



Vieux Carré Commission Architecture Committee Meeting

Tuesday, September 13, 2022

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork base. The shield is flanked by two vertical bars with diamond-shaped details. The entire shield is set within a circular border. The text "VIEUX CARRE COMMISSION" is written in a serif font along the top arc of the border, and "ESTABLISHED 1936" is written along the bottom arc.

Old Business

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a decorative design, including a central fleur-de-lis and vertical bars. The shield is surrounded by a circular border containing the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom.

1130 Chartres



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VCC Architectural Committee

September 13, 2022



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1130 Chartres, 1937
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September 13, 2022





1130 Chartres, 1957

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September 13, 2022





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September 13, 2022



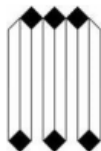


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MORPHY, MAKOFSKY, INC.
 CONSULTING ENGINEERS
 336 N. Norman C. Francis Parkway
 New Orleans, LA 70119
 P:504/488-1317 F:504/488-0924
 www.mmi-eng.com

Jamie L. Saxon
 Jonathan A. Sofranko
 H. Stephan Bernick

August 8, 2022

Jonathan Marcantel
 Albert Architecture
 3221 Tulane Avenue
 New Orleans LA 70119

Re: Soniat House
 Charters Street, New Orleans

Dear Mr. Marcantel,

As discussed, we are providing you report of the existing masonry walls and our opinion as to the necessity of the repairs we have specified.

During our inspection, we typically look for signs or indications of movement of the bricks in the wall, visible observations of broken bricks and the condition of the lime-based mortar. To the extent we can see powdery mortar, missing mortar or see clearly into the inside of the wall thru the mortar joints, we become concerned that the structural integrity of the wall is somewhat compromised. We also have an inspection camera that allows us to look in the inner portion of the walls. We look for voids or cracks in the interior of the masonry wall and attempt to obtain a visual understanding of the mortar condition in the inner portion of the wall.

We conducted this type of inspection and assessment of the exterior walls and recommend the repairs to the walls, including the use of a grout injection process developed and formulated by Masonry Solutions. These repairs and their process will restore their structural integrity to the walls without changing the appearance and using materials that are compatible with the walls.

The walls observed at the site are suffering from significant mortar decay and lack of support from the foundations. This has allowed the movements of the walls causing fracturing of the brick and bulging of the wall in addition to continued cracks propagating thru the wall. In addition, the existing window lintel has failed and needs to be replaced. When a portion of the plaster was removed for explore the condition of the masonry is an old wooden lintel walls found in the masonry. This wood has rotted and is causing additional problems to the masonry wall and is a major discontinuity in the masonry matrix of the wall structure.

The purpose of the grout injection with compatible mortar material is to re-establish the mortar joints both horizontal and vertically between the masonry bricks. Secondly, the reinforcing bars will provide tension capability to the wall thus increasing the walls ability to withstand differential movements. The grouting process will also provide a much more stable wall to allow for the safe removal of the existing embedded wood lintel and then the installation of the new lintel. The helical joint reinforcing will is

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September 13, 2022



specified on the smaller crack areas and are intended to disperse the stresses in the masonry that are causing the cracks that have been occurring. Tuck pointing of masonry walls is only a superficial and more cosmetic type repair and does not and cannot provide structural rehabilitation to a masonry wall.

MMI has been involved with the review and renovations of many historic buildings in the New Orleans area. Specifically, we have recommended the grout injection process for the following projects:

- Country Inn and Suites Hotel, center party wall and small area of the wall at the elevator, year 2000.
- Pump stations 3, 6 and 7 for the Sewerage and Water Board, year 2007/8.
- Mater Dolorosa Catholic Church, year 2007.
- WW2 Historic building on Magazine street, 2008/9.
- 1938 Magazine Street, year 2010.
- 720 Julia Street, year 2010.
- 417 Burgundy Street, year 2014.
- Perimeter walls at St Louis Cemetery No. 1, year 2014.
- St Patrick's church, year 2015.
- Bell School, existing chapel renovation, year 2016

To the best of our knowledge and information, we have not received any reports of any issues with these buildings and structures since the repairs and injection process were completed. We have periodically observed these buildings and structures after the injection process was completed and have not found any problems or issues with the masonry walls. Many of these buildings and structures have a similar type of construction as the buildings involved in this matter. They also used the soft red bricks and the soft historic type mortars included in the masonry walls at issue in this case.

In summary, the specified repairs will not change the look, nor will any materials be used that are non-compatible. As the engineering firm of record, who is responsible for the structure of these buildings we require that these repairs be done.

Yours truly,
Morphy Makofsky, Inc.

Jamie L. Saxon
Jamie Saxon, P.E.





Photo 1: Wall to be repaired, missing mortar cracked, cracked brick.



Photo 2: Embedded wood in masonry. bricks in generally poor condition.

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September 13, 2022



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SONIAT HOUSE 1133 CHARTERS Street New Orleans, Louisiana

PROJECT NO: AA1428
 DRAWN BY: JLS
 CHECKED BY: JLS
 DATE: SET
 3-18-22 PERMIT

TITLE:

PLANS: STRUCTURAL
 REPAIR

SHEET:

S1A

MORPHY
 MAY-OF-SCT
 INCORPORATED
 ENGINEER
 (504)488-1317
 JOB NO. 21924

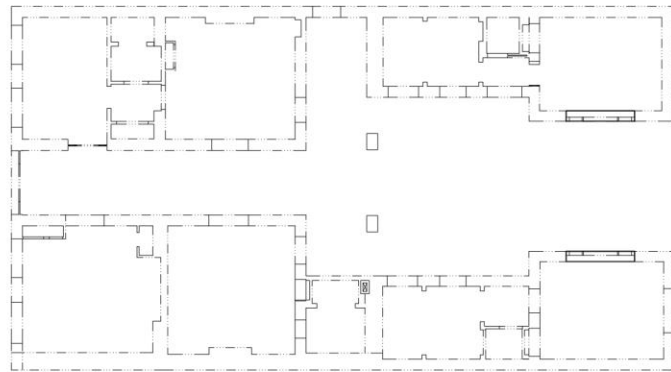
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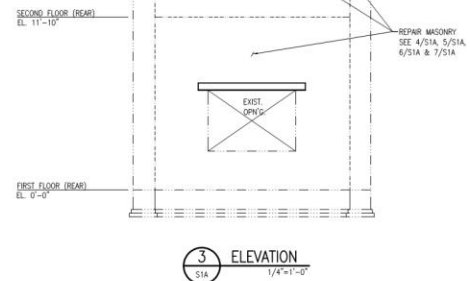
1 GENERAL NOTES

- EXISTING CONDITIONS:**
ALL DIMENSIONS AND CONDITIONS TYPED OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT PURPORTED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS. FIRST SUBMITTAL OF SHOP DRAWINGS MUST CONTAIN CORRECT CONDITIONS AND DIMENSIONS OBTAINED FROM THE FIELD. IF CONDITIONS AND DIMENSIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PREPARATION OF SHOP DRAWINGS.
- SHORING:**
SHORE AND BRACE ALL EXISTING FRAMING AS REQUIRED IN ORDER TO ACCOMMODATE WORK SHOWN ON DRAWINGS.
- DEMOLITION OF EXISTING CONSTRUCTION:**
PRIOR TO THE START OF DEMOLITION OR EXPLORATORY WORK, THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY TO SURVEY THE EXISTING SITE CONDITIONS FOR THE PRESENCE OF HAZARDOUS MATERIALS SUCH AS, BUT NOT LIMITED TO, LEAD-BASED PAINT, ASBESTOS, MOLD, ETC. IF THE TESTS REVEAL ANY POSITIVE FOR ANY HAZARDOUS MATERIALS, THE OWNER SHALL EMPLOY A REMEDIATION FIRM TO REMOVE THE HAZARDOUS MATERIALS IN COMPLIANCE WITH THE GUIDELINES AND REGULATIONS OF LOCAL, STATE, AND FEDERAL GOVERNMENTS BEFORE DEMOLITION OR EXPLORATORY WORK MAY COMMENCE.
- DAMAGE TO EXISTING CONSTRUCTION:**
ALL WORK SHALL BE DONE IN A MANNER WHICH WILL NOT DAMAGE ADJACENT EXISTING CONSTRUCTION WHICH IS TO REMAIN.
- FRAMING LUMBER:**
A. SOUTHERN YELLOW PINE MINIMUM No.2 KILN DRIED.
B. AT TIME OF FABRICATION, MC-19 (19% MOISTURE CONTENT).
C. ALL WOOD FRAMING, FABRICATION, CONNECTIONS AND DETAIL SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST AND PAPER ASSOCIATION, THE PLWOOD DESIGN SPECIFICATION BY AMERICAN PLWOOD ASSOCIATION, WCD 1 "DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION" BY THE AMERICAN FOREST AND PAPER ASSOCIATION, AND THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, CHAPTER 23.
D. WOOD FRAMING ADJACENT TO STEEL CONSTRUCTION SHALL BE FASTENED TO STEEL FRAMING WITH POWER ACTUATED FASTENERS.
E. UNLESS OTHERWISE NOTED, ALL LUMBER PERMANENTLY EXPOSED TO WEATHER SHALL BE PRESSURE TREATED WITH COPPER AZOLU-TYPE B (CA-B) IN ACCORDANCE WITH CURRENT AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) STANDARDS P5 AND SECTION U1 FOR PROTECTION OF PRESERVATIVES AND SECTION 11, TABLE 12-SAH PRODUCTS FOR PENETRATION OF PRESERVATIVE OR APPROVED EQUAL.
F. ALL WOODWORK IN CONTACT W/ TREATED LUMBER SHALL BE HOT-DIP GALVANIZED CONFORMING TO ASTM A553, CLASS D185 WITH 1.85 OZ OF ZINC COATING PER SQUARE FOOT, MINIMUM. ALL FASTENERS SHALL BE HOT-DIP GALVANIZED CONFORMING TO ASTM A153. STAINLESS STEEL FASTENERS MAY BE EMPLOYED AT CONTRACTOR'S OPTION.
- MASONRY REPAIR AND REINFORCEMENT:**
A. CLEAN ALL PLANT GROWTH FROM WALLS, RAKE OUT JOINTS TO REMOVE ALL ROOTS AND FOREIGN MATERIALS.
B. EXIST MASONRY WALLS TO BE INJECTED & GROUTED SOLID WITH AN ENGINEERED MATERIAL THAT IS COMPATIBLE WITH THE EXISTING WALL CONSTRUCTION.
C. PRIOR TO GROUTING THE WALLS THEY ARE TO HAVE STAINLESS STEEL HELICAL TIES, INSTALLED IN THE EXISTING WALL STRUCTURE IN A GRID PATTERN OF SEE 5/5-1.0 AS REQUIRED.
D. MASONRY ANCHORAGE AND ENHANCEMENT SYSTEM AND COMPATIBLE INJECTED FILL SPECIFICATIONS: SEE SHEET 5-3.
- PATCHING MATERIALS AND INSTALLATION:**
ALL MATERIALS USED FOR PATCHING SHALL MATCH EXISTING MATERIALS IN APPEARANCE AND QUALITY. WORKMANSHIP SHALL BE IN CONFORMANCE WITH TODAY'S STANDARDS BUT SHOULD BE NO LESS IN QUALITY THAN ANY OF THE ADJACENT WORKMANSHIP IN THE AREA BEING PATCHED.
- OTHER WORK:**
COORDINATE ALL OTHER WORK WITH STRUCTURAL UNLESS DETAILED OR SPECIFIED. THE ENGINEER IS TO APPROVE ALL OPENINGS, SLEEVES, EMBEDDED ITEMS, ETC. INVOLVED IN STRUCTURAL WORK PRIOR TO THEIR BEING SET. DO NOT CUT OR DRILL HOLES IN STRUCTURAL MEMBERS WITHOUT THE APPROVAL OF THE ENGINEER. ALL SUCH ITEMS SHALL NOT IMPAIR THE STRUCTURAL INTEGRITY OF THE MEMBER AS DETERMINED BY THE ENGINEER OF RECORD.
- CONTRACTOR INSPECTION REQUIREMENTS:**
THE CONTRACTOR SHALL CONDUCT A FIELD SURVEY TO DETERMINE AND ESTIMATE THE AMOUNT OF CHIPPING AND PATCHING MATERIAL REQUIRED.
- HOLLOW INJECTABLE STAINLESS STEEL ENHANCEMENT BARS:**
A. BARS - STAINLESS STEEL TYPE 304 OR BETTER, CONFORMING TO ISO 10208, 1999 (E).
B. EXTERIOR TO HAVE IRREGULAR PROJECTING PROFILE.
C. BAR TO COME IN LENGTHS THAT CAN BE FIELD JOINED WITH COUPLERS.
D. THE BARS ARE TO BE HOLLOW TO ALLOW THE COMPATIBLE INJECTED FILL MATERIALS TO BE PUMPED THROUGH THEM AND EMITTED FROM THE BASE.
E. SPACERS ARE TO BE PROVIDED TO ENSURE THAT THE BARS REMAIN CENTERED IN THE DRILLED HOLES.
F. BARS PROPERTIES:

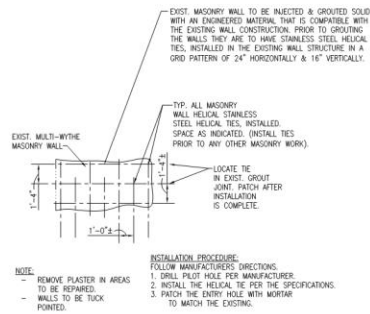
DESIGNATION	OUTER DIAMETER	INNER DIAMETER	EFFECTIVE AREA
SS-45	1.5 in.	1.2 in.	2.0 in. ²
SS-55	1.75 in.	1.4 in.	2.8 in. ²



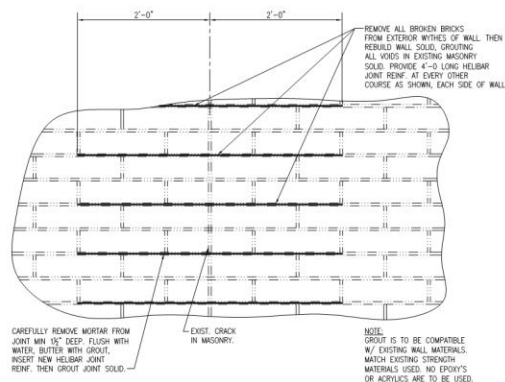
2 EXISTING FIRST FLOOR FRAMING PLAN
 1/8"=1'-0"



3 ELEVATION
 1/4"=1'-0"



4 DETAIL-REPAIR OF MASONRY WALLS
 1/4"=1'-0"



5 DETAIL-JOINT REINFORCING
 1/2"=1'-0"



6 PHOTO - WALL REPAIR
 1/2"=1'-0"

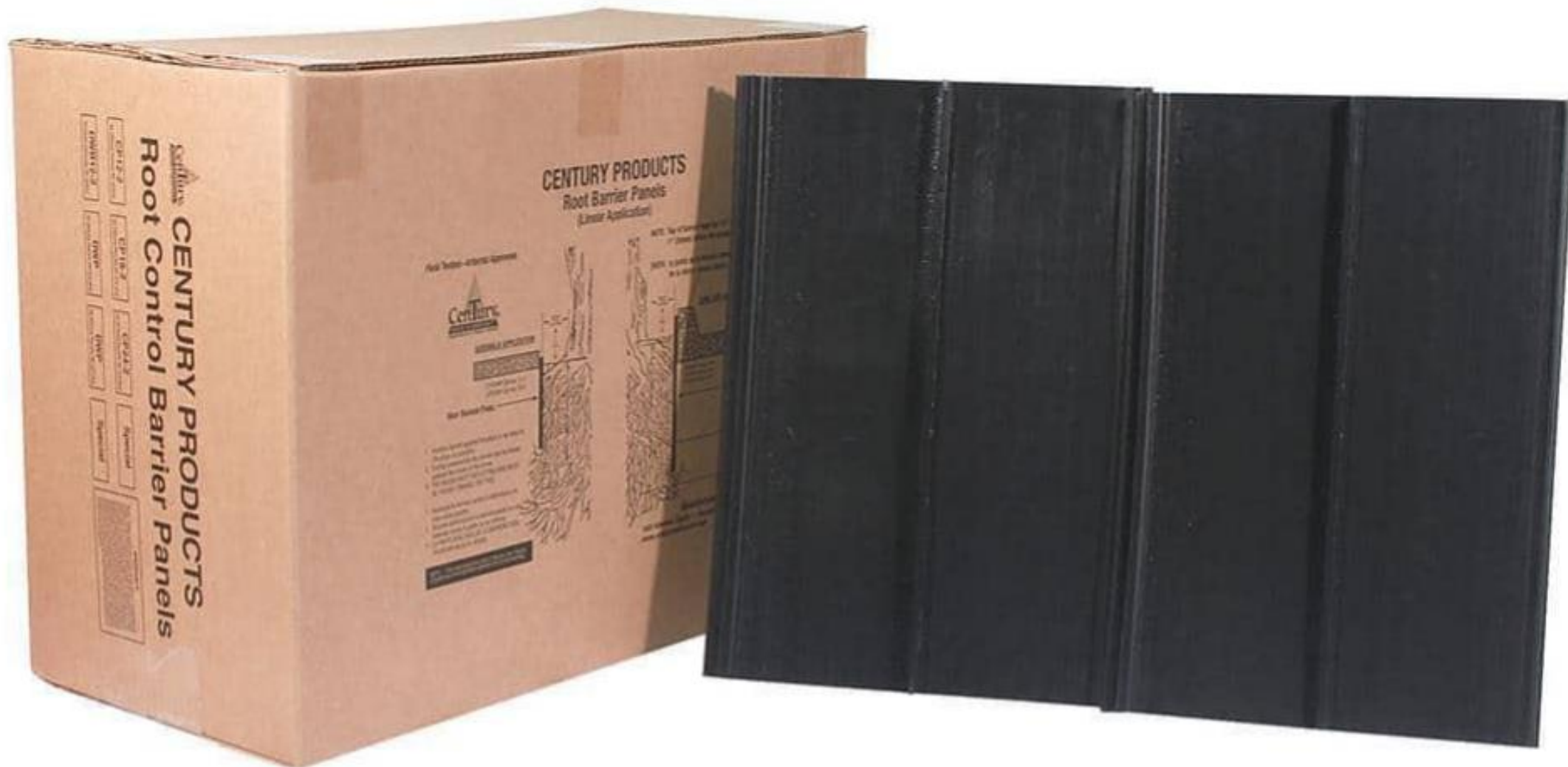


7 PHOTO - WALL REPAIR
 1/2"=1'-0"

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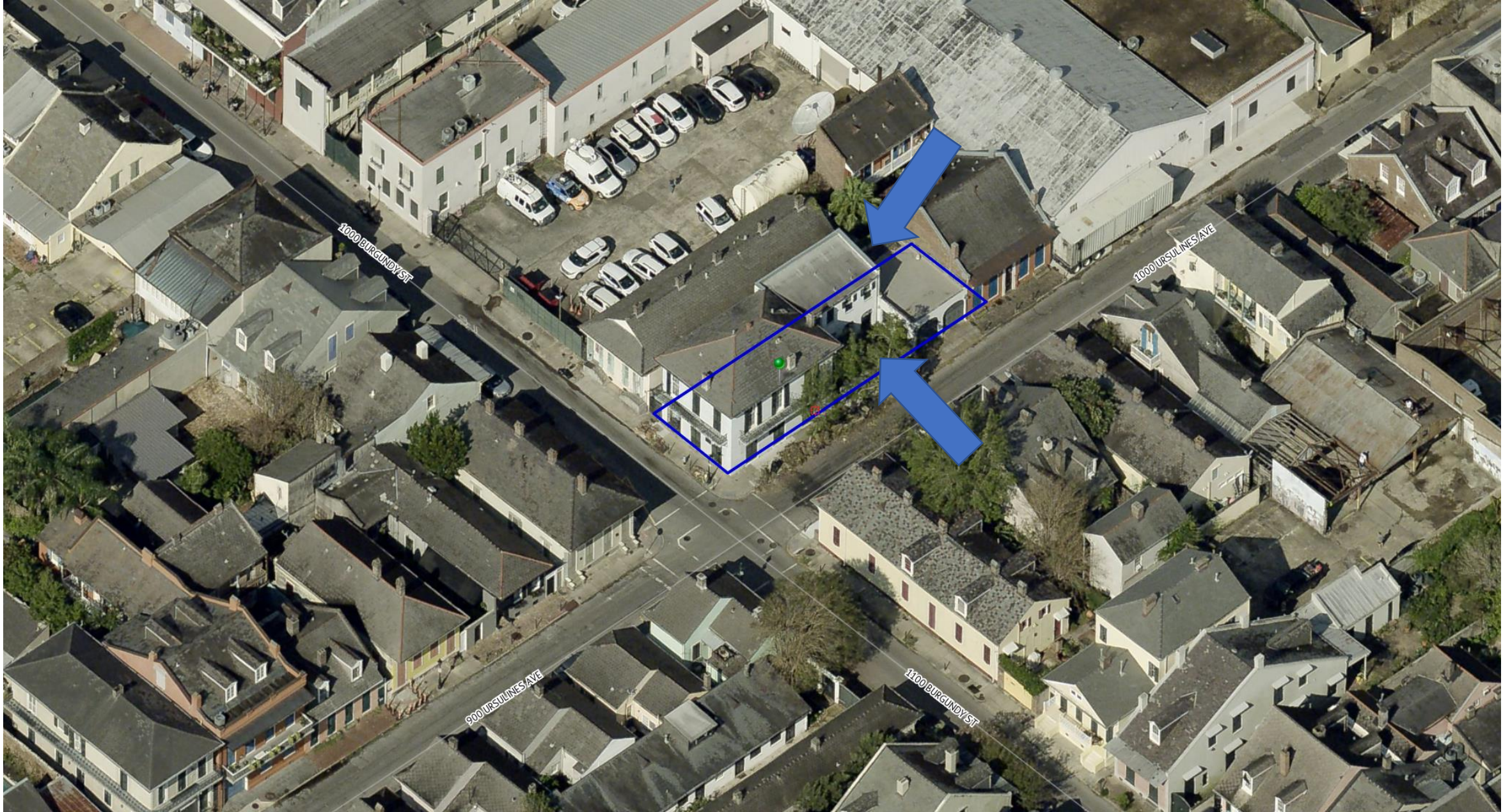


1039 Burgundy



VCC Architectural Committee

June 16, 2022



1039 Burgundy

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June 16, 2022



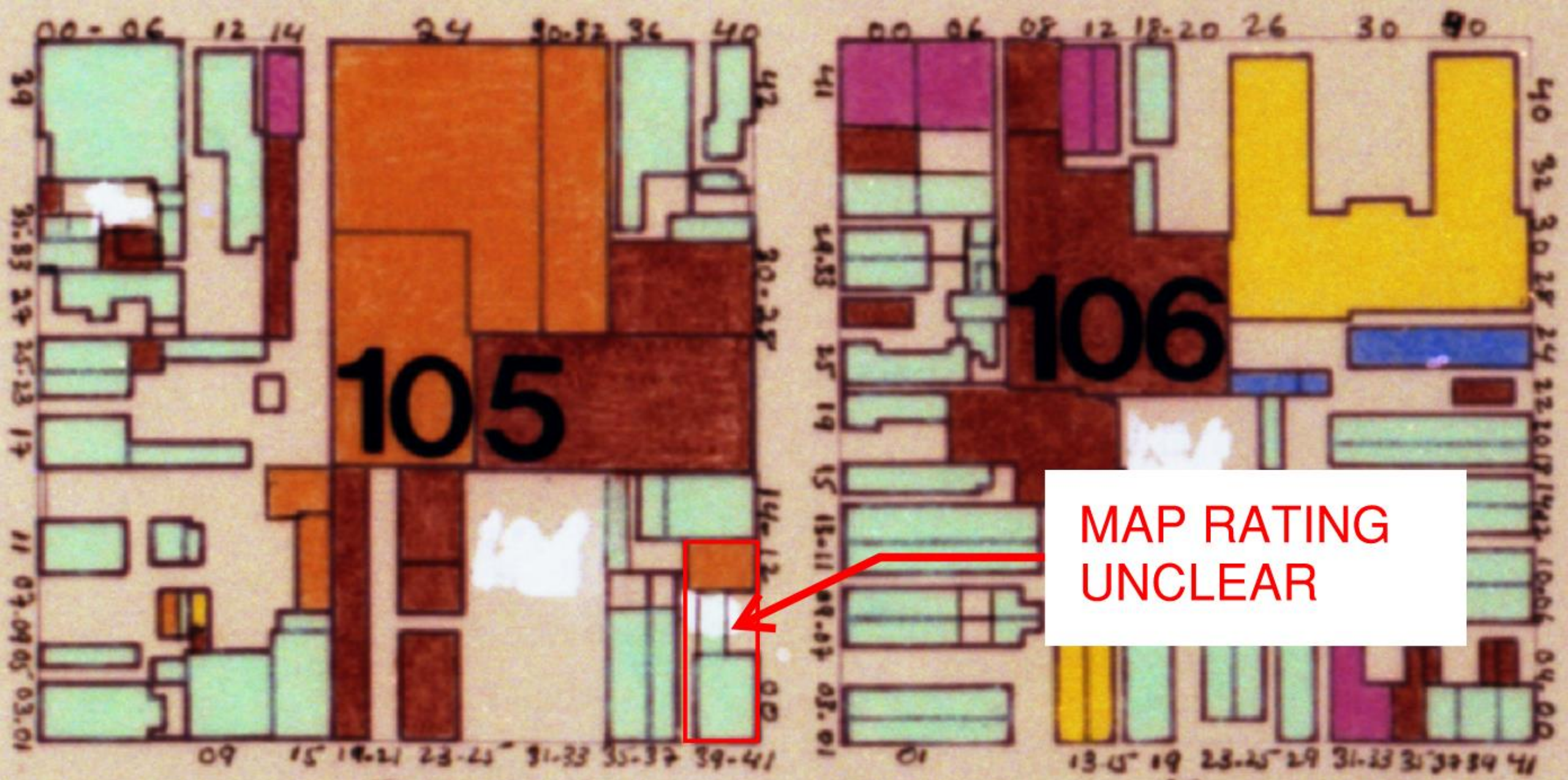


1039 Burgundy – 1964

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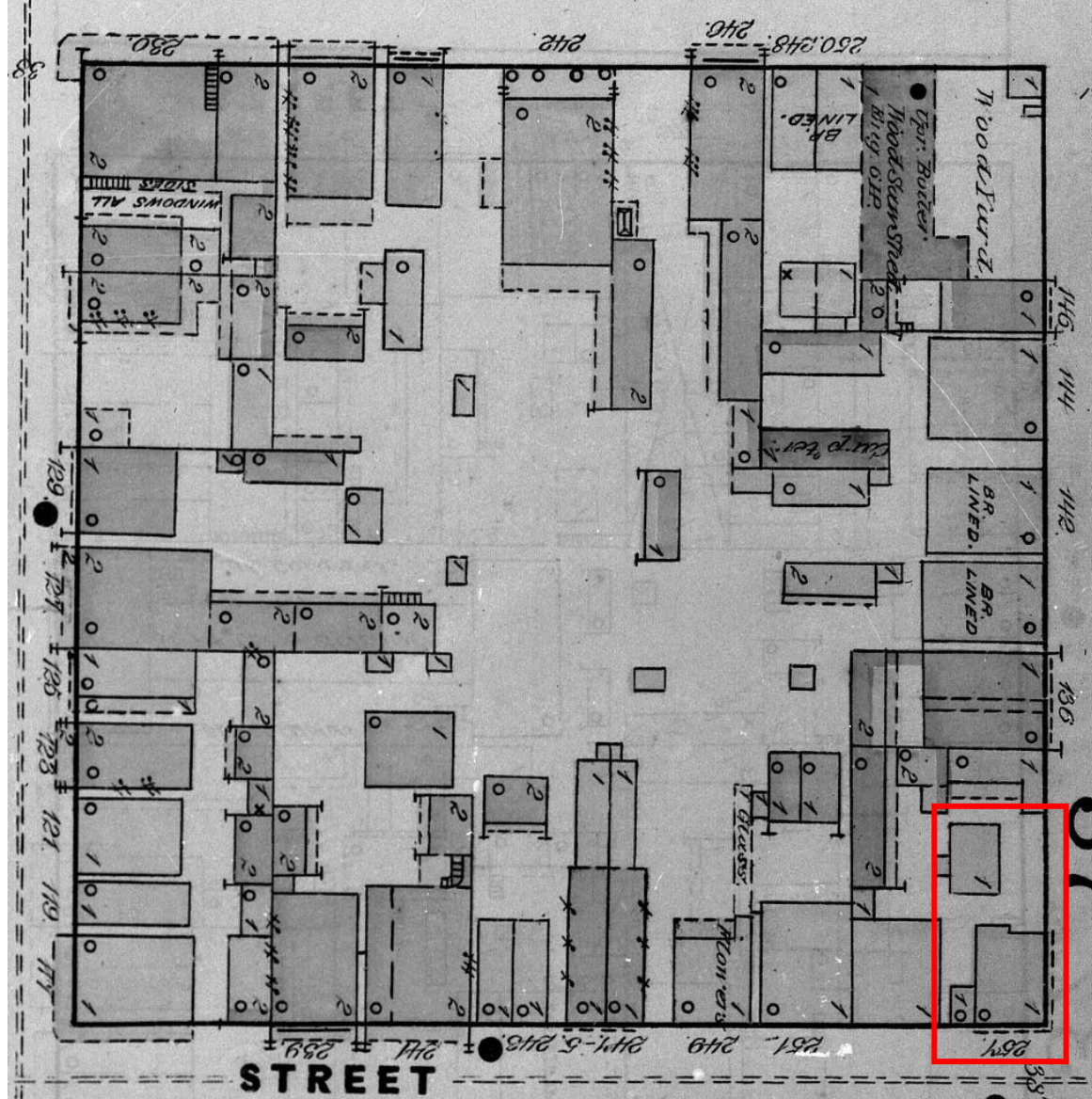


1039 Burgundy – service ell rating

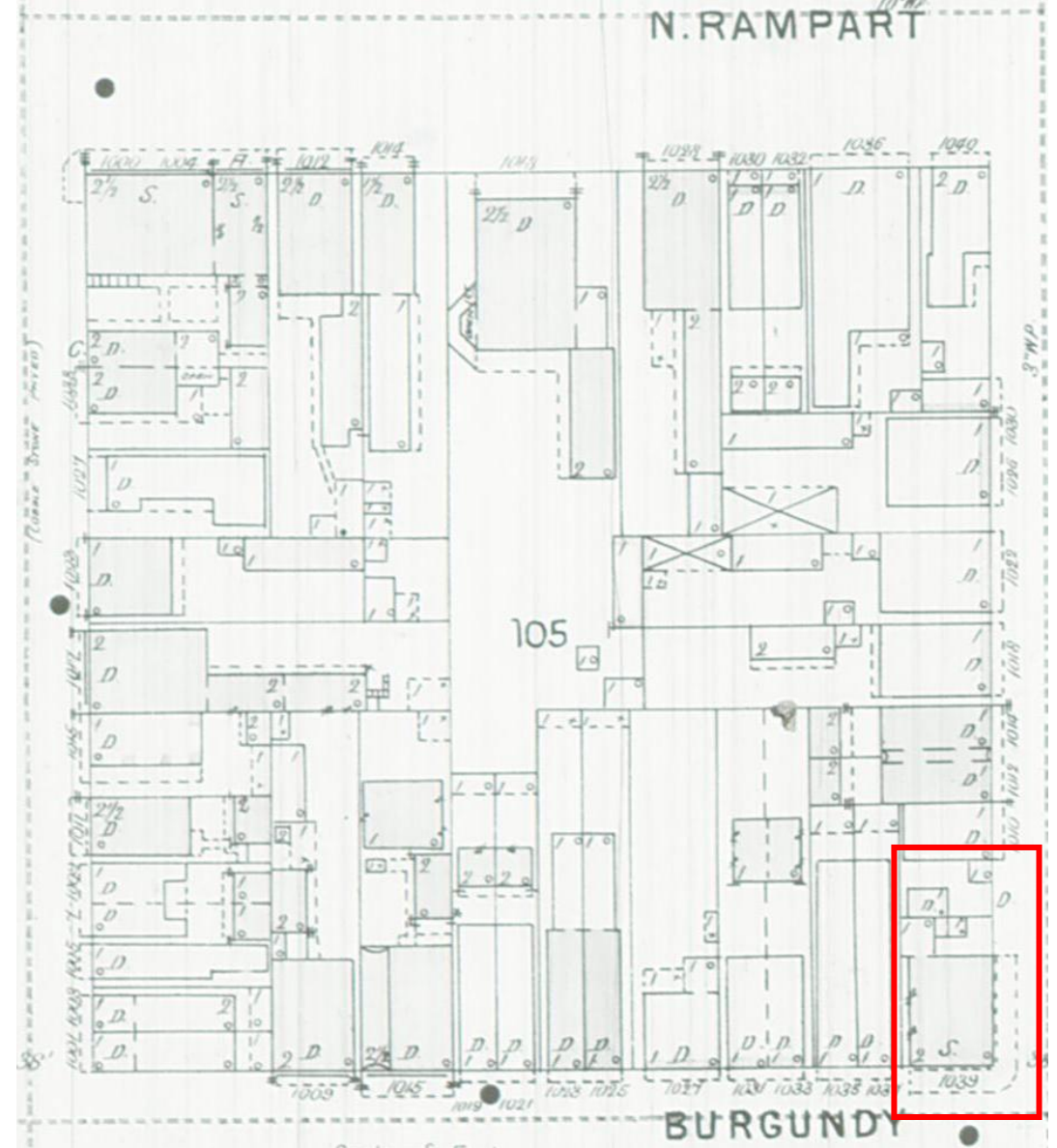
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1876



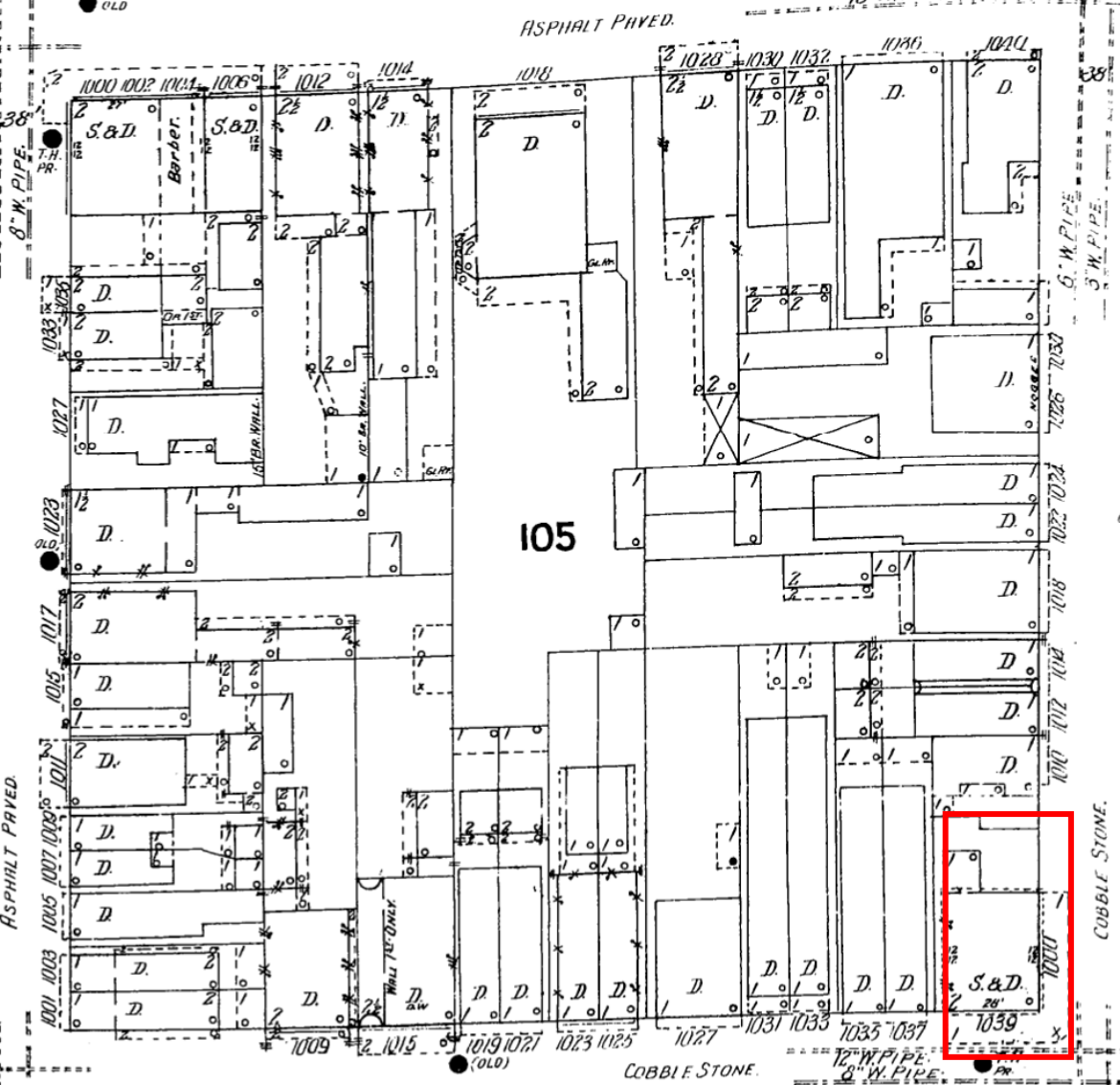
1896

1039 Burgundy – service ell not present

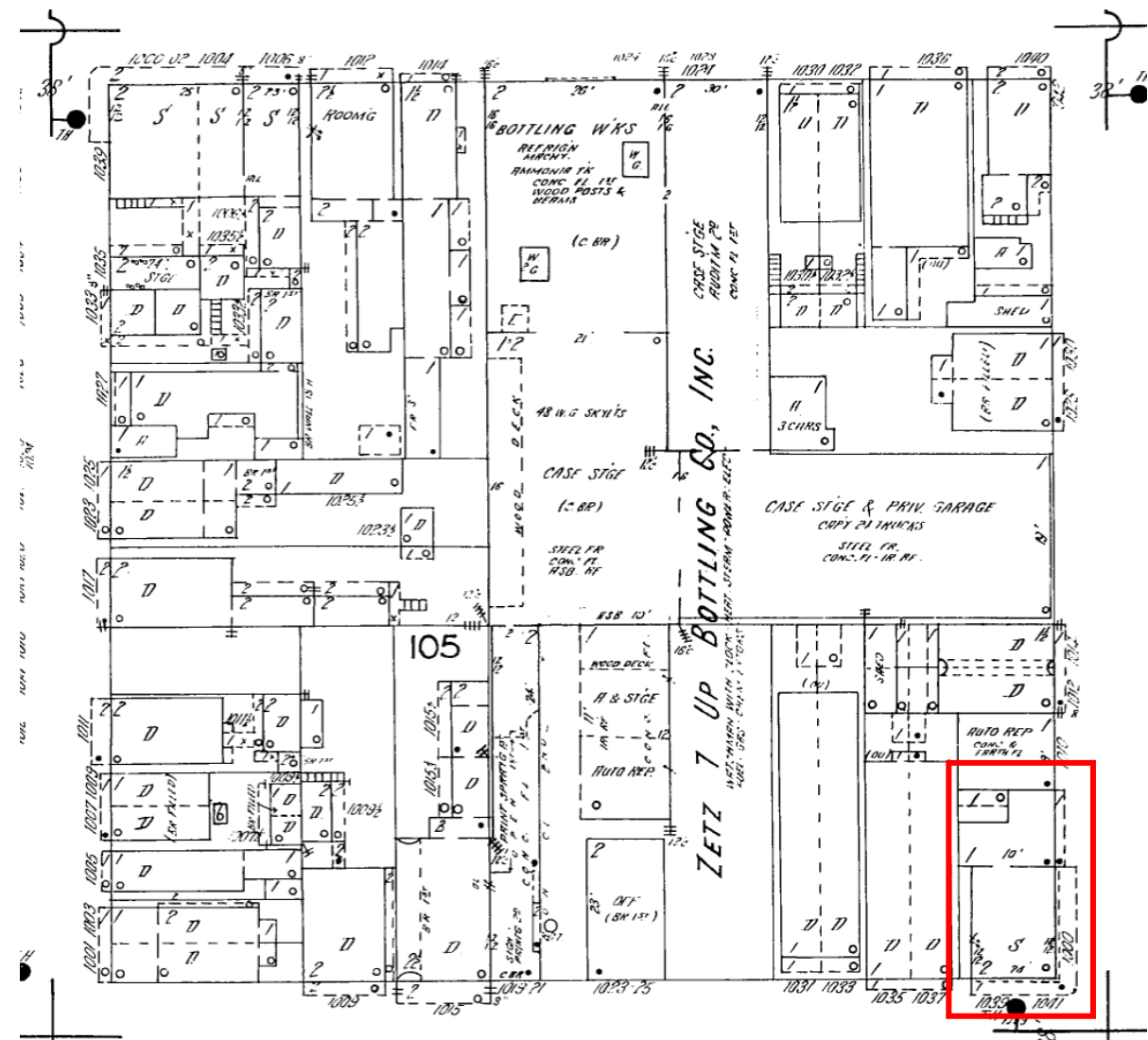
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1908



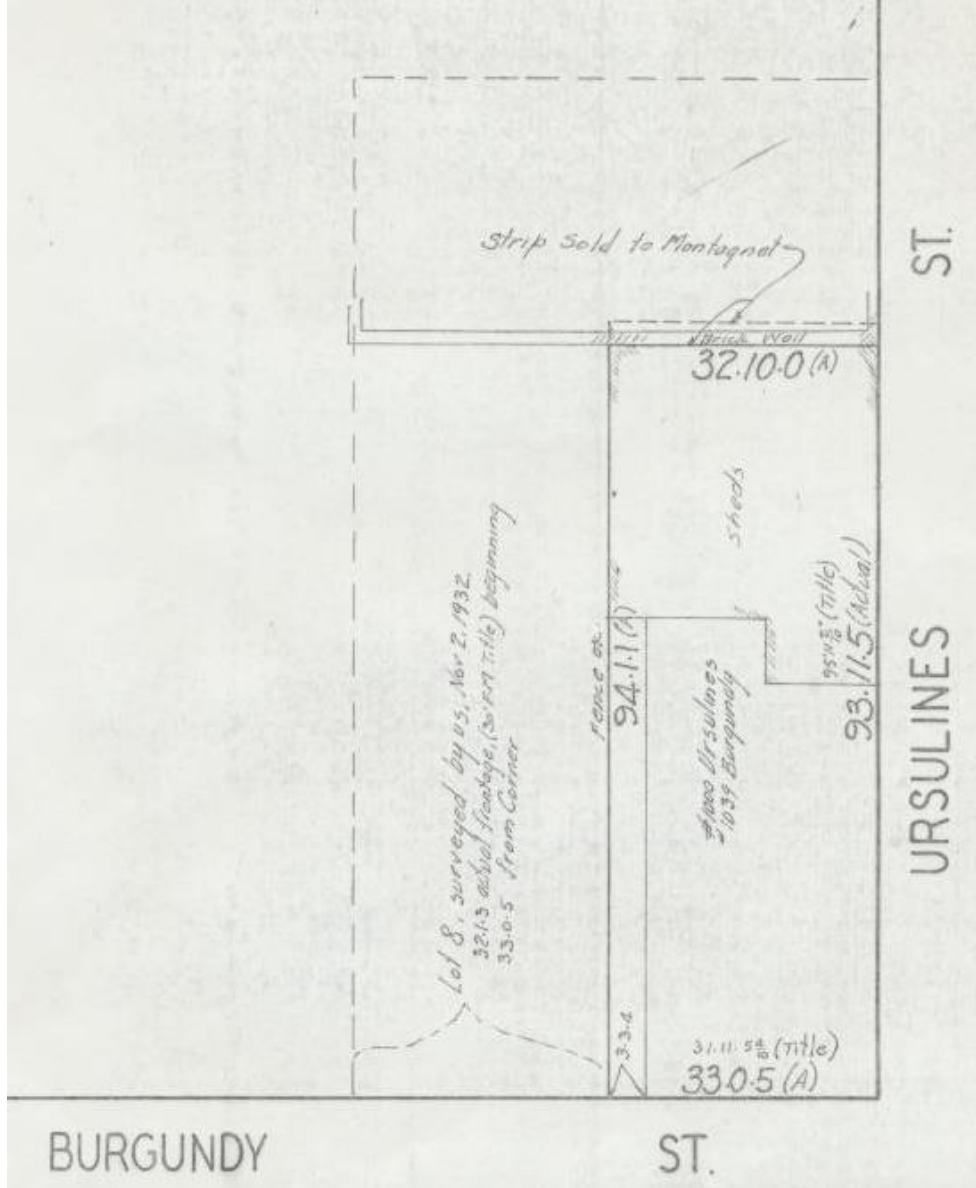
1940

1039 Burgundy – service ell not present

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1934

1039 Burgundy – service ell not present

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1964



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1039 Burgundy Street

New Orleans, LA. 70116

Exterior Renovations
VCC ARC 8/19/2022



SANBORN ATLAS, APRIL 1983

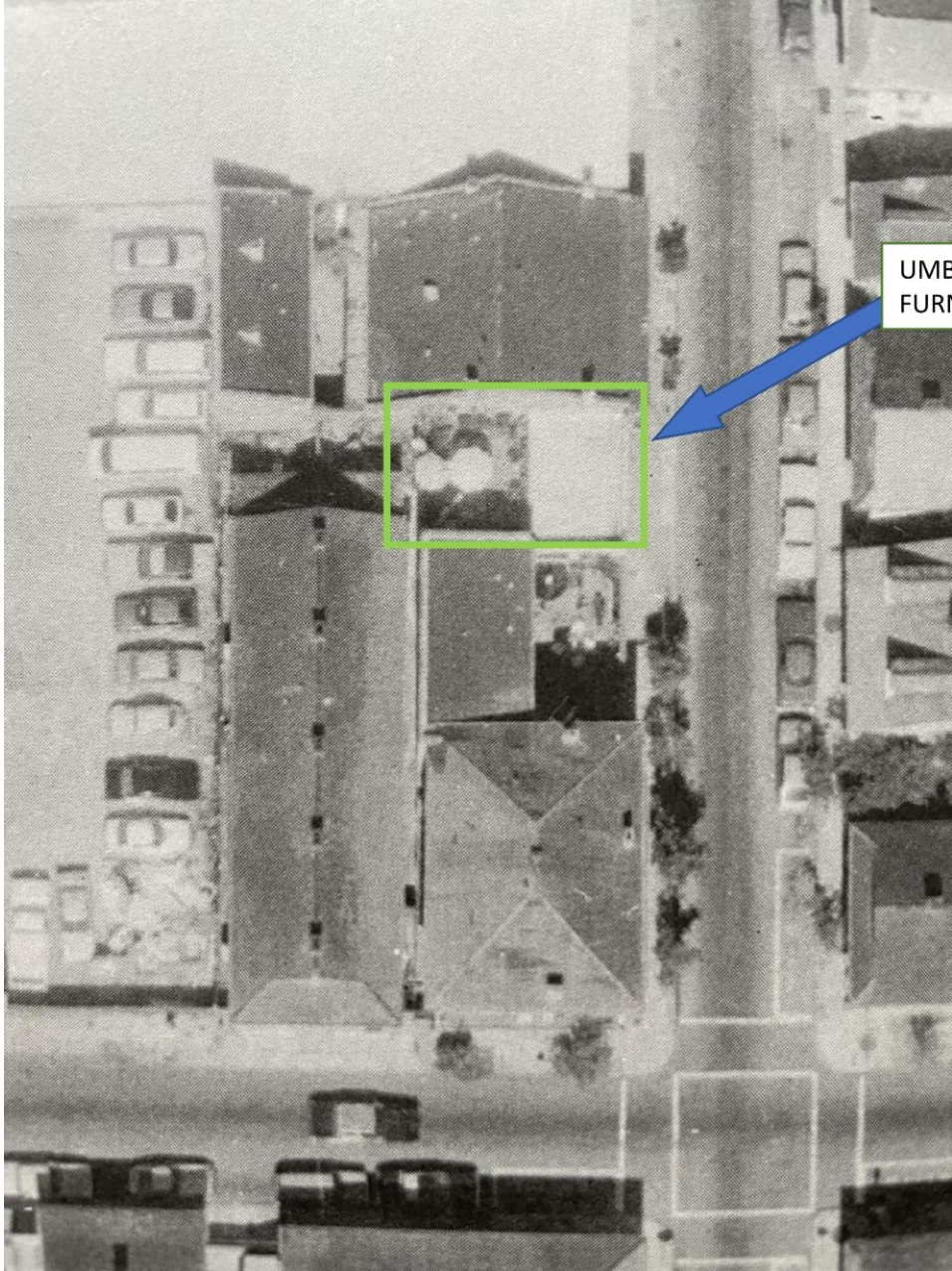


1039 Burgundy

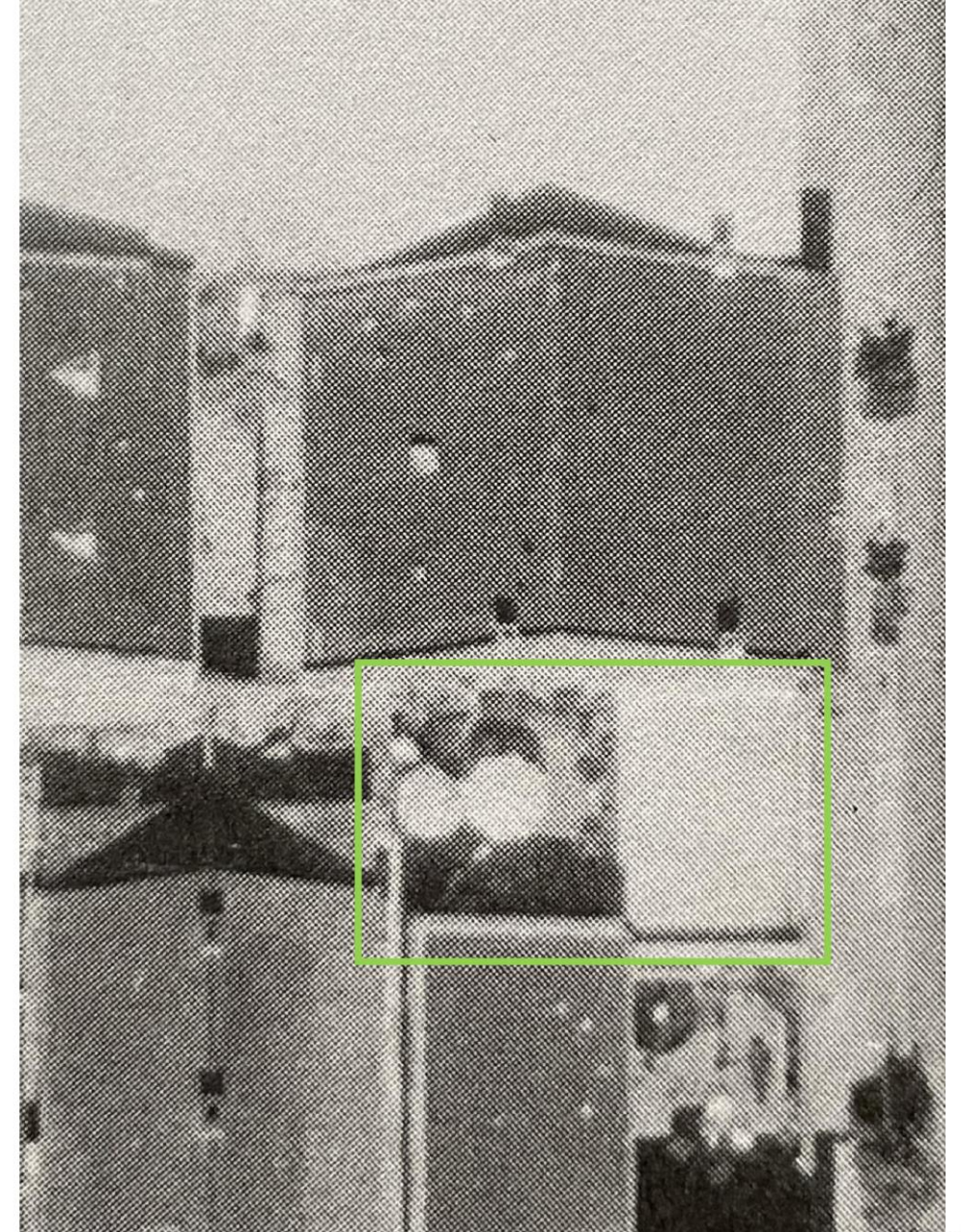
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UMBRELLAS AND OUTDOOR
FURNITURE, EXISTING USE

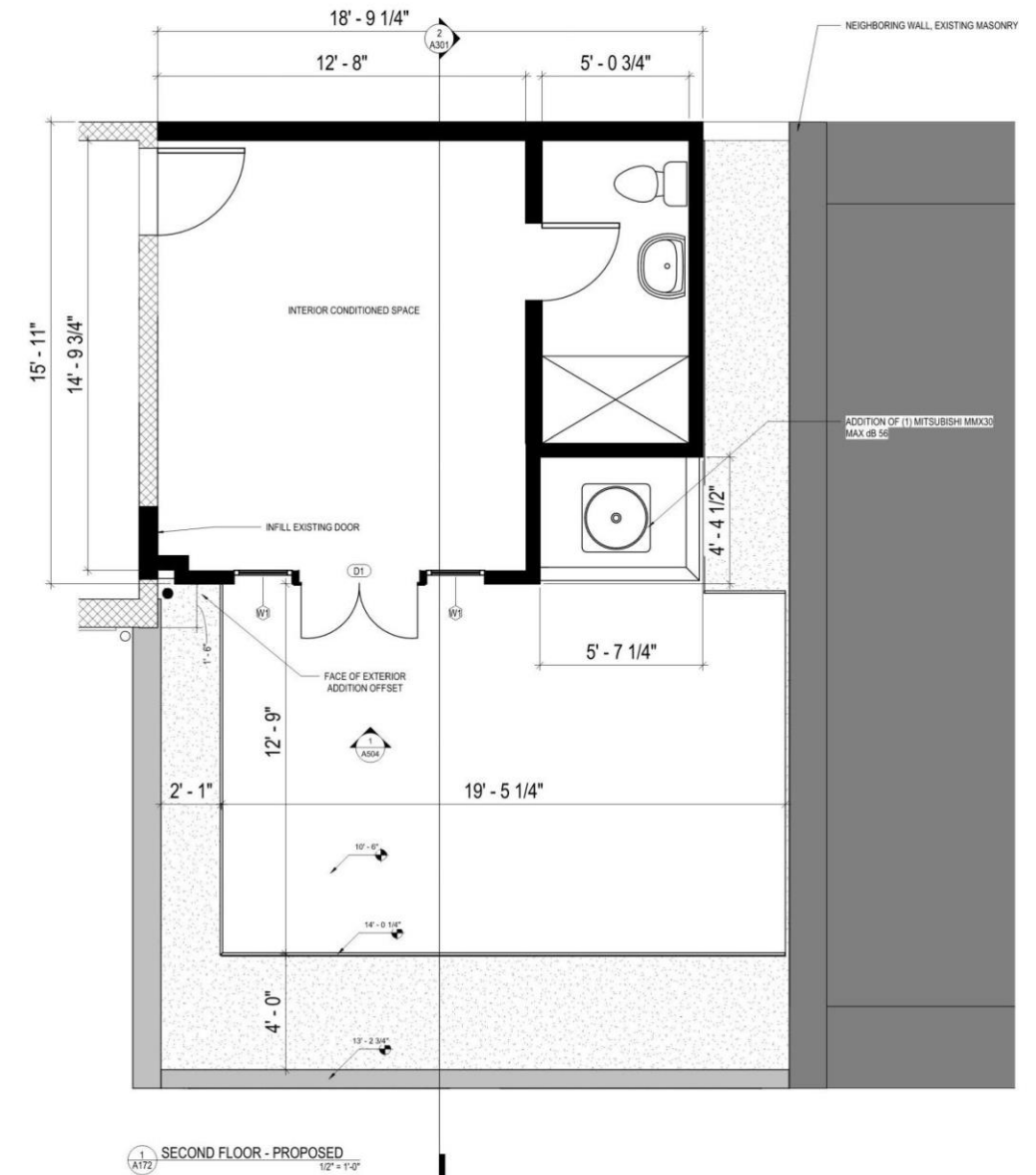


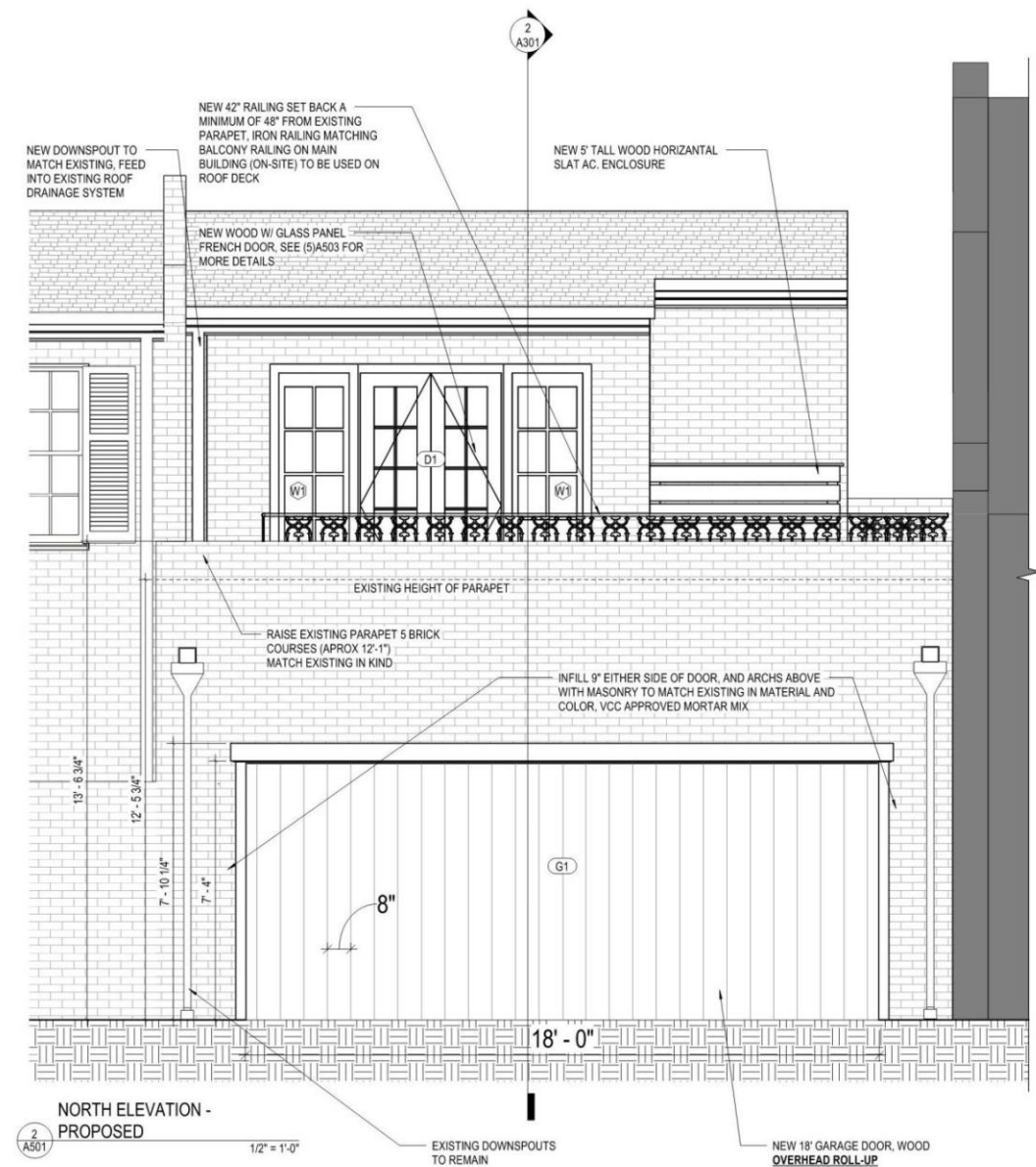
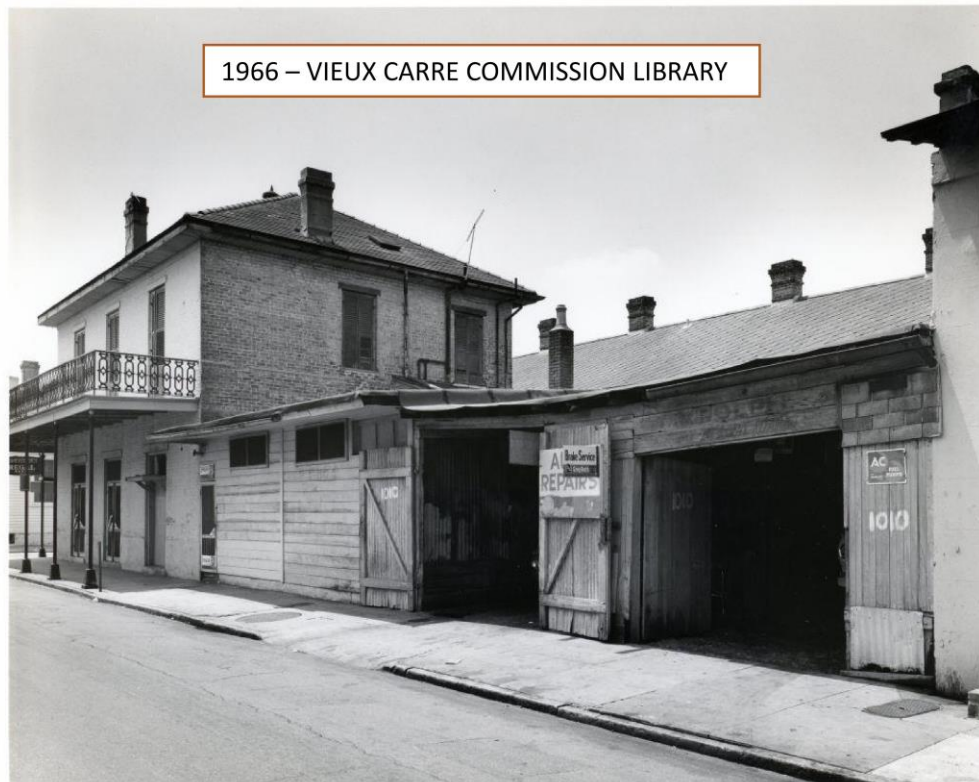
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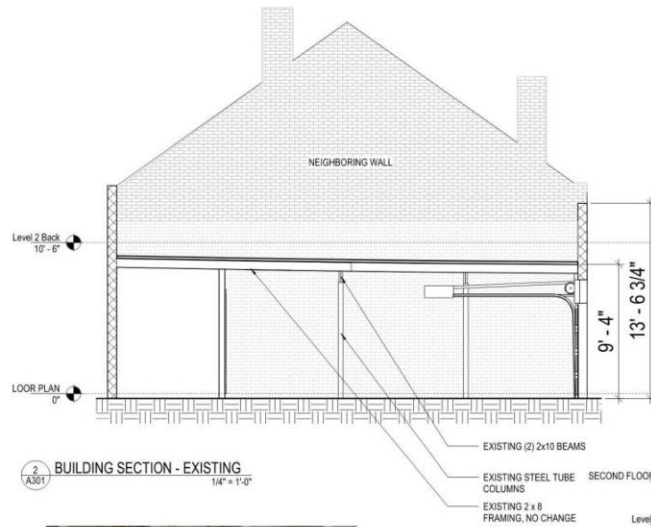


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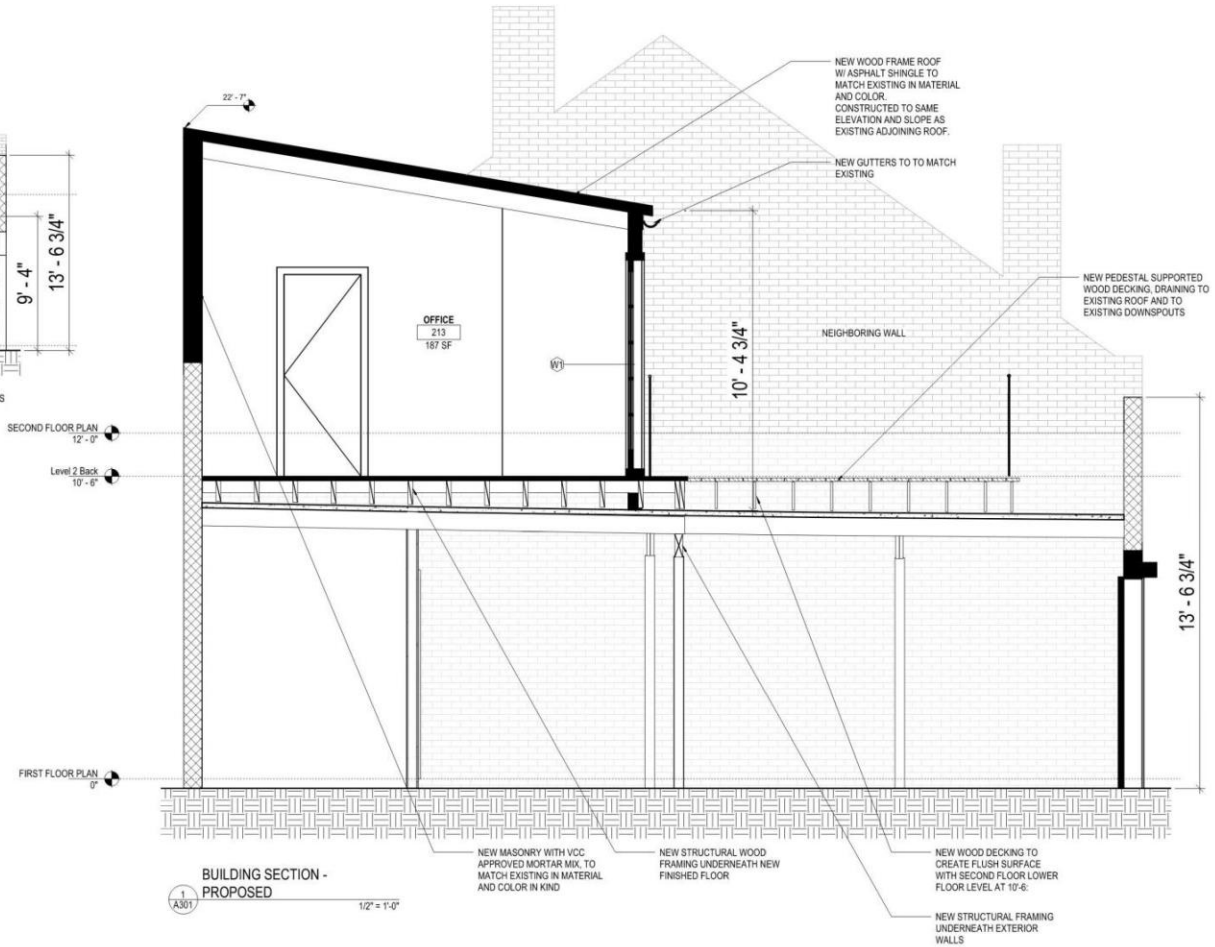
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GARAGE INTERIOR



WALL PHASING LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS AND AREA OF INFILL

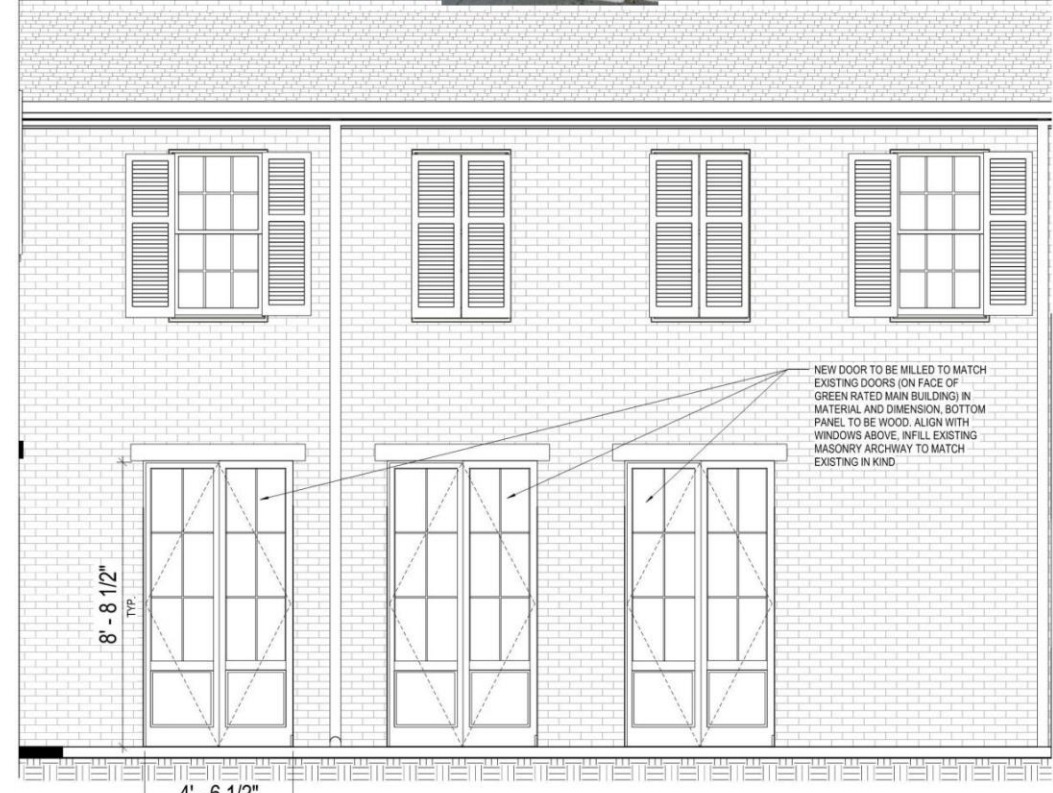
NOTE

ALL STAMPED STRUCTURAL DRAWING TO BE SUBMITTED TO VCC FOR APPROVAL.



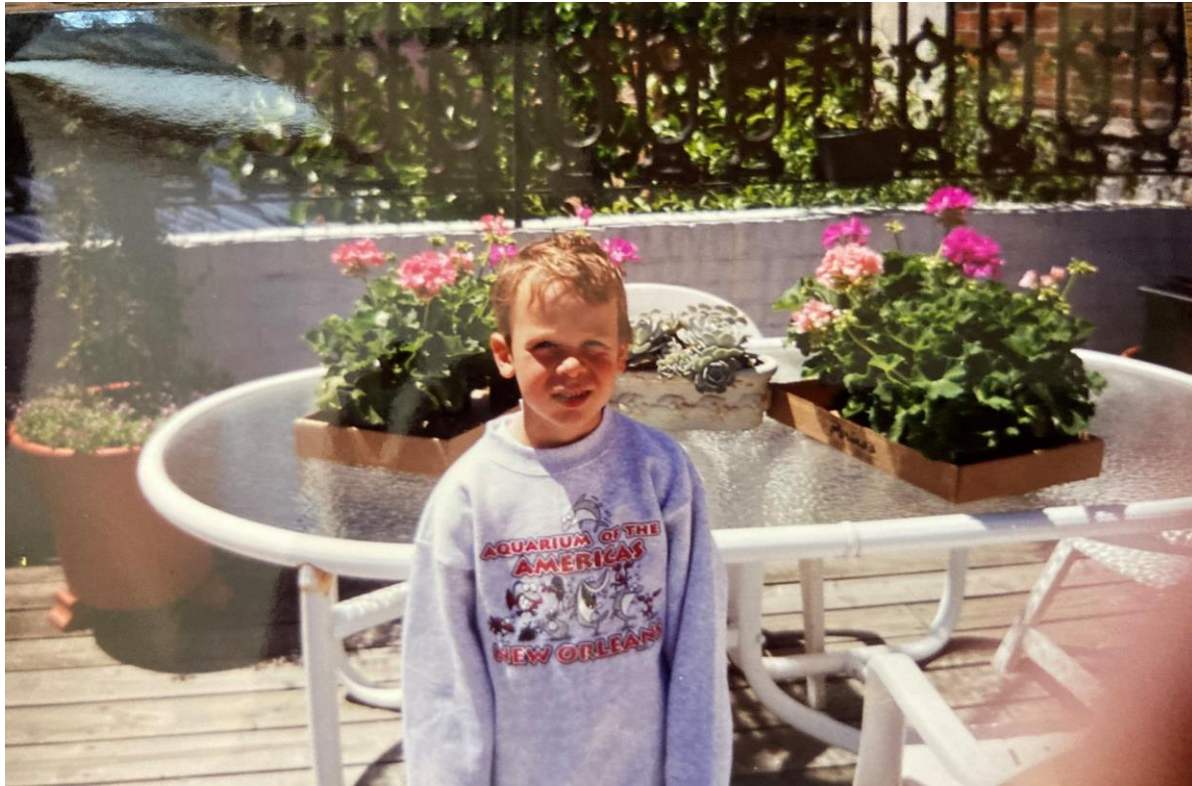
2
A502
NORTH COURTYARD
ELEVATION - EXISTING
1/2" = 1'-0"

(1) EXISTING ARCHWAY TO BE
INFILLED WITH MASONRY TO MATCH
EXISTING IN KIND, VCC APPROVED
MORTAR MIX



1
A503
NORTH COURTYARD
ELEVATION - PROPOSED
1/2" = 1'-0"





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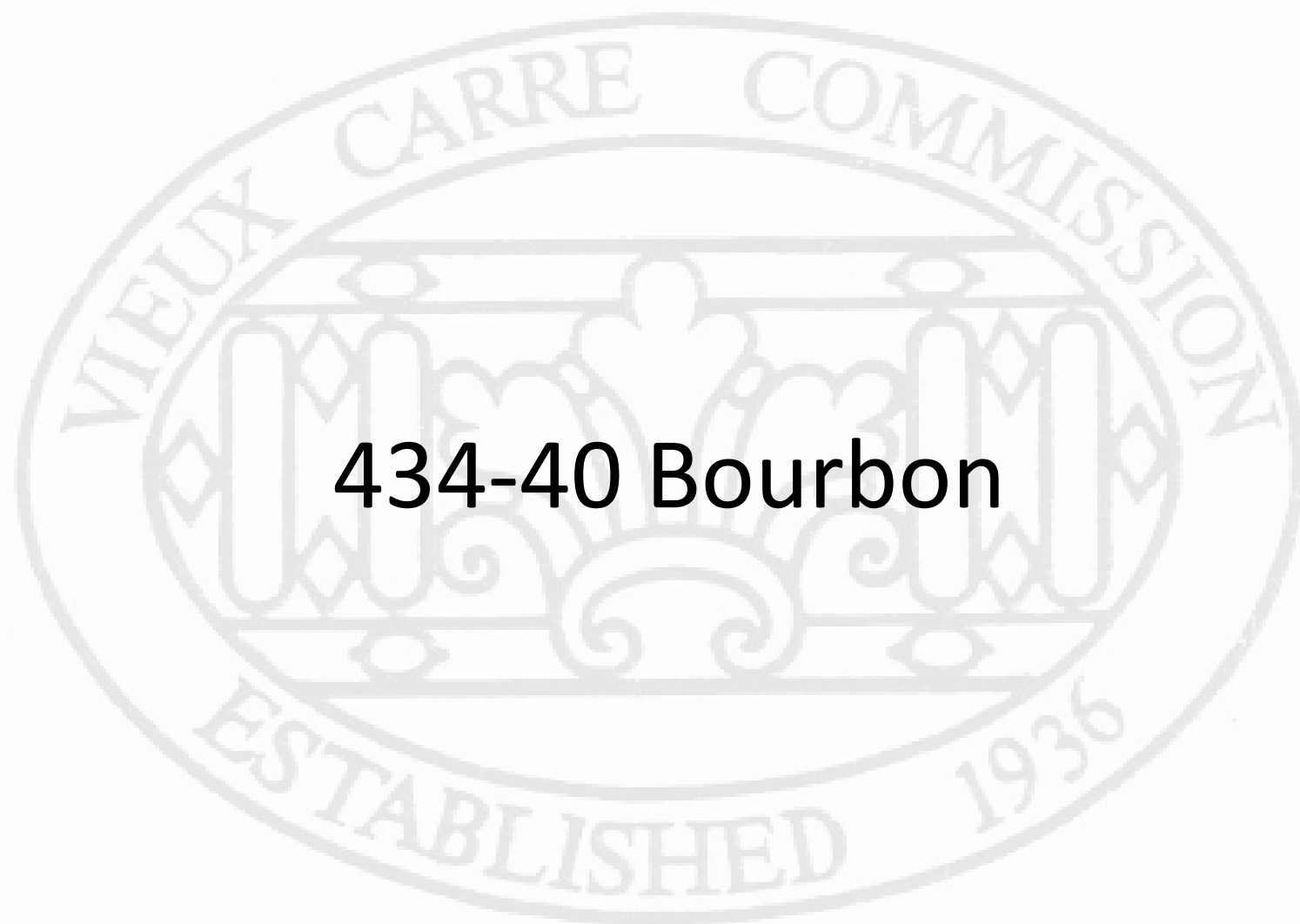
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434-40 Bourbon





440 Bourbon

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440 Bourbon

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440 Bourbon – 1940s-50s

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440 Bourbon – 1940s-50s

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440 Bourbon – c. 1959

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440 Bourbon – c. 1959

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440 Bourbon

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440 Bourbon

VCC Architectural Committee

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440 Bourbon

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440 Bourbon

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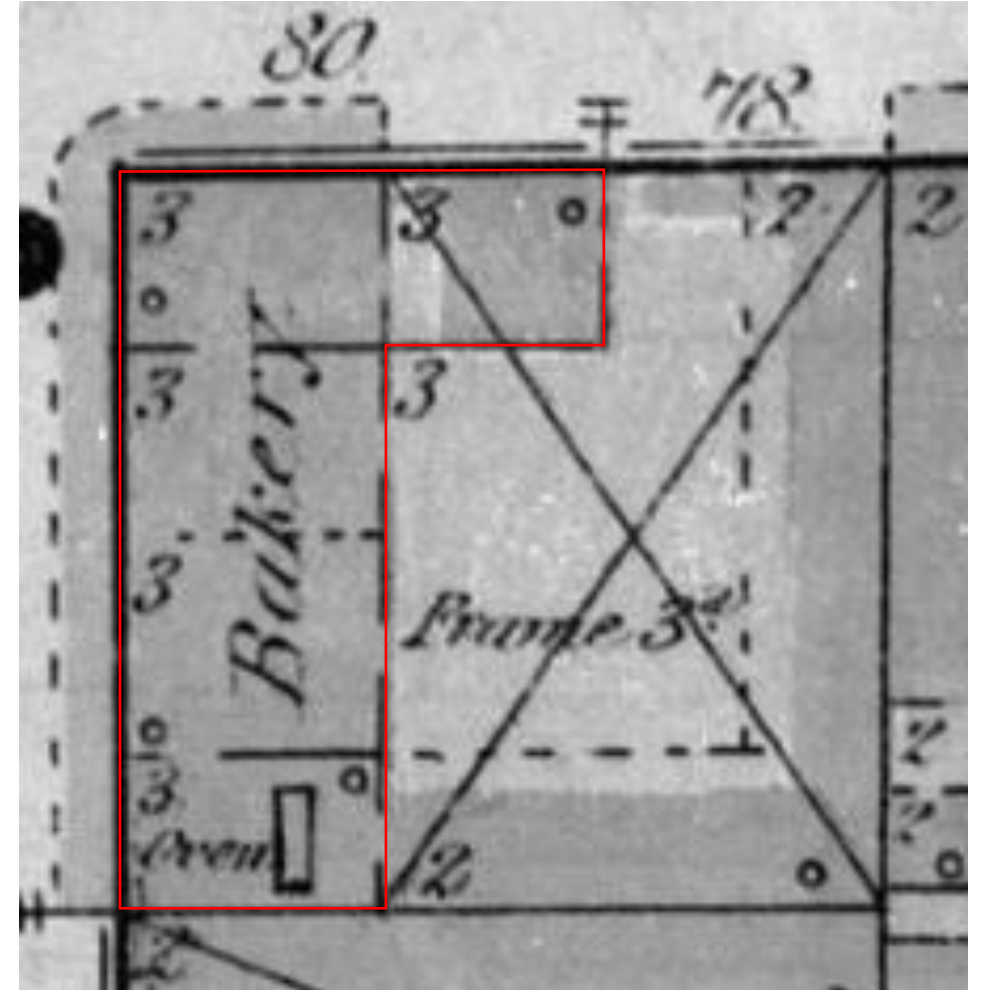
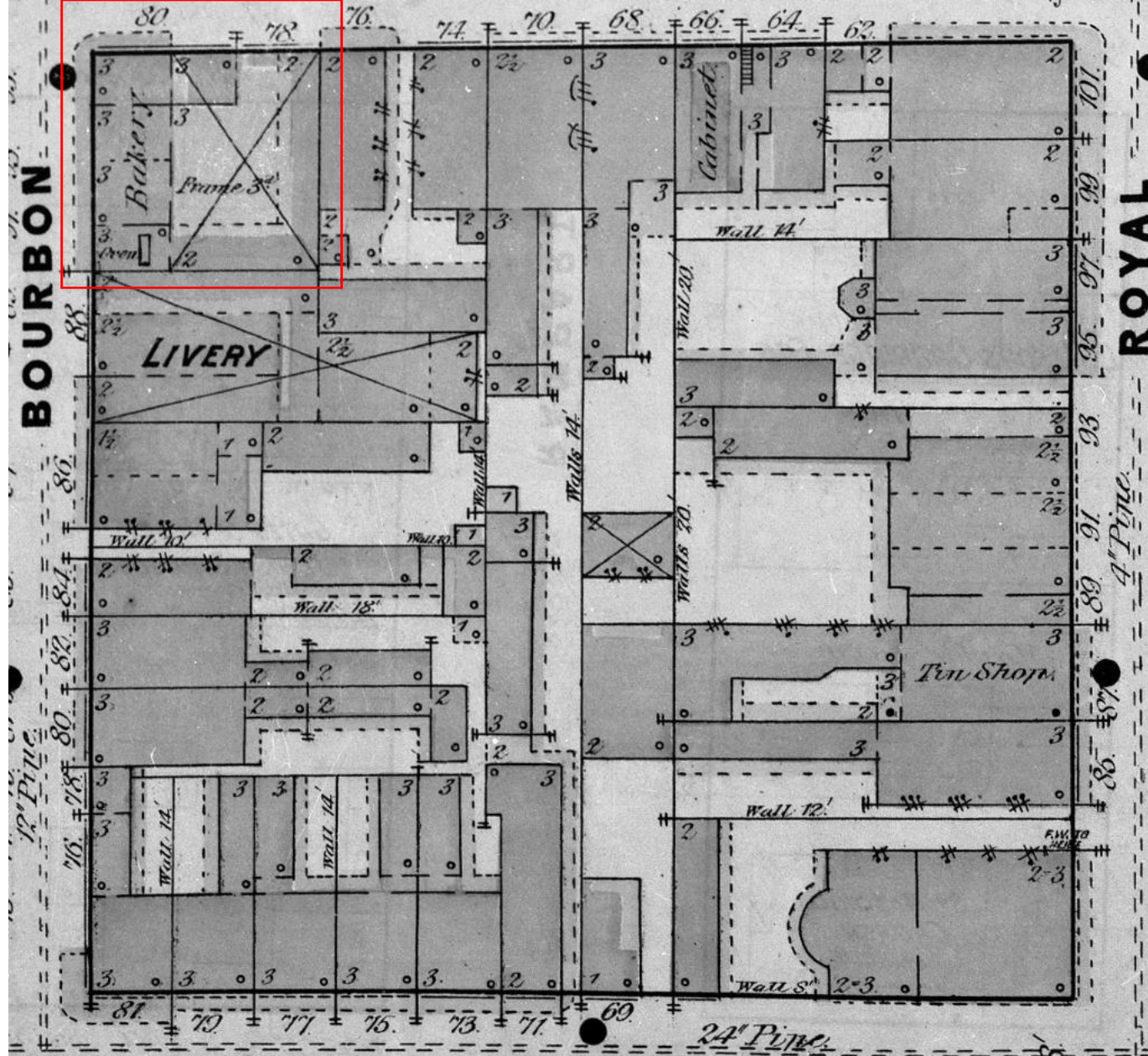


440 Bourbon

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September 13, 2022



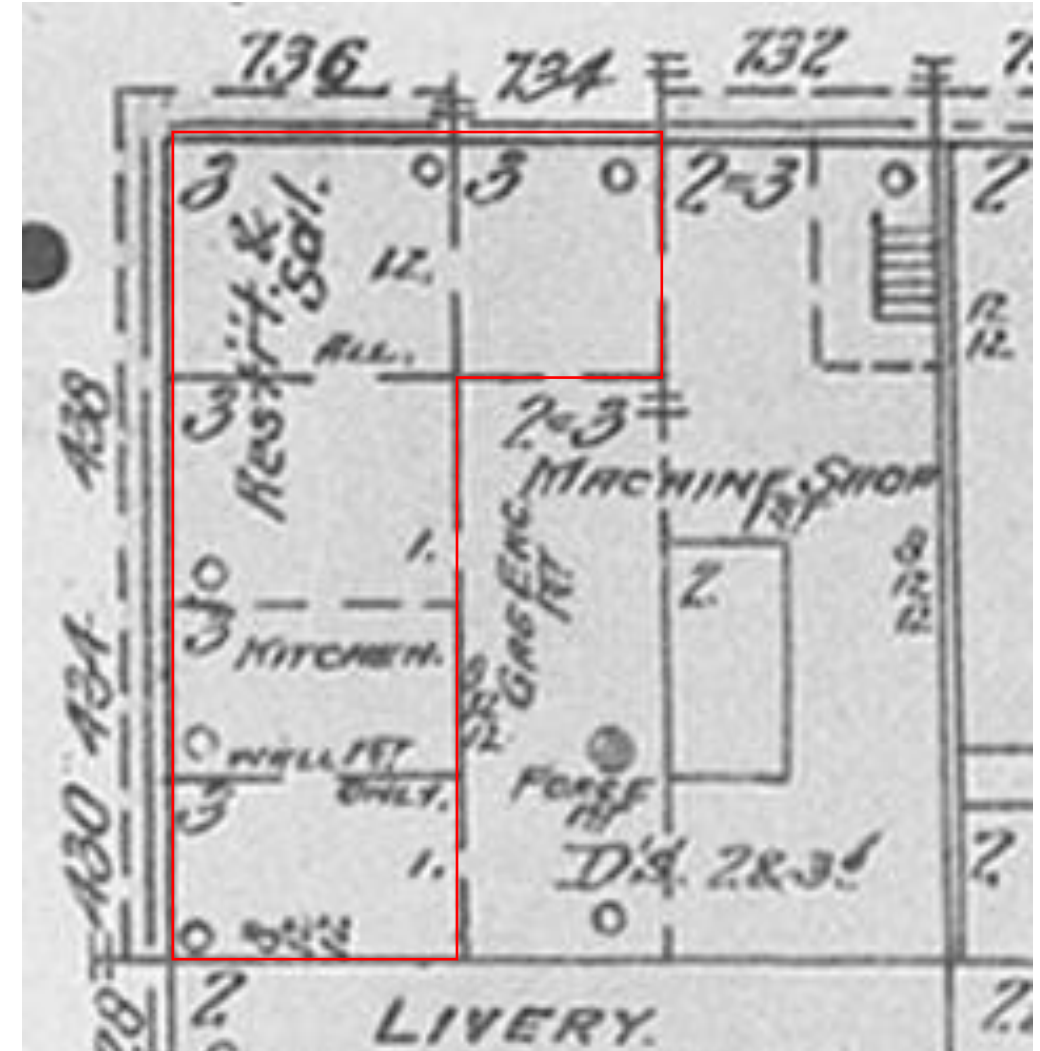
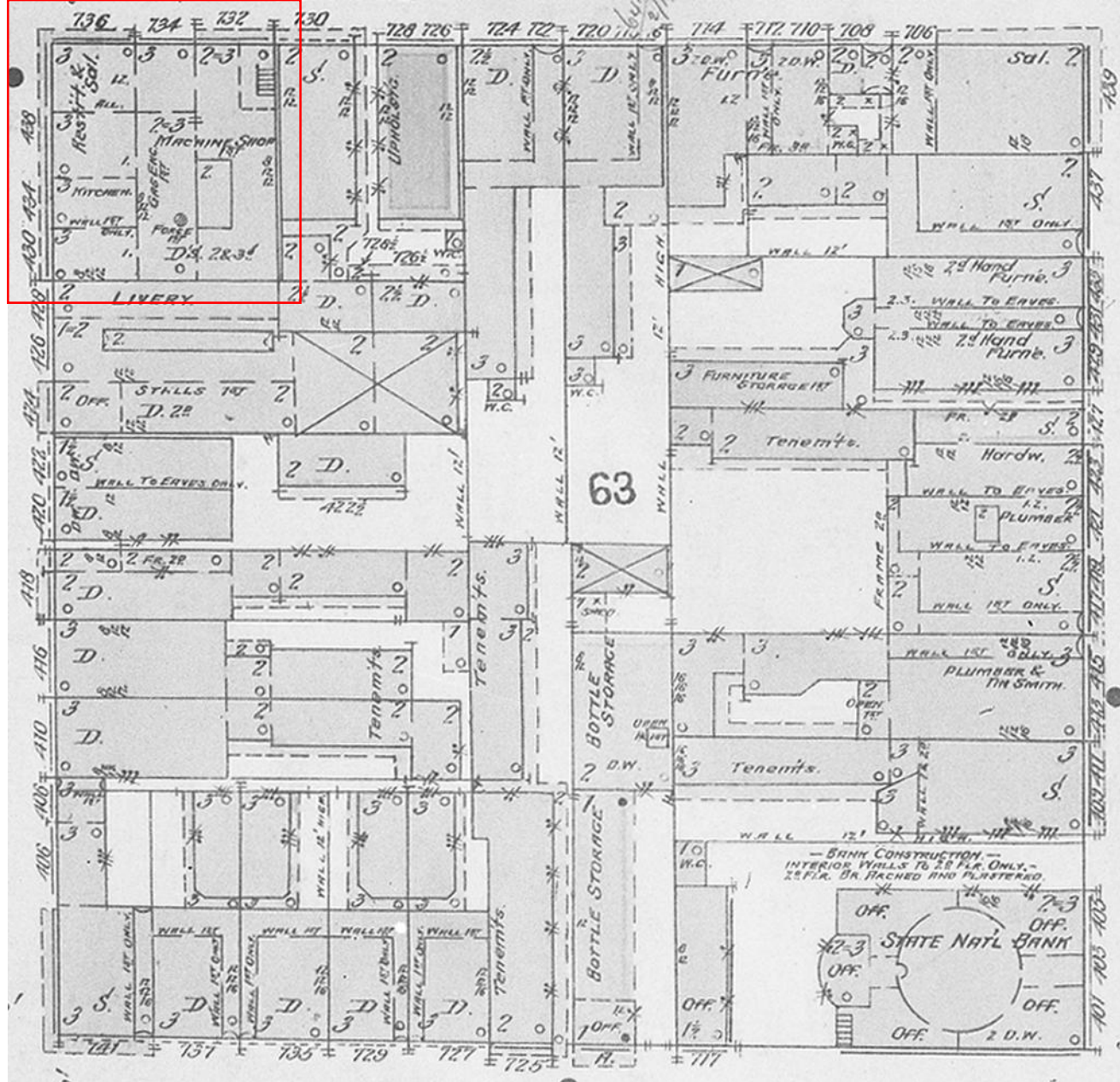


440 Bourbon – 1876 Sanborn

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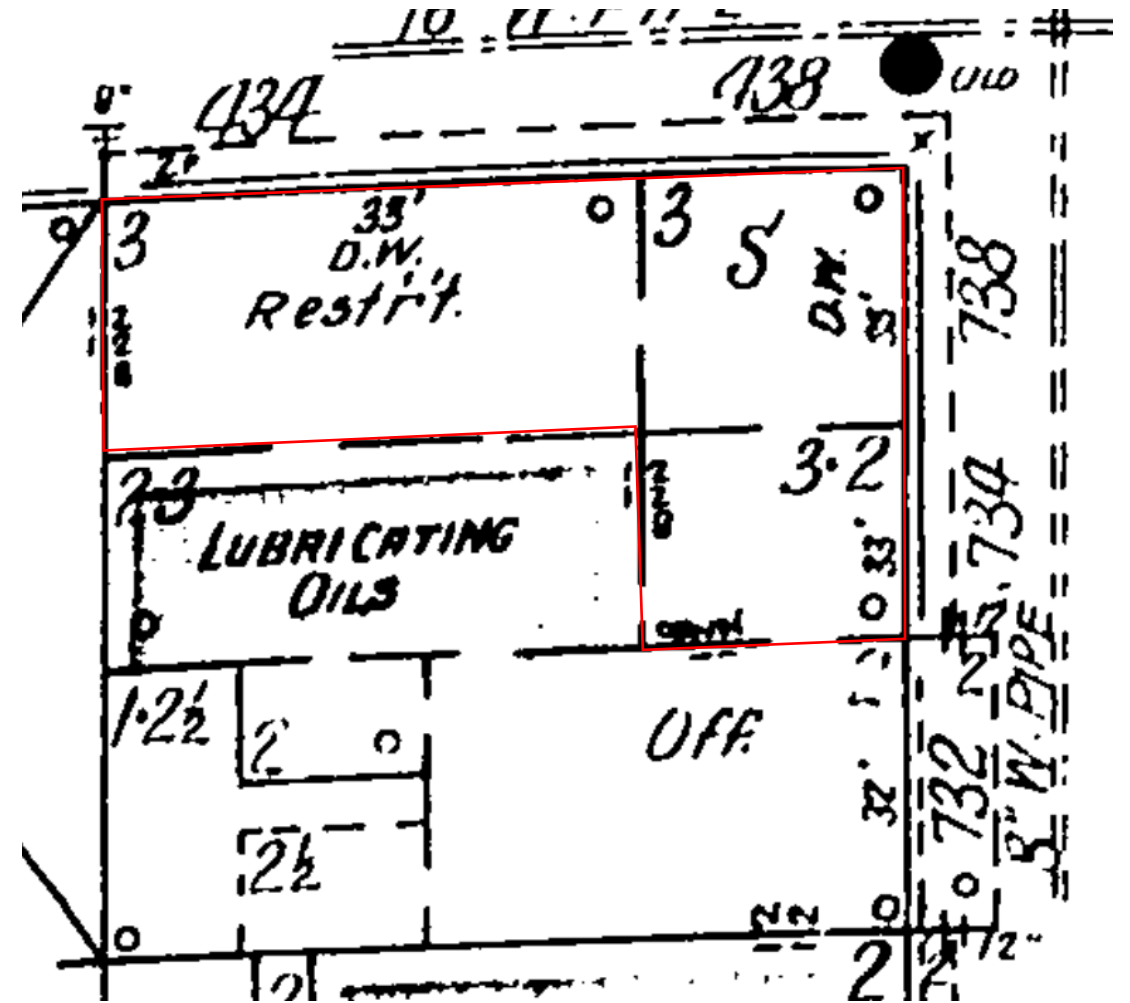
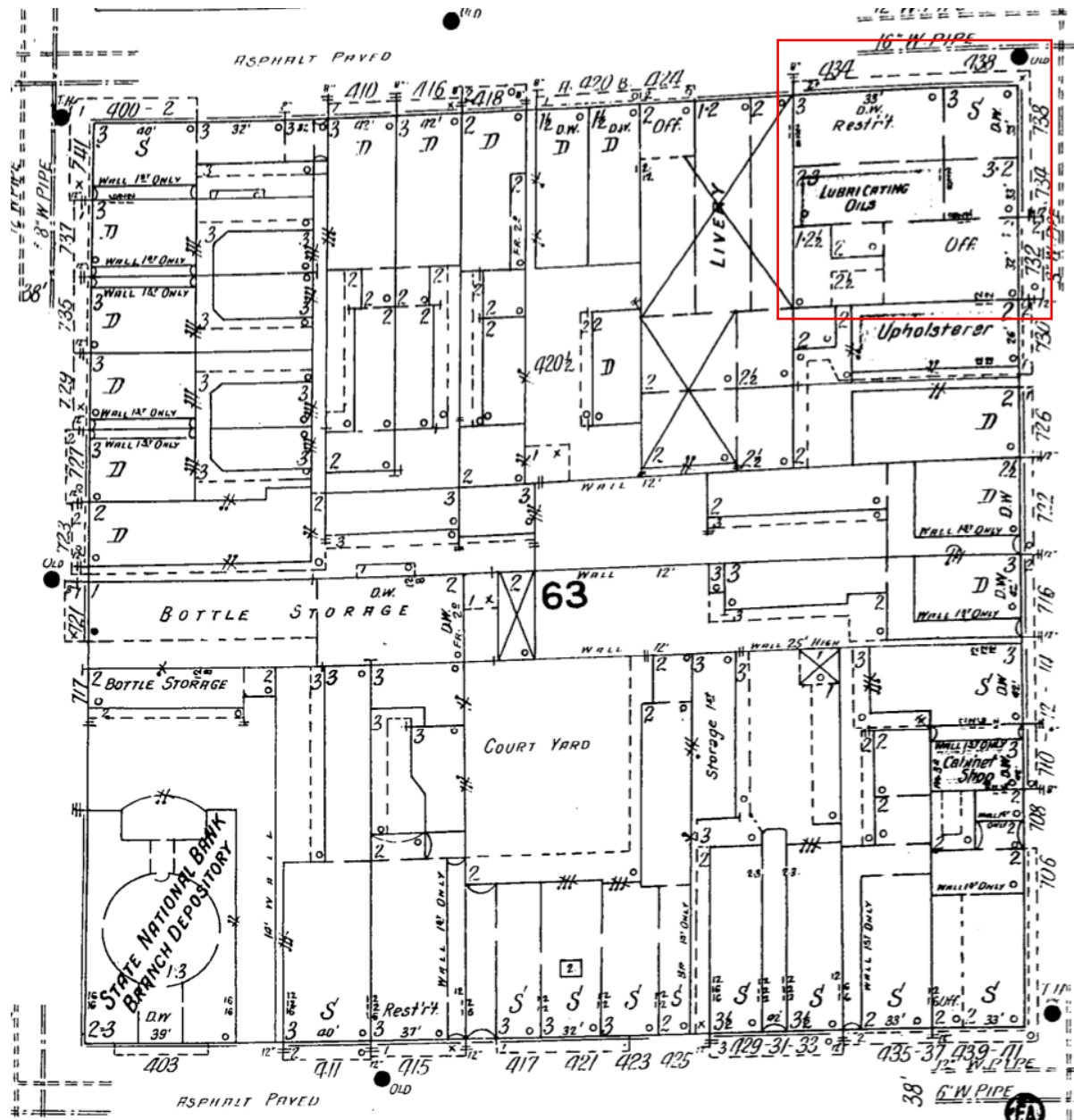


440 Bourbon – 1896 Sanborn

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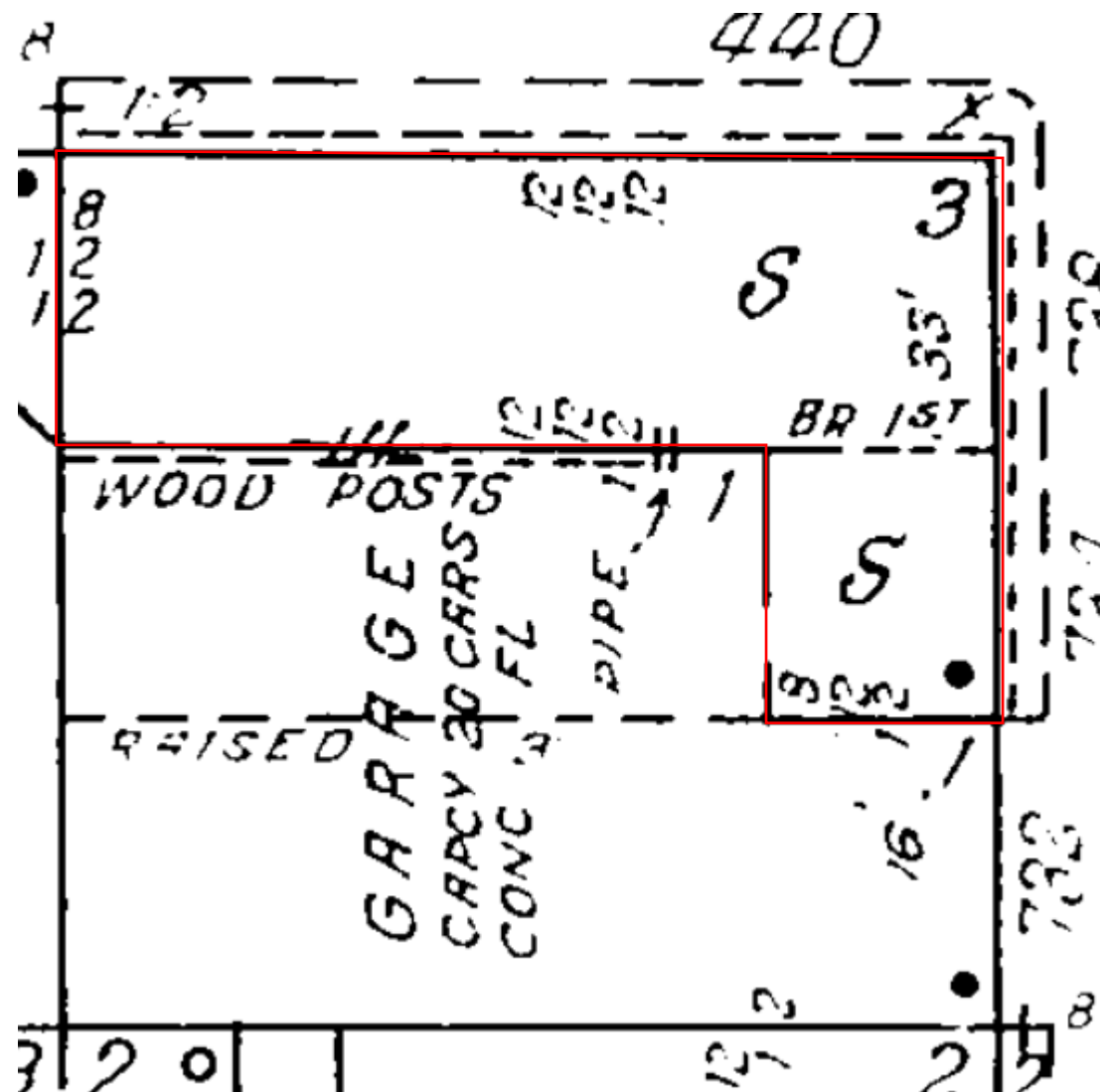
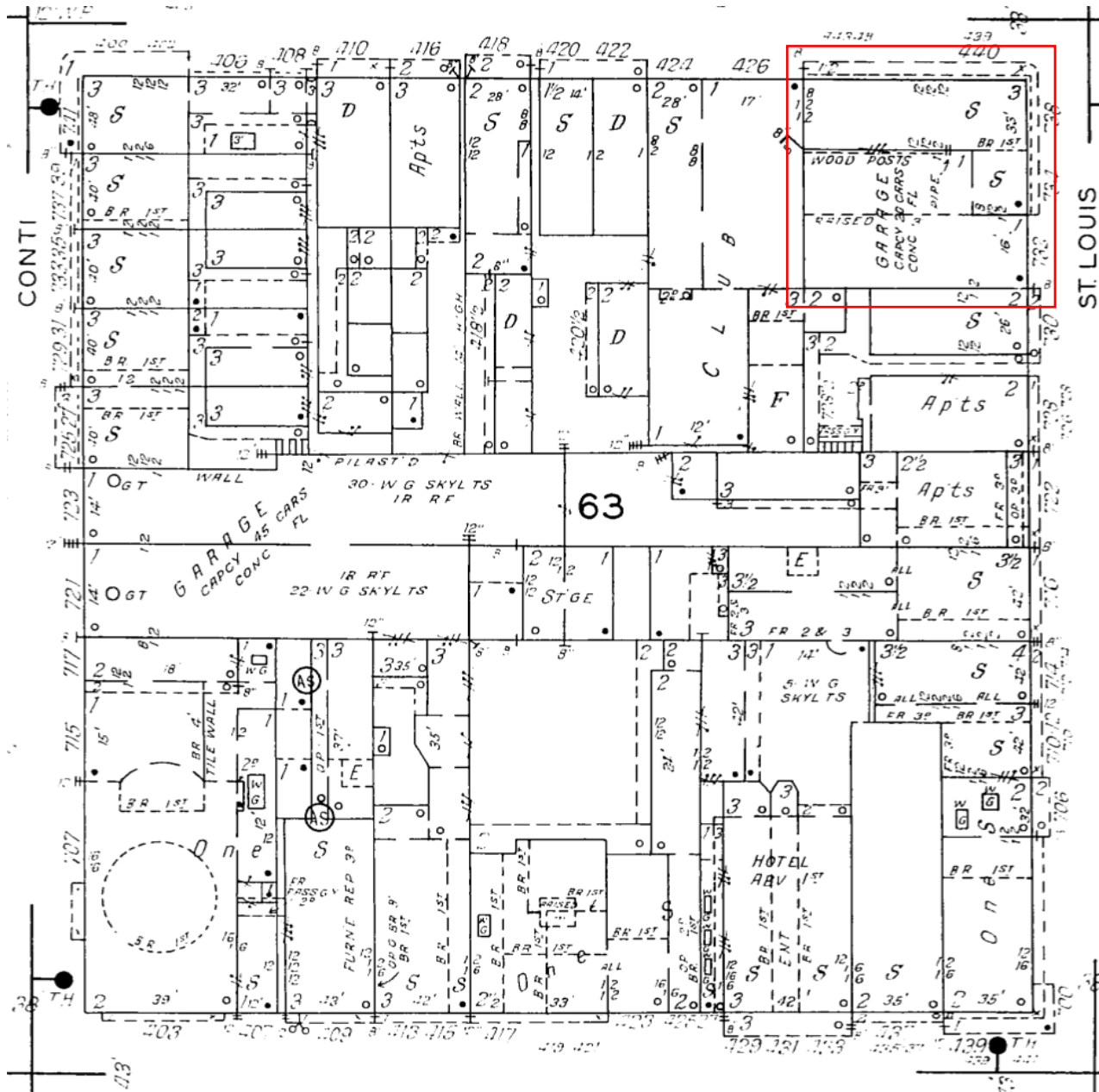


440 Bourbon – 1908 Sanborn

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440 Bourbon – 1940 Sanborn

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440 Bourbon – first floor
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440 Bourbon – entresol level

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440 Bourbon – entresol level

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440 Bourbon

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440 Bourbon

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440 Bourbon – third floor

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440 Bourbon – third floor

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440 Bourbon – third floor, courtyard side

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440 Bourbon – third floor

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440 Bourbon – third floor, courtyard side

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FOR CONCEPTUAL APPROVAL ONLY

PROPOSED EXTERIOR ALTERATIONS
440 BOURBON ST.
NEW ORLEANS, LOUISIANA

MOUTON LONG TURNER
ARCHITECTS

601 Papworth Avenue
Suite 210
Metairie, LA 70005
504.838.8091
www.moutonlong.com



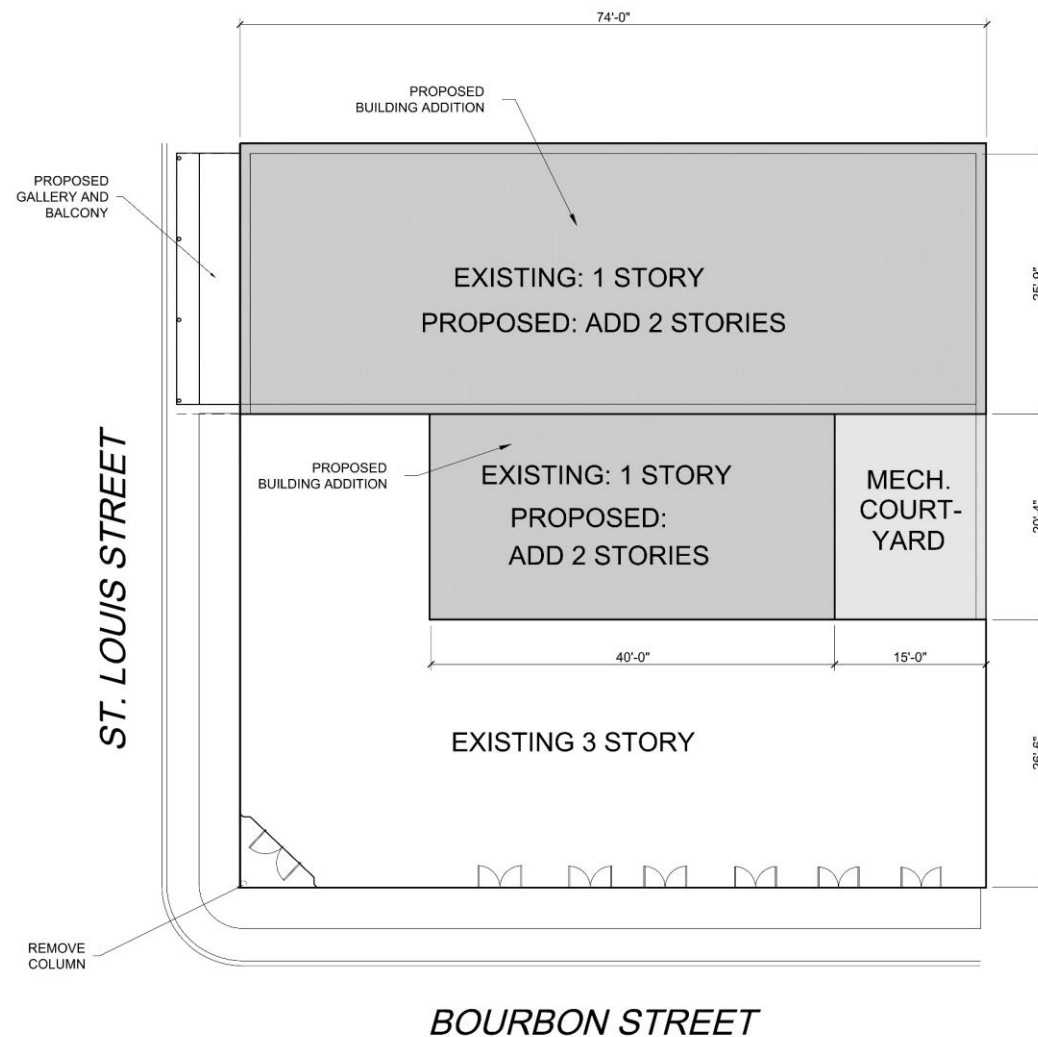
PROPOSED EXTERIOR ALTERATIONS TO
440 BOURBON ST.
NEW ORLEANS, LA

Issued
Date: 05/26/22 To: 22-1709
Project No: 22-1709
VCC1

Notes:
1. REVIEW VCC COMMENTS
2. JUNE 2022: GALLERY REMOVED

SPECIAL CONDITIONS	PROPOSED SCOPE OF WORK	SITE PLAN
<p>THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS & SECURE FROM THE ARCHITECT ADDITIONAL INFORMATION IF NECESSARY, THAT MAY BE REQUISITE TO A CLEAR AND FULL UNDERSTANDING OF THE WORK.</p> <p>ANY WORK OR MATERIAL WHICH IS NOT DIRECTLY OR INDIRECTLY NOTED IN THE SPECIFICATIONS AND DRAWINGS, BUT IS NECESSARY FOR THE PROPER CARRYING OUT OF THE OBVIOUS INTENTION IS TO BE UNDERSTOOD AS "IMPLIED" AND IS TO BE PROVIDED BY THE CONTRACTOR IN HIS PROPOSAL AS FULLY AS IF SPECIFICALLY DESCRIBED OR DELINEATED. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE ARCHITECT FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.</p> <p>DURING THE BIDDING PERIOD, ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF INTERPRETATION IN THE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT PROMPTLY FOR CLARIFICATION. THE ARCHITECT SHALL ISSUE WRITTEN ADDENDA TO BIDDERS CLARIFYING SUCH MATTERS. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ORAL INSTRUCTIONS. IT SHALL BE HELD THAT ALL BIDDERS HAVE EXAMINED ALL DOCUMENTS FOR PROPER COMPREHENSION IN THE DIVISION OF THE WORK, AND THEIR RELATIONSHIP TO OTHER CONTRACTORS OR SECTIONS OF THE WORK. NO ALLOWANCE SHALL BE MADE, AFTER THE BID OPENING, FOR MISUNDERSTANDING ON THE PART OF THE CONTRACTOR.</p> <p>BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, EACH CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.</p> <p>PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS & OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.</p> <p>ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL AND STATE GOVERNING AUTHORITIES.</p>	<ol style="list-style-type: none">ADD 2 FLOORS TO THE REAR OF THE 1 STORY PORTION OF THE BUILDING ON THE ST. LOUIS ST. SIDE, WITH A NEW GALLERY ON THE 2ND FLOOR LEVEL AND A BALCONY ON THE 3RD FLOOR LEVEL ONLY ON THE REAR ST. LOUIS ST. PORTION.REMOVE THE CORNER COLUMN AT FRONT ENTRANCE, GROUND LEVEL.RESTORE EXISTING OPENINGS ON THE GROUND LEVEL WHICH HAVE BRICK FILL.	
<p>PREPARATION AND SAFETY</p> <p>PERFORM ALL WORK IN A SAFE AND ORDERLY MANNER, AVOIDING HAZARDOUS CONDITIONS WHEREVER POSSIBLE.</p> <p>PROVIDE ALL NECESSARY TEMPORARY SHORING AND BRACING REQUIRED TO INSURE SAFE AND STRUCTURALLY SOUND EXECUTION OF THE DEMOLITION, AND PROTECTION OF EXISTING CONSTRUCTION TO REMAIN.</p> <p>ERECT SUITABLE BARRIERS AROUND HAZARDOUS DEMOLITION AREAS TO DETOUR PEDESTRIAN TRAFFIC AND PREVENT NORMAL ACCESS TO SUCH AREAS BY UNAUTHORIZED PERSONS.</p> <p>PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE SAFETY CODES AND STANDARDS.</p> <p>THE CONTRACTOR SHALL KEEP PREMISES CLEAN DURING CONSTRUCTION. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE AT ON SITE DURING CONSTRUCTION. FINAL CLEAN UP AND REPAIR IS PART OF THIS WORK.</p>	<p>BUILDING AREAS/ HEIGHT</p> <p>EXISTING: GROUND FLOOR 5445 SF 2ND FLOOR 2340 SF 3RD FLOOR 2340 SF TOTAL 10,125 SF 32'-8" +/- HIGH</p> <p>NEW: 2ND FLOOR 3101 SF 3RD FLOOR 3101 SF TOTAL 6202 SF 37'-6" +/- HIGH (TOP OF REAR PORTION)</p>	
<p>RENOVATION NOTES</p> <p>THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COORDINATING NEW WORK WITH EXISTING AND TO REPAIR ANY PART OF THE BUILDING DAMAGED DUE TO REMODELING WITH MATERIALS AND METHOD TO MATCH EXISTING.</p> <p>WHERE EXISTING BEARING WALLS, BEAM OR ANY OTHER STRUCTURAL SUPPORT OF THE EXISTING BUILDING IS BEING REMOVED, CONTRACTOR SHALL DO ALL NECESSARY SHORING, BRACING, JACKING, ETC., AS REQUIRED TO MAINTAIN THE SAFETY OF THE STRUCTURE, WORKERS, AND THE GENERAL PUBLIC. NO STRUCTURAL MEMBERS SHALL BE CUT WITHOUT PRIOR APPROVAL.</p> <p>WHEN ANY PART OF THE STRUCTURE IS OPEN TO THE EXTERIOR, PROTECT INTERIOR FROM WIND, STORM, RAIN, AND VANDALISM.</p> <p>PROTECT PEDESTRIAN RIGHT OF WAY IN AREA OF WORK.</p> <p>USE ONLY NEW MATERIALS WITH UL LABEL WHERE APPLICABLE. (EXCEPT AS NOTED)</p>	<p>ZONING</p> <p>SQUARE 63 LOT 12 74' X 75'</p> <p>ZONING: VCE MAX. HEIGHT: 50' MAX. F.A.R.: NONE MIN. PERMEABLE AREA: NONE</p>	
<p>AS-BUILT VERIFICATION</p> <p>THIS PROJECT INVOLVES WORKING WITH PREVIOUSLY CONSTRUCTED BUILDING COMPONENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS (LOCATIONS AND CONDITION OF WALLS, COLUMNS, BEAMS, MECHANICAL, ELECTRICAL, PLUMBING, ETC.) AND LAYOUT PLAN PRIOR TO PERFORMING ANY CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES AS TO ACTUAL CONDITIONS AS TO WHAT IS SHOWN HEREIN OR IF PLAN DOES NOT LAY OUT AS INTENDED, CONTACT ARCHITECT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED.</p>		





SITE PLAN
 APPROX. SCALE: 1"= 20'-0"

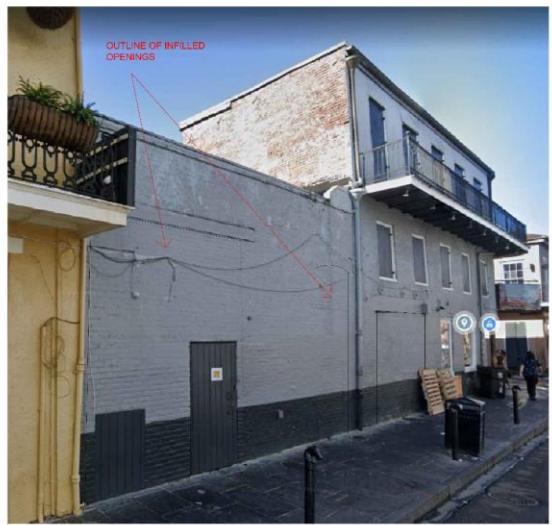
THESE PLANS AND SPECIFICATIONS HAVE BEEN
 PREPARED BY ME OR UNDER MY CLOSE SUPERVISION
 AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF,
 THEY COMPLY WITH ALL LOCAL CODES AND

440 Bourbon

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September 13, 2022





ST. LOUIS ST. VIEW - EXISTING



CORNER VIEW - EXISTING



BOURBON ST. VIEW - EXISTING

MOUTON LONG TURNER
ARCHITECTS

601 Poydras Avenue
Suite 200
Metairie, LA 70005
504.838.8091
www.moutonlong.com



ST. LOUIS ST. VIEW - PROPOSED

1. RESTORE EXISTING OPENINGS ON GROUND LEVEL.
2. NEW 3 STORY STRUCTURE
3. NEW GALLERY AND BALCONY.



CORNER VIEW - PROPOSED

1. REMOVE CORNER COLUMN AT FRONT ENTRANCE.
2. CLEAN UP AND RESTORE EXISTING EXTERIOR FACADE.



BOURBON ST. VIEW - PROPOSED

1. REMOVE CORNER COLUMN AT FRONT ENTRANCE.
2. CLEAN UP AND RESTORE EXISTING EXTERIOR FACADE.

PROPOSED EXTERIOR ALTERATIONS TO
440 BOURBON ST.
NEW ORLEANS, LA

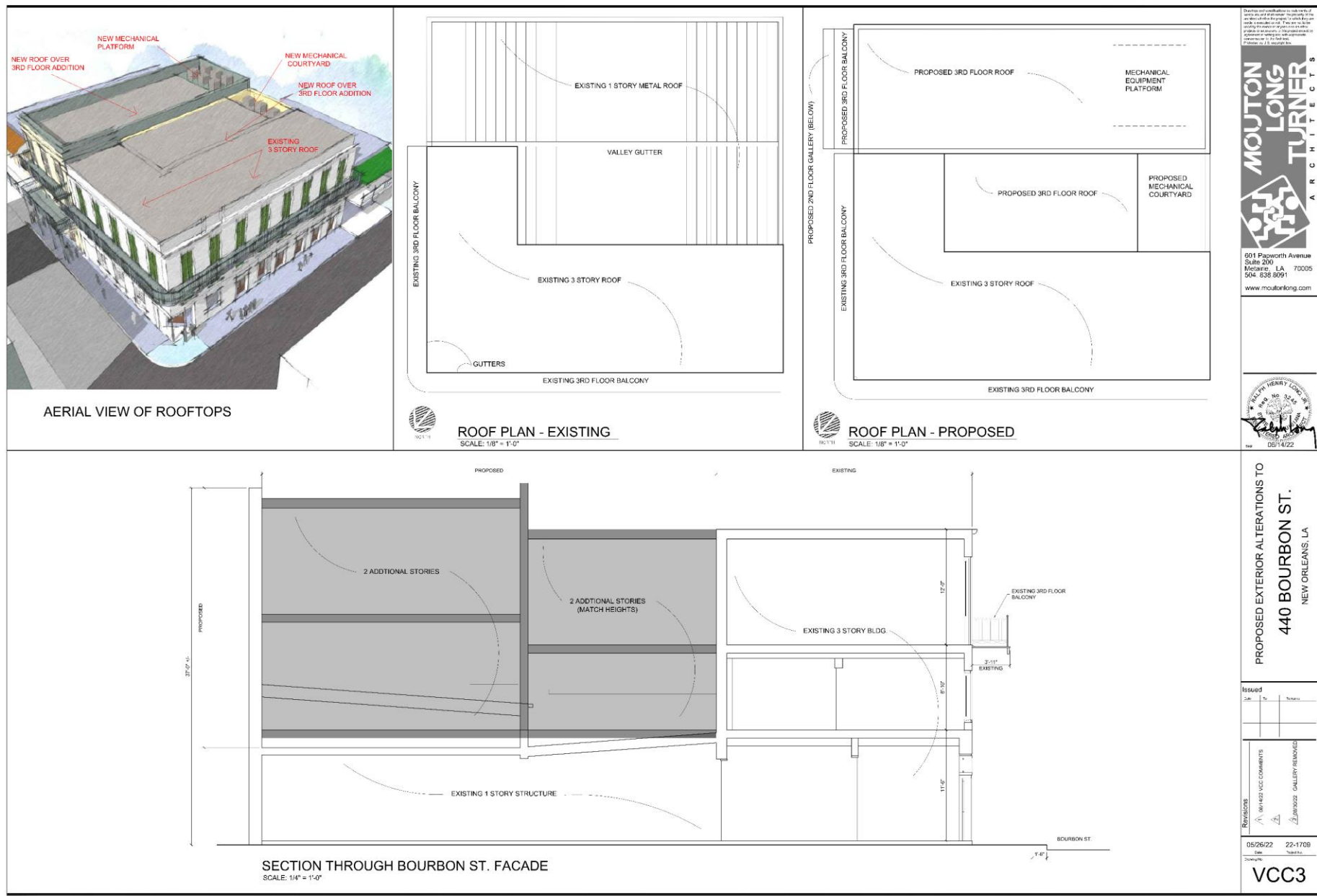
Revisions

NO.	DATE	DESCRIPTION
1	05/28/22	ISSUE FOR VCC COMMENTS
2	06/14/22	GALLERY RENOVATED

05/28/22 22-1709
Date Project No.
Drawing No.

VCC2





440 Bourbon

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September 13, 2022



521 St Louis





521 St. Lou
VCC Architect

06 28 2022





521 St. Louis

VCC Architectural Committee

September 13, 2022





521 St. Louis

VCC Architectural Committee

September 13, 2022



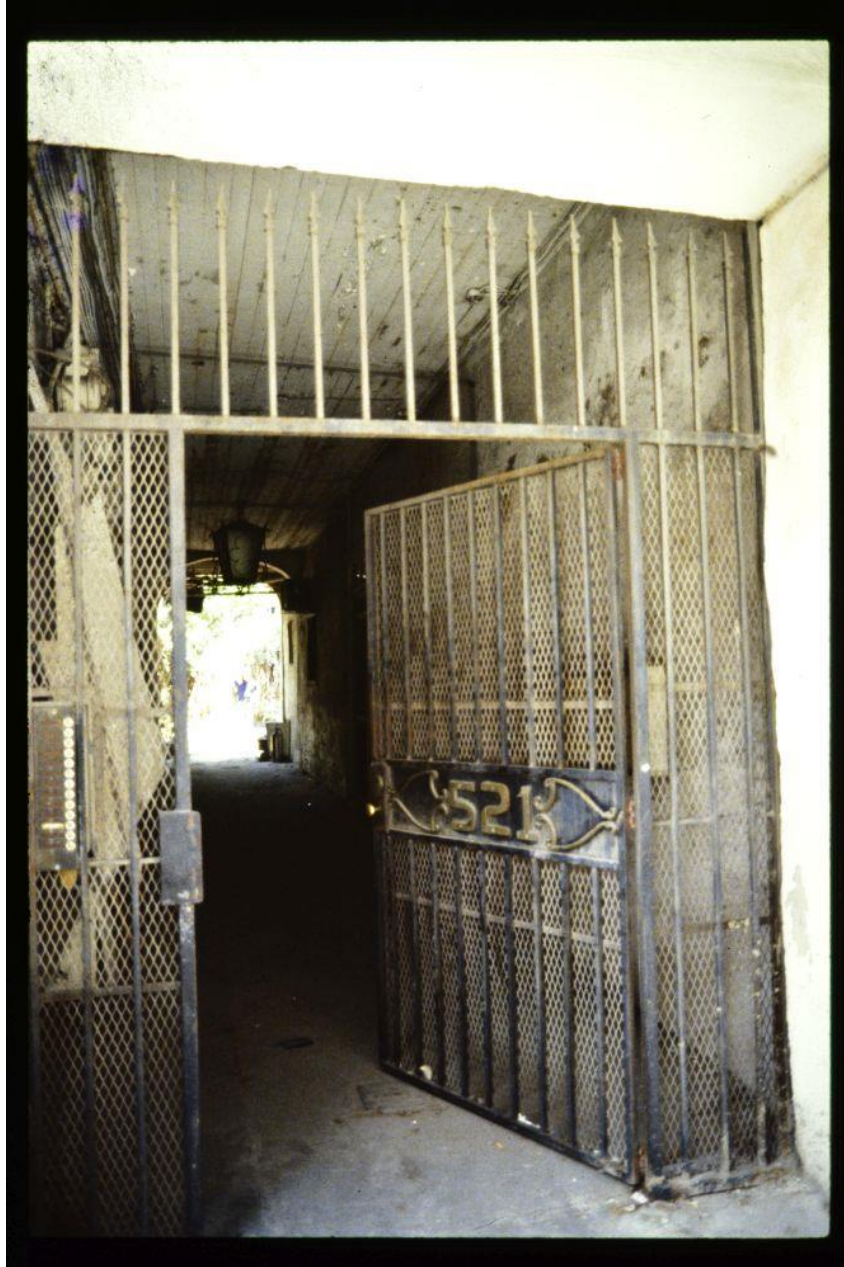


521 St. Louis – c. 1858

VCC Architectural Committee

September 13, 2022





521 St. Louis

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September 13, 2022





521 St. Louis

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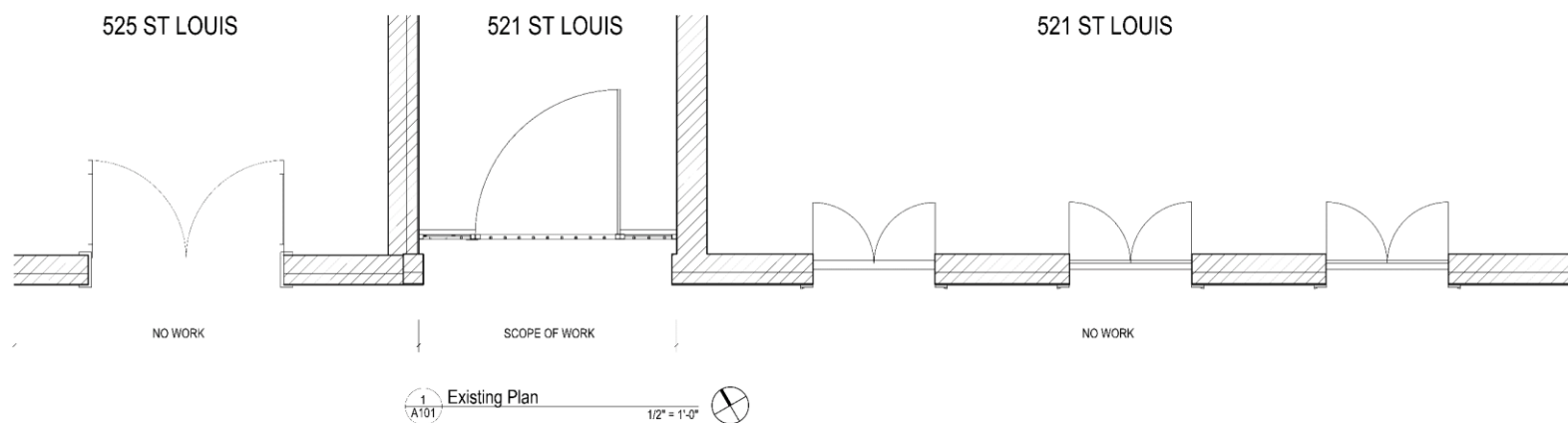


521 St. Louis

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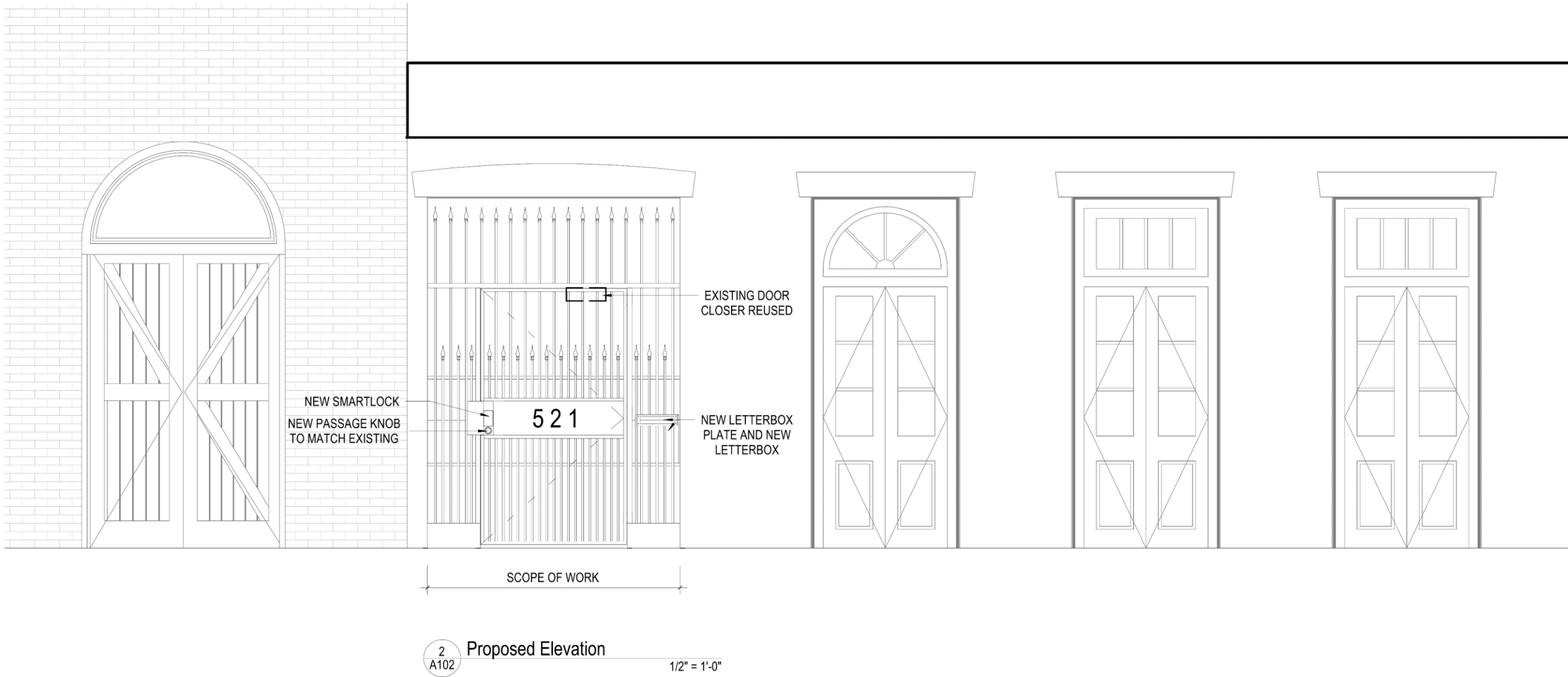


521 St. Louis

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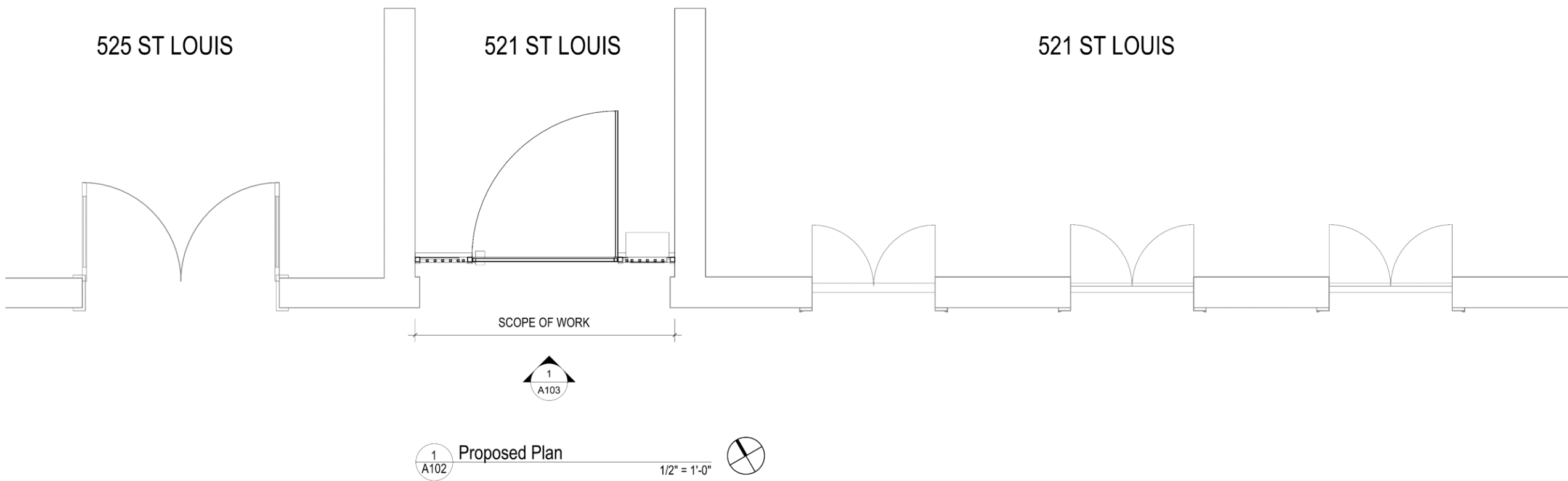


521 St. Louis

VCC Architectural Committee

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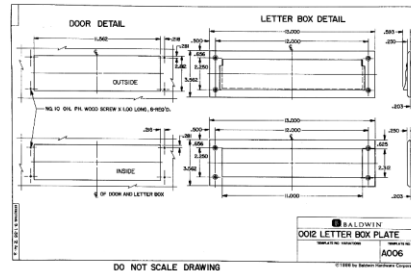


521 St. Louis

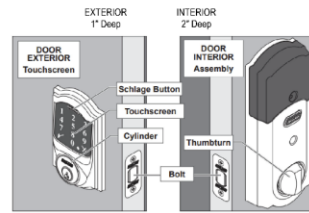
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September 13, 2022





BALDWIN LETTER BOX PLATE

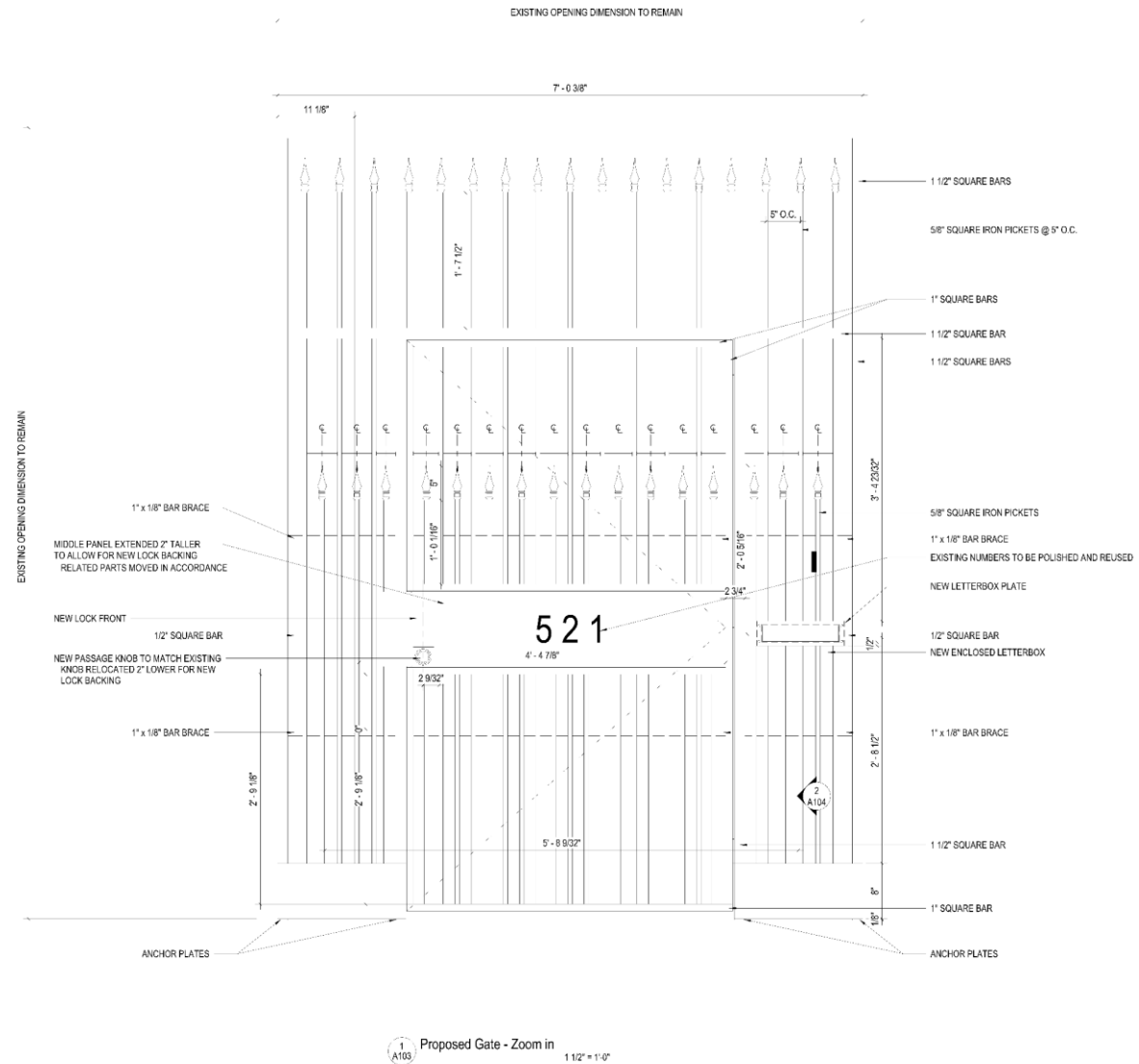


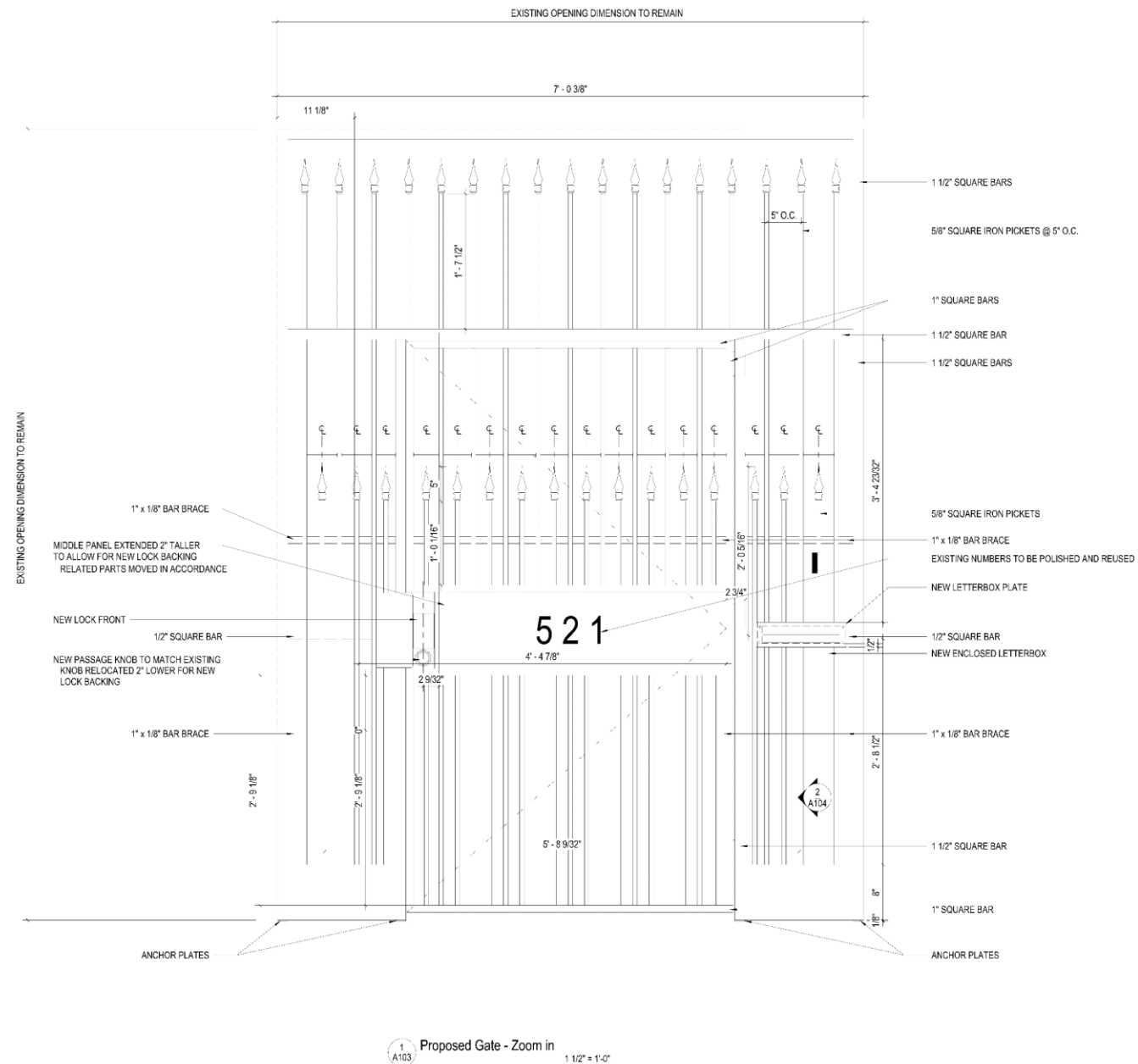
SCHLAGE BE468 SMART LOCK WITH BLACK FINISH



SCHLAGE PLYMOUTH SERIES BRASS PASSAGE KNOB

EXISTING DOOR CLOSER TO BE PRESERVED AND REUSED ON NEW GATE





1 Proposed Gate - Zoom in
A103 1 1/2" = 1'-0"

521 St. Louis

NFW GATE

VCC Architectural Committee

September 13, 2022



The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The inner circle features a stylized architectural design with vertical columns and a central decorative element.

919 Decatur



917-919 Decatur, 1866

VCC Architectural Committee

September 13, 2022





917-919 Decatur

VCC Architectural Committee

September 13, 2022





917-919 Decatur

VCC Architectural Committee

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917 Decatur

VCC Architectural Committee

September 13, 2022





917 Decatur, 1975

VCC Architectural Committee

September 13, 2022





917 Decatur

VCC Architectural Committee

September 13, 2022



BOPP ENTERPRISES DECATUR ST RENOVATION

Renovation Square 21, Lot 30 New Orleans Orleans Parish, Louisiana

Codes

1. International Building Code, 2015 Edition
2. Parish / City, Amendments to IBC 2015
3. Life Safety Code, ANSI/NFPA 101, 2015 Edition
4. American with Disabilities Act, Public Law 101-336

Site Information

Address 919 Decatur St
New Orleans, Louisiana 70116

Lots 30

Squares 21

Area of Lot 6,603 SF

Design Criteria

Zonings VCC-1

Occupancy
IBC 2015: Residential R-3
NFPA 101 2015: Residential

Type of Construction Type V-B
Unprotected

Maximum Htg. Existing
Sprinkler System No
No. of Stories 2

Occupant Load
IBC 2015: 1506 / 200 = 8
NFPA 101 2015: 1506 / 200 = 8

Live Loads
Floor 40 psf
Roof Load 20 psf
Wind Load 130 mph

Project Directory

Architect

CIS Architects
Charles I Silbernagel + Associates, Inc.
Architects, A Professional Design Group
3129 Edenborn Avenue, Suite 100
Metairie, Louisiana 70002
(504) 454-3112 - Office
(504) 454-3125 - Fax
Email: Charles@cisarchitects.com

Mechanical Engineer

The work is less than \$15,000 and according to Jefferson Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Electrical Engineer

The work is less than \$15,000 and according to Jefferson Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Plumbing

The work is less than \$15,000 and according to Jefferson Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Structural Engineer

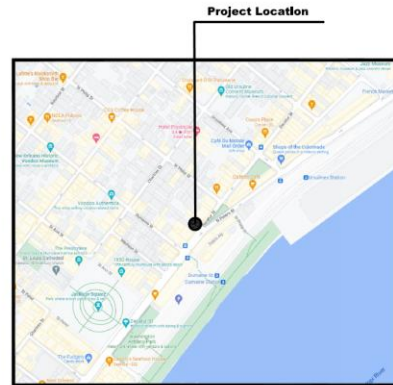
No structural work required

Square Footage

Living	1,352
Entry	154
Total	1,506

Article XXXV Off-Street Parking and Loading

Parking Spaces Required N/A
Per New Orleans Comprehensive Zoning Ordinance, Sec. 22.5.A.1, no parking required in all Historic Core Districts, except HM-MU and HMC-2

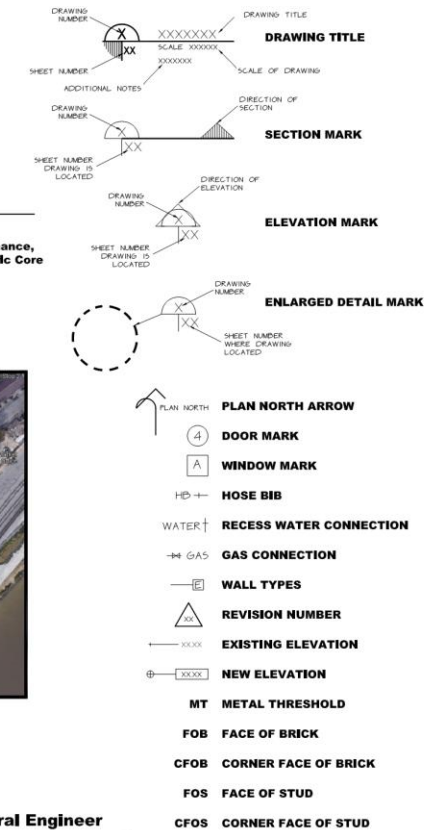


1 AERIAL MAP
SCALE: N.T.S. 24" X 36"



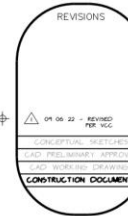
2 VICINITY MAP
SCALE: N.T.S. 24" X 36"

ABBREVIATIONS & SYMBOLS



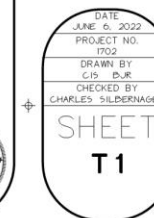
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Decatur Street Renovation
919 Decatur Street
New Orleans, Louisiana

CIS Architects
Metairie, Louisiana
www.cisarchitects.com 504.454.3112



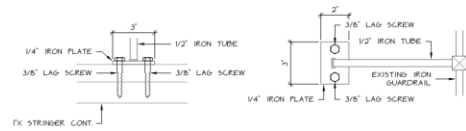


917 Decatur

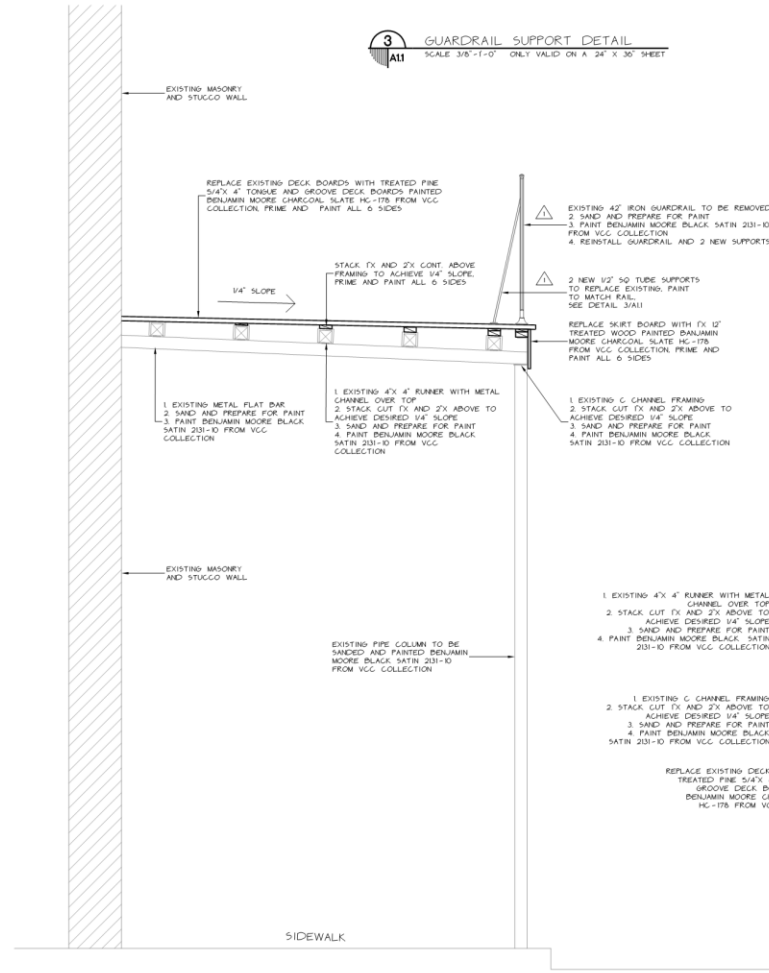
VCC Architectural Committee

September 13, 2022

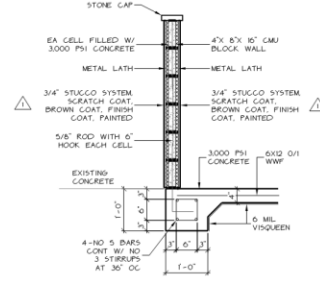




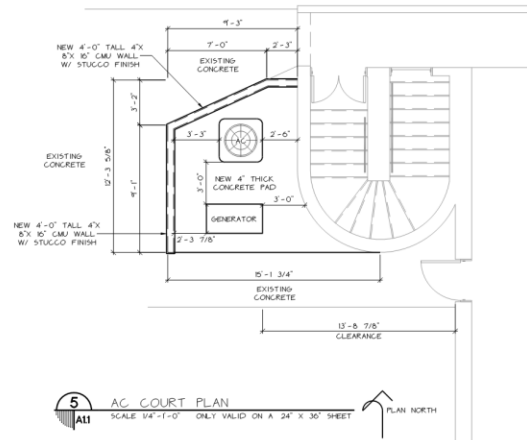
3 GUARDRAIL SUPPORT DETAIL
SCALE 3/8"=1'-0" ONLY VALID ON A 24" X 30" SHEET



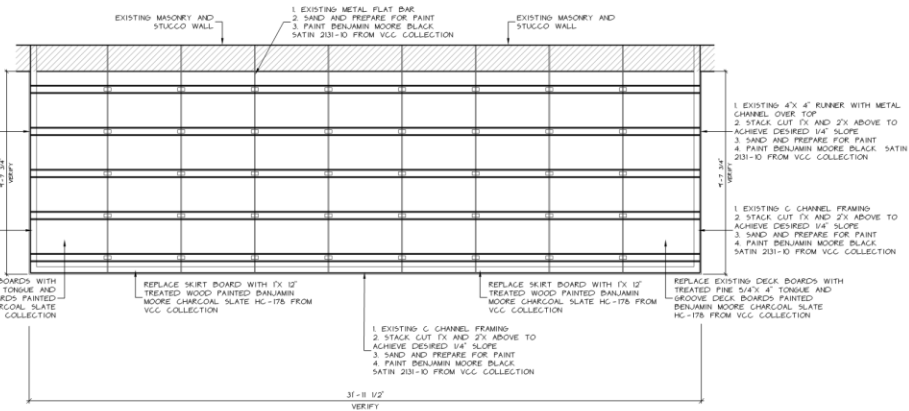
2 BALCONY SECTION
SCALE 1/2"=1'-0" ONLY VALID ON A 24" X 30" SHEET



4 AC COURT WALL AND FOUNDATION SECTION DETAIL
SCALE 3/4"=1'-0" ONLY VALID ON A 24" X 30" SHEET



5 AC COURT PLAN
SCALE 1/4"=1'-0" ONLY VALID ON A 24" X 30" SHEET



1 EXISTING BALCONY FRAMING PLAN
SCALE 3/8"=1'-0" ONLY VALID ON A 24" X 30" SHEET

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REVISIONS

01	06-22	REVISED FOR VCC
CONCEPTUAL SKETCHES		
LAD PRELIMINARY APPROVAL		
READ: PROJECTS DRAWINGS		
CONSTRUCTION DOCUMENT		

Decatur Street Renovation
919 Decatur Street
New Orleans, Louisiana

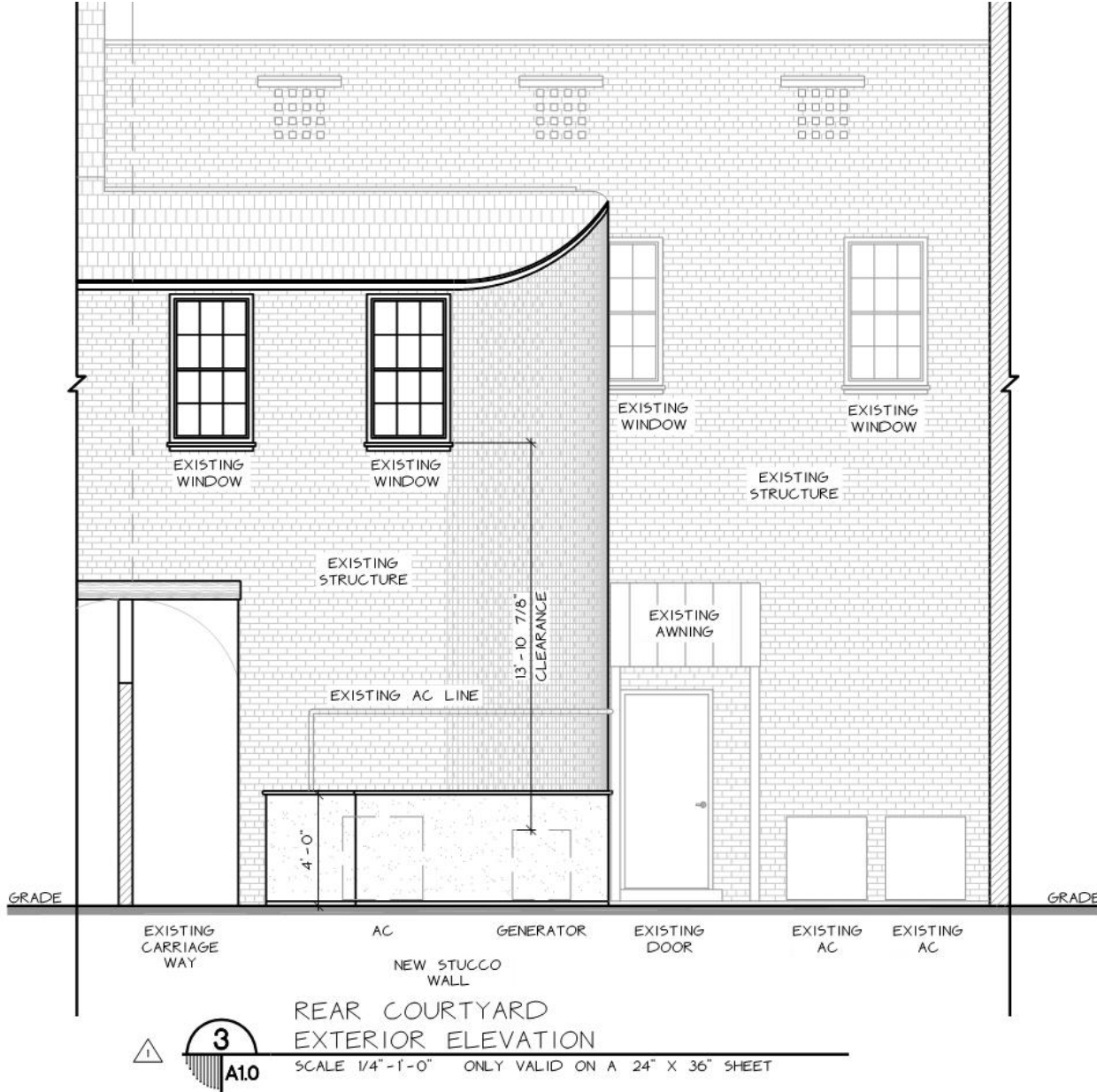
CIS Architects
Metairie, Louisiana
www.cleararchitects.com 504.454.3112



DATE: JUNE 8, 2022
PROJECT NO. 1702
DRAWN BY: C.I.S. B.R.
CHECKED BY: CHARLES I. SILBERNAGEL

SHEET A 11





2:ATUR ST RENO

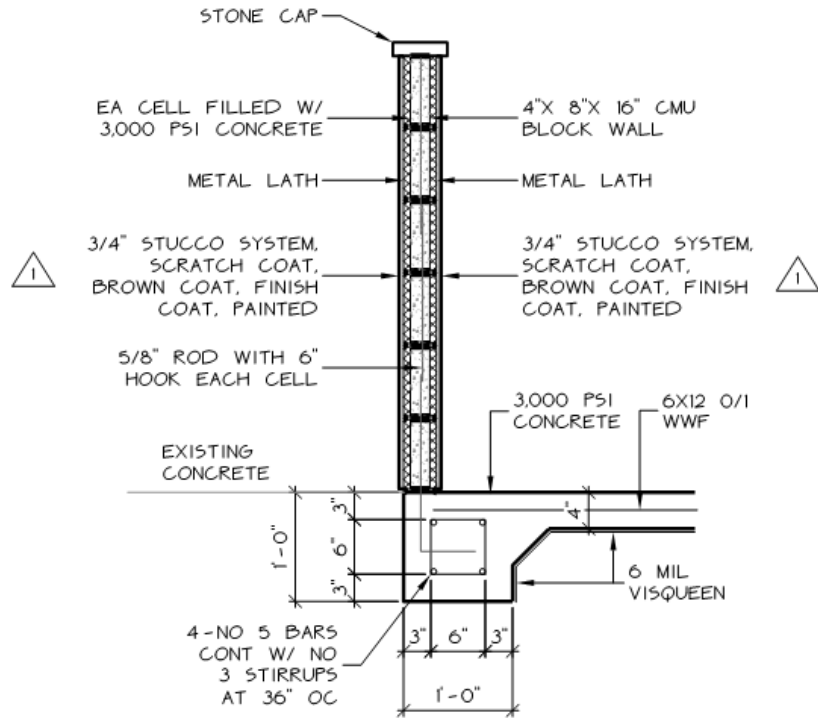
917 Decatur

VCC Architectural Committee



September 13, 2022

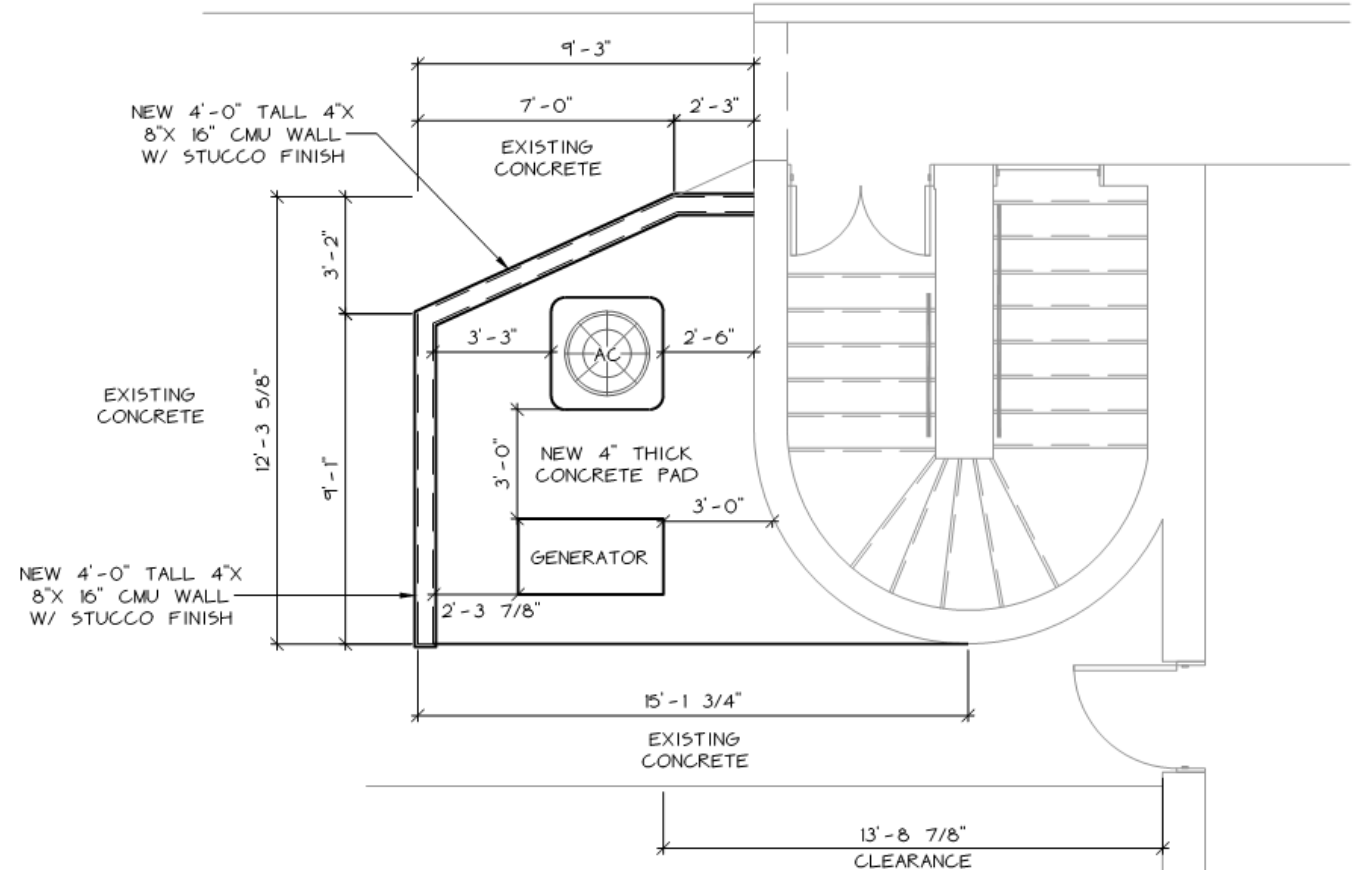




4
A1.1

AC COURT WALL AND FOUNDATION
SECTION DETAIL

SCALE 3/4"-1'-0" ONLY VALID ON A 24" X 36" SHEET



5
A1.1

AC COURT PLAN

SCALE 1/4"-1'-0" ONLY VALID ON A 24" X 36" SHEET

20/22/24 kW

GENERAC®

GUARDIAN® SERIES
Residential Standby Generators
Air-Cooled Gas Engine

20/22/24 kW

1 of 6

INCLUDES:

- True Power™ Electrical Technology
- Two-line multilingual digital LCD Evolution™ controller (English/Spanish/French/Portuguese)
- 200 amp service rated transfer switch available
- Electronic governor
- Standard Wi-Fi® connectivity
- System status & maintenance interval LED indicators
- Sound attenuated enclosure
- Flexible fuel line connector
- Natural gas or LP gas operation
- 5 Year limited warranty
- Listed and labeled for installation as close as 18 in (457 mm) to a structure.*
*Must be located away from doors, windows, and fresh air intakes and in accordance with local codes.

Standby Power Rating

G007038-1, G007039-1, G007038-3, G007039-3 (Aluminum - Bisque) - 20 kW 60 Hz
G007042-10, G007042-11, G007043-10, G007043-11 (Aluminum - Bisque) - 22 kW 60 Hz
G007209-10, G007210-10 (Aluminum - Bisque) - 24 kW 60 Hz



Product shown with optional fascia kit



Note: CETL or CUL certification only applies to unbundled units and units packaged with limited circuit switches. Units packaged with the Smart Switch are ETL or UL certified in the USA only.

FEATURES

- **INNOVATIVE ENGINE DESIGN & RIGOROUS TESTING** are at the heart of Generac's success in providing the most reliable generators possible. Generac's G-Force engine lineup offers added peace of mind and reliability for when it's needed the most. The G-Force series engines are purpose built and designed to handle the rigors of extended run times in high temperatures and extreme operating conditions.
- **TRUE POWER™ ELECTRICAL TECHNOLOGY:** Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.
- **TEST CRITERIA:**
 - ✓ **PROTOTYPE TESTED**
 - ✓ **SYSTEM TORSIONAL TESTED**
 - ✓ **NEMA MG1-22 EVALUATION**
 - ✓ **MOTOR STARTING ABILITY**
- **MOBILE LINK® CONNECTIVITY:** FREE with select Guardian Series Home standby generators, Mobile Link Wi-Fi allows users to monitor generator status from anywhere in the world using a smartphone, tablet, or PC. Easily access information such as the current operating status and maintenance alerts. Users can connect an account to an authorized service dealer for fast, friendly, and proactive service. With Mobile Link, users are taken care of before the next power outage.
- **SOLID-STATE, FREQUENCY COMPENSATED VOLTAGE REGULATION:** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. Digital voltage regulation at $\pm 1\%$.
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES:** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is that the GENERAC product line is offered with its own transfer systems and controls for total system compatibility.

917 Decatur

VCC Architectural Committee



September 13, 2022



20/22/24 kW

Features and Benefits

Engine

- Generac G-Force design
- "Spiny-lok" cast iron cylinder walls
- Electronic ignition/spark advance
- Full pressure lubrication system
- Low oil pressure shutdown system
- High temperature shutdown

Maximizes engine "breathing" for increased fuel efficiency. Plateau honed cylinder walls and plasma moly rings help the engine run cooler, reducing oil consumption and resulting in longer engine life.

Rigid construction and added durability provide long engine life.

These features combine to assure smooth, quick starting every time.

Pressurized lubrication to all vital bearings means better performance, less maintenance, and longer engine life. Now featuring up to a 2 year/200 hour oil change interval.

Shutdown protection prevents catastrophic engine damage due to low oil.

Prevents damage due to overheating.

Generator

- Revolving field
- Skewed stator
- Displaced phase excitation
- Automatic voltage regulation
- EPA Certified for non-emergency applications
- UL 2200 listed

Allows for a smaller, light weight unit that operates 25% more efficiently than a revolving armature generator.

Produces a smooth output waveform for compatibility with electronic equipment.

Maximizes motor starting capability.

Regulating output voltage to $\pm 1\%$ prevents damaging voltage spikes.

Allows unit to be used for demand response applications (excluding 20 kW units).

For your safety.

Transfer Switch (if applicable)

- Fully automatic
- NEMA 3R
- Integrated load management technology
- Remote mounting

Transfers vital electrical loads to the energized source of power.

Can be installed inside or outside for maximum flexibility.

Capability to manage additional loads for efficient power management.

Mounts near an existing distribution panel for simple, low-cost installation.

Evolution™ Controls

- AUTO/MANUAL/OFF illuminated buttons
- Two-line multilingual LCD
- Sealed, raised buttons
- Utility voltage sensing
- Generator voltage sensing
- Utility interrupt delay
- Engine warm-up
- Engine cool-down
- Programmable exercise
- Smart battery charger
- Main line circuit breaker
- Electronic governor

Selects the operating mode and provides easy, at-a-glance status indication in any condition.

Provides homeowners easily visible logs of history, maintenance, and events up to 50 occurrences.

Smooth, weather-resistant user interface for programming and operations.

Constantly monitors utility voltage, setpoints 65% dropout, 80% pick-up, of standard voltage.

Constantly monitors generator voltage to verify the cleanest power delivered to the home.

Prevents nuisance start-ups of the engine, adjustable 2-1500 seconds from the factory default setting of 5 seconds by a qualified dealer.

Verifies engine is ready to assume the load, setpoint approximately 5 seconds.

Allows engine to cool prior to shutdown, setpoint approximately 1 minute.

Operates engine to prevent oil seal drying and damage between power outages by running the generator for 5 minutes every other week. Also offers a selectable setting for weekly or monthly operation providing flexibility and potentially lower fuel costs to the owner.

Delivers charge to the battery only when needed at varying rates depending on outdoor air temperature. Compatible with lead acid and AGM-style batteries.

Protects generator from overload.

Maintains constant 60 Hz frequency.

Unit

- SAE weather protective enclosure
- Enclosed critical grade muffler
- Small, compact, attractive

Sound attenuated enclosures ensure quiet operation and protection against mother nature, withstanding winds up to 150 mph (241 km/h). Hinged key locking roof panel for security. Lift-out front for easy access to all routine maintenance items. Electrostatically applied textured epoxy paint for added durability.

Quiet, critical grade muffler is mounted inside the unit to prevent injuries.

Makes for an easy, eye appealing installation, as close as 18 in (457 mm) away from a structure.

20/22/24 kW

Features and Benefits

Installation System

- 14 in (35.6 cm) flexible fuel line connector
- Integral sediment trap

Listed ANSI Z21.75/CSA 6.27 outdoor appliance connector for the required connection to the gas supply piping.

Meets IFGC and NFPA 54 installation requirements.

Connectivity (Wi-Fi equipped models only)

- Ability to view generator status
- Ability to view generator Exercise/Run and Total Hours
- Ability to view generator maintenance information
- Monthly report with previous month's activity
- Ability to view generator battery information
- Weather information

Monitor generator with a smartphone, tablet, or computer at any time via the Mobile Link application for complete peace of mind.

Review the generator's complete protection profile for exercise hours and total hours.

Provides maintenance information for the specific model generator when scheduled maintenance is due.

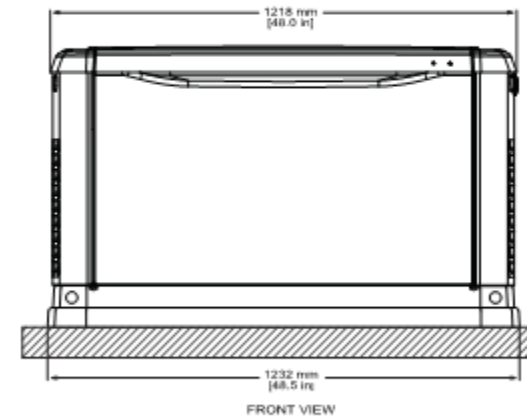
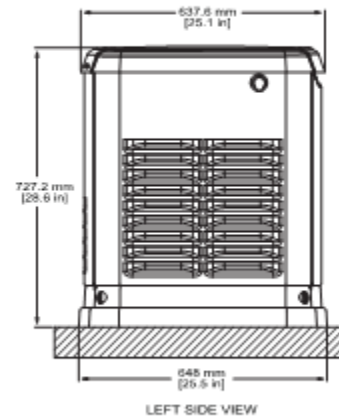
Detailed monthly reports provide historical generator information.

Built in battery diagnostics displaying current state of the battery.

Provides detailed local ambient weather conditions for generator location.

Dimensions & UPCs

Model	UPC
G007038	696471074185
G007039	696471074192
G007042	696471074208
G007043	696471074215
G007209	696471071511
G007210	696471084801



Dimensions shown are approximate. See installation manual for exact dimensions. DO NOT USE THESE DIMENSIONS FOR INSTALLATION PURPOSES.

20/22/24 kW

Specifications

Generator

Model	G007038-1 G007039-1 (20 kW)	G007042-10 G007043-10 (22 kW)	G007038-3 G007039-3 (20 kW)	G007042-11 G007043-11 (22 kW)	G007209-10 G007210-10 (24 kW)
Rated maximum continuous power capacity (LP)	20,000 Watts*	22,000 Watts*	20,000 Watts*	22,000 Watts*	24,000 Watts*
Rated maximum continuous power capacity (NG)	18,000 Watts*	19,500 Watts*	18,000 Watts*	19,500 Watts*	21,000 Watts*
Rated voltage	240				
Rated maximum continuous load current – 240 volts (LP/NG)	83.3 / 75.0	91.7 / 81.3	83.3 / 75.0	91.7 / 81.3	100 / 87.5
Total Harmonic Distortion	Less than 5%				
Main line circuit breaker	90 amp	100 amp	90 amp	100 amp	100 amp
Phase	1				
Number of rotor poles	2				
Rated AC frequency	60 Hz				
Power factor	1.0				
Battery requirement (not included)	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum				
Unit weight (lb / kg)	448 / 203	466 / 211	436 / 198	445 / 202	455 / 206
Dimensions (L x W x H) in / cm	48 x 25 x 29 / 121.9 x 63.5 x 73.7				
Sound output in dB(A) at 23 ft (7 m) with generator operating at normal load**	67	67	67	67	67
Sound output in dB(A) at 23 ft (7 m) with generator in Quiet-Test™ low-speed exercise mode**	55	57	55	57	57
Exercise duration	5 min				

Engine

Engine type	GENERAC G-Force 1000 Series				
Number of cylinders	2				
Displacement	999 cc				
Cylinder block	Aluminum w/ cast iron sleeve				
Valve arrangement	Overhead valve				
Ignition system	Solid-state w/ magneto				
Governor system	Electronic				
Compression ratio	9.5:1				
Starter	12 VDC				
Oil capacity including filter	Approx. 1.9 qt / 1.8 L				
Operating rpm	3,600				
Fuel consumption					
Natural gas	ft ³ /hr (m ³ /hr)				
1/2 Load	204 (5.78)	228 (6.46)	164 (4.64)	203 (5.75)	
Full Load	301 (8.52)	327 (9.26)	287 (8.13)	306 (8.66)	
Liquid propane	ft ³ /hr (gal/hr) (L/hr)				
1/2 Load	87 (2.37) [8.99]	92 (2.53) [9.57]	86 (2.36) [8.95]	92 (2.53) [9.57]	
Full Load	130 (3.56) [13.48]	142 (3.90) [14.77]	136 (3.74) [14.15]	142 (3.90) [14.77]	

Note: **Fuel pipe must be sized for full load.** Required fuel pressure to generator fuel inlet at all load ranges - 3.5–7 in water column (0.87–1.74 kPa) for NG, 10–12 in water column (2.49–2.99 kPa) for LP gas. For BTU content, multiply ft³/hr x 2500 (LP) or ft³/hr x 1000 (NG). For Megajoule content, multiply m³/hr x 93.15 (LP) or m³/hr x 37.26 (NG).

Controls

Two-line plain text multilingual LCD	Simple user interface for ease of operation.
Mode buttons: AUTO	Automatic start on utility failure. Weekly, Bi-weekly, or Monthly selectable exerciser.
MANUAL	Start with starter control, unit stays on. If utility fails, transfer to load takes place.
OFF	Stops unit. Power is removed. Control and charger still operate.
Ready to Run/Maintenance messages	Standard
Engine run hours indication	Standard
Programmable start delay between 2–1500 seconds	Standard (programmable by dealer only)
Utility Voltage Loss/Return to Utility adjustable (brownout setting)	From 140–171 V / 190–216 V
Future Set Capable Exerciser/Exercise Set Error warning	Standard
Run/Alarm/Maintenance logs	50 events each
Engine start sequence	Cyclic cranking: 16 sec on, 7 rest (90 sec maximum duration).
Starter lock-out	Starter cannot re-engage until 5 sec after engine has stopped.
Smart Battery Charger	Standard
Charger Fault/Missing AC warning	Standard
Low Battery/Battery Problem Protection and Battery Condition Indication	Standard
Automatic Voltage Regulation with Over and Under Voltage Protection	Standard
Under-Frequency/Overload/Stepper Overcurrent Protection	Standard
Safety Fused/Fuse Problem Protection	Standard
Automatic Low Oil Pressure/High Oil Temperature Shutdown	Standard
Overcrank/Overspeed (@ 72 Hz)/rpm Sense Loss Shutdown	Standard
High Engine Temperature Shutdown	Standard
Internal Fault/Incorrect Wiring protection	Standard
Common external fault capability	Standard
Field upgradable firmware	Standard

Rating definitions - Optional Standby: Applicable for supplying backup power for the duration of the utility power outage with correct maintenance performed. No overload capability is available for this rating. (All ratings in accordance with BS5514, ISO3046, UL2200, and DIN6271).

* Maximum kilowatt amps and current are subject to and limited by such factors as fuel BTU/megajoule content, ambient temperature, altitude, engine power and condition, etc. Maximum power decreases approximately 3.5% for each 1,000 ft (304.8 m) above sea level; and also will decrease approximately 1% for each 10 °F (6 °C) above 60 °F (16 °C).

**Sound levels are taken from the front of the generator. Sound levels taken from other sides of the generator may be higher depending on installation parameters.



917 Decatur

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917 Decatur

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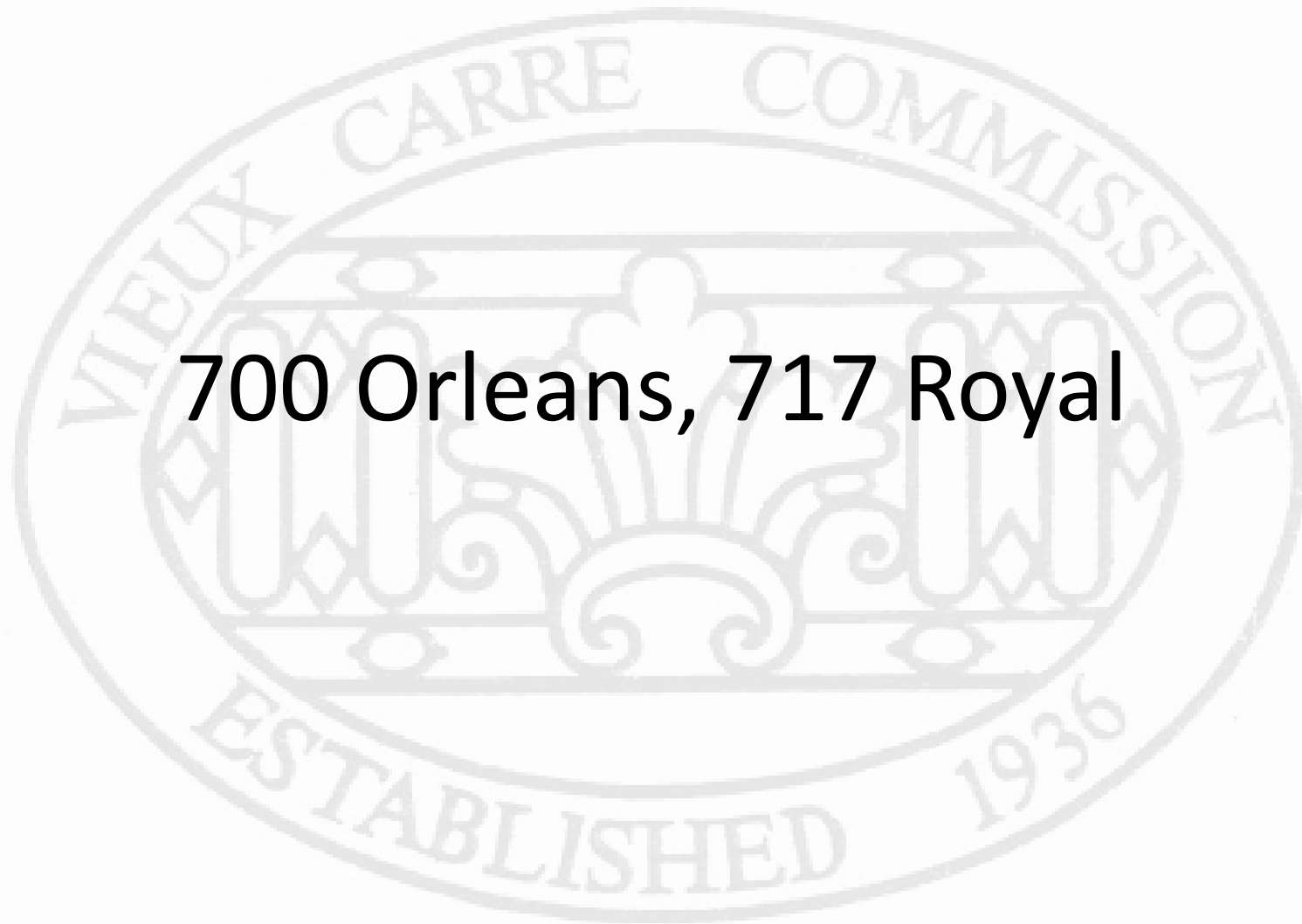
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New Business

700 Orleans, 717 Royal





700 Orleans/717 Royal

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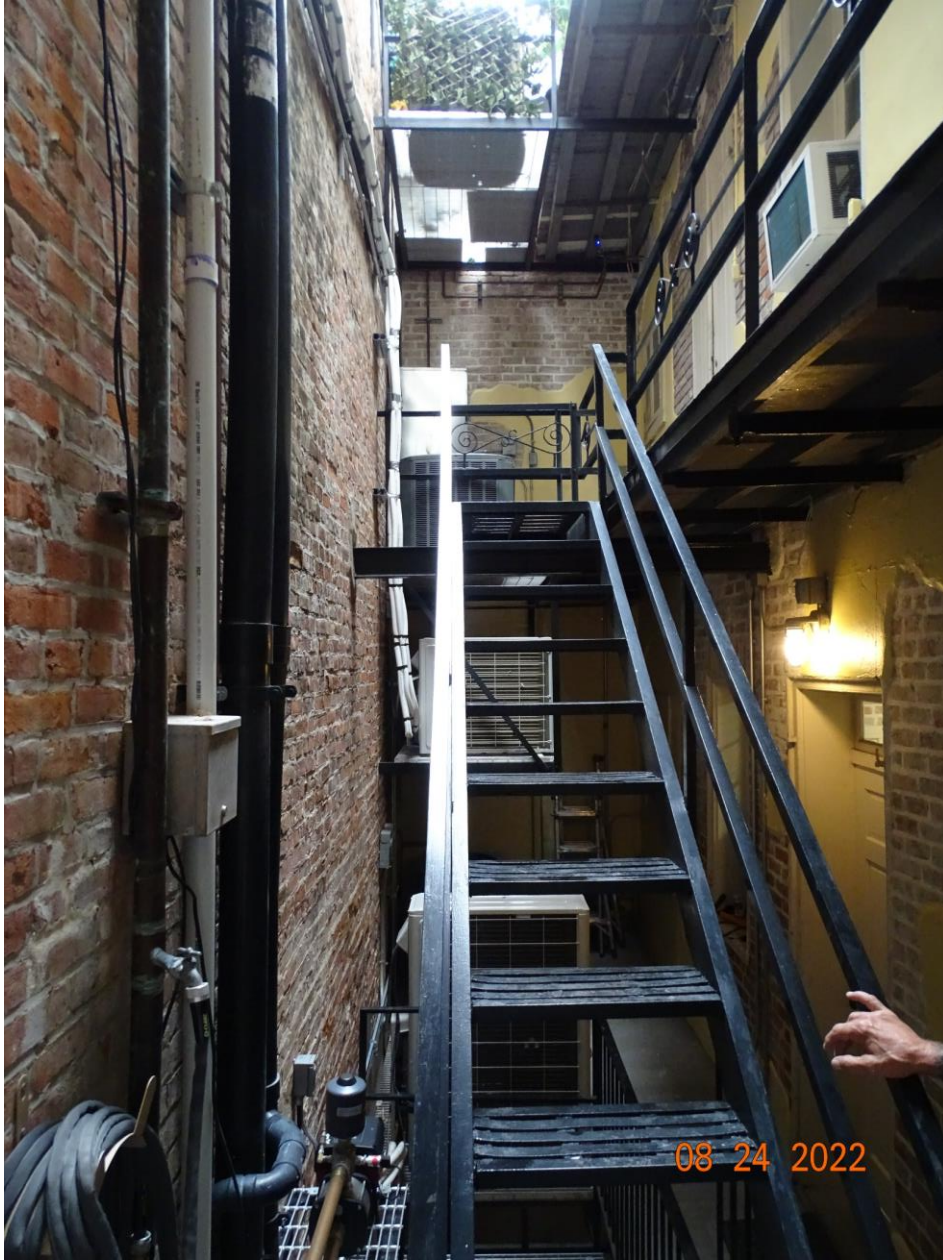


700 Orleans/717 Royal

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Product Specifications

Model No. ^(a)	4TTR4018L1000A	4TTR4024L1000A 4TTR4025L1000A	4TTR4030L1000A 4TTR4031L1000A	4TTR4036L1000A 4TTR4037L1000A
POWER CONNS. — V/PH/HZ ^(b)	208/230/1/60	208/230/1/60	208/230/1/60	208/230/1/60
MIN. BRCH. CIR. AMPACITY	12	14	17	18
BR. CIR. PROT. RTG. — MAX. (AMPS)	20	25	25	30
COMPRESSOR	CLIMATUFF®- SCROLL	CLIMATUFF®- SCROLL	CLIMATUFF®- SCROLL	CLIMATAUFF®- SCROLL
RL AMPS — LR AMPS	9 — 63	10.9 — 63	12.8— 68	14.1— 72
Outdoor Fan FL AMPS	0.60	0.60	0.77	0.77
Fan HP	1/15	1/15	1/8	1/8
Fan Dia (Inches)	18.2	18.2	23.0	23.0
Coil	SPINE FIN™	SPINE FIN™	SPINE FIN™	SPINE FIN™
Refrigerant R-410A	4 LBS., 8 OZ	4 LBS., 11 OZ	5 LBS., 4 OZ	6 LBS., 1 OZ
LINE SIZE — IN. O.D. GAS ^(c)	3/4	3/4	3/4	3/4
LINE SIZE — IN. O.D. LIQ. ^(c)	3/8	3/8	3/8	3/8
Charge Spec. Subcooling	10°F	10°F	10°F	10°F / (8°F on 037)
Dimensions H x W X D Crated (IN.)	30.1 x 26.7 x 30	30.1 x 26.7 x 30	34 x 30.1 x 33	38 x 30.1 x 33
Weight — Shipping (lbs.)	153	153	183	183
Weight — Net (lbs.)	133	133	156	156
Optional Accessories:				
Anti-short Cycle Timer	TAYASCT501A	TAYASCT501A	TAYASCT501A	TAYASCT501A
Evaporator Defrost Control	AY28X079	AY28X079	AY28X079	AY28X079
Rubber Isolator Kit	BAYISLT101	BAYISLT101	BAYISLT101	BAYISLT101
Extreme Condition Mount Kit	BAYECMT023	BAYECMT023	BAYECMT023	BAYECMT023
Start Kit	BAYKSKT263	BAYKSKT263	BAYKSKT263	BAYKSKT263
Crankcase Heater Kit	BAYCCHT302	BAYCCHT302	BAYCCHT302	BAYCCHT302
Seacoast Kit	BAYSEAC001	BAYSEAC001	BAYSEAC001	BAYSEAC001
Low Ambient Kit	BAYLOAM103	BAYLOAM103	BAYLOAM103	BAYLOAM103
Refrigerant Lineset ^(d)	TAYREFLN950	TAYREFLN950	TAYREFLN7*	TAYREFLN7*
Service Valve Panel Cover	AAYSVPANL0022AA	AAYSVPANL0022AA	AAYSVPANL0032AA	AAYSVPANL3343AA

(a) Certified in accordance with the Unitary Air-conditioner equipment certification program which is based on AHRI standard 210/240.
(b) Calculated in accordance with N.E.C. Only use HACR circuit breakers or fuses.
(c) Standard line lengths — 60', Standard lift — 60' Suction and Liquid line. For Greater lengths and lifts refer to refrigerant piping software Pub#32-3312-0* (* denotes latest revision)..
(d) * = 15, 20, 25, 30, 40 and 50 foot lineset available.

Product Specifications

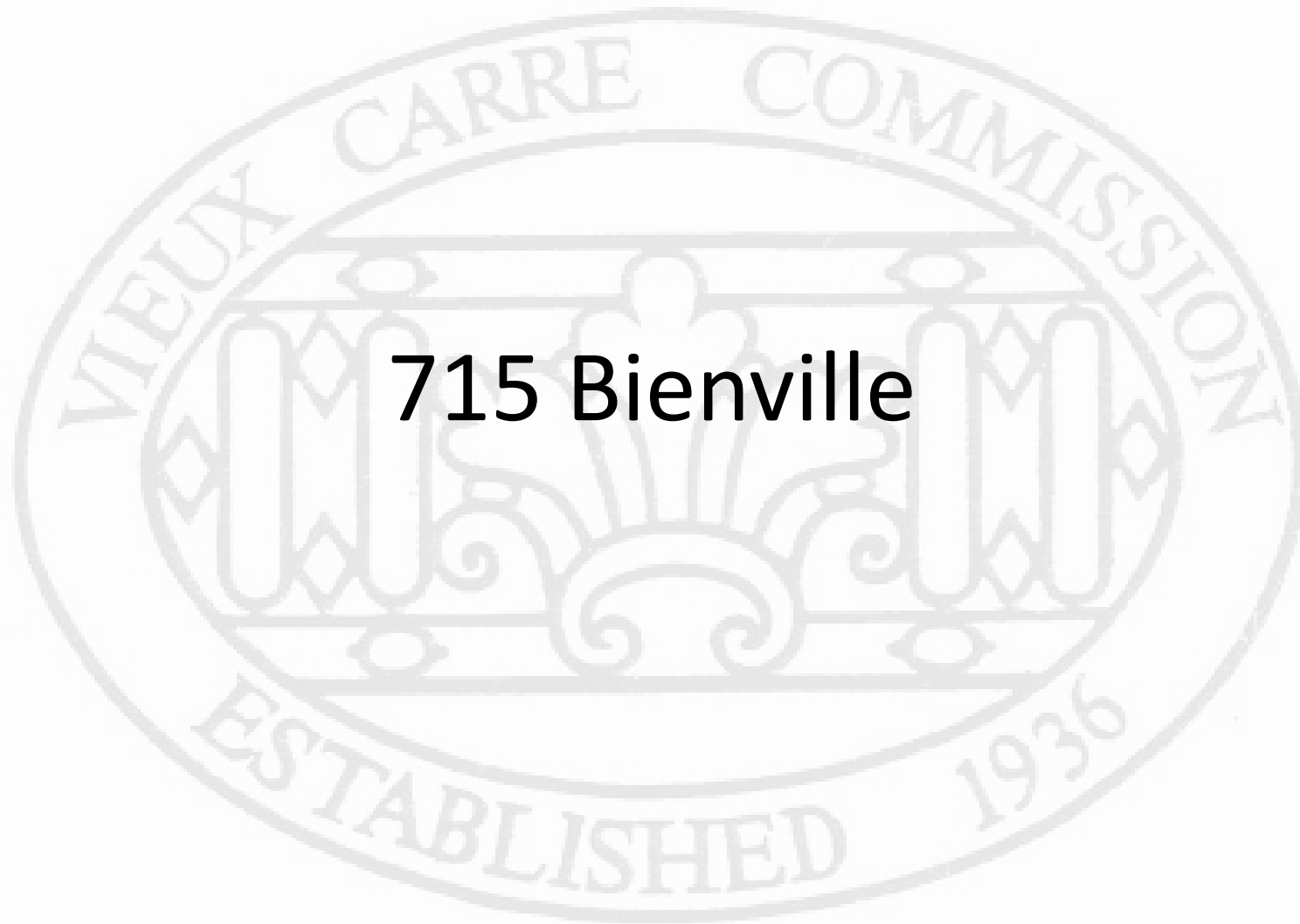
Model No. ^(a)	4TTR4042L1000A 4TTR4043L1000A	4TTR4048L1000A	4TTR4060L1000A
POWER CONNS. — V/PH/HZ ^(b)	280/230/1/60	280/230/1/60	280/230/1/60
MIN. BRCH. CIR. AMPACITY	22	24	31
BR. CIR. PROT. RTG. — MAX. (AMPS)	35	40	50
COMPRESSOR	CLIMATUFF®- SCROLL	CLIMATUFF®- SCROLL	CLIMATUFF®- SCROLL
RL AMPS — LR AMPS	16.7 — 109	18.5 — 124	23.7 — 152.5
Outdoor Fan FL AMPS	0.93	0.95	0.95
Fan HP	1/5	1/5	1/5
Fan Dia (Inches)	27.5	27.5	27.5
Coil	SPINE FIN™	SPINE FIN™	SPINE FIN™
Refrigerant R-410A	6 LBS., 7 OZ	6 LBS., 9 OZ	7 LBS., 10 OZ
LINE SIZE — IN. O.D. GAS ^(c)	7/8	7/8	7/8
LINE SIZE — IN. O.D. LIQ. ^(c)	3/8	3/8	3/8
Charge Spec. Subcooling	12°F	10°F	10°F
Dimensions H x W X D Crated (IN.)	34.4 x 35.1 x 38.7	34.4 x 35.1 x 38.7	42.4 x 35.1 x 38.7
Weight — Shipping (lbs.)	216	212	246
Weight — Net (lbs.)	184	189	211
Optional Accessories:			
Anti-short Cycle Timer	TAYASCT501A	TAYASCT501A	TAYASCT501A
Evaporator Defrost Control	AY28X079	AY28X079	AY28X079
Rubber Isolator Kit	BAYISLT101	BAYISLT101	BAYISLT101
Extreme Condition Mount Kit	BAYECMT004	BAYECMT004	BAYECMT004
Start Kit	BAYKSKT263	BAYKSKT263	BAYKSKT263
Crankcase Heater Kit	BAYCCHT301	BAYCCHT301	BAYCCHT301
Seacoast Kit	BAYSEAC001	BAYSEAC001	BAYSEAC001
Low Ambient Kit	BAYLOAM103	BAYLOAM103	BAYLOAM103
Refrigerant Lineset ^(d)	TAYREFLN7*	TAYREFLN3*	TAYREFLN3*
Service Valve Panel Cover			AAYSVPANL0044AA

(a) Certified in accordance with the Unitary Air-conditioner equipment certification program which is based on AHRI standard 210/240.
(b) Calculated in accordance with N.E.C. Only use HACR circuit breakers or fuses.
(c) Standard line lengths — 60', Standard lift — 60' Suction and Liquid line. For Greater lengths and lifts refer to refrigerant piping software Pub#32-3312-0* (* denotes latest revision)..
(d) * = 15, 20, 25, 30, 40 and 50 foot lineset available.

MODEL	SOUND POWER LEVEL [dB(A)]	A-WEIGHTED FULL OCTAVE SOUND POWER LEVEL dB [dB(A)]							
		63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
4TTR4018L1	71	74	71	65	68	67	63	56	50
4TTR4024L1 4TTR4025L1	71	74	71	65	68	67	63	56	50
4TTR4030L1 4TTR4031L1	71	73	73	72	69	68	60	52	45
4TTR4036L1 4TTR4037L1	71	73	73	72	69	68	60	52	45
4TTR4042L1 4TTR4043L1	71	81	72	69	69	66	60	57	54
4TTR4048L1	71	81	72	69	69	66	60	57	54
4TTR4060L1	71	81	72	69	69	66	60	57	54



715 Bienville





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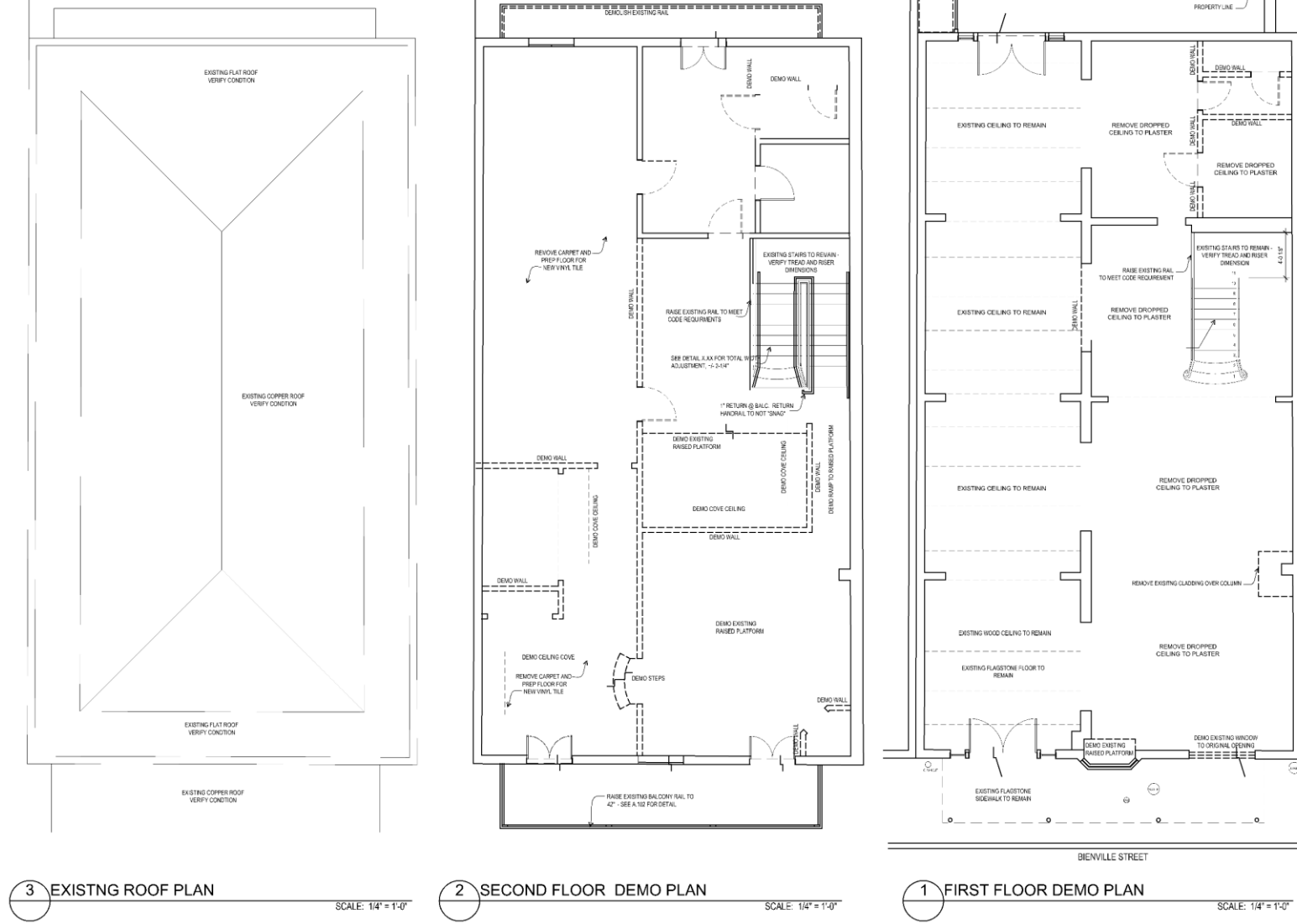


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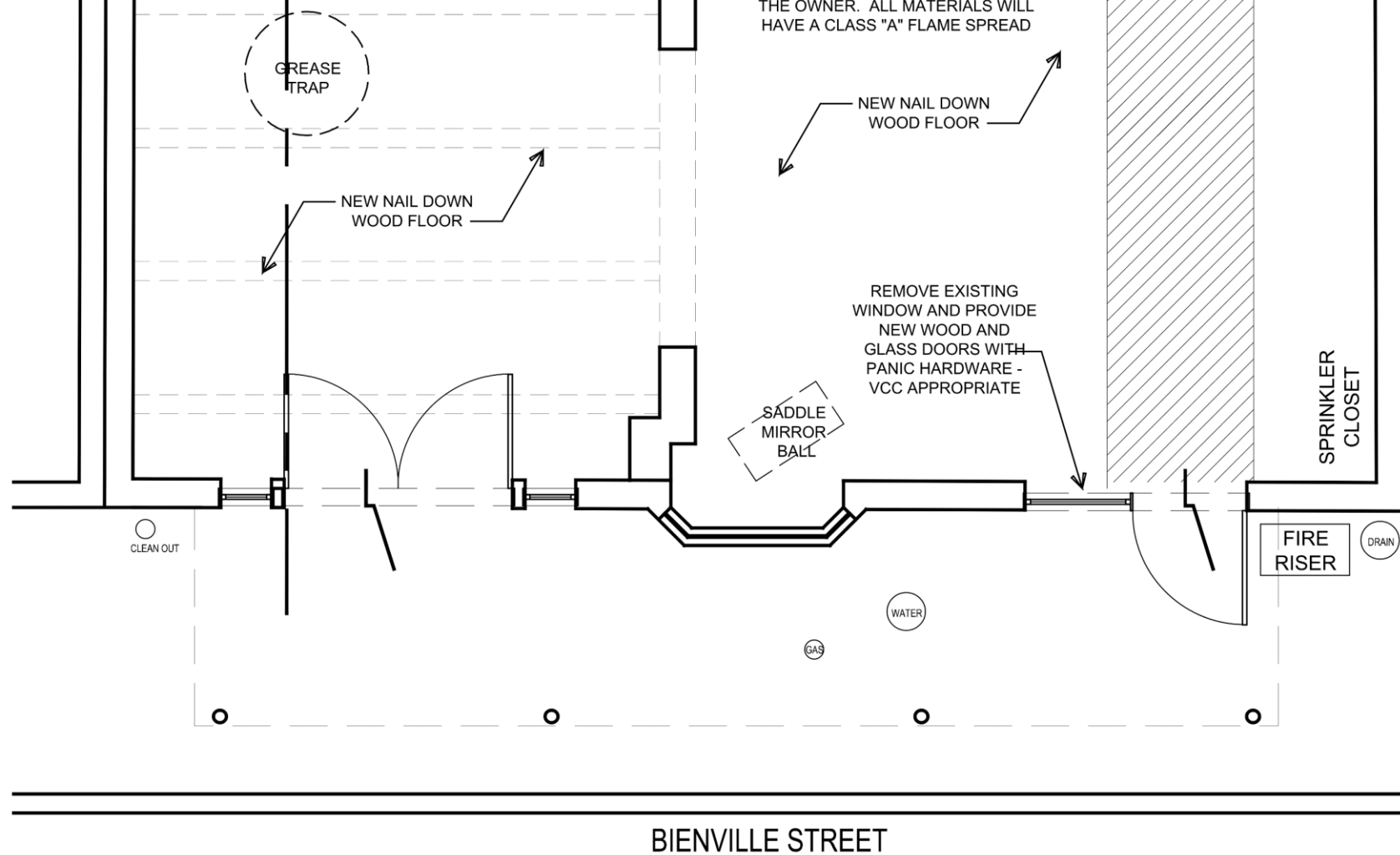
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1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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1 FRONT ELEVATION - 1987
 PHOTOGRAPH FROM FEBRUARY 1987 FROM VCC ARCHIVES
 SHOWING DOUBLE DOORS INSTEAD OF EXISTING WINDOW



2 FRONT ELEVATION - CURRENT
 NO CHANGES EXCEPT REPLACING WINDOW WITH DOUBLE DOOR
 ALL LIGHTING TO REMAIN THE SAME - NO NEW LIGHTING

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1 FRONT ELEVATION

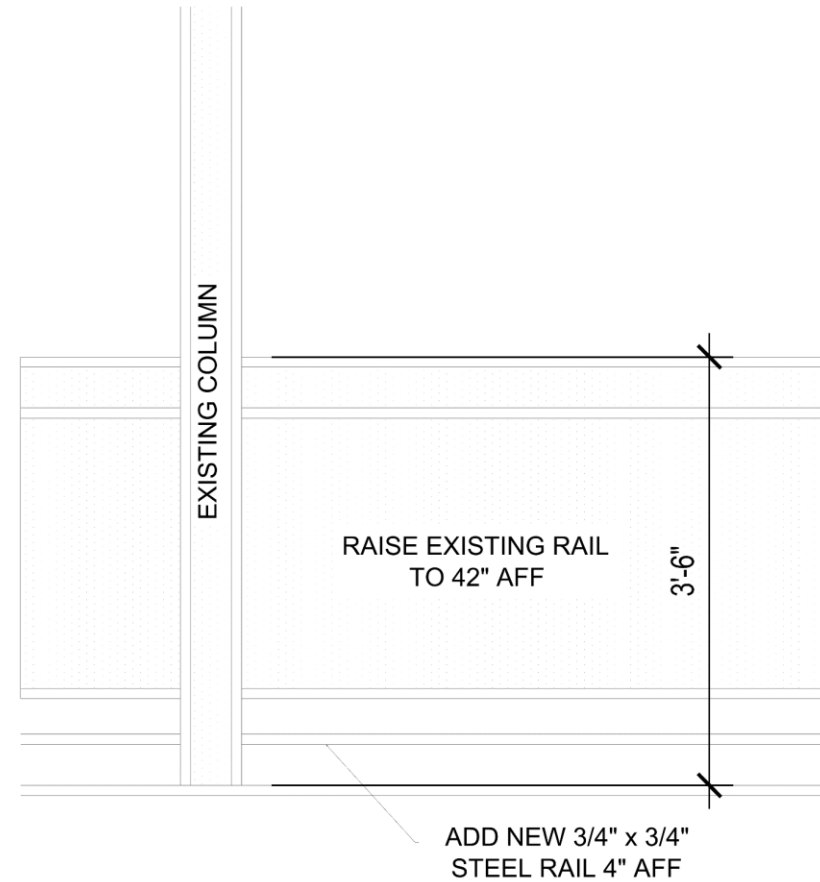
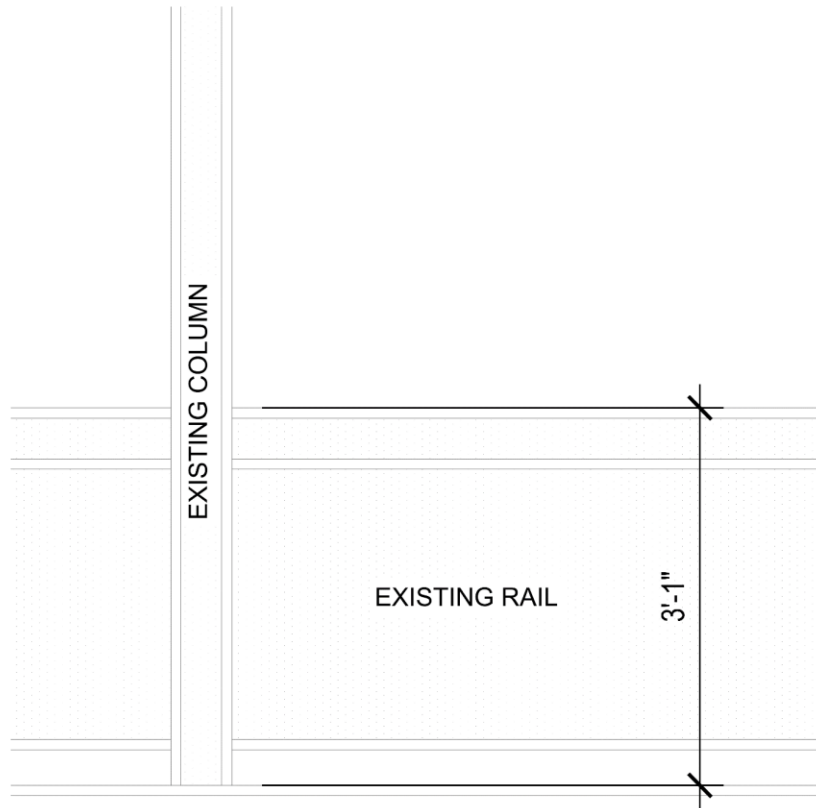
SCALE: 3/8" = 1'-0"

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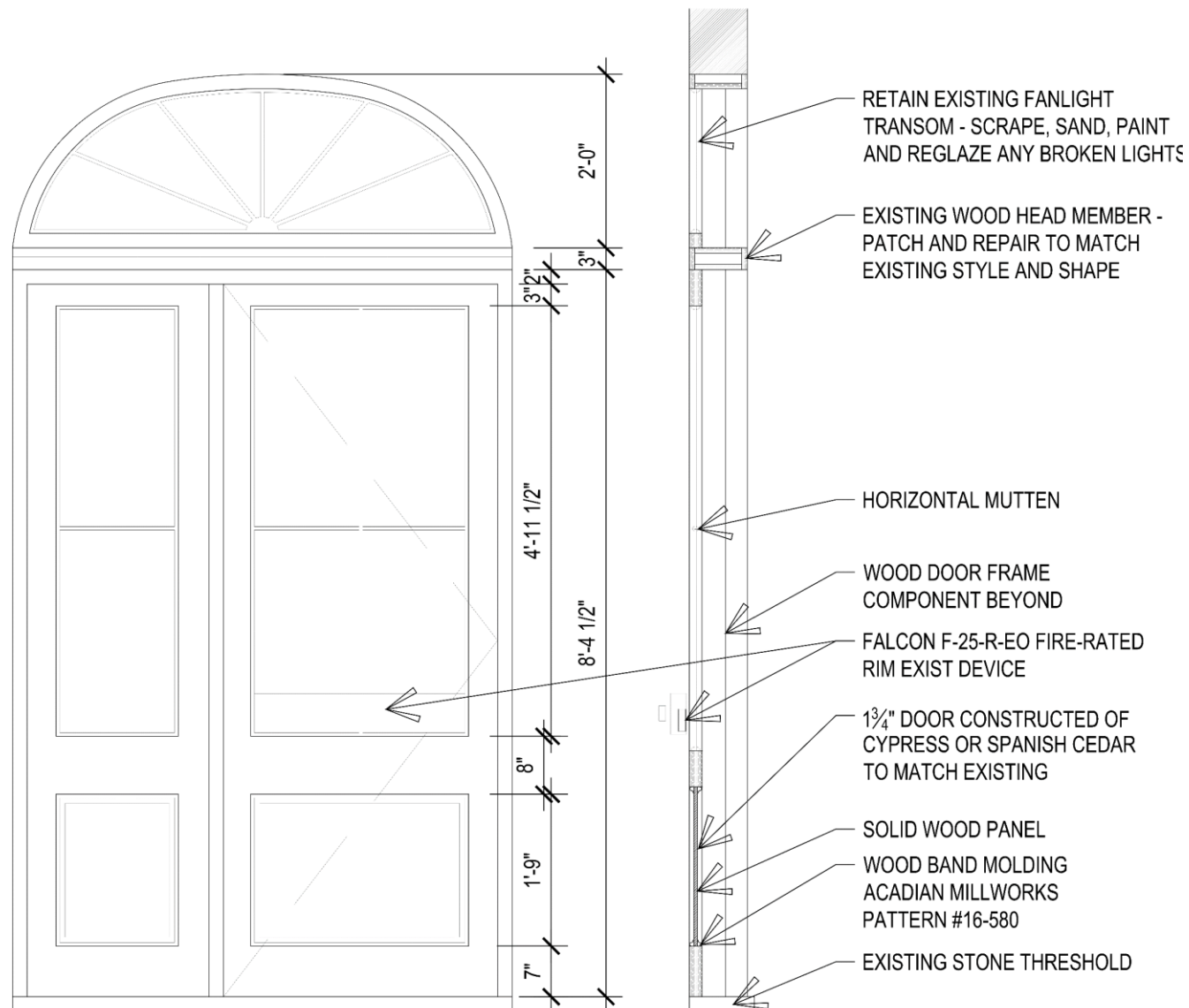




3 FRONT RAIL DETAIL

SCALE: 3/4" = 1'-0"

Falcon exit devices



Architectural pushpads



24/25 Series

Selling features

- Maximum flexibility in a variety of applications
- Wide range of features and options
- Patent pending deadlocking technology

Applications

- Frequent traffic
- Offices, churches, hospitality, retail, education, healthcare
- Interior, exterior, new construction, retro-fit

Device options

- Rim, SV, CV, M
- 6 functions /9 finishes
- 4 lever designs
- 10-year warranty

25-R Series

Rim device

Panic exit hardware

The Falcon 25-R Series rim device meets the demanding requirements of high traffic installations with a single-point, rim type latch and a streamlined touch bar design. This device can also be electrified for maximum ease of use and accessibility.



Single door application

Device	Door size	Door strike	Door stile (in)	Min door opening width
25-R	3'	299	4"	2' 7 1/2"
		264	3 1/4"	2' 7 1/8"
		1439	3 1/4"	2' 6 3/4"
		1606	3 3/8"	2' 7 1/8"
25-R	4'	299	4"	3' 1 1/2"
		264	3 7/8"	3' 1 3/8"
		1439	3 1/4"	3' 3/4"
		1606	3 3/8"	3' 1 1/8"

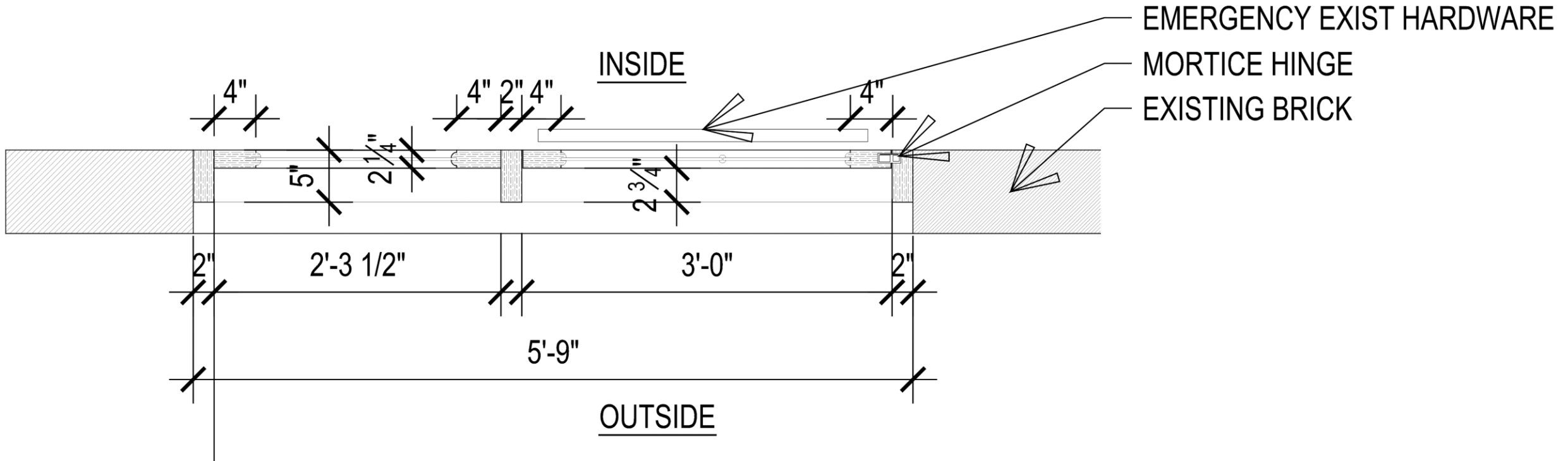
Double door application

Device	Door size	Strike x mullion	Door stile (in)	Min door opening width
25-R	3'	299 x 2923	4 1/8"	2' 7 1/2"
		299 x 4023	4 3/8"	2' 7 1/2"
		264 x 2923	4"	2' 7 1/8"
		264 x 4023	4 1/4"	2' 7 3/8"
		1439 x 2923	3 7/8"	2' 7 1/4"
		1439 x 4023	4 1/8"	2' 7 1/4"
		1606 x 2923	4 1/4"	2' 7 1/8"
		1606 x 4023	4 1/2"	2' 7 1/8"
25-R	4'	299 x 2923	4 1/8"	3' 1 1/4"
		299 x 4023	4 3/8"	3' 1 1/4"
		264 x 2923	4"	3' 1 3/8"
		264 x 4023	4 1/4"	3' 1 3/8"
		1439 x 2923	3 7/8"	3' 1 1/4"
		1439 x 4023	4 1/8"	3' 1 1/4"
		1606 x 2923	4 1/4"	3' 1 1/8"
		1606 x 4023	4 1/2"	3' 1 1/8"
25-Vx 25-R	3'	1609	3 1/2"	2' 7 3/8" for 3 1/2" Min stile
25-Vx 25-R	4'	1609	3 1/2"	3' 1 3/8" for 3 1/2" Min stile

Specifications

Hand:	Non-handed
Finishes:	US3 (605); US4 (606); US10 (612); US11 (643e); US15 (619); US19 (622); US26 (625); US26D (626); US32 (629); US32D (630); US28 (628), 313AN (710) (see page 17 for finishes)
Strikes:	299 strike standard (see page 15 for additional info)
Latchbolt:	Stainless steel, 1/4" throw
Deadlocking latchbolt:	Standard
Dogging feature:	Half turn hex dogging standard. No threaded parts to wear out.
Cylinder dogging:	Specify "CD" prefix. Uses 1 1/8" long mortise cylinder with standard cam.
Stock sizes:	See chart to left. Cut to size in the field.
Doors:	1 1/2" thick, wood or metal. Specify thickness if other than 1 3/4".
Projections:	2 1/4" maximum, 2" dogged.
Mounting height:	40 1/4" from CL to finished floor.
Electric functions:	Can be interfaced with building security systems. Latch retraction, FSA/FSE trim, security monitoring, delayed egress and exit alarm available (EL fail-secure only). Subject to code requirements, state and local (see pages 33-40 for details).
Fasteners:	All mounting screws are concealed, sheet metal screws and machine screws standard.
Sex bolts:	Recommended when device is used with hollow core wood, composite or light gauge hollow metal doors. For EO device, specify 8 - 425 (#10-24) SNB. For devices with trim, specify 2 - 425 (#10-24) SNB.
ANSI:	Certified ANSI A156.3-2001 grade 1 standards.
Center case & working parts:	Center case is heavy wrought and sintered metal parts.
Shim kits:	For glass lite applications; 1/4" thick, specify SK25-RM.
579 Strike retrofit kit:	Consult factory.





3

FIRST FLOOR DOOR TO REPLACE WINDOW

SCALE: 1" = 1'-0"

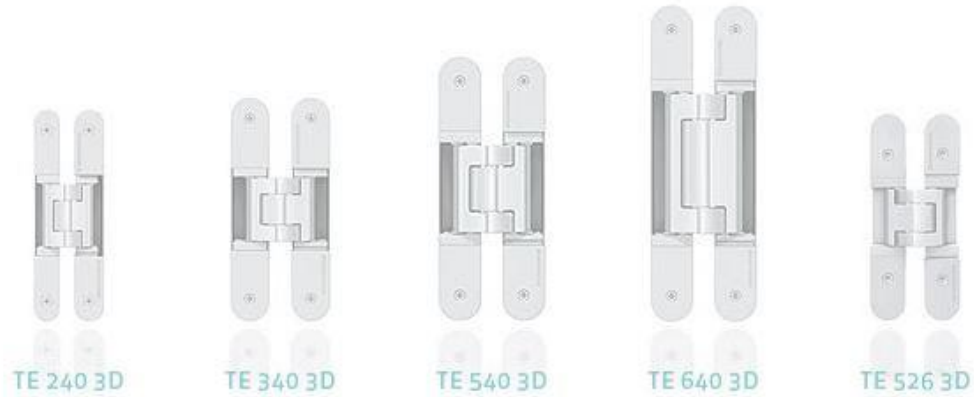
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THE REVOLUTIONARY CONCEALED HINGE SYSTEM

OVERVIEW
HINGE MODELS
INSTALLATION
DOWNLOADS
FAQ
FIND A DEALER

System Features
TE 240 3D
TE 340 3D
TE 540 3D
TE 541 3D FVZ
TE 541 3D FVZ
TE 640 3D
TE 640 3D A8
TE 645 3D
TE 526 3D
TE 527 3D
TE 626 3D A8
TECTUS ENERGY
Discontinued Models

IMAGE GALLERY



for specification, pricing, and installation support
contact a TECTUS® dealer

TECTUS® TE 640 3D

general info

finishes

installation

downloads

[Download TE 640 3D Data Sheet](#)

Specs

Capacity: w/2 installed: **440 lbs** [200 kg]

Height: **9.4"** [240mm]

Widths: frame: **1.26"** [32mm] / leaf: **1.26"** [32]

Depth: frame: **1.38"** [35mm] / leaf: **1.44"** [36.5]

Min. Door Thickness: **1-9/16"** [40mm] [chart](#)

Router Bit Diameter: 24mm

Features

For wood, casing, steel and alu frames

Opening Throw 90°+180°(download dxf)

Opening Throw from 0°-5°(download dxf)

UL Listed : 20 minutes

Continuously Adjustable in 3 Dimensions

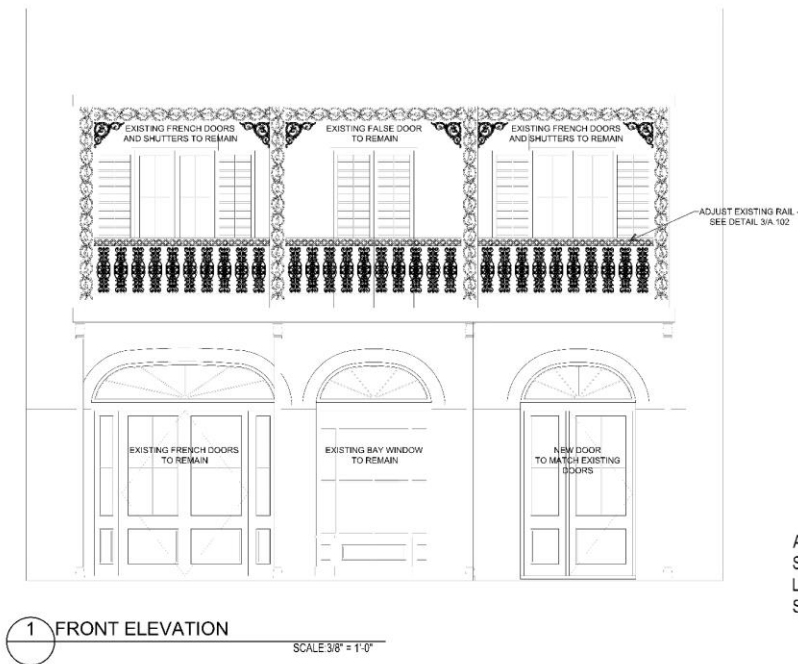
Side: + / - 3 mm

Height : + / - 3 mm

Depth : + / - 1 mm



REPAIR PERMITS ARE LIMITED TO REPAIRS OF EXISTING STRUCTURES. REPAIRS TO THE STRUCTURE OF THE BUILDING ARE NOT PERMITTED FOR THIS PERMIT.



ALL EXTERIOR M.E.P. TO BE PERMITTED SEPARATELY AND NOT INCLUDED IN THIS PERMIT. LIGHT FIXTURES AND EQUIPMENT LOCATIONS ARE SUBJECT TO FURTHER VCC REVIEW.



1 REAR AC SCREEN - NO CHANGES



1 REAR ELEVATION - NO CHANGES

THIS IS A PRELIMINARY PERMIT. THE PERMITTEE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PERMITTEE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

C. SPENCER SMITH, AIA
ARCHITECTS, A LIMITED LIABILITY COMPANY
1018 BIENVILLE STREET NEW ORLEANS, LA 70112
PHONE 504.566.0585 FAX 504.566.0587

FOR INFO:	DATE:
FOR CONTRACT:	DATE:
FOR CONSTRUCTION:	DATE:
REVISIONS:	DATE:
DATE:	DATE:
DATE:	DATE:

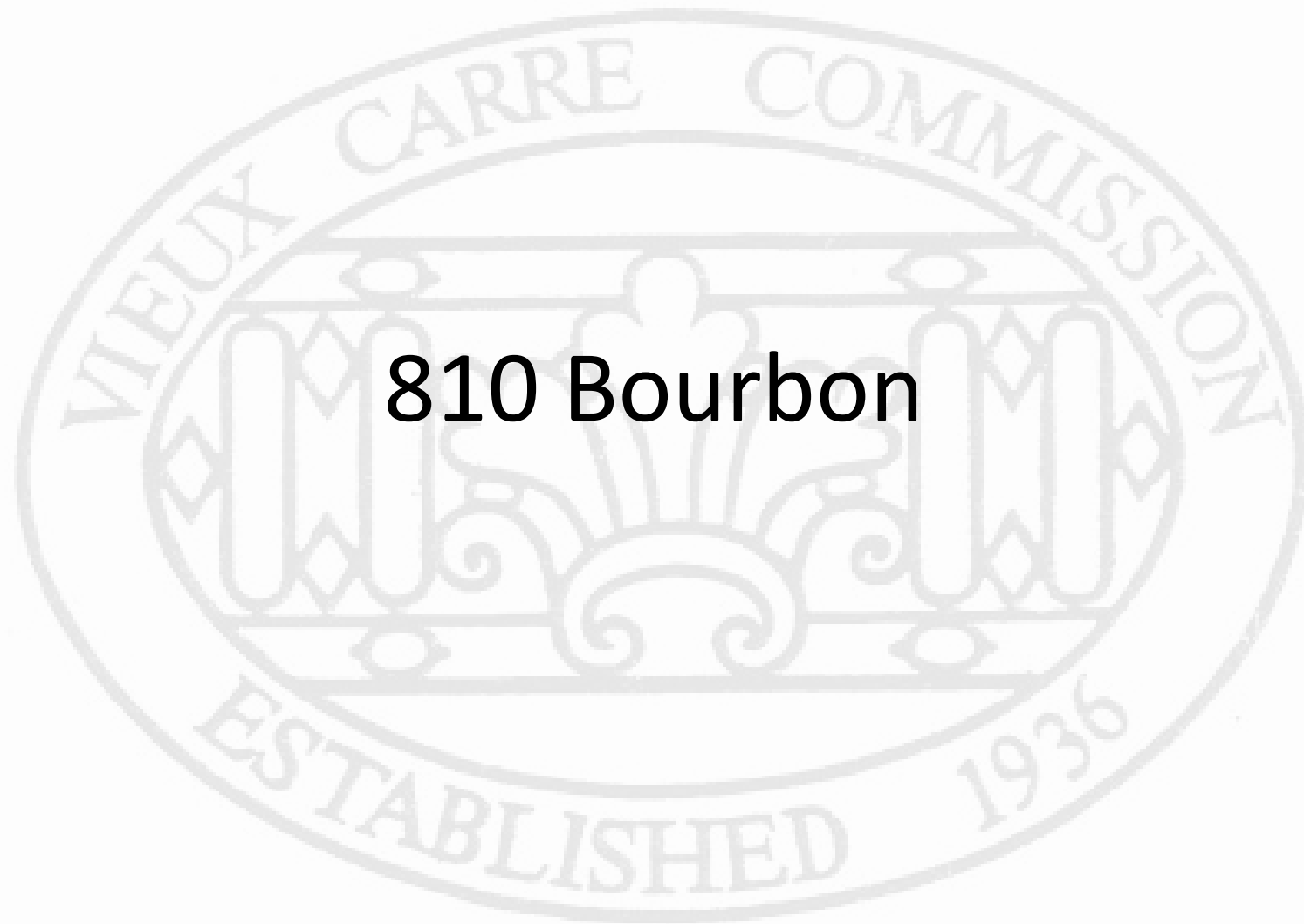
RENOVATION OF 715 BIENVILLE

715 BIENVILLE STREET
NEW ORLEANS, LA 70130

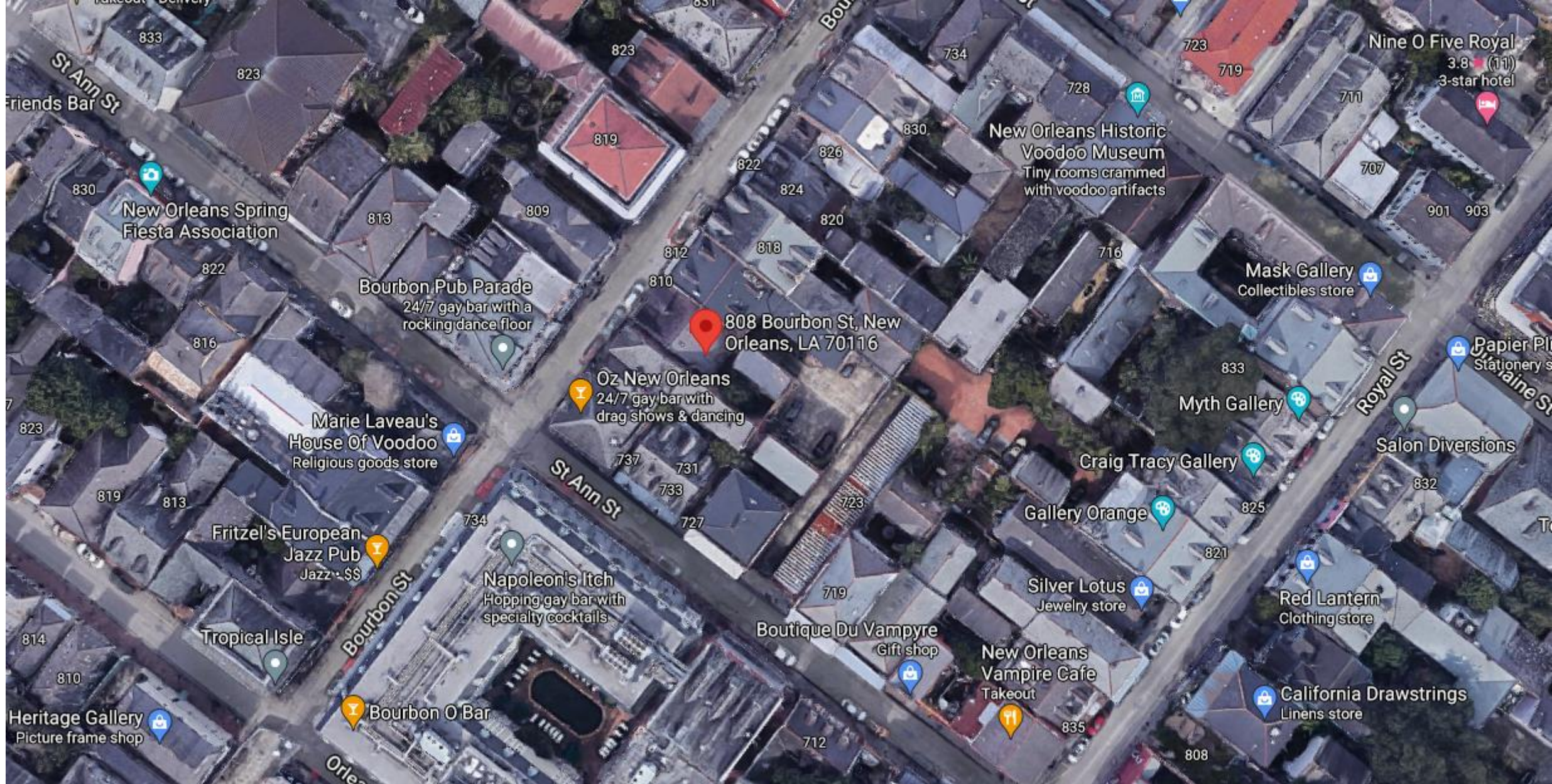
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REPAIR
PLANS





810 Bourbon



808 Bourbon

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September 13, 2022





808 Bourbon

VCC Architectural Committee

01 31 2022

September 13, 2022





808 Bourbon

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01 31 2022

September 13, 2022





808 Bourbon

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September 13, 2022





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September 13, 2022





808 Bourbon

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September 13, 2022





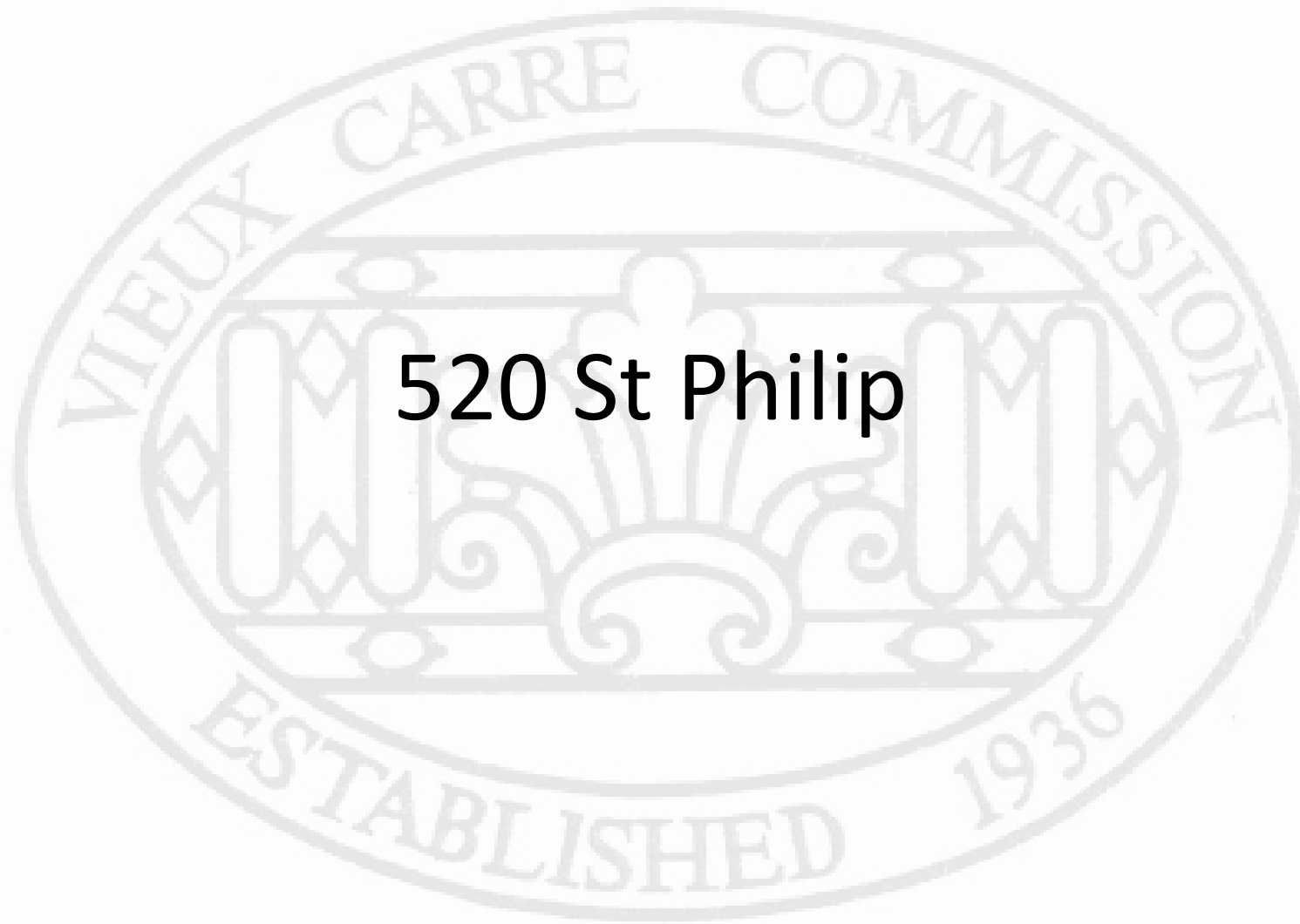
808 Bourbon – Proposed Fountain Design Example

VCC Architectural Committee

September 13, 2022



520 St Philip



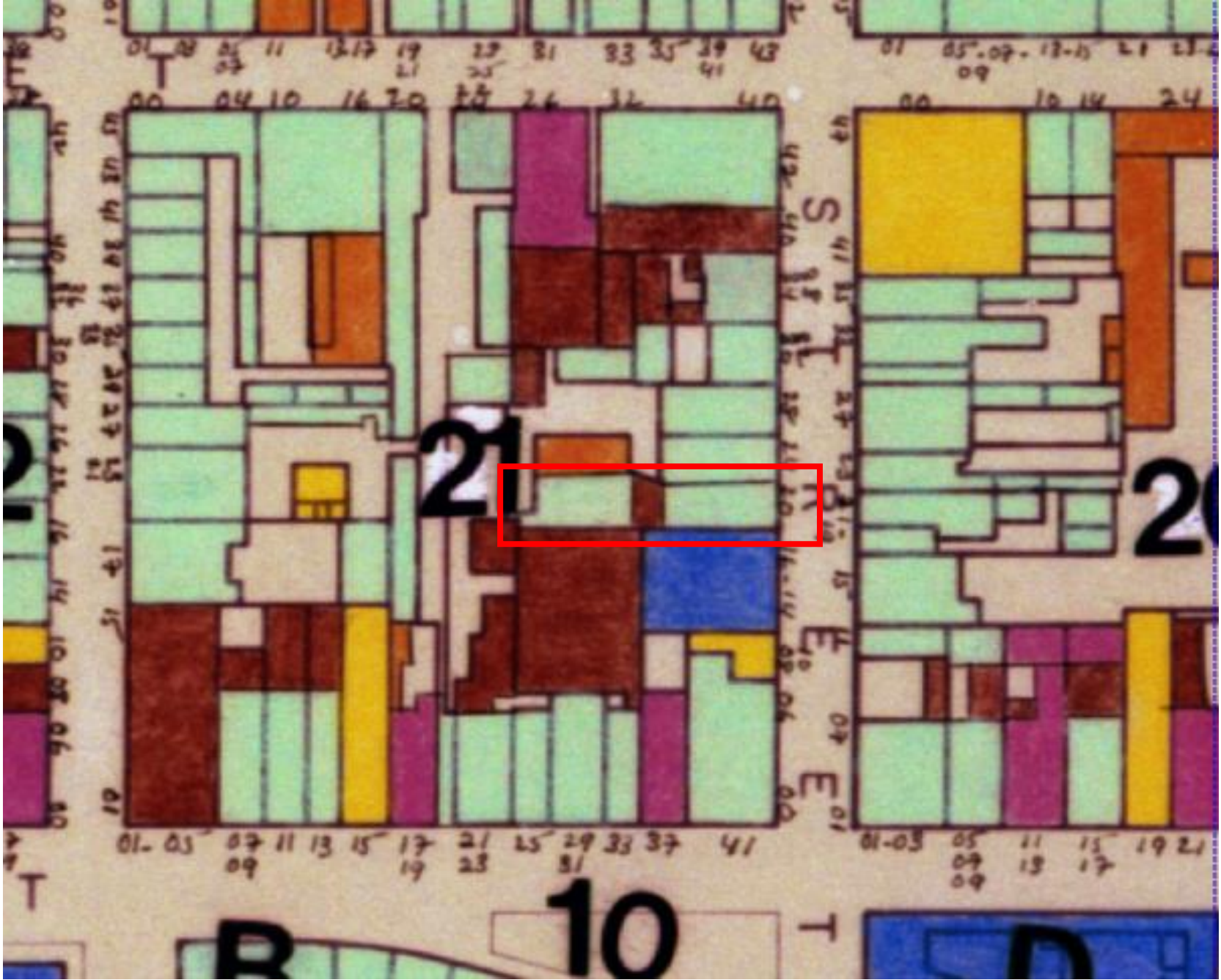


520 St. Philip

VCC Architectural Committee

September 13, 2022



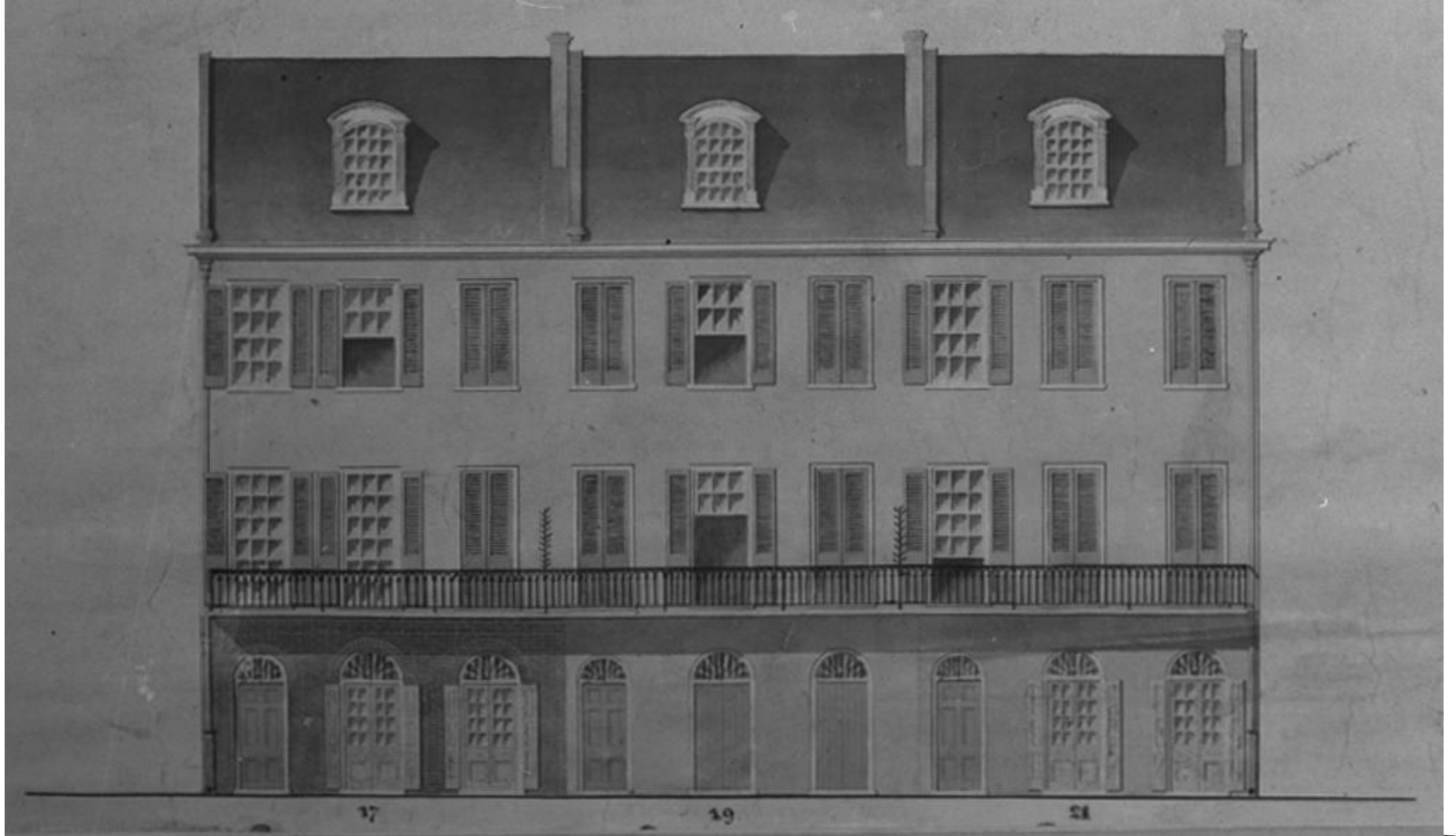


520 St. Philip

VCC Architectural Committee

September 13, 2022





520 St. Philip, 1847

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September 13, 2022





520 St. Philip, 1964

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September 13, 2022





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September 13, 2022





520 St. Philip

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September 13, 2022



Roc Burgess Construction
339 Newman Ave
Jefferson, LA 70121
504-913-4969
rocburgessconstruction@gmail.com



Estimate

ADDRESS

todd Clower
520 St. Philip *UNIT # 7*
New Orleans, Louisiana

ESTIMATE # 1187

DATE 08/16/2022

RIVER VIEUX TERRACE CONDOMINIUM
TGC INVESTMENTS, LLC (UNIT OWNER)

ACTIVITY	QTY	RATE	AMOUNT
Balconies	1	18,825.00	18,825.00

This is a proposal for work to be done at 520 St. Philip. Work consist of replacing the balcony on the Clower residence unit. Our price includes materials and labor for the scope of work below.

Scope of Work:

- Acquire all proper permits,
- Mobilize job with man lift, to access balcony from street.
- Demo existing balcony.
- Install new treated 4" x 4" purlins to match existing.
- Install new Aeratis T/G deck boards.
- Install new Azek fascia board and molding, to match existing.
- All new materials will be painted to match existing,
- Install new thresholds on the two exterior doors.
- Remove all trash and debris from site daily.

If you have any questions or concerns please contact Steven Burgess
(504)913-4969

Steven Burgess
Steven Burgess
Valance Construction

Accepted By

Todd G Clower

Any alteration or deviation from the above specifications involving extra cost of material or labor will only be executed upon written orders for same, and will become an extra charge over the sum mentioned in this contract.

TOTAL

\$18,825.00

Accepted Date

17 August 2022

520 St. Philip

VCC Architectural Committee

September 13, 2022



ACTIVITY**QTY****Balconies****1**

This is a proposal for work to be done at 520 St. Philip. Work consist of replacing the balcony on the Clower residence unit. Our price includes materials and labor for the scope of work below.

Scope of Work:

- Acquire all proper permits,
- Mobilize job with man lift, to access balcony from street.
- Demo existing balcony.
- Install new treated 4" x 4" purlins to match existing.
- Install new Aeratis T/G deck boards.
- Install new Azek fascia board and molding, to match existing.
- All new materials will be painted to match existing,
- Install new thresholds on the two exterior doors.
- Remove all trash and debris from site daily.



ÆRATIS

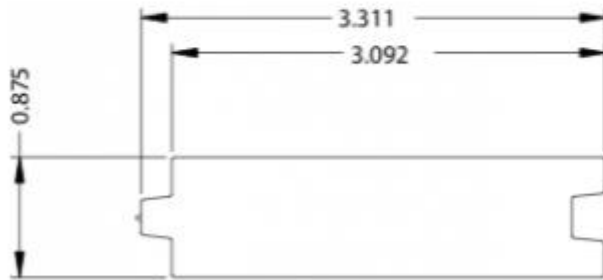


Aeratis T&G Porch Flooring

The Heritage line of products are ADA slip complaint and carry a Class "B" fire rating (more flame resistant than any other competitors' product). This double-sided board offers a finished ceiling look from the underside of a porch floor that is visible from underneath.

Aeratis Heritage T&G porch flooring board dimensions are 3-1/8" x 7/8" and are available in 12', 16' and 20' lengths. As seen above from left to right: Battleship Gray, Weathered Wood and Vintage Slate. The Aeratis products have the appearance of wood and natural color variation.

Aeratis Heritage T&G Porch Flooring Dimensions



Lengths: 12', 16', or 20'

Width: 3-1/8" (3.092)

Thickness: 7/8"



Aeratis Battleship Gray, Weathered Wood and Vintage Slate

1210 Royal





1210 Royal



1210 Royal

VCC Architectural Committee

September 13, 2022





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September 13, 2022





1210 Royal

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September 13, 2022



630 CHARTRES ST. A. 5-3778

The Vieux Carre Commission hereby grants permission for work to be performed on premises listed, under their inspectory supervision, within given dates, in accordance with outlined specification, and in conformity to Chapter 65 of Code of City of New Orleans, as amended, as follows:

Permit No. 71147 Premises: 1206-10 Royal Street

Applicant: Charles Vick, 1210 Royal Street 581-2674

Are you Owner ☒ Lessee ☐ Agent ☐ Other Status ☐

Acting for Self

Has owner authorized work to be done under this permit? Yes

Owner: Charles Vick

Contractor: Self

Work to Commence: * 4/16/71 To Complete: * 10/15/71
(* within 30 days)

Specifications: Rear and Side Slave Quarter Buildings:

✓ Reroof rear and side Slave Quarter Buildings with Slate Black Am.-Col. Asbestos shingles.

Repair brick building and tuck-point where necessary.

Brick enclose openings on left side (1st floor on rear bldg.

Repair and replace doors, windows, shutters and frames where necessary and as existing.

Repair and/or replace balcony wood outriggers, stringers, flooring, facia and molding as existing and to V.C.C. standards, beaded wood where required.

* Restore rear building balcony railing and post to V.C.C. standards.
Detail Sheet No. 9.

4/19/71 - Work started. 5/4/71 - Work in progress R.V.C.
5/11/71 - Working according to permit - And
5/24/71 " " " " " "

Signature of Applicant: Charles Vick

Approved: Wayne A. Collier April 16, 1971
DIRECTOR OF VIEUX CARRE COMMISSION DATE OF ISSUE

NOTE: This permit must be presented to Department of Regulatory Inspections, 7E04 City Hall, Civic Center, for required Building Permit, before any work is commenced. This Vieux Carre Commission Permit expires six months after date of issue unless other wise noted.

1210 Royal

VCC Architectural Committee

September 13, 2022



(* within 30 days)

Specifications: Rear and Side Slave Quarter Buildings:

✓ Reroof rear and side Slave Quarter Buildings with Slate Black Am.-Col. Asbestos shingles.

Repair brick building and tuck-point where necessary.

Brick enclose openings on left side (1st floor on rear bldg.

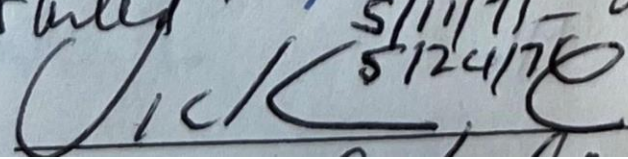
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Repair and/or replace balcony wood outriggers, stringers, flooring, facia and molding as existing and to V.C.C. standards, beaded wood where required.

* ✓ Restore rear building balcony railing and post to V.C.C. standards.

Detail Sheet No. 9.

4/19/71 - Work started. 5/4/71 - Work in progress R.V.C.
5/11/71 - Working according to permit - Pub
5/12/71 " " " "

Signature of Applicant: 



1210 Royal

VCC Architectural Committee

September 13, 2022



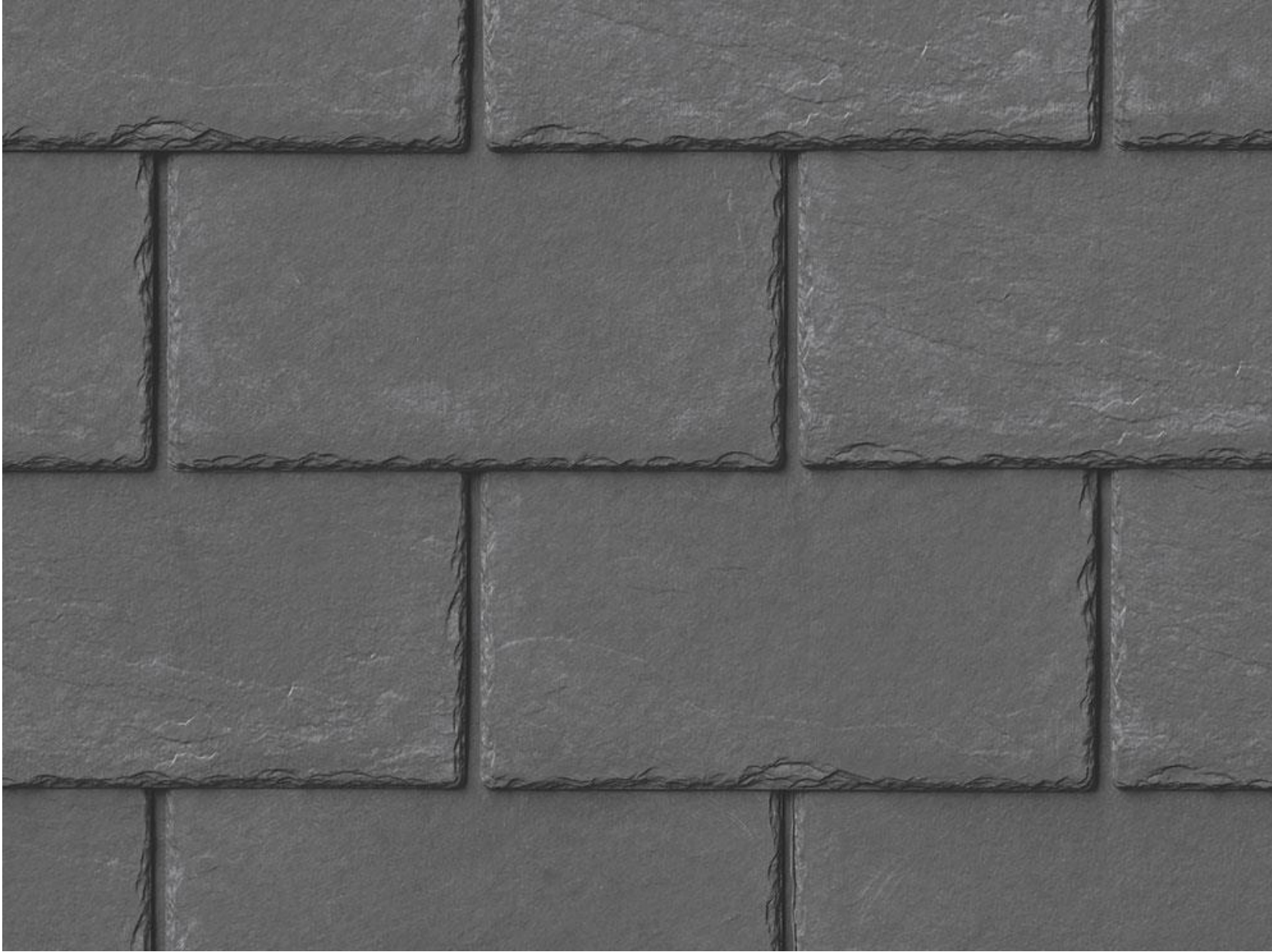


1210 Royal

VCC Architectural Committee

September 13, 2022





1210 Royal – Davinci Inspire in Mist Grey color



Slate Gray Residential

COLOR Slate Gray

**ROOF
DETAIL** Skylight

**PROJECT
TYPE** Residential

1210 Royal – Davinci Example Roof


VCC Architectural Committee

September 13, 2022

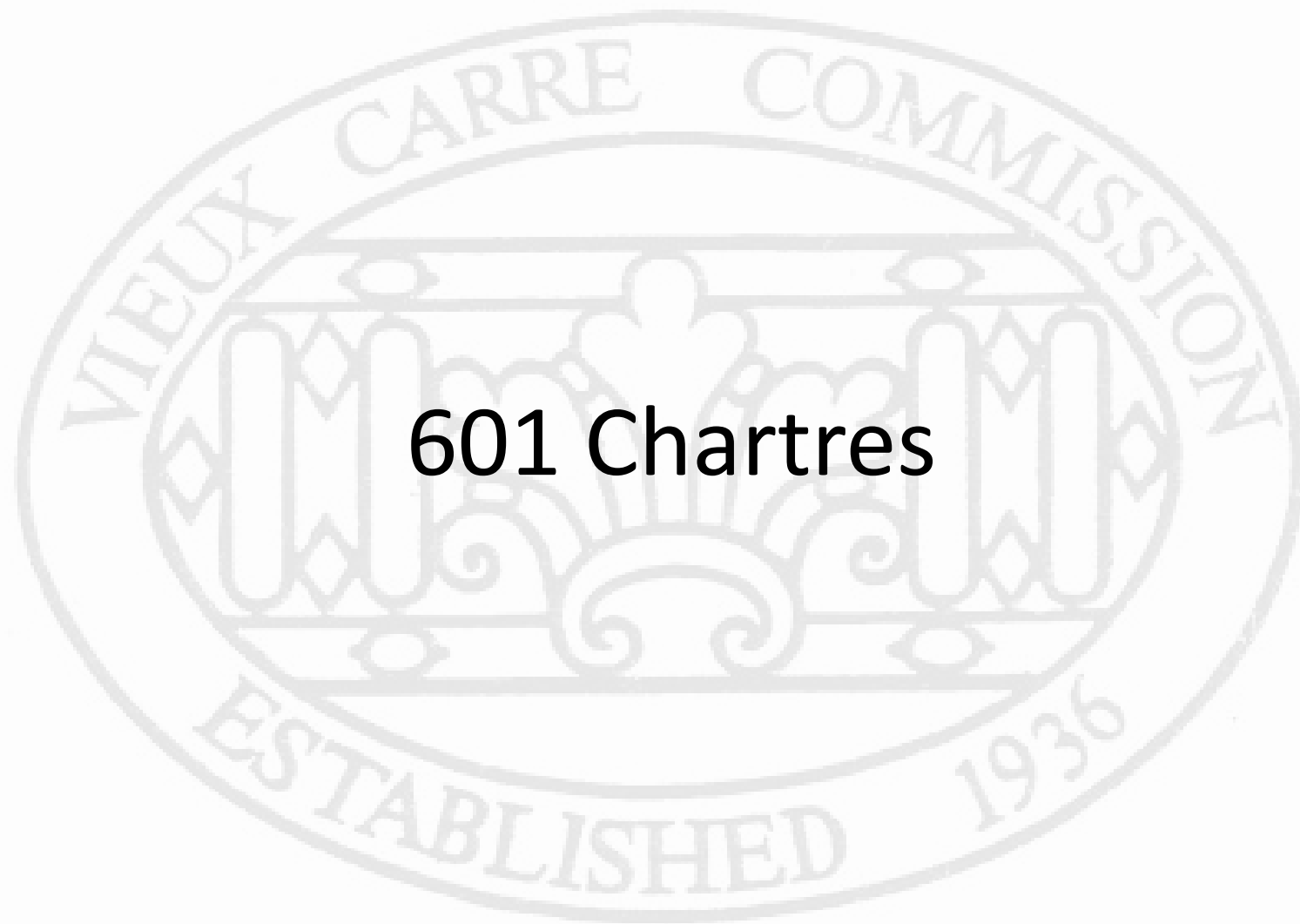


The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a central figure. The shield is flanked by two vertical bars. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

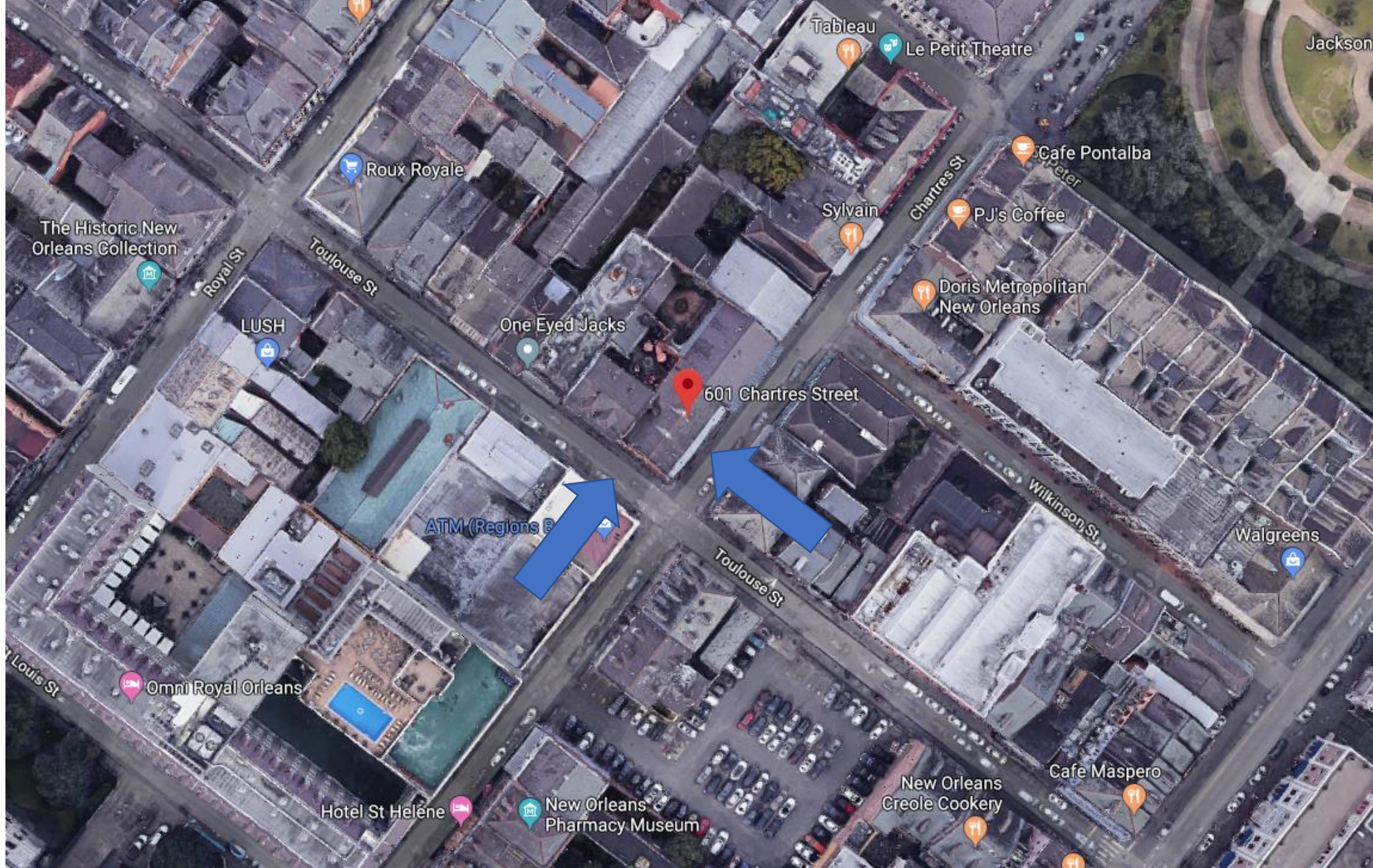
Appeals and Violations



711 Bourbon
Deferral Requested by Applicant
Prior to the Meeting



601 Chartres



601 Chartres

VCC Architectural Committee

September 13, 2022





601 Chartres

VCC Architectural Committee

September 13, 2022





601 Chartres

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September 13, 2022





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September 13, 2022





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September 13, 2022





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September 13, 2022





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September 13, 2022





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September 13, 2022





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September 13, 2022





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601 Chartres

VCC Architectural Committee

September 13, 2022





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September 13, 2022





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September 13, 2022





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September 13, 2022





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September 13, 2022





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September 13, 2022





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September 13, 2022





601 Chartres

VCC Architectural Committee

September 13, 2022



August 18, 2022

Mr. Myles Martin
M3 Design Group
3328 Banks Street
New Orleans, LA 70119

Re: 601 Chartres Street
New Orleans, LA 70130
Balcony Corner Structural Inspection

Dear Mr. Martin,

Pursuant to your request, a site visit was conducted at the above referenced address on 08/14/2022. The purpose of the limited visual inspection conducted was to assess the general structural condition of the existing second floor corner balcony. The inspection consisted of a visual review of the current conditions, recording any observations of structural deficiencies, or evidence in finishes which cover the structural elements. The inspection was conducted by the creator of this report. No lift or special equipment was used during the time of inspection.

The elements under review consisted of an existing exterior second floor balcony at the north corner of Chartres and Toulouse Street, framed with steel outriggers and wood 4x joists resting on the outriggers. It appears the joist only rest on the outriggers and are not connected by mechanical means. The decking of the balcony consists of wood 1x tongue and groove decking running perpendicular to the wood joists. Metal railing wraps the perimeter street side with vertical support connections on steel outriggers, except for the corner outrigger connection which only acts as a brace.

During the assessment of the balcony, major structural damage due to vehicular traffic striking the balcony was noted. The corner outrigger connection was noted to have failed and the outrigger was no longer structurally viable due to damage. The load bearing masonry wall had also received damage due to the collision at the outrigger connection point and needs tuckpointing repairs. Standard wear and tear due to aging and weathering was also noted.

The following are examples of issues noted in structurally related building elements under review with their corresponding images undermentioned:

- Picture P01 – depicts damage to the existing multi-wythe masonry wall and the corner outrigger support point. The outrigger and its masonry anchor are too damaged to continue to be structurally viable and should be replaced in kind with another outrigger matching the existing in dimensions, material, color, and texture. The existing masonry pocket should be used to install the new outrigger and the surrounding masonry fully tuck pointed to the appropriate extents. All stucco/plaster removed or damaged should be replaced in kind. See attached structural plans and data sheets for balcony and masonry repair details and information.
- Picture P02 – depicts damaged to the existing wood decking, fascia, outrigger, composite curved wood framing, and rail brace. The wood fascia and deck framing were damaged in the collision and should be replaced in kind. The composite curved wood framing should be replaced with 2x4 wood framing comprising the same dimensions. The metal railing brace can be removed and omitted as it was not a main vertical support.
- Picture P03 – depicts the extents and overall damage to the corner of the balcony along with temporary shoring, not designed by AP Design Group (APDG).



P01 – Image taken from corner of Chartres and Toulouse looking up at damaged balcony, building side; In view is damaged balcony outrigger and multi-wythe masonry wall.



AP DESIGN GROUP

504-410-5322

admin@ap-eng.com

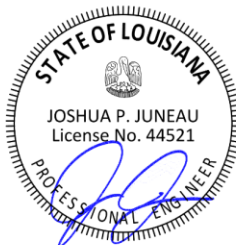
www.apdesigngrp.com

To the best of our knowledge, the balcony is not structurally sound. A qualified contractor should be engaged to address the items noted above. During repair operations, any elements discovered to be deficient, should be addressed per appropriate repair methods. The issues noted could deteriorate further or exacerbate other areas causing future structural issues if left unresolved. See provided repair plan and information package attached. It's suggested the recommended repairs be done immediately to retain the structural integrity of the balcony.

Please do not hesitate to reach out with any further questions.

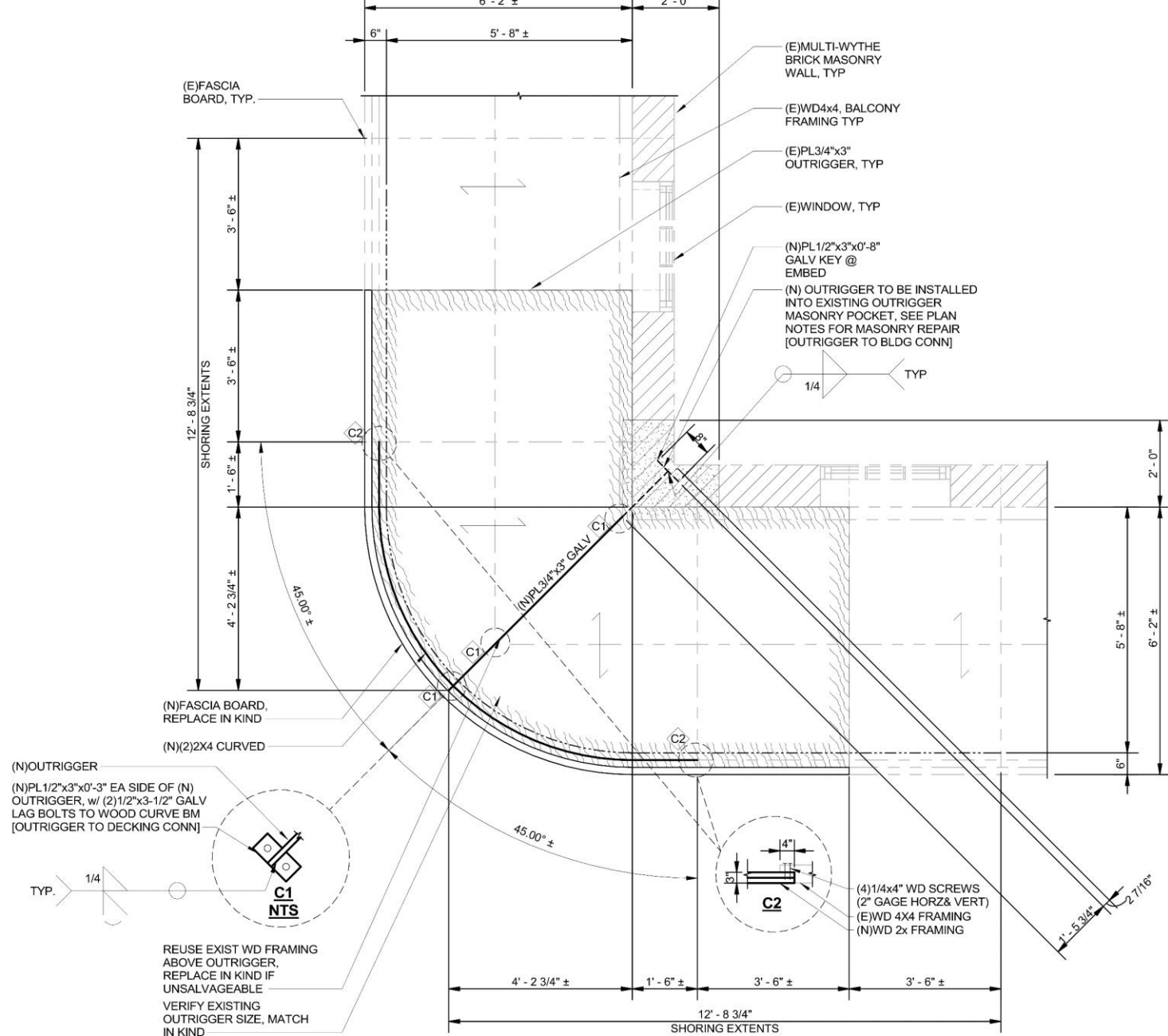
Thank you,

Joshua Juneau, P.E.



08-18-22





NOTES: UNLESS NOTED OTHERWISE





601 Chartres

VCC Architectural Committee

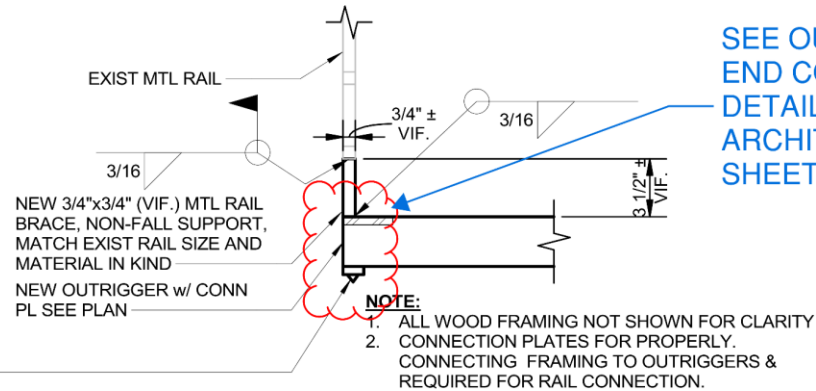
September 13, 2022



NOTES: UNLESS NOTED OTHERWISE

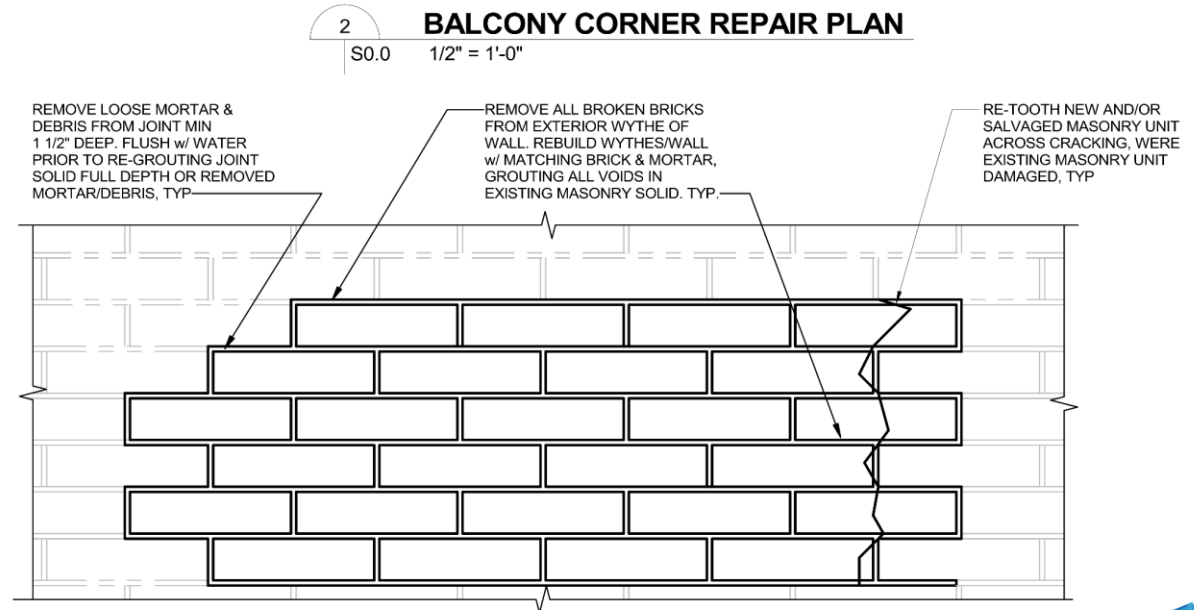
1. REPLACEMENT MEMBERS TO MATCH EXISTING IN KIND. VERIFY IN FIELD ALL NEW (N) MEMBER SIZES PROVIDED MATCH EXISTING IN KIND. EXISTING MEMBERS (E) TO REMAIN.
2.  - DENOTES AREA OF WD1X4 T&G DECKING TO BE REPLACED, TYP. REFASTEN OR REPLACE ALL/ANY LOOSE WOOD CONNECTIONS WITHIN AREA NOTED.
3.  - DENOTES EXIST BRICK MASONRY TO BE FULLY TUCK POINTED TO EXTENTS SHOWN BEGINNING FROM TOP OF EXIST BALCONY TO 24" BELOW INCLUDING CORBELING. FULLY GROUT VOID SPACE w/ VCC APPROVED 3,000 PSI MORTAR. REMOVE & REPLACE PLASTER AS NEEDED, FOLLOWING VCC APPROVED DETAILS. REUSE EXISTING OUTRIGGER MASONRY POCKET TO INSTALL NEW OUTRIGGER MATCHING EXISTING IN KIND.
4. ----- - DENOTES LINE OF RECOMMENDED SHORING. RECOMMENDED SHORING BE PLACED @ EA EXIST OUTRIGGER LOCATION & BE RATED FOR 2 KIPS MINIMUM. SHORING MEMBER SMALLER THAN WD 6X6 NOT PERMITTED. SHORING TO BE BRACED HORIZ w/ 4 ROWS OF BRACING EQ SPACED, MAXIMUM 4'-0" SPACING, MINIMUM (2)2X6 EA SIDE w/ (4)16dx3" NAILS EA END.
5. REUSE ALL EXISTING FRAMING, REPLACE IN KIND IF UNSALVAGEABLE.
6. VERIFY IN FIELD ALL DIMENSIONS NOTED AS "±".
7. (N) - DENOTES NEW CONSTRUCTION
8. (E) - DENOTES EXISTING CONSTRUCTION
9. ENSURE ALL EXISTING MASONRY IS PROPERLY SHORED AND/OR SECURED DURING REPAIR OPERATIONS.
10. ENSURE PROPER SHORING IS IN PLACE PRIOR TO BEGINNING WORK.
11. FOR FASTENERS & CONNECTIONS NOT SHOWN, REPLACE IN KIND AS NEEDED.
12.  - DENOTES DECK SPAN DIRECTION
13.  - DENOTES CONNECTION 1, SEE CONNECTION HIGHLIGHTS IN PLAN
14. CONNECT NEW FASCIA TO NEW OR EXIST FRAMING w/ (3)10d COMMON NAILS @ 16" O.C. & @ ENDS 1" FROM EDGE.
15. SEE 4 / S0.0 FOR EXISTING RAILING TO NEW OUTRIGGER CONNECTION.

SEE OUTRIGGER
END CONDITION
DETAIL ON
ARCHITECTS 'A2'
SHEET.



DETAIL - RAILING TO OUTRIGGER CONN.

BALCONY CORNER REPAIR PLAN



DETAIL - TUCK POINTING

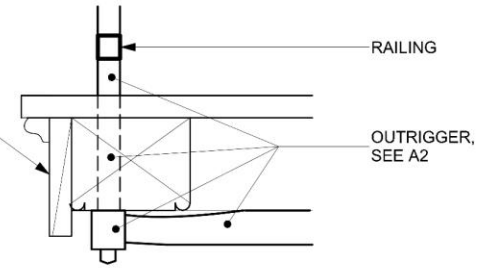


NEW WOOD FASCIA AND UPPER TRIM PEICE AT UNDERSIDE OF DECKING TO BE REPLACED WHERE DAMAGED. MATCH EXISTING PROFILES IN LIKE AN KIND.

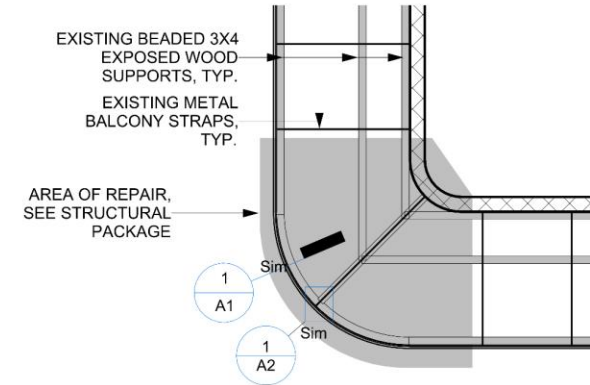
EXISTING RADIUS WOOD MEMBER TO BE REPLACED, SEE STRUCTURAL PLANS

EXISTING STUCCO CORINCE PROFILE (WHERE MISSING) TO BE REBUILT TO MATCH

SEE A2 & A3 FOR STEEL OUTRIGGER CONNECTION DETAIL



1 TYP. GALLERY EDGE CONDITION
3" = 1'-0"



2 EXTERIOR CORNER - REFLECTED CEILING PLAN
3/16" = 1'-0"



MORTAR

PREPACKAGED MIXES ARE NOT PERMITTED.

NO MORE THAN:

- 1 PART PORTLAND CEMENT, TO
- 3 PARTS LIME,
- 9 PARTS SAND, AND
- ENOUGH WATER TO FORM A WORKABLE MIX.

THE RESULTING MORTAR SHOULD RANGE IN COLOR FROM WHITE TO BEIGE BUT SHOULD NOT BE GREY IN COLOR. WHEN REPOINTING, ALL MORTAR TO BE TOOLED TO MATCH EXISTING JOINT PROFILES. CONSULT WITH VCC STAFF IF EXISTING JOINT PROFILE INDETERMINATE.

STUCCO

PREPACKAGED MIXES ARE NOT PERMITTED

BASE COAT CONSISTS OF 2 COATS, DOUBLED UP WORK OF 5/8" TOTAL THICKNESS. PROPORTIONED AS FOLLOWS:

- NO GREATER THAN 1:12 PART PORTLAND CEMENT, TO
- 3 PARTS LIME, AND
- 9 PARTS SAND,
- 6 LBS./CUBIC YARD HAIR OR FIBER, AND
- ENOUGH WATER TO FORM A WORKABLE MIX.

FINISH COAT IS 1/4" IN TOTAL THICKNESS PROPORTIONED AS FOLLOWS:

- NO MORE THAN 1 PART PORTLAND CEMENT,
- 3 PARTS LIME,
- 9 PARTS SAND,
- ENOUGH WATER TO FORM A WORKABLE MIX.

THE RESULTING MIX SHOULD RANGE IN COLOR FROM WHITE TO BEIGE BUT SHOULD NOT BE GREY IN COLOR. NOTE: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12. AN INCORRECT MORTAR CAN DAMAGE AN HISTORIC BUILDING AND ITS MATERIALS.

1. BALCONY FLOORS: REPAIR EXISTING T-N-G WOOD DECK BOARDS WITH MATERIAL TO MATCH EXISTING
2. ALL REPAIR/REPLACE WORK SHALL MATCH EXISTING IN MATERIAL, DIMENSION, SIZE, PROFILE, EXPOSURE, RELIEF, DETAIL, SHAPE, CONFIGURATION, TYPE AND OPERATION UNLESS OTHERWISE SPECIFIED.
3. ALL EXTERIOR TRIM, SOFFIT, FASCIA, ETC. TO BE SOLID WOOD, TREATED FOR EXTERIOR USE, AND AIR OR KILN DRIED PRIOR TO INSTALLATION. ALL WORK DONE IN PREPARATION FOR PAINTING. STAIN TREATMENT IS NOT APPROVED FOR BUILDING SIDING, TRIM, WINDOWS, SHUTTERS, SOFFITS OR DECKING.
4. ALL CHANGES OR ADDITIONAL WORK MUST BE APPROVED BY THE VCC

GENERAL NOTES - RENOVATION SCOPE

GENERAL NOTES - VCC STUCCO & MORTAR DETAILS

601 CHARTRES ST
NEW ORLEANS LA 70130

601 CHARTRES ST - EXTERIOR CORNER REPAIR

CORNER REPAIR
09/01/22

A1



M3 DESIGN GROUP



STEEL OUTRIGGER END
CONDITION



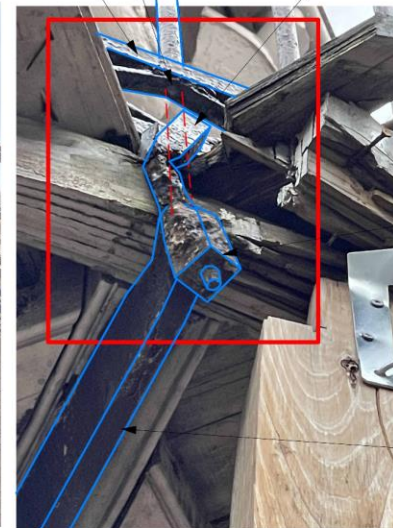
STEEL OUTRIGGER END
CONDITION



CONNECTION POINT TO RAILING

EXISTING GUARDRAIL

SQUARE VERTICAL STUB UP
WELDED TO EXISTING GALLERY
GUARDRAIL BOTTOM

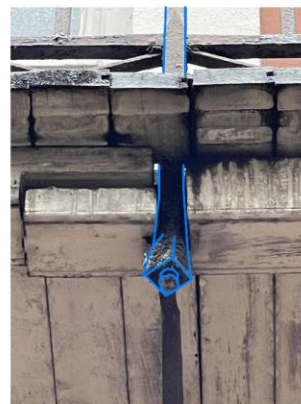


FINAL METAL STRAP
OUTRIGGER END
CONDITION REPAIR TO
MATCH ADJACENT
EXISTING CONDITIONS

BENT CONNECTION
END

STEEL OUTRIGGER

DAMAGED OUTRIGGER



ADJACENT OUTRIGGER

601 CHARTRES ST
NEW ORLEANS LA 70130

601 CHARTRES ST - EXTERIOR CORNER REPAIR

CORNER REPAIR - DAMAGED CORNER OUTRIGGER
09/01/22

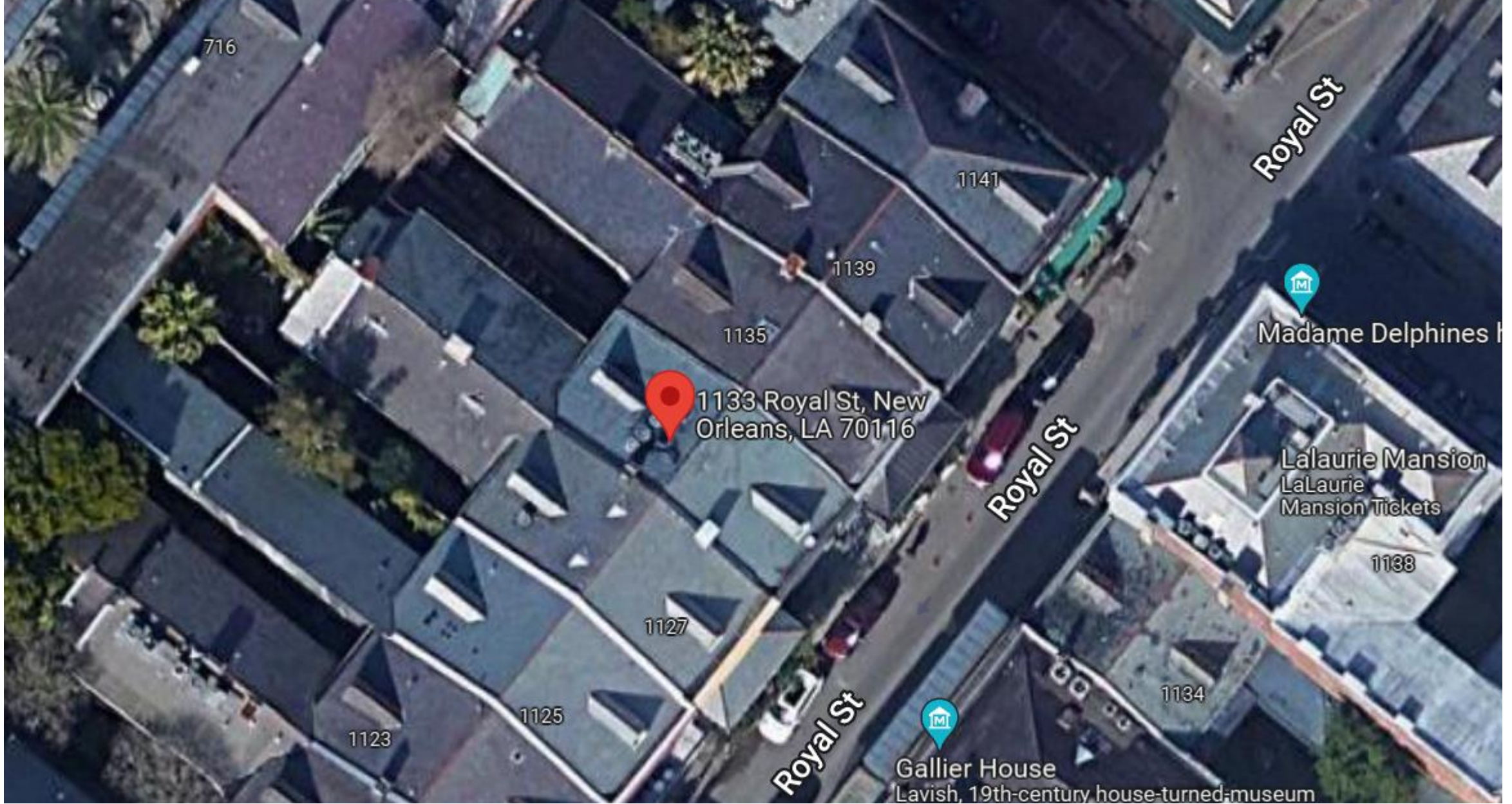
A2



M3 DESIGN GROUP







1133 Royal

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September 13, 2022





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Half round gutter. No
downspouts visible.



1133 Royal - 1981

VCC Architectural Committee

September 13, 2022

