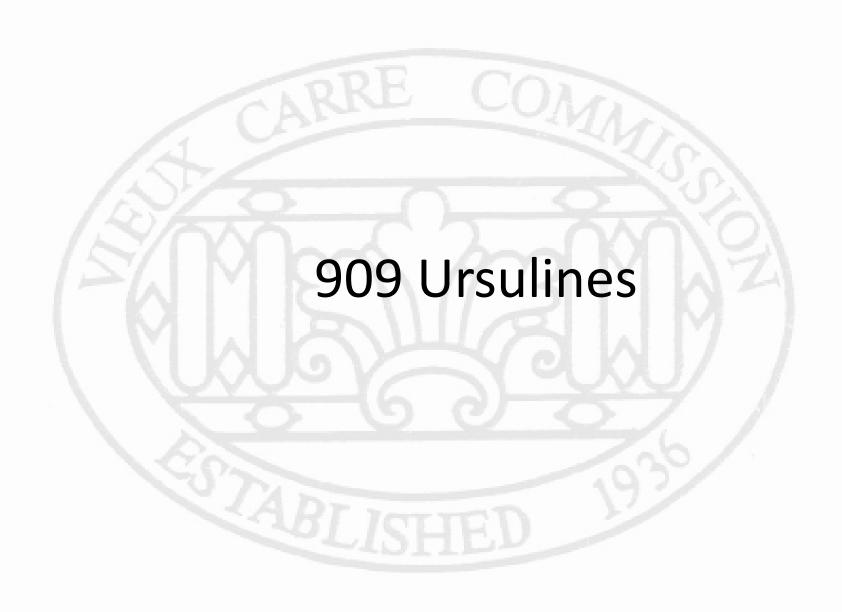
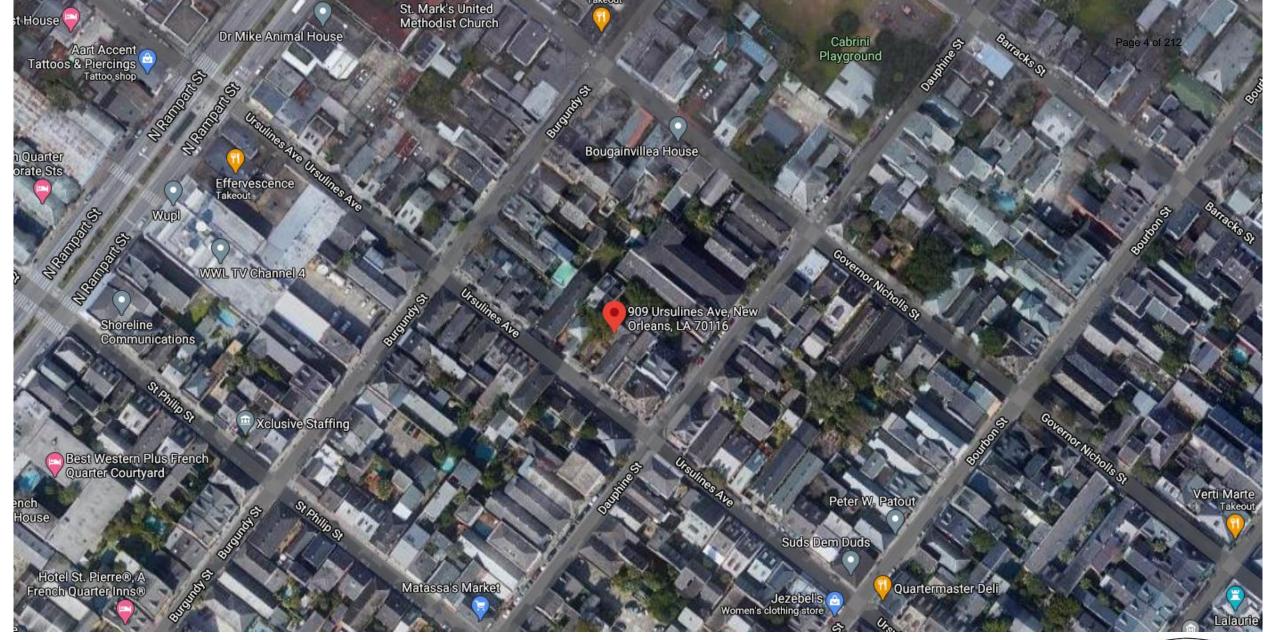
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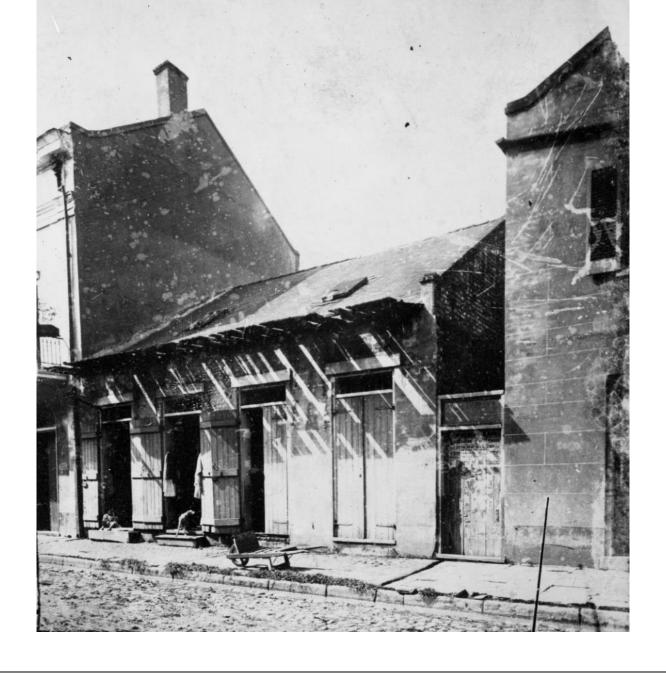






909 Ursulines











909 Ursulines – 1963











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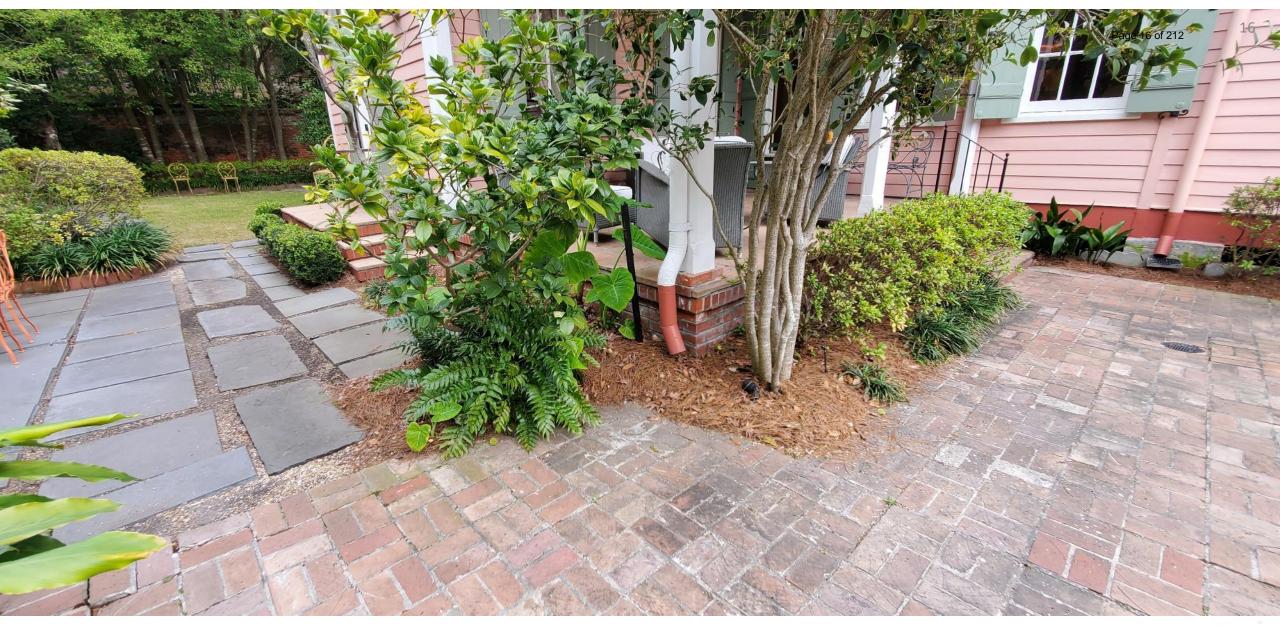






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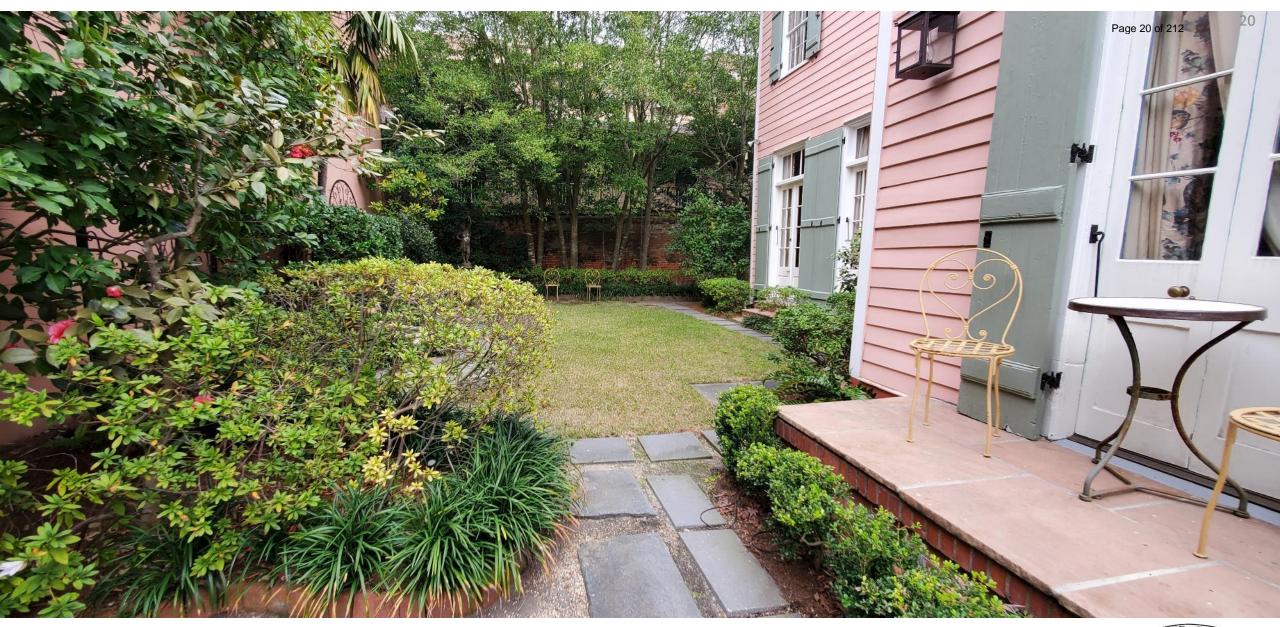












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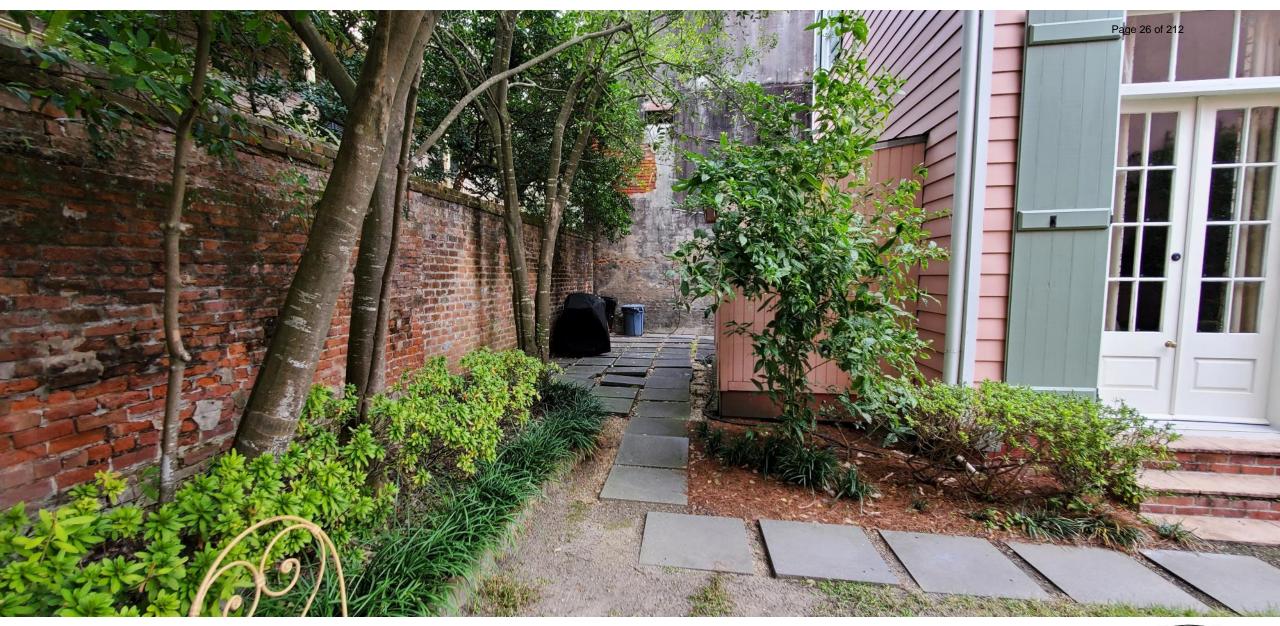
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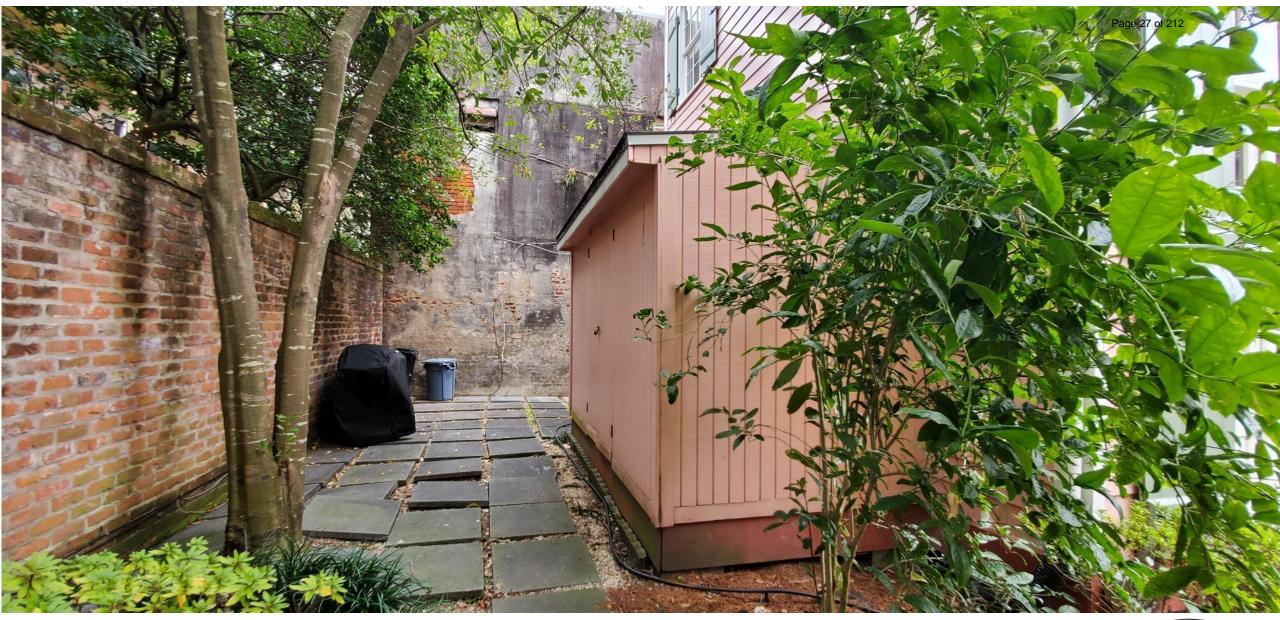






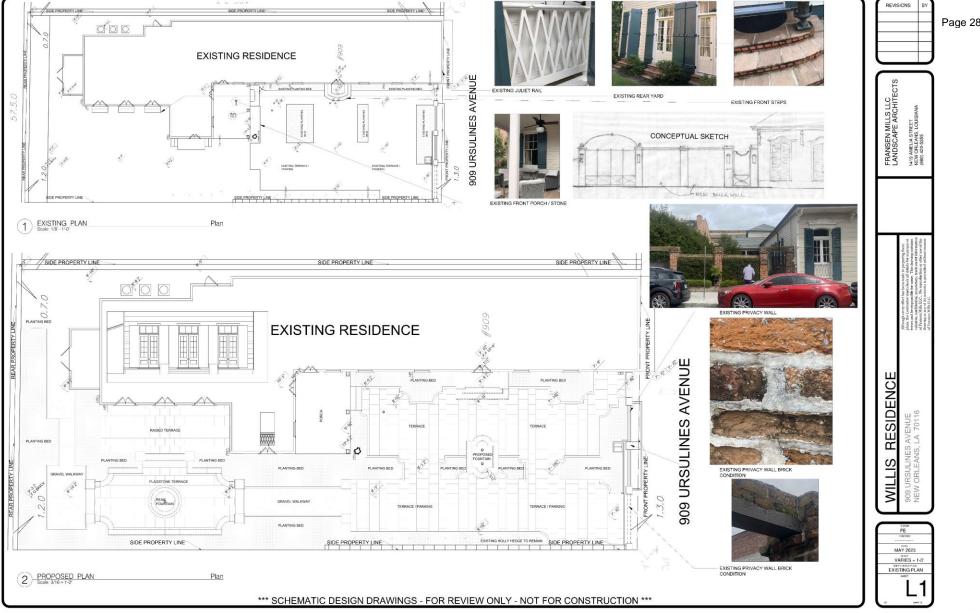
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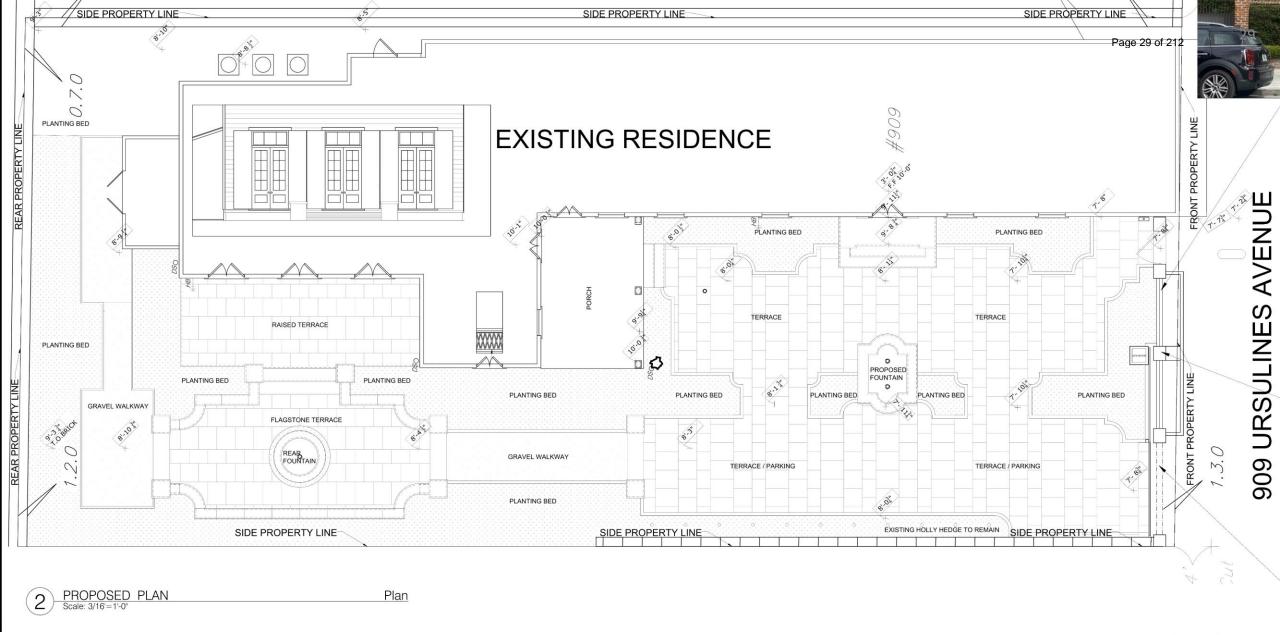
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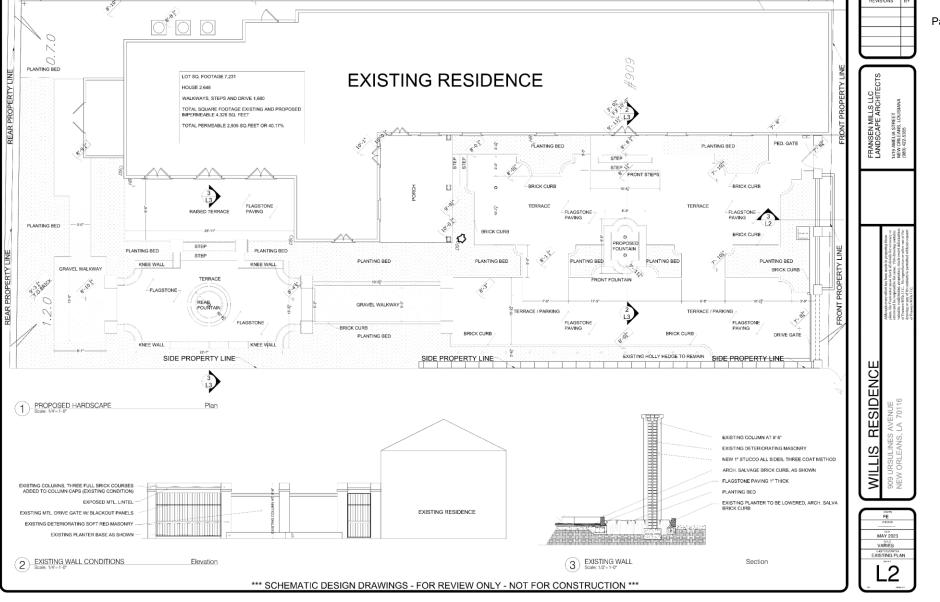






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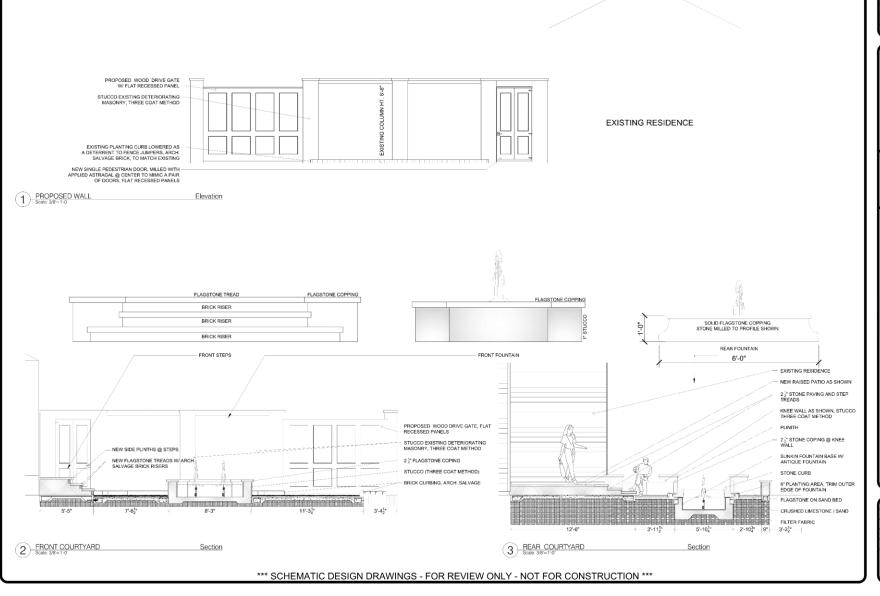




RESIDENCE

EXISTING PLAN





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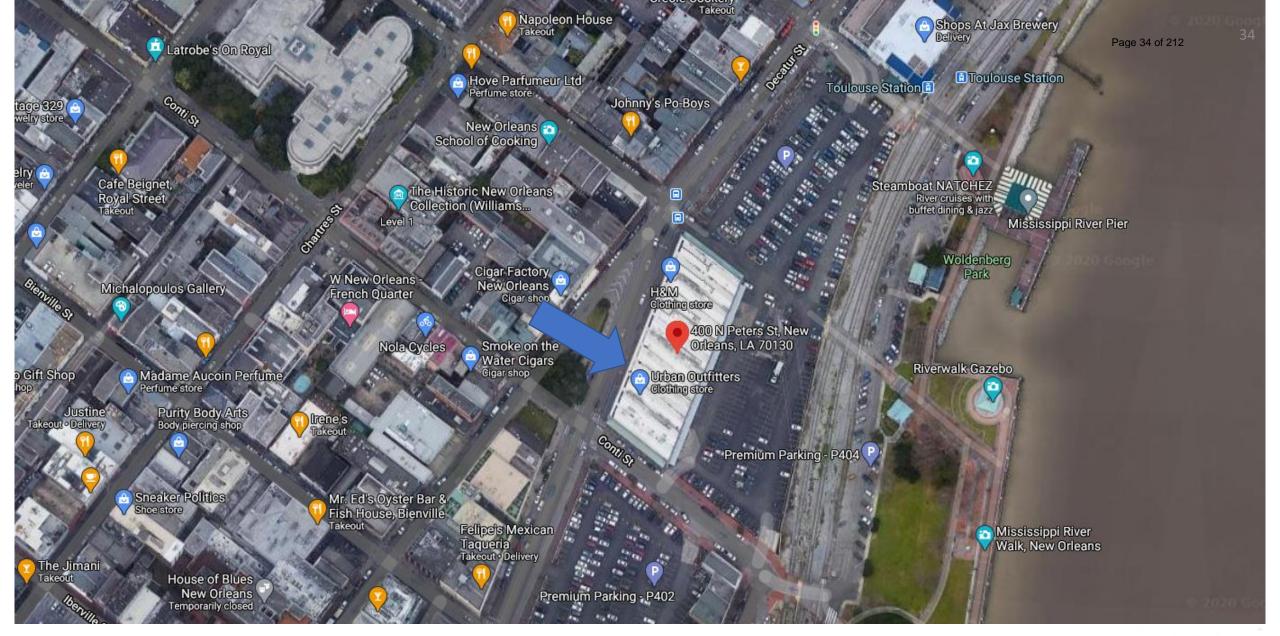




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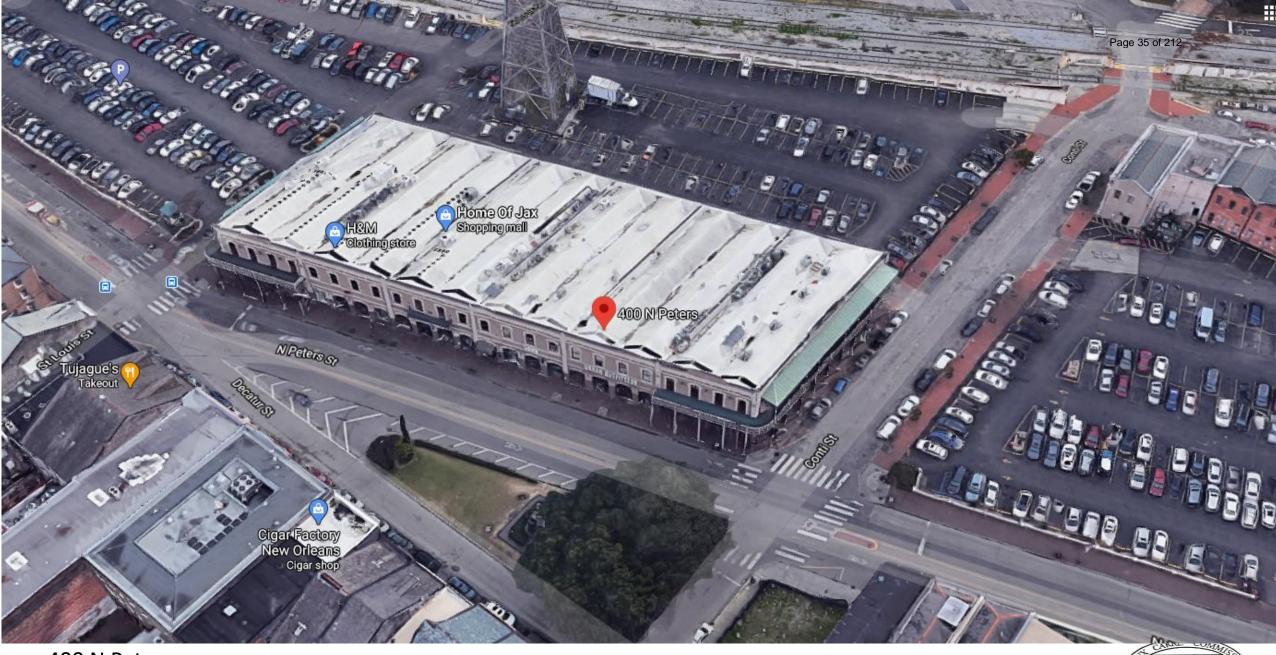
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400 N Peters

VCC Architectural Committee

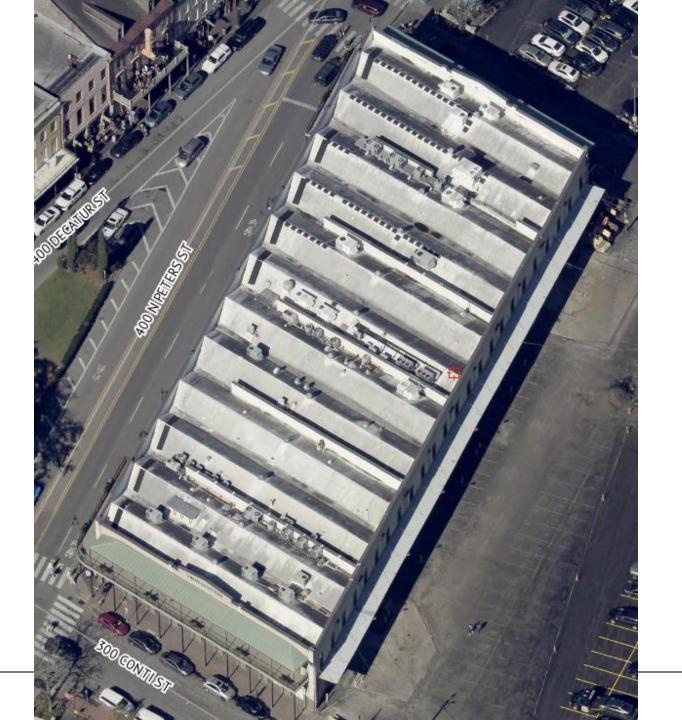




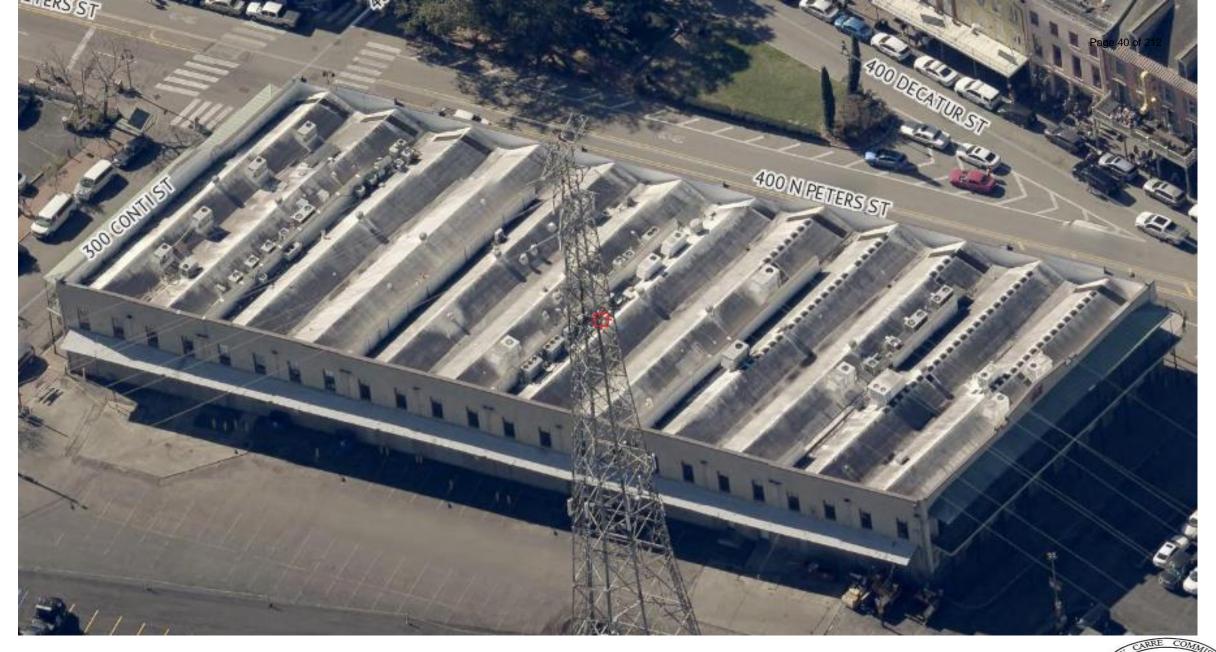












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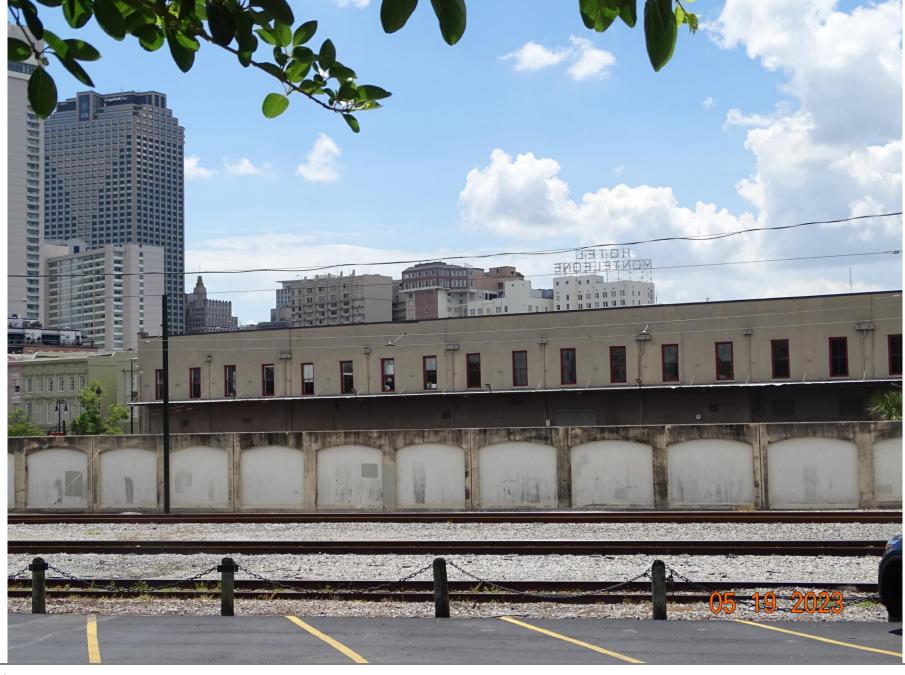
























S.OLSON ARCHITECT, 400 N.PETERS, SUITE 209, NEW ORLEANS, LA. 70130

5.16.23

City of New Orleans, Vieux Carre Commission 1300 Period Street, Room 7W03 New Orleans, Louisiana, 70112

Re: Jackson Square Investment II LLC JAX Marketplace - 400 North Peters New Orleans, Louisiana 70130

RE: Marketplace Hurricane Ida Repairs and exterior renovations

The above referenced project concerns a building located at 400 North Peters in the service district zoned VCS. The building is rated Orange. The 4 bounding streets are Conti, North Peters, St. Louis and the River. It is an existing mercantile and business occupancy with no change of occupancy proposed.

Marketplace Hurricane Ida repairs and exterior renovation plans have been submitted through One Stop at this time to allow for a review by the VCC staff and ARC. There are numerous issues that relate to the exterior of the building that we would like to address.

 Existing second floor windows: Since the original construction in 1867, the building has had 2 major facade changes. The original stucco facade designed by Henry Howard was significantly modified in 1950 by the JAX Brewing Company to create a "modern industrial appearance." On the North Peters side, the first 20' of the structure was removed and replaced with painted brick and large rectangular horizontal steel windows at the second level. The ground floor became a loading dock. In 1986 the building went through a second major renovation that changed the facades to be more sympathetic to the original design appearance, with a combination of wood double hung windows and tall pair arched doors at the second level in hooded arched openings of stucco. All of the windows on the building, including the windows at the second level of the riverside facade that exist today are non-historic windows from the 1986 renovation. The existing window construction in wood, with large sizes, narrow profiles, and single glazing have created a susceptibility to damage from storms and hurricanes. Most recently, in Hurricane Ida numerous windows were lost. In an effort to improve the resilience and long-term viability of the building, this application proposes to replace the windows on the river and North Peters facades at the second level (24 on the River side and 15 on the North Peters Side) with an impact rated double hung window of aluminum to match the appearance of the existing double hung windows. The same profiles, shadow depth, muntin size and pattern will be maintained. The intention is to meet the scale and proportion criteria for new replacement windows that the National Park Service briefs identify as important. Note that replacement windows constructed of wood would not meet wind requirements and any attempt to make them more structurally capable would compromise the narrow sash and muntin dimensions that exist and are the hallmark appearance characteristics of historic windows within the district. A sample mockup of the proposed window wall will be presented at the ARC meeting. An appendix to this letter follows with excerpts from NPS preservation briefs regarding replacement window along with considerations related to this specific project.

- 2. Existing ground floor lobby entry to the stair and elevator leading to second floor offices. Currently an open iron gate serves as infill in the arched opening at this location. An arched Rage of pyf 2021 ting and ATM machine were approved by the VCC for work on this entry in 2007. This application proposes a glass door and storefront glazing similar to the existing retail glazing at the adjacent arched openings, in lieu of the iron gate and infill. A new ATM machine would be incorporated and recessed into the glazed panel on one side of the door.
- 3. The roof: The Marketplace Building (a free standing 2 story 306'x 117' structure) is topped with 12 parallel gable roofs, each 25' x 117'. Five demising parapet walls, internal to the exterior and running front to back separate the roof area into 6 sections (2 gables each). The valley between each roof is joined by a wide internal autter pan which diverts water to scuppers on the river side and internal drains 20' back from the North Peters Street Facade. The existing roof membrane consists of Poly Iso insulation over the original wood plank roof deck and a fully adhered EPDM membrane attached to both the sloped roofs and parapet walls. There are thirty-five Air Conditioning Units above the roof that service tenant spaces below. Supporting those, associated refrigerant piping, equipment platforms, numerous hoods, curbs, vents, and penetrations are placed on the roof. (See design drawings for the layout). The roof and parapet wall waterproofing sustained significant damage from Hurricane Ida. This application proposes to replace the roof and wall waterproofing in their entirety. Included would be demolition of the existing down to the original plank decking, examine for damage then cover with cover boards, Poly Iso insulation and a fully adhered 80 Mil TPO membrane. The equipment will be re-installed either new or possibly older existing units. A new coping to meet FM I-49 wind criteria will be installed on all parapets, interior and perimeter. New Scuppers, leader heads and downspouts will be installed on the River facade. All downspouts currently drain into subsurface. The existing roof drain system will be re-used. The drawings indicated the proposed details and material selections. The existing membrane roof is white in color, a standard gray color is proposed for the new roofing membrane. Note that the roof is visually concealed from street view on all 4 sides by a perimeter parapet wall 6' in height above the valleys. The gable pediments and column articulation in the parapet walls will remain as they currently exist.

As indicated in the discussion above, the goal for the exterior envelope is to appropriately repair and properly waterproof the building. This will include removing the improper coatings, repairing any cracks in the stucco, improving the windows and replacing the roof.

Please feel free to call or contact me at your convenience if you have any questions or require any additional information,

Thank you for your consideration.

Sincerely,

Steve Olson, AIA





- 1. Existing double hung wood windows single glazed 4x4 pane configuration with 7/8" vertical muntin bar on top and bottom sash.
 - 1) "A" windows 8'-3" x 48" 15 total with a swept arch head in an arched opening hooded architrave.
 - 2) "B" windows: 8'-4" x 3'-6" -24 total located on the back elevation at the second floor.
- 2. The applicant recognizes that the Vieux Carre and the National Park Service guidelines for windows in historic buildings encourage the rehabilitation of wood windows when possible. However, given the size, location and structural design of the existing windows under discussion that option is problematic because it does not address storm wind pressures at this building's 'D' exposure location. Repair or replacement of the existing windows in wood to approximate the wind rated design required by the current code would radically change the profile sizes and would not have a warranty or testing.

The option to use an aluminum product with essentially the same opening sizes, jamb location within the wall, trim profiles, sash profiles, muntin pattern, double hung operational design appearance, and appropriate color would resolve the many issues at hand and provide protection to the building going forward into the future. These issues include the ability to duplicate the dimensional profiles of the existing wood windows (not possible if remade in wood), scale relationship to the existing openings, structural wind resistance, resistance to deterioration, painting longevity, energy improvements, ability to obtain insurance, and long-term maintenance considerations.

- 3. The Vieux Carre Commission Guidelines for windows allow consideration for aluminum windows to be utilized in Orange or Brown rated buildings The Marketplace building is orange rated.
- 4. Recognizing that this request for approval is through the Vieux Carre Commission not the National Park Service, The NPS preservation briefs do offer a principled discussion that is worthy of consideration. It also offers some consideration for aluminum in replacement windows and addresses the issue of replacement non historic windows. Some excerpts from the technical guidelines follow.
 - 1) From the publication Replacement windows to meet the standards: "depth of sash in a double hung window... offset at the meeting rail... are perceived through the shadow" Because of the small size even slight differences have a noticeable effect" Meeting rails in historic windows are sometimes too narrow to be structurally sound" "Reproducing a structurally inadequate condition is not required."
 - 2) From the publication Evaluating windows for Repair or Replacement: "Some areas have code requirements in response to severe weather conditions. Mandates such as impact resistance may make it impossible for a building to have a compliant occupancy with historic windows in place". "In these cases replacement of the historic windows will not be dependent on documentation of deterioration."
 - 3) In the publication titled "Replacement windows that meet the standards" (9.15.2022) under the paragraph replacement windows where non historic windows remain, it indicates "recreation of the missing historic windows is not required to meet the standards". " the appearance of the replacement windows must be consistent with the general characteristics of a historic window of the type and period but not need replicate the missing historic window. "non historic windows must, however always fill the original openings and must be compatible with the overall historic character of the building.

- 4) In the publication titled "Replacement windows that meet the standards" (9.15.2022): "Insulating glass is generally acceptable for new windows as long as it does not compromise other important aspects of the match."
- 5) In the publication titled "Replacement windows that meet the standards" (9.15.2022): "a replacement window, however need not operate in the same manner as the historic window as long as it does not change the form and appearance".
- 6) In the publication titled "Replacement windows that meet the standards" "Typical sight lines reduce the importance of the size and profile of the sill" ... "especially when the window is set deeply in the wall"
- 7) Preservation Brief 9: Characteristics for window replacement should include: The pattern of the openings in their size, Proportions of the frame and sash, Configuration of the windowpanes, muntin profiles, paint color, characteristics of the glass, associated details.

The proposal to use the aluminum Quaker or Winco model designed to achieve historic window profiles accomplishes all of the above-mentioned appearance and wall relationship goals.





JAX Brewery Marketplace
VCC - Windows- Additional information

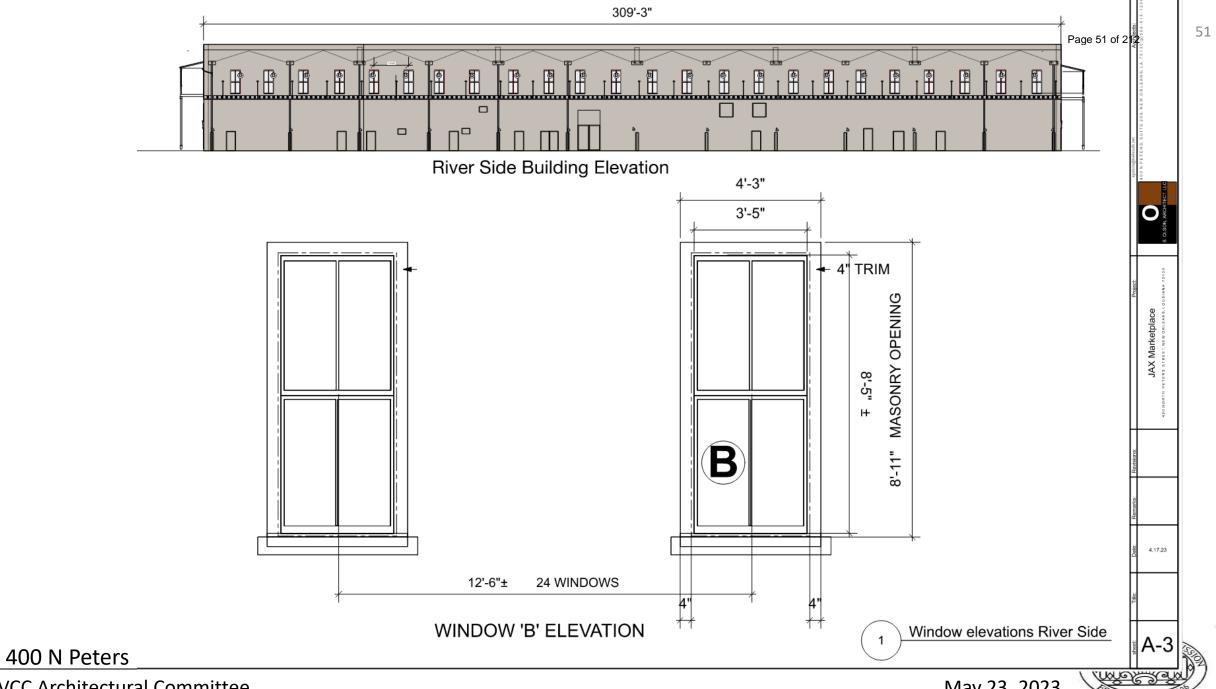
4.21.23

New Orleans, Louisiana





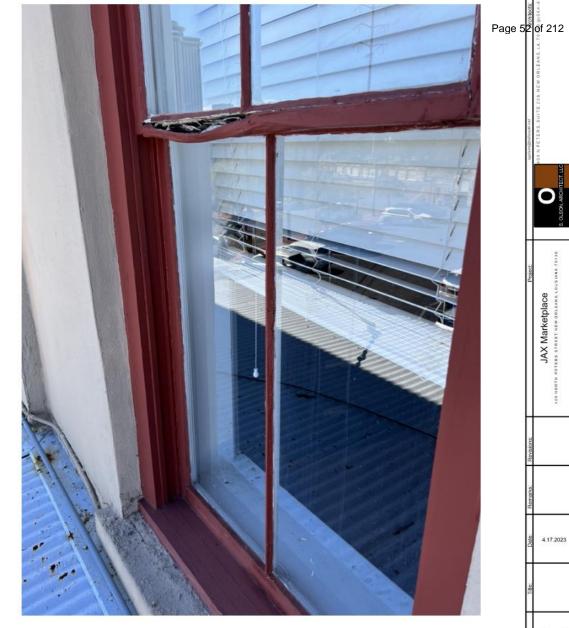
VCC Architectural Committee



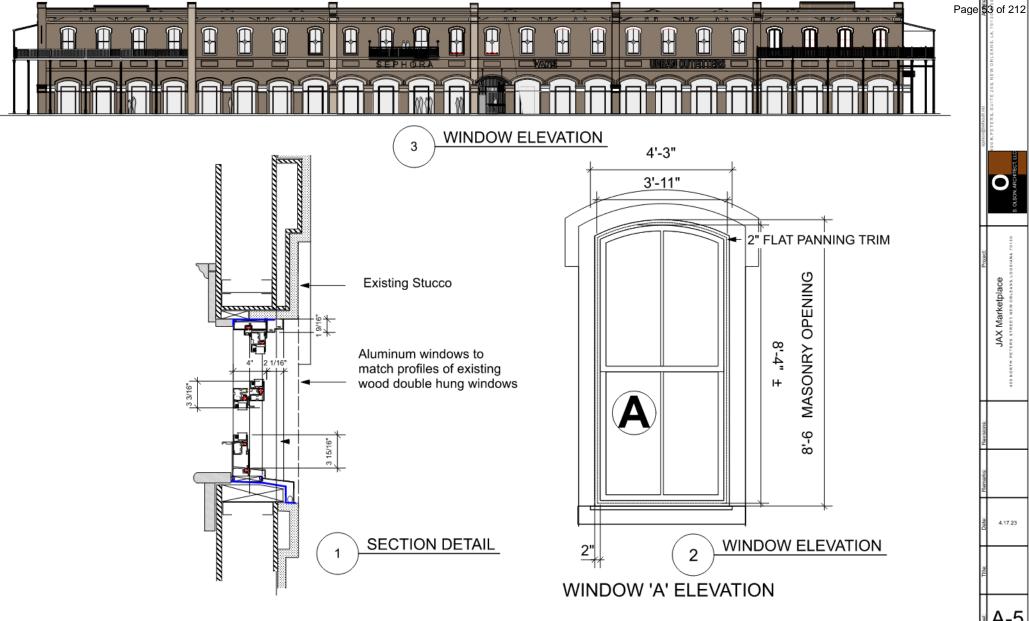






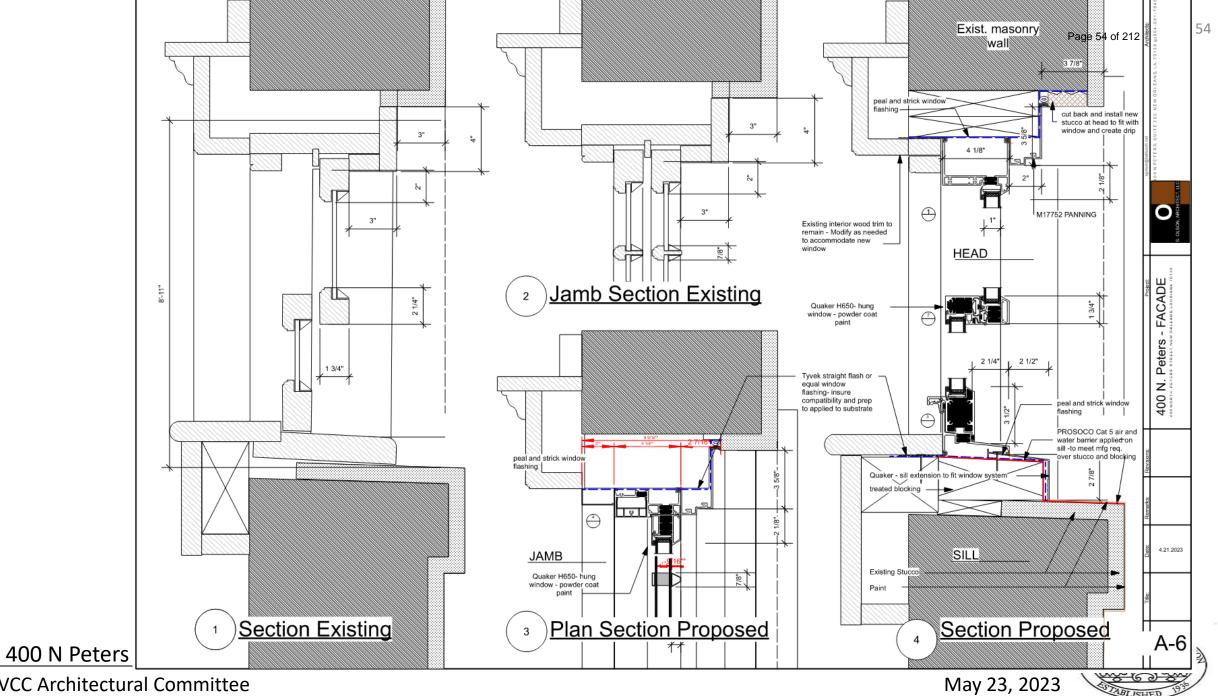


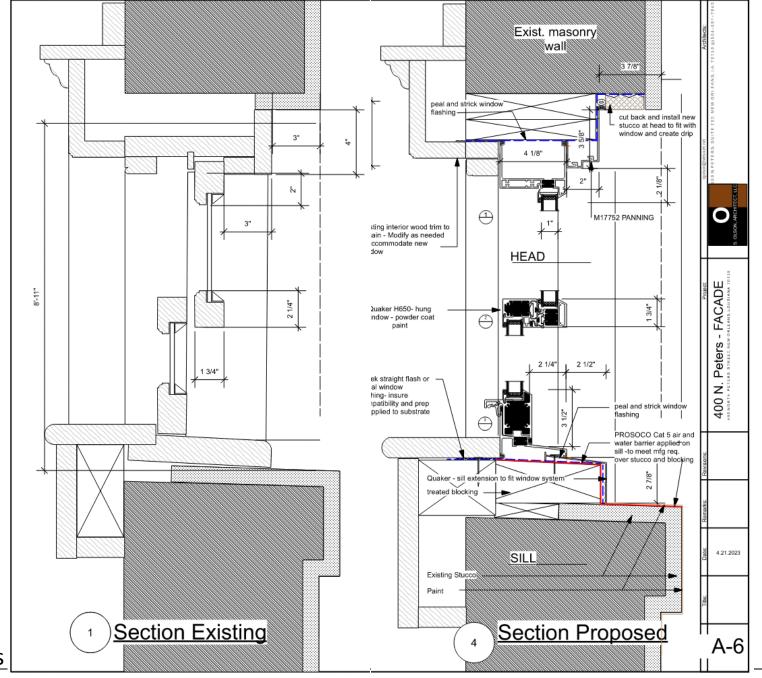
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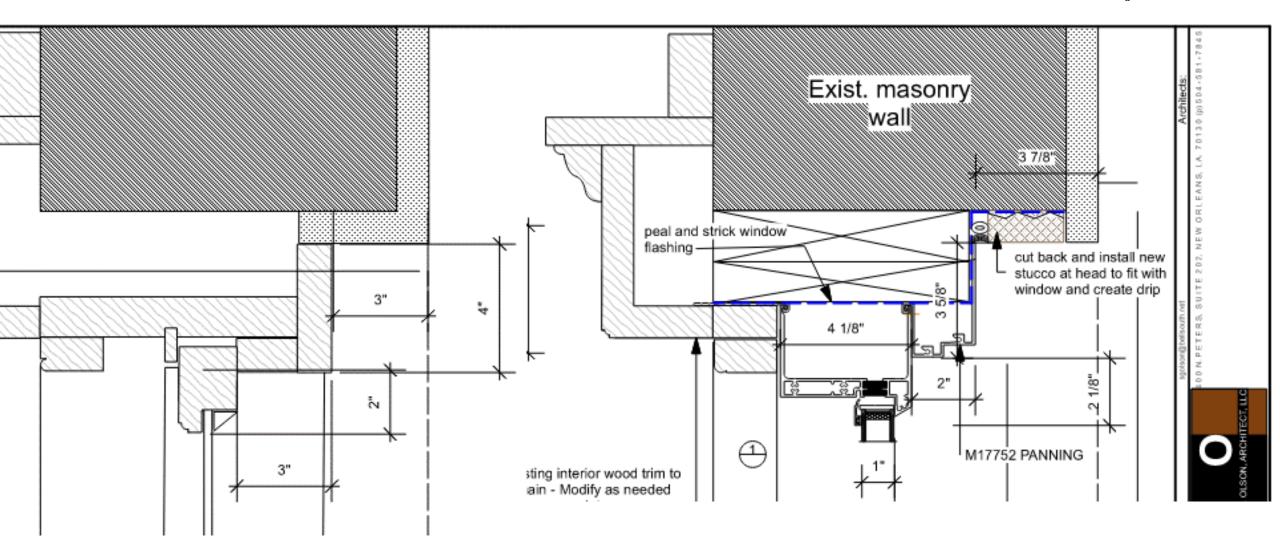
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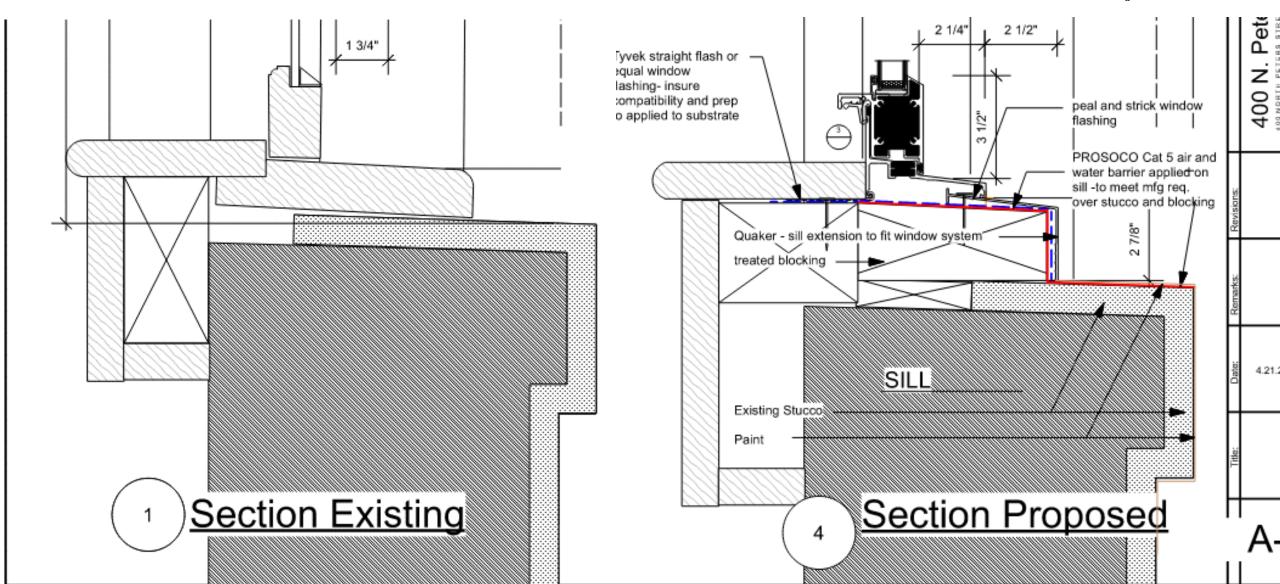
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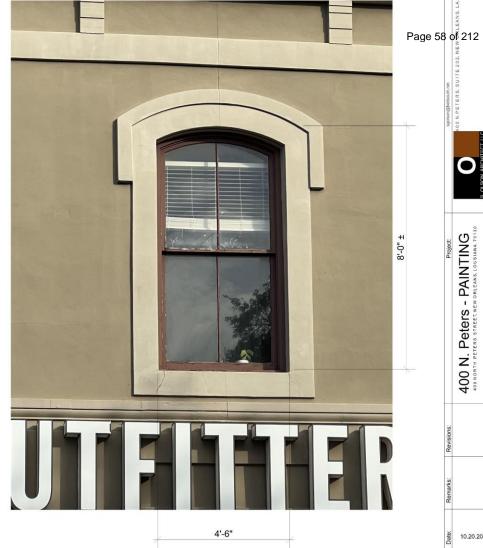




400 N. Peters - PAINTING

10.20.2022





NORTH PETERS - WINDOW A PHOTOS

400 N Peters

VCC Architectural Committee



JAX Brewery Marketplace **ROOF**

400 North Peters Street New Orleans, Louisiana



BOUNDING STREETS: CONTI, ST. LOUIS, N. PETERS, RIVER Ordinance: New Orleans, Code of Ordinances,

Part II - Code, Chapter 166 - Vieux Carre, Sec. 166-2 EXISTING HISTORIC - SPRINKLERED BUILDING



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SIMPLIFIED ROOF IMAGE

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-7	WALLEY GUTTER ROOF SECTION
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-9	SECTION/WOD'S TO EXISTING EQUIPMENT PLATFORMS
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-13	END WALL DETAIL: METAL PANELS
i-14	SCUPPER DETAILS / COPING
-15	DRAIN/ PITCHPOCKET DETAILS
-16	ALTERNATE #1 SBS MODIFIED IN LIEU OF TPO
r17	ALTERNATE #2 METAL PANELS IN LIEU OF TPO - PARAPET WALLS
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-2	PHOTOS, NOTES: 28-38
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-g	PHOTOS, NOTES: 11A-12A

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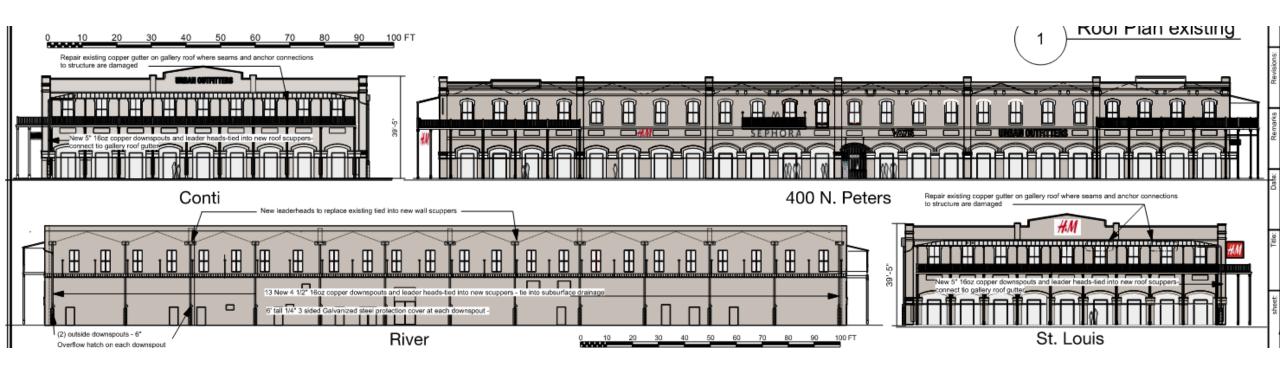
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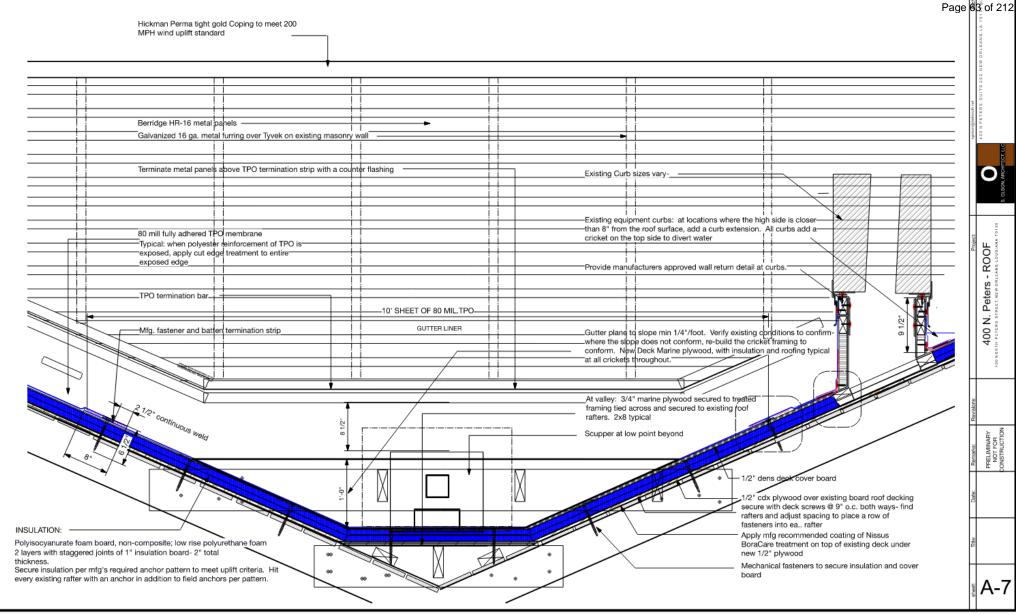
 \simeq Peters ż 400

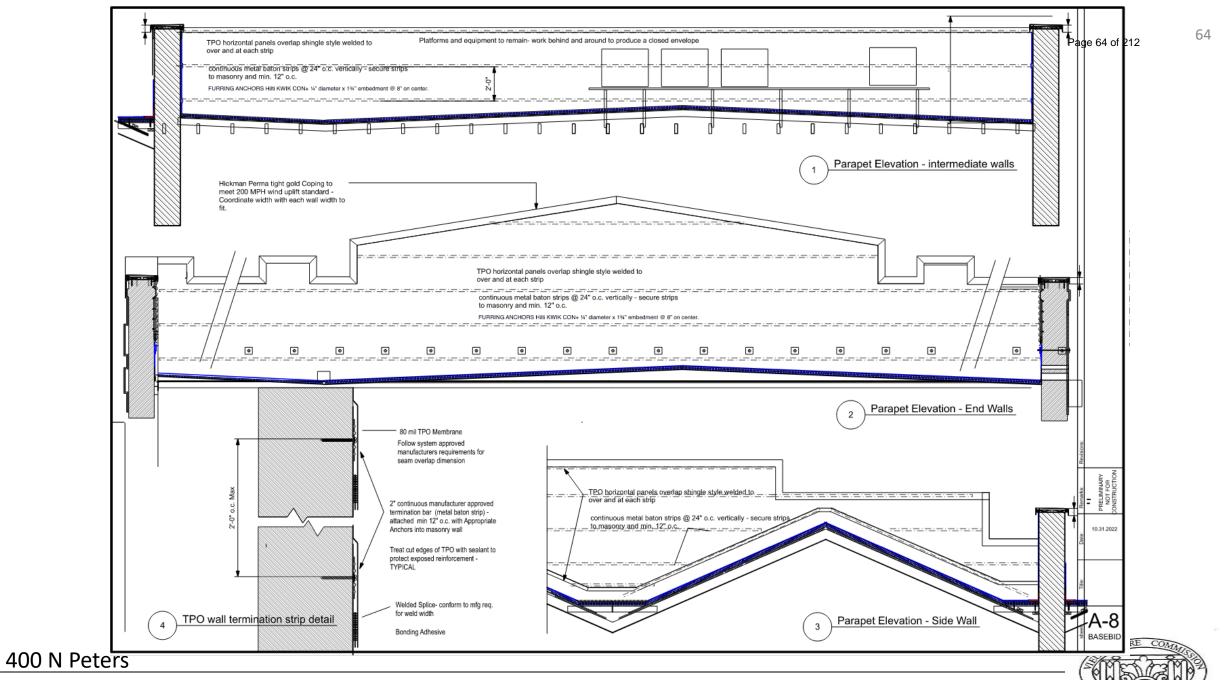
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10.30.22

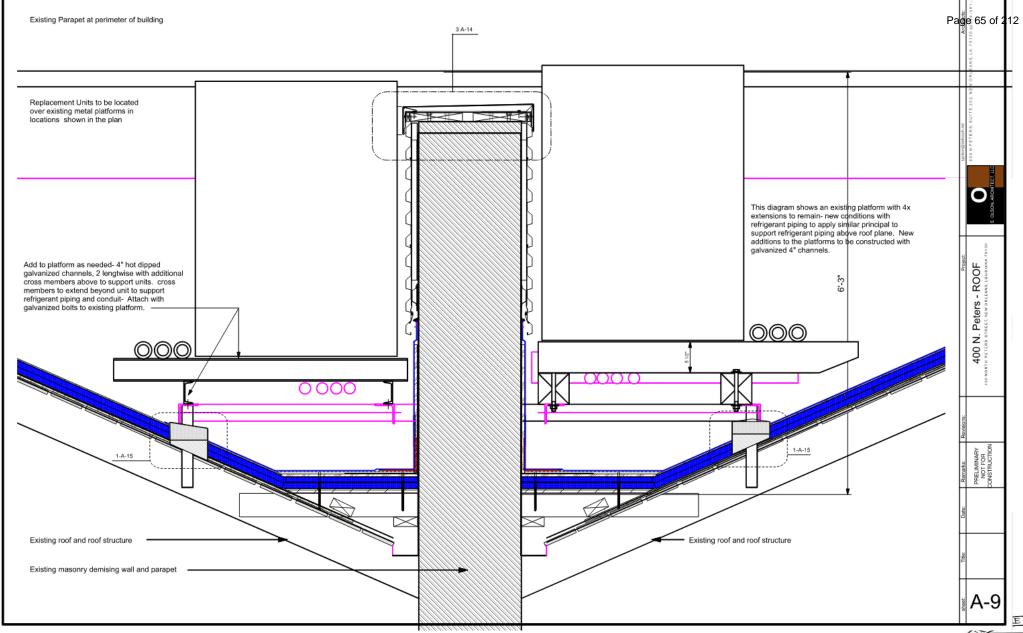
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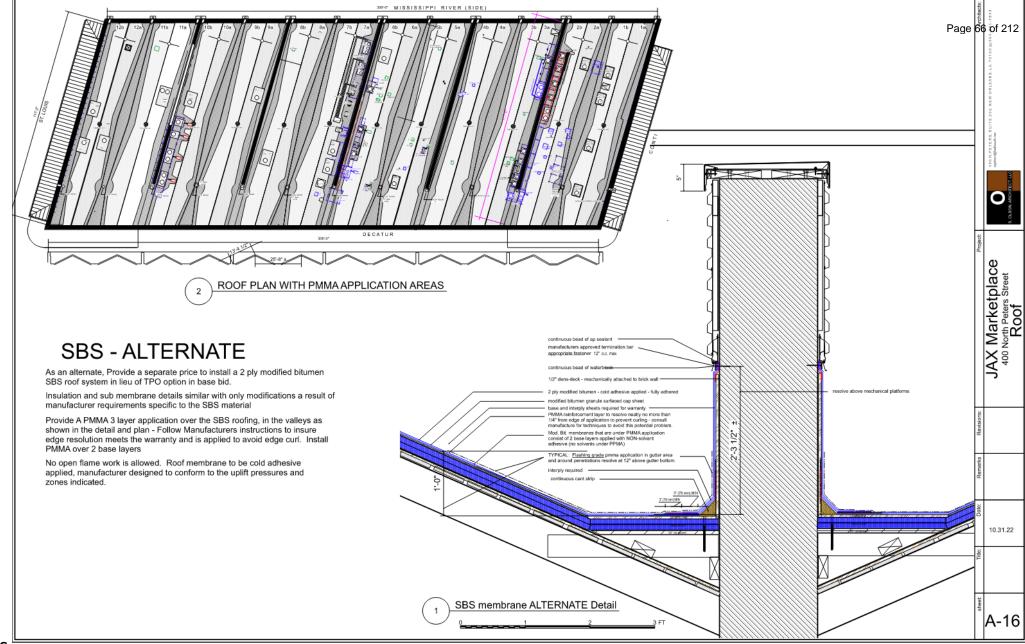


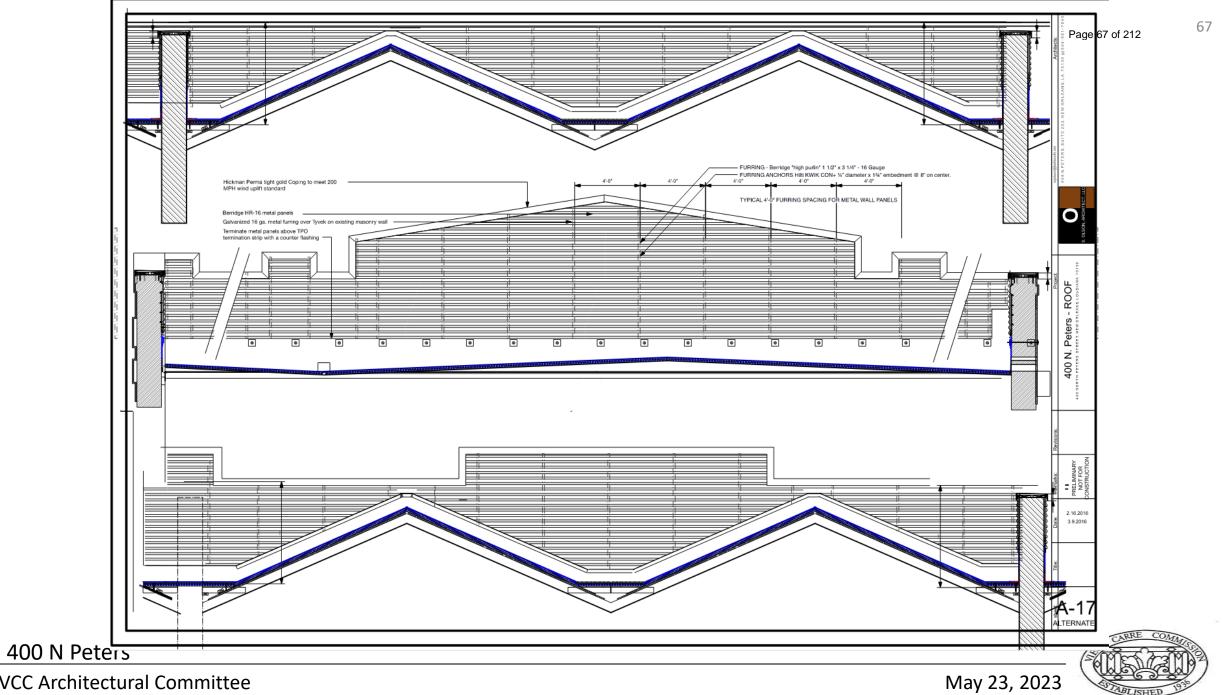


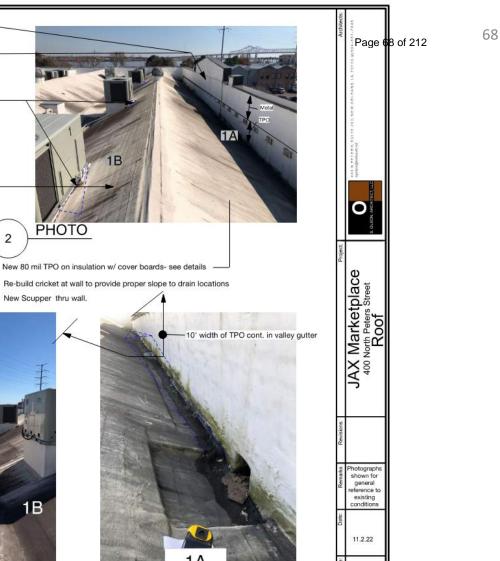














WALL BASE BID: New TPO 60 mil membrane in 2' horizontal layers secured to wall with continuous termination bars-fully adheared 150 MPH wind load based on manufacturers calculations and associated uplift pressures for this project.

ALTERNATE #2 New HR-16 Berridge metal panels on walls secured to meet 150 MPH wind load based on manufacturers calculations and associated uplift pressures for this project.

Typical where curb height is less than 8" on high side Add curb extender to compensate Typical: add cricket on high side of curb

Remove empty support platform

Reroute condensate lines

Existing roof access hatch - clean with rust remover, prime and paint.

Typical: Remove existing EPDM roofing and insulation down to roof deck - Install new system per spec.

PHOTO Metal panels at walls

Existing un-used metal support platform to remain

Note: some of the photographs show the same condition from different anglesquantities should be determined from the roof ID reference number observations and the architectural

plans 1 and 2.

PHOTO

penetration hood Remove Unused covered curb supported 2A gutter plane to have 1/4"/ft min slope from high to low

PHOTO

PHOTO

400 N Peters

P-1





PHOTO

400 N Peters

Note: some of

the photographs

show the same condition from

different angles-

be determined

, field

from the roof ID

observations and the architectural

PHOTO

plans 1 and 2,

quantities should

P-2

1B





Note: some of the photographs show the same condition from different anglesquantities should be determined from the roof ID reference number , field observations and the architectural plans 1 and 2,

PHOTO

3A
der

New gutter cricket and new scupper at exterior wall

Existing roof access hatch - clean with rust-remover , prime and paint.

or 3A

PHOTO

S OLSON ANDHTECT, LIC

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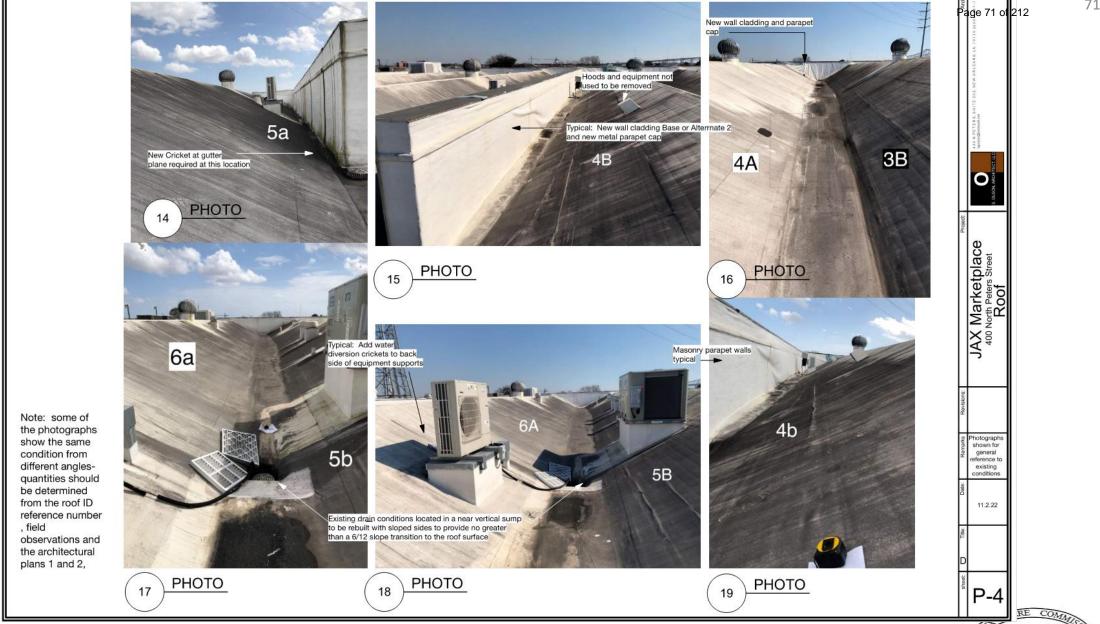
JAX Marketplace
400 North Peters Street
Roof

Photographs shown for general reference to existing conditions

11.2.22

P-3









Note: some of the photographs show the same condition from different anglesquantities should be determined from the roof ID reference number , field observations and the architectural plans 1 and 2,



PHOTO



PHOTO



PHOTO 22



PHOTO

Page 72 of 212

JAX Marketplace 400 North Peters Street Roof

Photographs shown for general reference to existing conditions

11.2.22

P-5





PHOTO





JAX Marketplace
400 North Peters Street
Roof

Photographs shown for general reference to existing conditions

11.2.22

PHOTO



PHOTO

Note: some of the photographs show the same condition from different angles- quantities should be determined from the roof ID reference number, field observations and the architectural plans 1 and 2,

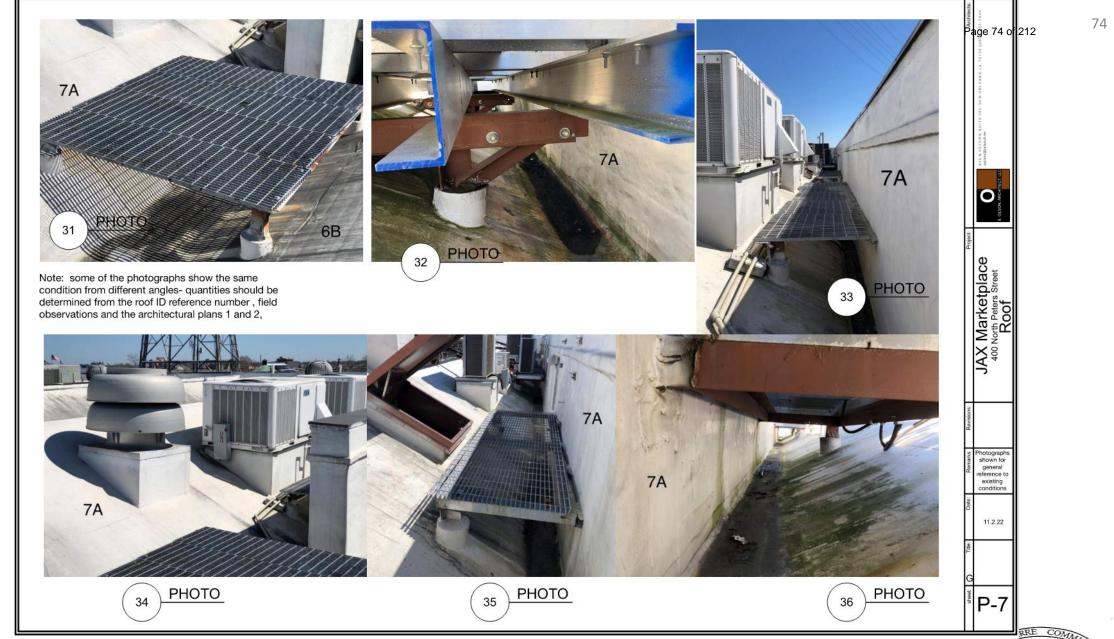


PHOTO



PHOTO

P-6





JAX Brewery Marketplace STUCCO AND PAINTING

400 North Peters Street New Orleans, Louisiana











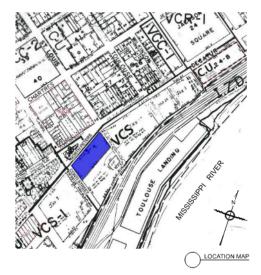






400 N. PETERS PAINTING, WINDOWS AND STUCCO

400 N. PETERS, NEW ORLEANS, LOUISIANA 70130 LOT 1 BLOCK 5A DISTRICT 1B SQ., 5A CLAY N PETERS CONTI AND ST LOUIS NEIGHBORHOOD CONSERVATION DISTRICT ZONING: VCS BOUNDING STREETS: CONTI, ST. LOUIS, N. PETERS, RIVER Ordinance: New Orleans, Code of Ordinances, Part II - Code, Chapter 166 - Vieux Carre, Sec. 166-2 EXISTING HISTORIC - SPRINKLERED BUILDING



SHE	ET INDEX	
A-1	INDEX , LOCATION / BRIEF SUMMARY OF WORK	
A-2	ELEVATIONS WITH SCOPE NOTES	
A-3	SPECIFICATIONS AND NOTES	
A-4	SPECIFICATIONS AND NOTES	
A-5	SPECIFICATIONS AND NOTES	
A-6	SPECIFICATIONS AND NOTES	
A-7	SPECIFICATIONS AND NOTES	
A-8	SPECIFICATIONS, NOTES AND DETAILS	
A-9	WINDOW DETAIL - REAR ELEVATION	
A-10	WINDOW DETAIL - NORTH PETERS ELEVATION	
A-11		
A-12		
77-12		





Abbreviated Written Summary:

Briefly, And Without Force And Effect Upon The Contract Documents, Work Of The General Contractor Shall Include, But Is Not Limited To The Following. Specific Extent Of The Work Is Defined By The Contract Documents.

The Existing Building Facade On The St. Louis, North Peters, And Conti Elevations Consists Of Portland Cement Stucco Over Sheathing On Metal Studs And At Some Locations Stucco Over Brick. The Articulated Surface Includes Decorative Architrave Arched Moldings And Wood Windows Or Doors At The Facade Openings. The Ground Floor Arched Fenestration Is Enclosed With An Aluminum And Glass Storefront System, The Framing Of Which Is Currently

Two Main Galleries Are Constructed On Each The St. Louis/north Peters And Conti/north Peters Ends Of The Building. These Have Been Recently Renovated And Are Not Included In The Building Paint Scope. Nic Elements Include The Steel Columns, Handrail, Steel Outriggers, Wood Perlins, Aeratis Decking, Ceiling Under The Roof Overhang, Hanging Light Fixtures Under The Gallery And Under The Second Floor Ceilling. The New Paint Cut Lines Will Occur At The Facade Surface Above And Below The Deck Connection To The Building. The Balcony Above Sephora Was Also Renovated And The NIC Items Are More Limited But Similar. Roofing And Flashing, Including A New Coping On The Parapet Walls Will Be Accomplished Under A Separate Contract.

The New Painting Work To Include New Paint On The Facade And Millwork, Including:

- 1. The Aluminum Window Framing In The Arches At The First Level: Patch Any Holes, Remove Existing Paint Down To Original Surface Metal, Prep For New Paint, Apply New Paint
- 2. The Stucco At The 3 Facades, Currently Painted With An Elastomeric Coating: Patch Cracks, Remove Extraneous Unused Elements, Wires And Screws, Prepare Surface And Re-paint
- 3. The Millwork Doors At The Second Level: Existing Pair Doors To Remain, Prep And Re Paint Existing Hardware To Remain, Protect Accordingly.
- 4. The Steel Doors And Louvers On The Riverside Elevation: Clean, Prep And Re-paint. Existing Hardware To
- 5. New Paint On New Stucco On The Riverside Elevation: Conform To Requirements Regarding Stucco Cure Times
- Prior To Painting 6. Miscellaneous Metal Work Including The Steel Gate At The Ground Floor Entrance To The Second Floor And The
- Metal Handrail On The Ramp Adjacent To H&m Along St Louis Are To Be Painted. 7. Typical: Protect All Attached Signage, Electrical Wiring, Electrical Devices, Downspouts, Cameras, And Operational

Windows:

- 1. Existing Openings With Doors To Remain
- 2. Existing Storefront At The Ground Floor To Remain
- 3. New Aluminum Windows A And B To Be Installed To Replace The Wood Windows On The North Peters And Riverside Elevations

New Stucco: At The Riverside Facade

- 1. Remove All Existing Stucco Down To Exposed Brick
- 2. Replace Stucco With New Vcc Approved Stucco In A 3 Coat System 7/8" In Thickness.

New Canopy Roofing- River Side:

- 1. Remove Existing Corregated Decking On Steel Frame
- 2. Replace With New 20 Ga. S- Deck Corregated Galvanized Steel Decking

The Contractor Shall Provide All Labor, Materials, Equipment, Supervision, Coordination And Permits To Provide A Complete And Finished Project As Included In The Construction Documents, In Addition, The Price Shall Include All Taxes, Overhead And Profit, Testing Within Limits Required, Insurance, And Other Items Which Are Required By The Specifications Or Drawings. Exercise Extreme Caution As The Building Fronts On A Public Street And Parking Area. Protection For Pedestrians And Tenants Is Critical To The Satisfactory Performance Of This Work.

RIVERSIDE BUILDING ELEVATION PHOTO

Page \$1 of 212

PAINTING

10.24.2022

A-1

400 N Peters

ST. LOUIS CORNER VIEW

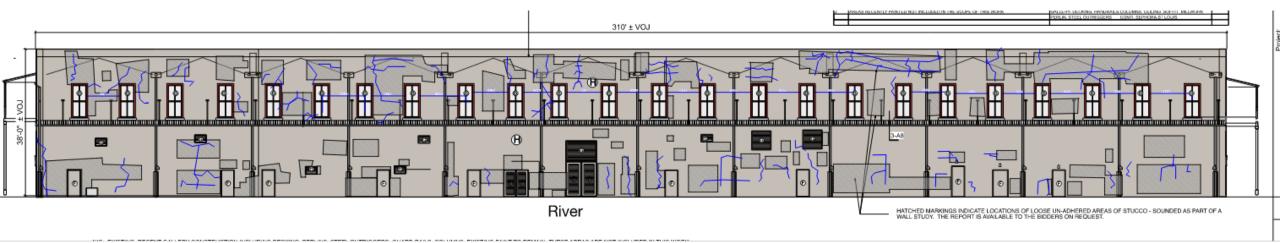
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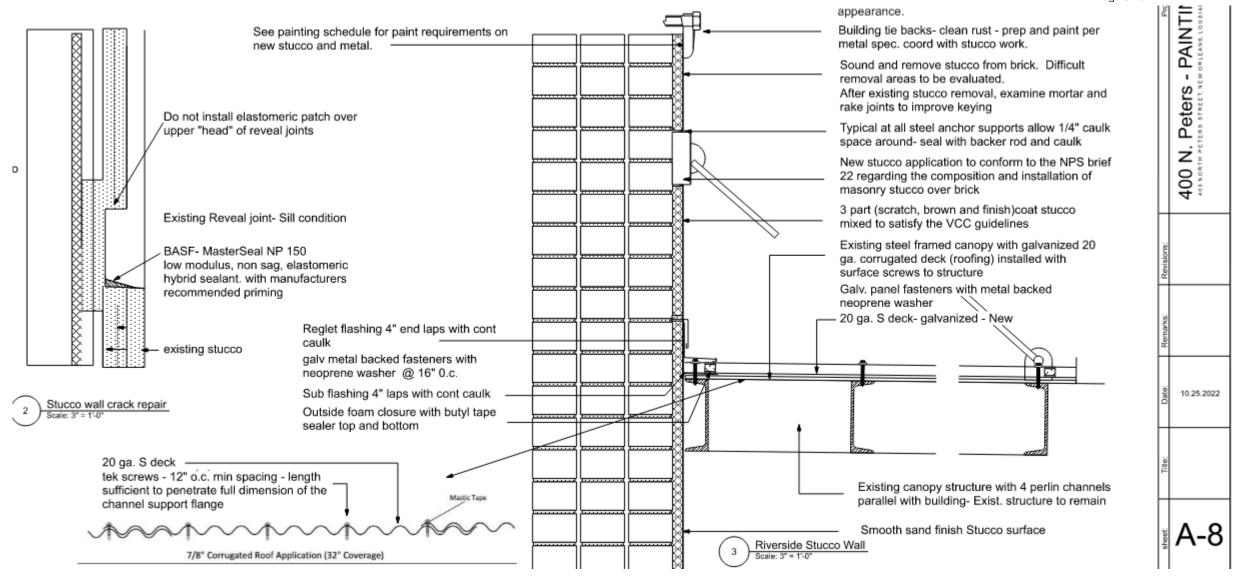
Peters z 400

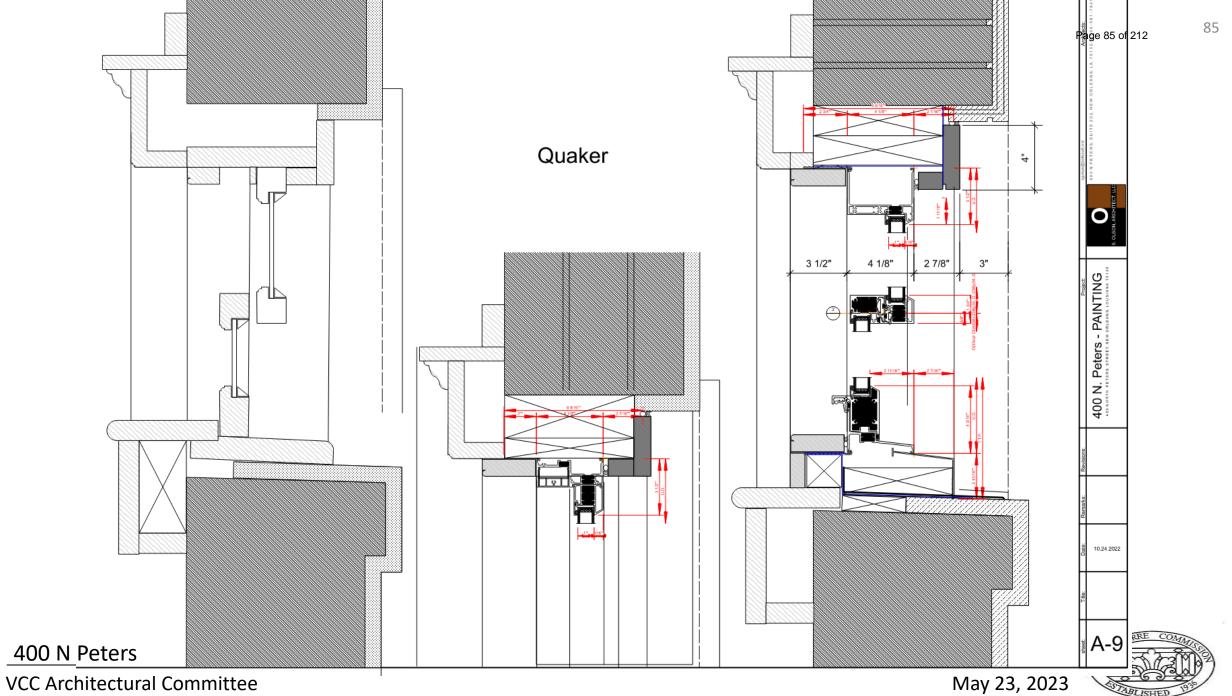


VCC Architectural Committee

May 23, 2023





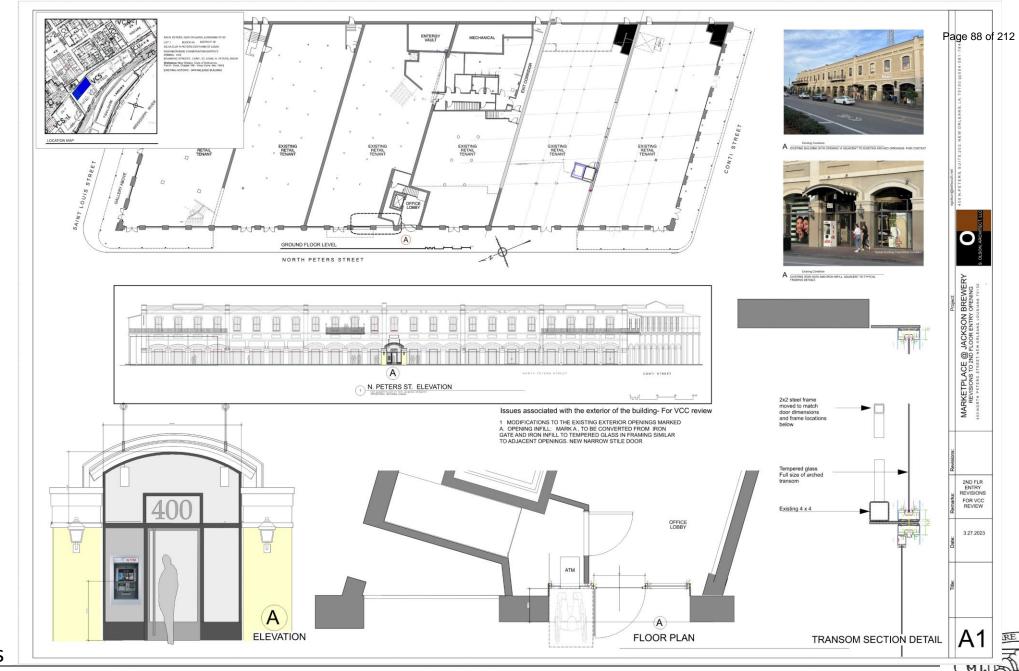


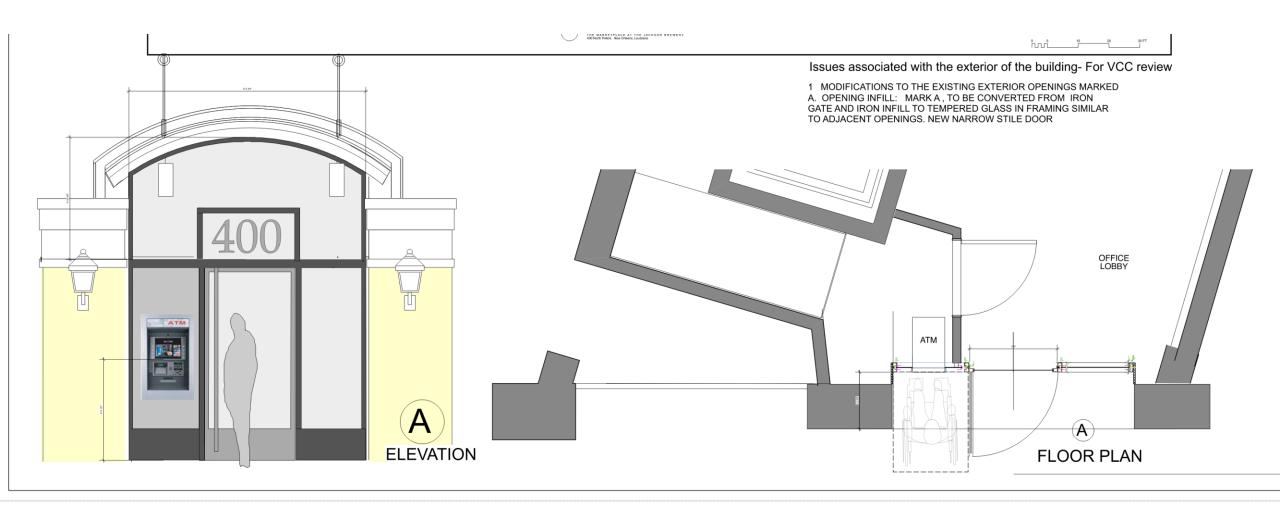
























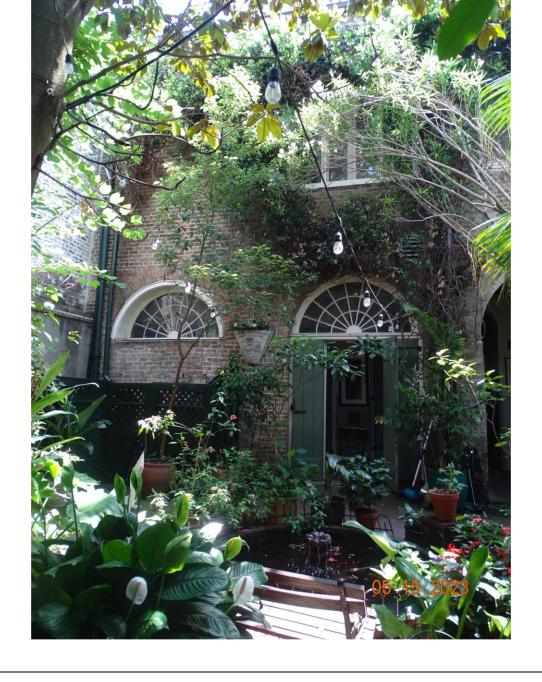












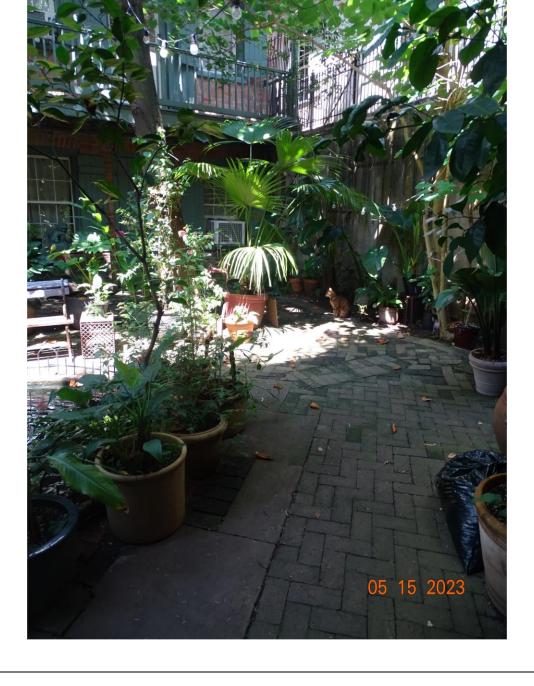




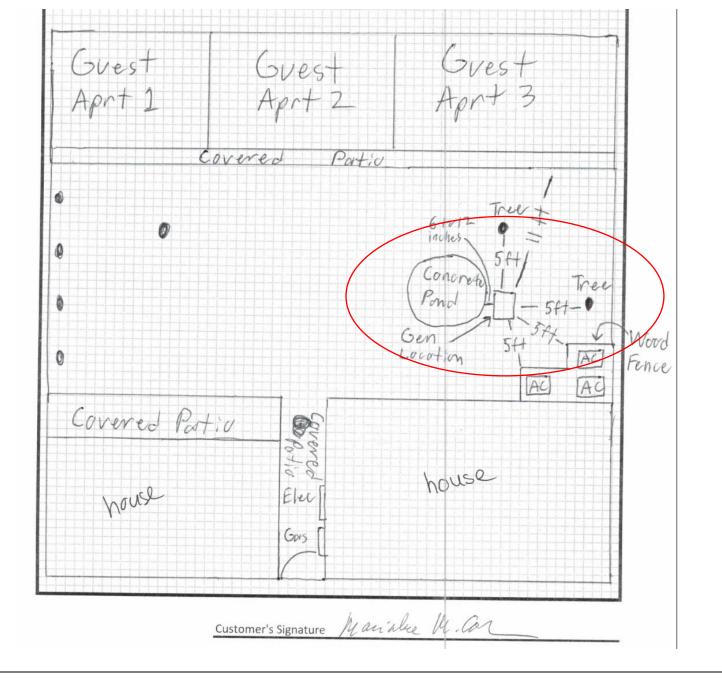












RESIDENTIAL GENERATOR AFFIDAVIT

Keefe's A/C, Heating & Electrical

1919 Enterprise Dr., 504-228-6271, permits@keefes.com

The attached/submitted site plan will confirm the following:

Residential Generator at ADDRESS 8/3 Ursuline And, New Orleans, LD

PERMIT NUMBER OR REFERENCE CODE:

INITIAL ALL THAT APPLY

5 feet from the rear lot line

3 feet clearance from side lot line 18 inches minimum clear at rear

5 feet overhead clear

30 inches front clearance

Must be 5 feet from any opening (windows)

Exhaust must not be directed toward the house

Must comply with manufacturer requirements which are uploaded to the permit application.

ATTACH DRAWING EVIDENCING INFORMATION ABOVE. SHOW OTHER EQUIPMENT AND DISTANCE ON PLAN.

Additional information:

I understand I am subject to a final inspection and any changes will prevent issuance of the certificate of occupancy/completion.

SIGNATURE OF CONTRACTOR

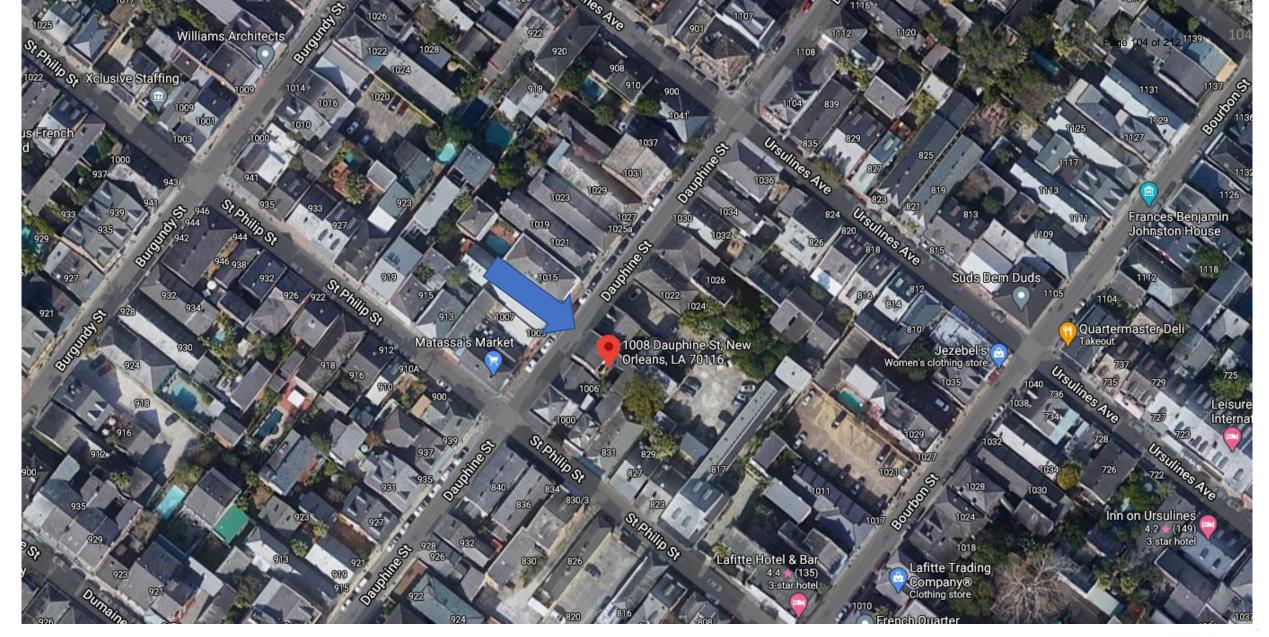
PRINTED NAME: Keefe Ditta



Model Number	040666	Page 101 of 212
MSRP (USD)*	\$3,929.00	
Running Watts (Liquid Propane) kW**	12	
Running Watts (Natural Gas) kW**	10.8	
Running Amperage (Liquid Propane) Amps**	50	
Running Amperage (Natural Gas) Amps**	45	
Voltage	120 / 240	
Circuit Breaker Amps	60	
Engine Brand	Vanguard [*]	
Engine Displacement (cc)	623	
Motor Starting Capability (kVA)	37 (35% Voltage Dip)	
Assembled Length (in.)	28	
Assembled Width (in.)	24.5	
Assembled Height (in.)	37.2	
Assembled Weight (lbs.)	361	
Normal Operating Sound	70 dBA	
Fuel Consumption (Liquid Propane) (50% Load, BTU/hr)***	155,000	
Fuel Consumption (Natural Gas) (50% Load, BTU/hr)***	117,000	
Limited Warranty (Years)†	6	



1008 Dauphine





















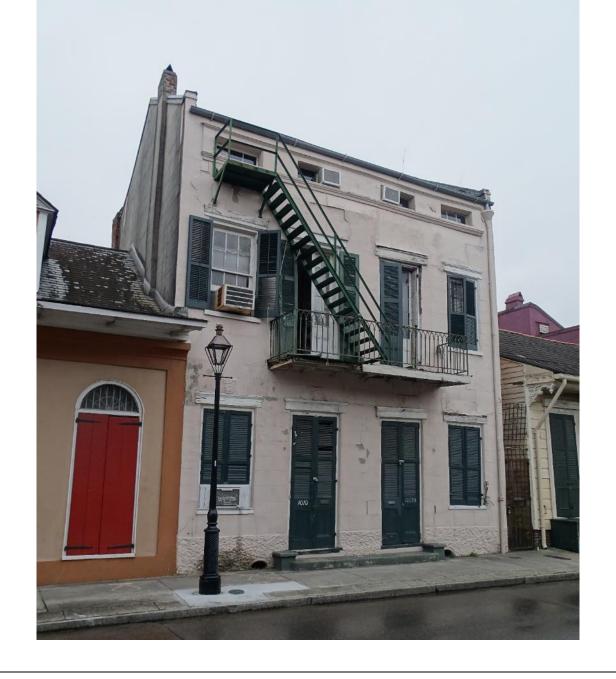
























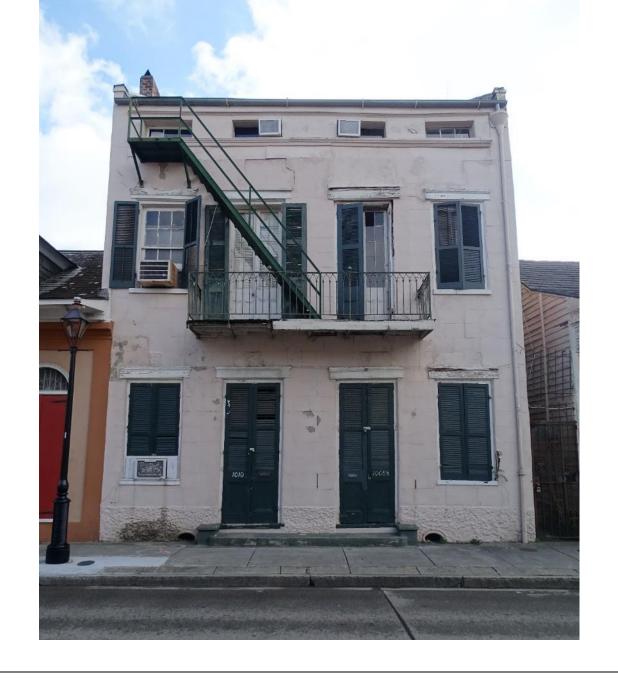




























1008 Dauphine – previous band above frieze windows

VCC Architectural Committee







1008 Dauphine – previous band above and below frieze windows

VCC Architectural Committee



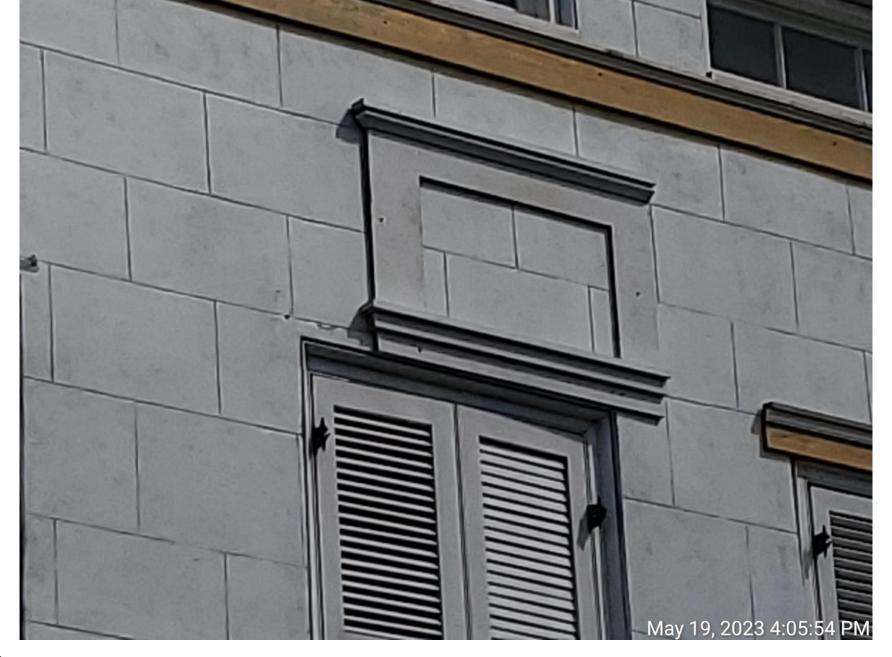




















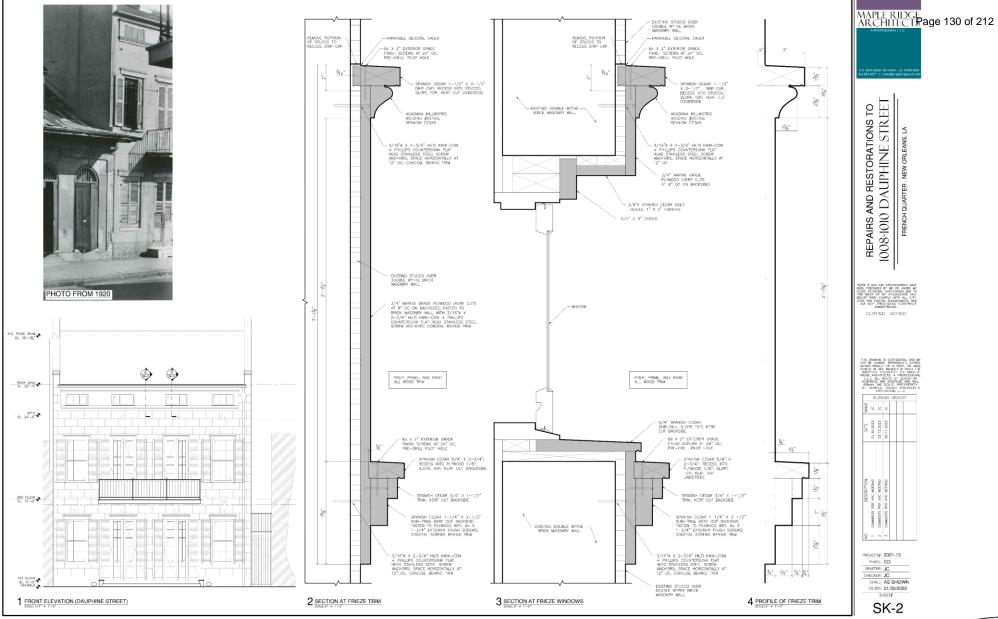






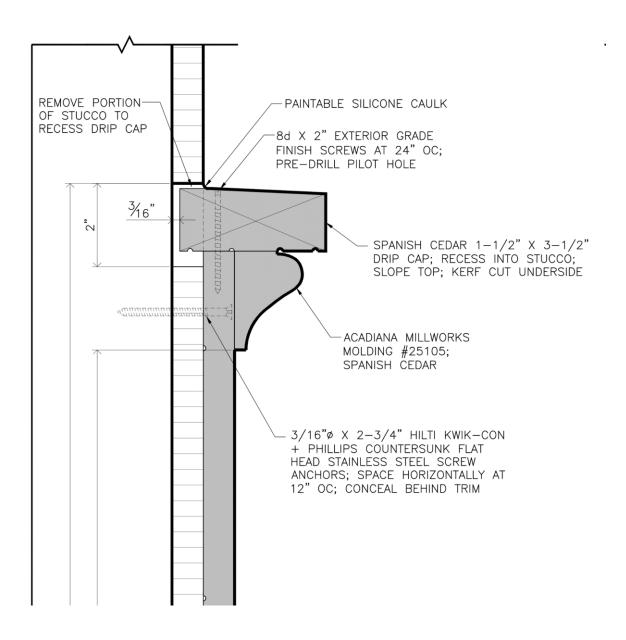


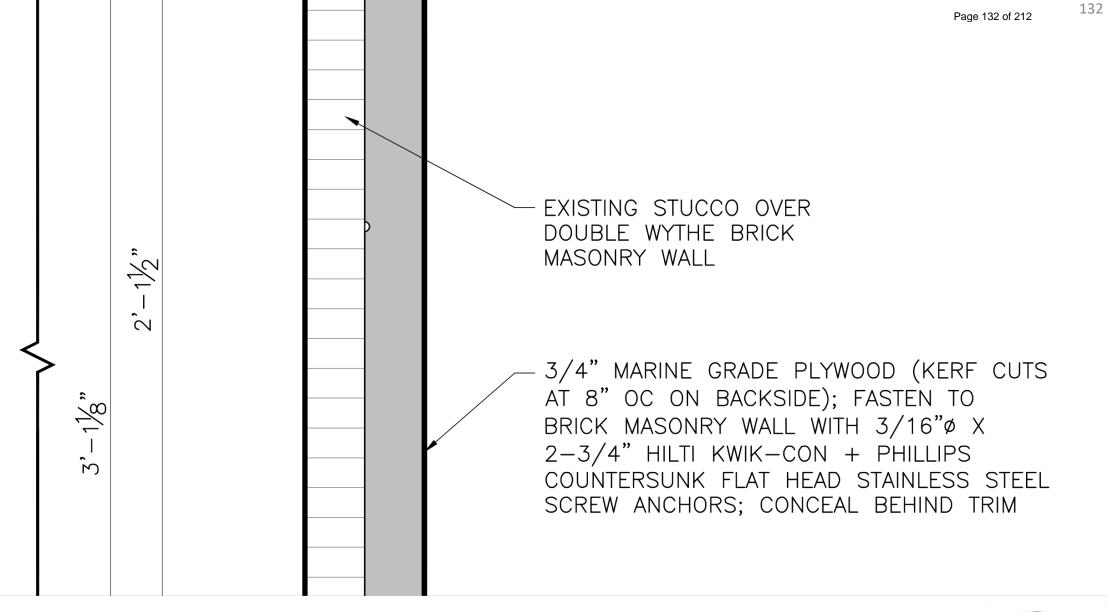


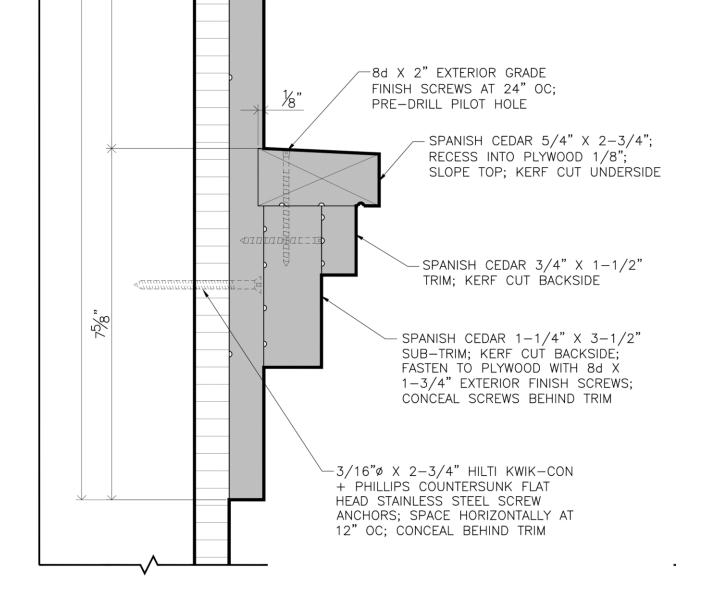




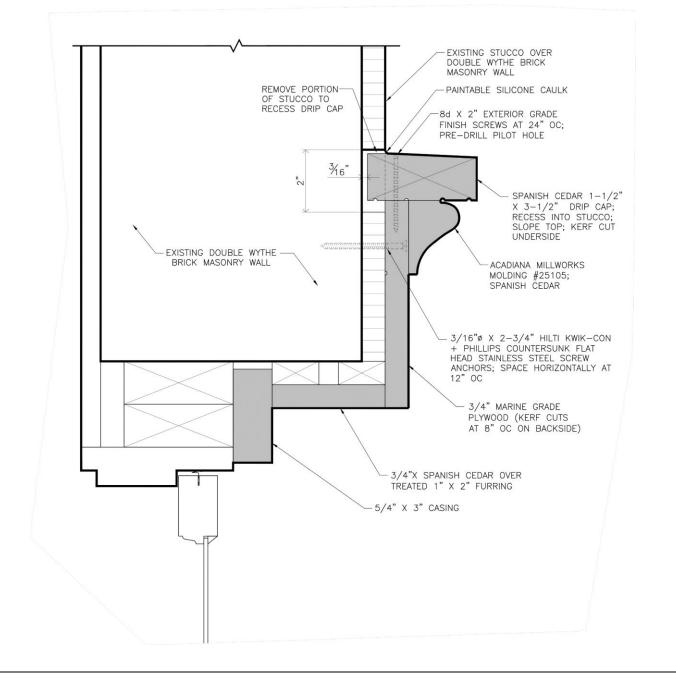




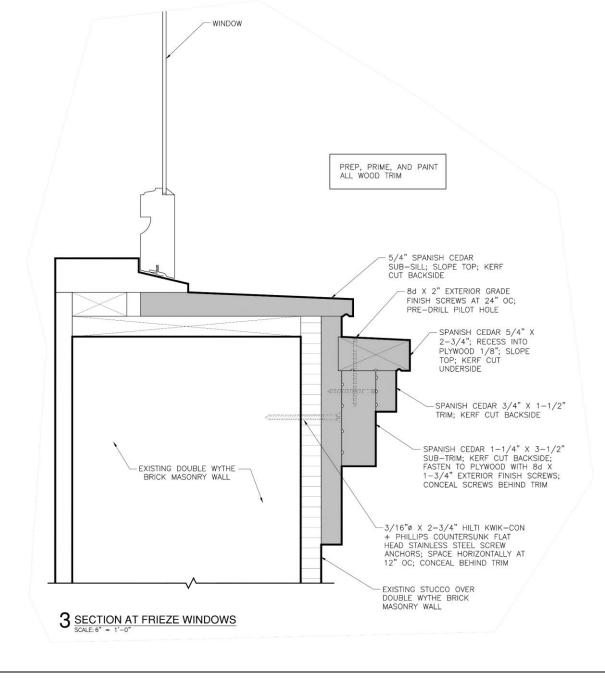




$2_{\frac{\text{SECTION AT FRIEZE TRIM}}{\text{SCALE: } 6" = 1'-0"}}$



























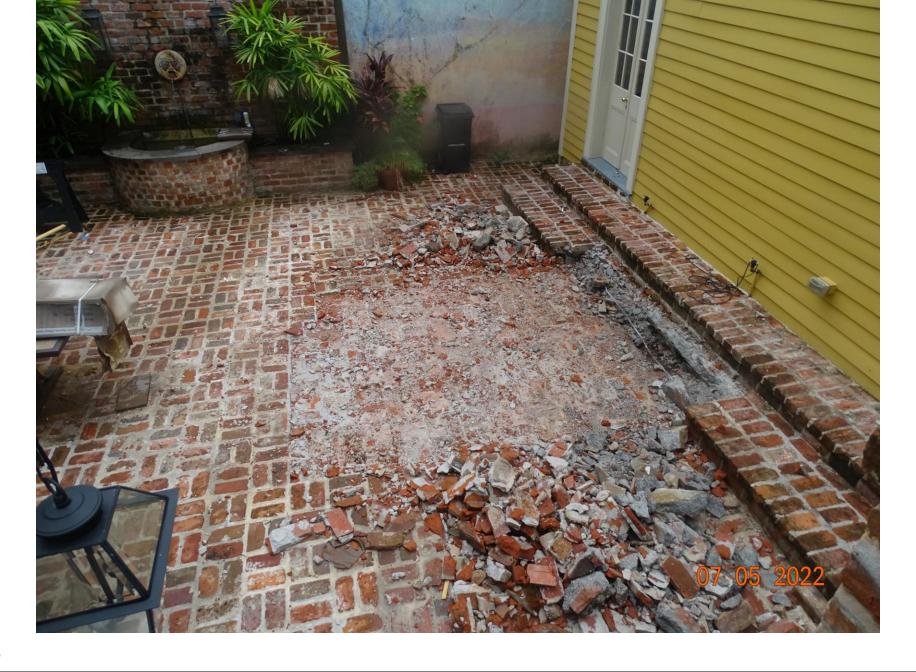






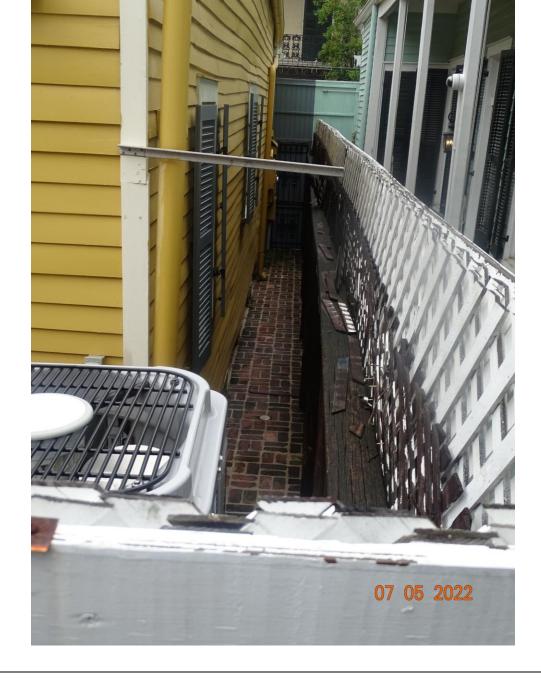




























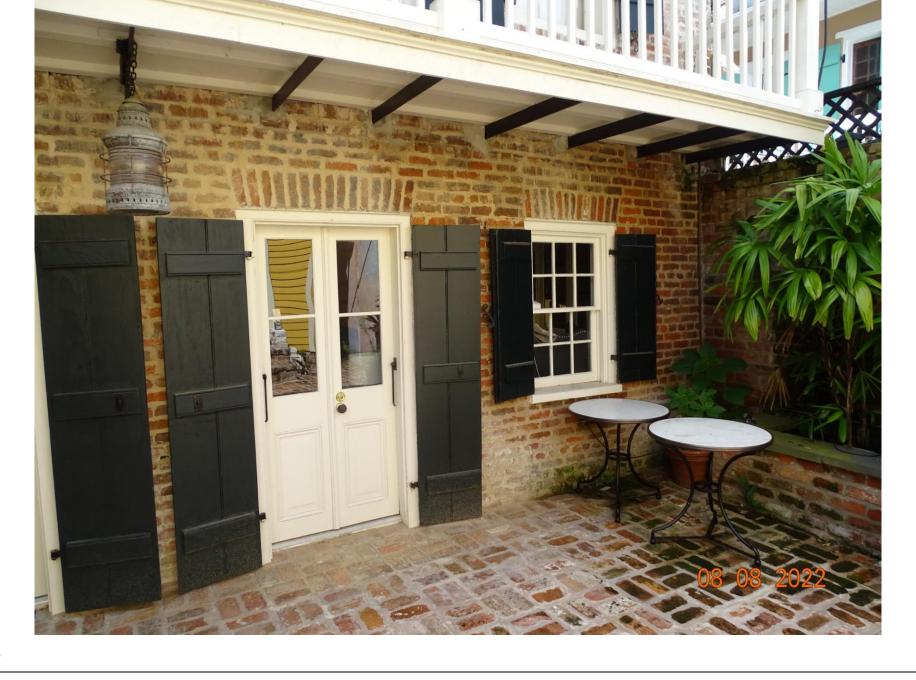


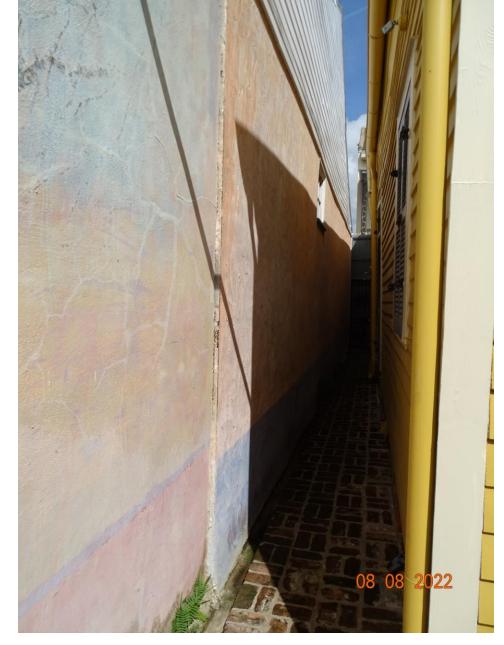








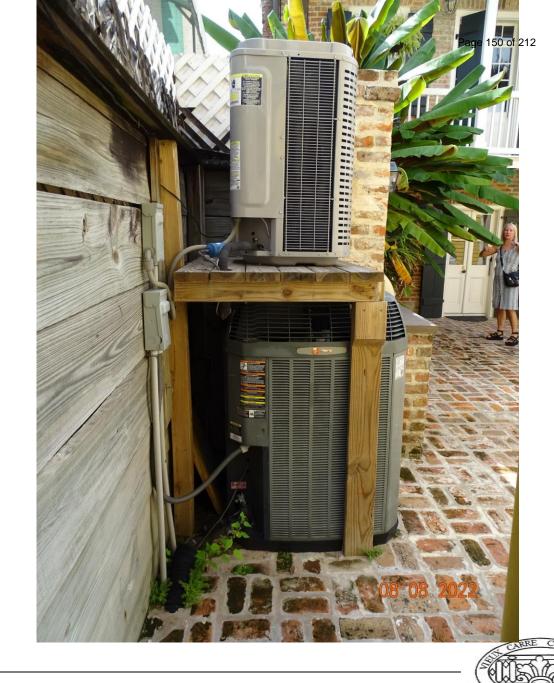






1030 Dauphine





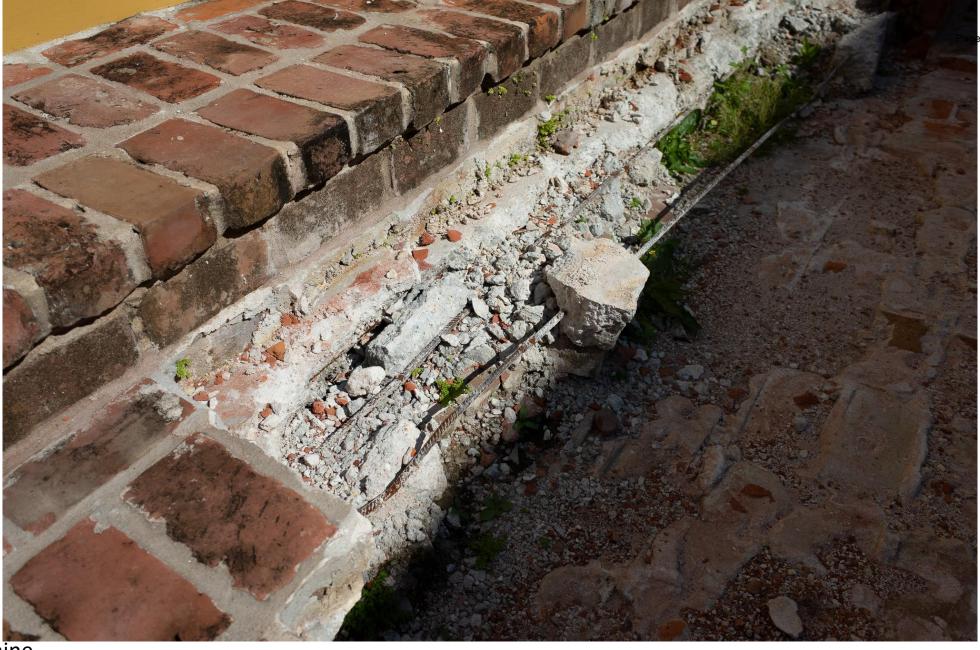
1030 Dauphine

















































1030 Dauphine





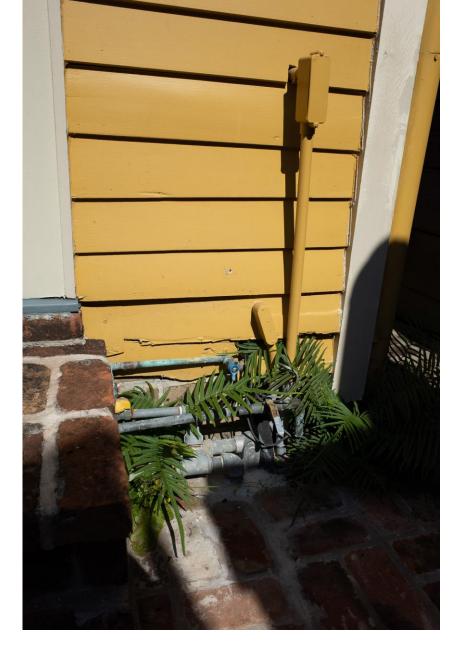


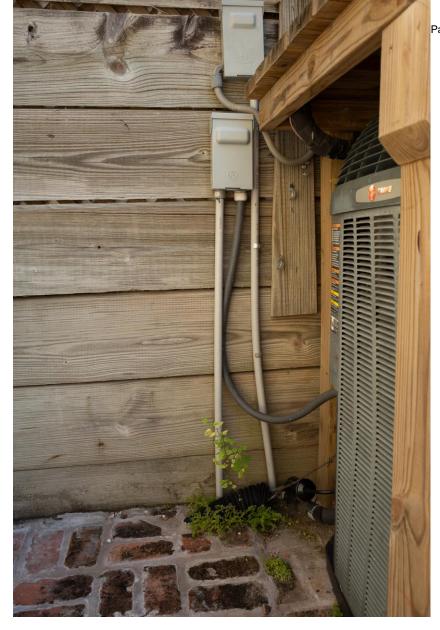






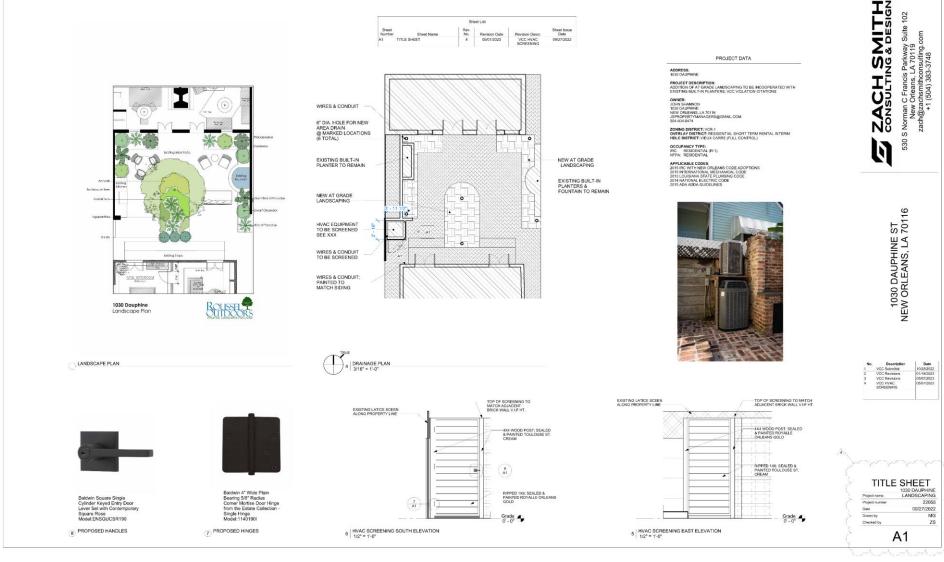






1030 Dauphine

1030 DAUPHINE LANDSCAPING 1030 DAUPHINE ST NEW ORLEANS, LA 70116





DAUTERIVE PLUMBING & HEATING, INC.

8325 PARC PLACE CHALMETTE, LA. 70043 PHONE NUMBER: (504) 271- 4442 FAX; (504) 279-1189 dauteriveplbg@eatel.net

March 24, 2023

Nori Lee 2942 San Jose' Avenue San Francisco, CA. 94112

RE: 1030 Dauphine Street New Orleans, LA. 70116

On March 24, 2023 I made an inspection of installation of a gas grill and 2 gas lights at 1030 Dauphine Street, New Orleans, LA. 70116.

All 3 units are installed per code with proper connections and isolation valves.

All units are located in rear patio area.

Any further information required, please contact my office.

Rene Dauterive

President







Sound Power Level

MODEL	A-Weighted Sound Power Level [dB (A)]	Full Octave Sound Power(dB)							
		63 Hz*	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
4TWX6018H1	74	72	69	63	70	70	67	56	49
4TWX6024H1	71	77	72	68	68	69	60	53	47
4TWX6030H1	70	75	69	68	68	66	62	57	51
4TWX6036H1	70	75	69	68	68	66	62	57	51
4TWX6042H1	72	77	75	72	70	67	62	59	52
4TWX6048H1	72	77	75	72	70	67	62	59	52
4TWX6060H1	72	77	75	72	70	67	62	59	52

This is at optimal out of the box. I cantive the full year on the poture but it is early 2000, Over time it will get lowder potentially. (CW)

Answer to the customer.
Onywhere from 52db to 77db & Normally 72db.







SoftSound® Deluxe 19 with SmartSense™ Technology **Product Specifications**

HIGH EFFICIENCY UP TO 19 SEER VARIABLE-SPEED AIR CONDITIONER WITH OBSERVER® COMMUNICATING CONTROL SYSTEM

2 THRU 5 TONS SPLIT SYSTEM

208-230 Volt, 1-phase, 60 Hz

REFRIGERATION CIRCUIT

- · Variable speed compressor operates at 5 stages with capacity range from as wide as 25 - 100%
- · High pressure switch
- Suction pressure transducer
- · Pressure equalizer valve for easy starting
- · Compressor discharge temperature sensor
- · Coil temperature sensor Copper tube/aluminum fin coil
- PERFORMANCE
- Up to 13.0 EER
- · Integrated inverter control enables 5-stage operation with complete Observer communicating system including Observer control
- · Observer Wall Control with version 5.0 or newer software
- required

 Also capable of 2-stage operation with 2-stage thermostat

 Self-configuring installation with Observer Communicating Wall Control

 Compact ECM fan motor driven by integrated inverter control

 Outdoor temperature sensor factory installed

- High-performance compressor sound shield standard
- Isolation compressor grommets Enhanced dehumidification

EASY TO INSTALL AND SERVICE

- . Text based diagnostics with Observer Communicating Wall Control
- Only 2 control wires required from communicating indoor unit to
- · External high and low refrigerant service ports
- Factory charged with R-410A refrigerant
- Adjustments for min and max staging with Observer Wall Control BUILT TO LAST

- High gloss, baked-on powder coat finish over galvanized steel
 Post-painted (black) coil fins
 Coated inlet grille with 3/8" (10mm) spacing for extra protection (hail guard)

 Corner posts for extra strength and style

- . 10 year No Hassle Replacement™ limited warranty
- . 5 year parts limited warranty (including compressor and coil) - With timely registration, an additional 5 year parts limited warranty (including compressor and coil)
- For residential applications only. See Warranty certificate for complete details and restrictions, including warranty coverage for other applications.



TSTAT0201CW (Sold Separately)





This product has been designed and manufactured to-meet BHERGY STAR offering for energy efficiency to-meet BHERGY STAR offering for energy efficiency to-proper refrigerant charge and proper air flow are critical to achieve rated capacity and efficiency, installation of to achieve rated capacity and efficiency, installation of charging and art flow installations. Failure to confirm proper charge and airflow may reduce energy efficiency and shorten equipment (ife.)





Use of the AHRI Certified TM Mark indicates a manufacturer's participation in the program. For verification of certification for individual products, go to www.ahridirectory.org .

Model Size Number (tons		Nominal Btu/hr	Min. Circuit Ampacity	Max. Fuse or Breaker	Operating Dimensions height x length/width (sq.) in. (mm)	Operating/Ship Weight lbs. (kg)	
CVA924GKA	GKA 2 24,000 13.5 20 31-13/16 x 23-1/8 (807 x 587)		31-13/16 x 23-1/8 (807 x 587)	128/150(58/68)			
CVA925GKA‡	2	24,000	23.6	40	38-1/2 x 23-1/8	152/177 (69/80)	
CVA936GKA	3	36,000	24.2	40	(980 × 587)	152/177 (69/80)	
CVA937GKA‡	3	36,000	26.0	40	38-15/16 x 31-3/16	205/242 (93/110)	
CVA948GKA	4	48,000	27.3	40	(989 x 792)	205/242 (93/110)	
CVA949GKA‡	4	48,000	26.0	40	43-11/16 x 35 (1111 x 889)	249/285 (113/129)	
CVA960GKA	5	60,000	40.0	60	42-5/16 x 31-3/16 (1075 x 792)	229/268(104/121)	

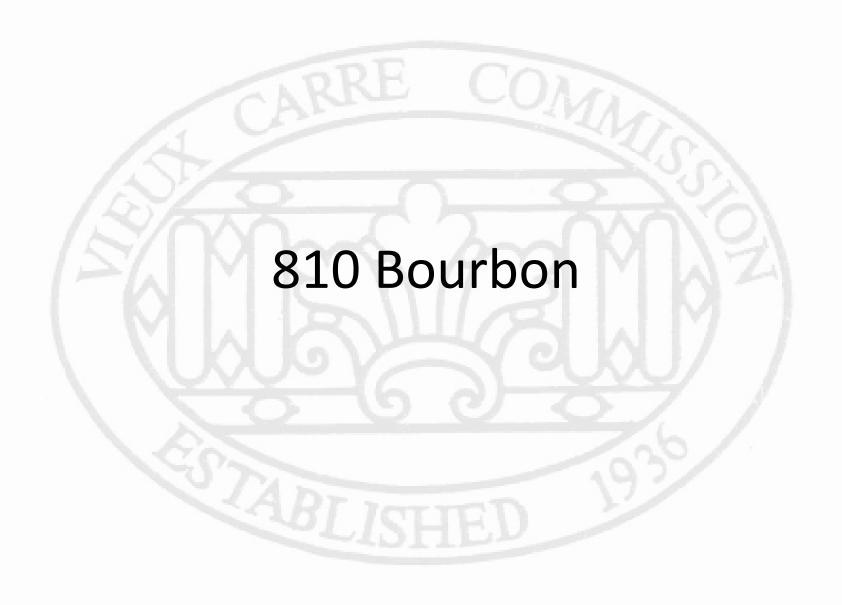
‡ = Meets Energy Star criteria when matched with appropriate coil

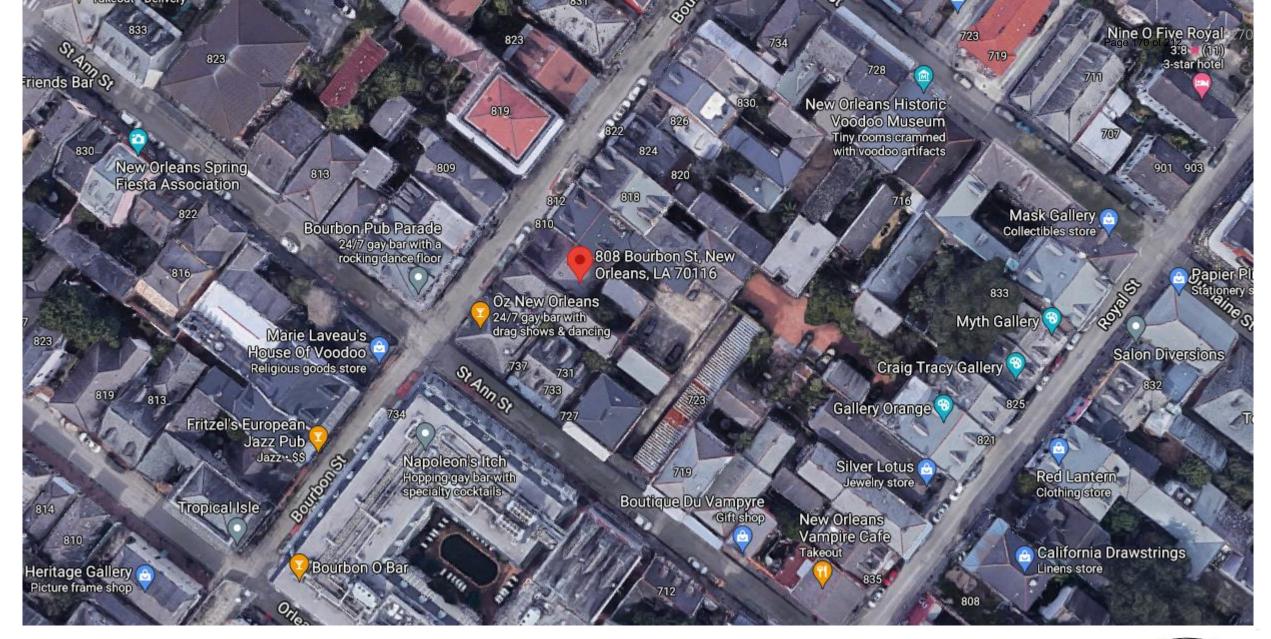
Specifications subject to change without notice.

421 41 5800 02 3/1/16











































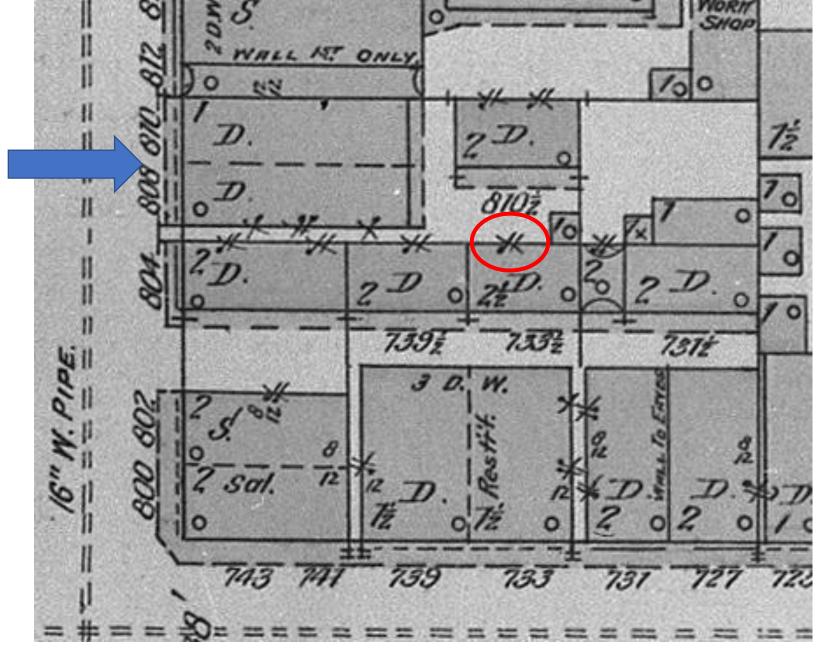






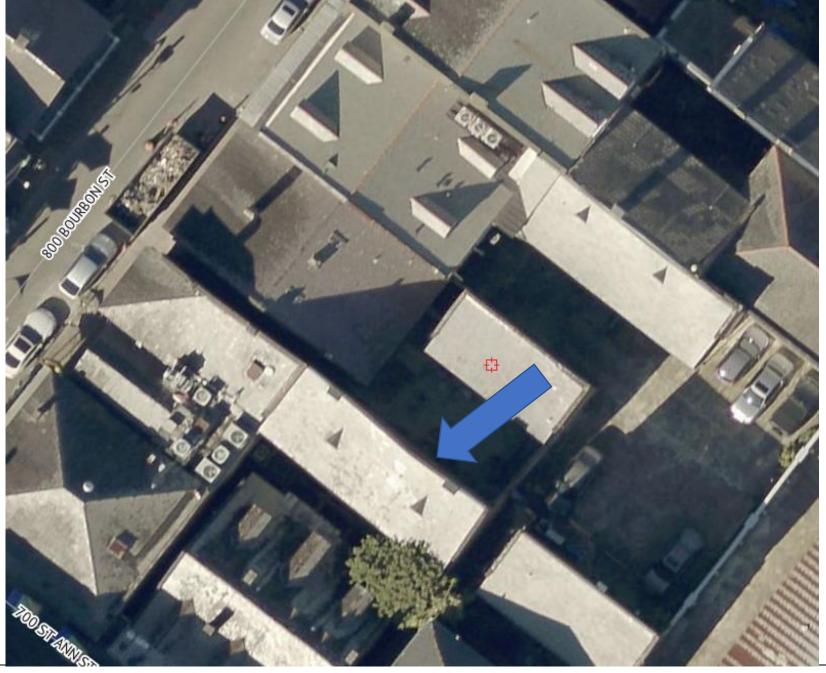






810 Bourbon, 1896 Sanborn Map

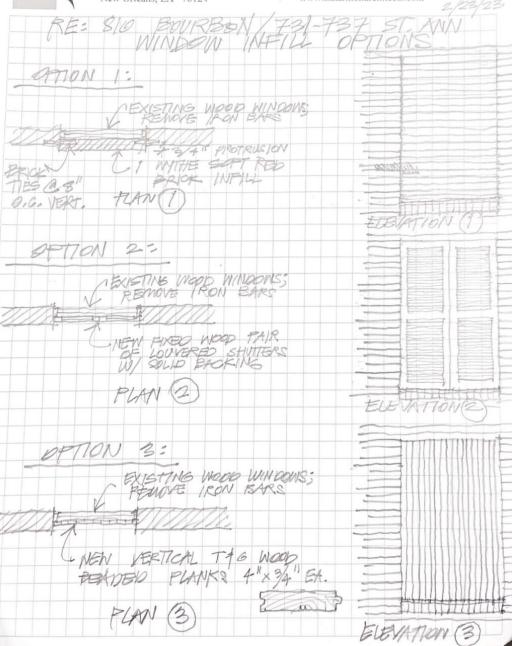


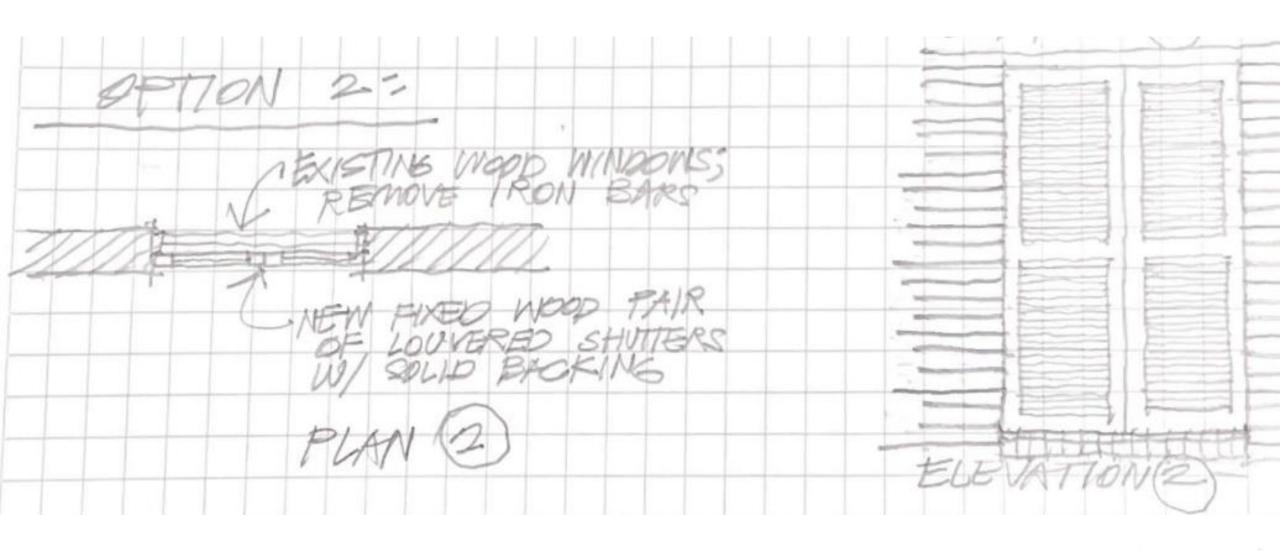


810 Bourbon



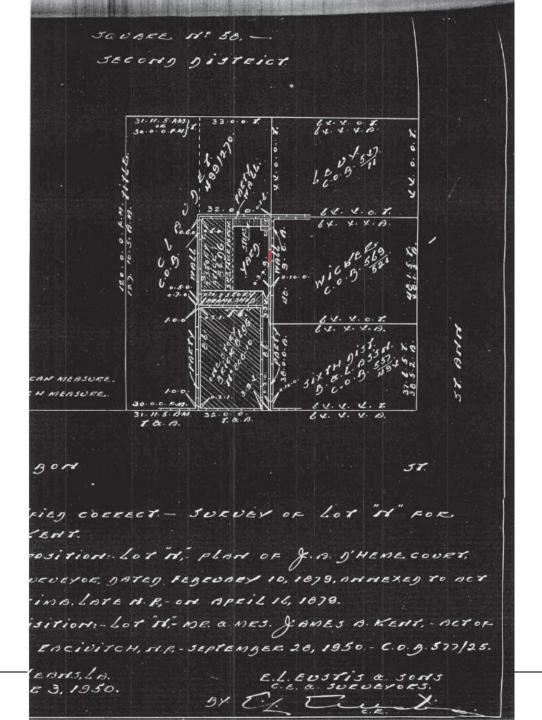
504.485.5870 harmon@lkharmonarchitects.com www.lkharmonarchitects.com



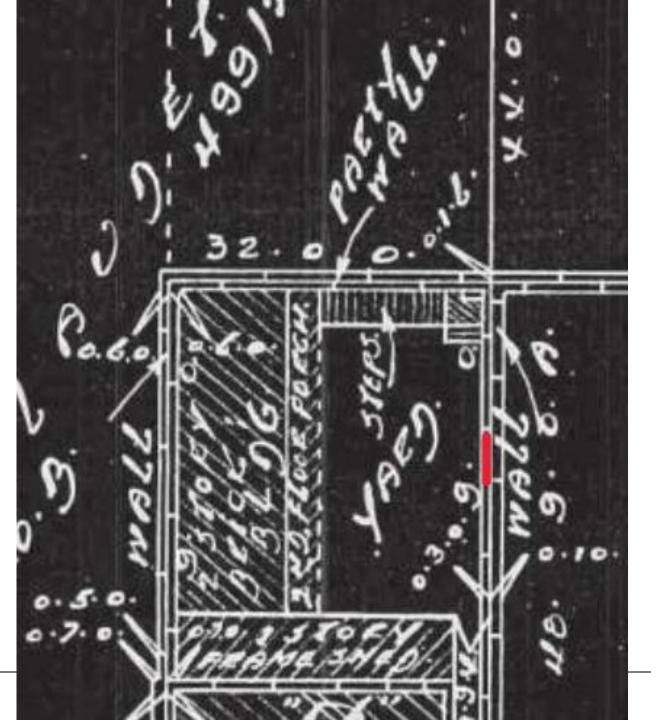


810 Bourbon





810 Bourbon – 1950 Survey





189

A Boundary Survey of Lot "N".

SIDE ROYAL

ST.

DUMAINE

ST. **BOURBON**

THE SERVITURES AND RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITURES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING DATA FOR THIS SURVEY.

my direct

NEW ORLEANS, LA ORLEANS PARISH

ST.

AWN

Date: April 26, 2023

This plat represents an actual ground survey made by me 80 under supervision and control and meets the requirements for the Standard of Foundary Surveys as found in Louisiana Administrative Collection (Chapter 29 for a Class "C" survey.

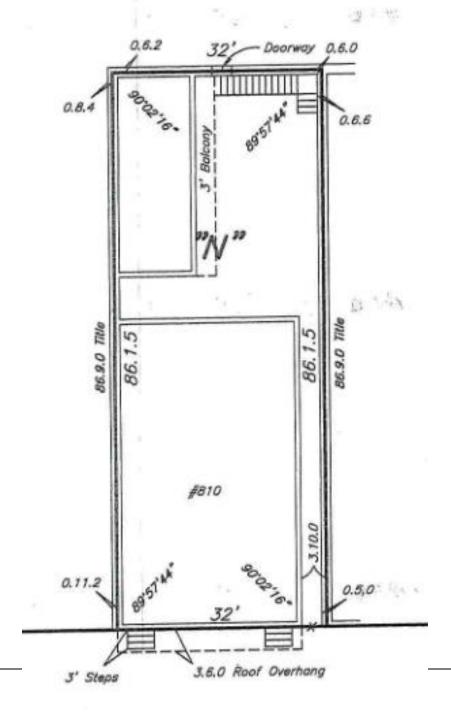
Made at the request of Carimi Construction.

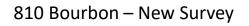
Gilbert, Kelly & Couturie', Inc., Professional Land Surveying 2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

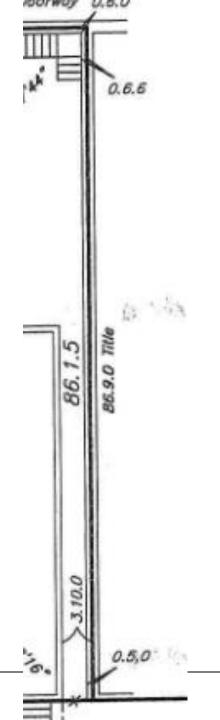
810 Bourbon – New Survey

VCC Architectural Committee









810 Bourbon – New Survey





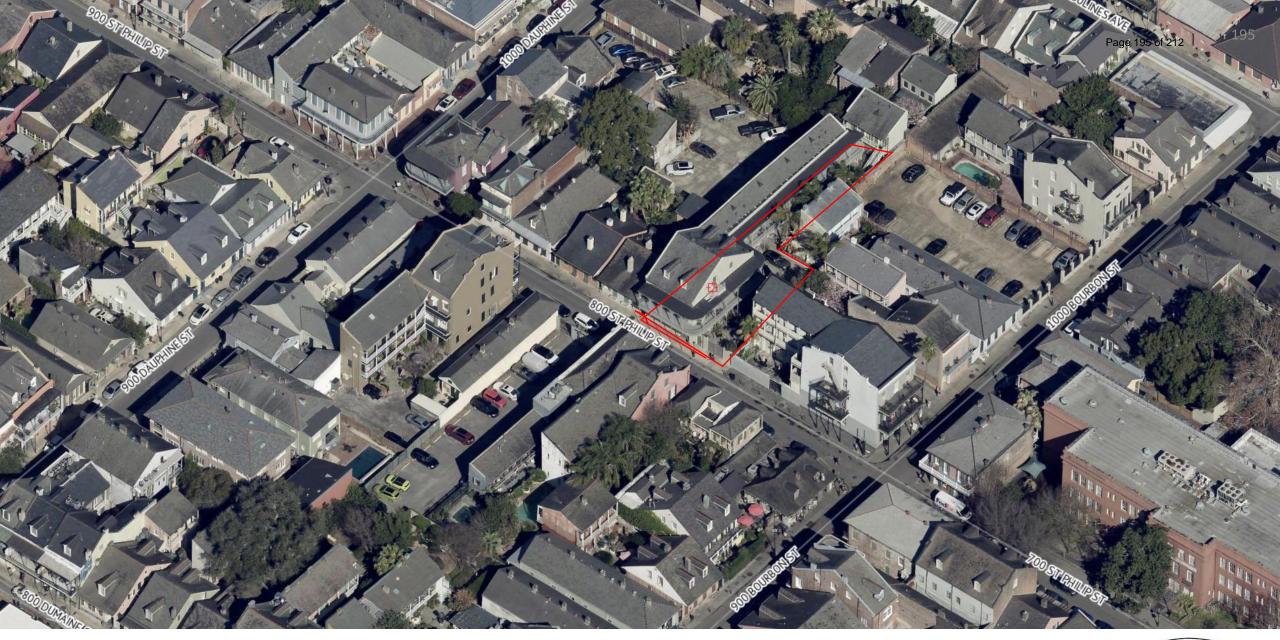












817 St. Philip

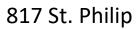
















817 St. Philip



817 St. Philip



817 St. Philip

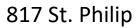




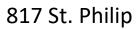


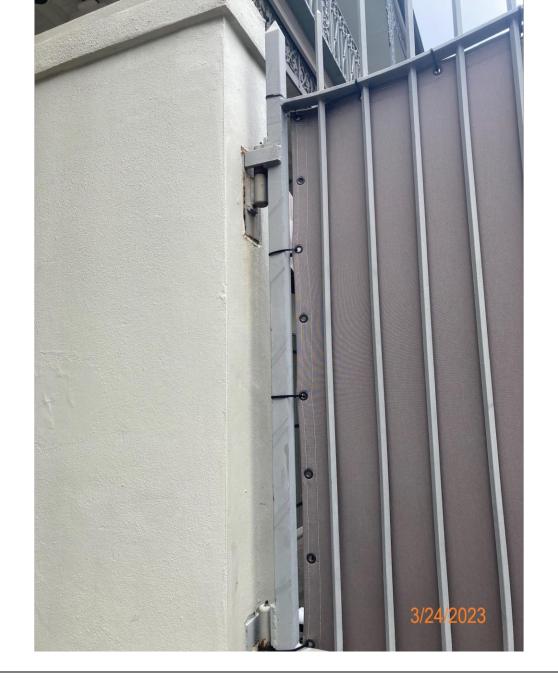










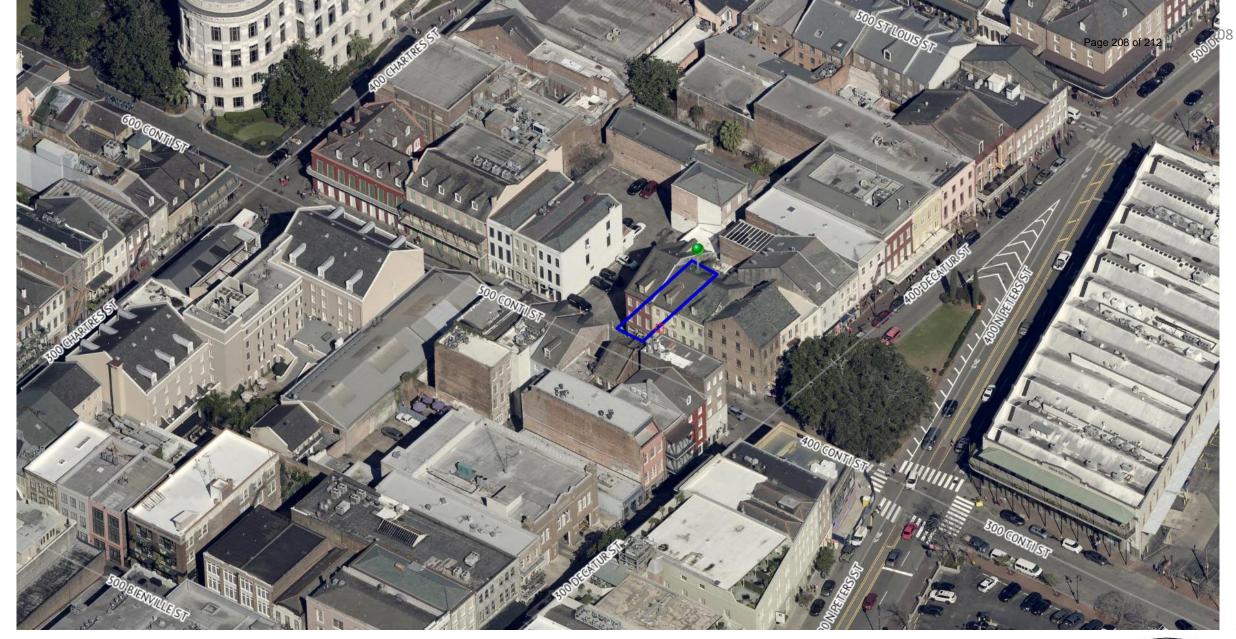


817 St. Philip



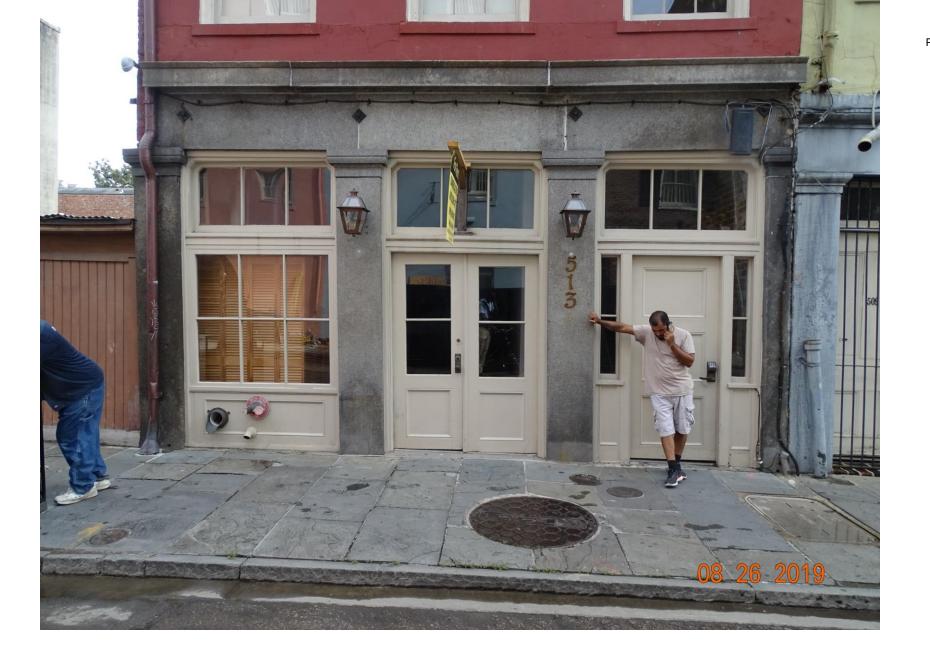






513 Conti







To whom it may concern,

We are appealing to the VCC to approve the following hardware at 513 Conti

Trilogy T2 DL2700, DL2700WP Digital Commercial Keypad Lock | GoKeyless

Our key lock is in duranodic bronze.

We choose to use this hardware because it's handicap accessible while also providing a traditional antique appearance.

We would also like to point out that the United States Department of Interior has designated our renovation (including our Trilogy Lock) as a cultural landmark.

We hope the VCC will remove the yellow flag violation from our building.

Thank you,

Axel Oestreicher



8 (H) x 3 1/4 (W) x 1 7/8 (D) in. Page 211 of 212

Inside Dimensions 8 1/4 (H) x 3 1/4 (W) x 1 11/16 (D) in.

Door Thickness Minimum 1 5/8 in.

Door Thickness Maximum 1 7/8 in.

Code Length 3 to 6 Digits

Code Capacity 100

Exterior Dimensions

Battery Type AA

Battery Life 120,000 Cycles

Door Handing Non-Handed

Door Prep Standard 2 1/8 in. Cross-Bore, Through-Bolt Hole(s)

Door Stile Width Minimum 4 1/2 in.

Backset 2 3/4 in.

Outside Operating Temperature Range -31° to 151°F (-35° to 66°C)

Manufacturer Alarm Lock

Brand Alarm Lock Trilogy

Lock Features Passage Mode

Handle Type Lever Handle Door Locks

Door Opening Standard

Locking Device Cylindrical Latch

Access Type Key, Keypad - Digits

Keyway Schlage C

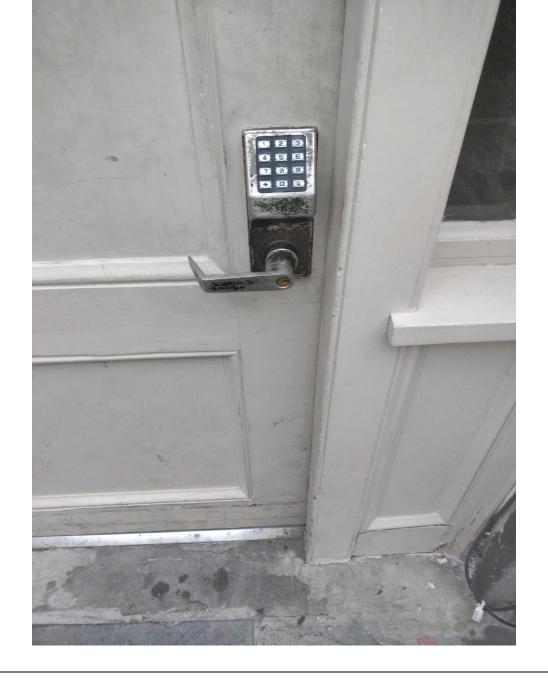
BHMA Rating Grade 1 (Best)

Weight 7.5 lbs

Warranty 2 Year Manufacturer

Authentication Single Factor





513 Conti