

Vieux Carré Commission Architecture Committee Meeting

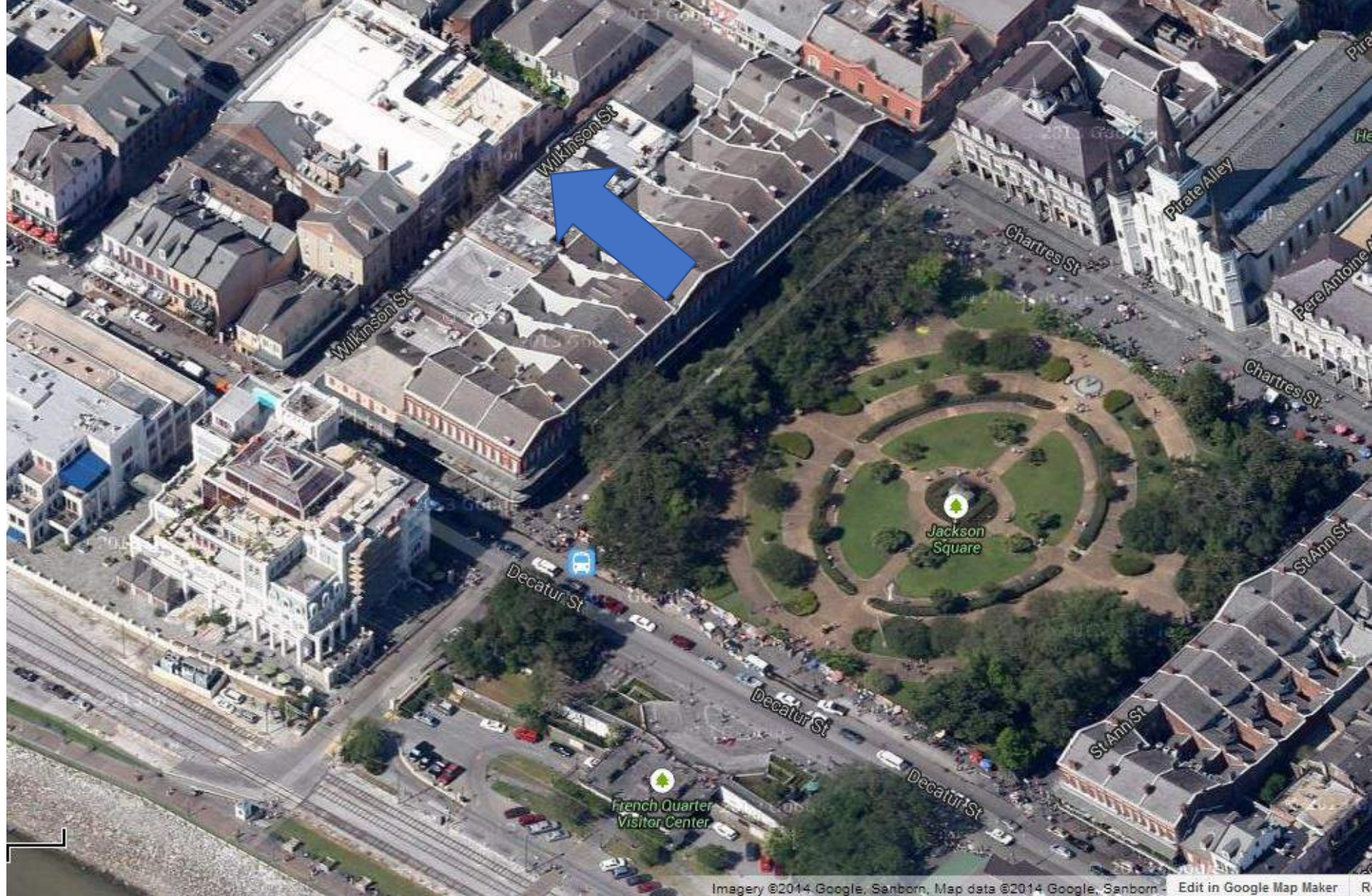
Tuesday, June 13, 2023



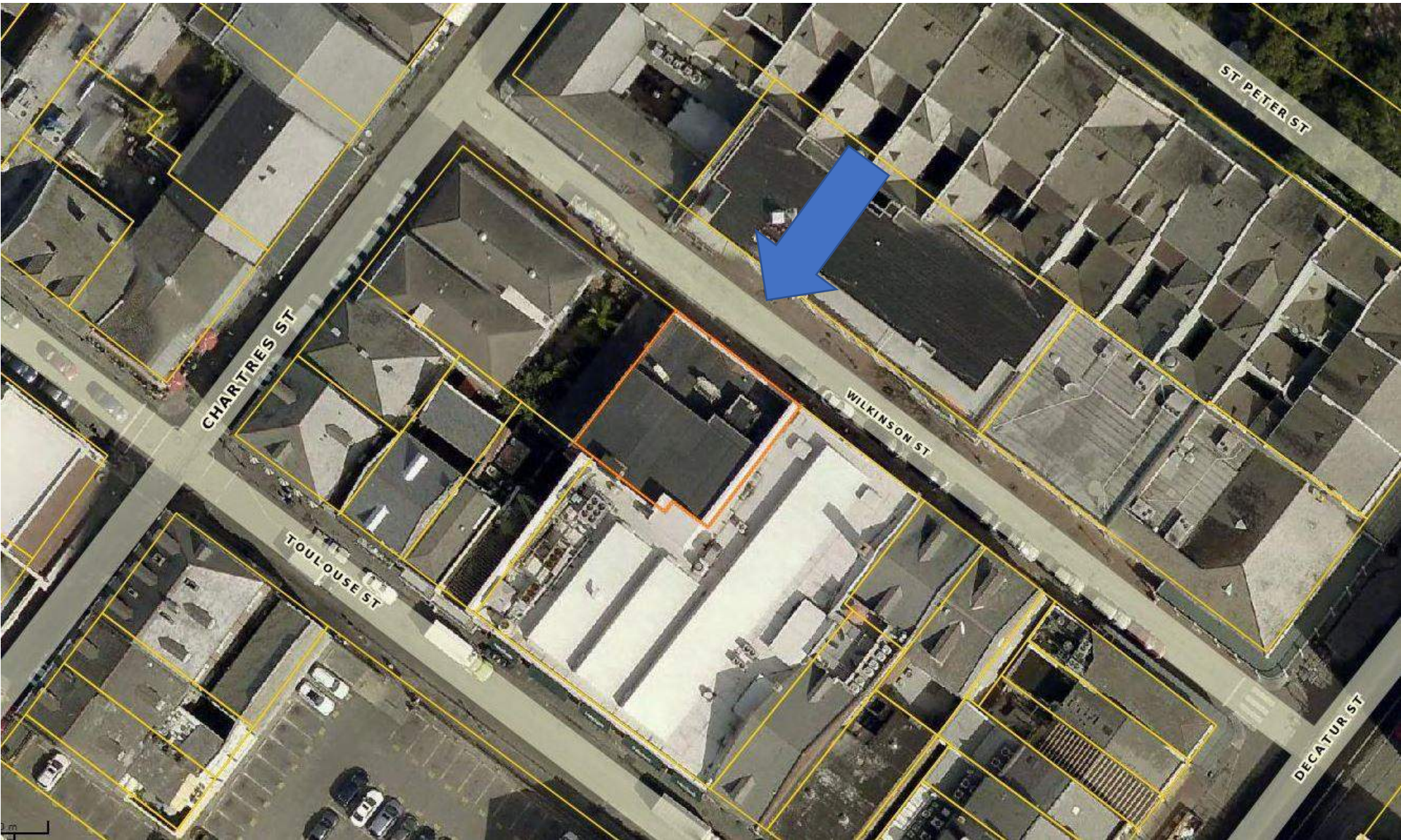
Old Business



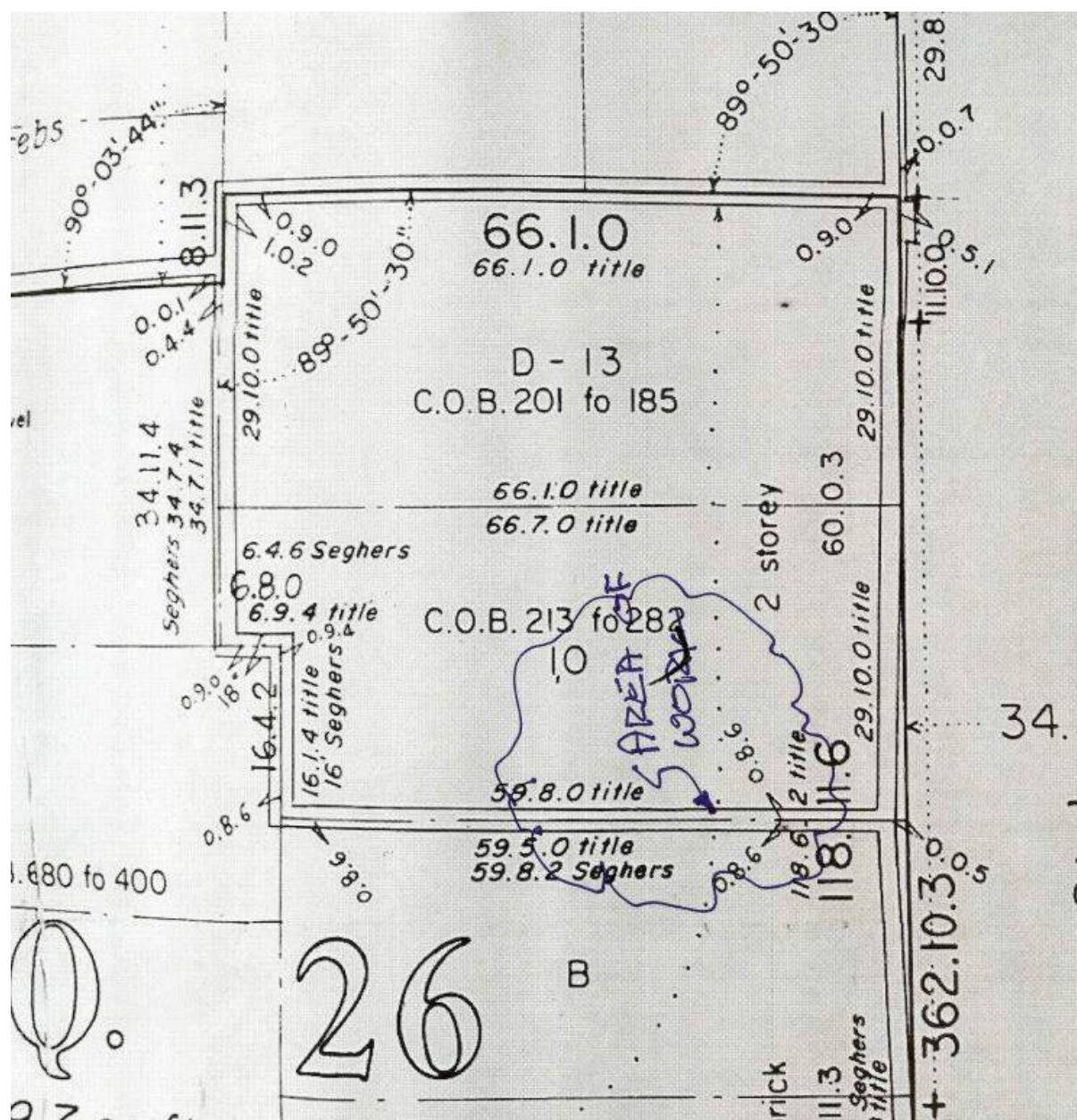
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528 Wilkinson, 1964



528 Wilkinson, c. 1987-88



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Vieux Carre Commission

February 16, 2022





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Vieux Carre Commission

February 16, 2022





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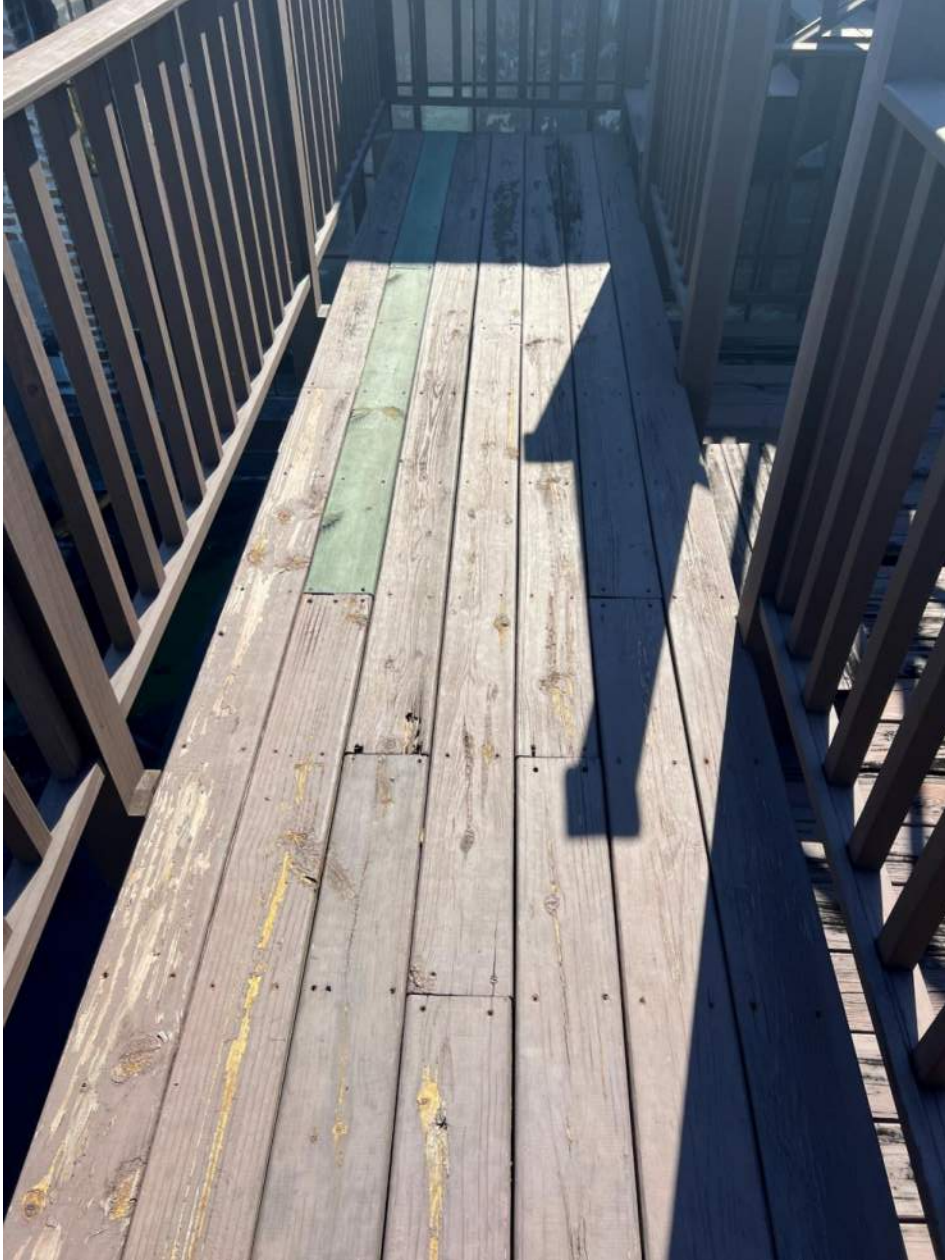


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February 16, 2022





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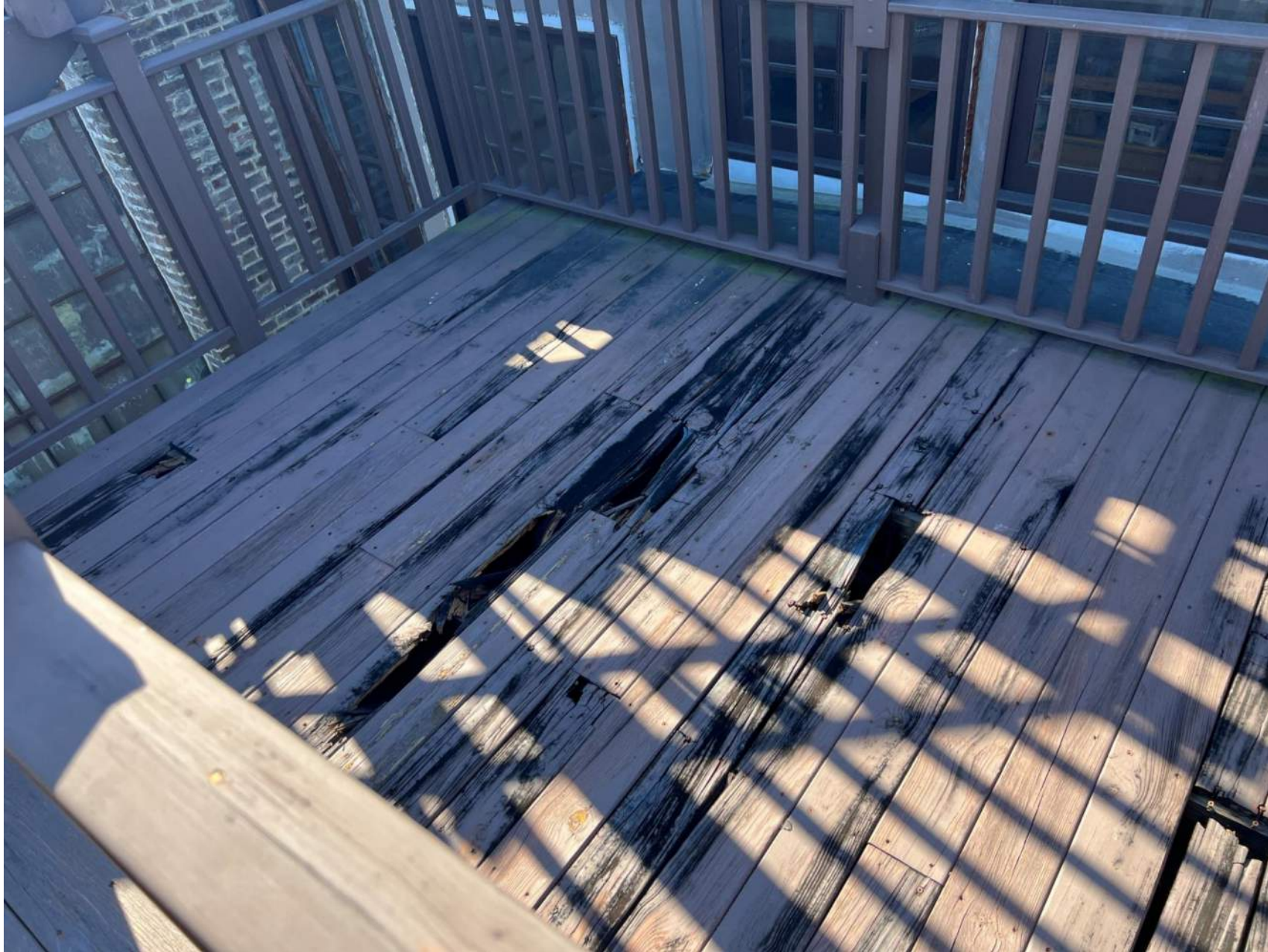


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February 16, 2022





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3 EXISTING CONDITION



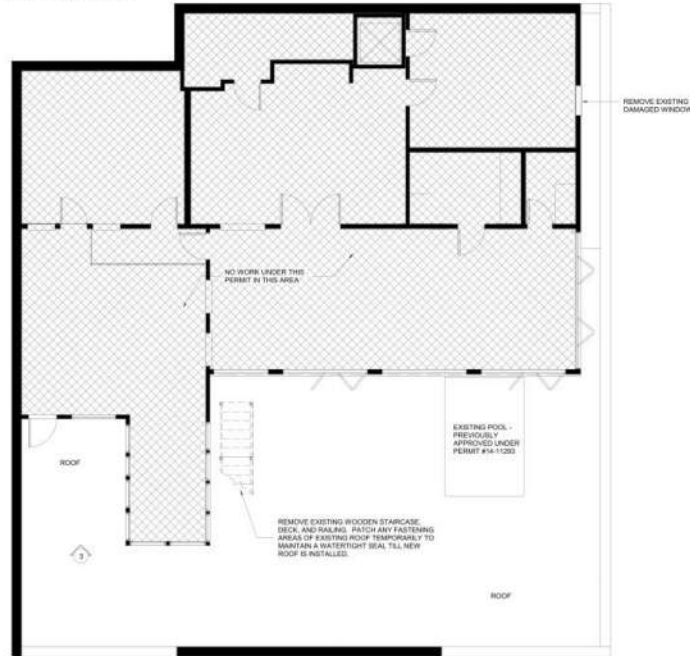
4 EXISTING CONDITION



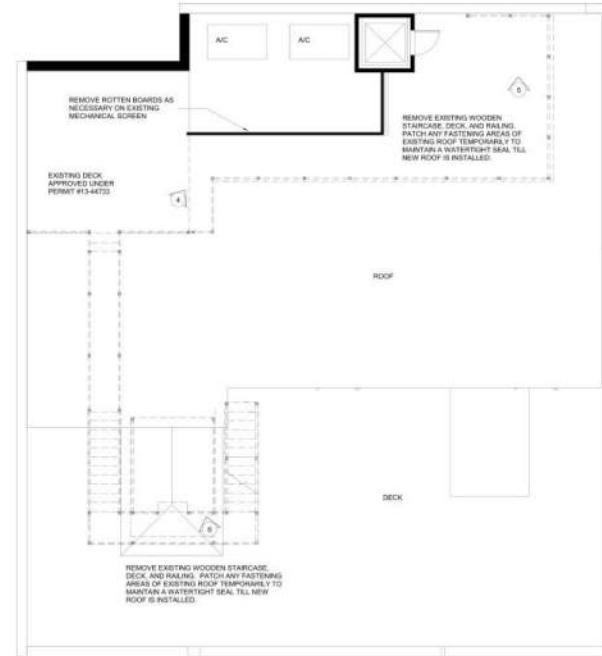
5 EXISTING CONDITION



6 EXISTING CONDITION



1 3RD FLOOR PLAN-DEMO
3/16" = 1'-0"



2 ROOF-DEMO
3/16" = 1'-0"



ZACH SMITH
CONSULTING & DESIGN
530 S Norman C Francis Parkway Suite 102
New Orleans, LA 70119
zach@zachsmithconsulting.com
+1 (504) 383-3748

CAUSEY RESIDENCE
ROOF & DECK REPAIR &
IMPROVEMENTS
528 WILKINSON ST.
NEW ORLEANS, LOUISIANA

Rev	Description	Date
1	ADDENDUM #1	1/16/22
2	REVISION 1-CC REVIEW	1/16/22

VCC SUBMITTAL

ROOF PLAN-DEMO

Project name: CAUSEY RESIDENCE
Project number: 15-15-2022
Date: 1/16/22
Drawn by: LTL
Checked by: ZS



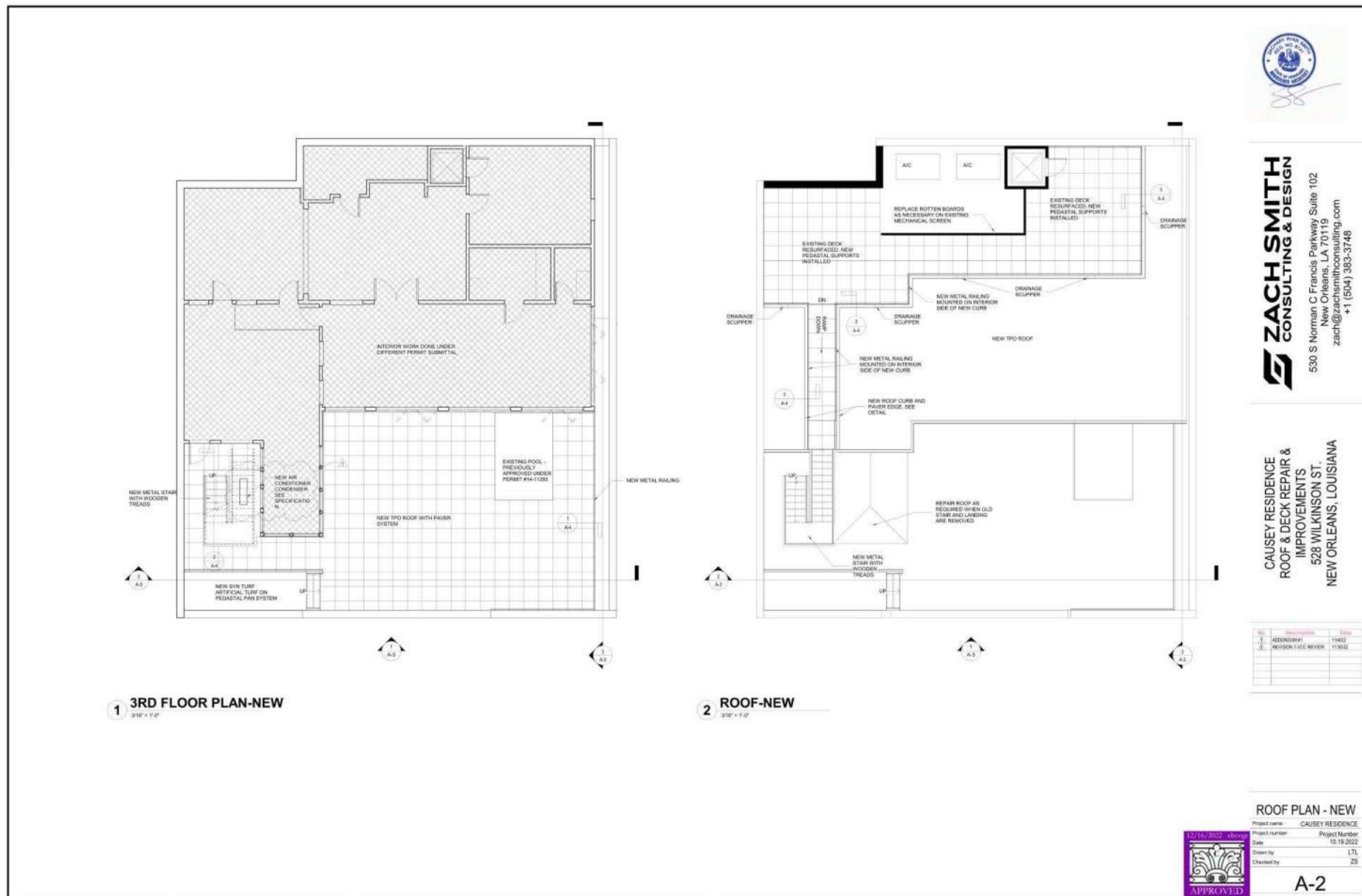
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528 Wilkinson

Vieux Carre Commission

February 16, 2022



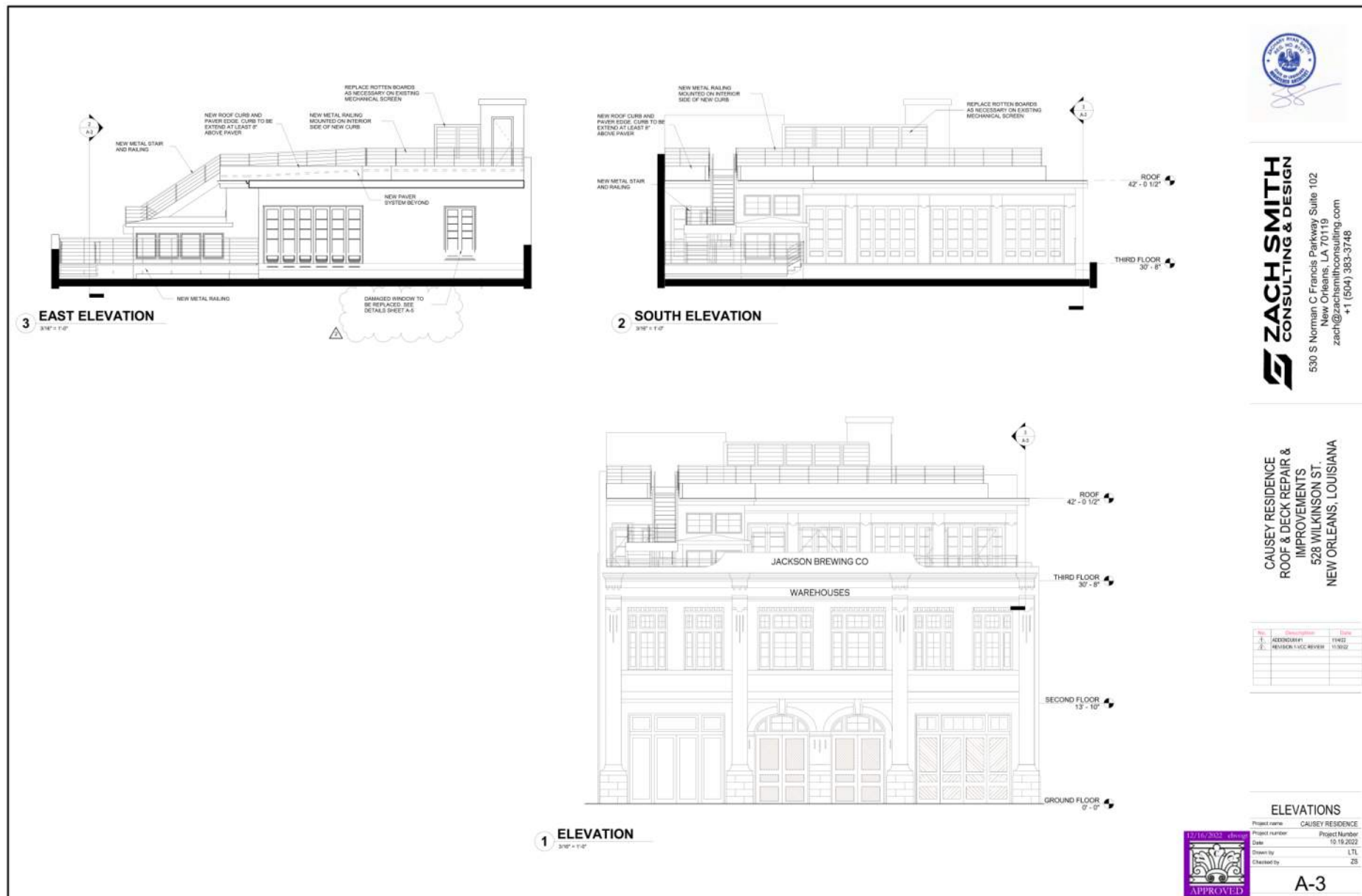


528 Wilkinson

Vieux Carre Commission

February 16, 2022



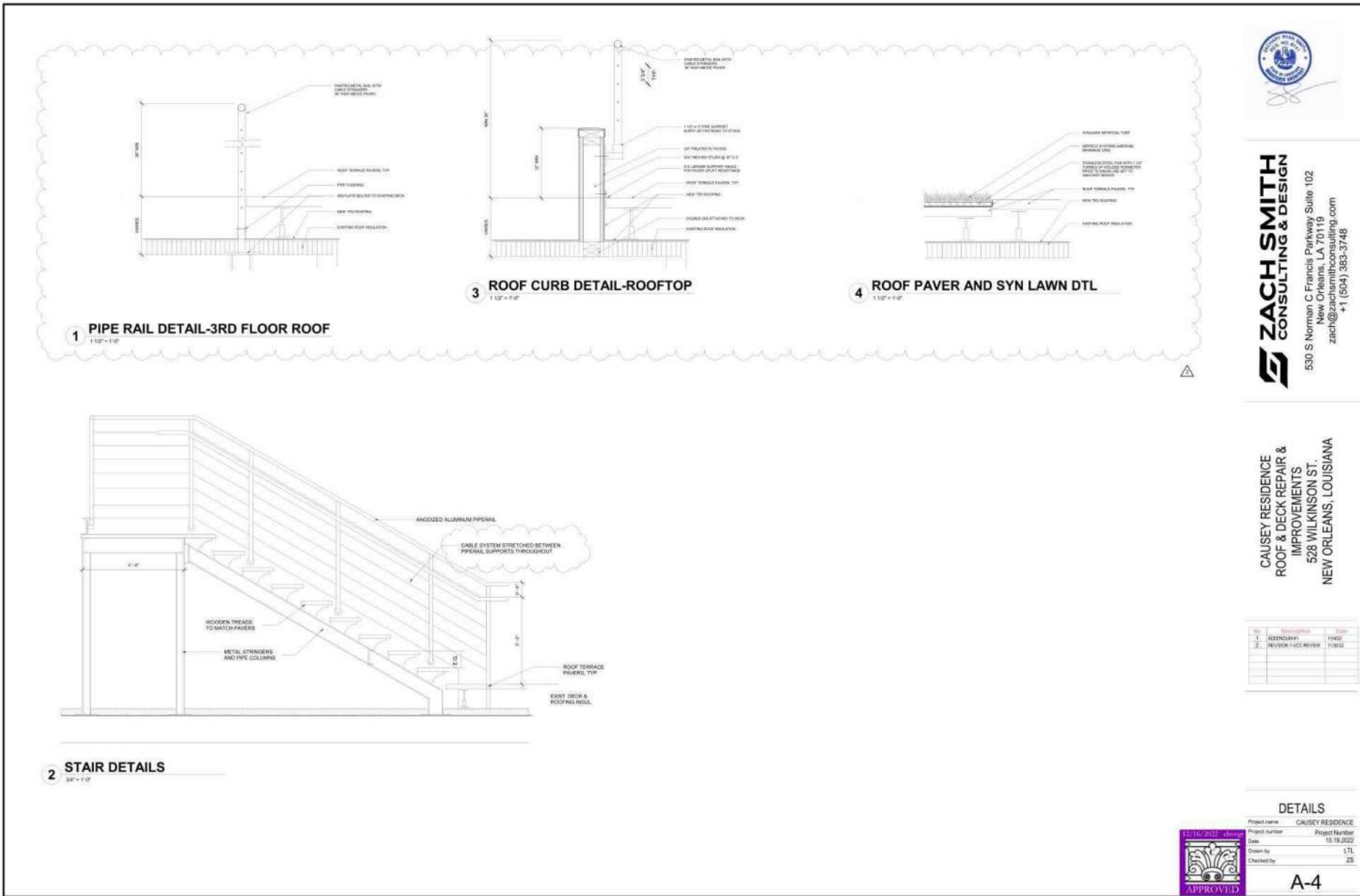


528 Wilkinson

Vieux Carre Commission

February 16, 2022



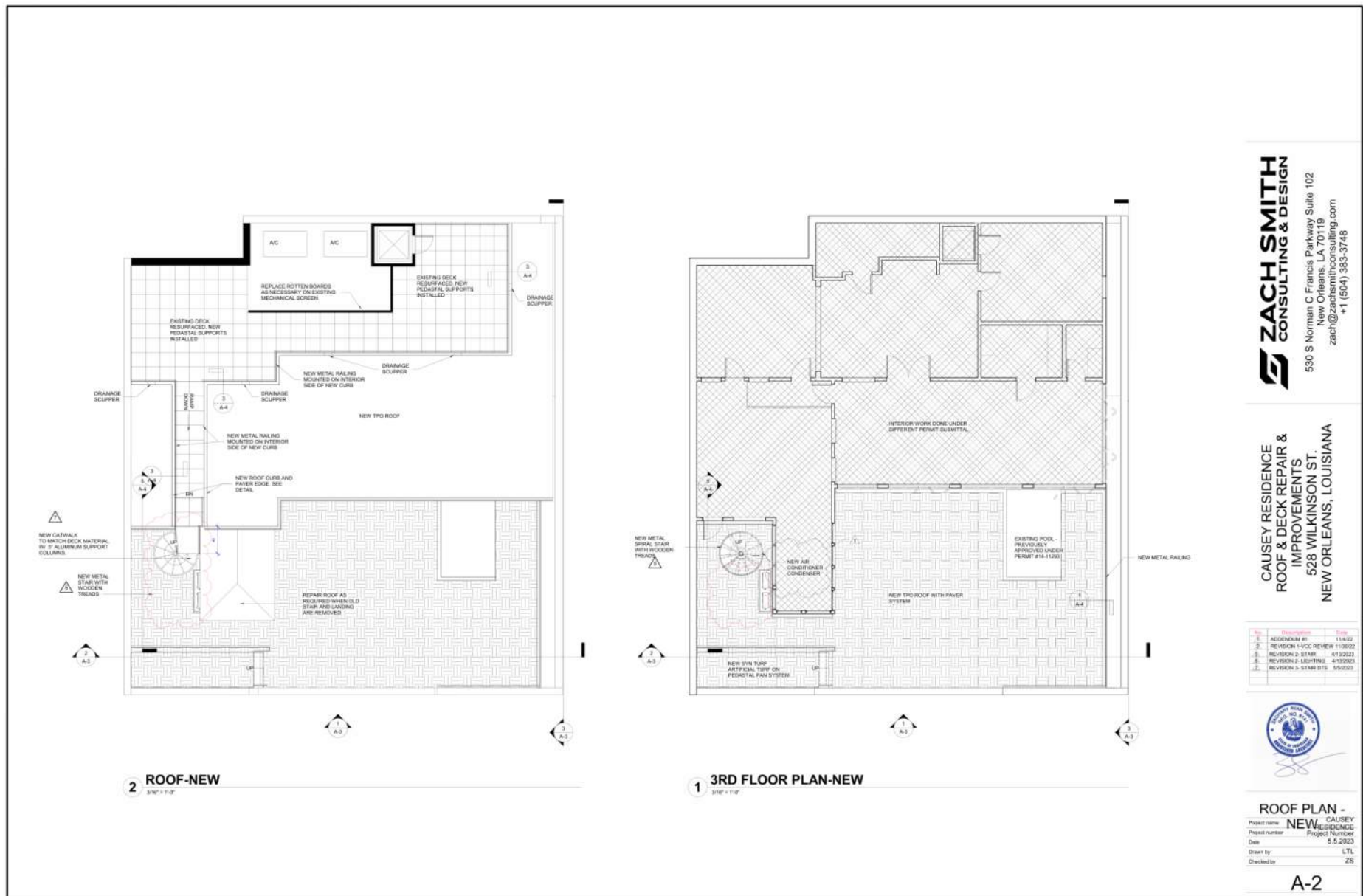


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Vieux Carre Commission

February 16, 2022



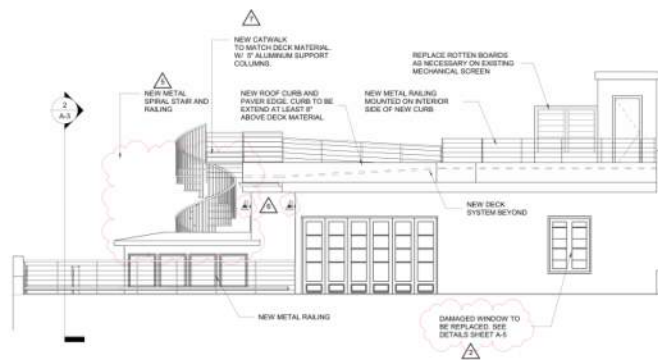


528 Wilkinson - proposed

Vieux Carre Commission

February 16, 2022

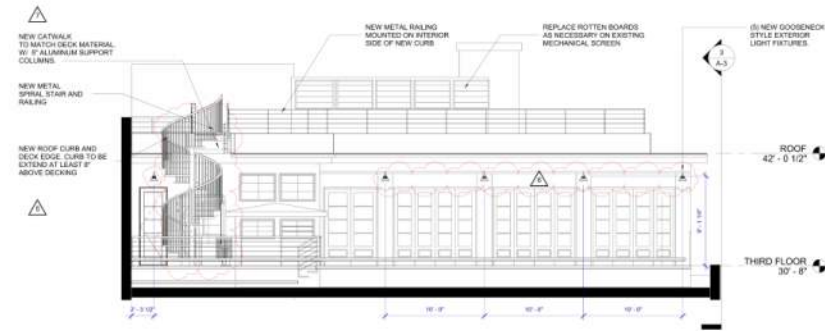




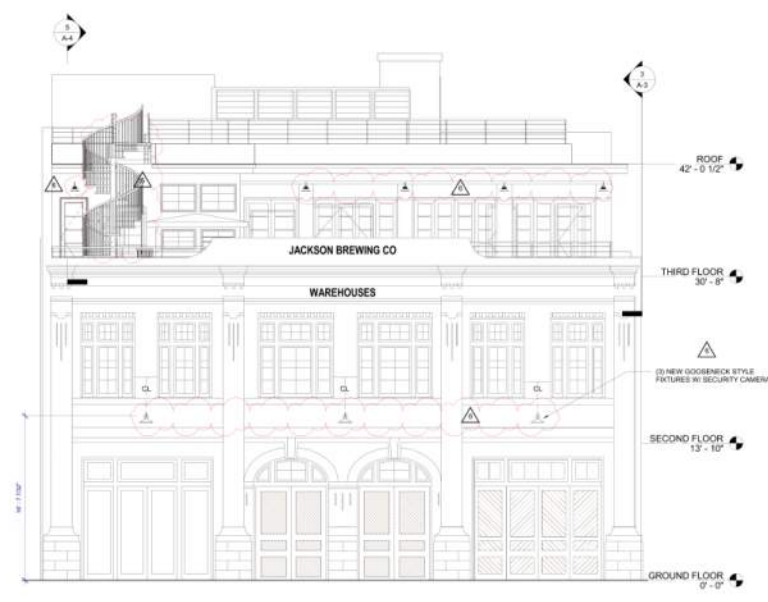
3 EAST ELEVATION
3/16" = 1'-0"



4 STAIR AXON VIEW



2 SOUTH ELEVATION
3/16" = 1'-0"



1 ELEVATION
3/16" = 1'-0"

ZACH SMITH
CONSULTING & DESIGN

530 S Norman C Francis Parkway Suite 102
New Orleans, LA 70119
zach@zachsmithconsulting.com
+1 (504) 383-3748

CAUSEY RESIDENCE
ROOF & DECK REPAIR &
IMPROVEMENTS
528 WILKINSON ST.
NEW ORLEANS, LOUISIANA

No.	Description	Date
1.	ADDENDUM #1	11/4/22
2.	REVISION 1-VOG REVIEW	11/30/22
3.	REVISION 2-STAIR	4/13/2023
4.	REVISION 2-LIGHTING	4/13/2023
5.	REVISION 3-STAIR DET.	5/5/2023



ELEVATIONS
Project name: CAUSEY
Project number: RESIDENCE
Project Number: 5-5-2023
Date: 5-5-2023
Drawn by: LTL
Checked by: ZS

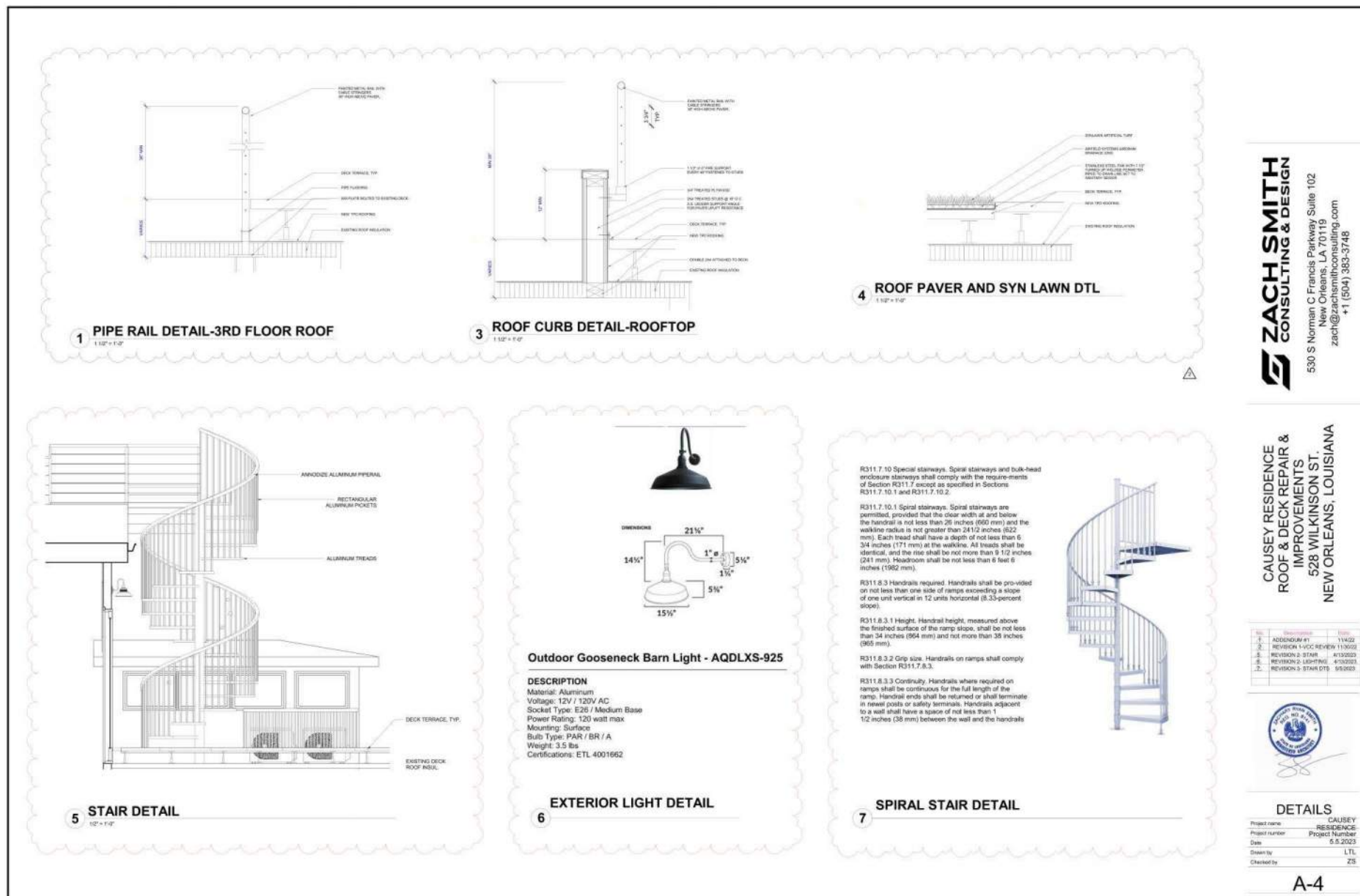
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528 Wilkinson - proposed

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February 16, 2022





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CONSULTING & DESIGN

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New Orleans, LA 70119
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+1 (504) 383-3748

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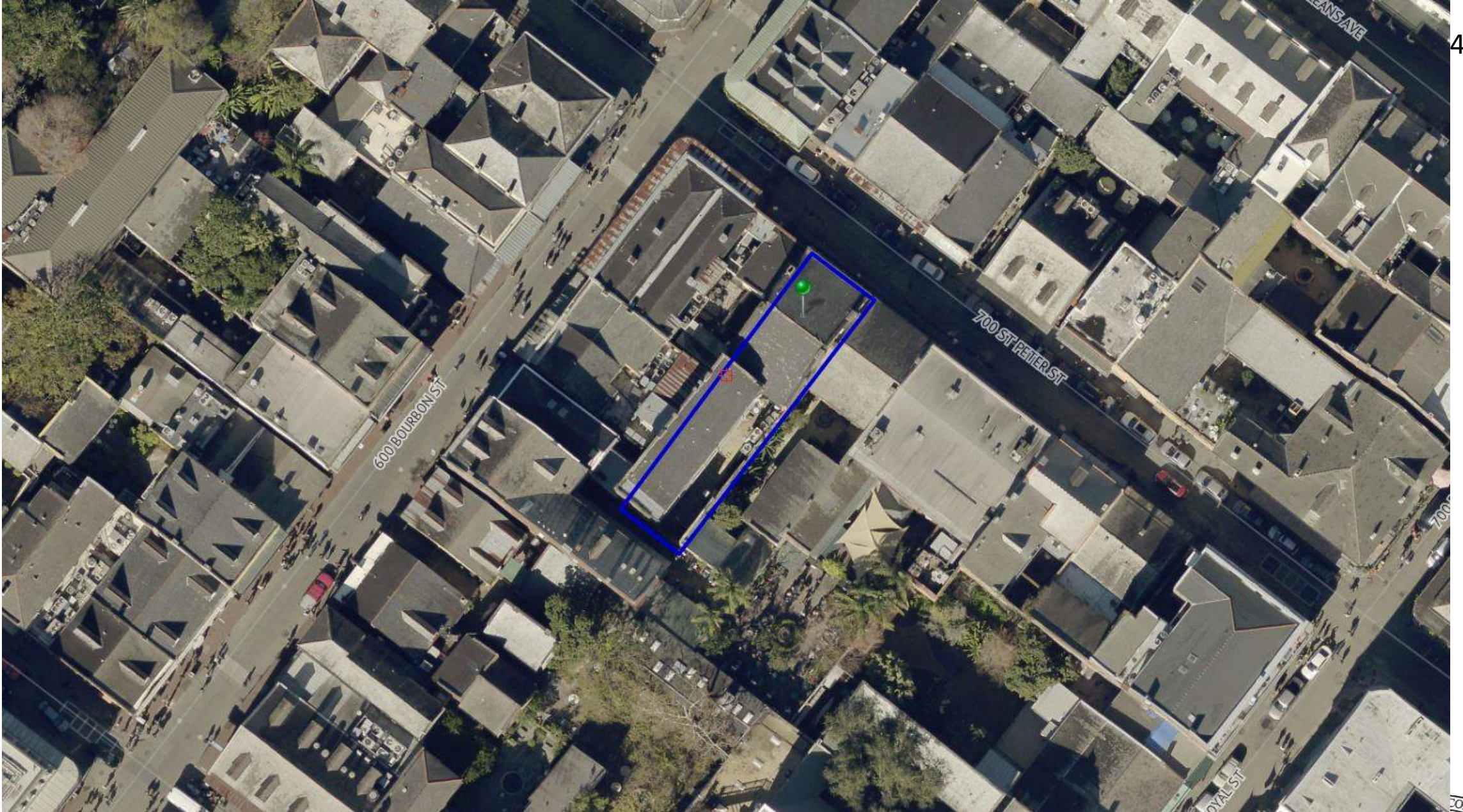
Vieux Carre Commission

February 16, 2022





730 St Peter



730-732 St Peter

VCC Architecture Committee

June 13, 2023





730-732 St Peter

VCC Architecture Committee

June 13, 2023





730-732 St Peter – 1860 plan book

VCC Architecture Committee

June 13, 2023





730-732 St Peter – 1930s – 40s?

VCC Architecture Committee

June 13, 2023





730-732 St Peter – 1950s?

VCC Architecture Committee

June 13, 2023





730-732 St Peter – 1963

VCC Architecture Committee

June 13, 2023





1941



1975

730-732 St Peter

VCC Architecture Committee

June 13, 2023





1994



01.2009

730-732 St Peter

VCC Architecture Committee

June 13, 2023





Current



730-732 St Peter

VCC Architecture VCC Architectural Committee

April 13, 2010

June 1, 2023





730-732 St Peter

VCC Architecture Committee

June 13, 2023





730-732 St Peter

VCC Architecture Committee

June 13, 2023





730-732 St Peter

VCC Architecture Committee

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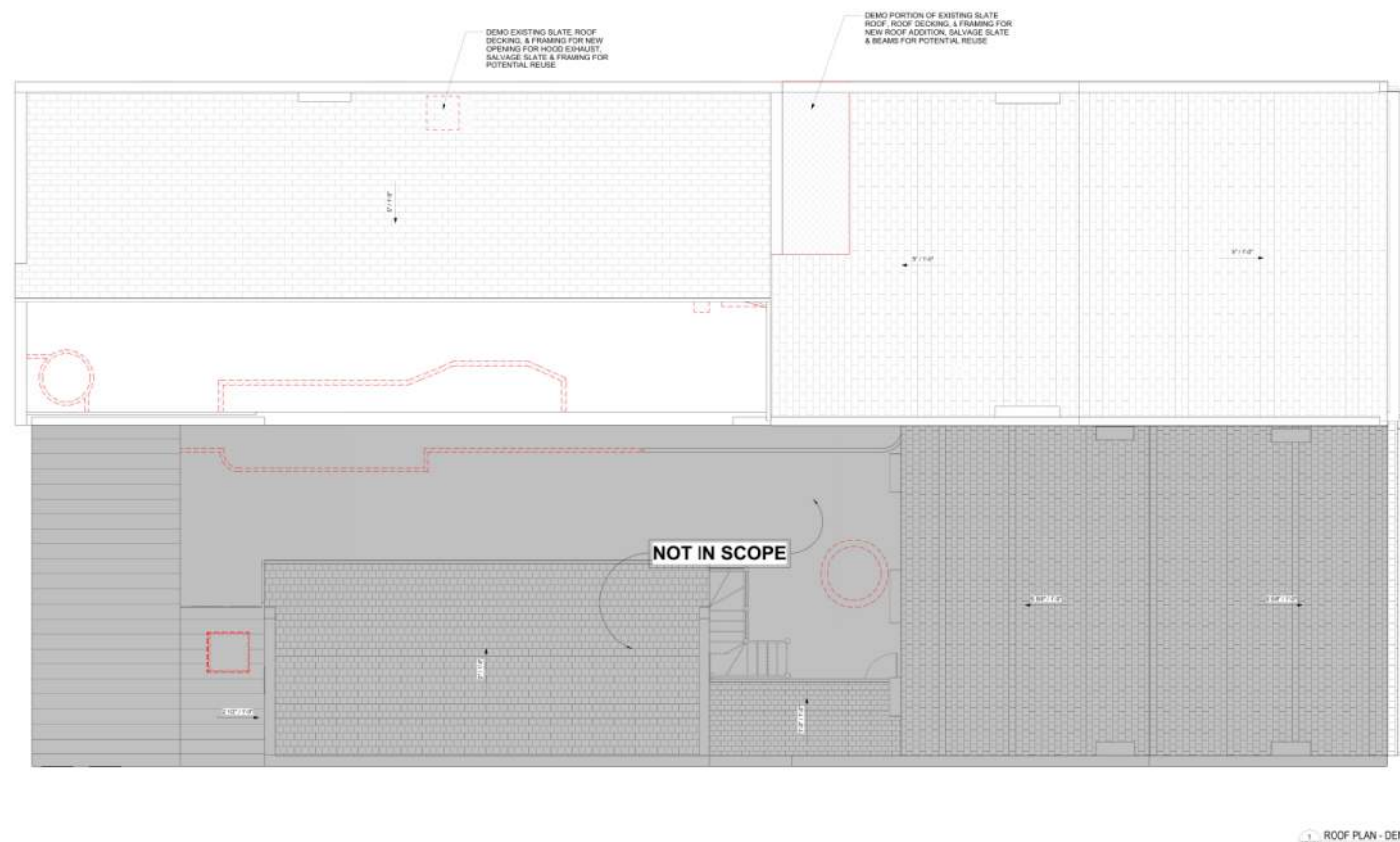


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DRAWING	
ROOF PLAN - DEMOLITION	
PHASE 2	
DRAWING BY	
SCALE	As Shown
JOB No.	51
DATE	04/11/2011

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1 ROOF PLAN - DEMO



RF-1 EXTERIOR ROOF

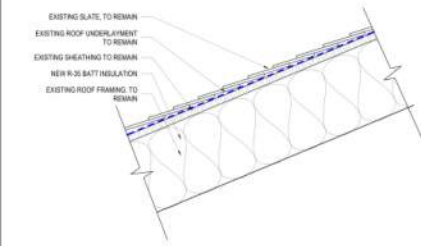
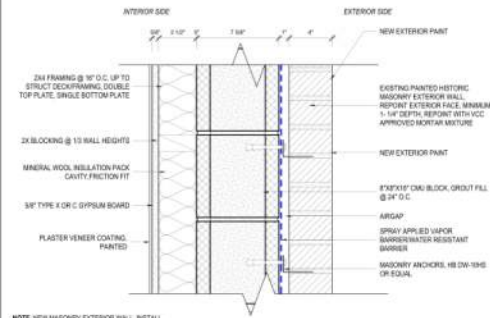


Diagram illustrating the components of a roof assembly, including:

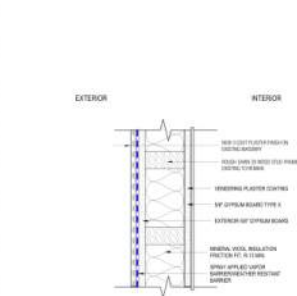
- EXISTING SLATE OR NEW TO MATCH EXISTING ROOF SLATE MATERIAL
- NEW ROOF UNDERLAYMENT
- NEW 3/4" PLYWOOD SHEATHING
- NEW R-25 BATT INSULATION
- NEW 2X ROOF FRAMING, RE-STRUCTURAL

EXTERIOR CEILING TYPES

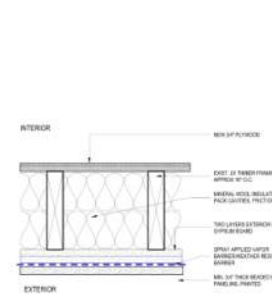


NOTE: NEW MASONRY EXTERIOR WALL. INSTALL UP TO EXISTING OPENING HEIGHT.

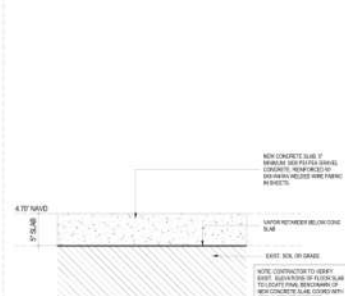
EW-5 EXTERIOR WALL TYPE



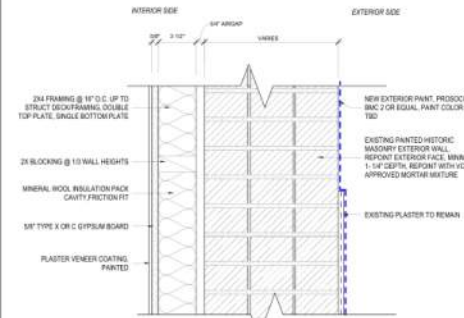
EW-6 EXTERIOR WALL TYPE



FL-4 EXTERIOR FLOOR/CEILING TYPE

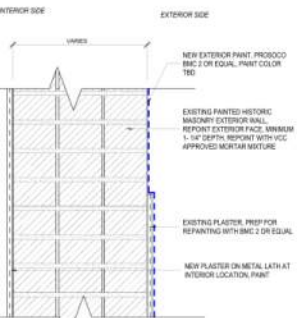


FL-1 FLOOR TYPE - FIRST FLOOR



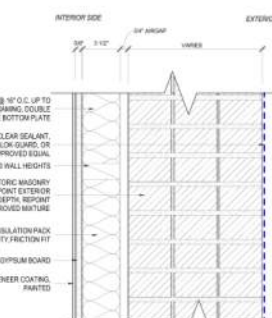
NOTE: EXTERIOR WALL TYPE CONTAINS A VARIETY OF LOCATIONS WHERE EXISTING PLASTER ONLY PARTIALLY COVERS MASONRY. EXISTING PLASTER TO REMAIN AT ALL EXISTING LOCATIONS, EXPOSED MASONRY TO BE REPOINTED AND REPAINTED. PLASTER TO BE REPAINTED

EW-1 EXTERIOR WALL TYPE

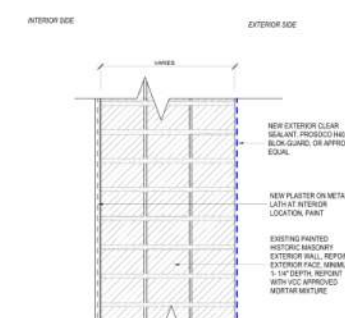


EXTERIOR WALL TYPE CONTAINS A VARIETY OF LOCATIONS WHERE PLASTER ONLY PARTIALLY COVERS MASONRY. EXISTING PLASTER TO REMAIN AT ALL EXISTING LOCATIONS. EXPOSED MASONRY TO BE POINTED AND REPAIRED; PLASTER TO BE REPAIRED.

2 EXTERIOR WALL TYPE



EW-3 EXTERIOR WALL TYPE



EW-4 EXTERIOR WALL TYPE

INTERIOR FLOOR/CEILING TYPES

INTERIOR PARTITION TYPES - MASONRY

INTERIOR CEILING TYPES

REVISIONS		
No.	Date	Scope

DRAWING
INTERIOR PARTITION
TYPES

TN

DRAWING BY
SCALE
JOB No.
DATE

" = 1'-0"
19807 G2
04-04-2023

TN

Sheet No.

A041

WILLIAMS ARCHITECTS
824 BRADSHAW STREET
NEW ORLEANS, LA 70113
504.586.0888
WILLIAMSARCHITECTS.COM

We have designed and specified these plans based on our professional knowledge and skill, and we warrant that the plans conform to applicable codes and regulations. Clients will rely on providing a good construction and materials in accordance with the plans.

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JAMES C. WILLIAMS ARCHITECTS, LLC

RENOVATION - 730 ST. PETER ST
730 St Peter St, New Orleans, LA 70116

NOTE: NEW DOORS TO MATCH EXISTING HISTORIC DOORS IN STYLE & KIND; VERIFY NEW HEIGHT PER OPENING

DOOR, WINDOW, AND SHUTTER GENERAL NOTES

1. ALL GLAZING IN WINDOWS AND DOORS TO BE LAMINATED GLAZING LOW E CLEAR
2. PROVIDE GLAZING SAMPLE TO OWNER AND ARCHITECT FOR VCC STAFF REVIEW PRIOR TO PURCHASE
3. GENERAL CONTRACTOR TO PROVIDE DOOR AND WINDOW SCHEDULE TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE
4. EXTERIOR DOORS & WINDOWS TO BE INVERTED & APPROVED BY VCC THROUGH ARCH PRIOR TO PURCHASE
5. GENERAL CONTRACTOR TO PROVIDE DOOR, WINDOW, AND COVERED SHUTTER SHOP DRAWINGS BY MILL SHOP TO ARCHITECT & VCC FOR REVIEW AND APPROVAL PRIOR TO PURCHASE
6. ALL EXTERIOR WOOD WINDOWS AND DOORS TO BE WATER REPELLENT, PRESERVATIVE TREATED
7. GENERAL CONTRACTOR TO FIELD VERIFY THRU THROUS ON ALL SHUTTERS, EXTERIOR DOOR, AND WINDOW FRAMES TO ALLOW FOR 1/8" GROUND OPENING EXCEPT FOR DOOR IS ADJACENT TO WALL OR GLAZING
8. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING AT DOOR AND WINDOW OPENINGS WILL MILL SHOP SHOP DRAWINGS AND DIMENSIONS
9. GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE SELECTION AND FINISHES WITH OWNER, ARCHITECT & VCC PRIOR TO PURCHASE
10. GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL FIRE RATED DOORS AND FIRE RATED FRAMES TO ARCHITECT PRIOR TO PURCHASE. PRIOR SPEC FOR EXTERIOR FIRE RATED DOORS TO VCC THROUGH ARCHITECT FOR APPROVAL PRIOR TO PURCHASE

REVISIONS		
No.	Date	Scope

DRAWING: DOOR SCHEDULE

DRAWING BY: TH
SCALE: As Shown
JOB No: 51007-02
DATE: 05/01/23
Sheet No: A080





WILLIAMS ARCHITECTS
 824 BARRACADE STREET
 NEW ORLEANS, LA 70113
 504 566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by us or under our direct supervision and to the best of our knowledge and belief they comply with all applicable laws and regulations.
 We do not warrant the construction of the project.

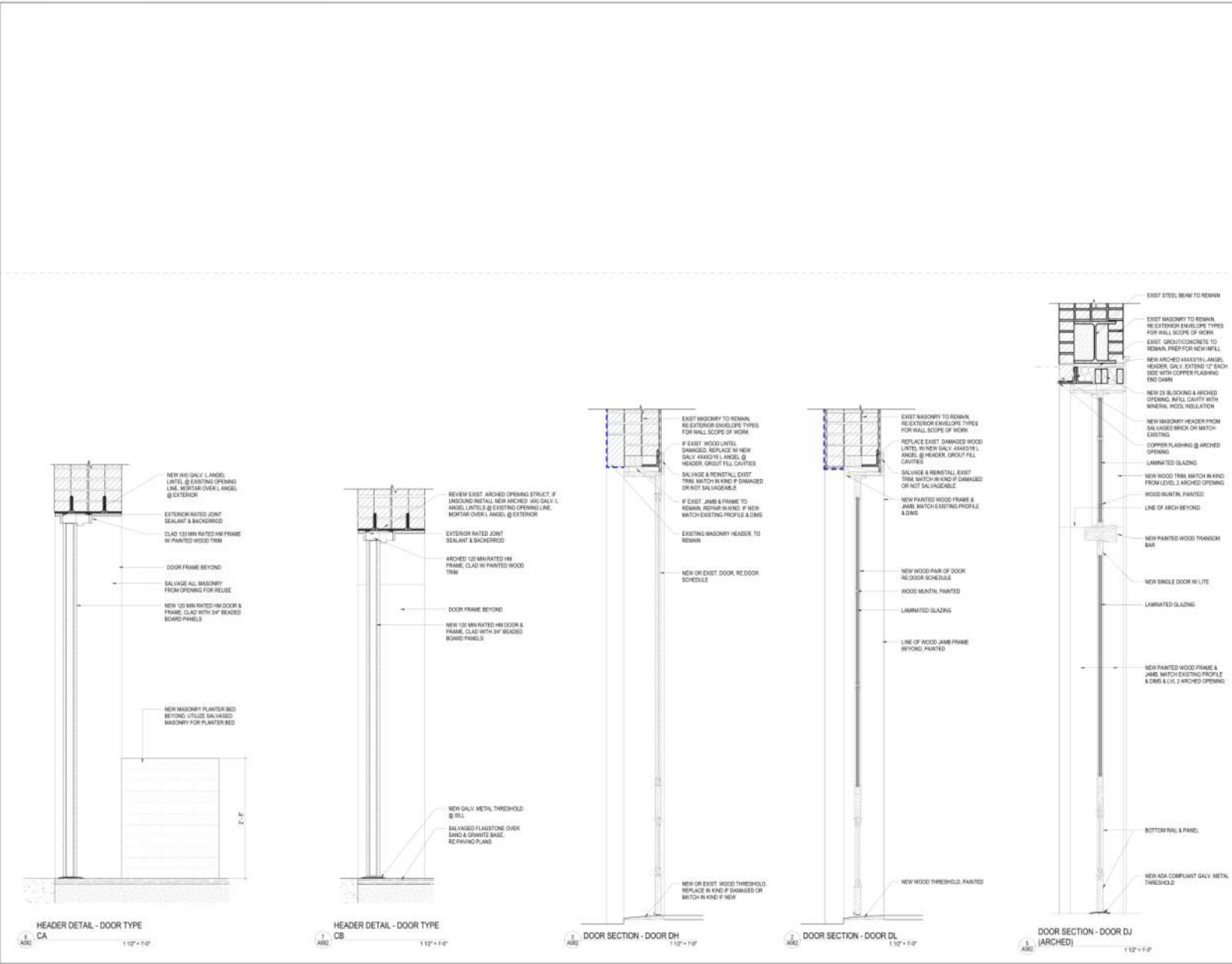
NEW ORLEANS COMMUNITY DEVELOPMENT
 VCC ARCHITECTURE

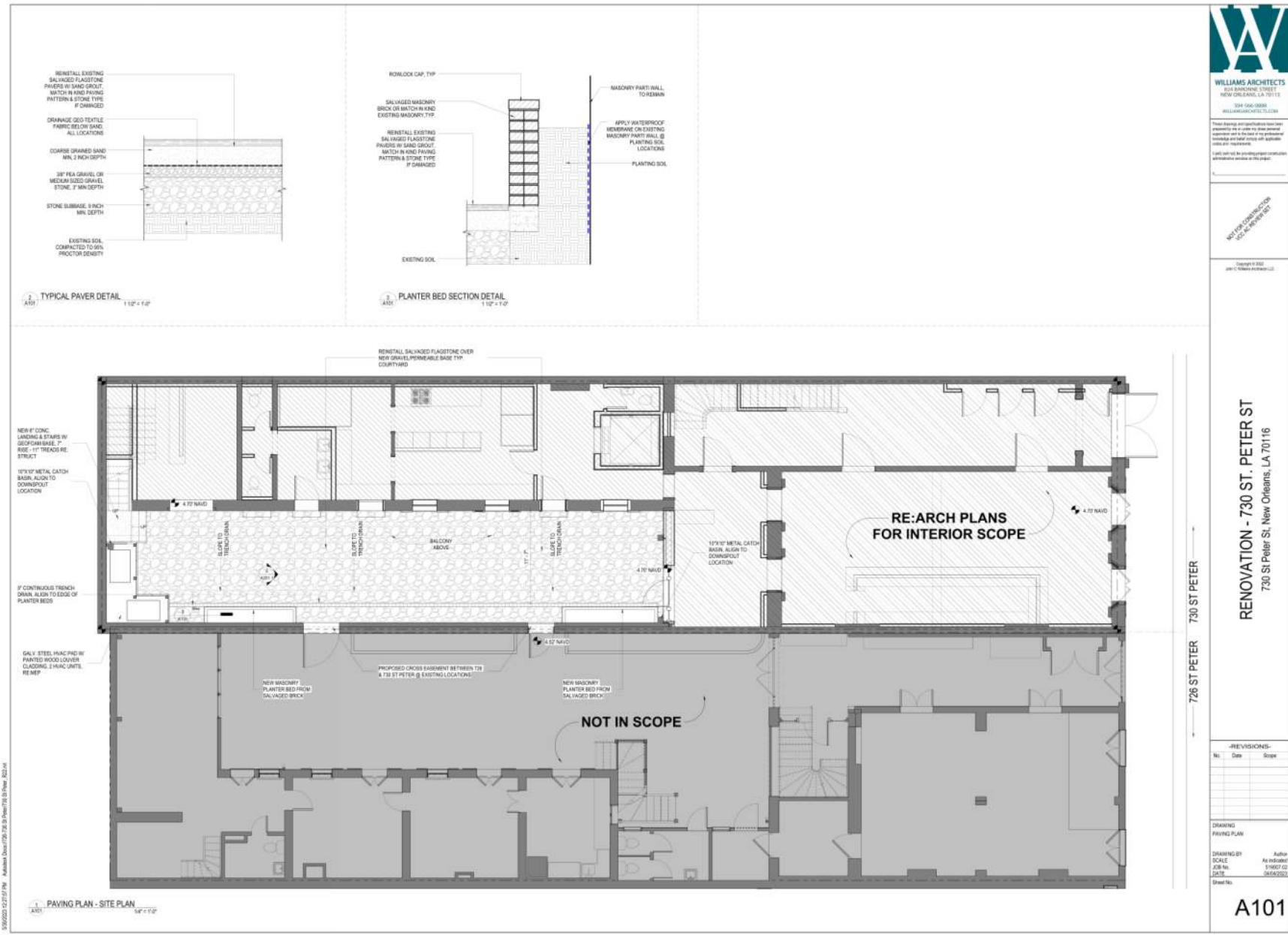
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 JAMES C. WILLIAMS ARCHITECTS, LLC

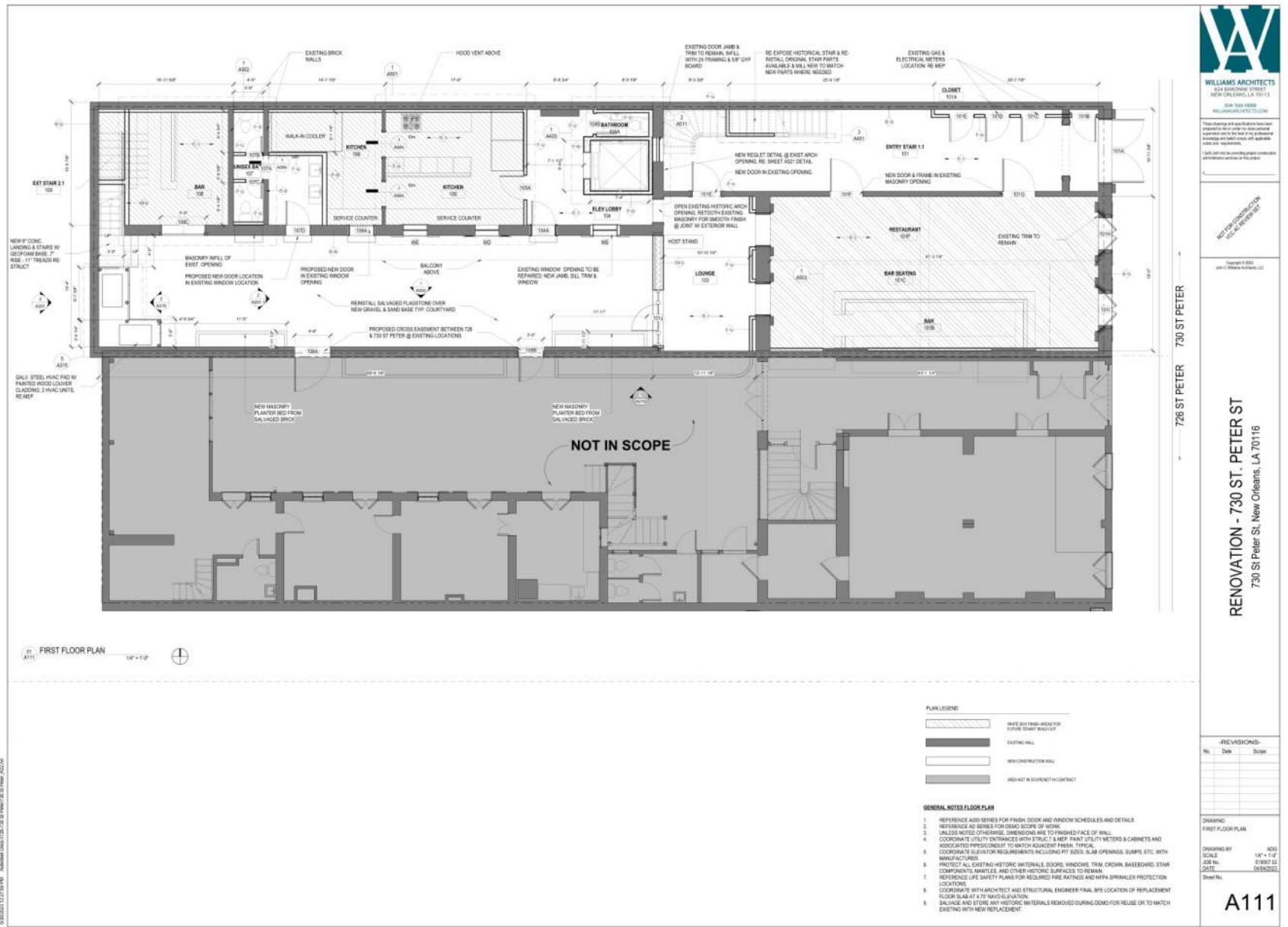
RENOVATION - 730 ST. PETER ST
 730 St Peter St, New Orleans, LA 70116

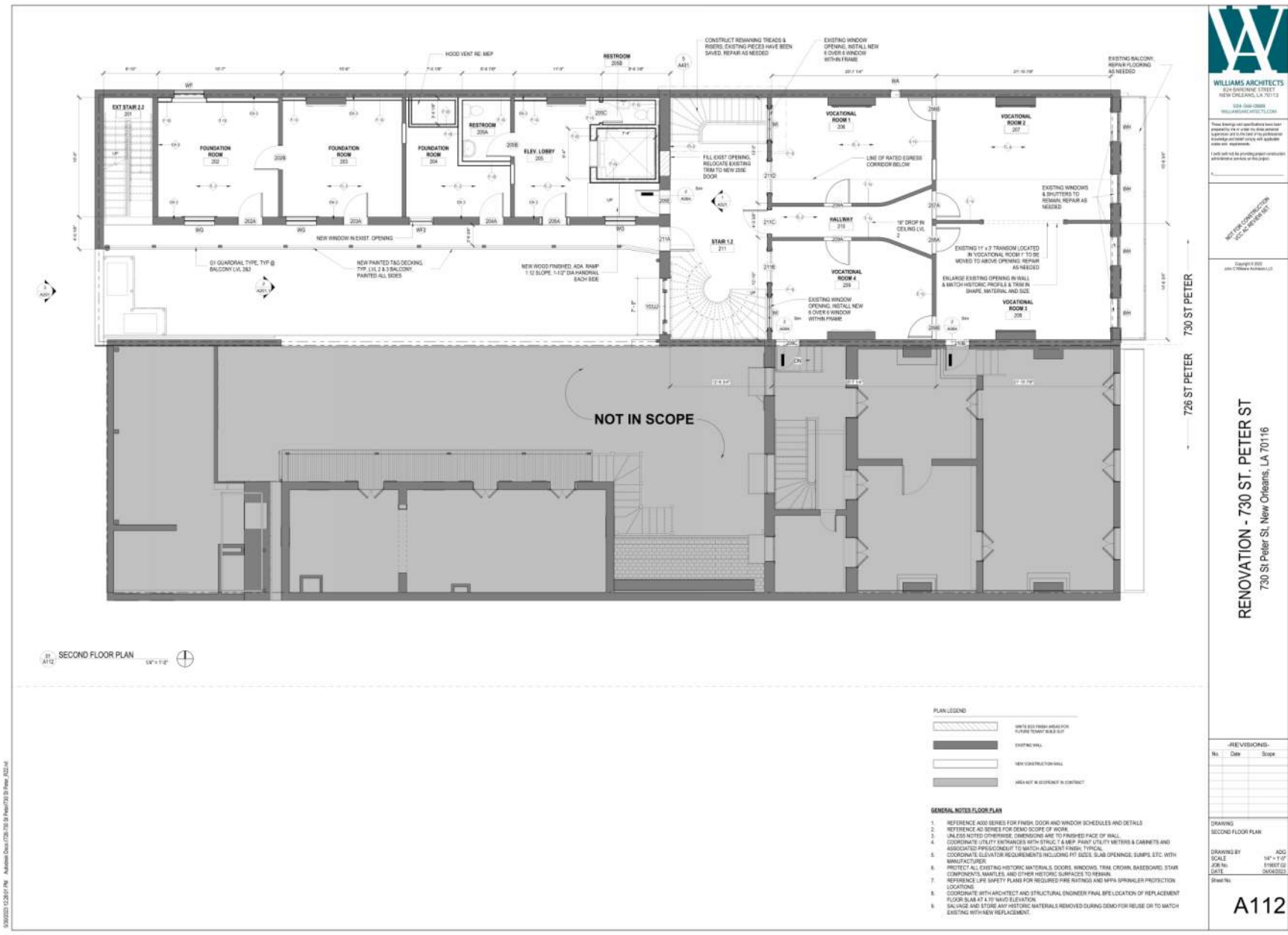
REVISIONS		
No.	Date	Scope

DRAWING: EXTERIOR DOOR DETAILS
 DRAWING BY: JAW
 SCALE: 1/16" = 1'-0"
 DATE: 11/07/22
 SHEET NO.: A082

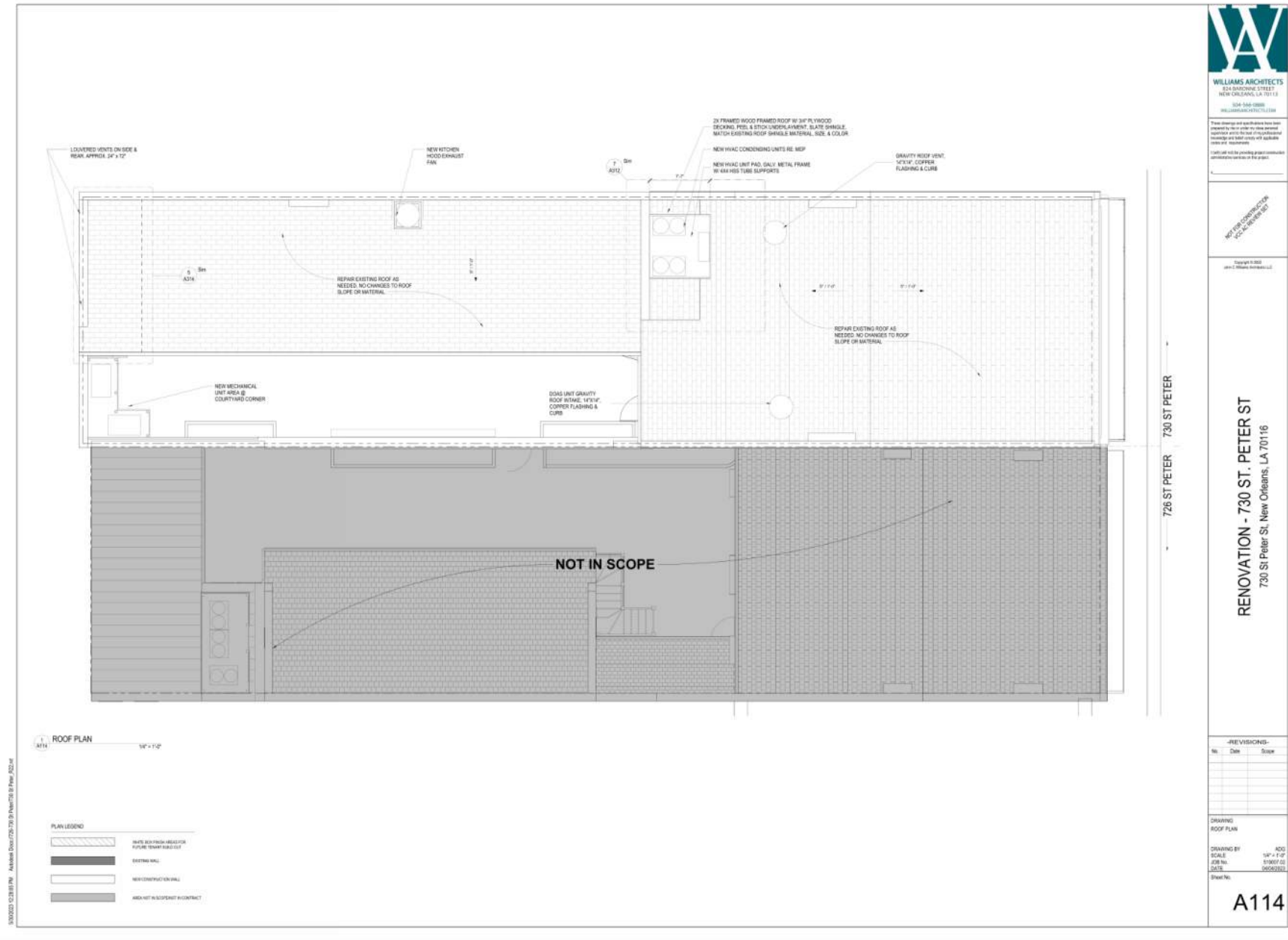










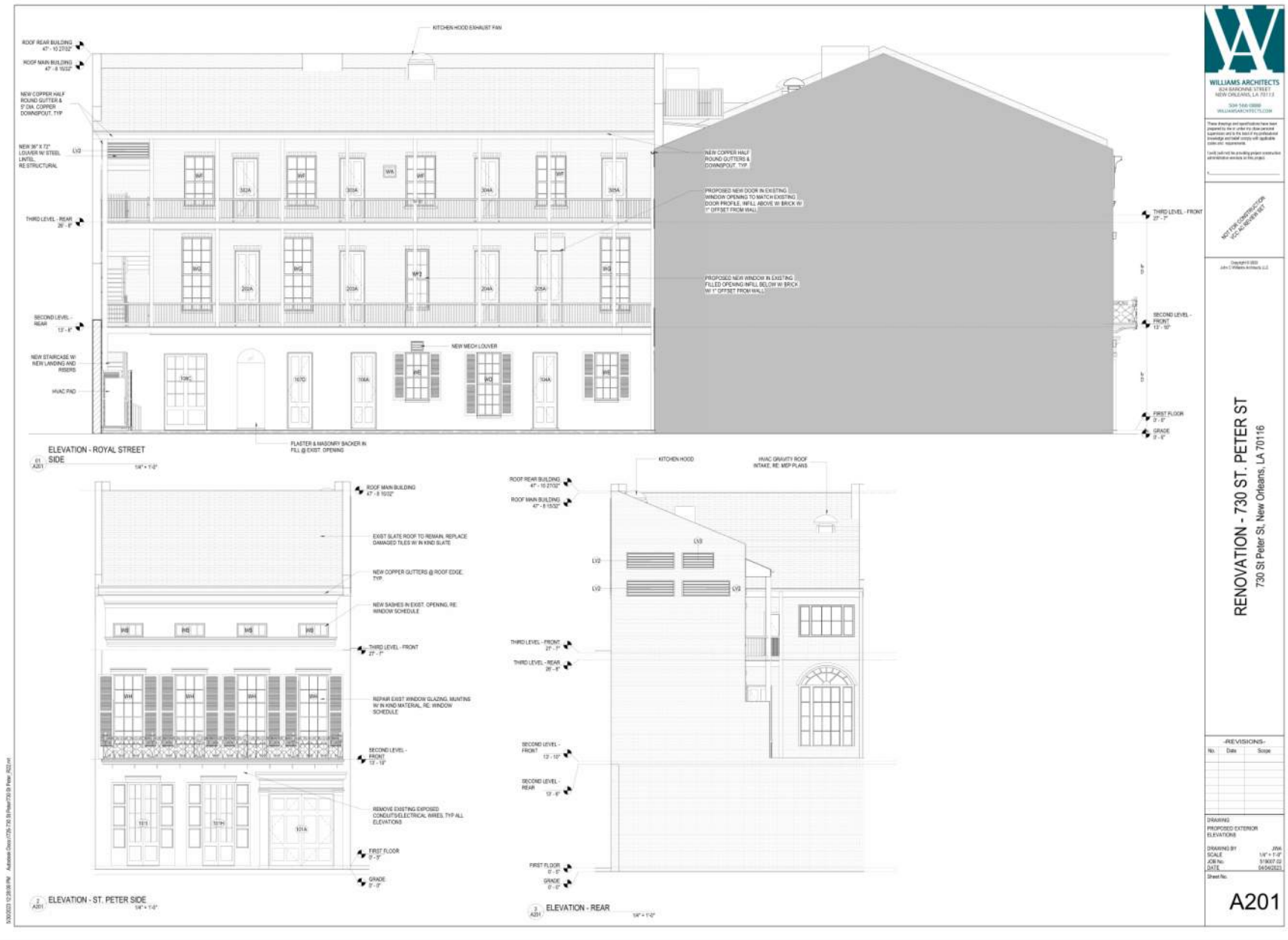


730-732 St Peter

VCC Architecture Committee

June 13, 2023







WILLIAMS ARCHITECTS
214 BAYFARME STREET
NEW ORLEANS, LA 70113
504.566.0888
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These drawings and specifications have been prepared by or under the supervision of the undersigned and to the best of his understanding knowledge and belief comply with applicable codes and regulations.
I can and will be providing proper construction administration services on this project.

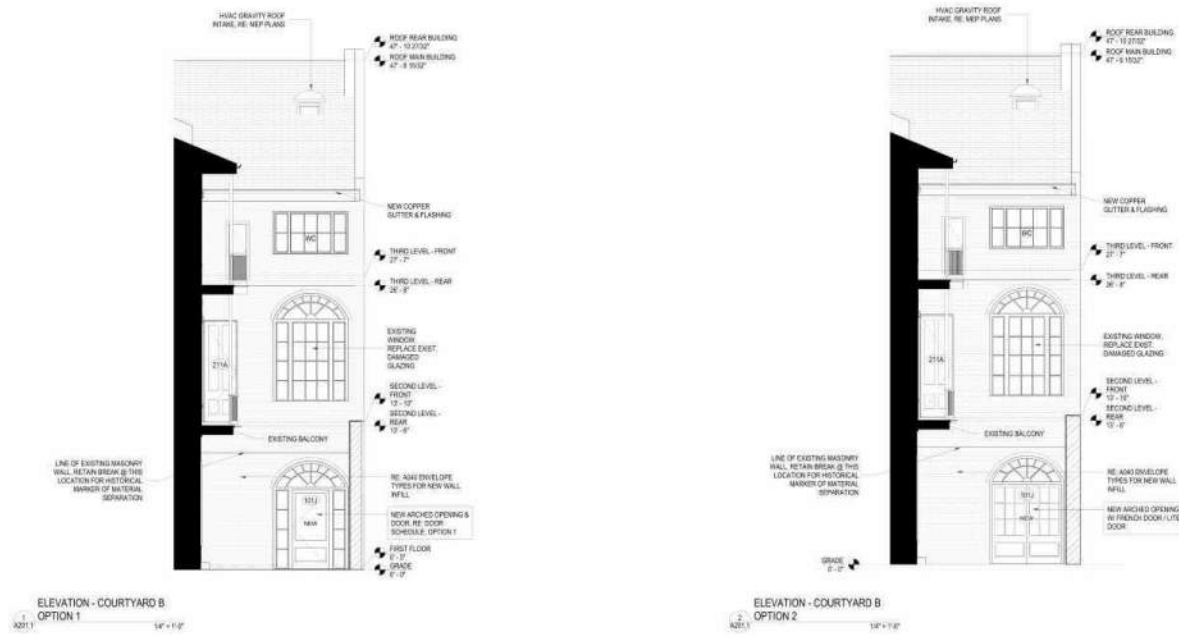
REVISIONS

No.	Date	Revised

DRAWING
COURTYARD REAR
ELEVATION (OPTION)

DRAWING BY: *Aurip*
SCALE: 1/8" = 1'-0"
JOB NO: 110617.02
DATE: 04/24/2022
Sheet No:

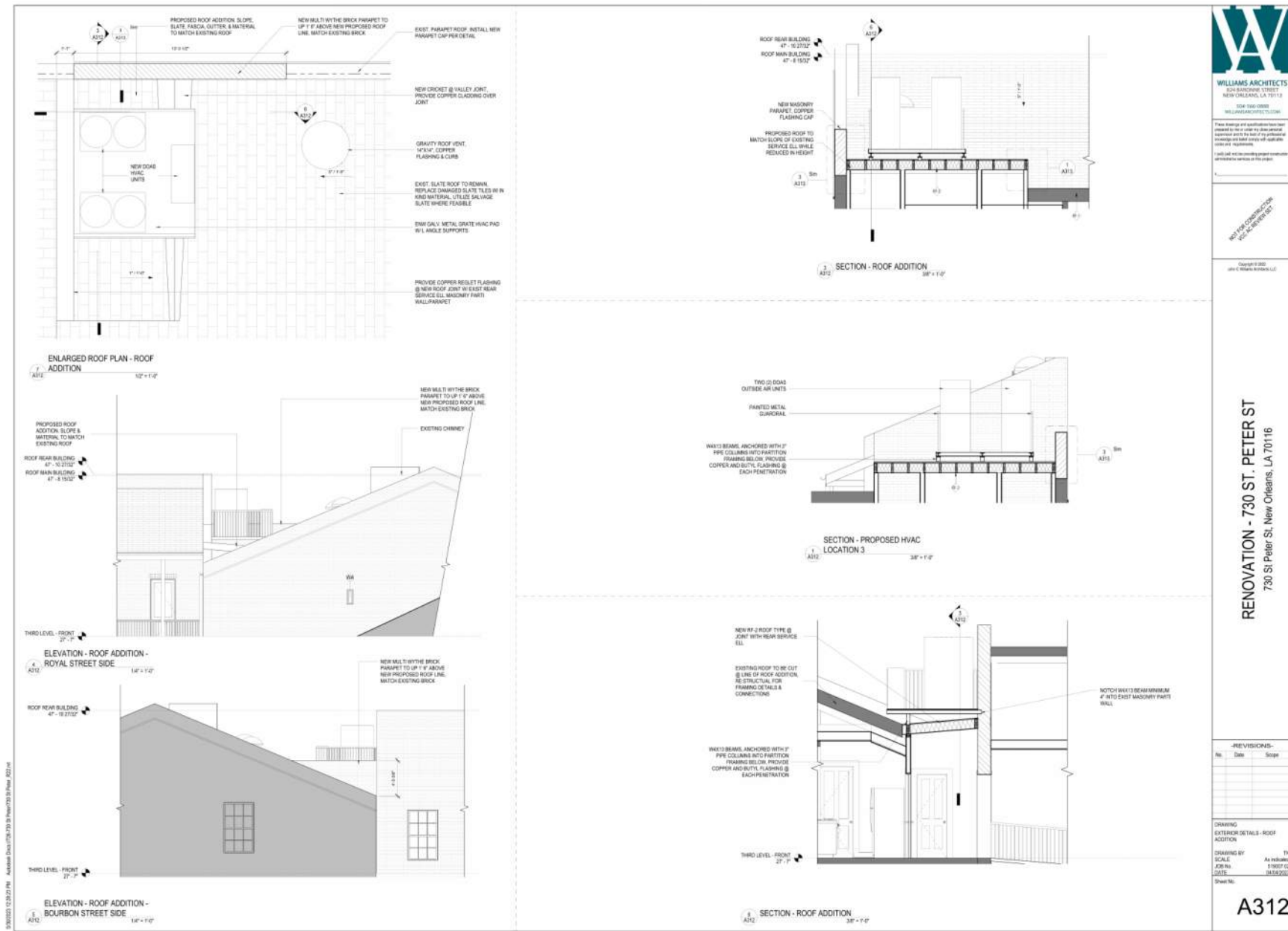
A201.1

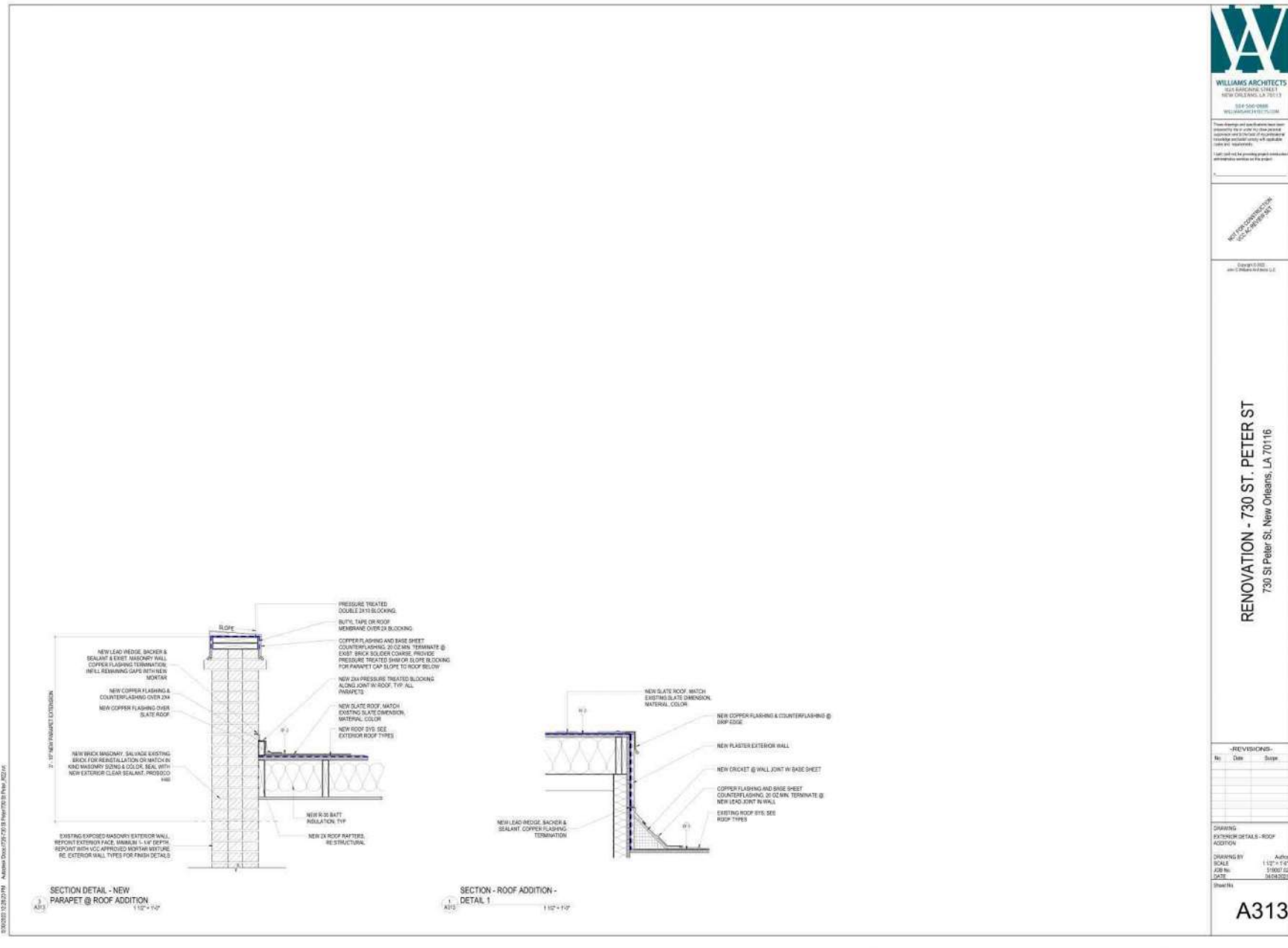


15/05/2022 12:28:11 PM - Modified Sheet A201.1 (2) - 15/05/2022 12:28:11 PM - 15/05/2022 12:28:11 PM











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1524 BARKDALE STREET
NEW ORLEANS, LA 70111

504-586-0888
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These drawings and specifications have been prepared by the architect for the owner and are not to be used for construction or for any other purpose without the written consent of the architect. The architect assumes no responsibility for the construction of the project.

1. All work shall be in accordance with the specifications and drawings unless otherwise indicated.

NEW 2X ROOF RAFTERS. RE. STRUCTURAL.

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RENOVATION - 730 ST. PETER ST
730 St Peter St, New Orleans, LA 70116

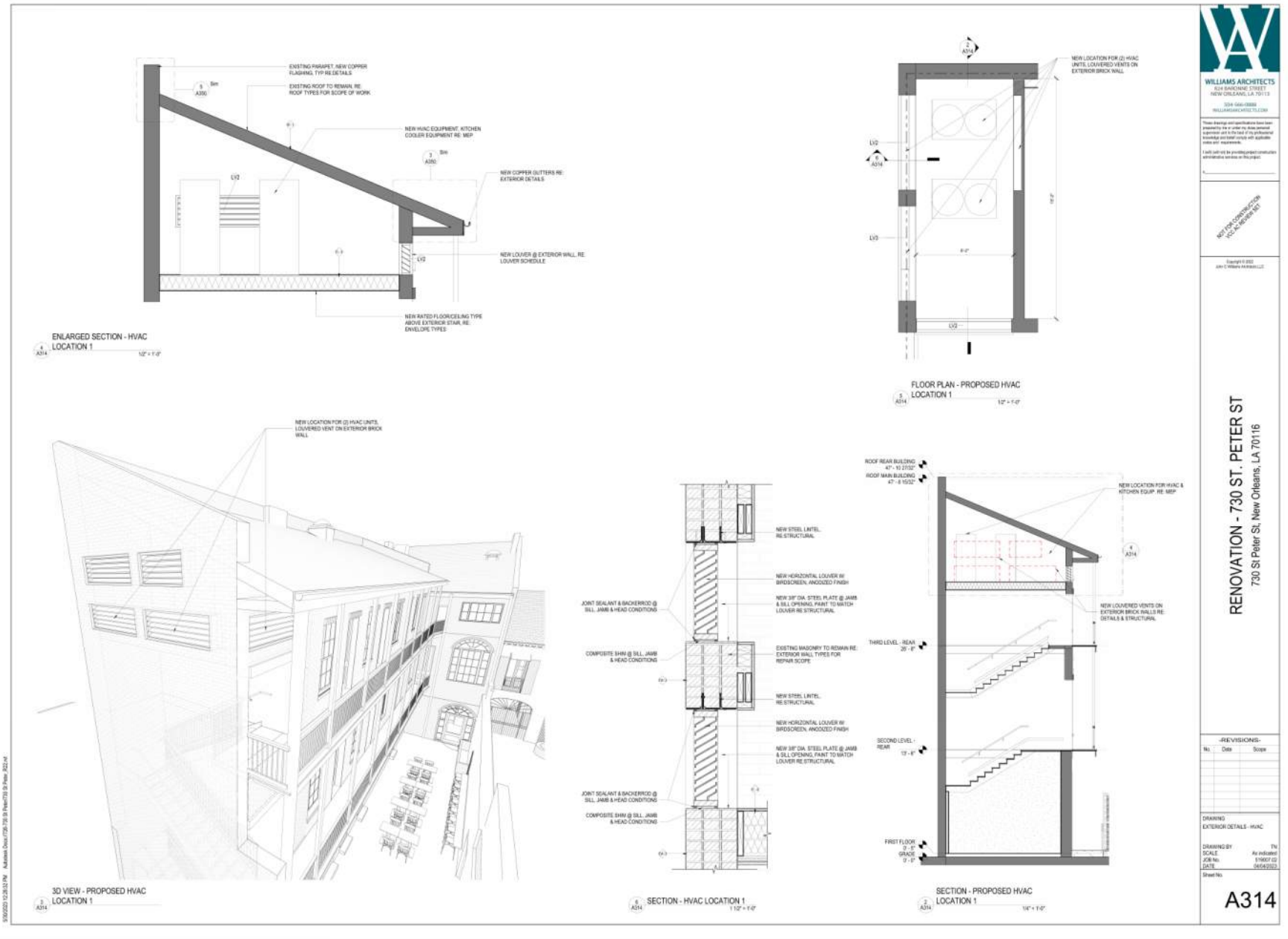
REVISIONS		
No.	Date	By

DRAWING: PARAPET DETAILS - ROOF ADDITION

DRAWING BY: Author
SCALE: 1/2" = 1'-0"
JOB NO.: 11000122
DATE: 10/18/2023
Sheet No.

A313



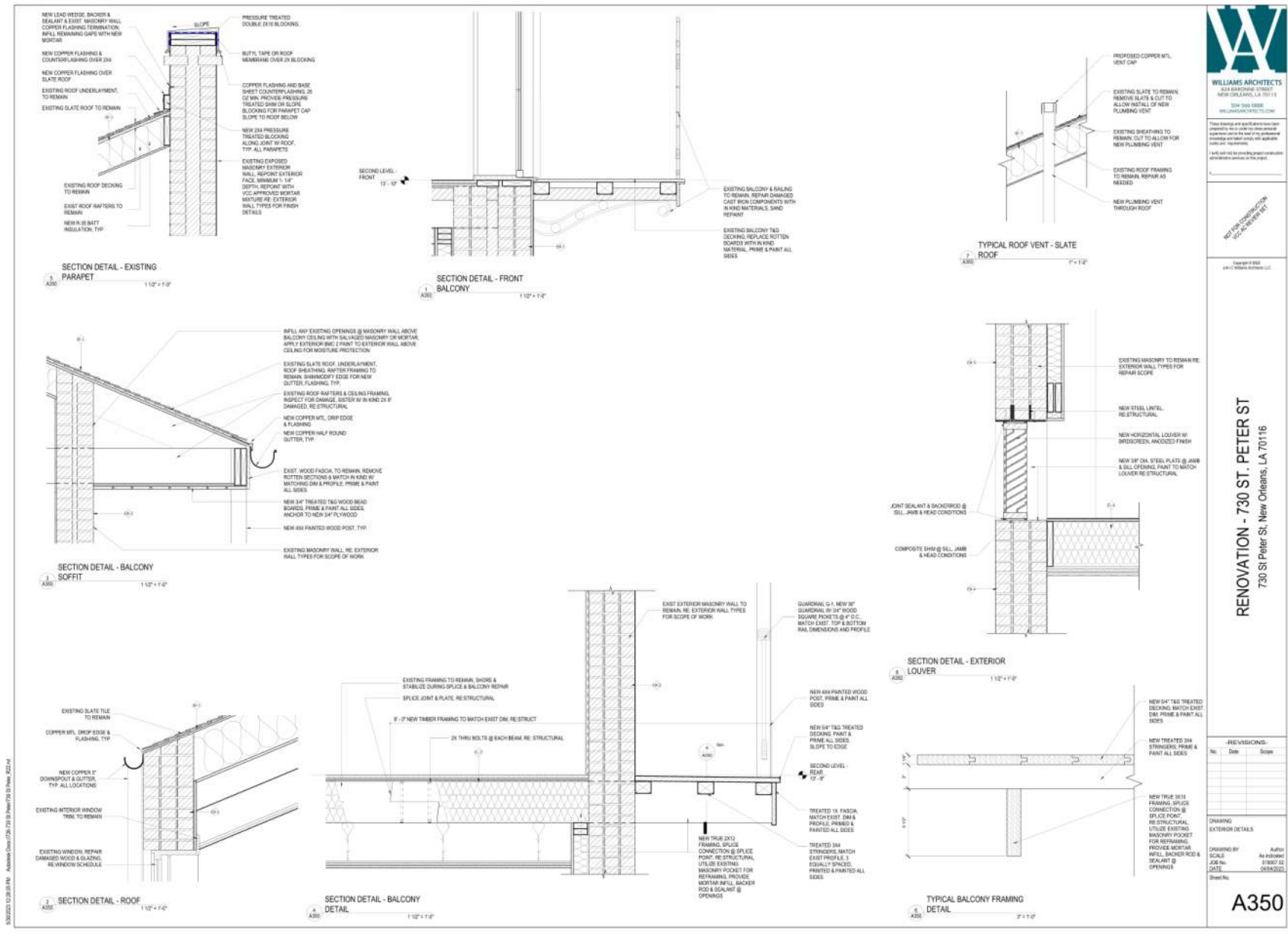


730-732 St Peter

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June 13, 2023

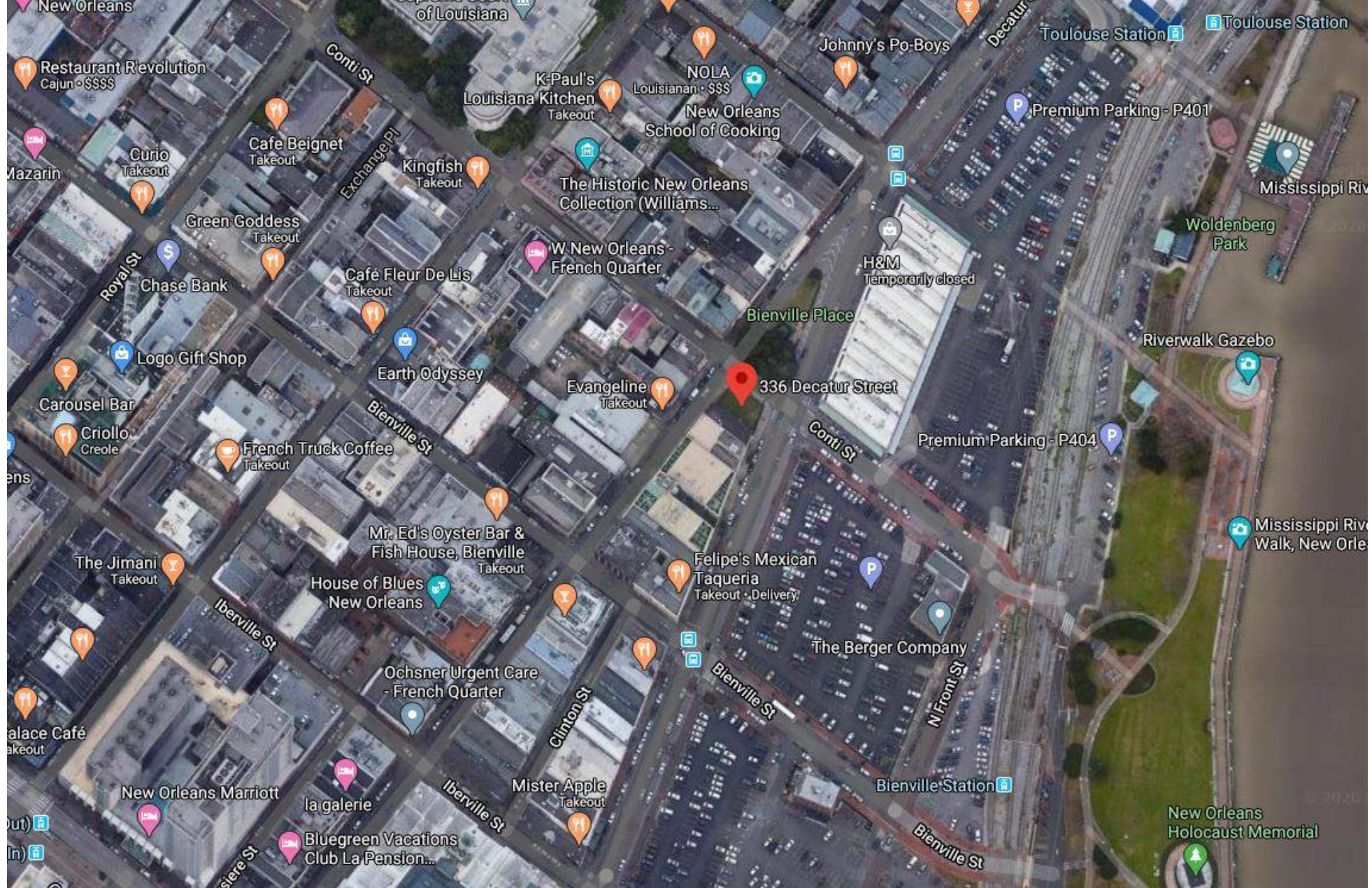








336 Decatur



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June 13, 2023





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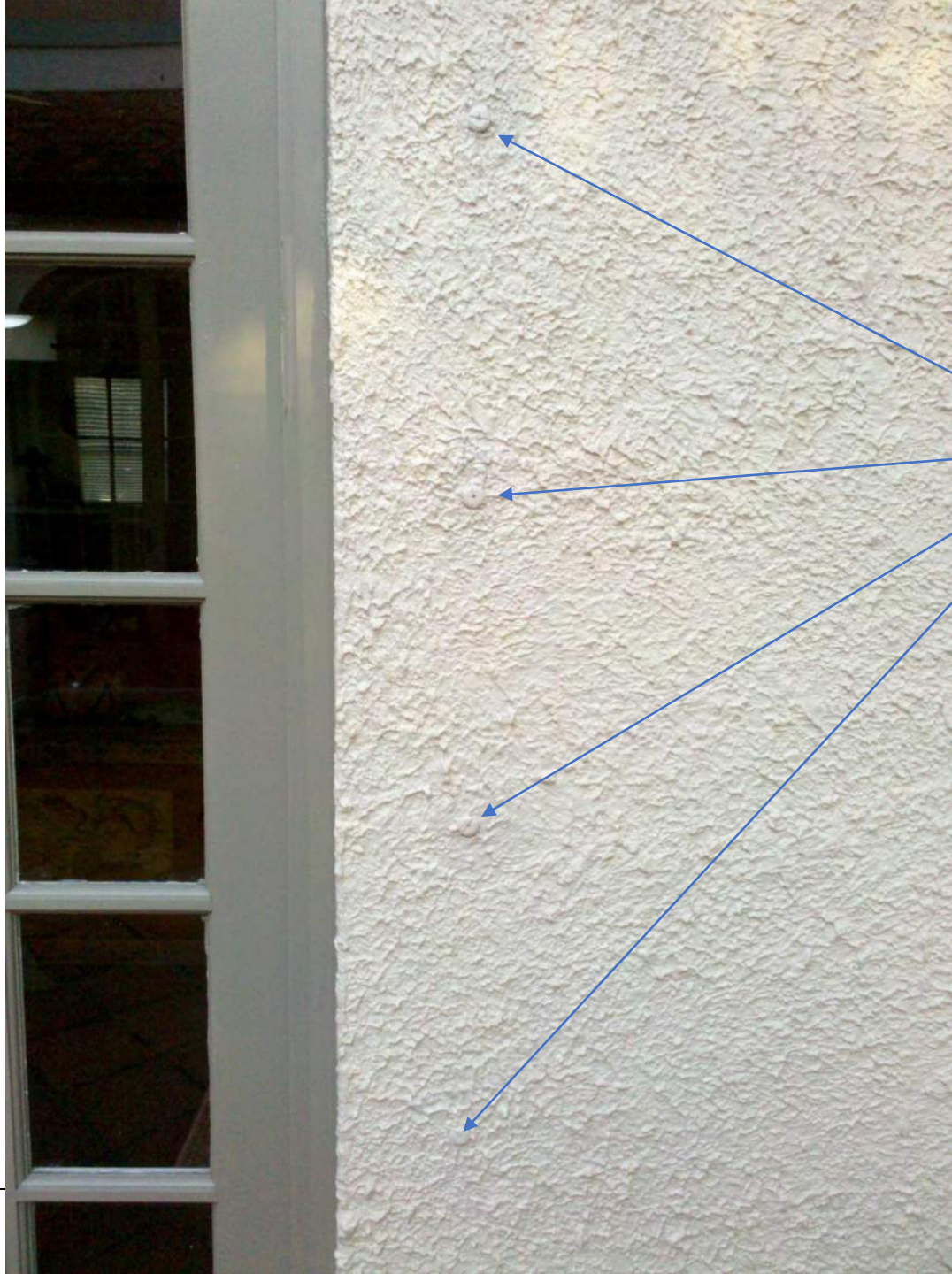
336 Decatur

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June 13, 2023







Anchors

Anchors





336 Decatur





336 Decatur



STRUCTURAL NOTES:

1. THIS NON POROUS SYSTEM HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2020 (SEVENTH EDITION) OF THE FLORIDA BUILDING CODE (FBC) . THIS SYSTEM SHALL NOT BE INSTALLED IN THE HIGH VELOCITY HURRICANE ZONE (MIAMI-DADE/ BROWARD COUNTIES), NOR ESSENTIAL FACILITIES. THE ADEQUACY FOR IMPACT, DEFLECTION AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH THE ABOVE REFERENCED CODE, AND AS PER TAS 201, TAS 202 and TAS 203 PROTOCOLS AND ASTM E330-02, ASTM E1886-05 AND ASTM E1996-05. SEE LIST OF REPORTS ON SHEET 1/2.

2. DESIGN PRESSURE REQUIREMENTS OF A SPECIFIC SITE SHALL BE DETERMINED BY OTHERS IN CONFORMANCE TO SECTION 1609 OF THE FBC FOR A BASIC WIND SPEED (ALLOWABLE STRESS DESIGN) AS REQUIRED BY THE JURISDICTION WHERE THE SYSTEM WILL BE INSTALLED. ULTIMATE DESIGN LOADS (UD) DETERMINED BY ASCE 7-16 SHALL BE REDUCED TO ALLOWABLE STRESS DESIGN LOADS (ASD) BY MULTIPLYING THE UD BY 0.6, TO COMPARE THEM TO THE ASD PRESSURE RATINGS SHOWN ON SHEET 1 AND 2. USE OF DIRECTIONALITY FACTOR Kd=0.85 IS ALLOWED.

3. IMPACT AND FATIGUE RESISTANCE HAS BEEN DETERMINED IN ACCORDANCE WITH THE FBC SECTION 1609.1.2 MISSILE TYPE "D" AS LISTED HEREIN.

4. NO 33-1/3% INCREASE IN ALLOWABLE STRESS DESIGN HAS BEEN USED IN THE DESIGN OF THIS PRODUCT.

5a. THIS PRODUCT EVALUATION DOCUMENT (PED) DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. IF SITE CONDITIONS DEVIATE FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS TO BE USED IN CONJUNCTION WITH THIS DOCUMENT.

5b. THE CONTRACTOR AND / OR PERMIT HOLDER IS TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION OF THIS SYSTEM, INCLUDING VERIFYING THE ADEQUACY OF THE EXISTING STRUCTURE TO WITHSTAND THE NEW SUPERIMPOSED LOADS SHOWN BELOW AND THE SOUNDNESS OF THE STRUCTURE WHERE THE SYSTEM IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE.

5c. SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA LICENSED ENGINEER OR ARCHITECT WHO WILL BECOME THE ENGINEER OF RECORD (EOR) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE PED ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE PED ENGINEER SHALL SUBMIT TO THIS ENGINEER THE SITE SPECIFIC DRAWINGS FOR REVIEW.

6. THIS PED SHALL BEAR THE DATE AND ORIGINAL SEAL OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

7. THIS SYSTEM MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN HEREIN.

8. THIS WIND ABATEMENT SYSTEM IS INTENDED FOR USE ONLY DURING HURRICANE OR OTHER TROPICAL STORM WARNINGS. SEASONAL OR PERMANENT INSTALLATION OR STORAGE OF THIS WIND ABATEMENT SYSTEM IN AREAS OF PROLONGED EXPOSURE TO DIRECT SUNLIGHT OR OTHER WEATHERING CONDITIONS MAY CAUSE MATERIAL DETERIORATION OR OTHERWISE INHIBIT THEIR ADEQUACY AS AN IMPACT RESISTANT SYSTEM.

9. LIMITATIONS OF USE
PER FBC 2020 NO MINIMUM SEPARATION FROM GLASS IS REQUIRED.
THE MAXIMUM SIZE SHALL BE 60 PSF MAX. PRESSURE Ø216 INCHES MAXIMUM SPAN. SEE TABLES ON SHEET 1/2.

10. RESERVED.

11. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 SERIES OR CORROSION RESISTANT COATED CARBON STEEL WITH A 50 KSI YIELD STRENGTH AND A 90 KSI TENSILE STRENGTH.

12. ALL BOLTS TO BE ASTM A307, GALVANIZED OR 304 SERIES STAINLESS STEEL WITH A MINIMUM 36 KSI YIELD STRENGTH.

13. ANCHORS TO STRUCTURE (WALL / FLOOR / CEILING / SYSTEM) SHALL BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS AND AS FOLLOWS:
A. CONCRETE BLOCK MASONRY (ASTM C-90)
TAPCON ANCHORS (ITW BUILDEX) OR PANELMATE MALE & FEMALE FASTENERS (ELCO TEXTRON) - 1/4 IN. DIA.
I. MINIMUM EMBEDMENT INTO HOLLOW CONCRETE BLOCK MASONRY FOR TAPCON ANCHORS AND ELCO PANELMATES IS 1 1/4 IN., FILLED MASONRY EMBEDMENT IS 1 3/4".
NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED.
II. PAVERS, BRICKS OR OTHER PRE-CAST PRODUCTS LOCATED ON THE EXISTING STRUCTURE WALL OR FLOOR SHALL HAVE ANCHORS OF SUFFICIENT LENGTH TO PROPERLY ATTACH TO THE PRIMARY STRUCTURE BEHIND IT.
III. MINIMUM EDGE DISTANCE = 3.0"
B. POURED CONCRETE (f'c=3000 PSI MIN.)
TAPCON ANCHORS (ITW BUILDEX) OR PANELMATE MALE & FEMALE FASTENERS (ELCO TEXTRON) - 1/4 IN. DIA.
I. MINIMUM EMBEDMENT INTO POURED CONCRETE FOR TAPCON ANCHORS AND ELCO PANELMATES IS 1 3/4 IN.
NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. SCREWS TO BE 1/4"-20 X 1 3/4" FOR STUCCO, 1 1/4" WITH NO STUCCO.
II. PAVERS, BRICKS OR OTHER PRE-CAST PRODUCTS LOCATED ON THE EXISTING STRUCTURE WALL OR FLOOR SHALL HAVE ANCHORS OF SUFFICIENT LENGTH TO PROPERLY ATTACH TO THE PRIMARY STRUCTURE BEHIND IT.
III. MINIMUM EDGE DISTANCE = 3.0"
C. WOOD (Nominal 2x4(min) "Southern Pine" SG=0.55 OR GREATER)
TAPCON ANCHORS (ITW BUILDEX) DIA. OR PANELMATE MALE & FEMALE FASTENERS (ELCO TEXTRON) - 1/4 IN.
I. MINIMUM EDGE DISTANCE = CENTER OF 2" NOMINAL LUMBER (APPROX. 3/4"). MINIMUM EMBEDMENT = 1-1/2"

14. MAXIMUM DESIGN PRESSURE VERSUS PANEL SPAN SHOWN ON SHEET 1/2

15. SCREEN PANEL'S MANUFACTURER LABEL SHALL BE PLACED ON A READILY AND VISIBLE LOCATION ON THE PANEL. ONE LABEL SHALL BE PLACED FOR EVERY OPENING.
LABEL SHALL READ AS FOLLOWS:
HURRICANE FABRIC LLC
PO BOX 50153, CLAYTON, MO 63105
FLORIDA PRODUCT APPROVAL NUMBER: FL-XXXX. OPENING NO.: XX

16. THIS DOCUMENT IN ITS ENTIRETY WILL BE CONSIDERED INVALID IF IT IS ALTERED BY ANY MEANS.

RETENTION CLIP END CONNECTOR:
RHODIA ENGINEERING PLASTICS - POLYAMIDE 66

FABRIC SPECIFICATION:
FIBER CONTENT: TEXTILE FABRIC
CONSTRUCTION: 20 X 20 WEAVE
FINISH: RESIN COATED
WEIGHT (ASTM D-3776): 9.0 -OZ/SQUARE YARD
TENSILE STRENGTH (GRAB METHOD, ASTM D -4632): WARP - 570 lbs., WEFT - 570 lbs.
BURST STRENGTH (ASTM D - 3786): 1,000 PSI
ABRASION RESISTANCE (ASTM D -4886) 95% STRENGTH RETAINED

SEWING:
ONLY SEWING IS AT SPLICE

EDGES:
NO SEWING AT EDGES

1"

STITCHING

SCREEN

SPLICE DETAIL

FASTENER SPACING OF A SINGLE UNIT SCREEN FOR ANY LENGTH ATTACHED WITH 3/8" DROP-IN ANCHOR WITH SIDEWALK BOLT (INCHES)

SCREEN SPAN	FILLED CMU (1900 PSI)				CONCRETE (4000 PSI)				HOLLOW CMU				TIMBER			
	PRESSURE (PSF)				PRESSURE (PSF)				PRESSURE (PSF)				PRESSURE (PSF)			
4'-0"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
6'-0"	12	12	12	12	12	12	12	12	12	12	12	12	9	11	12	
8'-0"	12	12	12	12	12	12	12	12	12	12	12	12	6	7	8	
10'-0"	12	12	12	12	12	12	12	12	10	12	12	12	5	6	7	
12'-0"	10	12	12	12	12	12	12	12	9	10	12	12	5	5	6	
14'-0"	9	10	12	12	10	11	12	12	8	9	10	12	-	4	5	
16'-0"	8	9	10	12	8	10	11	12	7	8	9	11	-	-	4	
18'-0"	7	8	9	11	8	9	10	12	6	7	8	10	-	-	4	

EVALUATION BASED ON:
FENESTRATION TESTING LABORATORY, INC

LAB NO.: 6418 DATED 12/7/2010

ASTM E330-02 - UNIFORM STATIC LOADS
ASTM E1886-05 & ASTM E1996-05 - LARGE MISSILE TYPE "D" IMPACT RESISTANCE & CYCLIC LOADING PERFORMANCE

LAB NO.: 5804 DATED 01/13/2009

TAS 202 - UNIFORM STATIC LOADS
TAS 201, TAS 202 - LARGE MISSILE IMPACT RESISTANCE & CYCLIC LOADING PERFORMANCE

LIST OF REPORTS

JOHN HENRY KAMPMANN JR.

FLORIDA

PROFESSIONAL ENGINEER

2020 FBC (NON-HIGH VELOCITY HURRICANE ZONE) 7TH EDITION

Project Name: HURRICANE FABRIC LLC
PO BOX 50153
CLAYTON, MO 63105
PHONE: (231)888-0098
WWW.HURRICANEFABRIC.COM

ASTRO GUARD
Wind Abatement System

Project No.: JK
Project File: 20-0226
Scope: NTS
Date: 10/3/20

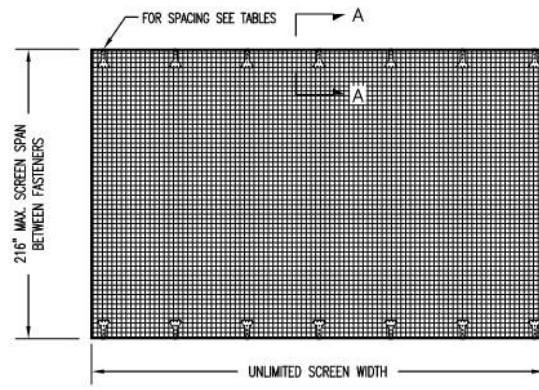
1/2

Digitally signed by John Henry Kampmann Jr.
DN: c=US, st=Florida, l=Sarasota, o=John Henry Kampmann Jr., cn=John Henry Kampmann Jr.
email=jkampmann@meaengineers.com
Date: 2020.10.17 16:25:05 -0400

John H. Kampmann Jr., PE
FL License #: 47516
DATE:

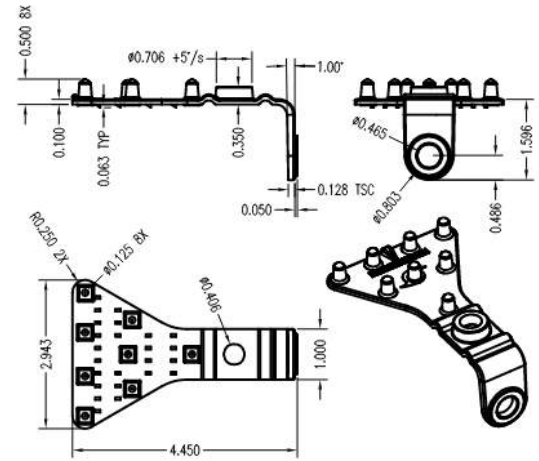
336 Decatur
VCC Architecture Committee

June 13, 2023

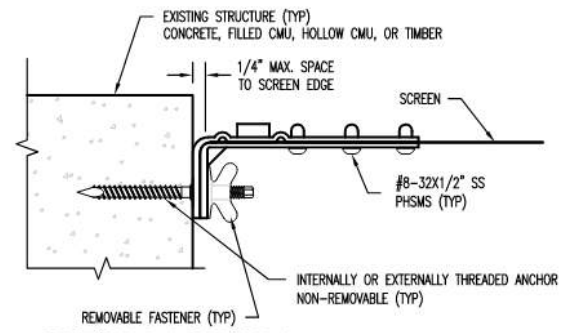


TYPICAL TWO-SIDED INSTALLATION
VERTICAL OR HORIZONTAL INSTALLATION - N.T.S.

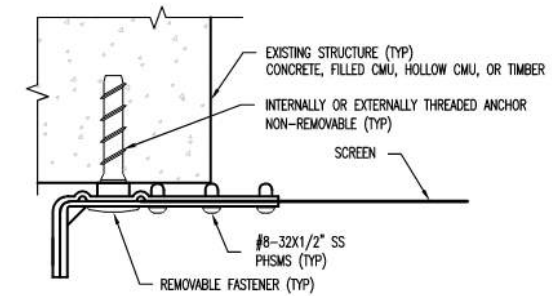
NOTE:
PANELS CAN BE ATTACHED ON THREE OR FOUR SIDES.
FOR FOUR SIDE ATTACHMENT THE SPAN IS IN THE SHORT
DIMENSION BETWEEN FASTENERS



BOTTOM MOUNTING CLIP DETAILS
INSIDE OR OUTSIDE MOUNT INSTALLATION - N.T.S.



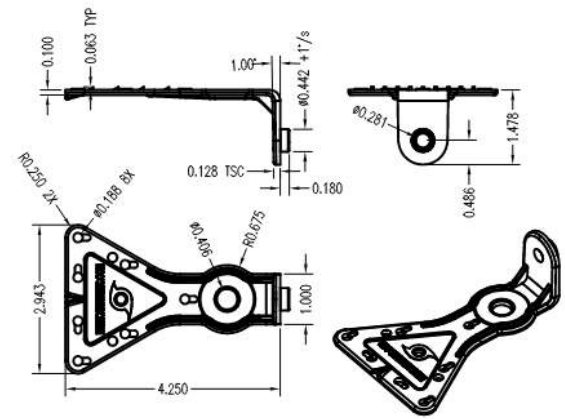
SECTION A-A (OPTION 1)
INSIDE MOUNT INSTALLATION - N.T.S.



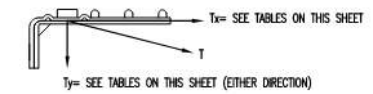
SECTION A-A (OPTION 2)
OUTSIDE MOUNT INSTALLATION - N.T.S.

LOADS ON EXISTING STRUCTURE FROM SCREEN SYSTEM								
TX = PARALLEL LOADS (PLF)								
SPAN (INCHES)	PRESSURE (PSF)							
	60	55	50	45	40	35	30	
216	1134	1070	1004	936	866	792	714	
192	1020	962	903	842	778	712	642	
168	905	854	801	747	690	631	570	
144	744	702	659	614	568	519	469	
120	651	615	577	538	497	455	410	
96	553	521	489	456	422	386	348	
72	353	333	312	291	269	246	222	
48	254	240	225	210	194	178	160	

LOADS ON EXISTING STRUCTURE FROM SCREEN SYSTEM								
TY = PERPENDICULAR LOADS (PLF)								
SPAN (INCHES)	PRESSURE (PSF)							
	60	55	50	45	40	35	30	
216	540	495	450	405	360	315	270	
192	480	440	400	360	320	280	240	
168	420	385	350	315	280	245	210	
144	360	330	300	270	240	210	180	
120	300	275	250	225	200	175	150	
96	240	220	200	180	160	140	120	
72	180	165	150	135	120	105	90	
48	120	110	100	90	80	70	60	



TOP MOUNTING CLIP DETAILS
INSIDE OR OUTSIDE MOUNT INSTALLATION - N.T.S.



John H. Kampmann Jr., PE
FL License #: 47516
DATE:

CA #4752
WWW.MEAENGINEERS.COM
MEA
ENGINEERS, INC.
5656 Lantana Drive
Sarasota, Florida 34233
(941) 922-5854 CA-6072

REV	DESCRIPTION
1	xx/xx/xx-RESERVED

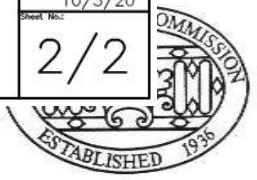
HURRICANE FABRIC LLC
PO BOX 50153
CLAYTON, MO 63105
PHONE: (339) 869-0099
WWW.HURRICANEFABRIC.COM

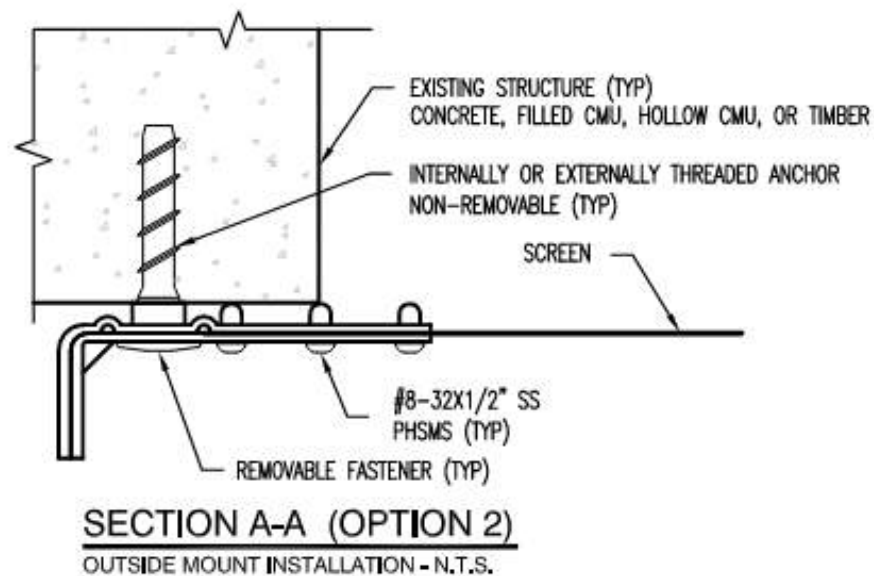
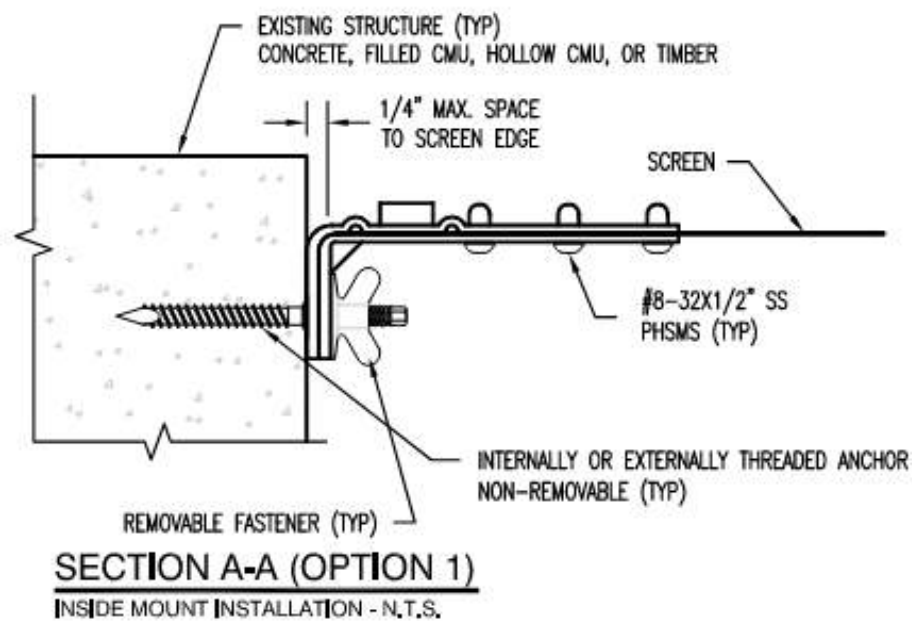
2020 FBC (NON-HIGH VELOCITY HURRICANE ZONE) 7TH EDITION
Description: Project Name:

ASTRO GUARD
Wind Abatement System

Project:	JK
Project #:	20-0226
Scale:	NTS
Date:	10/3/20
Sheet No.:	

2/2







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THIS SEAL HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY JOHN
HENRY KAMPMANN JR. ON THE DATE
ADJACENT TO THE SEAL.
FOOTNOTED COPIES OF THIS
DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE
SIGNATURE MUST BE LOCATED ON
ANY ELECTRONIC COPY.

Digitally signed by
John Henry
Kampmann Jr.
DN: c=US, st=Florida,
l=Sarasota, o=John
Henry Kampmann
Jr., cn=John Henry
Kampmann Jr.,
email=jkampmann@
meaengineers.com
Date: 2020.10.12
11:52:26 -04'00'

PRODUCT EVALUATION REPORT

REPORT NO.: 20-0226
DATE: October 3, 2020
PRODUCT CATEGORY: Impact Protective Systems
PRODUCT SUB-CATEGORY: Removable
PRODUCT NAME: Astro Guard Wind Abatement System
MANUFACTURER: HurricaneFabric LLC
PO Box 50153
Clayton, MO 63105

SCOPE OF EVALUATION:

This is a Product Evaluation Report issued by **John H. Kampmann Jr., PE** (FBC Org. No.: ANE2480) to **HurricaneFabric.com, LLC**, manufacturer, in accordance with the requirements of the Florida Department of Business and Professional Regulation (Florida Building Commission), Rule Chapter No.: 61G20-3, Method 1 (d).

All products listed above have been tested and/or evaluated as described herein to verify compliance with the 2020 Seventh edition of the Florida Building Code, and to verify that the product is for the purpose intended, at least equivalent to that required by the Code.

This Product Evaluation Report shall be subject to review and revision following Florida Building Code modifications or revisions.

EVIDENCE SUBMITTED:

PRODUCT EVALUATION DOCUMENTS

MEA Engineers, Inc. Drawing #20-0226 titled "Astro Guard Wind Abatement System", Sheets 1 and 2, prepared by John H. Kampmann Jr., PE; signed and sealed by John H. Kampmann Jr., PE; Dated 10/3/20, is an integral part of this Evaluation Report.

TEST REPORTS

Uniform Static Loads per Protocol TAS 202 as per section 1609.1.2 of the Florida Building Code. Test Report prepared by Fenestration Testing Lab, Lab No. 5804, Dated 01/13/09 for Florida State Approval.

Uniform Static Loads per ASTM E330 as per section 1609.1.2 of the Florida Building Code. Test Report prepared by Fenestration Testing Lab, Lab No. 6418, Dated 12/07/10 for Florida State Approval.

Large Missile Impact Resistance and Cyclic Loading Performance per Protocol TAS 201 and TAS 203 as per section 1609.1.2 of the Florida Building Code. Test Report

5656 LAWTON DRIVE, SARASOTA, FL 34233 **PHONE** (941) 922-3854
FAX (941) 922-9564 **EMAIL** jkampmann@meaengineers.com



prepared by Fenestration Testing Lab, Lab No. 5804, Dated 01/13/09 for Florida State Approval.

Large Missile Impact Resistance and Cyclic Loading Performance per ASTM E1886 and ASTM E1996 Protocols as per section 1609.1.2 of the Florida Building Code. Test Report prepared by Fenestration Testing Lab, Lab No. 6418, Dated 12/07/10 for Florida State Approval.

Note: Lab Reports Signed and Sealed on Dates noted by Marlin Brinson, PE.

STRUCTURAL ENGINEERING CALCULATIONS

Structural Engineering Calculations have been prepared which evaluate the product for maximum screen length vs. design wind load; maximum anchor spacing vs. design wind load and screen length based on rational and comparative analysis, per section 1609 of the Florida Building Code (Non-HVHZ).

MISSILE IMPACT RESISTANCE:

Large Missile Impact, per section 1609.1.2 of the Florida Building Code, as per Protocol TAS 201 and missile type D (Basic Protection), as per ASTM E1886 and ASTM E1996 Standard.

WIND LOAD RESISTANCE:

The product(s) listed above have been designed to resist wind loads as indicated in the span schedule(s) on its respective Product Evaluation Document – Drawing noted above.

INSTALLATION:

The product(s) listed above shall be installed in strict compliance as indicated in its respective Product Evaluation Document – Drawing noted above.

MATERIAL CHARACTERISTICS AND SPECIFICATIONS:

The product(s) listed above shall be installed in strict compliance as indicated in its respective Product Evaluation Document – Drawing noted above.

LIMITATIONS AND CONDITIONS OF USE:

The product(s) listed above shall be installed in strict compliance as indicated in its respective Product Evaluation Document – Drawing noted above.

Conditions which are not indicated or accounted for in the Product Evaluation Document shall be designed for on a site-specific basis by a Florida Licensed Professional Engineer.

All components which are permanently installed shall be protected against corrosion, contamination and other such damage at all times. Periodic inspection is strongly recommended to insure its continued safe use.

The product(s) listed above **SHALL NOT** be installed within the HIGH VELOCITY HURRICANE ZONES as defined in section 1620.2 of the Florida Building Code and shall only be installed within wind zones 1,2 or 3, as defined the ASTM E1996 Standard.

The product(s) listed above shall only be installed onto Concrete Block, Poured Concrete and Wood Frame Structures.





336 Decatur

VCC Architecture Committee

June 13, 2023





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June 13, 2023

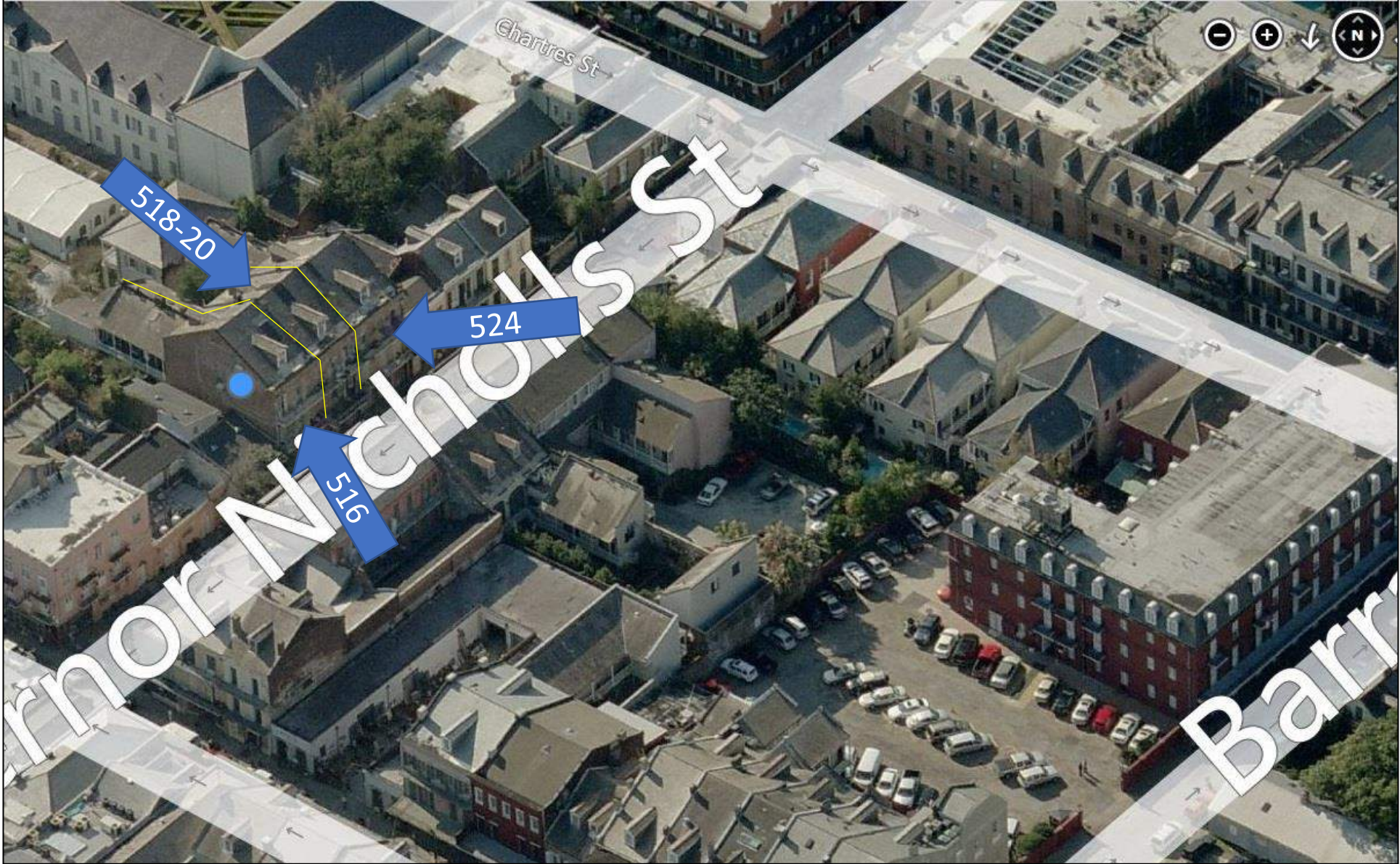




New Business



516 Governor Nicholls

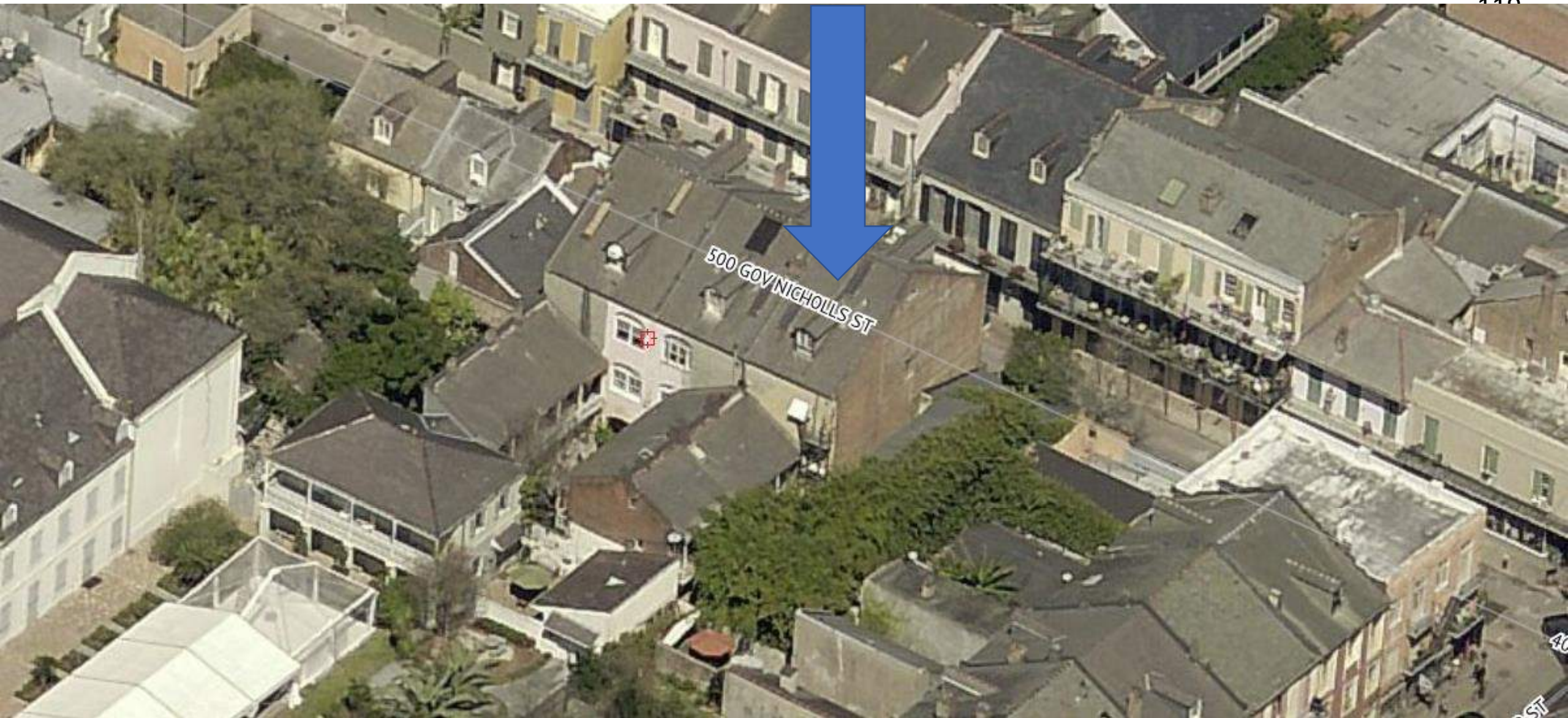


516 & 518-20 & 524 Governor Nicholls

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June 13, 2023





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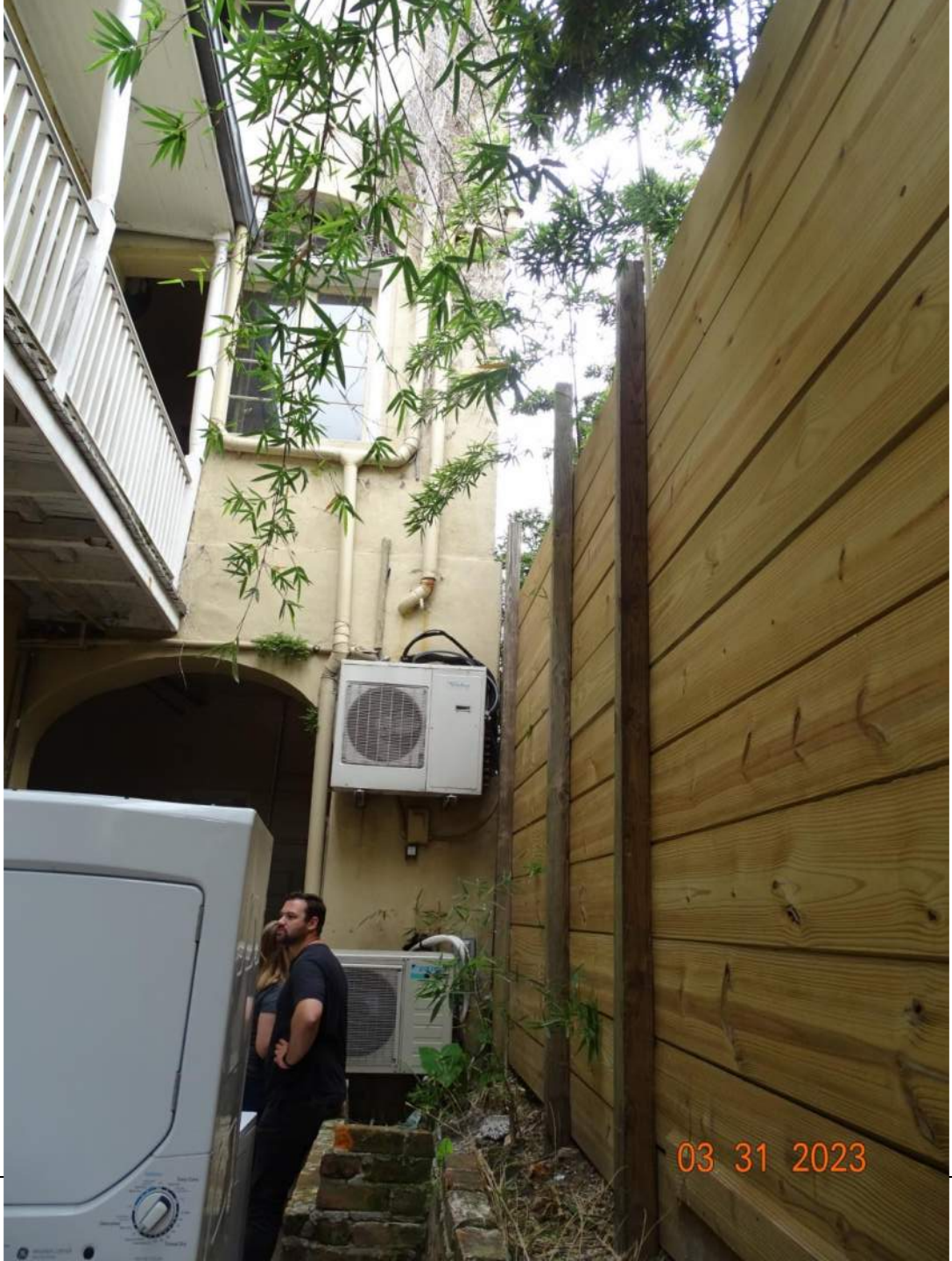
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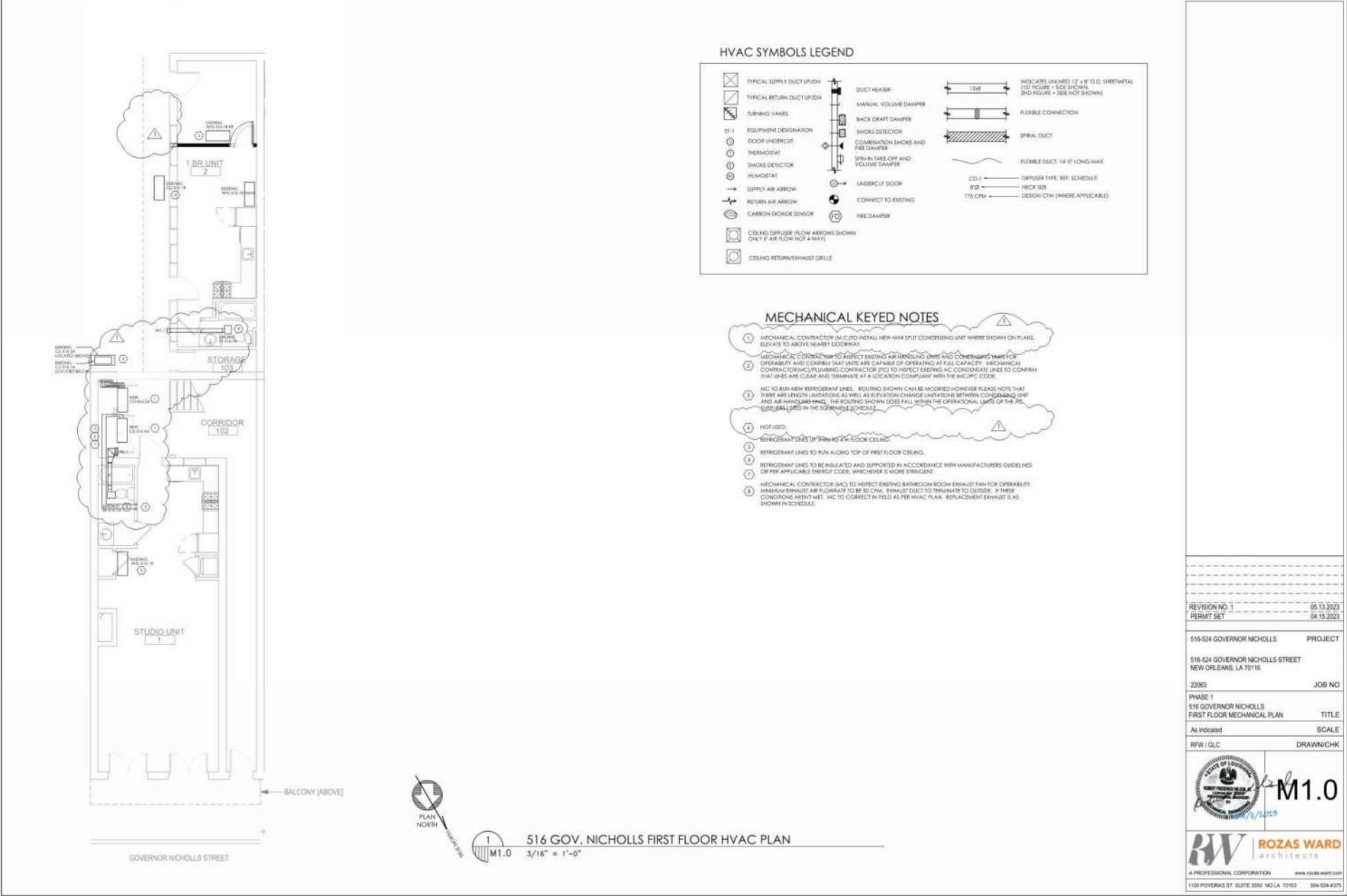


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233 Decatur



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RAASS
Single-Stage Split-System Air Conditioner
with R-410A Refrigerant
1-1/2 To 5 Tons



Product Specifications

Efficiency

- SEER: 14.0 (EER: 12.4, HSPF: 8.2)
- Energy Star Qualified
- Variable-Speed Compressor
- Smart Thermostat Ready
- Smart Sensor Technology

Reliability

- 10-Year Limited Warranty
- 10-Year Limited Parts Warranty
- 10-Year Limited Labor Warranty

Applications

- Residential
- Commercial
- Industrial

Standard Features

Feature	1-1/2 Tons	2 Tons	3 Tons	4 Tons	5 Tons
Variable-Speed Compressor	Yes	Yes	Yes	Yes	Yes
Smart Thermostat Ready	Yes	Yes	Yes	Yes	Yes
Smart Sensor Technology	Yes	Yes	Yes	Yes	Yes
10-Year Limited Warranty	Yes	Yes	Yes	Yes	Yes
10-Year Limited Parts Warranty	Yes	Yes	Yes	Yes	Yes
10-Year Limited Labor Warranty	Yes	Yes	Yes	Yes	Yes

Electrical Data

Unit Size	Unit Type	Unit Voltage	Unit Amps	Unit KW	Unit KVA	Unit KVAR	Unit KVAH	Unit KVAH	Unit KVAH
1-1/2	Split-System	208-230V	15.0	3.3	4.0	3.3	3.3	3.3	3.3
2	Split-System	208-230V	20.0	4.4	5.3	4.4	4.4	4.4	4.4
3	Split-System	208-230V	25.0	5.5	6.6	5.5	5.5	5.5	5.5
4	Split-System	208-230V	30.0	6.6	8.0	6.6	6.6	6.6	6.6
5	Split-System	208-230V	35.0	7.7	9.3	7.7	7.7	7.7	7.7

A-Weighted Sound Power (dBA) without sound shield

Unit Size	Unit Type	Unit Voltage	Unit Amps	Unit KW	Unit KVA	Unit KVAR	Unit KVAH	Unit KVAH	Unit KVAH
1-1/2	Split-System	208-230V	15.0	3.3	4.0	3.3	3.3	3.3	3.3
2	Split-System	208-230V	20.0	4.4	5.3	4.4	4.4	4.4	4.4
3	Split-System	208-230V	25.0	5.5	6.6	5.5	5.5	5.5	5.5
4	Split-System	208-230V	30.0	6.6	8.0	6.6	6.6	6.6	6.6
5	Split-System	208-230V	35.0	7.7	9.3	7.7	7.7	7.7	7.7

A-Weighted Sound Power (dBA) with sound shield

Unit Size	Unit Type	Unit Voltage	Unit Amps	Unit KW	Unit KVA	Unit KVAR	Unit KVAH	Unit KVAH	Unit KVAH
1-1/2	Split-System	208-230V	15.0	3.3	4.0	3.3	3.3	3.3	3.3
2	Split-System	208-230V	20.0	4.4	5.3	4.4	4.4	4.4	4.4
3	Split-System	208-230V	25.0	5.5	6.6	5.5	5.5	5.5	5.5
4	Split-System	208-230V	30.0	6.6	8.0	6.6	6.6	6.6	6.6
5	Split-System	208-230V	35.0	7.7	9.3	7.7	7.7	7.7	7.7

Charging Refrigerant (TXV Type Expansion Device)

Unit Size	Unit Type	Unit Voltage	Unit Amps	Unit KW	Unit KVA	Unit KVAR	Unit KVAH	Unit KVAH	Unit KVAH
1-1/2	Split-System	208-230V	15.0	3.3	4.0	3.3	3.3	3.3	3.3
2	Split-System	208-230V	20.0	4.4	5.3	4.4	4.4	4.4	4.4
3	Split-System	208-230V	25.0	5.5	6.6	5.5	5.5	5.5	5.5
4	Split-System	208-230V	30.0	6.6	8.0	6.6	6.6	6.6	6.6
5	Split-System	208-230V	35.0	7.7	9.3	7.7	7.7	7.7	7.7

Roof Plan

EXISTING ROOF HATCH

BATHROOM ROOF VENT

KITCHEN ROOF VENT

EXISTING KITCHEN HOOD SYSTEM (BAR/RESTAURANT)

EXISTING CONDENSOR (BAR/RESTAURANT)

EXISTING CONDENSOR (BAR/RESTAURANT)

NEW CONDENSOR UNIT 201

NEW CONDENSOR UNIT 201

NEW CONDENSOR UNIT 201

NEW CONDENSOR UNIT 201

21_112

DATE

TYPE (SEE CHANGE LOG)

ISSUED

05-26-23

A3.1

ROOF PLAN

233 Decatur
VCC Architecture Committee

June 13, 2023

R4A5S
Single-Stage Split-System Air Conditioner
with R-410A Refrigerant
1-1/2 To 5 Tons

Product Specifications



Features / Benefits

- Efficiency**
- 13.8 - 16.0 SEER2 (14 - 16.3 SEER) / 11.2 - 13.0 EER2 (11.3 - 13.0 EER)
 - Includes air quality accessories available
- Reliability**
- R-410A refrigerant - environmentally sound, won't deplete the ozone layer and has lifetime service cost.
 - Scroll compressor
 - Internal pressure relief valve
 - Internal thermal overload
 - Filter drier
- Durability**
- Protection Package:
- Solid, double sheet metal construction
 - Dense wire coil guard
- Applications**
- Long-line - up to 250 feet (76.20 m) total equivalent length, up to 200 feet (60.96 m) condenser above evaporator, or up to 80 ft. (24.4 m) evaporator above condenser (See Long Line Guide for more information.)
 - Low ambient cooling (down to 0°F / -18°C) with approved low ambient accessory kit.

This unit has been designed utilizing R-410A refrigerant. The environmentally sound refrigerant allows you to make a responsible decision in the protection of the earth's ozone layer.

NOTE: Ratings contained in this document are subject to change at any time. Always refer to the AHRI directory (www.ahridirectory.org) for the most up-to-date ratings information.

STANDARD FEATURES

Features	18	24	30	36	42	48	49	60	61
R410A Refrigerant	X	X	X	X	X	X	X	X	X
SEER2 (Range depending on indoor combination)	14.3 - 16	14.3 - 16	14.3 - 16	14.3 - 16	13.8 - 15	13.8 - 15	14 - 16	13.8 - 15	14 - 16
Scroll Compressor	X	X	X	X	X	X	X	X	X
Field Installed Filter Drier	X	X	X	X	X	X	X	X	X
Front Loading Service Valves	X	X	X	X	X	X	X	X	X
Internal Pressure Relief Valve	X	X	X	X	X	X	X	X	X
Internal Thermal Overload	X	X	X	X	X	X	X	X	X
Long Line capability	X	X	X	X	X	X	X	X	X
Low Ambient Capability with Kit	X	X	X	X	X	X	X	X	X

RAAS Product Specifications

AHRI RATINGS

For AHRI ratings certificate, please refer to the AHRI directory www.ahridirectory.org. Additional ratings and system contributions can be accessed via the Ratings Database here: AirQuest

Electrical Data

UNIT SIZE	VPH	OPER. VOLTS		COMPR.		FAN		MCA		MAX FUSE ¹ or CMT BRK
		MAX	MIN	LRA	RLA	FLA	PLA	FLA	PLA	
18				42.0	8.8	0.4	11.4	20.0		
24				48.7	9.3	0.6	12.2	20.0		
30				71.3	11.7	0.8	16.2	25.0		
36				86.1	12.2	1.4	16.7	25.0		
42	208/230V	253	187	120.0	20.0	1.88	33.8	30.0		
48				135.0	20.8	1.82	32.8	30.0		
49				134.0	18.8	2.80	28.9	40.0		
60				130.0	20.6	1.40	33.4	30.0		
61				140.0	26.3	2.80	35.7	50.0		

¹ Alternative fuses at the voltage range at which the unit will operate automatically. 1 Time Delay Fuse.

FLA - Full Load Amps

LRA - Locked Rotor Amps

MCA - Minimum Circuit Amps

PLA - Rated Load Amps

NOTE: Control circuit is 24V ac at min and requires external power source. Copper wire must be used. See service disconnect in unit.

All motor components include capacitor and/or thermal protection.

Complies with requirements of AHRI 340 Standard (UL).

Short Circuit Current Rating (SCCR): N/A

A-Weighted Sound Power (dBA) without sound shield

UNIT SIZE	STANDARD RATING	TYPICAL OCTAVE BAND SPECTRUM (without tone adjustment)						8000
		125	250	500	1000	2000	4000	
18	75	67.0	67.3	66.9	67.1	66.1	63.1	57.5
24	73	66.5	66.8	66.7	71.0	63.6	60.4	56.5
30	75	66.0	66.9	67.7	67.4	62.4	60.1	55.5
36	75	66.9	70.0	70.1	67.0	63.6	60.9	56.5
42	76	72.0	73.4	70.5	69.7	64.9	64.1	59.3
48	76	72.0	73.4	70.5	69.7	64.9	64.1	59.3
49	76	66.7	64.7	67.7	67.1	61.9	59.9	56.9
60	75	69.7	71.1	70.0	70.2	64.0	61.9	62.4
61	75	69.4	67.0	68.9	68.4	63.5	67.7	54.9

A-Weighted Sound Power (dBA) with sound shield

UNIT SIZE	STANDARD RATING	TYPICAL OCTAVE BAND SPECTRUM (with sound shield adjustment)						8000
		125	250	500	1000	2000	4000	
18	75	65.0	67.2	66.8	66.7	63.9	61.4	56.1
24	73	66.0	67.3	66.7	66.3	62.8	59.7	56.9
30	72	67.0	66.3	67.8	66.1	61.4	58.7	52.3
36	75	70.1	66.9	70.7	66.7	63.0	60.2	54.4
42	74	74.4	72.7	71.0	68.6	64.4	62.6	56.7
49	73	67.1	63.7	67.8	66.8	60.5	57.0	52.6
48	74	74.4	72.7	71.0	68.6	64.4	62.6	56.7
60	75	71.0	72.0	69.9	69.0	62.4	59.8	56.8
61	75	67.8	65.4	66.3	67.3	59.4	55.3	51.7

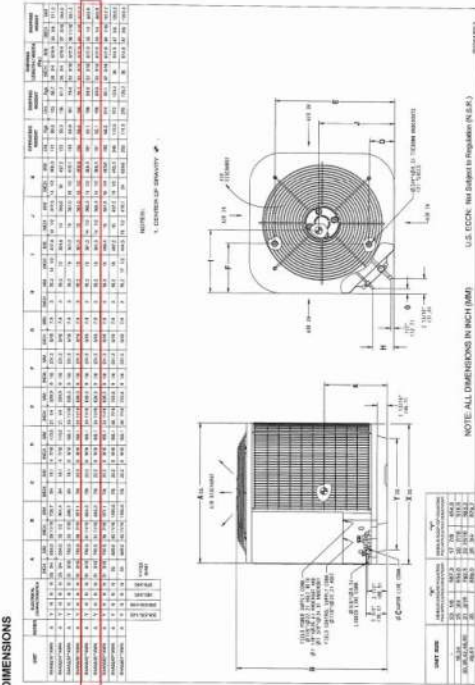
NOTE: Tested in compliance with AHRI 210 test set based with AHRI.

Charging Subcooling (TXV-Type Expansion Device)

UNIT SIZE	REQUIRED SUBCOOLING °F		Indoor
	18	7	
24		9	TXV
30		10	
36		9	
42		10	
48		10	
49		9	
60		14	
61		9	

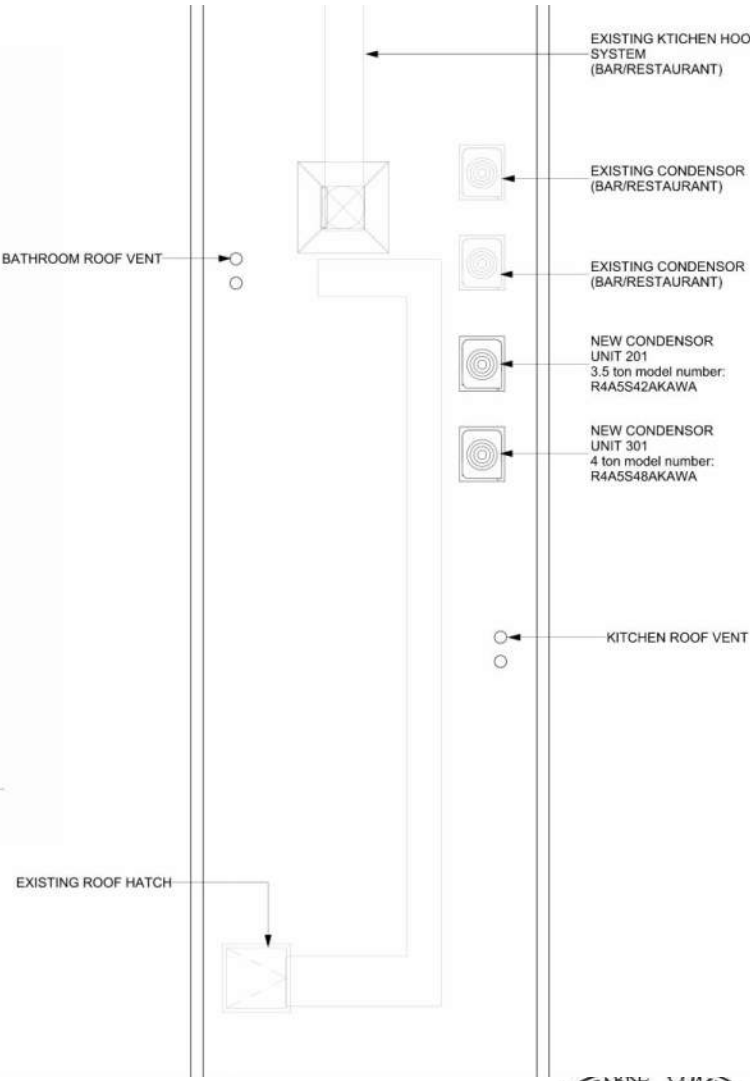
Manufacturer reserves the right to change, at any time, specifications and designs without notice and without obligations.

RAAS Product Specifications



DIMENSIONS

Manufacturer reserves the right to change, at any time, specifications and designs without notice and without obligations.





611 Barracks



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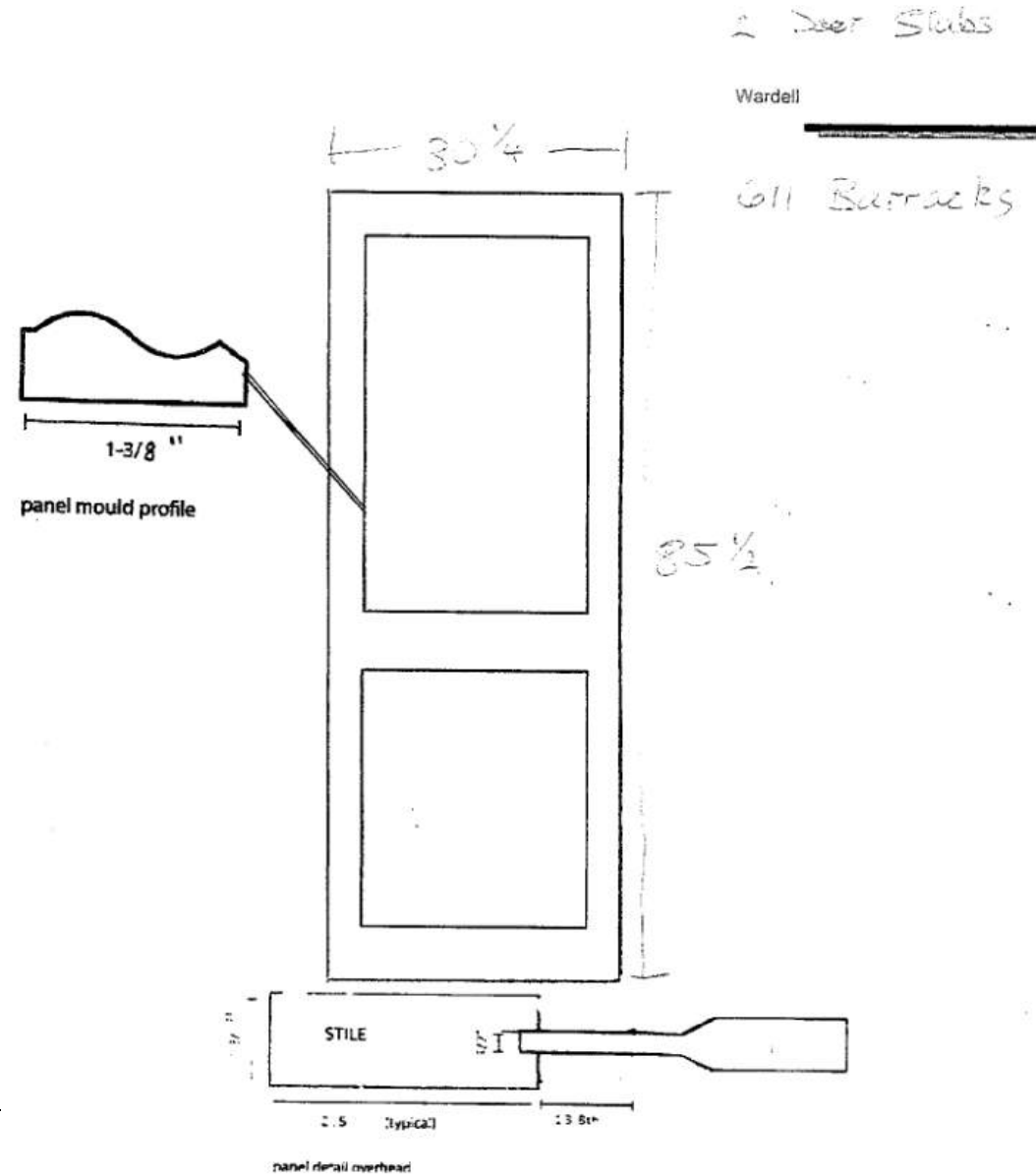


611 Barracks

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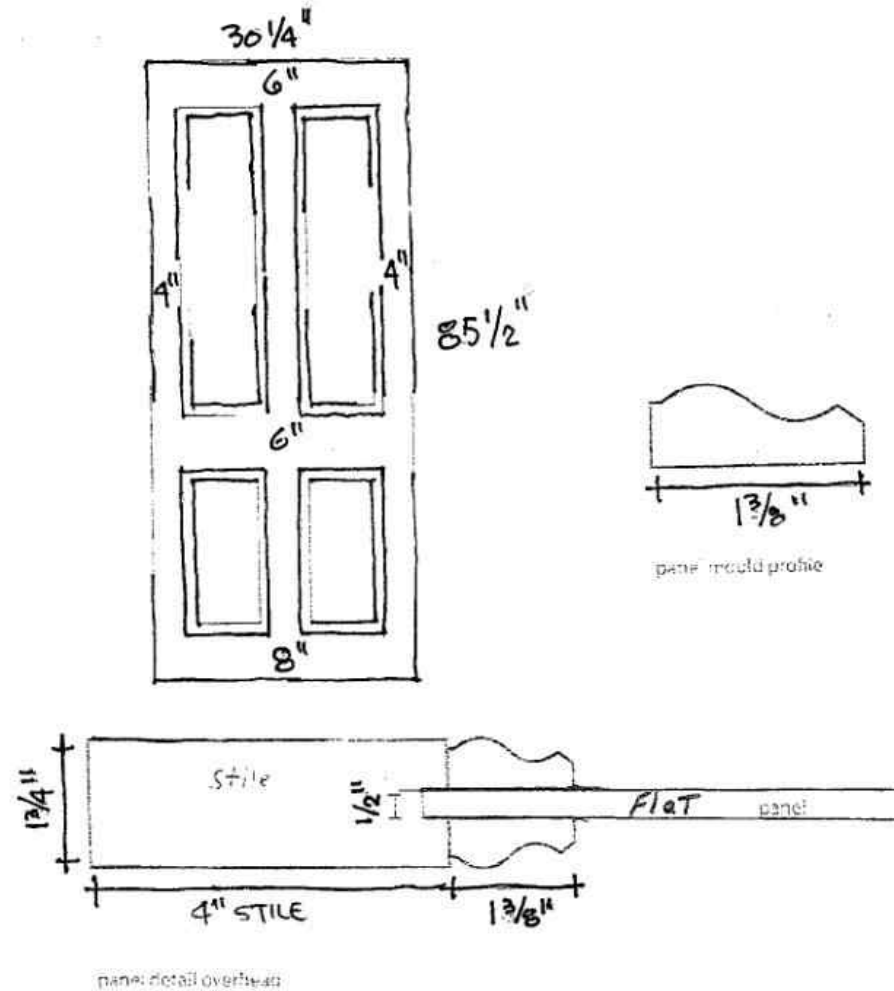


611 Barracks

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2 REAR DOORS
611 BARRACKS ST.

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721 St Philip

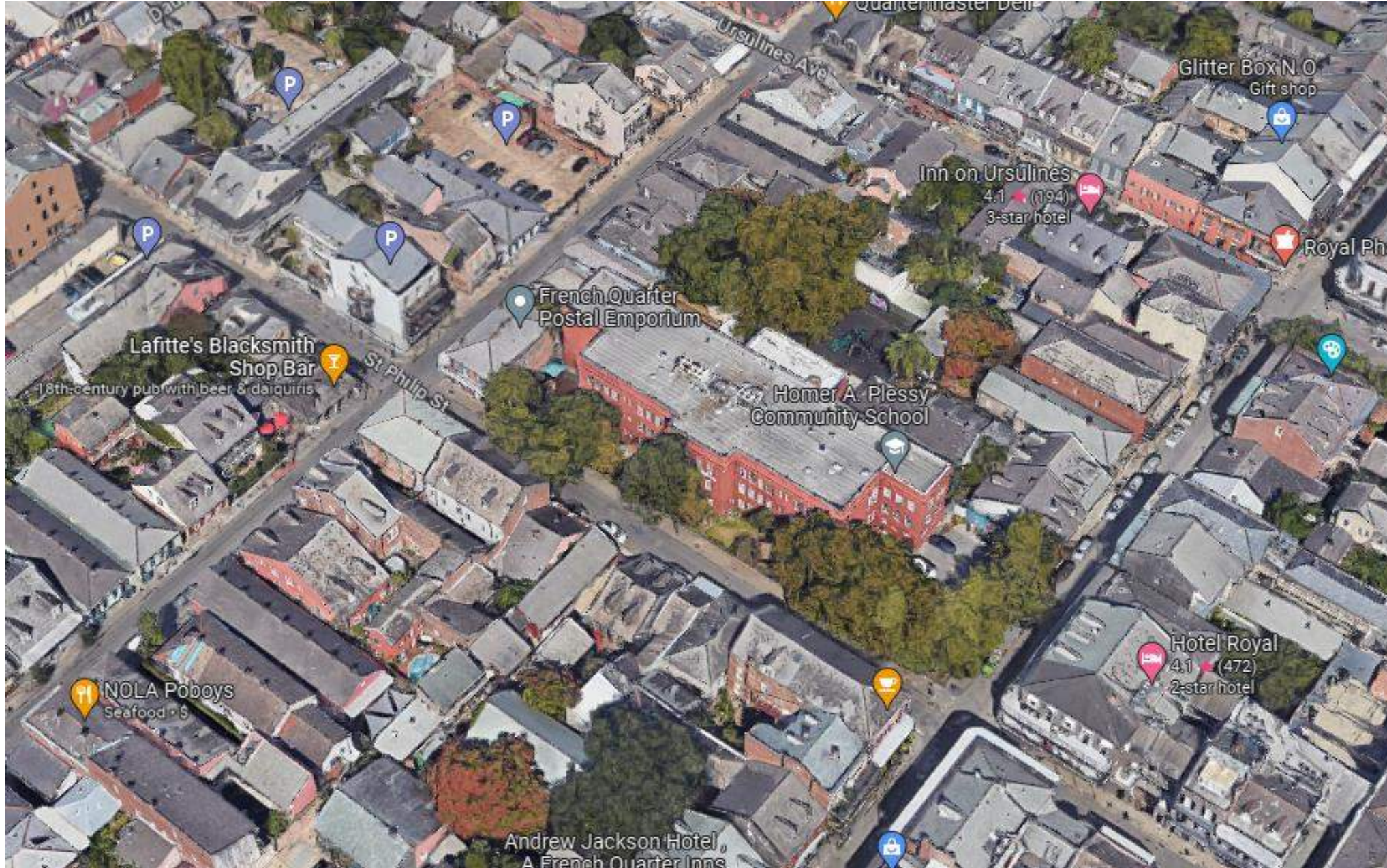


721 St Philip

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721 St Philip, 1962

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721 St Philip, 1965

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721 St Philip, 1980

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721 St Philip, 1989

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721 St Philip, 1993

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721 St Philip, 2008

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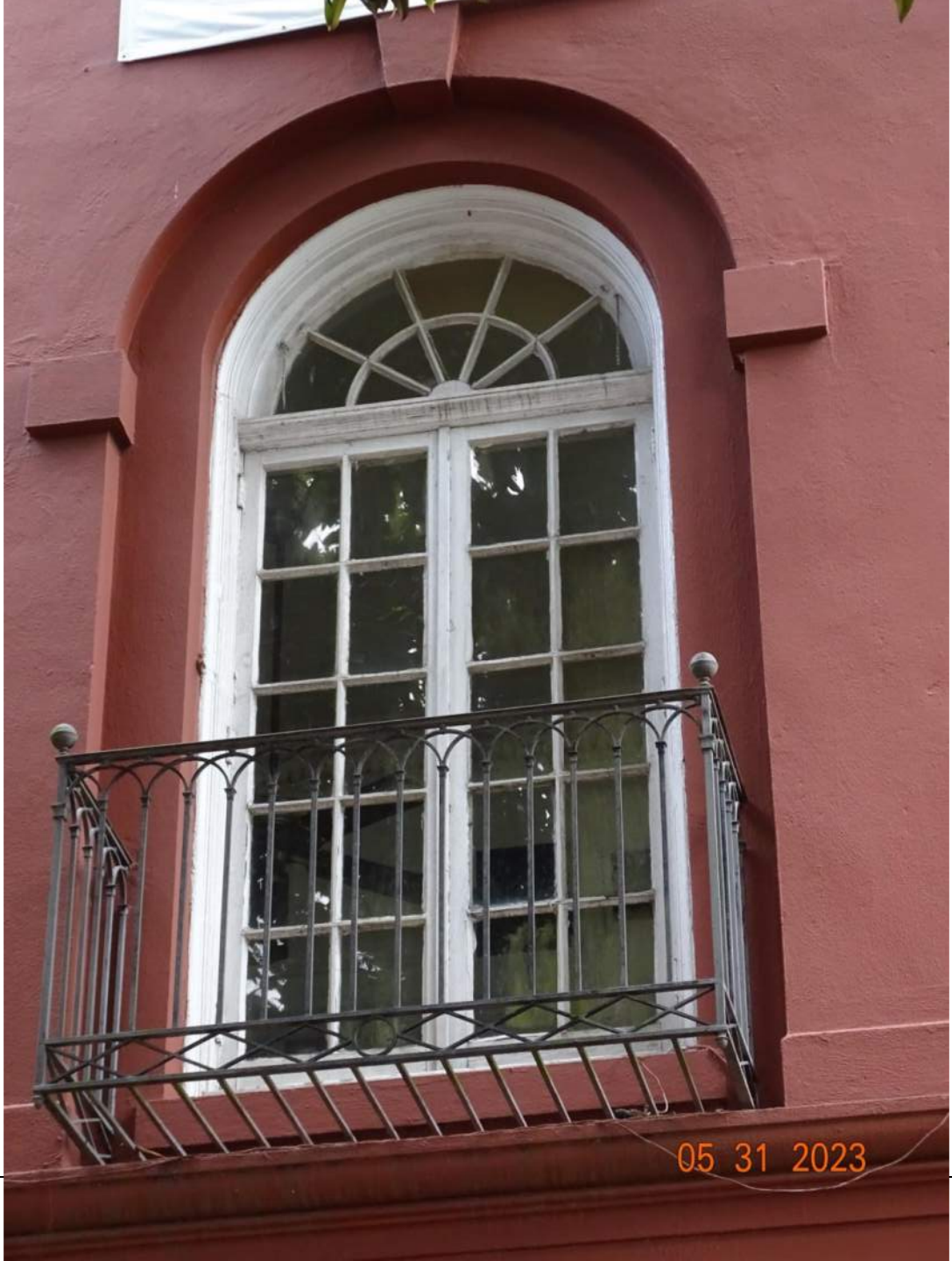
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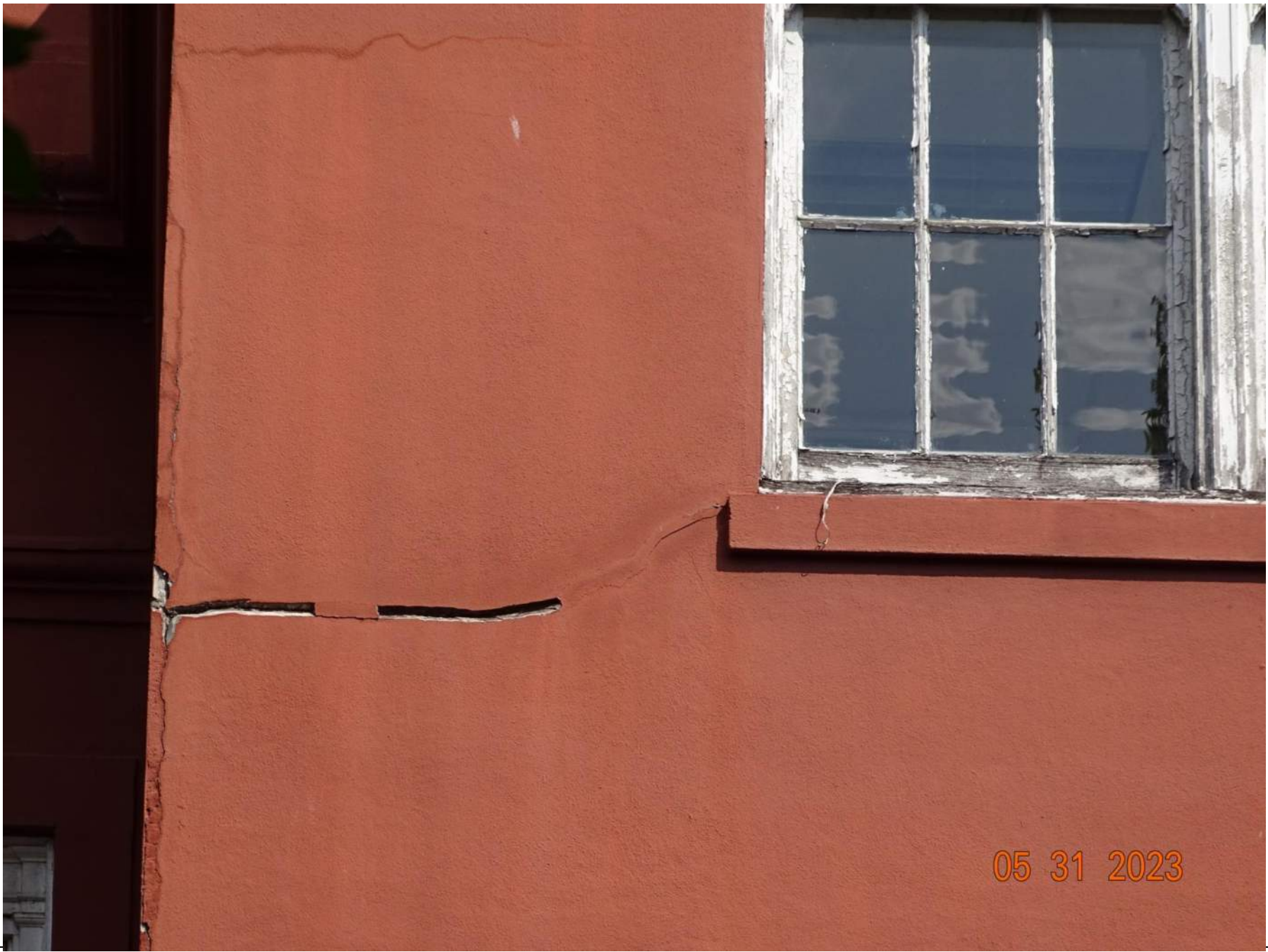


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BUILDING REPAIRS FROM WATER INFILTRATION AT HOMER PLESSY ELEMENTARY SCHOOL

198

PROJECT DESCRIPTION:

REPAIRS TO EXISTING BUILDING DUE TO WATER INFILTRATION, REPLACEMENT OF EXISTING DOORS AND WINDOWS

CODE COMPLIANCE:

CONSTRUCTION TO MEET OR EXCEED ALL REQUIREMENTS OF:

1. IBC 2015
2. HIGH WIND STANDARDS CHAPTER 3, SECTION R301.2.1.1, SOUTHERN BUILDING CODE
3. INTERNATIONAL CODE COUNCIL (ICC) STANDARD FOR CONSTRUCTION IN HIGH WINDS REGIONS (IC600)

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR CONSTRUCTION OF STRUCTURES, SAFETY AND PROTECTION OF ADJACENT BUILDINGS, OCCUPIED AREAS, DUST CONTROL AND UTILITIES.
2. EXISTING SITE CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE PROJECT ARCHITECT/OWNER BEFORE PROCEEDING WITH WORK.
3. TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE PRIOR TO BIDDING AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, THE WORK OF OTHER RELATED TRADES AS WELL.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE. LIMIT STAGING AREAS AS INDICATED ON SHEET A1.5 GENERAL CONTRACTOR STAGING AREA.
5. GENERAL CONTRACTOR IS RESPONSIBLE FOR INFORMING ADJACENT BUILDING OWNERS AT LEAST SEVEN (7) DAYS PRIOR TO STREET CLOSURES DUE TO CONSTRUCTION ACTIVITIES. GC TO DISTRIBUTE NOTICE OF STREET CLOSURES TO ADJACENT BUILDING OWNERS AND TO POST NOTICE ON CONSTRUCTION BUILDING SIGN. GC TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS RELATED TO STREET CLOSURES.
6. THE CONTRACTOR WILL DEVISE A WORKING METHOD FOR THE CONTROL OF NOISE AND DUST PARTICLES FROM THE ADJACENT NEIGHBORS AND NEIGHBORHOOD AND SHALL MAINTAIN THOSE CONTROLS DURING THE DURATION OF THE WORK. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS, DUST CONTROL. IF HAZARDOUS MATERIALS ARE DISCOVERED, STOP WORK IMMEDIATELY, COVERED AFFECTED AREAS PER LOCAL CODES AND REGULATIONS, CONTACT OWNERS, CONTRACT OWNER AND APPROPRIATE AGENCIES. THESE CONSTRUCTION DOCUMENTS, DO NOT COVER ABATEMENT OF HAZARDOUS MATERIALS. ABATEMENT TO BE PERFORMED AS A DESIGNED-BUILT ABATEMENT SEPARATE CONTRACT.
7. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND SHALL ALSO PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNTIL TURNED OVER TO THE OWNER.
8. PROGRESS CLEANING AND WASTE REMOVAL: COLLECT AND MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS AND RUBBISH. THE SITE WILL NOT BE USED AS A MATERIAL SALVAGE STORAGE AREA EXCEPT FOR THOSE ITEMS NOTED. NO SALE OF SALVAGED MATERIAL WILL BE ALLOWED ON SITE.
9. THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.
10. CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING IF REQUIRED AND CONNECT TO TEMPORARY ELECTRIC SERVICE.
11. TEMPORARY WATER SERVICE: CONNECT TO EXISTING WATER SOURCE. IF UTILITY IS CAPPED, COORDINATE ACCESS WITH OWNER.
12. PROVIDE REQUIRED TEMPORARY SANITARY FACILITIES.
13. CONTRACTOR TO PROVIDE ALL NECESSARY INSURANCE AS PER THE CONTRACT.
14. THE CONTRACTOR ACKNOWLEDGES THAT HE HAS EXAMINED AND THOROUGHLY FAMILIARIZED HIMSELF WITH ALL EXISTING CONDITIONS INCLUDING ALL APPLICABLE LAWS, CODES, ORDINANCES, RULES, AND REGULATIONS THAT WILL AFFECT HIS WORK. THE CONTRACTOR FURTHER ACKNOWLEDGES THAT HE HAS VISITED THE SITE, EXAMINED THE GROUNDS, UTILITIES, AND ROADS; THAT HE HAS INVESTIGATED AND SATISFIED HIMSELF AS TO CONDITIONS AFFECTING THE WORK INCLUDING BUT NOT RESTRICTED TO THOSE BEARING UPON TRANSPORTATION, DISPOSAL, HANDLING, AND STORAGE OF MATERIALS, THE TYPE OF EQUIPMENT AND FACILITIES NEEDED TO AND DURING EXECUTION OF THE WORK.
15. BEFORE STARTING EACH SECTION OF WORK, THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL PREPARATORY WORK THAT HAS BEEN EXECUTED TO RECEIVE THE WORK. THE CONTRACTOR SHALL CHECK CAREFULLY, BY WHATEVER MEANS REQUIRED, TO ENSURE THAT HIS WORK AND ADJACENT, RELATED WORK WILL BE FINISHED TO PROPER CONTOURS, PLANES, AND LEVELS. UNDER NO CONDITION SHALL A SECTION OF WORK PROCEED PRIOR TO PREPARATORY WORK HAVING BEEN COMPLETED, CURED DRIED, AND OTHERWISE MADE SATISFACTORY TO RECEIVE SUCH RELATED WORK. RESPONSIBILITY FOR TIMELY INSTALLATION OF ALL MATERIALS REST SOLELY WITH THE CONTRACTOR, WHO SHALL MAINTAIN COORDINATION CONTROL AT ALL TIMES.
16. AT NO TIME SHALL THE CONTRACTOR LEAVE THE JOB SITE OPEN AND UNLOCKED WITHOUT PERSONNEL ON SITE.
17. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS OR SIZES OF COMPONENTS.
18. CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES, TELEPHONE, OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF THE WORK.
19. FINAL CLEANING AND GRADING: REMOVE WASTE AND SURPLUS MATERIALS, RUBBISH AND DEMOLITION FACILITIES FROM THE SITE, GRADE FILL AND BACKFILL, AND FILL Voids AND HOLES CREATED BY DEMOLITION WITH SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL LARGER THAN 2". DEBRIS, WASTE VEGETATION OR OTHER UNSUITABLE MATERIAL AND LEVEL WITH ADJACENT UNDISTURBED AREAS ALLOWING FOR SETTLEMENT AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

PROJECT DIRECTORY:

OWNER:

NEW ORLEANS PUBLIC SCHOOLS
GREG NARLOCK
DIRECTOR OF OPERATIONS
2401 WESTBEND PARKWAY
SUITE 5055
NOLA 70114
504.304.3520

ARCHITECTS:

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504.566.0888
JCWILLIAMS@WILLIAMSARCHITECTS.COM

PROJECT DIRECTORY:

MECHANICAL ENGINEER:

MARRERO, COUVILLON AND ASSOCIATES, LLC
4354 S SHERWOOD FOREST BLVD., SUITE D200
BATON ROUGE, LA 70816
225.408.8249
BRIAN.MILLER@MCA-LLC.COM

STRUCTURAL ENGINEER:

JULIEN ENGINEERING & CONSULTING, INC.
2816 GENERAL DEGAULLE DRIVE, SUITE 200
NOLA 70114
KERWIN E JULIEN, SR.
504.366.3454
KERWIN@JULIEN-ENGINEERING.COM

DRAWING LIST:

ARCHITECTURAL:

- T100 - TITLE SHEET
- A101 - EXISTING FIRST FLOOR PLAN
- A102 - EXISTING SECOND FLOOR PLAN
- A103 - EXISTING THIRD FLOOR PLAN
- A104 - EXISTING ROOF PLAN
- A105 - GENERAL CONTRACTOR STAGING PLAN
- A201 - EXISTING EXTERIOR ELEVATIONS (ST. PHILLIP, BOURBON STR. SIDE, ROYAL STR.)
- A202 - EXISTING EXTERIOR ELEVATION (SCHOOL YARD SIDE)
- A301 - GENERAL DETAILS
- A401 - OPENING TYPES
- A402 - INTERIOR PHOTOS
- A403 - INTERIOR PHOTOS
- A404 - SCHEDULES

STRUCTURAL:

- S001 - GENERAL NOTES
- S101 - LEVEL 1 - LINTEL FRAMING PLAN
- S102 - LEVEL 2 - LINTEL FRAMING PLAN
- S103 - LEVEL 3 - LINTEL FRAMING PLAN
- S104 - ROOF - MECHANICAL PLATFORM
- S200 - LINTEL FRAMING ELEVATION
- S201 - LINTEL FRAMING ELEVATION
- S300 - WINDOW LINTEL SECTIONS
- S301 - WINDOW LINTEL SECTIONS AND DETAILS
- S400 - FLOOR DECKING REPAIRS AND DETAILS

MECHANICAL:

- M001 - MECHANICAL LEGENDS & ABBREVIATIONS
- M101 - MECHANICAL ROOF PLAN

ELECTRICAL:

- E000 - ELECTRICAL NOTES & SYMBOLS
- E101 - ELECTRICAL FIRST FLOOR PLAN
- E102 - ELECTRICAL ROOF PLAN

Reviewed and APPROVED by Nene Henriksen
5/23/2023.

Reviewed and Approved by Matthew Riviere
5/23/2023.



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and regulations.

I certify that the drawings and specifications are true and correct to the best of my knowledge and belief.



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Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

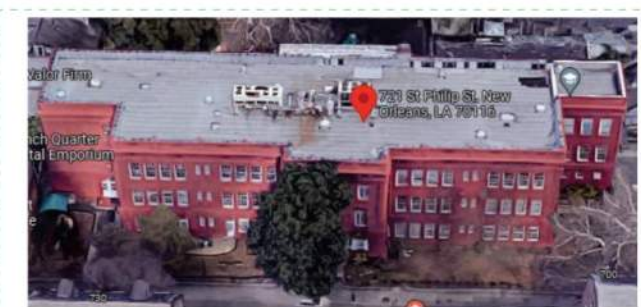
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JOB No.
DATE
Author
S2024
JUNE 20, 2022

Sheet No.

T100



100% CONSTRUCTION DOCUMENTS- 10-14-2022

721 St Philip

VCC Architecture Committee

June 13, 2023

GENERAL CONSTRUCTION NOTES:
WINDOWS SECOND FLOOR

GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL EXISTING WINDOWS, DOORS, AND TRANSOM DIMENSIONS ON SITE BEFORE REMOVING OR INSTALLING APPROVED ITEMS.

EXISTING LINTELS: REPLACE IN KIND IF DAMAGED. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC LINTEL INFORMATION.

E101- EXISTING SECOND FLOOR DOUBLE HUNG WOOD WINDOW TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED, WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME.

E102- EXISTING SECOND FLOOR DOUBLE HUNG WOOD WINDOW TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED, WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME.

E103- EXISTING SECOND FLOOR DOUBLE HUNG WOOD WINDOW TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED, WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME.

E104- EXISTING SECOND FLOOR DOUBLE HUNG WOOD WINDOW TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED, WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME.

E105-E108- EXISTING SECOND FLOOR DOUBLE HUNG WOOD WINDOWS AND ARCHED TOPS TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 ON SHEET AND FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED, WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME. EXISTING PAINTED WOOD SHUTTERS TO REMAIN. REPAIR/REPLACE DAMAGED MATERIALS IN KIND. REPAINT TO MATCH EXISTING COLOR.

E109-E121- EXISTING SECOND FLOOR DOUBLE HUNG WOOD WINDOWS AND ARCHED TOPS TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 ON SHEET AND FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED, WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME. EXISTING PAINTED WOOD SHUTTERS TO REMAIN. REPAIR/REPLACE DAMAGED MATERIALS IN KIND. REPAINT TO MATCH EXISTING COLOR.

WATER DAMAGE NOTES:
SECOND FLOOR

D000- INTERIOR FACE OF EXTERIOR WALLS- PLASTER REPAIRS. FLOORS 2ND AND 3RD FLOORS AT ST. PHILIP, BOULEVARD STREET SIDE, UNDERLIES AVE SIDE AND ROYAL STREET. SCRAPE ALL PEELING PAINT AT SURFACES WHERE WATER DAMAGE IS PRESENT. REMOVE ALL DEBRIS, NAILS, SCREWS, OR ABANDONED OBJECTS. AT AREAS UNDER THE WINDOW SILLS, WHERE DAMAGE IS EXTENSIVE, COMPLETELY SCRAPE OFF DAMAGE AREAS AND REPLASTER BEFORE PAINTING. APPLY ONE (1) COAT OF PRIMER AND TWO (2) COATS OF FINISH PAINT. COLOR TO MATCH EXISTING.

D001- EXISTING PAINTED WOOD WINDOW SILLS. INSPECT CONDITIONS OF EXISTING SILLS AND REPLACE DAMAGED MATERIALS IN KIND. PRIME AND PAINT TO MATCH EXISTING COLOR.

D002- SUSPENDED CEILING SYSTEM- REMOVE RUSTY/DAMAGED SUSPENDED CEILING GRID AT CLASSROOMS ON ST. PHILIP STREET FACADE, 2ND AND 3RD FLOOR LEVELS. REPLACE ACOUSTICAL PANELS TO MATCH EXISTING.

D003- PAINTED GYPSUM BOARD CEILING DAMAGE AT CLOSETS AND MISC. ROOMS INSIDE CLASSROOMS- WHERE WATER DAMAGE IS EVIDENT, REPLACE GYPSUM BOARD IN KIND. PRIME AND PAINT TO MATCH EXISTING.

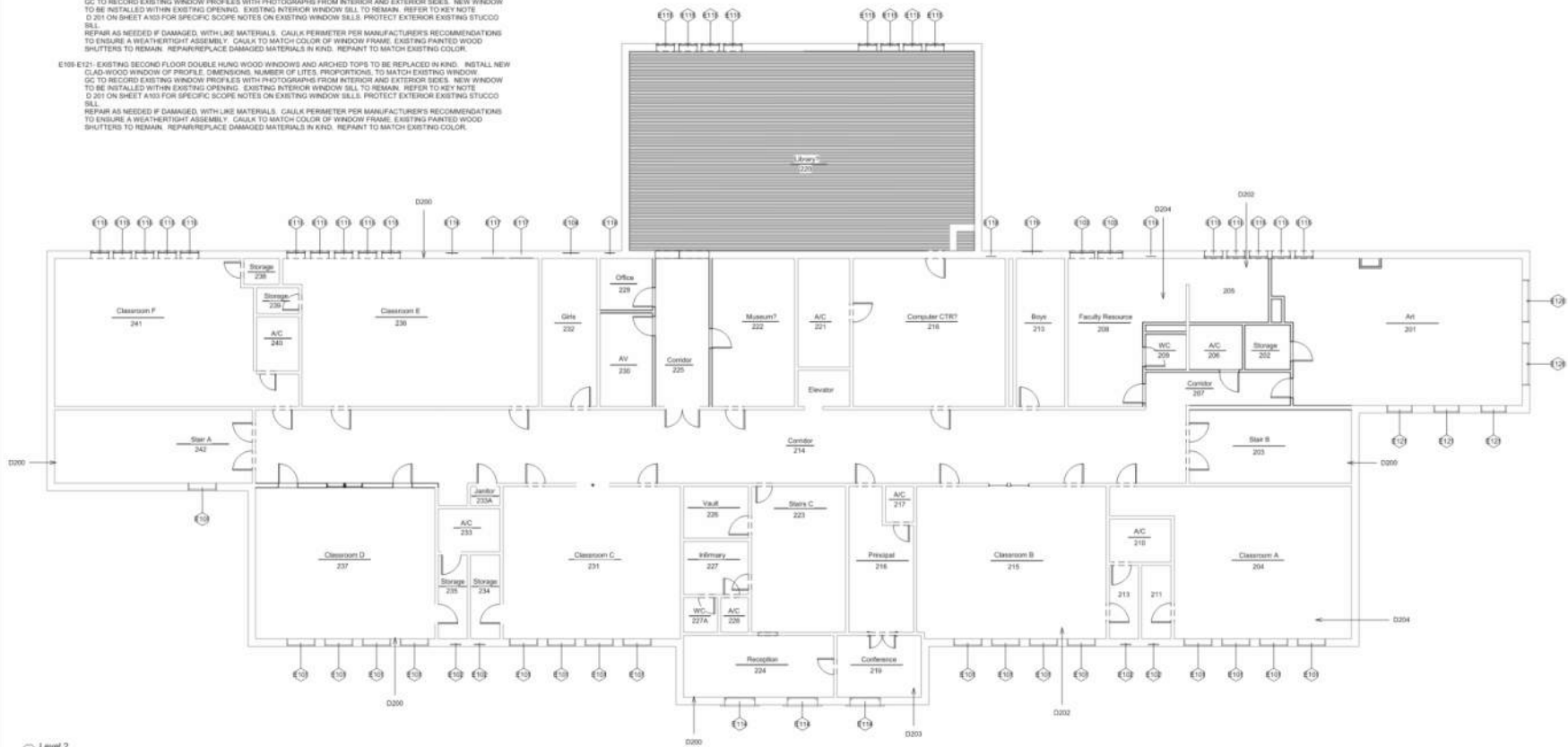
D004- EXISTING FLOOR DAMAGE AT ROOMS 303, 307, 321 - REMOVE EXISTING DAMAGED FLOORING AND UNDERLAYMENT AS NECESSARY FOR INSTALLATION OF NEW FLOOR SYSTEM. NEW FLOOR SYSTEM TO MATCH EXISTING. GC TO INSPECT ON SITE AT INDIVIDUAL CLASSROOMS AND REPORT BACK TO ARCHITECT WITH LIMITS OF REPAIRS ON EXISTING FLOORING. COORDINATE WITH ARCHITECT ON SELECTION OF NEW FLOORS.

DAMAGE SQUARE FOOTAGE:

VCT +/- 155 SF

CEILING TILE +/- 70 SF

CEILING SUSPENSION +/- 73 SF



1. Level 2
1/8" = 1'-0"



WILLIAMS ARCHITECTS
124 BARDONE STREET
NEW ORLEANS, LA 70113

504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not make providing project construction administration services on this project.

John C. Williams



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Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

-REVISIONS-		
No.	Date	Scope

DRAWING
Level 2

DRAWING BY
SCALE 1/8" = 1'-0"
JOB No. 520024
DATE JUNE 20, 2022
Sheet No.

A102

100% CONSTRUCTION DOCUMENTS-10-14-2022





GENERAL CONSTRUCTION NOTES: WINDOWS THIRD FLOOR

GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL EXISTING WINDOWS, DOORS, AND RANDOM DIMENSIONS ON SITE BEFORE REMOVING OR INSTALLING APPROVED ITEMS.

EXISTING LITELS: REPLACE IN KIND IF DAMAGED. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC LITEL INFORMATION.

- E101: EXISTING THIRD FLOOR DOUBLE HUNG WOOD WINDOW TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED. WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME.
- E102: EXISTING THIRD FLOOR DOUBLE HUNG WOOD WINDOW TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED. WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME.
- E103: EXISTING THIRD FLOOR DOUBLE HUNG WOOD WINDOW TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED. WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME.
- E104: EXISTING THIRD FLOOR DOUBLE HUNG WOOD WINDOW TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED. WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME.
- E105-E108: EXISTING THIRD FLOOR DOUBLE HUNG WOOD WINDOWS AND ARCHED TOPS TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED. WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME. EXISTING PAINTED WOOD SHUTTERS TO REMAIN. REPAIR/REPLACE DAMAGED MATERIALS IN KIND. REPAINT TO MATCH EXISTING COLOR.
- E109-E122: EXISTING THIRD FLOOR DOUBLE HUNG, CASEMENT, WOOD WINDOWS AND ARCHED TOPS TO BE REPLACED IN KIND. INSTALL NEW CLAD-WOOD WINDOW OF PROFILE, DIMENSIONS, NUMBER OF LITES, PROPORTIONS, TO MATCH EXISTING WINDOW. GC TO RECORD EXISTING WINDOW PROFILES WITH PHOTOGRAPHS FROM INTERIOR AND EXTERIOR SIDES. NEW WINDOW TO BE INSTALLED WITHIN EXISTING OPENING. EXISTING INTERIOR WINDOW SILL TO REMAIN. REFER TO KEY NOTE D001 FOR SPECIFIC SCOPE NOTES ON EXISTING WINDOW SILLS. PROTECT EXTERIOR EXISTING STUCCO SILL. REPAIR AS NEEDED IF DAMAGED. WITH LIKE MATERIALS. CAULK PERIMETER PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE A WEATHERTIGHT ASSEMBLY. CAULK TO MATCH COLOR OF WINDOW FRAME. EXISTING PAINTED WOOD SHUTTERS TO REMAIN. REPAIR/REPLACE DAMAGED MATERIALS IN KIND. REPAINT TO MATCH EXISTING COLOR.

GENERAL CONSTRUCTION NOTES: EXISTING FLAT ROOF & PTD. WD. RAIL SYSTEM

GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS ON SITE BEFORE REMOVING OR INSTALLING APPROVED ITEMS.

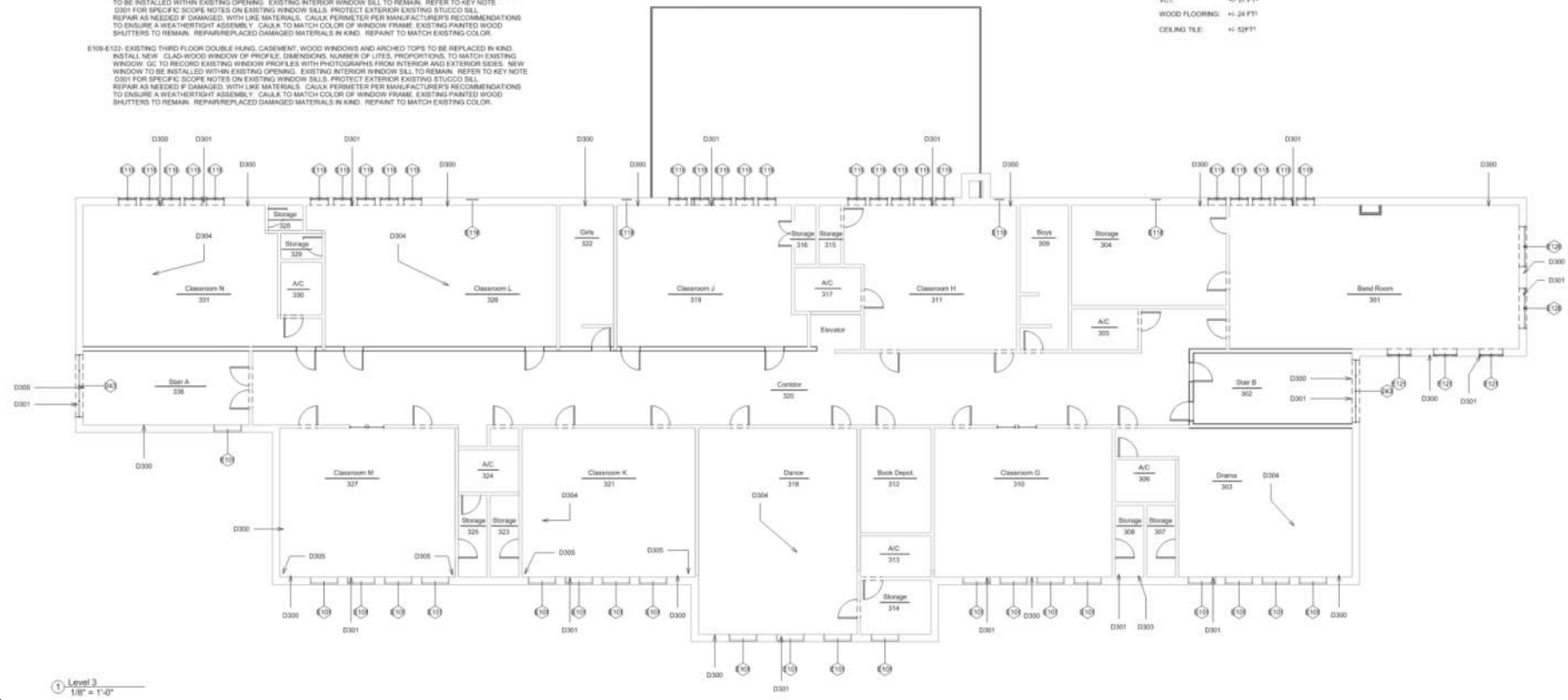
- 1. EXISTING MOD. BIT. ROOF SYSTEM AND ALL RELATED COMPONENTS TO BE REMOVED, INCLUDING FLASHING AT EXISTING PERIMETER. INSPECT CONDITIONS OF ROOF DECK SYSTEM AND NEW MOD. BIT. ROOF SYSTEM. SLOPE ROOF MINIMUM OF 1/4" PER FOOT FOR PROPER WATER DRAINAGE, AWAY FROM BUILDING. INSTALL NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING.
- 2. EXISTING PAINTED WOOD RAIL SYSTEM AND ALL RELATED COMPONENTS TO BE REMOVED. INSTALL NEW 42" HIGH, PREFINISHED METAL RAIL SYSTEM. REFER TO SHEET ANYFOR CONNECTION DETAILS. COLOR OF RAIL TO BE DETERMINED.

WATER DAMAGE NOTES: THIRD FLOOR

- D300: INTERIOR FACE OF EXTERIOR WALLS: PLASTER REPAIRS- FLOORS 2ND AND 3RD FLOORS AT ST. PHILIP, BOURBON STREET SIDE, JEWELL'S AVE. SIDE AND ROYAL STREET. SCRAPE ALL PEELING PAINT AT SURFACES WHERE WATER DAMAGE IS PRESENT. REMOVE ALL DEBRIS, NAILS, SCREWS, OR ABANDONED OBJECTS. AT AREAS UNDER THE WINDOW SILLS, WHERE DAMAGE IS EXTENSIVE, COMPLETELY SCRAPE OFF DAMAGE AREAS AND REPLASTER BEFORE PAINTING. APPLY ONE (1) COAT OF PRIMER AND TWO (2) COATS OF FINISH PAINT. COLOR TO MATCH EXISTING.
- D301: EXISTING PAINTED WOOD WINDOW SILLS- INSPECT CONDITIONS OF EXISTING SILLS AND REPLACE DAMAGED MATERIALS IN KIND. PRIME AND PAINT TO MATCH EXISTING COLOR.
- D302: SUSPENDED CEILING SYSTEM- REMOVE RUSTY/DAMAGED SUSPENDED CEILING GRID AT CLASSROOMS ON ST. PHILIP STREET FACADE, 2ND AND 3RD FLOOR LEVELS. REPLACE ACoustical PANELS TO MATCH EXISTING.
- D303: PAINTED GYPSUM BOARD CEILING DAMAGE AT CLOSETS AND MISC. ROOMS INSIDE CLASSROOMS, WHERE WATER DAMAGE IS EVIDENT, REPLACE GYP BOARD IN KIND. PRIME AND PAINT TO MATCH EXISTING.
- D304: EXISTING FLOOR DAMAGE AT ROOM 301, 321. REMOVE EXISTING DAMAGED FINISH FLOORING AS NECESSARY FOR INSTALLATION OF NEW FLOOR SYSTEM. NEW FLOOR SYSTEM TO MATCH EXISTING. GC TO INSPECT ON SITE AT INDIVIDUAL CLASSROOMS AND REPORT BACK TO ARCHITECT WITH LIMITS OF REPAIRS ON EXISTING FLOORING. EXISTING FLOORING AT DANCE ROOM, THIRD FLOOR, ENTIRE EXISTING WOOD FLOORING SYSTEM TO BE REPLACED IN KIND. COORDINATE WITH ARCHITECT ON SELECTION OF NEW FLOORS. DO NOT REMOVE SUBFLOOR. IF AREAS OF SUBFLOOR ARE DAMAGED AND NEED TO BE REPLACED, NOTIFY ARCHITECT BEFORE REMOVING ANY MATERIALS DUE TO EXISTING FINISH FLOOR LEFT UNDER THE FIN WOOD SUBFLOOR POTENTIALLY CONTAINING ASBESTOS. TYPICAL AT ALL FINISH FLOOR REPAIRS.
- D305: INTERIOR GUTTERS IN CLASSROOMS ARE CURRENTLY INSTALLED AND CALL FOR THOSE TO BE REMOVED. EXISTING EXTERIOR GUTTER SYSTEM AND ALL RELATED COMPONENTS TO BE REMOVED.

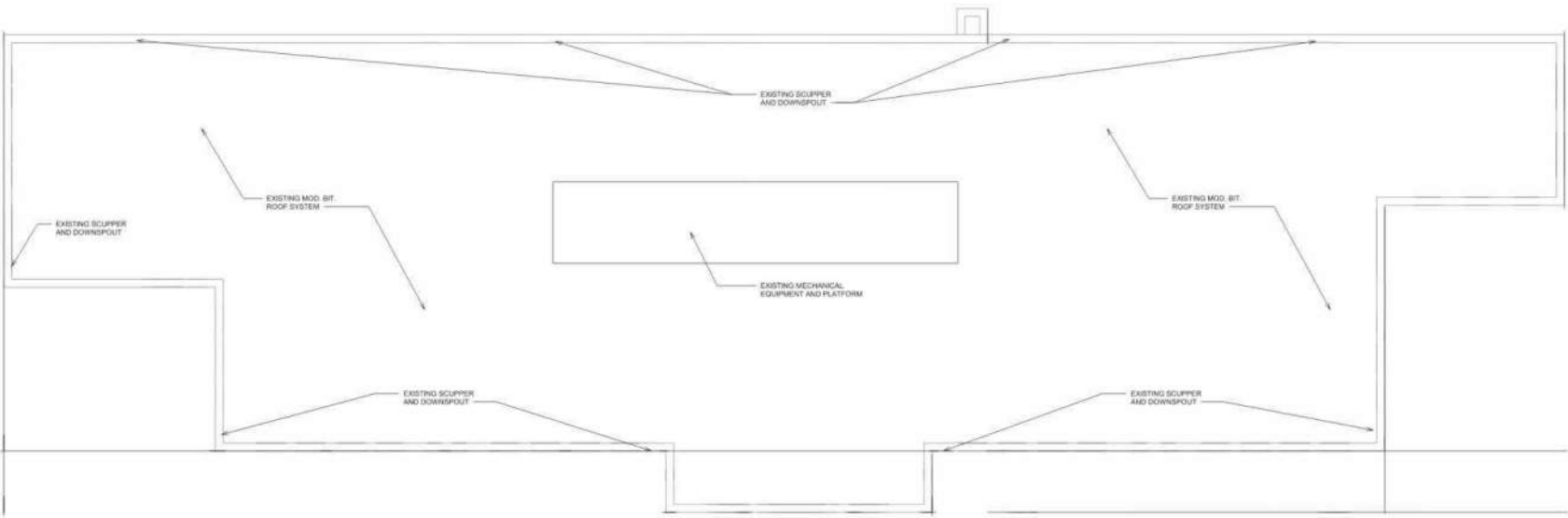
DAMAGE SQUARE FOOTAGE:

WCT	~ 57 FT ²
WOOD FLOORING	~ 24 FT ²
CEILING TILE	~ 52 FT ²



GENERAL CONSTRUCTION NOTES:
EXISTING FLAT ROOF, MECHANICAL EQUIPMENT,
SCUPPERS, GUTTERS AND DOWNSPOUTS

- GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS ON SITE BEFORE REMOVING OR INSTALLING APPROVED ITEMS.
1. EXISTING MOD. BIT. ROOF SYSTEM AND ALL RELATED COMPONENTS TO BE REMOVED, INCLUDING FLASHING AT EXISTING PARAPET. INSPECT CONDITIONS OF ROOF DECK SYSTEM AND REPLACE DAMAGED MATERIALS IN KIND. ADD NEW LAYER OF LIQUID APPLIED WATERPROOFING BEFORE INSTALLING NEW RIGID INSULATION AND NEW MOD. BIT. ROOF SYSTEM. SLOPE ROOF MINIMUM OF 1/4" PER FOOT FOR PROPER WATER DRAINAGE, AWAY FROM BUILDING, COORDINATE WITH GC AND ROOFING SUB. INSTALL NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING.
 2. EXISTING MECHANICAL EQUIPMENT AND MECHANICAL PLATFORMS: REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR INFORMATION ON EXISTING MECHANICAL EQUIPMENT SCOPE.
 3. EXISTING SCUPPERS: INSPECT EXISTING FLASHING, WATERPROOFING, CONNECTIONS, ETC. AND REPLACE ALL DAMAGED COMPONENTS. SCUPPER LEADERHEAD TO PROPERLY FIT WITHIN EXISTING SCUPPER OPENING. REFER TO SHEET A301 FOR TYPICAL SCUPPER FLASHING DETAILS.
 4. LEADERHEADS AND DOWNSPOUTS: REPLACE ALL EXISTING LEADERHEADS, GUTTERS AND DOWNSPOUTS IN KIND. FLASH PROPERLY TO ENSURE A WATERTIGHT CONNECTION. REFER TO SHEET A301 FOR DETAILS.



1 EXISTING ROOF PLAN
1/8" = 1'-0"

100% CONSTRUCTION DOCUMENTS- 10-14-2022



WILLIAMS ARCHITECTS
424 BARDONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I hereby certify that I am a duly licensed professional architect in the State of Louisiana.



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Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

-REVISIONS-		
No.	Date	Scope
DRAWING EXISTING ROOF PLAN		
DRAWING BY	Author	
SCALE	1/8" = 1'-0"	5/20/24
JOB No.		
DATE	JUNE 20, 2022	
Sheet No.	A104	



GENERAL CONSTRUCTION NOTES:
BUILDING FACADE REPAIRS

- 1. GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL EXISTING WINDOWS, DOORS, PROFILES AND TRANSOM DIMENSIONS ON SITE BEFORE REMOVING OR INSTALLING APPROVED ITEMS.
- 2. REFER TO SHEETS A101-A108 FOR SCOPE OF WORK ON WINDOWS, DOORS, DOWNSPOUTS, GUTTERS, AND LEADERHEADS.
- 3. DECORATIVE STUCCO ROOF LINE CORNICE: REPAIR ALL VISIBLE LARGE CRACKS/SEPARATION FROM FACADE. ALL LOOSE/DAMAGED AREAS TO BE REMOVED AND PATCHED. INSTALL SOFT JOINTS WITHIN MASONRY AT BRICKER CRACKS LOCATIONS. REFER TO SHEET A101 FOR RELATED DETAILS. SMALL CRACKS THAT DO NOT PENETRATE INTO THE CONCRETE ARE TO BE LEFT AS IS. APPLY A COAT OF PRIMER AND WITH TWO (2) COATS OF ELASTOMERIC PAINT. COLOR TO MATCH EXISTING.
- 4. EXISTING SCUPPER OPENINGS TO REMAIN: CLEAN, PREPARE FOR INSTALLATION OF NEW FLASHING/ROOFING SYSTEM TO FIT WITHIN EXISTING SCUPPER OPENING FOR A WATERIGHT ASSEMBLY. REFER TO SHEET A101 FOR DETAILS.
- 5. EXISTING LEADERHEADS AND DOWNSPOUTS TO BE REMOVED. NEW LEADERHEADS AND DOWNSPOUTS TO MATCH EXISTING PROFILE AND SIZE.
- 6. EXISTING CHIMNEY TO REMAIN: REMOVE EXISTING SHEETMETAL FLASHING. INSTALL NEW METAL FLASHING AT EXISTING CHIMNEY TO

GENERAL CONSTRUCTION NOTES:
EXTERIOR DOORS FIRST FLOOR

- GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL EXISTING WINDOWS, DOORS, PROFILES AND TRANSOM DIMENSIONS ON SITE BEFORE REMOVING OR INSTALLING APPROVED ITEMS.
- ED101- EXISTING FIRST FLOOR PAINTED WOOD DOOR, SIDE LITES AND ARCHED TRANSOM TO REMAIN. INSPECT CONDITIONS OF EXISTING DOOR. REPLACE/REPAIR ALL GLAZING, MUTTONS, GLASS AS NEEDED WITH LIKE MATERIALS. REPLACE ALL MISSING OR DAMAGE WEATHERSTRIPS. SAND ENTIRE SURFACE ON ALL SIDES AND PREP. FOR NEW PAINT. COLOR TO MATCH EXISTING. EXISTING DOOR HARDWARE TO BE INSPECTED AND REPLACE IF DAMAGED. NEW HARDWARE (INCLUDING DOOR CLOSERS) TO MEET CURRENT CODES.
- ED102 & ED103- EXISTING FIRST FLOOR PAINTED WOOD DOOR AND TRANSOM TO BE REPLACE WITH NEW PREFINISHED CLAD-WOOD DOOR AND TRANSOM. NEW DOOR AND TRANSOM TO MATCH EXISTING DOOR'S PROPORTIONS, LITES, PROFILE. GC TO COORDINATE WITH ARCHITECT ON SELECTION OF NEW DOOR AND TRANSOM SYSTEM. PREFINISH COLOR TO BE SELECTED. EXISTING DOOR HARDWARE TO BE REPLACED. NEW HARDWARE (INCLUDING DOOR CLOSERS) TO MEET CURRENT CODES.
- ED104 - ED105- EXISTING FIRST FLOOR PAINTED WOOD DOORS AND TRANSOMS TO BE REPLACE WITH NEW PREFINISHED CLAD-WOOD DOORS AND TRANSOM. NEW DOOR AND TRANSOM TO MATCH EXISTING DOOR'S PROPORTIONS, LITES, PROFILE. GC TO COORDINATE WITH ARCHITECT ON SELECTION OF NEW DOOR AND TRANSOM SYSTEM. PREFINISH COLOR TO BE SELECTED. EXISTING DOOR HARDWARE TO BE REPLACED. THIS DOOR IS AN EGRESS DOOR. NEW HARDWARE (INCLUDING DOOR CLOSERS) TO MEET CODE REQUIREMENTS FOR AN EGRESS DOOR. NEW HARDWARE (INCLUDING DOOR CLOSERS) TO MEET CURRENT CODES.



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I, *John C. Williams*, providing project construction administration services for this project.



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Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

-REVISIONS-		
No.	Date	Scope

DRAWING
EXTERIOR ELEVATIONS (ST. PHILLIP, BOURBON STR. SIDE, ROYAL STR.)
DRAWING BY: Author
SCALE: 1/8" = 1'-0"
JOB No.: 520024
DATE: JUNE 20, 2022
Sheet No.:

A201



GENERAL CONSTRUCTION NOTES:
BUILDING FACADE REPAIRS

- 1. GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL EXISTING WINDOWS, DOORS, PROFILES AND TRANSOM DIMENSIONS ON SITE BEFORE REMOVING OR INSTALLING APPROVED ITEMS.
- 2. REFER TO SHEETS A101-A108 FOR SCOPE OF WORK ON WINDOWS, DOORS, DOWNSPOUTS, GUTTERS, AND LEADERHEADS.
- 3. DECORATIVE STUCCO ROOF LINE CORNICE: REPAIR ALL VISIBLE LARGE CRACKS/SEPARATION FROM FACADE. ALL LOOSE/DAMAGED AREAS TO BE REMOVED AND PATCHED. INSTALL SOFT JOINTS WITHIN MASONRY AT BIGGER CRACKS LOCATIONS. REFER TO SHEET A___ FOR RELATED DETAILS. SMALL CRACKS THAT DO NOT PENETRATE INTO THE CONCRETE ARE TO BE LEFT AS IS. APPLY A COAT OF PRIMER AND WITH TWO (2) COATS OF ELASTOMERIC PAINT. COLOR TO MATCH EXISTING.
- 4. EXISTING SCUPPERS TO REMAIN: CLEAN, PREPARE FOR INSTALLATION OF NEW FLASHING/ROOFING SYSTEM TO FIT WITHIN EXISTING SCUPPER OPENING FOR A WATERTIGHT ASSEMBLY. REFER TO SHEET A___ FOR DETAILS.
- 5. EXISTING LEADERHEADS AND DOWNSPOUTS TO BE REMOVED. NEW LEADERHEADS AND DOWNSPOUTS TO MATCH EXISTING PROFILE AND SIZE.
- 6. EXISTING CHIMNEY TO REMAIN: REMOVE EXISTING SHEETMETAL FLASHING. INSTALL NEW METAL FLASHING AT EXISTING CHIMNEY TO

GENERAL CONSTRUCTION NOTES:
EXTERIOR DOORS FIRST FLOOR

- GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL EXISTING WINDOWS, DOORS, PROFILES AND TRANSOM DIMENSIONS ON SITE BEFORE REMOVING OR INSTALLING APPROVED ITEMS.
- ED101: EXISTING FIRST FLOOR PAINTED WOOD DOOR, SIDE LITES AND ARCHED TRANSOM TO REMAIN. INSPECT CONDITIONS OF EXISTING DOOR. REPLACE/REPAIR ALL GLAZING, MUTTONS, GLASS AS NEEDED WITH LIKE MATERIALS. REPLACE ALL MISSING OR DAMAGE WEATHERSTEPS. SAND ENTIRE SURFACE ON ALL SIDES AND PREP. FOR NEW PAINT. COLOR TO MATCH EXISTING. EXISTING DOOR HARDWARE TO BE INSPECTED AND REPLACE IF DAMAGED. NEW HARDWARE (INCLUDING DOOR CLOSER) TO MEET CURRENT CODES.
- ED102 & ED103: EXISTING FIRST FLOOR PAINTED WOOD DOOR AND TRANSOM TO BE REPLACE WITH NEW PREFINISHED CLAD-WOOD DOOR AND TRANSOM. NEW DOOR AND TRANSOM TO MATCH EXISTING DOORS PROPORTIONS, LITES, PROFILE. GC TO COORDINATE WITH ARCHITECT ON SELECTION OF NEW DOOR AND TRANSOM SYSTEM. PREFINISH COLOR TO BE SELECTED. EXISTING DOOR HARDWARE TO BE REPLACED. NEW HARDWARE (INCLUDING DOOR CLOSER) TO MEET CURRENT CODES.
- ED104 & ED105: EXISTING FIRST FLOOR PAINTED WOOD DOORS AND TRANSOMS TO BE REPLACE WITH NEW PREFINISHED CLAD-WOOD DOORS AND TRANSOM. NEW DOOR AND TRANSOM TO MATCH EXISTING DOORS PROPORTIONS, LITES, PROFILE. GC TO COORDINATE WITH ARCHITECT ON SELECTION OF NEW DOOR AND TRANSOM SYSTEM. PREFINISH COLOR TO BE SELECTED. EXISTING DOOR HARDWARE TO BE REPLACED. THIS DOOR IS AN EGRESS DOOR: NEW HARDWARE TO MEET CODE REQUIREMENTS FOR AN EGRESS DOOR. NEW HARDWARE (INCLUDING DOOR CLOSERS) TO MEET CURRENT CODES.



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I will not execute providing project construction administration services on this project.



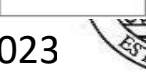
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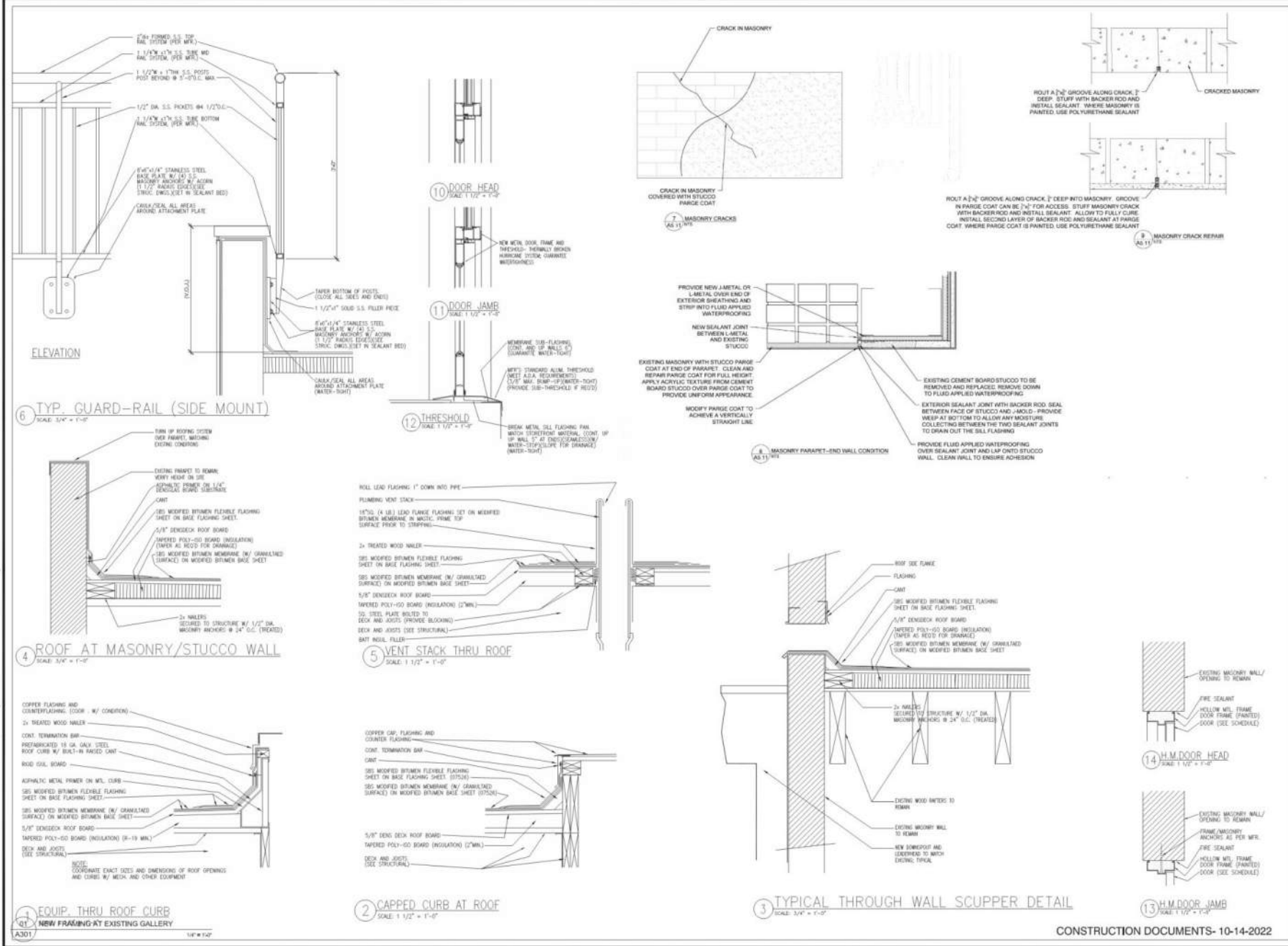
Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

-REVISIONS-		
No.	Date	Scope

DRAWING
EXISTING EXTERIOR
ELEVATION (SCHOOL YARD
SIDE)
DRAWING BY
SCALE
JOB No.
DATE
Sheet No.

A202







EXISTING WINDOW 101



EXISTING WINDOW 102




EXISTING WINDOW 101



EXISTING WINDOW 101






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I will remain responsible for providing project construction administration services on the project.



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**Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA**

-REVISIONS-		
No.	Date	Scope

DRAWING
OPENING TYPES

DRAWING BY: _____ Author
SCALE: _____
JOB No.: 520024
DATE: JUNE 28, 2022
Sheet No.: _____

A401

100% CONSTRUCTION DOCUMENTS- 10-14-2022





D200 and D300 Water Damage to Plaster



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I, the undersigned, providing general construction administration services on this project.

John Williams



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Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

-REVISIONS-		
No.	Date	Scope

DRAWING
INTERIOR PHOTOS_Plaster

DRAWING BY: Author
JOB No: 120224
DATE: JUNE 20, 2022
Sheet No:

A402





Water damage to ceiling D302



D302



D303



D302



D 301 Water/termite damage to Window Sills and baseboards



D301



D301



D301



D 304 Water/termite damage to floors and baseboards




D304



D304




D305-Interior Gutter



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**Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA**

-REVISIONS-		
No.	Date	Scope

DRAWING
INTERIOR PHOTOS, Sills,
ceilings and floors

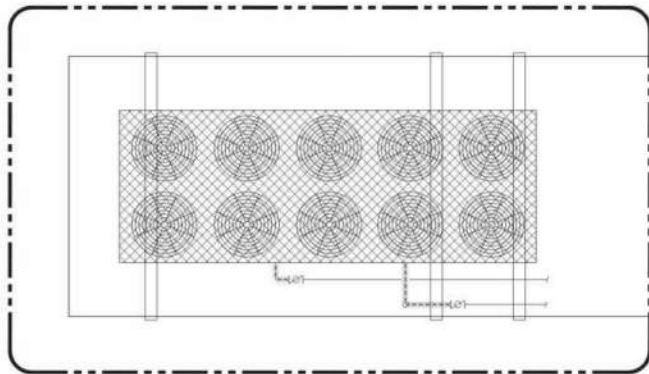
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SCALE: 1/8"=1'-0"
JOB No: 100024
DATE: JUNE 20, 2022
Sheet No:

A403

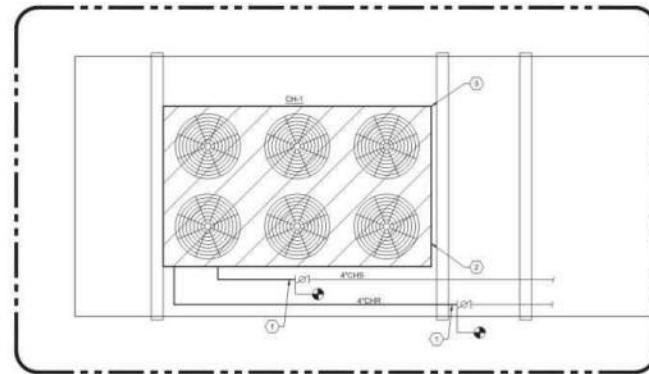


AIR COOLED CHILLER SCHEDULE																				
ITEMS	SERVES	LOCATION	NOMINAL TONS	AMBIENT TEMP.	ELECTRICAL DATA				COMPRESSOR DATA		CONDENSER FAN DATA			EVAPORATOR DATA		EQUAL TO:				
					V	PH	HZ	MIN CIRCUIT AMPACITY	MAX FUSE SIZE	QTY	RLA (EACH)	LRA (EACH)	QTY	KW (EACH)	FLA (EACH)		GPM	EWI	LWT	WATER PRESS DROP (PSI)
CH-1	ENTIRE SCHOOL	ROOF	101.0	95	208	80	3	458	500	4	85.3	605	6	-	7.8	342.9	54.0	44.0	21.7	DAKIN AGZ101E

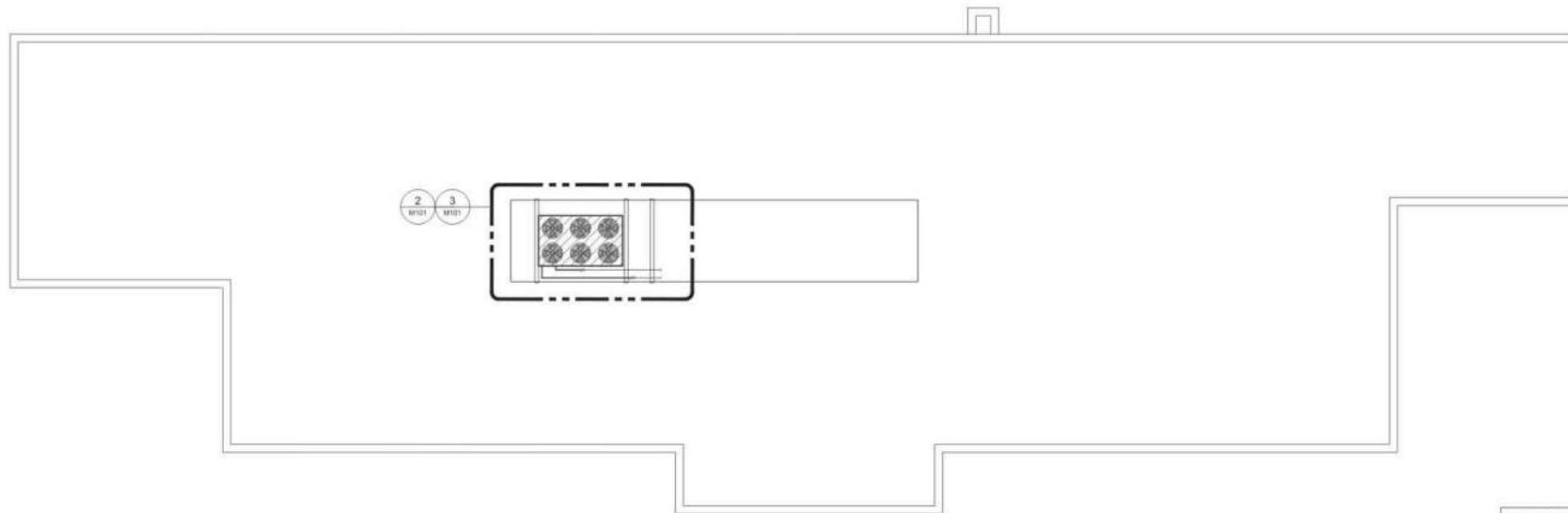
- NOTES:
1. PROVIDE SINGLE POINT POWER CONNECTION, AND LOW AMBIENT CONTROL.
 2. PROVIDE EXPOXY COATED COILS AND MINIMUM 1" THICK INSULATION FOR EVAPORATOR.
 3. PROVIDE OPEN RACKET COMMUNICATION INTERFACE.
 4. MANUFACTURE SHALL PROVIDE FACTORY STARTUP WITH 10 YEARS COMPLETE UNIT PARTS, LABOR AND REFRIGERANT WARRANTY.



2 MECHANICAL PARTIAL ENLARGED ROOF PLAN (DEMOLITION)
SCALE: 3/8" = 1'-0"



3 MECHANICAL PARTIAL ENLARGED ROOF PLAN
SCALE: 3/8" = 1'-0"



1 MECHANICAL ROOF PLAN
SCALE: 1/8" = 1'-0"

- KEY NOTES:
1. CONNECT NEW CHILLER CHS & CHIPPING TO EXISTING ISOLATION VALVES.
 2. CONNECT NEW CHILLER TO EXISTING SYNERGY RMS. HAVE THE CHILLER TIE INTO ALL DATA POINTS OF THE EXISTING CHILLER BEING REPLACED.
 3. MOUNT CHILLER ON FABRICATED GRID WITH VIBRATION ISOLATORS. COORDINATE WITH STRUCTURAL.



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I (we) will make the following project construction administration services on this project:



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Building repairs from water infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

-REVISIONS-		
No.	Date	Scope

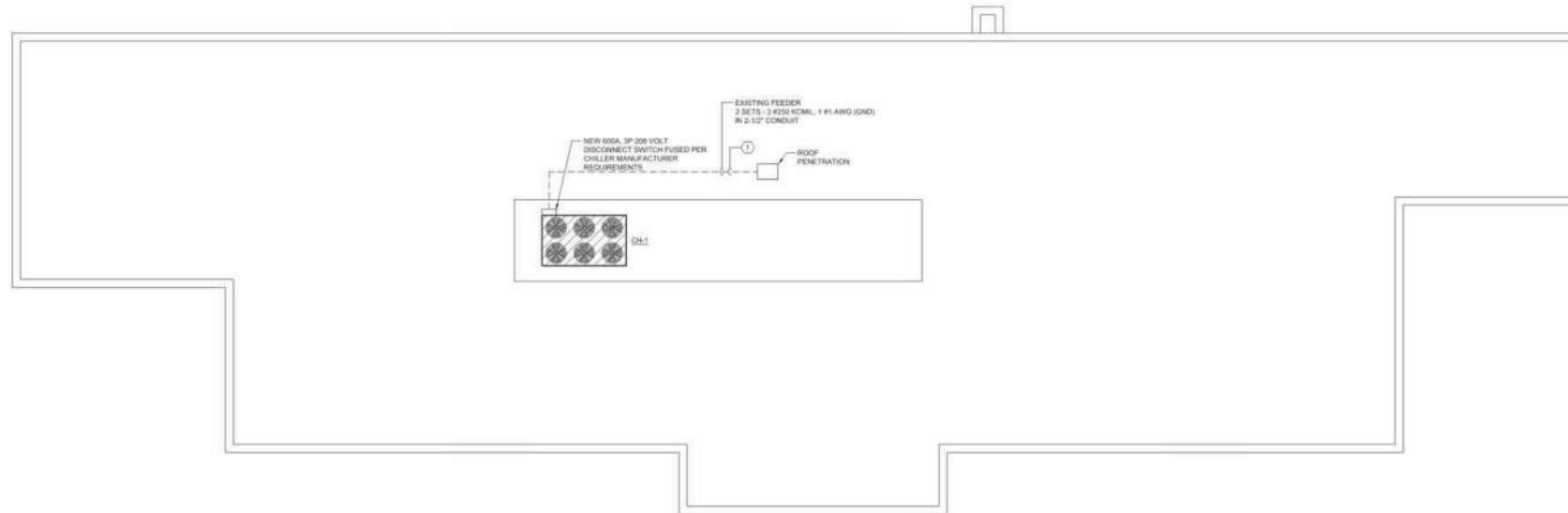
DRAWING
MECHANICAL ROOF PLAN

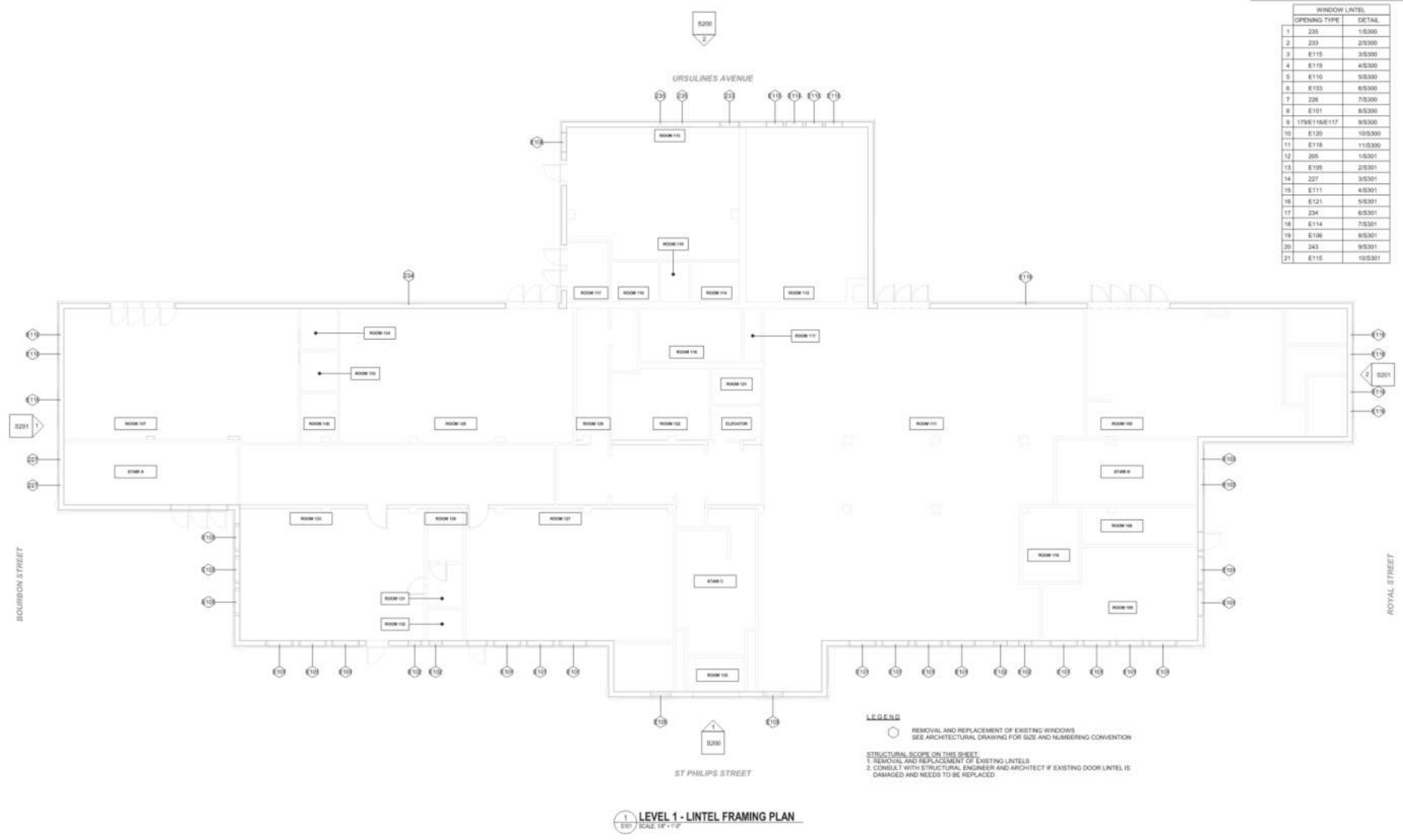
DRAWING BY: KPW
SCALE: NOTED
JOB No: 520024
DATE: OCT 14, 2022
Sheet No:



M101







OPENING TYPE	DETAIL
1 235	1/5/300
2 233	2/5/300
3 2115	2/5/300
4 2119	4/5/300
5 2110	5/5/300
6 2103	6/5/300
7 208	7/5/300
8 2101	8/5/300
9 1/5/611/6/117	9/5/300
10 2120	10/5/300
11 2118	11/5/300
12 205	1/5/301
13 2109	2/5/301
14 227	3/5/301
15 2111	4/5/301
16 2121	5/5/301
17 234	6/5/301
18 2114	7/5/301
19 2106	8/5/301
20 243	9/5/301
21 2116	10/5/301

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I will not be providing project construction administration services on this project.



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**Building Repairs from Water Infiltration at
Homer Plessy Elementary School**
NEW ORLEANS, LOUISIANA

-REVISIONS-		
No.	Date	Scope

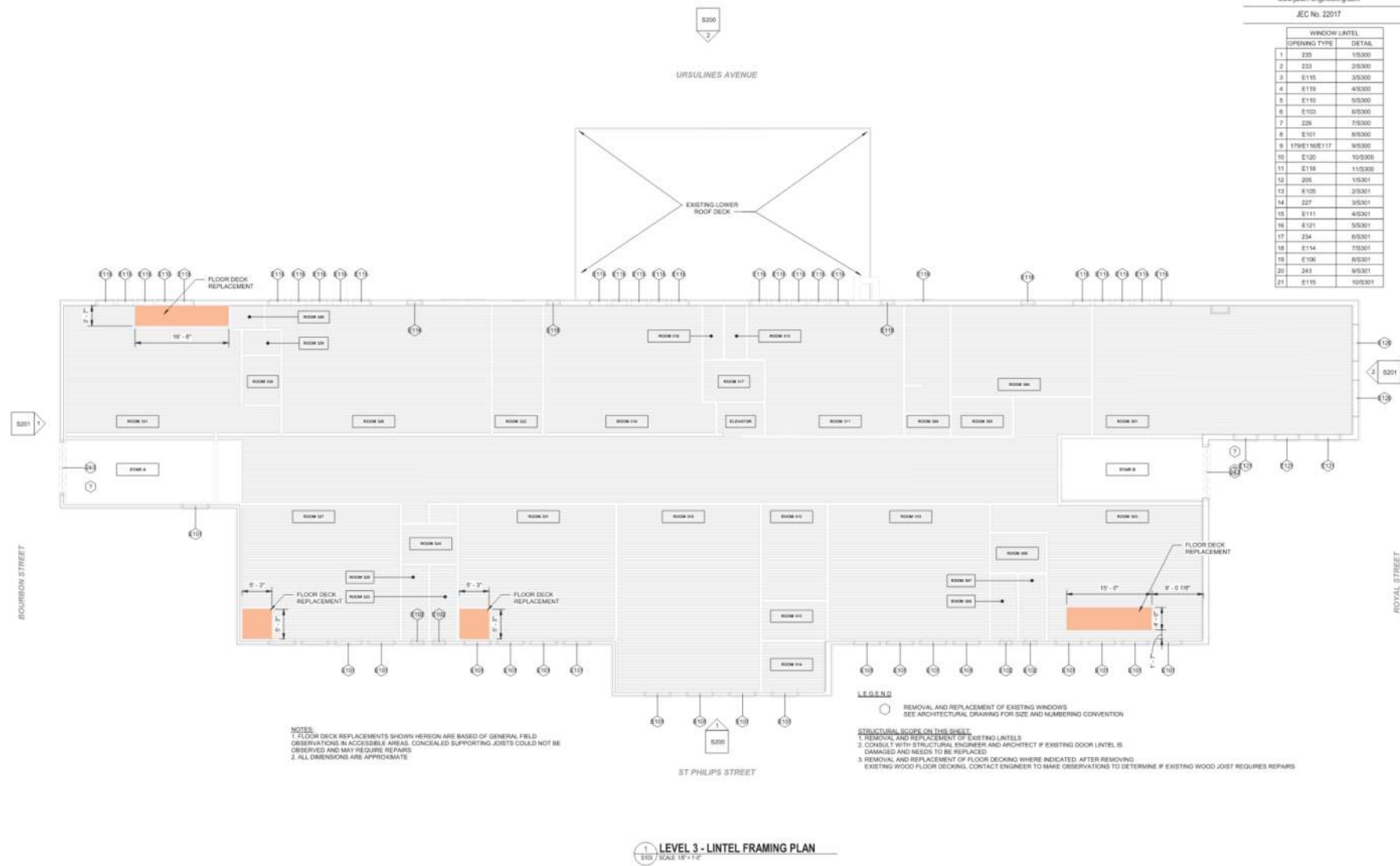
DRAWING
LEVEL 1 - LINTEL FRAMING
PLAN
DRAWING BY: KEJ/SR
SCALE: 1/8" = 1'-0"
JOB No: 520024
DATE: OCT 14, 2022
Sheet No:

S101



JEC No. 22017

OPENING TYPE	DETAIL
1. 225	15/300
2. 233	20/300
3. E115	30/300
4. E119	40/300
5. E110	50/300
6. E103	60/300
7. 228	70/300
8. E101	80/300
9. E106/E108/E117	90/300
10. E120	100/300
11. E118	110/300
12. 205	120/301
13. E105	20/301
14. 227	30/301
15. E111	40/301
16. E121	50/301
17. 234	60/301
18. E114	70/301
19. E106	80/301
20. 243	90/301
21. E116	100/301



NOTES:
1. FLOOR DECK REPLACEMENTS SHOWN HEREON ARE BASED ON GENERAL FIELD OBSERVATIONS IN ACCESSIBLE AREAS. CONCEALED SUPPORTING JOISTS COULD NOT BE OBSERVED AND MAY REQUIRE REPAIRS.
2. ALL DIMENSIONS ARE APPROXIMATE.

LEGEND
○ REMOVAL AND REPLACEMENT OF EXISTING WINDOWS
SEE ARCHITECTURAL DRAWING FOR SIZE AND NUMBERING CONVENTION
STRUCTURAL SCOPE ON THIS SHEET:
1. REMOVAL AND REPLACEMENT OF EXISTING LINTELS
2. CONSULT WITH STRUCTURAL ENGINEER AND ARCHITECT IF EXISTING DOOR LINTEL IS DAMAGED AND NEEDS TO BE REPLACED
3. REMOVAL AND REPLACEMENT OF FLOOR DECKING WHERE INDICATED. AFTER REMOVING EXISTING WOOD FLOOR DECKING, CONTACT ENGINEER TO MAKE OBSERVATIONS TO DETERMINE IF EXISTING WOOD JOIST REQUIRES REPAIRS

LEVEL 3 - LINTEL FRAMING PLAN
SCALE 1/8" = 1'-0"

-REVISIONS-

No.	Date	Scope

DRAWING
LEVEL 3 - LINTEL FRAMING
PLAN
DRAWING BY
SCALE
JOB No.
DATE
Sheet No.

S103



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I do not intend to provide project construction administration services on this project.



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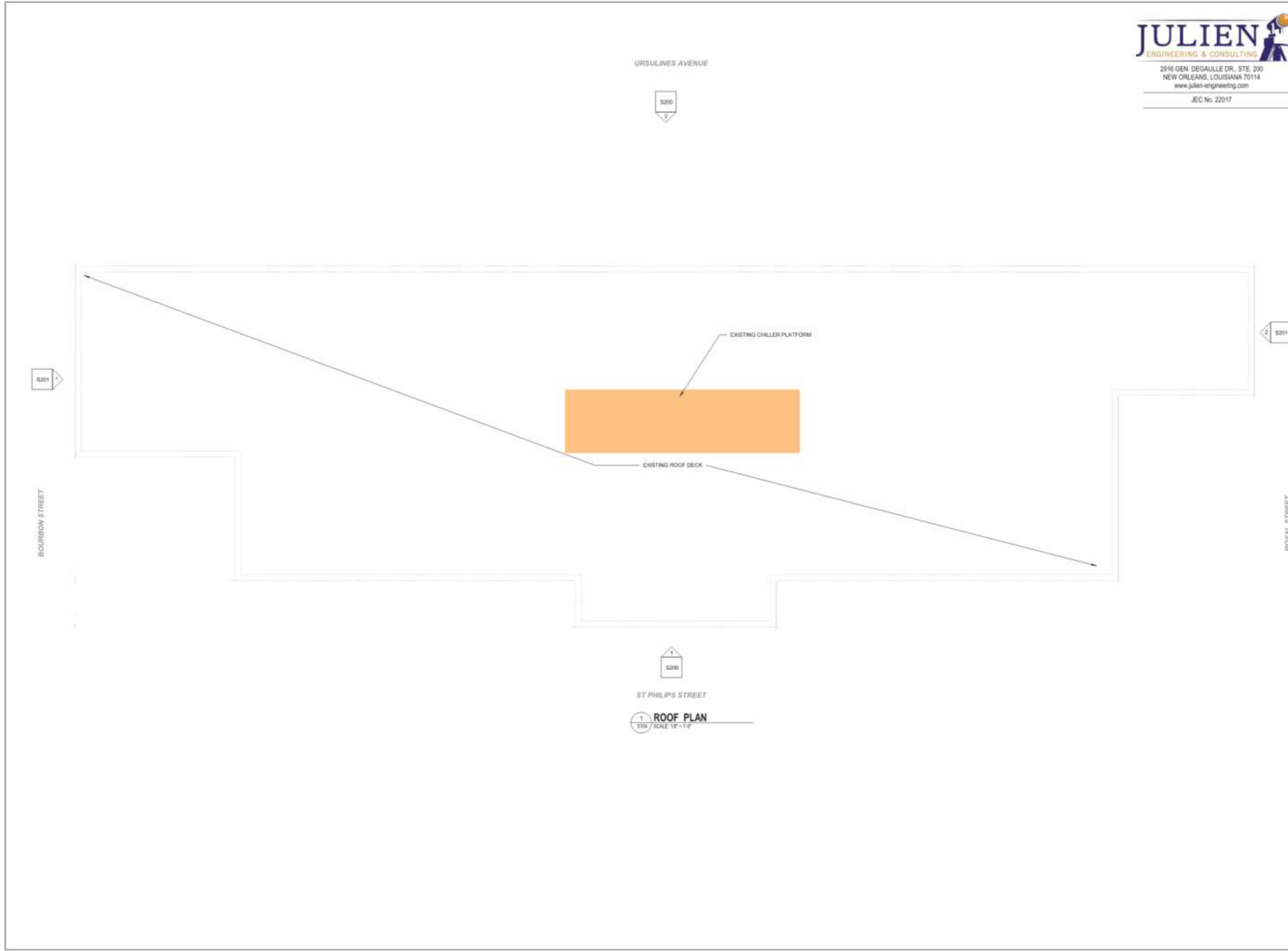
Building Repairs from Water Infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

-REVISIONS-		
No.	Date	Scope

DRAWING
ROOF PLAN

DRAWING BY: KEJ:SR
SCALE: 1/8" = 1'-0"
JOB No.: 520024
DATE: OCT 15, 2022
Sheet No.:

S104



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I hereby certify that I am a duly licensed Professional Engineer in the State of Louisiana.



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-REVISIONS-		
No.	Date	Scope

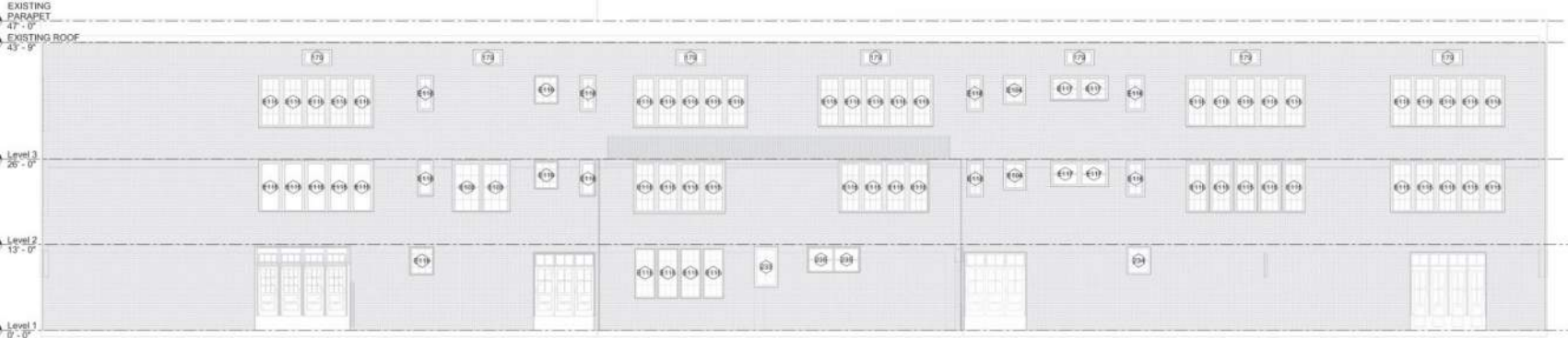
DRAWING
LINTEL FRAMING
ELEVATION

DRAWING BY: KELLER
SCALE: 1/8" = 1'-0"
JOB No.: S20024
DATE: OCT 14, 2022
Sheet No.:

S200



1 ST PHILIPS STREET SIDE ELEVATION
SCALE: 1/8" = 1'-0"

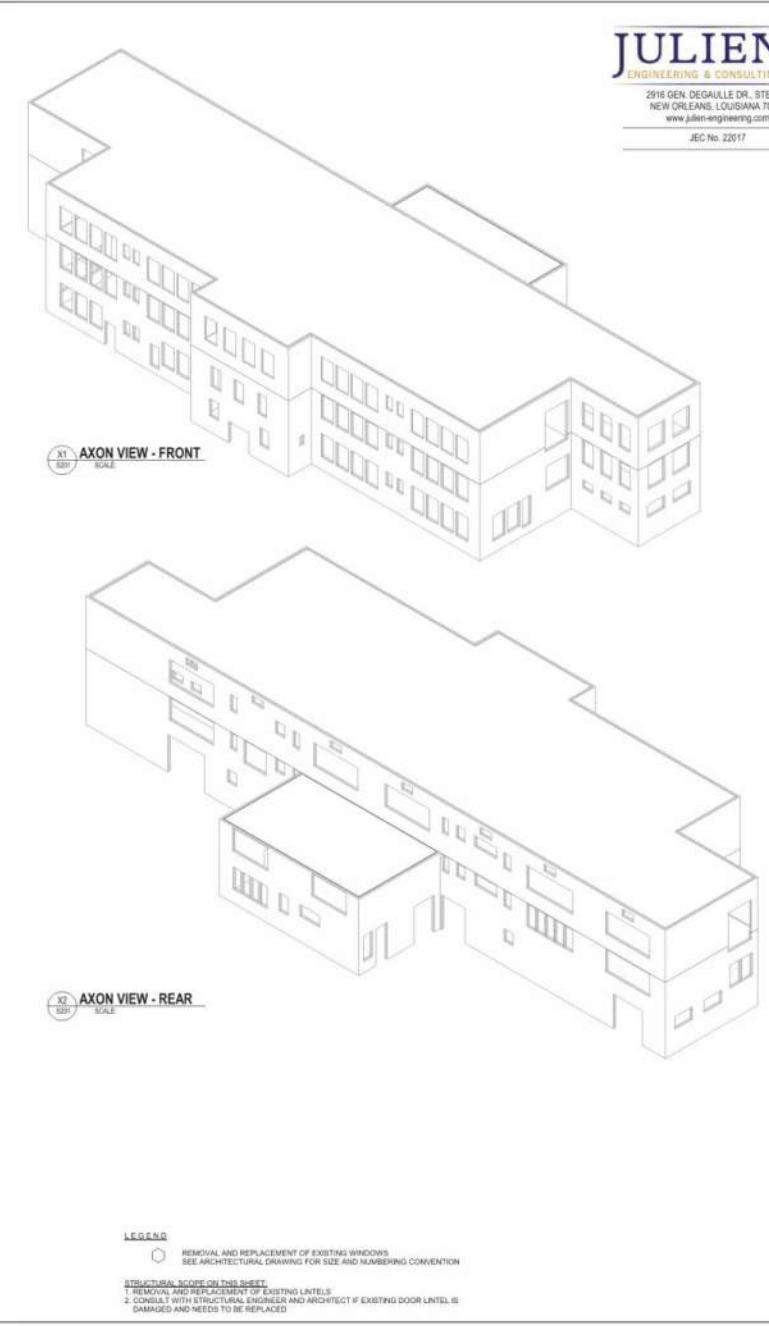
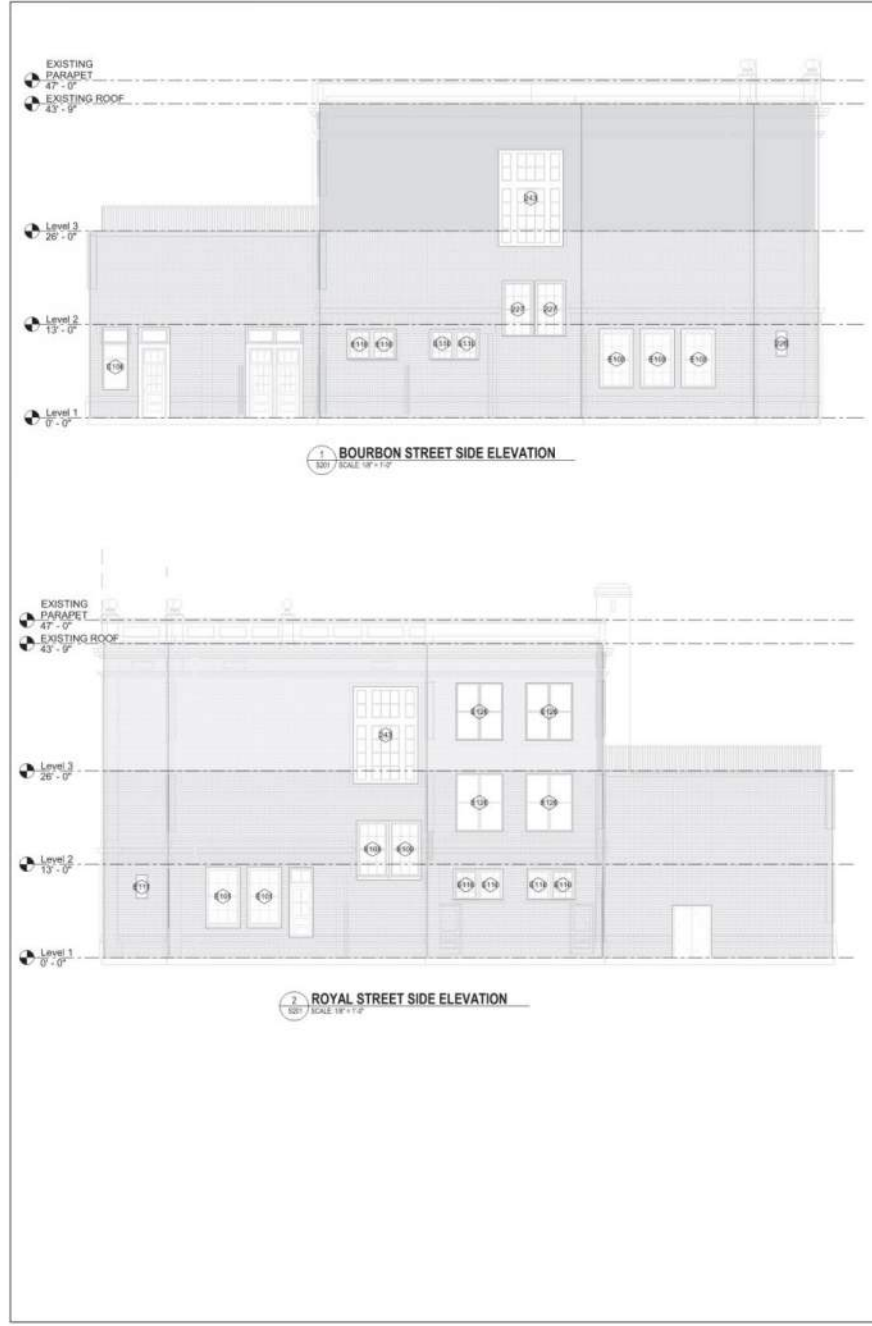


2 URSULINES AVE SIDE ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND

○ REMOVAL AND REPLACEMENT OF EXISTING WINDOWS
SEE ARCHITECTURAL DRAWING FOR SIZE AND NUMBERING CONVENTION

STRUCTURAL SCOPE ON THIS SHEET:
1. REMOVAL AND REPLACEMENT OF EXISTING LINTELS
2. CONSULT WITH STRUCTURAL ENGINEER AND ARCHITECT IF EXISTING DOOR LINTEL IS DAMAGED AND NEEDS TO BE REPLACED



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I hereby certify that I am providing project construction administration services on this project.



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Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

-REVISIONS-

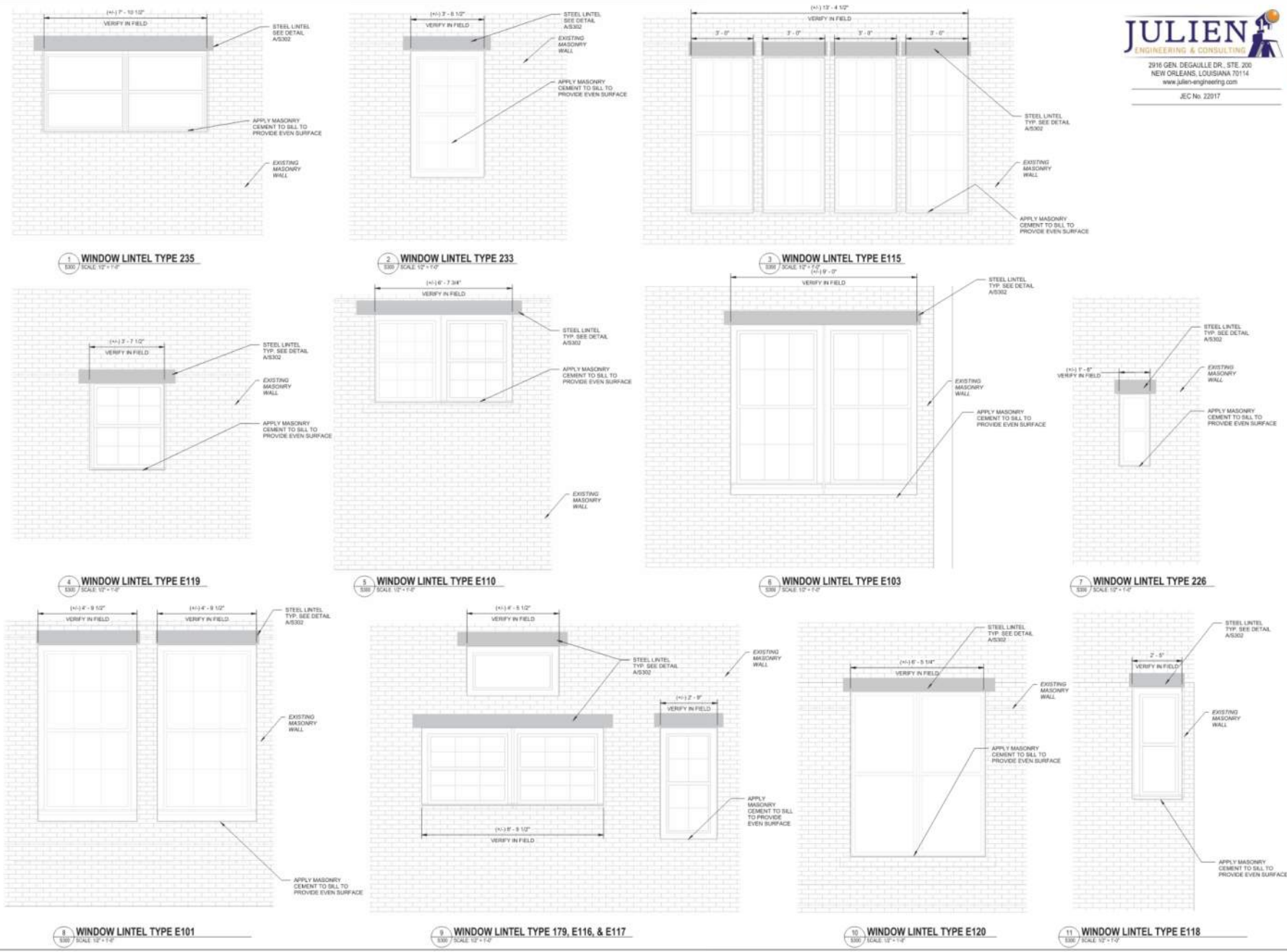
No.	Date	Scope

DRAWING
LINTEL FRAMING
ELEVATION

DRAWING BY KEJ/LSR
SCALE 1/8" = 1'-0"
JOB No. 500024
DATE OCT 14, 2022
Sheet No.

S201





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I warrant that I am a duly licensed professional engineer in the State of Louisiana and that I am duly qualified to prepare these drawings and specifications.



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Building Repairs from Water Infiltration at
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NEW ORLEANS, LOUISIANA

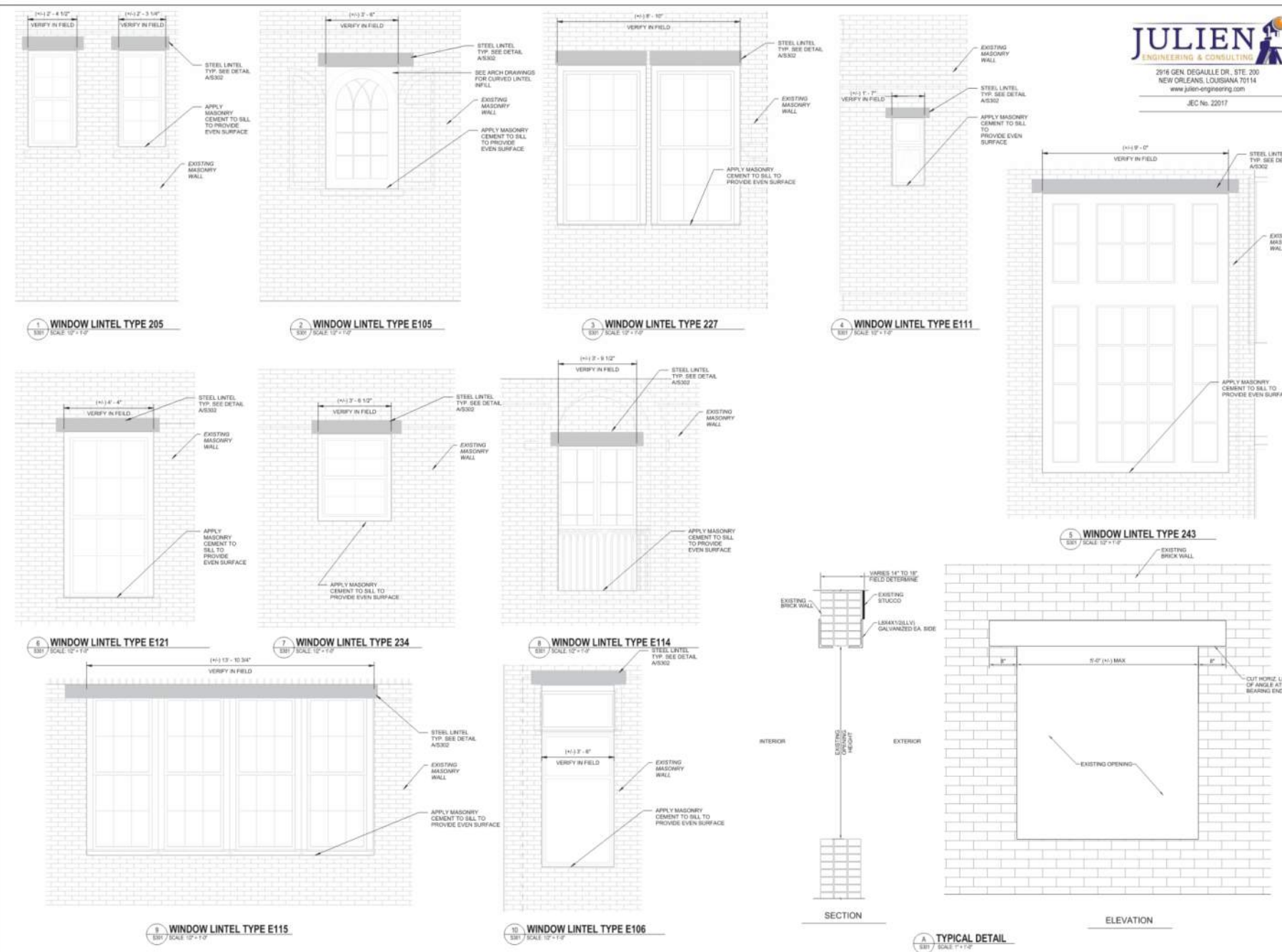
REVISIONS		
No.	Date	Scope

DRAWING
WINDOW LINTEL SECTIONS

DRAWING BY: KEJ/GR
SCALE: 1/2" = 1'-0"
JOB No.: 520024
DATE: OCT 14, 2022
Sheet No.:

S300





**Building Repairs from Water Infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA**

-REVISIONS-		
No.	Date	Scope

DRAWING
WINDOW LINTEL SECTIONS
& DETAILS

DRAWING BY: KEJ:SR
SCALE: As indicated
JOB No: S20024
DATE: OCT 14, 2022
Sheet No: S301



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I warrant that the drawings and specifications are a true and correct representation of the work to be performed.

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NOTARY PUBLIC
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License No. 24644
PROFESSIONAL ENGINEER
EXPIRES 7/24

Building Repairs from Water Infiltration at
Homer Plessy Elementary School
NEW ORLEANS, LOUISIANA

REVISIONS

No.	Date	Scope

DRAWING
FLOOR DECKING REPAIRS
AND DETAILS

DRAWING BY KEJ/SR
SCALE As Indicated
JOB No. 520024
DATE OCT 14, 2022
Sheet No.

S400



1 3RD FLOOR - ROOM 327 - FLOOR DECKING REPAIR
SCALE 1/4" = 1'-0"



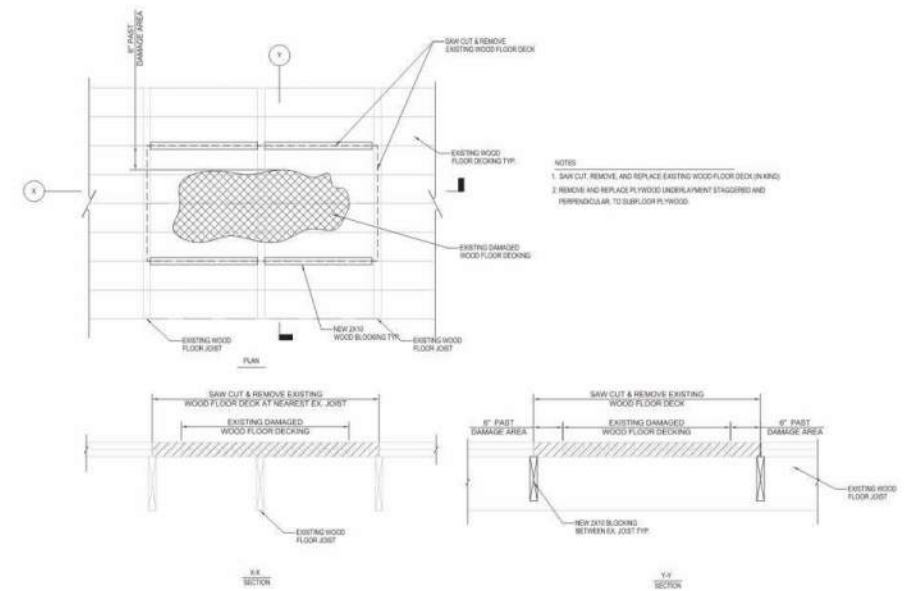
4 3RD FLOOR - ROOM 331 - FLOOR DECKING REPAIR
SCALE 1/4" = 1'-0"



2 3RD FLOOR - ROOM 303 - FLOOR DECKING REPAIR
SCALE 1/4" = 1'-0"



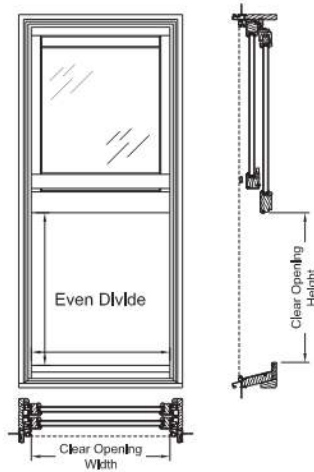
3 3RD FLOOR - ROOM 321 - FLOOR DECKING REPAIR
SCALE 1/4" = 1'-0"



A FLOOR DECKING DETAIL
SCALE 1" = 1'-0"

NOTES:
1. FLOOR DECK REPLACEMENTS SHOWN HEREON ARE BASED ON GENERAL FIELD OBSERVATIONS IN ACCESSIBLE AREAS. CONCEALED SUPPORTING JOISTS COULD NOT BE OBSERVED AND MAY REQUIRE REPAIRS.

CLEAR OPENING LAYOUT



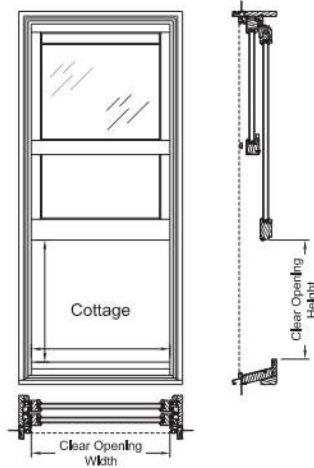
Clear Opening Width = Frame Width - 3 9/32"
Clear Opening Height = (Frame Height / 2) - 4 13/16"

Note:
Values given are for WZ3 Non-Impact
PG35 units. If other ratings are selected,
subtract the required value as below:

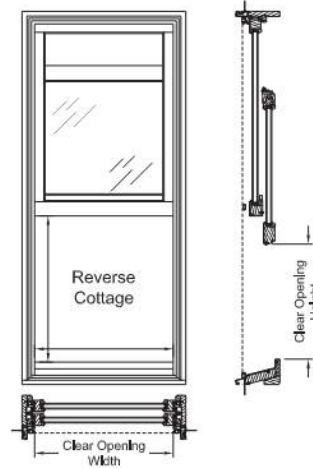
WZ3 Non-Impact PG50
WZ4 Non-Impact
WZ3 Impact
Clear Opening Height - 3/8"

WZ4 Impact
Clear Opening Height - 25/32"

*Bottom Vent dimension as shown in
Quick Quote ordering system.

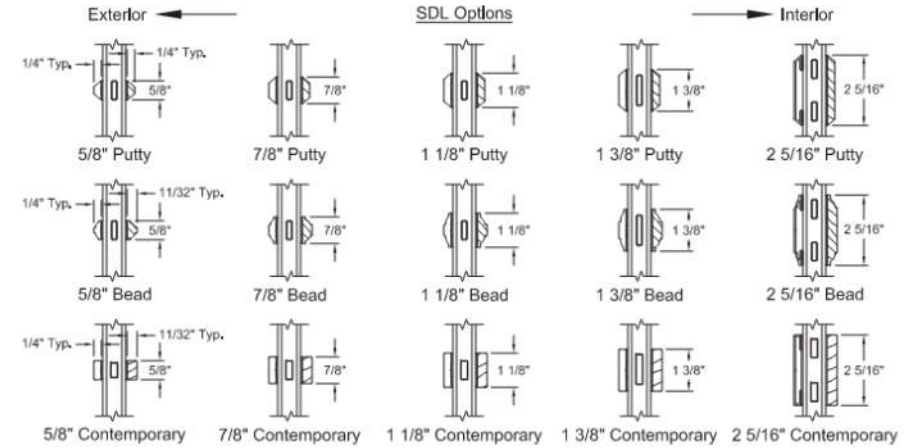


Clear Opening Width = Frame Width - 3 9/32"
Clear Opening Height = Frame Height - Bottom Vent* - 5 15/32"

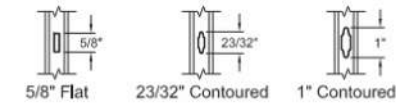


Clear Opening Width = Frame Width - 3 9/32"
Clear Opening Height = Bottom Vent* - 4 27/32"

GRID OPTIONS

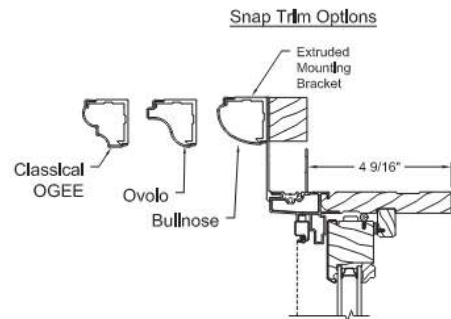
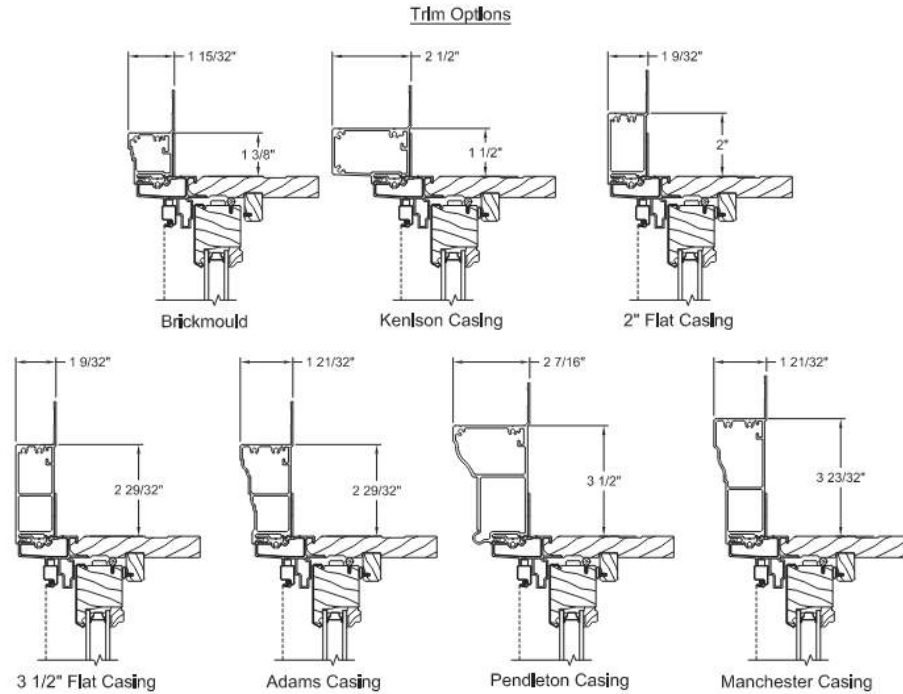


GBG Options

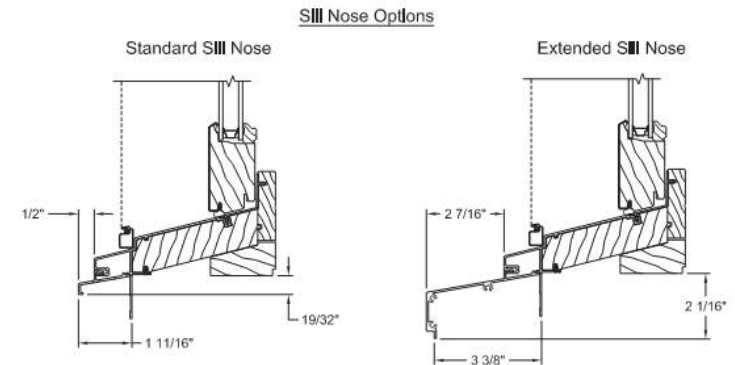
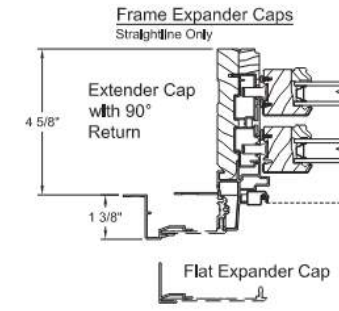
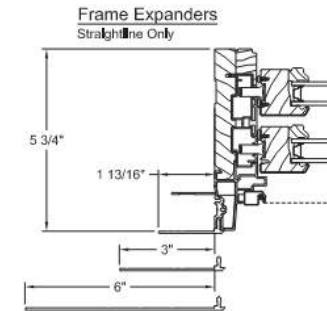
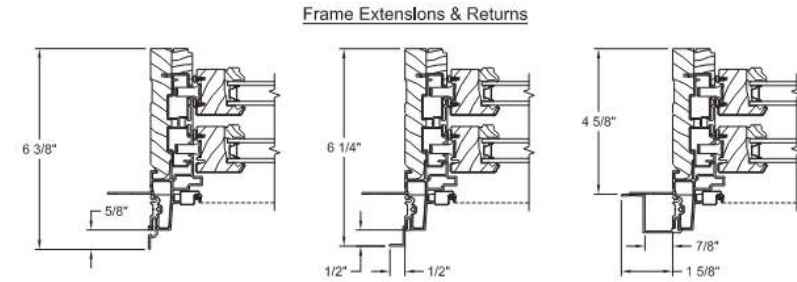


Various combinations of the SDL bars shown are available

TRIM OPTIONS

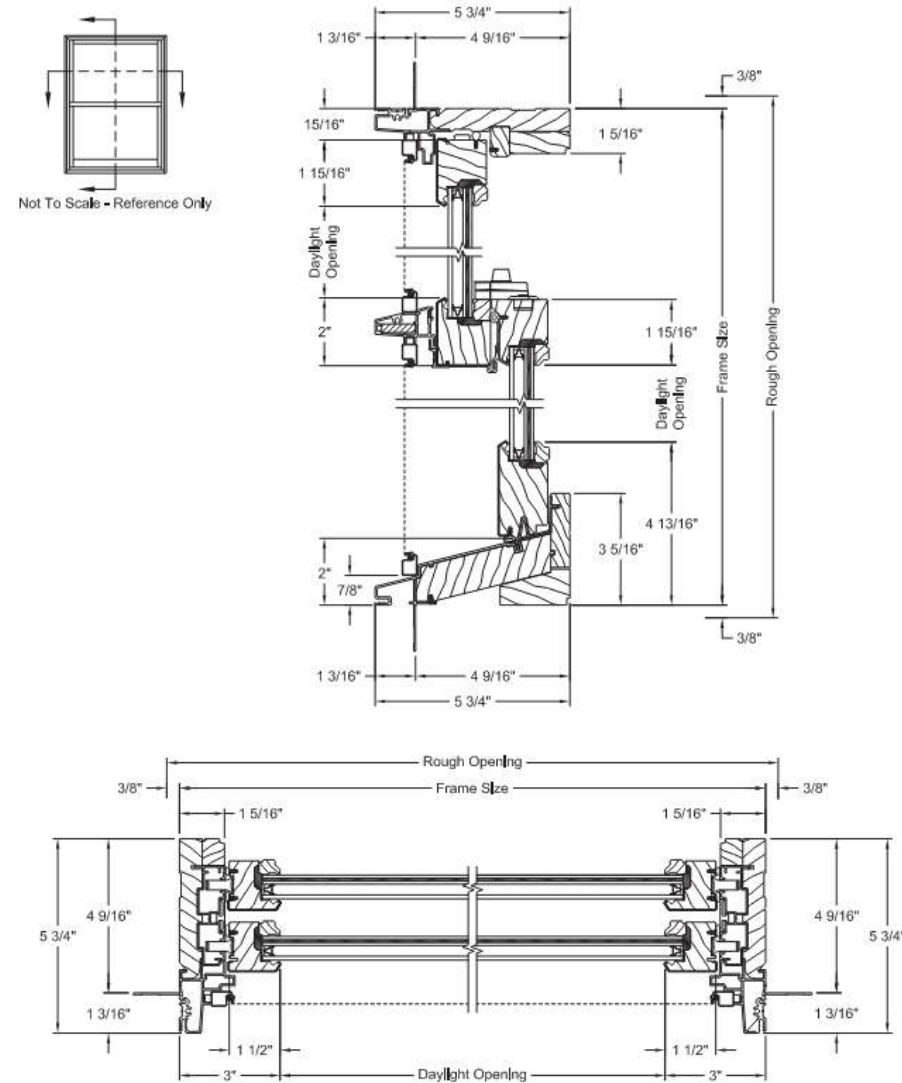


FRAME EXTENSION, EXPANDER & SILL NOSE OPTIONS



Note: Sill Nose Can Be Used With All Available Exterior Trim.

OPERATOR IMPACT SECTIONS



721 St Philip

VCC Architecture Committee



Windows Doors & More

Jimmy McDaniel
1-504-250-3727

QUOTE BY: Jimmy McDaniel

SOLD TO: Juan Lara

Phone: 504-566-0888

QUOTE #: JW2206012ZA

SHIP TO: Juan Lara
721 St Philip Street
New Orleans, LA 70116

Phone: 504-566-0888

PROJECT NAME: 721 St Philip Street

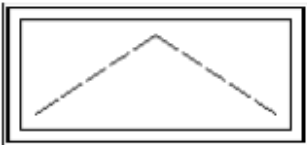
REFERENCE: Level 1

PO#:

Ship Via: Ground/Next Truck

U-Factor Weighted Average: 0.32

SHGC Weighted Average: 0.17

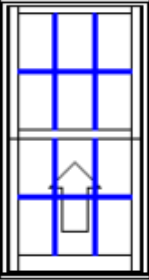
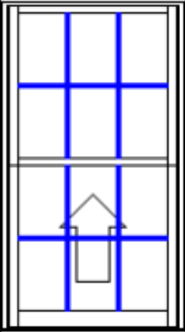
LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line-1	Level 1 custom				
	RO Size: 40 3/4 X 19 3/4	Frame Size : 40 X 19 (Outside Casing Size: 42 3/4 X 21) Custom Clad Awning, Auralast Pine, Brilliant White Exterior-AAMA 2605 Finish, Extruded Clad Sash/Panel, Natural Interior, Aluminum Brickmould, Standard Sill Nosing, Remove Fin, Brilliant White Trim, 5 1/2 Jamb, 4/4 Thick, Venting, Nesting Crank Handle, White Hardware, Stainless Steel Operator/Hinge, US National-WDMA/ASTM, Wind Zone 3 Rated, PG 50, (+50/-60), Insulated SunResist Impact w/Annealed Out, Neat, SGP Interlayer, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, No Screen, Traditional Screen Stop Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, IGThick=1.037(13/32 / 1/8), U-Factor: 0.31, SHGC: 0.20, VLT: 0.44, Energy Rating: 13.00, CPD: JEL-N-667-11523-00001 PEV 2022.2.0.3875/POV 6.740 (06/23/22) PW			
					
	Viewed from Exterior. Scale: 1/2" = 1'				
			\$1,362.59	1	\$1,362.59

721 St Philip

VCC Architecture Committee

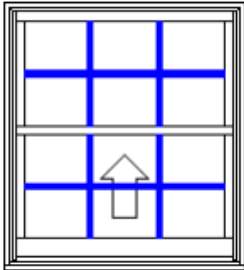
June 13, 2023



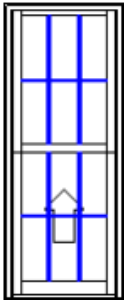
LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line-2	Level 1				
	RO Size: 42 3/4 X 78 3/4	Frame Size : 42 X 78 (Outside Casing Size: 44 3/4 X 80) Custom Epic Clad Double Hung, Auralast Pine, Brilliant White Exterior-AAMA 2605 Finish, Natural Interior, Aluminum Brickmould, Standard Sill Nosing, Remove Fin, Brilliant White Trim, 5 1/2 Jamb, Single Hung - Fixed Top Sash, Beige Jambliner, White Hardware, Cam Lock(s), No Finger Lifts, US National-WDMA/ASTM, Wind Zone 3 Rated, PG 55, (+55/-70), Insulated SunResist Impact w/Annealed Out, Neat, PVB Interlayer, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Brilliant White SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, No Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, IGThick=0.706(9/32 / 1/8), U-Factor: 0.34, SHGC: 0.16, VLT: 0.34, CPD: JEL-N-789-01758-00005 <small>PEV 2022.2.0.3875/PDV 6.740 (06/23/22) PW</small>			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
			\$3,890.34	1	\$3,890.34
Line-3	Level 1 laminated				
	RO Size: 52 3/4 X 94 1/4	Frame Size : 52 X 93 1/2 (Outside Casing Size: 54 3/4 X 95 1/2) Custom Epic Clad Double Hung, Auralast Pine, Brilliant White Exterior-AAMA 2605 Finish, Natural Interior, Aluminum Brickmould, Standard Sill Nosing, Remove Fin, Brilliant White Trim, 5 1/2 Jamb, Single Hung - Fixed Top Sash, Beige Jambliner, White Hardware, Cam Lock(s), No Finger Lifts, US National-WDMA/ASTM, PG 50, Insulated SunResist Annealed Glass, Neat, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Brilliant White SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, No Screen, Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD-WEN warranty for additional information, IGThick=0.756(1/8 / 1/8), U-Factor: 0.30, SHGC: 0.16, VLT: 0.35, CPD: JEL-N-789-01355-00001 Drawing Number: 1 <small>PEV 2022.2.0.3875/PDV 6.740 (06/23/22) PW</small>			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
			\$3,409.58	16	\$54,553.28
Line-4	Line 3				



LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line-5	Level 1 RO Size: 36 3/4 X 40 3/4	Frame Size : 36 X 40 (Outside Casing Size: 38 3/4 X 42) Custom Clad Double Hung, Auralast Pine, Brilliant White Exterior-AAMA 2605 Finish, Natural Interior, Aluminum Brickmould, Standard Sill Nosing, Remove Fin, Brilliant White Trim, 4 9/16 Jamb, Fixed Top Sash, Wind Clips & Covers Beige Jambliner, White Hardware, Cam Lock(s), No Finger Lifts, US National-WDMA/ASTM, Wind Zone 3 Rated, PG 50, (+50/-65) Insulated SunResist Impact w/Annealed Out, Neat, PVB Interlayer, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Brilliant White SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, No Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, IGThick=0.706(9/32 / 1/8), WZ3 Impact Double Hung, fixed upper sash, uses interior wind clips & covers, increases the sill stop height by 3/8", no sash lifts.; Clear Opening:32.7w, 14.5h, 3.3 sf U-Factor: 0.33, SHGC: 0.19, VLT: 0.41, Energy Rating: 9.00, CPD: JEL-N-675-12845-00002 PEV 2022.2.0-3875/PDV 6.740 (06/23/22) PW	\$1,866.04	10	\$18,660.40
Line-6	Level 1 RO Size: 36 3/4 X 90 3/4	Frame Size : 36 X 90 (Outside Casing Size: 38 3/4 X 92) Custom Epic Clad Double Hung, Auralast Pine, Brilliant White Exterior-AAMA 2605 Finish, Natural Interior, Aluminum Brickmould, Standard Sill Nosing, Remove Fin, Brilliant White Trim, 5 1/2 Jamb, Single Hung - Fixed Top Sash, Beige Jambliner, White Hardware, Cam Lock(s), No Finger Lifts, US National-WDMA/ASTM, Wind Zone 3 Rated, PG 55, (+55/-70), Insulated SunResist Impact w/Annealed Out, Neat, PVB Interlayer, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Brilliant White SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, No Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, IGThick=0.706(9/32 / 1/8), U-Factor: 0.34, SHGC: 0.16, VLT: 0.34, CPD: JEL-N-789-01758-00005 PEV 2022.2.0-3875/PDV 6.740 (06/23/22) PW	\$4,666.81	4	\$18,667.24



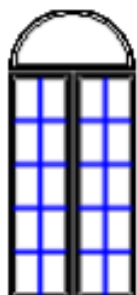
Viewed from Exterior. Scale: 1/2" = 1'



Viewed from Exterior. Scale: 1/4" = 1'

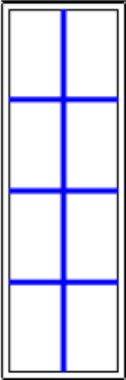
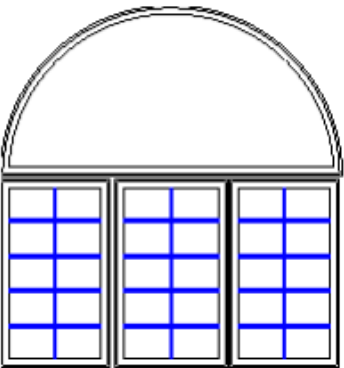


LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line-15	Level 2 custom	Main Line Item			
	RO Size: 52 3/4 X 120 3/4	Frame Size : 52 X 120			
		(Outside Casing Size: 52 X 120)			
		Custom Clad Mull Auralast Pine, Stack Mull, Casement/Awning			
		Product,			
		Brilliant White Exterior-AAMA 2605 Finish,			
		Natural Interior,			
		Nail Fin (Standard), No Sill Nosing, Standard DripCap, Full Length Mull			
		Cover,			
		2 Wide			
		2 High,			
		Factory Mull,			
		4 9/16 Jamb, 4/4 Thick,			
		US National-WDMA/ASTM, Wind Zone 3 Rated, DP 50,			
		Insulated SunResist Impact w/Annealed Out, SGP Interlayer,			
		Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,			
		Traditional Screen Stop			
		This mull configuration complies with AAMA 450 standards and is			
		professional engineer-approved.			
		PEV 2022.2.0.3875/PDV 6.740 (06/23/22) PW			
			\$8,131.24	3	\$24,393.72



Viewed from Exterior. Scale: 1/8" = 1'

Line 15-1 (A1)

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line-17	Level 2 custom RO Size: 36 3/4 X 108 3/4	Frame Size : 36 X 108 (Outside Casing Size: 38 3/4 X 110) Custom Clad Geometric, Auralast Pine, Direct Set Rectangle, Brilliant White Exterior-AAMA 2605 Finish, Natural Interior, Aluminum Brickmould, Standard Sill Nosing, Remove Fin, Brilliant White Trim, 4 9/16 Jamb, 4/4 Thick, Jamb alignment to match Casement/Awning , Florida - FBC, High Velocity Hurricane Zone DP 80, (+80/-80), FL# 15442.4 Insulated SunResist Impact w/Tempered Out, Neat, SGP Interlayer, Protective Film, Black Spacer, Argon Filled, Brilliant White SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial 2 Wide 4 High Traditional Screen Stop Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, IGThick=1.176(17/32 / 3/16), Requires Heat Strengthened Glass, U-Factor: 0.27, SHGC: 0.21, VLT: 0.47, Energy Rating: 18.00, CPD: JEL-N-678-11749-00001 PEV 2022.2.0.3875/PDV 6.740 (06/23/22) PW			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
			\$5,100.97	1	\$5,100.97
Line-18	RO Size: 96 3/4 X 102 3/4	Main Line Item Frame Size : 96 X 102 Custom Clad Mull Auralast Pine, Transom Mull, Casement/Awning Product, Brilliant White Exterior-AAMA 2605 Finish, Natural Interior, Nail Fin (Standard), No Sill Nosing, Standard DripCap, Full Length Mull Cover, 3 Wide 2 High, Factory Structural Mull, 4 9/16 Jamb, 4/4 Thick, US National-WDMA/ASTM, Wind Zone 3 Rated, DP 50, Insulated SunResist Impact w/Annealed Out, SGP Interlayer, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Traditional Screen Stop This mull configuration complies with AAMA 450 standards and is professional engineer-approved. Horizontal/Vertical Structural Mull 2 Vertical Spreads, 1" Wide, 1 Horizontal Spread, 1" High, PEV 2022.2.0.3875/PDV 6.740 (06/23/22) PW			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
			\$12,698.42	1	\$12,698.42





721 St Philip – Existing Railing at Flat Roof

VCC Architecture Committee

June 13, 2023





721 St Philip – Existing Railing at Flat Roof

VCC Architecture Committee

June 13, 2023



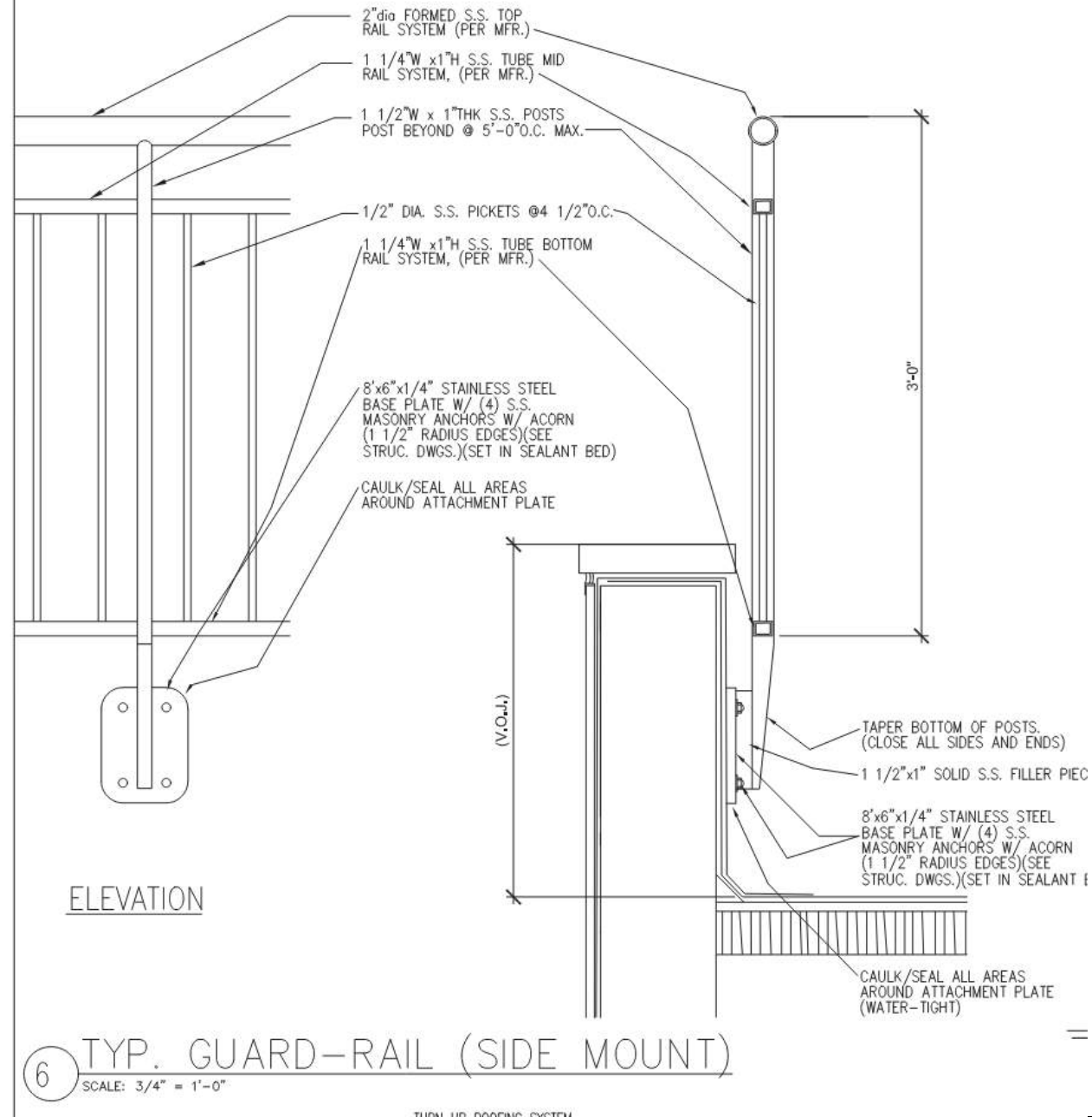


721 St Philip – Existing Railing at Flat Roof

VCC Architecture Committee

June 13, 2023





721 St Philip

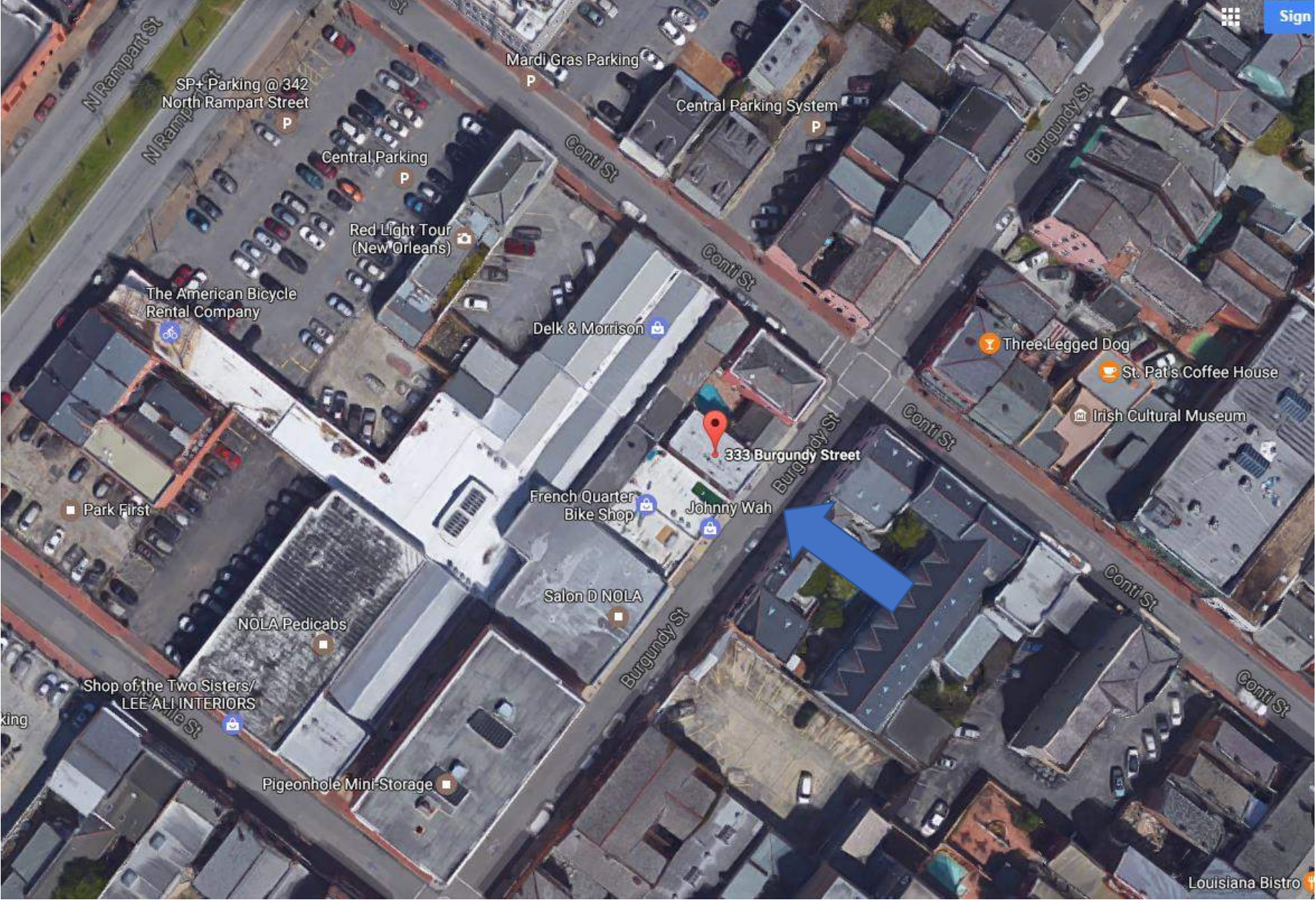
VCC Architecture Committee

June 13, 2023





333 Burgundy



333 Burgundy





333 Burgundy - 1962

VCC Architecture Committee

June 13, 2023





333 Burgundy - 2005
VCC Architecture Committee

June 13, 2023





333 Burgundy - 2005



333 Burgundy - 2007

VCC Architecture Committee

June 13, 2023





333 Burgundy - 2016
VCC Architecture Committee

June 13, 2023





333 Burgundy - 2017

VCC Architecture Committee

June 13, 2023





333 Burgundy - 2017

VCC Architecture Committee

June 13, 2023





333 Burgundy - 2017

VCC Architecture Committee

June 13, 2023





333 Burgundy

VCC Architecture Committee

June 13, 2023



333 Burgundy

VCC Architecture Committee



June 13, 2023



333 Burgun
VCC Architect





333 Burgundy

VCC Architecture Committee

05 22 2023

June 13, 2023





333 Burgun
VCC Architect

05 22 2023





ADDRESS
 LouAnn Talavera
 French Quarter Wedding Chapel
 333 Burgundy St
 New Orleans, LA 70112

SHIP TO
 LouAnn Talavera
 French Quarter Wedding Chapel

ESTIMATE 20-1979
 DATE 11/01/2022

PHONE NUMBER:
 5049152585

DATE	ACTIVITY	DESCRIPTION	QTY	RATE	AMOUNT
	New Awning	Frame type: 1"x1" Awning style: Californian Width: 19'-6" Drop: 2' Projection: 4' Rafters: Laced: N Number of rafters: N/A Truss: 6" Valance: 9" Style: straight Braid : TBD Fabric: Sunbrella Fabric #: 4608 Fabric color: Black Location : Front	1	3,083.20	3,083.20
	Deposit	50% deposit is due at time of contract signing, check, cash or credit card. Non-refundable deposit. This estimate includes labor materials and equipment necessary to install or as indicated above. Any changes or deviations from above specifications will involve additional cost. Estimate based upon standard Sunbrella fabric. The balance is due upon completion of work. All permits are the responsibility of the owner. All obstructions must be removed prior to work. All carpentry and electrical work excluded, not within our scope of work. Our workers are fully covered by Workman's Comp Insurance. Certificate of insurance is available upon request.	1	0.00	0.00

333 Burgundy

VCC Architecture Committee

June 13, 2023



New Awning

Frame type: 1"x1"

1

Awning style: Californian

Width: 19'-6"

Drop: 2'

Projection: 4'

Rafters: Laced: N

Number of rafters: N/A

Truss: 6"

Valance: 9" Style: straight

Braid : TBD

Fabric: Sunbrella

Fabric #: 4608

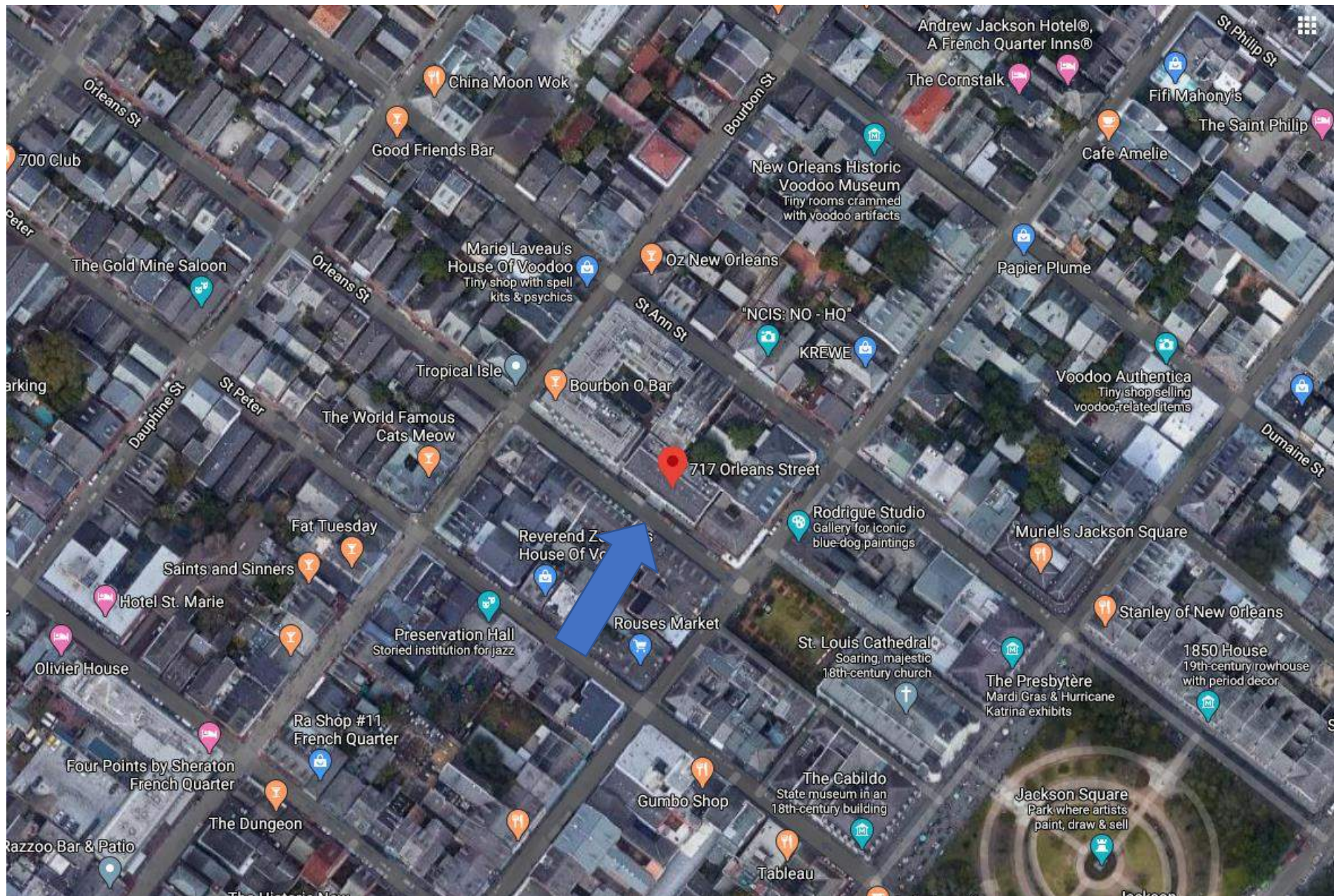
Fabric color: Black

Location : Front





717 Orleans



717 Orleans

VCC Architecture Committee

June 13, 2023





717 Orleans – ca. 1900

VCC Architecture Committee

June 13, 2023





717 Orleans – ca. 1940s

VCC Architecture Committee

June 13, 2023





717 Orleans – 1964

VCC Architecture Committee

June 13, 2023





717 Orleans – 1964

VCC Architecture Committee

June 13, 2023





717 Orleans

VCC Architecture Committee

June 13, 2023





717 Orleans

VCC Architecture Committee

June 13, 2023



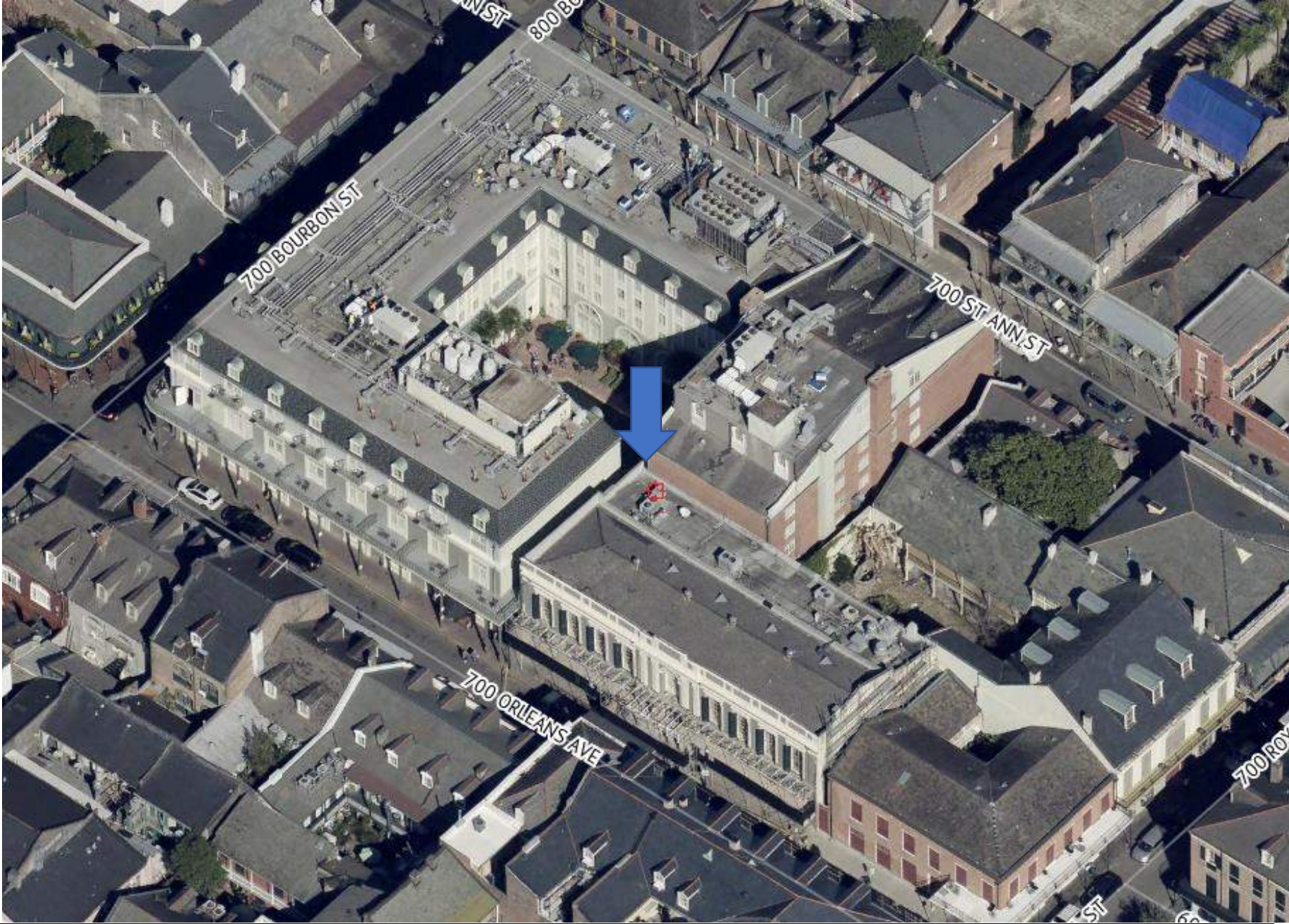


717 Orleans

VCC Architecture Committee

June 13, 2023





717 Orleans

VCC Architecture Committee

June 13, 2023





717 Orleans

VCC Architecture Committee

June 13, 2023



BOURBON ORLEANS HOTEL

MECH PLATFORM

717 ORLEANS AVE.

NEW ORLEANS, LA 70116

OWNER

DRH Bourbon Owner, LLC
2 Bethesda Metro Center, Suite 1400
Bethesda, MD 20814
(202) 930-9956
Contact: Debbie Dupar
Email: debbie.dupar@drh.com

ARCHITECT

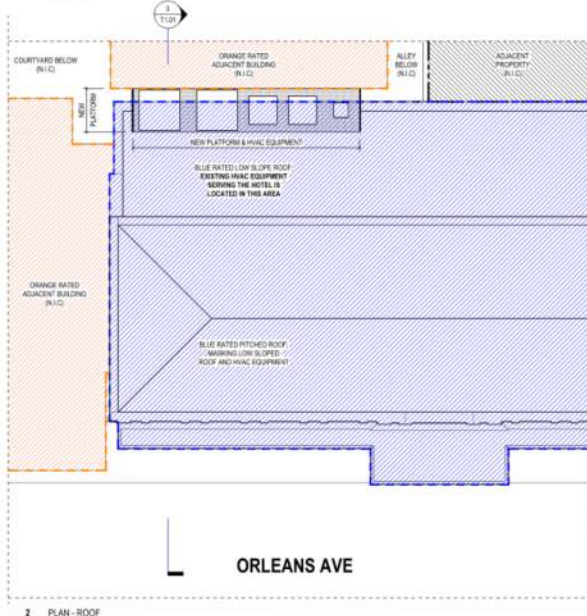
TrapolinPeer | Architects, APC
850 Tchoupitoulas Street
New Orleans, LA 70130
(504) 523-2772
Contact: Blake Kidder
Email: bkidder@trapolinpeer.com

STRUCTURAL ENGINEER

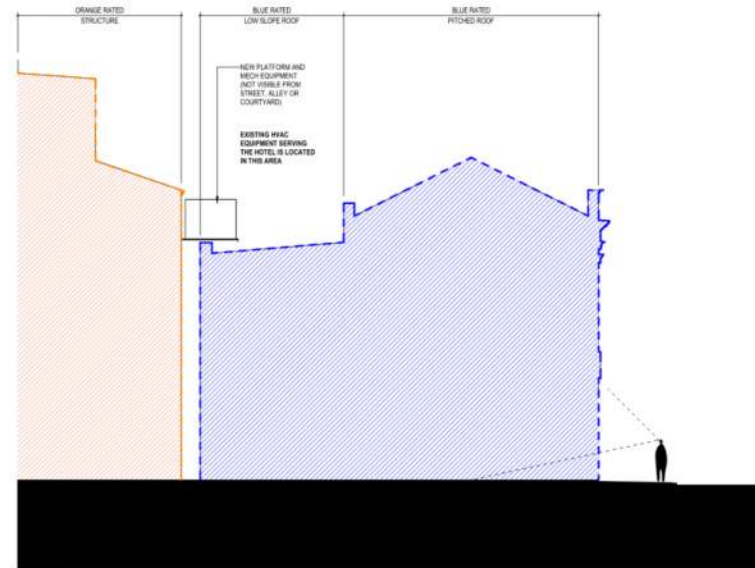
John Bose
2113 Octavia St
New Orleans, LA 70115
(504) 866-9941
Contact: John Bose
Email: office@johnbose.com



1 AERIAL MAP
SCALE: 1/8" = 1'-0"



2 PLAN - ROOF
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION
SCALE: 1/8" = 1'-0"

INDEX OF DRAWINGS		
SHEET NO.	SHEET NAME	ISSUE DATE
T1.01	COVER SHEET AND ROOF PLAN	05/15/2023
ARCHITECTURAL	ENLARGED PLAN AND EXTERIOR DETAILS	05/15/2023
STRUCTURAL	NEW MECH-EQUIPMENT PLATFORM	05/15/2023

TRAPOLINPEER
ARCHITECTS
BOURBON ORLEANS HOTEL
MECH PLATFORM
717 ORLEANS AVE.
NEW ORLEANS, LA 70116

OWNER
DRH Bourbon Owner, LLC
2 Bethesda Metro Center, Suite 1400
Bethesda, MD 20814
(202) 930-9956

ARCHITECT
TRAPOLIN PEER
850 TCHOUPILOULAS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

CONTRACTOR
GBBS CONSTRUCTION
5738 Clavis Blvd
New Orleans, LA 70123
(area code) number

NOT FOR
CONSTRUCTION

REVISION # DESCRIPTION DATE

© TRAPOLINPEER ARCHITECTS, APC
PROJECT NUMBER
ON 22116-04
ISSUE DATE
05/15/2023

COVER SHEET
AND ROOF PLAN

T1.01

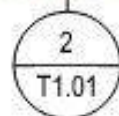
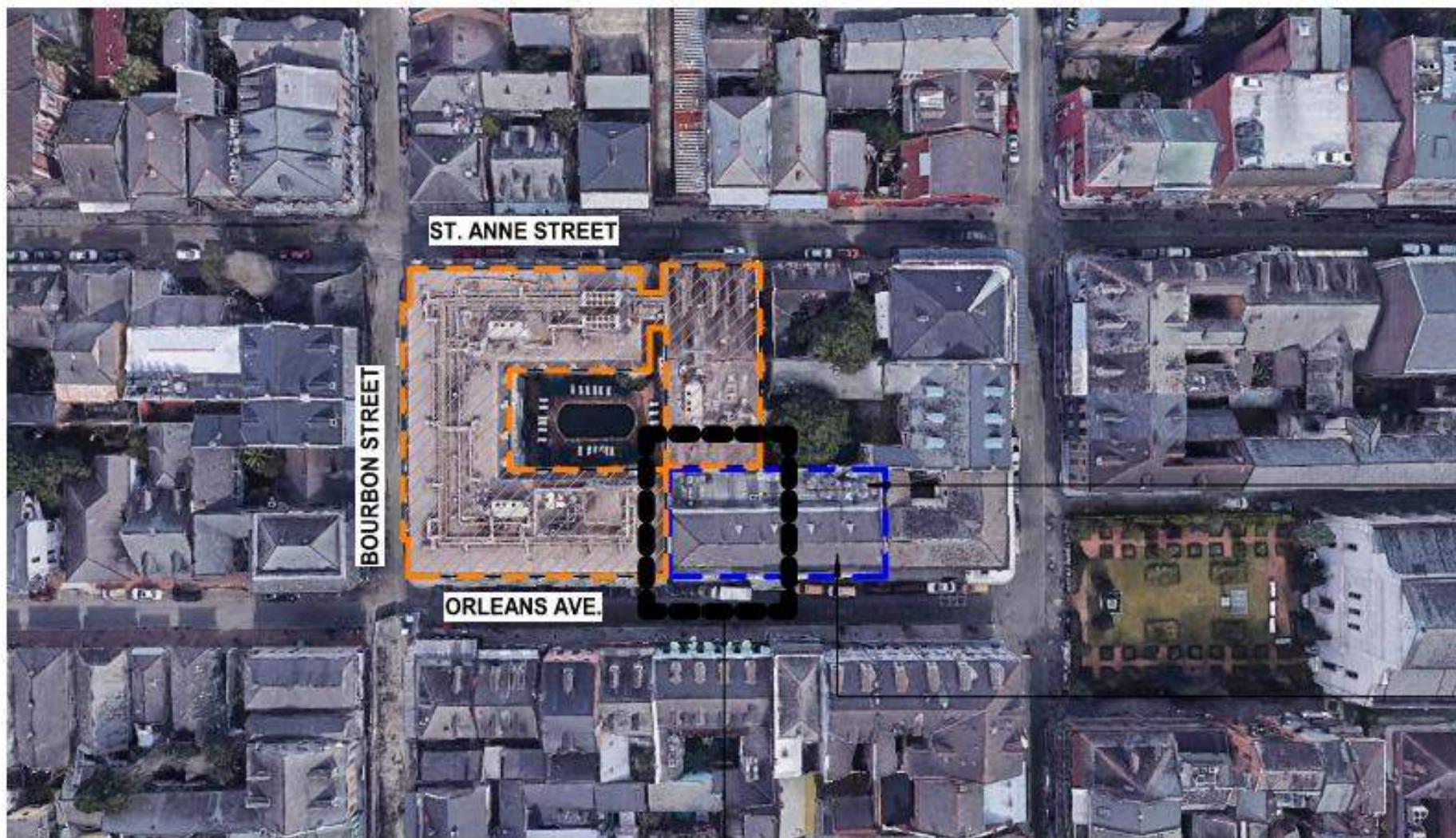


717 Orleans

VCC Architecture Committee

June 13, 2023

261²⁶¹



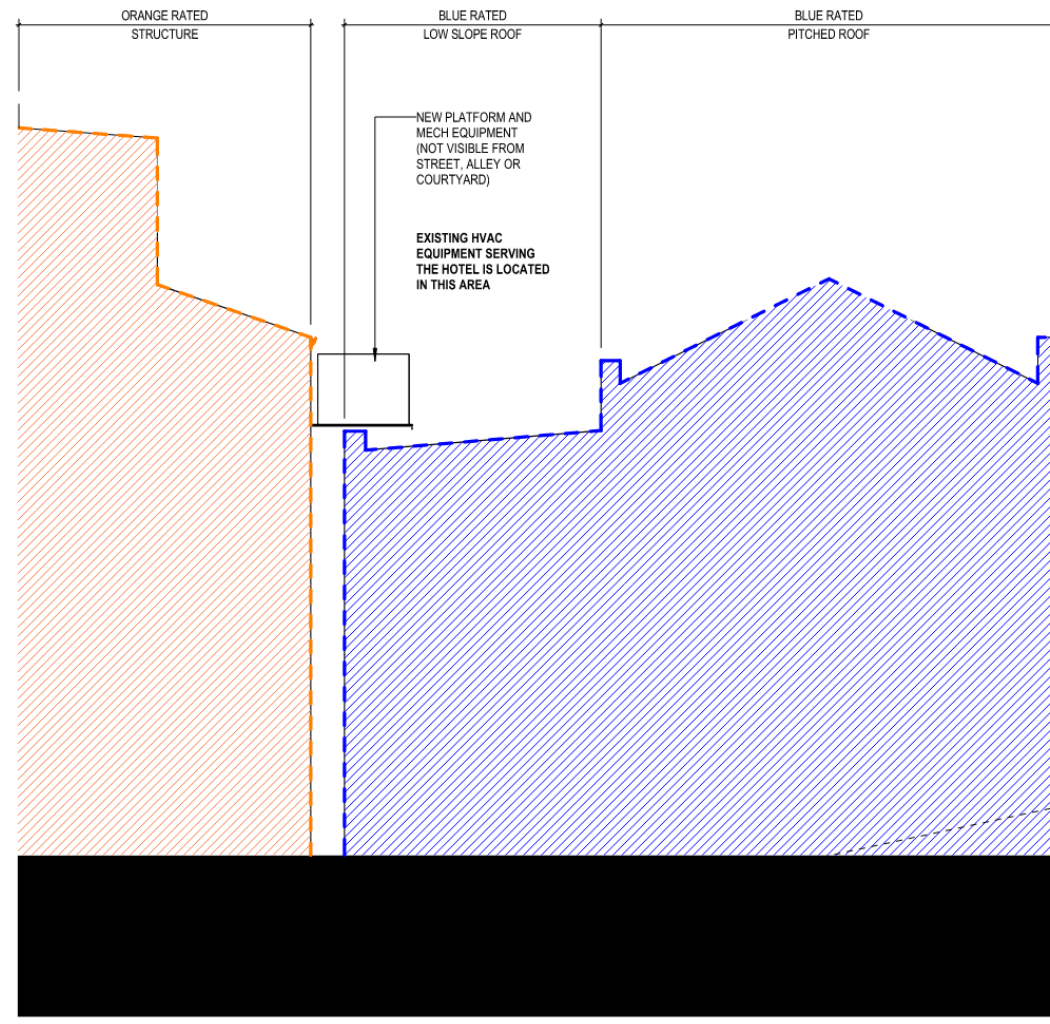
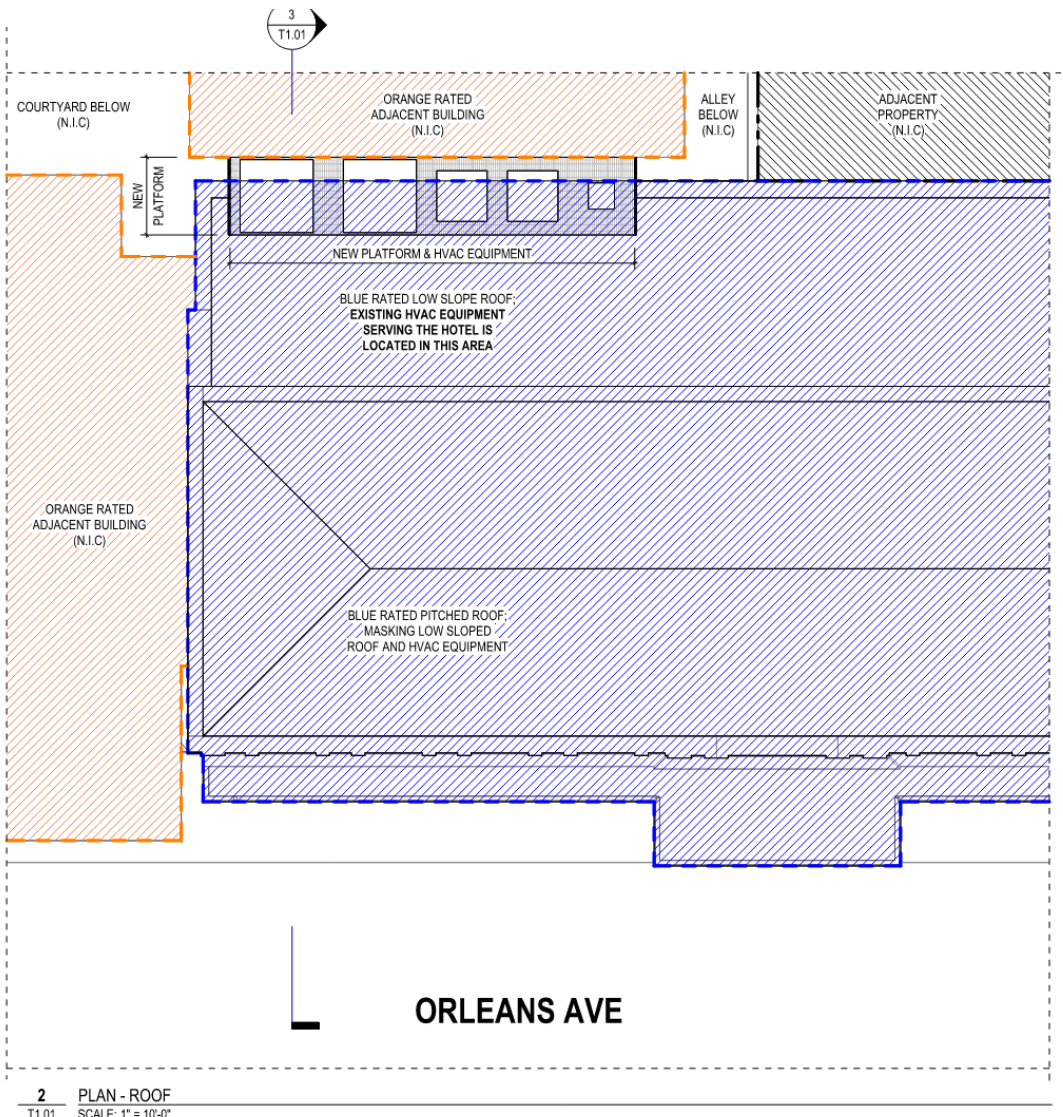
1 AERIAL MAP
SCALE: N.T.S.

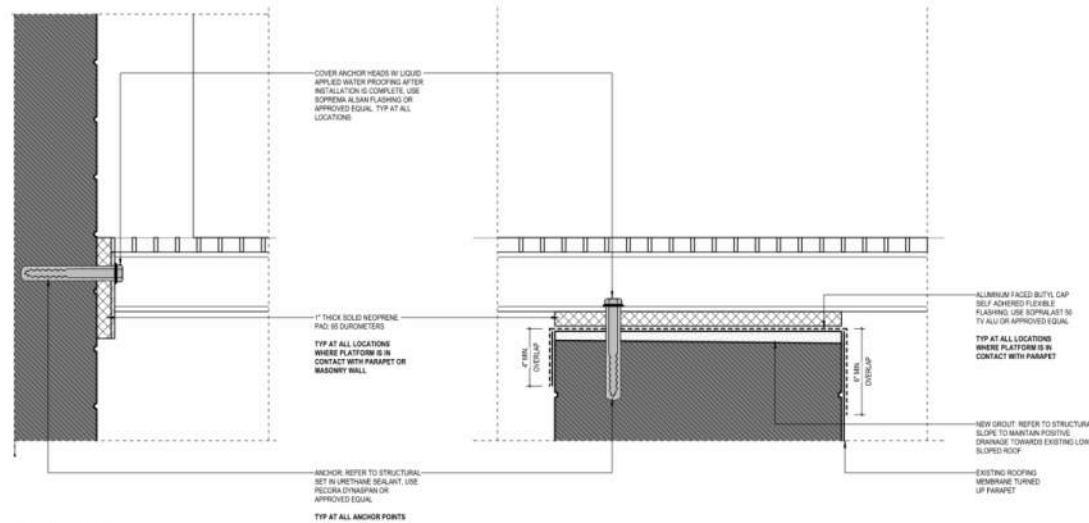
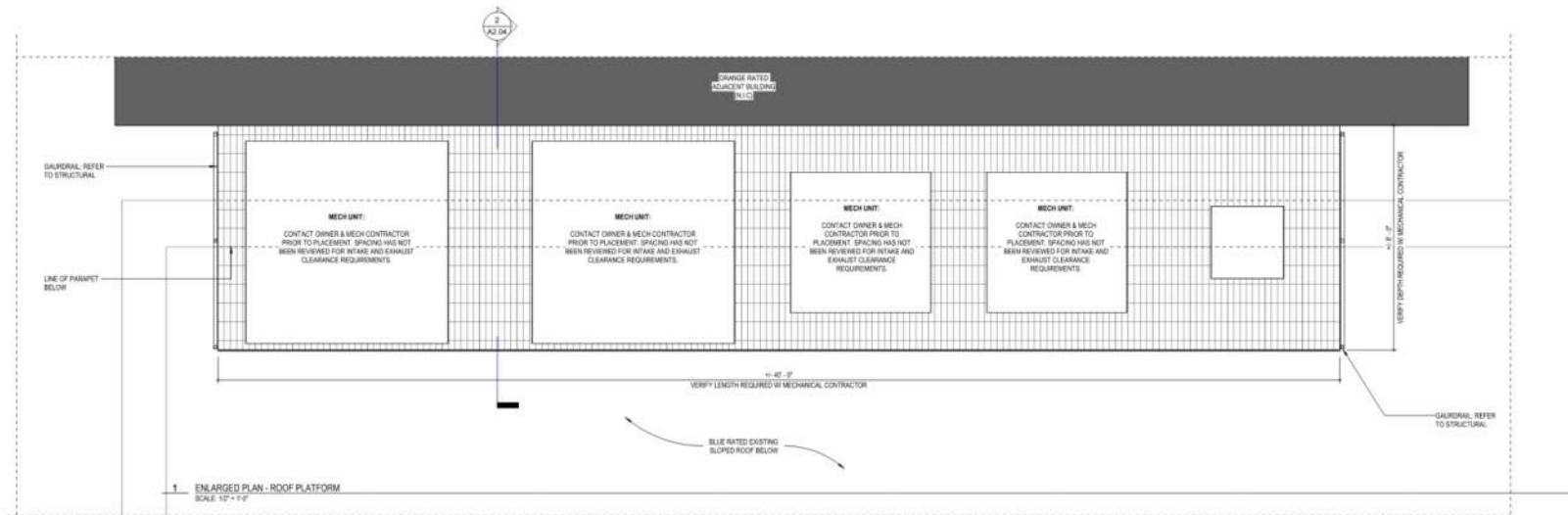
717 Orleans

VCC Architecture Committee

June 13, 2023







GENERAL NOTES

1. ALL STEEL IS TO BE PROTECTED USING THE HOT DIPPED GALVANIZING PROCESS.
2. SEE THE ENLARGED PLANS FOR MORE INFORMATION. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO STARTING ANY WORK.
3. CONTACT OWNER PRIOR TO STARTING WORK.
4. OWNER AND MECHANICAL CONTRACTOR ARE RESPONSIBLE FOR VIBRATION AND SOUND ISOLATION CREATED BY THE HVAC EQUIPMENT. THE MECH PLATFORM ARE CONNECTED TO WALLS THAT SEPARATE ROOMS FROM THE EXTERIOR OF THE BUILDING. IT IS RECOMMENDED TO INSTALL VIBRATION ISOLATORS PRIOR TO INSTALLING EQUIPMENT TO PLATFORM.
5. THE ARCHITECT (AND THEIR CONSULTANTS) HAVE NOT REVIEWED ANY HVAC EQUIPMENT. PLATFORM DIMENSIONS WERE PROVIDED BY THE OWNER AND MECHANICAL CONTRACTOR.
6. THE ARCHITECT (AND THEIR CONSULTANTS) HAVE NOT REVIEWED ANY ELECTRICAL EQUIPMENT.

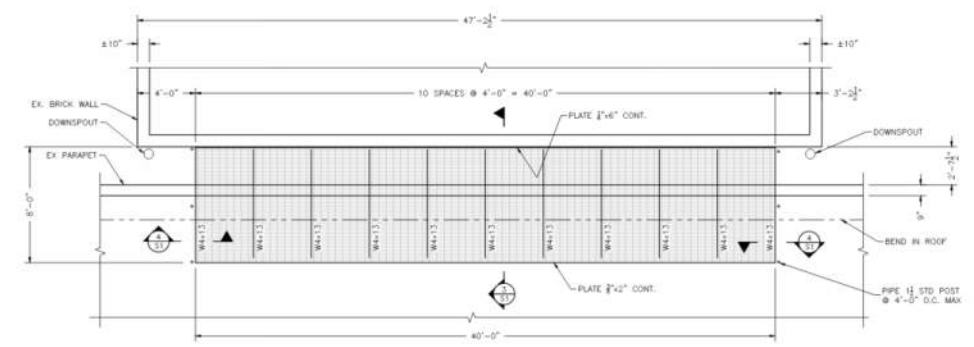


GENERAL STRUCTURAL NOTES

- I. GENERAL
- A. Contractor Responsibility - Construction documents represent the finished structure. Contractor is responsible for construction means, methods, sequences and safety precautions, including but not limited to shoring and temporary bracing.
- B. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- C. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.
- II. DESIGN BASIS
- A. Applicable Codes and Standards
International Building Code 2022
ASCE 7-2016
- B. Design Loads
- | | |
|---------------------|--------|
| Mechanical Platform | |
| Live Load | 50 psf |
| Dead Load | 10 psf |
- Wind Load
- The criteria is based on ASCE 7-2016 Minimum Design Loads for Buildings and Other Structures:
- | | |
|---------------------|---------|
| Basic Wind Velocity | 143 mph |
| Risk Category | II |
| Exposure | B |

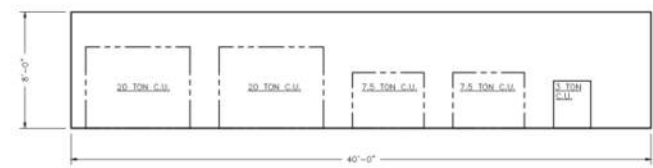
- III. MATERIALS
- A. STRUCTURAL STEEL
- All detailing, fabrication and erection of structural steel shall conform to AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, the AWS D1.1 Structural Welding Code and meet the following requirements:
- Wide Flange Shapes:** ASTM A992, yield strength 50 ksi.
Steel Channels, Angles, Rods and Plates: ASTM A 36, yield strength 36 ksi except where noted otherwise in sections.
Pipe: ASTM A53 Grade B.
Welding Materials: E70XX.
- All welding by certified welders and in accordance with AWS D1.1, structural welding code. All electrodes used for submerged arc and shielded metal arc welding shall be compatible with the structural steel as specified in AWS and AISC.
- Mechanical Platform
All structural steel shall be hot dipped galvanized.
McNichols GW-100-A 1" x 1/8" Grating - Hot Dipped Galvanized.

- IV. MISCELLANEOUS
- No change in size or dimension of structural members shall be made without the written approval of the professional of record.
 - The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
 - The structure is designed to function as a unit upon completion. The contractor is responsible for furnishing all temporary bracing and/or support that may be required as the result of the contractor's construction methods and/or sequences.
 - The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.
- V. QUALITY CONTROL
- A. The following work requires tests and/or inspections for specific requirements see specification.
- Structural Steel Welding
- B. A partial listing of required structural submittals follows. Consult the specification for a complete listing of submittal requirements.
- Structural Steel
- C. No work shall be done without testing laboratory/inspectors knowledge.

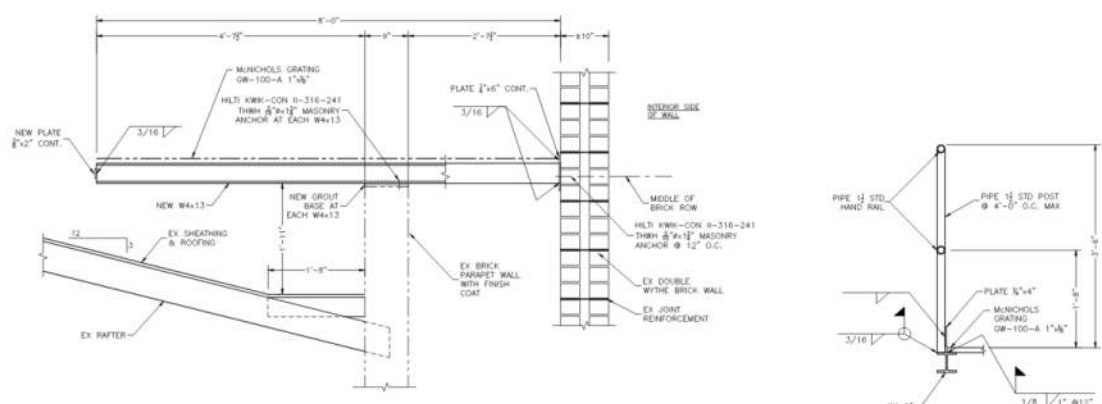


- MECHANICAL PLATFORM FRAMING AND GRATING NOTES:
- ALL PERMANENT STRUCTURAL STEEL SHALL BE HOT-DIPPED GALVANIZED. TOUCH UP ALL DAMAGED COATING WITH HOT-STICK GALVANIZING.
 - INDICATES NEW McNICHOLS GW-100 WELDED BAR GRATING 1" x 1/8" WITH CROSS BARS AT 4" O.C.
 - SEE SHEET S1 FOR "GENERAL STRUCTURAL NOTES."

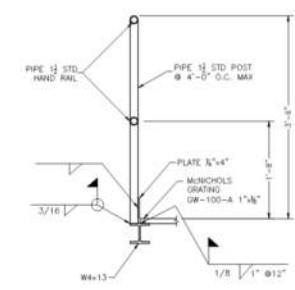
1 S1
MECHANICAL PLATFORM FRAMING PLAN
1/4" = 1'-0"



2 S1
MECHANICAL EQUIPMENT LAYOUT PLAN
1/4" = 1'-0"



3 S1
SECTION
1" = 1'-0"



4 S1
SECTION
1" = 1'-0"

REVISIONS:

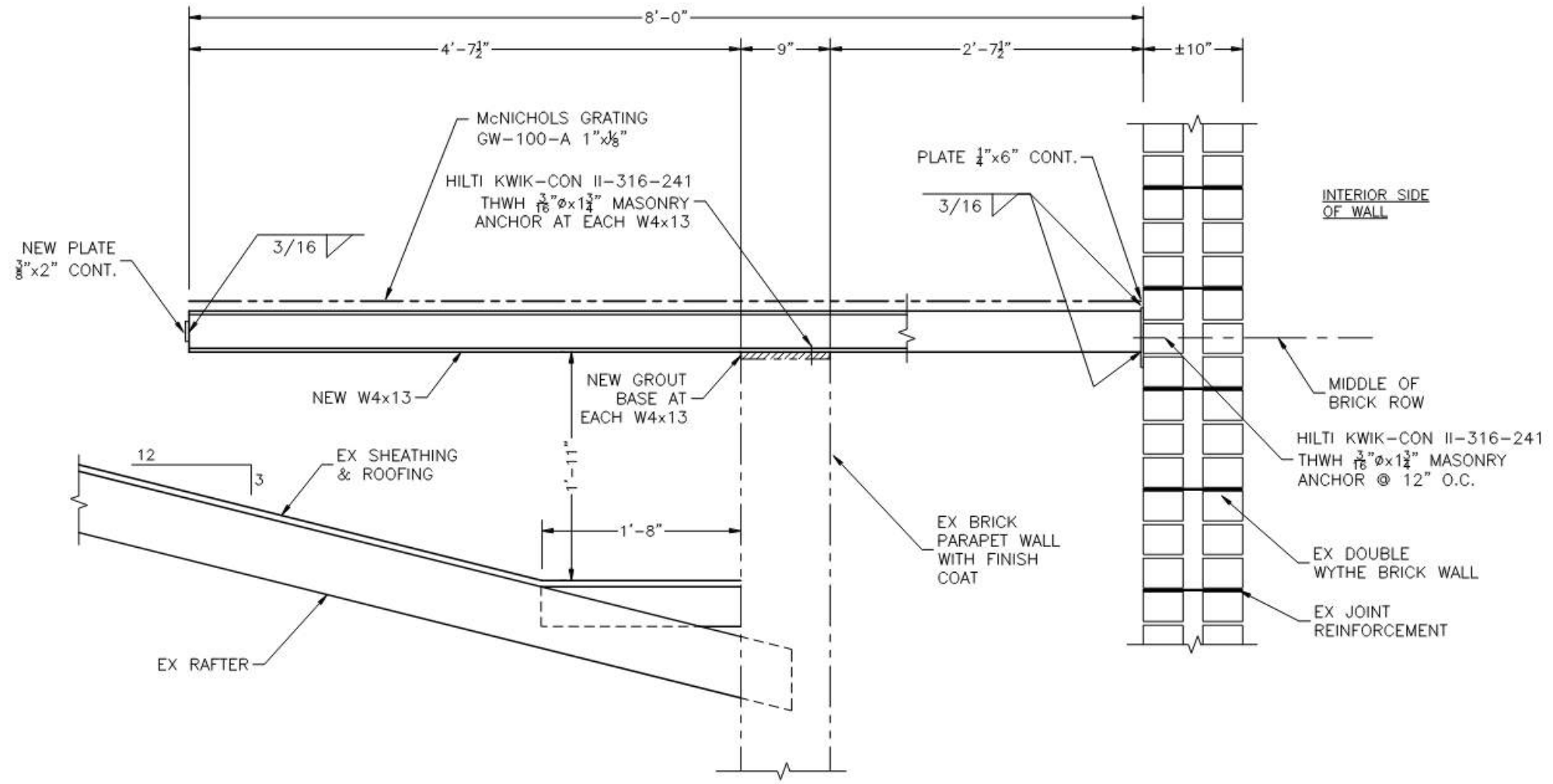
JOHN C. BOSE
Reg. No. 15581
Professional Engineer in
Louisiana

JOHN C. BOSE, CONSULTING ENGINEER
A PROFESSIONAL LIMITED LIABILITY COMPANY
3113 OCTAVIA STREET
NEW ORLEANS, LOUISIANA 70115
(504) 866-9941

NEW MECH. EQUIPT. PLATFORM
BOURBON ORLEANS HOTEL
717 ORLEANS STREET
NEW ORLEANS, LA

Date: 5/15/23
Scale: AS NOTED
Drafted: HGL
Job No. S1
S1
1 of 1



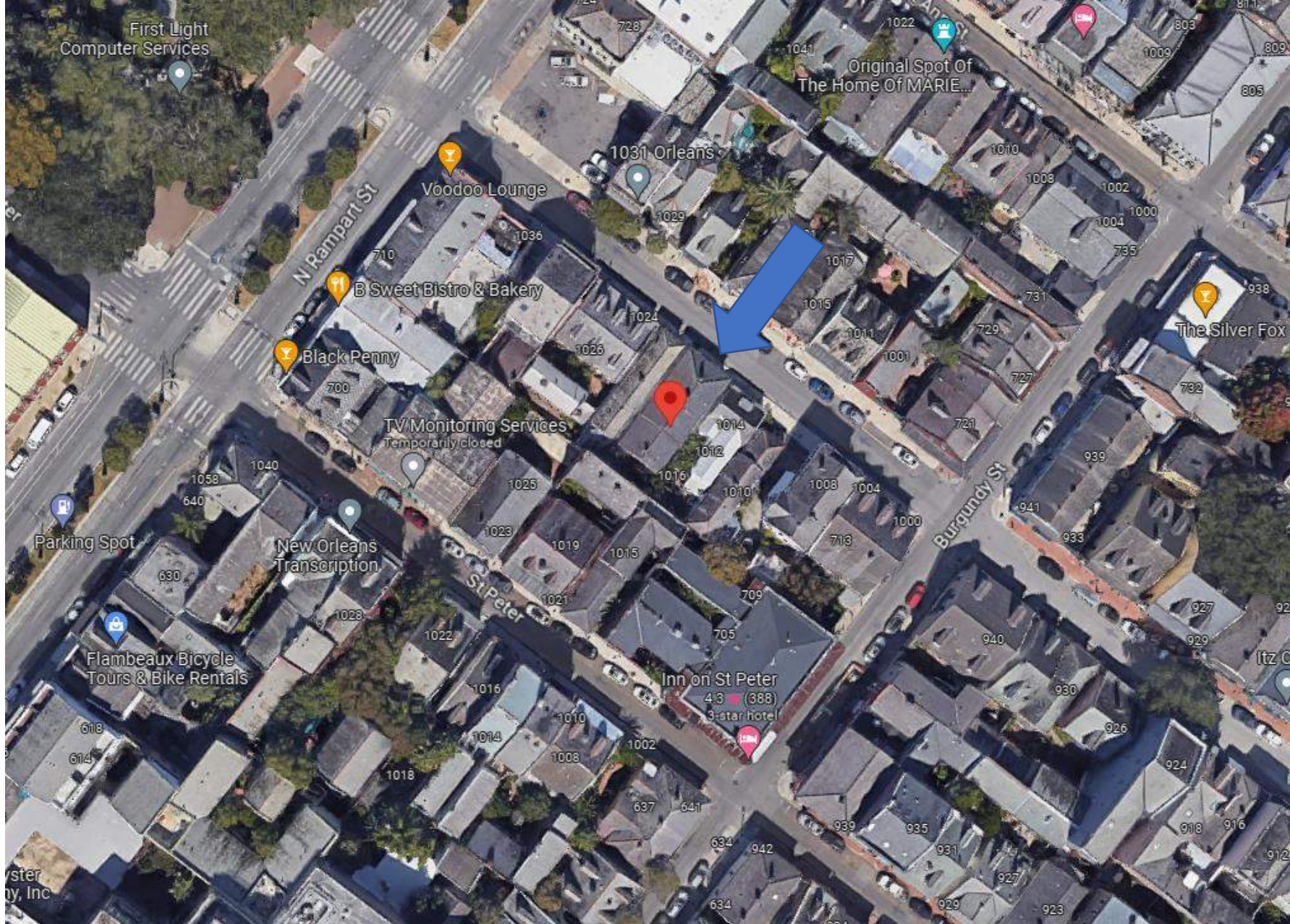


3 SECTION
S1
1" = 1'-0"





1020 Orleans



1020 Orleans

VCC Architecture Committee

June 13, 2023





1020 Orleans, 1940s

VCC Architecture Committee

June 13, 2023





1020 Orleans, 1963

VCC Architecture Committee

June 13, 2023





1020 Orleans

VCC Architecture Committee

June 13, 2023





1020 Orleans

VCC Architecture Committee

June 13, 2023





1020 Orleans

VCC Architecture Committee

June 13, 2023





1020 Orleans

VCC Architecture Committee

June 13, 2023



Tankless water heater (Ru 199e) location, will be at or above BFE and will not be seen from any public right of way. The unit will not be mount any higher than the fence height.



RU199eN

RU Model Series


Super High Efficiency Plus


[View Energy Guide](#)

★★★★★

4.6/5 stars from 173 reviews

1 rebate up to \$600






Enjoy an endless supply of hot water with the SENSEI™ RU199eN Super High Efficiency Plus condensing tankless water heater from Rinnai. Only the size of a small suitcase, the natural gas RU199eN model is compact, easy-to-install and perfect for outdoor locations.

- Energy Factor: 0.96
- Uniform Energy Factor: 0.93
- Warranty 15 yrs on Heat Exchanger/ 5 years on Parts/ 1 Year on Labor


- 15,000 BTU (minimum)
- 199,000 BTU (maximum)
- Outdoor

2

Up to twice the lifespan of most tanks



Never run out of hot water




Compact size to fit every space

Specifications

Documentation

Warranty



Want more information on this product or ready to have it professionally installed?

Contact a Rinnai PRO

[View Offers & Rebates](#)


Specifications

Manufacturer Trade Model Number - U.S.	RU199eN
Product Depth	12.0 in / (305 mm)
Product Height	27.9 in / (709 mm)
Product Width	18.5 in / (470 mm)
Product Weight	64 lb / (29 kg)
Gas Type	Natural Gas
Installation Type	Outdoor
Recirculation Capable	Yes

1020 Orleans

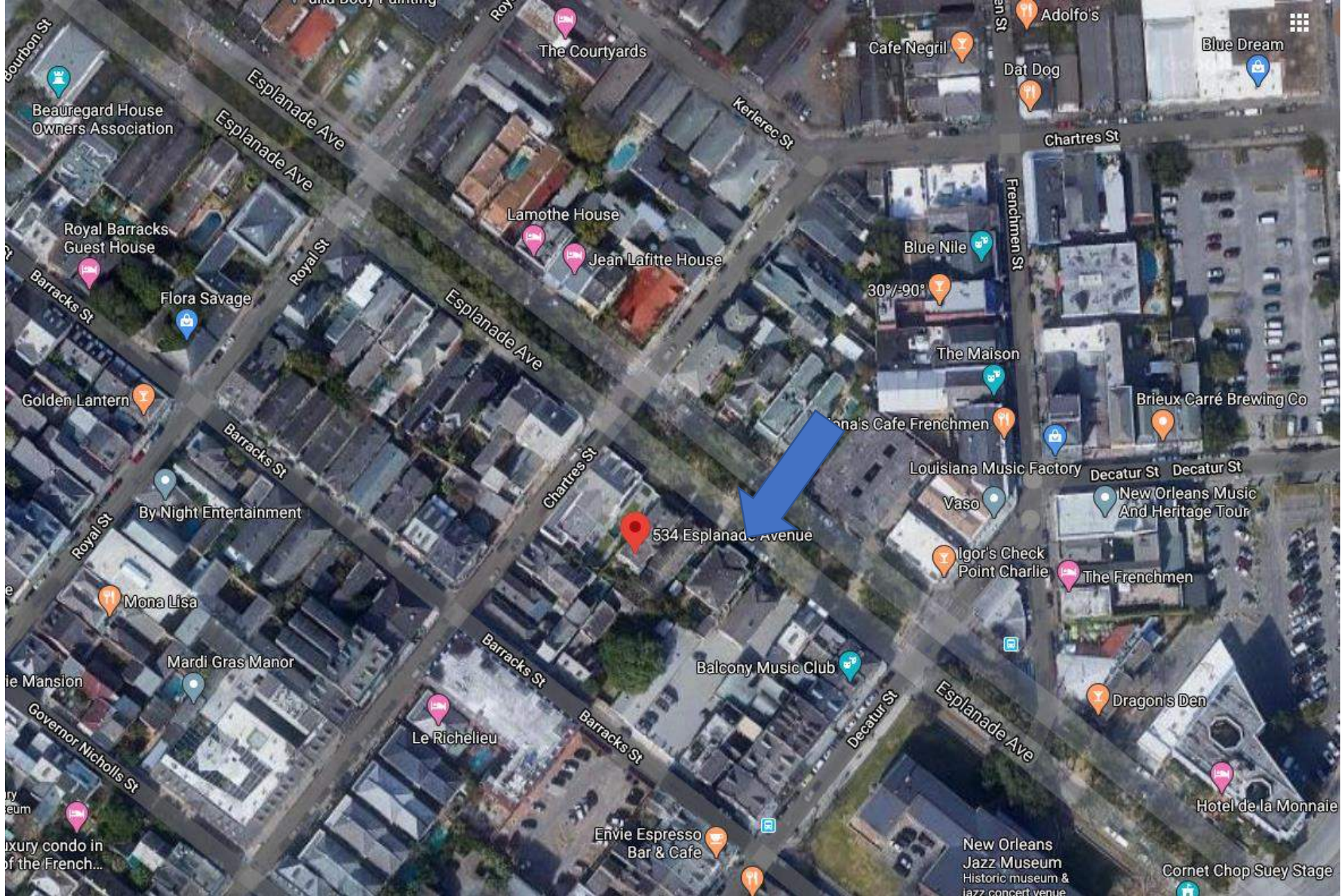
VCC Architecture Committee

June 13, 2023

The logo of the Vieux Carre Commission is an oval seal. It features a central illustration of a classical building facade with columns and arches. The text "VIEUX CARRE COMMISSION" is written in a circle around the top, and "ESTABLISHED 1935" is written around the bottom.

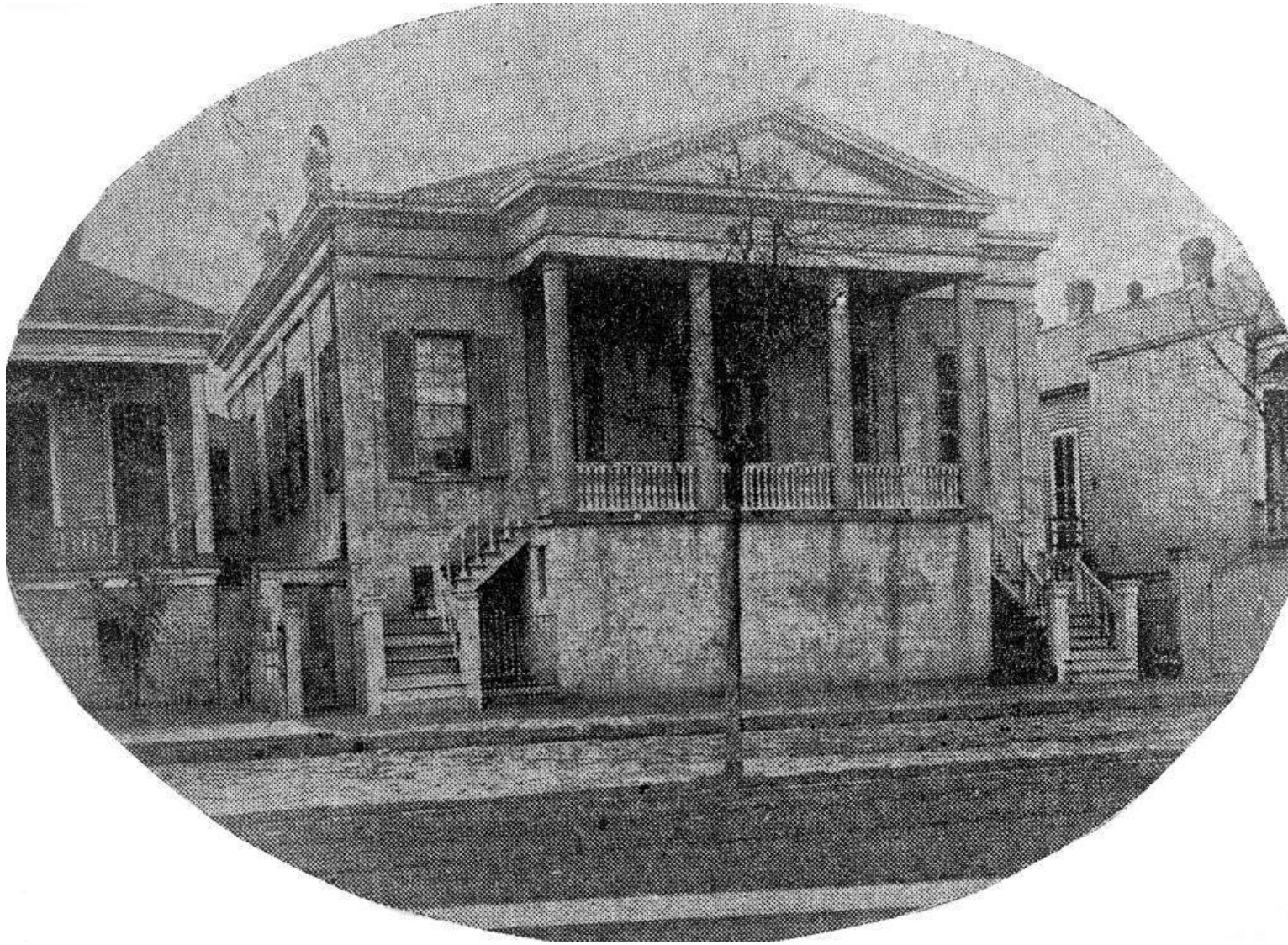


524 Esplanade



524 Esplanade





524 Esplanade – ca. 1902

VCC Architecture Committee

June 13, 2023





524 Esplanade - 1939

VCC Architecture Committee

June 13, 2023





524 Esplanade - 1972

VCC Architecture Committee

June 13, 2023



524 Esplanade - 1990

VCC Architecture Committee



June 13, 2023



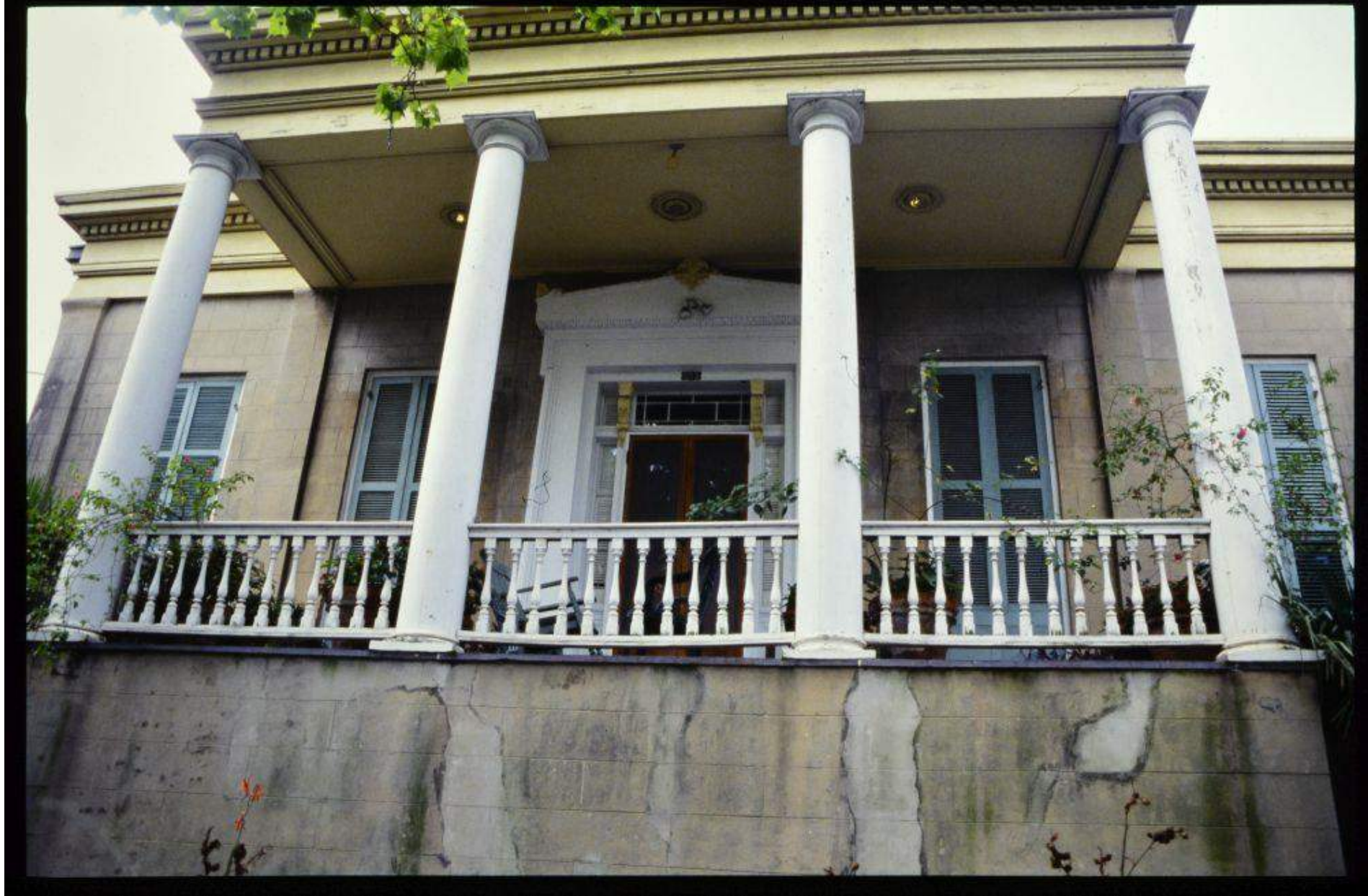


524 Esplanade - 2005

VCC Architecture Committee

June 13, 2023





524 Esplanade - 2005

VCC Architecture Committee

June 13, 2023





524 Esplanade - 2005

VCC Architecture Committee

June 13, 2023





524 Esplanade



524 Esplanade

VCC Architecture Committee

June 13, 2023





524 Esplanade

VCC Architecture Committee

June 13, 2023





524 Esplanade

VCC Architecture Committee

June 13, 2023





524 Esplanade

VCC Architecture Committee

June 13, 2023





524 Esplanade

VCC Architecture Committee

08 13 2020

June 13, 2023

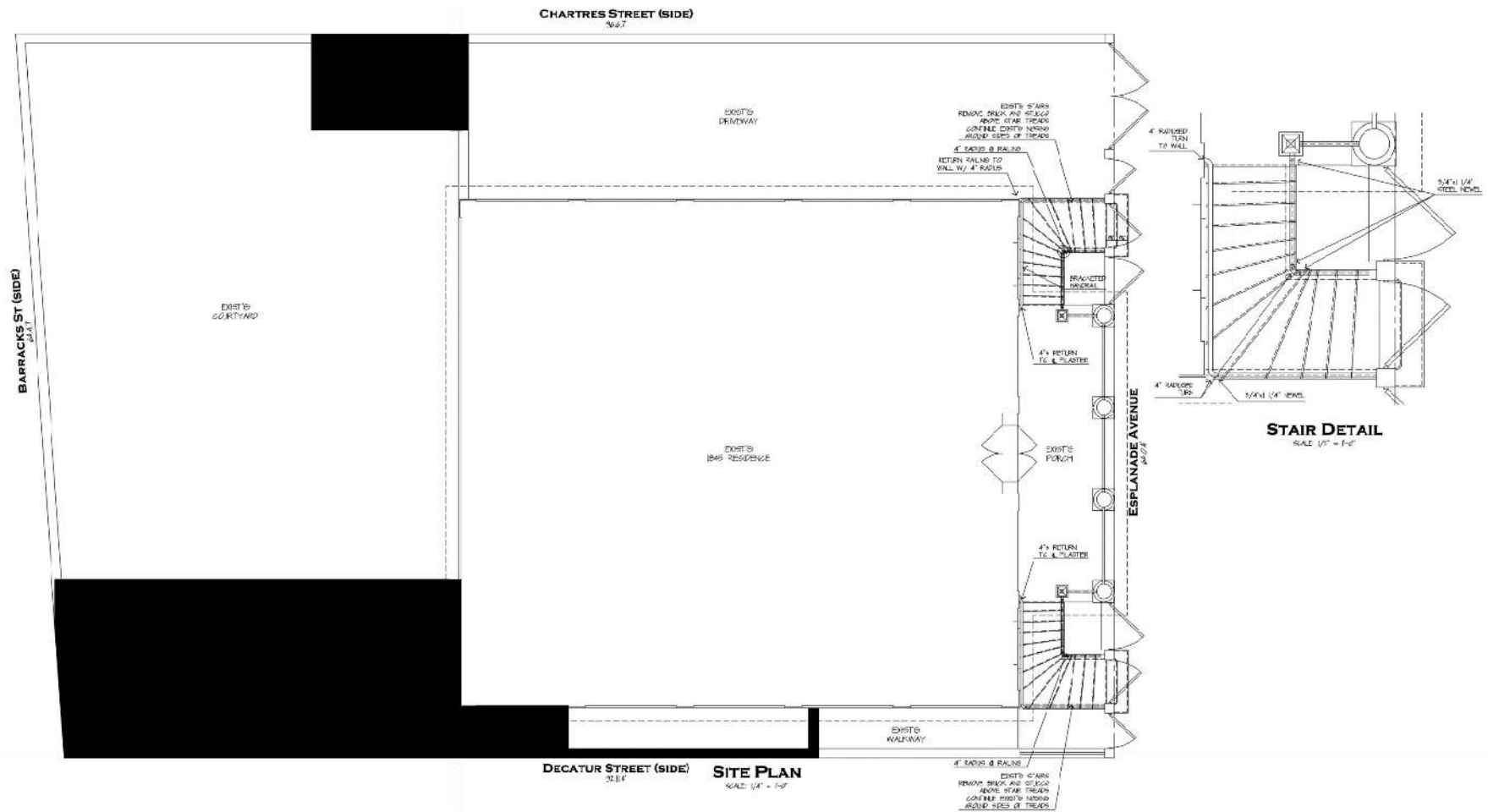


524 Esplanade
VCC Architecture Committee



June 13, 2023





ORIGINAL BUILDING CONTRACT EXCERPT
BY MARY LOUISE CHRISTOVICH, 1977



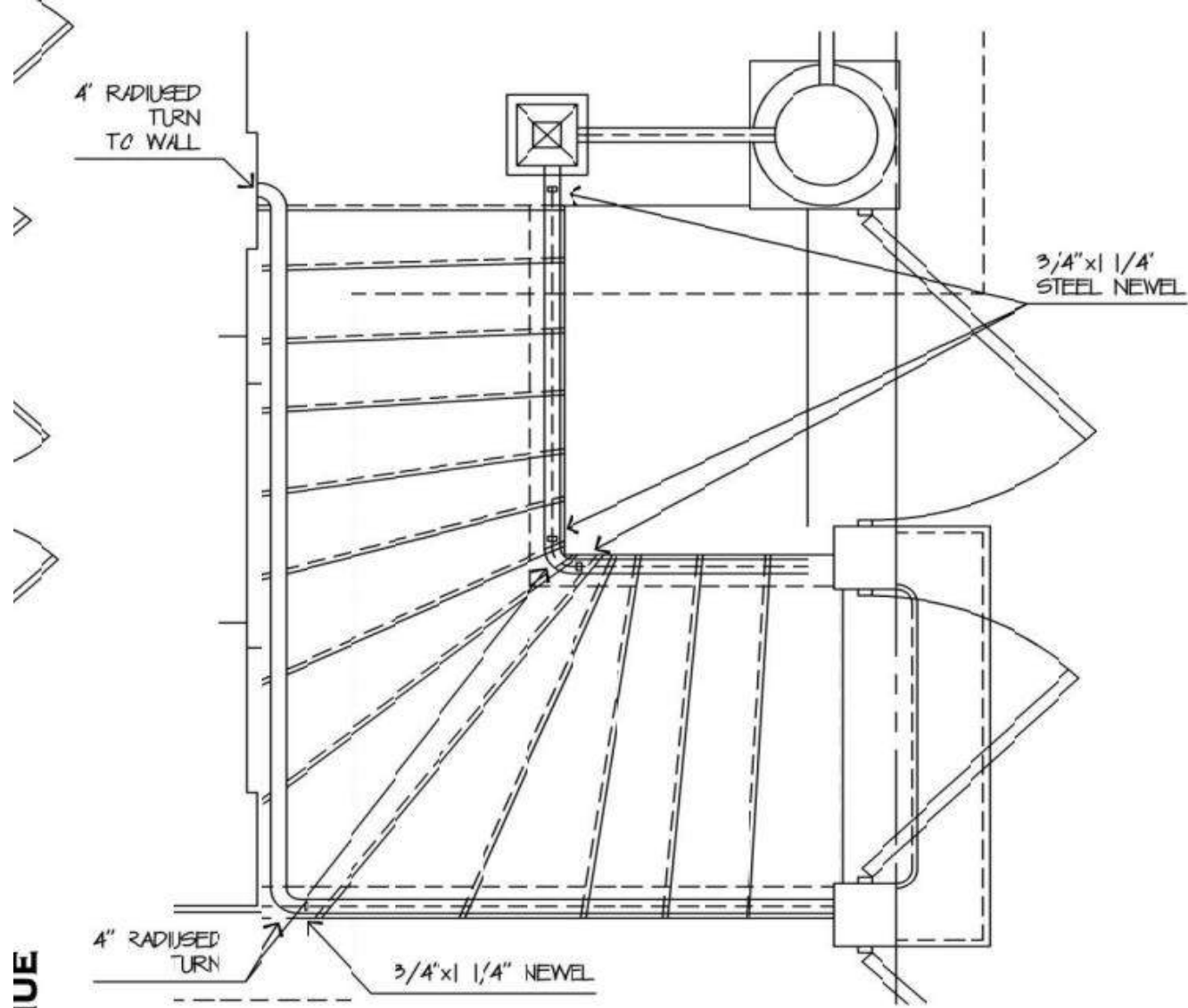
SITE PLAN
Arch-0001



524 Esplanade – Previously Approved Plans

VCC Architecture Committee

June 13, 2023



STAIR DETAIL

SCALE: 1/2" = 1'-0"

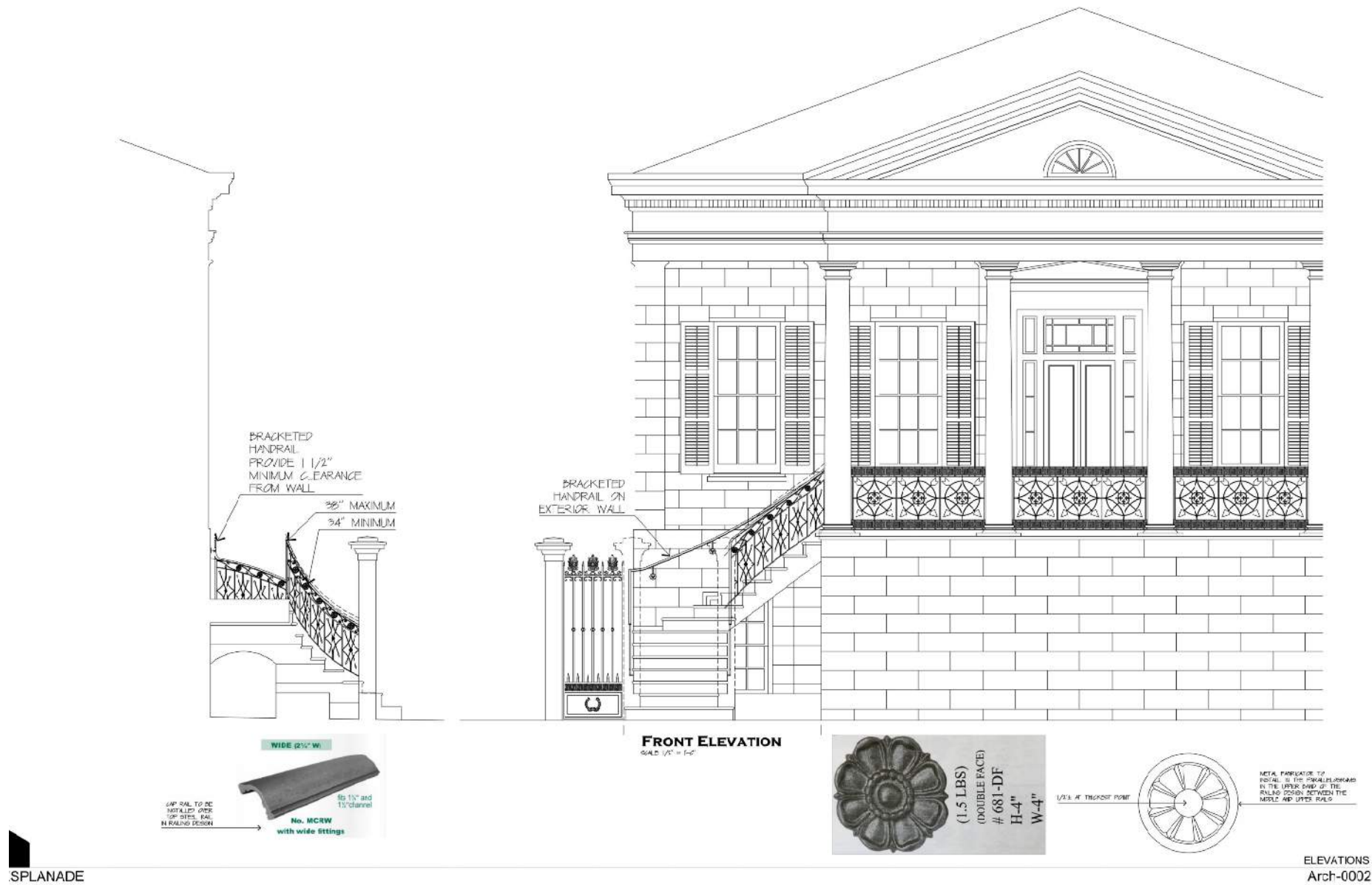
659.4'
ADE AVENUE

524 Esplanade – Previously Approved Plans

VCC Architecture Committee

June 13, 2023



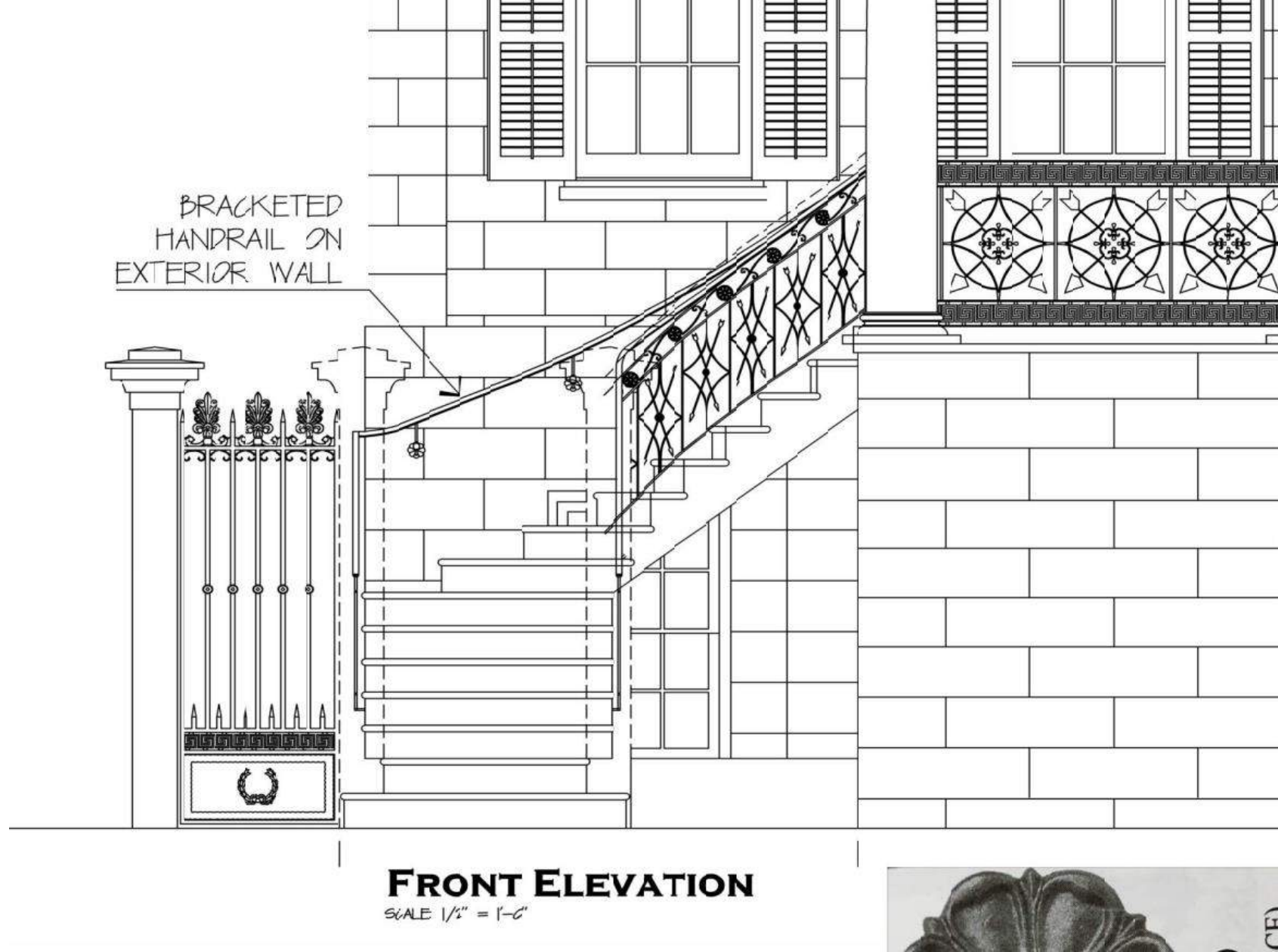


524 Esplanade – Previously Approved Plans

VCC Architecture Committee

June 13, 2023



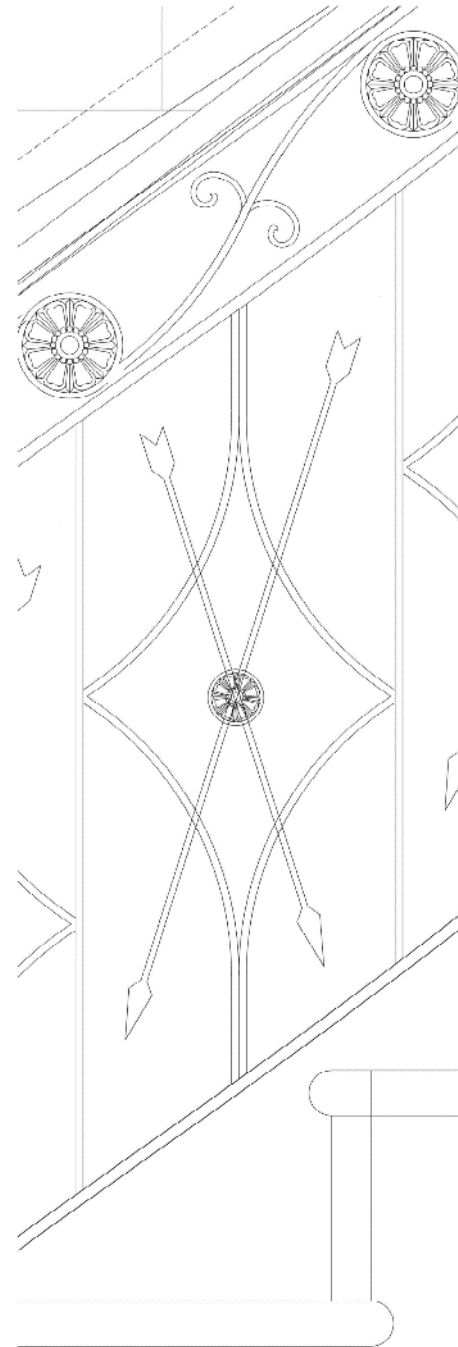


524 Esplanade – Previously Approved Plans

VCC Architecture Committee

June 13, 2023





524 Esplanade – Previously Approved Plans
VCC Architecture Committee

June 13, 2023





524 Esplanade – Existing Front Door

VCC Architecture Committee

June 13, 2023



Attention: Robert Travis Kenny

Property Address: 524 Esplanade avenue
New Orleans La, 70116

Ref# 2146

Objective:

To demo masonry side walls in preparation of new hand rails.

Labor and material price \$5,384.00

The scope of work includes:

Score approximately 360 sq ft of masonry walls into sections with a diamond blade.
Make accurate cuts around stairs, columns, and front elevation of the residence.
Demo scored sections of above mentioned masonry walls with hammer drill.
Collect, and haul away masonry debris.

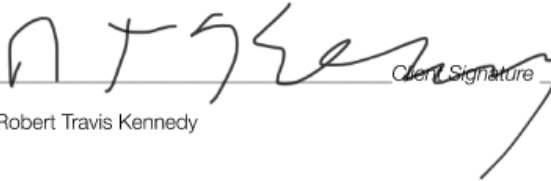
**Any additional work not listed in the above scope, either through exploratory findings or client request, will be performed with the client's consent and billed for in the final invoice.*

***Labor and material price does not include bricks. Additional Bricks will be purchased on an "as needed" basis at Market value and billed for in the final invoice.*

****Additional work including re-fabricating step detail and step repair to be determined after demo completion and Billed for on a time and material basis.*

We require a third deposit in the amount of \$1,794.66 to begin work and for scheduling

Please sign and date to accept these terms.


Robert Travis Kennedy


11/31/23

June 13, 2023



524 Esplanade

VCC Architecture Committee



524 Esplanade

VCC Architecture Committee

June 13, 2023





524 Esplanade

VCC Architecture Committee

June 13, 2023





524 Esplanade

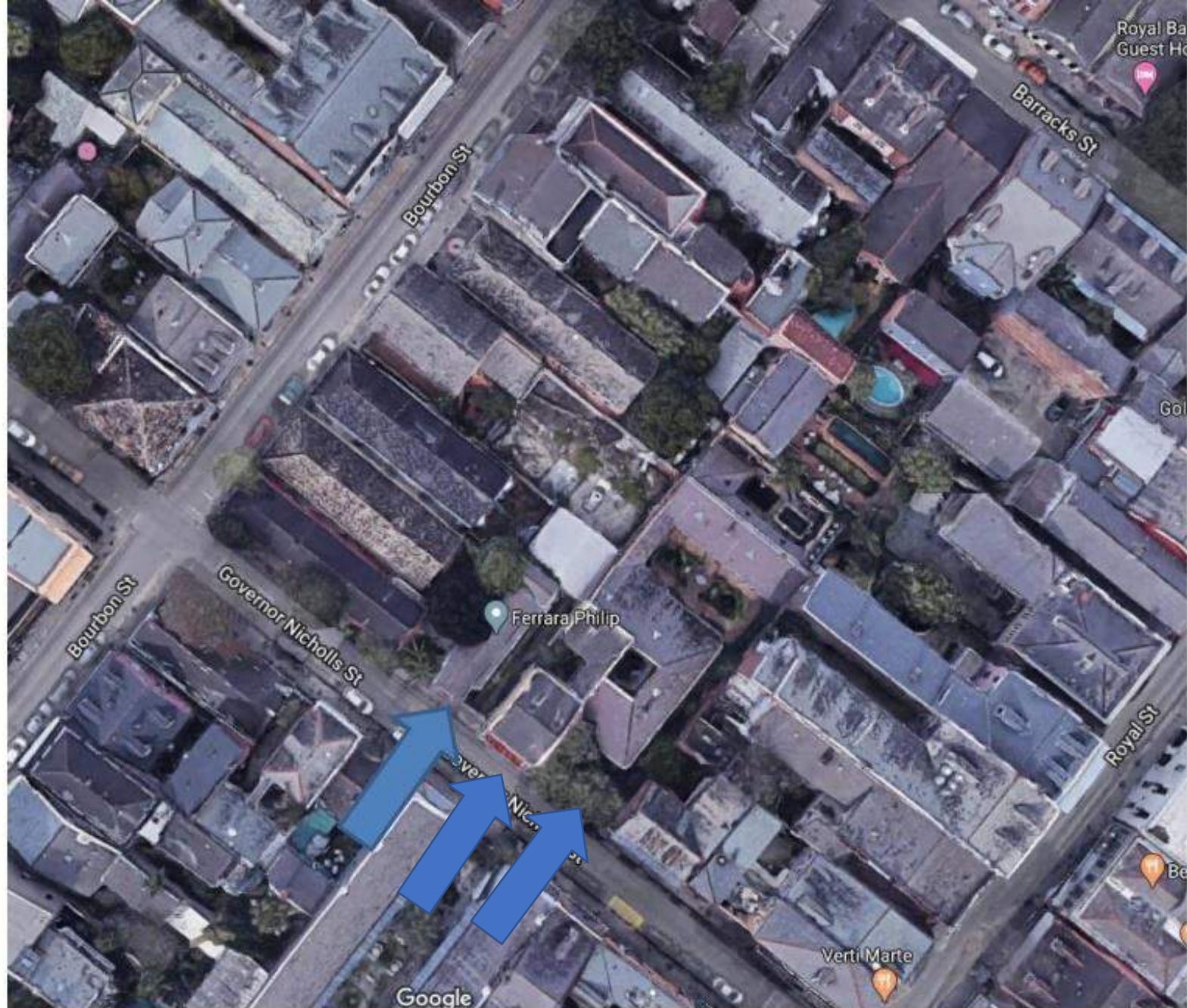
VCC Architecture Committee

June 13, 2023





721-23 Governor Nicholls



721 & 729 Gov. Nicholls

Vieux Carre Commission

February 16, 2022

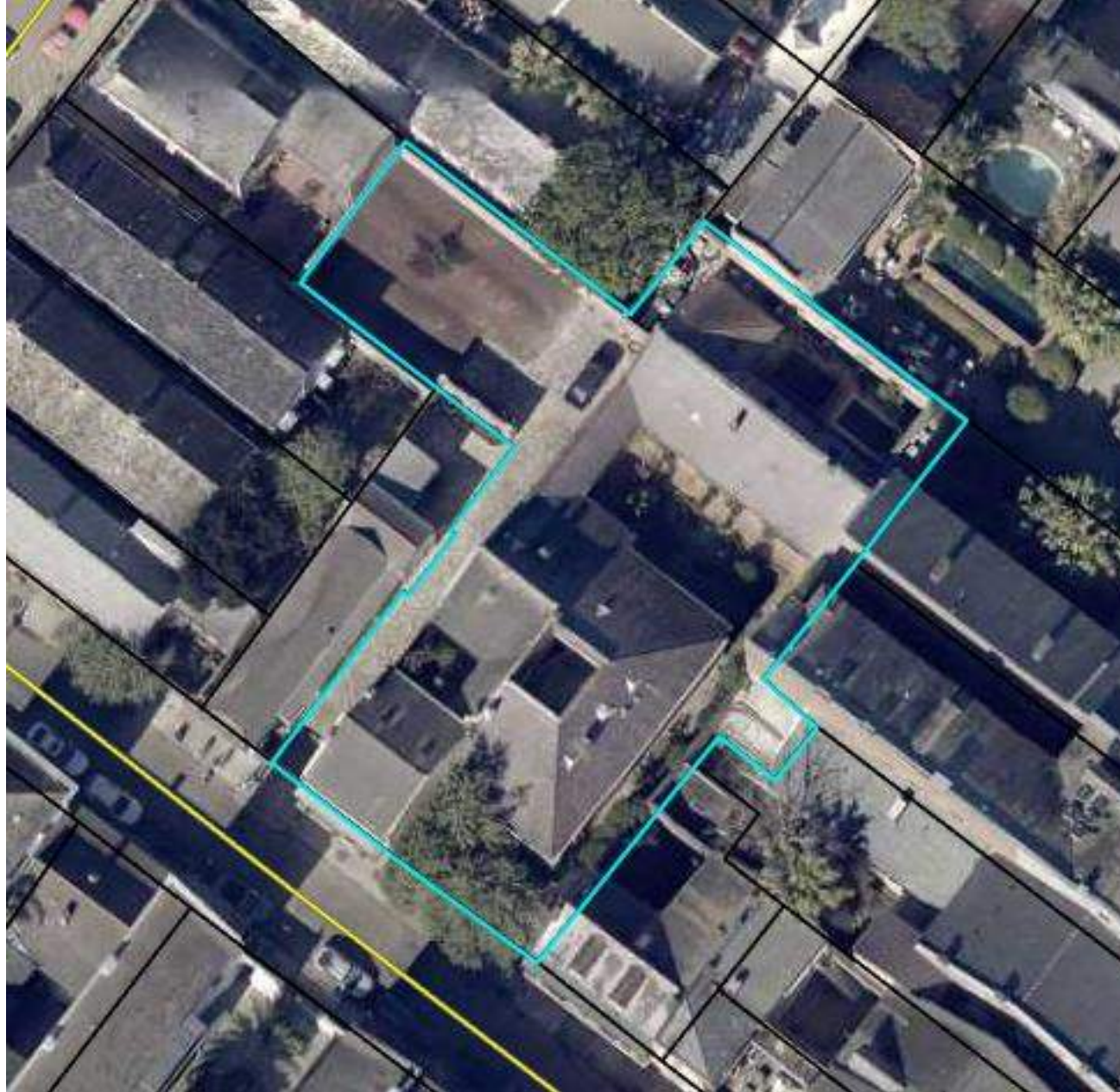




721 Gov. Nicholls – Previously Existing Property Lines



729 Gov. Nicholls – Previously Existing Property Lines

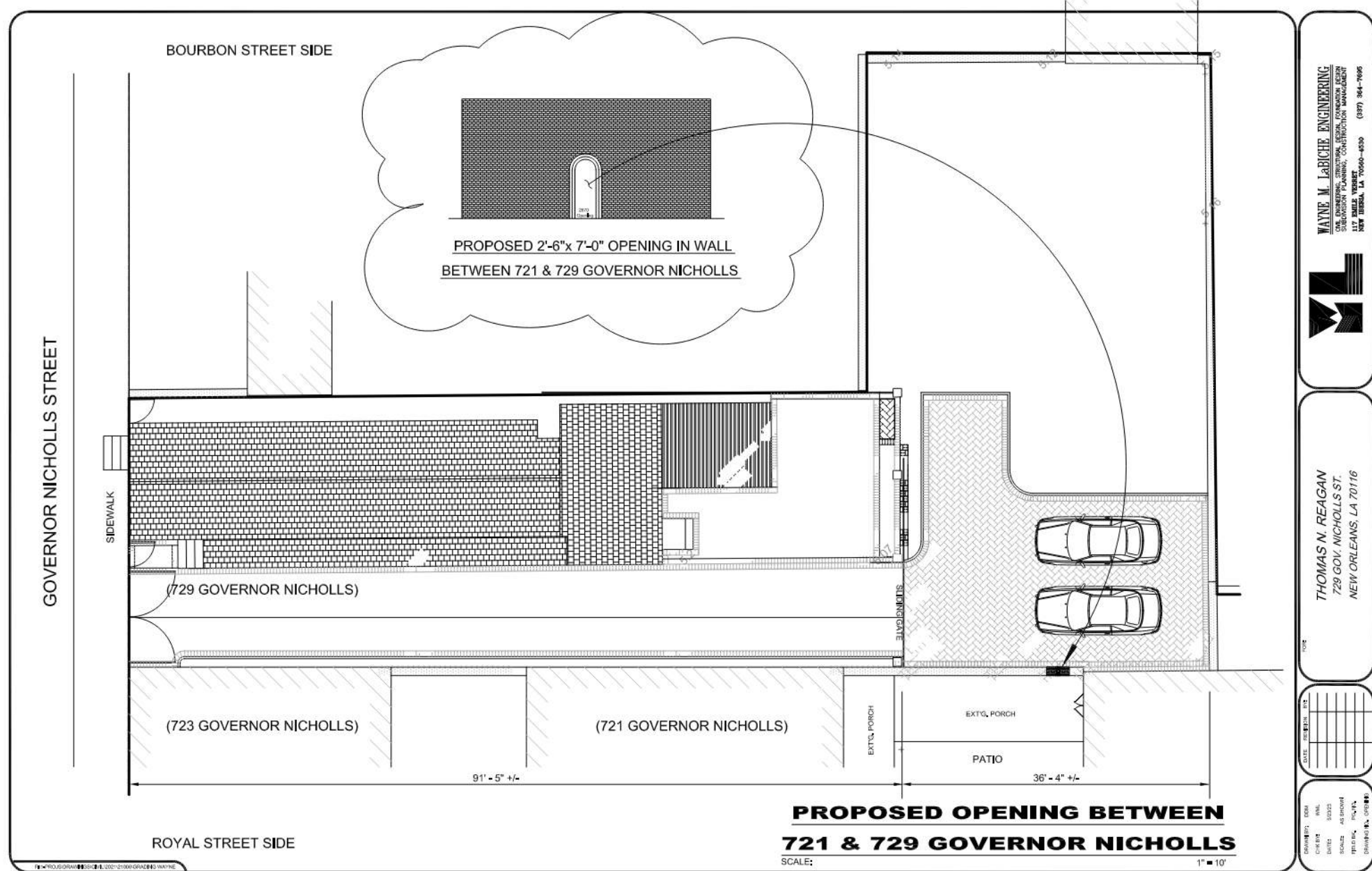


721-723 Gov. Nicholls – New Property Lines

Vieux Carre Commission

February 16, 2022



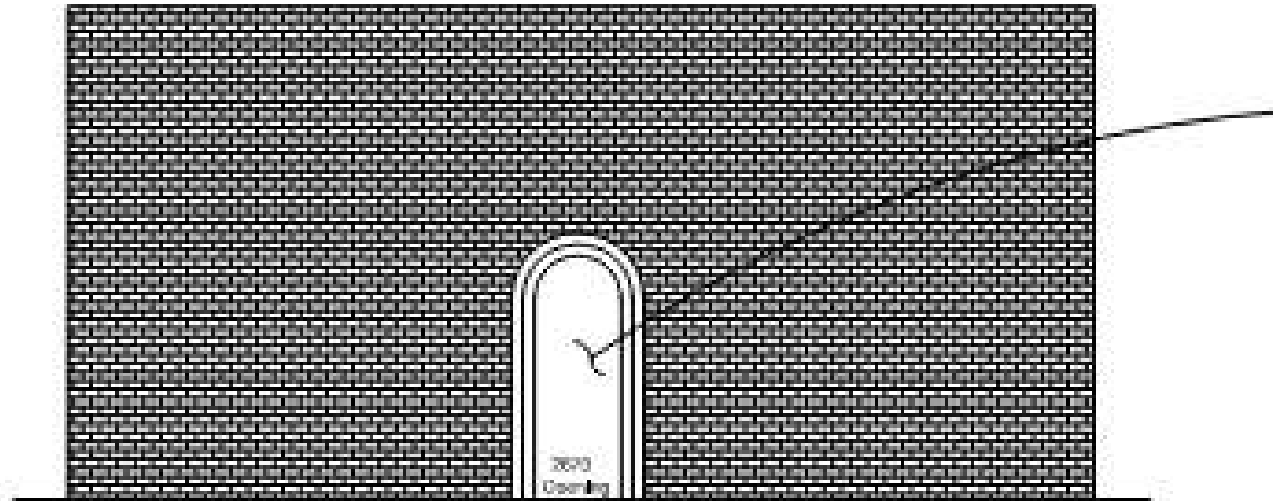


721-723 Gov. Nicholls

Vieux Carre Commission

February 16, 2022





PROPOSED 2'-6"x 7'-0" OPENING IN WALL
BETWEEN 721 & 729 GOVERNOR NICHOLLS

721-723 Gov. Nicholls

Vieux Carre Commission

February 16, 2022





721-723 Gov. Nicholls

Vieux Carre Commission

February 16, 2022





Appeals and Violations



327 Bourbon



VCC Architecture Committee

327 Bourbon

VCC Architecture Committee



June 13, 2023



327 Bourbon - 2018

VCC Architectural Committee



June 13, 2023





327 Bourbon – November, 2020

VCC Architecture Committee

June 13, 2023



327 Bourbon
VCC Architecture Committee



June 13, 2023



327 Bourbon

VCC Architecture Committee



June 13, 2023





327 Bourbon

VCC Architecture Committee

June 13, 2023



327 Bourbon - 1945

VCC Architecture Committee



June 13, 2023





327 Bourbon - 1945

VCC Architecture Committee

June 13, 2023



327 Bourbon

VCC Architecture Committee



June 13, 2023



327 Bourbon

VCC Architecture Committee



June 13, 2023





327 Bourbon

VCC Architecture Committee

June 13, 2023





327 Bourbon

VCC Architecture Committee

June 13, 2023





327 Bourbon

VCC Architecture Committee

June 13, 2023





327 Bourbon – View from Dauphine



327 Bourbon – View from Dauphine





327 Bourbon – View from Dauphine

VCC Architecture Committee

June 13, 2023





327 Bourbon – View from Dauphine

VCC Architecture Committee

June 13, 2023



327 Bourbon – View from Bourbon & Conti
VCC Architecture Committee



327 Bourbon – View from Bourbon & Conti
VCC Architecture Committee



June 13, 2023





327 Bourbon – View from Conti

VCC Architecture Committee

June 13, 2023





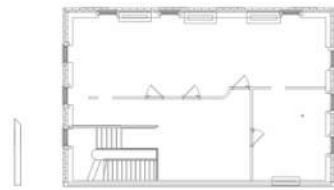
327 Bourbon – View from Conti





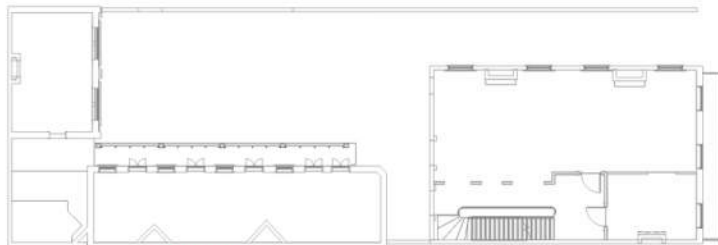
4TH FLOOR EXISTING

4 | 4TH FLOOR Copy 1
1" = 10'-0"



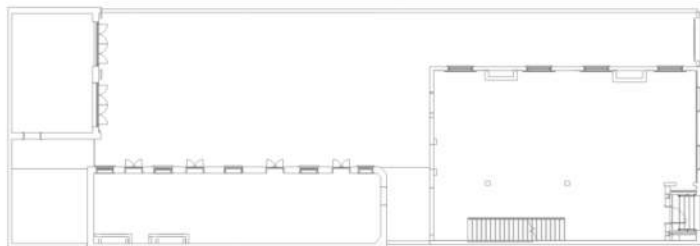
3RD FLOOR EXISTING

3 | 3RD FLOOR Copy 1
1" = 10'-0"



2ND FLOOR EXISTING

2 | 2ND FLOOR, Copy 1
1" = 10'-0"



1ST FLOOR EXISTING



1 | 1ST FLOOR Copy 1
1" = 10'-0"

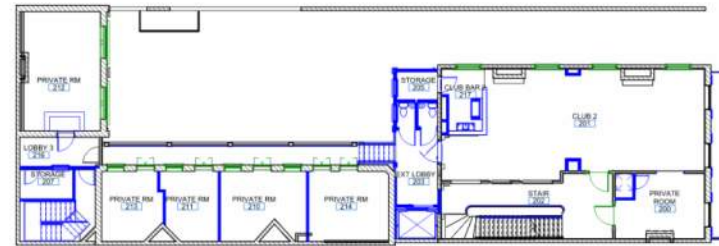
4TH FLOOR PROPOSED

4 | 4TH FLOOR
1" = 10'-0"



3RD FLOOR PROPOSED

3 | 3RD FLOOR
1" = 10'-0"



2ND FLOOR PROPOSED

2 | 2ND FLOOR
1" = 10'-0"



1ST FLOOR PROPOSED



1ST FLOOR
1' x 10'-0"

21_113

DATE _____

TYPE (SEE CHANGE LOG)

1



M3 DESIGN GROUP
2008 BROAD ST. SUITE 1000 • CHICAGO, IL 60601

PERMIT SET

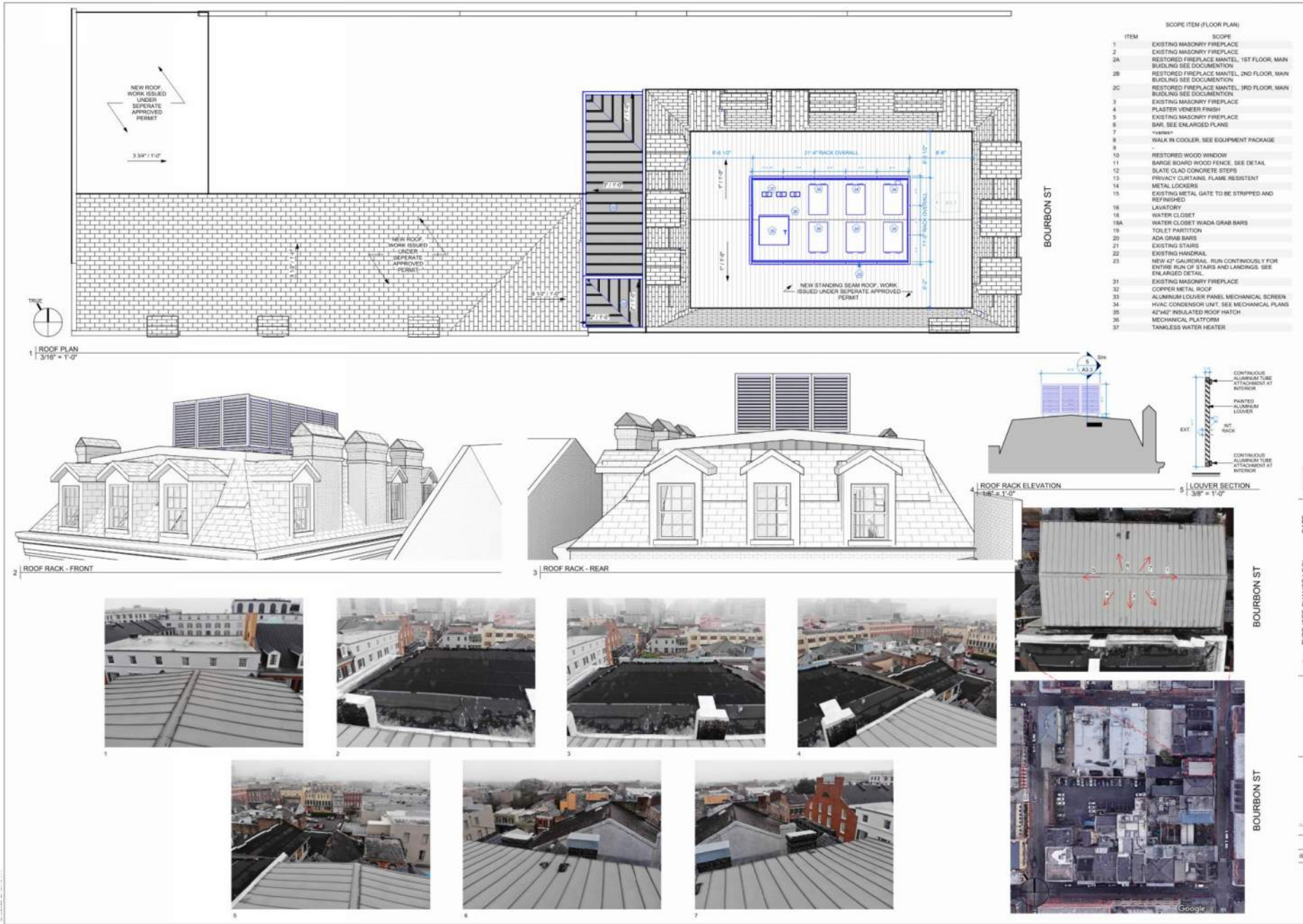
ISSUED 06-06

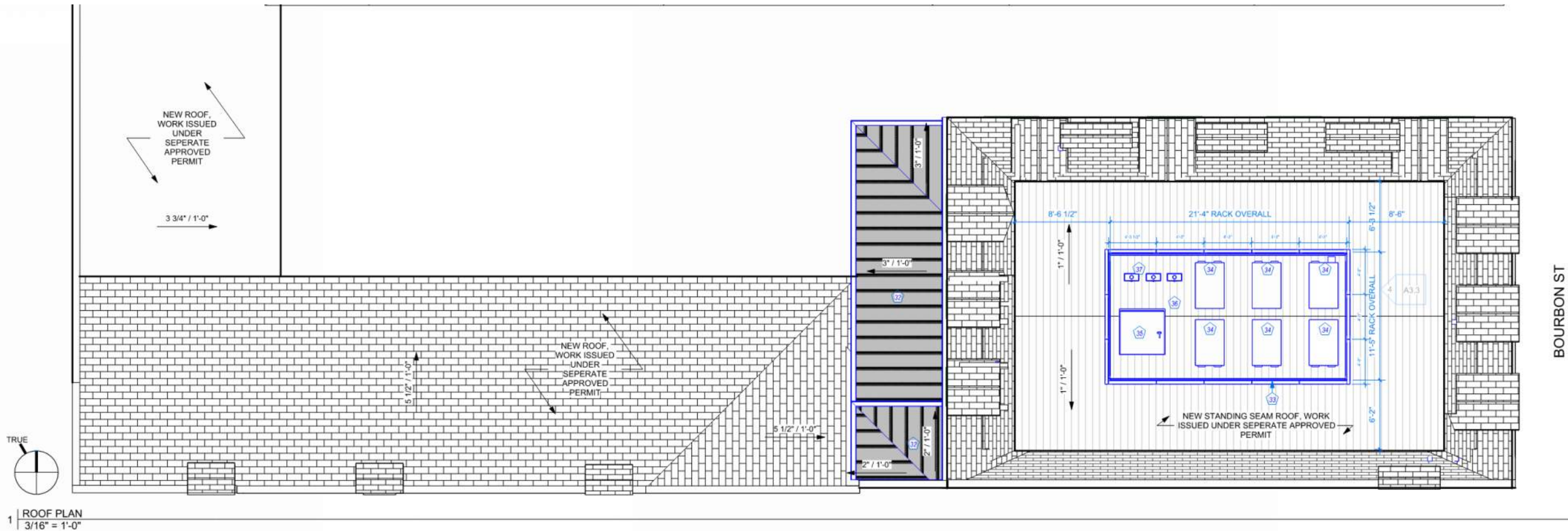
A3.0

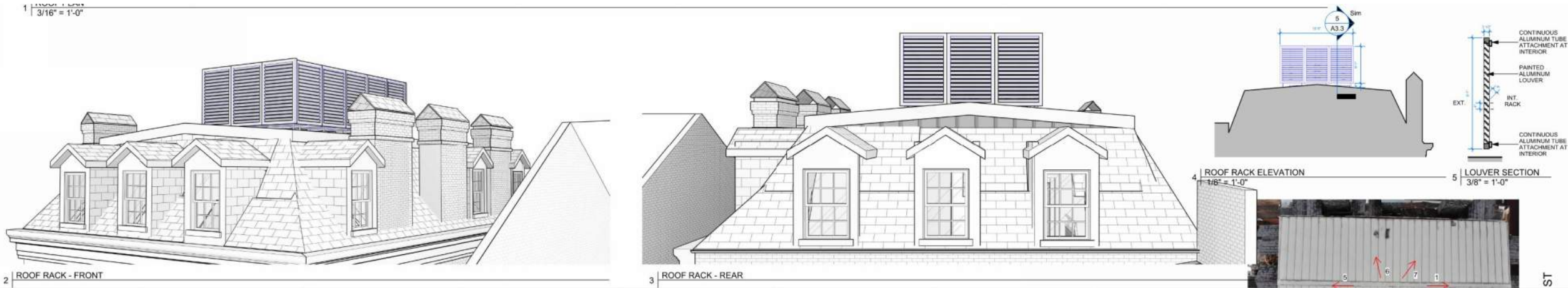
OVERALL FLOOR
PLANS

327 BOURBON RESTORATION & RENOVATION

327 BOURBON ST
NEW ORLEANS, LA 70130









1



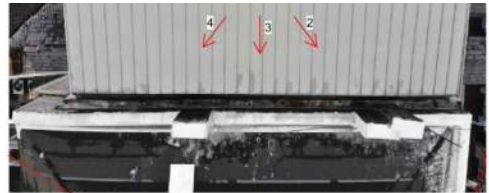
2



3



4



5



6



7

327 Bourbon

VCC Architecture Committee

June 13, 2023



MECH
EQUIPMENT
OPTION 3 +
SCREEN:
ROOF OF
MAIN
BUILDING &
COURTYARD



PROPOSED WORK
LEGEND - PERSPECTIVE

#	TYPE (SEE CHANGE LOG)	DATE



PERMIT SET
ISSUED: 06-06-23

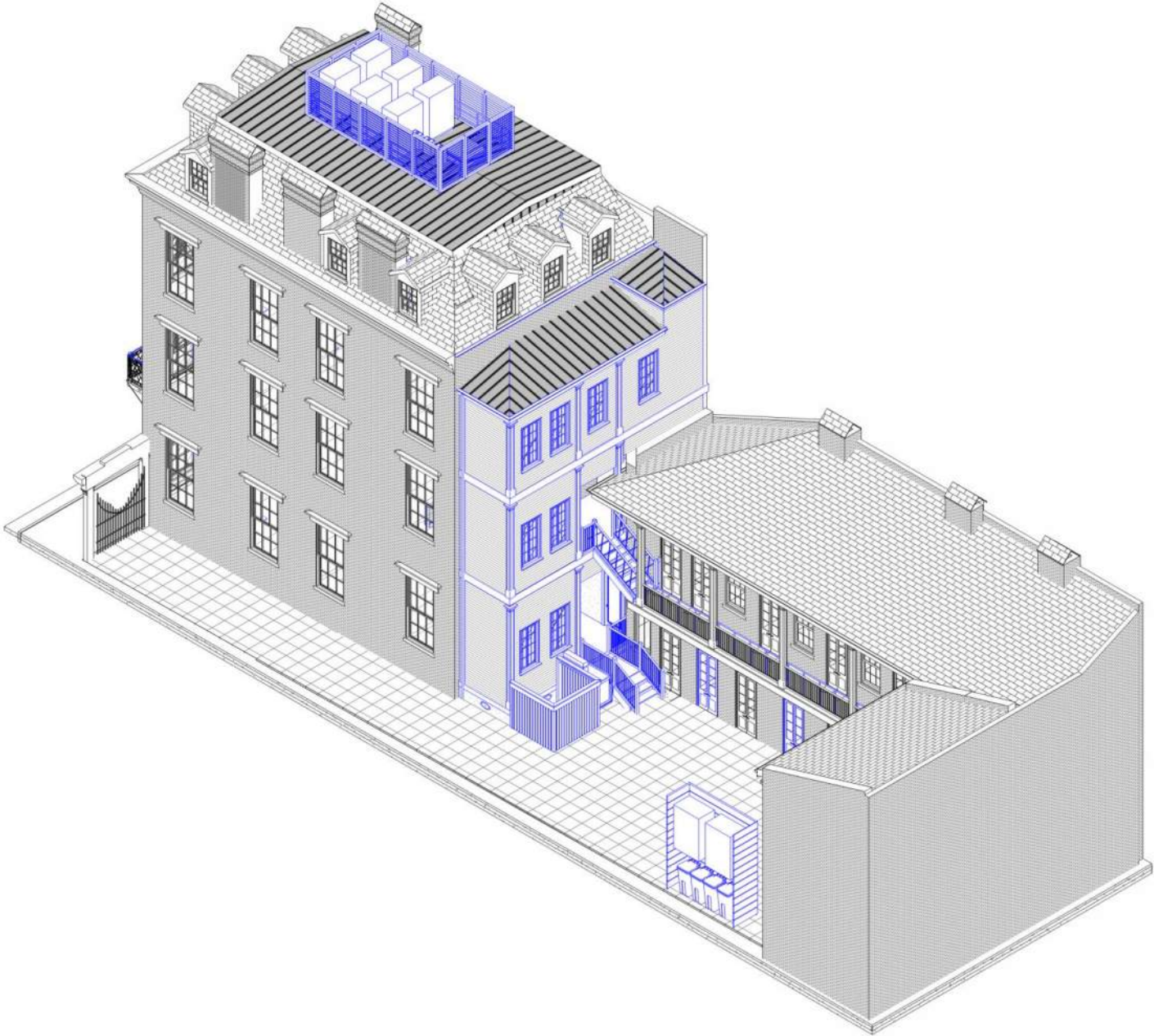
A6.1
EXTERIOR AXON

327 BOURBON RESTORATION & RENOVATION
327 BOURBON ST
NEW ORLEANS, LA 70130

21_113



MECH
EQUIPMENT
OPTION 3 +
SCREEN:
ROOF OF
MAIN
BUILDING &
COURTYARD



21_113
327 BOURBON RESTORATION & RENOVATION
327 BOURBON ST
NEW ORLEANS, LA 70130

#	TYPE (SEE CHANGE LOG)	DATE



M3 DESIGN GROUP

CONTRACT NO. 1101-18-001-1 (CONSTRUCTION)
ISSUED FOR PERMIT SET

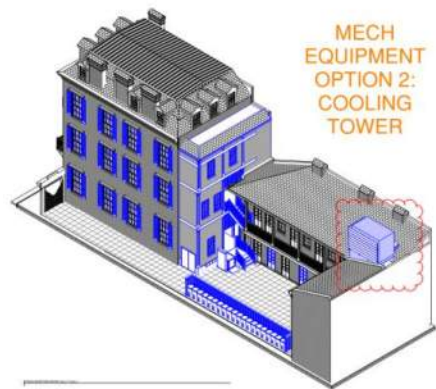
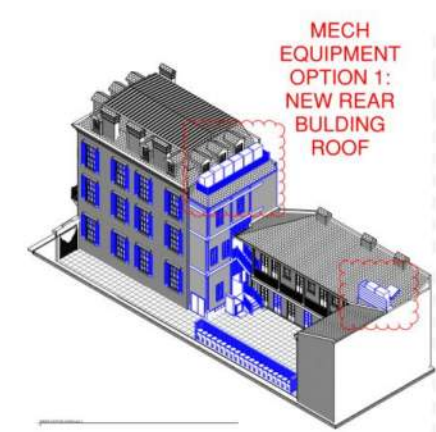
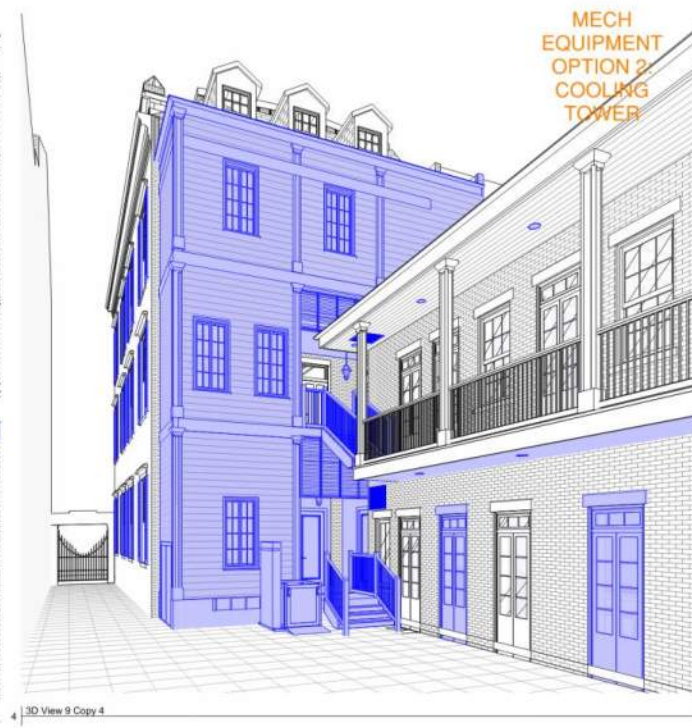
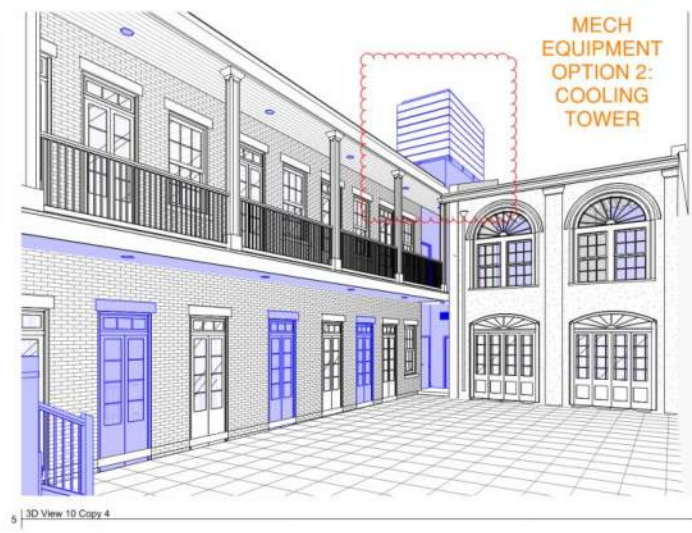
PERMIT SET

ISSUED 06-06-23

A6.2
EXTERIOR AXON

PROPOSED WORK
LEGEND - PERSPECTIVE





PRIOR DESIGN OPTIONS

327 BOURBON RESTORATION & RENOVATION

327 BOURBON ST
NEW ORLEANS, LA 70130

21.113

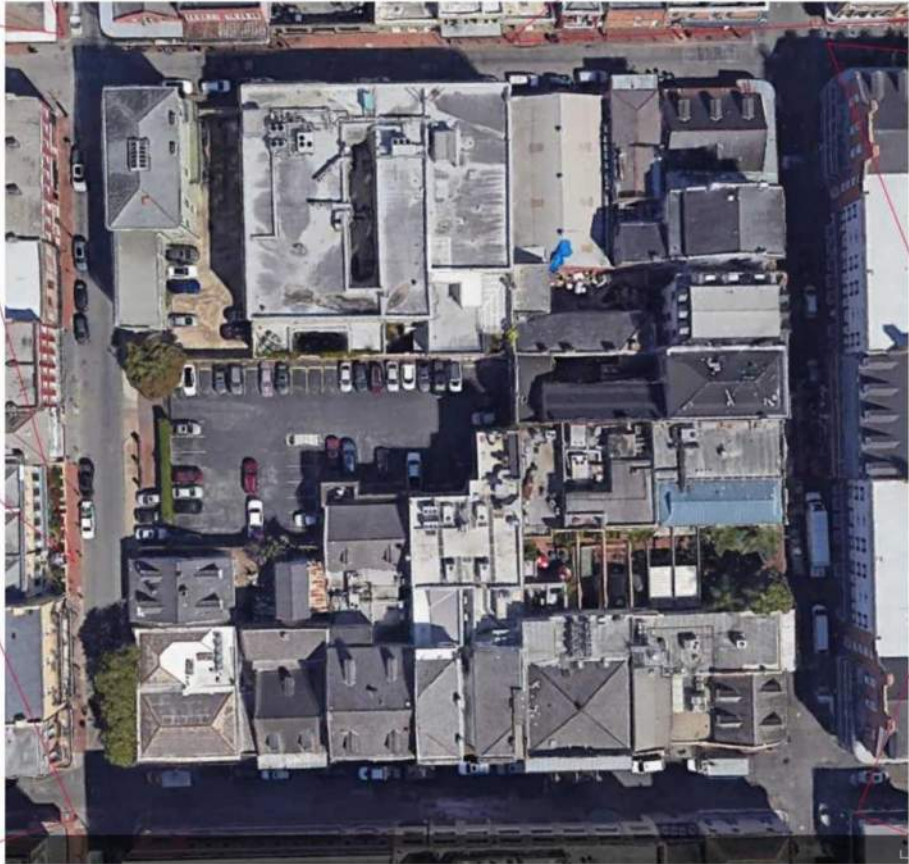
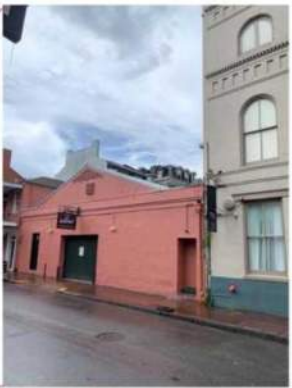
DATE

TYPE (SEE CHANGE LOG)

ISSUED 06/06/23

A3.2B
RENDERING
MOCKUP OF ROOF
RACK SCREEN

COMMISSION
ESTABLISHED 1935



327 Bourbon

VCC Architecture Committee

21_113
327 BOURBON ST
NEW ORLEANS, LA 70130

TYPE (SEE CHANGE LOG) DATE



PERMIT SET
ISSUED 05/06/23

A3.2A
FLAGGED SITE
LINE STUDY



June 13, 2023



327 Bourbon

VCC Architecture Committee

21.113
327 BOURBON RESTORATION & RENOVATION
327 BOURBON ST
NEW ORLEANS, LA 70130

#	TYPE (SEE CHANGE LOG)	DATE



PERMIT SET
ISSUED 06/06/23

A3.2B
RENDERING
MOCKUP OF ROOF
RACK SCREEN



June 13, 2023



327 Bourbon

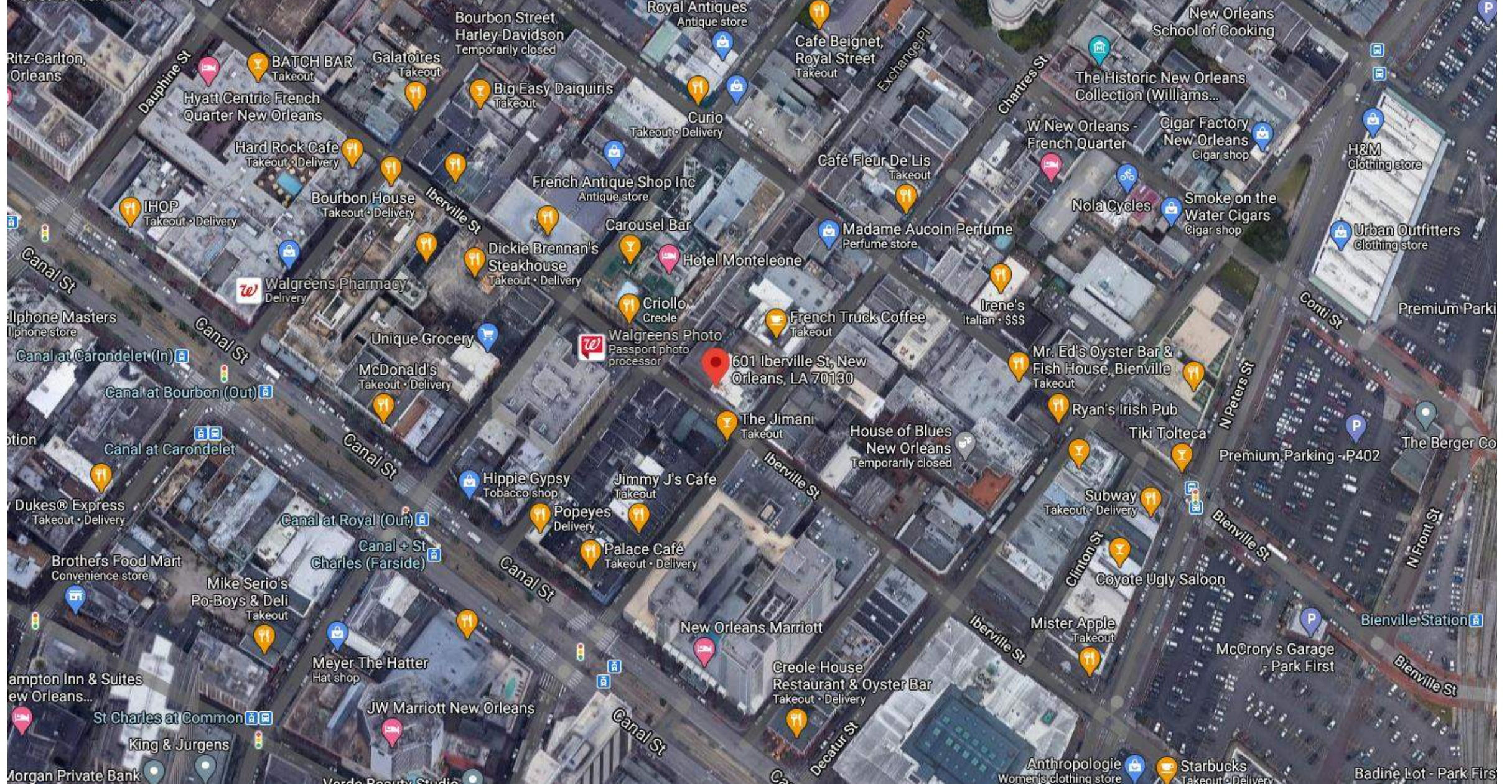
VCC Architecture Committee

June 13, 2023





201 Chartres & 205-07 Chartres



601 Iberville/ 201 Chartres

Vieux Carre Commission

February 16, 2022



601 Iberville/ 201 Chartres

Vieux Carre Commission



February 16, 2022



601 Iberville/ 201 Chartres

Vieux Carre Commission



February 16, 2022





601 Iberville/ 201 Chartres

Vieux Carre Commission

February 16, 2022





601 Iberville/ 201 Chartres

Vieux Carre Commission

February 16, 2022





601 Iberville/ 201 Chartres – 2018

Vieux Carre Commission

February 16, 2022





601 Iberville/ 201 Chartres

Vieux Carre Commission

February 16, 2022





601 Iberville/ 201 Chartres

Vieux Carre Commission

February 16, 2022





601 Iberville/ 201 Chartres

Vieux Carre Commission

February 16, 2022





601 Iberville/ 201 Chartres

Vieux Carre Commission

February 16, 2022





205 Chartres

Vieux Carre Commission

February 16, 2022



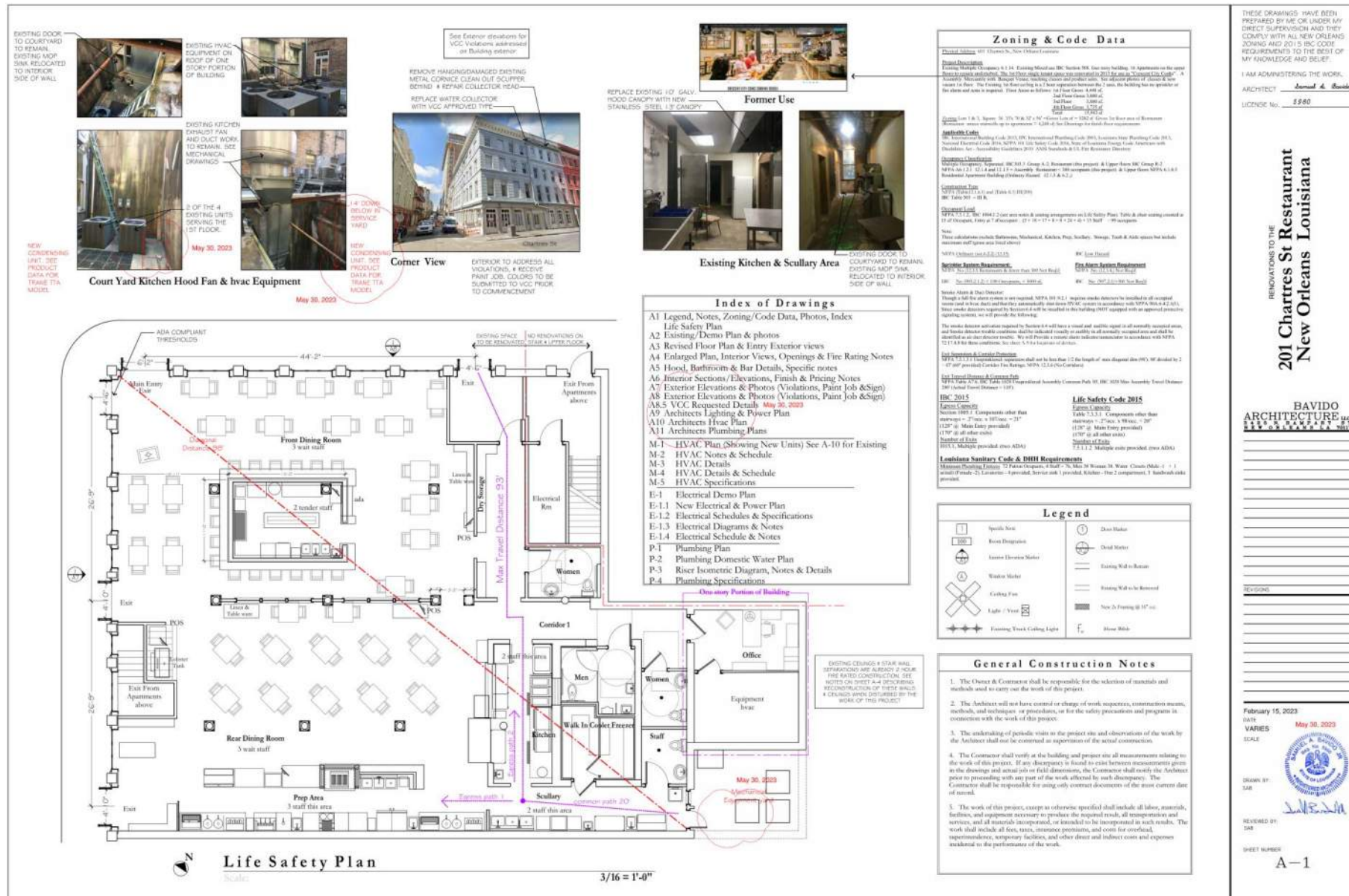


205 Chartres

Vieux Carre Commission

February 16, 2022





201 & 205-07 Chartres

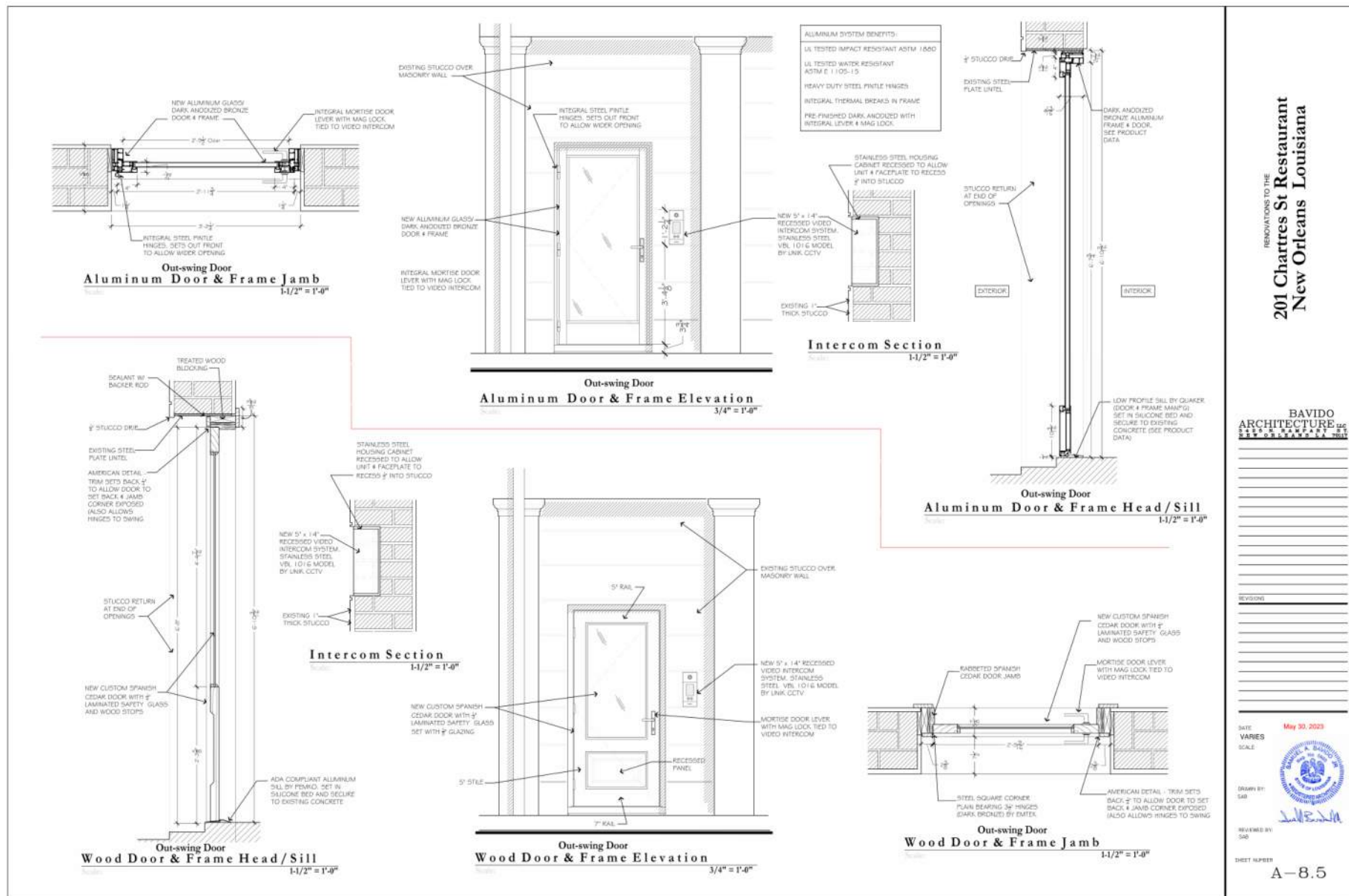
Vieux Carre Commission

February 16, 2022



BAVIDO
ARCHITECTURE LLC
3425 N. RAMPART ST.
NEW ORLEANS LA 70117





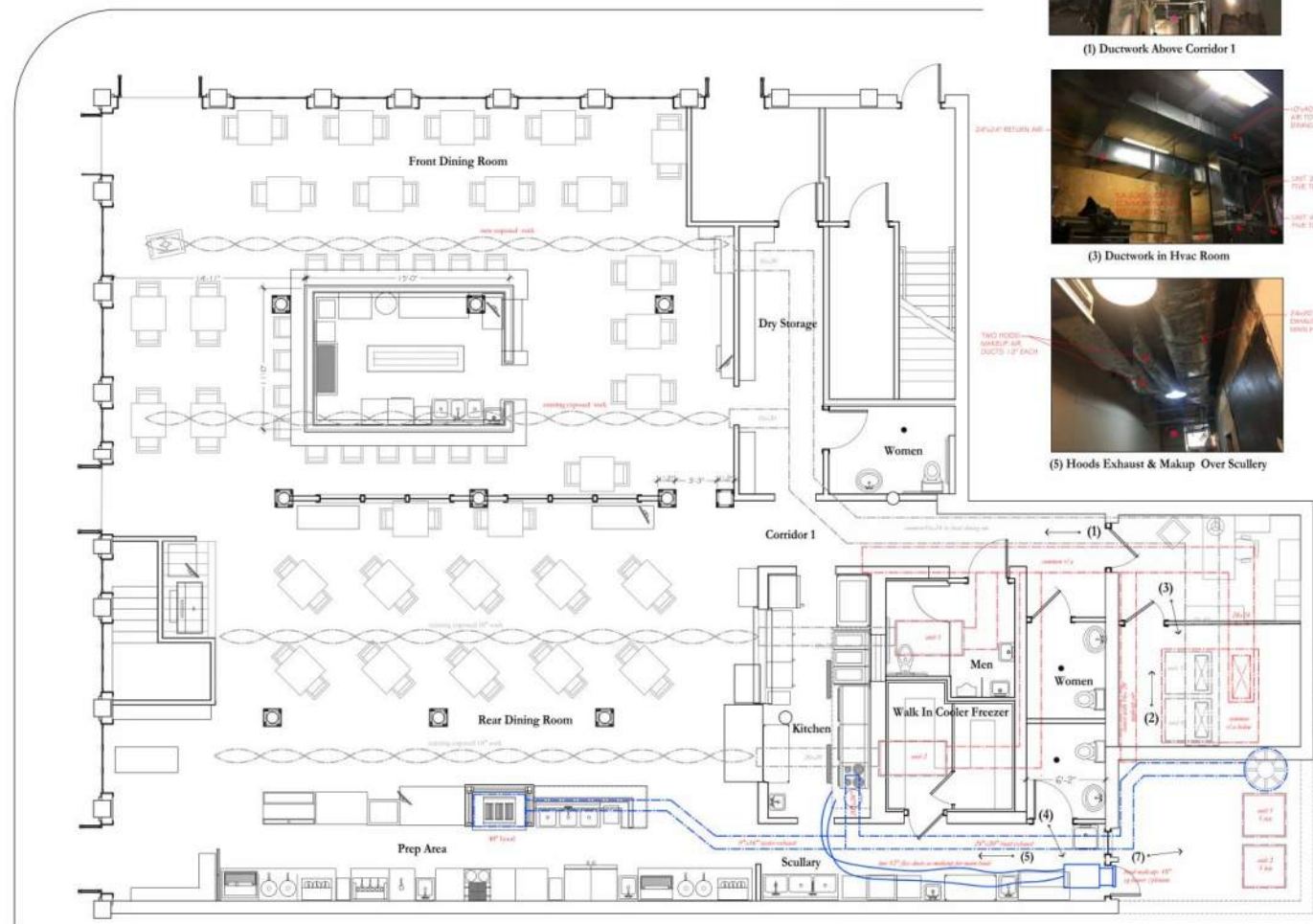
201 & 205-07 Chartres

Vieux Carre Commission

February 16, 2022



RENOVATIONS TO THE 201 Chartres St Restaurant New Orleans Louisiana



Ground Level Existing Hvac Plan
Scale: 1/4" = 1'-0"

(1) Ductwork Above Corridor 1

(2) Return Air & Supply At Hvac Room

(3) Ductwork in Hvac Room

(4) Main Hood Makeup Air

(5) Hoods Exhaust & Makeup Over Scullery

(6) Units 3 & 4 on Roof Serve Front Dining Rm

(7) Units 1 & 2 Serve Back Dining Rm

BAVIDO
ARCHITECTURE
INC.
February 15, 2023
DATE

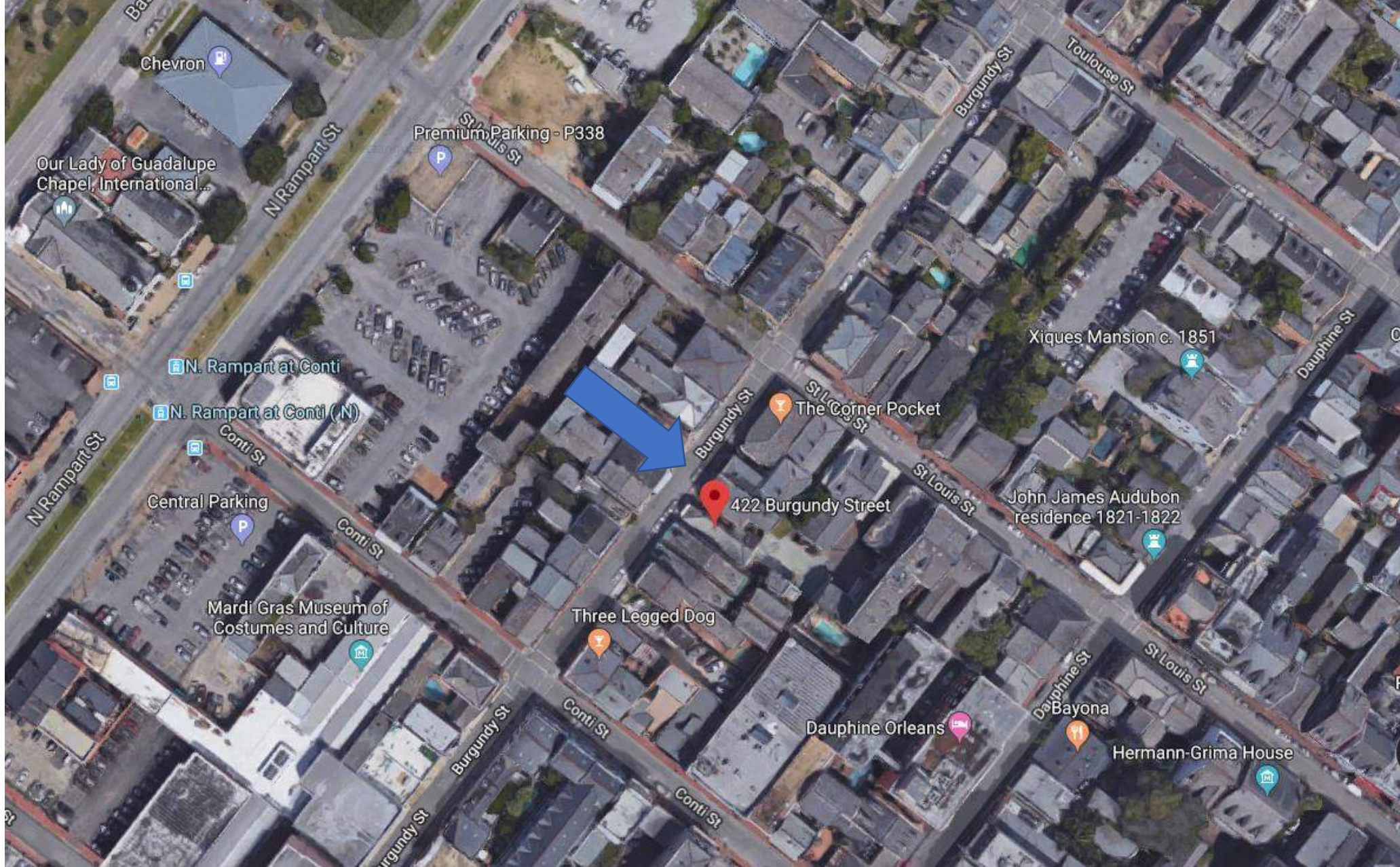
Drawn BY: SAG
Reviewed BY:
SHEET NUMBER

A-10





422 Burgundy



422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy - 2008

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023



422 Burgundy

VCC Architecture Committee



06 07 2023

June 13, 2023





422 Burgundy

VCC Architecture Committee

06 07 2023

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023





422 Burgundy

VCC Architecture Committee

June 13, 2023



422 BURGUNDYDAUPHINE ELEVATION OF REAR BUILDINGLOWER STUCCO WORK

AREAS TO BE REPAIRED AS MARKED ON PICTURE
(NO ADDITION STUCCO TO BE APPLIED ABOVE
EXISTING LEVEL.) BACK TO SOUND MATERIALS
PER VCC STANDARDS

AFTER STUCCO HAS CURED, IT WILL BE PAINTED
TO MATCH EXISTING COLOR

UPPER BRICKWORK

AREAS #1 & #2

REPLACE ANY CRACKED / BROKEN / MISSING BRICK
WITH IN-KIND BRICK, PER VCC STANDARDS
REMOVE ANY VEGETATION GROWING FROM MASONRY

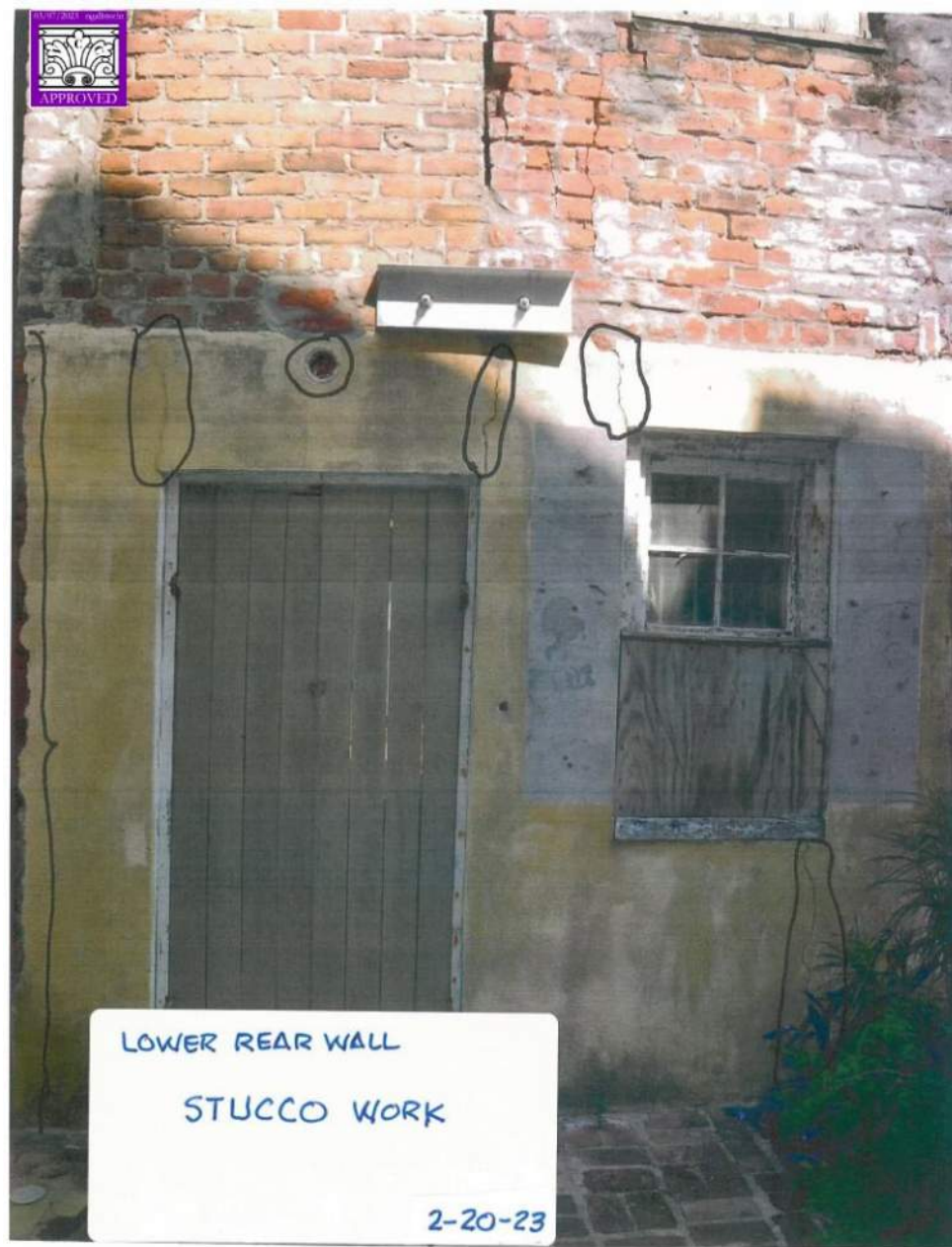
AREAS #3 & #4

THESE AREAS ARE TYPICAL FOR REPOINTING MASONRY
PER VCC STANDARDS

ADDITIONAL WORK TO FOLLOW AFTER VCC
ARCHITECTURE COMMITTEE REVIEW.

2

2-20-23

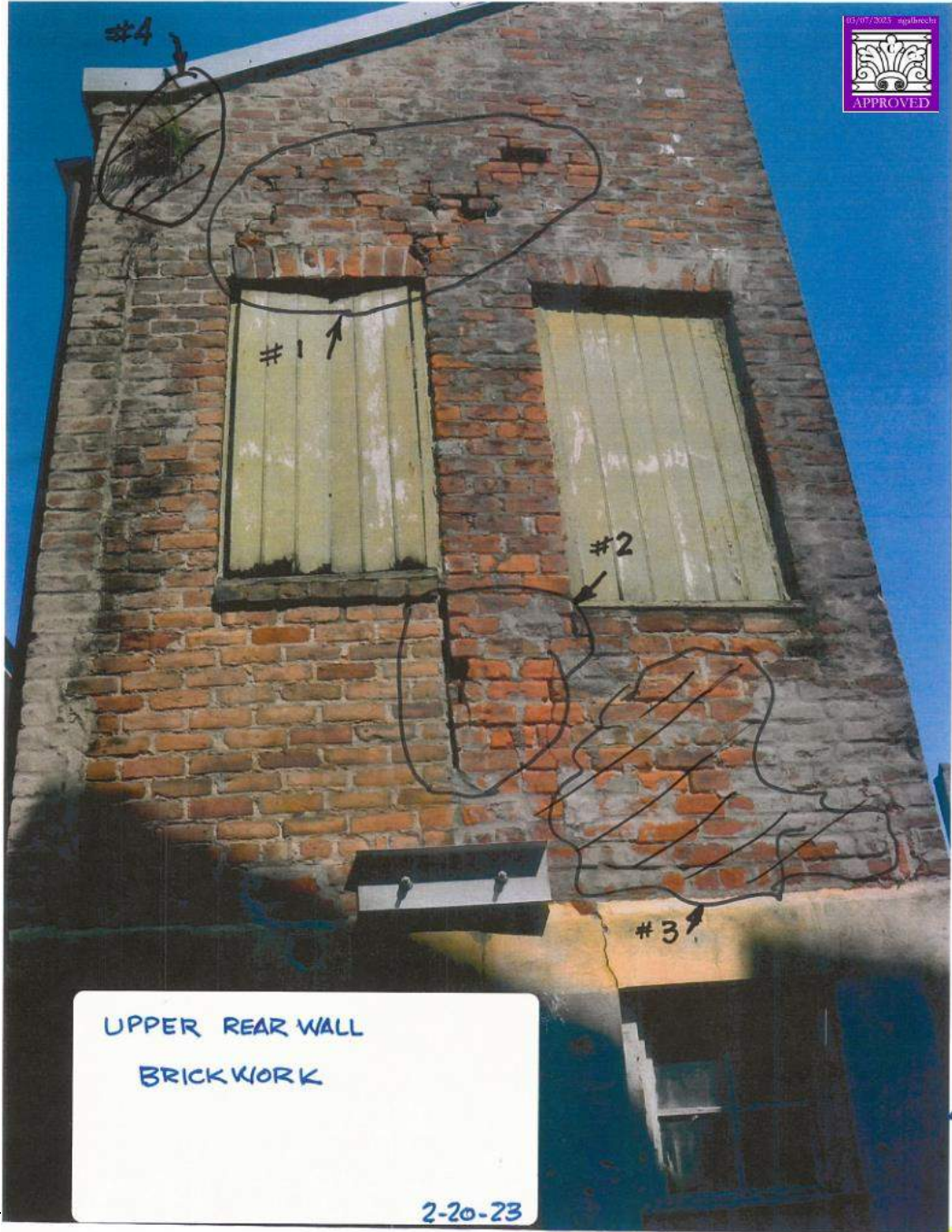


422 Burgundy – Previously Approved Work

VCC Architecture Committee

June 13, 2023





422 Burgundy – Previously Approved Work
VCC Architecture Committee



June 13, 2023

422 BURGUNDY

DAUPHINE WALL ELEVATION OF REAR BUILDING

PROPOSED MILLWORK SCOPE — UPON RECEIPT OF
SHOP DRAWINGS

GROUND ELEVATION

INSTALL DOOR AND SHUTTERS

INSTALL WINDOW AND SHUTTERS

SECOND FLOOR

INSTALL SHUTTERS ON BOTH WINDOW OPENINGS

WINDOWS ARE NOT INCLUDED, AS THERE WERE
NONE EXISTING WHEN WE PURCHASED THE PROPERTY
(GRANDFATHERED)

BALCONY

IMRE HEGEDUS (ARCHITECT AND FORMER MEMBER
OF THE VCC) MADE A VISIT AND TOLD US THE
FORMOSAN TERMITE DAMAGE DONE TO THE BALCONY
WAS DANGEROUS AND SHOULD BE REMOVED IMMEDIATELY
HE ALSO RECOMMENDED TO HIRE AN ENGINEERING



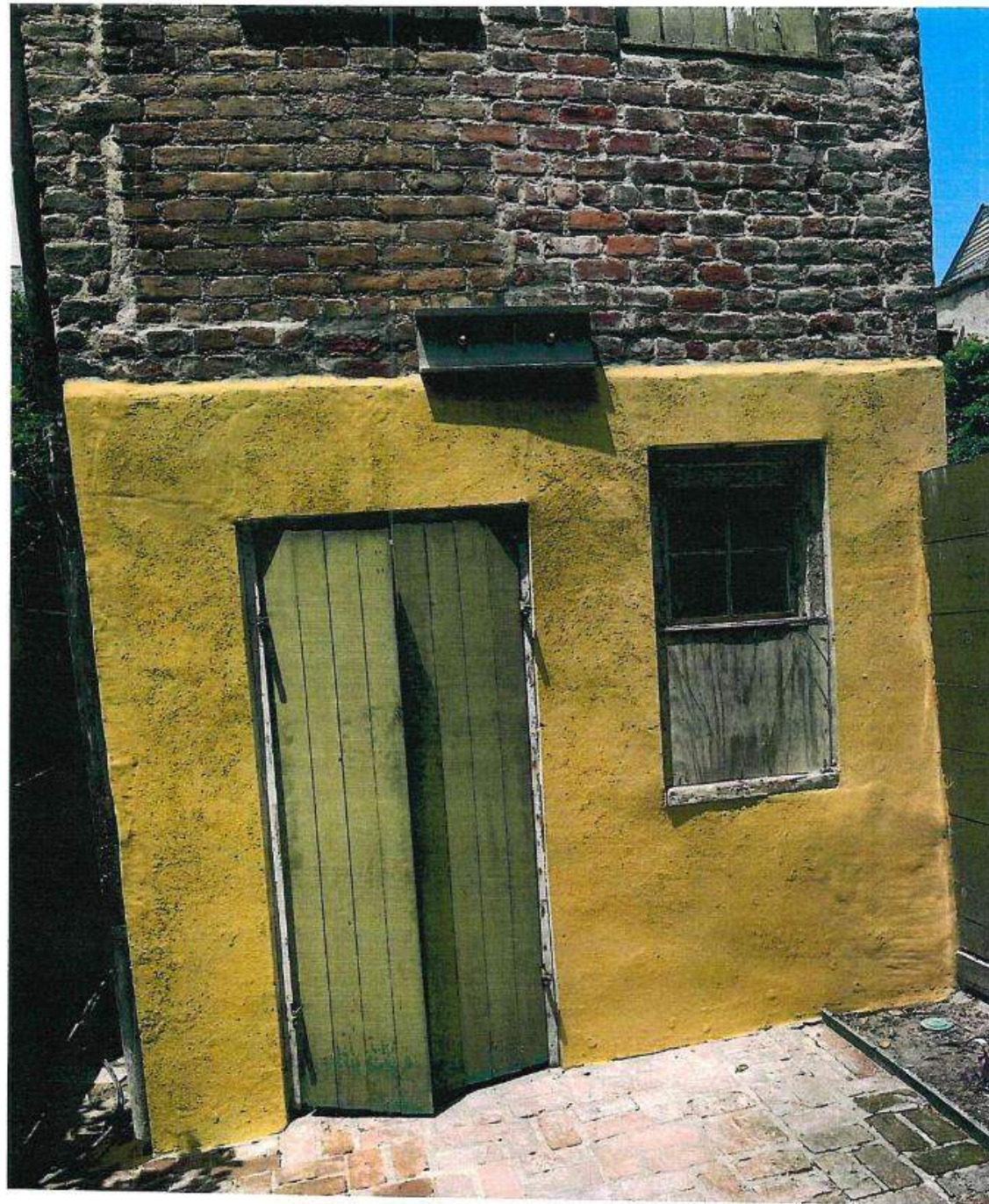
2 of 2

FIRM TO STABILIZE THE BUILDING BECAUSE
OF TERMITE DAMAGE.

POOLE ENGINEERING WAS HIRED AND THE
STRUCTURAL TIES WERE INSTALLED IN THE
MID 1990'S ALONG WITH STRUCTURAL 8"
CHANNEL IRON TO EXISTING FORMOSAN TERMITE
DAMAGED CYPRESS BEAMS.

(GRAND FATHERED)



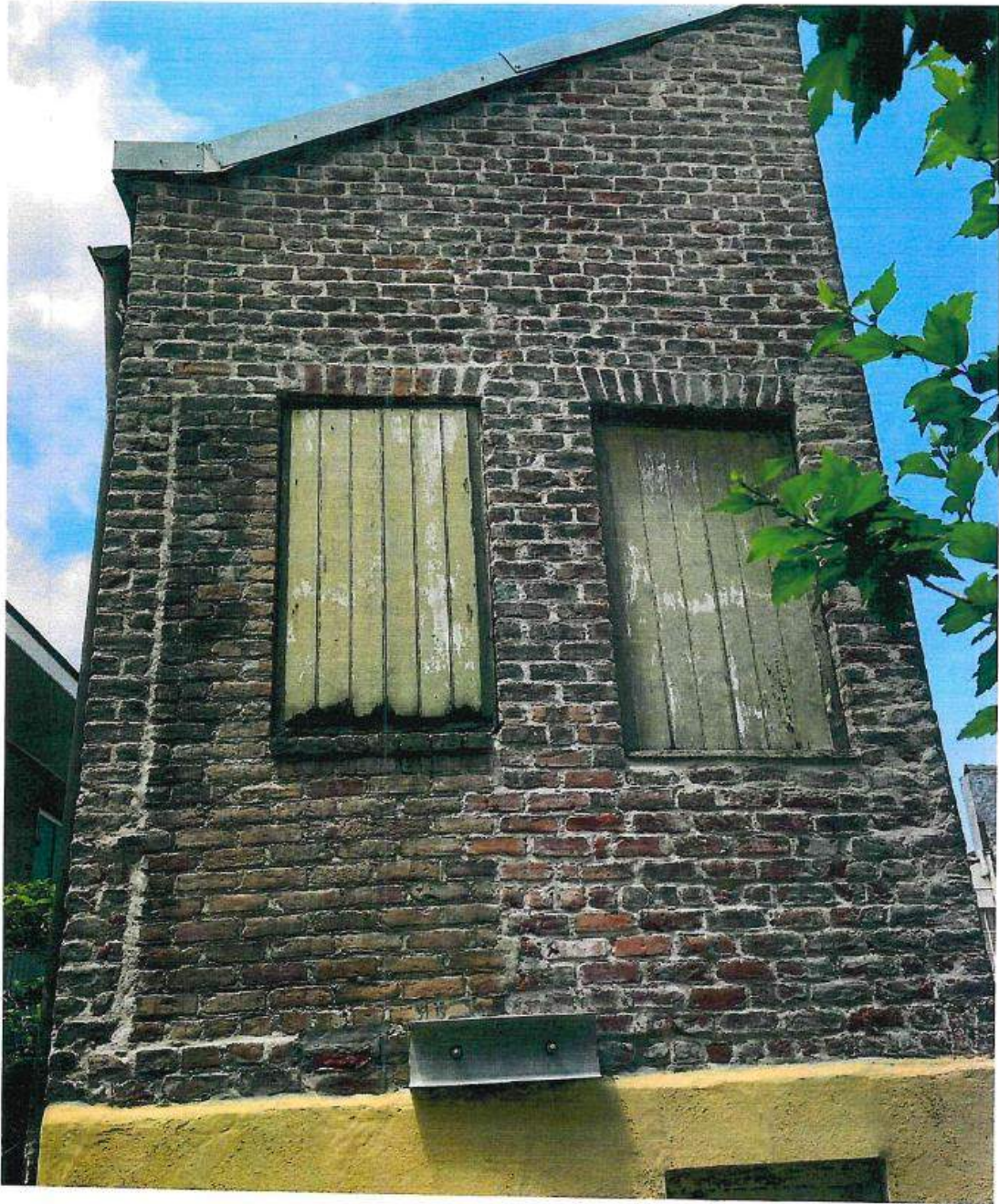


422 Burgundy

VCC Architecture Committee

June 13, 2023



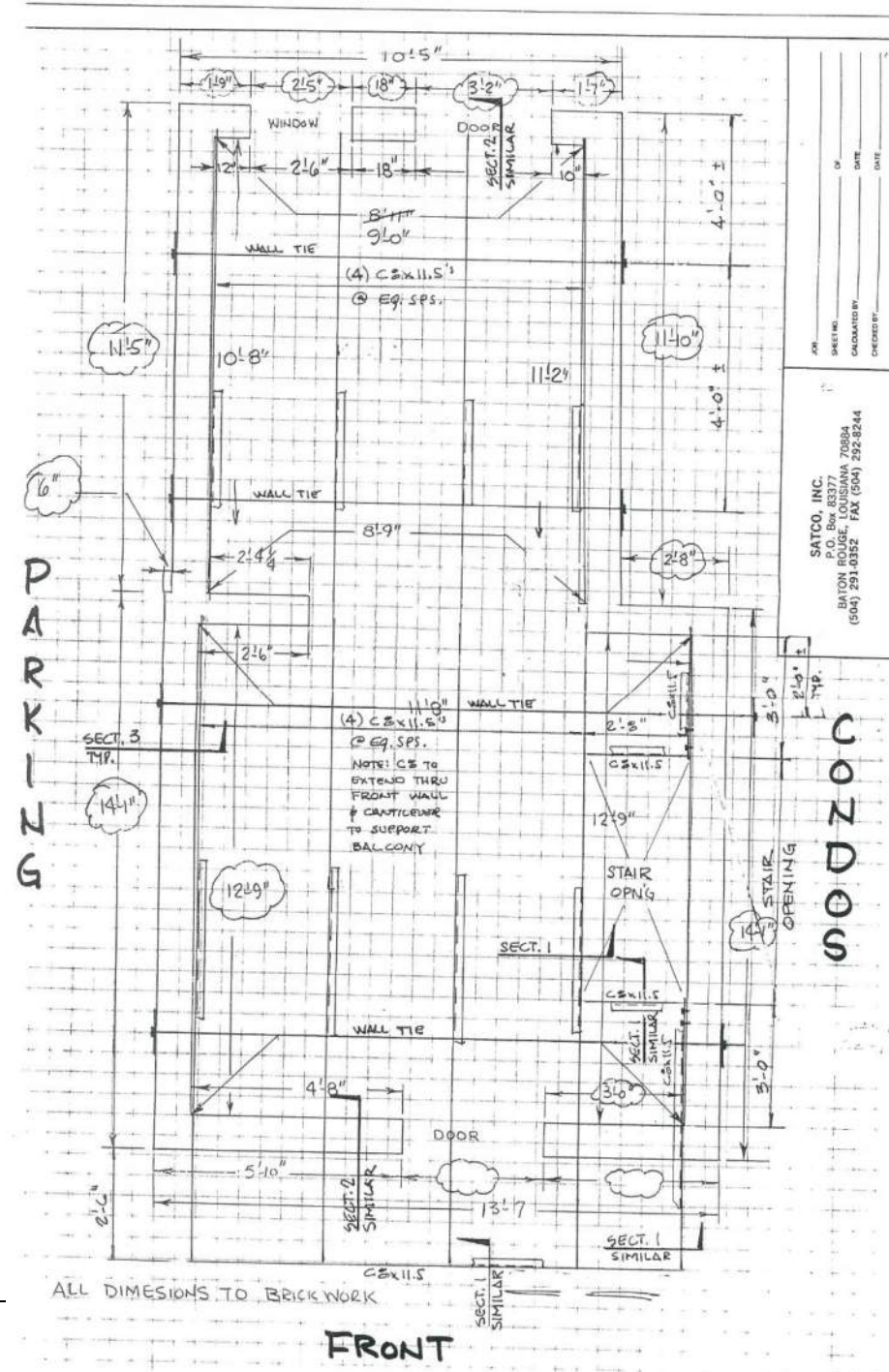


422 Burgundy

VCC Architecture Committee

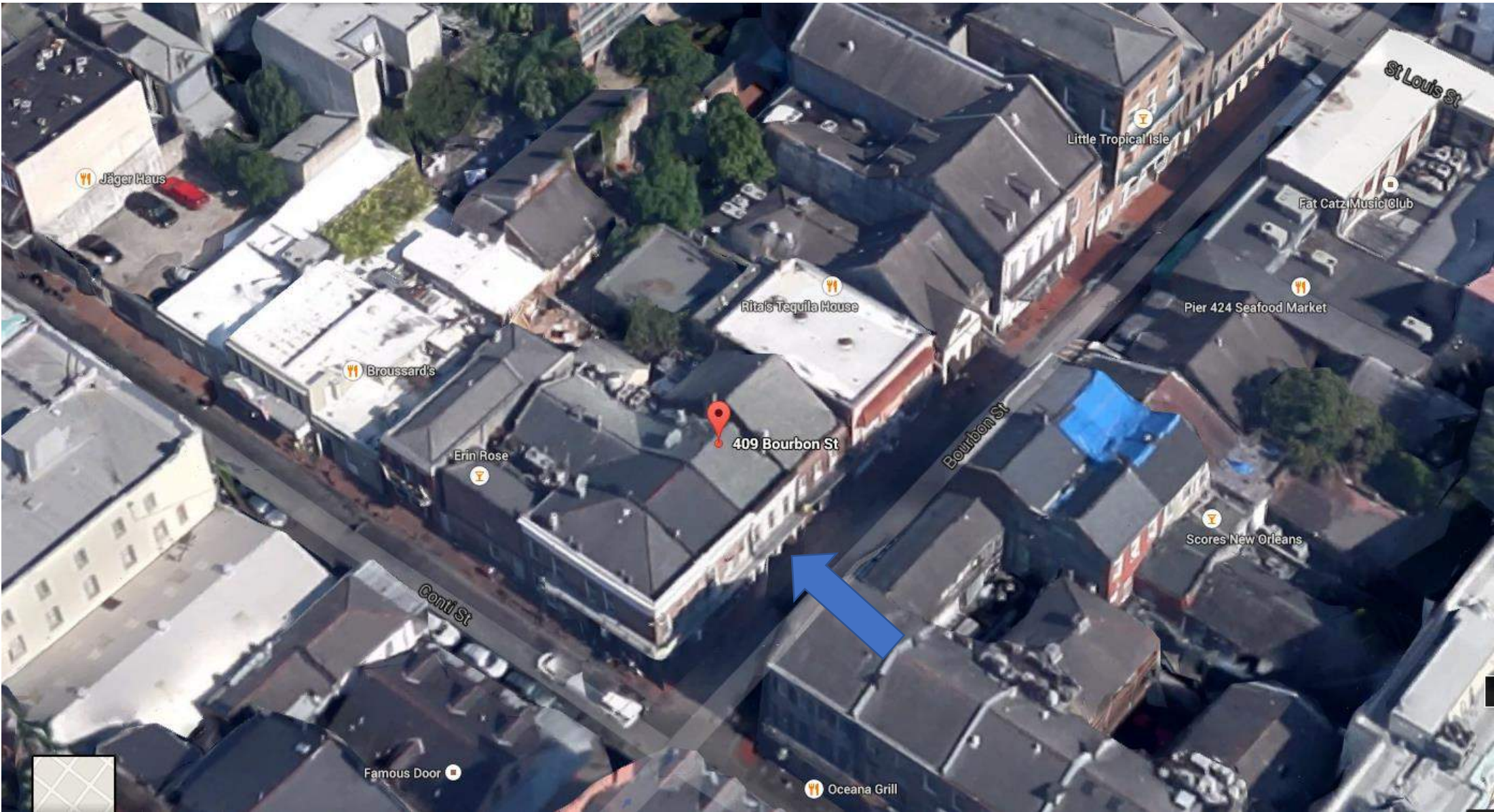
June 13, 2023

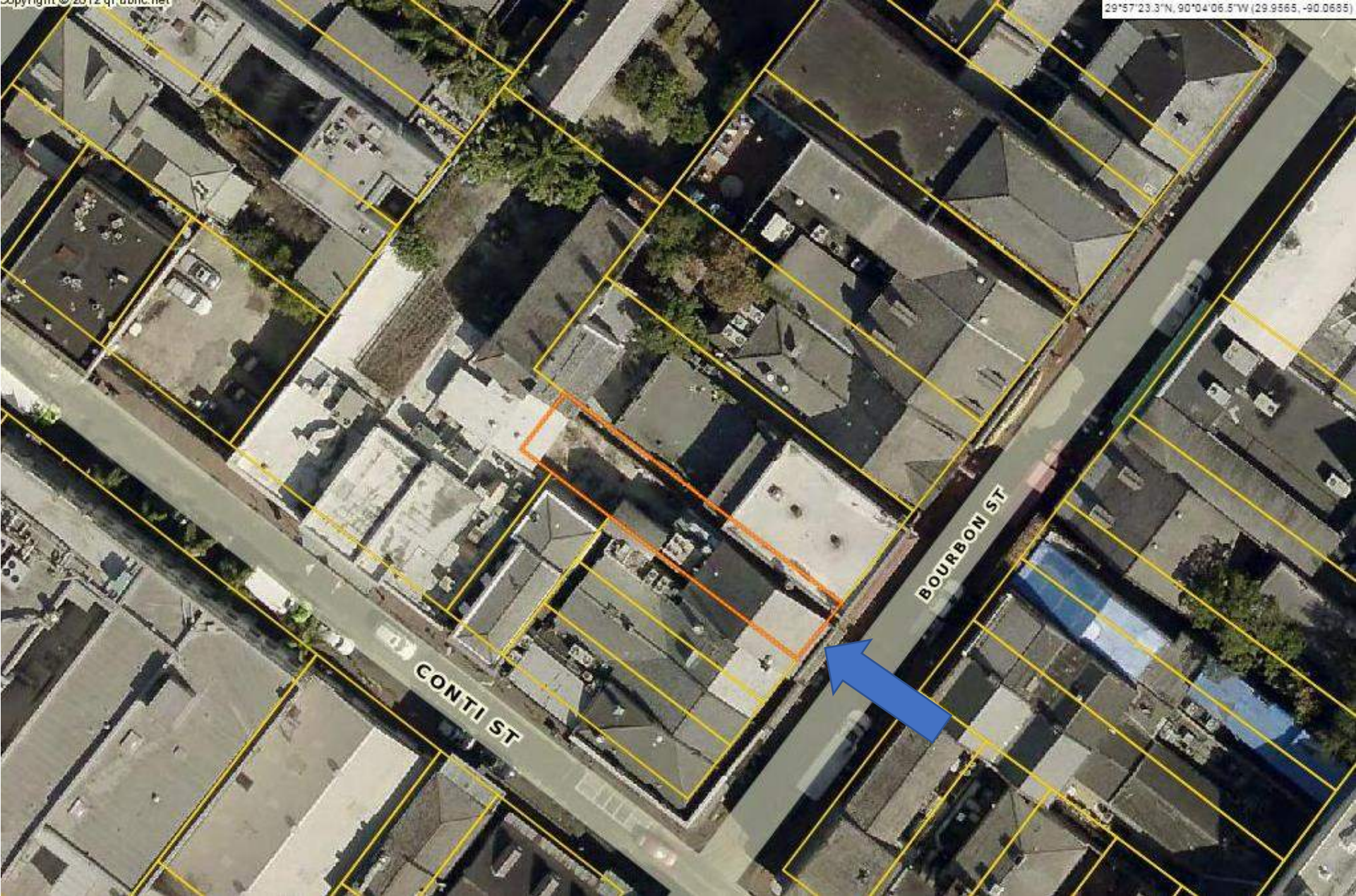




The background of the slide features a large, faint, light-gray watermark of the Virginia State Seal. The seal is circular and contains the text "VIRGINIA CARRE COMMISSIO" at the top and "ESTABLISHED 1786" at the bottom. In the center is a shield with a plow, a sheaf of wheat, and a bundle of tobacco.

409 Bourbon





409 Bourbon

VCC Architecture Committee

June 13, 2023





409 Bourbon

VCC Architecture Committee

June 13, 2023





409 Bourbon, 1963
VCC Architecture Committee

June 13, 2023





409 Bourbon

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409 Bourbon, 2010

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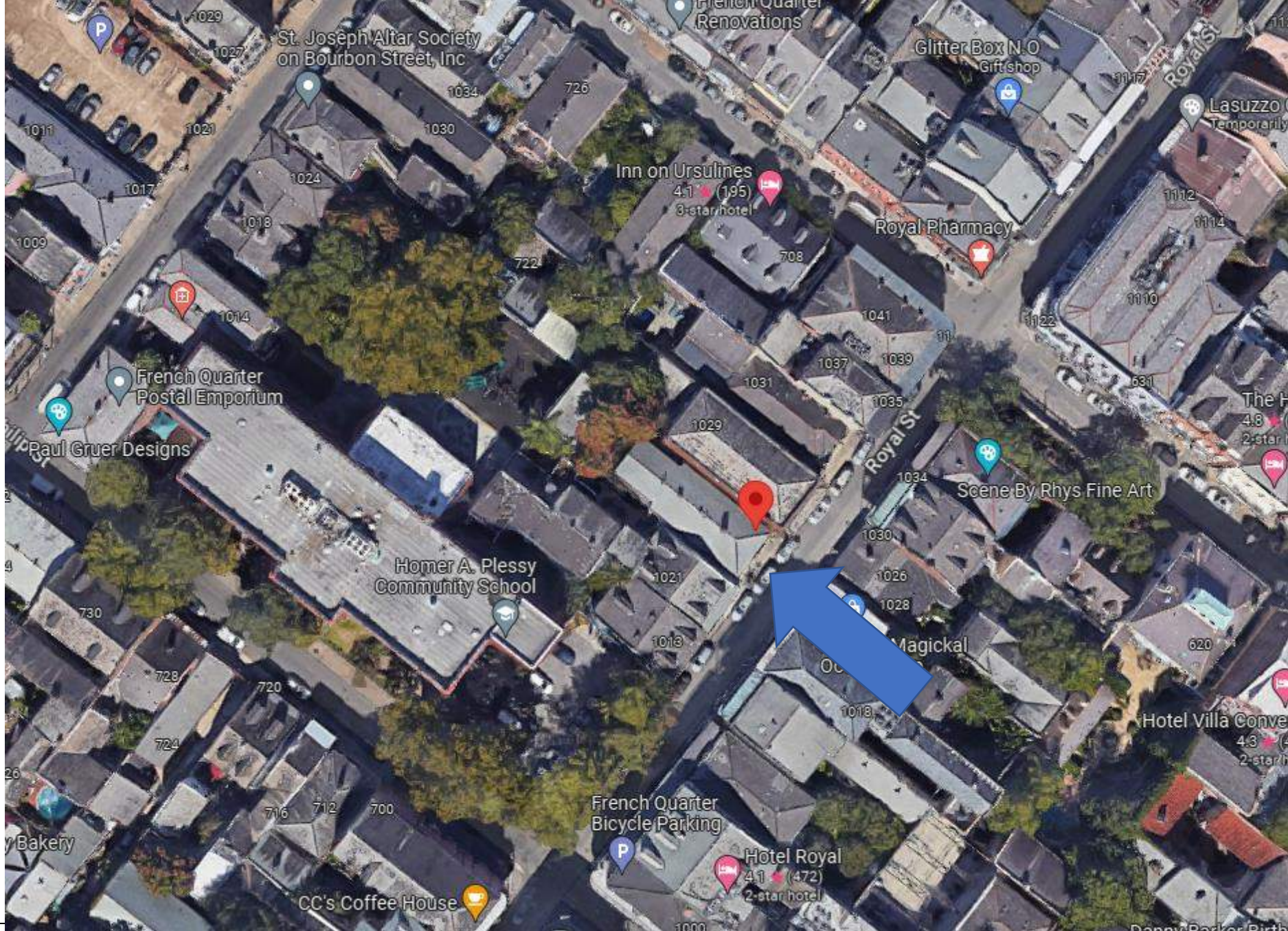
VCC Architecture Committee

June 13, 2023





1025 Royal



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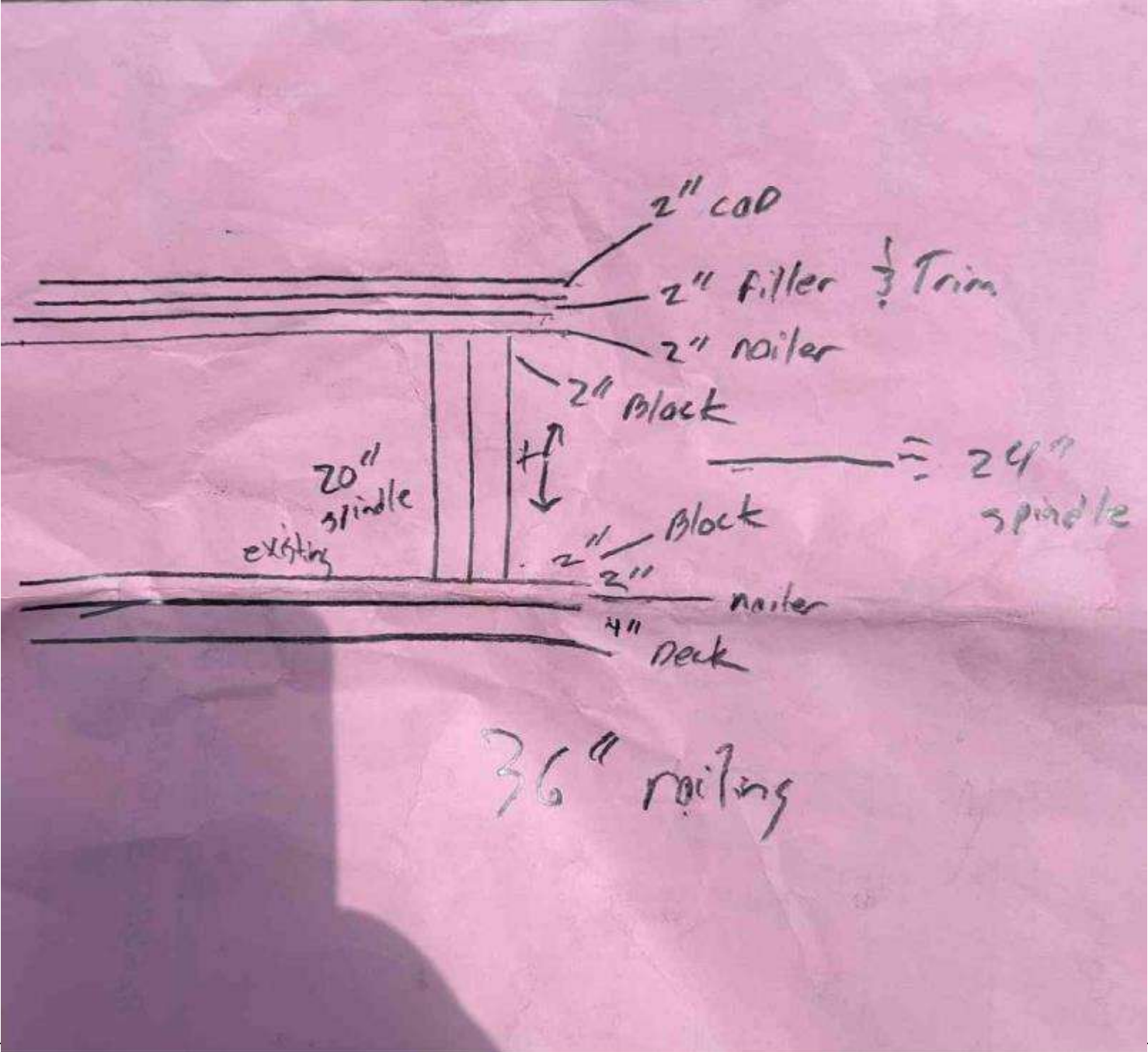


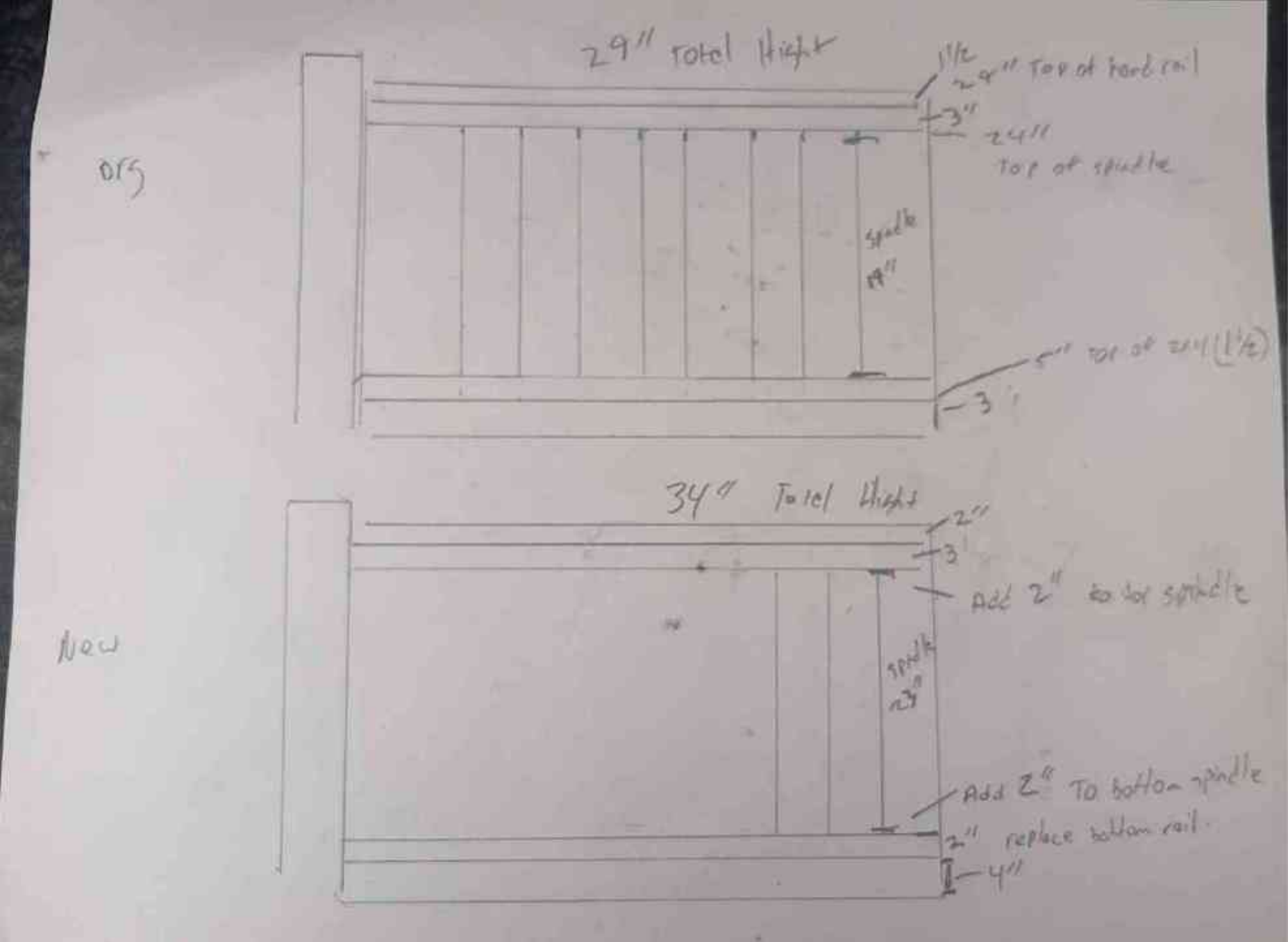
<h2 style="margin: 0;">Flowers construction LLC</h2>		<h3 style="margin: 0;">Estimate</h3>	
For:	Thomas Brown 1025 Royal St., New Orleans, LA (225) 229-1739	Estimate No:	32
		Date:	05/01/2023

Description	Quantity	Rate	Amount
Repair porch 28' x 7 1/2' porch. Remove curled and rotted wood, prep and prime, all sides, reinstall and paint porch boards. Side partition walls, replace rotted wood, reinstall, and paint. Skirt board trim, replace rotted, trim and paint handrail repair, add 3 inches to spindles and replace rotted wood Materials needed \$1000 for new boards, fasteners and paint materials. 2 Carpenters for two weeks \$40 per hour per Carpenter	80	\$80.00	\$6,400.00
Materials \$1000	1	\$1,000.00	\$1,000.00
Subtotal			\$7,400.00
TAX 0%			\$0.00
Total			\$7,400.00

	Total	\$7,400.00
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VCC Architecture Committee

05 25 2023

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