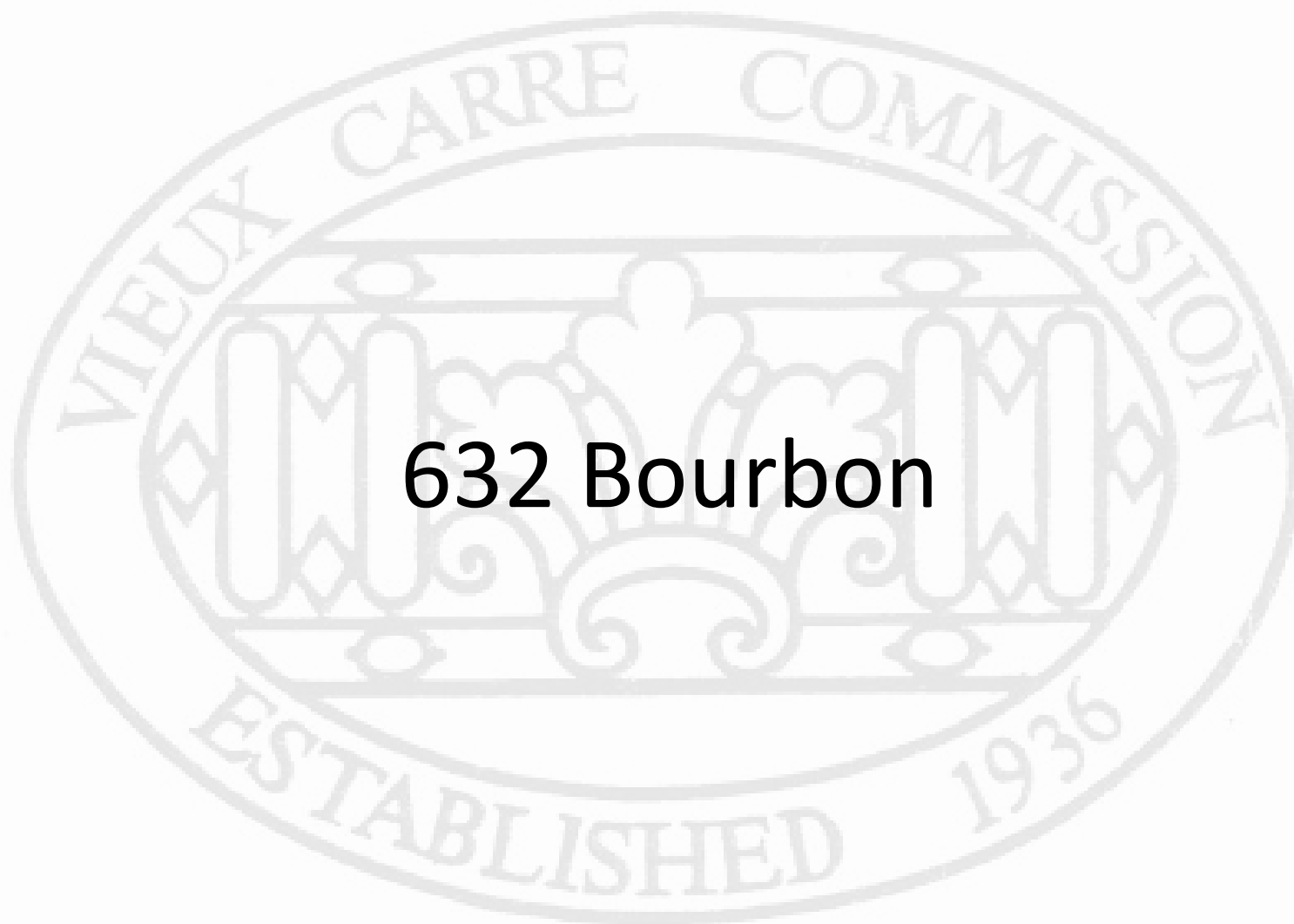
512-16 Conti

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July 12, 2022



632 Bourbon





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July 12, 2022





630 & 632 BOURBON STREET ELEVATION





630 & 632 BOURBON STREET ELEVATION



630 BOURBON STREET ELEVATION

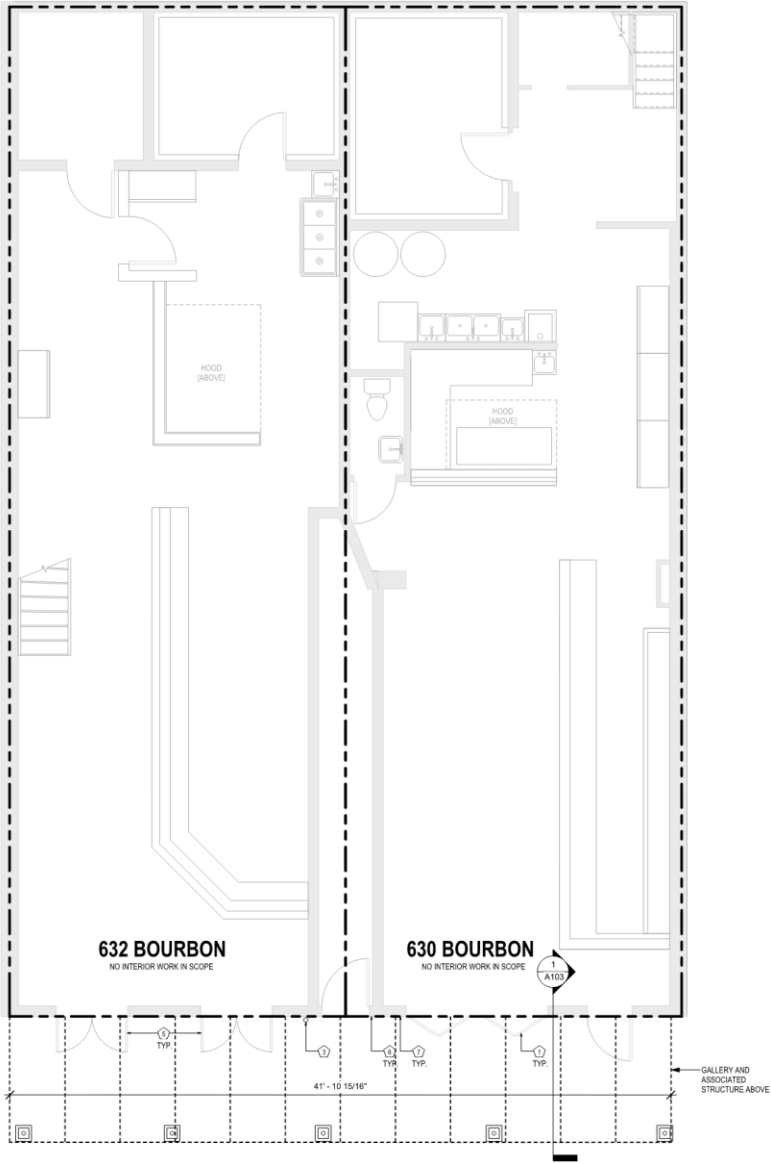


630 BOURBON STREET ELEVATION

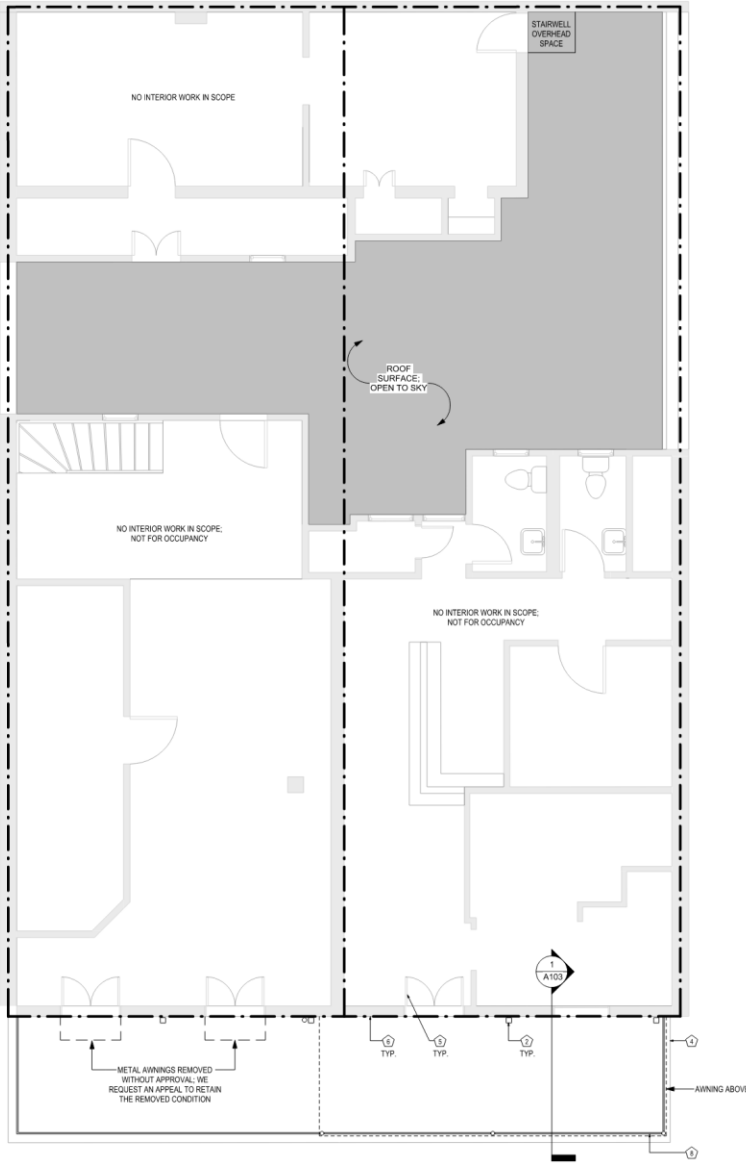
PERMIT SET		06.13.2022	
NO	REVISION	DATE	
630 & 632 BOURBON STREET		PROJECT	
630 & 632 BOURBON STREET		NEW ORLEANS, LA 70130	
21010		JOB NO	
EXISTING CONDITIONS PHOTOGRAPHS		TITLE	
SCALE		DRAWNCHK	
Author/Checker		DRAWNCHK	
		A100	
		A PROFESSIONAL CORPORATION	
1100 Poydras St. Suite 3550		NO LA 70163 504-524-4375	



6/27/2022 3:50:18 PM W:\2022\2022 - 630 & 632 Bourbon Street\01 Drawings and Working Files\01 Working Files\01 630 & 632 Bourbon Street.dwg

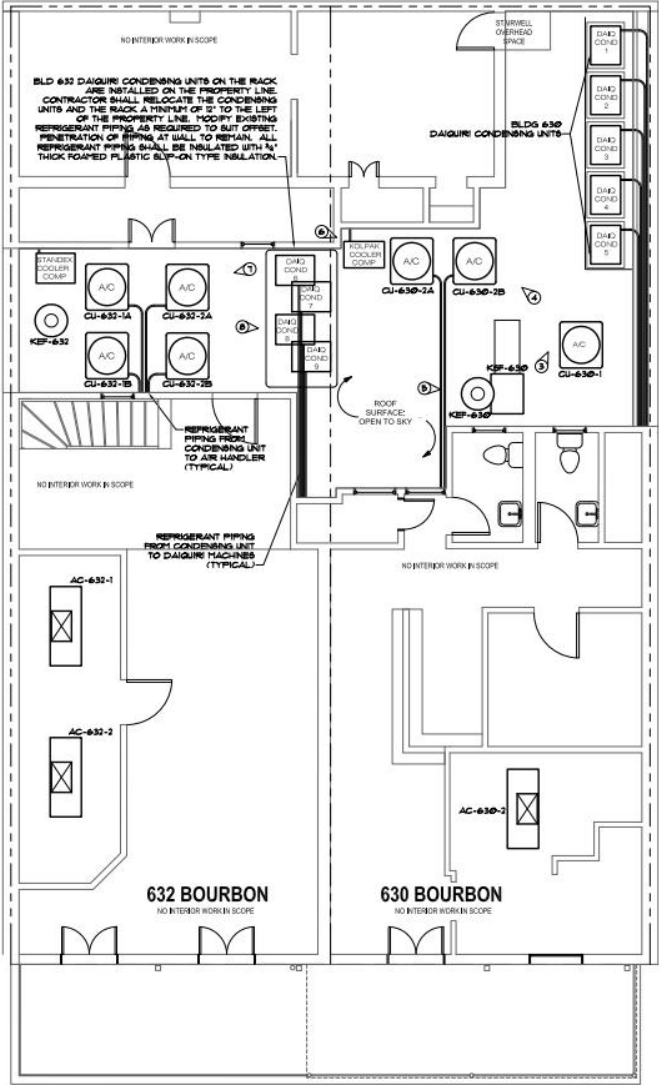


① 1ST FLOOR PLAN
1/4" = 1'-0"



② 2ND FLOOR PLAN
1/4" = 1'-0"





2ND FLOOR PLAN - EXISTING MECHANICAL EQUIP LAYOUT
1/4" = 1'-0"



③ BLDG 630 - A/C COND UNIT & DAIKIN COND UNITS



④ BLDG 630 - A/C COND UNITS



⑤ BLDG 630 - KITCHEN HOOD EXHAUST & SUPPLY FANS



⑥ BLDG 630 - WALK-IN COOLER COMP & A/C COND UNITS



⑦ BLDG 630 (4) A/C COND UNITS, HOOD EXHAUST FAN & COOLER COMP



⑧ BLDG 632 (4) DAIKIN CONDENSING UNITS

632 Bourbon

VCC Architectural Committee

July 12, 2022





• CIVIL
• STRUCTURAL
• INDUSTRIAL
• MARINE

June 15, 2022

Mr. Charles Ward Jr
Rozas Ward Architects
1100 Poydras Street Suite 3550
New Orleans, Louisiana 70163

*RE: 630 & 632 Bourbon Street
New Orleans, Louisiana 70130
Report of Findings*

Dear Mr. Ward:

In accordance with your request, we completed a limited visual structural observation of the above captioned first floor ceiling and second floor roof framing at the circled location on the attached drawing in an effort to determine if its overall structural construction is able to carry the intended service loads.

Observations

We completed our observation and noted that this portion of the roof is currently carrying six mechanical units along with miscellaneous systems of mechanical piping and, of course, the roof membrane system itself. We were able to partially view the framing at the first ceiling/low roof at the second level. We also noted that there was partially exposed framing on the ground level. This framing is supported by interior loadbearing walls that have limited the span of the roof members to under 10 feet (were visible). Accordingly, we concluded that the existing framing is carrying the intended service loads with no visible signs of distress, deflection, or any other condition that would cause visible structural degradation.

Conclusion

We therefore consider this portion of the building framing to be structurally sound in its present condition.

Thank you for the opportunity to provide this information to you. Please contact our office if you are in need of further assistance. We reserve the right to amend this report if additional information becomes available.

Respectfully,
Carubba Engineering, Inc.

Roy M. Carubba, P.E.
w/ attachments

O:\Carubba\2022\089 630 & 632 Bourbon Street\Documents\2022.06.15 Report.doc

3400 Hessmer Avenue • Metairie, Louisiana 70002
Phone: 504.888.1490 • www.carubbaengineering.com

630 Bourbon

VCC Architectural Committee

July 12, 2022





1 BOURBON STREET ELEVATION
1/2" = 1'-0"

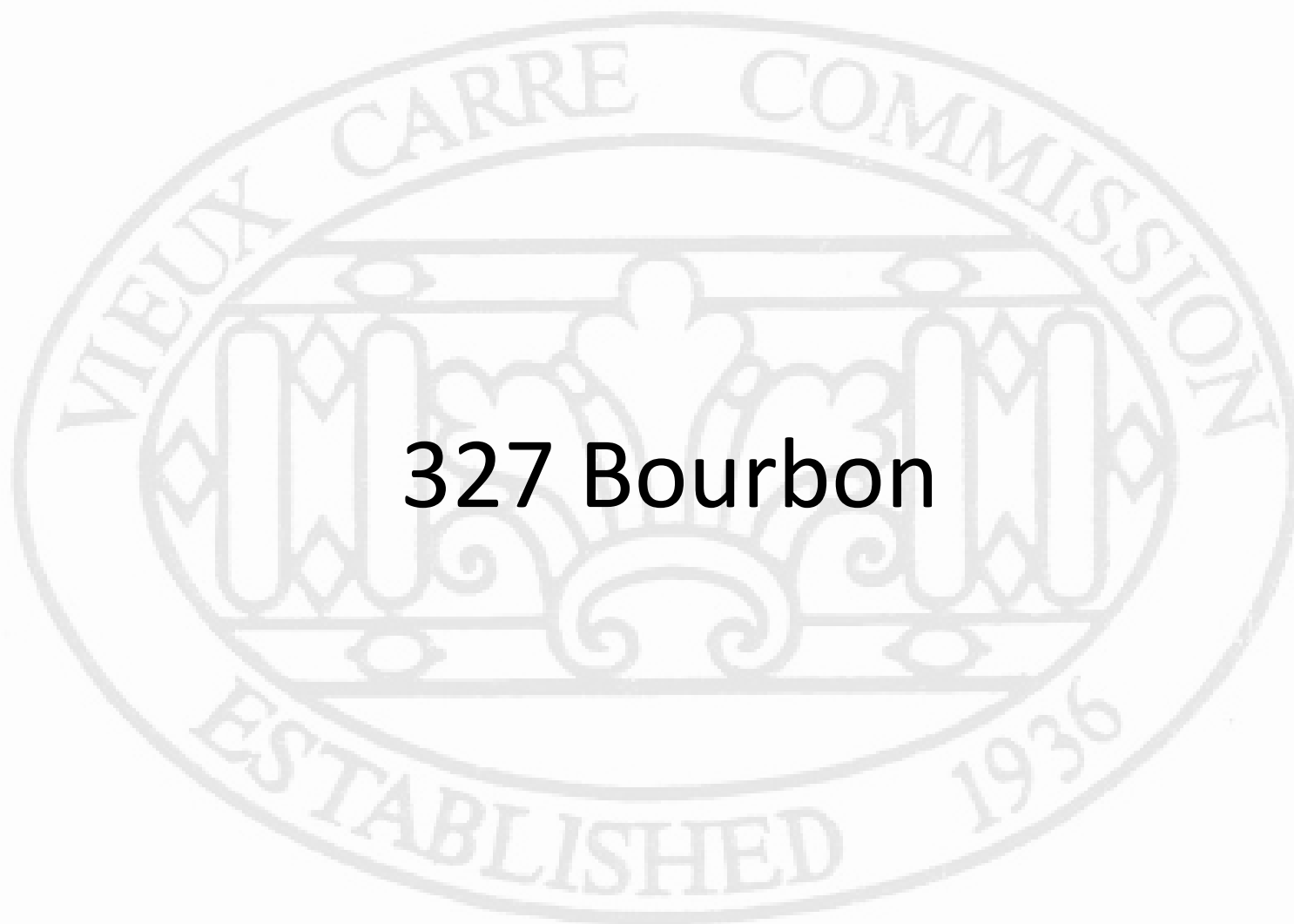
632 Bourbon

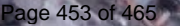
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July 12, 2022



327 Bourbon





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327 Bourbon

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July 12, 2022





327 Bourbon - 2018

VCC Architectural Committee

February 23, 2021





327 Bourbon – November, 2020

VCC Architectural Committee

February 23, 2021





327 Bourbon

VCC Architectural Committee

July 12, 2022





327 Bourbon

VCC Architectural Committee

July 12, 2022



CONSTRUCTION DOCUMENTS

327 BOURBON ST FACADE RENOVATION

327 BOURBON ST
NEW ORLEANS, LA 70130

PROPERTY DESCRIPTION
SQ 69 LOT 6 OR A BOURBON 43X128

PROJECT DESCRIPTION
BOURBON ST FACADE RENOVATION. NEXT PHASE OF A MULTI-PHASE RENOVATION.

RELATED PERMITS: DEMO (UDHYU3), ROOF (VL738P)

OWNER
KARNO 327 BOURBON REAL ESTATE LLC
4828 JAMES ST
METAIRIE, LA 70003

ZONING DISTRICT: VCE - VIEUX CARRÉ ENTERTAINMENT DISTRICT
OVERLAY DISTRICT: VIEUX CARRE HEIGHT INTERIM ZONING DISTRICT

CONSTRUCTION TYPE:		COMMON TERMINOLOGY:
IBC/IFC:	NFPA:	UNPROTECTED ORDINARY
TYPE III-B	III (200)	

OCCUPANCY TYPE:
IBC: VACANT
NFPA: VACANT

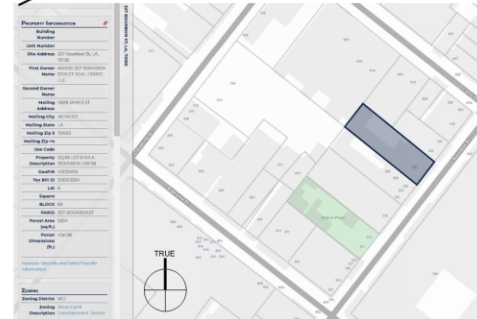
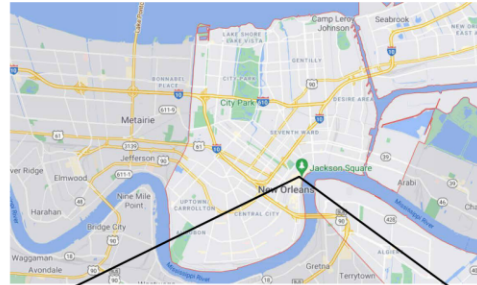
APPLICABLE CODES:
2015 IBC WITH CITY OF NEW ORLEANS CODE ADOPTIONS
2015 INTERNATIONAL MECHANICAL CODE
2013 LOUISIANA STATE PLUMBING CODE
2014 NATIONAL ELECTRIC CODE
2015 ADA ADDA GUIDELINES

ARCHITECT:
M3 DESIGN GROUP LLC
3328 BANKS ST.
NEW ORLEANS, LA 70119
MYLES M MARTIN LIC#7597
MYLES@M3-DESIGN-GROUP.COM
504-345-8950

PROJECT INFORMATION	
Project Name:	_____
Project Number:	_____
Project Manager:	_____
Project Start Date:	_____
Project End Date:	_____
Project Location:	_____
Project Status:	_____
Project Budget:	_____
Project Risk:	_____
Project Complexity:	_____
Project Importance:	_____
Project Impact:	_____
Project Stakeholders:	_____
Project Sponsor:	_____
Project Steering Committee:	_____
Project Governance:	_____
Project Communication:	_____
Project Reporting:	_____
Project Documentation:	_____
Project Change Management:	_____
Project Risk Management:	_____
Project Quality Management:	_____
Project Resource Management:	_____
Project Procurement Management:	_____
Project Stakeholder Management:	_____
Project Integration Management:	_____
Project Planning Management:	_____
Project Execution Management:	_____
Project Monitoring and Control Management:	_____
Project Closing Management:	_____

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
1. THE OWNER, ARCHITECT, ENGINEER, AND CONTRACTOR SHALL BE JOINTLY RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE DRAWINGS.
2. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF WALLS AND PARTITIONS, UNLESS OTHERWISE NOTED. INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
3. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR FOR ALL WALL HUNG DOORS AND WINDOWS.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING EGRESS ROUTES AND EGRESS FACILITIES FOR THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY THROUGHOUT THE PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SAFETY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORKER PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SAFETY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORKER PERSONS ON THE JOB TO PREVENT ACCIDENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION INDICATED ON THE DRAWINGS. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH THE PROJECT.
7. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
8. COORDINATION WITH OWNER'S REPRESENTATIVE OF LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
9. CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATION PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
10. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
11. ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES



SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A1.0	TITLE SHEET	06/07/22			
A2.0	SPECIFICATIONS - COMMERCIAL	06/07/22			
A3.0	EXTERIOR ELEVATION	06/21/22			
A4.0	DETAILS	06/07/22			

327 Bourbon

VCC Architectural Committee

Page 459 of 465

21_113

327 BOURBON ST FACADE RENOVATION

327 BOURBON ST
NEW ORLEANS, LA 70130

21_113

#	TYPE (SEE CHANGE LOG)	DATE
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M3 DESIGN GROUP
3328 BANKS ST | NO, LA 70619 | (504)345-
WWW.M3-DESIGN-GROUP.COM

CONSTRUCTION DOCUMENT

ISSUED 06/07

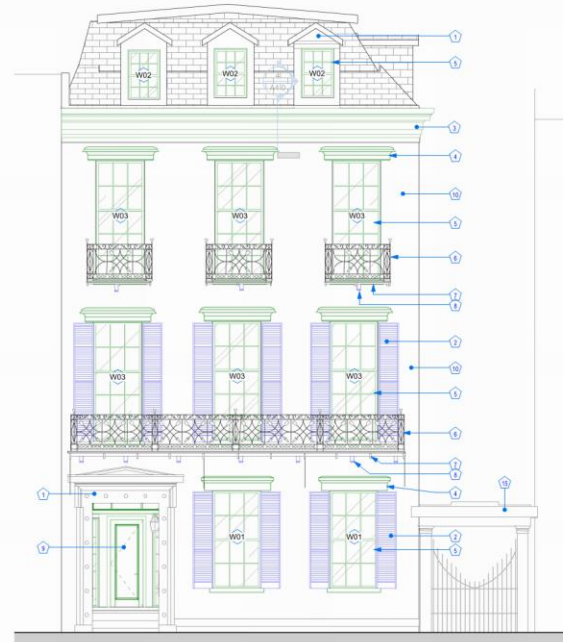
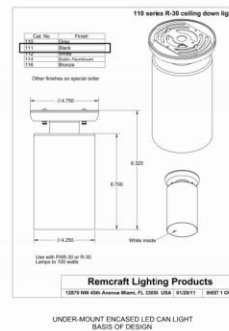
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TITLE SHEET

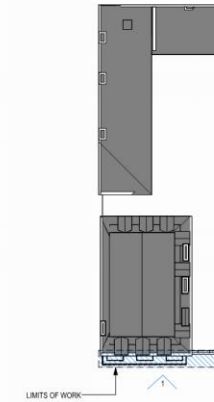
July 12, 2022



327 BOURBON ST FACADE RENOVATION



SCOPE ITEM (ELEVATION)		
ITEM	SCOPE	SCOPE
1	REPAIR AND PAINT EXISTING EXTERIOR WOOD TRIM	
2	NEW WOOD SHUTTER, DESIGN TO MATCH EXISTING	
3	SHUTTERS FOLD ON FACADE, SEE RELATED DETAILS	
4	EXISTING TRIM CONNECT TO BE REINSTALLED AND PAINTED.	
5	EXTERIOR DETAIL	
6	RESTORE/REBUILD AND PAINT EXISTING WINDOW	
7	PEDIMENT AT FRONT FACADE AS NECESSARY TO MATCH	
8	EXISTING WINDOW CONDITIONS. TYPICAL	
9	REPLACE/REPAIR WITH NEW WOOD WINDOW TO MATCH	
10	EXISTING WINDOW CONDITIONS. PROVIDE SHOP DRAWING FOR	
11	ARCHITECT VERTICAL RAILING.	
12	EXISTING VERTICAL RAILING SYSTEM AND SUPPORT	
13	RAILS, INSPECT AT CONNECTIONS. PROVIDE NOTIFY	
14	ARCHITECT/ENGINEER AT ALL AREAS WHERE CONNECTION IS	
15	FALLING	
16	ALL REPAIR ALL WOOD FRAMING IN BACKYARD IN SAME	
17	LIKE/INFORMAL TYPE, PROVIDE NEW 2" X 6" TONGUE AND	
18	GROOVE WOOD DECKING Laid PERPENDICULAR TO THE	
19	BUILDING WALL, P.F.	
20	NEW EXTERIOR LED LIGHT, SEE BOO CUT SHEET	
21	SELECTION	
22	EXISTING WOOD DOOR AND SURROUNDING TRIM TO BE	
23	PAINTED	
24	EXISTING BRICK TO BE PAINTED	
25	EXISTING GATE TO BE PAINTED	



KEY PLAN - ELEVATION



NEW SCOPE OF WORK TAG

NEW WORK

SCHEDULED FOR RESTORATION

$$\frac{X}{AX.X}$$

ELEVATION TAG

SPECIFIC NOTE

WINDOW TAG, SEE WINDOW SCHEDULE

LEGEND

21_113

DATE _____

TYPE (SEE CHANGE LOG)



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CONSTRUCTION DOCUMENTS

ISSUED 06/21/22

A3.0
EXTERIOR
ELEVATION



327 Bourbon

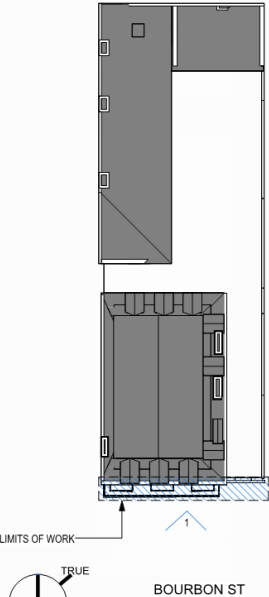
VCC Architectural Committee

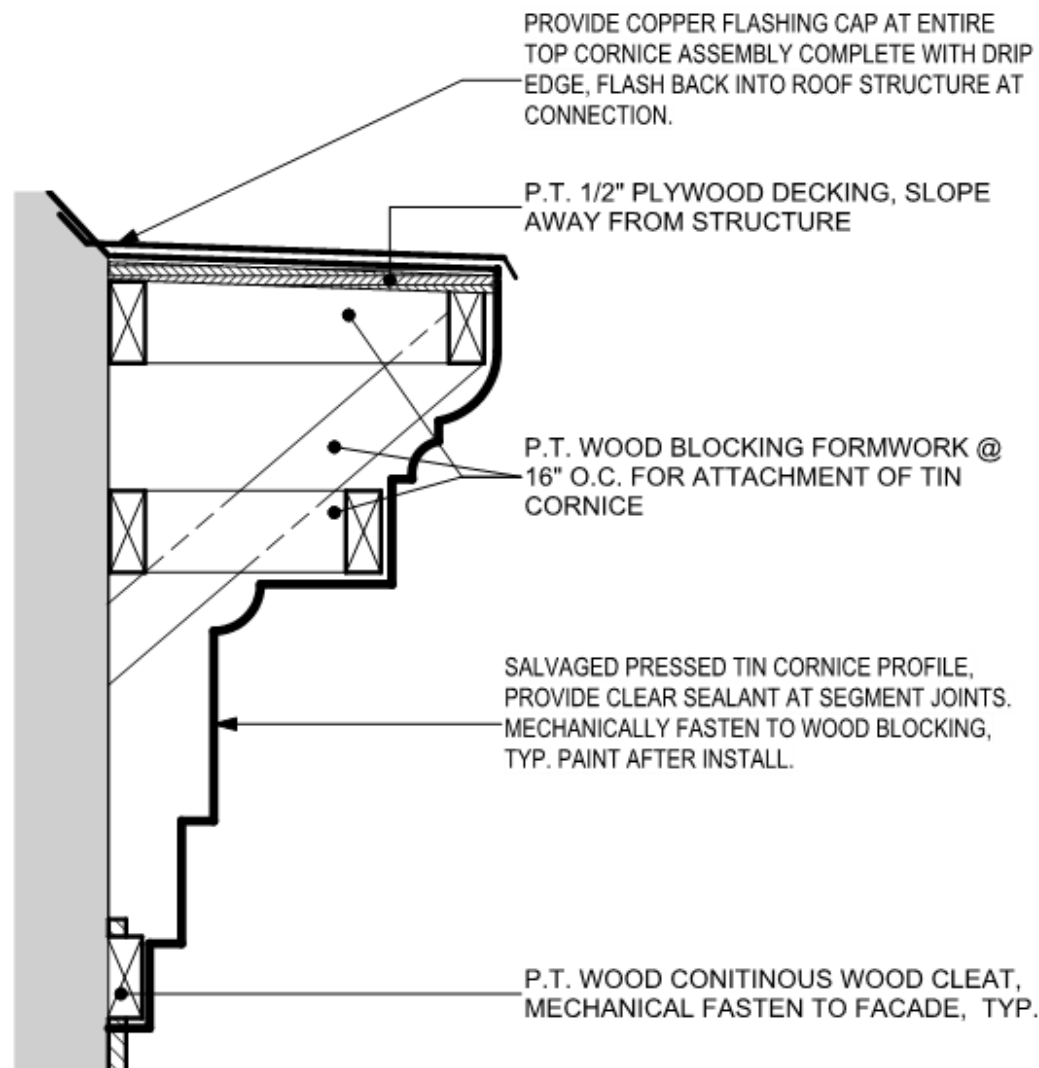
July 12, 2022



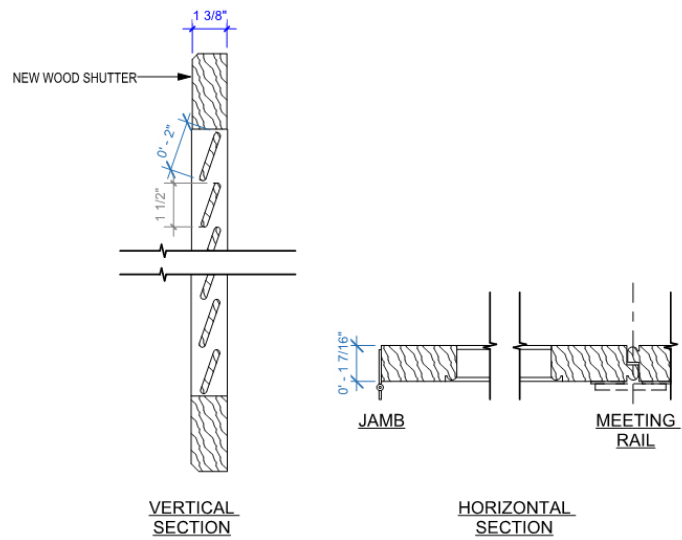
SCOPE ITEM (ELEVATION)	
ITEM	SCOPE
1	REPAIR AND PAINT EXISTING EXTERIOR WOOD TRIM
2	NEW WOOD SHUTTER, DESIGN TO MATCH EXISTING SHUTTERS FOUND ON FACADE, SEE RELATED DETAILS
3	EXISTING TIN CORNICE TO BE REINSTALLED AND PAINTED, SEE RELATED DETAIL
4	RESTORE/REBUILD AND PAINT EXISTING WINDOW PEDIMENT AT FRONT FACADE AS NECESSARY TO MATCH EXISTING CONDITIONS, TYP.
5	REPAIR/REPLACE WITH NEW WOOD WINDOW TO MATCH EXISTING WINDOW CONDITIONS, PROVIDE SHOP DRAWING FOR ARCHITECT VCC/APPROVAL
6	REPAINT EXISTING METAL RAILING SYSTEM AND SUPPORT ARMS. INSPECT AT CONNECTION POINTS. NOTIFY ARCHITECT/ENGINEER AT ANY AREAS WHERE CONNECTION IS FAILING
7	ALL REPLACE ALL WOOD FRAMING AT BALCONY IN SAME LIKE/KIND/PROFILE. PROVIDE NEW 5/4" TONGUE AND GROOVE WOOD DECKING LAID PERPENDICULAR TO THE BUILDING WALL, TYP.
8	NEW EXTERIOR LED CAN LIGHT, SEE BOD CUT SHEET SELECTION
9	EXISTING WOOD DOOR AND SURROUNDING TRIM TO BE PAINTED
10	EXISTING BRICK TO BE PAINTED
15	EXISTING GATE TO BE PAINTED

3 | BOURBON ST ELEVATION
3/16" = 1'-0"

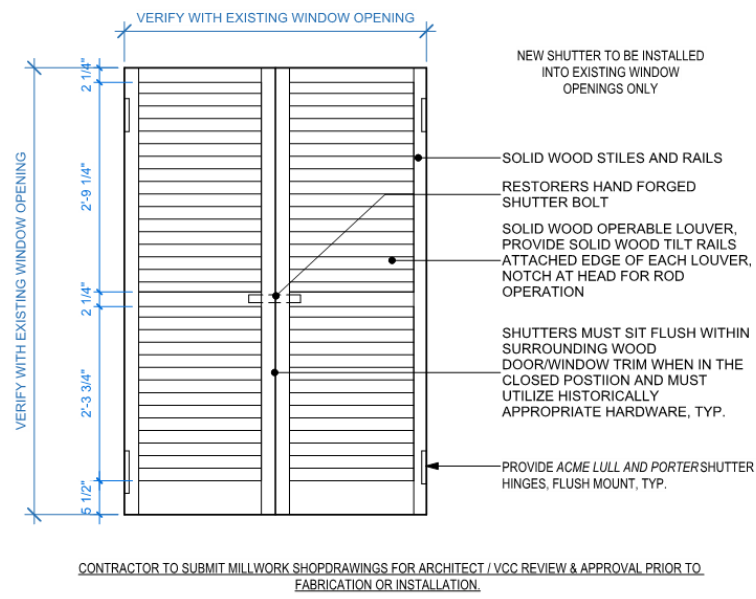




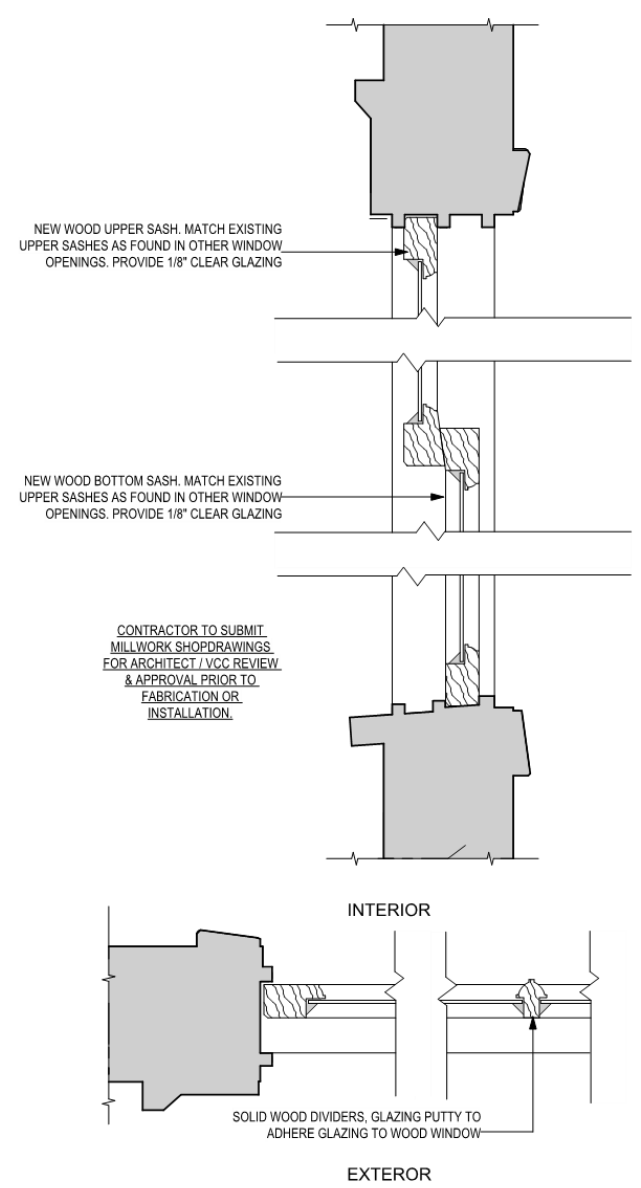
4 | UPPER CORNICE ATTACHMENT DETAIL
1 1/2" = 1'-0"



1 | SHUTTER - DETAILS
3" = 1'-0"



2 | SHUTTER ELEVATION1
3/4" = 1'-0"



3 | WINDOW DETAILS - WOOD DBL HUNG, EXISTING OPENING
3" = 1'-0"

