

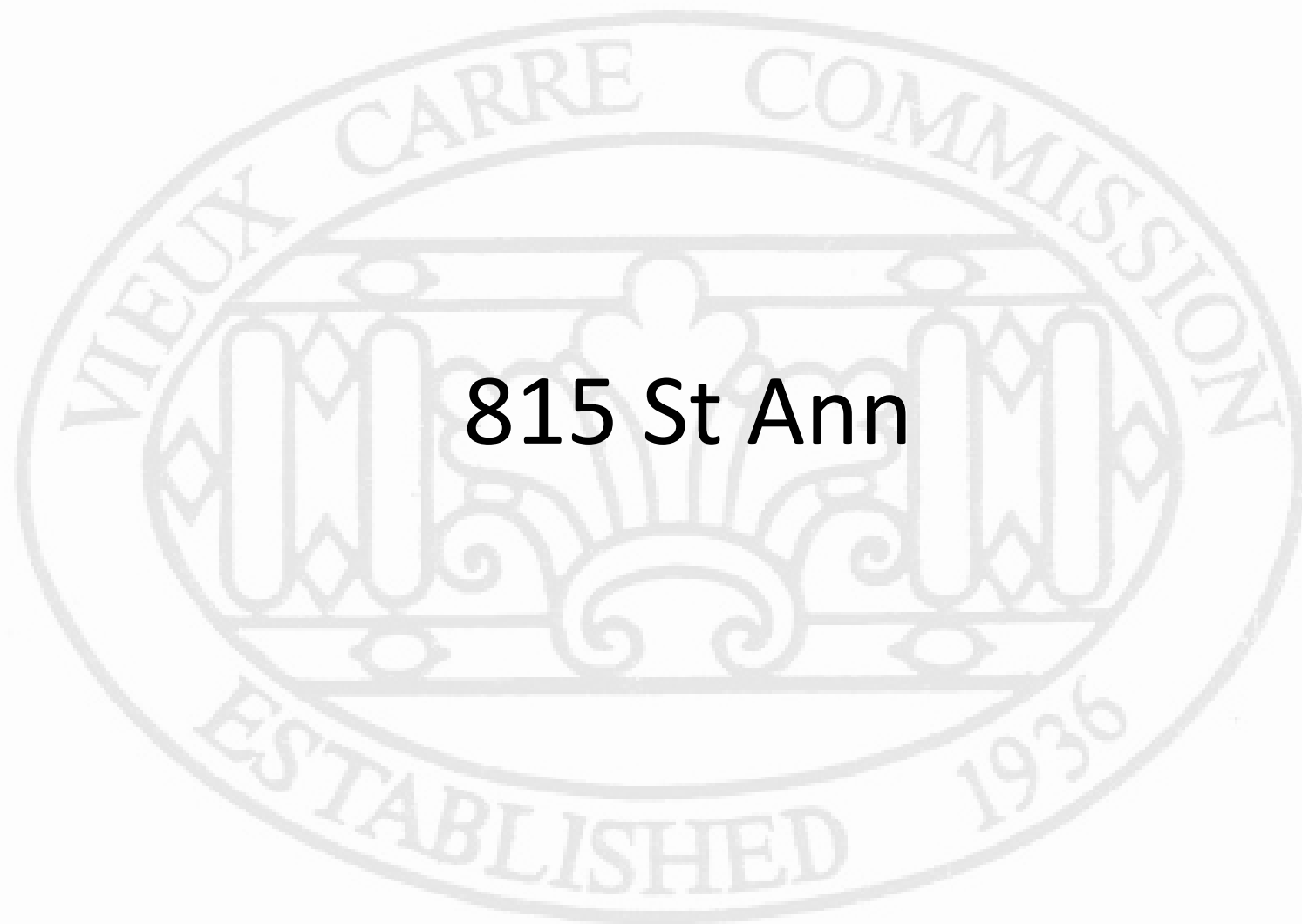
# Vieux Carré Commission Architecture Committee Meeting

Tuesday, January 10, 2022

# Old Business

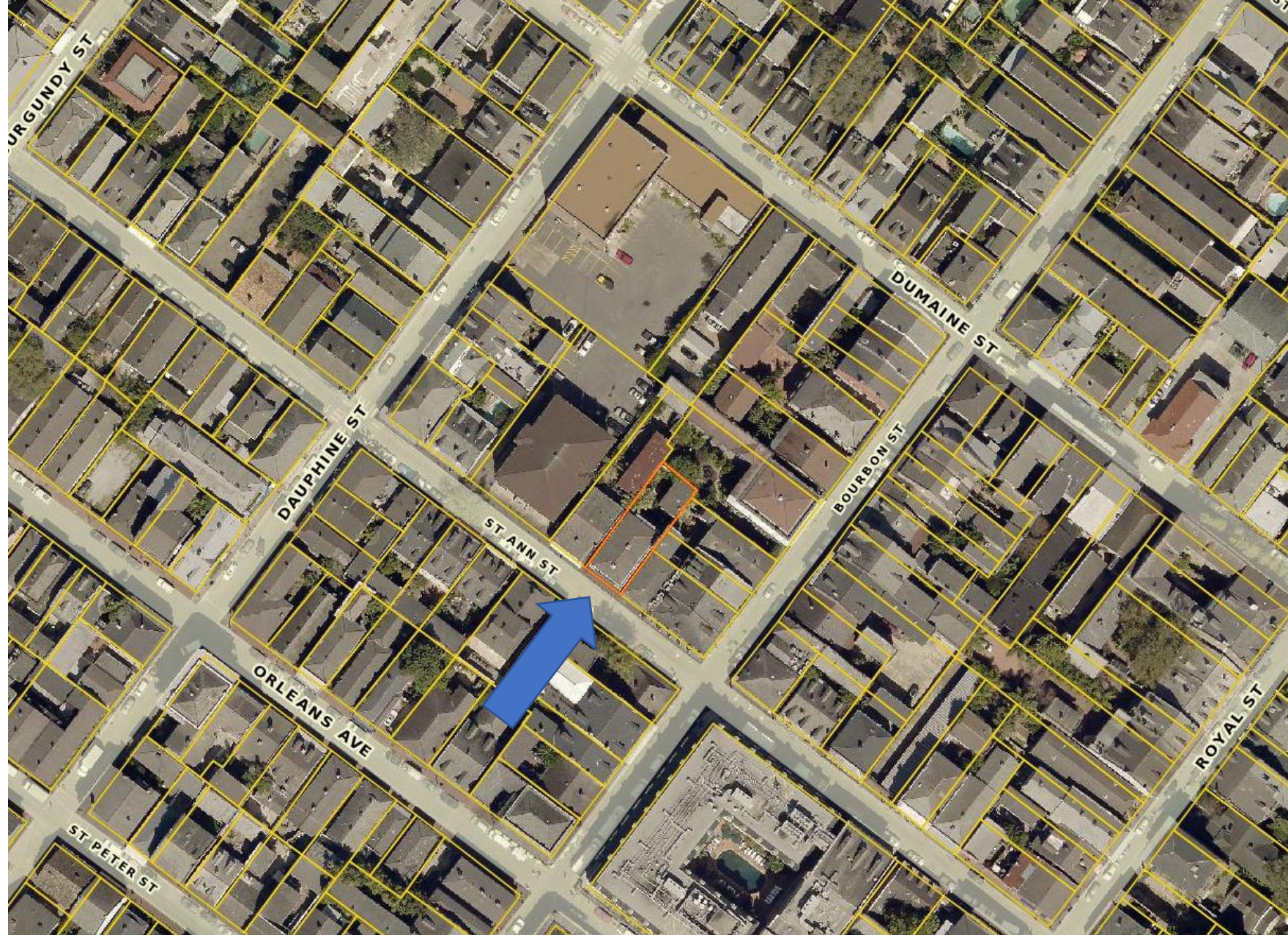






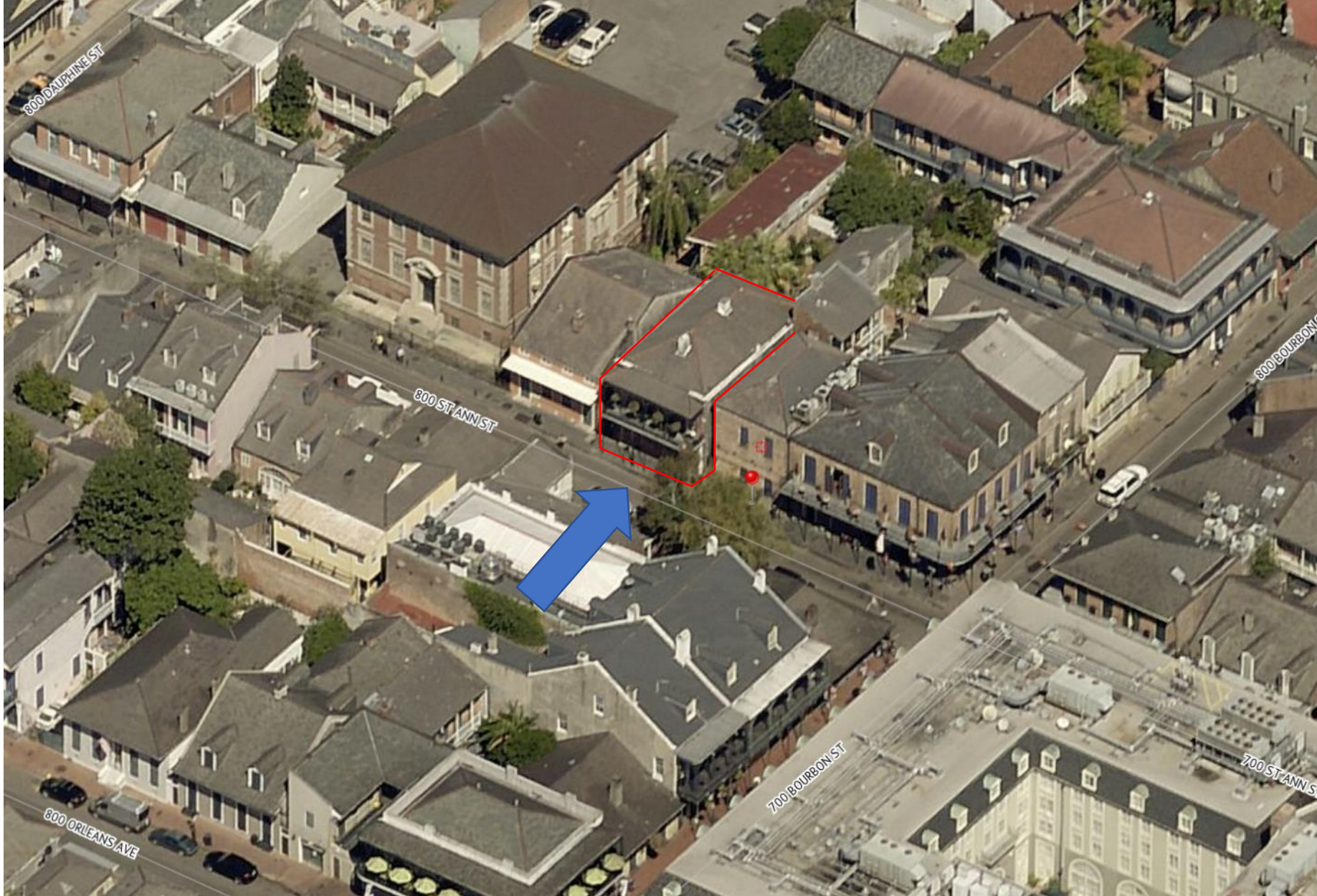
815 St Ann





815 St. Ann





815 St. Ann





815 St. Ann – ca. 1950

VCC Architectural Committee

January 10, 2023





815 St. Ann - 1962

VCC Architectural Committee

January 10, 2023







815 St. Ann - 1974

VCC Architectural Committee

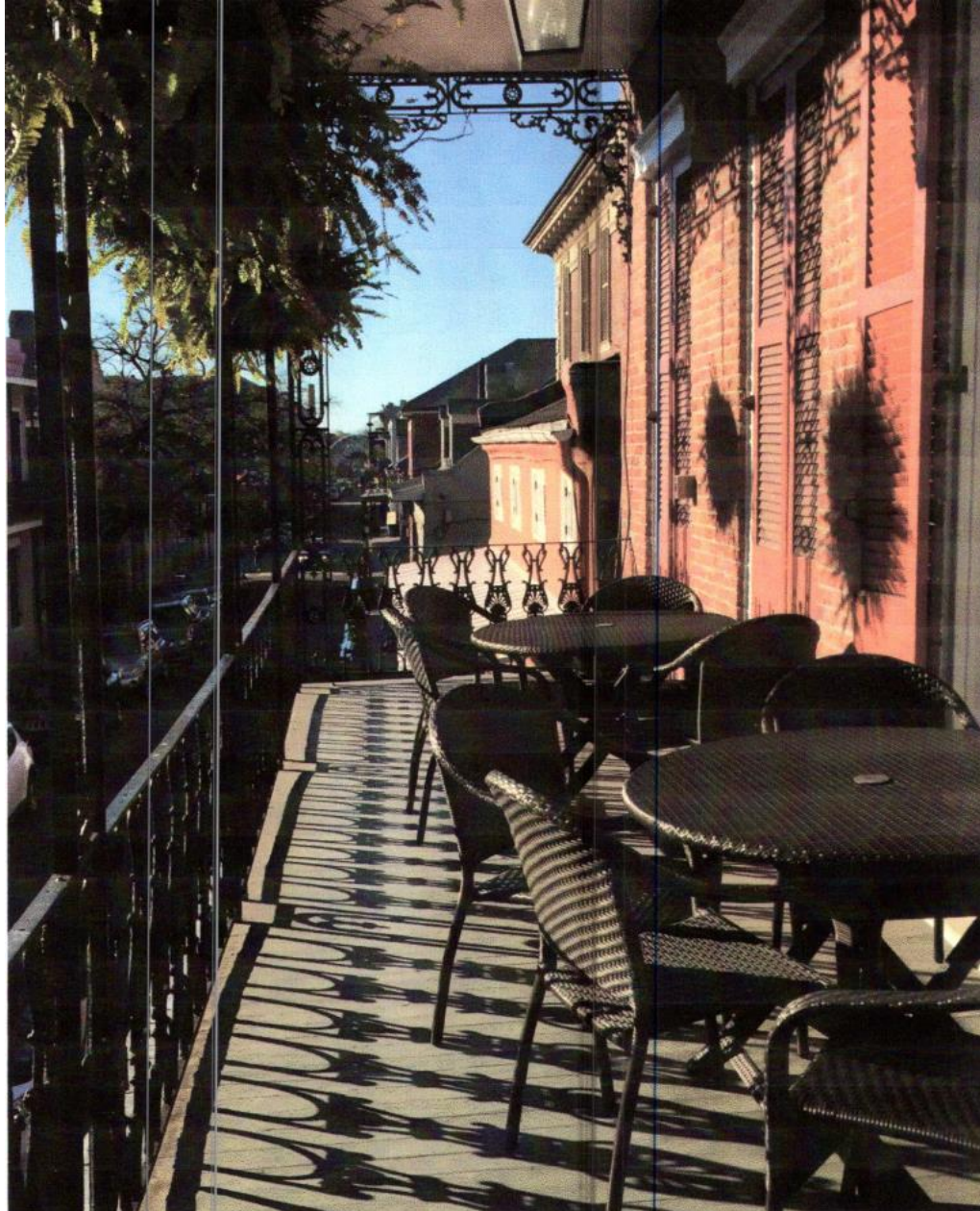
January 10, 2023





815 St. Ann





815 St. Ann

VCC Architectural Committee

January 10, 2023







815 St. Ann

VCC Architectural Committee

January 10, 2023







815 St. Ann

VCC Architectural Committee

January 10, 2023





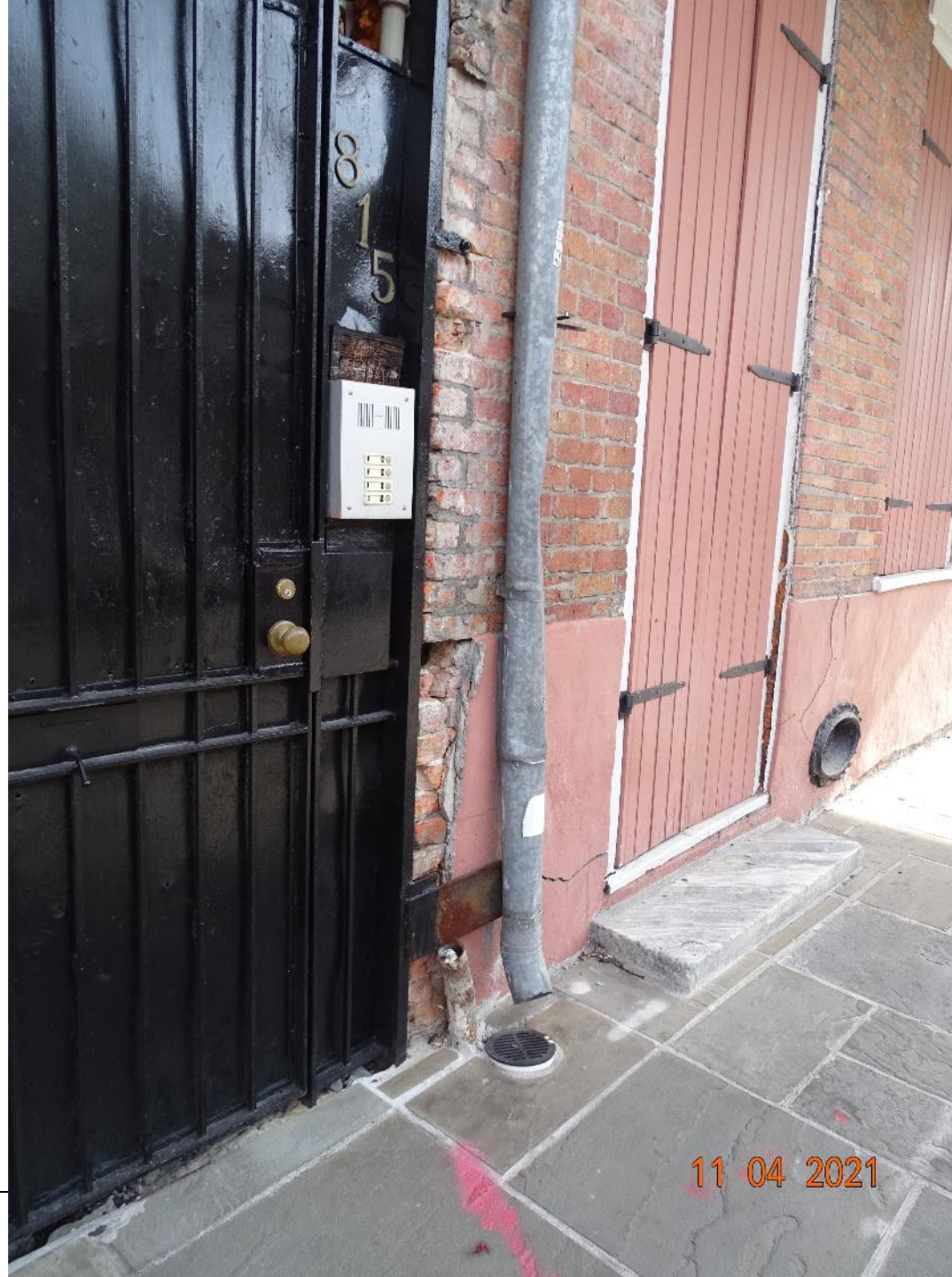


815 St. Ann

VCC Architectural Committee

January 10, 2023





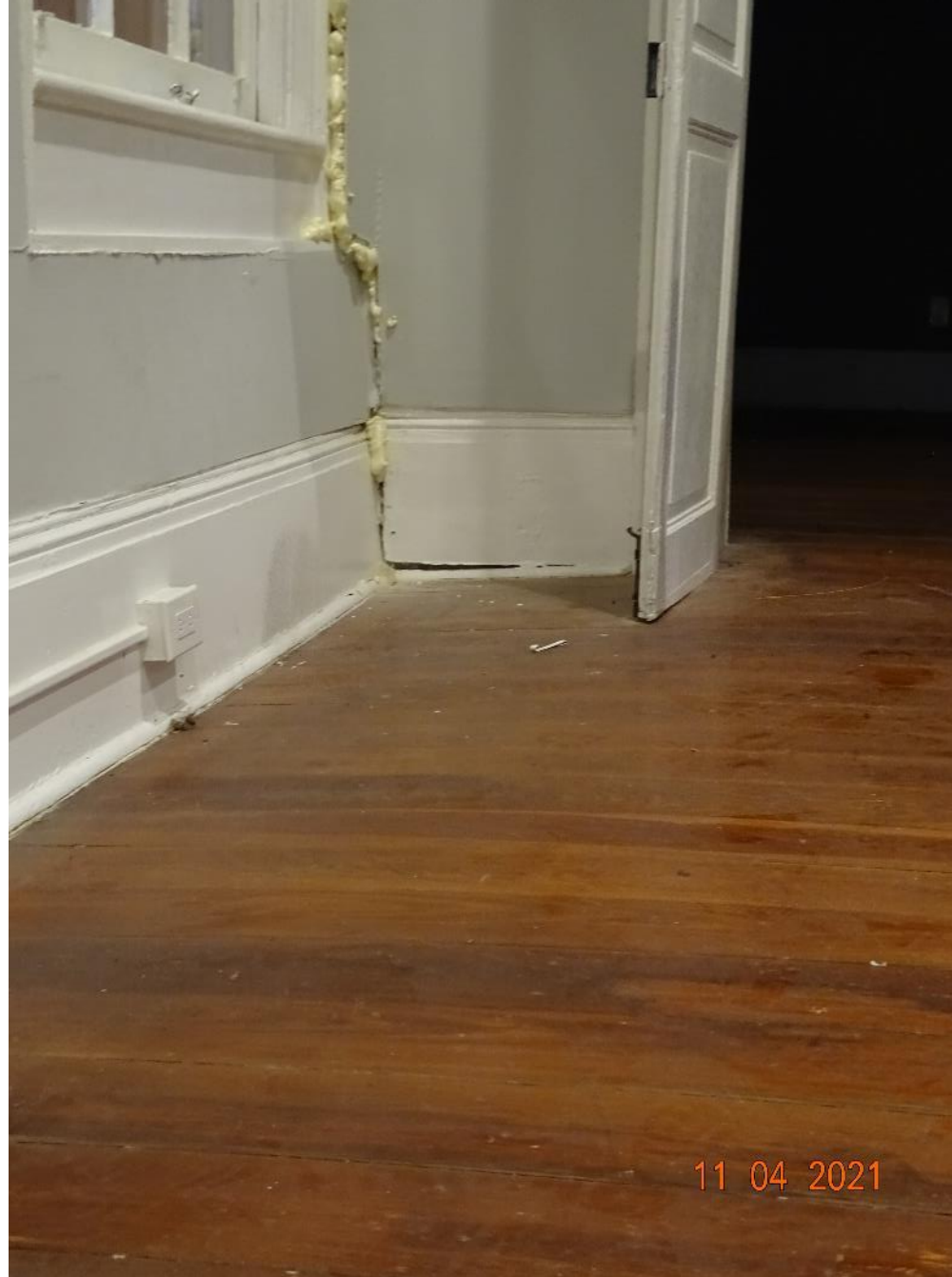
815 St. Ann

VCC Architectural Committee

January 10, 2023





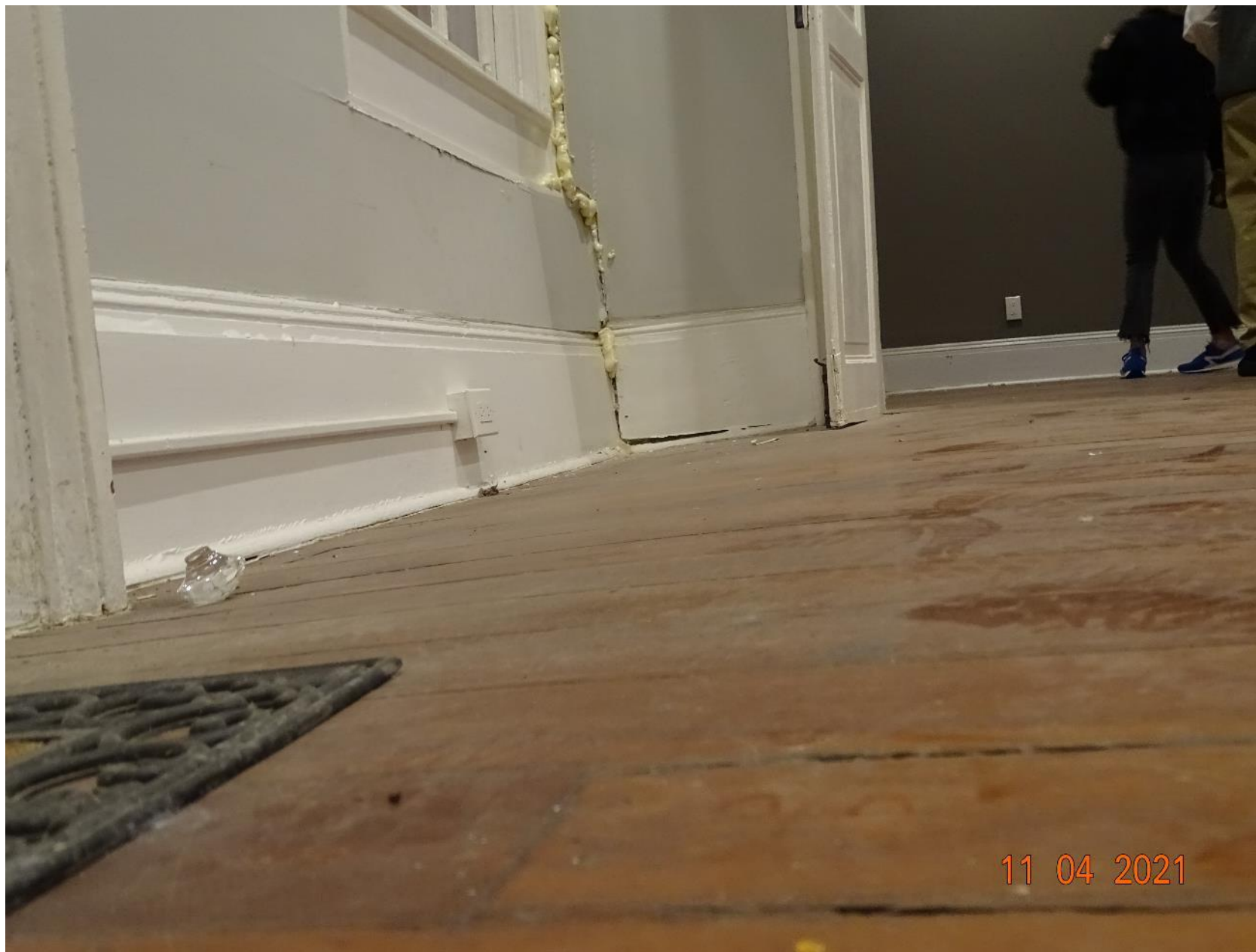


815 St. Ann – 1<sup>st</sup> Floor Interior

VCC Architectural Committee

January 10, 2023





815 St. Ann – 1<sup>st</sup> Floor Interior



815 St. Ann – 1<sup>st</sup> Floor Interior





815 St. Ann – 1<sup>st</sup> Floor Interior





815 St. Ann – 1<sup>st</sup> Floor Interior





815 St. Ann – 1<sup>st</sup> Floor Interior



815 St. Ann – 1<sup>st</sup> Floor Interior  
VCC Architectural Committee

02 17 2022

January 10, 2023







815 St. Ann – 1<sup>st</sup> Floor Interior





815 St. Ann – 1<sup>st</sup> Floor Interior

VCC Architectural Committee

January 10, 2023







815 St. Ann – 1<sup>st</sup> Floor Interior

VCC Architectural Committee

January 10, 2023





815 St. Ann – 2<sup>nd</sup> Floor Exterior  
VCC Architectural Committee

02 17 2022

January 10, 2023







815 St. Ann – 2<sup>nd</sup> Floor Exterior  
VCC Architectural Committee

02 17 2022

January 10, 2023







815 St. Ann – 2<sup>nd</sup> Floor Exterior





815 St. Ann – 2<sup>nd</sup> Floor Exterior  
VCC Architectural Committee

January 10, 2023







815 St. Ann – 2<sup>nd</sup> Floor Exterior





815 St. Ann

VCC Architectural Committee

04 18 2022

January 10, 2023







Photo 1: DAMAGED FOOTING



Photo 3: DAMAGED/MISSING FOOTING



Photo 2: DAMAGED/MISSING FOOTING.



Photo 4: DAMAGED FOOTING.

815 St. Ann

VCC Architectural Committee

January 10, 2023







Photo 5: CLOSE UP OF DAMAGED BRICK OF FORMER FOOTING.



Photo 6: CLOSE UP OF DMAGED BRICK IN FORMER FOOTING.



Photo 7: CLOSE UP OF DAMAGED AND DISPLACED BRICK IN FOOTING.



Temporary shoring approved by VCC for a time frame of 60 days. Additional approvals needed from Safety & Permits and Department of Public Works.



NOTE:  
PROVIDE ABOVE WALL SHORING EACH  
SIDE OF EACH WINDOW AND DOOR.  
SHOWN ONE SIDE FOR CLARITY ONLY.

1 FRONT ELEVATION  
SKS1 NTS



 <div>MORPHY MAKOFSKY INCORPORATED (504) 488-1317 JOB NO. 20183</div>	815 ST. ANN STREET NEW ORLEANS, LA	DRAWN BY JLS	SCALE AS NOTED	SKS1
		CHECKED BY JLS	DATE 09-26-22	

815 St. Ann

VCC Architectural Committee

January 10, 2023





# FACADE REPAIRS

Project #: 520081

815 SAINT ANN ST.  
NEW ORLEANS, LA 70116

12/20/2022



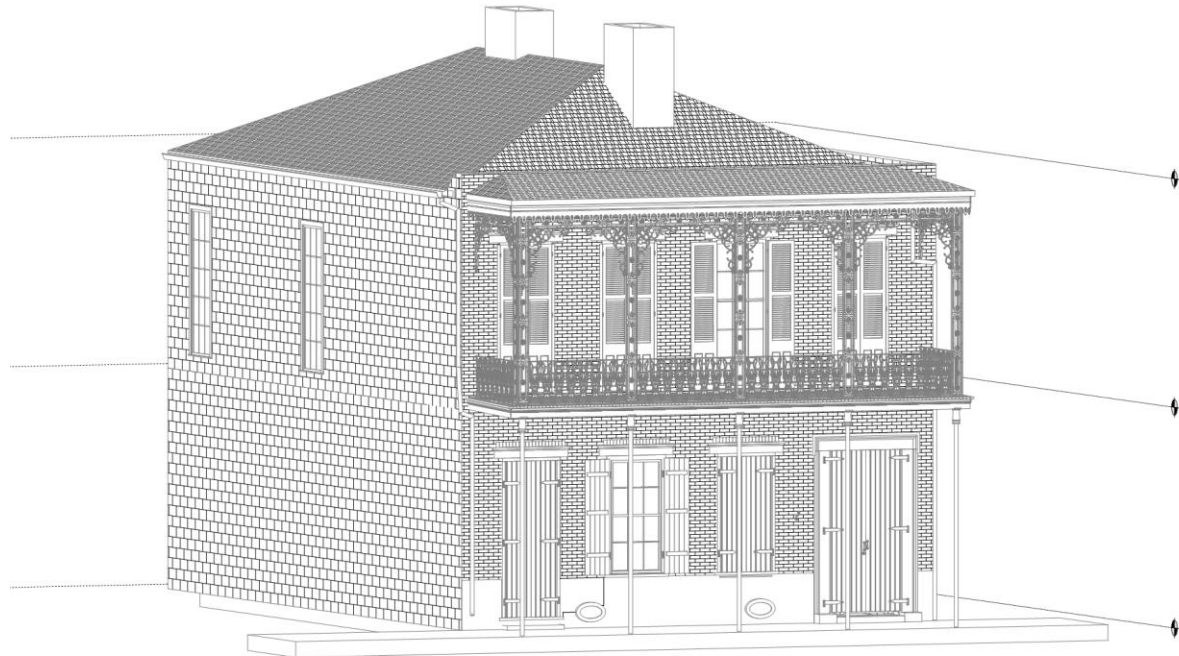
Page 34 of 265

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## SHEET INDEX:

ARCHITECTURAL  
G000 – TITLE  
A100 – SITE PLAN  
A101 – FIRST FLOOR PLAN  
A102 – SECOND FLOOR PLAN  
A103 – ROOF PLAN  
A201 – EXTERIOR ELEVATIONS EXISTING  
A202 – ELEVATIONS EXISTING  
A211 – EXTERIOR ELEVATIONS PROPOSED  
A301 – BUILDING SECTION WITH SHORING DIAGRAM  
A321 – SECTION DETAILS  
A322 – SECTION DETAILS CONT.  
A323 – PARAPET  
A811 – DOOR DETAILS  
A821 – WINDOW DETAILS

STRUCTURAL  
S1.1  
SKS1



1 (3D)  
G000

815 St. Ann

VCC Architectural Committee

January 10, 2023





SCOPE OF WORK:

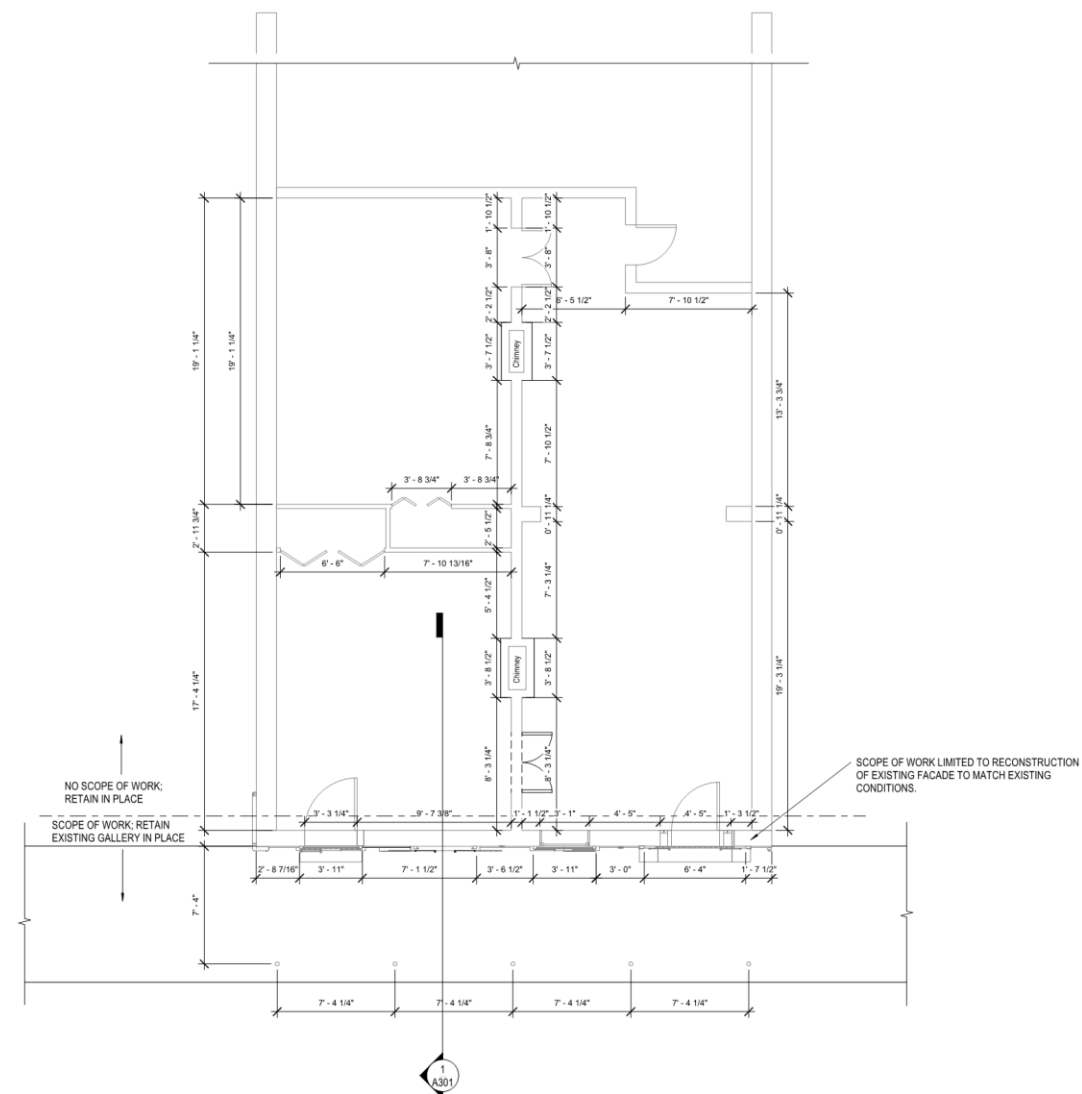
- 1. REMOVAL OF DAMAGED FACADE AND FOUNDATION. TO BE RECONSTRUCTED TO MATCH EXISTING.
- 2. SHUTTERS, DOORS AND MILLWORK ARE TO BE REMOVED, STORED AND REINSTALLED IN RECONSTRUCTED FACADE.
- 3. GALLERY TO REMAIN IN PLACE AND BE ATTACHED TO RECONSTRUCTED FACADE.



815 St. Ann

1 Site  
A100 / 4/ A201  
1" = 20'-0"





815 St. Ann

## VCC Architectural Committee

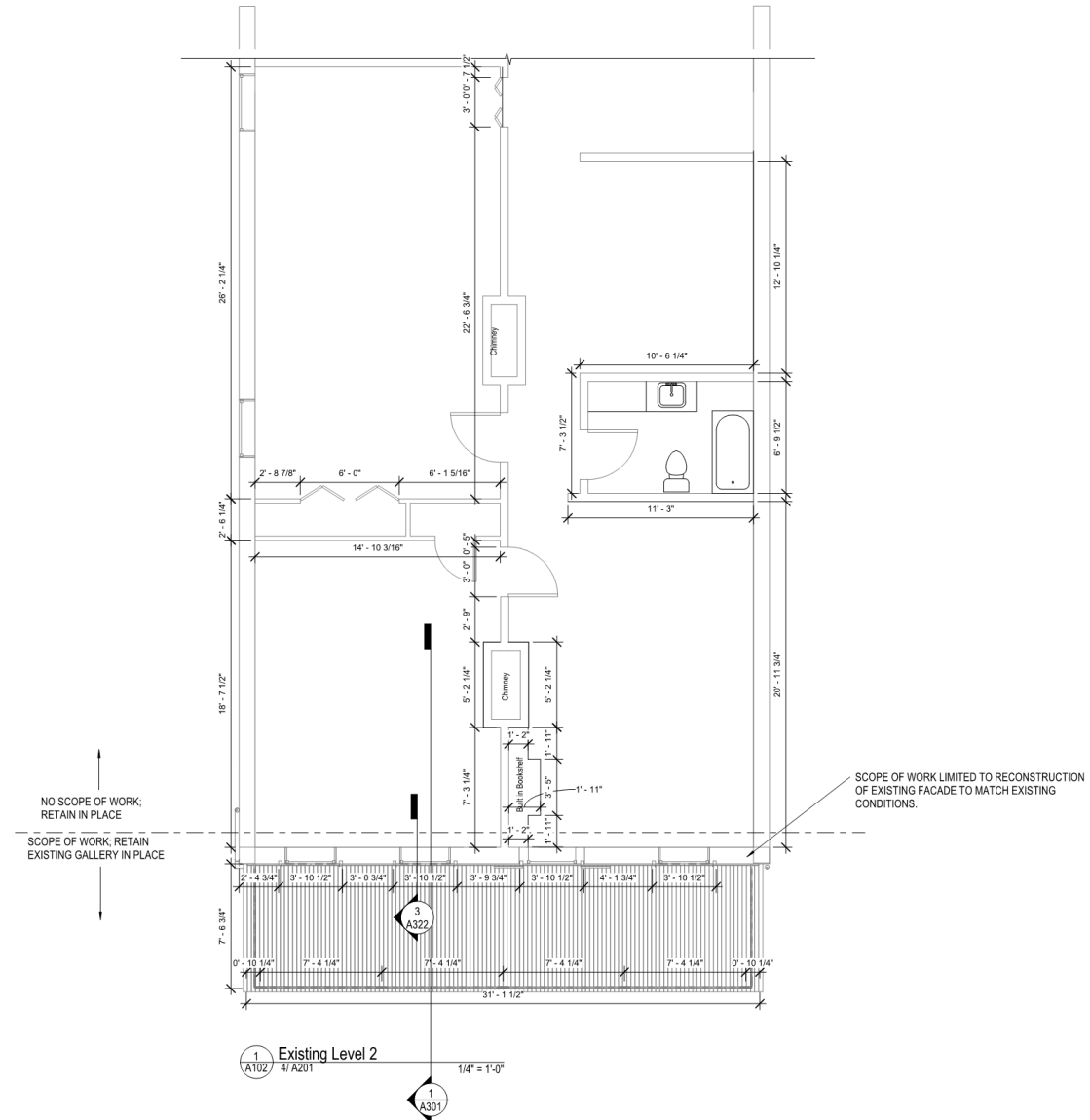
January 10, 2023





**SCOPE OF WORK:**

1. REMOVAL OF DAMAGED FACADE AND FOUNDATION. TO BE RECONSTRUCTED TO MATCH EXISTING.
2. SHUTTERS, DOORS AND MILLWORK ARE TO BE REMOVED, STORED AND REINSTALLED IN RECONSTRUCTED FACADE.
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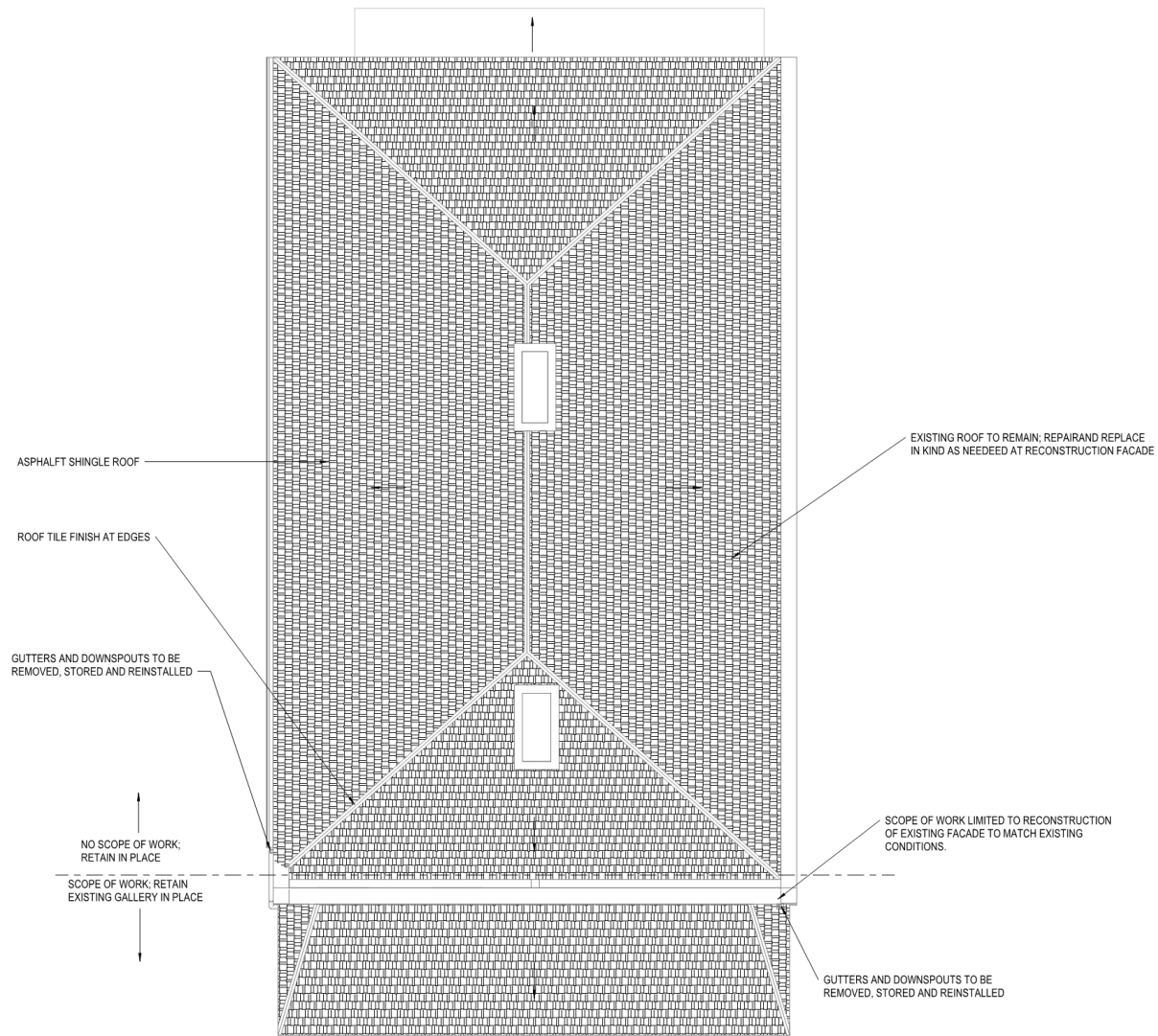


815 St. Ann

VCC Architectural Committee

January 10, 2023





815 St. Ann

VCC Architectural Committee

1 Roof plan  
A103 4/ A201  
1/4" = 1'-0"

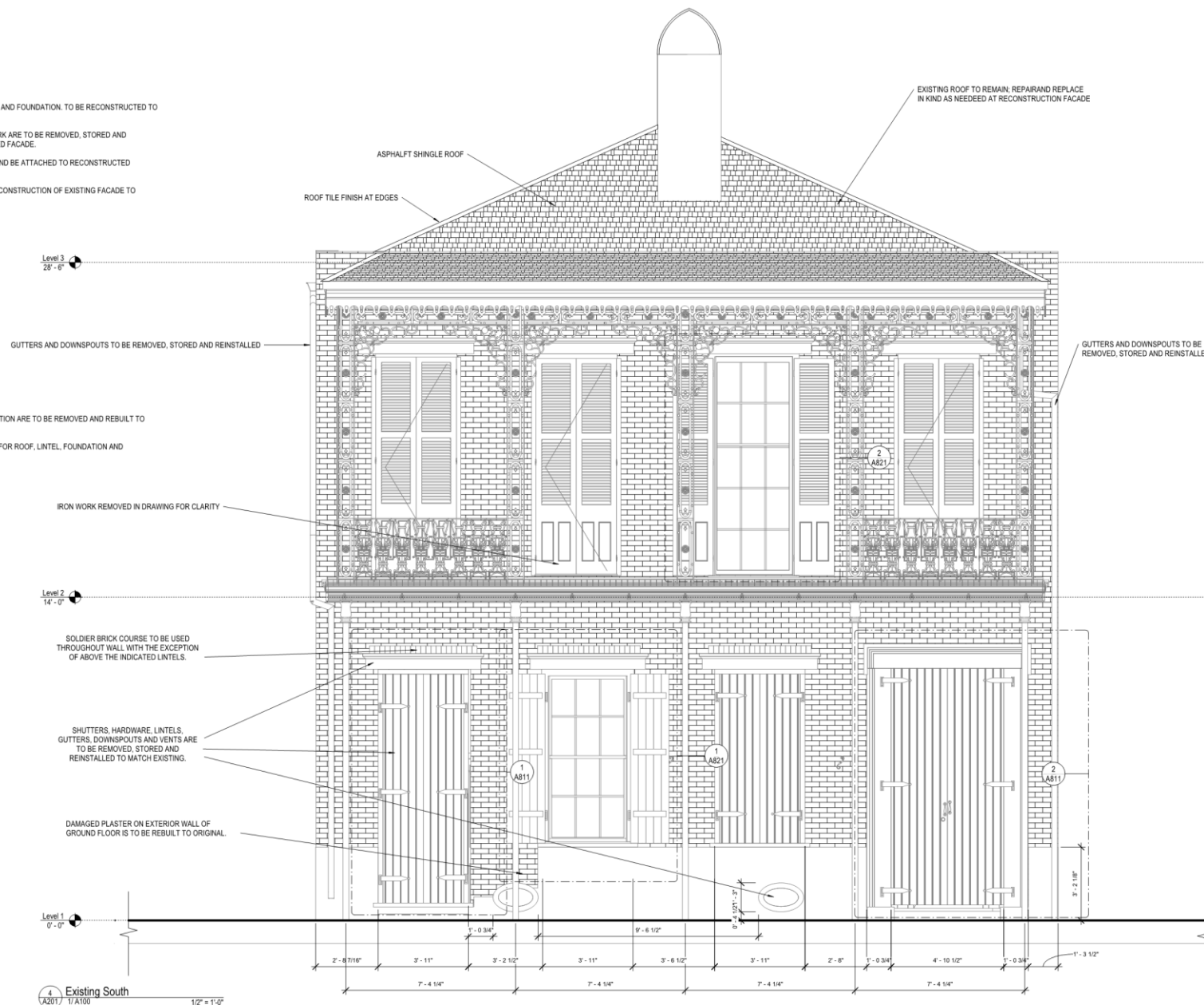
January 10, 2023





1. REMOVAL OF DAMAGED FACADE AND FOUNDATION TO BE RECONSTRUCTED TO MATCH EXISTING.
2. SHUTTERS, DOORS AND MILLWORK ARE TO BE REMOVED, STORED AND REINSTALLED IN RECONSTRUCTED FACADE.
3. GALLERY TO REMAIN IN PLACE AND BE ATTACHED TO RECONSTRUCTED FACADE.
4. SCOPE OF WORK LIMITED TO RECONSTRUCTION OF EXISTING FACADE TO MATCH EXISTING CONDITIONS.

1. DAMAGED FACADE AND FOUNDATION ARE TO BE REMOVED AND REBUILT TO MATCH EXISTING.
2. REFER TO ENGINEERING PLANS FOR ROOF, LINTEL, FOUNDATION AND SHORING DETAILS.



**FACADE REPAIRS**  
815 SAINT ANN ST.  
NEW ORLEANS, LA 70116

-REVISIONS-		
No.	Date	Scope

DRAWING BY	Auth
SCALE	1/2" = 1'-0"
JOB No.	52008
DATE	01/31/15

DRAWING BY	Author
SCALE	1/2" = 1'-4"
JOB No.	52008
DATE	01/31/11
SHEET NAME	
EXTERIOR ELEVATIONS	
EXISTING	

SHEET NO.

A201





WILLIAMS ARCHITECTS  
824 BARRONNE STREET  
NEW ORLEANS, LA 70113  
504-566-0888  
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.  
I will ~~not~~ provide project construction administrative services on this project.

Copyright © 2022  
John C. Williams Architects LLC

FACADE REPAIRS  
815 SAINT ANN ST.  
NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING BY Author  
SCALE 1/2" = 1'-0"  
JOB No. S20081  
DATE 11/01/22  
SHEET NAME  
ELEVATIONS EXISTING

SHEET NO.

A202

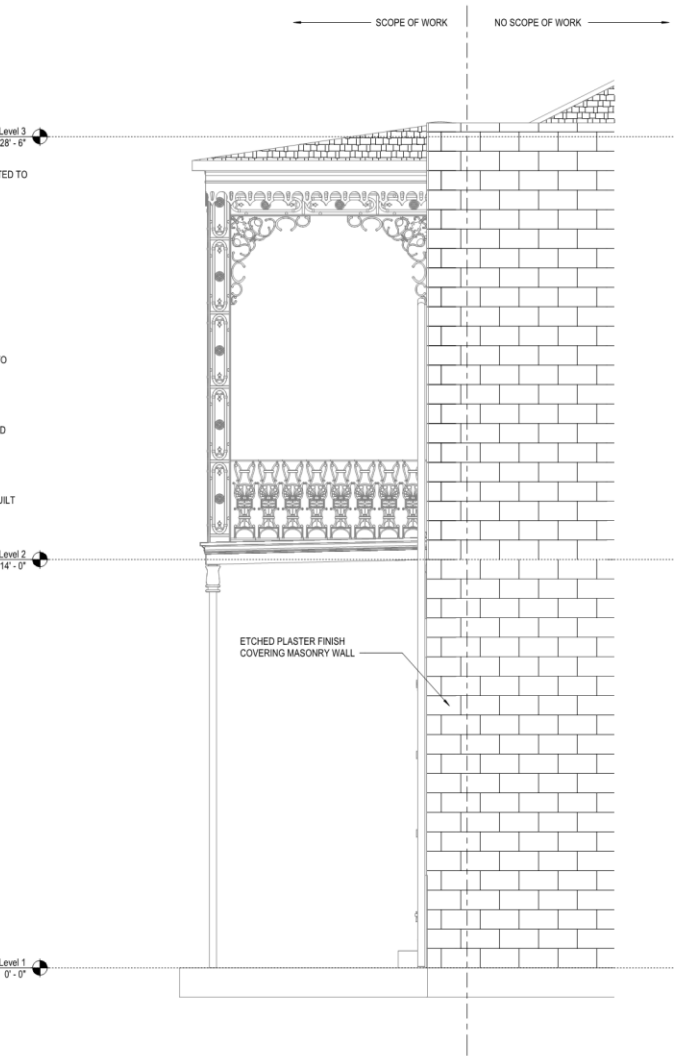


SCOPE OF WORK:

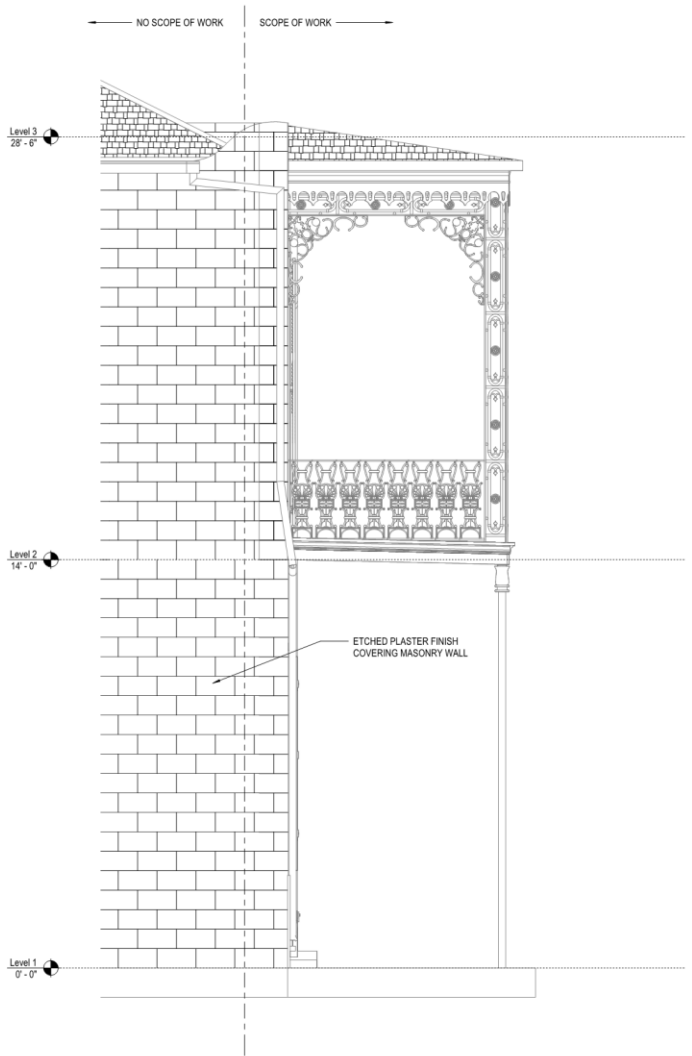
1. REMOVAL OF DAMAGED FACADE AND FOUNDATION. TO BE RECONSTRUCTED TO MATCH EXISTING.
2. SHUTTERS, DOORS AND MILL WORK ARE TO BE REMOVED, STORED AND REINSTALLED IN RECONSTRUCTED FACADE.
3. GALLERY TO REMAIN IN PLACE AND BE ATTACHED TO RECONSTRUCTED FACADE.

NOTES:

1. DAMAGED FACADE AND FOUNDATION ARE TO BE REMOVED AND REBUILT TO MATCH EXISTING.
2. SOLDIER BRICK COURSE TO BE USED THROUGHOUT WALL WITH THE EXCEPTION OF ABOVE THE INDICATED LINTELS.
3. SHUTTERS, HARDWARE, LINTELS AND VENTS ARE TO BE REMOVED, STORED AND REINSTALLED TO MATCH EXISTING.
4. REFER TO ENGINEERING PLANS FOR ROOF, LINTEL, FOUNDATION AND SHORING DETAILS.
5. DAMAGED PLASTER ON EXTERIOR WALL OF GROUND FLOOR IS TO BE REBUILT TO ORIGINAL.
6. MASONRY WALL WITH ETCHED PLASTER EXTERIOR COVERING.



3 East Elevation call out  
1/2" = 1'-0"



4 West Elevation call out  
1/2" = 1'-0"

815 St. Ann

VCC Architectural Committee

January 10, 2023



1. REMOVAL OF DAMAGED FACADE AND FOUNDATION. TO BE RECONSTRUCTED TO MATCH EXISTING.
2. SHUTTERS, DOORS AND MILLWORK ARE TO BE REMOVED, STORED AND REINSTALLED IN RECONSTRUCTED FACADE.
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1. DAMAGED FACADE AND FOUNDATION ARE TO BE REMOVED AND REBUILT TO MATCH EXISTING.
2. REFER TO ENGINEERING PLANS FOR ROOF, LINTEL, FOUNDATION AND SHORING DETAILS.

SOLDIER BRICK COURSE TO BE USED  
THROUGHOUT WALL WITH THE EXCEPTION  
OF ABOVE THE INDICATED LINTELS.

SHUTTERS, HARDWARE, LINTELS,  
GUTTERS, DOWNSPOUTS AND VENTS ARE  
TO BE REMOVED, STORED AND  
REINSTALLED TO MATCH EXISTING.

DAMAGED PLASTER ON EXTERIOR WALL OF  
GROUND FLOOR IS TO BE REBUILT TO ORIGINAL.

1 Proposed South  
A211 1/A100 1/2" = 1'-0"

ASPHALT SHINGLE ROOF

ROOF TILE FINISH AT EDGES

EXISTING ROOF TO REMAIN; REPAIR AND REPLACE  
IN KIND AS NEEDED AT RECONSTRUCTION FACADE

GUTTERS AND DOWNSPOUTS TO BE  
REMOVED, STORED AND REINSTALLED

**FACADE REPAIRS**  
815 SAINT ANN ST.  
NEW ORLEANS, LA 70116

-REVISIONS-		
No.	Date	Scope

DRAWING BY  
SCALE  
JOB No.  
DATE .....

Author  
 $1/2'' = 1'-0''$   
52008  
19/27/22

SHEET NAME  
EXTERIOR ELEVATIONS  
PROPOSED

SHEET NO.

A211

815 St. Ann

## VCC Architectural Committee

January 10, 2023

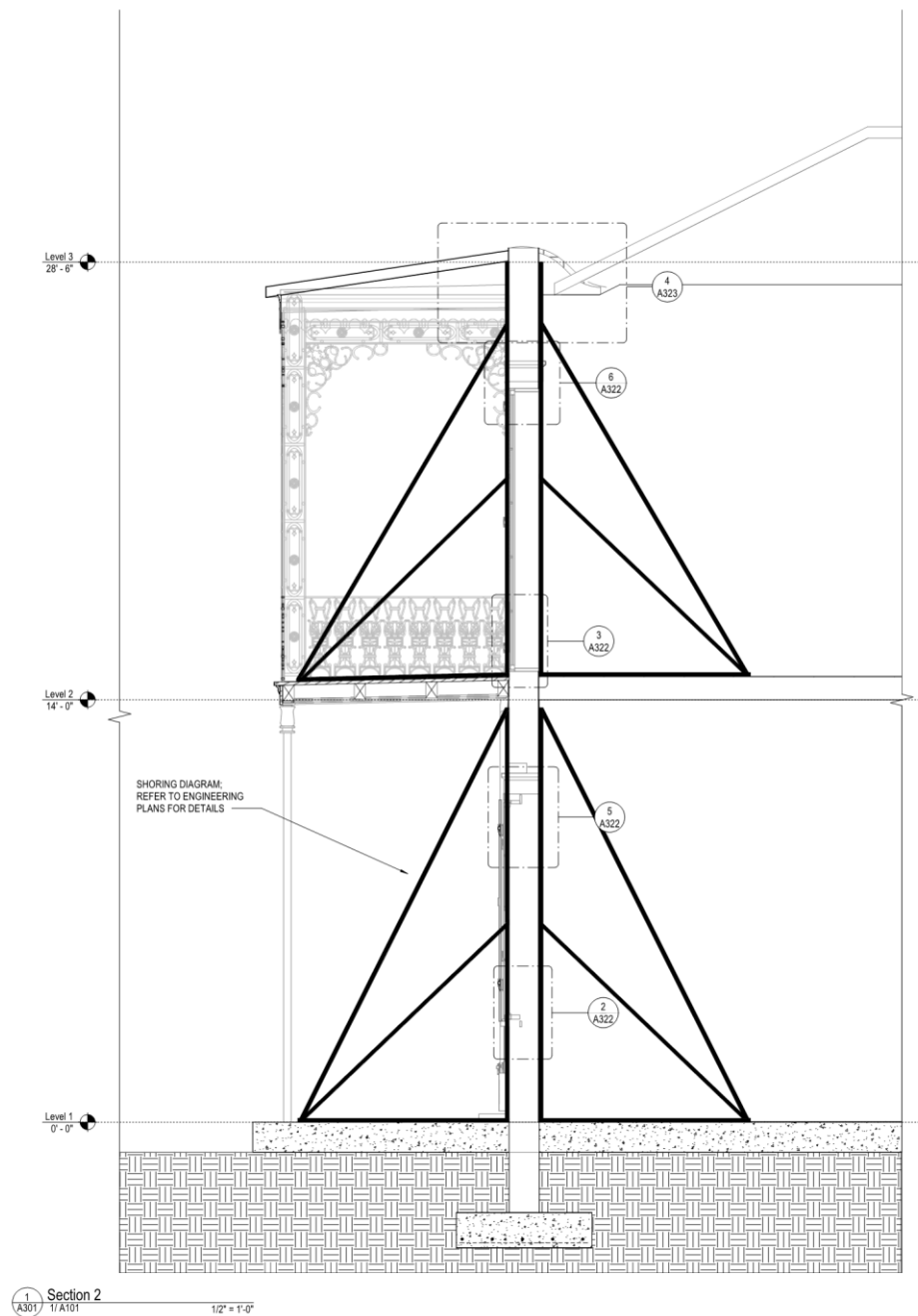


## SCOPE OF WORK:

1. REMOVAL OF DAMAGED FACADE AND FOUNDATION. TO BE RECONSTRUCTED TO MATCH EXISTING.
2. SHUTTERS, DOORS AND MILLWORK ARE TO BE REMOVED, STORED AND REINSTALLED IN RECONSTRUCTED FACADE.
3. GALLERY TO REMAIN IN PLACE AND BE ATTACHED TO RECONSTRUCTED FACADE.

## NOTES:

1. DAMAGED FACADE AND FOUNDATION ARE TO BE REMOVED AND REBUILT TO MATCH EXISTING.
2. SOLDIER BRICK COURSE TO BE USED THROUGHOUT WALL WITH THE EXCEPTION OF ABOVE THE INDICATED LINTELS.
3. SHUTTERS, HARDWARE, LINTELS AND VENTS ARE TO BE REMOVED, STORED AND REINSTALLED TO MATCH EXISTING.
4. REFER TO ENGINEERING PLANS FOR ROOF, LINTEL, FOUNDATION AND SHORING DETAILS.
5. DAMAGED PLASTER ON EXTERIOR WALL OF GROUND FLOOR IS TO BE REBUILT TO ORIGINAL.
6. SHINGLE ROOF; SLOPE TO BE CONFIRMED BY CONTRACTOR UPON DEMO.



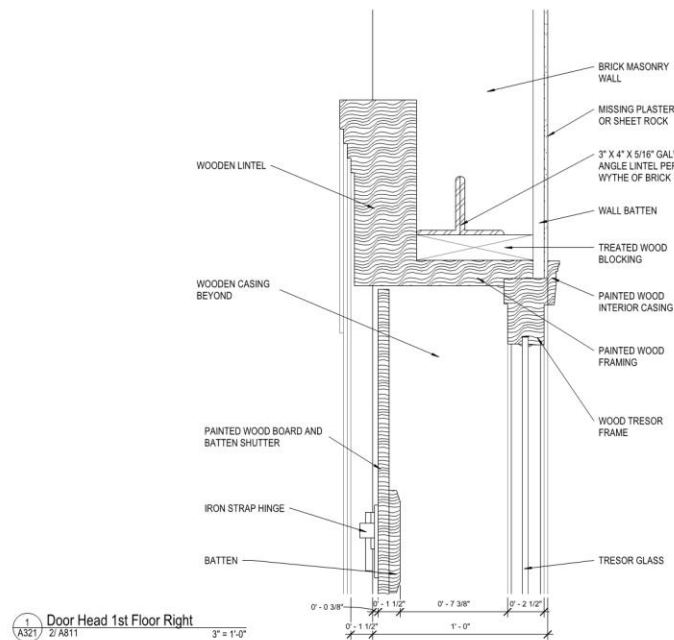
815 St. Ann

VCC Architectural Committee

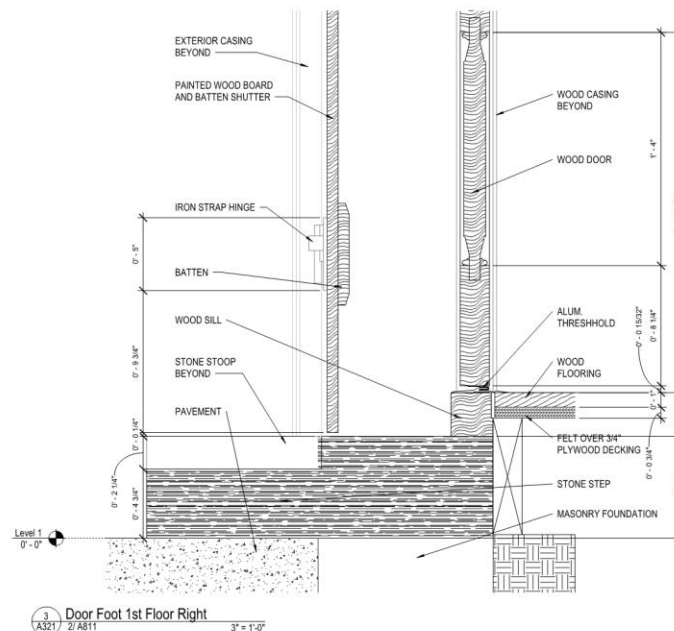
January 10, 2023

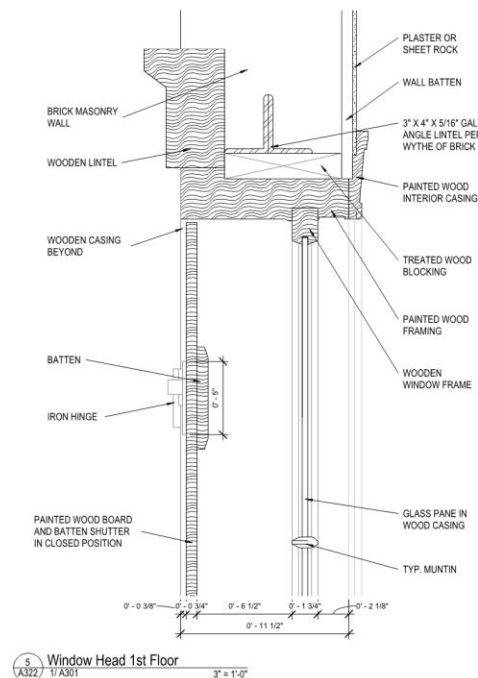




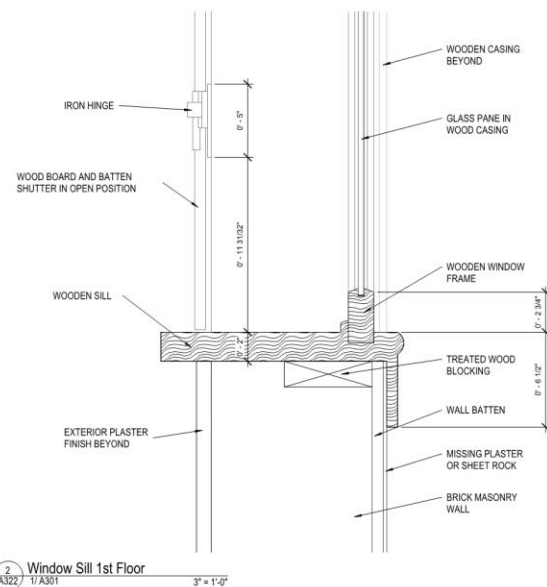


1. ALL EXISTING MILLWORK TO BE SALVAGED FOR RE-USE IN RECONSTRUCTED FACADE: IF MILLWORK IS DAMAGED BEYOND REPAIR CONTRACTOR TO SUBMIT SHOP DRAWINGS MATCHING THE EXISTING MILLWORK TO BE REPLACED FOR ARCHITECTS AND VCC REVIEW PRIOR TO RELEASE OF FABRICATION.
2. ALL MILLWORK DETAILS AND MEASUREMENTS TO BE VERIFIED UPON DECONSTRUCTION.

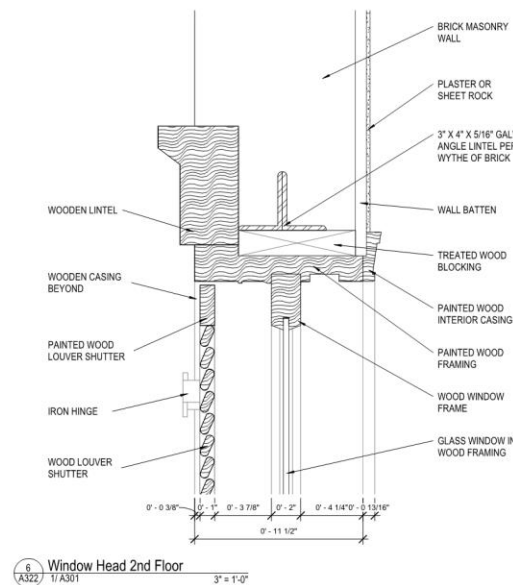




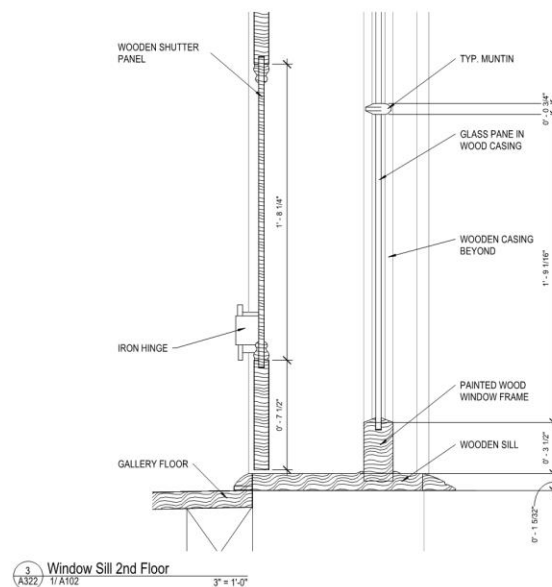
5 Window Head 1st Floor  
A322 1/A301 3\"/>



2 Window Sill 1st Floor  
A322 1/A301 3\"/>



6 Window Head 2nd Floor  
A322 1/A301 3\"/>



3 Window Sill 2nd Floor  
A322 1/A102 3\"/>

# NOTES:

1. ALL EXISTING MILLWORK TO BE SALVAGED FOR RE-USE IN RECONSTRUCTED FACADE. IF MILLWORK IS DAMAGED BEYOND REPAIR, CONTRACTOR TO SUBMIT SHOP DRAWINGS MATCHING THE EXISTING MILLWORK TO BE REPLACED FOR ARCHITECTS AND VCC REVIEW PRIOR TO RELEASE OF FABRICATION.
2. ALL MILLWORK DETAILS AND MEASUREMENTS TO BE VERIFIED UPON DECONSTRUCTION.

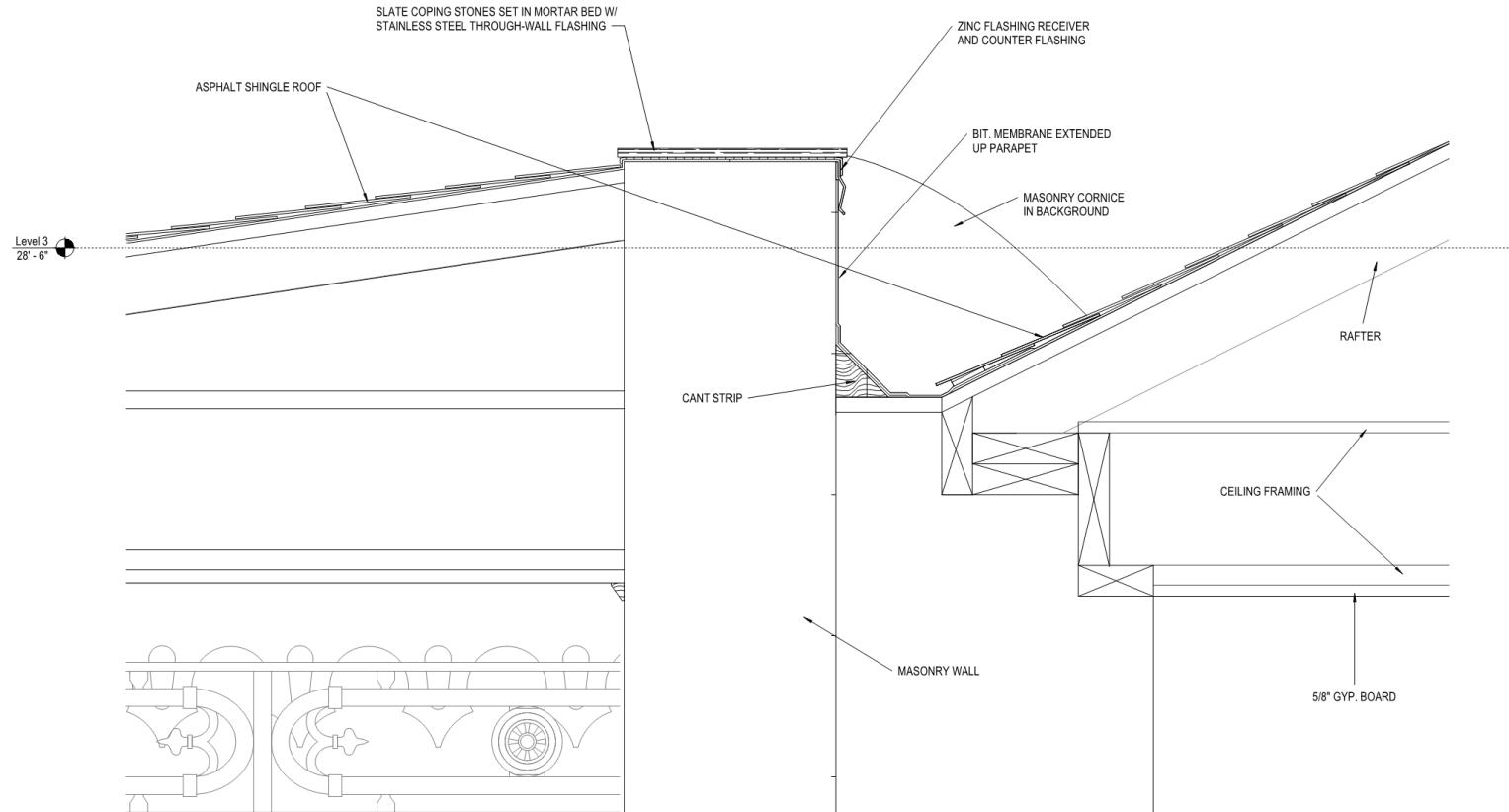


## NOTES:

1. CORNICE TO BE SALVAGED AND RECONNECTED AS IS TO RECONSTRUCTED FACADE.

2. DETAILS AND MEASUREMENTS TO BE VERIFIED UPON DECONSTRUCTION.

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4 Parapet  
A323 1/ A301

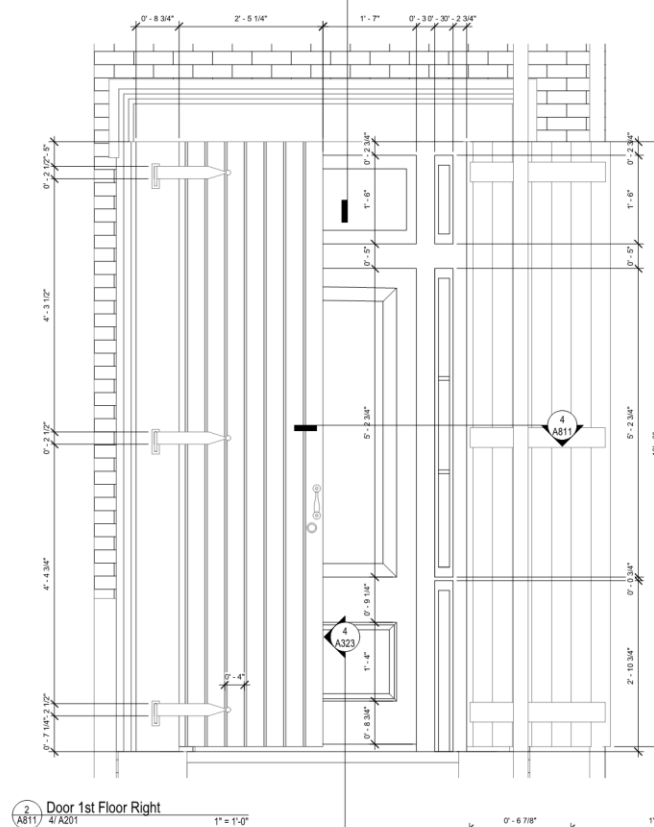
3" = 1'-0"

815 St. Ann

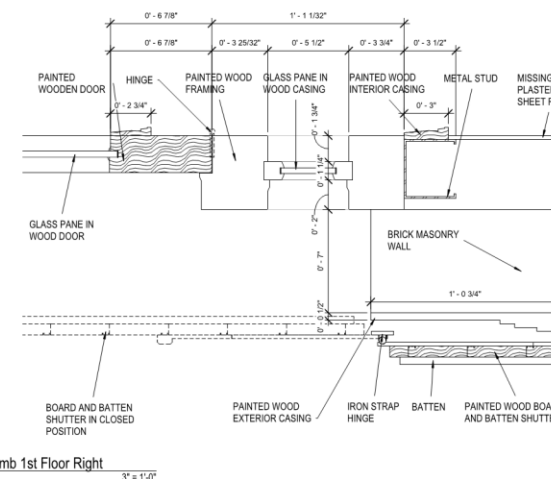
VCC Architectural Committee

January 10, 2023

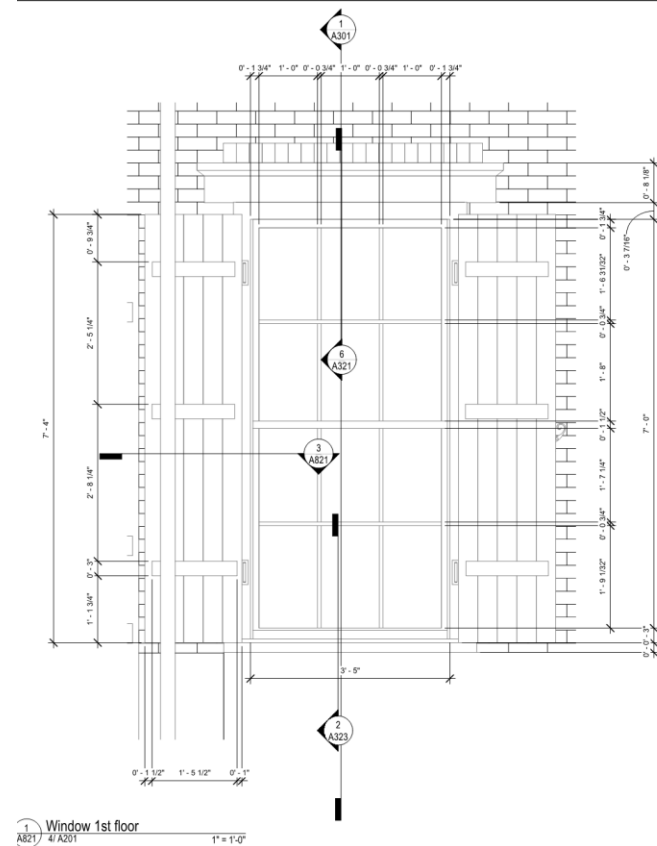




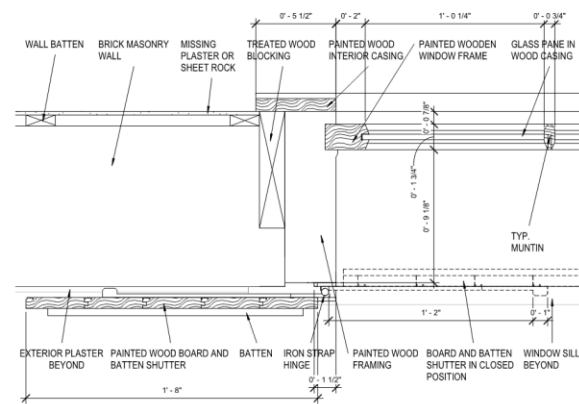
2. ALL MILLWORK DETAILS AND MEASUREMENTS  
TO BE VERIFIED UPON DECONSTRUCTION.



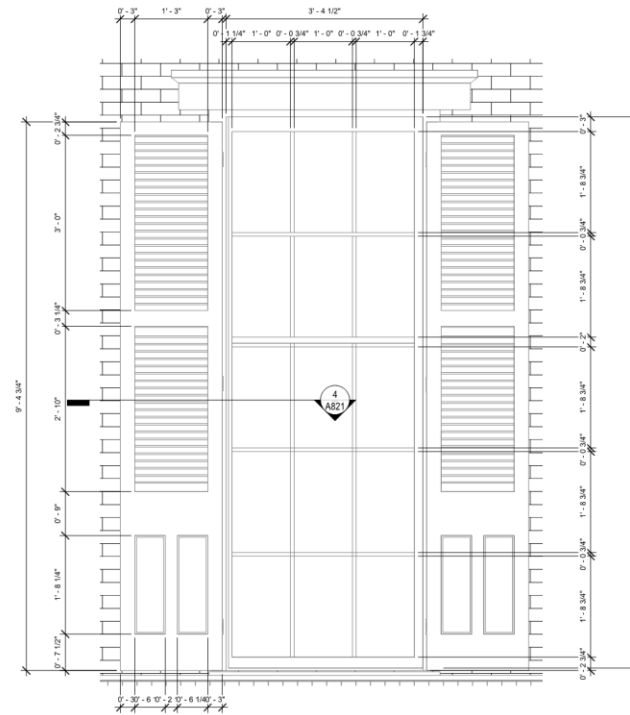




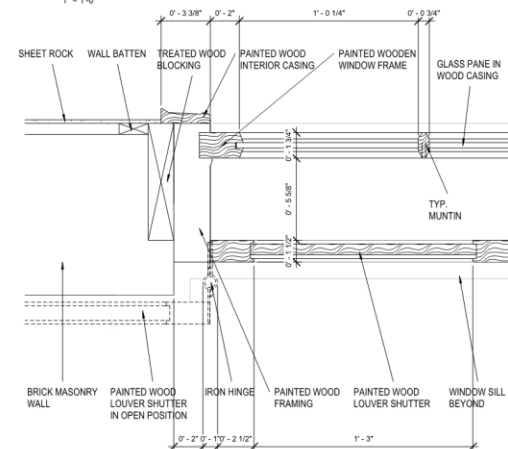
1 Window 1st floor  
1" = 1'-0"



3 Window Jamb 1st Floor  
3" = 1'-0"



2 Window 2nd Floor  
1" = 1'-0"



4 Window Jamb 2nd Floor  
3" = 1'-0"

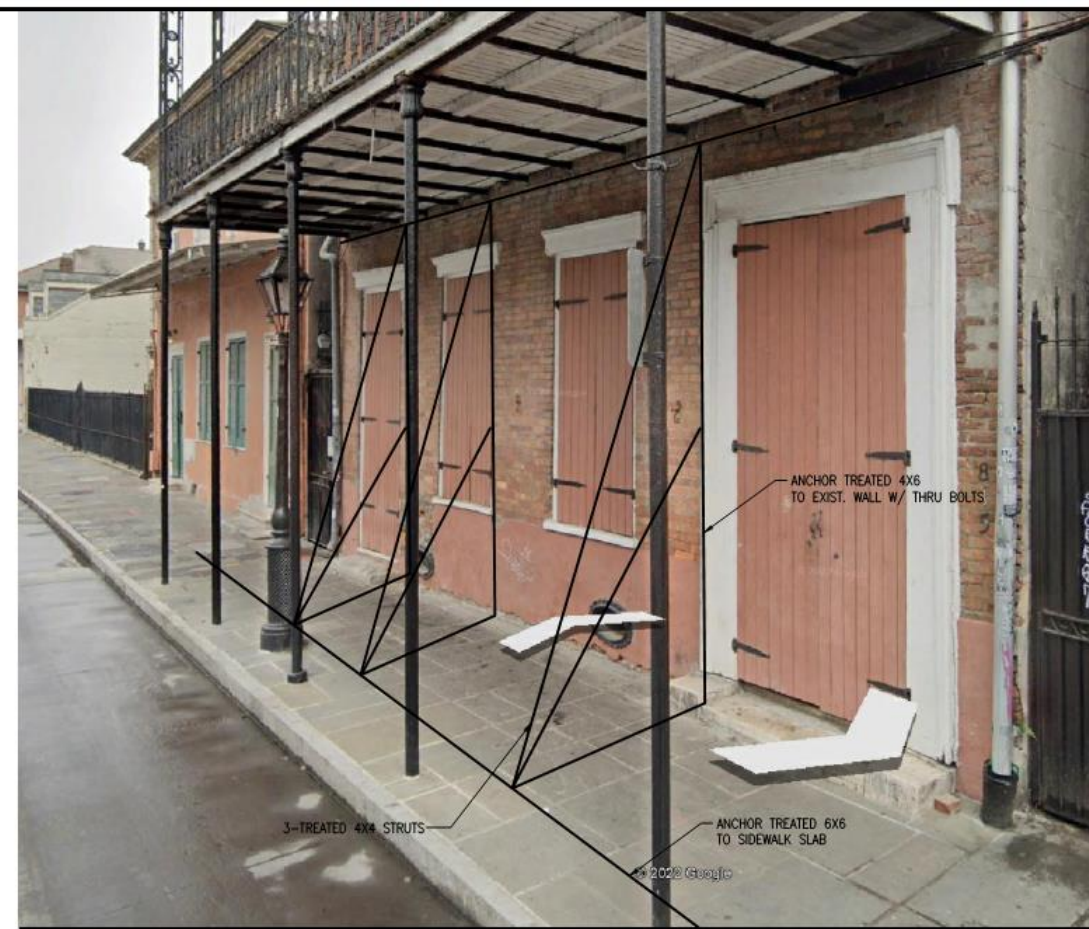
#### NOTES:

1. ALL EXISTING MILLWORK TO BE SALVAGED FOR RE-USE IN RECONSTRUCTED FACADE. IF MILLWORK IS DAMAGED BEYOND REPAIR CONTRACTOR TO SUBMIT SHOP DRAWINGS MATCHING THE EXISTING MILLWORK TO BE REPLACED FOR ARCHITECTS AND VCC REVIEW PRIOR TO RELEASE OF FABRICATION.

2. ALL MILLWORK DETAILS AND MEASUREMENTS TO BE VERIFIED UPON DECONSTRUCTION.







NOTE:  
PROVIDE ABOVE WALL SHORING EACH  
SIDE OF EACH WINDOW AND DOOR.  
SHOWN ONE SIDE FOR CLARITY ONLY.

1 FRONT ELEVATION  
SKS1 NTS



815 St. Ann



815 ST. ANN STREET  
NEW ORLEANS, LA

DRAWN BY JLS	SCALE AS NOTED	SKS1
CHECKED BY JLS	DATE 09-26-22	

VCC Architectural Committee

January 10, 2023





616 Conti





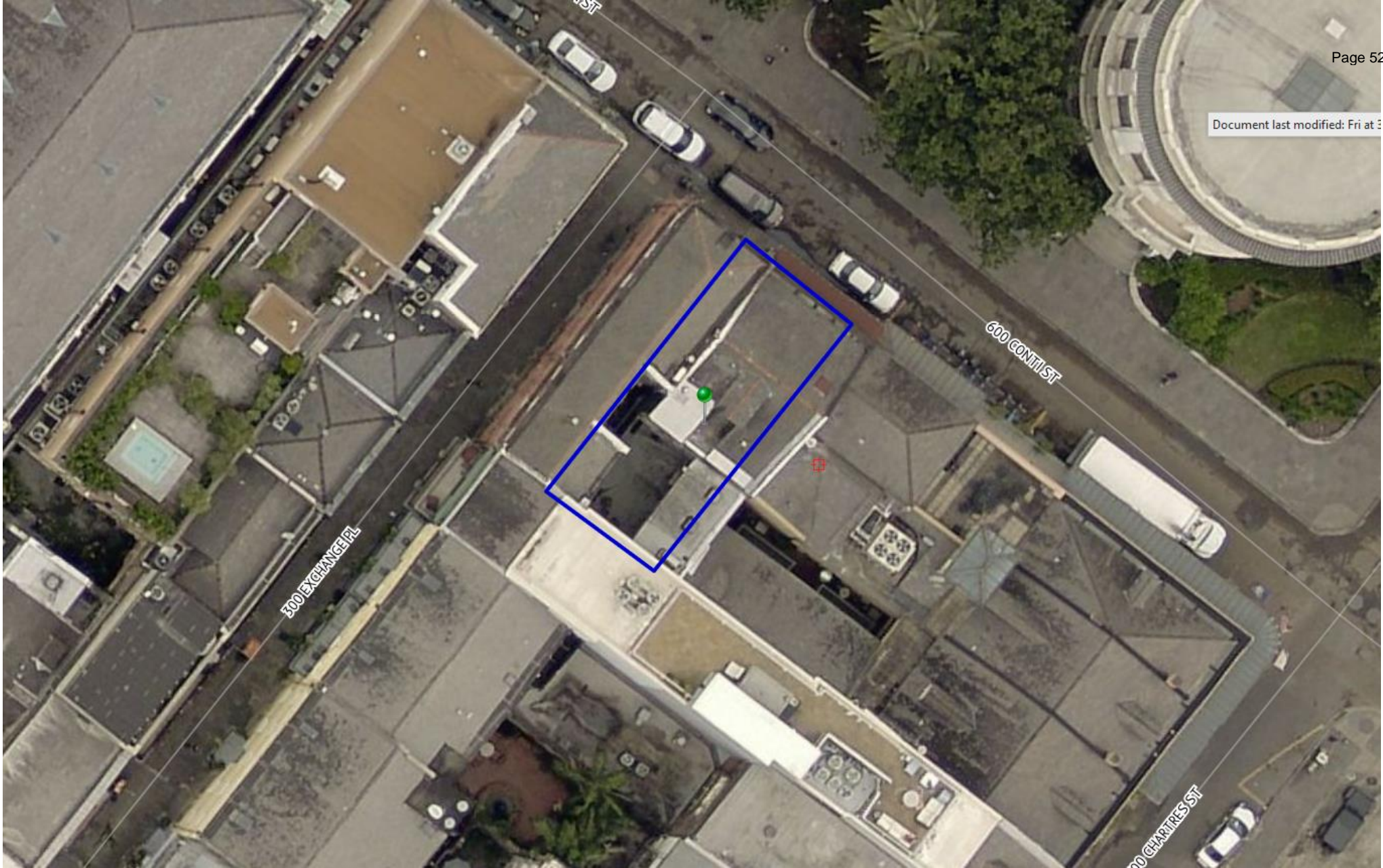
616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti – 2019

VCC Architectural Committee

January 10, 2023





Document last modified: Fri at 3:57 PM



616 Conti – Oct. 2020

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023





616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







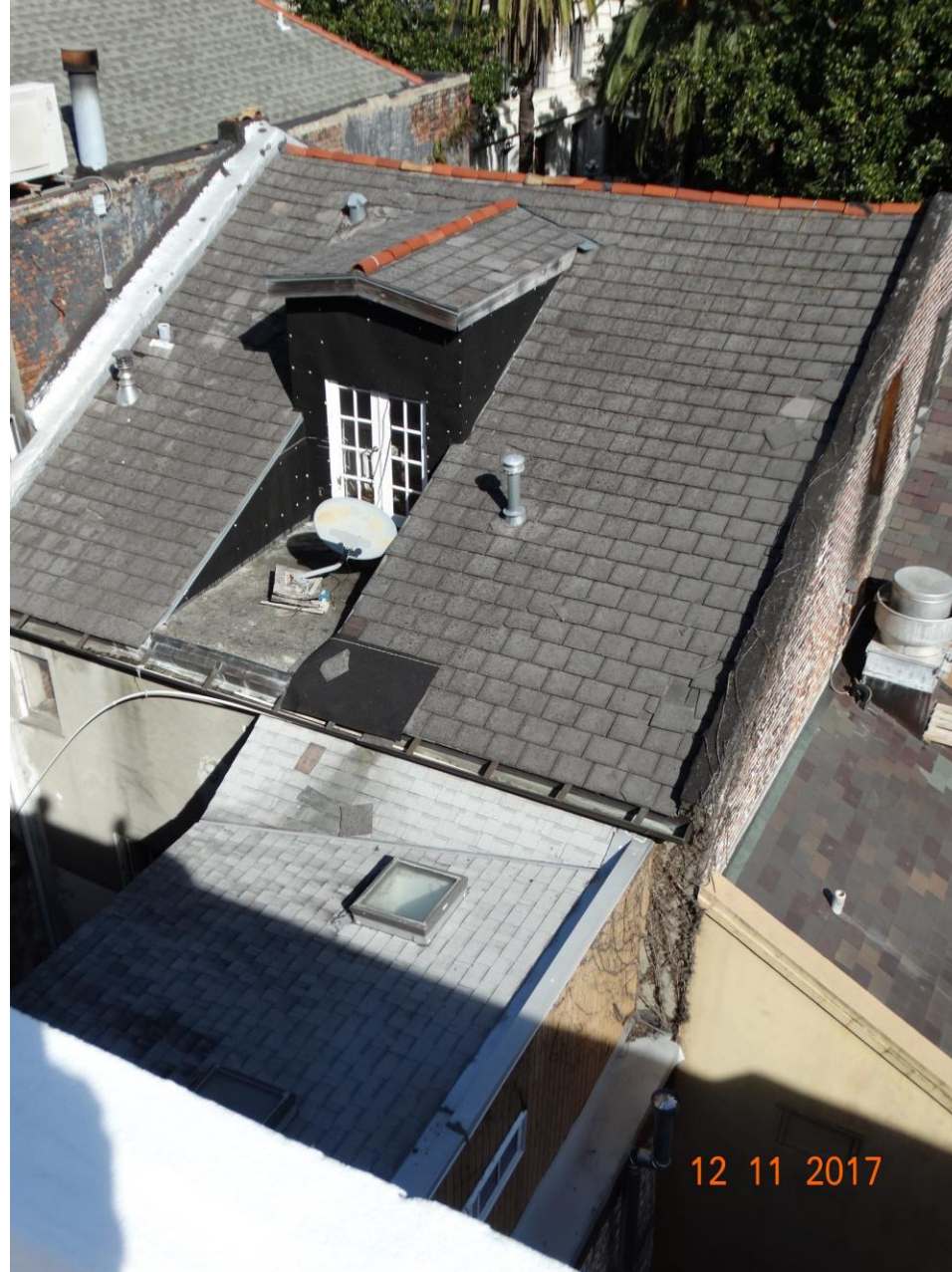
616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







614-616 Conti

VCC Architectural Committee

October 2, 2013

January 10, 2023







614-616 Conti

Vieux Carré Commission

October 2, 2013

January 10, 2023







614-616 Conti

Vieux Carré Commission

October 2, 2013

January 10, 2023







614-616 Conti

Vieux Carré Commission

October 2, 2013

January 10, 2023





614-616 Conti

Vieux Carré Commission

October 2, 2013

January 10, 2023







614-616 Conti







614-616 Conti

VCC Architectural Committee

October 2, 2013

January 10, 2023







614-616 Conti

Vieux Carré Commission

October 2, 2013

January 10, 2023





614-616 Conti







614-616 Conti

Vieux Carré Commission

October 2, 2013

January 10, 2023





614-616 Conti







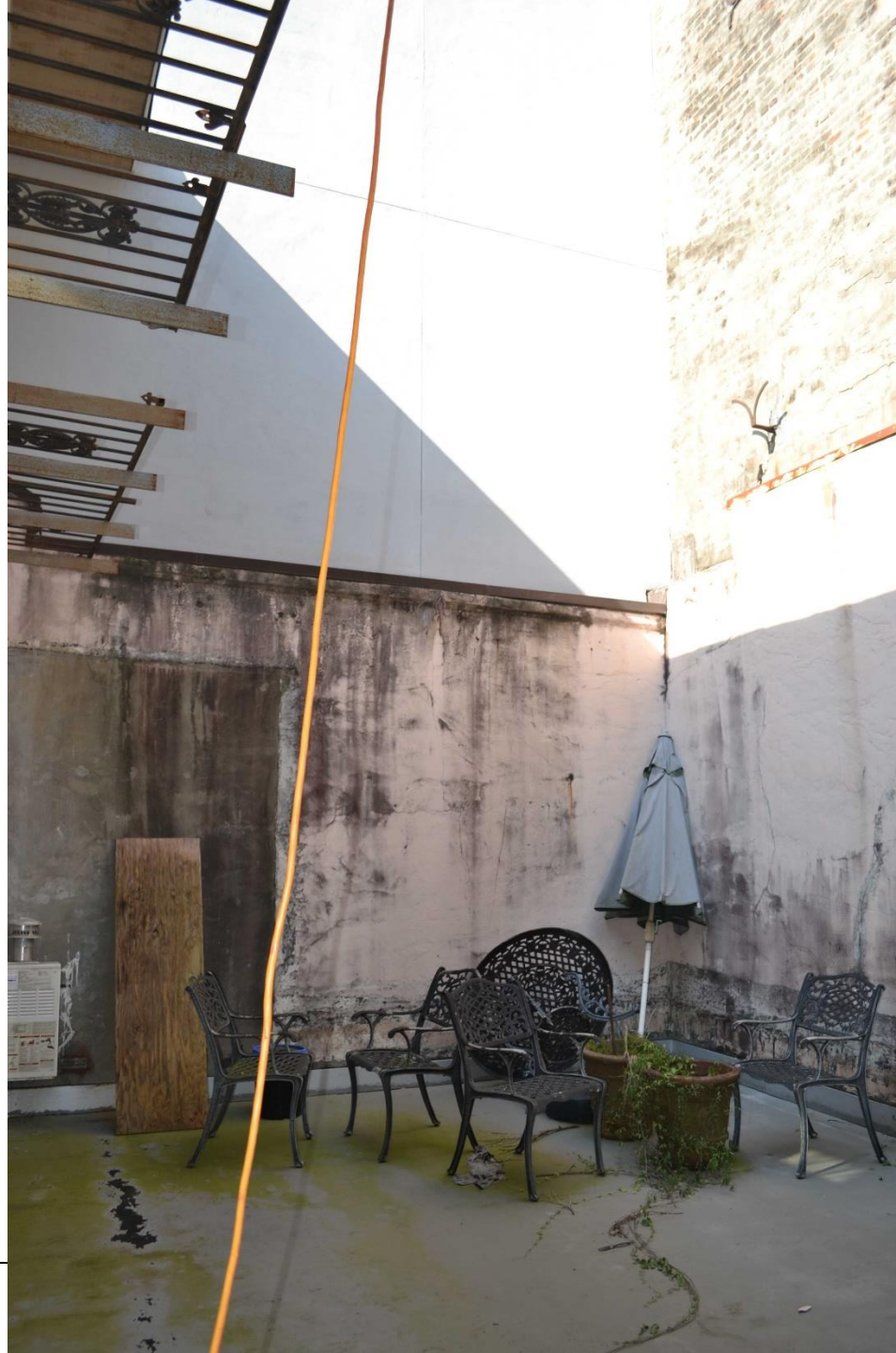
614-616 Conti





614-616 Conti





614-616 Conti

Vieux Carré Commission

January 10, 2023







614

VCCIA







614

VC0iAr







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023





616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023





616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023







616 Conti

VCC Architectural Committee

January 10, 2023



DECEMBER 6, 2022

## STRUCTURAL REPAIRS AND INFILL

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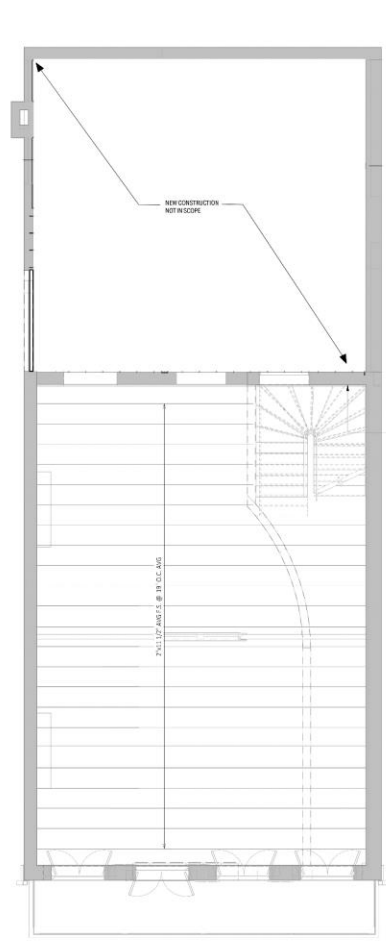
### SCOPE OF WORK:

1. SELECTIVE MASONRY TUCK-POINT
2. MASONRY INFILL WHERE MISSING AND/OR DAMAGED
3. REPLACE DAMAGED JOISTS
4. REPLACE DAMAGED ROOF DECKING, RAFTERS AND COLLAR TIES
5. REPLACE DAMAGED BALCONY OUTRIGGERS (SEE ARCHITECTURAL SECTION FOR ALL DETAILS)

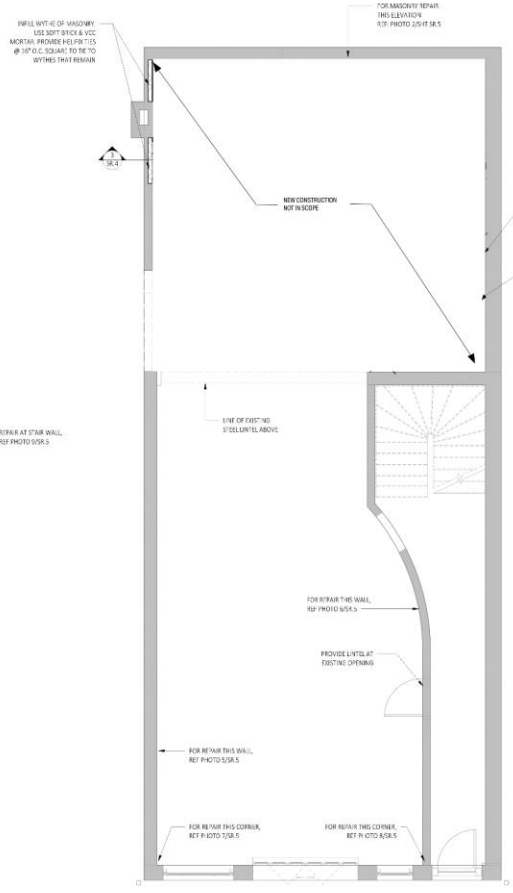




1/01/2023 10:27 PM



2 2ND FLOOR REPAIR PLAN  
SR.1 3/4\"/>



1 1ST FLOOR REPAIR PLAN  
SR.1 2 1/4\"/>



**PHASE 1**

**DEAD RABBIT NOLA**  
616 CONTI STREET  
NEW ORLEANS, LA 70130

REVISIONS	
DESCRIPTION	DATE



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PERMIT  
DATE 10/21/2022  
PROJ NO. A1907

**SR.1**  
1ST FLOOR & 2ND  
FLOOR REPAIR PLANS

**NOT FOR CONSTRUCTION**

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## PHASE 1

DEAD RABBIT NOLA  
616 CONTI STREET  
NEW ORLEANS, LA 70130

[illegible]

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SR.2  
3RD FLOOR & ATTIC  
REPAIR PLANS

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  2. NOT ALL PHOTO OR REPAIR VIEWS ARE SHOWN.
  3. ALL REPAIRS TO BE DONE BY MASONRY WALLS AND CLEANED PER ARCHITECT.
  4. IF DAMAGED JOIST LOCATION IS UNCLEAR, NOTIFY ENGINEER.
- 
3. ALL VENEER MATERIAL TO BE REMOVED BY MASURRY WALLS AND CLEANED PER ARCHITECT.
  4. IF DAMAGED JOIST LOCATION IS UNCLEAR, NOTIFY ENGINEER.

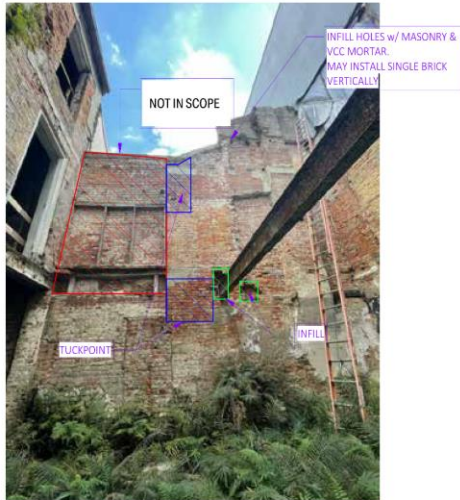


PHOTO 1



PHOTO 2



PHOTO 3

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PHASE 1

DEAD RABBIT NOLA  
616 CONTI STREET  
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SR.5  
REPAIR PHOTOS



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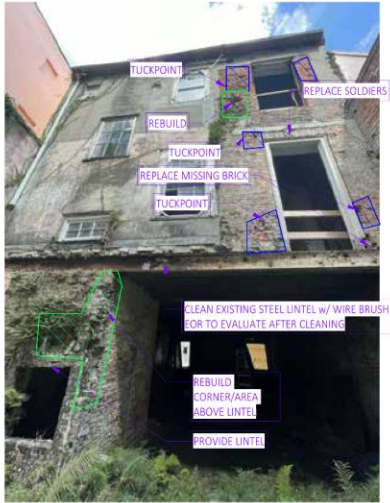


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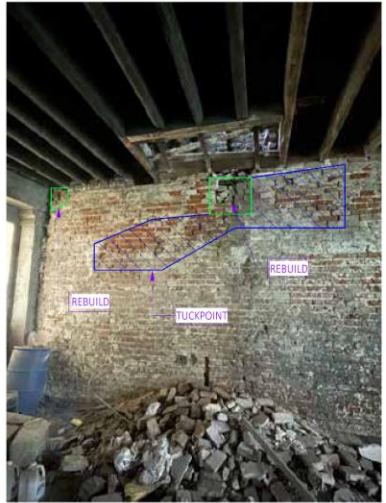


PHOTO 5



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REPAIR PHOTOS





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3. ALL REPAIRS TO BE REMOVED BY MASCONRY WALLS AND CLEANED PER ARCHITECT.  
4. IF DAMAGED, COST LOCATION IS UNCLEAR, NOTIFY ENGINEER.



PHOTO 7



PHOTO 8

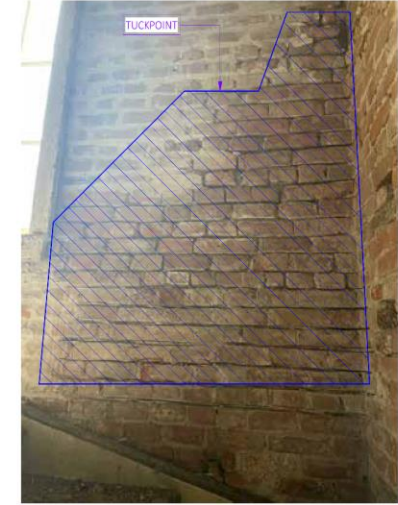


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NEW ORLEANS, LA 70130

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3. ALL ROOFING TO BE REMOVED BY MASONRY WALLS AND CLEANED PER ARCHITECT.  
4. IF DAMAGED JOIST LOCATION IS UNCLEAR, NOTIFY ENGINEER.



PHOTO 10



PHOTO 11



PHOTO 12

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2. NOT ALL AREAS OF REPAIR MAY BE SHOWN.  
3. ALL VESTIBULATION TO BE REMOVED BY MAINTENANCE WALLS AND CLEANED FOR ARCHITECT.  
4. IF DAMAGED JOIST LOCATION IS UNCLEAR, NOTIFY ENGINEER.



PHOTO 13



PHOTO 14



PHOTO 15

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2. NOT ALL AREAS OF NOLA-X MAY BE SHOWN.  
3. ALL VENTILATION TO BE REMOVED FROM MAISONRY WALLS AND CLIMATO PER ARCHITECT.  
4. IF DAMAGED JOIST LOCATION IS UNCLEAR, NOTIFY ENGINEER.  
5. AREAS OF DAMAGED JOISTING AT ROOF AND FLOORS SHALL BE REPLACED WITH RATED SHEATHING PER GENERAL NOTES.



PHOTO 16



PHOTO 17



PHOTO 18

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REPAIR PHOTOS





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2. NOT ALL AREAS OF REPAIR MUST BE SHOWN.  
3. ALL VEGETATION TO BE REMOVED FROM MASONRY WALLS AND CLEANED PER ARCHITECT.  
4. IF DAMAGED JOIST LOCATION IS UNCLEAR, NOTIFY ENGINEER.  
5. AREAS OF DAMAGED/DECKING AT ROOF LINE IN THIS SHALL BE REPLACED WITH KATIE SHEA WINGS PER GENERAL NOTES.



PHOTO 19



PHOTO 20



PHOTO 21

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NEW ORLEANS, LA 70130

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2. NOT ALL AREAS OF REPAIR MAY BE SHOWN.  
3. ALL REPAIRS ARE TO BE FINISHED FROM MASONRY WALLS AND CLEANED PER ARCHITECT.  
4. IF DAMAGED JOIST LOCATION IS UNCLEAR, NOTIFY ENGINEER.  
5. PAIRS OF DAMAGED COLLAR TIES (POC) AND J/TCS SHALL BE REPLACED WITH RAISED SHEATHING PER GENERAL NOTES.



PHOTO 22



PHOTO 23

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REPAIR PHOTOS







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January 10, 2023





PRODUCT DATA SHEET - PDS(DFO)

**HELIFIX**  
SUSTAINABLE STRUCTURAL SOLUTIONS

## DryFix

Dry mechanical pinning and remedial tying system



**Applications**

- Versatile replacement wall tie
- For securing multiple layers of masonry
- For pinning delicate masonry features

**Features**

- Requires no resin, grout or mechanical expansion
- Quick, easy, non-disruptive installation using the Power Driver Attachment
- Installed tie is recessed below face of masonry
- Highly economical with low installed costs
- Effective in all common building materials
- Leaves masonry virtually unmarred
- Usable in all weather, temperature and environmental conditions

**NOT TO BE USED IN THIS WAY**



For full Product Information, Case Studies and downloadable Repair Details, going specifications for many common structural faults, go to:  
[www.helifix.com/products/retrofit-products/dryfix](http://www.helifix.com/products/retrofit-products/dryfix)



DryFix tie being power-driven into pilot hole

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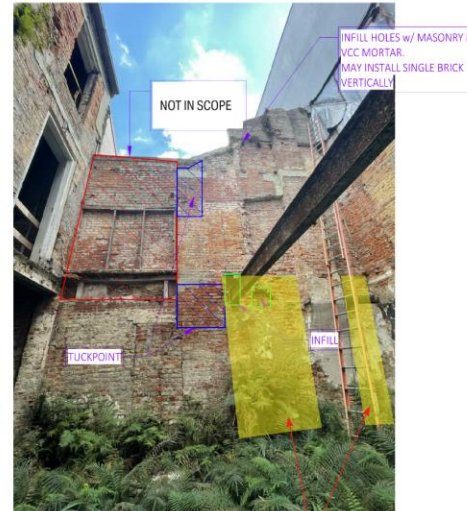
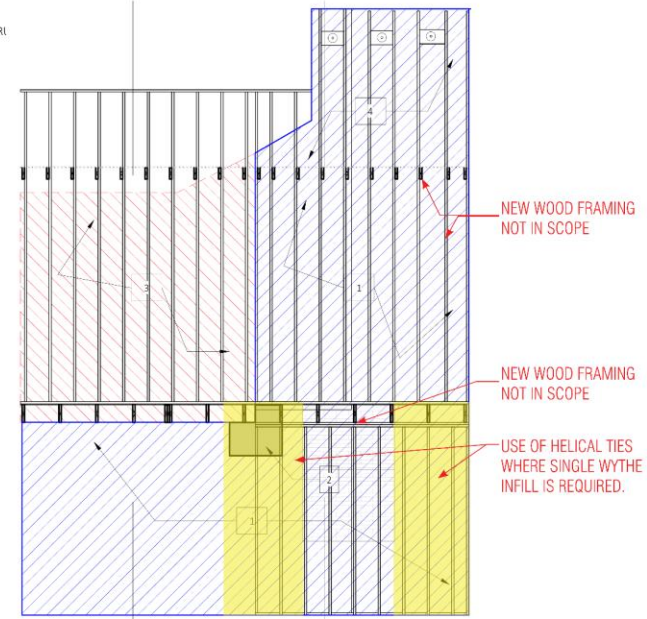
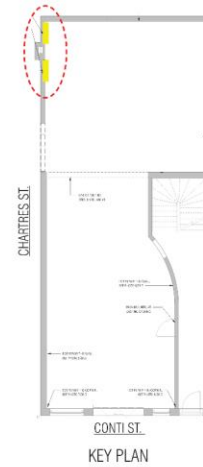


PHOTO 1

USE OF HELICAL TIES WHERE SINGLE WYTHE INFILL IS REQUIRED.



1 WEST ELEVATION COURTYARD  
S1.0 S2.0 1/4" = 1'-0"



### MASONRY REPAIR KEYNOTES

1	TUCKPOINT IF LOSS OF MORTAR IS GREATER THAN 1/4" USING VCC MIX. REPLACE ANY MISSING BRICKS WITH SIMILAR BRICKS.
2	AFTER REMOVAL OF W-SHAPE, INFILL AREA WITH SOFT BRICK. USE HEADER ROWS IN ORIGINAL LOCATIONS, TOOTHING INTO REMAINING WYTHES.
3	DEMOLISH DAMAGED WALL SECTION. TO BE REPLACED WITH WOOD STUD & VENEER. RE: SECTION 2/S2.0
4	MASONRY PARAPET TO REMAIN AND TIED BACK INTO NEW WOOD STUD WALL. TUCKPOINT IF LOSS OF MORTAR IS GREATER THAN 1/4" USING VCC MIX. RE: SECTION 3/S2.0
	MASONRY TO REMAIN. SEE KEYNOTES FOR REPAIR MEASURE.
	MASONRY TO BE DEMOLISHED. SEE KEYNOTES FOR REBUILD MEASURES.

NOT IN SCOPE

NOT IN SCOPE

NOT IN SCOPE

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PE NO. 40458  
VES.JOHNSON@RRT1LURE-HR.G.COM

FOR BID DRAFT

DATE 12/16/2022  
PROJ. NO. A1907

**S2.0**  
MASONRY REPAIR  
ELEVATION

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DEAD RABBIT NOLA  
616 CONTI STREET  
NEW ORLEANS, LA 70130





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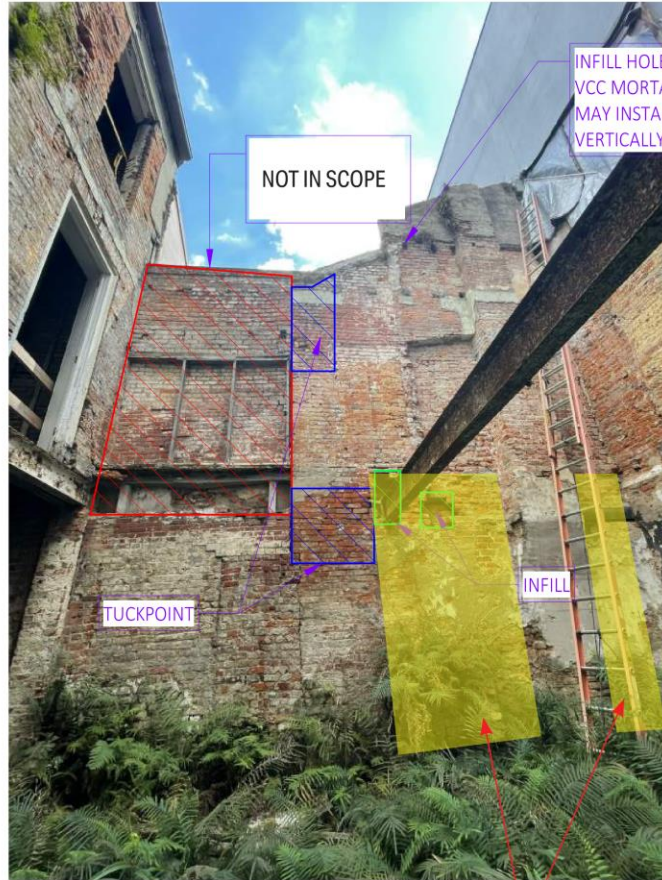
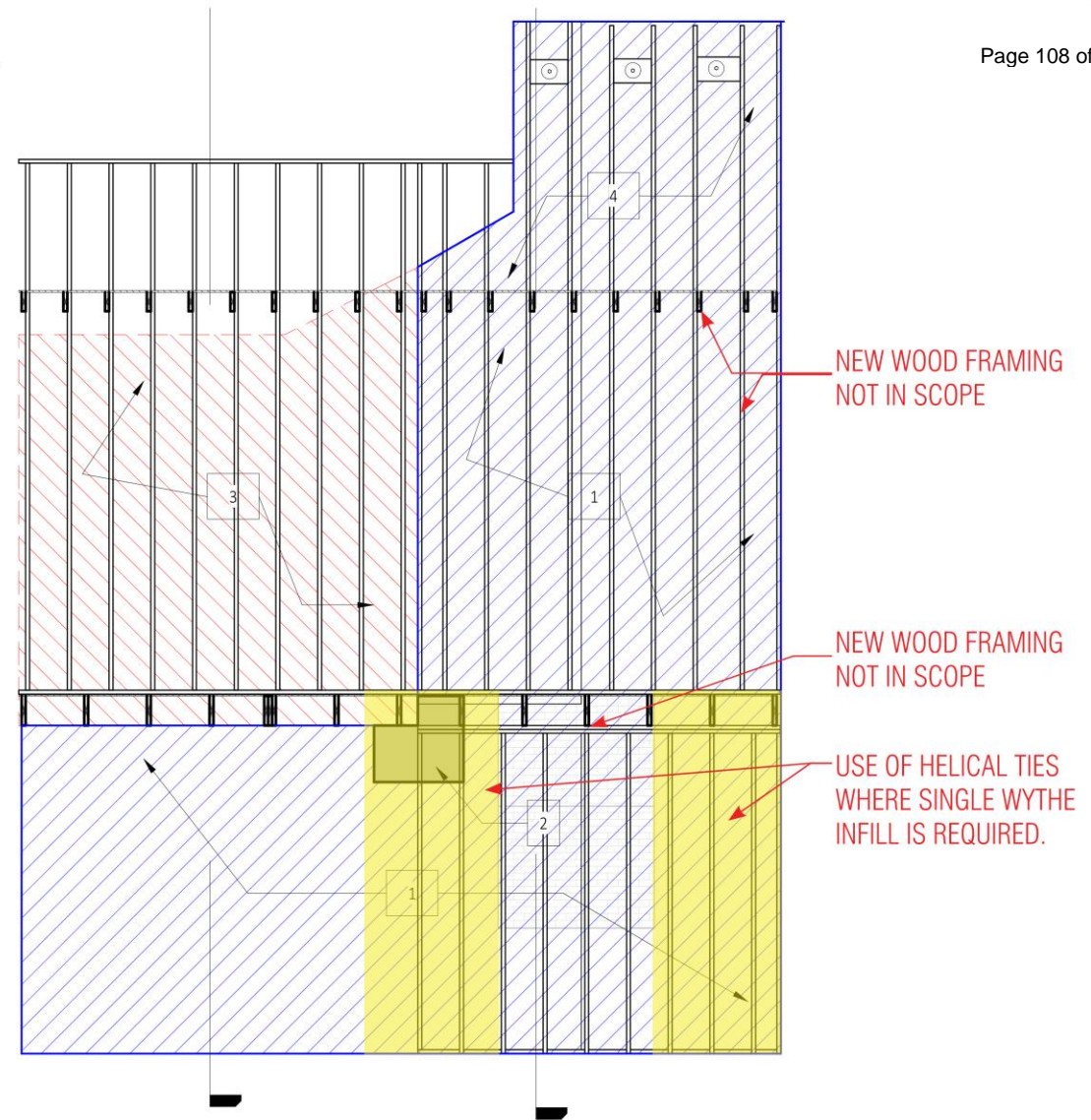


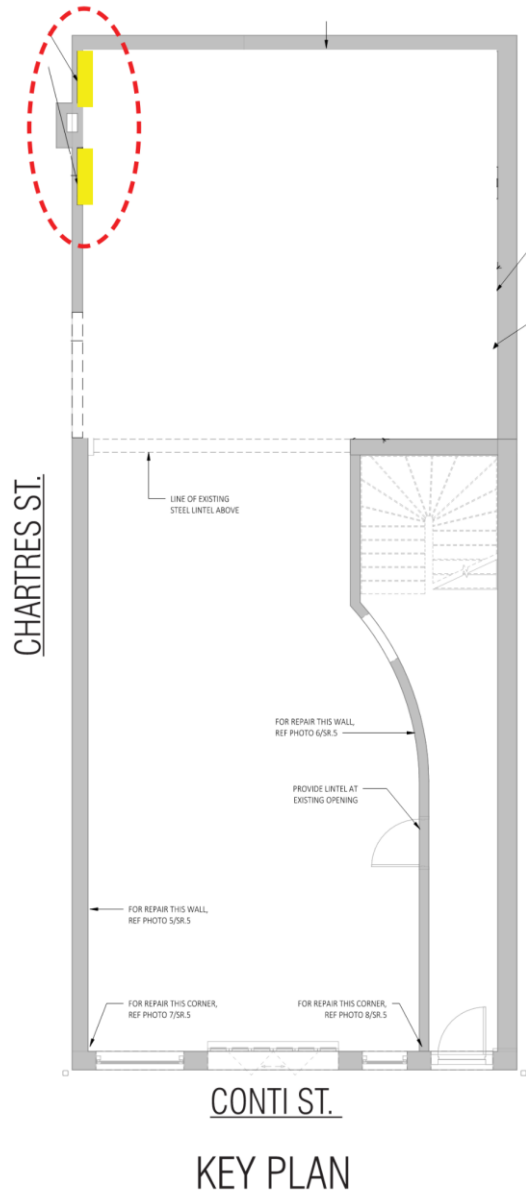
PHOTO 1

USE OF HELICAL TIES  
WHERE SINGLE WYTHE  
INFILL IS REQUIRED.

1 WEST ELEVATION COURTYARD  
S1.0 S2.0 1/4" = 1'-0"











616 Conti

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January 10, 2023







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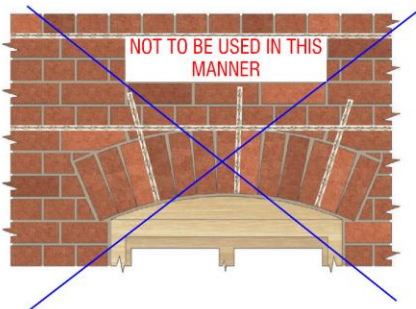
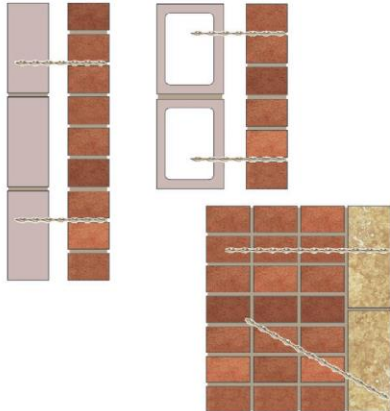
January 10, 2023





# DryFix

## Dry mechanical pinning and remedial tying system



For full Product Information, Case Studies and downloadable Repair Details, giving specifications for many common structural faults, go to:

[www.helifix.com/products/retrofit-products/dryfix](http://www.helifix.com/products/retrofit-products/dryfix)



## Applications

- Versatile replacement wall tie
- For securing multiple layers of masonry
- For pinning delicate masonry features

## Features

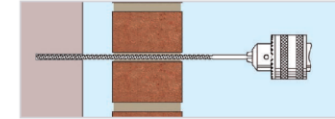
- Requires no resin, grout or mechanical expansion
- Quick, easy, non-disruptive installation using the Power Driver Attachment
- Installed tie is recessed below face of masonry
- Highly economical with low installed costs
- Effective in all common building materials
- Leaves masonry virtually unmarked
- Usable in all weather, temperature and environmental conditions



DryFix tie being power-driven into pilot hole

## Installation Procedures

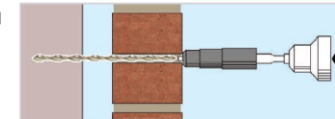
1. Mark the position for the DryFix tie on the facade.
2. Drill an appropriate diameter pilot hole (depending on density of backup material) through the facade and into the backup substrate, to predetermined depth, using a rotary percussion drill (3-jaw-chuck-type).
3. Fit the special DryFix PDA insertion tool to an electric hammer drill (SDS type).
4. Load the DryFix tie into the insertion tool.
5. Power-drive the tie into position until its outer end is recessed below the face of the mortar joint by the insertion tool.
6. Repair the entry hole with matching materials.



1. Drill small pilot hole using rotary percussion drill, 3-jaw-chuck type.  
Note: When used in a joint, the mortar must be of sufficient strength and on-site testing of its suitability is essential.



2. Load tie into DryFix Power Driver Attachment fitted to SDS hammer drill



3. Drive in tie until outer end is fully recessed below face of masonry

## Technical Specifications

Material:	Austenitic stainless steel Grade 304 or 316				
Diameter:	8mm (10mm available)				
Length:	Facade thickness + cavity width + required penetration into the backup less required penetration of the PDA				
Standard lengths:	155mm, 170mm, 195mm, 220mm, 245mm, 270mm, 295mm, 325mm and 350mm – in boxes of 50				
Depth of pilot hole:	Length of DryFix + 1"				
Facade Substrate	Backup Material	Near Wythe Pilot/ Clearance Hole	Far Wythe Pilot/ Clearance Hole	Penetration into Backup	Pull Out (Proof Load)
Clay Brick	Aircrete	5-6mm	None	3" - 3 1/2"	1.0kN
Clay Brick	Wood Stud	5-6mm	None	2"	1.2kN
Clay Brick	Clay Brick	5-6mm	5-6mm	2 1/2"	2.0kN
Clay Brick	Concrete Block	6mm	6mm	2"	2.0kN
Clay Brick	Concrete	6mm	6-6.5mm (very hard concrete may require an Asymmetric tie)	1 1/2"	2.0kN

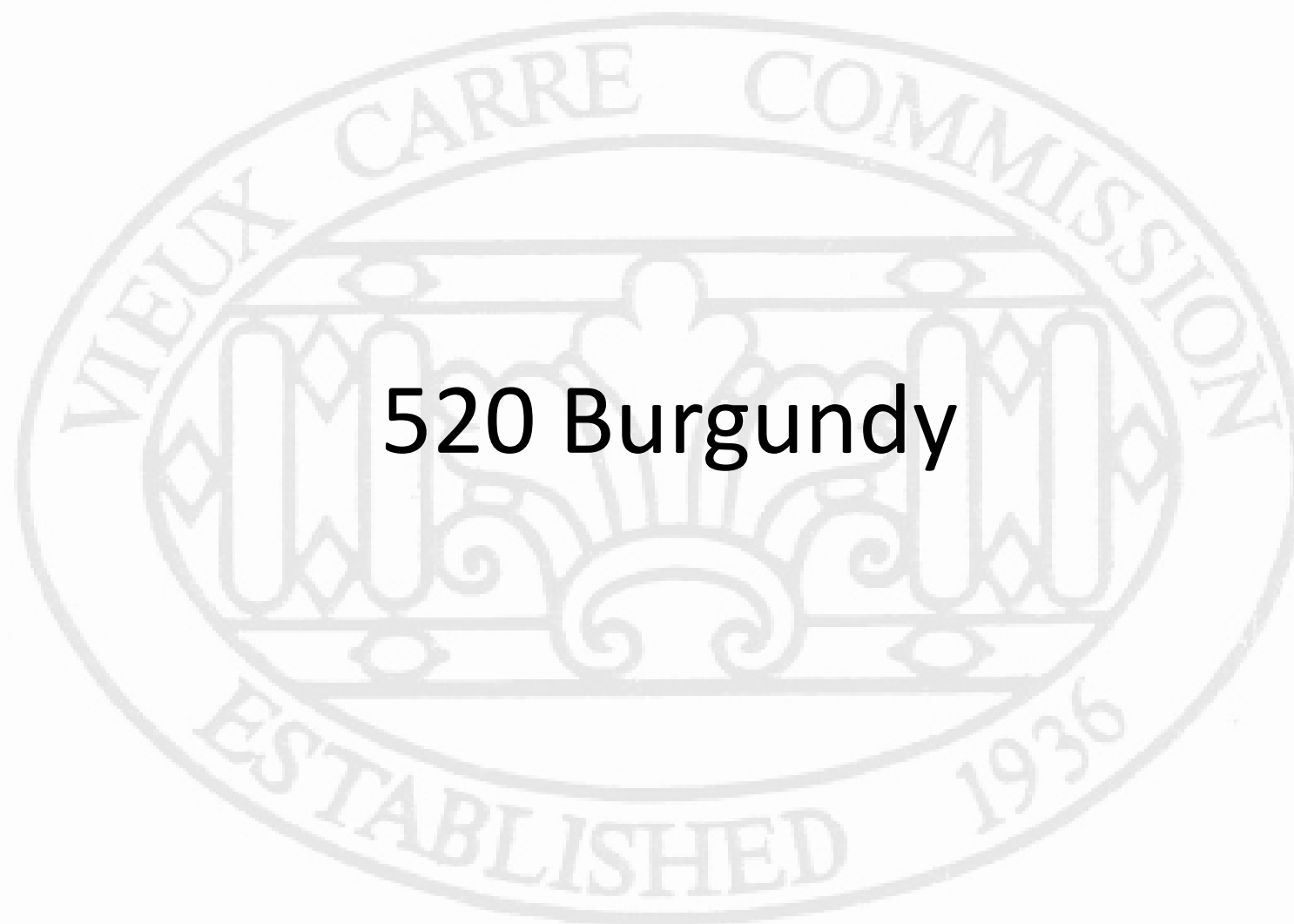
NOTE: All figures quoted are indicative dependent on the exact nature of the substrate. Testing should always be undertaken on site using the Helifix Load Test Unit. Compression Resistance should be checked with the Helifix Technical Department. Fixing Density should be calculated by the Helifix Technical Department.

Minimum fixing density:	In accordance with project specification or check with Helifix Technical Department
Bonding agent:	None required
<b>RECOMMENDED TOOLING</b>	
For drilling pilot hole:	Rotary percussion 3-jaw-chuck drill
For installing DryFix tie:	Power Driver Attachment fitted to an electric hammer drill (SDS type).

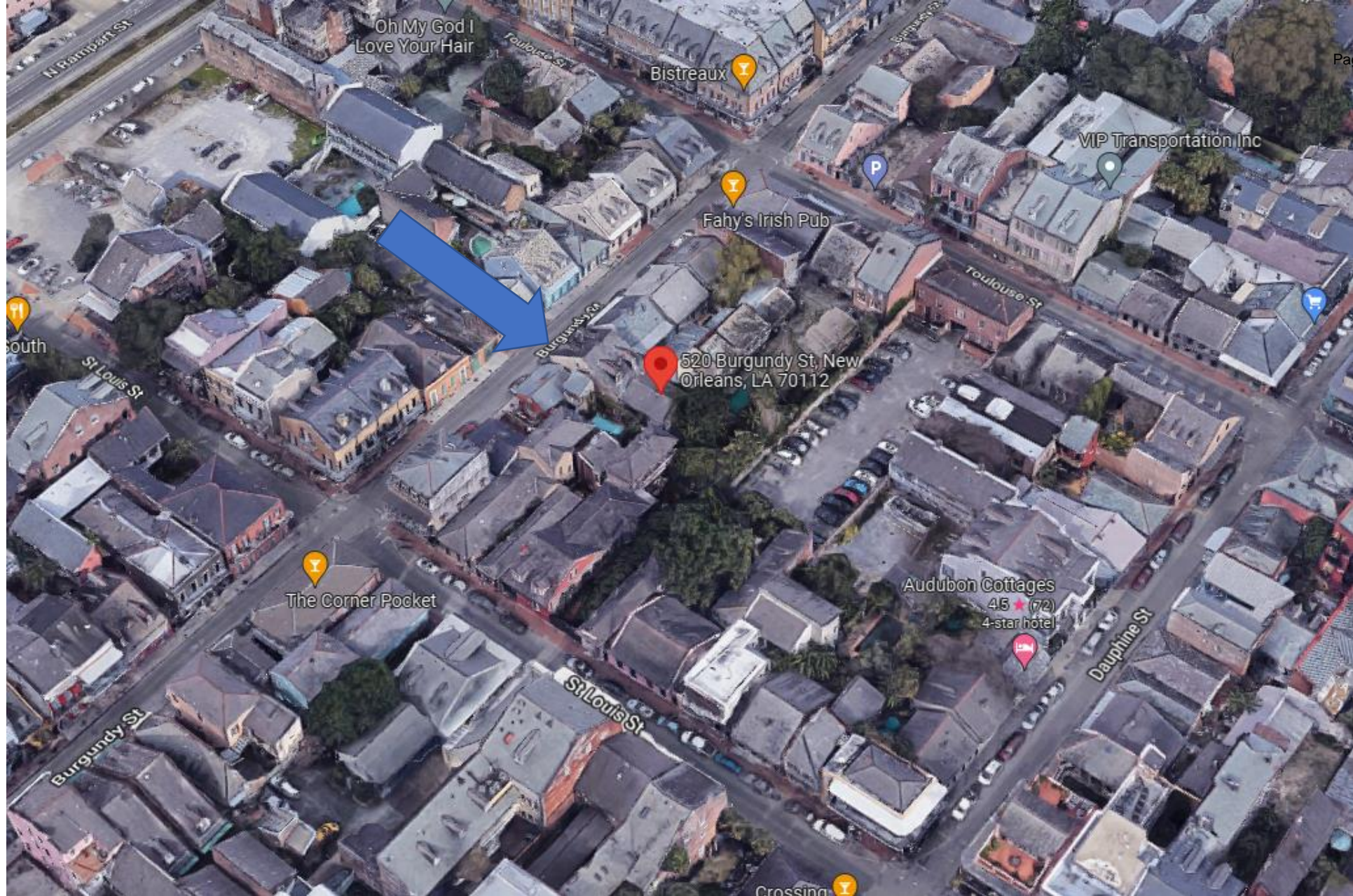


**New Business**





**520 Burgundy**



520 Burgundy

VCC Architectural Committee

January 10, 2023







520 Burgundy

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January 10, 2023





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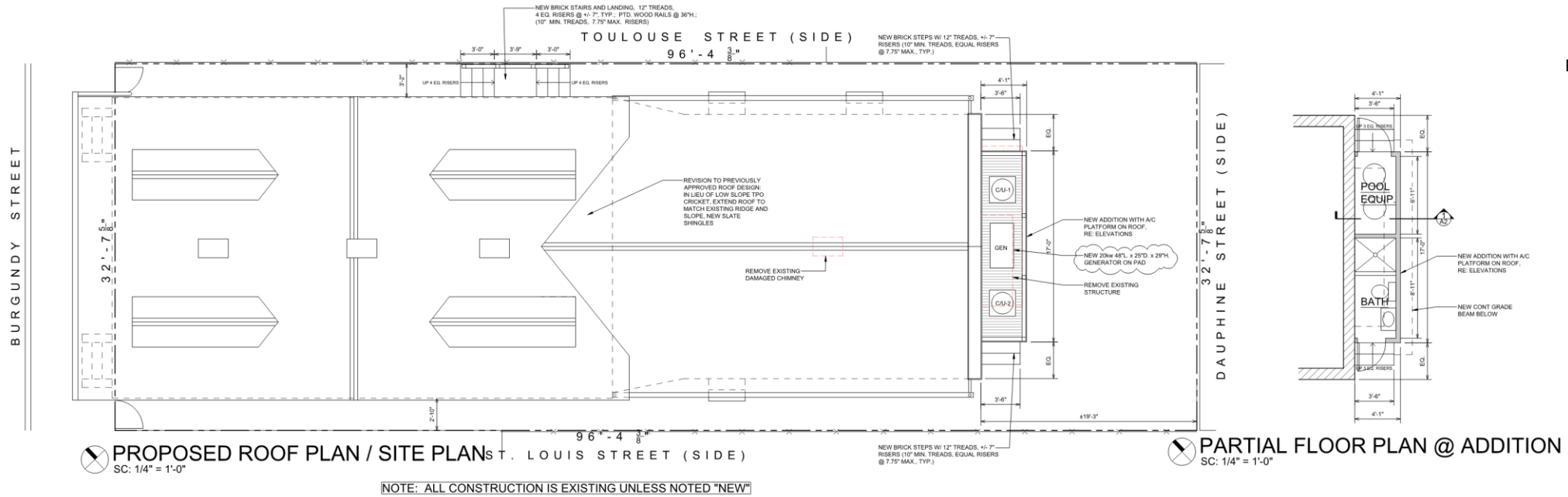
520 Burgundy

VCC Architectural Committee

January 10, 2023







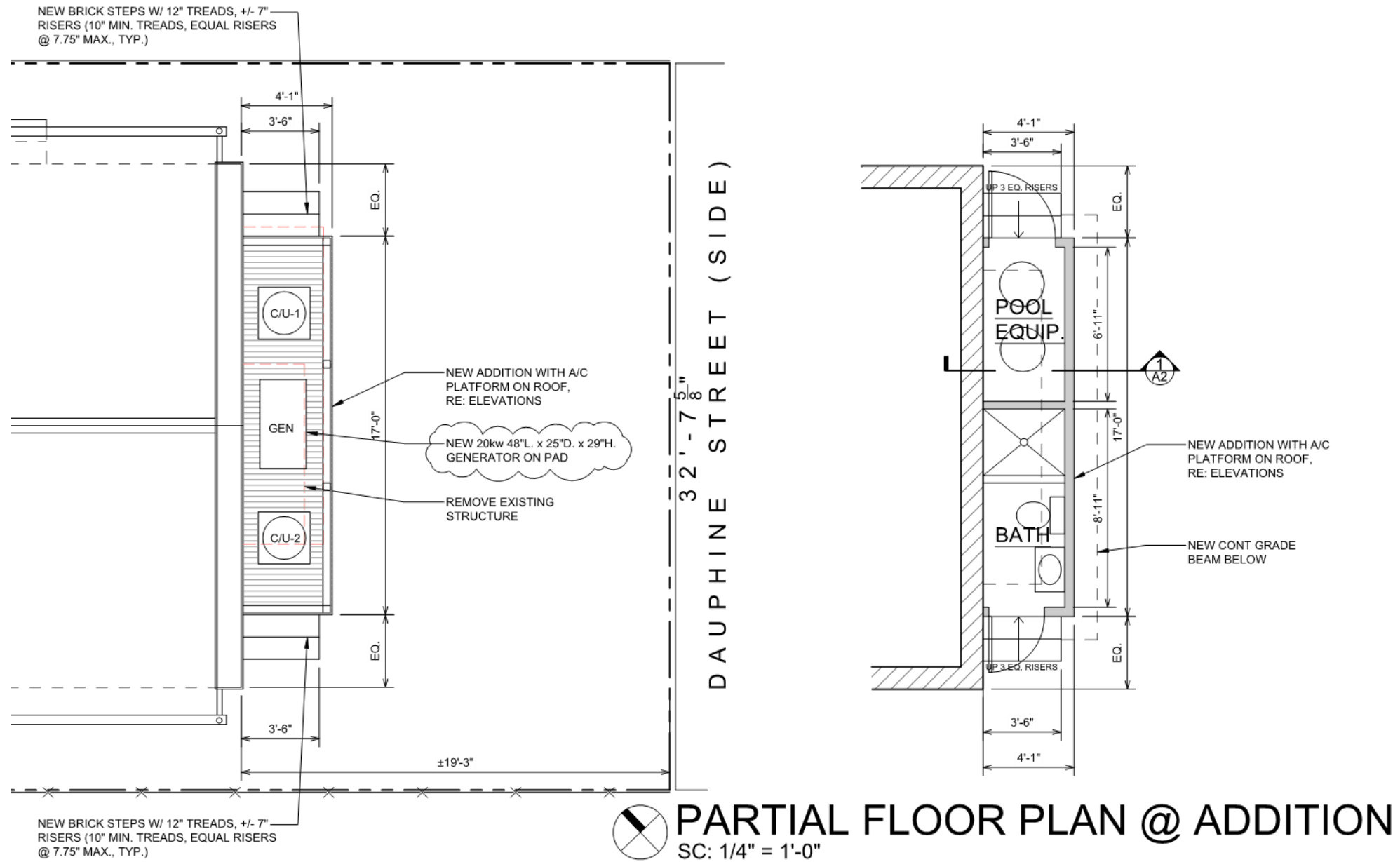
THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION, THEY COMPLY WITH ALL CITY REQUIREMENTS TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT GENERALLY ADMINISTERING THE WORK. LORETTA KATHARINE HARMON LOUISIANA STATE LICENSE NO. 406 ELIZABETH HARMON GUILLET  
A Professional Architect Corporation  
10.4.2022

520 Burgundy  
VCC Architectural Committee

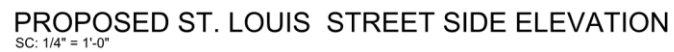
PHASE TWO EXTERIOR MODIFICATIONS to 520 Burgundy Street New Orleans, Louisiana 70112	 <b>LKHarmen Architects</b> A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans Louisiana 70124 504.485.5870 harmon@lkharmenarchitects.com	10.4.2022	A1
		12.21.2022 REV.	
		LKH#2621.3	

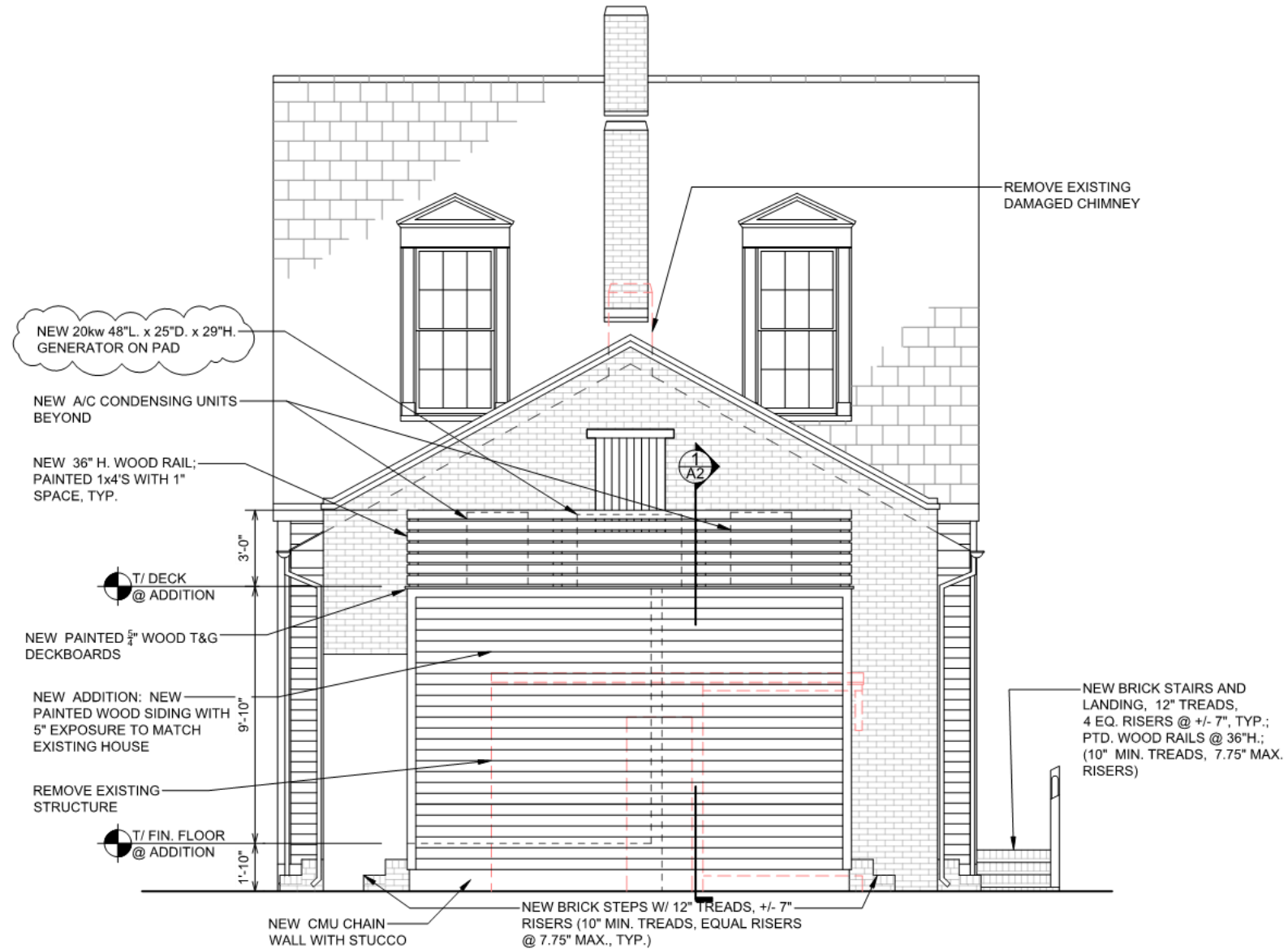
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# PROPOSED REAR ELEVATION

SC: 1/4" = 1'-0"

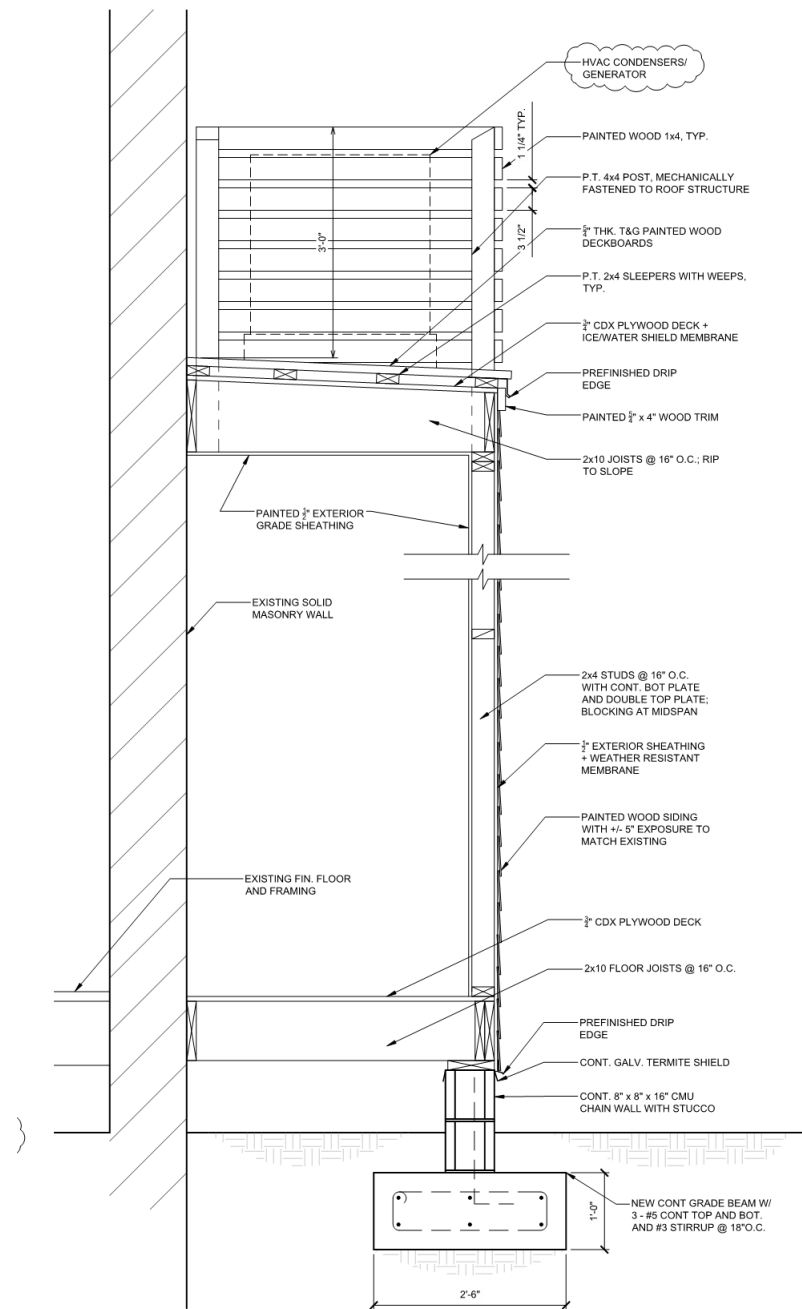
520 Burgundy

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January 10, 2023







1  
A2

SECTION THRU ADDITION  
SC: 1" = 1'-0"

520 Burgundy

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# OVERVIEW

**Max. Cont. Power (LP):** 20 kW

**Max. Cont. Power (NG):** 18 kW

**Max. Cont. Amps (LP):** 83.3

**Main Line Circuit Breaker:** 100 amp

**Battery Type:** Group 26R, 12V, 525 CCA

**Oil Type:** Check chart in manual

**Oil Capacity:** 1.7 Quarts

**Oil Filter P/N:** 070185ES

**Air Filter P/N:** 0g5894

**Spark Plug #:** RC12YC

**NG Consumption-50% :** 206 ft3/hr

**NG Consumption-100% :** 294 ft3/hr

**LP Consumption-50% :** 69 ft3/hr

**LP Consumption-100% :** 106 ft3/hr

**520 Burgundy**

**VCC Architectural Committee**

## 1.6 SPECIFICATIONS

### ◆ 1.6.1 GENERATOR

Model	8kW	10kW	12kW	14kW	16kW	17kW	20kW
Rated Voltage	240						
Rated Maximum Load Current (Amps) at 240 Volts (LP)*	33.3	41.6	50.0	58.3	66.6	70.8	83.3
Main Circuit Breaker	35 Amp	45 Amp	50 Amp	60 Amp	65 Amp	65 Amp	100 Amp
Circuits** 50A, 240V	-	-	-	1	1	1	-
40A, 240V	-	-	1	1	1	1	-
30A, 240V	1	1	1	-	-	-	-
20A, 240V	-	1	-	1	1	1	-
20A, 120V	1	3	3	4	5	5	-
15A, 120V	5	3	5	4	5	5	-
Phase	1						
Number of Rotor Poles	2						
Rated AC Frequency	60 Hz						
Battery Requirement	Group 26R, 12 Volts and 350 CCA Minimum	Group 26R, 12 Volts and 525 CCA Minimum					
Weight (unit only in lbs.)	340	387	439	439	439	455/421	450
Enclosure	Steel	Steel	Steel	Steel	Steel	Steel/Aluminum	Aluminum
Normal Operating Range	-20° F (-28.8° C) to 77° F (25° C)						
These generators are rated in accordance with UL2200, Safety Standard for Stationary Engine Generator Assemblies; and CSA-C22.2 No. 100-04 Standard for Motors and Generators.							
* Natural Gas ratings will depend on specific fuel Btu content. Typical derates are between 10-20% off the LP gas rating.							
** Circuits to be moved must be protected by same size breaker. For example, a 15 amp circuit in the main panel must be a 15 amp circuit in the transfer switch.							

### ◆ 1.6.2 ENGINE

Model	8 kW	10 kW	12/14/16/17 kW	20 kW
Type of Engine	GH-410	GT-530	GT-990	GT-999
Number of Cylinders	1	2	2	2
Rated Horsepower @ 3,600 rpm*	14.8	18	32	36
Displacement	410cc	530cc	992cc	999cc
Cylinder Block	Aluminum w/Cast Iron Sleeve			
Valve Arrangement	Overhead Valves			
Ignition System	Solid-state w/Magneto			
Recommended Spark Plug	RC14YC	BPR6HS	RC14YC	RC12YC
Spark Plug Gap	0.76 mm (0.030 inch)	0.76 mm (0.030 inch)	1.02 mm (0.040 inch)	0.75 mm (0.030 inch)
Compression Ratio	8.6:1	9.5:1	9.5:1	9.5:1
Starter	12 VDC			
Oil Capacity Including Filter	Approx. 1.5 Qts	Approx. 1.7 Qts	Approx. 1.7 Qts	Approx. 1.7 Qts
Recommended Oil Filter	Part # 070185F			
Recommended Air Filter	Part # 0G3332	Part # 0E9581	Part # 0C8127	Part # 0G5894
Operating RPM	3,600			

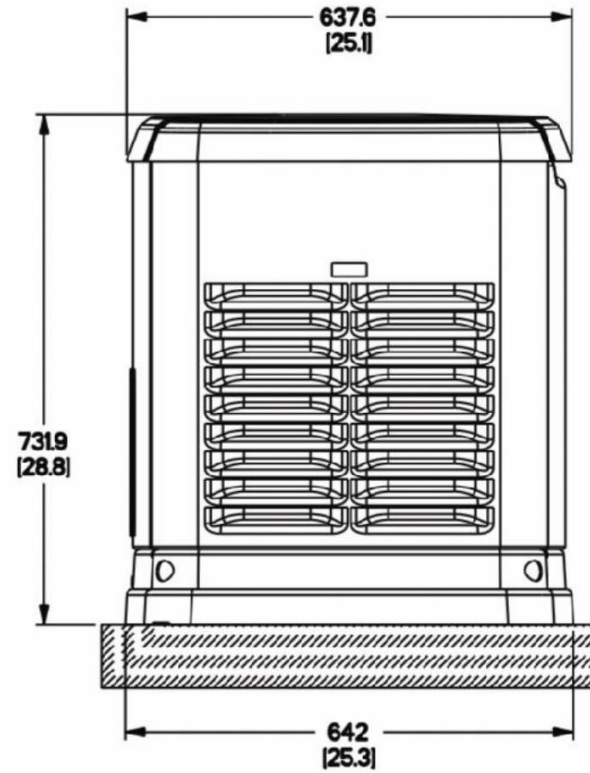
\* Engine power is subject to and limited by such factors as fuel Btu content, ambient temperature and altitude. Engine power decreases about 3.5 percent for each 1,000 feet above sea level; and also will decrease about 1 percent for each 6 C (10 F) above 16 C (60 F) ambient temperature.

January 10, 2023

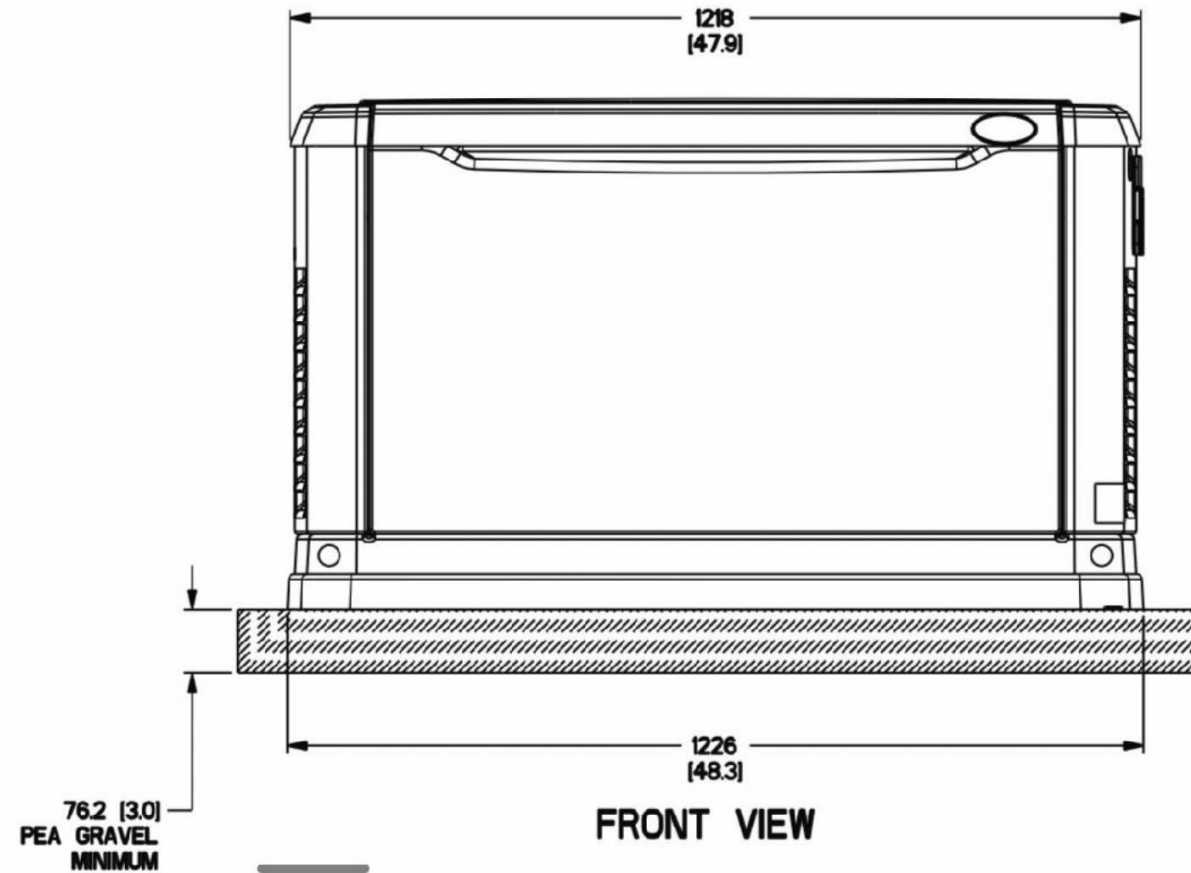




**"DO NOT LIFT BY ROOF"**



**LEFT SIDE VIEW**



**FRONT VIEW**



520 Burgundy

VCC Architectural Committee

January 10, 2023

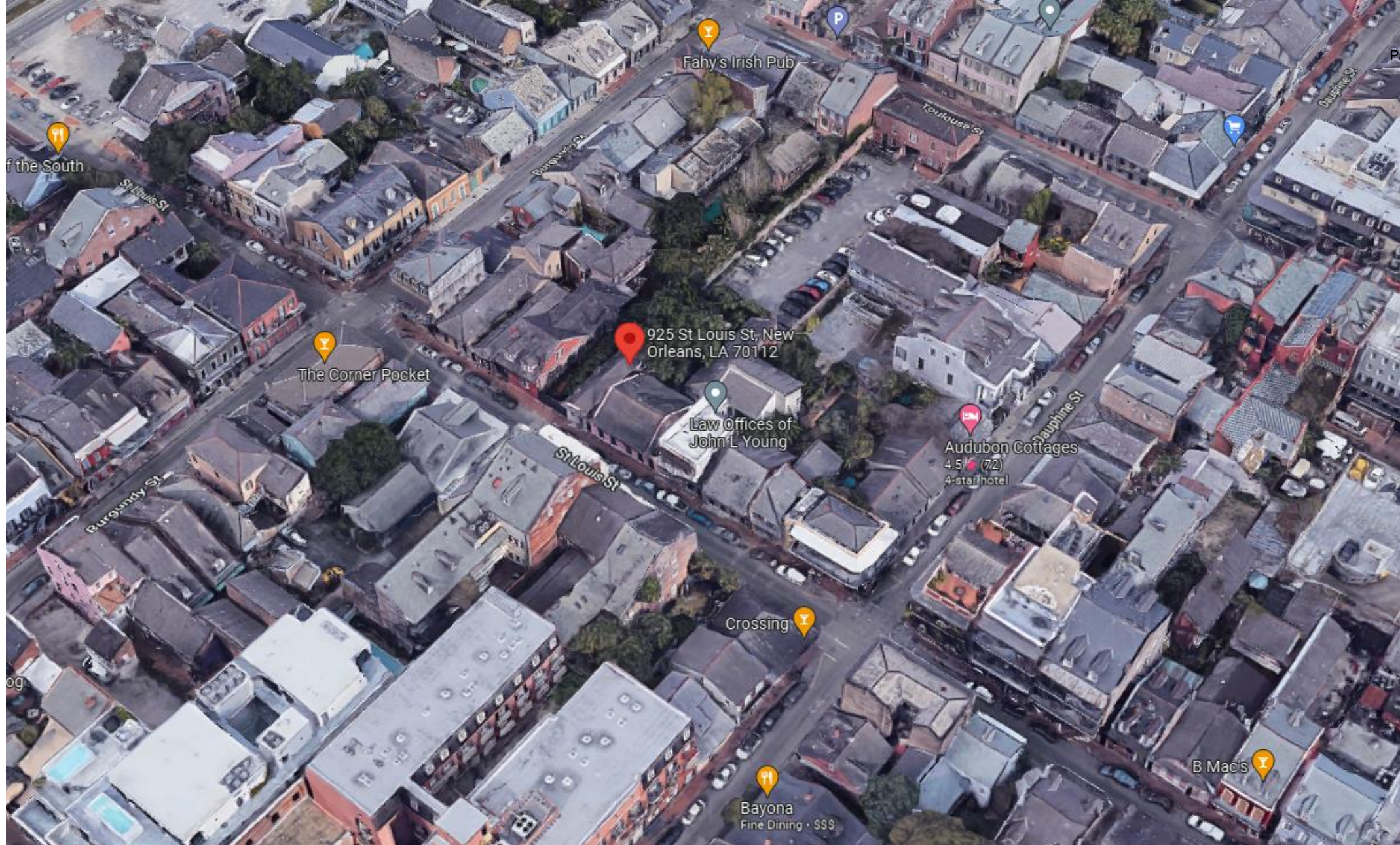






925 St Louis





925 St Louis

VCC Architectural Committee

January 10, 2023







925 St Louis, 1963

VCC Architectural Committee

January 10, 2023





925 St Louis, 1980

VCC Architectural Committee

January 10, 2023







925 St Louis

VCC Architectural Committee

January 10, 2023





925 St Louis

VCC Architectural Committee

January 10, 2023





**FRONT ELEVATION**

SCALE: 1/2" = 1'-0"

BEN GAUSLIN  
925 SAINT LOUIS ST  
NEW ORLEANS, LA 70112

VCC PERMIT APPLICATION      27 DEC 2022



925 St Louis

VCC Architectural Committee

January 10, 2023



NEW  
BEVOLO FQ-HR 18  
LIGHT FIXTURE

EXISTING  
BEVOLO FQ-OB 18  
LIGHT FIXTURE

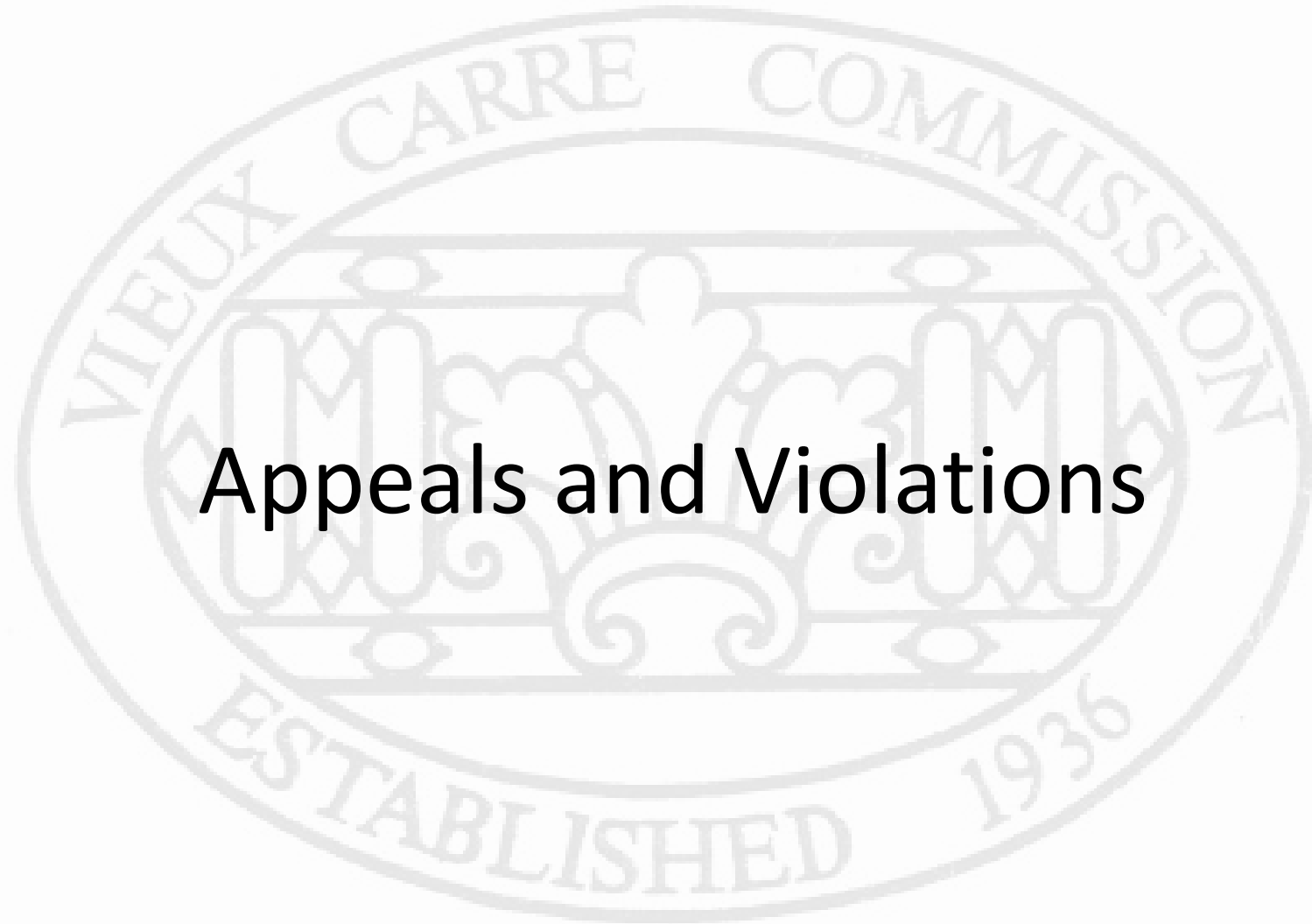
925 St Louis

VCC Architectural Committee

January 10, 2023





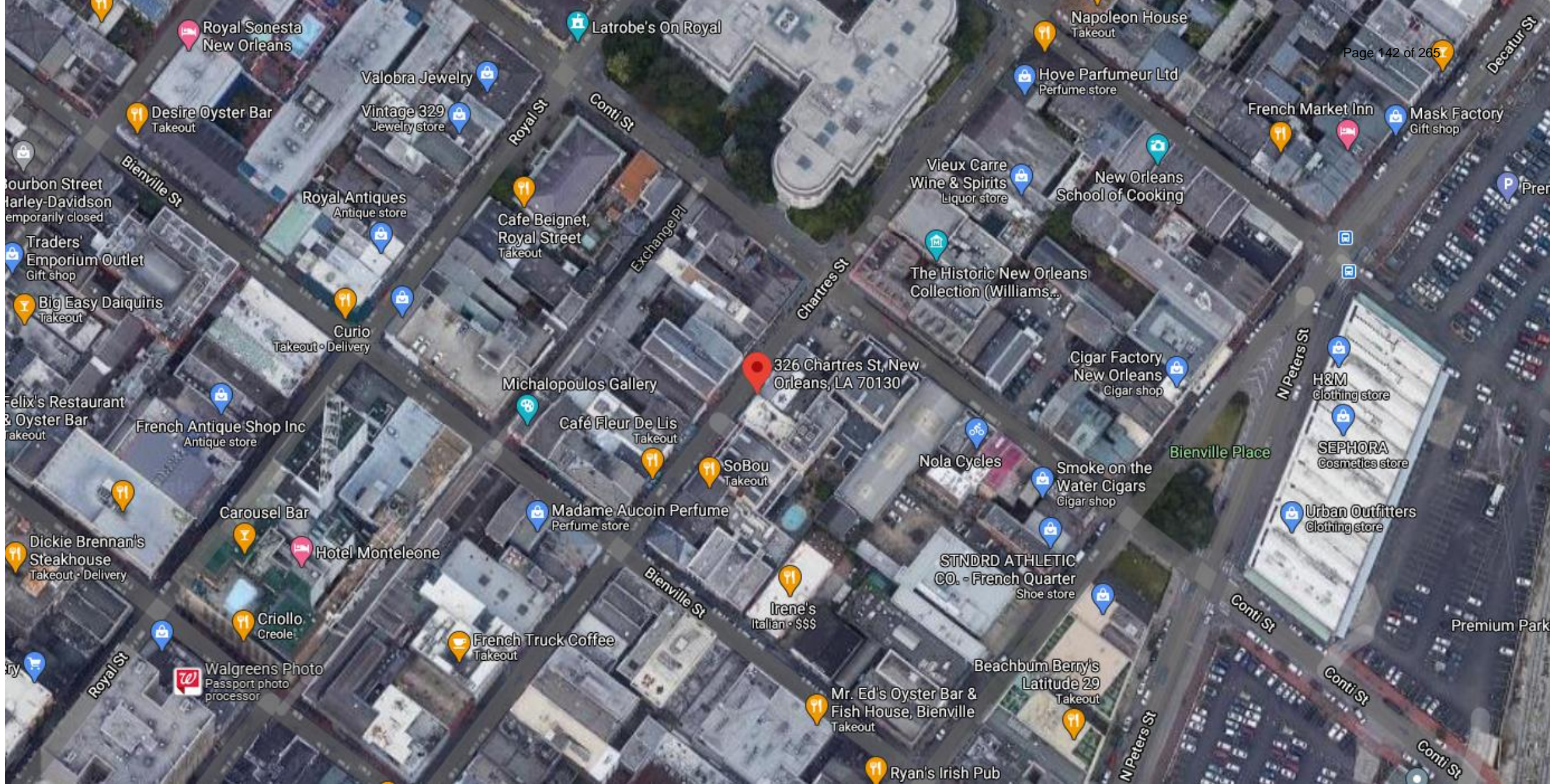


# Appeals and Violations



**336-330 Chartres**





326-30 Chartres

VCC Architectural Committee

January 10, 2023







326-30 Chartres

VCC Architectural Committee

January 10, 2023







326-30 Chartres

VCC Architectural Committee

January 10, 2023







326-30 Chartres

VCC Architectural Committee

January 10, 2023







326-30 Chartres

VCC Architectural Committee

January 10, 2023







326-30 Chartres

VCC Architectural Committee

January 10, 2023







326-30 Chartres

VCC Architectural Committee

January 10, 2023





326-30 Chartres

VCC Architectural Committee

January 10, 2023







326-30 Chartres

VCC Architectural Committee

January 10, 2023





326-30 Chartres

VCC Architectural Committee

January 10, 2023







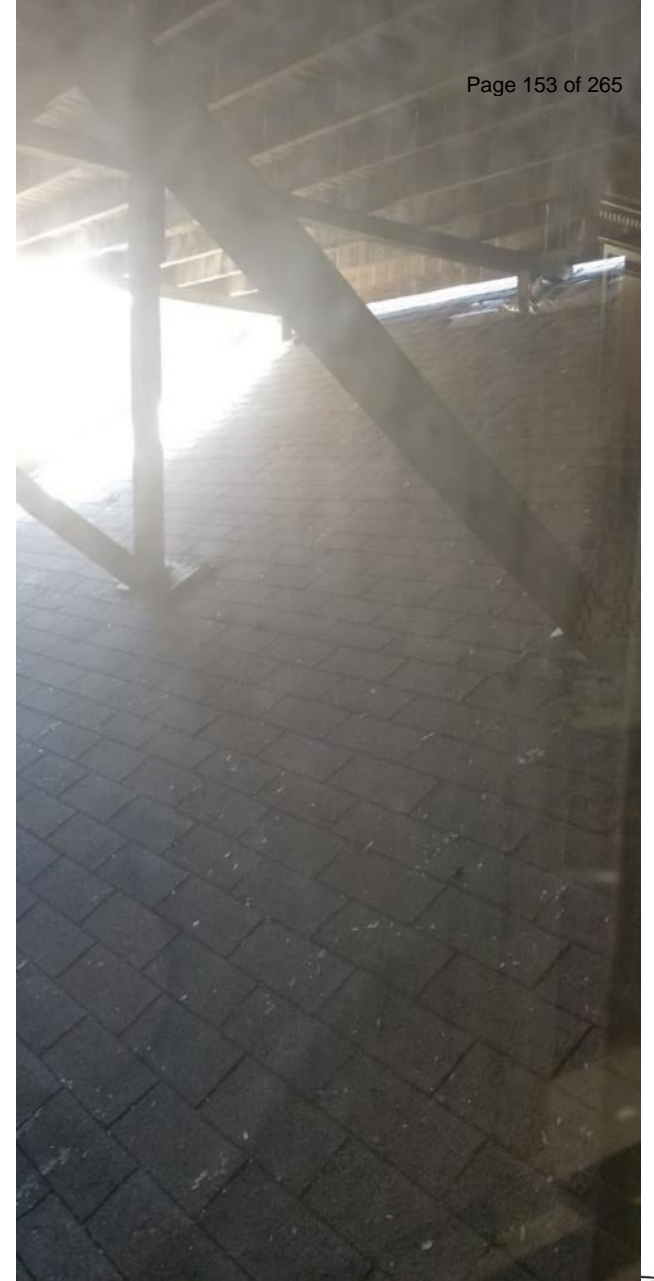
326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023





326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023





326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023





326 Chartres

VCC Architectural Committee

January 10, 2023







326 Chartres

VCC Architectural Committee

January 10, 2023





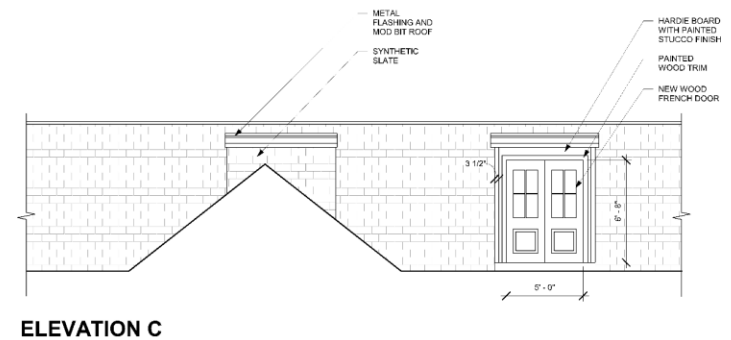
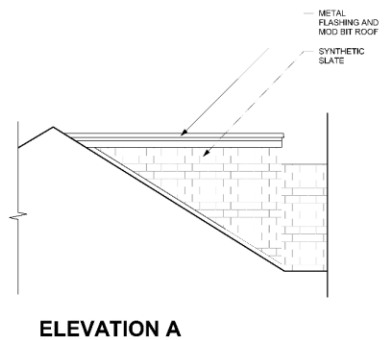
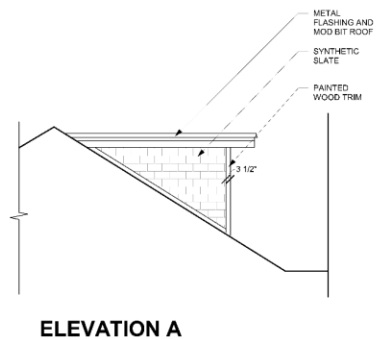
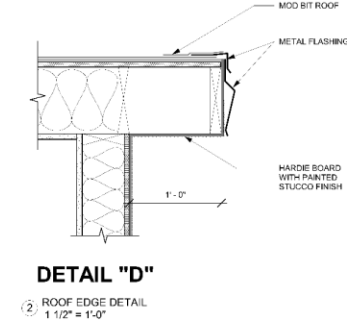
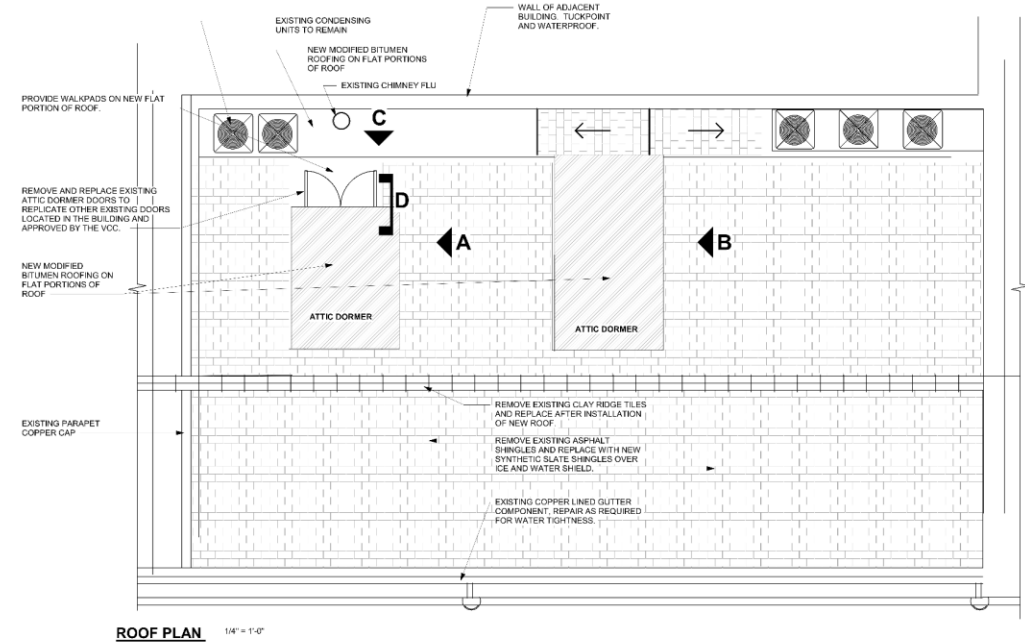
326 Chartres

VCC Architectural Committee


January 10, 2023



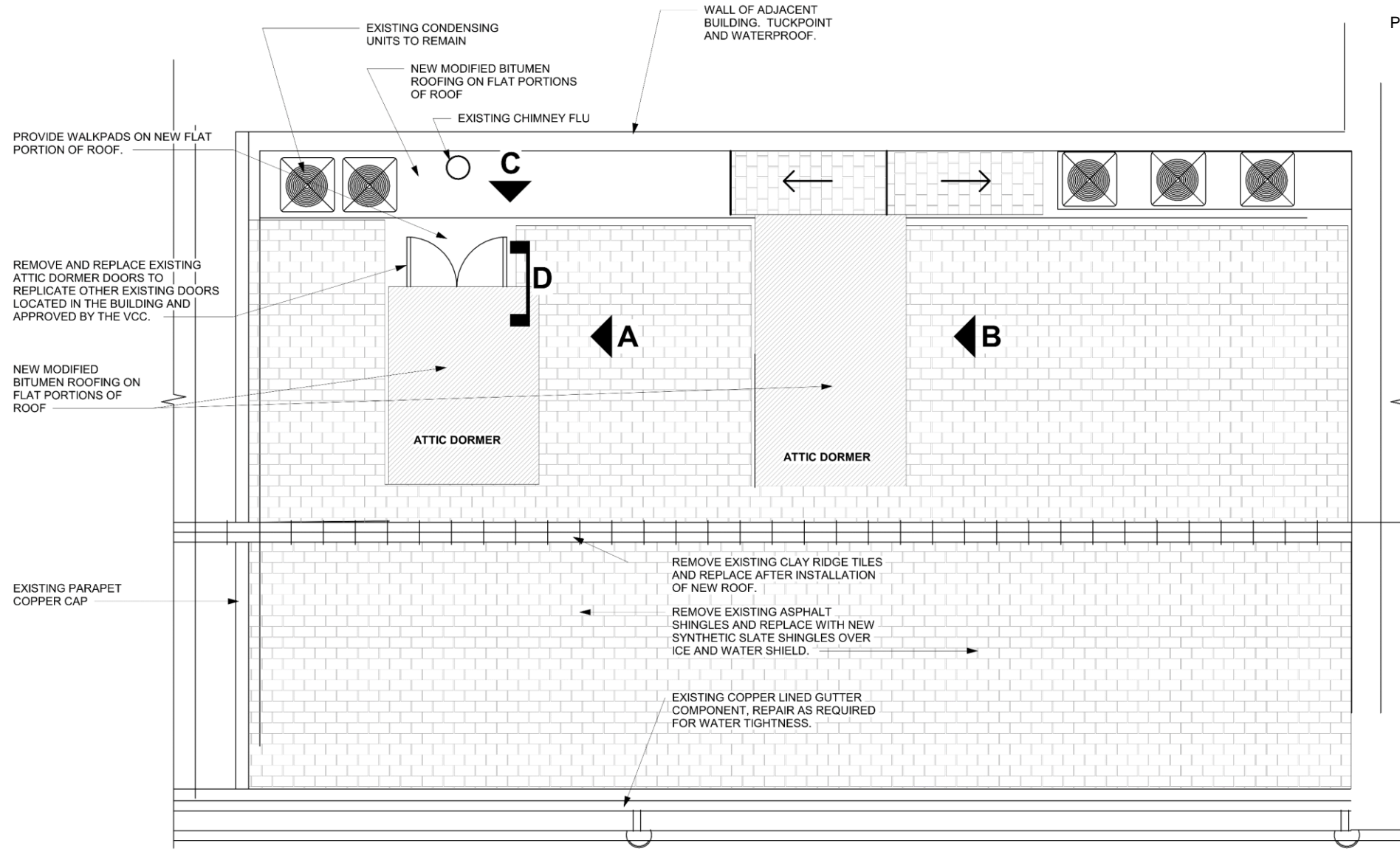




1. DORMER ELEVATIONS 1/4" = 1'-0"

NO	REVISION	DATE
326 CHARTRES	PROJECT	
326 CHARTRES ST NEW ORLEANS LA 70130		
22027	JOB NO	
DORMER ELEVATIONS		
7-11-22	VCC APPROVAL	
As indicated	SCALE	
A103		
		
A PROFESSIONAL CORPORATION www.rozas-ward.com		
1180 POYDRAS ST. SUITE 3500 NO LA 70163 504-624-4375		





**ROOF PLAN**

1/4" = 1'-0"

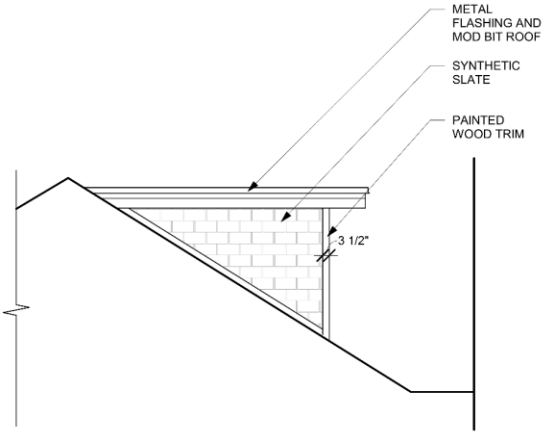
326 Chartres

VCC Architectural Committee

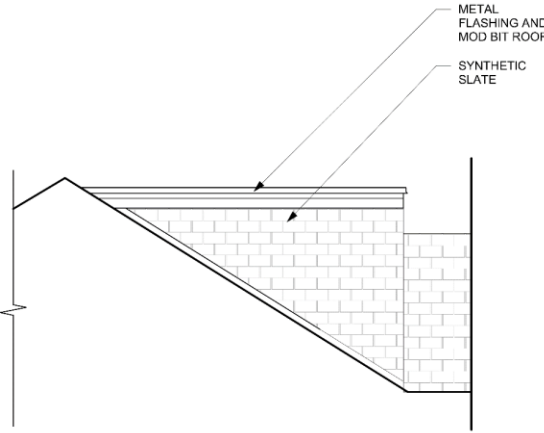
January 10, 2023



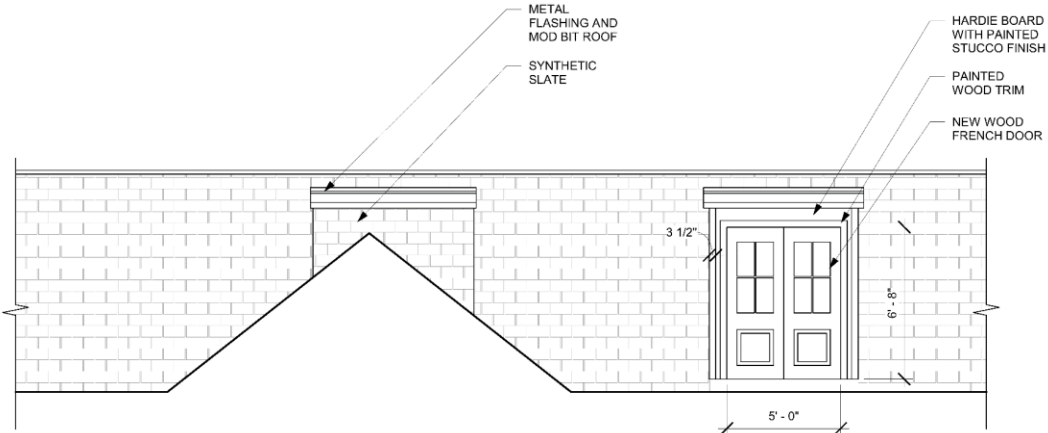




ELEVATION A



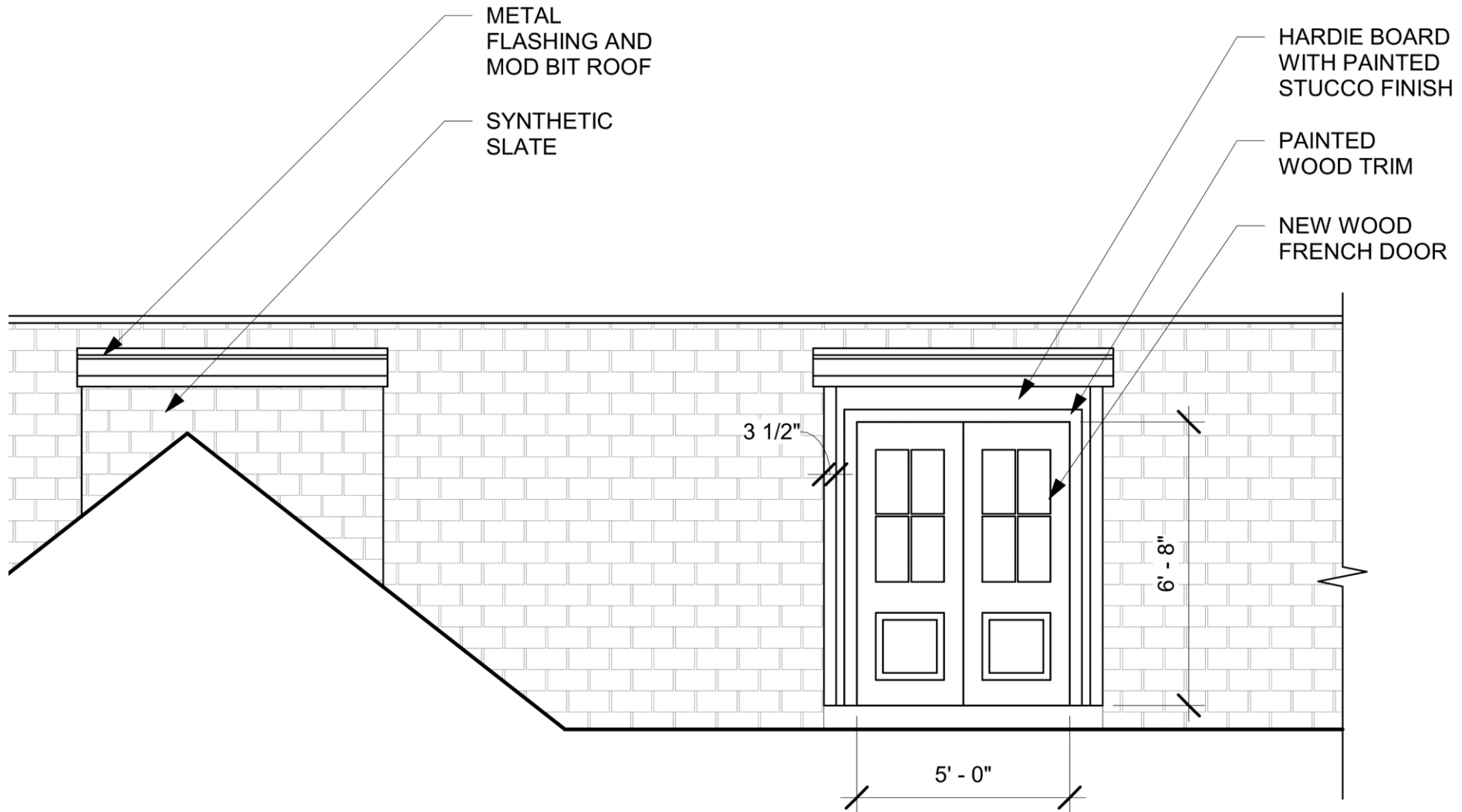
ELEVATION A



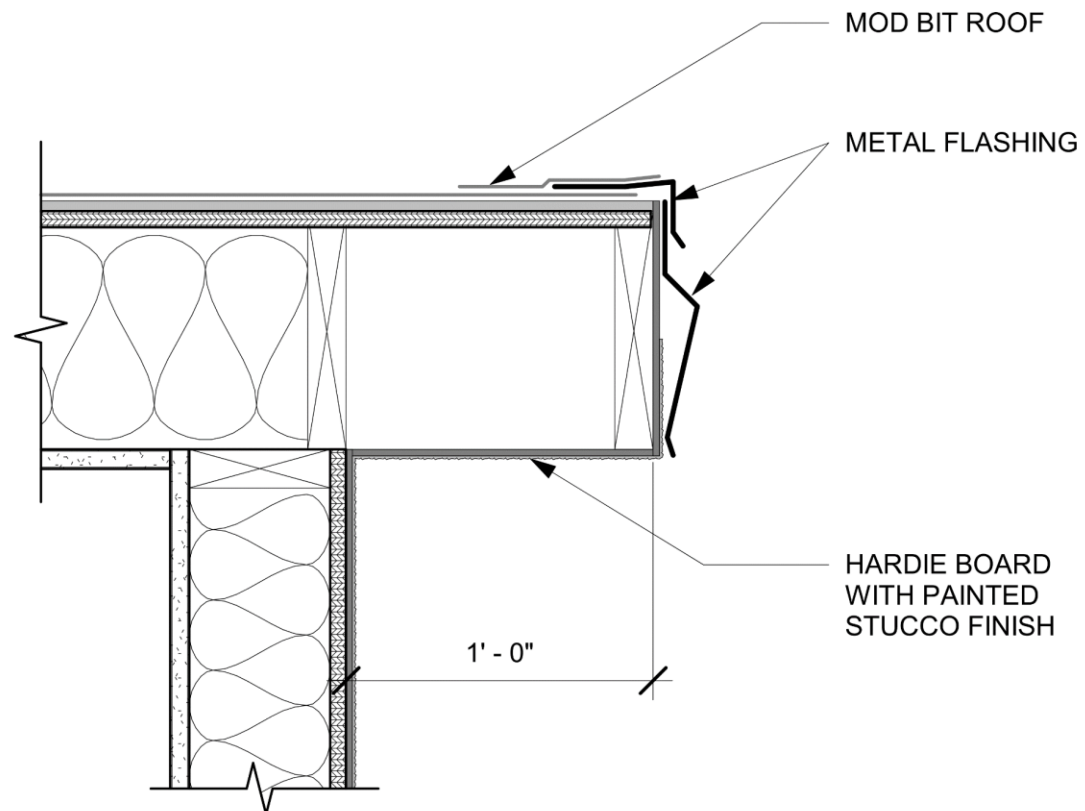
ELEVATION C

DORMER ELEVATIONS  
1/4" = 1'-0"









## DETAIL "D"

2 ROOF EDGE DETAIL  
1 1/2" = 1'-0"



439-41 Royal  
700 St Louis





439 Royal

VCC Architectural Committee

January 10, 2023





439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023





439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023





439 Royal

VCC Architectural Committee

January 10, 2023





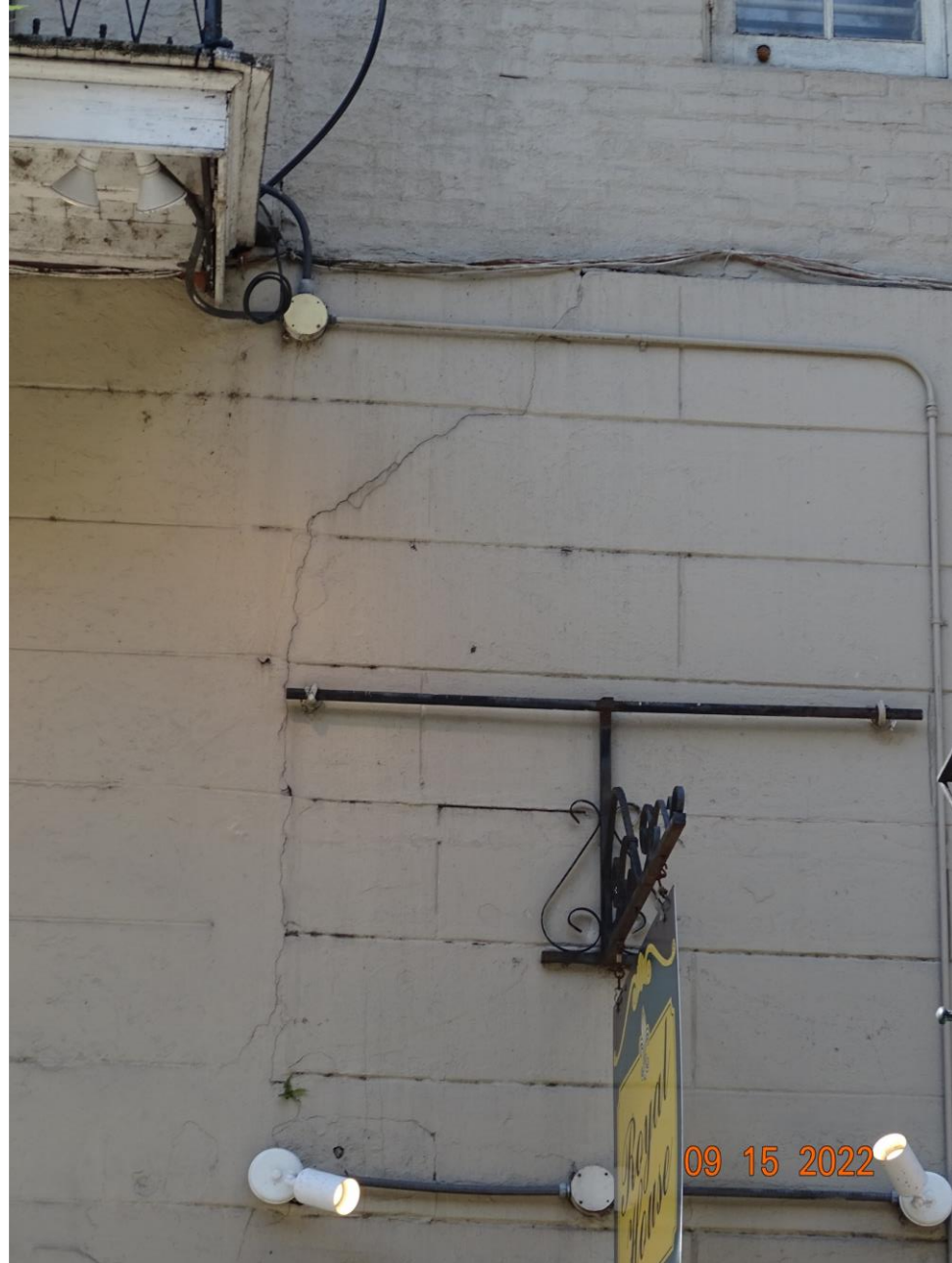


439 Royal

VCC Architectural Committee

January 10, 2023





439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023





439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023





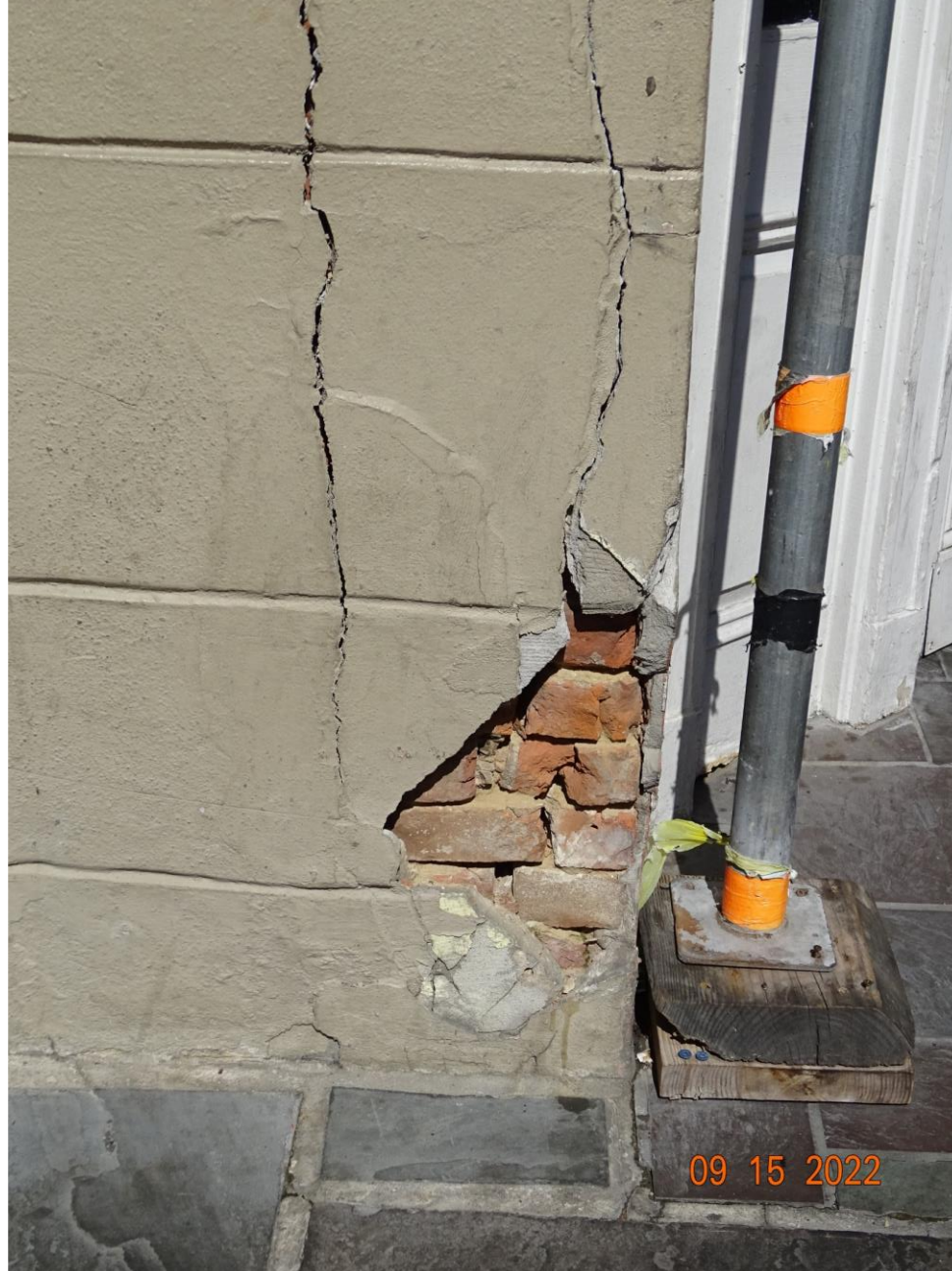
439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023





439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023





439 Royal

VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023





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VCC Architectural Committee

January 10, 2023







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VCC Architectural Committee

January 10, 2023





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VCC Architectural Committee

January 10, 2023







439 Royal

VCC Architectural Committee

January 10, 2023





September 22, 2022

Mr. Jake Cowden-Garofalo  
Constance Restoration  
12 Garden Lane  
New Orleans, LA 70124

**RE: Royal House  
441 Royal Street  
New Orleans, LA 70130  
Observation and Report of Findings**

Dear Mr. Cowden-Garofalo:

In accordance with your request, we completed a visual observation and review of available documents in an effort to determine the buildings overall general condition, specifically the separation of the masonry wall near the entrance (corner of Royal and St. Louis Street). We completed our work and have the following observations and conclusions.

#### *General Building Description*

This building is a historic property most likely over 150 years old. The building is a two-story, masonry and wooden frame structure. Given the building's age and geographical location (close proximity to the Mississippi River) we opine, more probably than not, that it is supported on a concrete or masonry corbel foundation, resting on the shallow underlying soils. The perimeter and load bearing demising walls are constructed of brick masonry. The masonry walls are load bearing both for lateral and gravity loading. These are the primary supports for the entire structure. The interior floor and roof are framed of wood. The wooden floor and roof members are either mortised, pocketed, or mechanically fastened into the brick walls.

#### *Observations and Conclusions*

At the time of our site visit, we found a crack in the masonry wall near the entrance to the building currently serving as a restaurant. The crack was mirrored on the interior portion of the wall as well. At the time of our site visit, we also observed recently placed asphalt in the

road directly adjacent to this cracked masonry wall.

Page 196 of 265

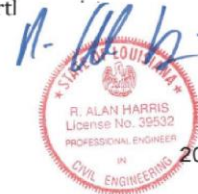
It is most likely that that the recent road work and associated seismic or vibratory activities associated with the work caused the observed crack to form or exacerbate an existing crack. We recommend that the wall be repaired immediately. We recommend that the wall be tuck pointed from the ground to the underside of the 2<sup>nd</sup> floor. In addition to the tuck pointing, we recommend that horizontal joint reinforcement be added to both sides of the wall. We recommend Heli-Tie Helical Stitch Tie or other approved manufacturer be utilized to restrain the wall from further movement and restore it to its stable originally intended serviceable condition.

In the abundance of caution, we recommend that the shoring that is currently in place remain in place until the joint reinforcement is installed and the tuck pointed grout is fully cured.

Thank you for the opportunity to provide this information to you. We reserve the right to amend and supplement this report as more information becomes available. Please do not hesitate to contact our office should you need further information.



R. Alan Harris, P.E.  
HD Design | Harris Development & Design, LLC

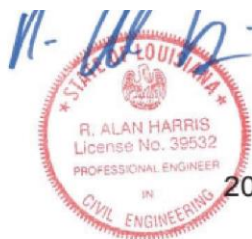


2022.09.22

It is most likely that that the recent road work and associated seismic or vibratory activities associated with the work caused the observed crack to form or exacerbate an existing crack. We recommend that the wall be repaired immediately. We recommend that the wall be tuck pointed from the ground to the underside of the 2<sup>nd</sup> floor. . In addition to the tuck pointing, we recommend that horizontal joint reinforcement be added to both sides of the wall. We recommend Heli-Tie Helical Stitch Tie or other approved manufacturer be utilized to restrain the wall from further movement and restore it to its stable originally intended serviceable condition.



R. Alan Harris, P.E.  
HD Design | Harris Development & Design, LLC



2022.09.22





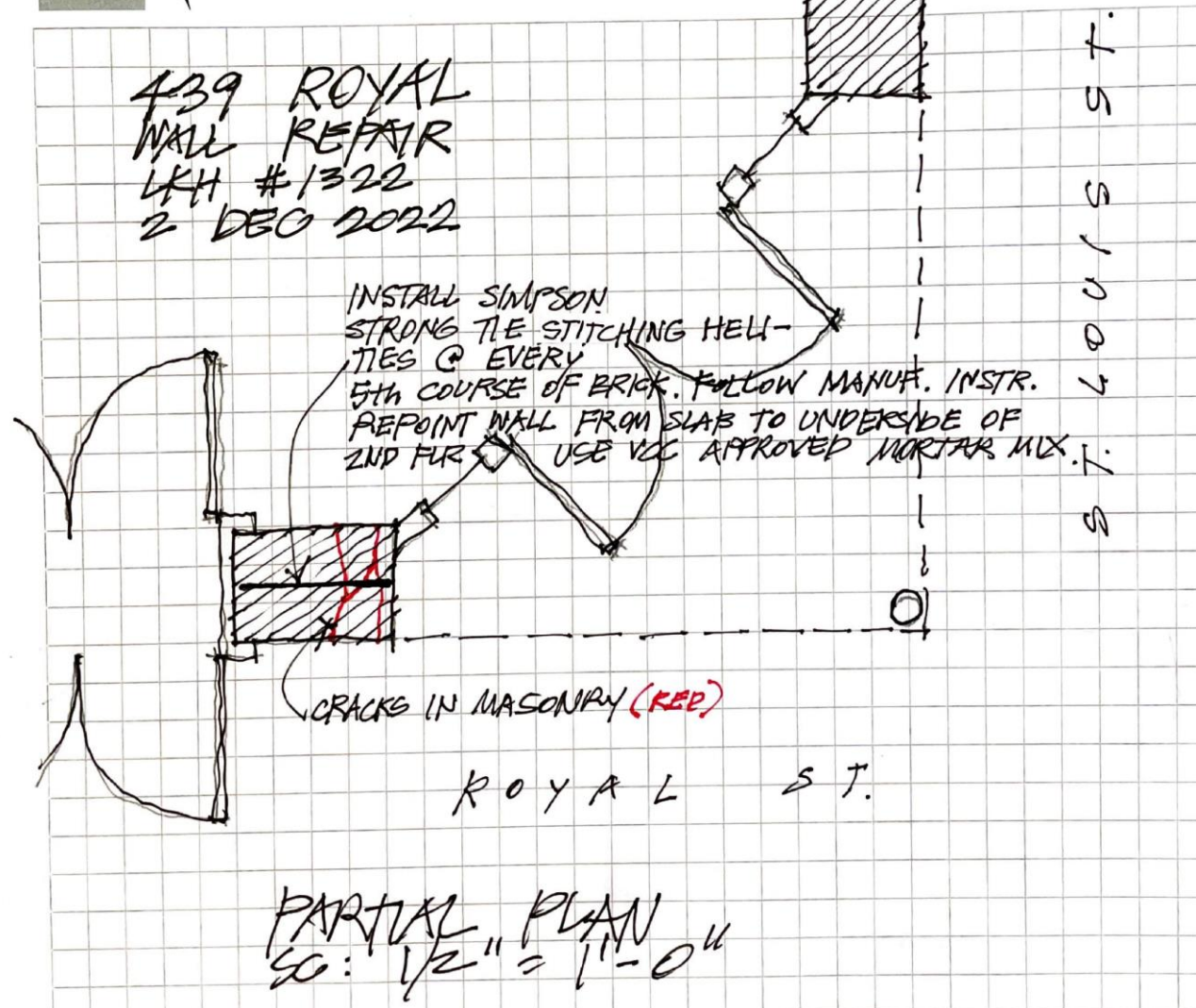
**LKHarmen Architects**

6238 Argonne Boulevard  
New Orleans, LA 70124

504.485.5870  
harmon@lkharmenarchitects.com  
www.lkharmenarchitects.com

p. 1 of 3

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439 Royal

VCC Architectural Committee

January 10, 2023



INSTALL SIMPSON  
STRONG TIE STITCHING HELI-  
TIES @ EVERY  
5TH COURSE OF BRICK. FOLLOW MANUF. INSTR.  
REPOINT WALL FROM SLAB TO UNDERSIDE OF  
2ND FLOOR USE VCC APPROVED MORTAR MIX.

CRACKS IN MASONRY (REP)

ROYAL ST.



439 ROYAL ST.  
WALL REPAIR  
LKH#1522  
2 DEC 2022

P.2 OF 3

Page 200 of 265



INSTALL SIMPSON  
STRONG TIE STITCHING  
HELL-TIES @ APPROX  
13" O.C. VERT. & PER MANUF  
INSTRUCTIONS. TUCKPOINT  
BRICK WALL W/ V.C.C.  
MORTAR MIX.

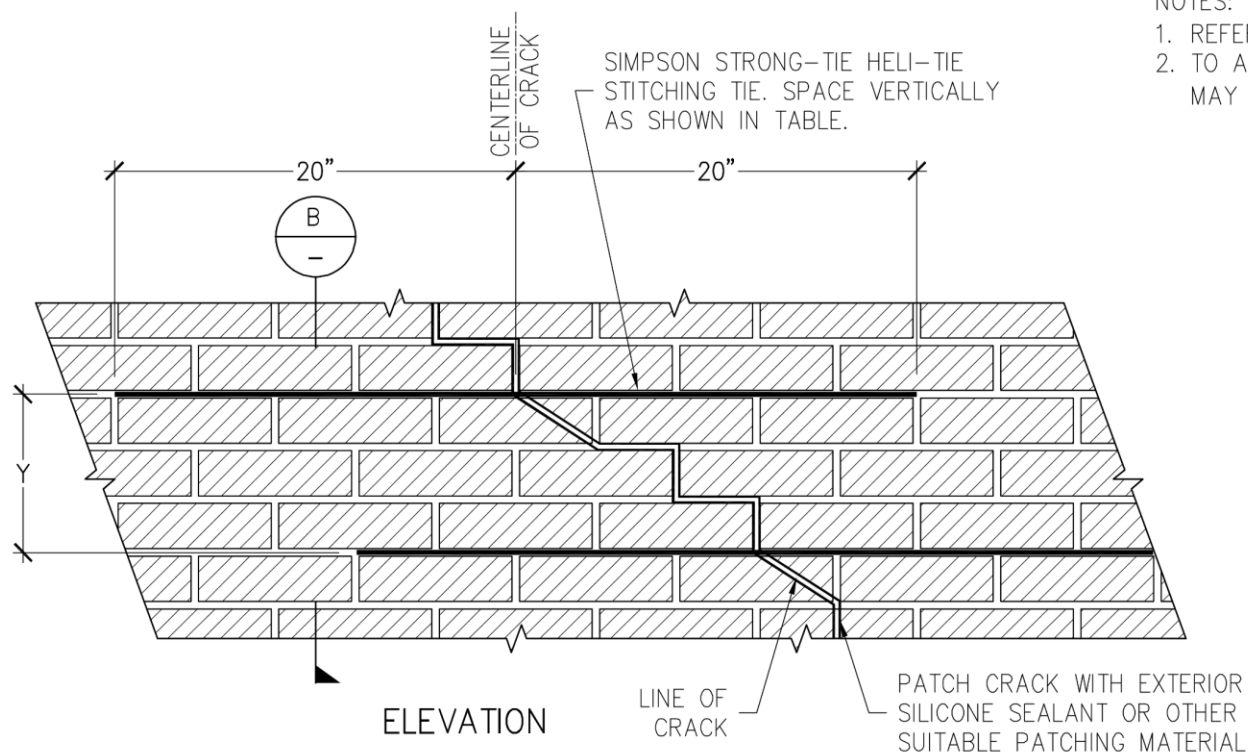
PATCH STUCCO  
PER V.C.C.  
GUIDELINES.

439 Royal

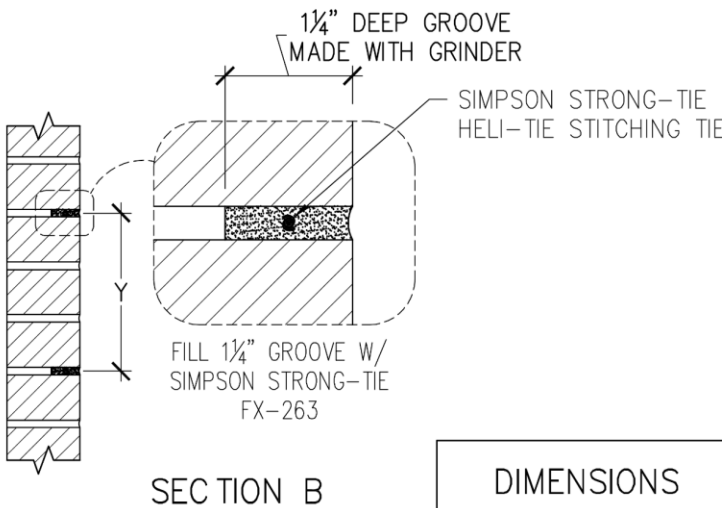
VCC Architectural Committee

January 10, 2023





- NOTES:
1. REFER TO DETAIL 3/HT-1 FOR ADDITIONAL INSTALLATION INFORMATION.
  2. TO ACCOMMODATE WALL CORNER CONDITIONS, HELI-TIE STITCHING TIE MAY BE BENT 90 DEGREES WITH A MIN. BEND RADIUS OF  $\frac{1}{4}$ "



DIMENSIONS	
Y	

TYPICAL STITCHING TIE APPLICATION


8







# Heli-Tie™ Helical Stitching Tie





 Image & Video Gallery

## On This Page

 Product Details

 Related Literature

 Product Information Table

 Drawings

 Related Products

## Crack Repair Accessories



This product's information may differ depending on the category of use. You are currently viewing details related to Crack Repair Accessories. You can also view product information related to the category: [Helical Ties](#)

The Simpson Strong-Tie® Heli-Tie helical stitching tie provides a unique solution to the preservation and repair of damaged brick and masonry structures. Ties are grouted into existing masonry joints to repair cracks and increase strength with minimum disturbance. Made of Type 304 stainless steel, the Heli-Tie stitching tie features radial fins formed on the steel wire via cold rolling process, increasing the tensile strength of the tie.

## Key Features

- Helical design distributes loads uniformly over a large surface area
- Installs into the mortar joint to provide an inconspicuous repair and preserve the appearance of the structure
- Type 304 stainless steel offers superior corrosion resistance to mild steel reinforcement
- Consistent, uniform helix configuration
- Batch number printed on each tie for easy identification and inspection

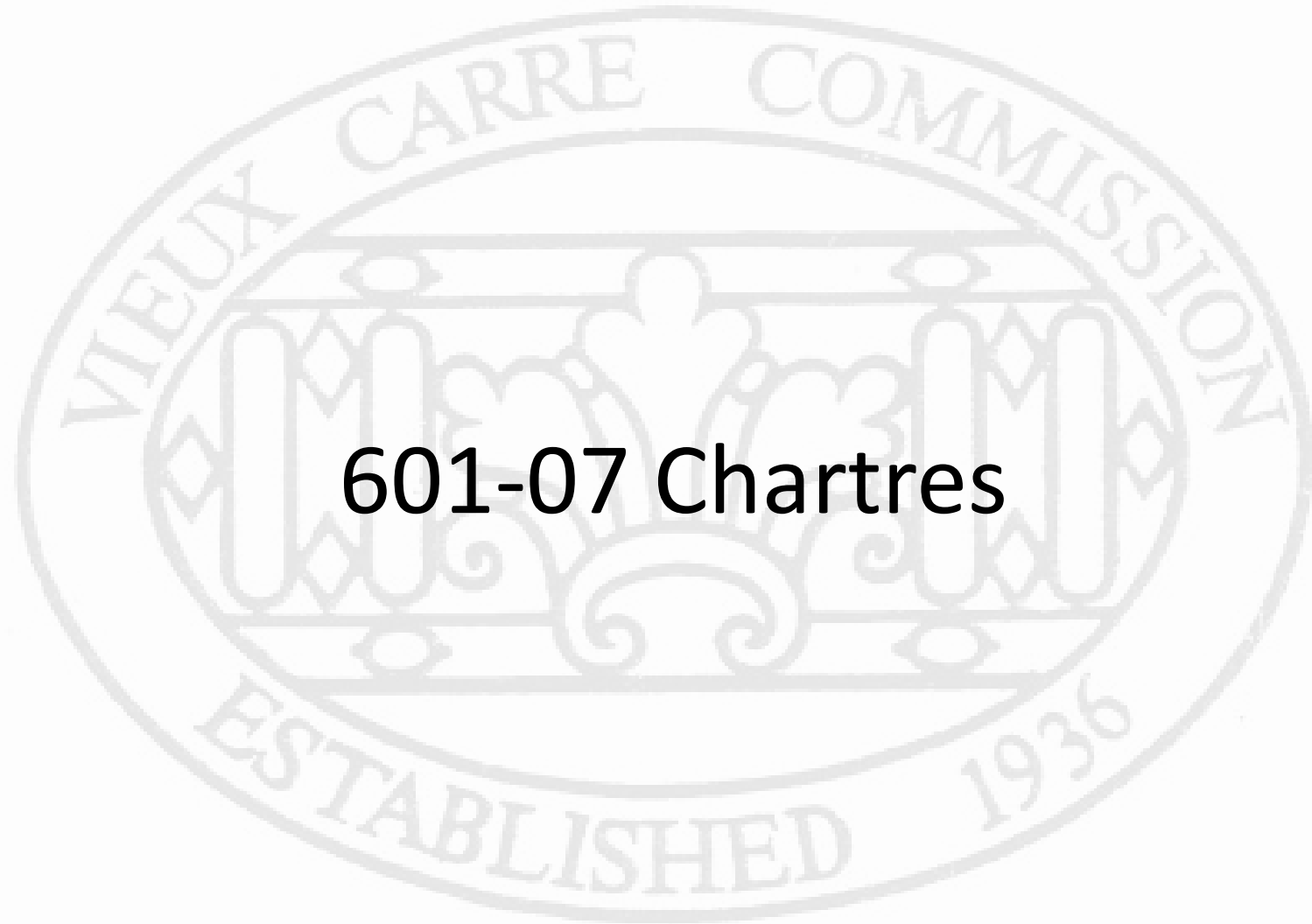
## Material

- Type 304 stainless steel

## Installation

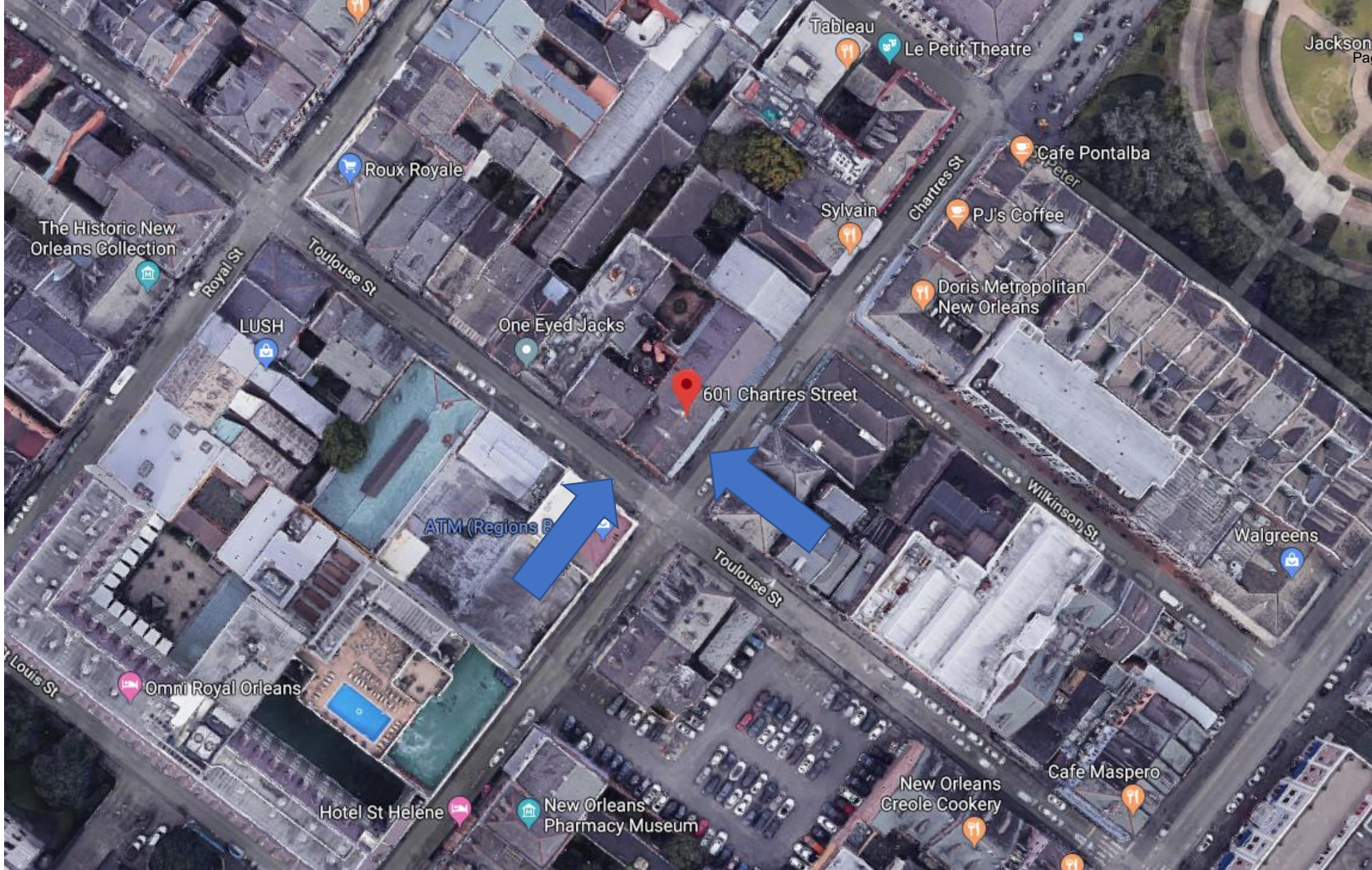
- Chase bed joint 20" on either side of the affected area to a depth of approximately 1 1/4" with a rotary grinding wheel. Vertical spacing of installation sites should be 12" for red brick or "every other course" for concrete masonry units.
- Clear bed joint of all loose debris.
- Mix non-shrink repair grout or mortar per product instructions and place into the prepared bed joint, filling the void to approximately two-thirds of its depth.
- Embed the tie at one-half the depth of the void. Trowel displaced grout to fully encapsulate the tie.
- Fill any remaining voids and vertical cracks with non-shrink repair grout or other repair mortar to conceal repair site.





**601-07 Chartres**





601 Chartres

VCC Architectural Committee

January 10, 2023







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January 10, 2023







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January 10, 2023





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January 10, 2023





# CONSTRUCTION DOCUMENTS

## 601 CHARTRES ST CORNER REPAIR

601 CHARTRES ST  
NEW ORLEANS LA 70130

### PROJECT DESCRIPTION

EXTERIOR REPAIRS OF THE DAMAGED EXTERIOR 2ND FLOOR  
BALCONY CORNER WHERE A VEHICLE STRUCK.

### OWNER:

APASRA PROPERTIES LLC  
442 CANAL ST STE 206  
NEW ORLEANS, LA 70130

**ZONING DISTRICT:** VCC-2 VIEUX CARRÉ COMMERCIAL DISTRICT

**NO. OF STORIES:** 2

**PROJECT ON FLOOR:** EXTERIOR ONLY

### CONSTRUCTION TYPE:

IBC/IFC: NFPA: COMMON TERMINOLOGY:  
TYPE III-B III (200) UNPROTECTED ORDINARY

### APPLICABLE CODES:

2015 IBC WITH NEW ORLEANS CODE ADOPTIONS  
2015 INTERNATIONAL MECHANICAL CODE  
2013 LOUISIANA STATE PLUMBING CODE  
2014 NATIONAL ELECTRIC CODE  
2015 ADA ADDA GUIDELINES

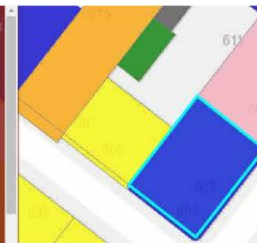
### ARCHITECT:

M3 DESIGN GROUP LLC  
3328 BANKS ST.  
NEW ORLEANS, LA 70119  
MYLES M MARTIN LIC#7597  
MYLES@M3-DESIGN-GROUP.COM  
504-345-8950

### STRUCTURAL ENGINEER:

AP ENGINEERING  
JOSH JUNEAU  
NEW ORLEANS, LA

### PROJECT INFORMATION



1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
3. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
4. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR FOR ALL WALL HUNG ITEMS TO BE INSTALLED THAT ARE NOT ON THE DRAWINGS.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
6. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
7. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
8. COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
9. THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
10. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
11. ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

### GENERAL NOTES

### SHEET LIST

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A0	TITLE SHEET	12/27/22			
A1	CORNER REPAIR	12/27/22			
A2	CORNER REPAIR - DAMAGED CORNER OUTRIGGER	12/27/22			
A3	OUTRIGGER STRAP DETAIL	12/27/22			
S0.0	STRUCTURAL CORNER REPAIR DETAIL	12/27/22			

601 CHARTRES ST  
NEW ORLEANS LA 70130  
601 CHARTRES ST CORNER REPAIR

TITLE SHEET  
12/27/22

A0

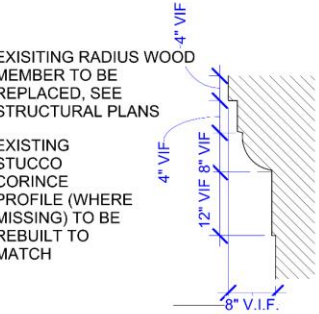


M3 DESIGN GROUP

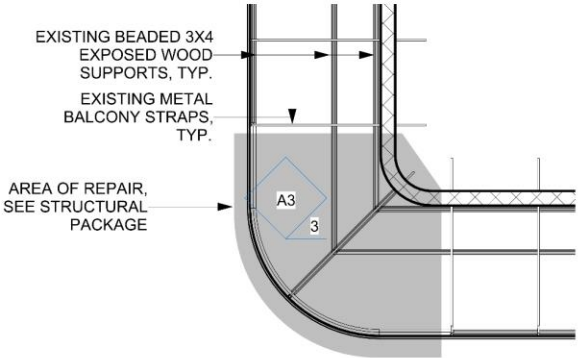




NEW WOOD FASCIA AND UPPER TRIM PEICE AT UNDERSIDE OF DECKING TO BE REPLACED WHERE DAMAGED. MATCH EXISTING PROFILES IN LIKE AN KIND.



SEE A2 & A3 FOR STEEL OUTRIGGER CONNECTION DETAIL



2 EXTERIOR CORNER - REFLECTED CEILING PLAN  
3/16" = 1'-0"



**MORTAR**  
**PREPACKAGED MIXES ARE NOT PERMITTED.**  
NO MORE THAN:

- 1 PART PORTLAND CEMENT, TO
- 3 PARTS LIME, AND
- 9 PARTS SAND, AND
- ENOUGH WATER TO FORM A WORKABLE MIX.

THE RESULTING MORTAR SHOULD RANGE IN COLOR FROM WHITE TO BEIGE BUT SHOULD NOT BE GREY IN COLOR. WHEN REPOINTING, ALL MORTAR TO BE TOOLED TO MATCH EXISTING JOINT PROFILES. CONSULT WITH VCC STAFF IF EXISTING JOINT PROFILE INDETERMINATE.

**STUCCO**  
**PREPACKAGED MIXES ARE NOT PERMITTED**

BASE COAT CONSISTS OF 2 COATS, DOUBLED UP WORK OF 5/8" TOTAL THICKNESS. PROPORTIONED AS FOLLOWS:

- NO GREATER THAN 1:12 PART PORTLAND CEMENT, TO
- 3 PARTS LIME, AND
- 9 PARTS SAND, AND
- 6 LBS./CUBIC YARD HAIR OR FIBER, AND
- ENOUGH WATER TO FORM A WORKABLE MIX.

FINISH COAT IS 1/4" IN TOTAL THICKNESS PROPORTIONED AS FOLLOWS:

- NO MORE THAN 1 PART PORTLAND CEMENT,
- 3 PARTS LIME,
- 9 PARTS SAND,
- ENOUGH WATER TO FORM A WORKABLE MIX.

THE RESULTING MIX SHOULD RANGE IN COLOR FROM WHITE TO BEIGE BUT SHOULD NOT BE GREY IN COLOR. NOTE: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12. AN INCORRECT MORTAR CAN DAMAGE AN HISTORIC BUILDING AND ITS MATERIALS.

- BALCONY FLOORS: REPAIR EXISTING T-N-G WOOD DECK BOARDS WITH MATERIAL TO MATCH EXISTING
- ALL REPAIR/REPLACE WORK SHALL MATCH EXISTING IN MATERIAL, DIMENSION, SIZE, PROFILE, EXPOSURE, RELIEF, DETAIL, SHAPE, CONFIGURATION, TYPE AND OPERATION UNLESS OTHERWISE SPECIFIED.
- ALL EXTERIOR TRIM, SOFFIT, FASCIA, ETC. TO BE SOLID WOOD, TREATED FOR EXTERIOR USE, AND AIR OR KILN DRIED PRIOR TO INSTALLATION. ALL WORK DONE IN PREPARATION FOR PAINTING. STAIN TREATMENT IS NOT APPROVED FOR BUILDING SIDING, TRIM, WINDOWS, SHUTTERS, SOFFITS OR DECKING.
- ALL CHANGES OR ADDITIONAL WORK MUST BE APPROVED BY THE VCC

GENERAL NOTES - RENOVATION SCOPE

GENERAL NOTES - VCC STUCCO & MORTAR DETAILS

601 CHARTRES ST CORNER REPAIR

CORNER REPAIR  
12/27/22

A1

601 CHARTRES ST  
NEW ORLEANS LA 70130



M3 DESIGN GROUP





STEEL OUTRIGGER END  
CONDITION



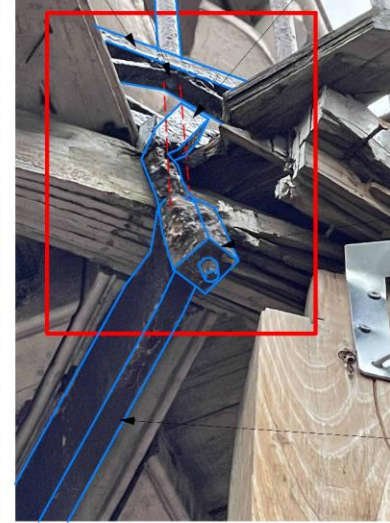
STEEL OUTRIGGER END  
CONDITION



CONNECTION POINT TO RAILING

EXISTING GUARDRAIL

SQUARE VERTICAL STUB UP  
WELDED TO EXISTING GALLERY  
GUARDRAIL BOTTOM



FINAL METAL STRAP  
OUTRIGGER END  
CONDITION REPAIR TO  
MATCH ADJACENT &  
SIMILAR EXISTING  
CONDITIONS

BENT CONNECTION  
END

STEEL OUTRIGGER

DAMAGED OUTRIGGER



ADJACENT OUTRIGGER

601 CHARTRES ST  
NEW ORLEANS, LA 70130

601 CHARTRES ST CORNER REPAIR

CORNER REPAIR - DAMAGED CORNER OUTRIGGER

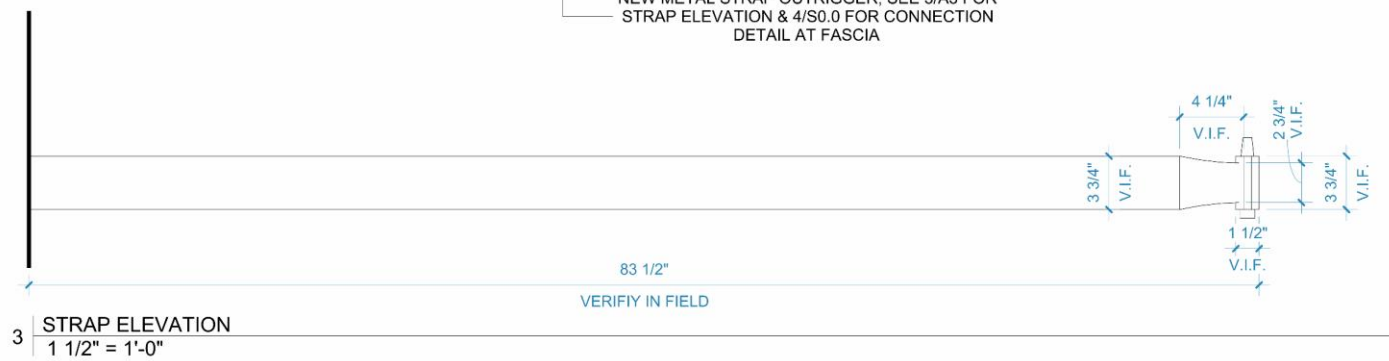
12/27/22

A2



M3 DESIGN GROUP



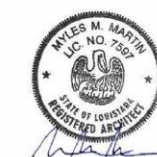


601 CHARTRES ST  
NEW ORLEANS LA 70130

**601 CHARTRES ST CORNER REPAIR**

OUTRIGGER STRAP DETAIL  
12/27/22

**A3**



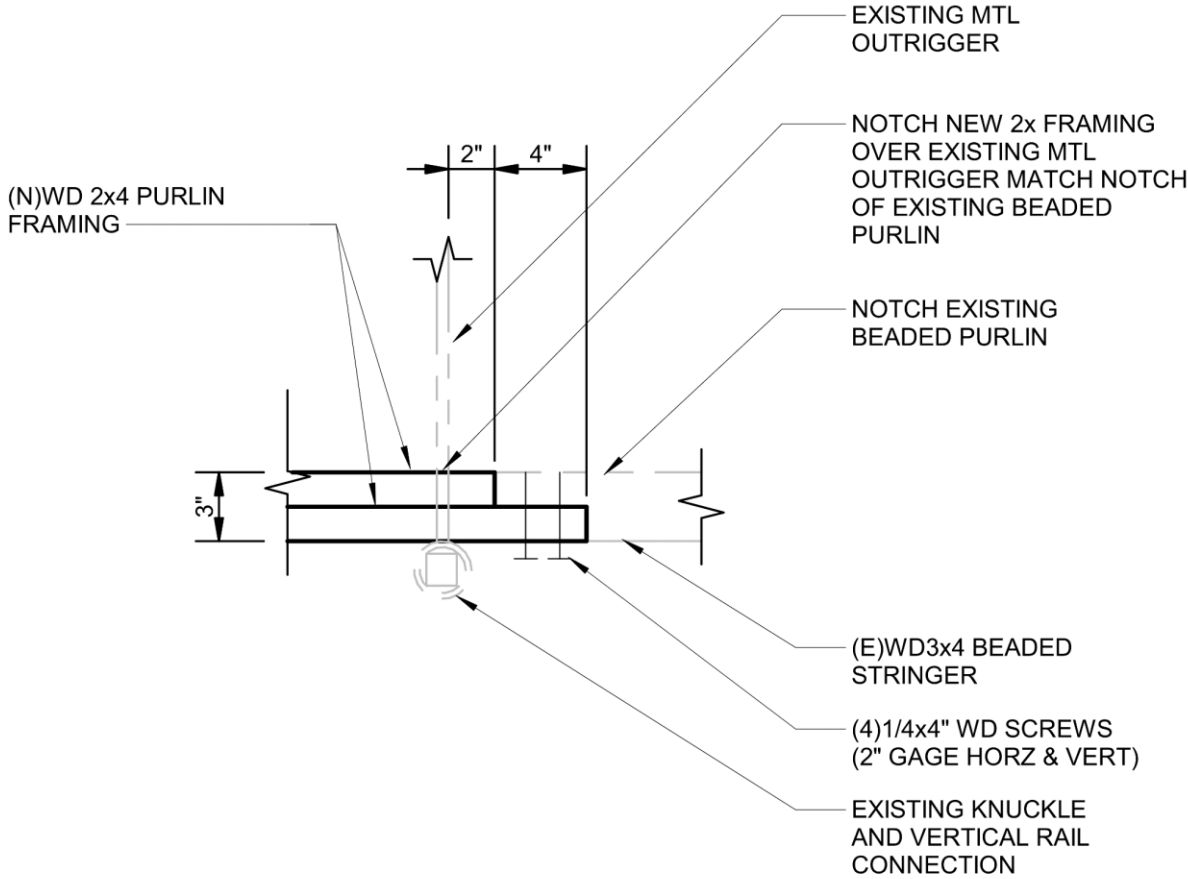
M3 DESIGN GROUP





- ## 601 Chartres



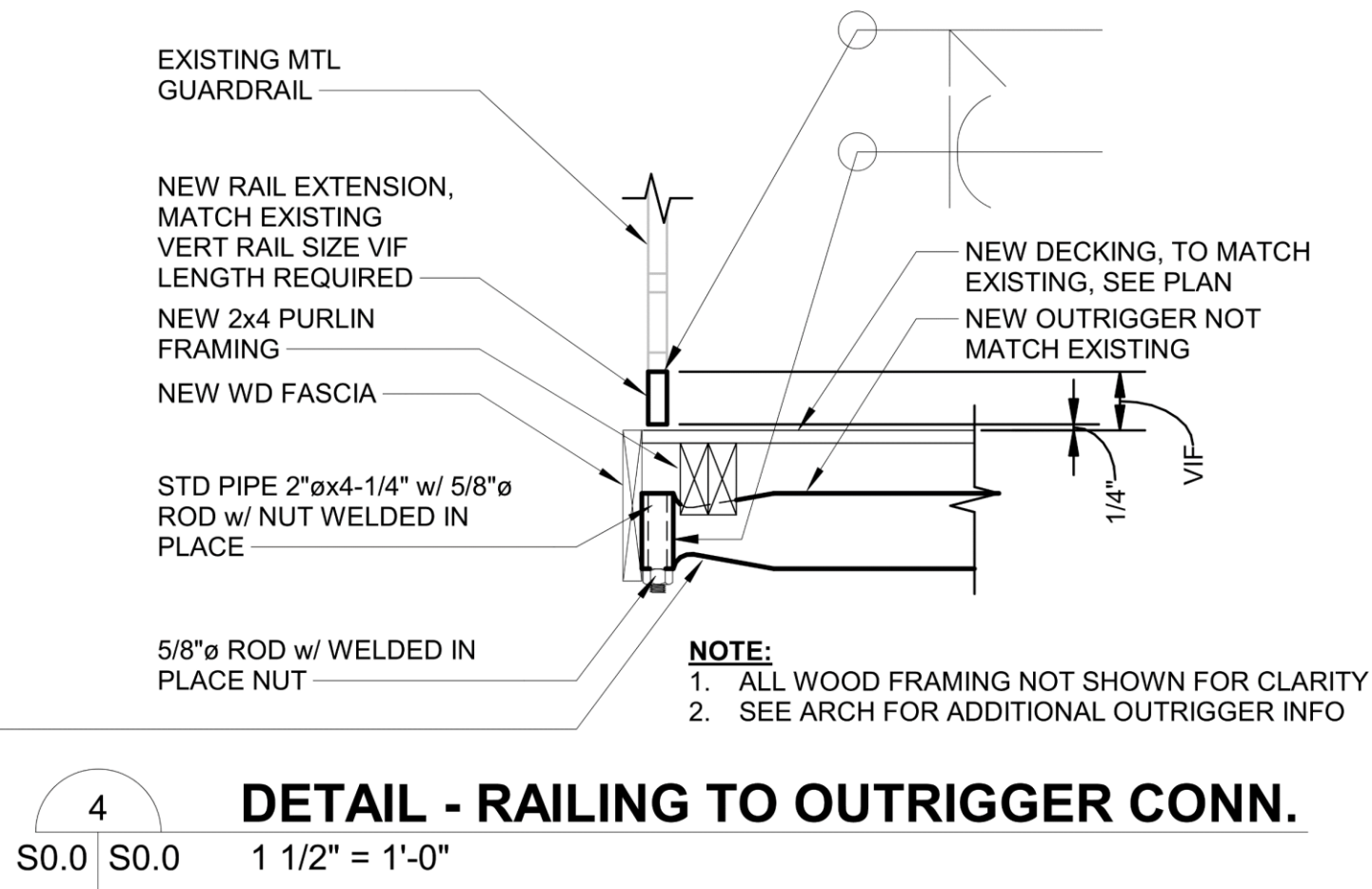


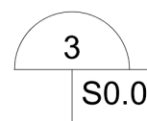
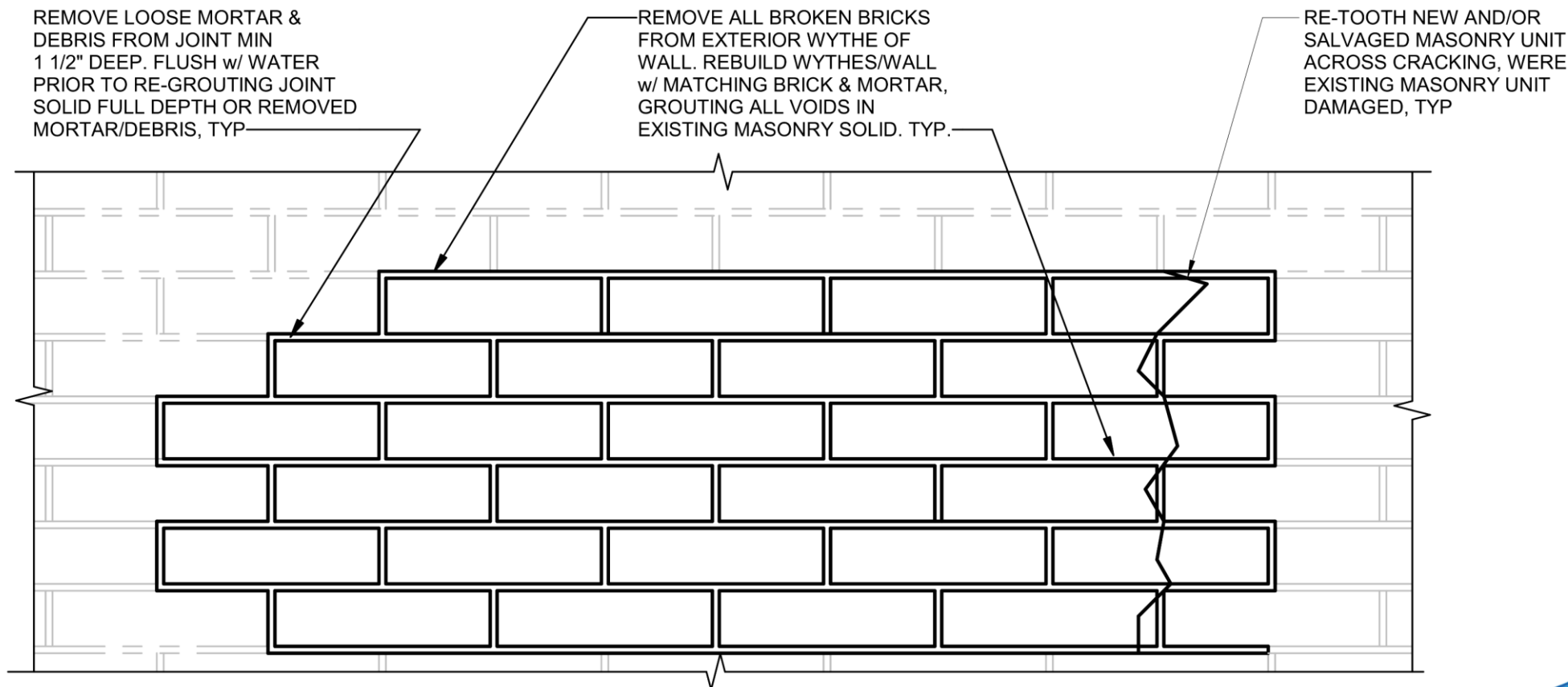
5  
S0.0 | S0.0  
**SECTION**  
1 1/2" = 1'-0"





# MATCH ADJACENT OUTRIGGER END PROFILES AND CONNECTIONS





## DETAIL - TUCK POINTING

1 1/2" = 1'-0"







# 601-07 Chartres

(deferral for applicant to attend)



**1000-12 St Philip,  
941 Burgundy**





1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023







1000-1012 St. Philip, 941 Burgundy – 1963

VCC Architectural Committee

January 10, 2023







1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023





1000-1012 St. Philip, 941 Burgundy – 1930s-40s





1000-1012 St. Philip, 941 Burgundy – late 1940s-50s?



1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023







1000-1012 St. Philip, 941 Burgundy – 2005





1000-1012 St. Philip, 941 Burgundy – 2005

VCC Architectural Committee

January 10, 2023







1000-1012 St. Philip, 941 Burgundy – 2008





1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023







1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023



VIEUX CARRÉ COMMISSION  
CITY OF NEW ORLEANS

MITCHELL J. LANDRIEU  
MAYOR

LARY P. HESDORFFER  
DIRECTOR

Page 249 of 265

November 13, 2012

Philip Stein  
1000 St Philip St  
New Orleans, LA 70116

**NOTICE OF VIOLATION**

The Vieux Carré Commission (VCC) was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its buildings deemed of quaint and distinctive historical value for the benefit of the people of the City and State. Chapter 166 of the 1995 Code of the City of New Orleans (the Code) outlines specific laws which were created to assist the Commission in maintaining the preservation of the Vieux Carré.

A recent inspection of your property located at 1000 St Philip St revealed the following violations observed on during a site visit.

***Rear dependency colonettes and railing improperly replaced without benefit of application or permit; white painted wooden member attached to 2<sup>nd</sup> floor rear dependency colonette and located above stair rail, with attached metal projections, installed without benefit of application or permit.***

CCNO 166-35	<b>Submission of Plans for Exterior Change</b>	Before the commencement of any work in the erection of any new building or in the alteration or addition to, or painting or repainting or demolishing of any existing building, where any portion of the exterior of the building is in the Vieux Carré section, application by the owner for a permit therefore shall be made to the Vieux Carré Commission, accompanied by the full plans and specifications thereof so far as they relate to the proposed appearance, color, texture of materials and architectural design of the exterior, including the front, sides, rear and roof of such building, alteration or addition or of any out building, party wall, courtyard, fence or other dependency thereof.
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You must contact this office within fourteen (14) days and / or submit the enclosed application so that we can advise you how to correct the aforementioned violations and consider issuing a permit for that work which is approvable.

**If these violations are not remedied within 30 days, the Vieux Carré Commission is empowered under Section 166-123 of the Code of the City of New Orleans to prosecute or have prosecuted such violations of the article in municipal court of The City of New Orleans or other courts of competent jurisdiction, either civil or criminal.**

**Violations of any such provision of this Code may be punished by a fine, or imprisonment for not more than five months, or both.**

It is imperative that you deal with this situation now. Only with your cooperation can we continue the preservation of the Vieux Carré. If you have any questions, please do not hesitate to call Charles Berg at 658-1420. Thank you in advance for attending to this matter promptly.

Sincerely,

Lary P. Hesdorffer  
Director

1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023





5/19/2014

Karen Glaser Stein  
1000 St Philip St  
New Orleans, LA 70116

### ***NOTICE OF VIOLATION***

The Vieux Carré Commission (VCC) was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its buildings deemed of quaint and distinctive historical value for the benefit of the people of the City and State. Chapter 166 of the 1995 Code of the City of New Orleans (the Code) outlines specific laws which were created to assist the Commission in maintaining the preservation of the Vieux Carré.

A recent inspection of your property located at 1000-1012 St Philip St revealed the following violations observed on 3/25/2014 during a site visit.

The violations that were cited in a notice of violation dated 11/13/12 as well as the violations discussed at the architecture committee meeting of 11/26/13 have yet to be resolved. A summary of those violations is below:

- The columns of the rear dependency have been inappropriately replaced.
- The masonry wall has been altered and an iron hedgehog has been installed, without VCC permit.
- The soffit has been inappropriately replaced and the balcony underside has been improperly enclosed without VCC permits. The second floor soffit should be enclosed using beaded board, contrary to the coffered ceiling in place. Historically, the balcony underside was not enclosed.
- Recessed lighting was installed on both levels without VCC permits.
- A large, unsuitable stair handrail with lights on top was installed without benefit of any permits.
- The stair was enclosed without any permits.
- The installation of some type of mechanical equipment, evidenced by the vent on the exterior of the stair enclosure, was also done without benefit of any permits.
- The installation of an inappropriate column and board beneath the balcony, adjacent to the stair, was performed without any permits.

In addition to these violations, it was observed that a small area of at least the ground floor of the St Philip elevation of the rear dependency is in need of repointing with proper VCC mortar mix.

CCNO 166-35    **Working  
without  
required  
approval**

Before the commencement of any work in the erection of any new building or in the alteration or addition to, or painting or repainting or demolishing of any existing building, where any portion of the exterior of the building is in the Vieux Carré section, application by the owner for a permit therefore shall be made to the Vieux Carré Commission, accompanied by the full plans and specifications thereof so far as they relate to the proposed appearance, color, texture of materials and architectural design of the exterior, including the front, sides, rear and roof of such building, alteration or addition or of any out building, party wall, courtyard, fence or other dependency thereof.

1300 PERDIDO STREET | 7TH FLOOR | NEW ORLEANS, LA 70112  
PHONE 504-658-1420 | FAX 504-658-6742

1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023



10/8/2019

Philip Stein  
1000 St Philip St  
New Orleans, LA 70116

**Case Number: 19-10078-VCCNOP**

**NOTICE OF VIOLATION**

The Vieux Carré Commission (VCC) was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its buildings deemed of quaint and distinctive historical value for the benefit of the people of the City and State. Chapter 166 of the 1995 Code of the City of New Orleans (the Code) outlines specific laws that were created to assist the Commission in maintaining the preservation of the Vieux Carré.

A recent inspection of your property located at 943 Burgundy St, 1000 St Philip St, 1012 St Philip St revealed the violations listed on the reverse, which were observed on 10/8/2019 during a site visit.

You must contact this office within fourteen (14) days and / or submit a Renovation permit application online at <http://onestopapp.nola.gov> so that we can advise you how to correct the aforementioned violations. Filing a Renovation permit will notify both Safety and Permits and the Vieux Carré Commission.

You must obtain approved, physically signed VCC permits prior to beginning the work on the property to correct the violation. Permit applications must have a clear and detailed scope of work supplied by the applicant. Certain cases may require architectural and/or shop drawings as well. Again, **DO NOT** begin work on the property to address violations until the VCC permit is approved by staff and signed by the applicant.

If the property is a condo, all owners listed with the tax assessor will be sent this letter. We ask condos to have one person or association president represent the property. If a property has a commercial tenant(s) in violation, they may receive this letter along with the property owner.

If these violations are not remedied within thirty (30) days, the Vieux Carré Commission is empowered under Section 166-123 of the Code of the City of New Orleans to prosecute or have prosecuted such violations of the article in municipal court of the City of New Orleans or other courts of competent jurisdiction, either civil or criminal.

It is imperative that you deal with this situation now. Only with your cooperation can we continue the preservation of the Vieux Carré. **Please contact Anthony Whitfield at (504) 658-1426 or email [abwhitfield@nola.gov](mailto:abwhitfield@nola.gov) first to answer any question and/or to schedule an office appointment.** Because of our small staff we may not be able to accommodate walk-ins.

Also please visit our website at <https://www.nola.gov/vcc/> for information including our Design Guidelines.

Thank you in advance for attending to this matter promptly.

Sincerely,

Anthony Whitfield  
Building Inspector

Approval: \_\_\_\_\_ Bryan Block, Director

1300 PERDIDO STREET, ROOM 7W03 | NEW ORLEANS, LOUISIANA | 70112  
PHONE 504.658.1429  
[WWW.NOLA.GOV](http://WWW.NOLA.GOV)



This property will be scheduled for an adjudication hearing if the violations are not addressed in the prescribed time.

At this hearing a fine of \$500 per violation can be placed on this property.

**Description of Violations at 943 Burgundy St, 1000 St Philip St, 1012 St Philip St:**

CCNO 166-35	Working Without Approval	Before the commencement of any work in the erection of any new building or in the alteration or addition to, or painting or repainting or demolishing of any existing building, where any portion of the exterior of the building is in the Vieux Carré section, application by the owner for a permit therefore shall be made to the Vieux Carré Commission, accompanied by the full plans and specifications thereof so far as they relate to the proposed appearance, color, texture of materials and architectural design of the exterior, including the front, sides, rear and roof of such building, alteration or addition or of any out building, party wall, courtyard, fence or other dependency thereof as follows:
CCNO 166-35	Walls	Weatherboard work appeared to be underway without approval and in defiance of a Stop Work Order posted on October 8, 2019 Wall material installed/constructed without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Trim	Underside of balcony on the rear building not completed as permitted Removal/alteration/installation/construction of window/door/building trim without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Balconies, Galleries	Balcony work underway without approval and in defiance of a Stop Work Order posted on October 8, 2019 Removal/alteration/installation/construction of the balcony/gallery without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Railings	Removal/alteration/installation/construction of the balcony/gallery/porch/step railings and/or railing extension without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Columns, Posts	Inappropriate columns installed on at least the rear building Removal/alteration/installation/construction of the balcony/gallery/awning columns/posts without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Security Cameras	Security camera(s) installed without benefit of VCC review or approval, or in deviation of permit. Permit approval with the VCC is required before installing security cameras
CCNO 166-35	Lighting	Impermissible lighting installed on the stair structure on the rear building without approval Impermissible light fixtures installed, impermissible colored/neon lights installed, impermissible string lights installed, light fixtures installed without benefit of VCC review or approval, and/or light fixtures installed in deviation of permit
CCNO 166-35	Plumbing	Impermissible exterior plumbing installed on the property, impermissible PVC plumbing installed on the property, plumbing installed on the property without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Wires, Conduits	Unused wiring/conduits should be removed and remaining, loose wiring/conduits should be properly secured and painted to match the building.
CCNO 166-35	Stairs	Impermissible columns installed on stairs at the rear dependency Removal/alteration/installation/construction of stairs without benefit of VCC review or approval, or in deviation of permit

1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023







1 Inappropriate Balcony Columns

ACTION: REMOVE ALL (8) EXISTING COLUMNS AND REPLACE WITH NEW PER DETAIL 1A.



1A Replacement Column  
scale: 1-1/2" = 1'-0"



2 Altered Masonry Wall without Benefit of Permit  
Hedgehog Installation without Benefit of Permit

ACTION: REQUEST RETENTION OF ALTERED MASONRY WALL AND HEDGEHOG FOR SECURITY REASONS.



3 Inappropriate Balcony Underside Enclosure  
Recessed Lighting Installed without Benefit of Permit

ACTION: REQUEST RETENTION OF ENCLOSURE AND RECESSED CAN LIGHTS.  
NOTE: UNDERSIDE OF BALCONY ALONG ST. PHILIP STREET IS UNENCLOSED.



4 Inappropriate Coffered Balcony Ceiling  
Recessed Lighting Installed without Benefit of Permit

ACTION: REQUEST RETENTION OF COFFERED CEILING AND RECESSED CAN LIGHTS.



5 Inappropriate Handrail with Lights Installed

ACTION: DEMOLISH AND REMOVE EXISTING LIGHTING, BEAMS AND COLUMNS DOWN TO THE HANDRAIL.



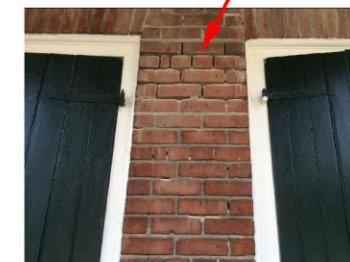
6 Underside of Stair Enclosed without Benefit of Permit  
Installation of Exhaust Vent without Benefit of Permit

ACTION: REQUEST RETENTION OF ENCLOSURE. RELOCATE EXHAUST FROM GAS WATER HEATER TO BACK SIDE OF ENCLOSURE.



7 Inappropriate Column and Board beneath Balcony

ACTION: DEMOLISH AND REMOVE EXISTING COLUMN AND BOARD.



8 Need for Brick Re-pointing

ACTION: SURVEY ENTIRE MASONRY STRUCTURE AND REPOINT BRICK WHERE NEEDED WITH VCC APPROVED MORTAR FORMULA.

1012 St. Philip Street  
Exterior Plan of Correction

New Orleans,  
Louisiana

A-1

TERRELL  
FABACHER  
ARCHITECTS, L.L.C.

1525 ST. CHARLES AVE. SW-500  
NEW ORLEANS, LA 70130  
504-596-1350 TEL.  
504-596-1350 FAX

THIS PLAN IS A CORRECTION  
TO THE EXISTING PLAN  
AND IS NOT TO BE USED  
FOR ANY OTHER PROJECT  
WITHOUT THE WRITTEN  
CONSENT OF THE ARCHITECT.  
THE ARCHITECT IS NOT  
RESPONSIBLE FOR ANY  
VIOLATIONS OF ANY  
CITY, STATE OR FEDERAL  
LAWS OR REGULATIONS.

NO. REVISIONS

DATE	BY
DATE	BY
DATE	BY
DATE	BY

NO. REVISIONS

DATE	BY
DATE	BY
DATE	BY
DATE	BY

NO. REVISIONS

DATE	BY
DATE	BY
DATE	BY
DATE	BY



**The Vieux Carré Commission hereby grants permission  
for the approved work specified below.**

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets Commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

Address:	1012 St Philip St	Phone:	504-566-1320
Applicant:	Kirk Fabacher		
Owner:	Philip Stein		
Contractor:			

**Work approved:**

Correct violations per drawings approved by the Architecture Committee 02/24/15 and stamped approved 03/25/15 and per revised fascia detail stamped approved 03/25/15

- Existing columns to be removed and replaced with columns to match previously existing
- Demolish existing lighting, beams, and columns above the balcony stairs down to the handrail
- Relocate exhaust from gas water heater to N Rampart side of enclosure
- Demolish existing column and board installed below balcony
- Repoint as necessary throughout property using VCC approved mortar recipe below
- Modify underside of balcony as per detail submitted 03/23/15

Also approved is the retention of additional masonry wall and hedgehog installed above courtyard wall, under balcony enclosure and lighting, coffered balcony ceiling and lighting, and under stair enclosure.

**Mortar:** No more than 1 part Portland Cement, to 3 parts lime, 9 parts sand, and enough water to form a workable mix. Prepackaged mixes are not permitted. The resulting mortar should range in color from white to beige but should not be grey in color.

**Note:** RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12.

**NOTE: Permit issued in response to violations. Work shall commence no less than 30 days after permit is issued. Work must be completed no less than 60 days after work begins. Owner will call VCC for final inspection upon completion of work.**

**All work must conform to standard VCC policies & guidelines.**

Estimated cost: \$ 10,000 ngalbrecht 3/25/2015

1000-1012 St. Philip, 941 Burgundy







**Balcony Work w/o Approval--  
Request To Retain**

Scale: NTS



**Inappropriate Columns & Coffered  
Ceiling--Request to Retain**

Scale: NTS



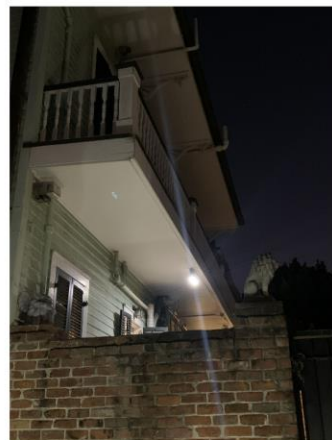
**Vegetation on Ironwork --  
Request To Retain**

Scale: NTS  
Potted vegetation secured to iron trellis & fence ironwork



**Inappropriate Flood Lights  
Request To Retain**

Scale: NTS



**Security Cameras w/o Approval --  
Request To Retain**

Scale: NTS  
See included specification sheets from manufacturer



**NOT FOR CONSTRUCTION**

**Copyright Note**

Information contained on these documents is part of the Architect's instruments of service, and the Architect shall retain ownership thereof. Such information shall not be used for any purpose other than for schematic design of the referenced project. Any other use, reuse, or modification of the documents without the Architect's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Architect.

Brian Gille  
ARCHITECT

DATE: 14 DECEMBER 2022  
REVISION:  
REVISION: JTP  
REVISION: RJS  
PROJECT NUMBER:  
1578

PROCESSED PRINTS

NOT FOR CONSTRUCTION  
PROCESSED PRINTS

DATE OF CALIBRATION:  
1/10/23



**Inappropriate PVC Plumbing  
To Be Replaced With Cast Iron**  
Scale: NTS



**Vegetation on Masonry  
Walls To Be Removed**  
Scale: NTS



**Inappropriate Ceiling & Trim--  
To Be Removed**

Scale: NTS

Removal of existing finished ceiling and trim; repair any moisture damage to balcony structure and paint.

New can light flush mount fixtures per VCC requirements installed at underside of balcony structure and centered over each door.

Loose wiring to be removed and/or secured in new conduit



**Inappropriate Lighting, Beam, & Columns  
To Be Removed Down To Handrail**  
Scale: NTS

NOT FOR CONSTRUCTION

**Copyright Note**

Information contained on these documents is part of the Architect's statements of service, and the Architect shall retain ownership thereof. Such information shall not be used for any purpose other than for schematic design of the referenced project. Any other use, reuse, or modification of the documents without the Architect's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Architect.

<p><b>Brian Gille</b> ARCHITECT</p> <p>1000 BURGUNDY / 1012 ST PHILIP ST NEW ORLEANS, LA 70116 504.581.1234 brian@gillearchitect.com</p>	<p>DATE: 10/11/2022</p> <p>REVISION:</p> <p>APPROVED: JTP</p> <p>OPERATION: BJC</p> <p>PROJECT NUMBER: 1578</p>
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<p>PROJECTS FINISHED</p> <p>NOT FOR CONSTRUCTION</p> <p>PROJECTS IN PROGRESS</p>	<p>DATE: 10/11/2022</p>
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1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023







1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023







1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023





1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023







1000-1012 St. Philip, 941 Burgundy

VCC Architectural Committee

January 10, 2023





1000-1012 St. Philip, 941 Burgundy





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VCC Architectural Committee

January 10, 2023







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January 10, 2023





1000-1012 St. Philip, 941 Burgundy