



# Vieux Carré Commission Architecture Committee Meeting

Tuesday, June 27, 2023

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" along the bottom arc.

# Old Business



The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The inner circle features a stylized architectural design with vertical columns and decorative elements.

**535 Barracks**



535 Barracks

VCC Architecture Committee

June 27, 2023







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535 Barracks, ca. 1950s

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535 Barracks, ca. 1960s

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535 Barracks –  
View from gate

VCC Architecture Committee



04 22 2020



June 27, 2023



535 Barracks –  
View from gate

VCC Architecture Committee



June 27, 2023







535 Barracks

VCC Architecture Committee

June 27, 2023







535 Barracks  
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June 27, 2023







535 Barracks

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June 27, 2023







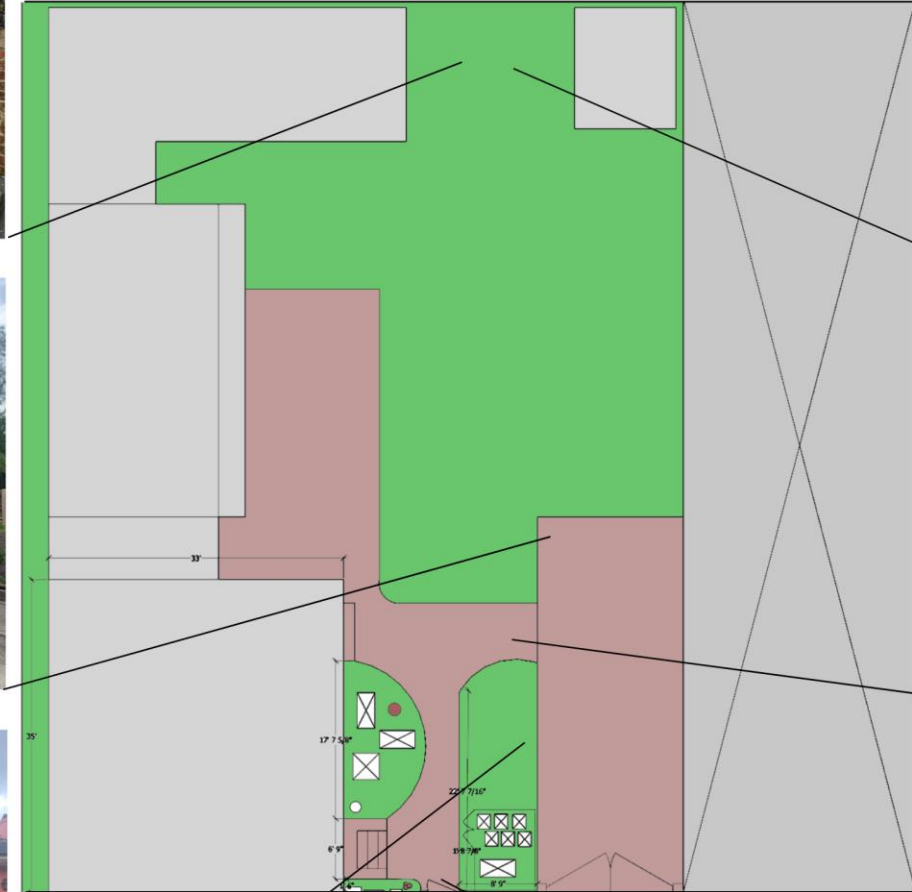
535 Barracks

VCC Architecture Committee

June 27, 2023







535 Barracks  
Generator Placment

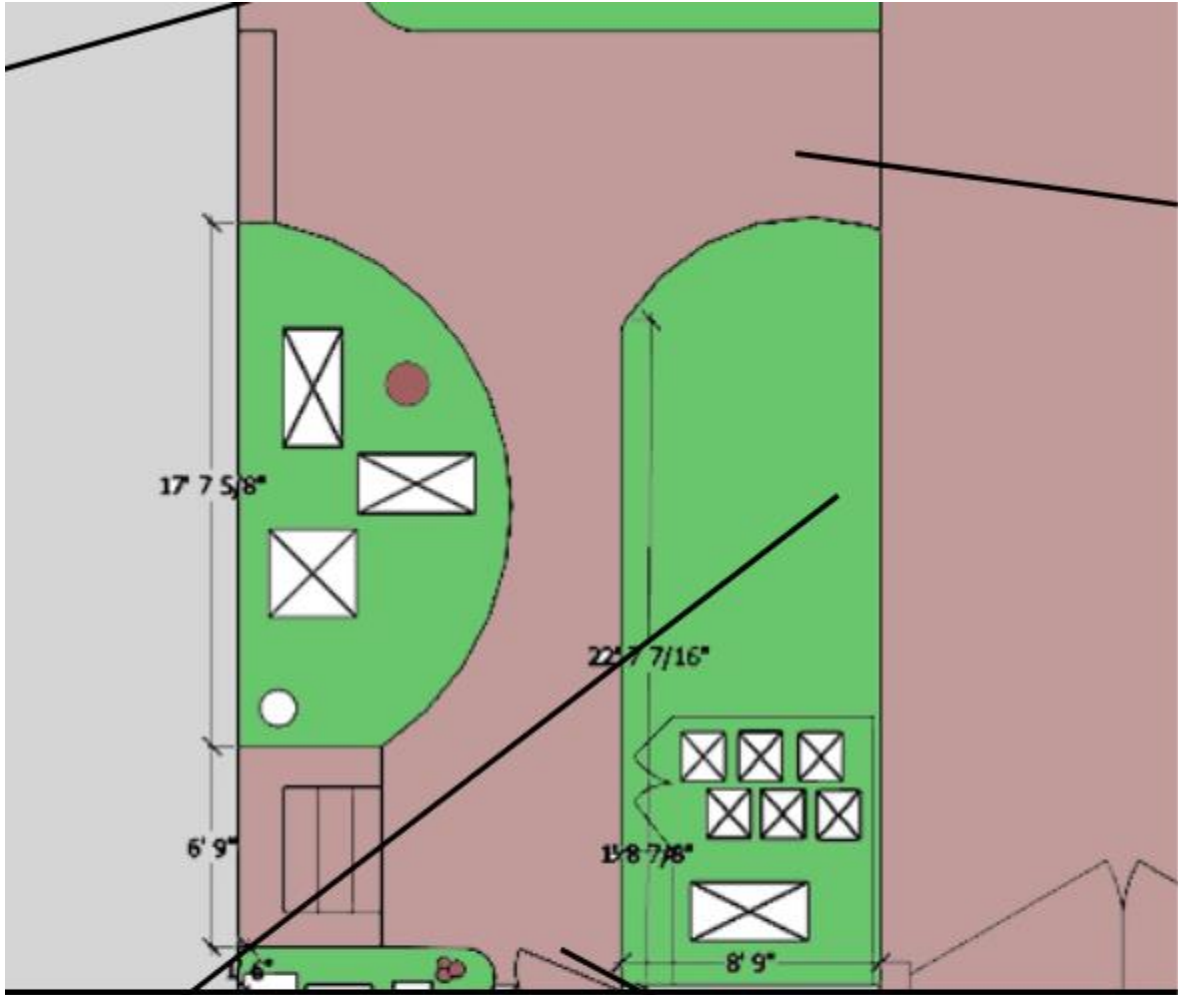


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June 27, 2023





# 535 Barracks Generator Placment





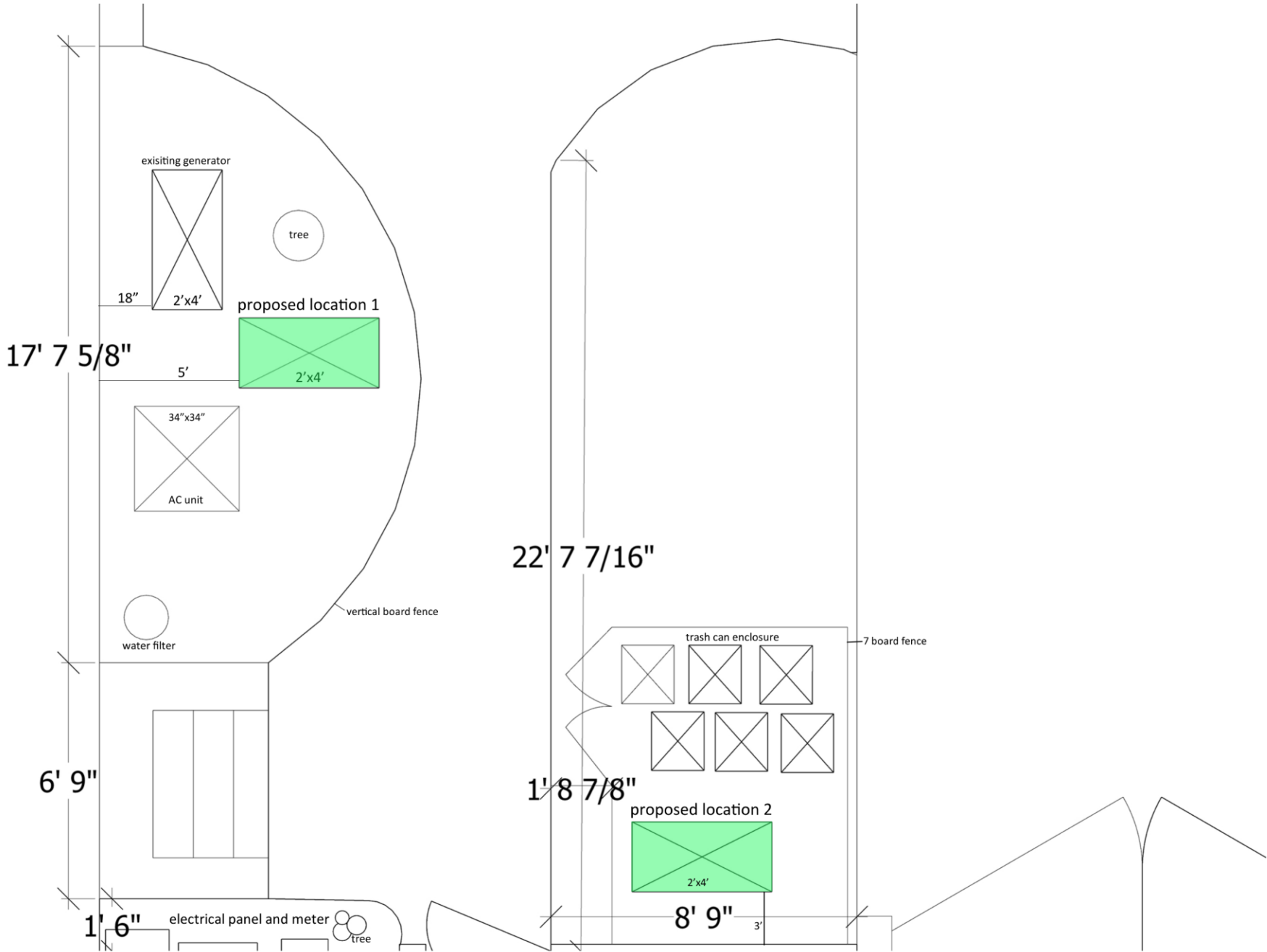


535 Barracks

VCC Architecture Committee

June 27, 2023







# 20/22/24 kW

## GENERAC®

### GUARDIAN® SERIES

Residential Standby Generators

Air-Cooled Gas Engine

#### INCLUDES:

- True Power™ Electrical Technology
- Two-line multilingual digital LCD Evolution™ controller (English/Spanish/French/Portuguese)
- 200 amp service rated transfer switch available
- Electronic governor
- Standard Wi-Fi® connectivity
- System status & maintenance interval LED indicators
- Sound attenuated enclosure
- Flexible fuel line connector
- Natural gas or LP gas operation
- 5 Year limited warranty
- Listed and labeled by the Southwest Research Institute allowing installation as close as 18 in (457 mm) to a structure.\*  
\*Must be located away from doors, windows, and fresh air intakes and in accordance with local codes.  
[https://assets.swri.org/library/DirectoryOfListedProducts/ConstructionIndustry/973\\_DoC\\_204\\_13204-01-01\\_Rev9.pdf](https://assets.swri.org/library/DirectoryOfListedProducts/ConstructionIndustry/973_DoC_204_13204-01-01_Rev9.pdf)

#### Standby Power Rating

G007038-1, G007039-1, G007038-3, G007039-3 (Aluminum - Bisque) - 20 kW 60 Hz  
G007042-2, G007043-2, G007042-3, G007043-3 (Aluminum - Bisque) - 22 kW 60 Hz  
G007209-0, G007210-0 (Aluminum - Bisque) - 24 kW 60 Hz



Note: ETL or CUL certification only applies to unbundled units and units packaged with limited circuit switches. Units packaged with the Smart Switch are ETL or UL certified in the USA only.

#### FEATURES

- **INNOVATIVE ENGINE DESIGN & RIGOROUS TESTING** are at the heart of Generac's success in providing the most reliable generators possible. Generac's G-Force engine lineup offers added peace of mind and reliability for when it's needed the most. The G-Force series engines are purpose built and designed to handle the rigors of extended run times in high temperatures and extreme operating conditions.
- **TRUE POWER™ ELECTRICAL TECHNOLOGY:** Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.
- **TEST CRITERIA:**
  - ✓ **PROTOTYPE TESTED**      ✓ **NEMA MG1-22 EVALUATION**
  - ✓ **SYSTEM TORSIONAL TESTED**      ✓ **MOTOR STARTING ABILITY**
- **MOBILE LINK® CONNECTIVITY:** FREE with select Guardian Series Home standby generators, Mobile Link Wi-Fi allows users to monitor generator status from anywhere in the world using a smartphone, tablet, or PC. Easily access information such as the current operating status and maintenance alerts. Users can connect an account to an authorized service dealer for fast, friendly, and proactive service. With Mobile Link, users are taken care of before the next power outage.
- **SOLID-STATE, FREQUENCY COMPENSATED VOLTAGE REGULATION:** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. Digital voltage regulation at ±1%.
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES:** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is that the GENERAC product line is offered with its own transfer systems and controls for total system compatibility.
- **PWRVIEW™ TRANSFER SWITCH:** The Generac PWRview Automatic Transfer Switch integrates the PWRview energy monitor to provide real-time energy consumption data that can help lower a home's electricity bill. Using a convenient mobile app, homeowners can access energy usage and alert information while under utility power or generator power. The PWRview energy monitor is a simple to use and low cost tool which helps save money over the life of the generator. Included with model G007210-0.

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THE GENERAC  
PROMISE



GENERAC

PWRVIEW

June 27, 2023



**20/22/24 kW**

**Features and Benefits**

**Engine**

- Generac G-Force design
- "Spiny-lok" cast iron cylinder walls
- Electronic ignition/spark advance
- Full pressure lubrication system
- Low oil pressure shutdown system
- High temperature shutdown

Maximizes engine "breathing" for increased fuel efficiency. Plateau honed cylinder walls and plasma moly rings help the engine run cooler, reducing oil consumption and resulting in longer engine life.

Rigid construction and added durability provide long engine life.

These features combine to assure smooth, quick starting every time.

Pressurized lubrication to all vital bearings means better performance, less maintenance, and longer engine life. Now featuring up to a 2 year/200 hour oil change interval.

Shutdown protection prevents catastrophic engine damage due to low oil.

Prevents damage due to overheating.

**Generator**

- Revolving field
- Skewed stator
- Displaced phase excitation
- Automatic voltage regulation
- UL 2200 listed

Allows for a smaller, light weight unit that operates 25% more efficiently than a revolving armature generator.

Produces a smooth output waveform for compatibility with electronic equipment.

Maximizes motor starting capability.

Regulating output voltage to  $\pm 1\%$  prevents damaging voltage spikes.

For your safety.

**Transfer Switch (if applicable)**

- Fully automatic
- NEMA 3R
- Integrated load management technology
- Remote mounting

Transfers vital electrical loads to the energized source of power.

Can be installed inside or outside for maximum flexibility.

Capability to manage additional loads for efficient power management.

Mounts near an existing distribution panel for simple, low-cost installation.

**PWRview Transfer Switch (if applicable)**

- PWRview energy monitor
- Ability to view real-time energy consumption data
- PWRview mobile app

Energy usage at-a-glance.

Better understand the home's energy profile.

Access daily energy intelligence and insights.

**Evolution™ Controls**

- AUTO/MANUAL/OFF illuminated buttons
- Two-line multilingual LCD
- Sealed, raised buttons
- Utility voltage sensing
- Generator voltage sensing
- Utility interrupt delay
- Engine warm-up
- Engine cool-down
- Programmable exercise

Selects the operating mode and provides easy, at-a-glance status indication in any condition.

Provides homeowners easily visible logs of history, maintenance, and events up to 50 occurrences.

Smooth, weather-resistant user interface for programming and operations.

Constantly monitors utility voltage, setpoints 65% dropout, 80% pick-up, of standard voltage.

Constantly monitors generator voltage to verify the cleanest power delivered to the home.

Prevents nuisance start-ups of the engine, adjustable 2-1500 seconds from the factory default setting of 5 seconds by a qualified dealer.

Verifies engine is ready to assume the load, setpoint approximately 5 seconds.

Allows engine to cool prior to shutdown, setpoint approximately 1 minute.

Operates engine to prevent oil seal drying and damage between power outages by running the generator for 5 minutes every other week. Also offers a selectable setting for weekly or monthly operation providing flexibility and potentially lower fuel costs to the owner.

Delivers charge to the battery only when needed at varying rates depending on outdoor air temperature.

Compatible with lead acid and AGM-style batteries.

Protects generator from overload.

Maintains constant 60 Hz frequency.

- Smart battery charger
- Main line circuit breaker
- Electronic governor



## GENERAC®

### Features and Benefits

#### 20/22/24 kW

##### Unit

- SAE weather protective enclosure
- Enclosed critical grade muffler
- Small, compact, attractive

Sound attenuated enclosures ensure quiet operation and protection against mother nature, withstanding winds up to 150 mph (241 km/h). Hinged key locking roof panel for security. Lift-out front for easy access to all routine maintenance items. Electrostatically applied textured epoxy paint for added durability.

Quiet, critical grade muffler is mounted inside the unit to prevent injuries.

Makes for an easy, eye appealing installation, as close as 18 in (457 mm) away from a structure.

##### Installation System

- 14 in (35.6 cm) flexible fuel line connector
- Integral sediment trap

Listed ANSI Z21.75/CSA 6.27 outdoor appliance connector for the required connection to the gas supply piping.

Meets IFGC and NFPA 54 installation requirements.

##### Connectivity (Wi-Fi equipped models only)

- Ability to view generator status
- Ability to view generator Exercise/Run and Total Hours
- Ability to view generator maintenance information
- Monthly report with previous month's activity
- Ability to view generator battery information
- Weather information

Monitor generator with a smartphone, tablet, or computer at any time via the Mobile Link application for complete peace of mind.

Review the generator's complete protection profile for exercise hours and total hours.

Provides maintenance information for the specific model generator when scheduled maintenance is due.

Detailed monthly reports provide historical generator information.

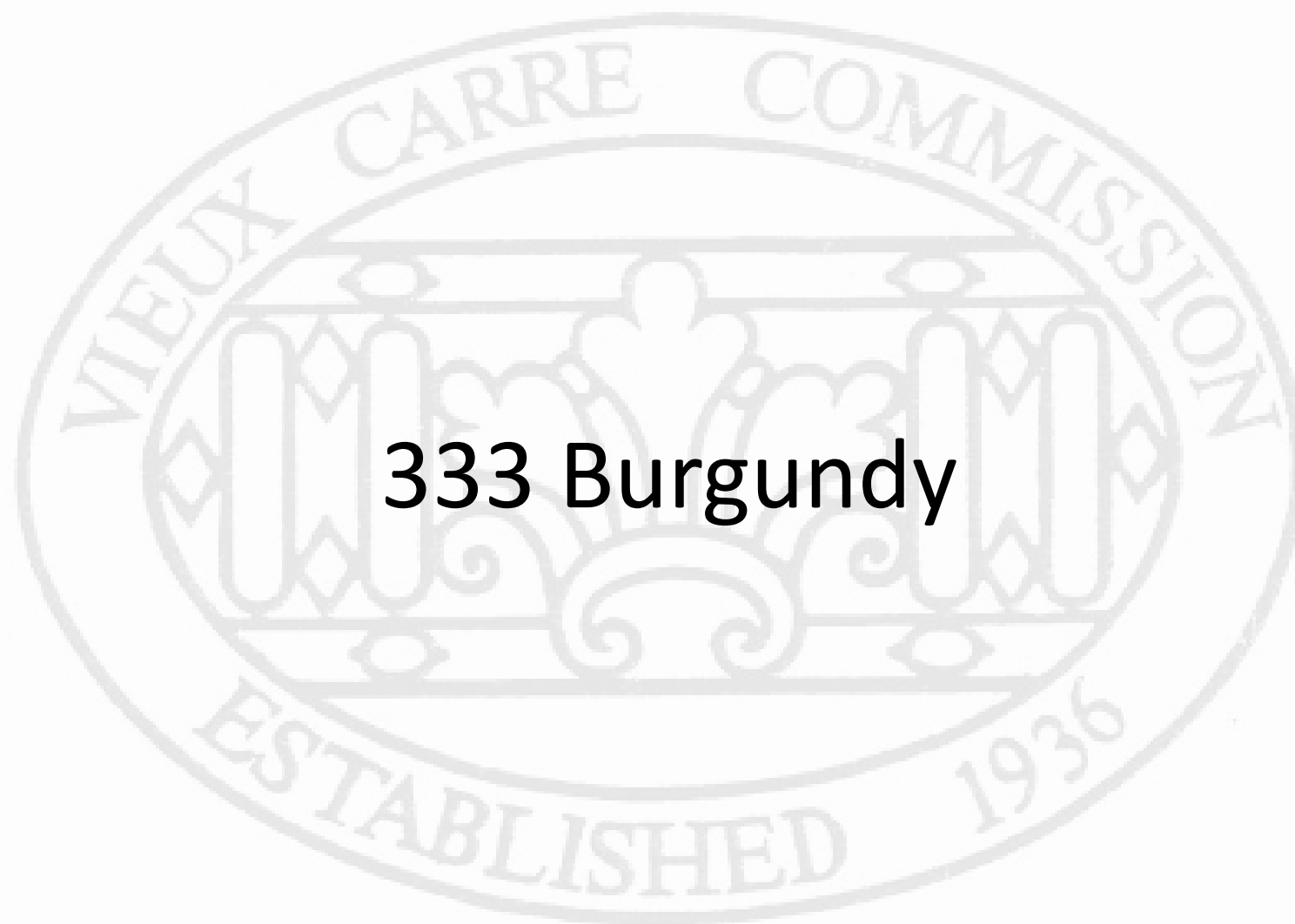
Built in battery diagnostics displaying current state of the battery.

Provides detailed local ambient weather conditions for generator location.





**New Business**



**333 Burgundy**





333 Burgundy







333 Burgundy - 1962

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June 27, 2023





333 Burgundy - 2005

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333 Burgundy - 2005





333 Burgundy - 2007

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333 Burgundy - 2016  
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June 27, 2023





333 Burgundy - 2017

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June 27, 2023







333 Burgundy - 2017

VCC Architecture Committee

June 27, 2023





333 Burgundy - 2017

VCC Architecture Committee

June 27, 2023





333 Burgundy

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June 27, 2023



333 Burgundy

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June 27, 2023



333 Burgun  
VCC Architect





333 Burgundy

VCC Architecture Committee



05 22 2023

June 27, 2023







333 Burgun  
VCC Architect

05 22 2023





ADDRESS  
 LouAnn Talavera  
 French Quarter Wedding Chapel  
 333 Burgundy St  
 New Orleans, LA 70112

SHIP TO  
 LouAnn Talavera  
 French Quarter Wedding Chapel

ESTIMATE 20-1979  
 DATE 11/01/2022

PHONE NUMBER:  
 5049152585

DATE	ACTIVITY	DESCRIPTION	QTY	RATE	AMOUNT
	New Awning	Frame type: 1"x1" Awning style: Californian Width: 19'-6" Drop: 2' Projection: 4' Rafters: Laced: N Number of rafters: N/A Truss: 6" Valance: 9" Style: straight Braid : TBD Fabric: Sunbrella Fabric #: 4608 Fabric color: Black Location : Front	1	3,083.20	3,083.20
	Deposit	50% deposit is due at time of contract signing, check, cash or credit card.  Non-refundable deposit.  This estimate includes labor materials and equipment necessary to install or as indicated above. Any changes or deviations from above specifications will involve additional cost. Estimate based upon standard Sunbrella fabric.  The balance is due upon completion of work.  All permits are the responsibility of the owner. All obstructions must be removed prior to work. All carpentry and electrical work excluded, not within our scope of work. Our workers are fully covered by Workman's Comp Insurance. Certificate of insurance is available upon request.	1	0.00	0.00

333 Burgundy

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## New Awning

Frame type: 1"x1"

1

Awning style: Californian

Width: 19'-6"

Drop: 2'

Projection: 4'

Rafters: Laced: N

Number of rafters: N/A

Truss: 6"

Valance: 9"      Style: straight

Braid : TBD

Fabric: Sunbrella

Fabric #: 4608

Fabric color: Black

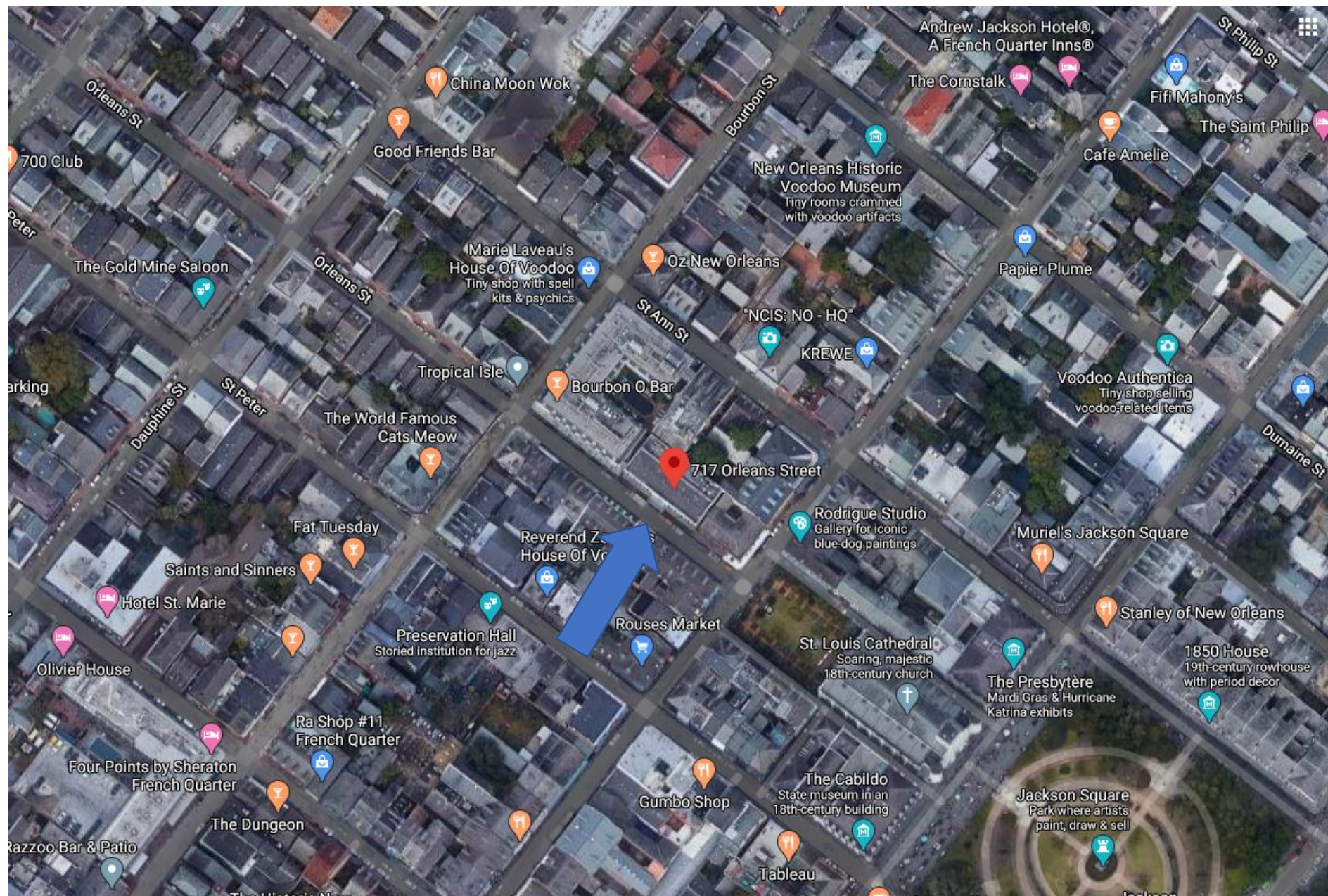
Location : Front



The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center features a stylized architectural design with vertical columns and a central decorative element.

717 Orleans





717 Orleans

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717 Orleans – ca. 1900

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June 27, 2023





717 Orleans – ca. 1940s

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June 27, 2023







717 Orleans – 1964

VCC Architecture Committee

June 27, 2023





717 Orleans – 1964

VCC Architecture Committee

June 27, 2023





717 Orleans

VCC Architecture Committee

June 27, 2023







717 Orleans

VCC Architecture Committee

June 27, 2023







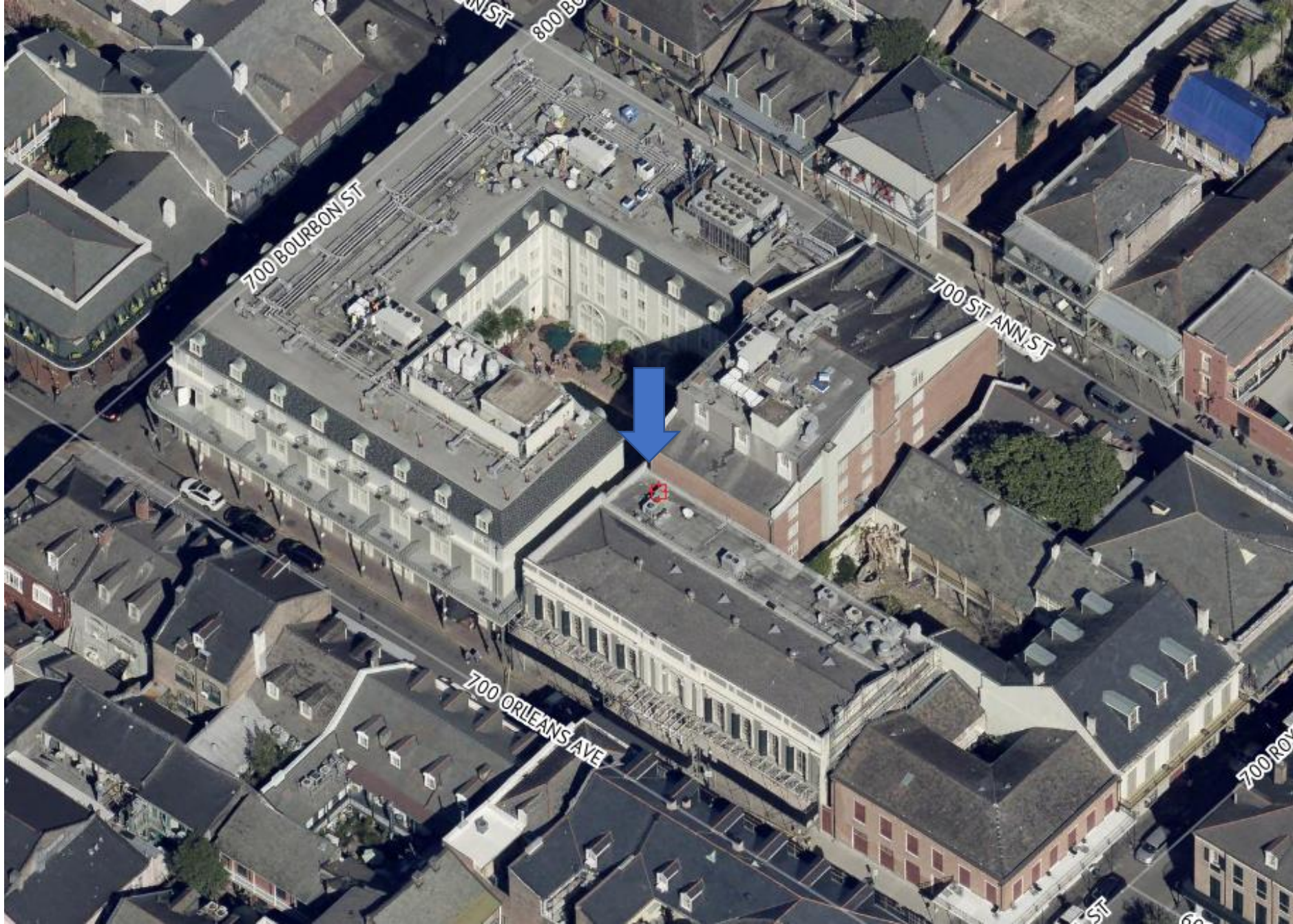
717 Orleans

VCC Architecture Committee

June 27, 2023







717 Orleans

VCC Architecture Committee

June 27, 2023







717 Orleans

VCC Architecture Committee

June 27, 2023





# BOURBON ORLEANS HOTEL

MECH PLATFORM

717 ORLEANS AVE.

NEW ORLEANS, LA 70116

## OWNER

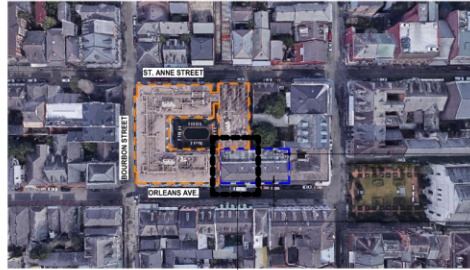
DRH Bourbon Owner, LLC  
2 Bethesda Metro Center, Suite 1400  
Bethesda, MD 20814  
(206) 930-9956  
Contact: Debbie Dupar  
Email: debbie.dupar@drhc.com

## ARCHITECT

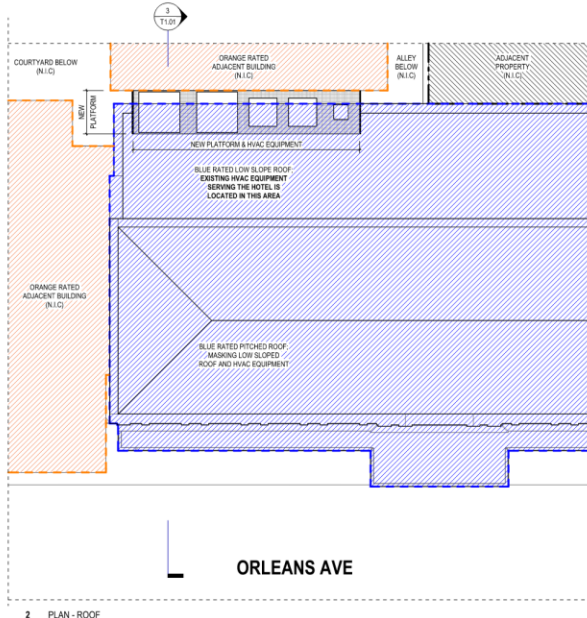
TrapolinPeer | Architects, APC  
850 Tchoupitoulas Street  
New Orleans, LA 70130  
(504) 523-2772  
Contact: Blake Kidder  
Email: bkidder@trapolinpeer.com

## STRUCTURAL ENGINEER

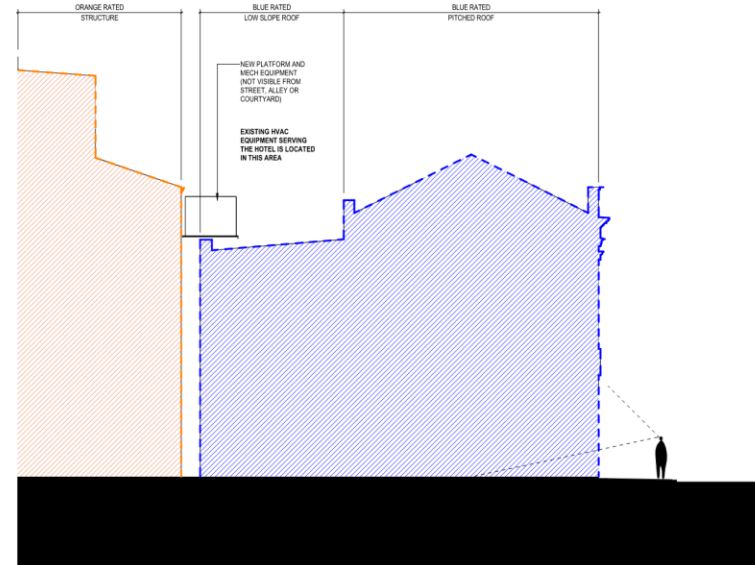
John Bose  
2113 Octavia St  
New Orleans, LA 70115  
(504) 866-9941  
Contact: John Bose  
Email: office@johnbose.com



1 AERIAL MAP  
SCALE: N.T.S.



2 PLAN - ROOF  
T1.01  
SCALE: 1" = 10'-0"



3 BUILDING SECTION  
T1.01  
SCALE: 1/8" = 1'-0"

INDEX OF DRAWINGS		
SHEET NO.	SHEET NAME	ISSUE DATE
T1.01	COVER SHEET AND ROOF PLAN	05/15/2023
ARCHITECTURAL	ENLARGED PLAN AND EXTERIOR DETAILS	05/15/2023
STRUCTURAL	NEW MECH EQUIPMENT PLATFORM	05/15/2023

TRAPOLINPEER  
ARCHITECTS  
BOURBON ORLEANS HOTEL  
MECH PLATFORM  
717 ORLEANS AVE.  
NEW ORLEANS, LA 70116

OWNER  
DRH Bourbon Owner, LLC  
2 Bethesda Metro Center, Suite 1400  
Bethesda, MD 20814  
(206) 930-9956

ARCHITECT  
TRAPOLIN PEER  
850 TCHOUPILOULAS ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

CONTRACTOR  
GIBBS CONSTRUCTION  
5736 Citrus Blvd  
New Orleans, LA 70123  
(area code) number

NOT FOR  
CONSTRUCTION

REVISION #	DESCRIPTION	DATE
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© TRAPOLINPEER ARCHITECTS, APC  
PROJECT NUMBER  
CN 22116-04  
ISSUE DATE  
05/15/2023

COVER SHEET  
AND ROOF PLAN

T1.01



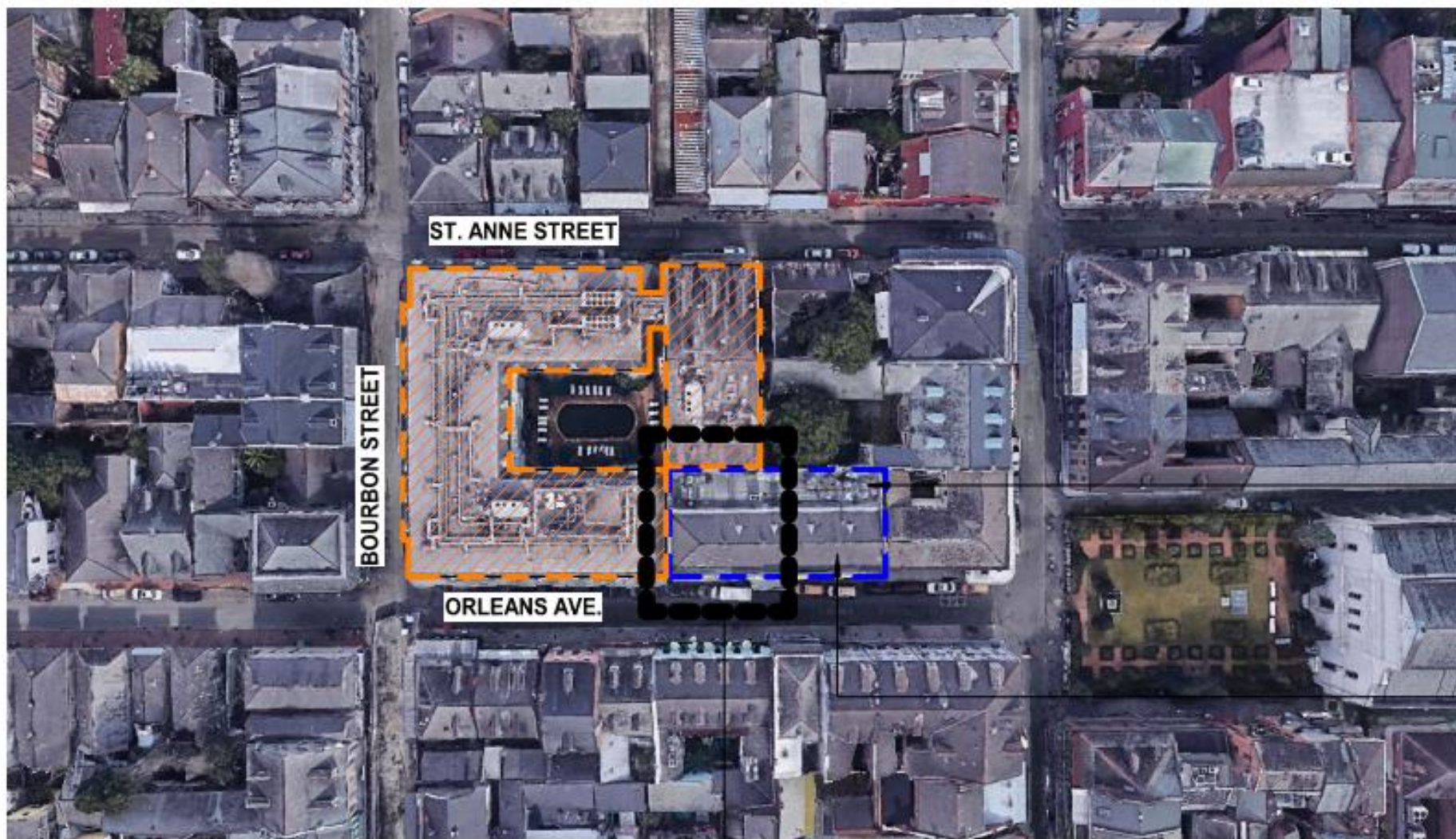
717 Orleans

VCC Architecture Committee

June 27, 2023

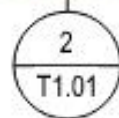
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53



BLUE RATED LOW SLOPE ROOF;  
SUPPORTS EXISTING HVAC  
EQUIPMENT

BLUE RATED PITCHED ROOF;  
MASKING LOW SLOPED  
ROOF AND HVAC  
EQUIPMENT



1 AERIAL MAP  
SCALE: N.T.S.

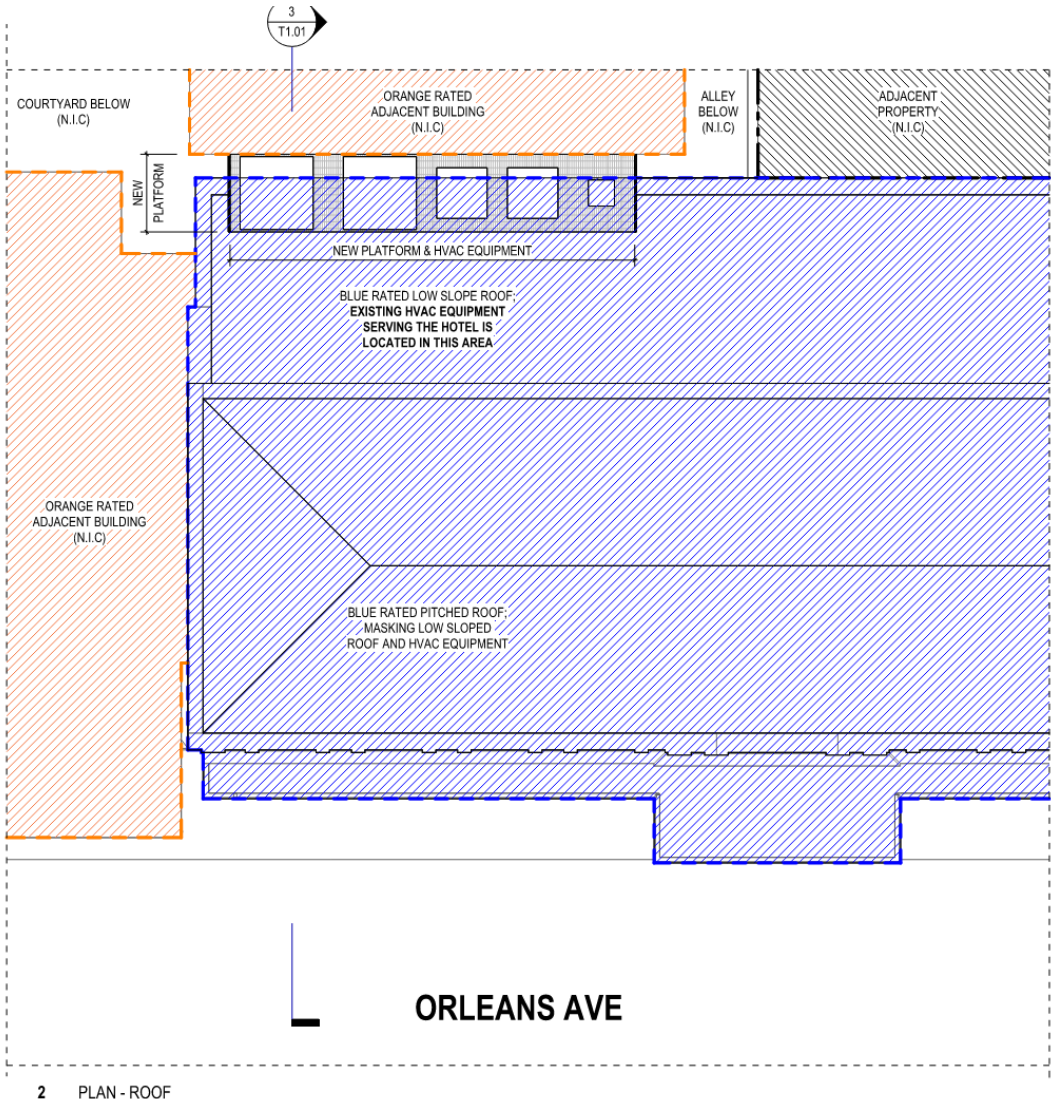
717 Orleans

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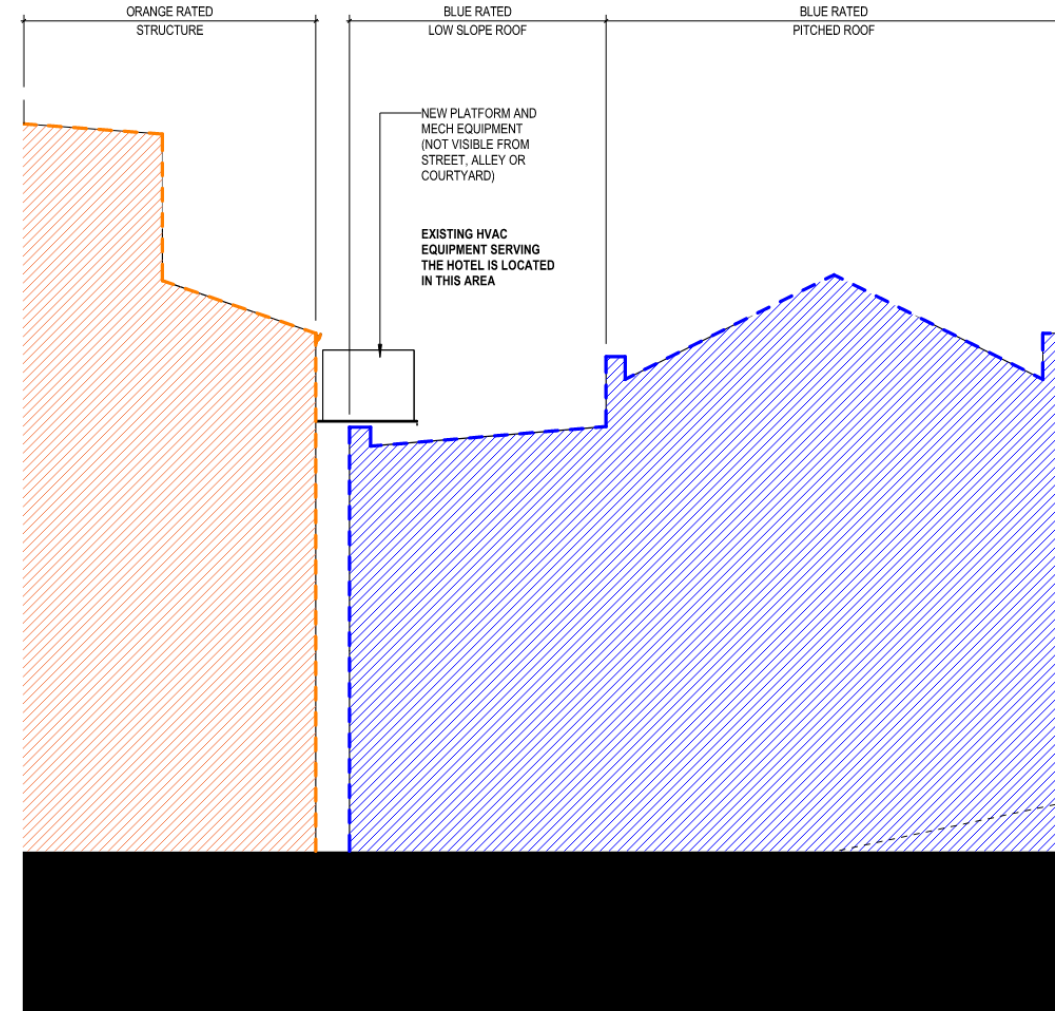
June 27, 2023







2 PLAN - ROOF  
T1.01 SCALE: 1" = 10'-0"



3 BUILDING SECTION  
T1.01 SCALE: 1/8" = 1'-0"

**BOURBON ORLEANS HOTEL  
MECH PLATFORM**  
717 ORLEANS AVE.  
NEW ORLEANS, LA 70116

OWNER  
**DRH Bourbon Owner, LLC**  
2 Bethesda Metro Center, Suite 1400  
Bethesda, MD 20814  
(202) 930-9956

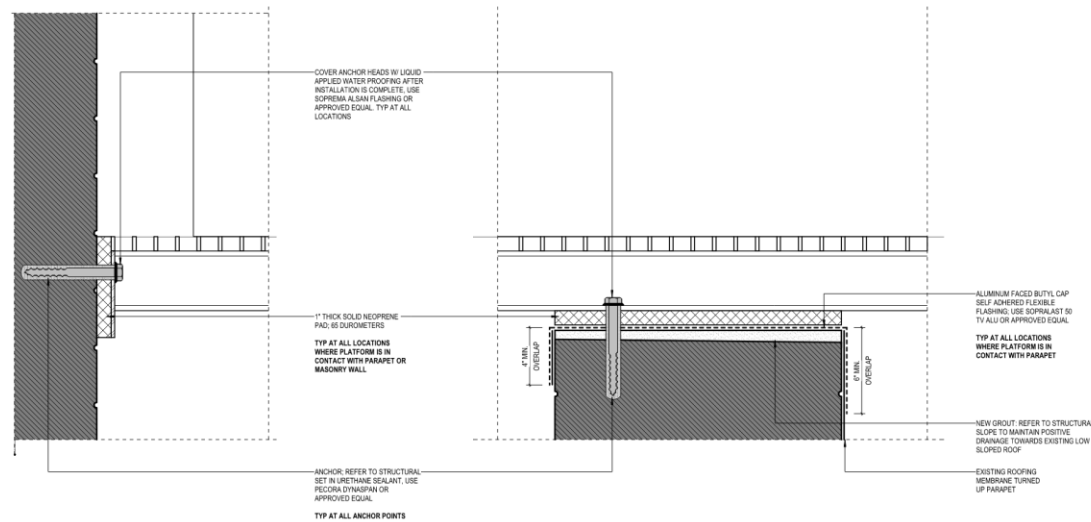
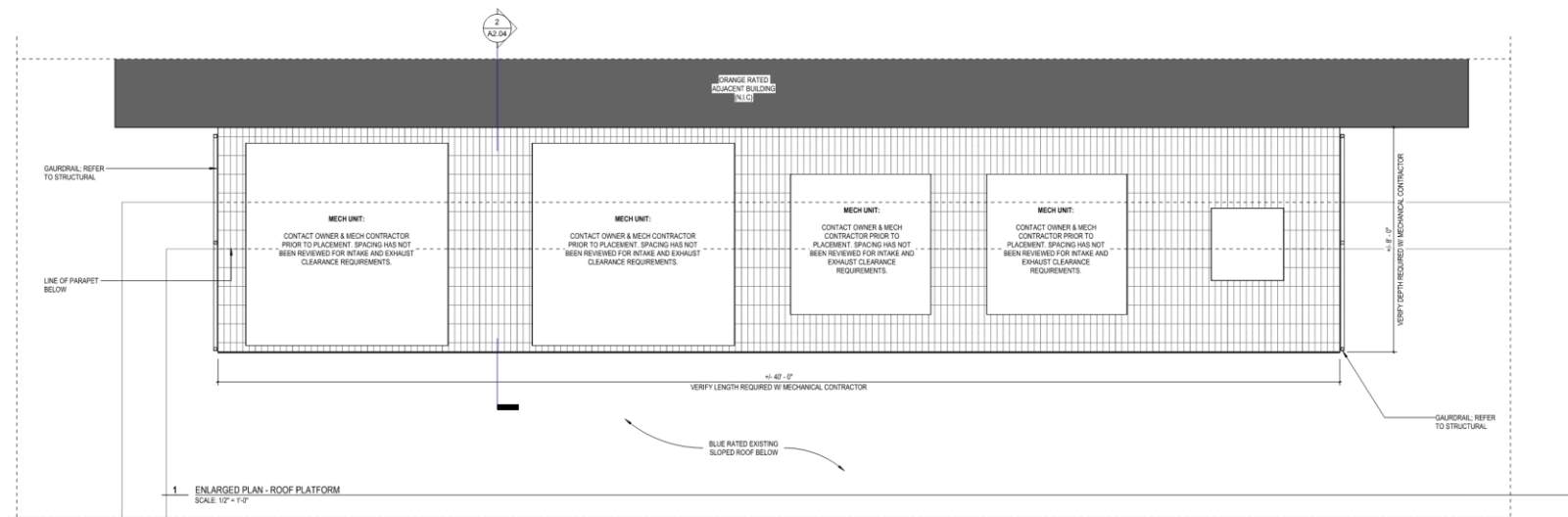
ARCHITECT  
**TRAPOLIN PEER**  
850 TUCKERMAN ST  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

CONTRACTOR  
**GIBBS CONSTRUCTION**  
5736 China Blvd  
New Orleans, LA 70123  
(area code) number

REVISION # DESCRIPTION DATE

**GENERAL NOTES**

1. ALL STEEL IS TO BE PROTECTED USING THE HOT DIPPED GALVANIZING PROCESS.
2. SEE THE ENLARGED PLANS FOR MORE INFORMATION. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO STARTING ANY WORK.
3. CONTACT OWNER PRIOR TO STARTING WORK.
4. OWNER AND MECHANICAL CONTRACTOR ARE RESPONSIBLE FOR VIBRATION AND SOUND ISOLATION CREATED BY THE HVAC EQUIPMENT. THE MECH-PLATFORM ARE CONNECTED TO WALLS THAT SEPARATE ROOMS FROM THE EXTERIOR OF THE BUILDING.
5. IT IS RECOMMENDED TO INSTALL VIBRATION ISOLATORS PRIOR TO INSTALLING EQUIPMENT TO PLATFORM.
6. THE ARCHITECT (AND THEIR CONSULTANTS) HAVE NOT REVIEWED ANY HVAC EQUIPMENT. PLATFORM DIMENSIONS WERE PROVIDED BY THE OWNER AND MECHANICAL CONTRACTOR.
7. THE ARCHITECT (AND THEIR CONSULTANTS) HAVE NOT REVIEWED ANY ELECTRICAL EQUIPMENT.



717 Orleans

VCC Architecture Committee

A2.04

June 27, 2023





## GENERAL STRUCTURAL NOTES

## I. GENERAL

- A. Contractor Responsibility - Construction documents represent the finished structure. Contractor is responsible for construction means, methods, sequences and safety precautions, including but not limited to shoring and temporary bracing.
- B. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- C. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.

## II. DESIGN BASIS

- A. Applicable Codes and Standards  
International Building Code 2022  
ASCE 7-2016

## B. Design Loads

Mechanical Platform	
Live Load	50 psf
Dead Load	10 psf

## Wind Load

The criteria is based on ASCE 7-2016 Minimum Design Loads for Buildings and Other Structures:

Basic Wind Velocity	143 mph
Risk Category	II
Exposure	B

## III. MATERIALS

## A. STRUCTURAL STEEL

All detailing, fabrication and erection of structural steel shall conform to AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, the AWS D1.1 Structural Welding Code and meet the following requirements:

- Wide Flange Shapes:** ASTM A992, yield strength 50 ksi.  
**Steel Channels, Angles, Rods and Plates:** ASTM A 36, yield strength 36 ksi except where noted otherwise in sections.  
**Pipe:** ASTM A53 Grade B.  
**Welding Materials:** E70XX.

All welding by certified welders and in accordance with AWS D1.1, structural welding code. All electrodes used for submerged arc and shielded metal arc welding shall be compatible with the structural steel as specified in AWS and AISC.

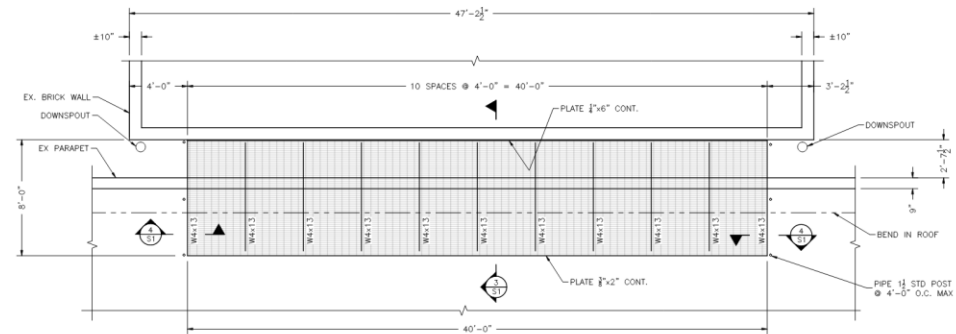
Mechanical Platform  
 All structural steel shall be hot dipped galvanized.  
 McNichols GW-100-A 1" x 1/8" Grating - Hot Dipped Galvanized.

## IV. MISCELLANEOUS

- No change in size or dimension of structural members shall be made without the written approval of the professional of record.
- The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
- The structure is designed to function as a unit upon completion. The contractor is responsible for furnishing all temporary bracing and/or support that may be required as the result of the contractor's construction methods and/or sequences.
- The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.

## V. QUALITY CONTROL

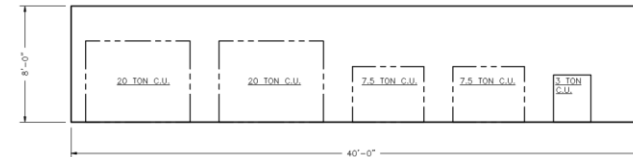
- A. The following work requires tests and/or inspections for specific requirements see specification.
- Structural Steel Welding
- B. A partial listing of required structural submittals follows. Consult the specification for a complete listing of submittal requirements.
- Structural Steel
- C. No work shall be done without testing laboratory/inspectors knowledge.



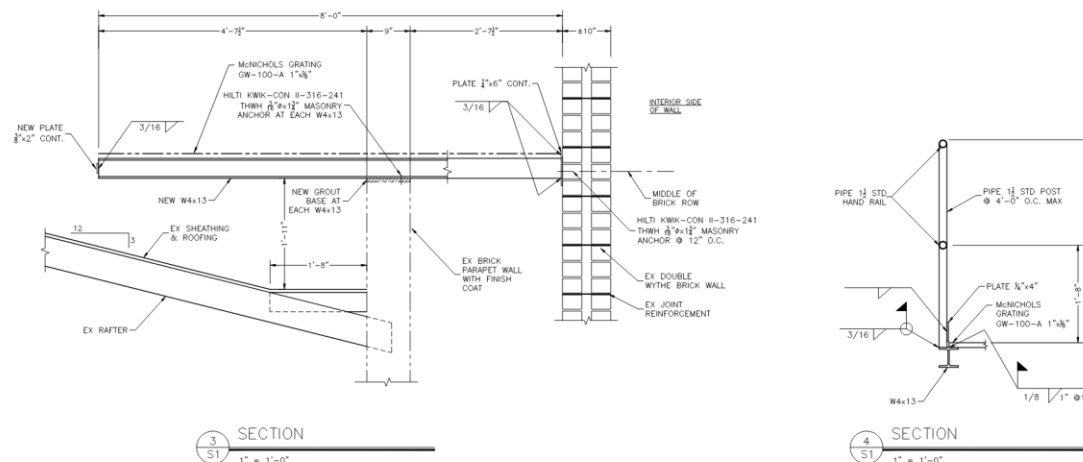
## MECHANICAL PLATFORM FRAMING AND GRATING NOTES:

- ALL PERMANENT STRUCTURAL STEEL SHALL BE HOT-DIPPED GALVANIZED. TOUCH UP ALL DAMAGED COATING WITH HOT-STICK GALVANIZING.
- INDICATES NEW McNICHOLS GW-100 WELDED BAR GRATING 1" x 1/8" WITH CROSS BARS AT 4" O.C.
- SEE SHEET S1 FOR "GENERAL STRUCTURAL NOTES."

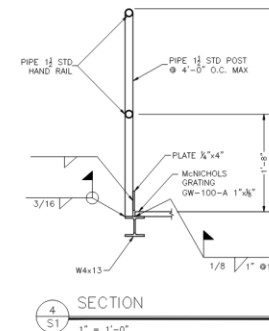
1 S1  
MECHANICAL PLATFORM FRAMING PLAN  
1/4" = 1'-0"



2 S1  
MECHANICAL EQUIPMENT LAYOUT PLAN  
1/4" = 1'-0"



3 S1  
SECTION  
1" = 1'-0"



4 S1  
SECTION  
1" = 1'-0"

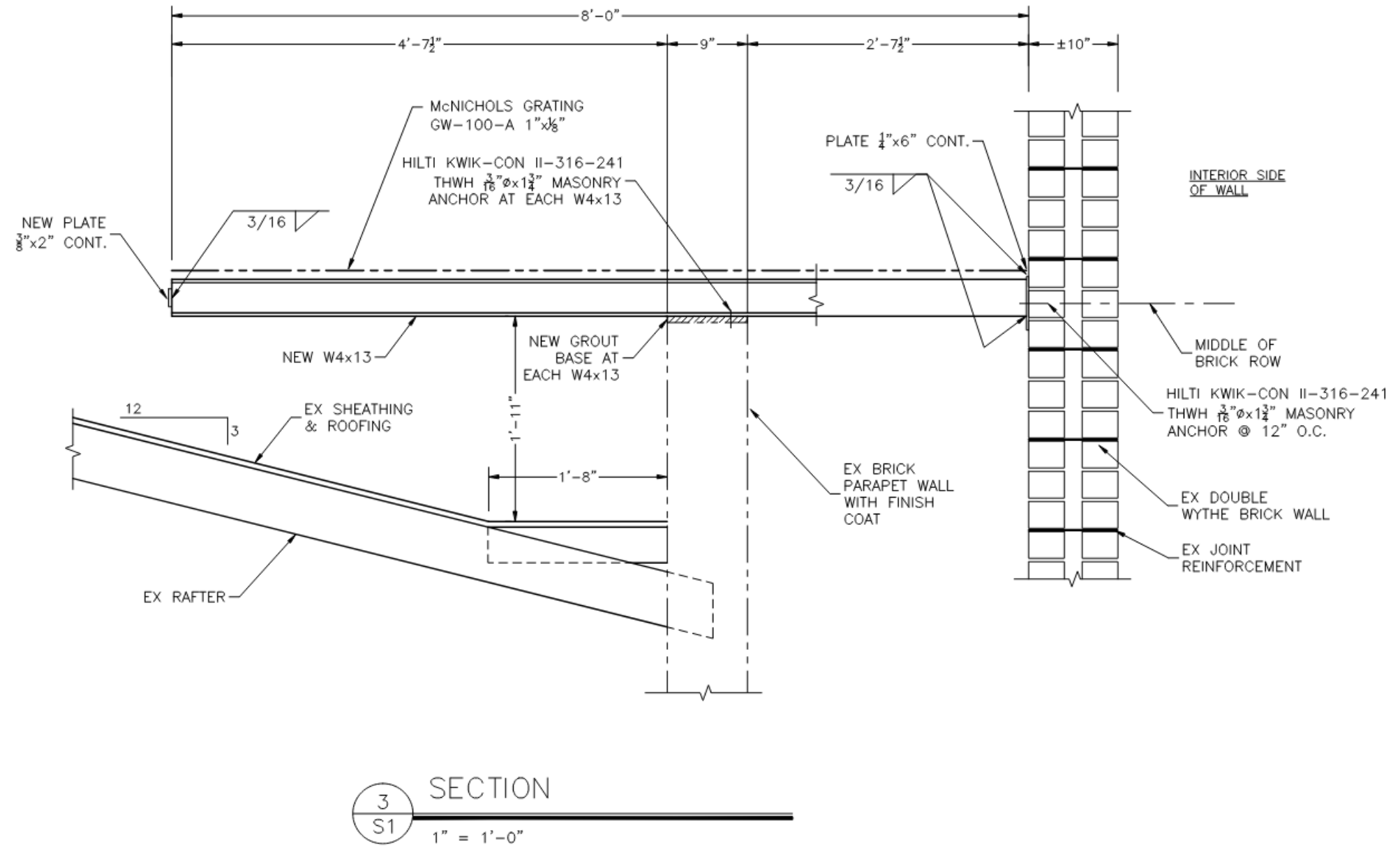


JOHN C. BOSE, CONSULTING ENGINEER  
 A PROFESSIONAL LIMITED LIABILITY COMPANY  
 3113 OCTAVIA STREET  
 NEW ORLEANS, LOUISIANA 70115  
 (504) 866-9941

NEW MECH. EQUIP. PLATFORM  
 BOURBON ORLEANS HOTEL  
 717 ORLEANS STREET  
 NEW ORLEANS, LA

Date: 5/15/23  
 Scale: AS NOTED  
 Drafted: HMO  
 Job No. 35xx  
 S1  
 1 of 1

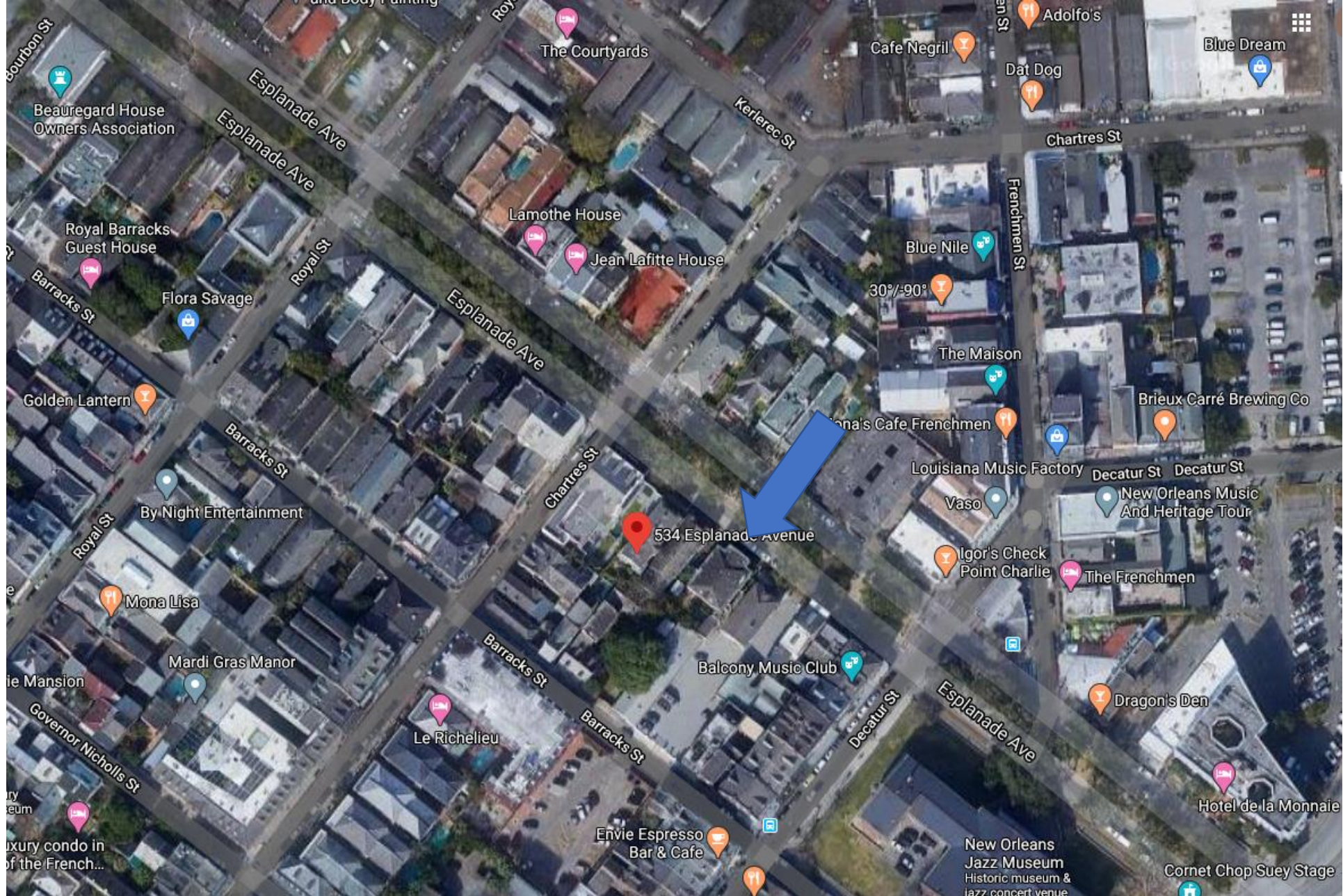








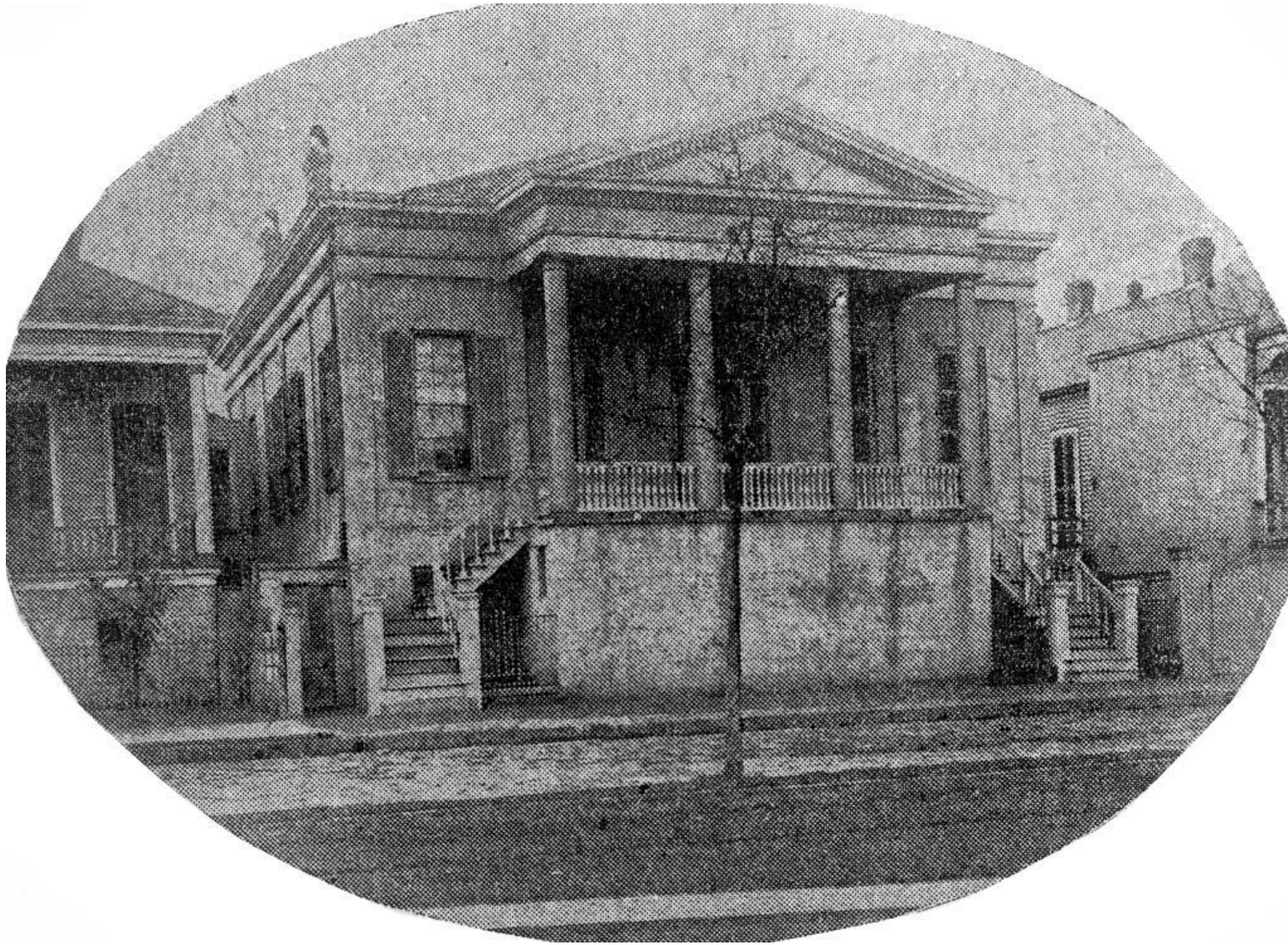
524 Esplanade



524 Esplanade







524 Esplanade – ca. 1902

VCC Architecture Committee

June 27, 2023





524 Esplanade - 1939

VCC Architecture Committee

June 27, 2023





524 Esplanade - 1972

VCC Architecture Committee



June 27, 2023



524 Esplanade - 1990

VCC Architecture Committee



June 27, 2023







524 Esplanade - 2005

VCC Architecture Committee

June 27, 2023







524 Esplanade - 2005

VCC Architecture Committee

June 27, 2023







524 Esplanade - 2005

VCC Architecture Committee

June 27, 2023







524 Esplanade





524 Esplanade

VCC Architecture Committee

June 27, 2023







524 Esplanade

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524 Esplanade

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June 27, 2023







524 Esplanade

VCC Architecture Committee

08 13 2020

June 27, 2023





524 Esplanade

VCC Architecture Committee



08 13 2020

June 27, 2023



524 Esplanade

VCC Architecture Committee



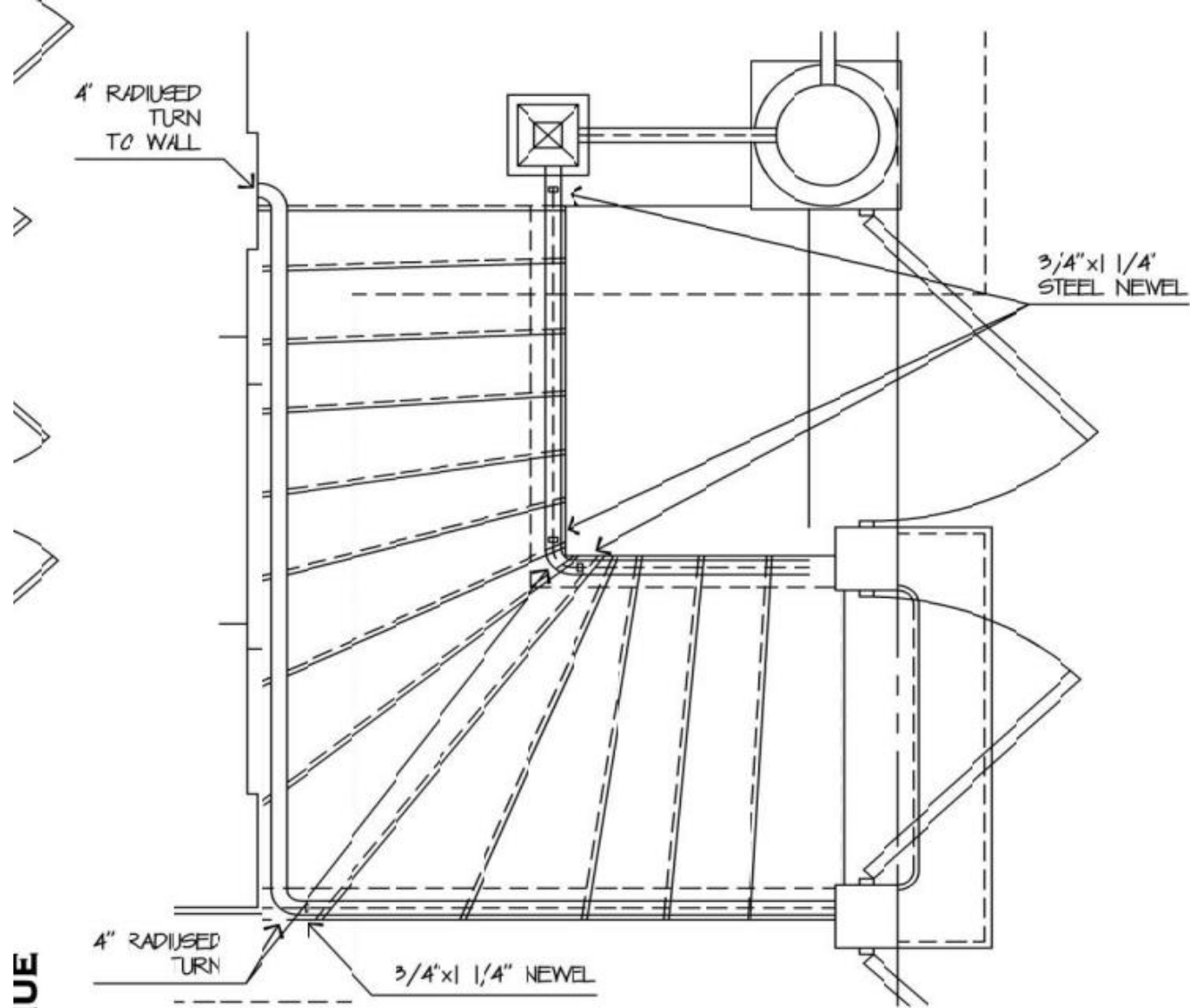
08 13 2020

June 27, 2023









**STAIR DETAIL**

SCALE: 1/2" = 1'-0"

659.4'  
ADE AVENUE

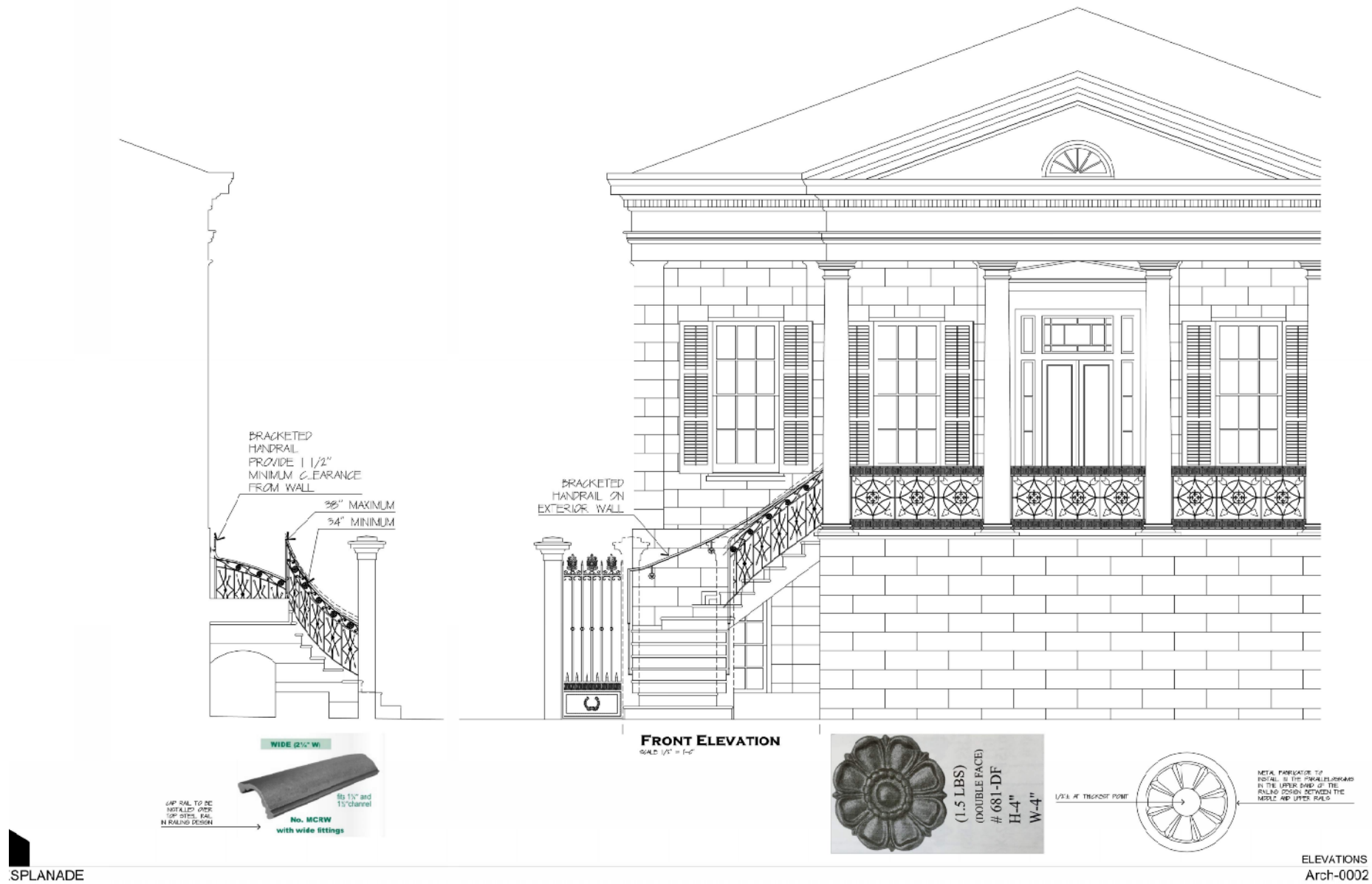
524 Esplanade – Previously Approved Plans

VCC Architecture Committee

June 27, 2023





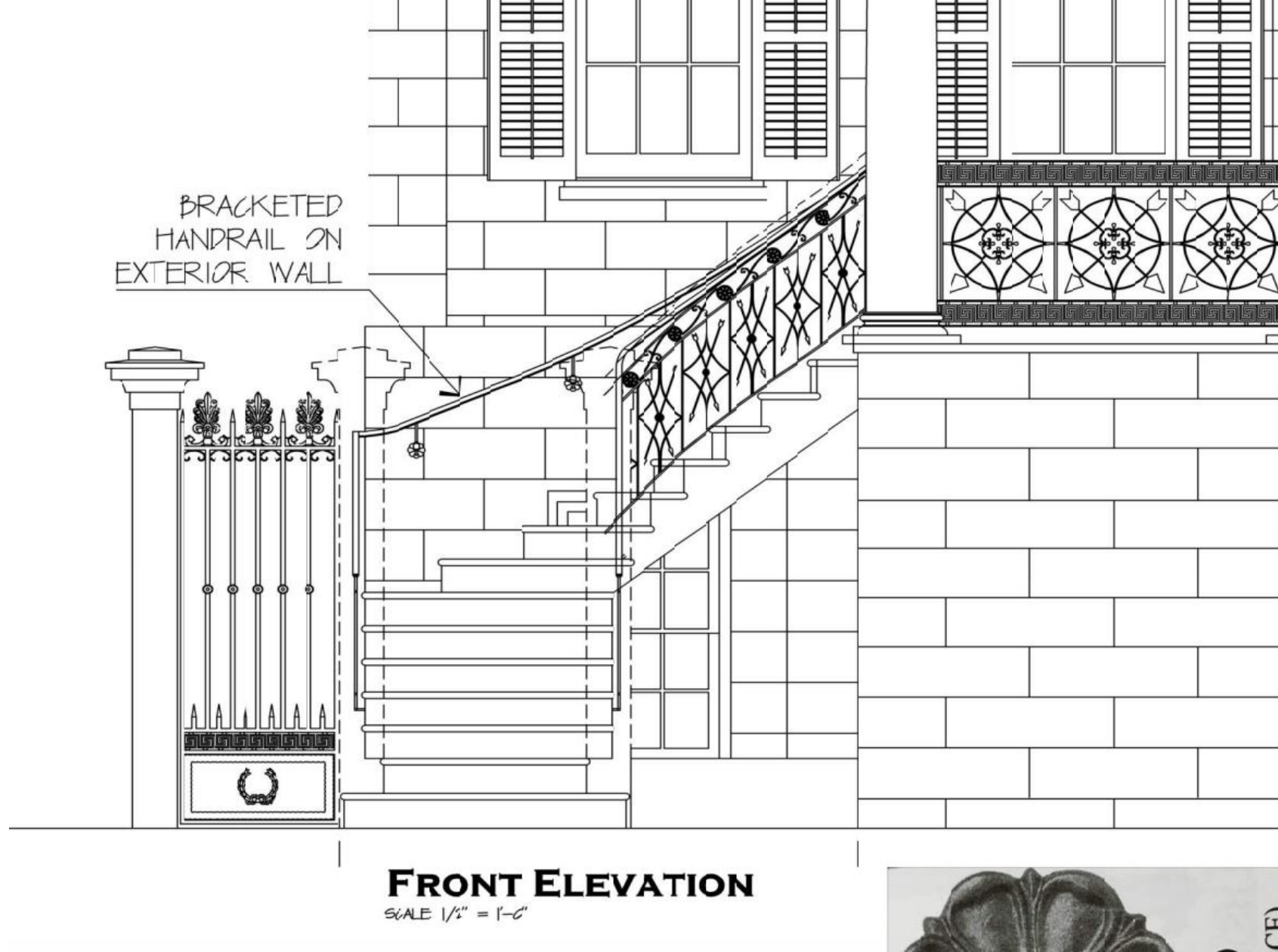


## 524 Esplanade – Previously Approved Plans

VCC Architecture Committee

June 27, 2023





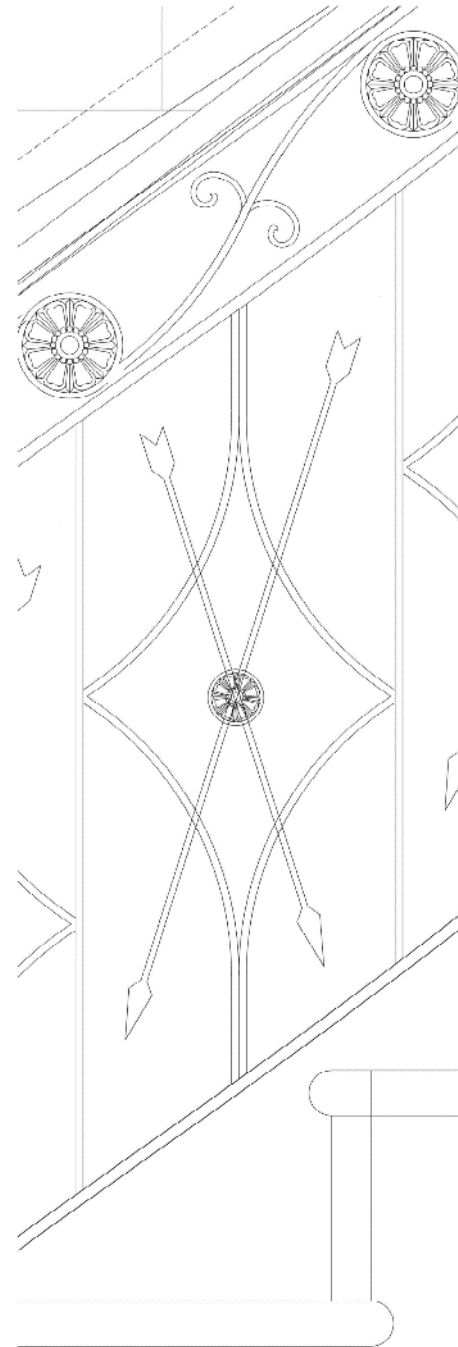
524 Esplanade – Previously Approved Plans

VCC Architecture Committee

June 27, 2023







524 Esplanade – Previously Approved Plans  
VCC Architecture Committee

June 27, 2023





524 Esplanade – Existing Front Door

VCC Architecture Committee

June 27, 2023





**Attention:** Robert Travis Kenny

**Property Address:** 524 Esplanade avenue  
New Orleans La, 70116

Ref# 2146

**Objective:**

**To demo masonry side walls in preparation of new hand rails.**

*Labor and material price \$5,384.00*

The scope of work includes:

Score approximately 360 sq ft of masonry walls into sections with a diamond blade.  
Make accurate cuts around stairs, columns, and front elevation of the residence.  
Demo scored sections of above mentioned masonry walls with hammer drill.  
Collect, and haul away masonry debris.

*\*Any additional work not listed in the above scope, either through exploratory findings or client request, will be performed with the client's consent and billed for in the final invoice.*

*\*\*Labor and material price does not include bricks. Additional Bricks will be purchased on an "as needed" basis at Market value and billed for in the final invoice.*

*\*\*\*Additional work including re-fabricating step detail and step repair to be determined after demo completion and Billed for on a time and material basis.*

**We require a third deposit in the amount of \$1,794.66 to begin work and for scheduling**

*Please sign and date to accept these terms.*

  
Robert Travis Kennedy

  
11/31/23

524 Esplanade

VCC Architecture Committee

June 27, 2023





524 Esplanade

VCC Architecture Committee

June 27, 2023







524 Esplanade

VCC Architecture Committee

June 27, 2023







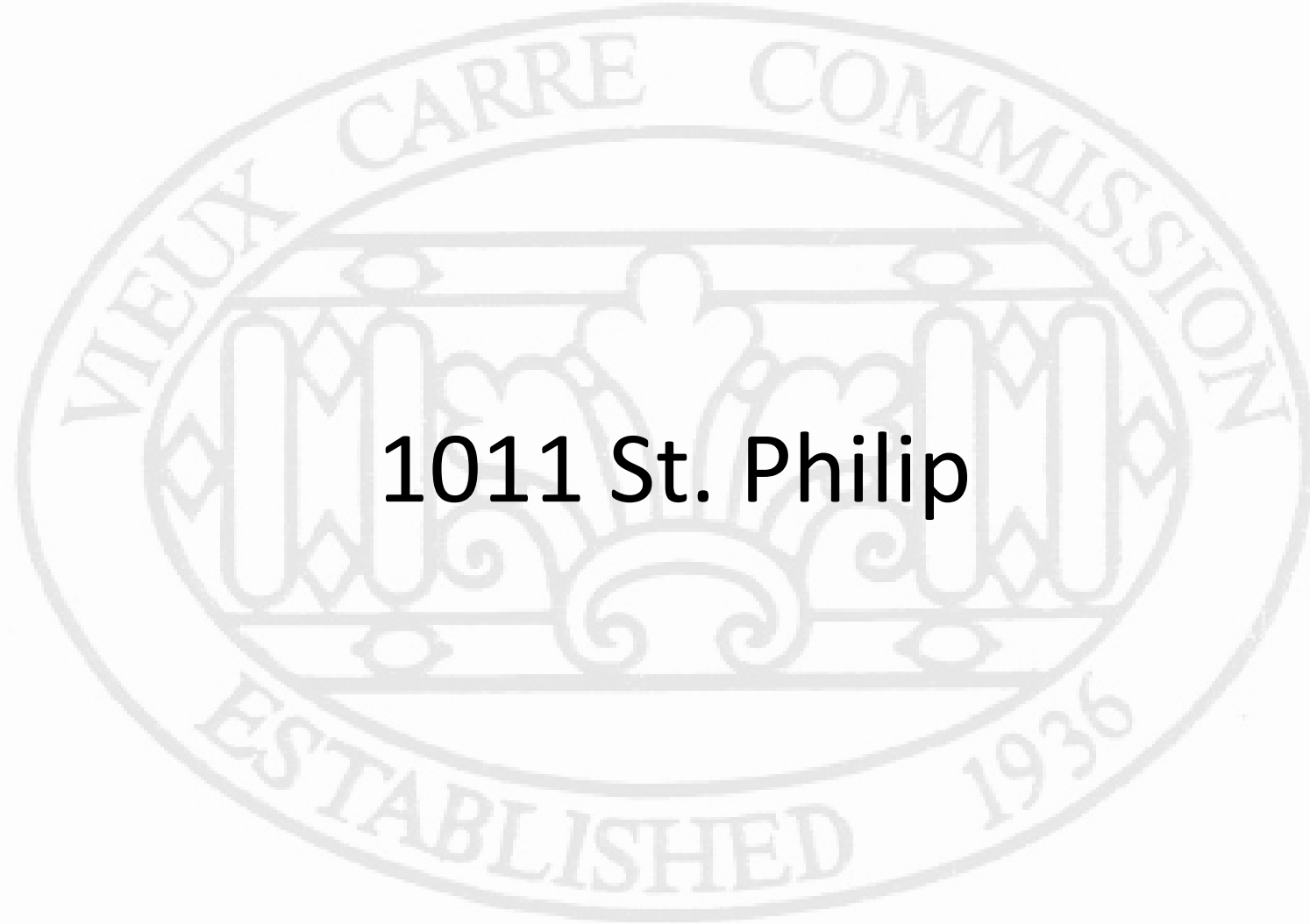
524 Esplanade

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**1011 St. Philip**





1011 St. Philip

VCC Architecture Committee

June 27, 2023







1011 St. Philip – 1962

VCC Architecture Committee

June 27, 2023





1011 St. Philip

VCC Architecture Committee

June 27, 2023







1011 St. Philip

VCC Architecture Committee

June 27, 2023







1011 St. Philip







1011 St. Philip

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June 27, 2023





1011 St. Philip

VCC Architecture Committee

June 27, 2023





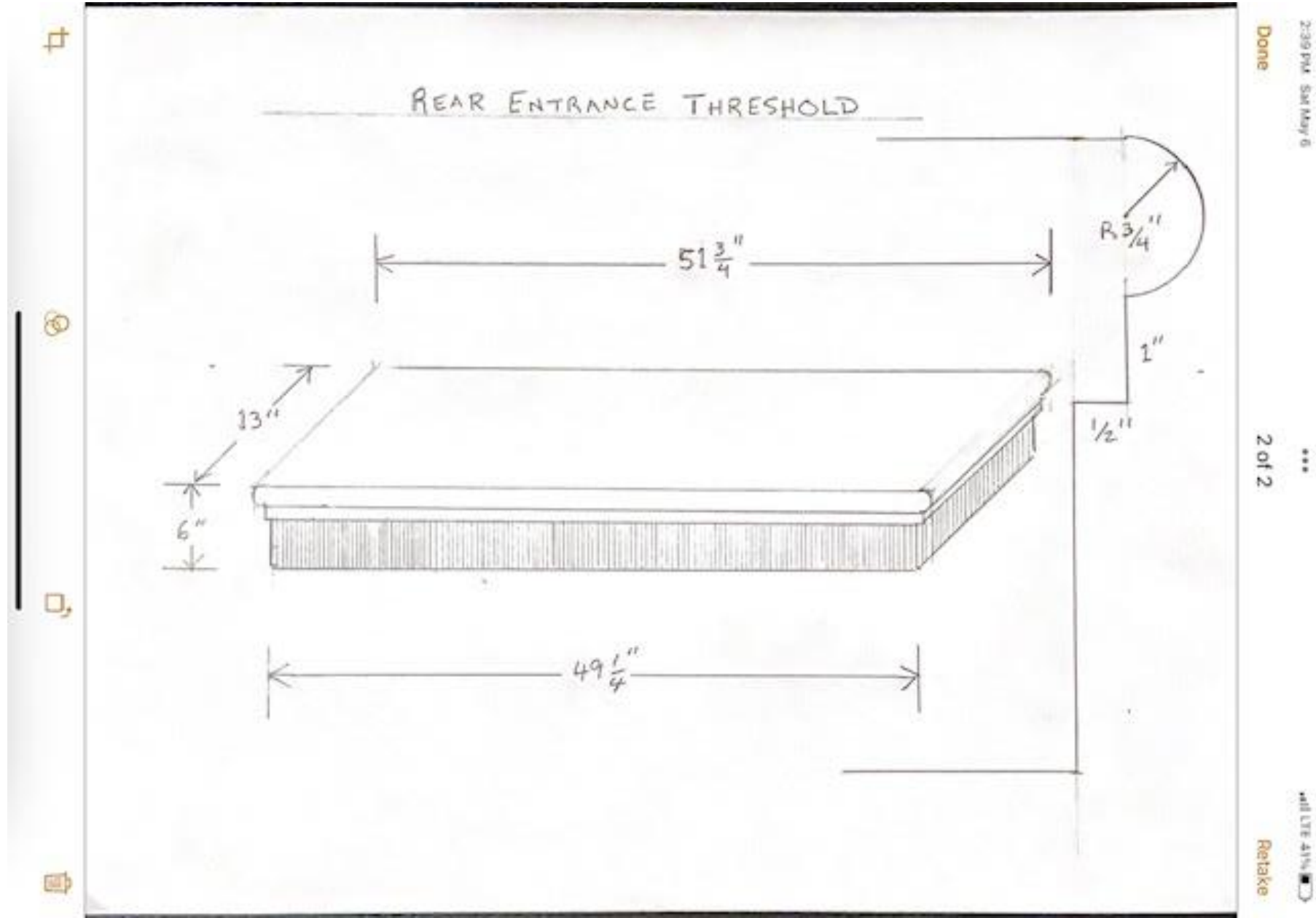


1011 St. Philip

VCC Architecture Committee

June 27, 2023





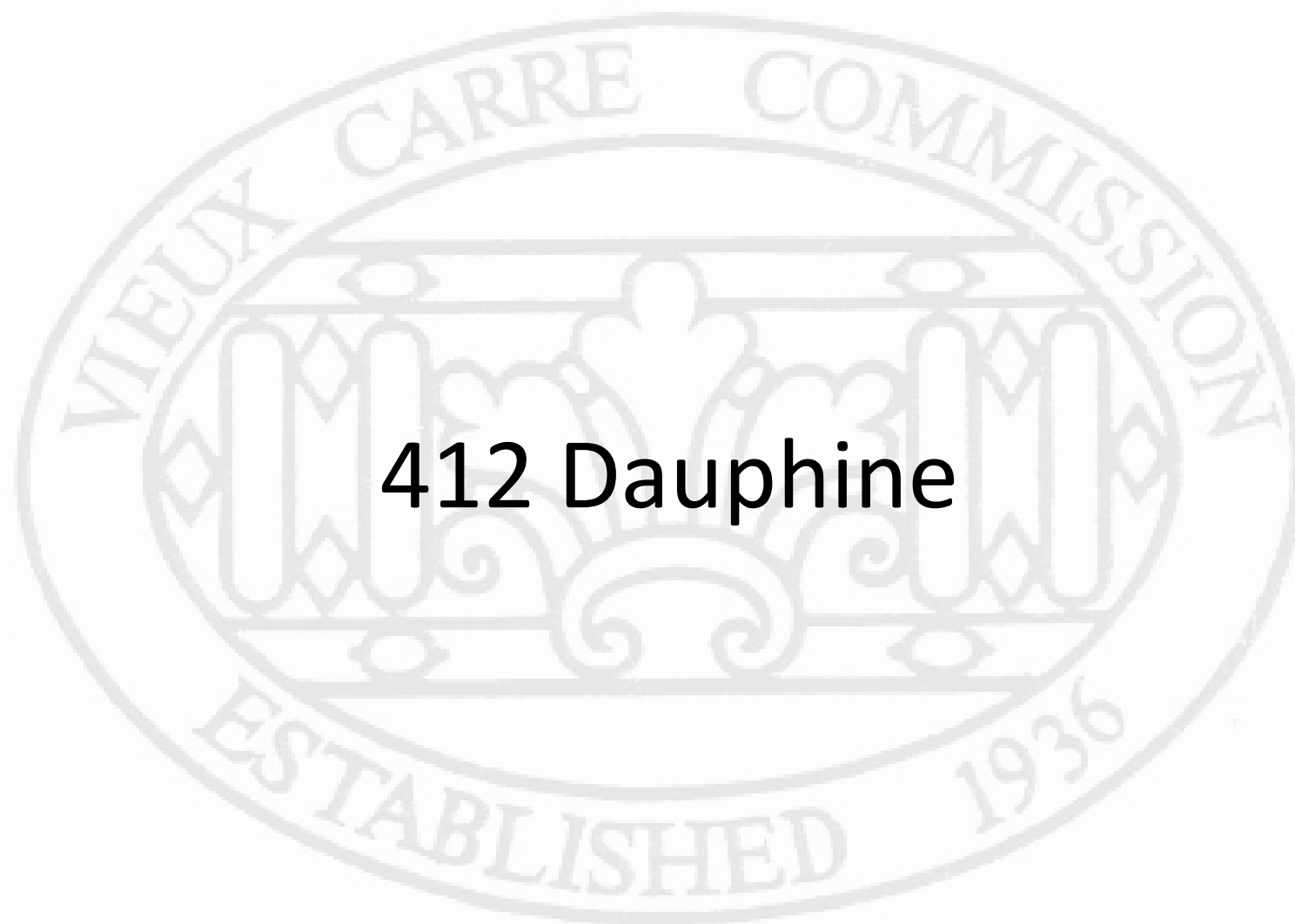
1011 St. Philip

VCC Architecture Committee

June 27, 2023







412 Dauphine



412 Dauphine

VCC Architecture Committee

June 27, 2023







412 Dauphine

VCC Architecture Committee

June 27, 2023







412 Dauphine

VCC Architecture Committee

June 27, 2023







412 Dauphine, 1962

VCC Architecture Committee

June 27, 2023



412 Dauphine, 1983

VCC Architecture Committee



June 27, 2023





412 Dauphine, 1999

VCC Architecture Committee



June 27, 2023



412 Dauphine  
VCC Architecture Committee



June 27, 2023







412 Dauphine

VCC Architecture Committee

June 27, 2023



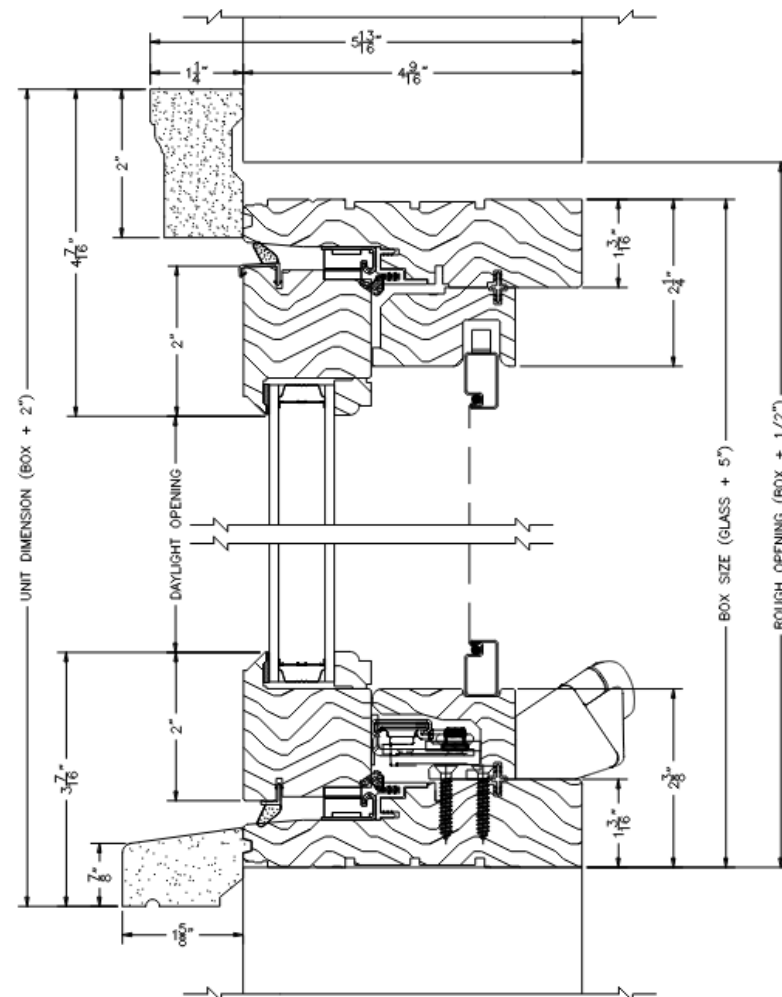




412 Dauphine







## 412 Dauphine

## VCC Architecture Committee



**WOOD CASEMENT  
VERTICAL SECTION  
SCALE: 6" = 1' 0"**

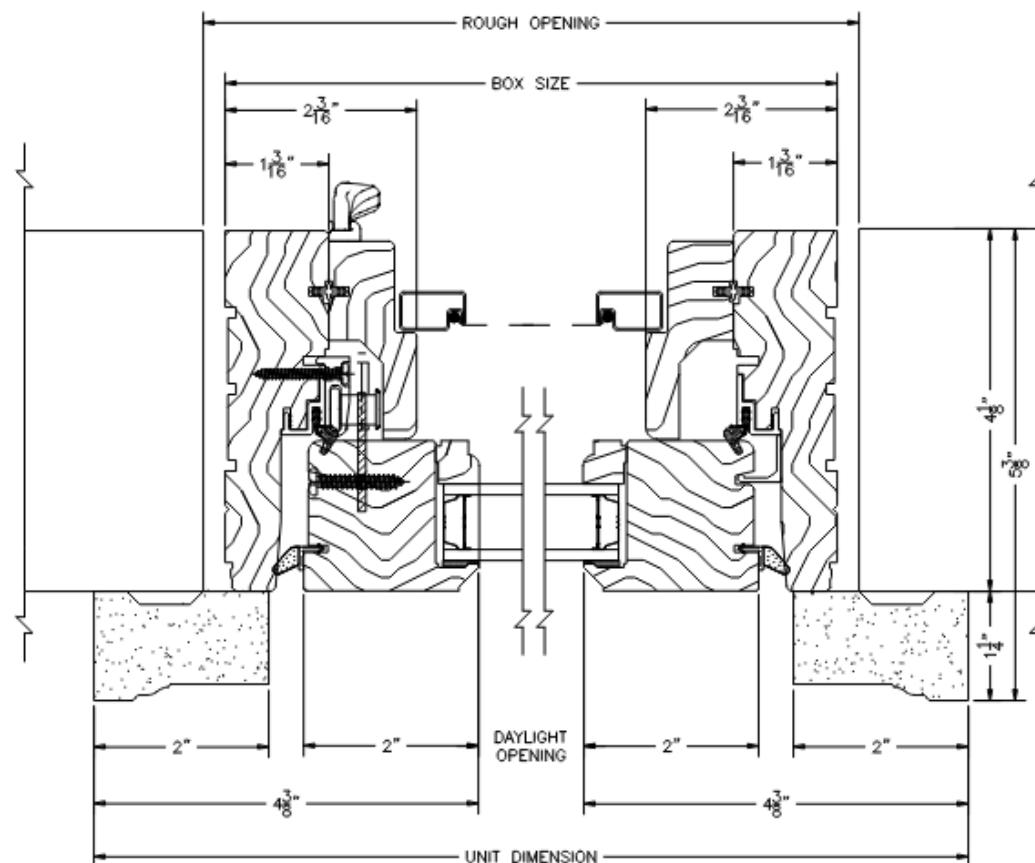
**LINCOLN WOOD PRODUCTS, INC.**

**1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461**

14018-42-62

June 27, 2023





WOOD CASEMENT  
4 - 1/8" JAMB  
HORIZONTAL SECTION  
SCALE: 6" = 1' 0"  
**LINCOLN WOOD PRODUCTS, INC.**  
1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461

412 Dauphine

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14018-42-73

June 27, 2023





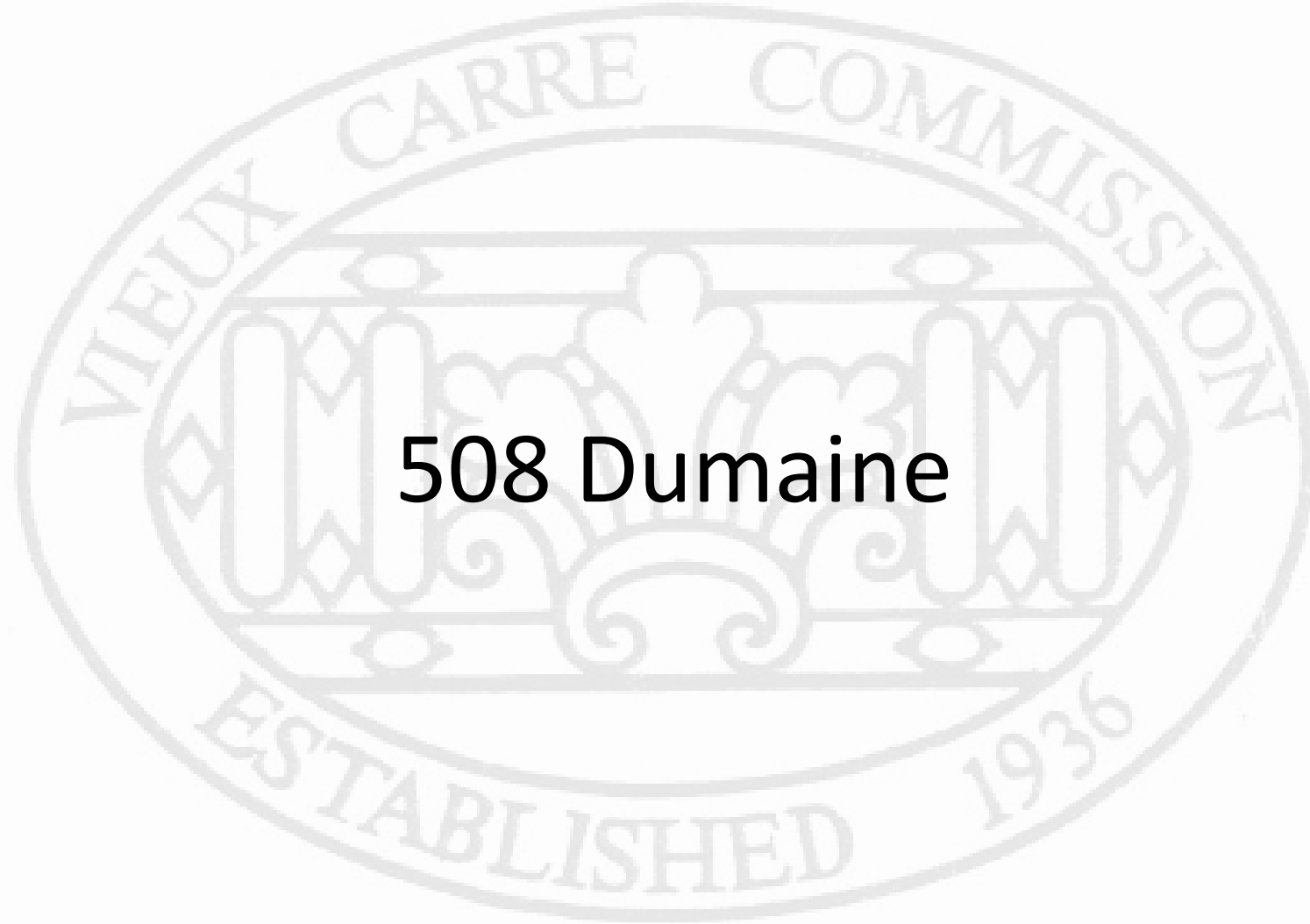


412 Dauphine

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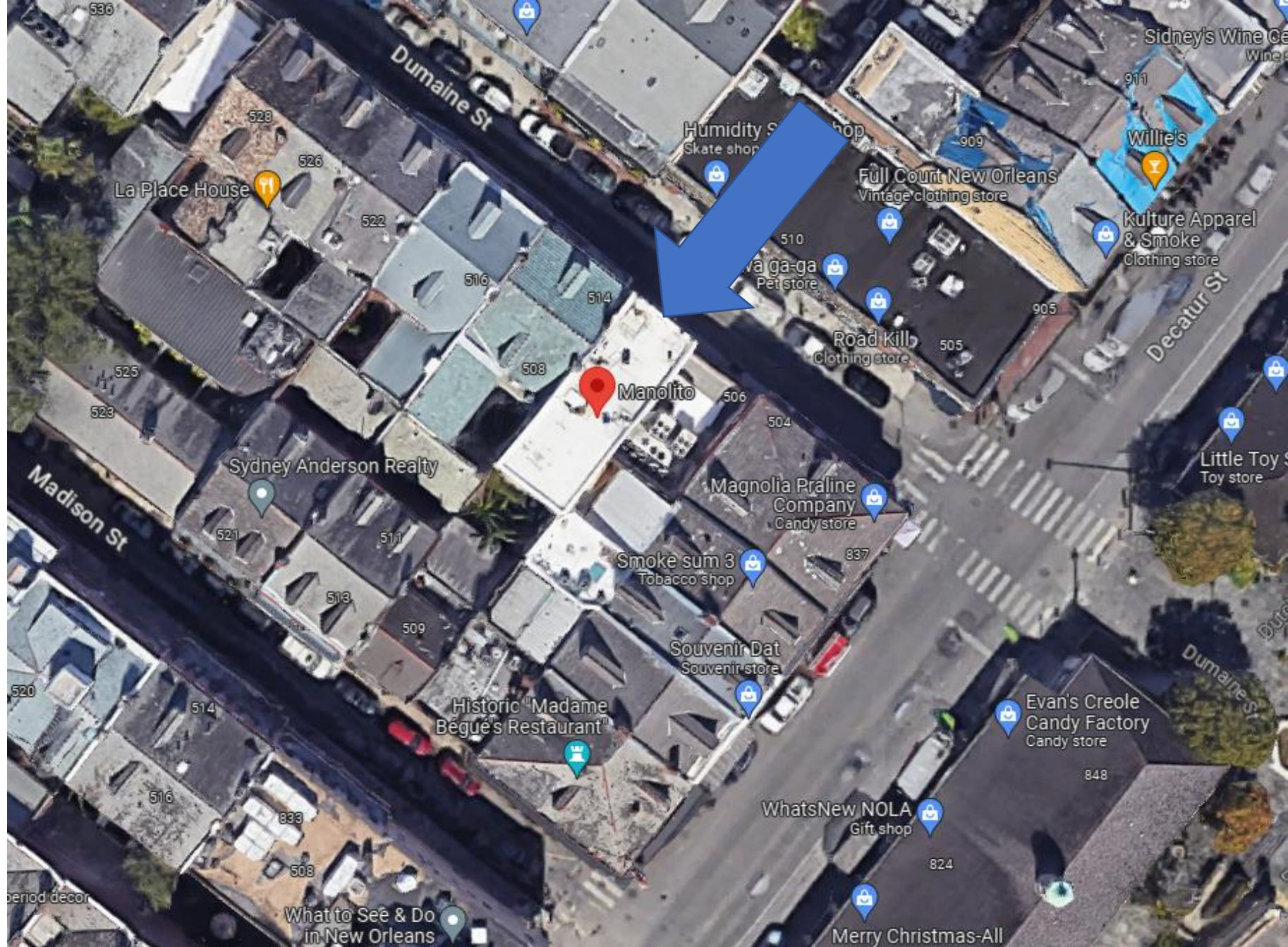
June 27, 2023





**508 Dumaine**





508 Dumaine







508 Dumaine

VCC Architecture Committee

June 27, 2023







508 Dumaine, 1964

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VCC Architecture Committee

June 27, 2023





508 Dumaine

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June 27, 2023





508 Dumaine  
VCC Architecture Committee



June 27, 2023





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508 Dumaine

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508 Dumaine

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06 22 2023

June 27, 2023





06 22 2023

508 Dumaine

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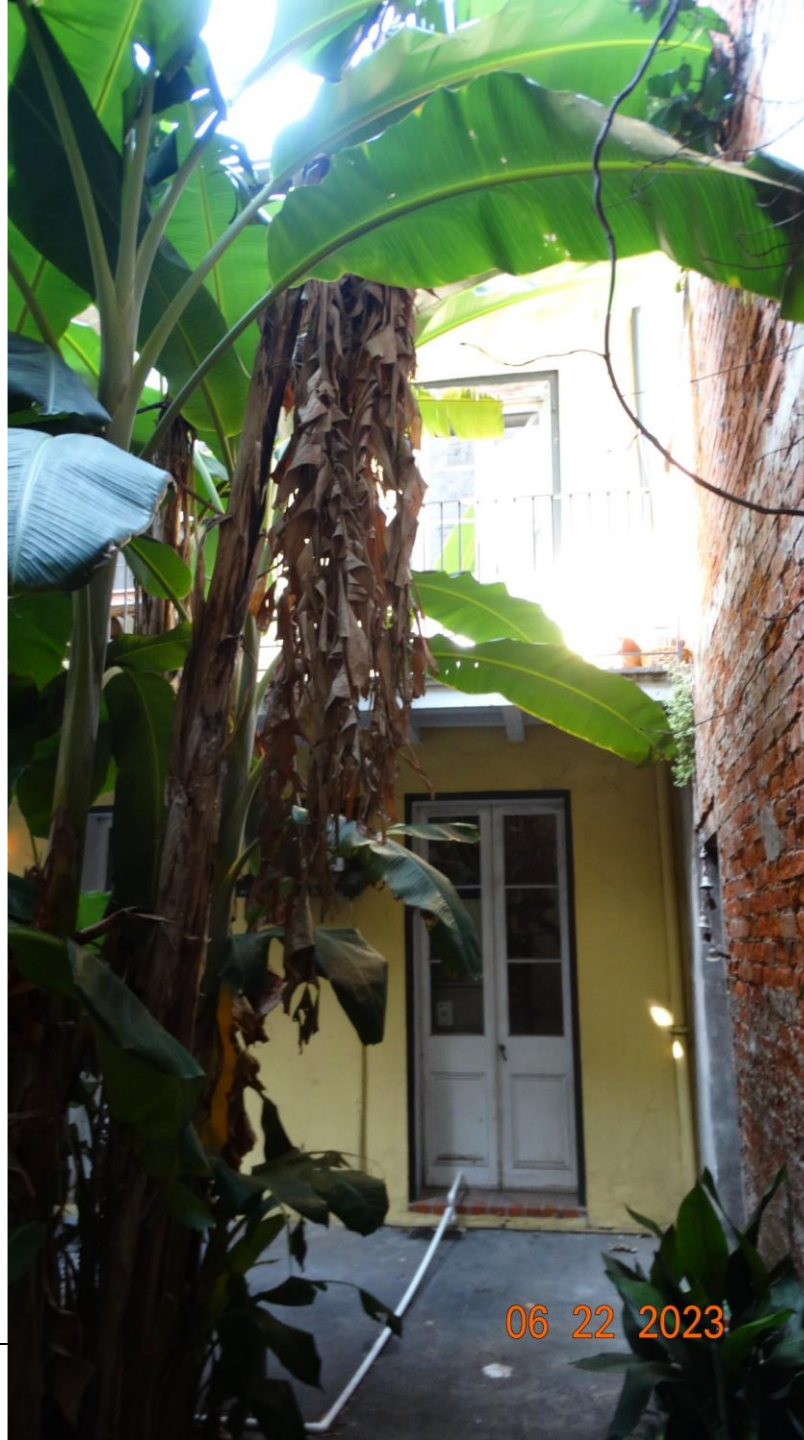
June 27, 2023





508 Dumaine

VCC Architecture Committee



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VCC Architecture Committee

June 27, 2023







508 Dumaine

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June 27, 2023







508 Dumaine

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06 22 2023

June 27, 2023







508 Dumaine

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508 Dumaine

VCC Architecture Committee

June 27, 2023







508 Dumaine  
VCC Architecture Committee

June 27, 2023





508 Dumaine

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June 27, 2023





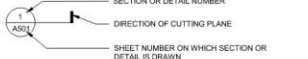
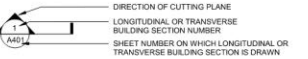

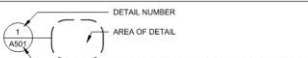

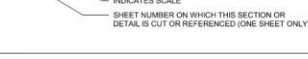
508 Dumaine


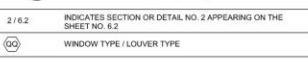

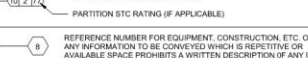

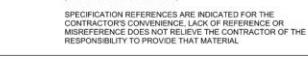



VCC Architecture Committee



June 27, 2023



DRAFTING SYMBOLS	
	SECTION OR DETAIL NUMBER DIRECTION OF CUTTING PLANE SHEET NUMBER ON WHICH SECTION OR DETAIL IS DRAWN
	DIRECTION OF CUTTING PLANE LONGITUDINAL OR TRANSVERSE BUILDING SECTION NUMBER SHEET NUMBER ON WHICH LONGITUDINAL OR TRANSVERSE BUILDING SECTION IS DRAWN
	ELEVATION NUMBER SURFACE SHOWN IN ELEVATION SHEET NUMBER ON WHICH ELEVATION IS DRAWN
	DETAIL NUMBER AREA OF DETAIL SHEET NUMBER ON WHICH ENLARGED DETAIL IS DRAWN
	SECTION OR DETAIL NUMBER View Name 1/8" = 1'-0" INDICATES SCALE SHEET NUMBER ON WHICH THIS SECTION OR DETAIL IS CUT OR REFERENCED (ONE SHEET ONLY)
	Room Name 101 ROOM NAME ROOM NUMBER

	NEW COLUMN OR WALL REFERENCE GRID EXISTING COLUMN OR WALL REFERENCE GRID
	2 / 6.2 INDICATES SECTION OR DETAIL NO. 2 APPEARING ON THE SHEET NO. 6.2 WINDOW TYPE / LOUVER TYPE
	1582A DOOR OR OPENING NUMBER
	105 2 1P PARTITION TYPE "S" INDICATES SMOKE PARTITION. PARTITION STC RATING (IF APPLICABLE)
	REFERENCE NUMBER FOR EQUIPMENT, CONSTRUCTION, ETC. OR ANY INFORMATION TO BE CONVEYED WHICH IS REPETITIVE OR AVAILABLE SPACE PROHIBITS A WRITTEN DESCRIPTION OF ANY ITEM
	ITEMS NOT IN CONTRACT / FURNISHED BY OWNER / INSTALLED BY OWNER / INSTALLED UNDER THIS CONTRACT, ETC. (SEE CLARIFICATION OF THIS SYMBOL FOR ITS USE IN REGARD TO THIS PROJECT) (99 22 16) SPECIFICATION REFERENCE (FOUND IN PROJECT MANUAL) SPECIFICATION REFERENCES ARE INDICATED FOR THE CONTRACTOR'S CONFORMANCE. LACK OF REFERENCE OR MISREFERENCE DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE THAT MATERIAL.
	36.5' NEW OR REQUIRED POINT ELEVATION
	36.5' EXISTING POINT ELEVATION
	INDICATES FOOD SERVICE EQUIPMENT

BUILDING INFORMATION	
<b>PROJECT ADDRESS</b> 515 DUMAINE STREET NEW ORLEANS, LA 70116	<b>SITE AREA</b> TOTAL SITE AREA 2,156 SF
<b>PROJECT DESCRIPTION</b> RENOVATION AND EXPANSION OF AN EXISTING RESTAURANT.	<b>PROPOSED USES (NEW ORLEANS CZD)</b> STANDARD RESTAURANT
<b>LEGAL DESCRIPTION</b> SQ 22 L07 13 DUMAINE; 22X98	<b>FLOOD ZONES</b> ZONE X FIRM PANEL 22071C0233F
<b>BOUNDING STREETS</b> DUMAINE STREET, CHARTERS STREET (SIDE), MADISON STREET (SIDE), DECATUR STREET (SIDE)	<b>OCCUPANCY CLASSIFICATION</b> NFPA 101, SEPARATED OCCUPANCY, ASSEMBLY (CH 12) AND TWO-FAMILY DWELLING (CH 14). IBC, SEPARATED OCCUPANCY: A-2 AND R-3.
<b>BUILDING</b> STORIES 3	<b>CONSTRUCTION TYPE</b> IBC TYPE III-B (NFPA) TYPE III (200)
<b>BUILDING AREA</b> EXISTING RENOVATED PRIMARY STRUCTURE FIRST FLOOR 1,103 SF 1,103 SF SECOND FLOOR 1,373 SF 0 SF THIRD FLOOR 1,373 SF 0 SF TOTAL 4,335 SF 1,580 SF	<b>FIRE PROTECTION</b> STRUCTURAL FRAME 0 HR BEARING WALLS 2 HR EXTERIOR 2 HR INTERIOR 0 HR NONBEARING WALLS AND PARTITIONS 1 HR (X & 107) INTERIOR 0 HR FLOOR CONSTRUCTION 0 HR ROOF CONSTRUCTION 0 HR FIRE WALLS 3 HR HAZARD OF CONTENTS ORDINARY FIRE SUPPRESSION SYSTEM PROVIDED FIRE ALARM SYSTEM PROVIDED
<b>ACCESSORY STRUCTURE</b> FIRST FLOOR 285 SF 0 SF SECOND FLOOR 285 SF 0 SF TOTAL 570 SF 0 SF	
<b>FIRST FLOOR MEZZANINE: 486 SF</b> - PER IBC 505.2 MEZZANINE EXCLUDED FROM BUILDING AREA	
<b>MAJOR APPLICABLE CODES AND REGULATIONS</b> (NOT LIMITED TO THE FOLLOWING) NFPA 101 LIFE SAFETY CODE 2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL EXISTING BUILDING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2021 NATIONAL ELECTRICAL CODE 2020 COMMERCIAL BUILDING ENERGY CONSERVATION CODE (ASHRAE 90.1) 2021 AMERICANS WITH DISABILITIES ACT 2010 ADA-ABA STANDARDS	
<b>ZONING CLASSIFICATION</b> ZONING DISTRICT VCC-1, VIEUX CARRE COMMERCIAL DISTRICT LOCAL HISTORIC DISTRICT VIEUX CARRE - FULL CONTROL FUTURE LAND USE MU-HC, MIXED-USE HISTORIC CORE INTERIM DISTRICTS RESIDENTIAL SHORT TERM RENTAL INTERIM ZONING DISTRICT BED AND BREAKFAST INTERIM ZONING DISTRICT INCLUSIONARY ZONING MUZ, MANDATORY INCLUSIONARY ZONING SUB-DISTRICTS, CORE SUB-DISTRICT	

VICINITY MAP



INDEX OF DRAWINGS	
G001	INFORMATION SHEET
G002	STANDARDS
G201	LIFE SAFETY PLANS
A001	SITE PLANS
A101	FIRST FLOOR & MEZZANINE PLANS - DEMOLITION
A102	SECOND & THIRD FLOOR PLANS - DEMOLITION
A103	ROOF PLAN - DEMOLITION
A201	FIRST FLOOR & MEZZANINE PLANS
A202	SECOND & THIRD FLOOR PLANS
A203	ROOF PLAN
A301	FIRST FLOOR & MEZZANINE REFLECTED CEILING PLANS
A401	EXTERIOR ELEVATIONS
A410	CROSS SECTIONS
A600	SCHEDULES & CLARIFICATION OF PARTITION TYPES
A701	STAIR 1
A702	STAIR 3
A703	STAIR 3
A801	TOILET ROOMS
F8001	HOOD & FIRE SUPPRESSION
F8002	CONTROLS
F8003	SUPPLY & EXHAUST FANS
P001	RISER DIAGRAM - DEMOLITION
P002	RISER DIAGRAM
E201	FIRST FLOOR & MEZZANINE - POWER & SWITCHING PLANS
TOTAL NUMBER OF SHEETS: 24	

PROJECT DIRECTORY

<b>TENANT / CLIENT</b> PALABRA, LLC 508 DUMAINE STREET, UNIT A NEW ORLEANS, LA 70116 KONRAD KANTOR konradkantor@gmail.com	<b>BUILDING OWNER</b> EDWARD ST. PE 1016 B GOVERNMENT STREET OCEAN SPRINGS, MS 39564
<b>ARCHITECT</b> STUDIO WEST DESIGN & ARCHITECTURE 2340 DAUPHINE STREET NEW ORLEANS, LA 70117 TEL: 504.380.9880 JENNIE CANNON WEST, OWNER jenniewest@studiowest.design	<b>CONTRACTOR</b> TBD ADDRESS TEL. CONTACT EMAIL LICENSE #

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New Orleans, LA 70116  
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INFORMATION SHEET

G001

June 27, 2023





EXISTING LIFE SAFETY							
FUNCTION OF SPACE	OCCUPANCY TYPE	AREA	AREA PER OCC.	NET / GROSS	NUMBER OF OCCUPANTS	0.2" EGRESS WIDTH	0.3" EGRESS WIDTH
FIRST FLOOR							
RESIDENTIAL	RESIDENTIAL	240 SF	200 SF	GROSS	2	0.4	0.6
RESIDENTIAL	RESIDENTIAL	428 SF	200 SF	GROSS	3	0.6	0.9
KITCHEN	KITCHENS, COMMERCIAL	101 SF	300 SF	GROSS	1	0.2	0.3
STORAGE	ACCESSORY STORAGE AREA	90 SF	300 SF	GROSS	1	0.2	0.3
SEATING	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED	151 SF	15 SF		11	2.2	3.3
		1011 SF			18	5.8	8.4
MEZZANINE							
SEATING	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED	131 SF	15 SF	NET	9	1.8	2.7
RESIDENTIAL	RESIDENTIAL	236 SF	200 SF	GROSS	2	0.4	0.6
RESIDENTIAL	RESIDENTIAL	240 SF	200 SF	GROSS	2	0.4	0.6
		608 SF			13	2.6	3.9
SECOND FLOOR							
RESIDENTIAL	RESIDENTIAL	1243 SF	200 SF	GROSS	7	1.4	2.1
RESIDENTIAL	RESIDENTIAL	1243 SF			7	1.4	2.1
THIRD FLOOR							
RESIDENTIAL	RESIDENTIAL	1243 SF	200 SF		7	1.4	2.1
RESIDENTIAL	RESIDENTIAL	1243 SF			7	1.4	2.1

PROPOSED LIFE SAFETY							
FUNCTION OF SPACE	OCCUPANCY TYPE	AREA	AREA PER OCC.	NET / GROSS	NUMBER OF OCCUPANTS	0.2" EGRESS WIDTH	0.3" EGRESS WIDTH
FIRST FLOOR							
KITCHEN	KITCHENS, COMMERCIAL	269 SF	150 SF	GROSS	3	0.6	0.9
SEATING	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED	176 SF	15 SF	NET	12	2.4	3.6
COURTYARD SEATING	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED	451 SF	15 SF	NET	31	6.2	9.3
STORAGE	ACCESSORY STORAGE AREA	166 SF	300 SF	GROSS	1	0.2	0.3
SEATING	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED	168 SF	15 SF	NET	12	2.4	3.6
		1230 SF			70	14	21
MEZZANINE							
SEATING	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED	347 SF	15 SF	NET	24	4.8	7.2
STORAGE	ACCESSORY STORAGE AREA	176 SF	300 SF	GROSS	1	0.2	0.3
		523 SF			25	5	7.5
SECOND FLOOR							
RESIDENTIAL	RESIDENTIAL	1243 SF	200 SF	GROSS	7	1.4	2.1
RESIDENTIAL	RESIDENTIAL	1243 SF			7	1.4	2.1
THIRD FLOOR							
RESIDENTIAL	RESIDENTIAL	1243 SF	200 SF	GROSS	7	1.4	2.1
RESIDENTIAL	RESIDENTIAL	1243 SF			7	1.4	2.1

# SWDA NEW ORLEANS

2340 DAUPHINE STREET  
NEW ORLEANS, LOUISIANA 70117

## CLARIFICATION OF SYMBOLS FIRE RESISTIVITY AND EXITING

(R)	FIRE RATING OF OPENING PROTECTIVE IN MINUTES NFPA 101 B.4
(S)	SMOKE PARTITION DOOR NFPA 101 B.4
→	ROUTE OF MAXIMUM COMMON PATH OR TRAVEL DISTANCE
+	MEASURED DISTANCE OF EXIT SEPARATION
30	CUMULATIVE OCCUPANT LOAD OF ROOM OR AREA
10	FUNCTION OF SPACE AREA IN SQUARE FOOT
200	OCCUPANT LOAD OF ROOM OR AREA
DOOR 30	EGRESS COMPONENT
30	CLEAR WIDTH OF EGRESS COMPONENT
170	EGRESS CAPACITY FACTOR
30	EGRESS CAPACITY
30	OCCUPANT LOAD USED TO DETERMINE EXITING WIDTH
---	SMOKE PARTITION
---	30 MIN. FIRE RATED PARTITION
---	1 HR FIRE RATED PARTITION
---	2 HR FIRE RATED PARTITION
---	3 HR FIRE RATED WALL
---	1 HR FIRE RATED HORIZONTAL SEPARATION

## TRAVEL DISTANCES

PATH	LENGTH
A	107' - 8 1/2"
B	63' - 8"
C	112' - 2"
D	35' - 6"

## 508 DUMAINE UNIT A

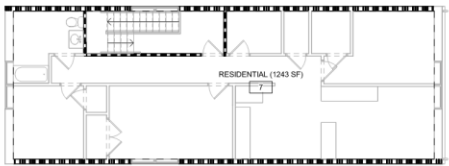
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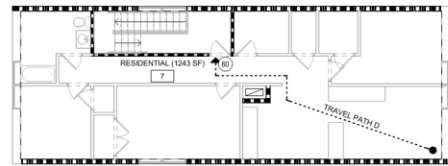
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## LIFE SAFETY PLANS

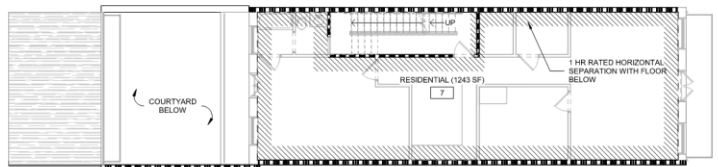
G201



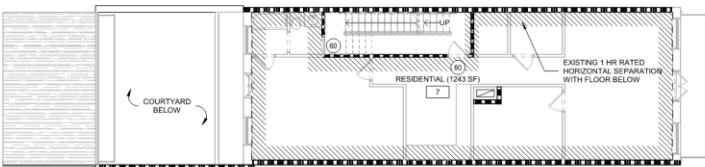
7 EXISTING THIRD FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



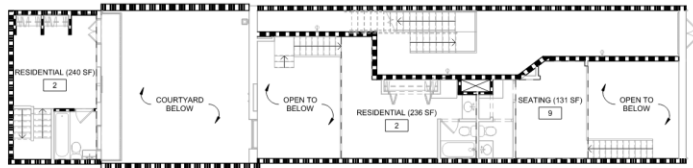
4 THIRD FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



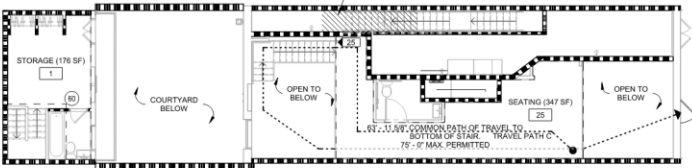
6 EXISTING SECOND FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



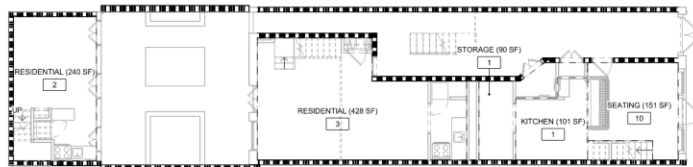
3 SECOND FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



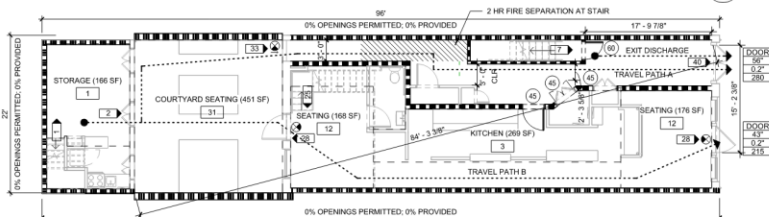
5 EXISTING MEZZANINE LIFE SAFETY PLAN  
1/8" = 1'-0"



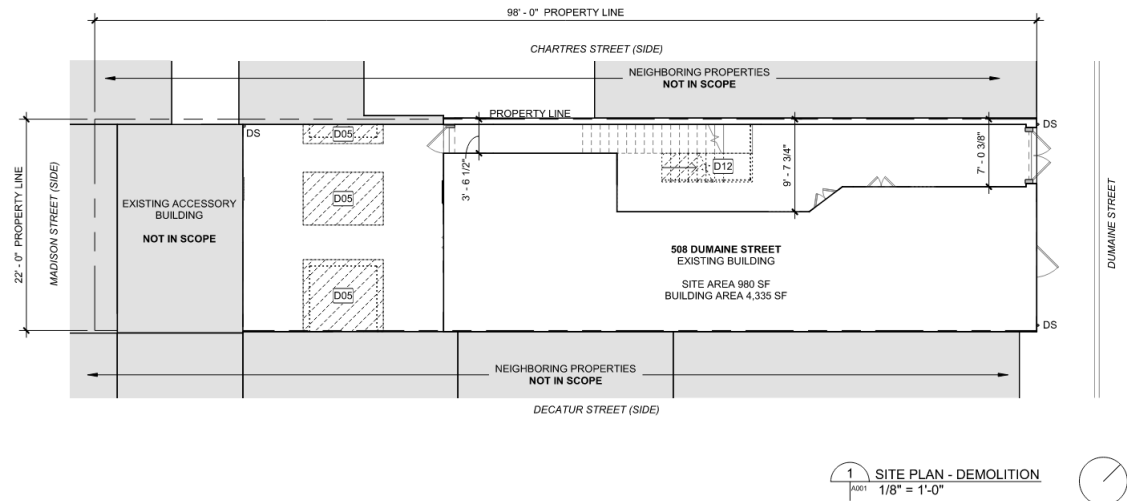
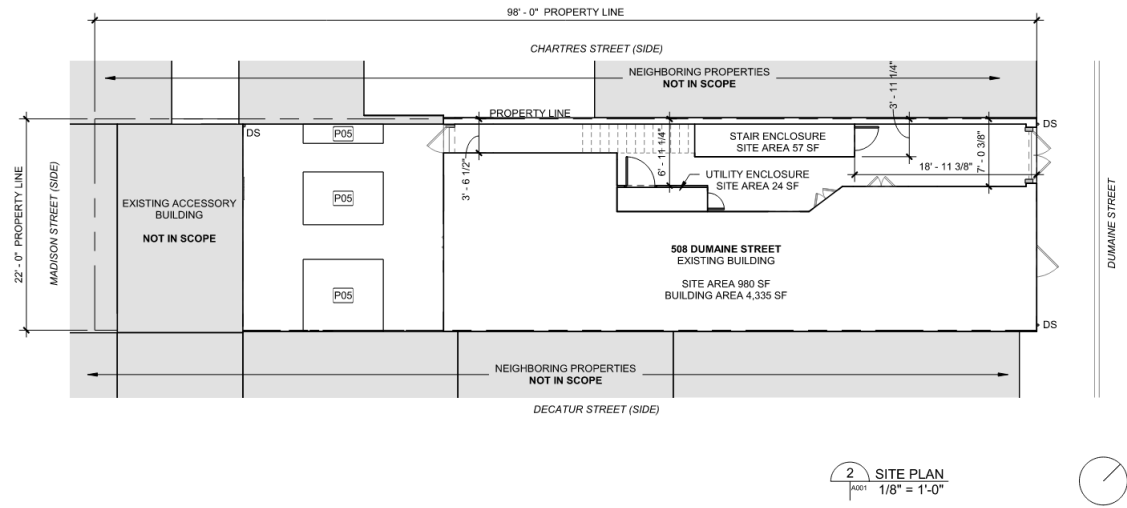
2 MEZZANINE LIFE SAFETY PLAN  
1/8" = 1'-0"



9 EXISTING FIRST FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



1 FIRST FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



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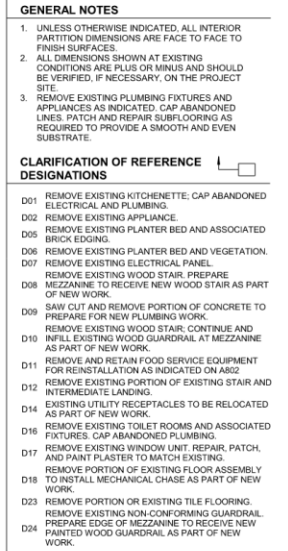
SITE PLANS

A001

June 27, 2023







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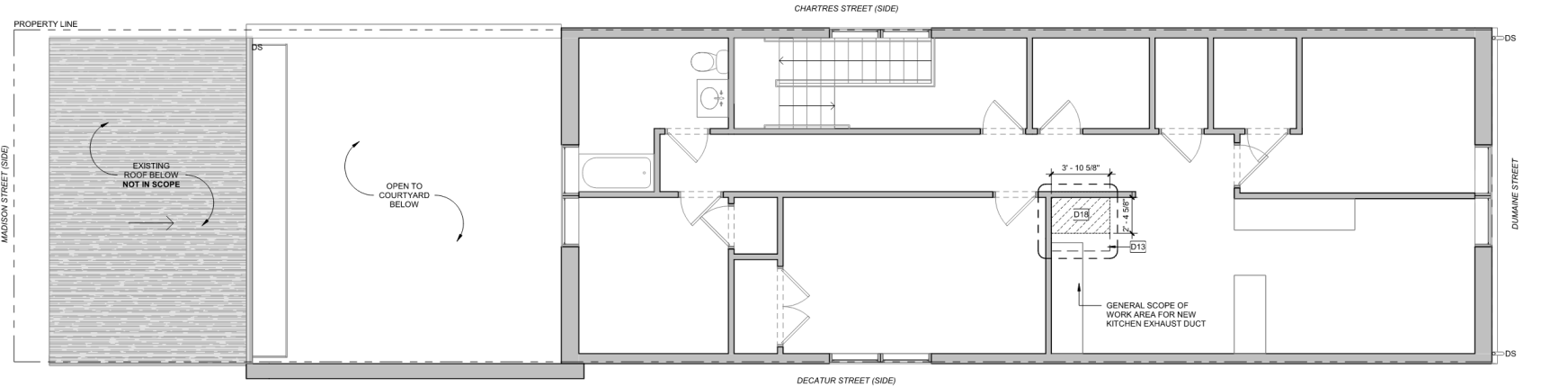
**A101**

June 27, 2023

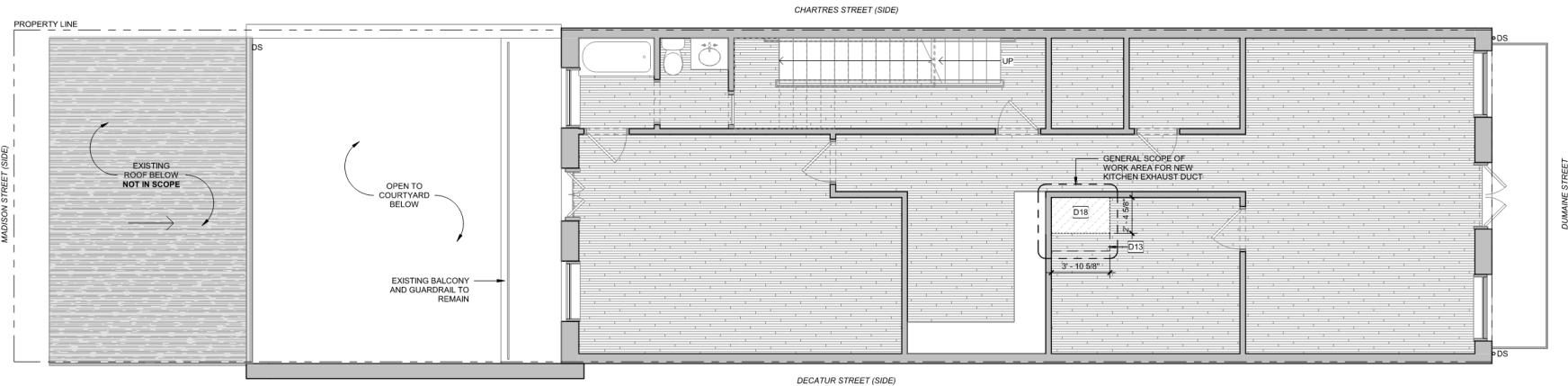
-  PORTION OF AREA TO BE DEMOLISHED
-  NOT IN SCOPE, EXCEPT AS NOTED OTHERWISE

- GENERAL NOTES**
- UNLESS OTHERWISE INDICATED, ALL INTERIOR PARTITION DIMENSIONS ARE FACE TO FACE TO FINISH SURFACES.
  - ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS OR MINUS AND SHOULD BE VERIFIED, IF NECESSARY, ON THE PROJECT SITE.
  - REMOVE EXISTING PLUMBING FIXTURES AND APPLIANCES AS INDICATED. CAP ABANDONED LINES. PATCH AND REPAIR SUBFLOORING AS REQUIRED TO PROVIDE A SMOOTH AND EVEN SUBSTRATE.

- CLARIFICATION OF REFERENCE DESIGNATIONS**
- REMOVE PORTION OF EXISTING CEILING TO INSTALL NEW FLOOR FRAMING HEADER. PATCH, REPAIR, AND PAINT.
  - REMOVE PORTION OF EXISTING FLOOR ASSEMBLY TO INSTALL MECHANICAL CHASE AS PART OF NEW WORK.



2 THIRD FLOOR PLAN - DEMOLITION  
1/4" = 1'-0"



1 SECOND FLOOR PLAN - DEMOLITION  
1/4" = 1'-0"

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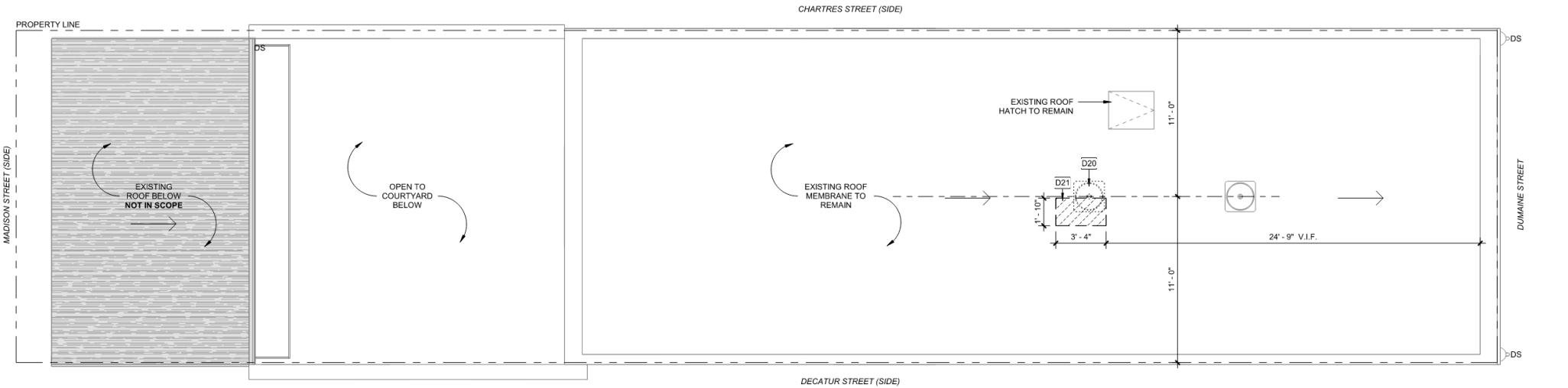


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**SECOND & THIRD FLOOR PLANS - DEMOLITION**







1 ROOF PLAN - DEMOLITION  
A103 1/4" = 1'-0"

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ROOF PLAN - DEMOLITION

A103



GRAPHIC RENOVATION LEGEND

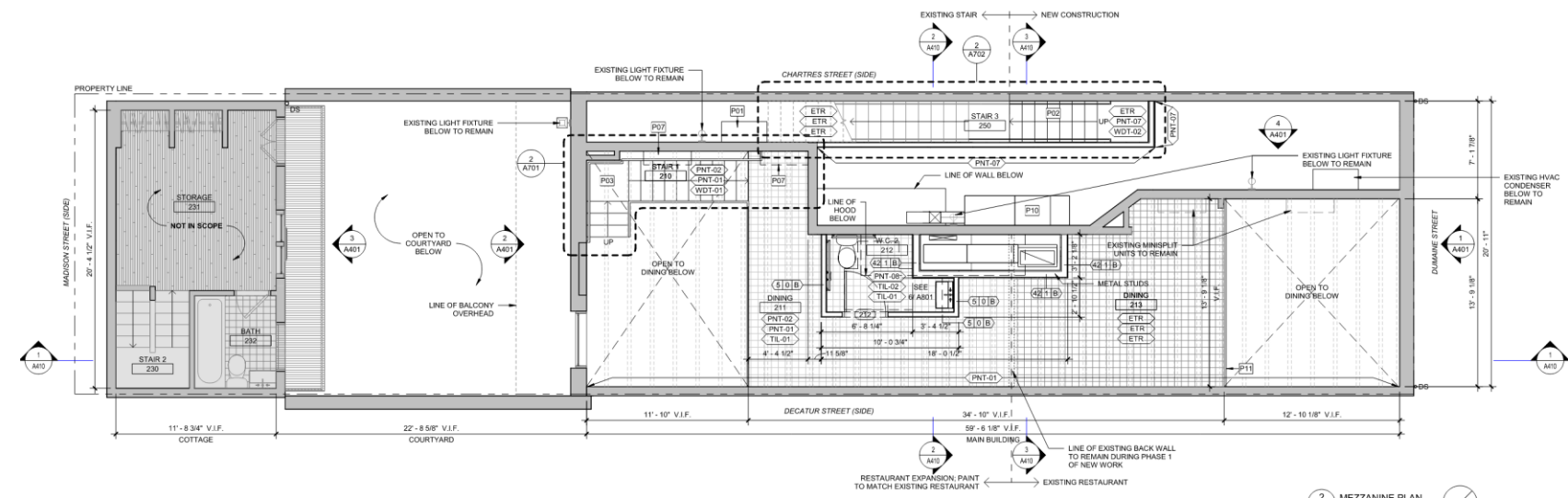
- NOT IN SCOPE  
EXCEPT AS NOTED OTHERWISE
- NEW WALLS
- EXISTING WALLS TO REMAIN

GENERAL NOTES

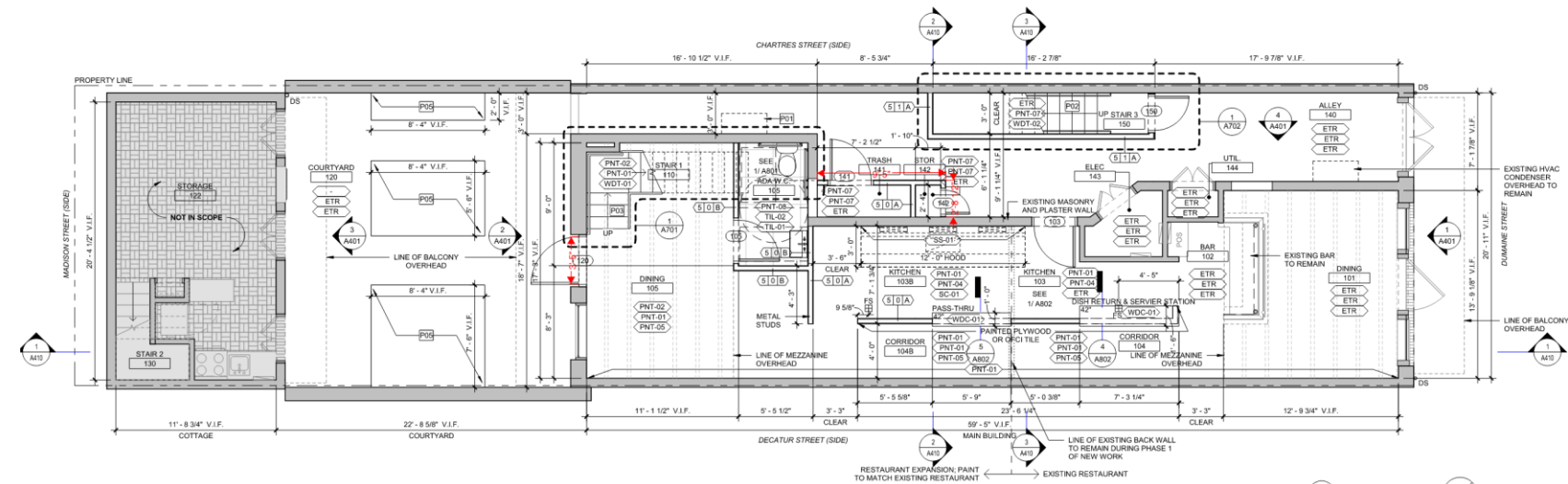
- UNLESS OTHERWISE INDICATED, ALL INTERIOR PARTITION DIMENSIONS ARE FACE TO FACE TO FINISH SURFACES.
- ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS OR MINUS AND SHOULD BE VERIFIED, IF NECESSARY, ON THE PROJECT SITE.
- REMOVE EXISTING PLUMBING FIXTURES AND APPLIANCES AS INDICATED. CAP ABANDONED LINES, PATCH AND REPAIR SUBFLOORING AS REQUIRED TO PROVIDE A SMOOTH AND EVEN SUBSTRATE.

CLARIFICATION OF REFERENCE DESIGNATIONS

- P01 PROVIDE HVAC CONDENSER OVERHEAD. REBUILD PORTION OF STRAIGHT RUN, PAINTED WOOD TREADS, RISERS, AND HANDRAIL TO MATCH EXISTING ADJACENT RUN.
- P02 PROVIDE WOOD STAIR AND GUARDRAIL, MATCH STYLE AND ORNAMENT OF EXISTING, DEMOLISHED STAIR AND GUARDRAIL.
- P03 PROVIDE CONCRETE PATCH AND INFILL AT DEMOLISHED PLANTERS AND BRICK EDGING.
- P07 PROVIDE WALL MOUNT MINI-SPLIT UNIT.
- P10 PROVIDE WALL MOUNT SUPPLY FAN.
- P11 PROVIDE WOOD PAINTED GUARDRAIL, MATCH STYLE OF EXISTING ADJACENT GUARDRAIL.



2 MEZZANINE PLAN  
1/4" = 1'-0"



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

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FIRST FLOOR & MEZZANINE PLANS

A201

June 27, 2023





- NEW WALLS
- EXISTING WALLS TO REMAIN

GENERAL NOTES

- UNLESS OTHERWISE INDICATED, ALL INTERIOR PARTITION DIMENSIONS ARE FACE TO FACE TO FINISH SURFACES.
- ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS OR MINUS AND SHOULD BE VERIFIED, IF NECESSARY, ON THE PROJECT SITE.
- REMOVE EXISTING PLUMBING FIXTURES AND APPLIANCES AS INDICATED. CAP ABANDONED LINES. PATCH AND REPAIR SUBFLOORING AS REQUIRED TO PROVIDE A SMOOTH AND EVEN SUBSTRATE.

CLARIFICATION OF REFERENCE DESIGNATIONS



2 THIRD FLOOR PLAN  
1/4" = 1'-0"



1 SECOND FLOOR PLAN  
1/4" = 1'-0"



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SECOND & THIRD FLOOR PLANS

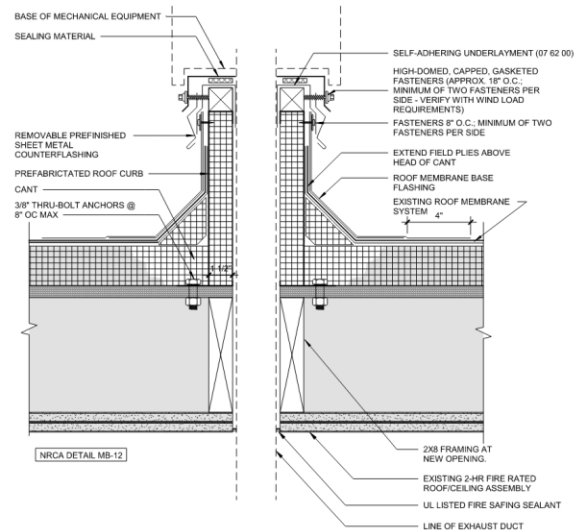
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June 27, 2023

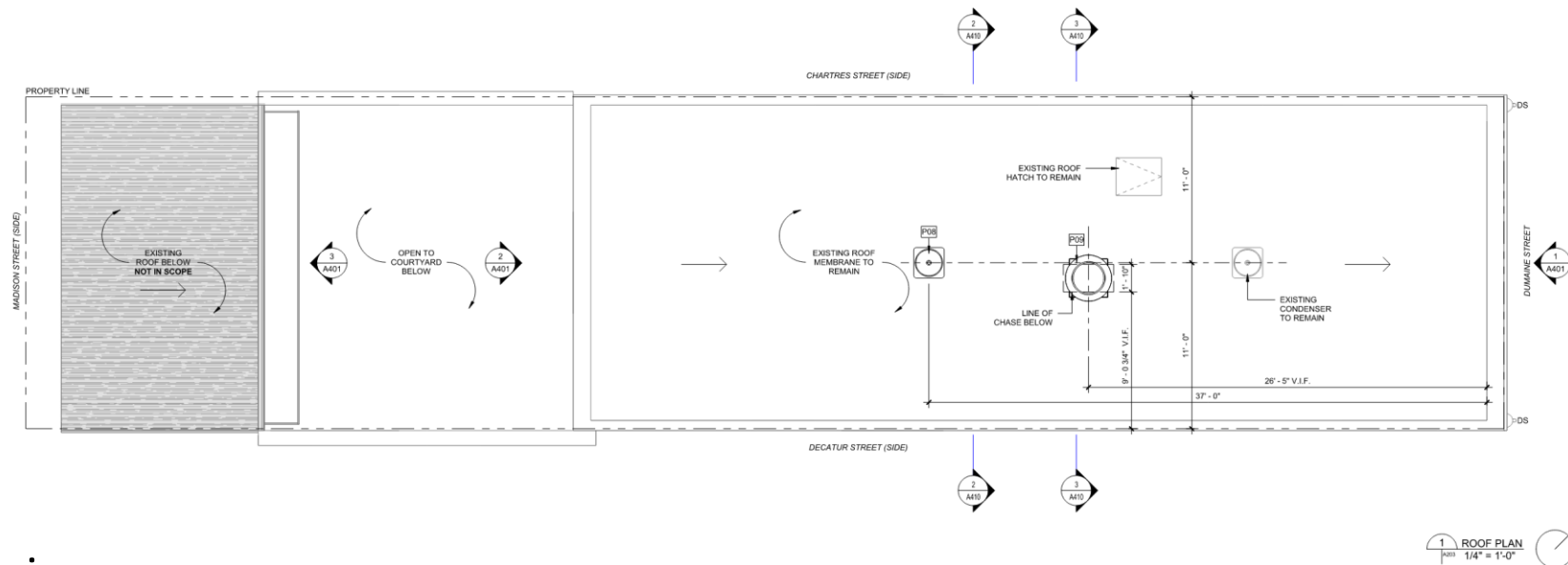


508 Dumaine

VCC Architecture Committee



2 SECTION THRU ROOF AT CURB-MOUNTED MECHANICAL EQUIPMENT  
1/8\"/>



1 ROOF PLAN  
1/4\"/>

- NOT IN SCOPE, EXCEPT AS NOTED OTHERWISE
- NEW WALLS
- EXISTING WALLS TO REMAIN

- GENERAL NOTES**
- UNLESS OTHERWISE INDICATED, ALL INTERIOR PARTITION DIMENSIONS ARE FACE TO FACE TO FINISH SURFACES.
  - ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS OR MINUS AND SHOULD BE VERIFIED, IF NECESSARY, ON THE PROJECT SITE.
  - REMOVE EXISTING PLUMBING FIXTURES AND APPLIANCES AS INDICATED. CAP ABANDONED LINES. PATCH AND REPAIR SUBFLOORING AS REQUIRED TO PROVIDE A SMOOTH AND EVEN SUBSTRATE.
- CLARIFICATION OF REFERENCE DESIGNATIONS**
- P08 REINSTALL EXISTING CONDENSER.
  - P09 PROVIDE EXHAUST FAN.

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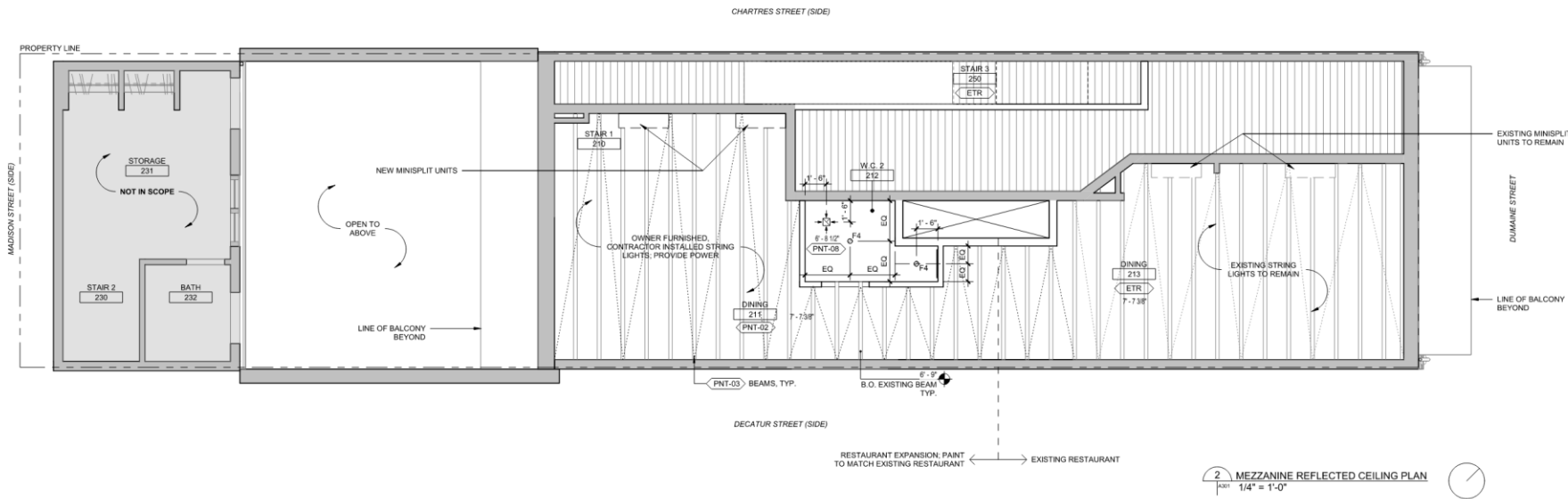
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**ROOF PLAN**

**A203**







**CLARIFICATION OF SYMBOLS  
REFLECTED CEILING PLAN**

1. CONTRACTOR SHALL VERIFY AND COORDINATE THE LOCATION OF ALL FIXTURES/ DEVICES INDICATED WITH THE MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER, ALARM AND SPECIAL DEVICES. NOTIFY ARCHITECT OF DISCREPANCIES/ CONFLICTS.
2. THE LOCATION OF ALL DEVICES TO BE INSTALLED IN FLOORS, ON WALLS AND CEILINGS, ASSOCIATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, SECURITY, AND OTHER SUCH SYSTEMS INCLUDING ACCESS PANELS, NOT SPECIFICALLY INDICATED ON THE DRAWINGS BUT PART OF THE CONSTRUCTION CONTRACT, SHALL BE APPROVED BY THE ARCHITECT. FAILURE TO RECEIVE APPROVAL SHALL BE CAUSE FOR REMOVAL AND RELOCATION AT NO COST TO THE OWNER.
3. ALL SYMBOLS APPEARING IN THIS LISTING MAY NOT NECESSARILY BE SHOWN ON REFLECTED CEILING PLAN OR BE APPLICABLE TO THIS PROJECT.

- GYPSUM BOARD CEILING
- WOOD CEILING
- 4\"/>

**CLARIFICATION OF REFERENCE  
DESIGNATIONS**

- P01 PROVIDE HVAC CONDENSER OVERHEAD.
- P10 PROVIDE WALL MOUNT SUPPLY FAN.

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**FIRST FLOOR & MEZZANINE  
REFLECTED CEILING PLANS**

**A301**

June 27, 2023

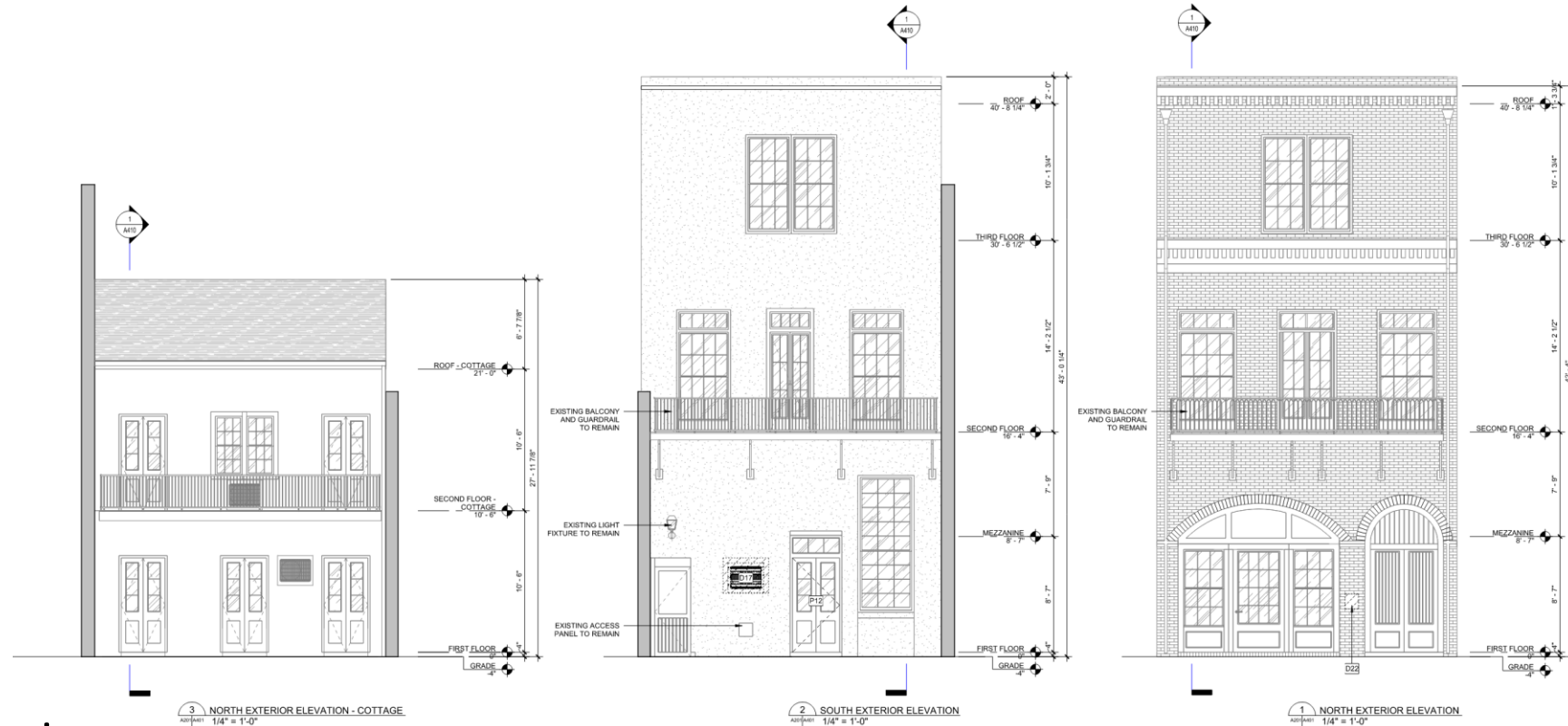
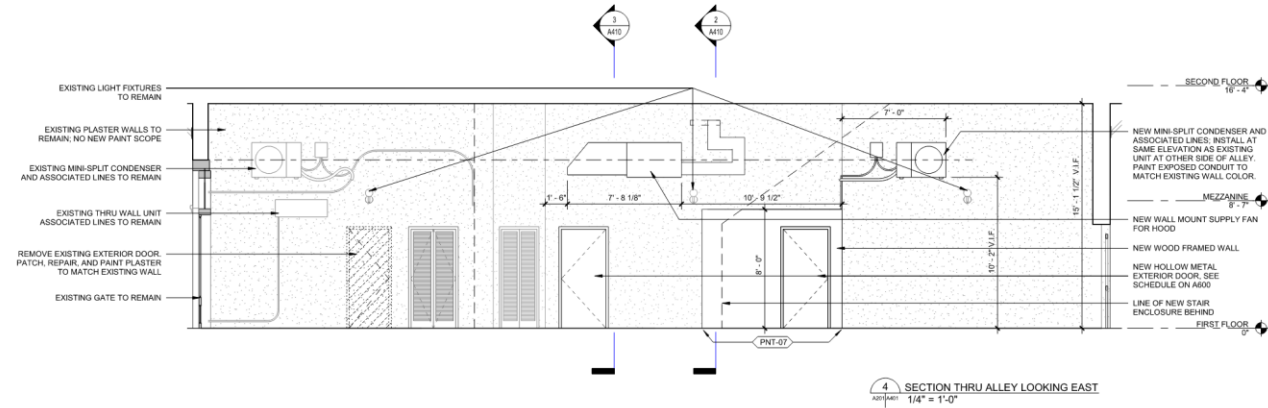


GRAPHIC RENOVATION LEGEND

- NOT IN SCOPE, EXCEPT AS NOTED OTHERWISE
- NEW WALLS
- EXISTING WALLS TO REMAIN

CLARIFICATION OF REFERENCE DESIGNATIONS

- D17 REMOVE EXISTING WINDOW UNIT. REPAIR, PATCH, AND PAINT PLASTER TO MATCH EXISTING.
- D22 REMOVE EXISTING MAILBOX. PATCH AND REPAIR MASONRY TO MATCH EXISTING.
- P12 COMBINE EXISTING DOUBLE DOOR INTO A SINGLE LEAF. SEE SCHEDULE ON A600.



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EXTERIOR ELEVATIONS

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A401

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GRAPHIC RENOVATION LEGEND

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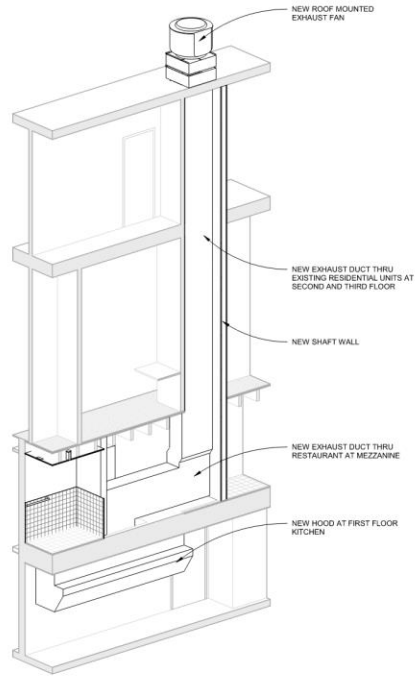


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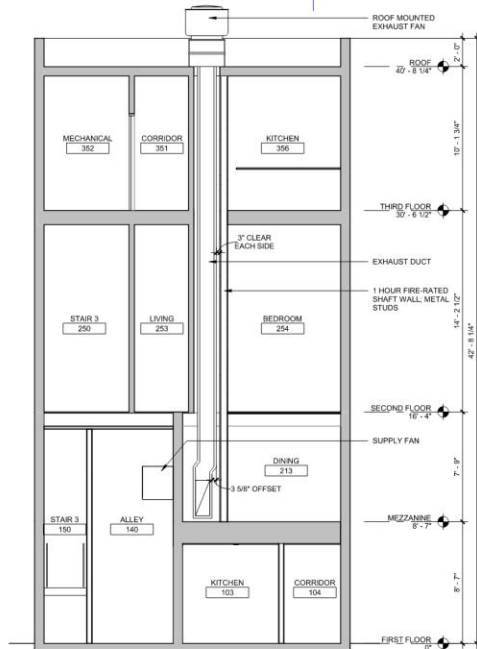
CROSS SECTIONS

A410

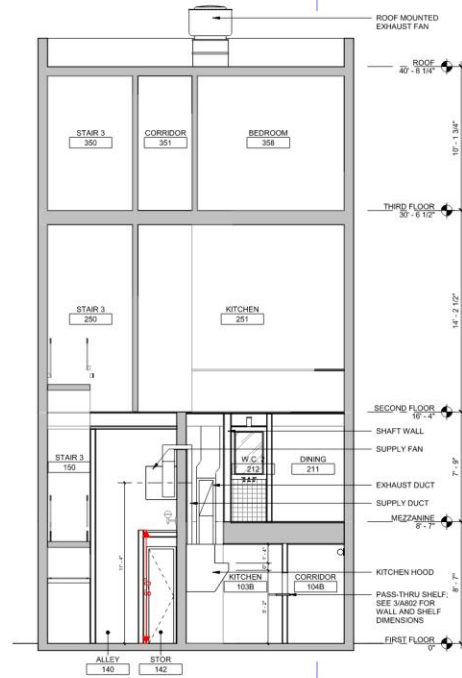
June 27, 2023



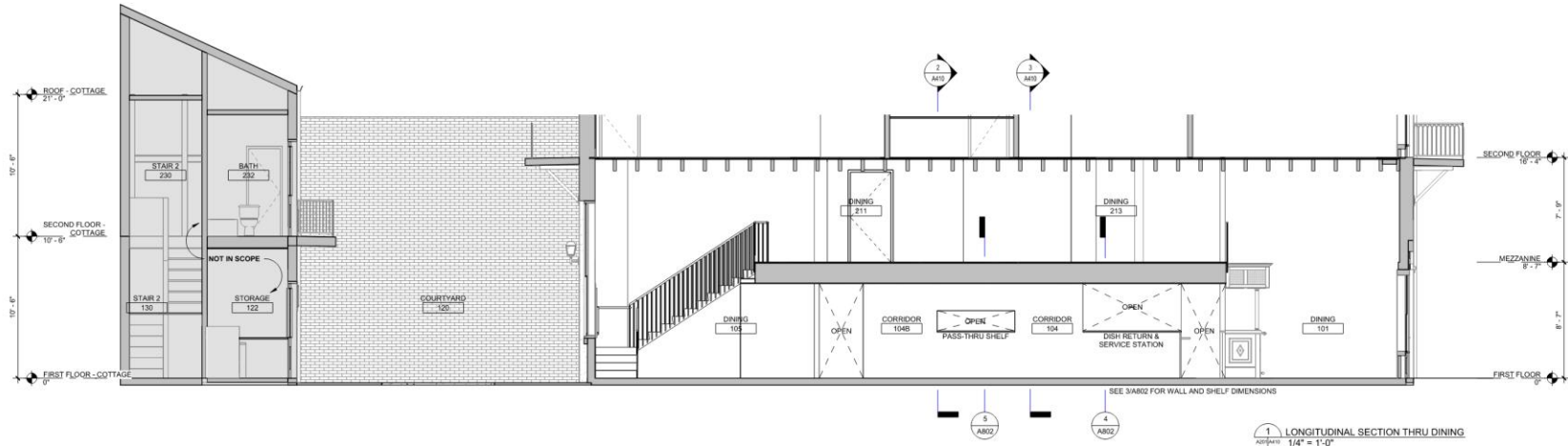
4 AXONOMETRIC - HOOD EXHAUST  
 A410 1/4" = 1'-0"



3 TRANSVERSE SECTION THRU EXHAUST CHASE  
 A410 1/4" = 1'-0"






2 TRANSVERSE SECTION THRU HOOD AT SUPPLY & EXHAUST  
 A410 1/4" = 1'-0"



508 Dumaine

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GRAPHIC RENOVATION LEGEND

-  NOT IN SCOPE, EXCEPT AS NOTED OTHERWISE  
 NEW WALLS  
 EXISTING WALLS TO REMAIN

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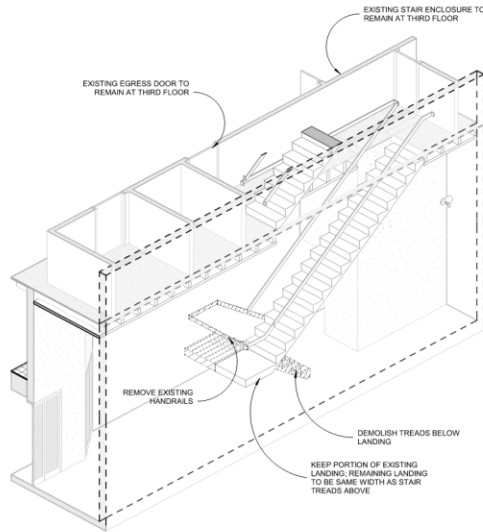
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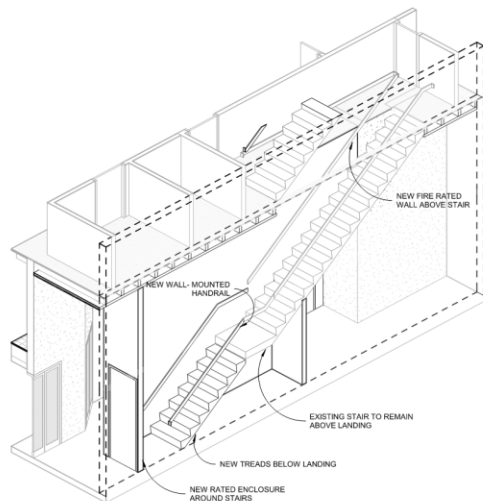
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## STAIR 3

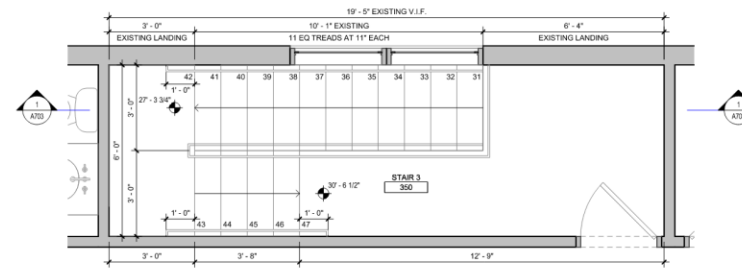
A702



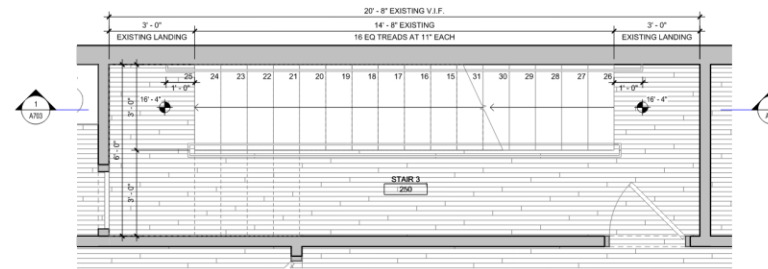
## 6 AXONOMETRIC - DEMOLITION



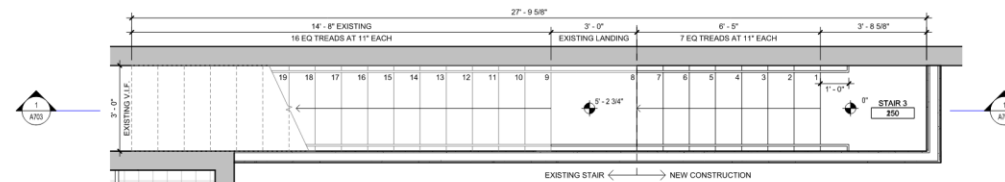
5 AXONOMETRIC



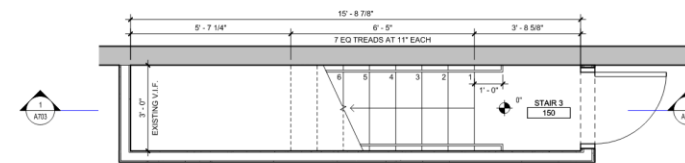
4 ENLARGED THIRD FLOOR PLAN - STAIR 3  
A205/A702 1/2" = 1'-0"



3 ENLARGED SECOND FLOOR PLAN - STAIR 3  
A202-A702 1/2" = 1'-0"

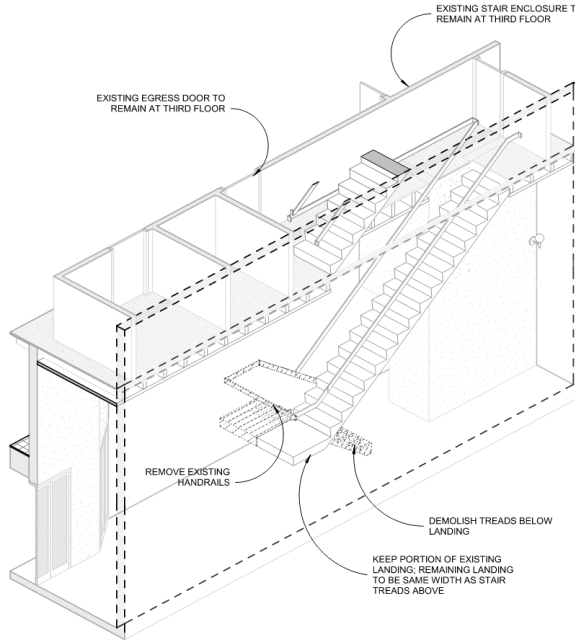


2 ENLARGED MEZZANINE PLAN - STAIR 3  
ASB/ATG 1/2" = 1'-0"

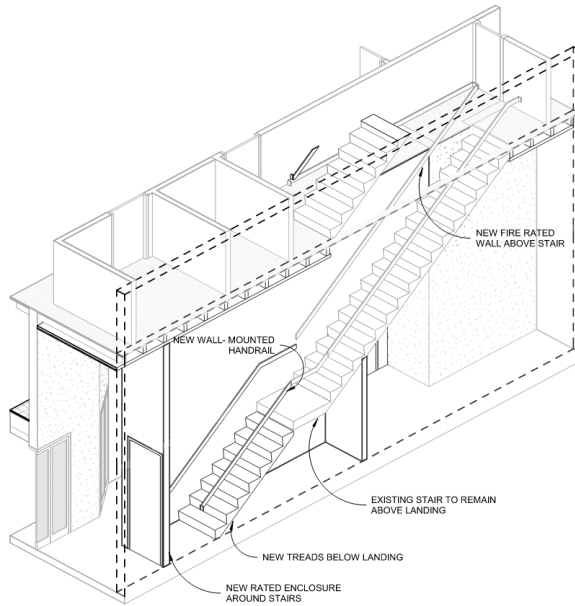


1 ENLARGED FIRST FLOOR PLAN - STAIR 3  
A201 A702 1/2" = 1'-0"



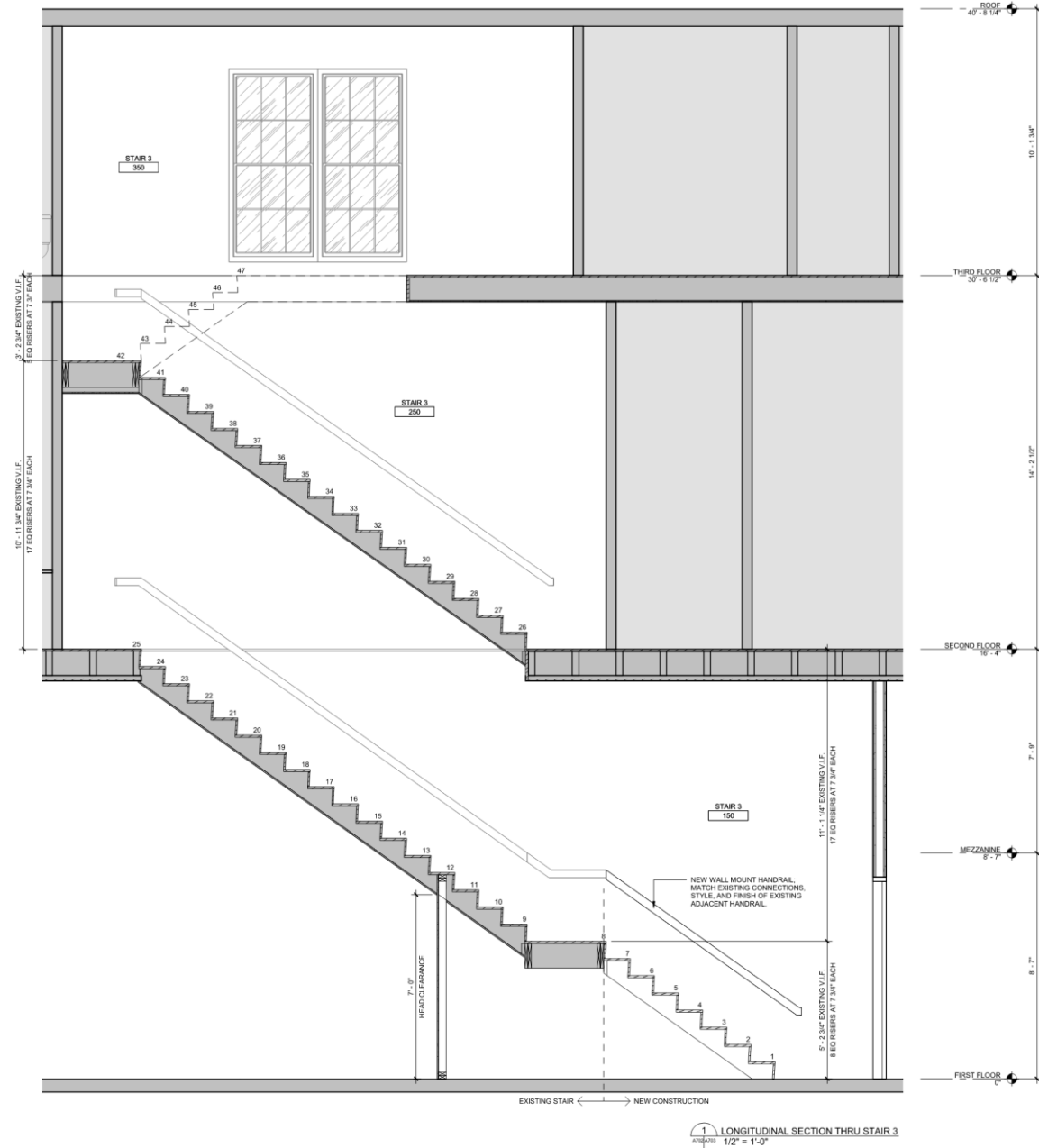


6 AXONOMETRIC - DEMOLITION



5 AXONOMETRIC





**SWDA**  
**NEW ORLEANS**  
2340 DAUPHINE STREET  
NEW ORLEANS, LOUISIANA 70117

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**STAIR 3**

**A703**

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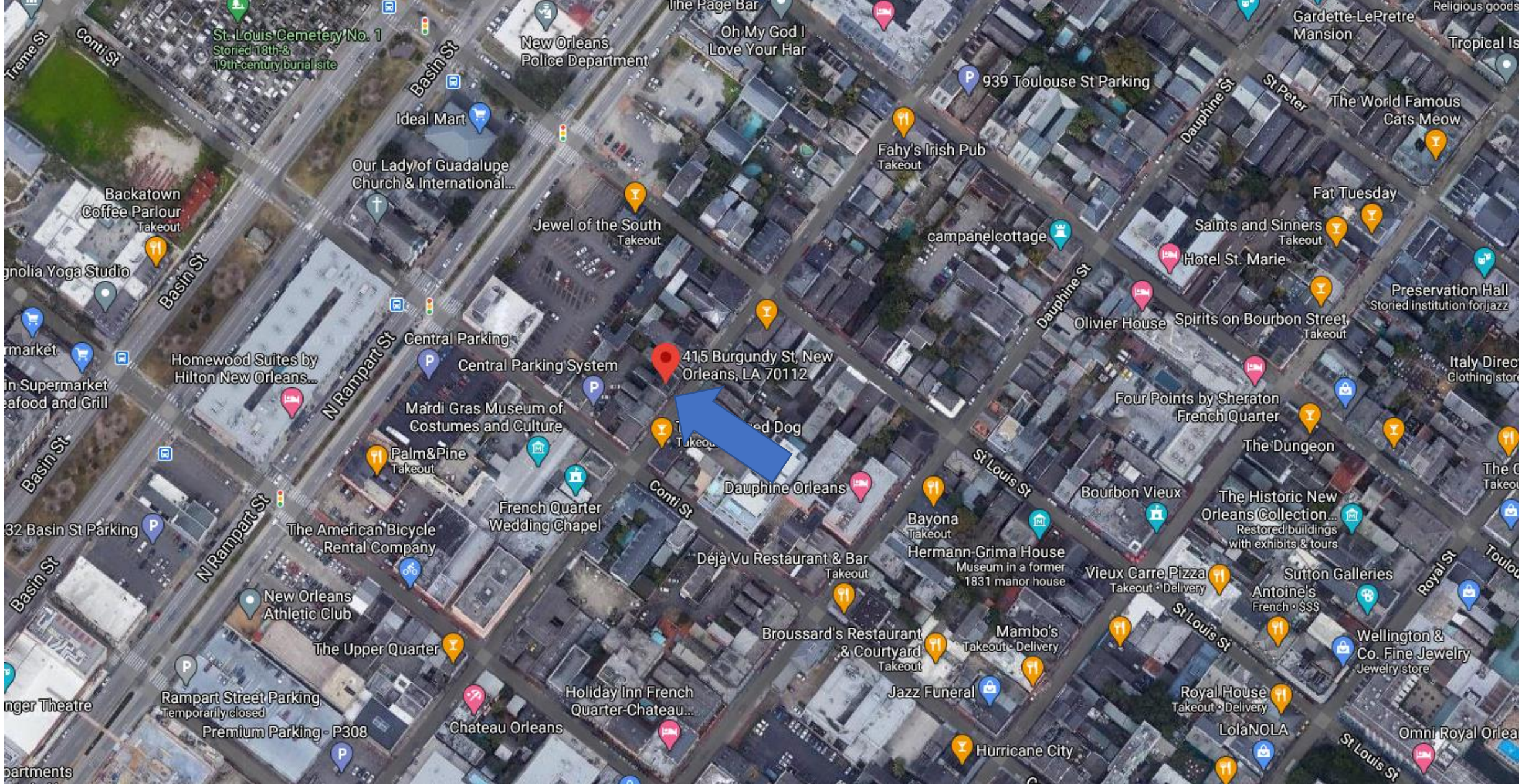
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415 Burgundy





415 Burgundy

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415 Burgundy

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415 Burgundy

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June 27, 2023





05 25 2023







05 25 2023



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415 Burgundy

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05 25 2023

June 27, 2023





05 25 2023

June 27, 2023







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409 Bourbon





409 Bourbon

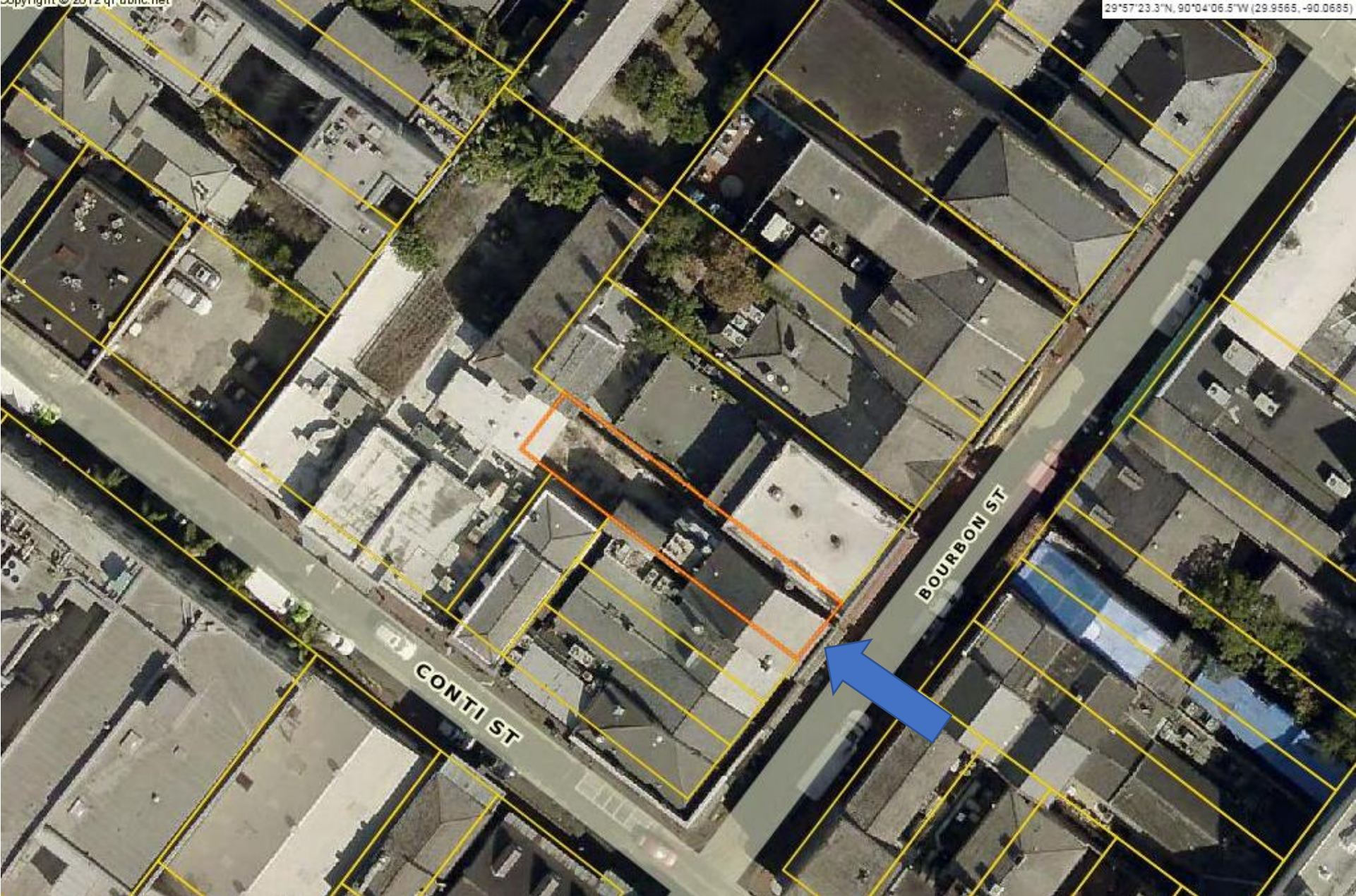
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409 Bourbon  
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409 Bourbon

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409 Bourbon, 1963

VCC Architecture Committee

June 27, 2023







409 Bourbon

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409 Bourbon, 2010

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409 Bourbon

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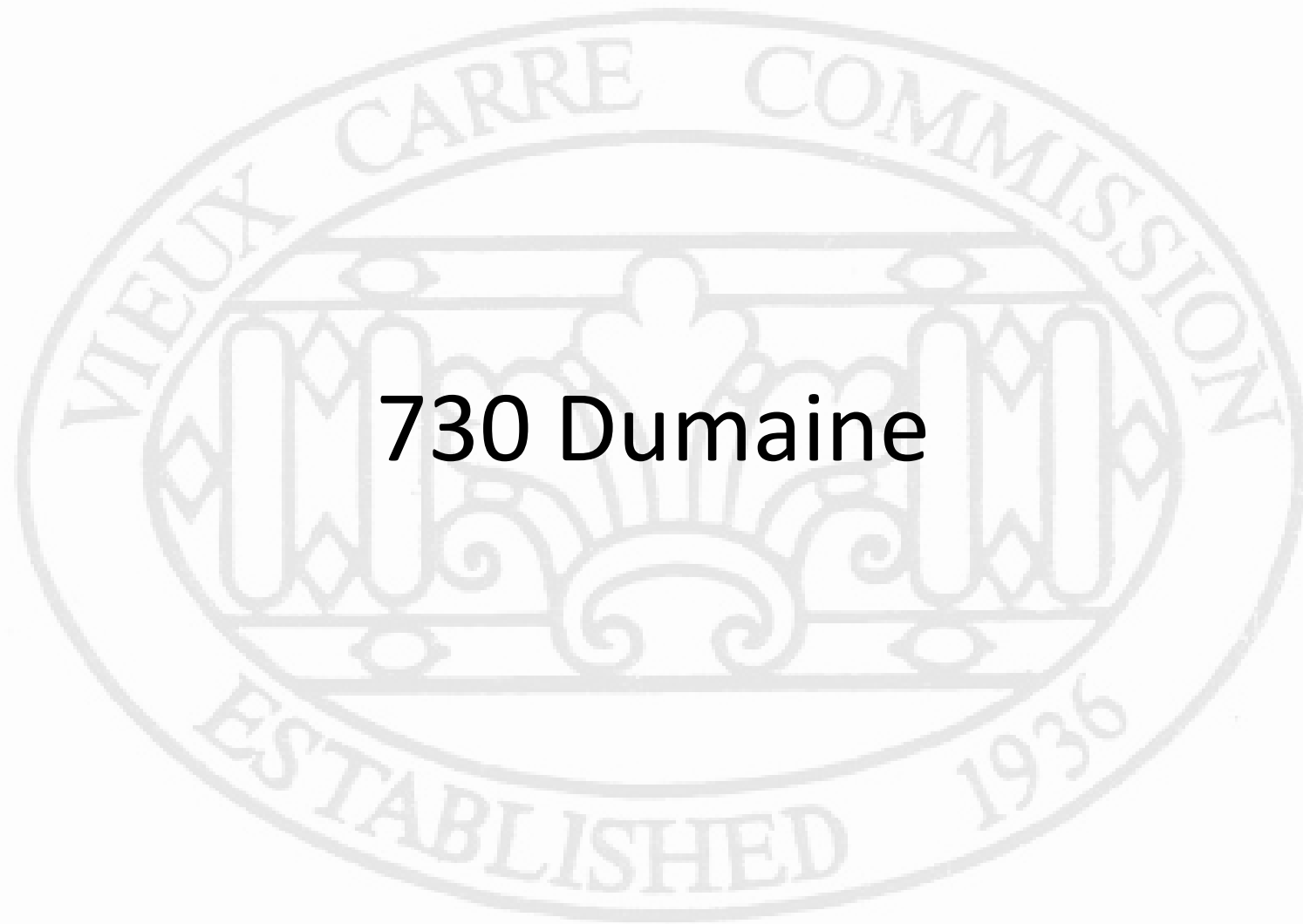


409 Bourbon

VCC Architecture Committee

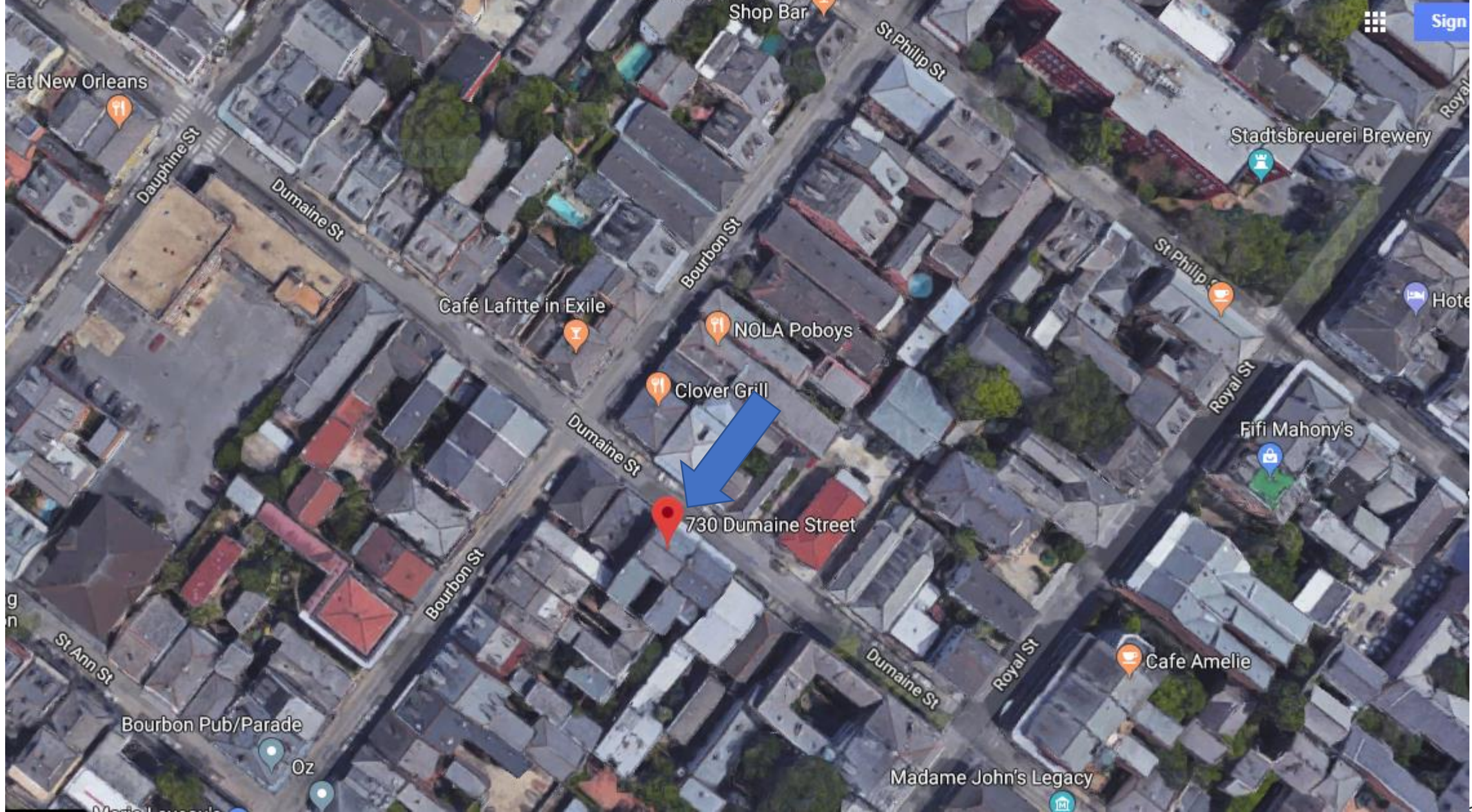
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730 Dumaine





730 Dumaine

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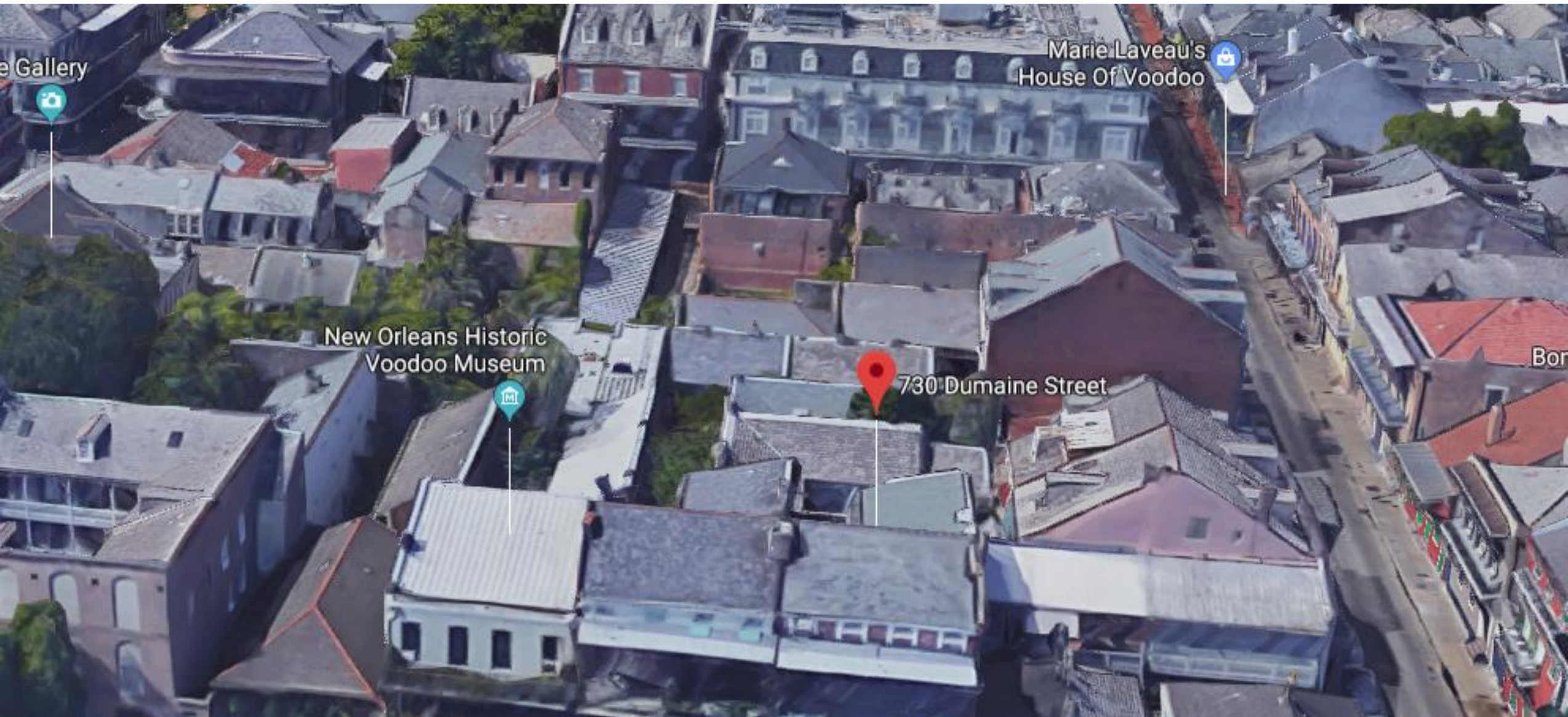
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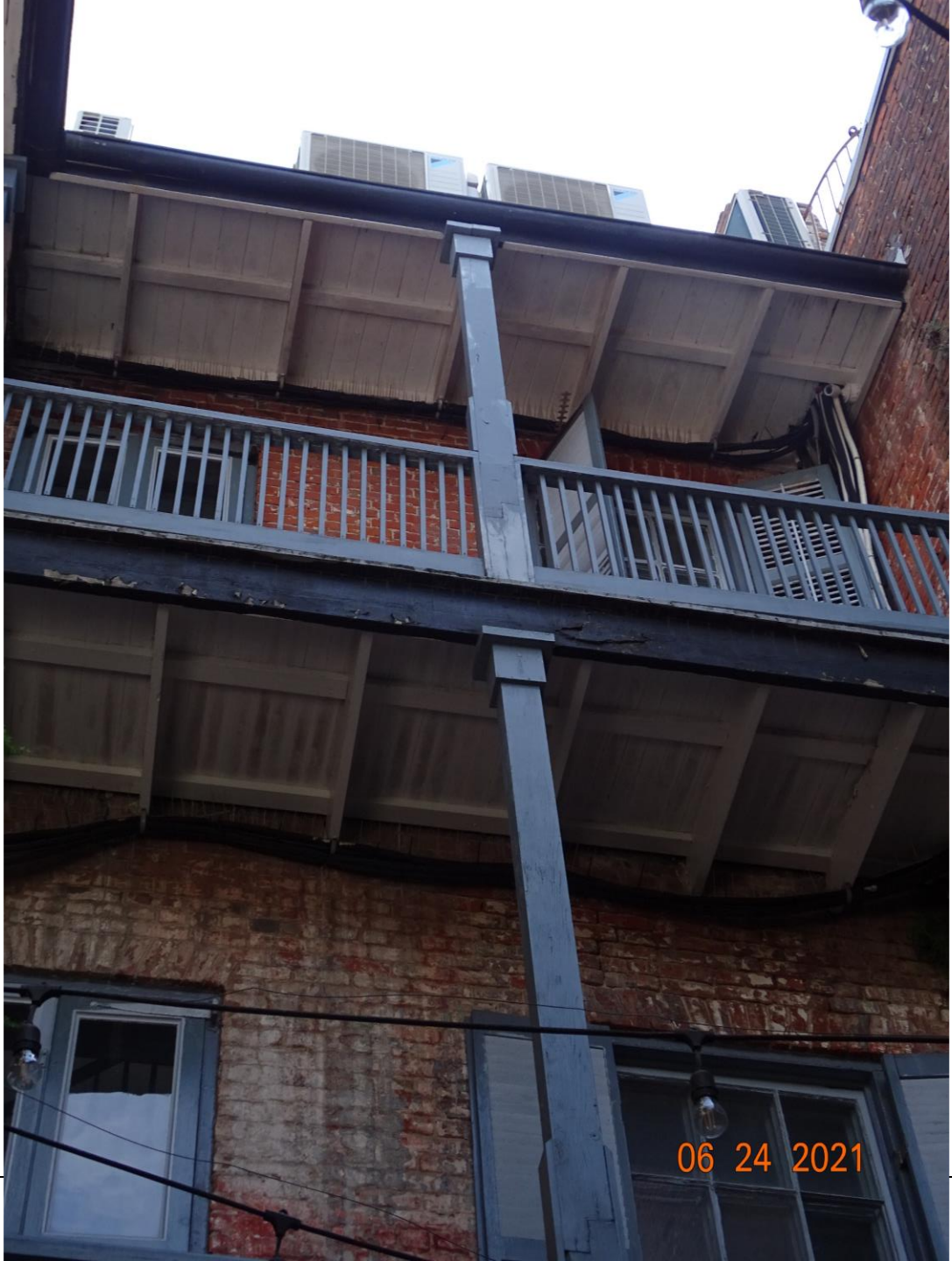
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June 27, 2023



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June 27, 2023







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VCC Architect















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VCC Architect

06 24 2021







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JOHN WILLIAMS ARCHITECTS LLC  
300 PINE STREET  
NEW ORLEANS, LA 70116  
PHONE: 504.581.1111 FAX: 504.581.1112

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.  
I will not be providing project construction administration services on this project.

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John Williams Architects LLC

730 DUMAINE  
730 DUMAINE STREET  
NEW ORLEANS, LA 70116

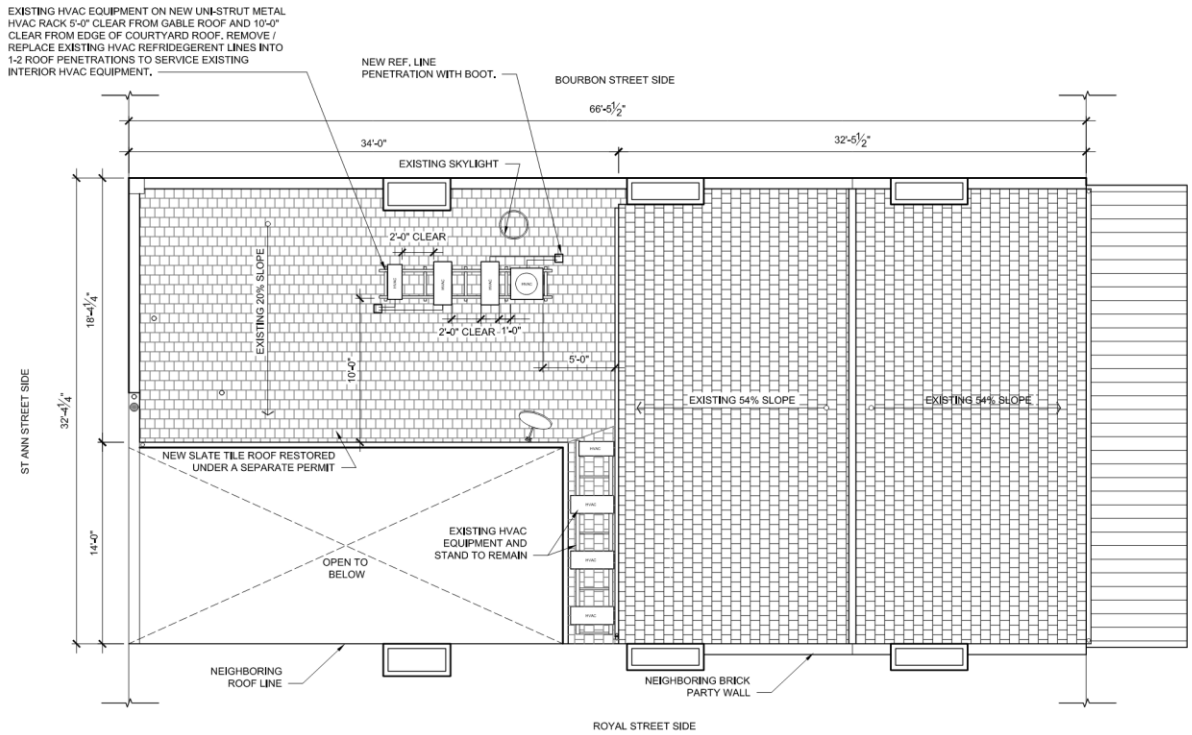
-REVISIONS-		
No.	Date	Scope

DRAWING  
PROPOSED ROOF PLAN

DRAWING BY DJ  
SCALE 1/4" = 1'  
JOB NO. 518023.00  
DATE 6/13/2023

Sheet No.

A001



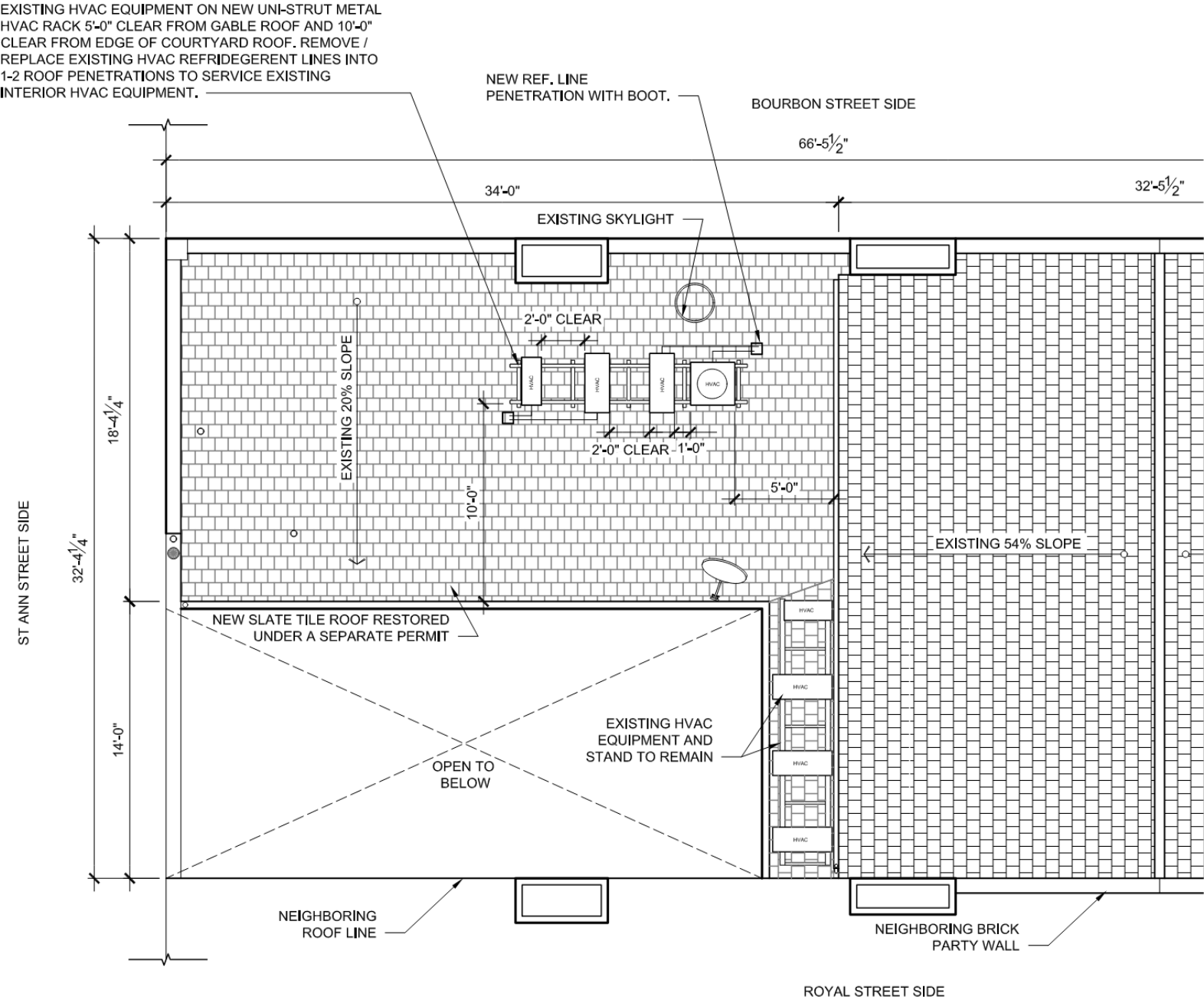
730 Dumaine

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1  
A001  
PROPOSED ROOF PLAN  
scale 1/4" = 1'-0"

June 27, 2023





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June 27, 2023





EXISTING HVAC EQUIPMENT ON NEW UNI-STRUT METAL HVAC RACK 5'-0" CLEAR FROM GABLE ROOF AND 10'-0" CLEAR FROM EDGE OF COURTYARD ROOF. REMOVE / REPLACE EXISTING HVAC REFRIGERANT LINES INTO 1-2 ROOF PENETRATIONS TO SERVICE EXISTING INTERIOR HVAC EQUIPMENT.

NEW REF. LINE PENETRATION WITH BOOT.

BOURBON STREET SIDE

66'-5 1/2"

34'-0"

EXISTING SKYLIGHT

2'-0" CLEAR

EXISTING 20% SLOPE

2'-0" CLEAR - 1'-0"

5'-0"

10'-0"

18'-4 1/4"

32'-4 1/4"

ST ANN STREET SIDE

NEW SLATE TILE ROOF RESTORED UNDER A SEPARATE PERMIT

730 Dumaine

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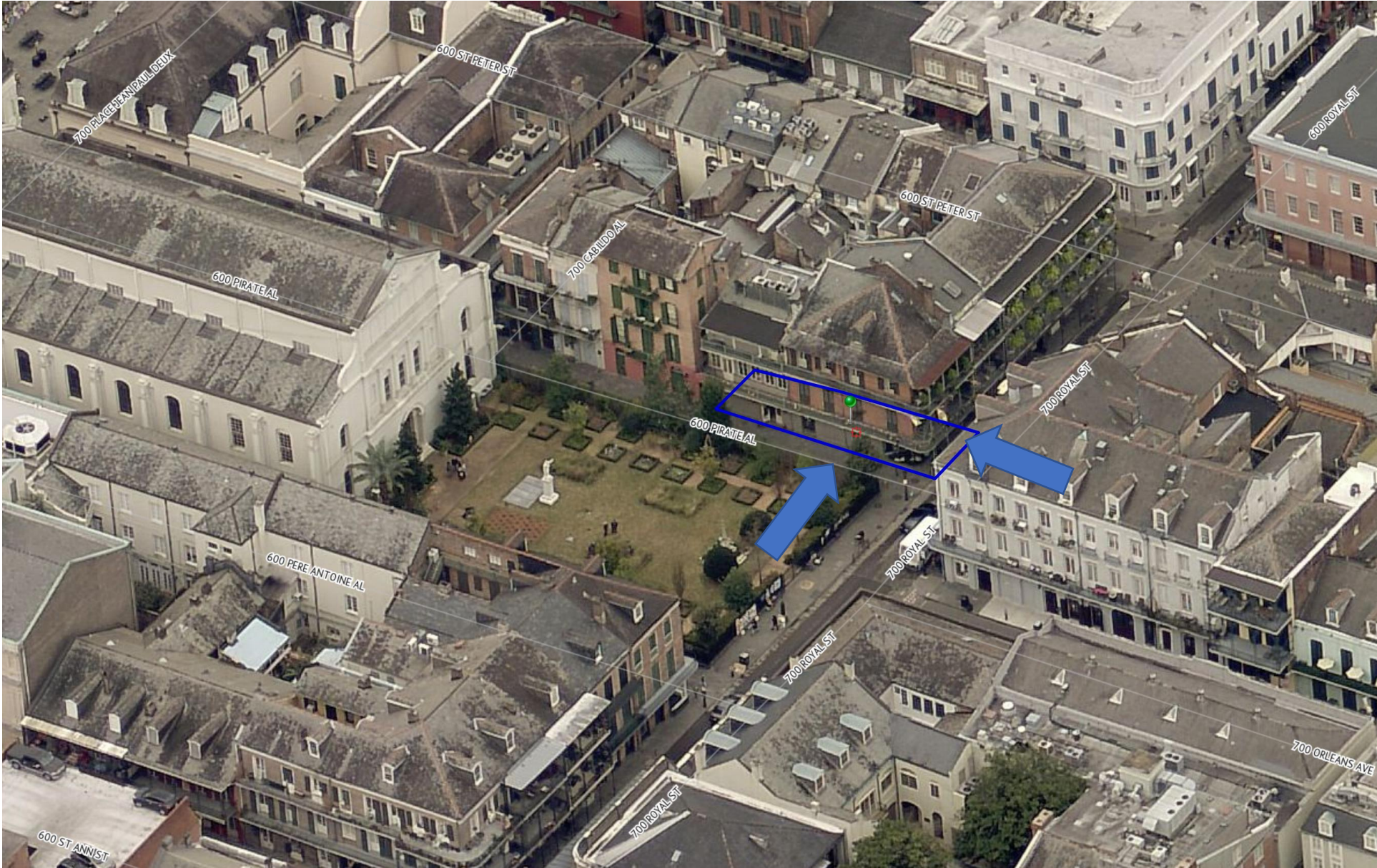
June 27, 2023





712 Royal,  
632 Pirate's Alley





712 Royal, 632 Pirate's Alley  
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June 27, 2023







712 Royal, 632 Pirate's Alley

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712 Royal, 632 Pirate's Alley

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June 27, 2023





712 Royal, 632 Pirate's Alley

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June 27, 2023







712 Royal, 632 Pirate's Alley  
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June 27, 2023





712 Royal, 632 Pirate's Alley

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712 Royal, 632 Pirate's Alley

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712 Royal, 632 Pirate's Alley

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712 Royal, 632 Pirate's Alley

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June 27, 2023







712 Royal, 632 Pirate's Alley  
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712 Royal, 632 Pirate's Alley

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712 Royal, 632 Pirate's Alley

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712 Royal, 632 Pirate's Alley





1238 Dauphine





1238 Dauphine

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June 27, 2023





1238 Dauphine

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June 27, 2023







1238 Dauphine

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1238 Dauphine

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1238 Dauphine

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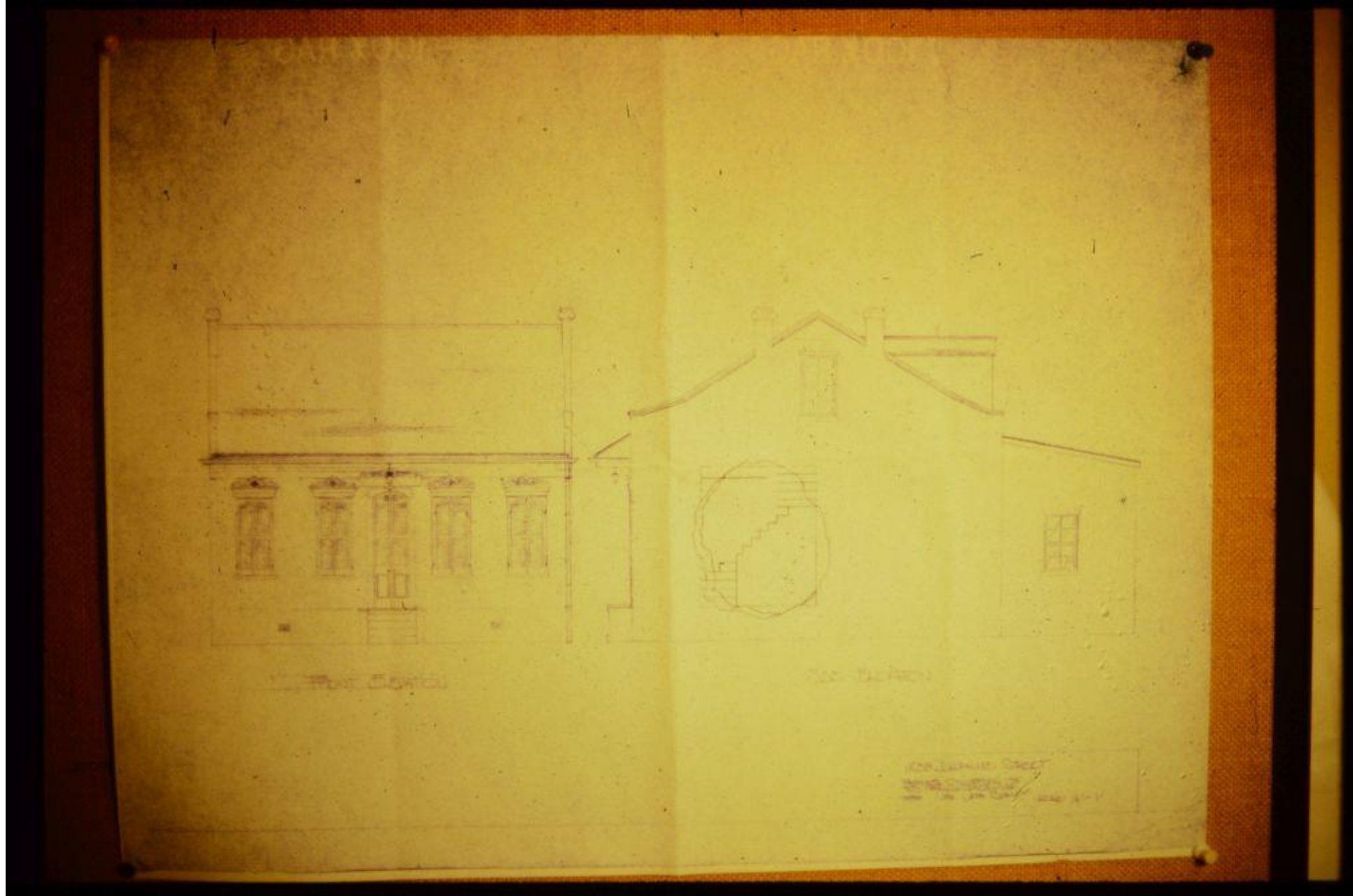
1238 Dauphine – 1979

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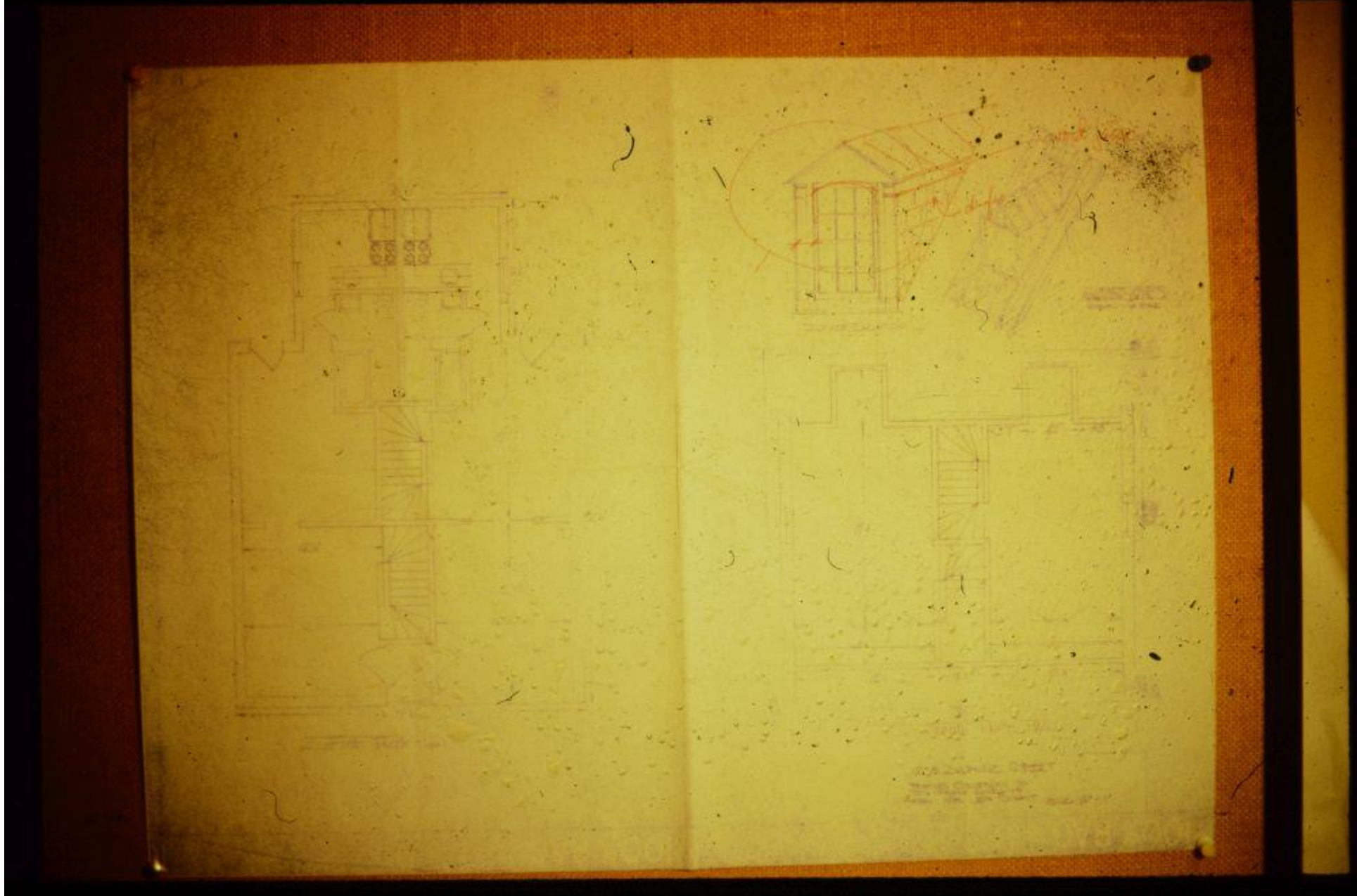


1238 Dauphine

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June 27, 2023





1238 Dauphine

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June 27, 2023







1238 Dauphine – 1981

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June 27, 2023



## P LICATION SUMMARY REPORT

## DETAILED DESCRIPTION OF APPLICATION

1238 Dauphine Street

A/C Meeting, 12/27/74: 1) To stucco brick wall which forms the right side of the building.  
 2) To rebuild six (6) pillars supporting rear of the house.  
 3) To rebuild two (2) fire place bases.

A/C Meeting, 4/10/79: Conceptual proposal to construct two (2) new dormers on front slope of roof as per application received 3/26/79.

A/C Meeting, 6/12/79: Revised proposal to construct two new dormers on rear roof slope of building, as per application received 6/7/79 and drawings received 6/8/79. Details include:

- 1) Interior renovations to building which increase building density from 1 unit (allowable) to 2 units.
- 2) Construction of two new 6/6 double-hung square-head pilastered dormers, similar to Vieux Carre Commission standard dormer details.

VCC Meeting, 6/19/79: Proposal to execute interior renovations to buildings which increase building density from one (1) unit (allowable) to two (2) units (proposed).

VCC Meeting, 8/19/80: Appeal of Vieux Carre Commission denial of proposal to increase density from one (1) allowable to two (2) units as per letter received 7/28/80.

A/C Meeting, 4/30/81: Proposal to install two central air-conditioner compressor units in rear (Barracks Street side) as per application and drawings received 4/23/81.





SUMMARY OF PAST ACTIONS  
1238 Dauphine Street

A/C Meeting, 12/27/74: Subsequent to a site visitation, the A/C approved the stuccoing of the brick side wall paralleling Gov. Nicholls St. in accordance with the standards of the Vieux Carre Commission. The other two items previously proposed were withdrawn by the applicant pending review by the staff.

A/C Meeting, 4/10/79: The Architectural Committee approved the proposal "in concept" to construct two dormers on the roof as per application received 3/26/79 provided that the dormers are installed on rear facade in lieu of the street facade and pending review and a site visit by the architectural historian.

A/C Meeting, 6/12/79: The Architectural Committee approved the proposal to construct two new dormers on rear roof slope of building, as per application and drawings received 6/7/79 and 6/8/79 respectively provided that the dormer head be changed to a segmental arch and pending receipt of millwork drawings, authorized the staff to review working drawings for issuance of permit.

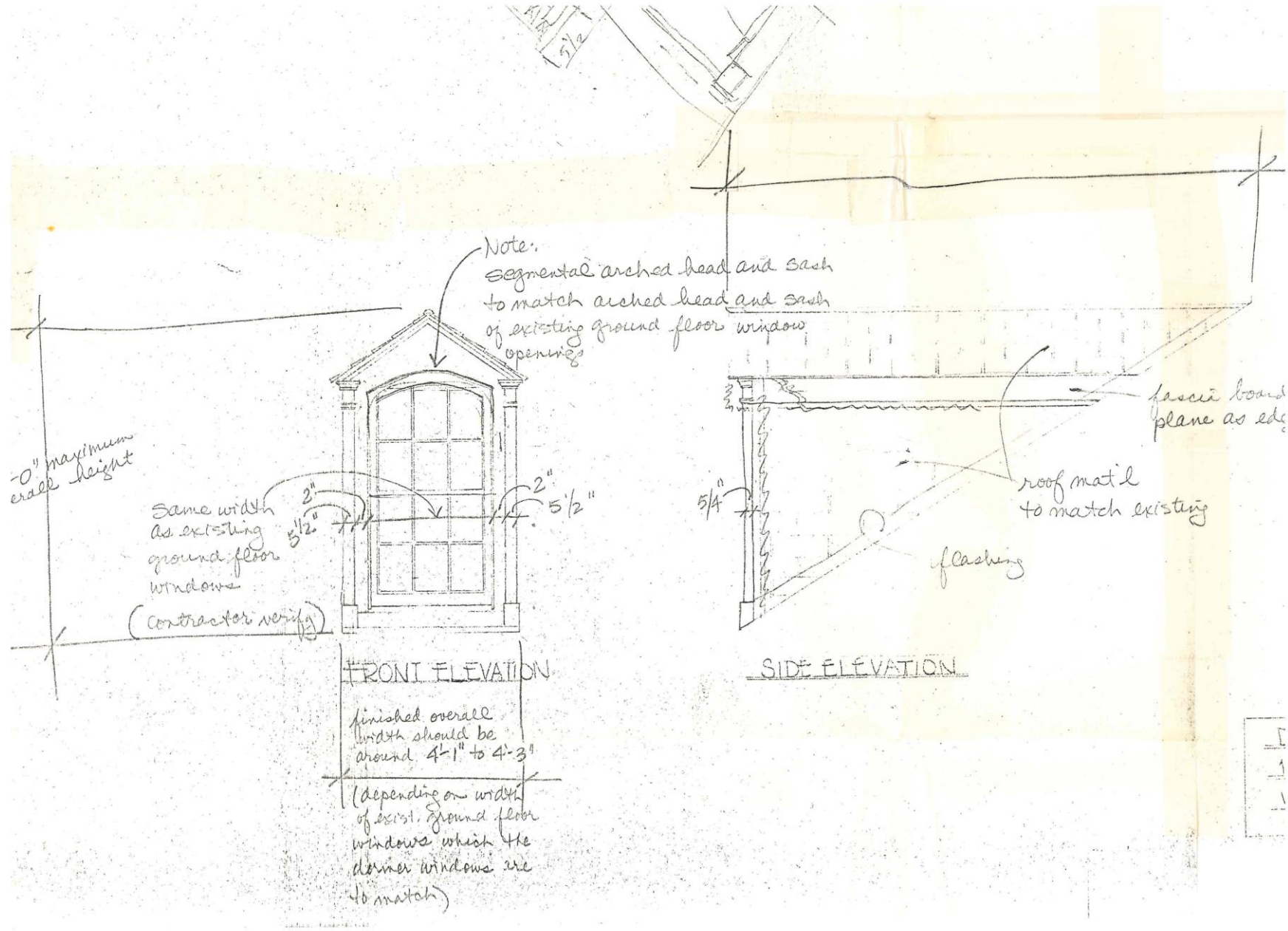
VCC Meeting, 6/19/79: Mr. Boudreaux moved, Mr. Blumenthal seconded that the Vieux Carre Commission recommend to the Board of Zoning Adjustments that the proposal be denied to increase the density by an additional dwelling unit, from one (1) allowable to two (2), as per plans received 6/7/79. The motion carried with Messrs. Boudreaux, Blumenthal, Trufant and Herman, and Mrs. Buckley in favor; Mrs. Morrison abstained.

VCC Meeting 8/19/80: Mr. Labouisse moved, Mr. Cosner seconded, that the Vieux Carre Commission approve the proposal to increase the density from one (1) unit to two (2) units, as per letter received 7/28/80 and that the Director of the Vieux Carre Commission forward a letter to Mrs. Schmit's attorney advising of this approval. The motion passed unanimously.

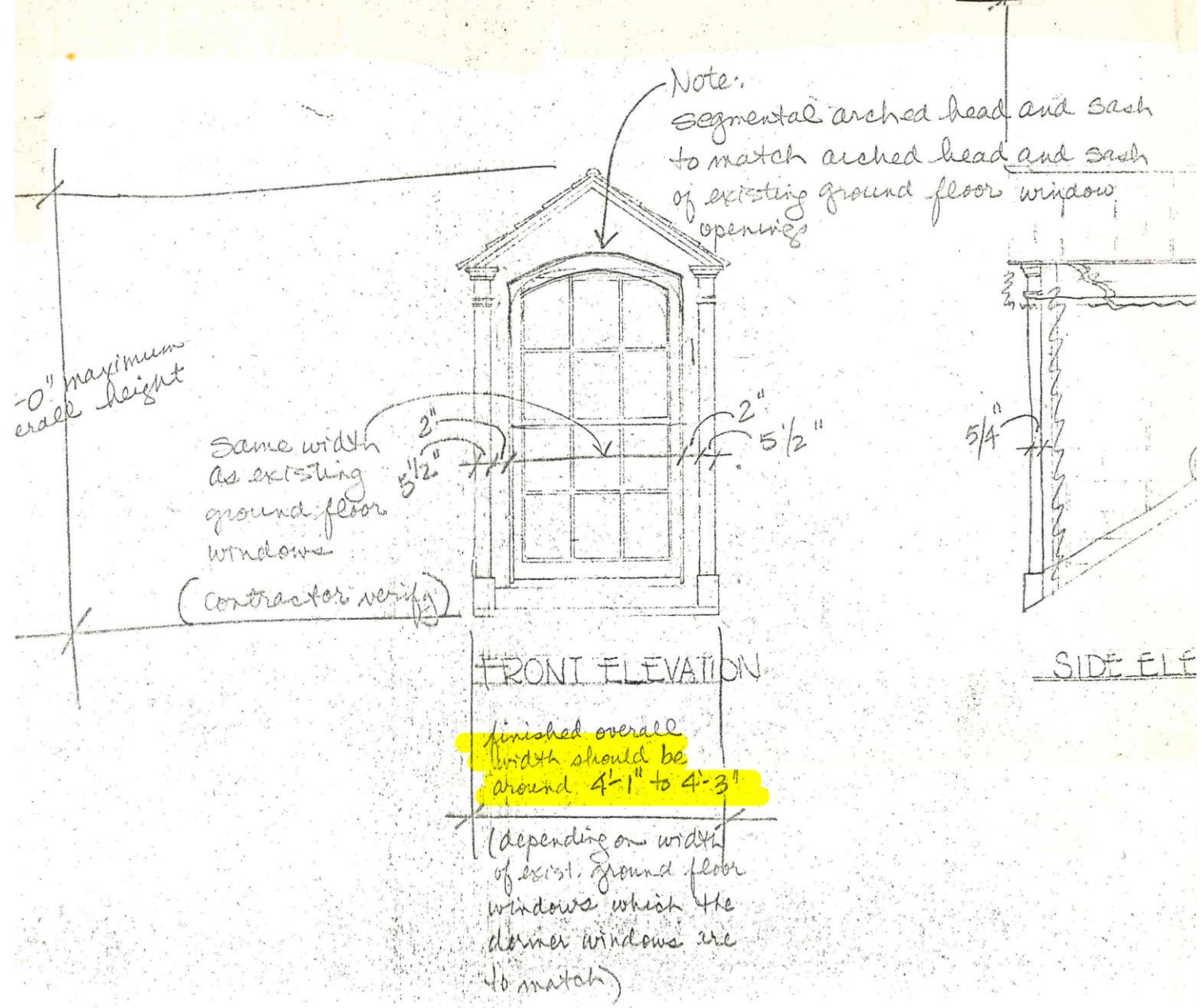
A/C Meeting, 4/30/81:

The Architectural Committee approved the proposal to install two air conditioner condenser units in rear patio as per application and drawings received 4/23/81, and authorized the staff to review final working drawings of refrigerant lines prior to issuance of a permit.











Marc H. Morial  
Mayor

City of New Orleans  
Vieux Carré Commission

334 Royal Street, New Orleans, LA 70130  
TEL. # (504) 528-3950 FAX # (504) 528-3945  
website/vcc.new-orleans.la.us  
An Equal Opportunity Employer



Marc J. Cooper  
Director

March 26, 2001

Vera Schmit  
2930 Paris Rd.  
Chalmette, La. 70043

Re: 1238 Dauphine Street ✓

Dear Ms. Schmit:

The Vieux Carré Commission was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its building deemed of quaint and distinctive historical value for the benefit of the people of the City and State. The 1995 Code of the City of New Orleans outlines specific laws which were created to assist the Commission in maintaining the preservation of the Vieux Carré.

We now solicit your support and cooperation in helping us with our preservation efforts. A recent inspection of your property located at the above referenced address reveals a violation of Chapter 166, Article II, Section 166-35 (Submission of plans for exterior changes). Specifically, it was noticed that two (2) dormers were removed and new construction on the rear roof has begun (see attached). You must stop this work, apply for a permit, remove the new construction and replace the dormers to their original configuration. Otherwise, legal action will be taken. All new and/or addition changes to the exterior of building within the Vieux Carré must be approved by the Vieux Carré Commission.

Please contact this office within fourteen (14) days of the above date so that we can counsel you in the correction of the aforementioned violation(s).

Thank you in advance for your cooperation in this matter. Only through your cooperation can we continue the preservation of the Vieux Carré. If you have any questions regarding this matter, please do not hesitate to contact our Building Inspector, Morris Sawyer at 528-3950.

Sincerely,

Marc J. Cooper  
Director

MJC/ms

cc: Lester F. Schwab, Jr.  
1238 Dauphine St., NOLA 70116

Attachment

COMMISSIONERS

James R. Wittberger, Chairperson • E. Ralph Lupin, M.D., Co-Chairperson • Gregory Curtis, Secretary  
Julie D. Brown, A.I.A. • George Hero, IV., A.I.A. • C. Spencer-Smith, A.I.A. • Carol B. Wise • Stephen N. Chesnut • Barbara A. Walters

1238 Dauphine

VCC Architecture Committee

June 27, 2023







Vieux Carré Commission  
334 Royal Street, Second Floor  
New Orleans, LA 70130  
(504) 528-3950



Permit No. 010335

The Vieux Carré Commission hereby grants permission  
for the approved work specified below.

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

Address: 1238 Dauphine Street  
Applicant: Earl Schmit  
Owner: Vera & Earl Schmit  
Contractor:

Work approved:

- 1. Removal of new, enlarged dormer construction built without a VCC permit.
- Note: A permit for reconstruction of dormers to match original will be issued once drawings and/or photographic documentation is submitted for review.

Cbs 3/28/01

VIEUX CARRE  
SURCHARGE

This permit expires six (6) months from date of issuance, and may be renewed if work is proceeding satisfactorily.

A permit may still be required from the City of New Orleans, Department of Safety and Permits. A Vieux Carré surcharge will be assessed against all city building permits which also require a Vieux Carré Commission permit. This project will be inspected on a regular basis by the Vieux Carré Commission staff to guarantee that the work executed conforms with this permit.

I, the undersigned, understand that the work must be executed exactly as specified on this permit. If it is determined that changes are necessary, I will apply for those modifications prior to the commencement of any work on those changes.

I certify that I have the authority of the current property owner(s) to perform the "permitted" work.

Signature: [Signature] Print Name: EARL Schmit  
Approved: [Signature] Date: 4-2-01  
Director





# Vieux Carré Commission

334 Royal Street, Second Floor  
New Orleans, LA 70130  
(504) 528-3950



Permit No. 010476

**The Vieux Carré Commission hereby grants permission  
for the approved work specified below.**

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

Address: 1238 Dauphine Street

EXHIBIT A

Applicant: Earl Schmit 504 908 4866

Owner: Same

Contractor:

**Work approved:**

1. Reconstruct dormers, removed without a permit, in their original location and to their original appearance. Original window sashes and trim may be reinstalled. Any replacement material must match original in size, profile, exposure, attachment, composition, etc. All repaired and/or replaced materials must be painted to match original.

Note: Construction shall be based on VCC approved drawings, stamped 5/4/01 and photographs of original dormer materials.

Cbs 5/4/01

VIEUX CARRE  
SURCHARGE

This permit expires six (6) months from date of issuance, and may be renewed if work is proceeding satisfactorily.

A permit may still be required from the City of New Orleans, Department of Safety and Permits. A Vieux Carré surcharge will be assessed against all city building permits which also require a Vieux Carré Commission permit. This project will be inspected on a regular basis by the Vieux Carré Commission staff to guarantee that the work executed conforms with this permit.

I, the undersigned, understand that the work must be executed exactly as specified on this permit. If it is determined that changes are necessary, I will apply for those modifications prior to the commencement of any work on those changes.

I certify that I have the authority of the current property owner(s) to perform the "permitted" work.

Signature: Earl Schmit  
Approved: [Signature]  
Director

Print Name: Earl Schmit  
Date: 5-7-01

1238 Dauphine

VCC Architecture Committee

June 27, 2023







City of New Orleans  
Vieux Carré Commission  
Building Inspection Division  
Complaint Slip



221

DATE: March 26, 2001

Complaint #:2001-00013

LOCATION: 1238 Dauphine St.

RECEIVED BY: Carol Marc Cooper

COMPLAINANT INFORMATION

Name: unknown

Address:

Telephone:

REFERRED TO

V.C.C. Inspector: Morris Sawyer

Building:

Zoning:

Electrical:

Mechanical:

Other:

NATURE OF COMPLAINT: Removed two (2) dormers and constructing an addition without a permit.

ACTION TAKEN

Date: 3/26/01 - Stop work & sent a letter of violation (first ltr.)

Date: 4/2/01 got permit

Date: 4/18/01 Applied for permit to replace dormers (2)

Final Disposition: EARL SCHMIT got a Permit to Remove New Addition & will Apply for another permit to restore dormers, 5/7/01.

1238 Dauphine

VCC Architecture Committee

June 27, 2023





### **1238 Dauphine (Rear)**

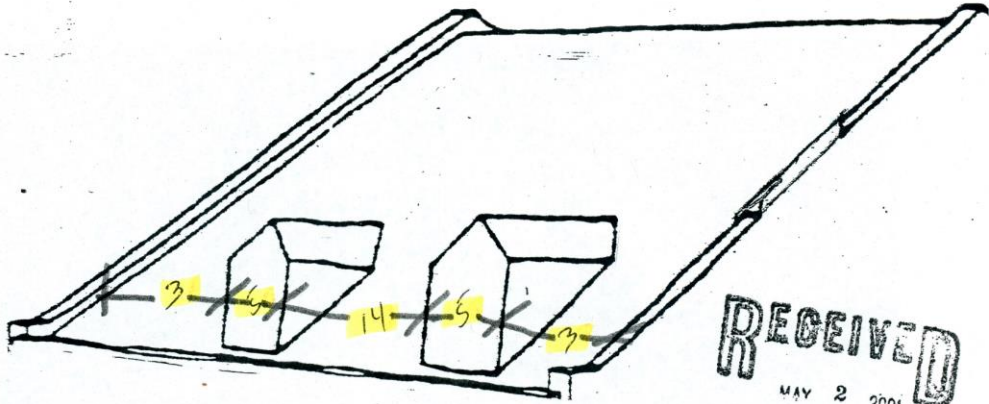
Arrows in photograph above reveal that non-conforming alterations were made to the exterior as follows:

- (1) The two rear dormers have not been re-constructed according to the specifications outlined in VCC remedial permit #010476.
- (2) A roof top deck with iron railing has been constructed without a permit and contrary to VCC Design Guidelines.
- (3) Three air conditioning compressors have been installed on the roof without a permit and contrary to VCC Design Guidelines.

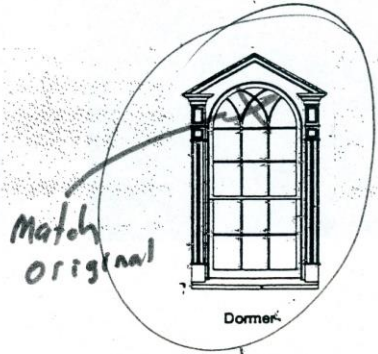
*Photo: June 7, 2005*



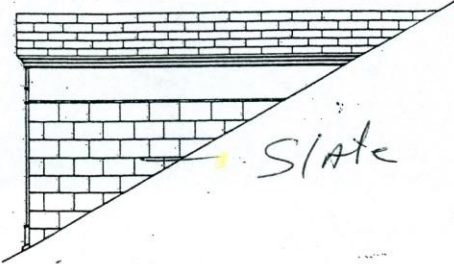
EXHIBIT B



RECEIVED  
MAY 2 2001  
VIEUX CARRE  
COMMISSION



Match original



Slate

To be original window or made to match



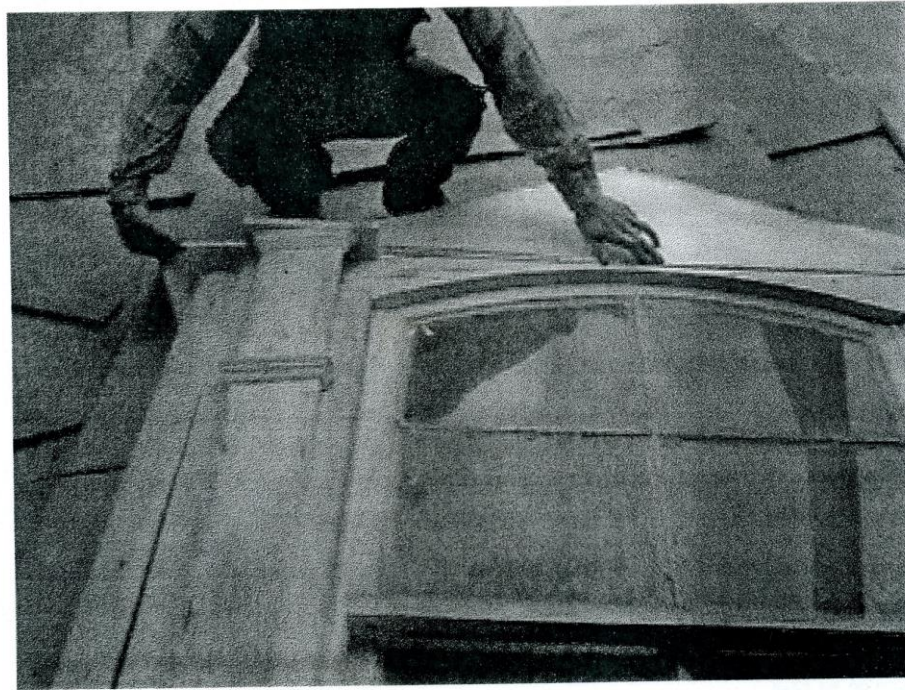


PHOTO OF ORIGINAL  
DORMER WINDOW

RECEIVED

MAY 2 2001

VIEUX CARRE  
COMMISSION

1238 Dauphine St

1238 Dauphine  
VCC Architecture Committee

June 27, 2023





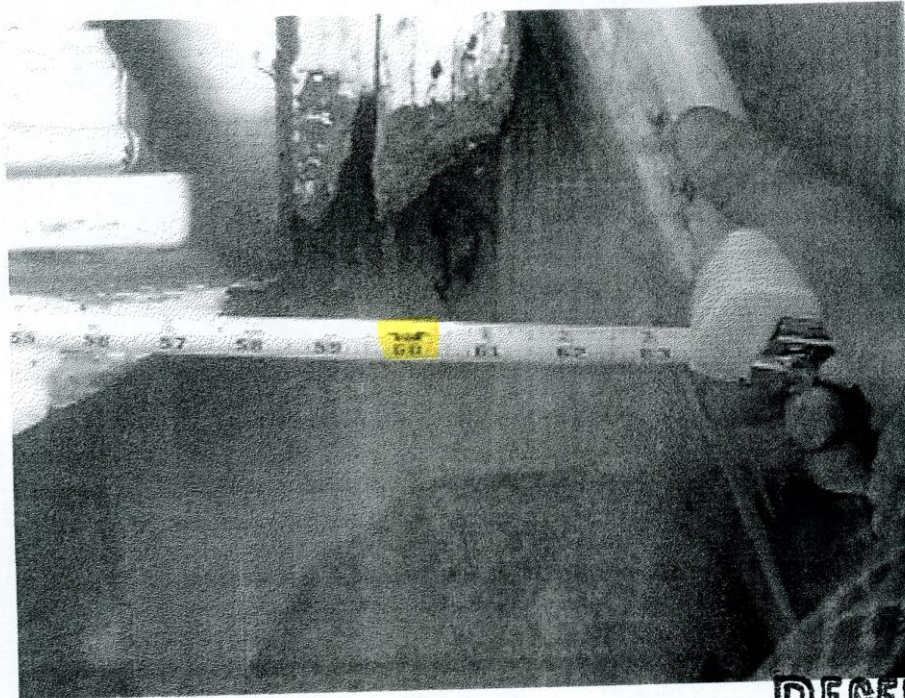


PHOTO ILLUSTRATING WIDTH  
OF ORIGINAL DORMER (60")

RECEIVED

MAY 2 2001

VIEUX CARRE  
COMMISSION

1238 Dauphine St

1238 Dauphine

VCC Architecture Committee

June 27, 2023







1238 Dauphine

VCC Architecture Committee

1238 Dauphine

4-18-01

RECEIVED  
APR 18 2001

PHOTO OF ORIGINAL PORTNER SASH/FRAME

June 27, 2023





## Hearing Request Routing Detail

Property Address: **1238 DAUPHINE**

Violation Dates: **June 13 - 17 / June 20-24 / June 27 - July 1 / July 5 - 8 / July 11 - 15 / July 18 - 22 / July 25 - 29 / August 1 - 5 / August 8 - 12 / August 15 - 19**

Total # Cases: **50**

Hearing Request Prepared by: **Peter Sabi**

Date Delivered to Administrative Adjudication Bureau: **August 22<sup>23</sup>, 2005**

Received By: Gayle Dolliole / Cynthia King

Print Name: Gayle Dolliole



## CITY OF NEW ORLEANS

C. RAY NAGIN  
MAYOR

LARY P. HESDORFFER  
DIRECTOR

June 7, 2005

Mr. Earl Schmit  
c/o Maximus Development, Inc.  
P.O. Box 791120  
New Orleans, La. 70179

**Re: 1238 Dauphine Street**

COMMISSIONERS

Chairman  
E. Ralph Lupin, M.D. (LA. State Museum)  
Tom R. Bissell (A.I.A.)  
Patricia C. Denechaud, CMP (At-Large)  
Fred Lawson (La. Historical Society)  
Betty H. Norris (At-Large)  
C. Spencer Smith (A.I.A.)  
Carol B. Wise (Chamber of Commerce)  
Raymond R. Young Sr. (At-Large)

Dear Mr. Schmit:

Per our telephone conversation of today, this letter serves as formal notification that your property, located at the above referenced address, is in violation of Article II, Section 166-35 of the 1995 Code of the City of New Orleans. **Therefore, any work currently in progress on the exterior of your property must cease immediately.**

Specifically, it has been noted that the following non-conforming alterations have been made to the exterior of your property without a permit and/or contrary to previously issued permits:

(1) The re-construction of two rear (riverside) dormers has not been done in accordance with the specifications outlined in VCC permit # 010476. (See enclosed "Exhibit A") This permit was issued to you based on the drawings which were submitted to us by you on May 2, 2001. Specifically, the drawings and photographs you submitted (see enclosed "Exhibit B") implied that it was your intention to rebuild these dormers to accommodate the original 8 light arch top double hung sash. (Please see your highlighted note on "Exhibit B") These re-constructed dormers were to have an outside width to match the original of 5'-0". Instead, the dormers were re-built wider than 5'-0" and contain casement sash. In addition, the locations of the re-constructed dormers do not conform to the approved drawings.

(2) What appears to be a roof deck with iron hand rails has recently been constructed on the rear adjacent to the dormers. (See attached photograph)

(3) A mechanical equipment platform containing three air conditioning compressors has been erected.

With regard to Item #1, you must correct the construction details of the existing dormers to match the details of the original dormers as outlined both in the drawings submitted by you and approved on May 4, 2001 and VCC permit # 010476 issued to you on May 7, 2001.

With regard to Item #2, this non-conforming alteration must be removed in it's entirety.

With regard to Item #3, you must apply for a permit to retain the compressors in their current location or relocate them to ground level as per VCC Design Guideline requirements for mechanical equipment. (See attached)

1238 Dauphine

VCC Architecture Committee

June 27, 2023





VIEUX CARRÉ COMMISSION  
CITY OF NEW ORLEANS

MITCHELL J. LANDRIEU  
MAYOR

LARY P. HESDORFFER  
DIRECTOR

8/1/2014

Maximus Development Inc  
P O Box 791120  
New Orleans, LA 70179  
|

***NOTICE OF VIOLATION***

The Vieux Carré Commission (VCC) was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its buildings deemed of quaint and distinctive historical value for the benefit of the people of the City and State. Chapter 166 of the 1995 Code of the City of New Orleans (the Code) outlines specific laws which were created to assist the Commission in maintaining the preservation of the Vieux Carré.

A recent inspection of your property located at 1238 Dauphine St revealed the following violations observed on 7/22/2014 during a site visit.

The previously cited violation for the rebuilding of the dormers on the Bourbon elevation in opposition of the approved plans has never been resolved. Specifically, the permit issued 5/7/01 stated that the dormers be reconstructed "in their original location and to their original appearance. Original window sashes and trim may be reinstalled. Any replacement material must match original in size, profile, exposure, attachment, composition, etc." The construction was to be "based on VCC approved drawings, stamped 5/4/01 and photographs of original dormer materials." Instead, the reconstructed dormers are wider than the approved plans, contain casement instead of the approved double hung windows, and the locations of the re-constructed dormers do not conform to the approved drawings. Additionally, the construction of the roof deck with iron handrails adjacent to one of the rear dormers was done so without benefit of VCC review or approval. Finally, a mechanical platform has been constructed and three air conditioning compressors installed without benefit of VCC review or approval.

In addition to these outstanding violations, a landing, stairs, and a railing have been constructed adjacent to the second floor window on the Barracks elevation over the property line and built without benefit of VCC review or approval. The color of this window has been changed without benefit of VCC review or approval. A downspout has been removed from the Dauphine elevation and a security camera has been installed, all without benefit of VCC review or approval.

1238 Dauphine

VCC Architecture Committee

June 27, 2023



Wednesday, July 19, 2017

Maximus Development Inc  
P O Box 791120  
New Orleans, LA 70179-1120

**Case Number: 17-09404-VCCNOP**

### ***NOTICE OF VIOLATION***

The Vieux Carré Commission (VCC) was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its buildings deemed of quaint and distinctive historical value for the benefit of the people of the City and State. Chapter 166 of the 1995 Code of the City of New Orleans (the Code) outlines specific laws that were created to assist the Commission in maintaining the preservation of the Vieux Carré.

**A recent inspection of your property located at 1238 Dauphine St revealed the violations listed on the reverse, which were observed on Thursday, July 6, 2017 during a site visit.**

You must contact this office within fourteen (14) days and / or submit a Renovation permit application online at <http://onestopapp.nola.gov> so that we can advise you how to correct the aforementioned violations. Filing a Renovation permit will notify both Safety and Permits and the Vieux Carré Commission. **You must obtain permits prior to beginning the work to correct the violation.**

**If these violations are not remedied within thirty (30) days, the Vieux Carré Commission is empowered under Section 166-123 of the Code of the City of New Orleans to prosecute or have prosecuted such violations of the article in municipal court of the City of New Orleans or other courts of competent jurisdiction, either civil or criminal.**

Violations of any such provisions of this Code may be punished by a fine, imprisonment for not more than five months, or both. **Furthermore, such violations could affect the annual renewal of your Alcoholic Beverage License, if you have one.**

It is imperative that you deal with this situation now. Only with your cooperation can we continue the preservation of the Vieux Carré. **Please contact Anthony Whitfield at (504) 658-1426 or email [abwhitfield@nola.gov](mailto:abwhitfield@nola.gov) first to answer any question and/or to schedule an office appointment.** Thank you in advance for attending to this matter promptly.

Sincerely,

Anthony Whitfield  
Building Inspector

## 1238 Dauphine

VCC Architecture Committee

### Description of Violations at 1238 Dauphine St:

CCNO 166-35	Working without required approval	Before the commencement of any work in the erection of any new building or in the alteration or addition to, or painting or repainting or demolishing of any existing building, where any portion of the exterior of the building is in the Vieux Carre section, application by the owner for a permit therefore shall be made to the Vieux Carre Commission, accompanied by the full plans and specifications thereof so far as they relate to the proposed appearance, color, texture of materials and architectural design of the exterior, including the front, sides, rear and roof of such building, alteration or addition or of any out building, party wall, courtyard, fence or other dependency thereof as follows:
CCNO 166-35	Dormer	The previously cited violation for the rebuilding of the dormers on the Bourbon elevation in opposition of the approved plans has never been resolved. Specifically, the permit issued 5/7/01 stated that the dormers be reconstructed "in their original location and to their original appearance. Original window sashes and trim may be reinstalled. Any replacement material must match original in size, profile, exposure, attachment, composition, etc." The construction was to be "based on VCC approved drawings, stamped 5/4/01 and photographs of original dormer materials." Instead, the reconstructed dormers are wider than the approved plans, contain casement instead of the approved doublehung windows, and the locations of the re-constructed dormers do not conform to the approved drawings.
CCNO 166-35	Roof	The construction of the roof deck with iron handrails adjacent to one of the rear dormers was done so without benefit of VCC review or approval
CCNO 166-35	HVAC	A mechanical platform has been constructed and three air conditioning compressors installed without benefit of VCC review or approval
CCNO 166-35	Railings	A landing, stairs, and a railing have been constructed adjacent to the second floor window on the Barracks elevation over the property line and built without benefit of VCC review or approval
CCNO 166-35	Windows	The color of the window on the Barracks elevation has been changed without benefit of VCC review or approval
CCNO 166-35	Security Cameras	Security cameras installed without benefit of VCC review or approval. <b>They may be approvable, but please provide VCC staff with the security camera specs.</b>
CCNO 166-121	Demolition by Neglect	All buildings and structures in the Vieux Carre shall be preserved against decay and deterioration and free from certain structural defects. The owner or other person having legal custody and control thereof shall repair such building if it is found to have any of the following defects:
CCNO 166-121	Paint	Paint deterioration present on the building. In need of paint
CCNO 166-121	Shutters	Shutter damage on the Barracks elevation
CCNO 166-121	Vegetation	Vegetation on building which can cause damage to the building and is likely a sign of moisture problems within the wall.
CCNO 166-121	Stucco	Patina, limewash is in need of retouching

June 27, 2023







1238 Dauphine – 2010

VCC Architecture Committee

June 27, 2023





1238 Dauphine

VCC Architecture Committee

June 27, 2023







1238 Dauphine

VCC Architecture Committee

June 27, 2023





1238 Dauphine

VCC Architecture Committee

June 27, 2023







1238 Dauphine – 1963

VCC Architecture Committee

June 27, 2023





1240 Dauphine





1240 Dauphine

VCC Architecture Committee

June 27, 2023





1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023







Jan 2008 - Feb 2008 ◻ ◀ image 1 of 4 ▶ 01/20/2008

1240 Dauphine

VCC Architecture Committee

June 27, 2023





Jun 2012 - Jun 2012 ◻ ◀ image 1 of 4 ▶ 06/13/2012

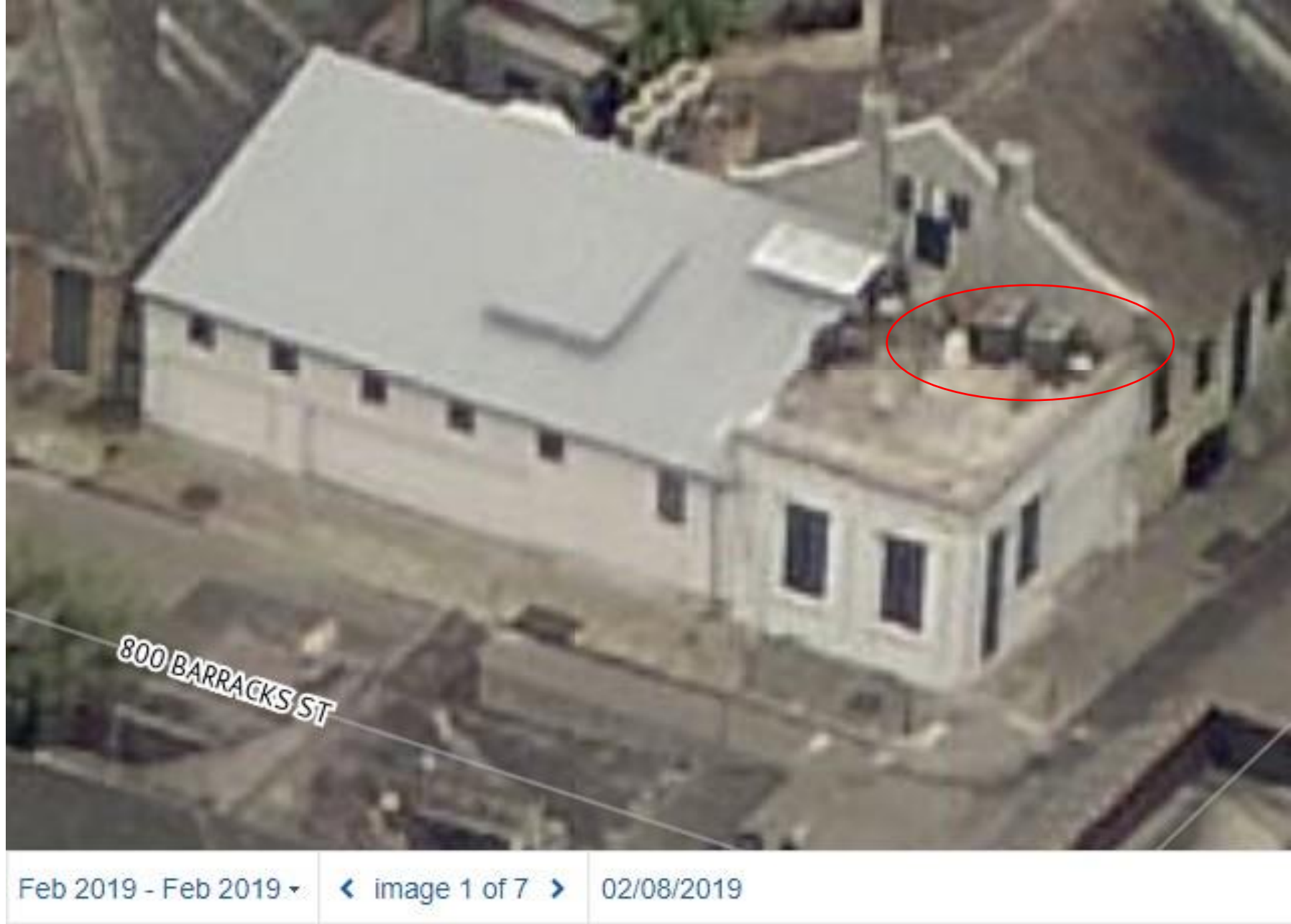
1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023





1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023





1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023





1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023







1240 Dauphine

VCC Architecture Committee

June 27, 2023





308-16 Chartres  
526 Conti





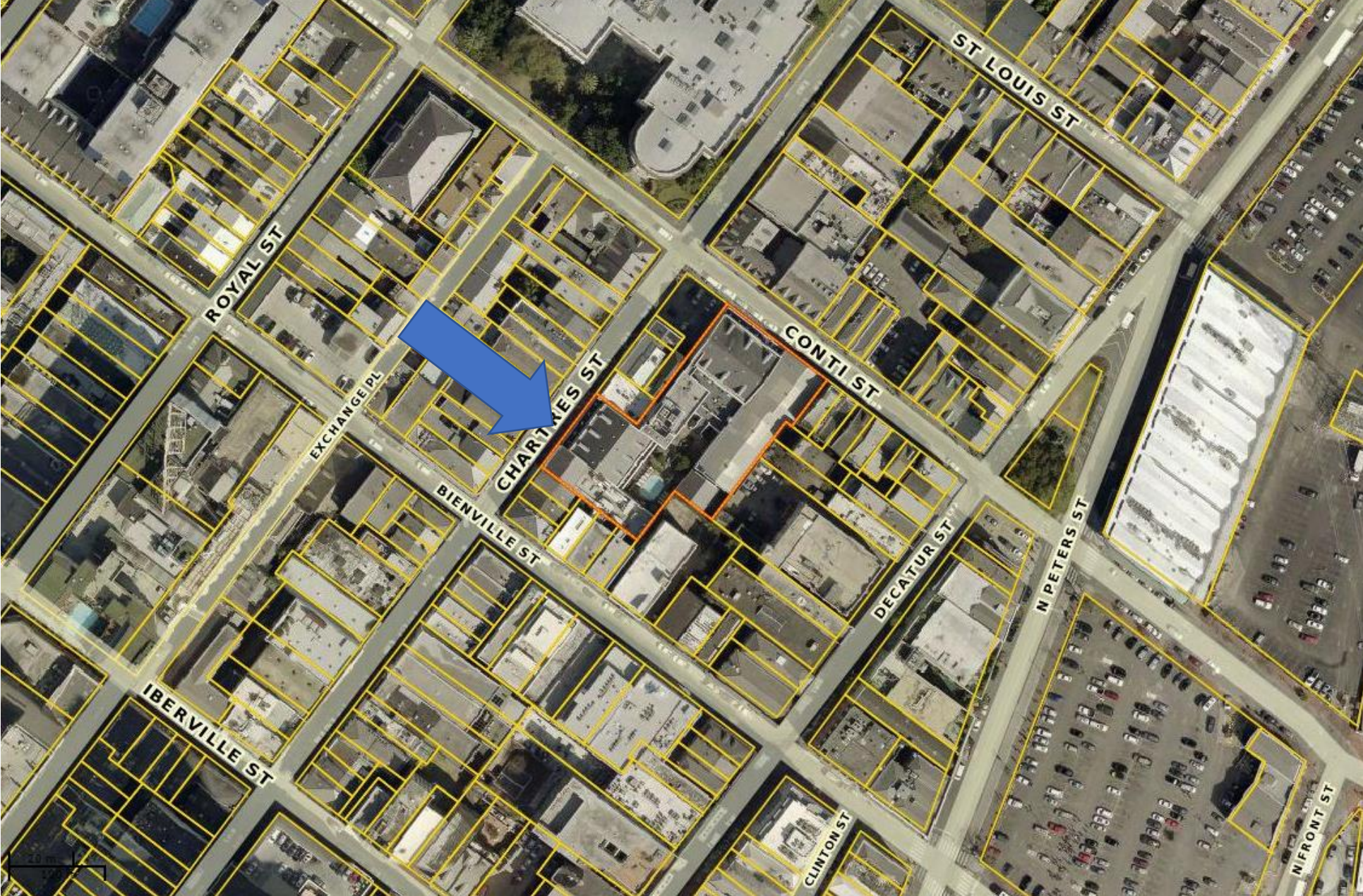
316 Chartres

VCC Architecture Committee

June 27, 2023







316 Chartres

VCC Architecture Committee

June 27, 2023







316 Chartres

VCC Architecture Committee

June 27, 2023







316 Chartres

VCC Architecture Committee

June 27, 2023







316 Chartres

VCC Architecture Committee

June 27, 2023







316 Chartres

VCC Architecture Committee

June 27, 2023







316 Chartres

VCC Architecture Committee

June 27, 2023







316 Chartres

VCC Architecture Committee

June 27, 2023







316 Chartres – 2016

VCC Architecture Committee

June 27, 2023







316 Chartres

VCC Architecture Committee

June 27, 2023





08 June 2023  
VCC Violation Resolution  
Page 2

CCNO 166-35

1. CCNO 166--35 – Paint: *Impermissible installation of murals on courtyard walls; Painting done in the courtyard without approval; Painting done/done inappropriately on the building(s) / fence / courtyard without benefit of VCC review or approval, or in deviation of permit.*

Response: The owner plans to paint over the mural to match adjacent walls.

2. CCNO 166--35 – Lighting: *Impermissible light fixtures installed, impermissible colored/neon lights installed, impermissible string lights installed, light fixtures installed without benefit of VCC review or approval, and/or light fixtures installed in deviation of permit*

Response: Per the staff recommendation dated 08/24/201 under the Permit # 21-07731-VCGEN (included), the owners commissioned Moses Engineers to conduct a light study - the results (attached for record) of which indicate no light creep is present beyond the courtyard.

3. CCNO 166--35 – Speakers: *Impermissible installation of speakers on the property*

Response: Per the staff request dated 08/24/201 under the Permit # 21-07731-VCGEN (included) There are a total of 9 speakers in the courtyard – no speakers are facing the street and the mfr information is:

JBL Model – Control 23-1-WH  
Serial – U-806-017339-A

4. CCNO 166--35 – Awnings: *Awning installed in at least the rear without approval.*

Response: The owner understands retention of the awning will require Committee review. Per our correspondence dated 3/30/2023 (attached), I am attaching close up photos of the installation for your review.

Please don't hesitate to reach out should you have any questions. Looking forward to working with you to resolve these items.

Sincerely,

Hussein Alayyan



May 17, 2023

Hussein Alayyan, AIA, WELL AP  
Senior Associate/Architect  
Eskew Dumez Ripple  
365 Canal Street, Suite 3150  
New Orleans, LA 70130

**REFERENCE:** W. Hotel French Quarter  
2023-014.01

**SUBJECT:** Photometric Point Analysis

Dear Hussein:

Moses Engineers conducted a photometric point analysis at the W Hotel courtyard in New Orleans on Tuesday, May 16<sup>th</sup>, 2023 at 8:15pm. The purpose of this survey is to measure and investigate if the exiting festoon string lighting is causing any light spillage past W Hotel property lines. The W Hotel was able to turn off all other light sources outside of the existing festoon string lighting while conducting the site survey.

The attached drawing number (1) illustrates the exact locations a light meter was used at ground-level to measure existing footcandles (f.c.) being produced by the existing string lights. Each dot on the drawing indicates the measured location point, and each attached boxed number represents the reading at that point.

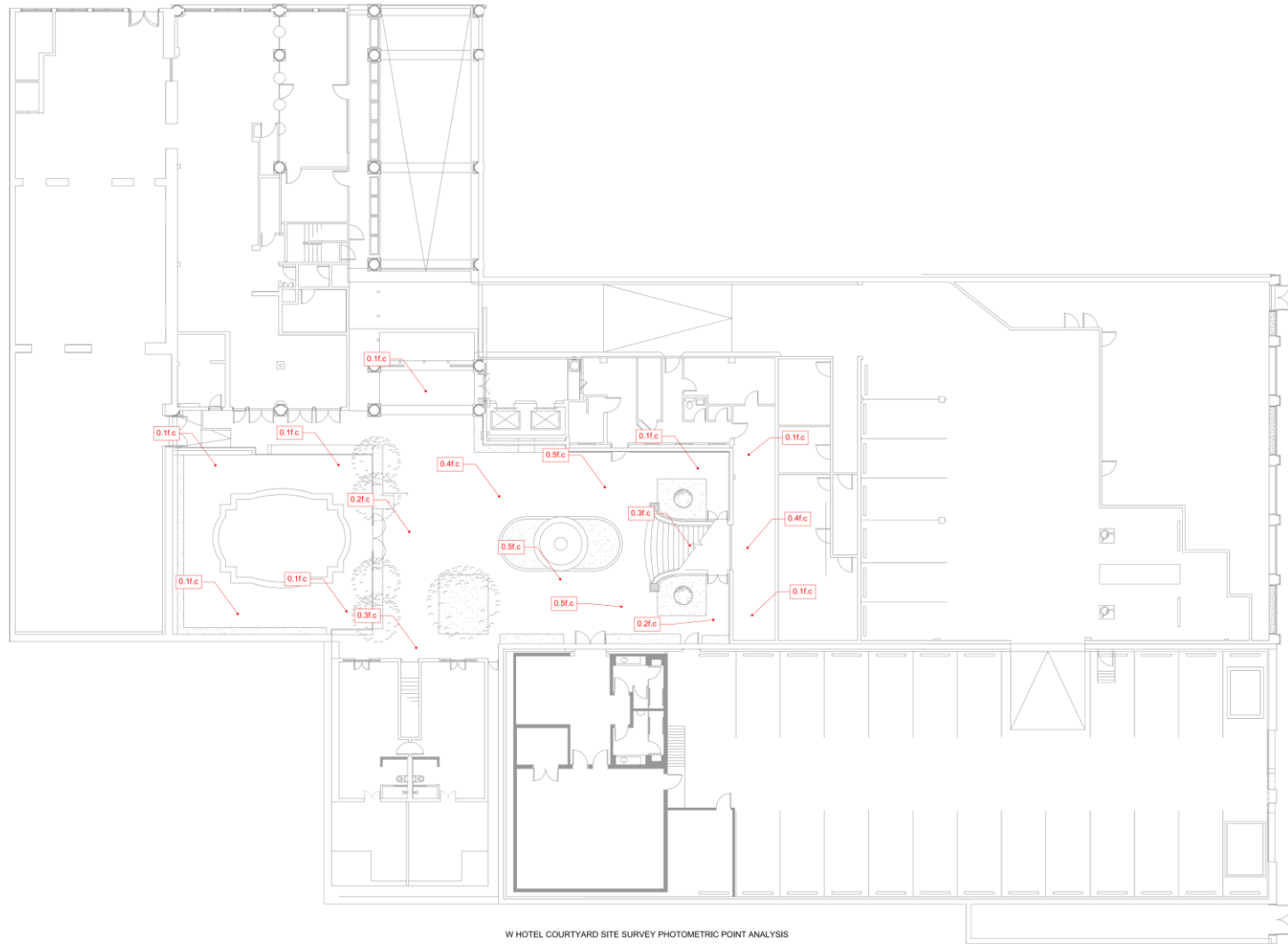
The attached drawing number (2) is a computer based calculation of the existing conditions inside of the courtyard using the string lighting as the only illuminating source. This calculation was created by using the Visual lighting design program by Acuity Brands.

In conclusion, based on the site survey data points and digital rendering, the festoon string lights at the W Hotel courtyard do not create light spillage past property lines.


CONSULTING ENGINEERS

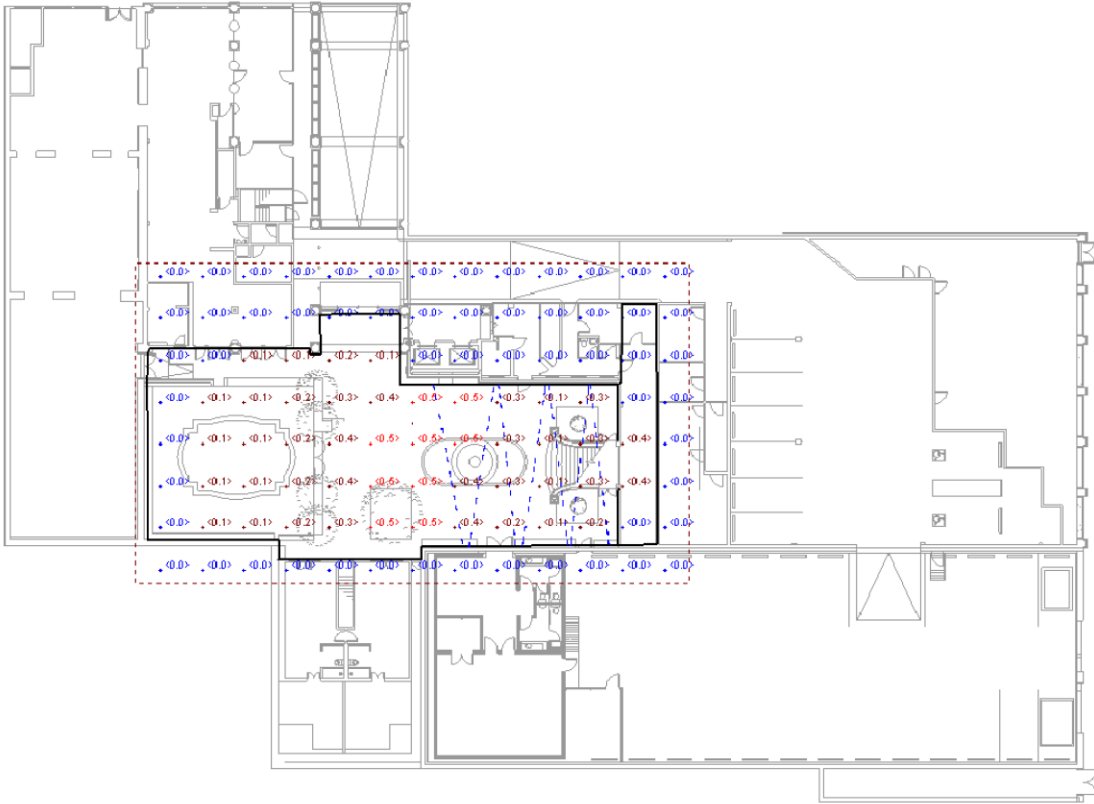
Mechanical  
Electrical  
909 Poydras Street, Suite 1100  
New Orleans, La 70112-1034  
Tel. 504-586-1725  
email: admin@mosesengineers.com





Designer  
 A/E  
 Date  
 5/17/2023  
 Scale  
 Not to Scale  
 Drawing No.  
 1  
 Summary  
 SITE SURVEY  
 1 of 2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
W HOTEL COURTYARD	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
Schedule						
FESTOON LIGHT SYMBOL	Quantity	Lumens Per Lamp	Light Loss Factor	Wattage		
	91	252	1	34		



W HOTEL COURTYARD PHOTOMETRIC ANALYSIS

Designer  
AD  
Date  
5/17/2023  
Scale  
Not to Scale  
Drawing No.  
2  
Summary







316 Chartres

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June 27, 2023





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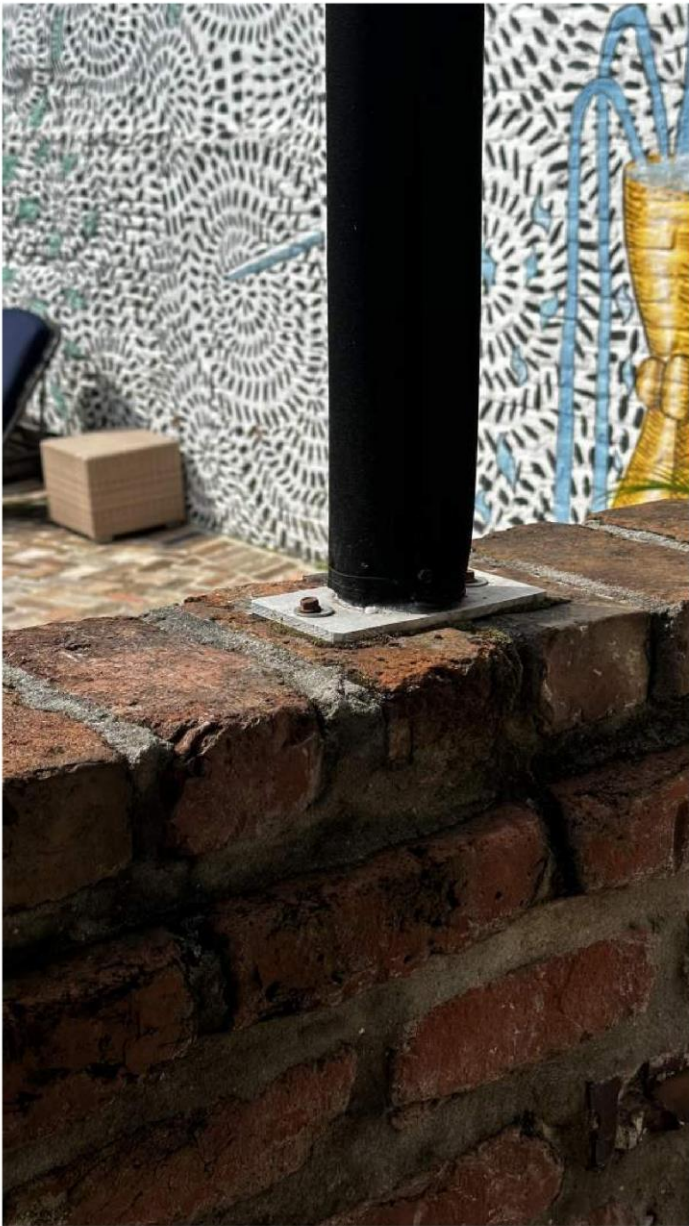
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