



Vieux Carré Commission Architecture Committee Meeting

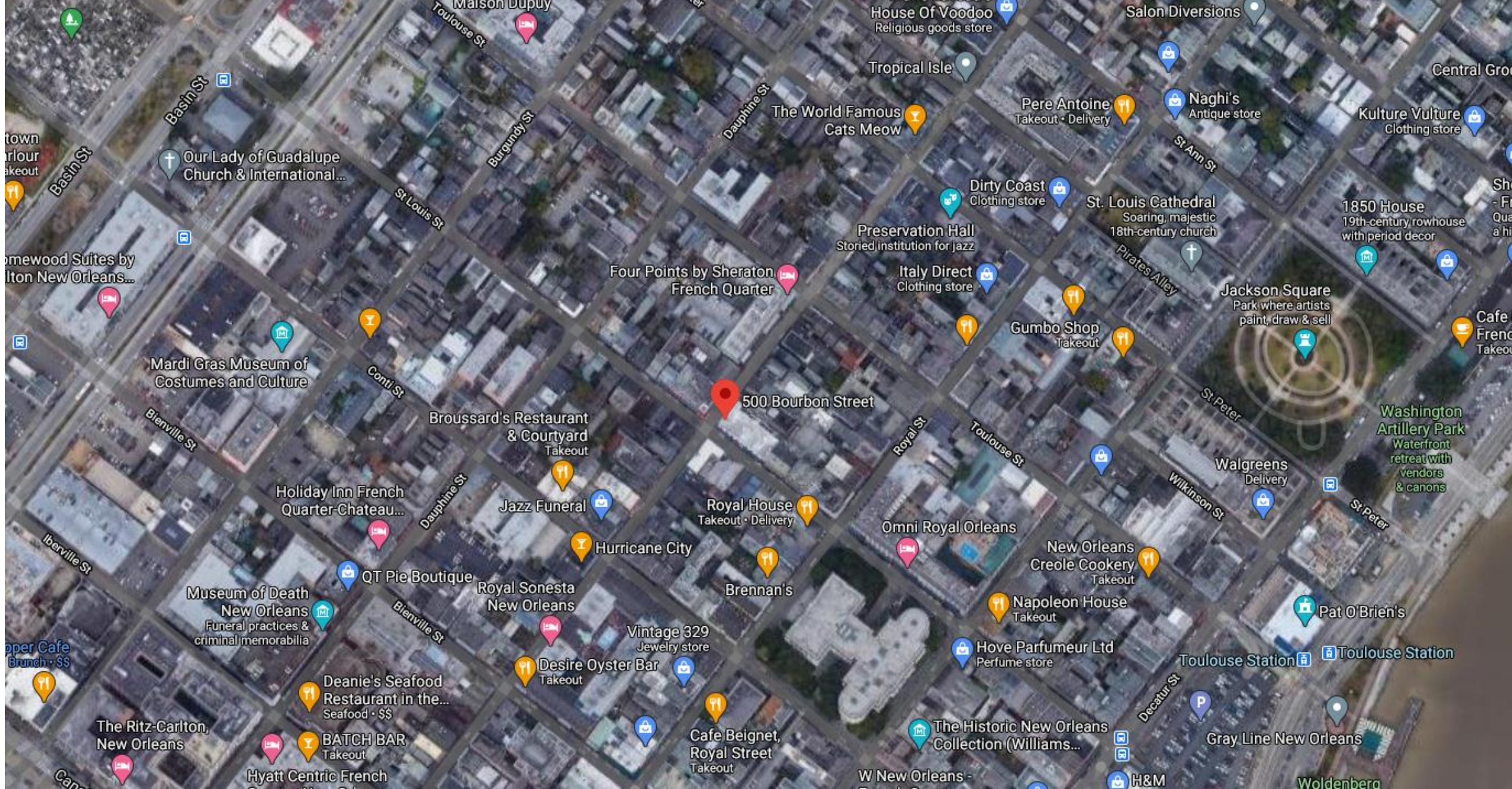
Tuesday, August 8th, 2023

The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The inner circle features a stylized architectural design with vertical columns and decorative elements.

Old Business



500 Bourbon



500 Bourbon

Vieux Carre Commission

August 8, 2023





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August 8, 2023





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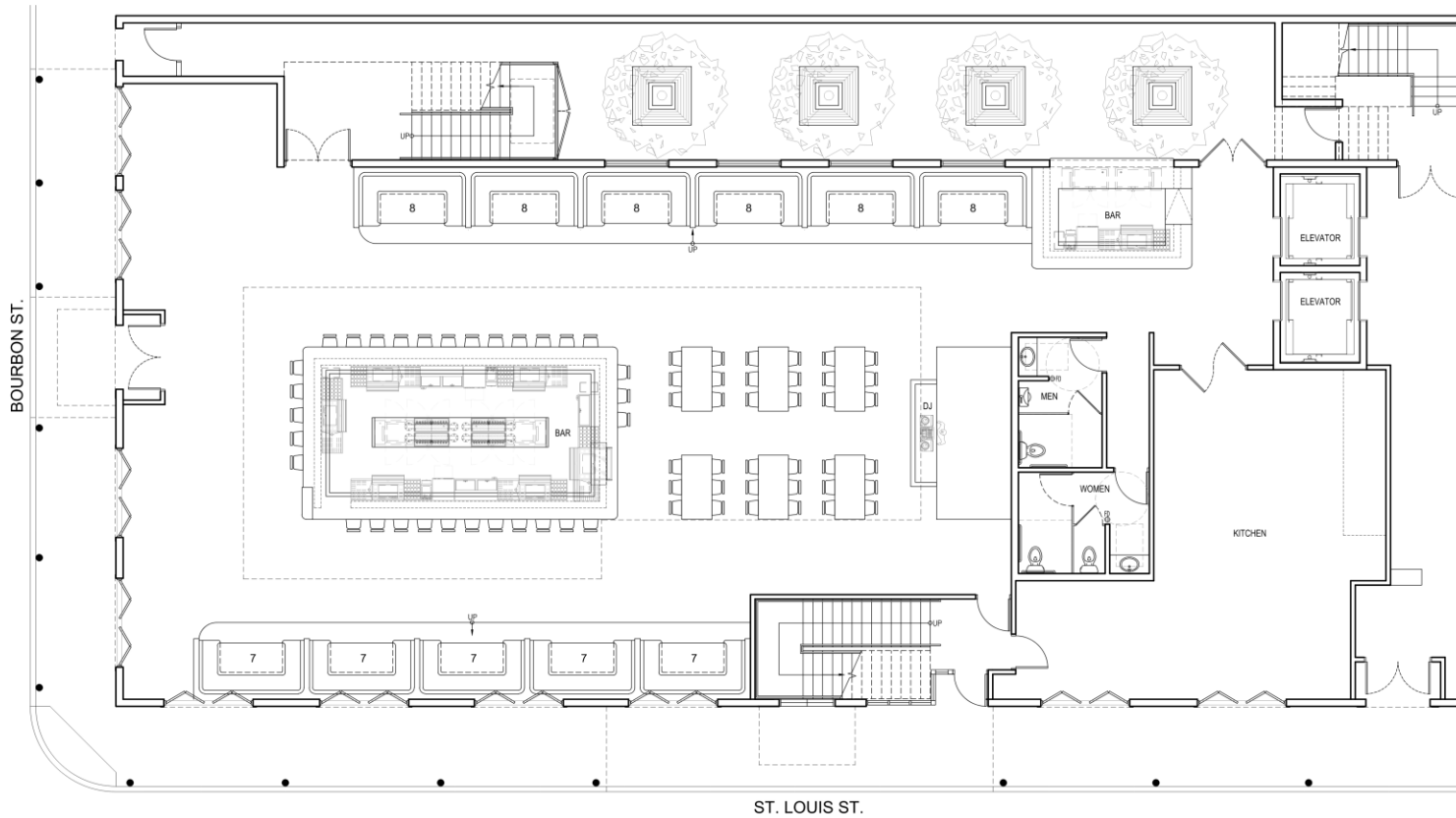


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August 8, 2023





PROPOSED FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0" 7.25.23



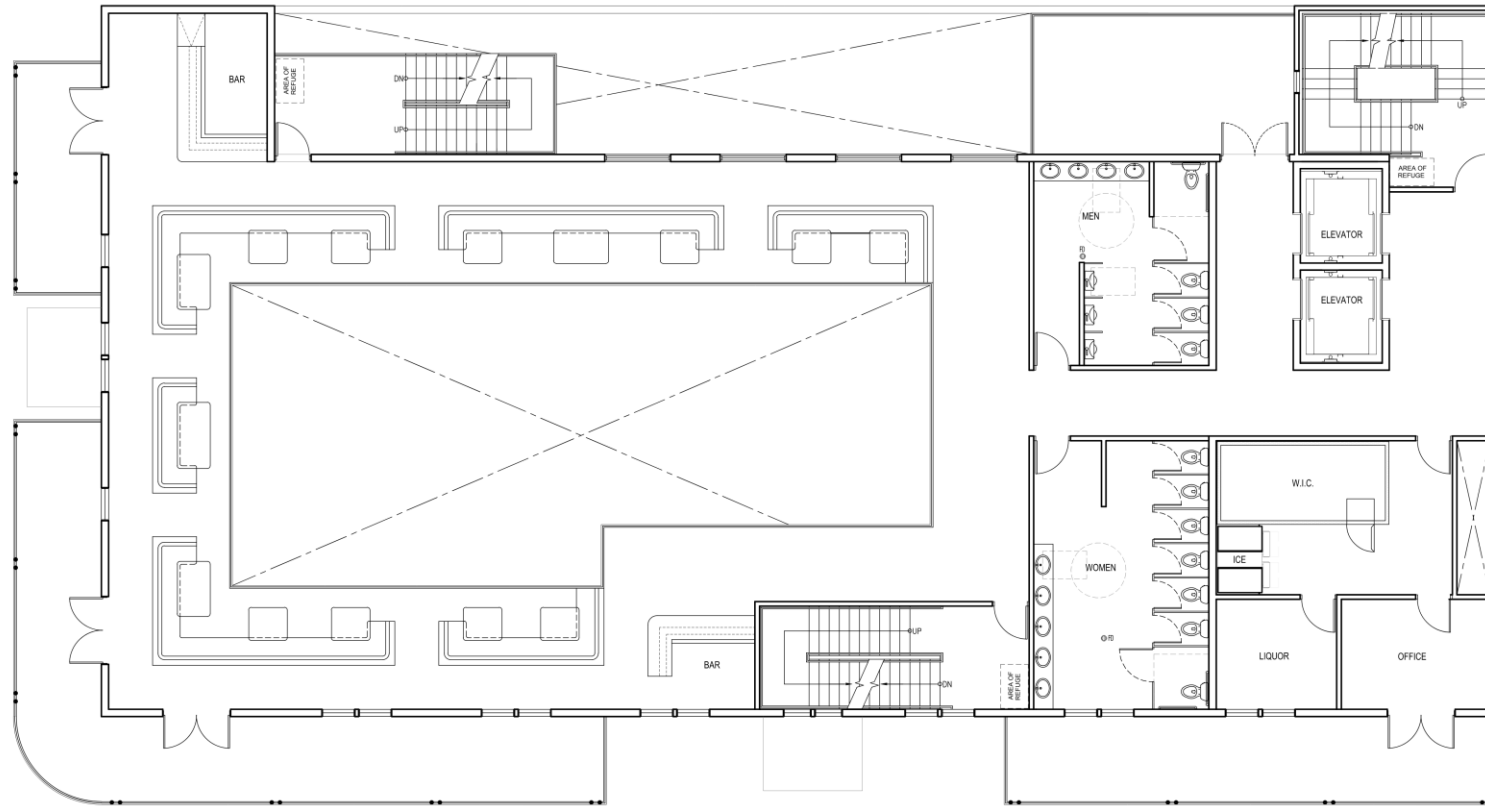
CBD | ARCHITECTS
CHICAGO . MIAMI . NEW ORLEANS
info@cbdarchitects.com

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PROPOSED SECOND FLOOR PLAN
 SCALE: 3/32" = 1'-0" 7.25.23

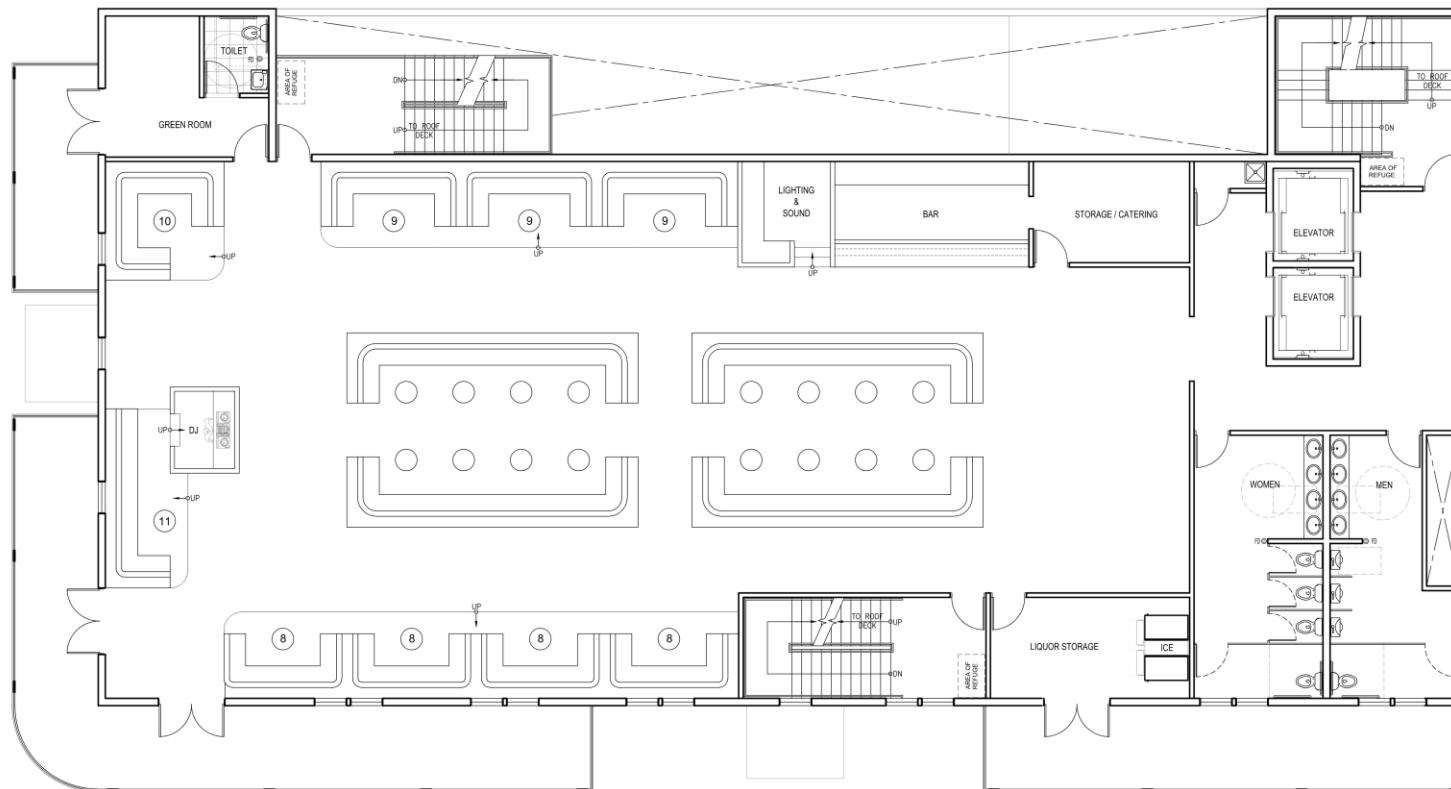
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PROPOSED THIRD FLOOR PLAN
 SCALE: 3/32" = 1'-0" 7.25.23



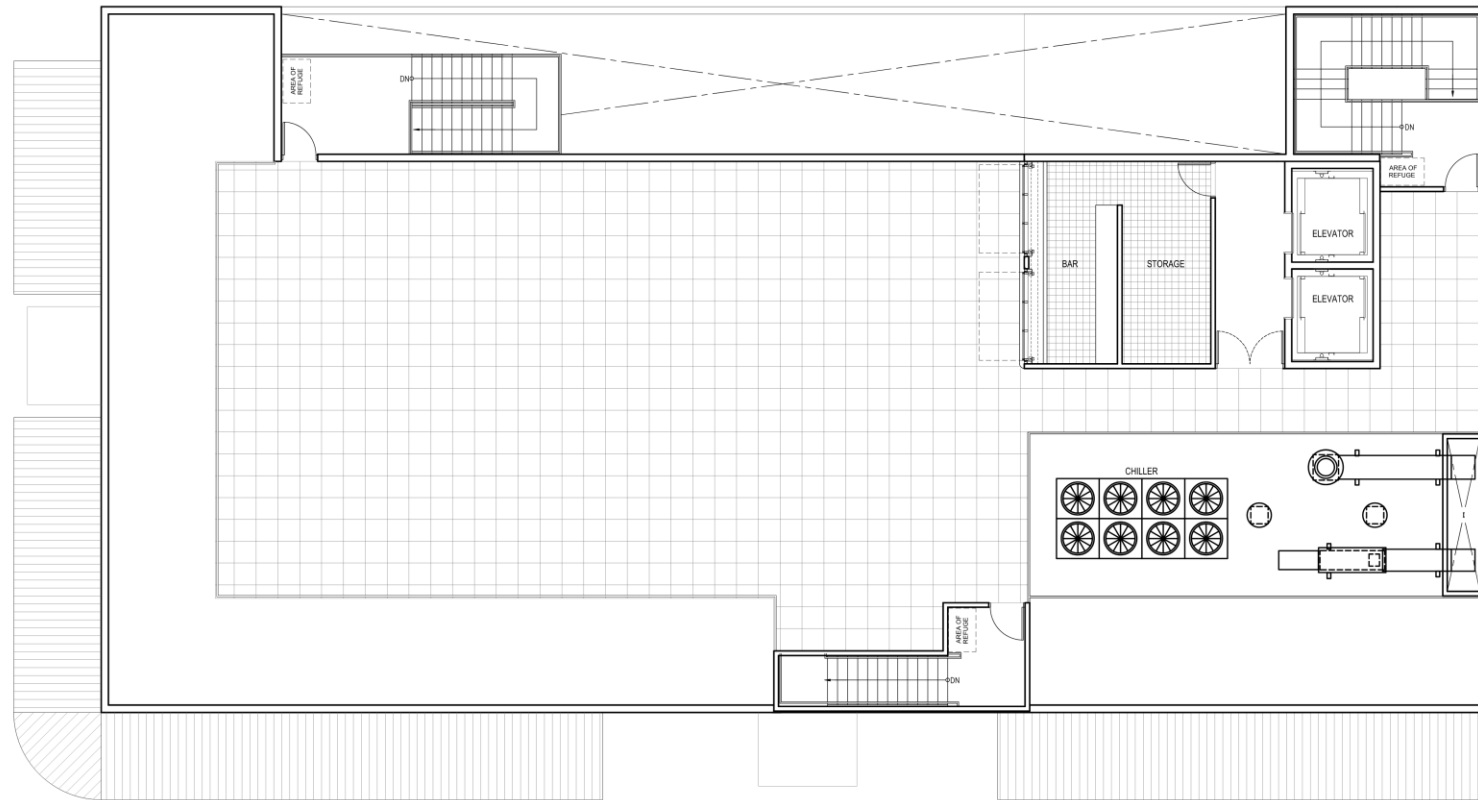
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PROPOSED ROOF PLAN

SCALE: 3/32" = 1'-0"

7.25.23



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PROPOSED BOURBON ST. ELEVATION - OPTION A
SCALE: 3/32" = 1'-0" 07.25.2023

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August 8, 2023





PROPOSED ST. LOUIS ST. ELEVATION - OPTION A

SCALE: 3/32" = 1'-0"

07.25.2023

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August 8, 2023





PROPOSED BOURBON ST. ELEVATION - OPTION B

SCALE: 3/32" = 1'-0"

07.25.2023

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August 8, 2023





PROPOSED ST. LOUIS ST. ELEVATION - OPTION B

SCALE: 3/32" = 1'-0"

07.25.2023

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Exterior - Proposed Design



Bourbon St.



St. Louis St.

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Architectural Context

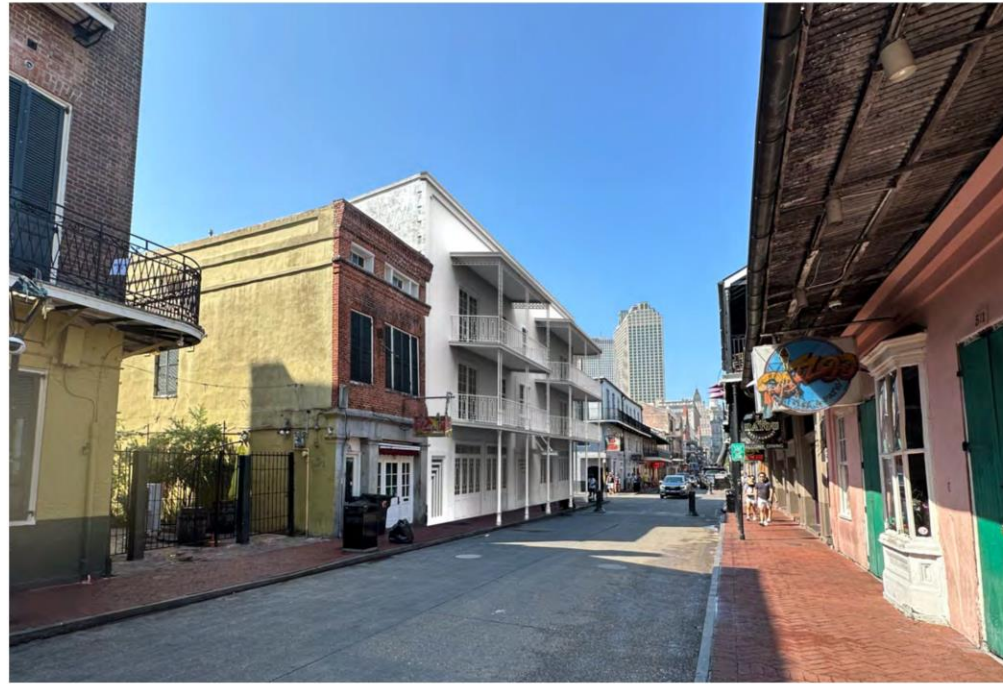


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PROPOSED REVISIONS TO VCC DESIGN GUIDELINES

Currently, the design guidelines define a **roof top addition** as any new construction on top of an existing rooftop for occupied or unoccupied space, and includes a full-floor addition. This definition should be revised to include ***“occupied, finished space designed to accommodate outdoor commercial or residential living space including, but not limited to, furniture, landscaping, lighting, etc., all of which must be reviewed and approved by VCC.”***

Roof deck should be defined as, generally, a platform built above the roof structure, capable of supporting weight, similar to a floor and connected to the main building by stairs and possibly an elevator. It is typically enclosed by a railing or parapet for safety.

Based on research of how other similar historic districts have regulated this condition, we also propose that **food must be served in such activated, commercial, open-air rooftop additions, not just alcohol, and no rooftop space can be occupied after 10:00 pm. Noise must not exceed prescribed decibel levels, reading to be taken at 5’ above deck. No amplified music nor speakers shall be allowed.**

For properties located adjacent to residential areas, approved screens, walls, shutters, or other devices shall be required to restrict visual access to the residential units.

Illumination of the activated, open-air rooftop addition shall be restricted to avoid lights that focus outward or upward and should limit spillage of light from the deck.

Guidelines should explicitly indicate that rooftop decks that are highly visible are strongly discouraged. Such

additions to historic buildings shall be located to the rear of the structure or the most inconspicuous side of the building. Additions to roofs shall not be visible from the front elevation.

To be added to VCC Design Guidelines 14:17 Design Standards for Rooftop Addition Review (at left):

- **Activated, open-air rooftop additions shall comply with all Rooftop Addition requirements and recommendations shown on VCC Design Guidelines.**
- **No activated, open-air rooftop addition shall be allowed such that accessory structures (stair, elevator, etc.) would exceed the max. height allowable as per the CZO.**

ROOFTOP ADDITIONS

THE VCC REQUIRES:

- Compliance with the Comprehensive Zoning Ordinance (CZO) – A rooftop addition shall not require a variance for height limit or floor area ratios
- Review of all exterior items located on a roof surface including paving, railings and built-in furnishings

THE VCC DOES NOT RECOMMEND:

- A rooftop addition on a Green, Pink or Yellow rated building
- A rooftop addition on a building of less than three full stories in height

THE VCC DOES **NOT** ALLOW:

- A rooftop addition on a Purple or Blue rated building
- A rooftop addition on a building originally constructed as a residential building
- A rooftop addition on a roof with a pitch greater than 3-inches vertically in 12-inches horizontally and an existing parapet less than 18-inches in height – Except at a camelback shotgun
- A roof addition greater than one story and/or 12’-0” in height or with a roof form other than a flat or low-sloped roof – Excluding an elevator override



ROOFTOP ADDITIONS

As most buildings in the Vieux Carré were built at or close to their property lines, it is often not possible to expand a building's footprint. As a result, some property owners hope to add new space on top of an existing building. The two types of additions on top of an existing building are a camelback and a rooftop addition.

- **Camelback:** The camelback is a traditional addition design for a wood frame shotgun or shotgun double (Refer to *Shotgun, Guidelines for Architectural Building Types & Architectural Styles*, page 02-8) – A traditionally designed camelback proposed for a wood-framed shotgun building is not subject to the more rigorous submittal requirements for a rooftop addition; however, it must be compatible with the existing building (Refer to *Principles for Additions*, page 14-11)

- **Rooftop Addition:** A rooftop addition is defined as any new construction on top of an existing rooftop for occupied or unoccupied space, and includes a full-floor addition

A rooftop addition is a way to increase the square footage and floor area ratio of an existing masonry building in the Vieux Carré. This method of adding space to a building predominantly occurs between Bourbon Street and the river where conversion of a commercial or warehouse building to residential use is common. In considering a proposed rooftop addition, the VCC considers the historic integrity of the original structure and surrounding area. It is equally important that an addition, when appropriate and allowed, contribute to the character of the area and respect the design and context of the building and its streetscape.

When reviewing a proposal for a rooftop addition, the VCC evaluates the application on a case by case basis. An approved rooftop addition at one location should not be considered a precedent or construed to mean that a similar proposal for another property will be approved. Factors considered by the VCC in its review include:

- The significance of the building or site as defined by its color rating
- The location of the building and site
- The height of the existing building, the proposed addition and surrounding buildings – It must also meet zoning requirements including height and setback
- The visibility of the proposed addition
- The architectural treatment of the proposed addition and its compatibility with the existing building – it should not be obtrusive or detract from the architecture of the existing building or the surrounding Vieux Carré Historic District, streetscape or adjacent buildings.

ROOFTOP ELEMENTS

The VCC has jurisdiction over roof-mounted equipment and rooftop decks, including paving and semi-permanent furnishings. (Refer to *Roof Mounted Equipment, Guidelines for Roofing*, page 04-11, and *Outdoor Furnishings, Guidelines for Site Elements & Courtyards*, page 10-9.)



A camelback addition typically is found on a wood-framed shotgun single or double.

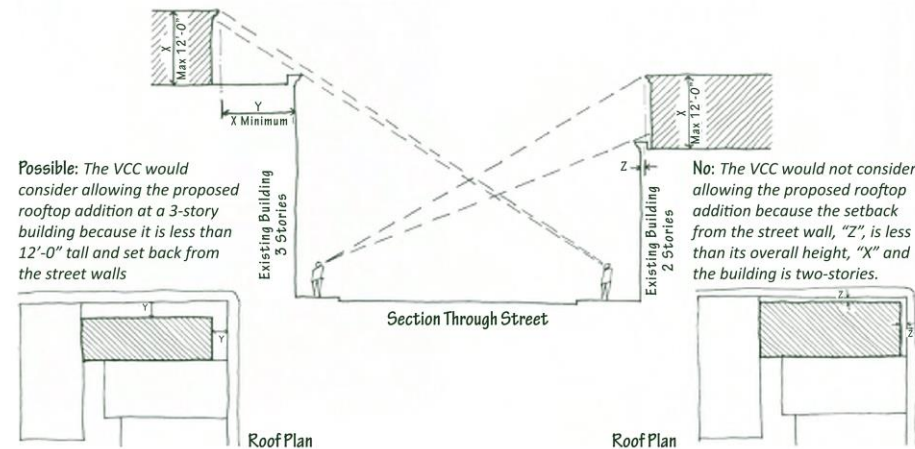


This rooftop addition is set back from the building corner on both sides and has a flat roof without permanent projecting overhangs. The metal railing is nominally visible to pedestrians.

ROOFTOP ADDITIONS SUBMITTAL REQUIREMENTS

In addition to the submission requirements identified in the *New Construction & Addition Review* (page 14-2), the following information is required for each application for a rooftop addition:

- Dimensioned elevations and plans showing the proposed rooftop addition on the existing building
- Sight-line studies, either photographs or drawings, illustrating the massing of the proposed addition and visibility in all directions, and showing not only the impact on the subject building, but also on the adjacent buildings and the Vieux Carré as a whole
- A scaled massing model of the addition on the existing building that includes adjacent buildings
- A section through the building to the boundary of the property on the other side of the street



Possible: The VCC would consider allowing the proposed rooftop addition at a 3-story building because it is less than 12'-0" tall and set back from the street walls

No: The VCC would not consider allowing the proposed rooftop addition because the setback from the street wall, "Z", is less than its overall height, "X" and the building is two-stories.

A rooftop addition must be set back from the street walls of the existing building by a minimum of the proposed height of the addition, (i.e. 12'-0" high rooftop addition must be set back from the street wall a minimum of 12'-0".) The VCC discourages a rooftop addition on a building less than three full stories in height because of the increased likelihood of visibility.

DESIGN STANDARDS FOR ROOFTOP ADDITION REVIEW

If allowable by the Comprehensive Zoning Ordinance (CZO) and appropriate at a particular site, the VCC uses specific design standards to review a rooftop addition proposal. In its review of a proposed rooftop amenity or addition, the VCC:

- Strives to make a rooftop addition, including an elevator and mechanical equipment, as well as furnishings as unobtrusive and minimally visible as possible
- Limits the overall height of a rooftop addition, including framing and parapet, to 12'-0" above the lowest surface of the existing roof, except for code-required components, such as an elevator override
- Requires that a rooftop addition be set back from the street façade(s) of the building by a minimum of the overall height of the proposed addition (i.e., a 12'-0" high rooftop addition should be set back from the street wall a minimum of 12'-0")
- Requires that a rooftop addition incorporate elevator, mechanical and HVAC equipment within the single story and allowable addition footprint
- Requires that all furnishings including railings, screens, planters, plants and permanent rooftop furnishings taller than the closest parapet be setback from the street wall(s) a minimum of the height of the proposed furnishing from the lowest roof surface
- Considers a proposal for a rooftop addition that does not conform to these *Guidelines* at a Green, Pink or Yellow rated building under limited circumstances; however, excellence in design and the architectural character of the existing building are strong factors in the review

Rooftop Addition Review

Construct a rooftop addition

1 2 3

Commission

ROOFTOP ADDITIONS

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A first floor remnant of the old St. Louis Hotel remains to the right. In 1960, a larger hotel was constructed, incorporating the remnant, with compatible arched ground floor openings and storefront cornice.

COMPATIBLE DESIGN PRINCIPLES

The development of the Vieux Carré followed its own pattern and rhythm. As the heart of New Orleans, the heritage and culture of the French Quarter's early inhabitants are expressed through the architectural and built environment. To continue the District's evolution, the VCC encourages design excellence and creative design solutions for a new construction and/or an addition that are sensitive to the character of their historic surroundings. Generally, there are three appropriate design approaches in the Vieux Carré:

- **Reconstruction:** A design that faithfully duplicates details and materials based upon clear documentary evidence
- **Traditional:** A design that could have been constructed on a property for which there is insufficient evidence
- **Present Day:** A contemporary design compatible within the context of the property and neighboring sites

The approach, style and type of compatible new construction or an addition will vary at each site depending on the specific context. The approach for an addition or new secondary building is guided by the architectural and historical importance of the property as identified by its color rating. Recognizing that what might be appropriate at one property is not appropriate at another, the VCC does not mandate specific design "solutions" for new construction or an addition. However, when determining the appropriateness of a new construction or an addition, the VCC is guided by *The Secretary of the Interior's Standards* and the general design principles below.

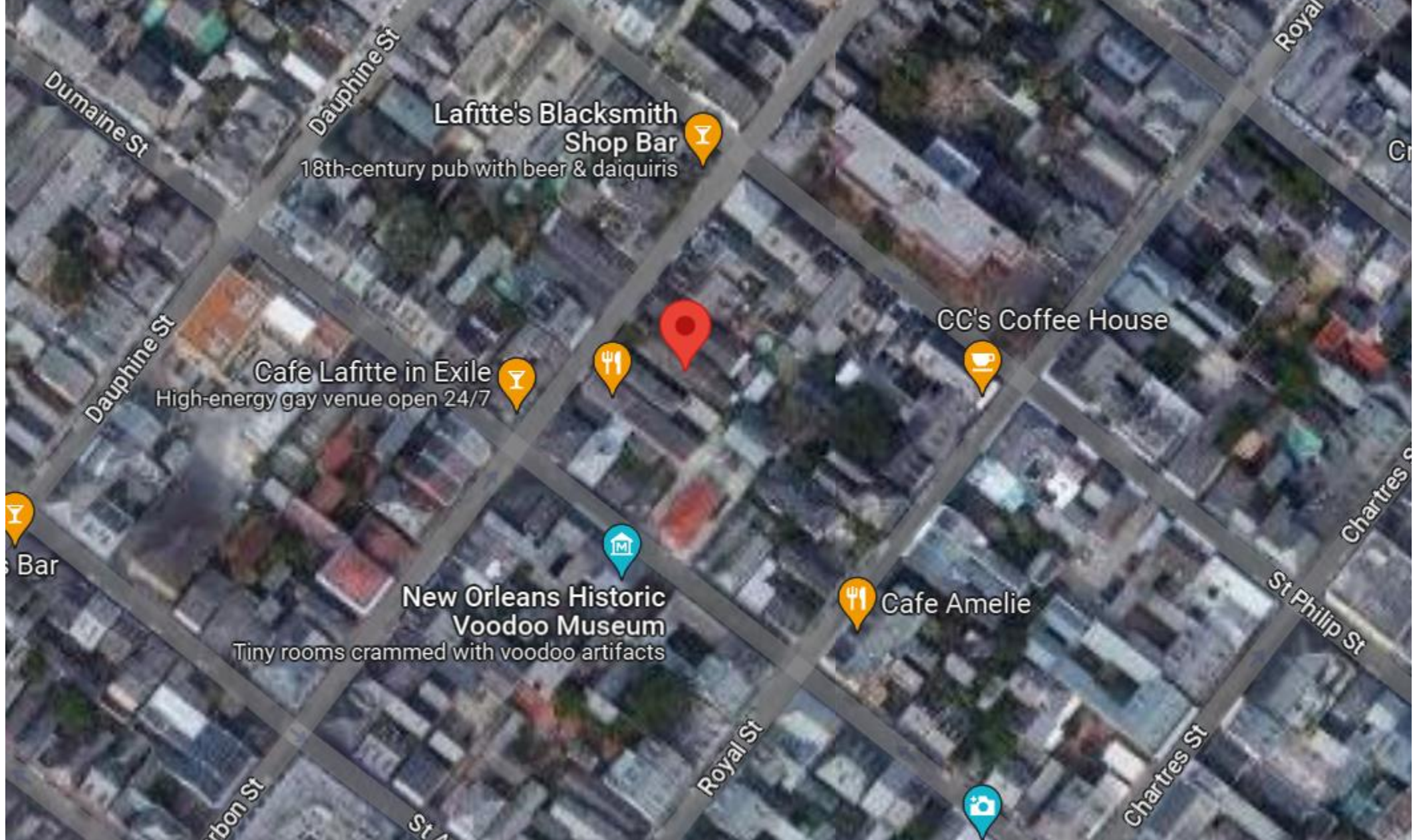
DESIGN PRINCIPLES	NEW CONSTRUCTION & ADDITIONS
Scale: Height & Width	Proportions and size of the new building/addition compared with neighboring buildings/existing building
Building Form & Massing	The three-dimensional relationship and configuration of the new building/addition footprint, its walls and roof compared with neighboring buildings/existing building
Setback	Distance of the new building/addition to the street or property line when compared with other buildings on the block/existing building
Site Coverage	Percentage of the site that is covered by a building/addition, when compared to nearby sites of compatible size
Orientation	Location of the front of the new building/addition and principal entrance relative to other buildings on the block
Alignment, Rhythm & Spacing	Effect the new building/addition will have on the existing patterns on its block
Architectural Elements & Projections	Size, shape, proportions and location of each entrance, balcony, gallery, porch, roof overhang, chimney, dormer, parapet and other elements that contribute to the building's overall shape and silhouette relative to neighboring buildings
Façade Proportions: Window & Door Patterns	Relationship of the size, shape and location of the new building/addition façade and building elements to each other, as well as when compared to other buildings on the property, block/existing building
Trim & Detail	Mouldings, decorative elements and features of a building that are secondary to major surfaces such as walls and a roof and how they relate to the neighboring buildings/existing building
Materials	Products with which an addition or new building is composed or constructed and how these relate to neighboring buildings/existing building

14-4 Vieux Carré Commission – Guidelines for New Construction, Additions & Demolition





918 Bourbon



918-20 Bourbon

Vieux Carre Commission

August 8, 2023





918-20 Bourbon

Vieux Carre Commission

August 8, 2023





918-20 Bourbon

Vieux Carre Commission

August 8, 2023





918-20 Bourbon

Vieux Carre Commission

August 8, 2023





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map: Auto (Mosaic) ▾

Aug 2021 - Sep 2021 ▾

08/31/2021 - 09/03/2021

918-20 Bourbon

Vieux Carre Commission

August 8, 2023





918-20 Bourbon

Vieux Carre Commission

August 8, 2023





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August 8, 2023





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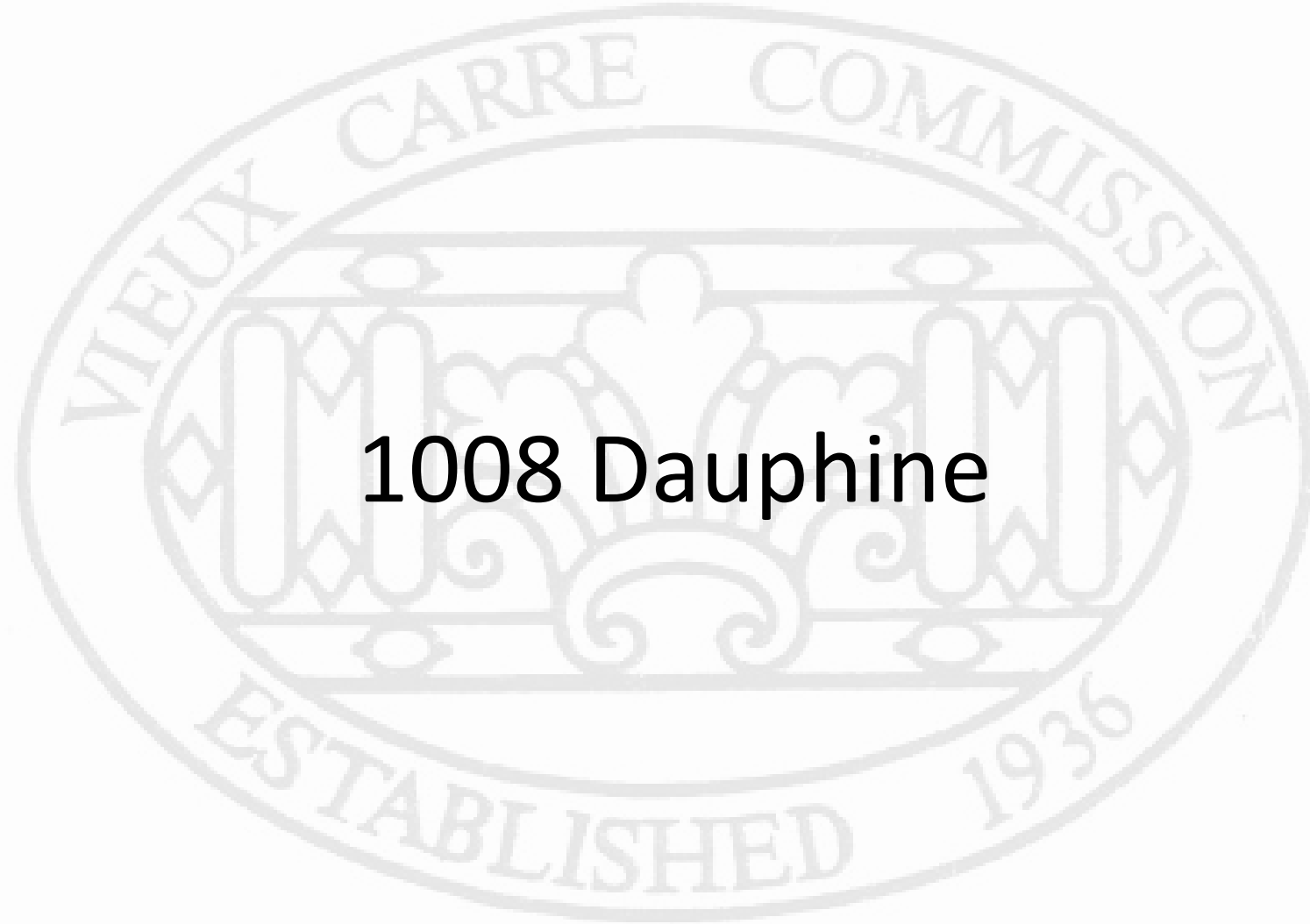
Vieux Carre Commission

August 8, 2023

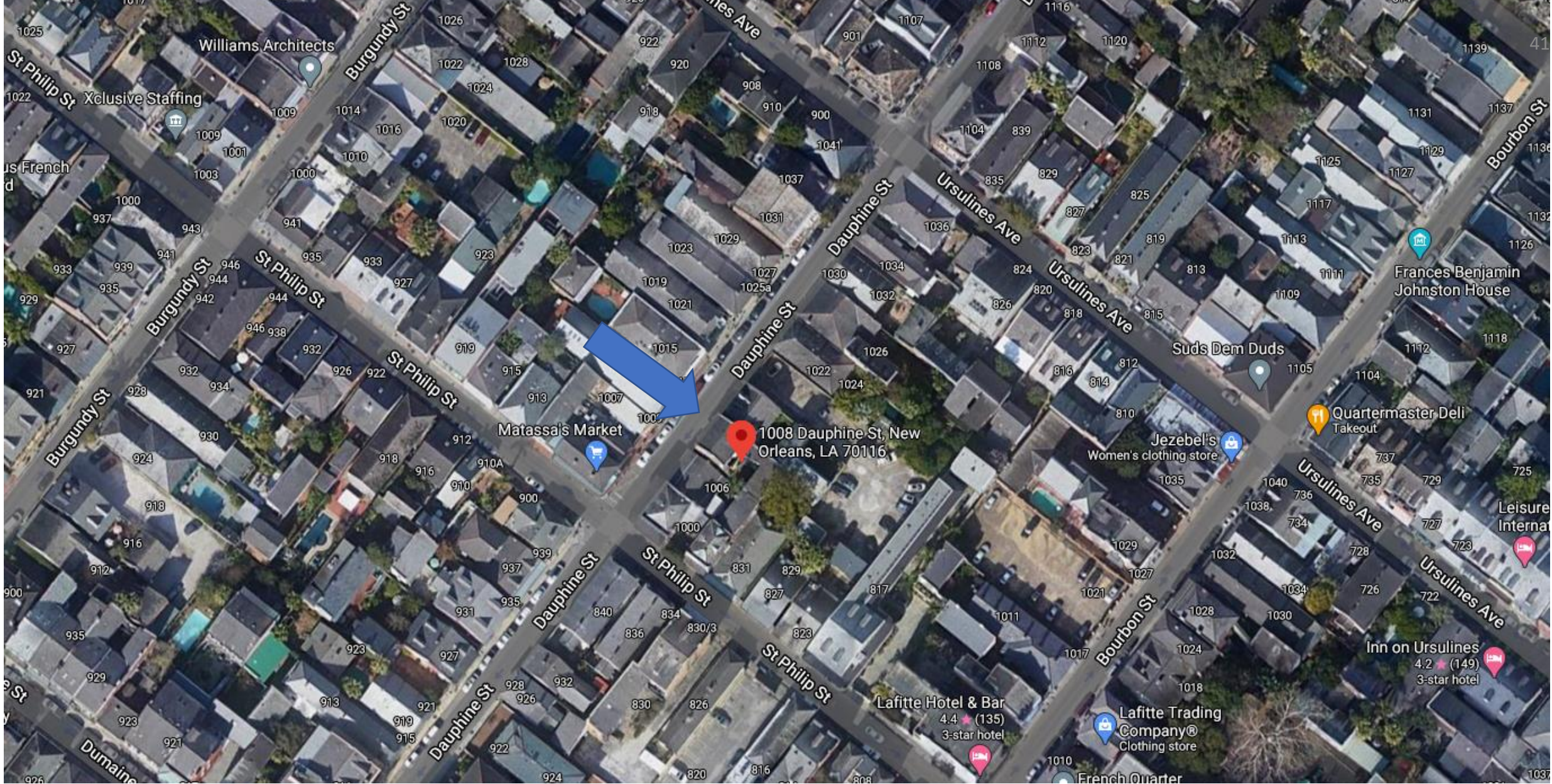




New Business



1008 Dauphine



1008 Dauphine

Vieux Carre Commission

August 8, 2023





1008 Dauphine

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August 8, 2023





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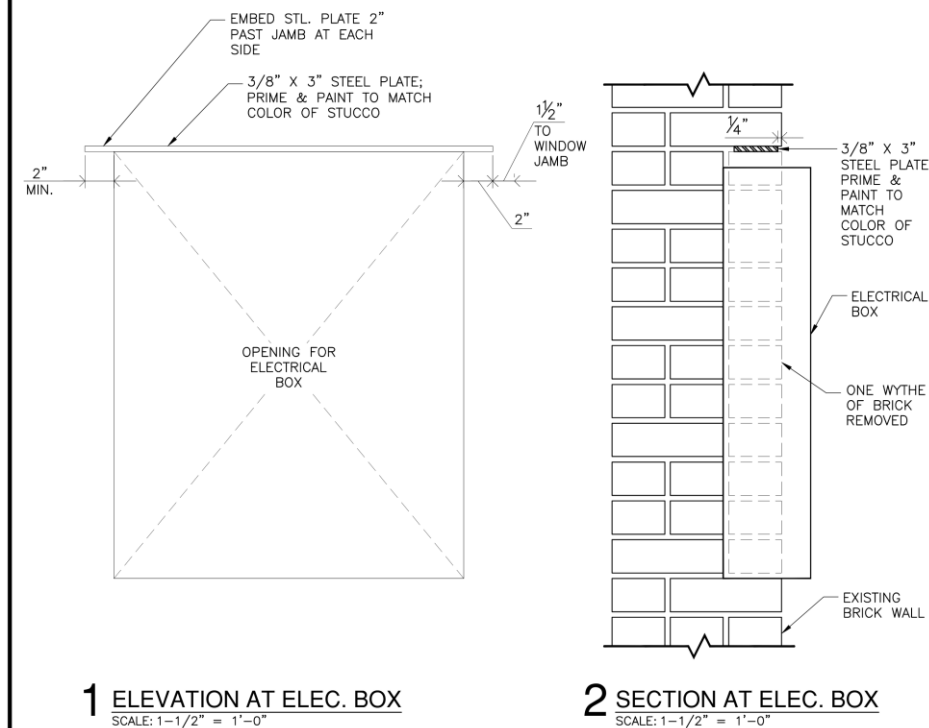


1008 Dauphine

Vieux Carre Commission

August 8, 2023





SHEET#
SK-5

ISSUED
08/03/2023

REPAIRS AND RESTORATIONS TO 1008-1010 DAUPHINE STREET

FRENCH QUARTER . NEW ORLEANS, LA

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.

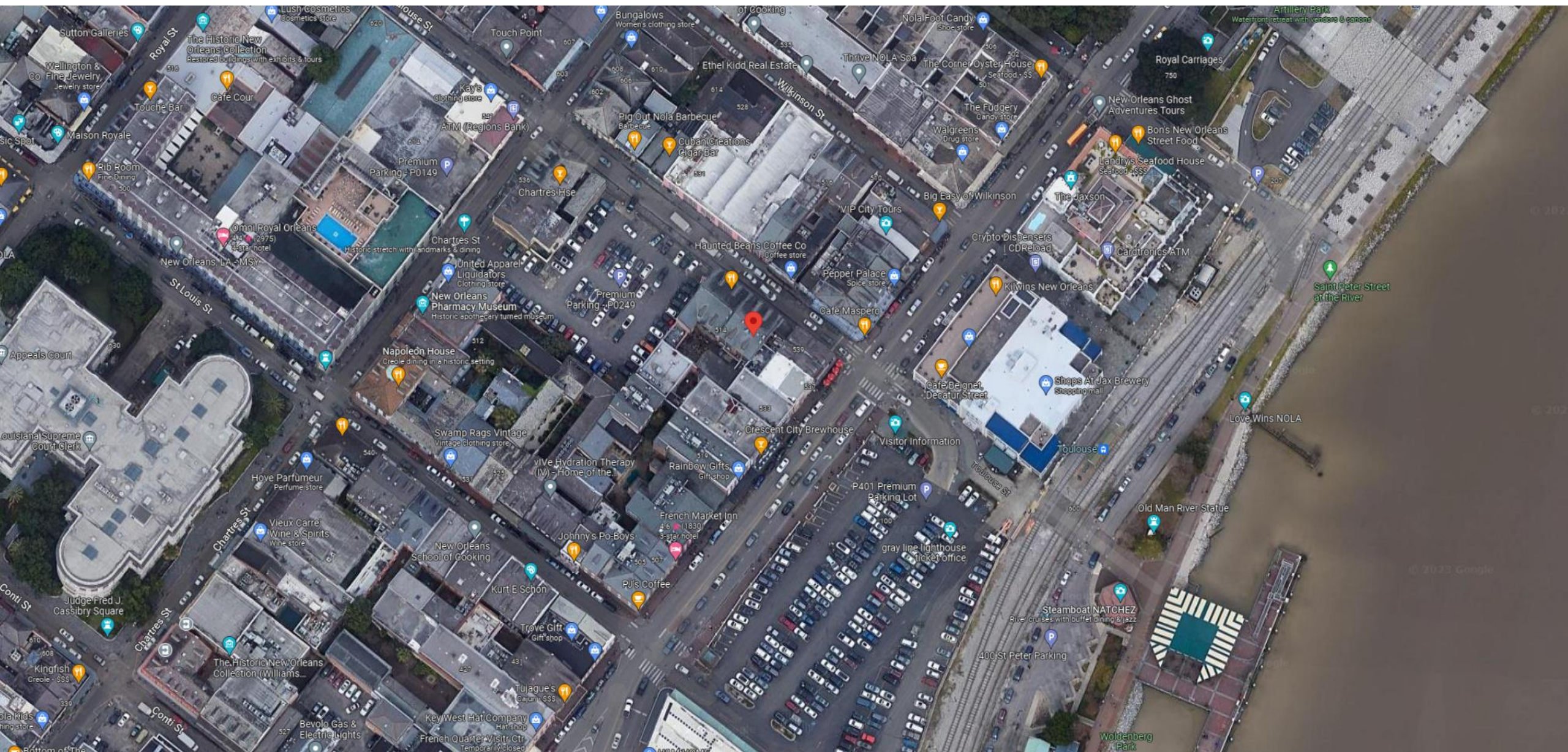


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508 Toulouse



508-18 Toulouse

Vieux Carre Commission

August 8, 2023





508-18 Toulouse – 1962

Vieux Carre Commission

August 8, 2023





508-18 Toulouse

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August 8, 2023





508-18 Toulouse

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August 8, 2023





508-18 Toulouse

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August 8, 2023





508-18 Toulouse

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August 8, 2023





508-18 Toulouse

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August 8, 2023





508-18 Toulouse

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August 8, 2023





508-18 Toulouse – pre-renovation

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August 8, 2023





508-18 Toulouse – pre-renovation

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August 8, 2023





508-18 Toulouse – pre-renovation



508-18 Toulouse

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August 8, 2023





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508-18 Toulouse

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August 8, 2023





508-18 Toulouse

Vieux Carre Commission

August 8, 2023





508-18 Toulouse

Vieux Carre Commission

August 8, 2023



VIOLATION DESCRIPTION AND REMEDIATION

NEW CONSTRUCTION WITHOUT THE BENEFIT OF A PERMIT:
1) NEW COVERED PATIO AND ADJOINING STRUCTURE. THESE STRUCTURES WILL BE REMOVED FROM THE COURTYARD IN THEIR ENTIRETY.
2) NEW BENCHES ALONG COURTYARD PERIMETER WALLS. REQUEST TO RETAIN THESE BENCHES AS THEY ARE FASTENED TO THE FLOOR AND NOT THE BUILDING.

WINDOWS:
3) IMPERMISSIBLE STICKERS ON WINDOWS. ALL STICKERS WILL BE REMOVED FROM GLAZING AND REPLACED WITH A BLACK FILM.

DOOR HARDWARE:
4) IMPERMISSIBLE DOOR HARDWARE AND KEYPAD. DOOR HARDWARE WILL BE REPLACED WITH NEW HARDWARE APPROVABLE TO VCC.

BALCONIES:
5) TRIM ON BALCONIES IS IN DEVATION OF GUIDELINES. THIS TRIM WILL BE REMOVED.

RAILINGS:
6) IMPERMISSIBLE CAST IRON PANEL ON RAILING. THE DECORATIVE PANEL WILL BE REMOVED FROM RAILING SYSTEM.

AWNING:
7) AWNING WAS INSTALLED WITHOUT A PERMIT. REMOVE AWNING IN ITS ENTIRETY.

PAINT:
8) MURALS WERE PAINTED ON COURTYARD WALLS WITHOUT A PERMIT. MURALS WILL BE REMOVED FROM ST. LOUIS STREET SIDE AND DECATUR STREET SIDE OF COURTYARD. REQUEST TO RETAIN OF MURALS ON THE TOULOUSE STREET SIDE AND CHARTRES STREET SIDE OF COURTYARD.

SECURITY CAMERAS:
9) SECURITY CAMERAS INSTALLED WITHOUT A PERMIT. REQUEST TO RETAIN THE (3) EXISTING CAMERA LOCATIONS INSTALLED IN 2014.

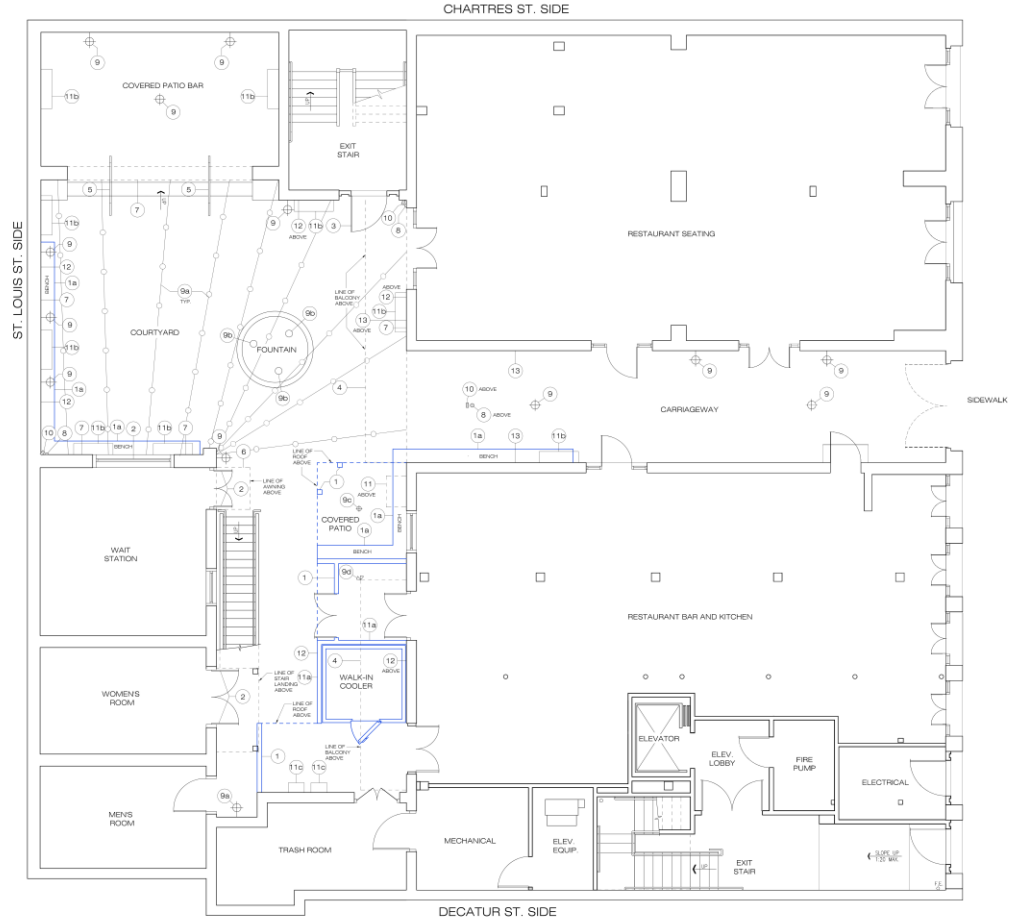
LIGHTING:
10) GAS LANTERNS INSTALLED WITHOUT A PERMIT. REQUEST TO RETAIN ALL GAS LANTERNS. LANTERNS WERE INSTALLED DURING THE BUILDING RENOVATION IN 2014 AND WERE APPROVED BY THE PARK SERVICE. SEE ATTACHED INVESTMENT TAX CREDIT PART 3 PHOTOS, SHEET A-3.
11) IMPERMISSIBLE STRING LIGHTS INSTALLED WITHOUT A PERMIT. STRING LIGHTS WILL BE REMOVED. REQUEST INSTALLATION OF NEW STRING LIGHTS APPROVABLE TO THE VCC.
12) IMPERMISSIBLE COLORED LIGHTS INSTALLED IN FOUNTAIN. COLORED LIGHTS WILL BE REMOVED. REQUEST INSTALLATION OF FOUNTAIN LIGHTS APPROVABLE TO THE VCC.
13) LIGHT INSTALLED AT NEW COVERED PATIO WITHOUT A PERMIT. LIGHT WILL BE REMOVED AS PART OF THE DEMOLITION OF THE NEW STRUCTURE. ITEM NO. 1.
14) IMPERMISSIBLE FLOOD LIGHT INSTALLED. FLOOD LIGHT WILL BE REMOVED.

SPEAKERS:
15) SPEAKERS INSTALLED WITHOUT A PERMIT. REQUEST TO RETAIN THE (3) EXISTING SPEAKER LOCATIONS INSTALLED IN 2014.

MECHANICAL EQUIPMENT:
16) CHILLER/EXHAUST VENT INSTALLED WITHOUT A PERMIT. REQUEST TO RETAIN EXHAUST VENT. VENT CAN BE PAINTED TO MATCH BUILDING COLOR.
17) WALK-IN COOLER INSTALLED WITHOUT A PERMIT. REQUEST TO RETAIN WALK-IN COOLER AND HORIZONTAL RESIN PLANK BOARD SURROUND.
18) HEATERS INSTALLED IN COURTYARD WITHOUT A PERMIT. REQUEST TO RETAIN THE HEATERS.
19) TANKLESS WATER HEATERS INSTALLED WITHOUT A PERMIT. THE TANKLESS WATER HEATERS CAN BE RELOCATED TO THE EQUIPMENT ROOF DIRECTLY ABOVE THEIR PRESENT LOCATION.

EXPOSED WIRE/CONDUITS:
20) WIRE/CONDUITS SHOULD BE PROPERLY SECURED AND PAINTED TO MATCH THE BUILDING. EXPOSED WIRING AND CONDUITS WILL BE STRAIGHTENED, SECURED AND PAINTED TO MATCH BUILDING COLOR.

BRICK:
21) BRICK AND MORTAR IS DAMAGED IN SEVERAL AREAS IN THE COURTYARD AND CARRIAGEWAY. DAMAGED BRICKS WILL BE REPAIRED TO MATCH EXISTING AND AREAS RE-POINTED PER THE Vieux Carre MASONRY MAINTENANCE GUIDELINES.



1 First Floor / Site Plan
A-1 SCALE: 3/16" = 1'-0"

terrell-fabacher
architects, l.l.c.

These plans and specifications have been prepared by me or under my close supervision. I am a duly licensed professional architect in the State of Louisiana. I am not providing any warranty, express or implied, for the use of these plans and specifications for any purpose other than that intended. I will periodically review job progress.

VCC VIOLATIONS CORRECTIONS
508 TOULOUSE ST.
NEW ORLEANS, LOUISIANA

NO.	REVISIONS

DRAWN BY:
DATE: 07/25/2023
JOB NO:

A-1
SHEET 1 OF 5

508-18 Toulouse
Vieux Carre Commission

August 8, 2023



terrell-fabacher
architects, L.L.C.
1050 South Jefferson Avenue Parkway, Suite 241
New Orleans, Louisiana 70125
504.586.1320



I have prepared these plans and specifications for the project described above, and I am a duly licensed professional engineer or architect under the laws of the State of Louisiana. I am not providing any design or engineering services for this project. The project will not be visited by me or my staff to review the progress.

VCC VIOLATIONS CORRECTIONS
508 TOULOUSE ST.
NEW ORLEANS, LOUISIANA

NO. REVISIONS

DRAWN BY:

DATE: 07/25/2023

JOB NO.:

A-2

SHEET 2 OF 5

508-18 Toulouse

Vieux Carre Commission

August 8, 2023



508 TOULOUSE

Photos taken in 2014 at completion of construction. These photos were included in the Investment Tax Credit Part 3 application approval.



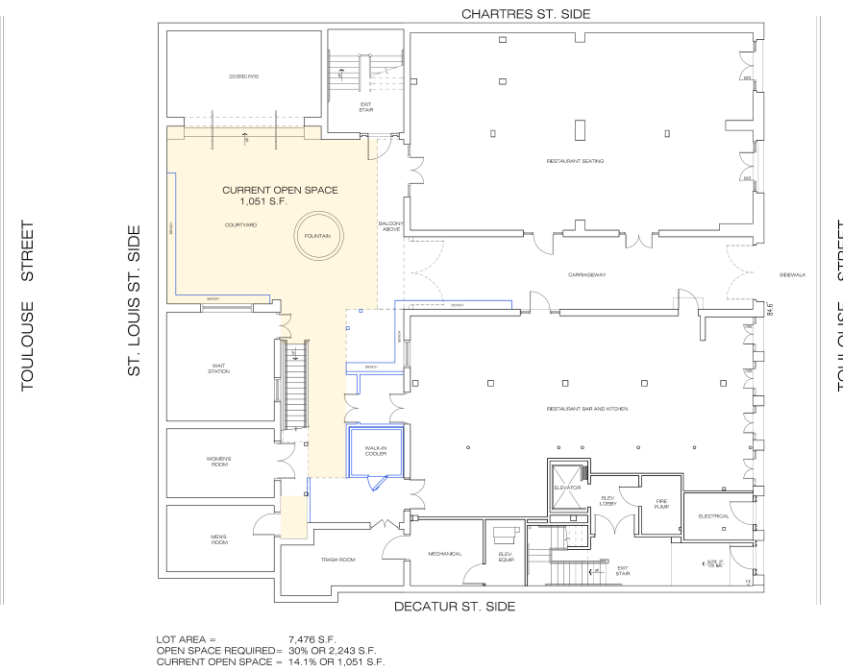
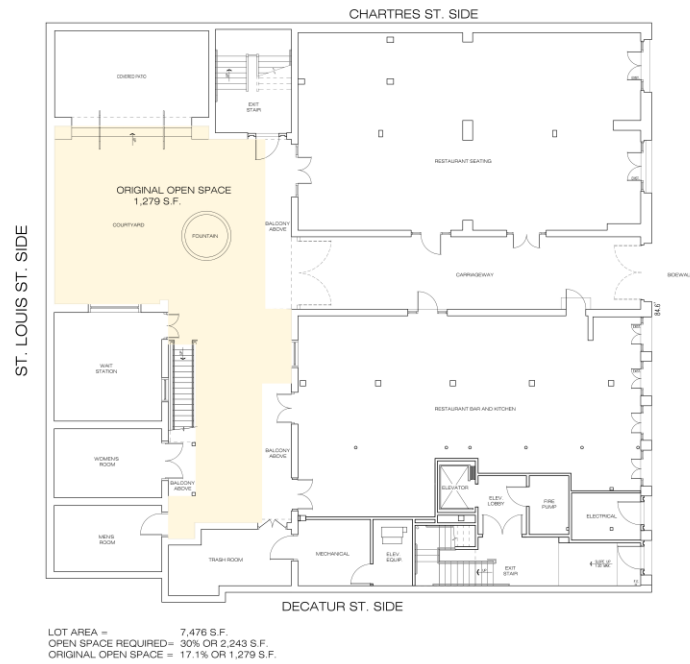
These plans and specifications have been prepared by me or under my close supervision. I am a duly licensed professional architect in the State of Louisiana. I am not a party to any contract for the construction of the project. I am not a party to any contract for the construction of the project. I am not a party to any contract for the construction of the project.

VCC VIOLATIONS CORRECTIONS
508 TOULOUSE ST.
NEW ORLEANS, LOUISIANA

NO. REVISIONS
DRAWN BY:
DATE: 07/25/2023
JOB NO:

A-3
SHEET 3 OF 5





These plans and specifications have been prepared by me or under my close supervision. They comply with all city requirements to the best of my knowledge and belief. The project (will) (will not) be visited periodically to review job progress.

NO.	REVISIONS
-----	-----------

DRAWN BY:	
DATE:	07/26/2023
JOB NO.:	

A-4

SHEET 4 OF 5

**terrell-fabacher
architects, l.l.c.**

1050 south jefferson drive
new orleans, louisiana 7
504-596-1320





SCALE: $1/4" = 1'-0"$

RECEIVED
NOV 10 2011



These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (a)(3)(a)(i) will be valued periodically to review job progress.

APARTMENT RESTORATION
508 TOULOUSE STREET
LOUISIANA
NEW ORLEANS,

NO.	REVISIONS

CHECKED BY: _____

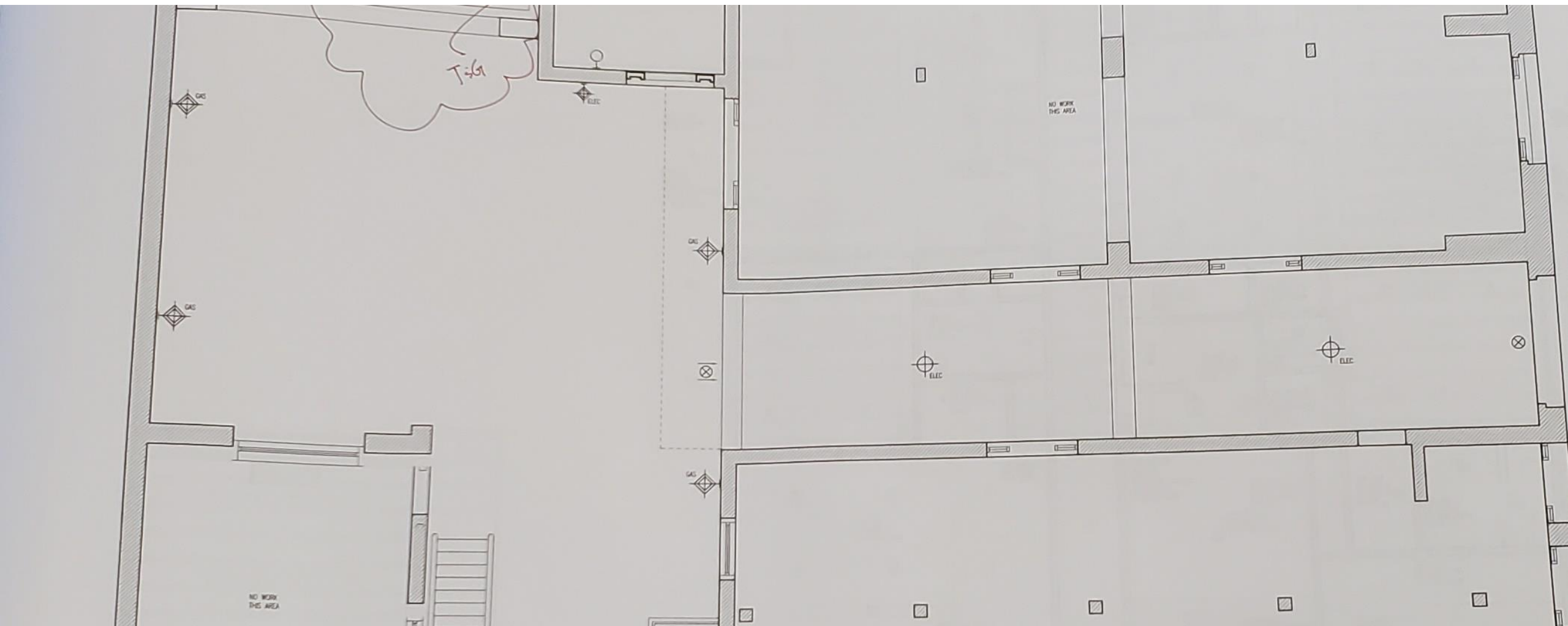
DRAWN BY: _____

DATE: 11-8-11

JOB NO.: _____

A5.1

SHEET OF



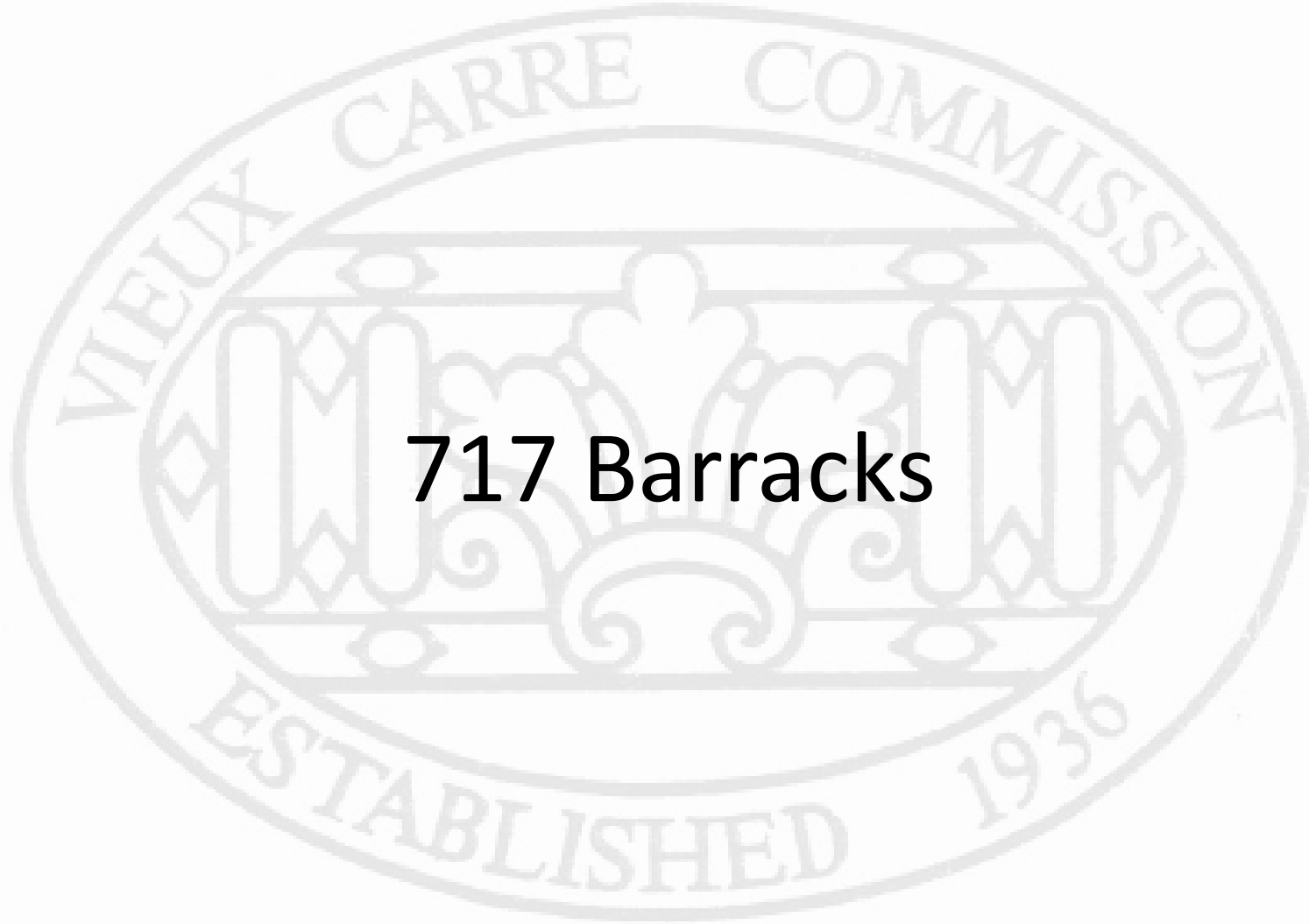
508-18 Toulouse – approved 2011 renovation

Vieux Carre Commission

August 8, 2023



717 Barracks





717 Barracks

Vieux Carre Commission

August 8, 2023





717 Barracks

Vieux Carre Commission

August 8, 2023





717 Barracks

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August 8, 2023





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August 8, 2023





717 Barracks

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August 8, 2023



Proposed keypad cover for gates by
applicant



717 Barracks

Vieux Carre Commission

August 8, 2023

