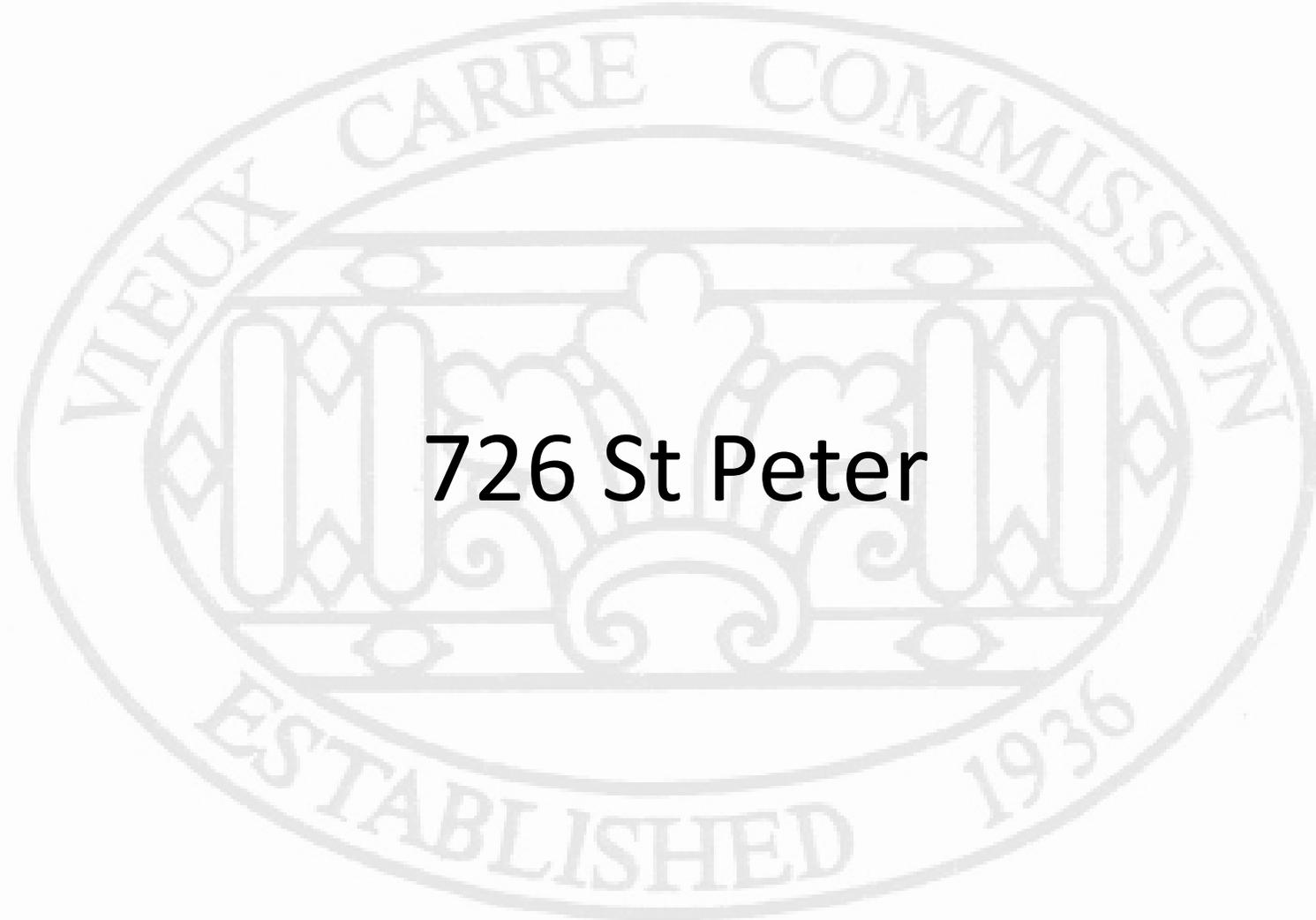


Vieux Carré Commission Architecture Committee Meeting

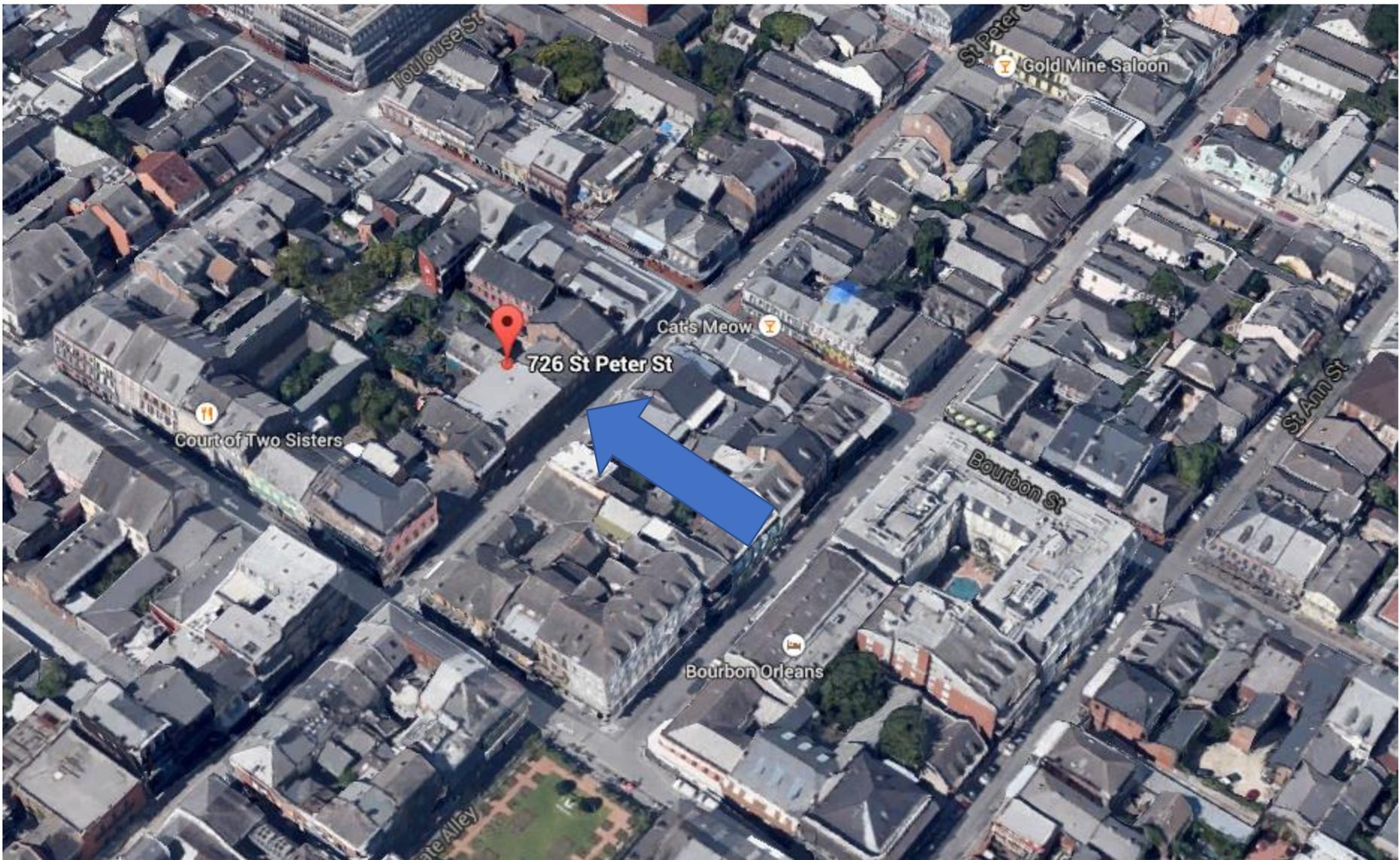
Tuesday, September 12, 2023



Old Business



726 St Peter

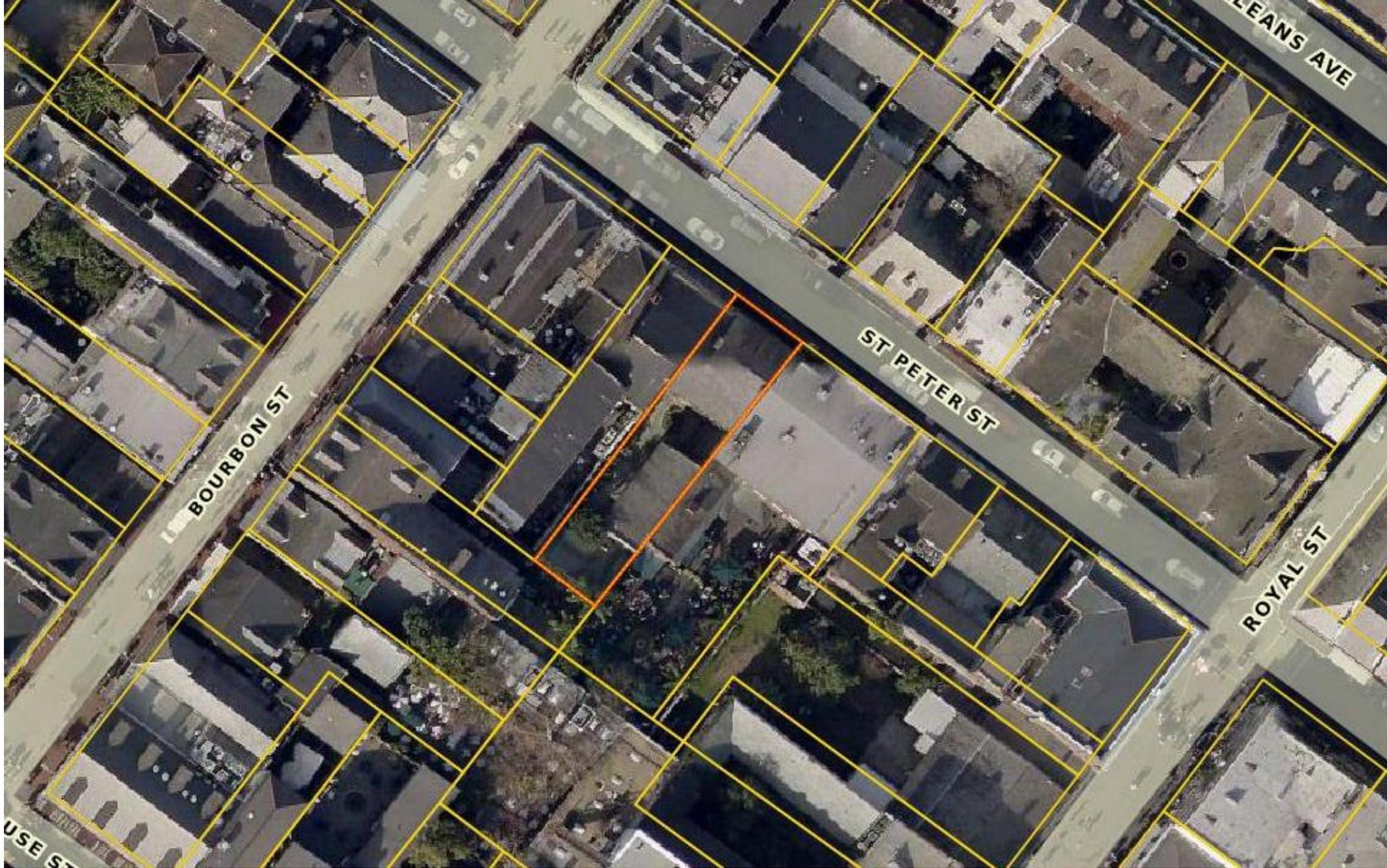


726 St. Peter

VCC Architectural Committee

March 14, 2023



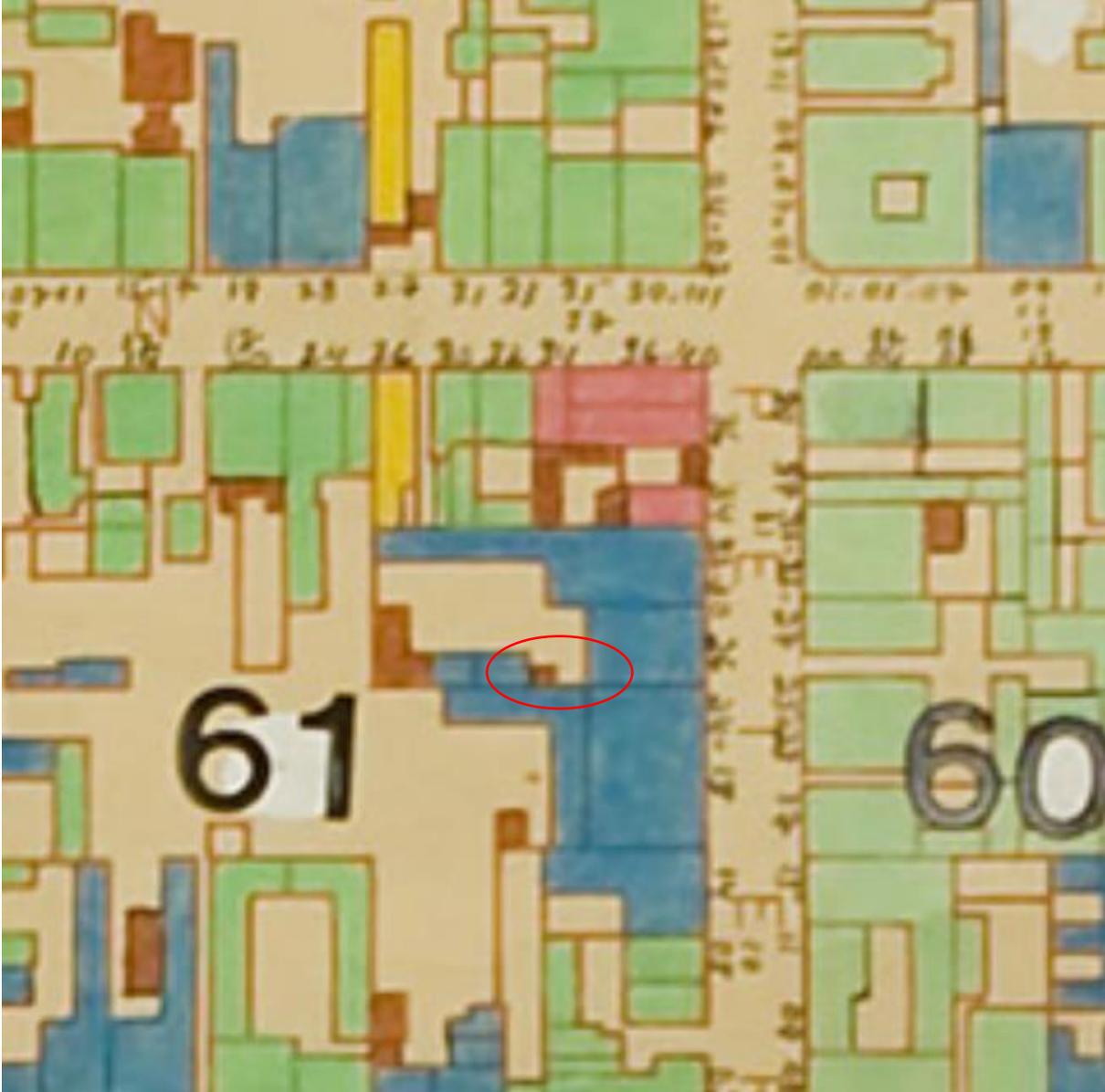


726 St. Peter

VCC Architectural Committee

March 14, 2023





726 St. Peter

VCC Architectural Committee

March 14, 2023



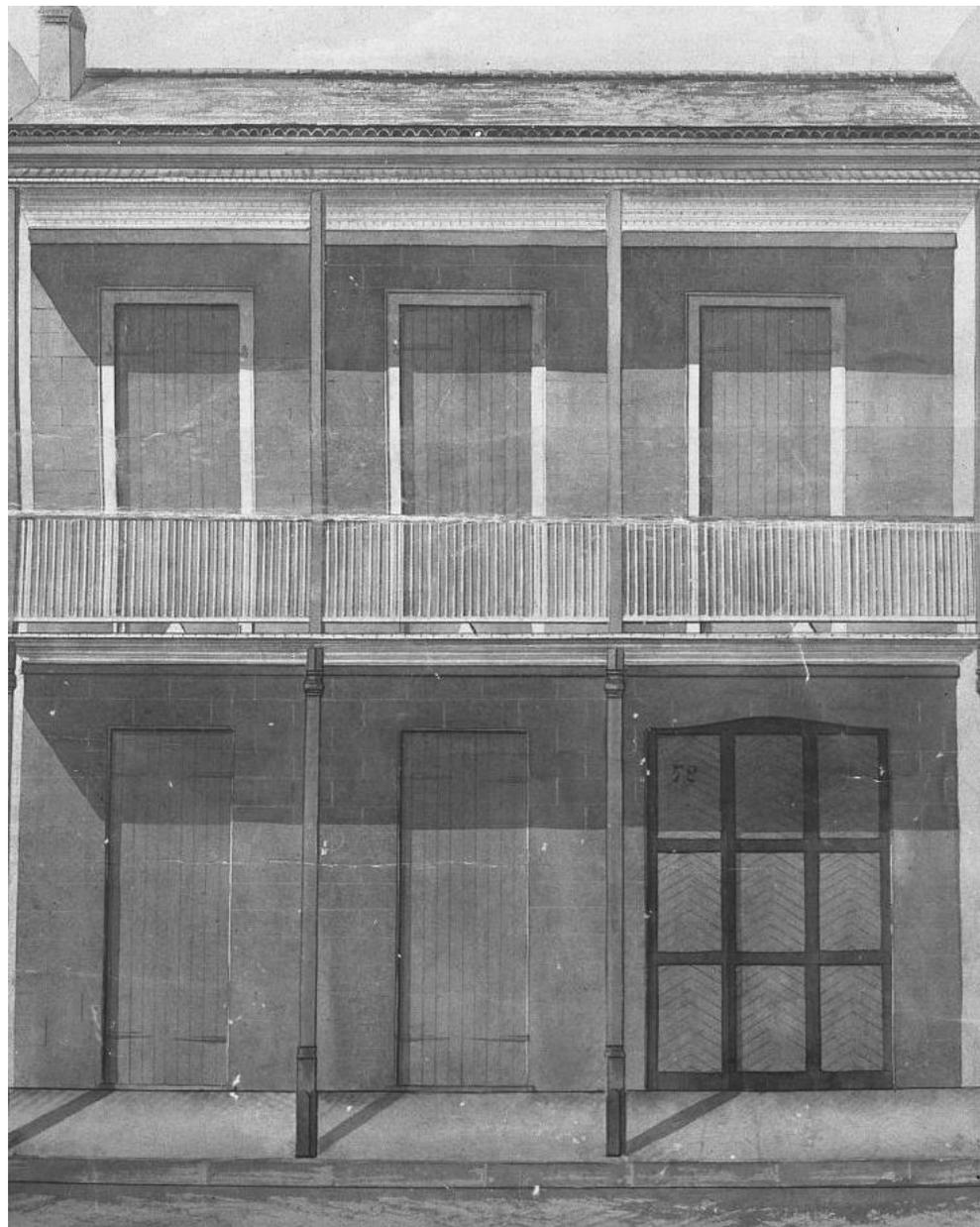


726 St. Peter (1866)

VCC Architectural Committee

March 14, 2023





726 St. Peter (1872)

VCC Architectural Committee

March 14, 2023





726 St. Peter (c. 1900)
VCC Architectural Committee

March 14, 2023





726 St. Peter (courtyard - 1972)

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March 14, 2023





726 St. Peter (1963)

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March 14, 2023





726 St. Peter (2010)





726 St. Peter

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March 14, 2023





Feb 16, 2023 11:24:50 AM

726 St. Peter

VCC Architectural Committee

March 14, 2023





726 St. Peter

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March 14, 2023





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VCC Architectural Committee

March 14, 2023





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March 14, 2023





726 St. Peter

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March 14, 2023





726 St. Peter

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March 14, 2023





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March 14, 2023





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March 14, 2023





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March 14, 2023





726 St. Peter

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March 14, 2023





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March 14, 2023



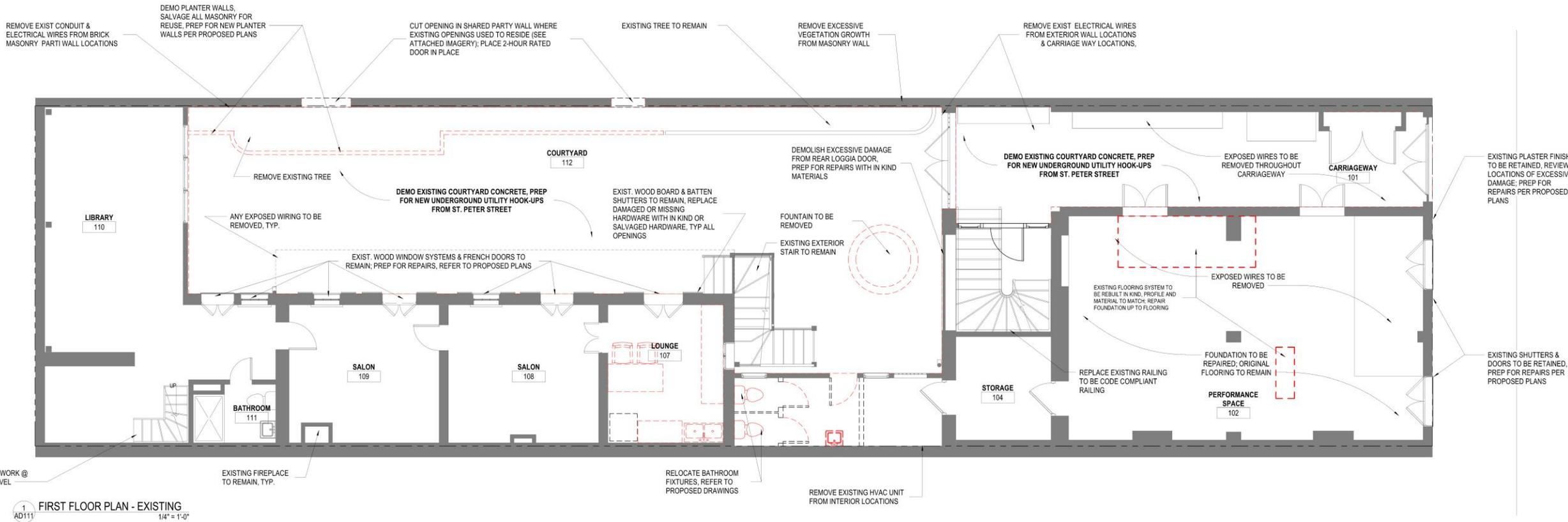


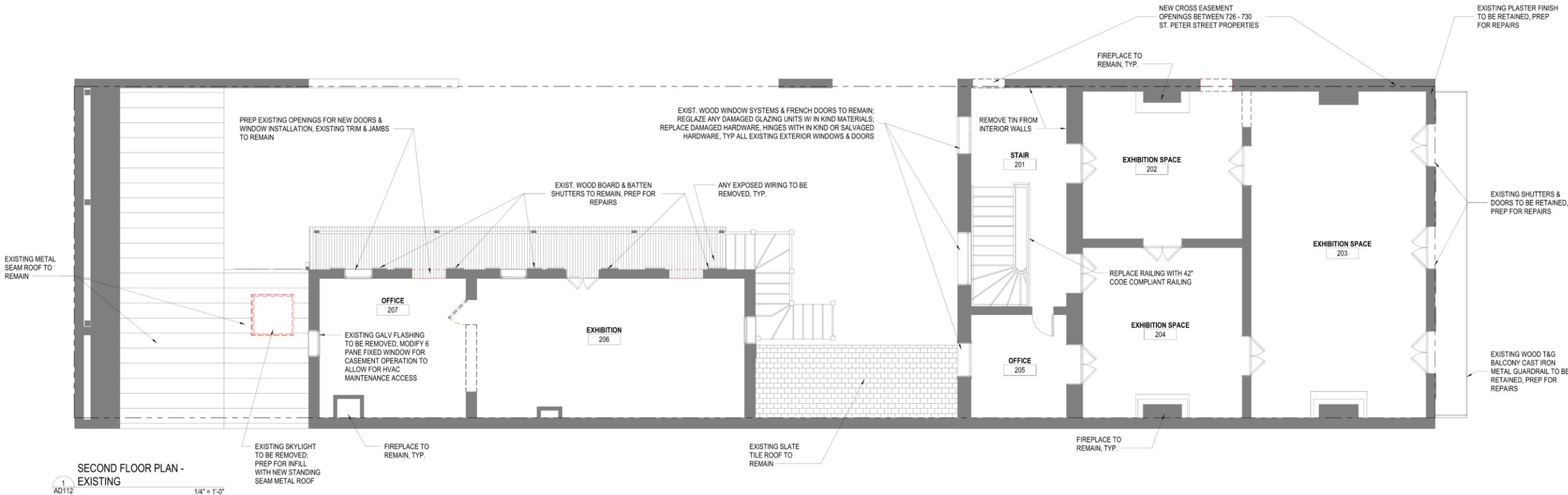
726 St. Peter

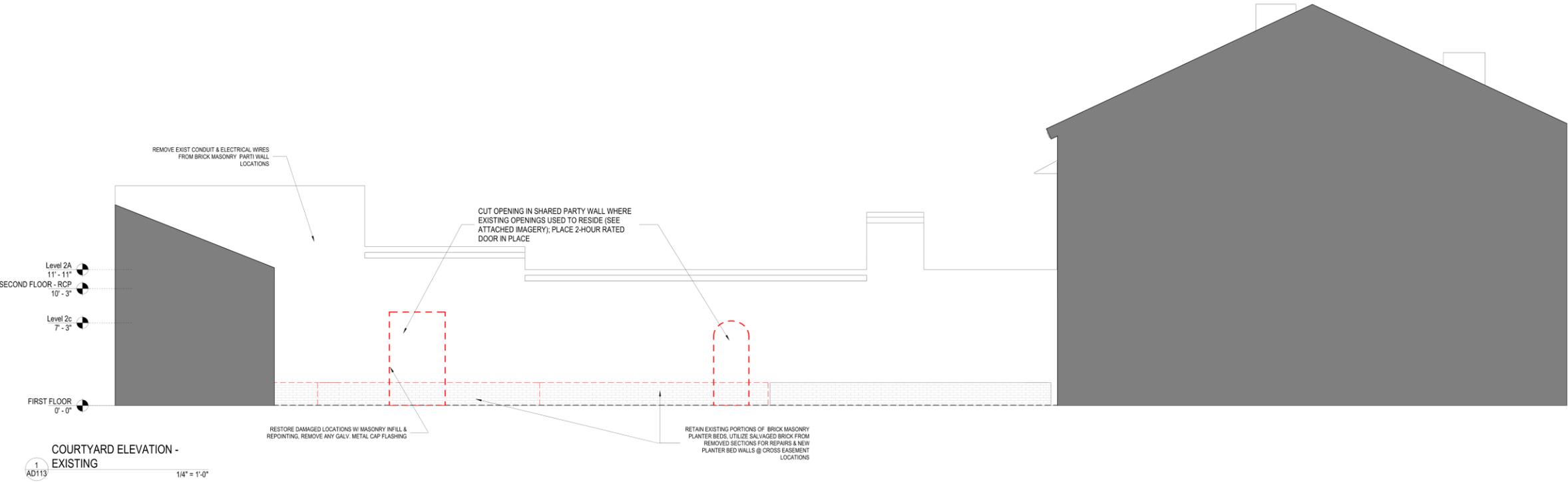
VCC Architectural Committee

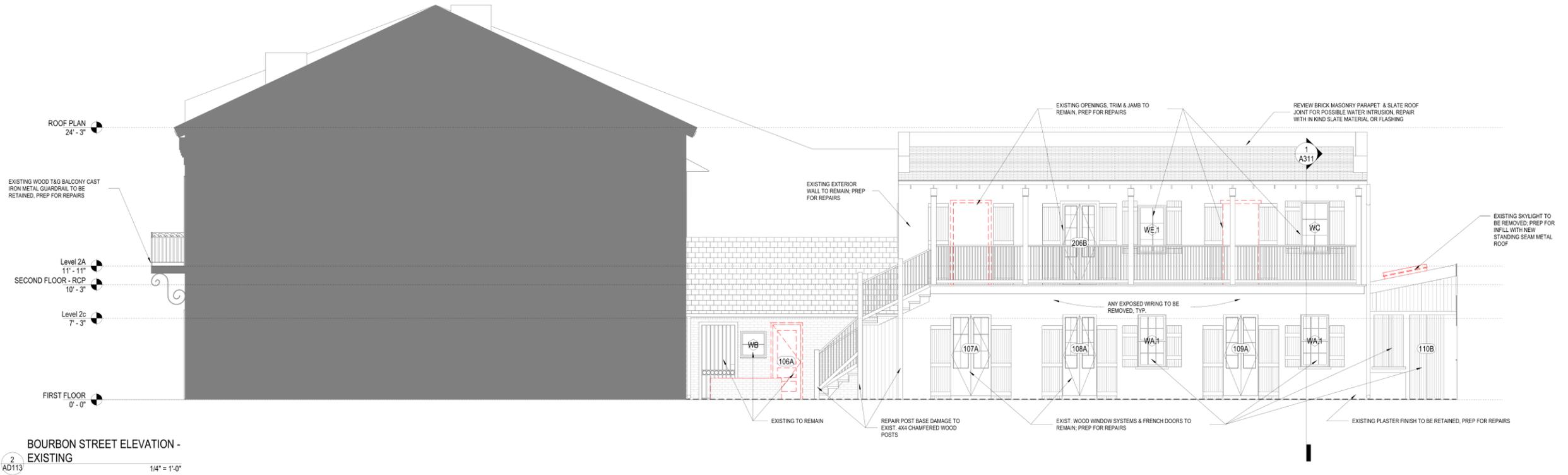
March 14, 2023











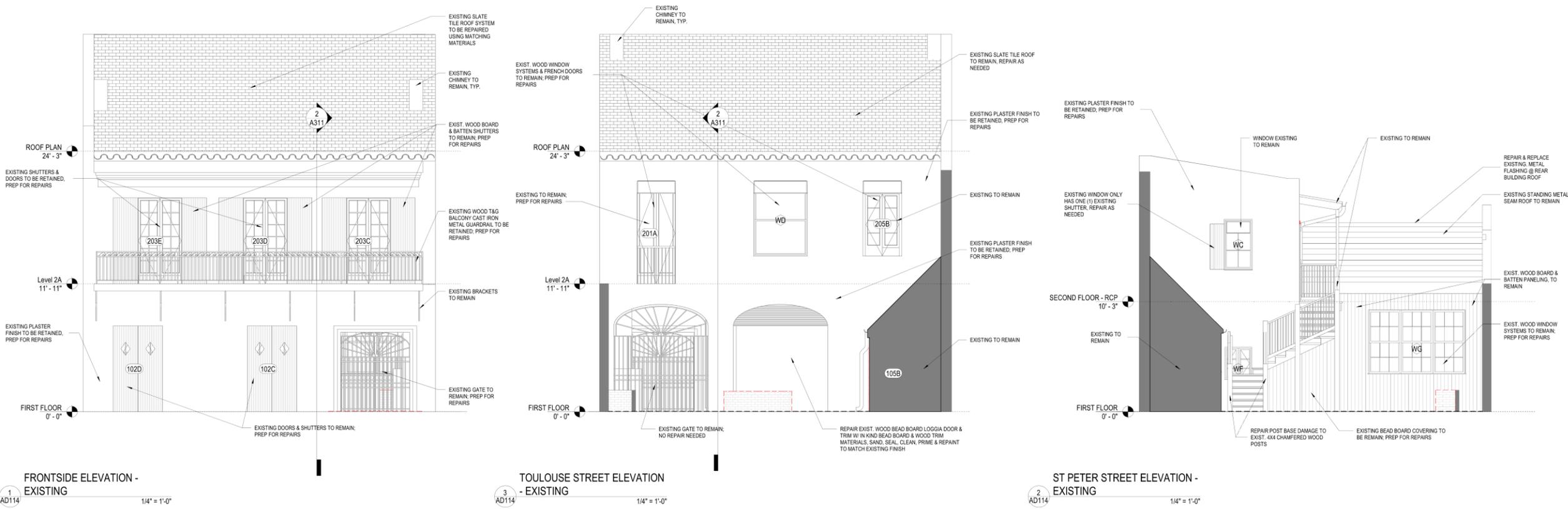
BOURBON STREET ELEVATION - EXISTING

726 St. Peter

VCC Architectural Committee

March 14, 2023





726 St. Peter

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March 14, 2023





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 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct supervision and I am a duly Licensed Professional Architect and I am duly Licensed in the State of Louisiana. I will not seal or provide professional consultation unless I am a member of the project.

PREPARED BY NOT FOR CONSTRUCTION

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 John Williams Architects LLC

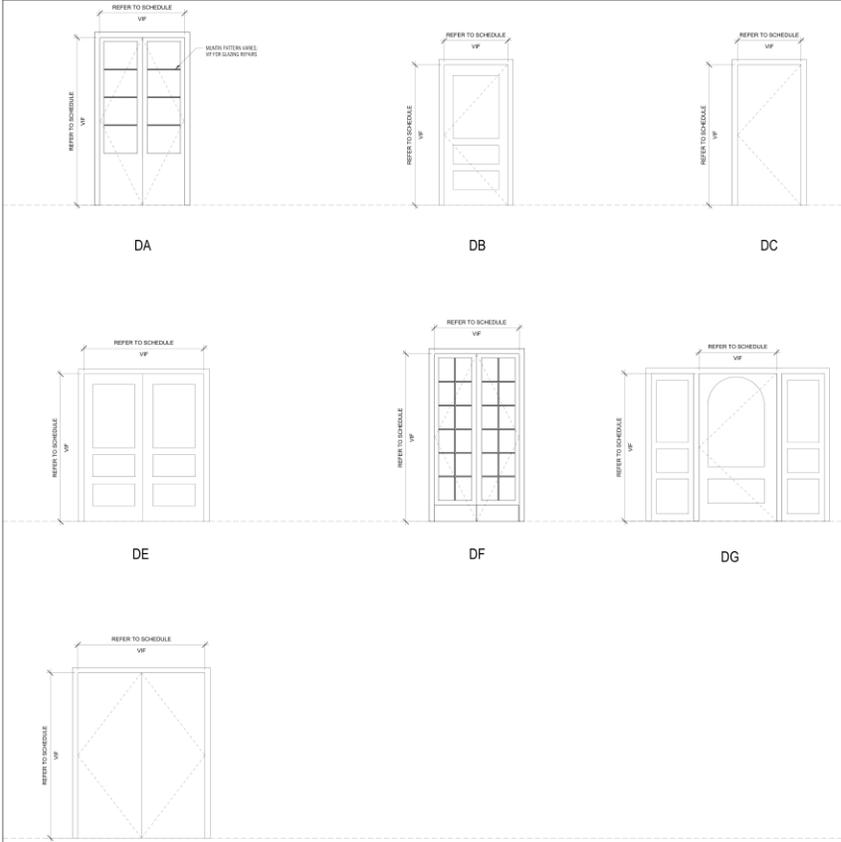
PRESERVATION HALL
 726 ST PETER STREET
 NEW ORLEANS, LA 70112

-REVISIONS-

No.	Date	Scope

DRAWING BY: Author
 SCALE: As Indicated
 JOB No.: 191007-03
 DATE: 06/29/2023

Sheet No: **A080**



DOOR, WINDOW, AND SHUTTER GENERAL NOTES

- ALL GLAZING IN NEW WINDOWS AND DOORS TO BE LAMINATED GLAZING LOW E CLEAR
- PROVIDE GLAZING SAMPLE TO OWNER AND ARCHITECT FOR VCC STAFF REVIEW PRIOR TO PURCHASE
- GENERAL CONTRACTOR TO PROVIDE DOOR AND WINDOW SUBMITTAL TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE. EXTERIOR DOORS & WINDOWS TO BE REVIEWED & APPROVED BY VCC THROUGH ARCH. PRIOR TO PURCHASE.
- GENERAL CONTRACTOR TO PROVIDE DOOR, WINDOW, AND COVERED SHUTTER SHOP DRAWINGS BY MILLSHOP TO ARCHITECT & VCC FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- ALL EXTERIOR WOOD WINDOWS AND DOORS TO BE WATER-REPELLENT, PRESERVATIVE TREATED
- ALL WINDOWS AND DOORS TO BE PAINTED
- GENERAL CONTRACTOR TO FIELD VERIFY THROU REQUIRED ON ALL SHUTTERS, EXTERIOR DOOR, AND WINDOW HINGES TO ALLOW FOR THE SQUARE OPENING EXCEPT FOR DOORS & ADJACENT TO WALL OR GUARDRAIL.
- GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING AT DOOR AND WINDOW OPENINGS WILL MILLSHOP SHOP DRAWINGS AND DIMENSIONS.
- GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE SELECTION AND FINISHES WITH OWNER, ARCHITECT & VCC PRIOR TO PURCHASE.
- GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL FIRE RATED DOORS AND FIRE RATED FRAMES TO ARCHITECT PRIOR TO PURCHASE. PRIOR SPEC FOR EXTERIOR FIRE RATED DOORS TO VCC THROUGH ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.

DOOR SCHEDULE EXISTING										
MARK	NUMBER	WIDTH	HEIGHT	THICKNESS	PANEL TYPE	FIRE RATING	DESCRIPTION	FRAME TYPE	FRAME MATERIAL	NOTES
DH	101A	8'-0"	7'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FLUSH SOLID OAK WOOD DOORS. PTD.	EXIST.	WOOD	EXISTING UTILITY PANEL DOUBLE DOOR
DE	102A	4'-1"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FLUSH 4-PANEL SOLID OAK WOOD DOORS. PTD.	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DE	102B	4'-1"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FLUSH 4-PANEL SOLID OAK WOOD DOORS. PTD.	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	102C	4'-7"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING LITES	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	102D	4'-7"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING LITES	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DC	103-18A	2'-4"	7'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	BATHROOM DOOR
DC	103-18A	2'-4"	7'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	BATHROOM DOOR
DC	103-18A	3'-8"	7'-0"	0'-1 3/4"	EXISTING	SPRINKLER PROTECTION	EXISTING SINGLE PANEL DOOR W EXISTING GLAZING & SEULITES	EXIST.	WOOD	BATHROOM DOOR
DC	104A	2'-10"	7'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DC	105B	2'-10"	7'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DB	106A	2'-6"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH 3-PANEL SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DA	107A	3'-7"	7'-2 3/4"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DA	108A	3'-0"	7'-2 3/4"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DA	108B	2'-9 1/2"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DA	108A	3'-1"	7'-2 3/4"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DC	108B	2'-4"	7'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DC	109C	2'-6"	7'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DA	110B	3'-0"	7'-2 3/4"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DC	111A	2'-0"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DA	201A	3'-7"	9'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	202A	3'-9 1/2"	8'-0"	0'-1 3/4"	EXISTING	SPRINKLER PROTECTION	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	203A	3'-9 1/2"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	203B	3'-9 1/2"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	203C	4'-1"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	203D	4'-1"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	203E	4'-1"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
JS	203F	3'-8 1/2"	8'-0"	0'-1 3/4"	EXISTING	N/A	726 PR DOOR	EXIST.	WOOD	
DF	204A	3'-9 1/2"	8'-0"	0'-1 3/4"	EXISTING	SPRINKLER PROTECTION	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DF	204B	3'-9 1/2"	8'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DB	205A	2'-0"	7'-0"	0'-1 3/4"	EXISTING	SPRINKLER PROTECTION	EXISTING WOOD paneled SWINGING DOOR	EXIST.	WOOD	
DA	206B	3'-2 1/2"	9'-10"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W LOW E GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DA	206B	3'-1"	7'-2 3/4"	0'-1 3/4"	EXISTING	N/A	EXISTING DOUBLE FRENCH DOORS W EXISTING GLAZING	EXIST.	WOOD	REPAIR/REPLACE EXCESSIVE WOOD DAMAGE TO DOOR & HARDWARE IN KIND MATERIALS
DC	207A	2'-4"	7'-0"	0'-1 3/4"	EXISTING	N/A	EXISTING SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	EXIST.	WOOD	

DOOR SCHEDULE NEW CONSTRUCTION										
MARK	NUMBER	WIDTH	HEIGHT	THICKNESS	PANEL TYPE	FIRE RATING	DESCRIPTION	FRAME TYPE	FRAME MATERIAL	NOTES
DA	206A	3'-2"	7'-2 3/4"	0'-1 3/4"	NEW CONSTRUCTION	N/A	DOUBLE FRENCH DOORS W LAMINATED GLAZING	WD-1	WOOD	NEW DOOR IN EXISTING OPENING. MATCH EXISTING WOOD TYPE OF EXISTING ADJACENT DOORS
DC	207-18A	2'-10"	8'-0"	0'-7"	NEW CONSTRUCTION	N/A	SINGLE FLUSH SOLID OAK WOOD DOOR. PTD.	WD-1	WOOD	NEW DOOR IN EXISTING OPENING. MATCH EXISTING WOOD TYPE OF EXISTING ADJACENT DOORS
DA	207A	3'-2"	7'-2 3/4"	0'-1 3/4"	NEW CONSTRUCTION	N/A	DOUBLE FRENCH DOORS W LAMINATED GLAZING	WD-1	WOOD	NEW DOOR IN EXISTING OPENING. MATCH EXISTING WOOD TYPE OF EXISTING ADJACENT DOORS

NEW DOOR NOTE: GC TO PROVIDE MOCK UP OF NEW EXTERIOR WOOD DOORS TO VERIFY WOOD SPECIES PRIOR TO SELECTION/PURCHASE/MILLING. GC TO REVIEW OPTIONS FOR SPANISH CEDAR, RECLAIMED PINE FROM BALANCED 726 ST PETER BEAMS, AND CYPRESS. ALL EXTERIOR WOOD DOORS TO BE EXPOSED, NON-PAINTED WOOD



DOOR JAMB DETAILS
1/12" = 1'-0"

DOOR JAMB DETAIL - DOOR DA

DOOR JAMB DETAIL - DOOR DB

DOOR JAMB DETAIL - DOOR DC

DOOR JAMB DETAIL - DOOR DF

DOOR TYPE - DA
EXISTING DOOR W/ REPAIRS

DOOR TYPE - DB
EXISTING DOOR W/ REPAIRS

DOOR TYPE - DC
EXISTING DOOR W/ REPAIRS

DOOR TYPE - DF
EXISTING DOOR W/ REPAIRS

DOOR DETAIL SECTIONS
1/12" = 1'-0"

REVISIONS:

No.	Date	Scope

DRAWING
DOOR DETAILS

DRAWING BY: Author
ASB/ML 1/12" = 1'-0"
DATE: 01/08/23
DATE: 02/25/23
Sheet No.

A081



WILLIAMS ARCHITECTS
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These drawings and specifications have been prepared by the architect to the best of his professional knowledge and belief, and they shall not be construed to constitute a contract or a warranty of any kind.

PROJECT SET FOR CONSTRUCTION

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PRESERVATION HALL
726 ST PETER STREET
NEW ORLEANS, LA 70112





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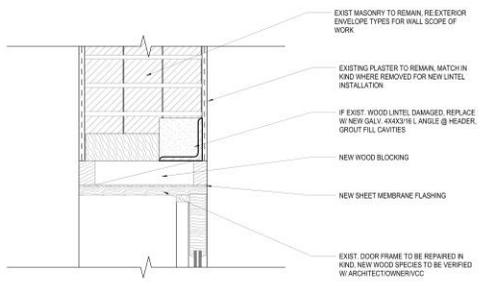
These drawings and specifications have been prepared by the architect in accordance with the standards and the best of my professional knowledge and experience, with the understanding that the contractor shall be responsible for obtaining all necessary permits and for the proper construction of the work.

I (AM) will not be providing project construction administration services on this project.

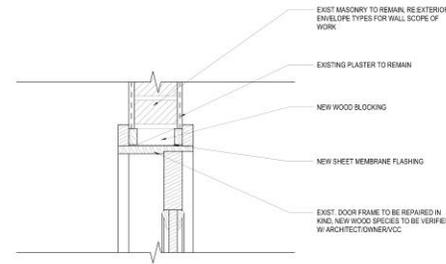
PROPOSED SET FOR CONSTRUCTION

Drawn by: JCS
JAN C WILSON ARCHITECTS LLC

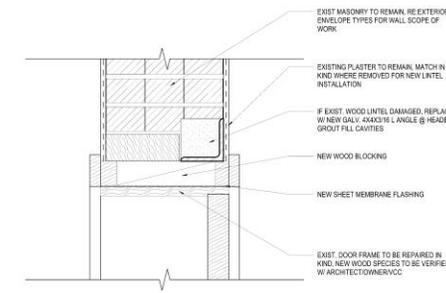
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NEW ORLEANS, LA 70112



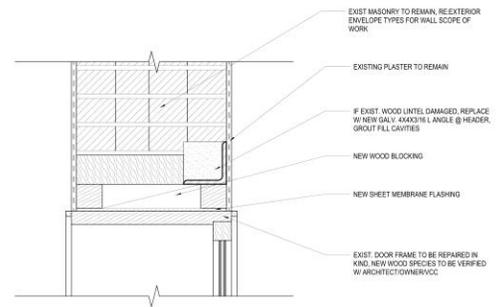
1 A082 HEADER DETAIL - DOOR DA 3" x 1'-0"



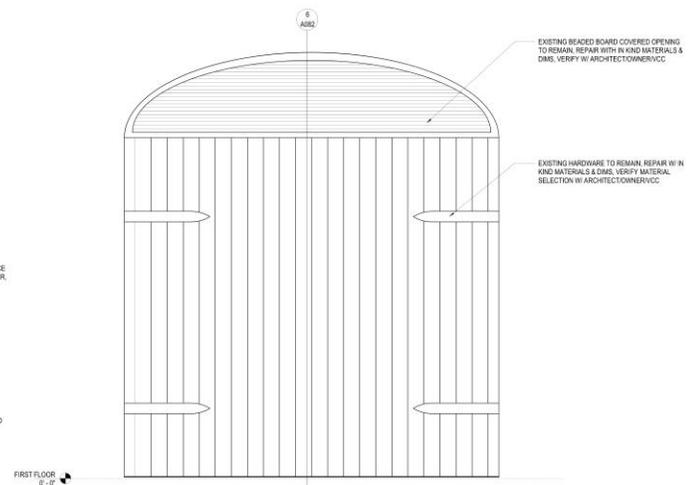
2 A082 HEADER DETAIL - DOOR DB 3" x 1'-0"



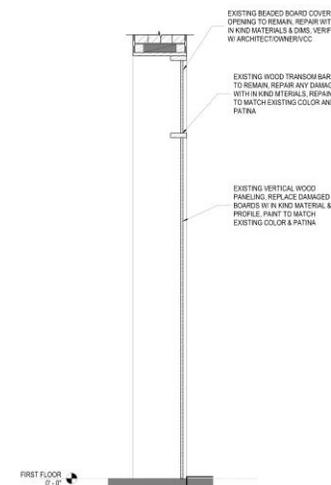
3 A082 HEADER DETAIL - DOOR DC 3" x 1'-0"



4 A082 HEADER DETAIL - DOOR DF 3" x 1'-0"



5 A082 ELEVATION - BEADED BOARD OPENING 1" x 1'-0"



6 A082 SECTION - BEADED BOARD OPENING 1" x 1'-0"

2/20/2023 1:27:04 PM - Archidoc DocuPrint72625 25 11/14/2018 10:31 AM - Preservation Hall - DZ21.rvt

-REVISIONS-

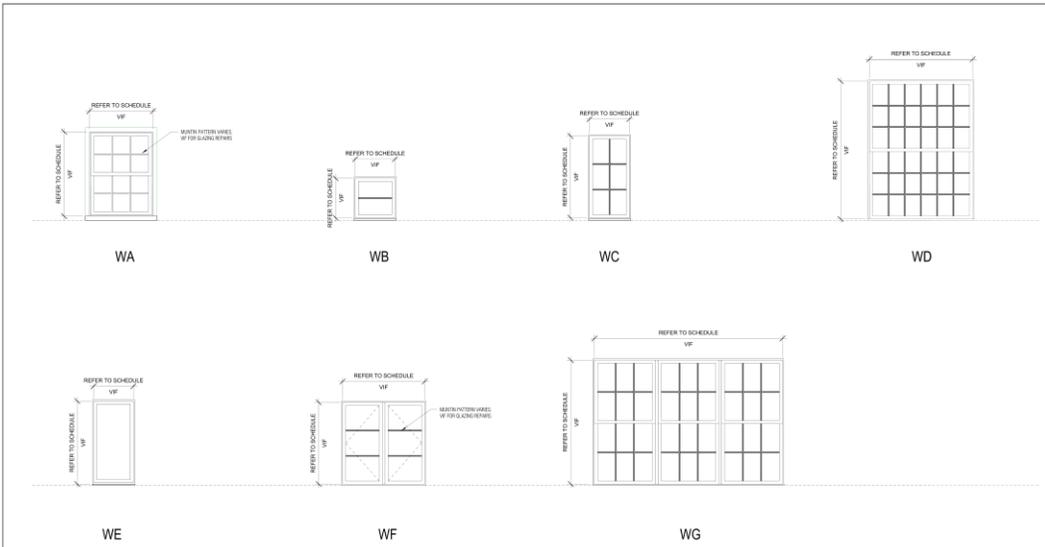
No.	Date	Scope

DRAWING DOOR DETAILS

DRAWING BY: Author
SCALE: As indicated
JOB No: 19160110
DATE: 06/29/2023
Sheet No:

A082





WINDOW SCHEDULE									
MARK	Mark	DESCRIPTION	OPERATION	R.O. WIDTH	R.O. HEIGHT	QTY	PHASE	CREATED	COMMENTS
WA	101	DOUBLE HUNG W/ 3 OVER 3 MUNTIN PATTERN	OPERABLE	2'-7 1/2"	4'-7 1/2"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA	102	DOUBLE HUNG W/ 3 OVER 3 MUNTIN PATTERN	FIXED	2'-6"	4'-8"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA	103	DOUBLE HUNG W/ 3 OVER 3 MUNTIN PATTERN	FIXED	2'-6"	4'-8"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA	104	DOUBLE OPERABLE W/ 2X2 MUNTIN PATTERN	OPERABLE	3'-5"	2'-7 1/2"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA	105	DOUBLE OPERABLE W/ 2X2 MUNTIN PATTERN	OPERABLE	3'-5"	2'-7 1/2"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA	3	SINGLE HUNG FIXED	FIXED	2'-7"	3'-7 1/2"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WB	107	SINGLE HUNG FIXED	FIXED	2'-4"	2'-4"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WB	108	SINGLE HUNG FIXED	FIXED	2'-4"	2'-4"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WC	109	SINGLE FIXED W/ 2X3 MUNTIN PATTERN	FIXED	2'-7 1/2"	4'-8"	1	NEW		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WC	110	SINGLE FIXED W/ 2X3 MUNTIN PATTERN	FIXED	2'-7 1/2"	4'-8"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WD	111	DOUBLE HUNG W/ 6X3 MUNTIN PATTERN	OPERABLE	3'-0"	8'-8"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WE	112	SINGLE HUNG FIXED WINDOW	FIXED	2'-6"	6'-0"	1	EXISTING		EXISTING WINDOW TO TRANSITION TO ALLOW OPERABLE OPENING.
WE	113	SINGLE FIXED W/ 2X3 MUNTIN PATTERN	FIXED	2'-6"	4'-3 1/2"	1	NEW		NEW WINDOW TO BE INSTALLED IN EXISTING OPENING.
WE	114	SINGLE FIXED 12 LITE TRANSOM	FIXED	3'-0"	2'-0"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WF	115	FRENCH OPERABLE W/ 1X3 MUNTIN PATTERN	OPERABLE	2'-6"	3'-0"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WG	116	TRIPLE-DOUBLE HUNG W/ 3X2 MUNTIN PATTERN	OPERABLE	8'-0"	6'-0"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.

NEW WINDOW NOTE: GC TO PROVIDE MOCKUP OF NEW EXTERIOR WINDOWS TO VERIFY WOOD SPECIES PRIOR TO SELECTION PURCHASE/INSTALL. GC TO REVIEW OPTIONS FOR SPANISH CEDAR, RECLAIMED PINE FROM SALVAGED 730 ST PETER BEAMS, AND CYPRESS. ALL EXTERIOR WOOD WINDOWS TO BE EXPOSED, NON-PAINTED WOOD.

8/26/2023 4:27:07 PM Autodesk Docs:1726-38-59-Peter726 St Peter_Preservation Hall_232.rvt

DOOR, WINDOW, AND SHUTTER GENERAL NOTES

1. ALL GLAZING IN NEW WINDOWS AND DOORS TO BE LAMINATED GLAZING LOW-E CLEAR
2. PROVIDE GLAZING SAMPLE TO OWNER AND ARCHITECT FOR VCC STAFF REVIEW PRIOR TO PURCHASE.
3. GENERAL CONTRACTOR TO PROVIDE DOOR AND WINDOW SUBMITTAL TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE. EXTERIOR DOORS & WINDOWS TO BE REVIEWED & APPROVED BY VCC THROUGH ARCH. PRIOR TO PURCHASE.
4. GENERAL CONTRACTOR TO PROVIDE DOOR, WINDOW, AND GLAZED SHUTTER SHOP DRAWINGS BY MILLSHOP TO ARCHITECT & VCC FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
5. ALL EXTERIOR WOOD WINDOWS AND DOORS TO BE WATER-RESISTANT, PRESERVATIVE TREATED
6. ALL WINDOWS AND DOORS TO BE PAINTED
7. GENERAL CONTRACTOR TO FIELD VERIFY THROW REQUIRED ON ALL SHUTTERS, EXTERIOR DOOR, AND WINDOW WINGES TO ALLOW FOR 90 DEGREE OPENING EXCEPT FOR DOOR IS ADJACENT TO WALL OR GUARDRAIL
8. GENERAL CONTRACTOR TO COORDINATE ALL BLOCCING AT DOOR AND WINDOW OPENINGS WILL MILLSHOP SHOP DRAWINGS AND DIMENSIONS.
9. GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE SELECTION AND FINISHES WITH OWNER, ARCHITECT & VCC PRIOR TO PURCHASE.
10. GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL FIRE RATED DOORS AND FIRE RATED FRAMES TO ARCHITECT PRIOR TO PURCHASE. FLOOR SPECS FOR EXTERIOR FIRE RATED DOORS TO VCC THROUGH ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.

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 NEW ORLEANS, LA 70113
 504-566-8888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct supervision and I am a duly licensed professional architect and/or engineer with applicable state and federal requirements.
 I will not be held liable for providing incorrect construction administration services on this project.

PREPARED BY ARCHITECT FOR CONSTRUCTION

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PRESERVATION HALL
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 NEW ORLEANS, LA 70112

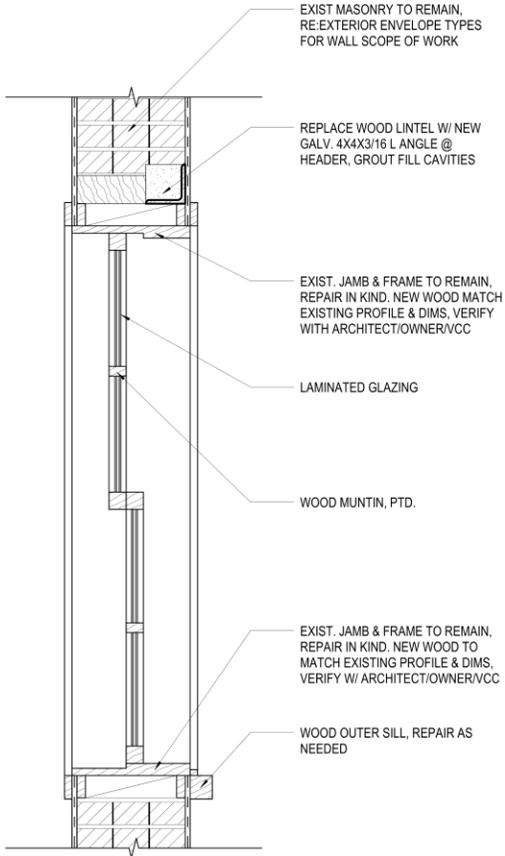
-REVISIONS-		
No.	Date	Scope

DRAWING WINDOW SCHEDULE

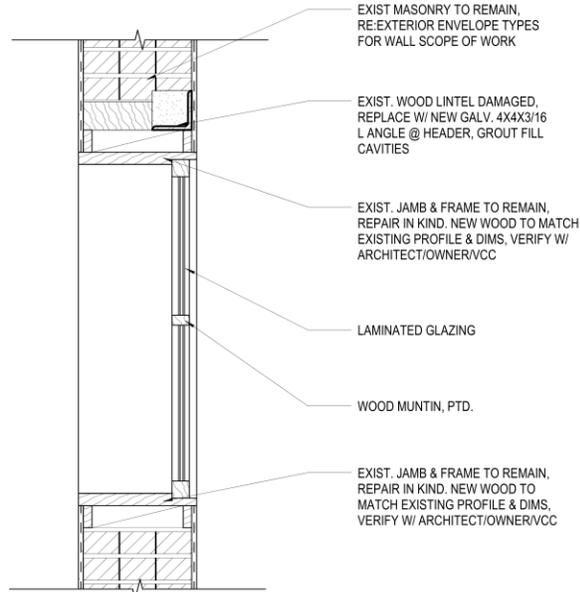
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 Sheet No:

A085

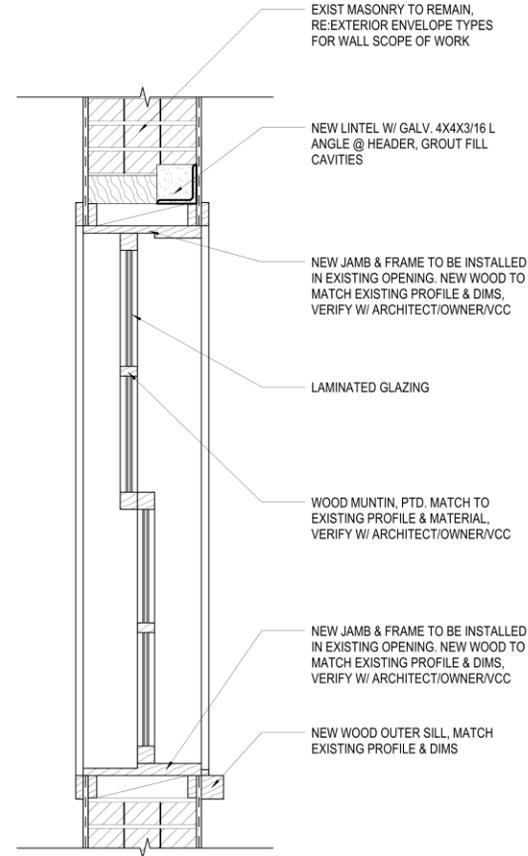




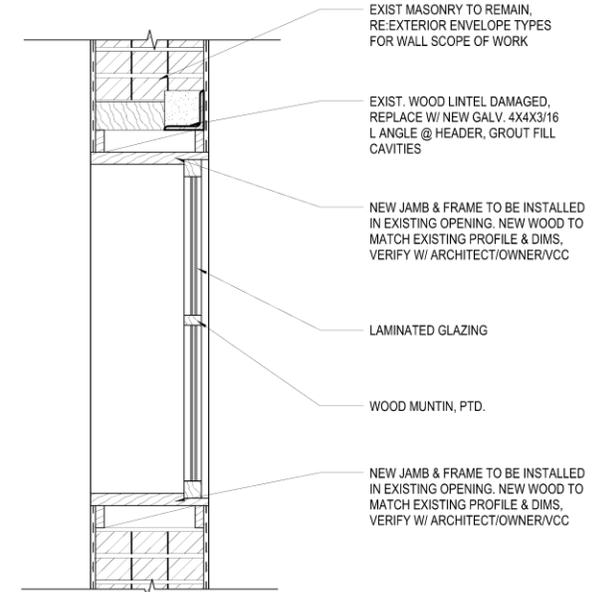
WINDOW TYPE - EXISTING WA



WINDOW TYPE - EXISTING WB

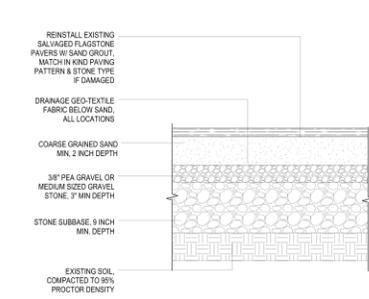


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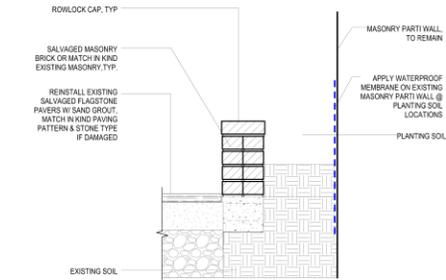


WINDOW TYPE - NEW WB



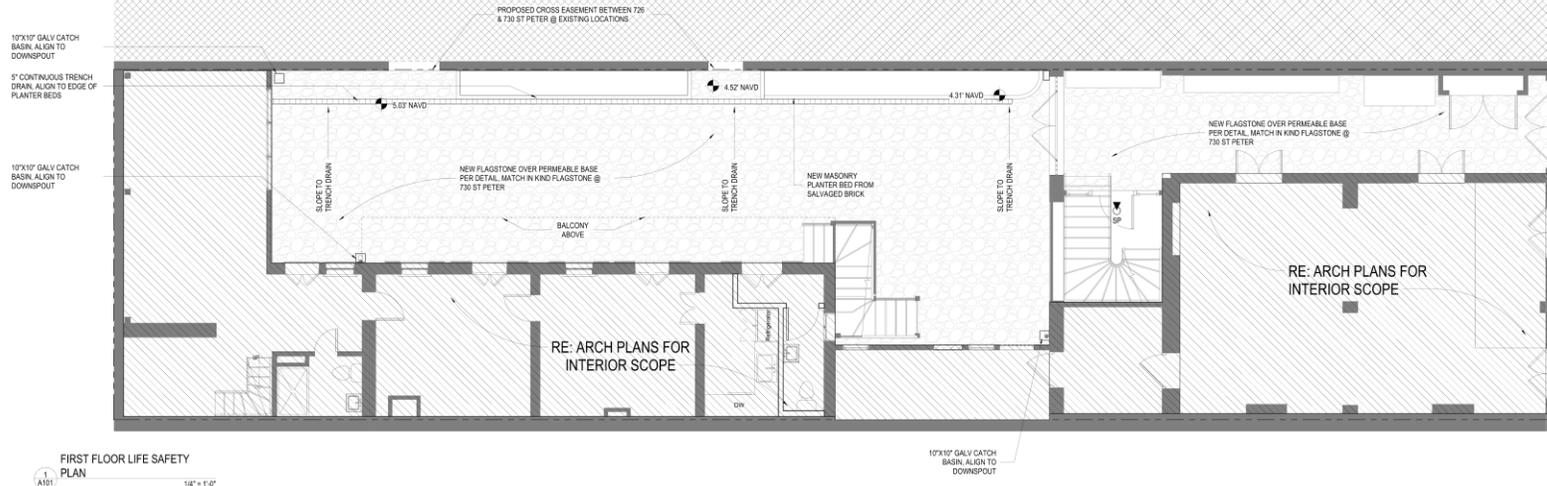


2 TYPICAL PAVER DETAIL 1/16\"/>



1 PLANTER BED DETAIL 1/16\"/>

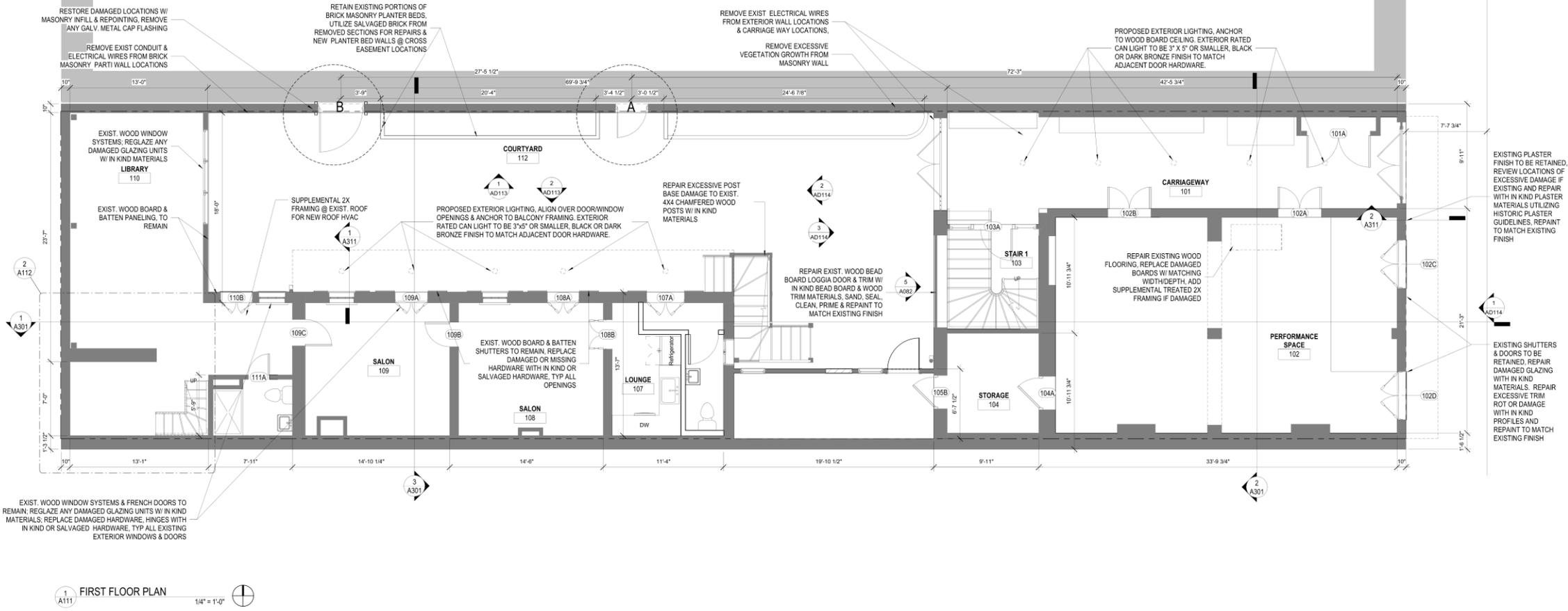
NOT IN SCOPE



1 FIRST FLOOR LIFE SAFETY PLAN 1/16\"/>



RE: 730 ST PETER STREET SET FOR THIS SCOPE OF WORK



EXIST. WOOD WINDOW SYSTEMS & FRENCH DOORS TO REMAIN; REGLAZE ANY DAMAGED GLAZING UNITS W/ IN KIND MATERIALS; REPLACE DAMAGED HARDWARE, HINGES WITH IN KIND OR SALVAGED HARDWARE, TYP ALL EXISTING EXTERIOR WINDOWS & DOORS

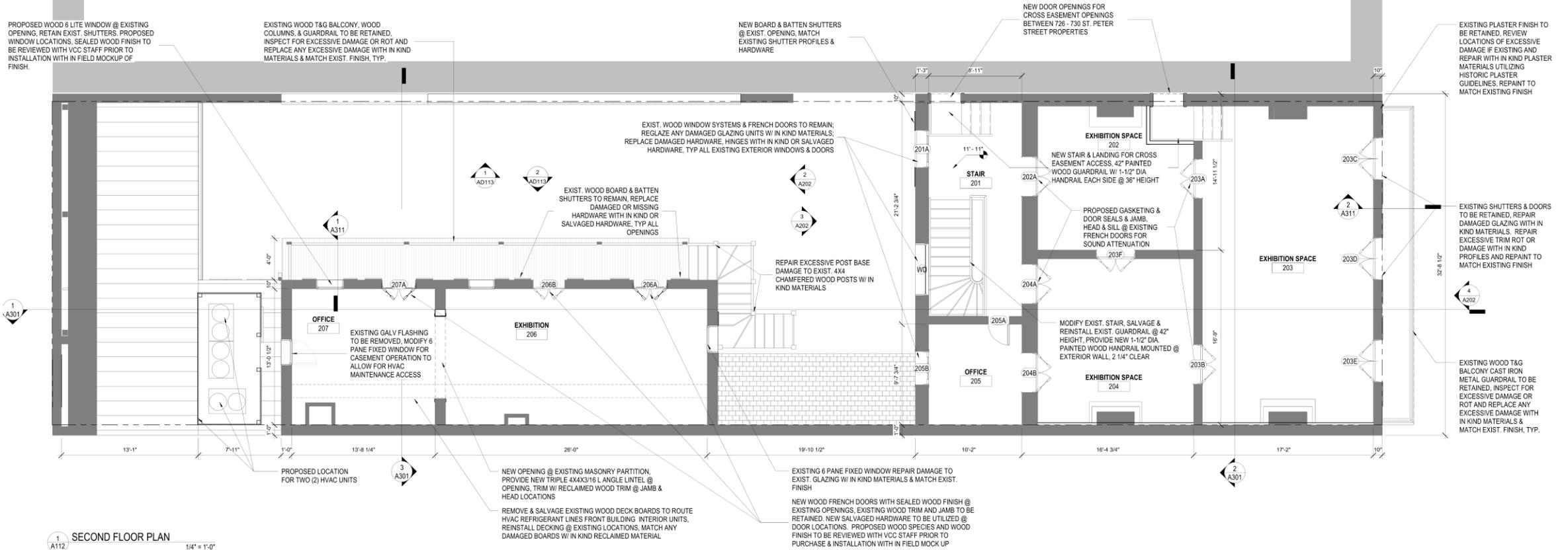
1 A111 FIRST FLOOR PLAN 1/4" = 1'-0"

EXISTING PLASTER FINISH TO BE RETAINED. REVIEW LOCATIONS OF EXCESSIVE DAMAGE IF EXISTING AND REPAIR WITH IN KIND PLASTER MATERIALS UTILIZING HISTORIC PLASTER GUIDELINES. REPAINT TO MATCH EXISTING FINISH

EXISTING SHUTTERS & DOORS TO BE RETAINED. REPAIR DAMAGED GLAZING WITH IN KIND MATERIALS. REPAIR EXCESSIVE TRIM ROT OR DAMAGE WITH IN KIND PROFILES AND REPAINT TO MATCH EXISTING FINISH

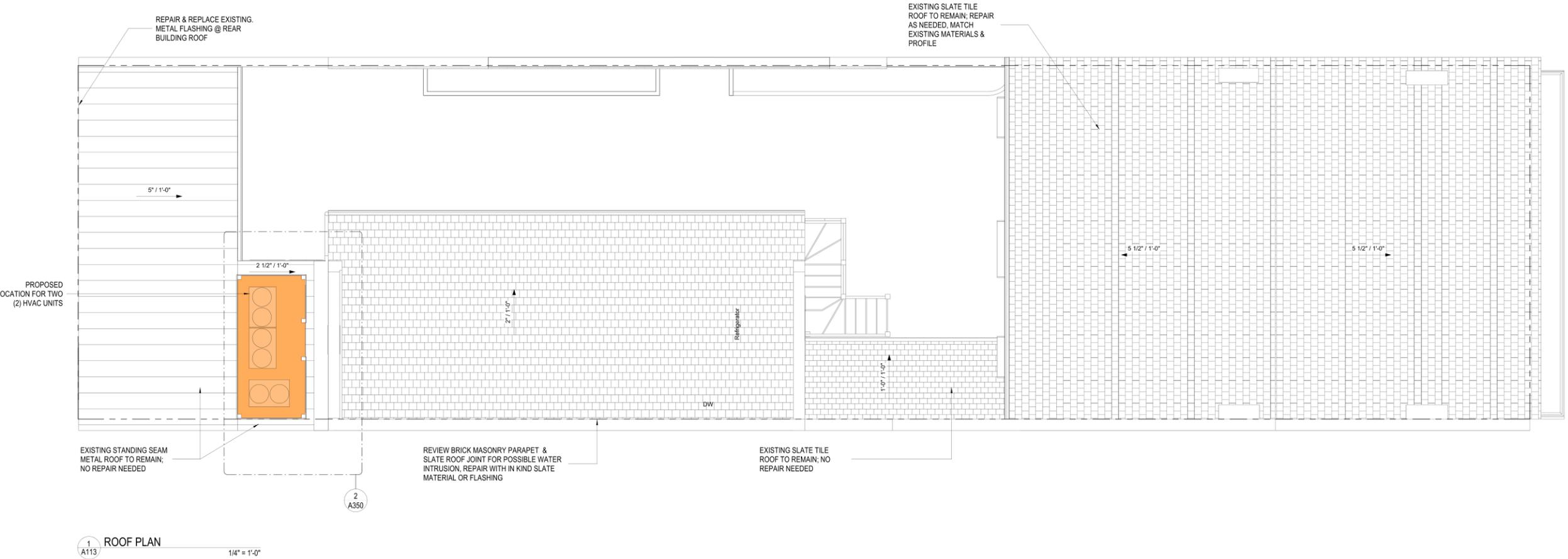


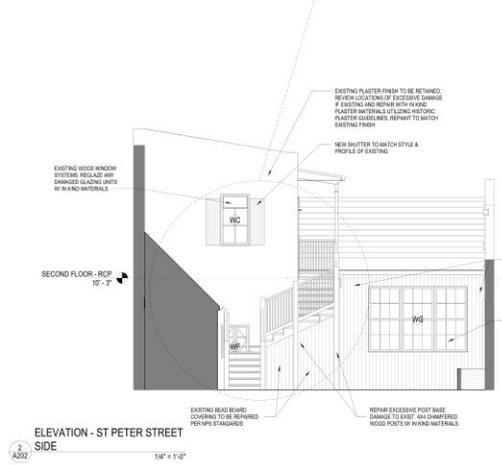
RE: 730 ST PETER STREET SET
FOR THIS SCOPE OF WORK



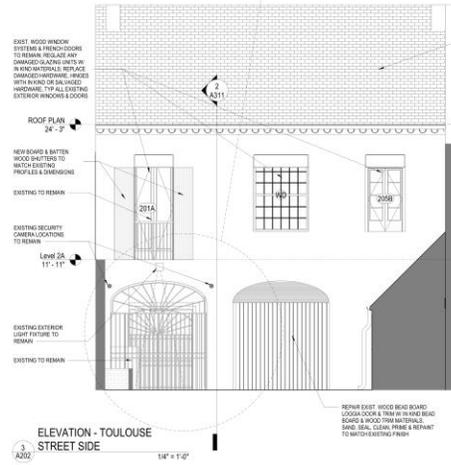
1 SECOND FLOOR PLAN
1/4" = 1'-0"



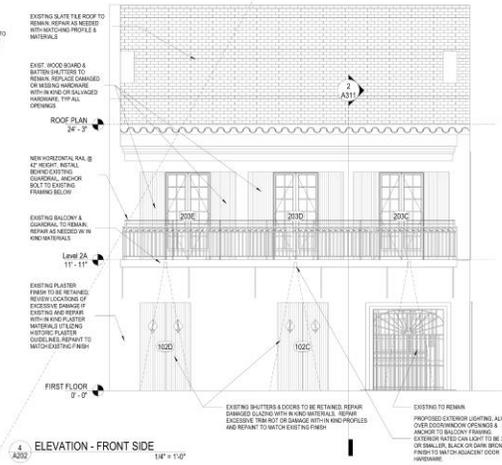




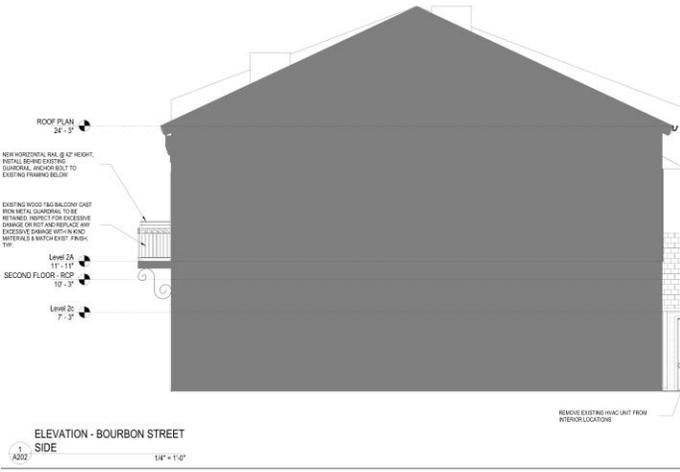
ELEVATION - ST PETER STREET SIDE
1/4" = 1'-0"



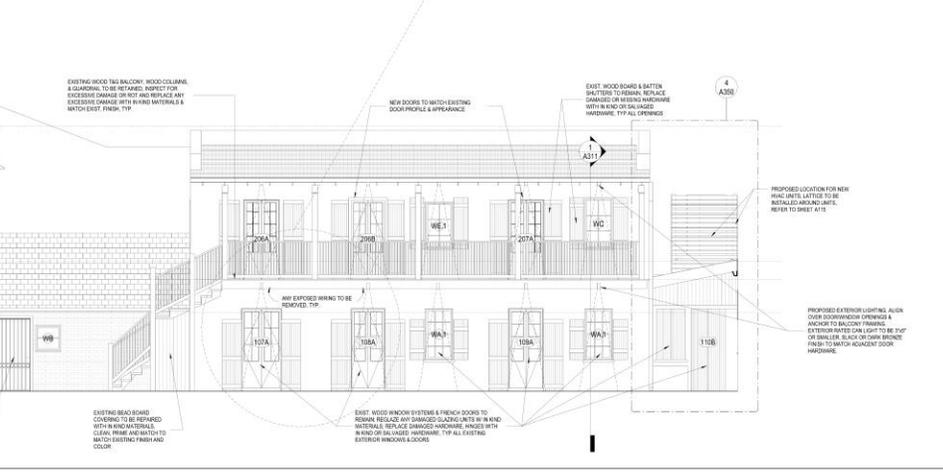
ELEVATION - TOULOUSE STREET SIDE
1/4" = 1'-0"

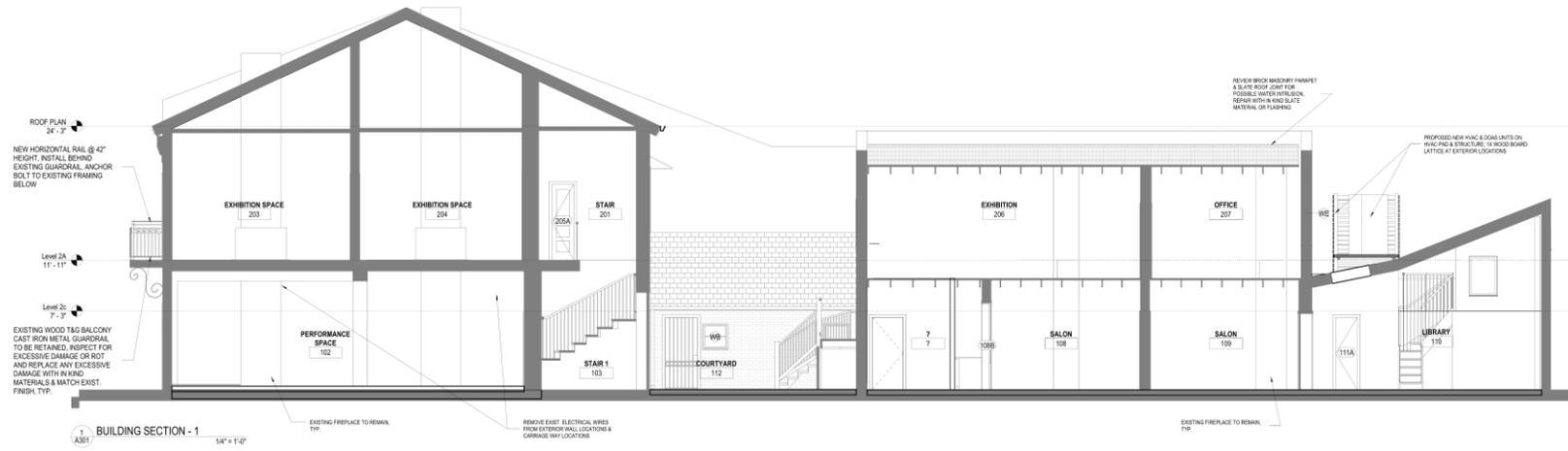


ELEVATION - FRONT SIDE
1/4" = 1'-0"

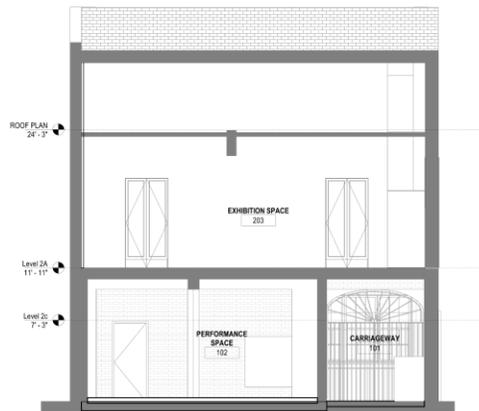


ELEVATION - BOURBON STREET SIDE
1/4" = 1'-0"

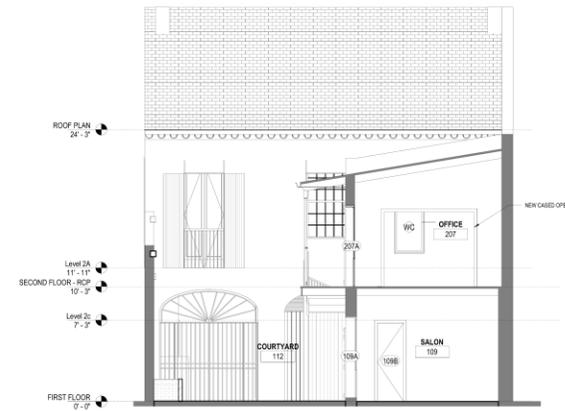




BUILDING SECTION - 1
1/4" = 1'-0"

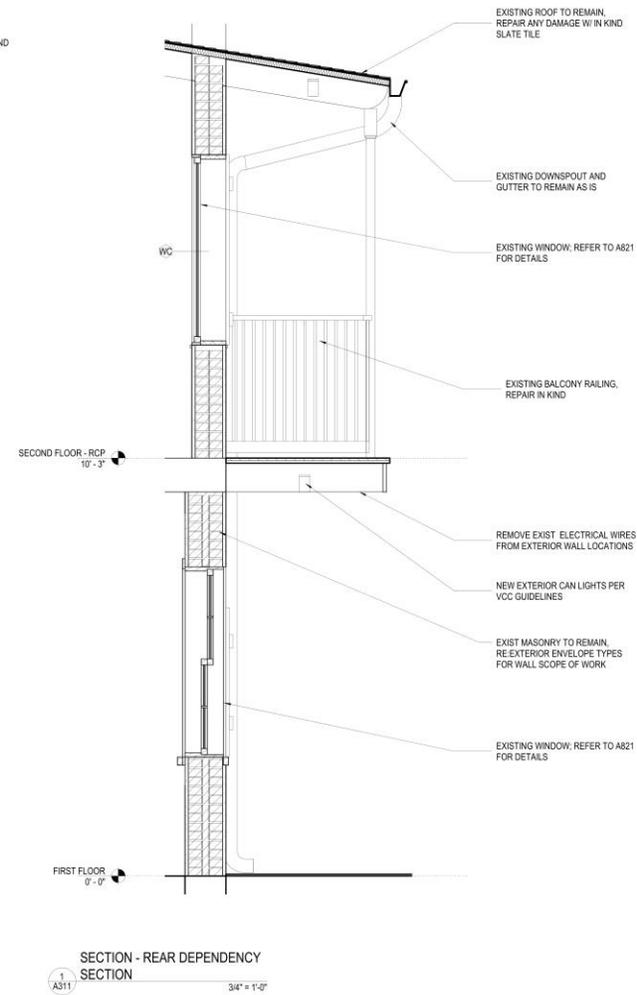
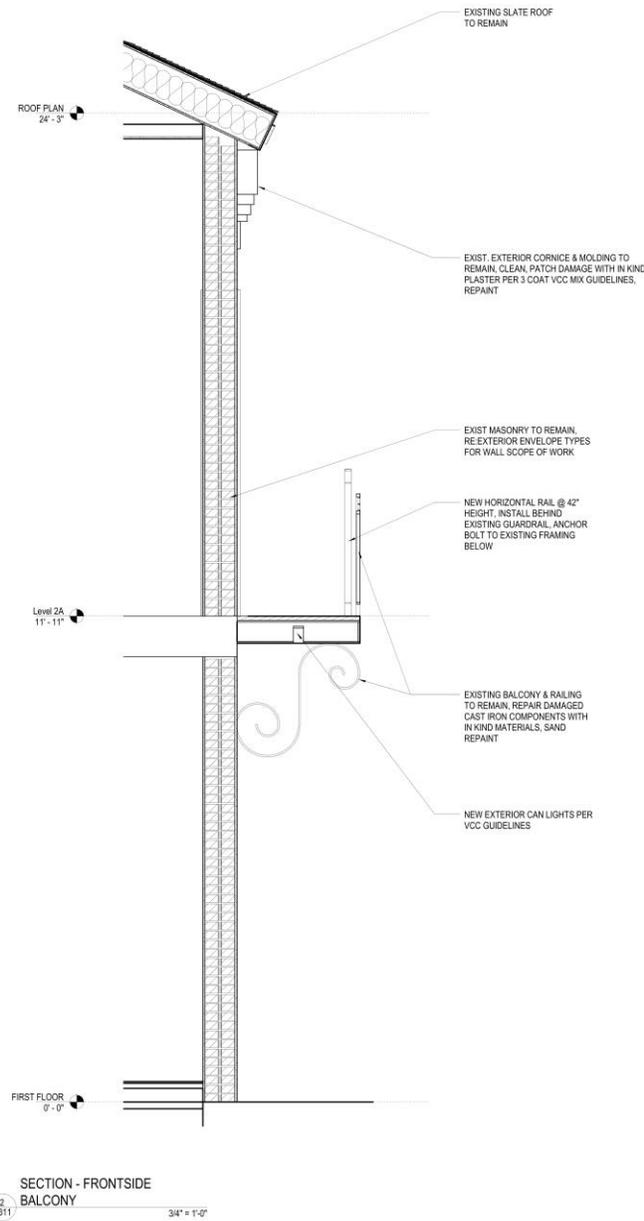


BUILDING SECTION - 2
1/4" = 1'-0"



BUILDING SECTION - 3
1/4" = 1'-0"







500 Bourbon

(staff requests deferral for late submittal)



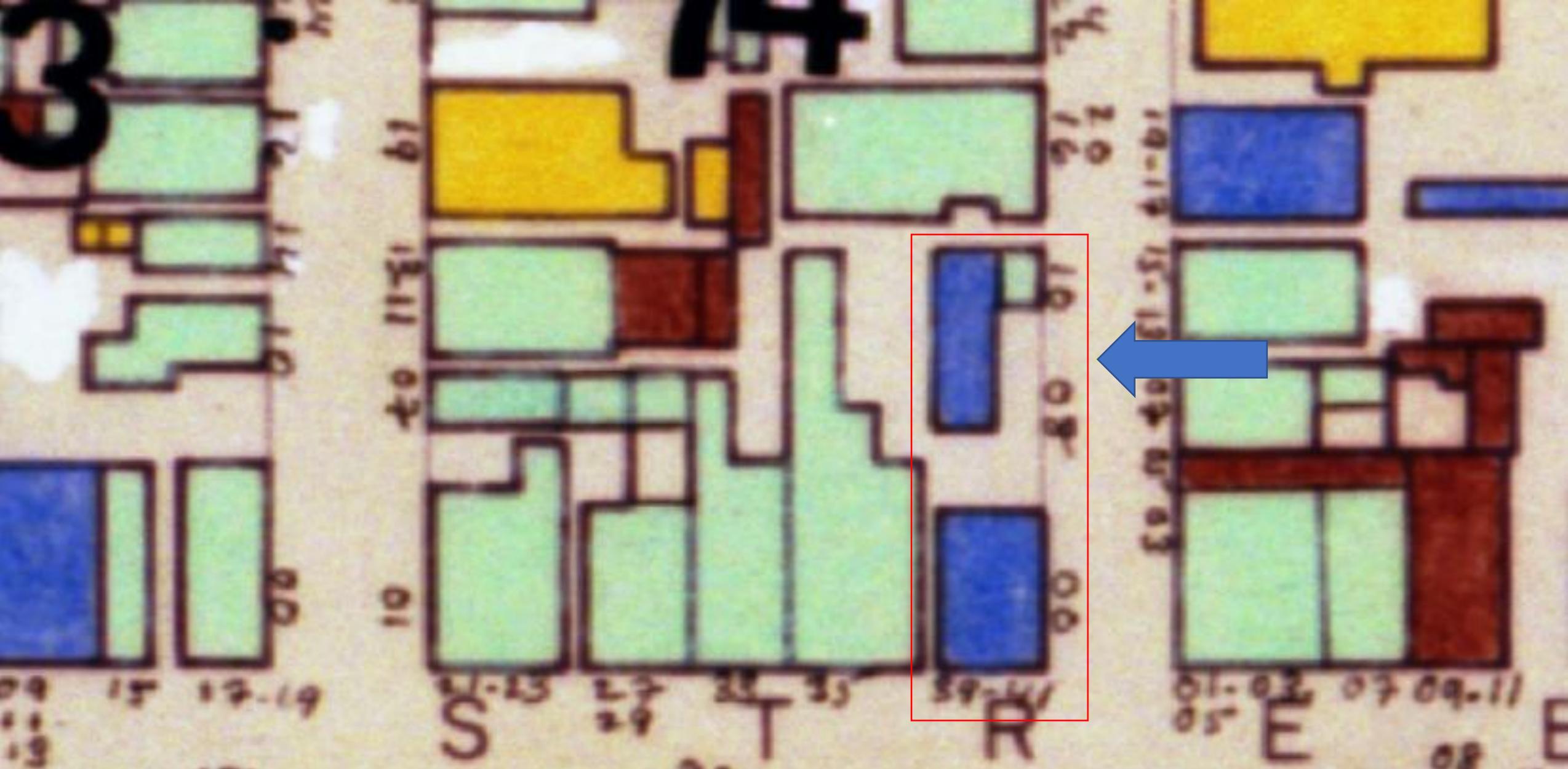
New Business



739-41 Bourbon
800-810 St Ann



739-741 Bourbon – ca. 1937

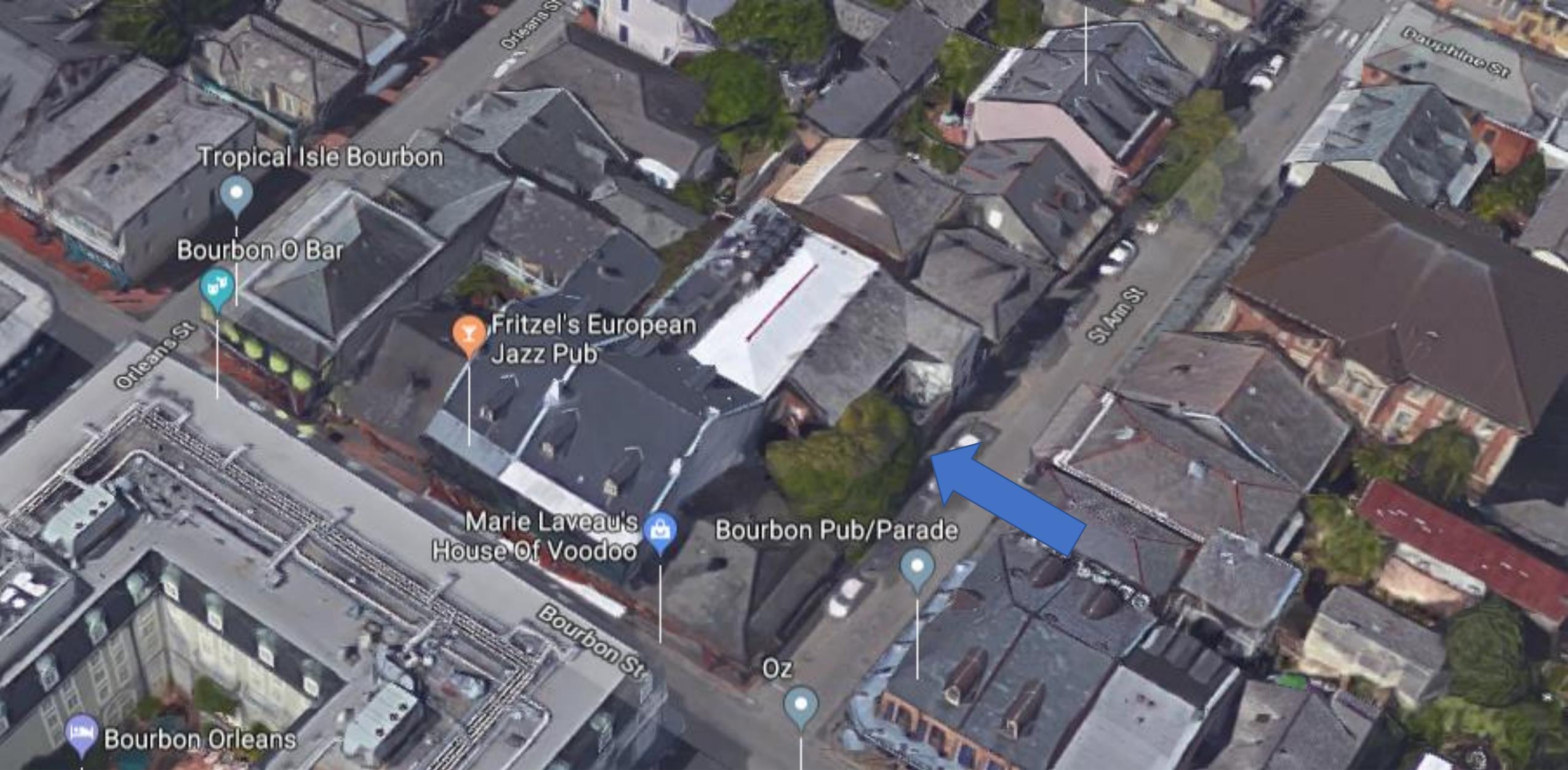


739-741 Bourbon

VCC Architectural Committee

January 30, 2018





739-741 Bourbon

VCC Architectural Committee

January 30, 2018





739-741 Bourbon

VCC Architectural Committee

June 16, 2022





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739-741 Bourbon





914 N Rampart



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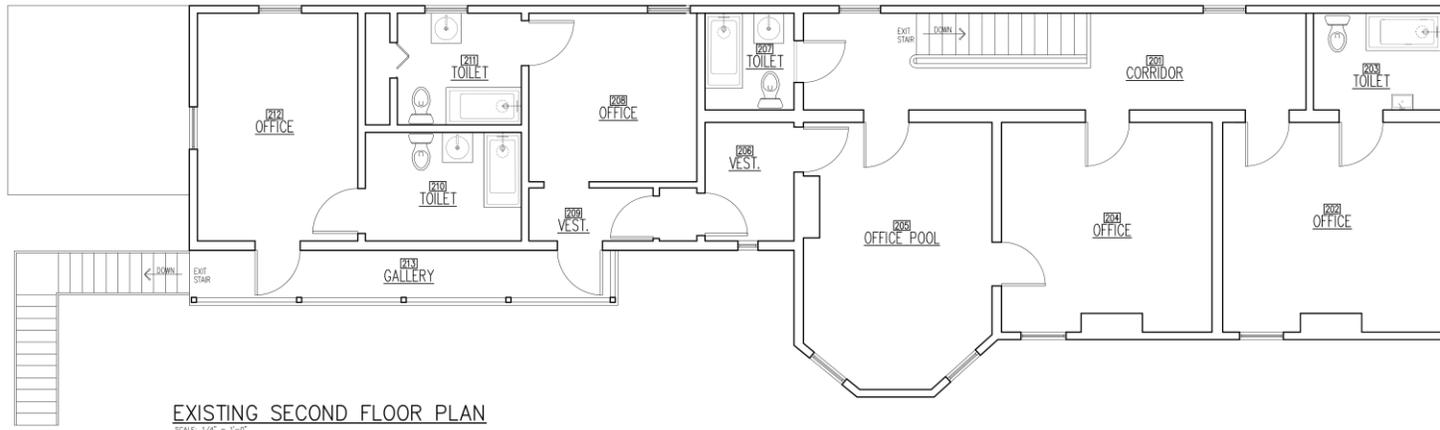


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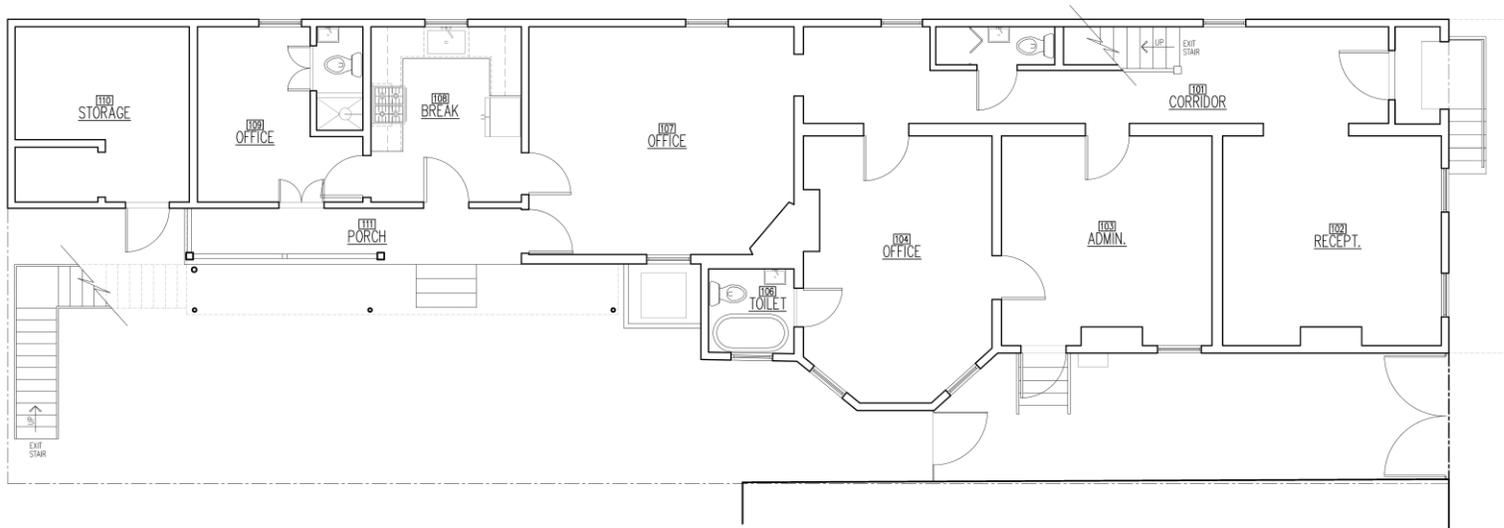
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EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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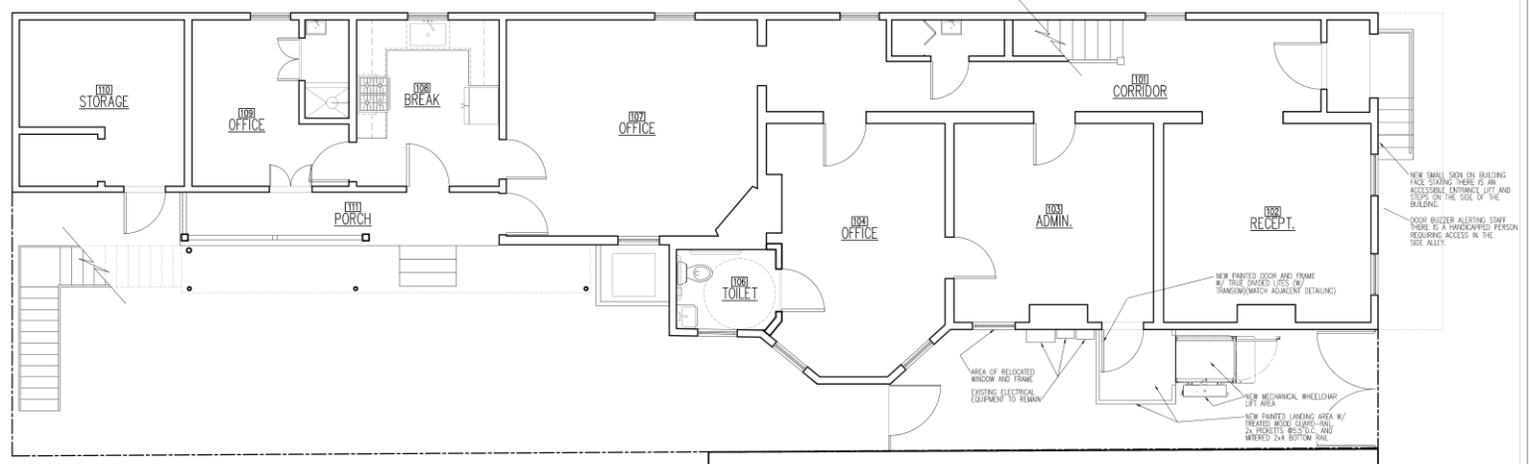
EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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June 16, 2022





PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

N. RAMPART STREET



PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

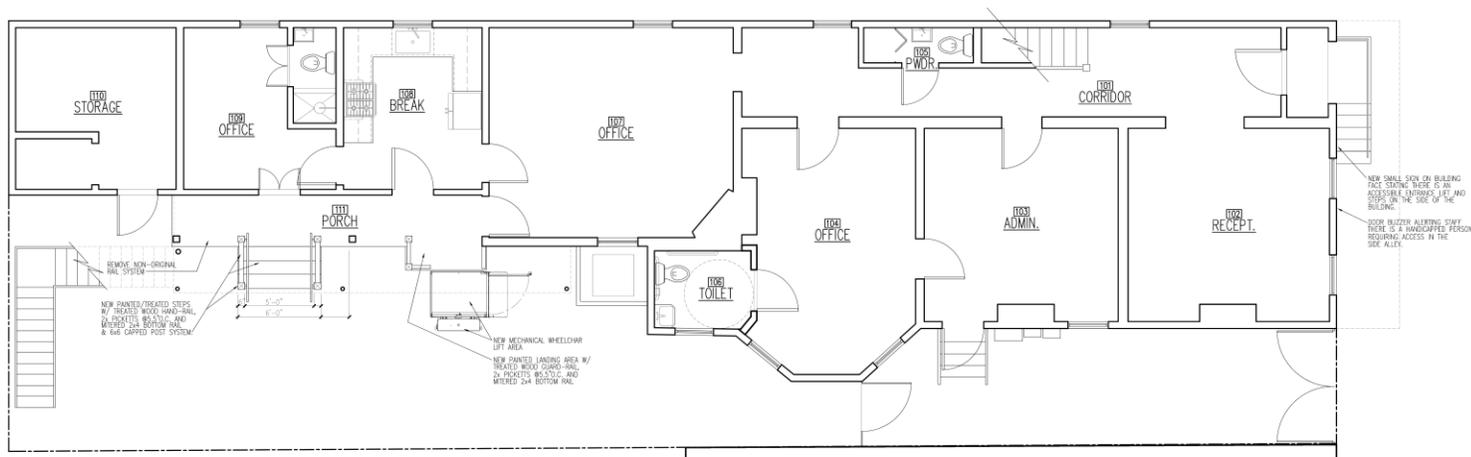
SCHEME "A"

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June 16, 2022





PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

N. RAMPART STREET



PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

SCHEME "B"

914 N Rampart

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June 16, 2022



UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)

VPL-3300B SERIES VERTICAL PLATFORM LIFT

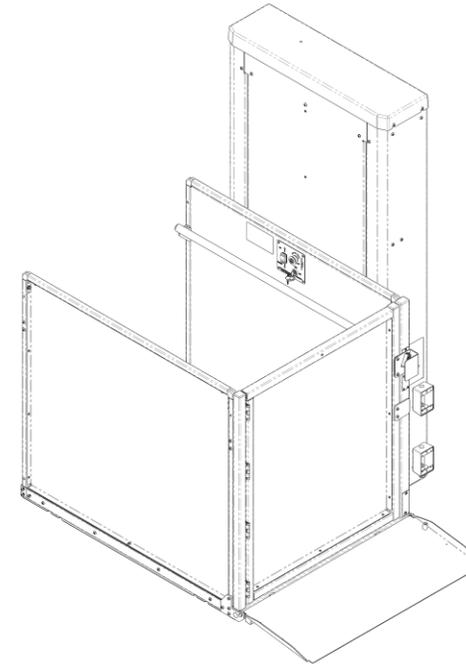
TECHNICAL DATA/SPECIFICATIONS *

RATED LOAD: 750 lbs maximum.
INPUT POWER SOURCE:
-DC BATTERY POWERED UNIT: 110-120 Volt 3 Amp 60 Hz battery charger.
DRIVE:
-DC BATTERY POWERED UNIT: 1/2 hp motor, 1750 rpm, 24 VDC, continuous duty.
INTERMEDIATE REDUCTION: Dual 4L style Poly-V belts and pulleys, 3.94:1 pulley reduction.
FINAL DRIVE: 1" dia. ACME screw w/bronze nut and bronze safety back up nut.
MOTOR CONTROLLER:
-DC BATTERY POWERED UNIT: 24 VDC Relay control.
SPEED:
-DC BATTERY POWERED UNIT: 10 feet per minute maximum

PERFORMANCE STANDARDS

USA FOOD & DRUG ADMINISTRATION: CLASS II, 510(K) Exempt, File No. 890.3930,
Product Code: PCE
ASME A18.1 (Section 2) Safety Standards for Platform Lifts and Stairway Chairlifts *
CSA B355 Lifts for Persons with Physical Disabilities *
CSA B44.1/ASME A17.5 Elevator and Escalator Electrical Equipment *

* For complete technical specifications and performance standards years of compliance please see:
ILS-01100 "VPL-3353B Commercial Vertical Platform Lift Technical Specification"



ILS-01102
SHEET 1 OF 3
REV. 4 (7504)(10/15/21)(JM)

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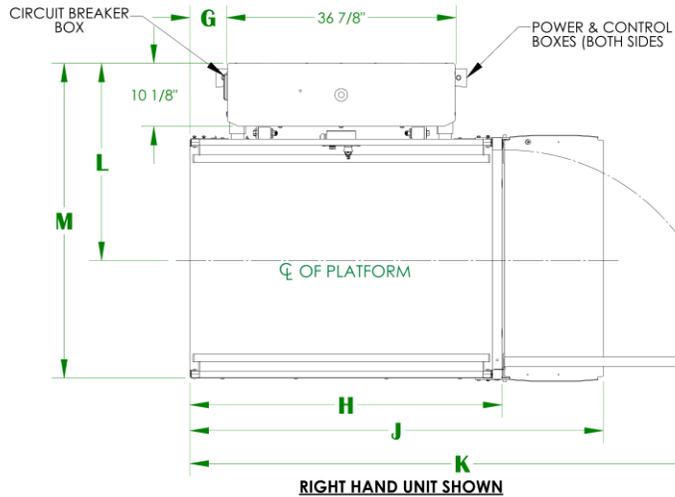
VCC Architectural Committee

June 16, 2022



UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)

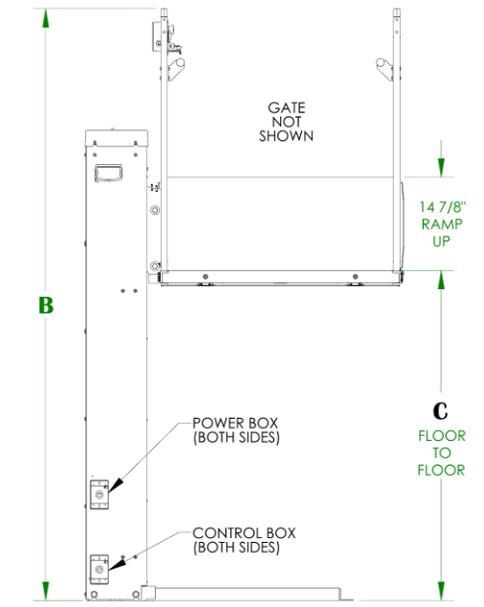
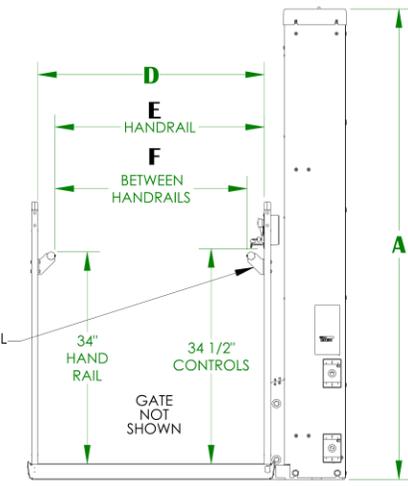
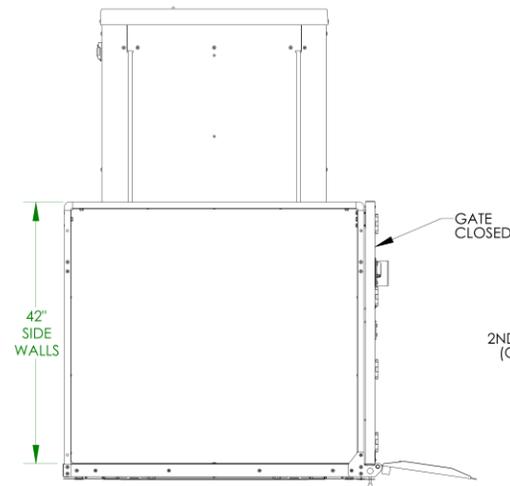
VPL-3300B SERIES VERTICAL PLATFORM LIFT



For complete technical specifications please see ILS-01100 "VPL-3353B Commercial Vertical Platform Lift Technical Specification"

	D	E	F	G	H	J	K	L	M
36" X 48" PLATFORM	36-1/4"	33-1/2"	30-3/4"	5-3/4"	49-15/16"	66-1/8"	87-3/16"	31-9/16"	50-13/16"
36" X 54" PLATFORM	36-1/4"	33-1/2"	30-3/4"	8-3/4"	55-15/16"	72-1/8"	93-3/16"	31-9/16"	50-13/16"
36" X 60" PLATFORM	36-1/4"	33-1/2"	30-3/4"	11-3/4"	61-15/16"	78-1/8"	99-3/16"	31-9/16"	50-13/16"
42" X 60" PLATFORM	42-1/4"	39-1/2"	36-3/4"	11-3/4"	61-15/16"	78-1/8"	105-3/16"	34-9/16"	56-13/16"

V P L - 3 3 5 3 B	A	B	C MIN	C MAX
	75-9/16"	95"	11"	53"



NOTES: 1) ACCESS RAMP & PLATFORM GATE CAN BE MOUNTED ON EITHER SIDE OF THE PLATFORM
2) SEE ILS-00938 FOR LANDING GATE DETAIL/ALIGNMENT

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ILS-01102
SHEET 2 OF 3
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UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)

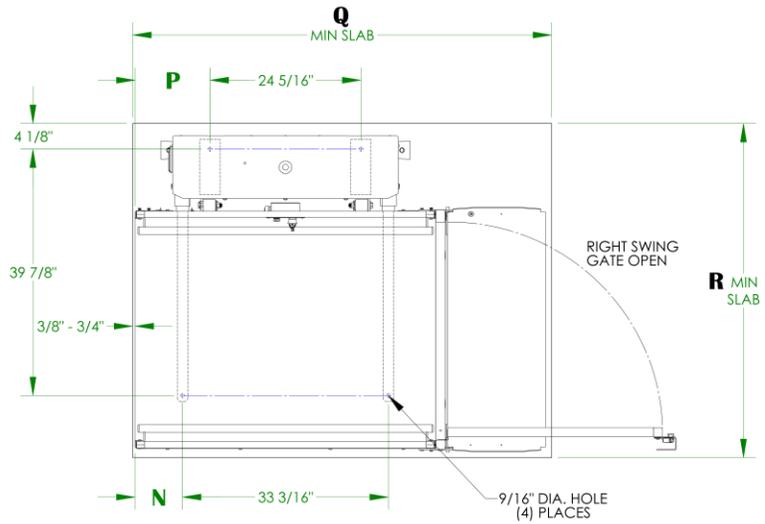
VPL-3300B SERIES VERTICAL PLATFORM LIFT ANCHOR POINT LOCATIONS/SLAB DETAIL

TECHNICAL SPECIFICATIONS *

FLOOR ATTACHMENT:
VPL MUST BE FASTENED TO CONCRETE SLAB USING FOUR (4) 1/2" (3/8" BOLT)
X MINIMUM 2-1/2" LONG CONCRETE ANCHORS SUITABLE FOR THE ENVIRONMENT.
FOLLOW SELECTED CONCRETE ANCHOR MANUFACTURERS GUIDELINES AND
APPLICABLE CODES.

FLOOR REQUIREMENTS:
4" THICK 3500 PSI MINIMUM COMPRESSIVE STRENGTH, REINFORCED CONCRETE SLAB.

* For complete technical specifications please see
ILS-01100 "VPL-3353B Commercial Vertical Platform Lift Technical Specification"



UNITS WITH STRAIGHT THROUGH PLATFORM WITH PLATFORM GATE

	N	P	Q	R
36" X 48" PLATFORM	7-5/8"	12-1/16"	67-1/2"	54"
36" X 54" PLATFORM	10-5/8"	15-1/16"	73-1/2"	54"
36" X 60" PLATFORM	13-5/8"	18-1/16"	79-1/2"	54"
42" X 60" PLATFORM	13-5/8"	18-1/16"	79-1/2"	60"

ILS-01102
SHEET 3 OF 3
REV. 4 (7504)(10/15/21)(JM)

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UNENCLOSED 90° /ADJACENT EXIT PLATFORM W/PLATFORM GATE (NO PIT)

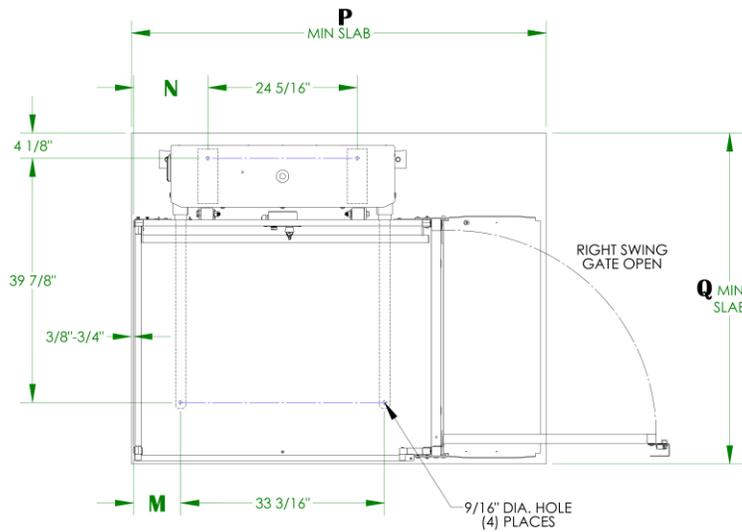
VPL-3300B SERIES VERTICAL PLATFORM LIFT ANCHOR POINT LOCATIONS/SLAB DETAIL

TECHNICAL SPECIFICATIONS *

FLOOR ATTACHMENT:
VPL MUST BE FASTENED TO CONCRETE SLAB USING FOUR (4) 1/2" (3/8" BOLT)
X MINIMUM 2-1/2" LONG CONCRETE ANCHORS SUITABLE FOR THE ENVIRONMENT.
FOLLOW SELECTED CONCRETE ANCHOR MANUFACTURERS GUIDELINES AND
APPLICABLE CODES.

FLOOR REQUIREMENTS:
4" THICK 3500 PSI MINIMUM COMPRESSIVE STRENGTH, REINFORCED CONCRETE SLAB.

* For complete technical specifications please see
ILS-01100 "VPL-3353B Commercial Vertical Platform Lift Technical Specification"



UNITS WITH 90° /ADJACENT EXIT PLATFORM WITH PLATFORM GATE

	M	N	P	Q
36" X 48" PLATFORM	7-5/8"	12-1/16"	67-1/2"	54"
36" X 54" PLATFORM	10-5/8"	15-1/16"	73-1/2"	54"
36" X 60" PLATFORM	13-5/8"	18-1/16"	79-1/2"	54"
42" X 60" PLATFORM	13-5/8"	18-1/16"	79-1/2"	60"

ILS-01104
SHEET 3 OF 3
REV. 4 (7504)(10/15/21)(JMH)

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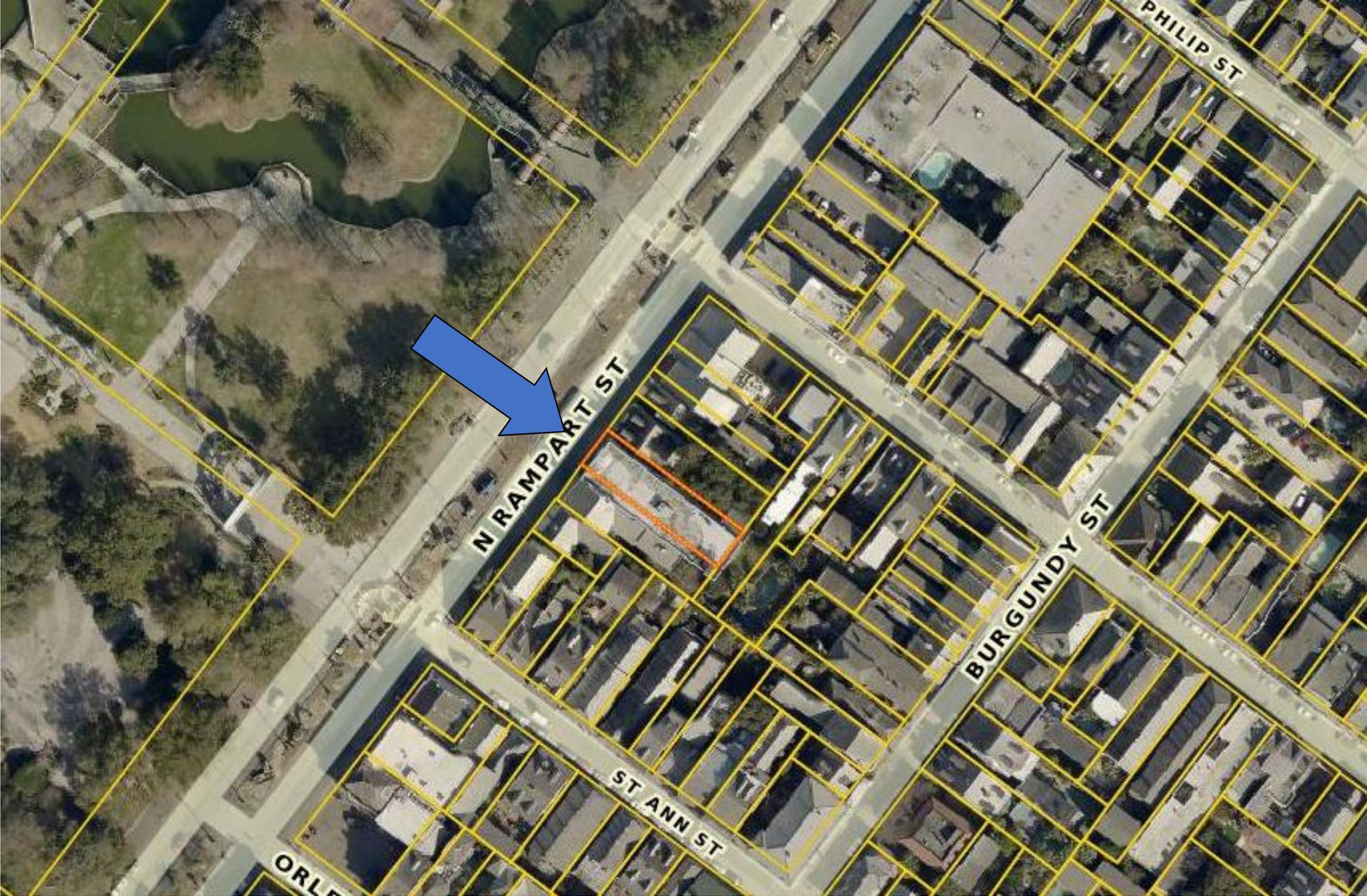


822-24 N Rampart



822 N. Rampart





822 N. Rampart





822 N. Rampart- 1943





822 N. Rampart- 1963





822 N. Rampart





822 N. Rampart



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March 14, 2023





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March 14, 2023





WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I/We will not be providing project construction administration services on this project.

DD PHASE

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822 N. RAMPART
NEW ORLEANS LA, 70116
824 Baronne St New Orleans, LA 70113

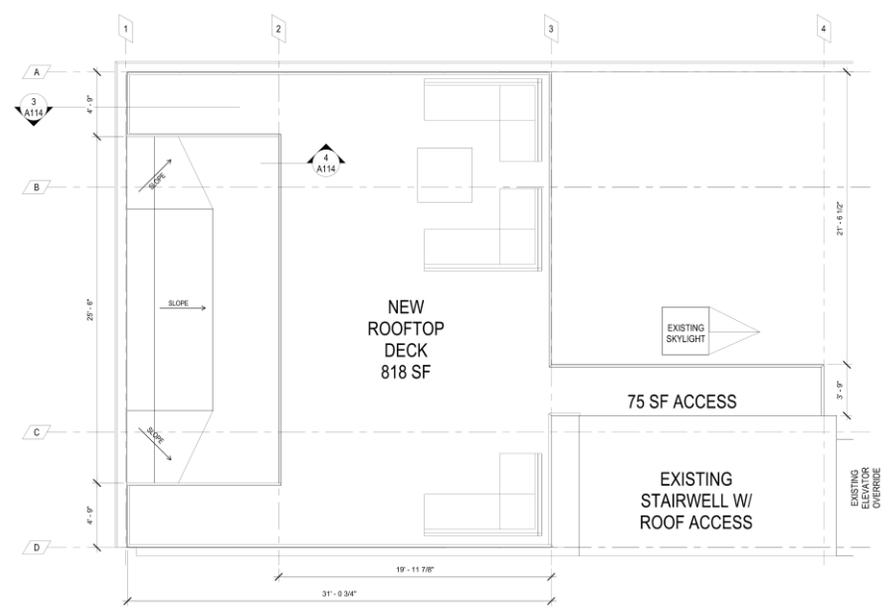
-REVISIONS-

No.	Date	Scope
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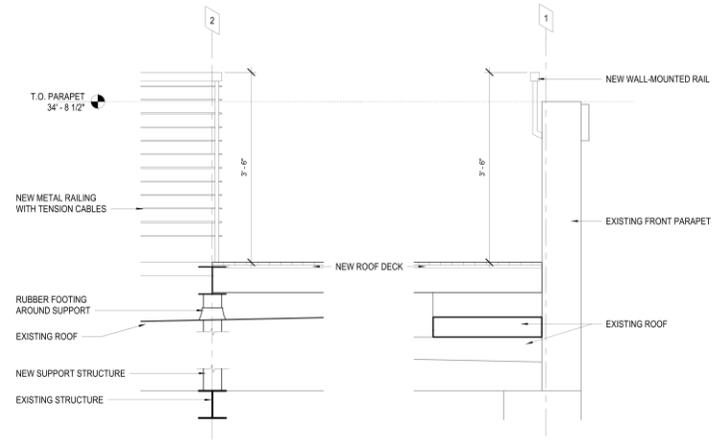
DRAWING
ROOF PLAN

DRAWING BY
SCALE As indicated
JOB No. 515013.00
DATE 08/29/2023
Sheet No.

A114



2 A114 ENLARGED PLAN - ROOF DECK
1/8" = 1'-0"

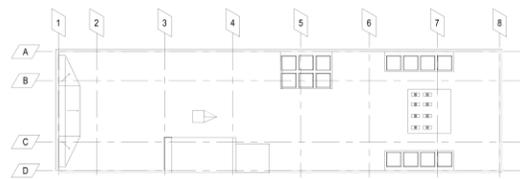


4 A114 SECTION - RAIL
1\"/>

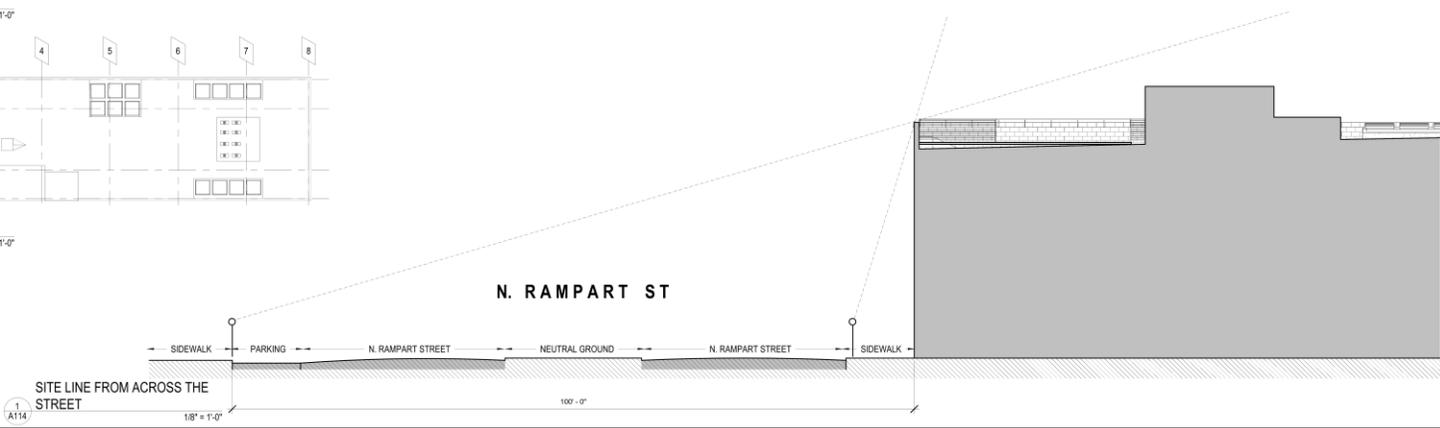
3 A114 SECTION - PARAPET RAIL
1\"/>



5 A114 ROOF PLAN - NEW
1/16\"/>



6 A114 ROOF PLAN - EXISTING
1/16\"/>



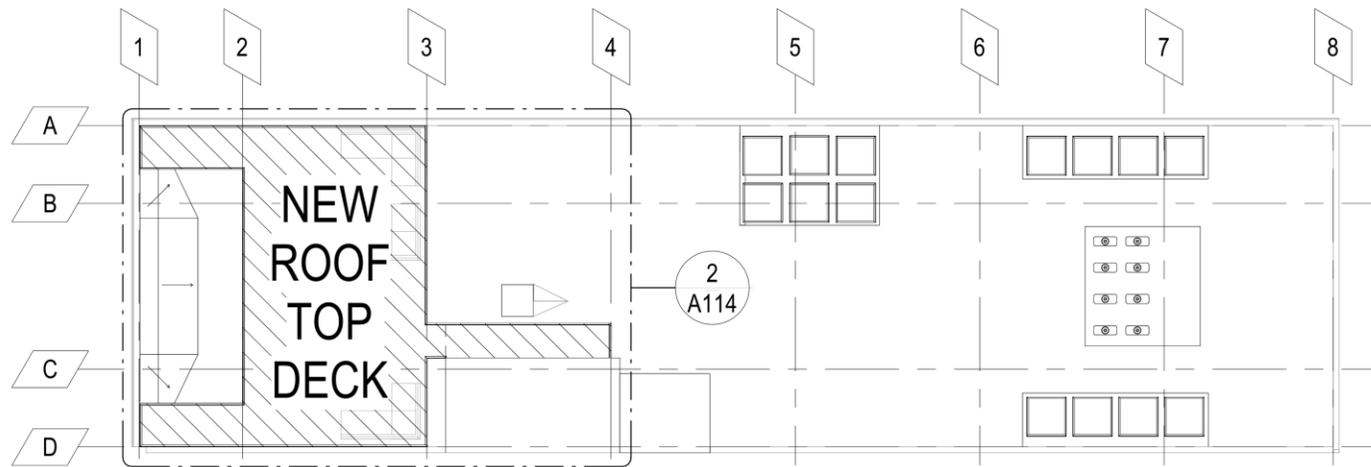
1 A114 SITE LINE FROM ACROSS THE STREET
1/8\"/>

822 N. Rampart

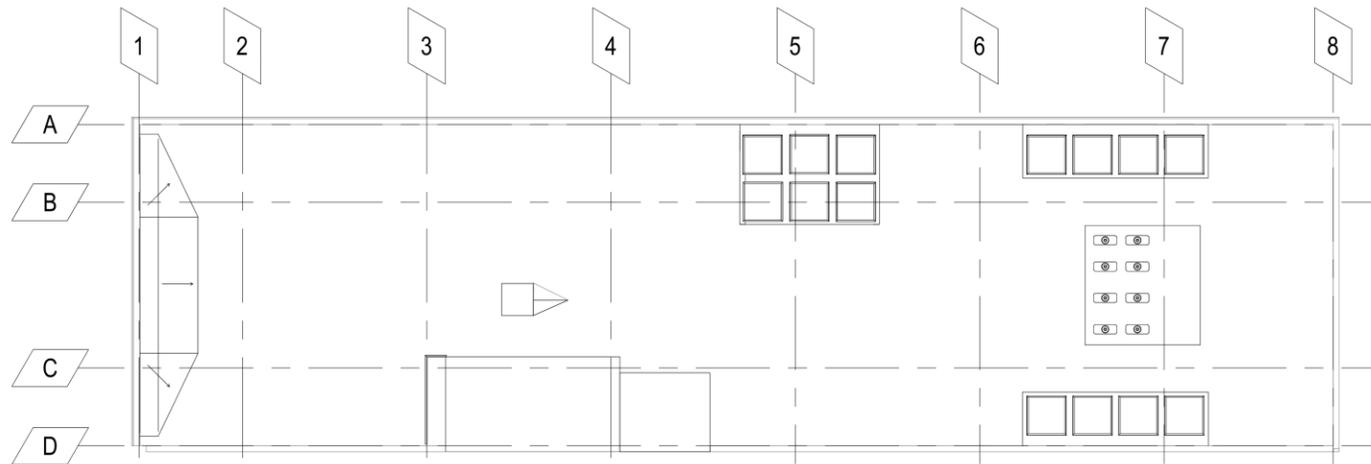
VCC Architectural Committee

March 14, 2023

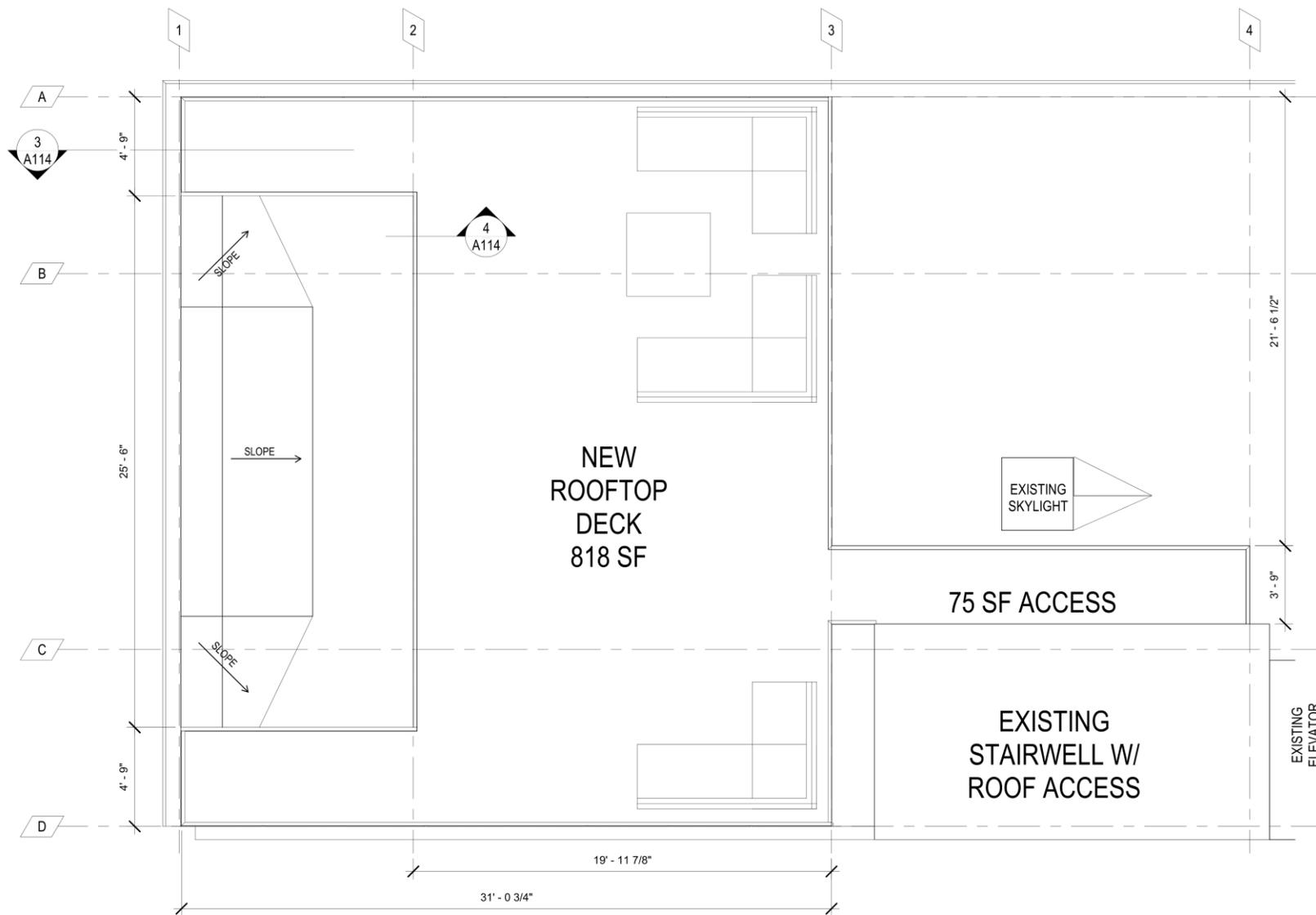




5 ROOF PLAN - NEW
A114 1/16" = 1'-0"

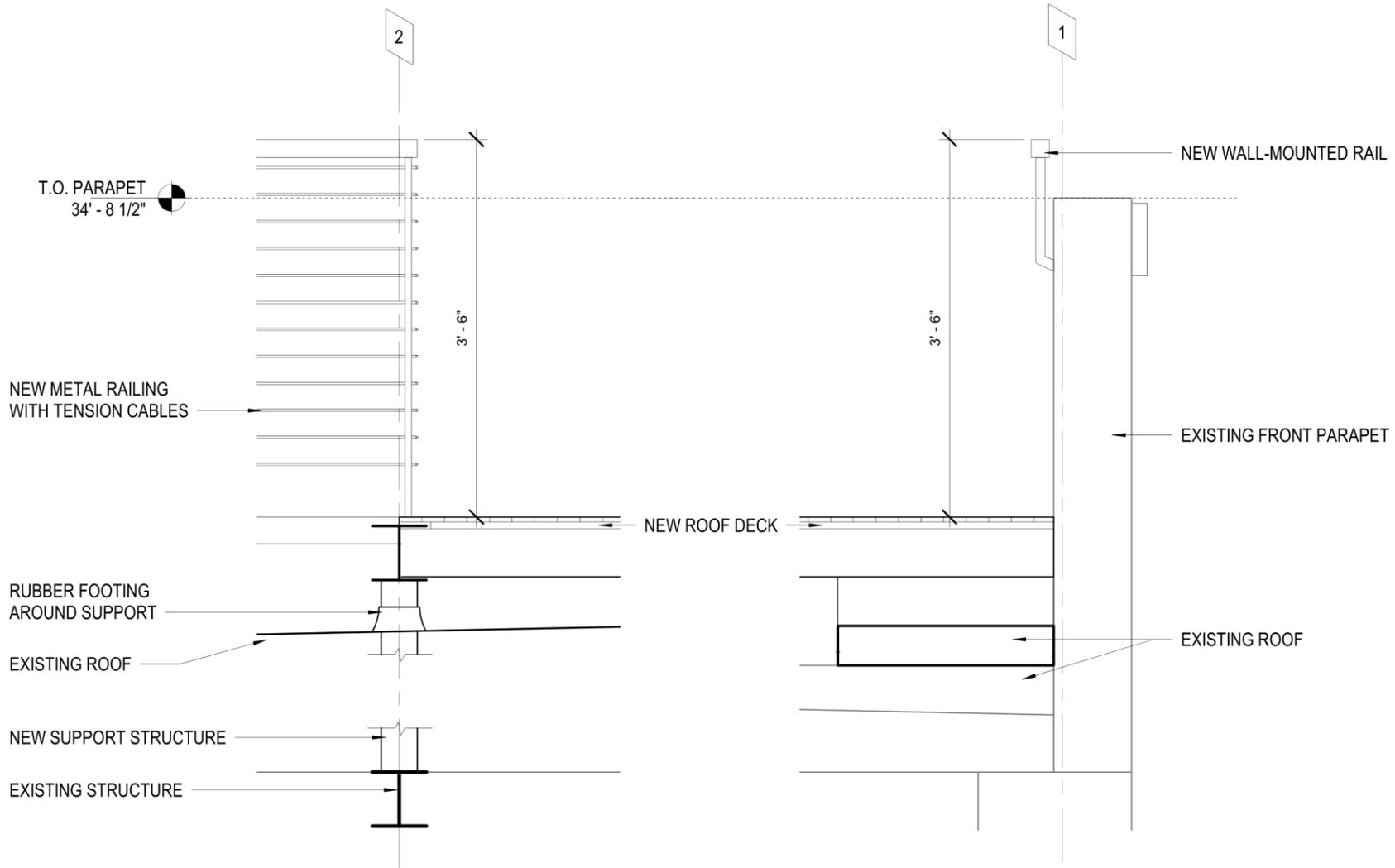


6 ROOF PLAN - EXISTING
A114 1/16" = 1'-0"



2 ENLARGED PLAN - ROOF DECK
A114 1/4" = 1'-0"





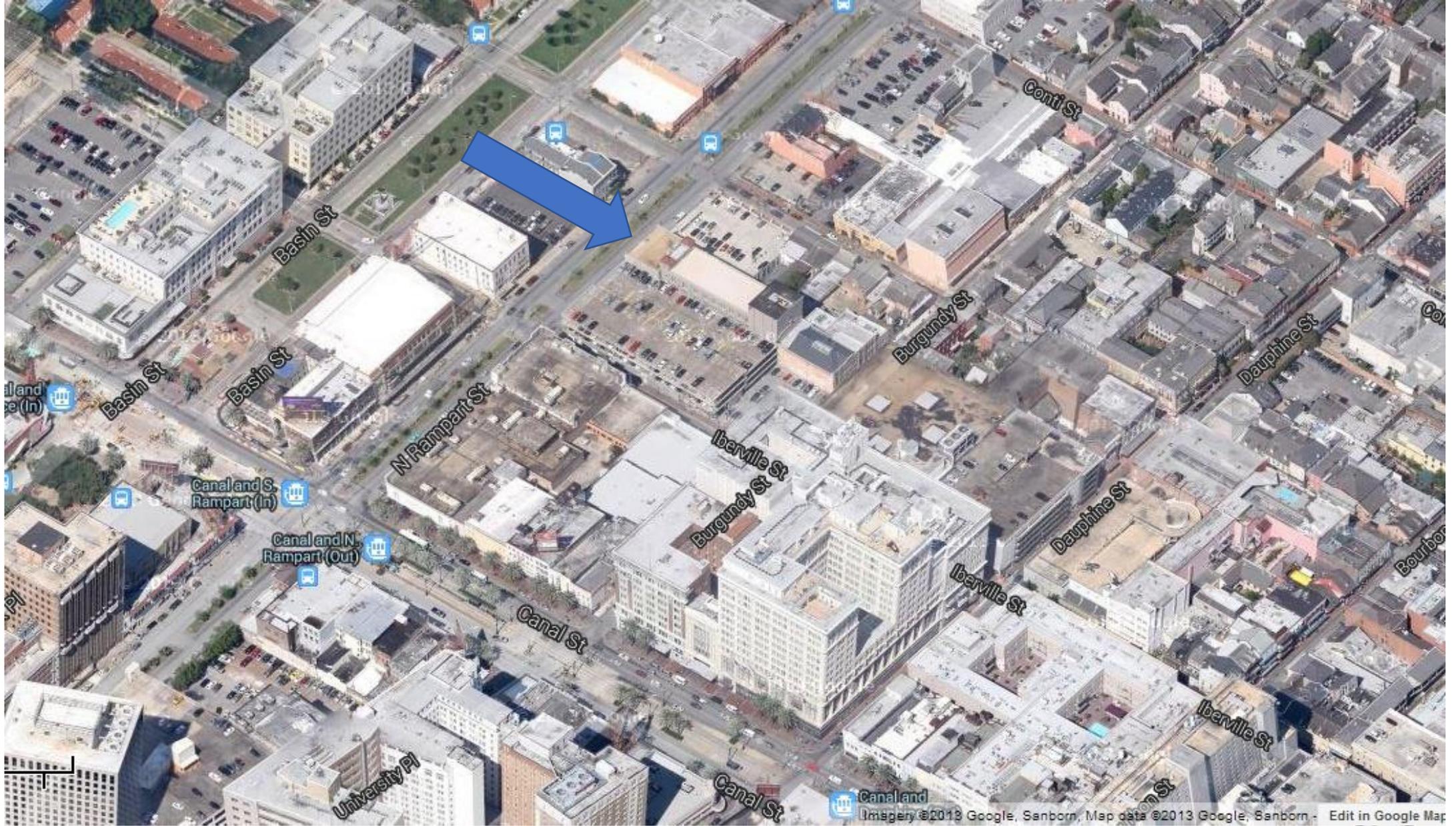
4 SECTION - RAIL
A114 1" = 1'-0"

3 SECTION - PARAPET RAIL
A114 1" = 1'-0"





222 N Rampart



222 N. Rampart

VCC Architectural Committee

May 22, 2018





222 N. Rampart

VCC Architectural Committee

May 22, 2018





222 N. Rampart- 1930
VCC Architectural Committee

May 22, 2018





222 N. Rampart- 1964
VCC Architectural Committee

May 22, 2018





222 N. Rampart

VCC Architectural Committee

May 22, 2018





1026 Bienville

VCC Architectural Committee

May 22, 2018





Iberville elevation

VCC Architectural Committee

May 22, 2018





View from neighboring roof

VCC Architectural Committee

May 22, 2018



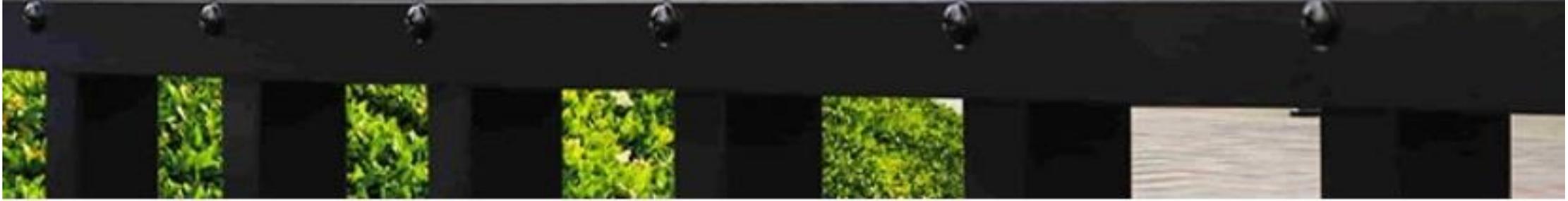


View from neighboring roof

VCC Architectural Committee

May 22, 2018





Proposed fence

VCC Architectural Committee

May 22, 2018





Proposed fence

VCC Architectural Committee

May 22, 2018





Proposed fence

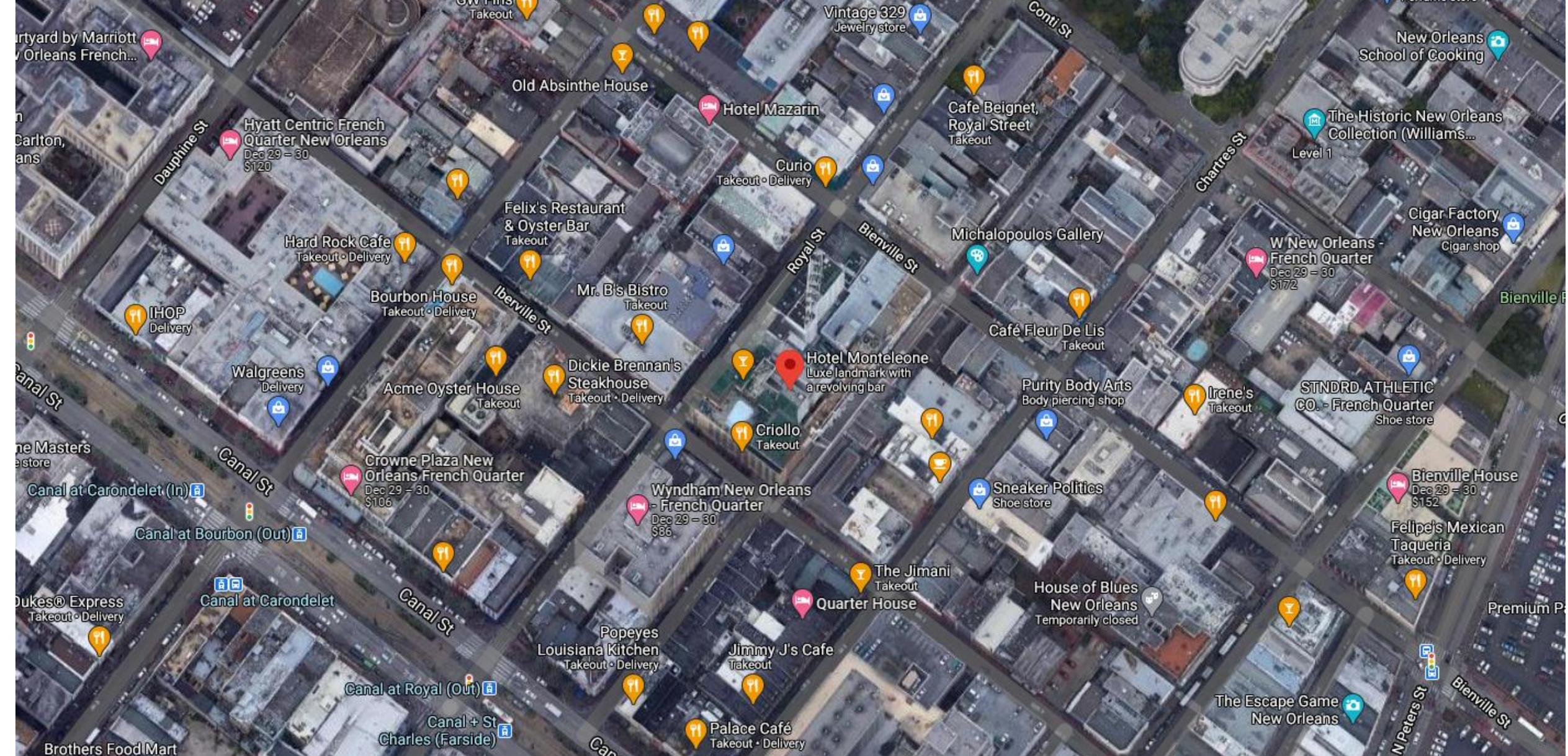
VCC Architectural Committee

May 22, 2018





214 Royal



214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023



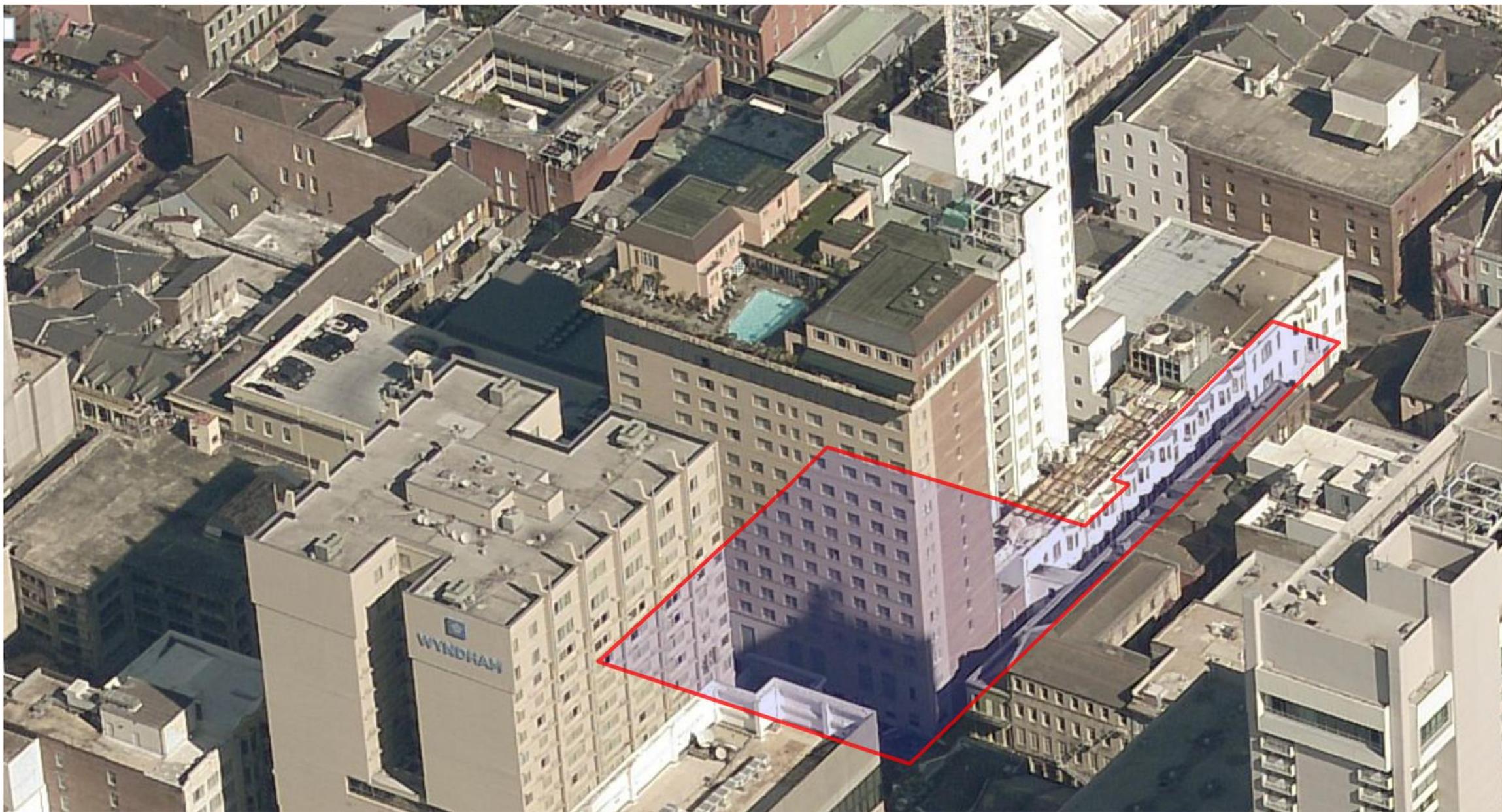


214 Royal

VCC Architectural Committee

March 14, 2023



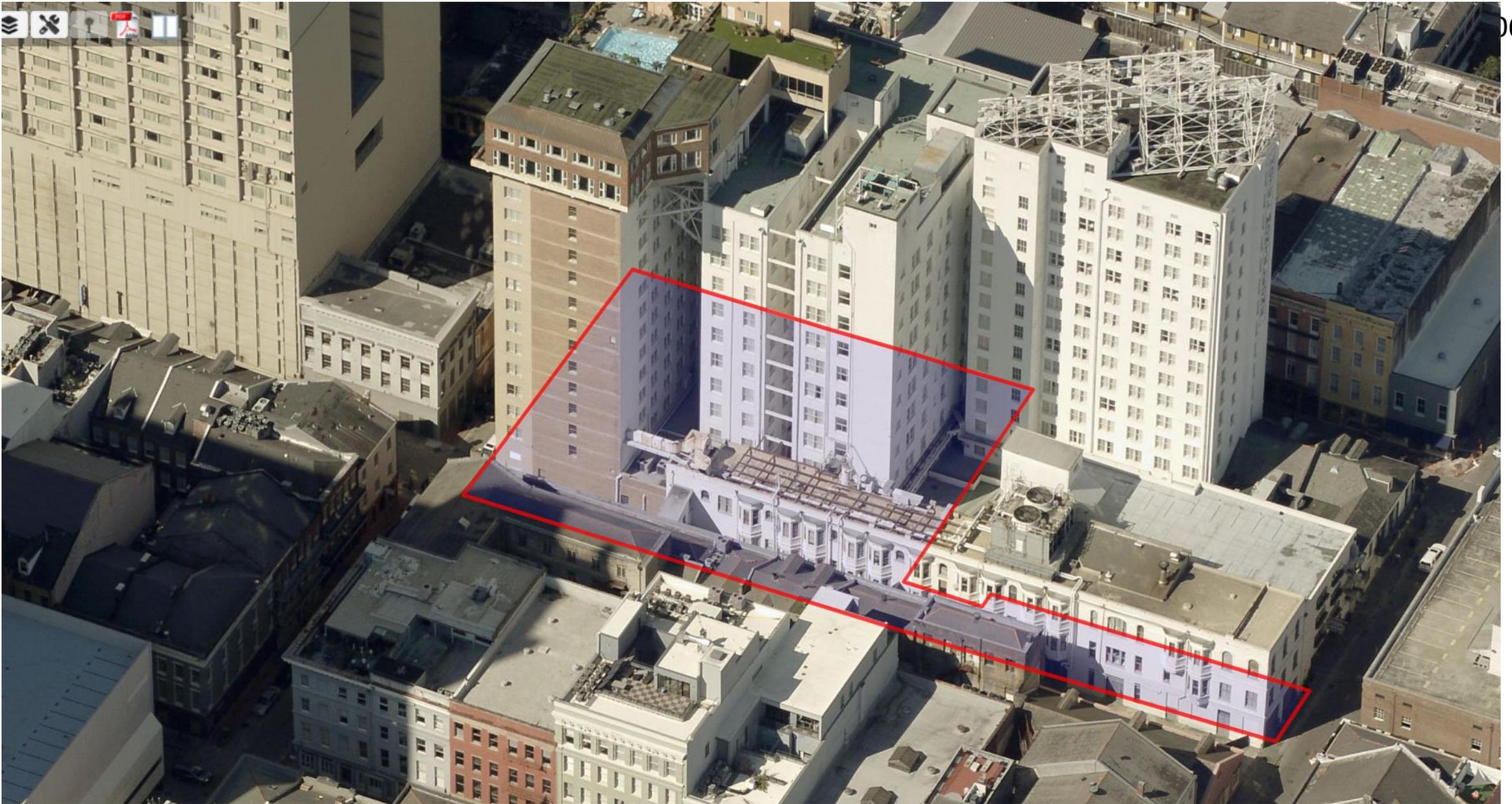


214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

VCC Architectural Committee

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March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023





08.29.23

Erin B. Vogt, MArch
Office of Business & External Services
Vieux Carré Commission
Principal Historic Preservation Plans Examiner

Dear Erin,

On July 1, 2021, the Design Team and GC were notified by Jennifer R. Kretschmann, (Real Estate Administrator with the City of New Orleans Department of Property Management) that she had flagged the release of the overall Iberville guestroom construction permit pending the submission of structural reports on the tower overhangs and two pedestrian bridges, all of which occupy City airspace. The subsequent reports require exploratory demolition to better identify the deficiencies, and then after visual inspections and shoring, provide solutions to correct these deficiencies.

Throughout the investigatory process, the team made a concerted effort to maintain the appearance of the existing exterior surfaces. The bridge repairs were carefully designed to resolve the structural deficiencies, from the inside out, to best maintain this historic character and existing exterior appearance. The exploration of these structures uncovered problems that required maintenance, and if left untouched, could compromise structural integrity and pose a risk to the public.

SCNZ followed up with Jennifer Kretschmann and Jay Dufour on several occasions to keep them abreast of progress made on the planned structural improvements. See below for a summary of key events that occurred in this timeline starting with the initial structural reports:

- August 21, 2021** – EHC Engineering Pedestrian Bridge Report emailed to Jennifer Kretschmann.
 - This report requests exploratory demolition at the Hotel and Receiving building exterior walls to expose bearing integrity, beam and decking attachment below the bridges, and interior structure.
- August 19, 2021** – EHC Engineering Overhang Report emailed to Jennifer Kretschmann.
 - Rust is found at exposed rebar at various overhangs.
 - GPR and coring at pool deck level required.
- September 17, 2021** – Jennifer Kretschmann reviews and responds to commissioned reports. The response indicates that the red flag on the project will continue to show up at every stage and guest floor TCO until the bridges and overhangs are deemed “structurally sound” by the EOR.
 - Engineered repair drawings required.
- November 8, 2021** – SCNZ provides email update to Jennifer Kretschmann describing results of site investigations.
 - Possible need for red iron repair underneath 2-story bridge (not visible on exterior).
 - Various deficiencies identified at the 1-story bridge including need for repair of broken welds at steel joists and decking (not visible on exterior), broken connections at decking and walls (not visible on exterior), deteriorating wall studs (not visible on exterior), and loose roof connection to supporting buildings (not visible on exterior).

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scnz.net | 504.301.3722

February 11, 2022 – New EOR (SEF Engineers) hired to investigate solutions to correct bridge structural deficiencies and to provide required drawings.

- March 2, 2022** – SCNZ provides email update to Jennifer Kretschmann. Included in this update:
 - Letter to summarize results of first site visit;
 - Drawings for 2-story bridge exploratory demolition at 2nd and 3rd story beam/plaster connection. (Minimal visual impact on exterior).
 - Drawings for 1-story bridge shoring.

March 3, 2022 - SCNZ notifies Jennifer Kretschmann and Jay Dufour of upcoming Ballroom turnover and State Fire Marshal inspection approval. Reply indicates no RER objection.

- July 1, 2022** – SCNZ provides email update to Jennifer Kretschmann and Jay Dufour. Included in this update:
 - Exploratory demolition, concrete coring and GPR testing at pool deck level completed at the overhangs. No major structural cracks nor problems with outrigger beams found.
 - 2-story bridge repair drawings. Only repairs affecting exterior are to secure plaster to new interior framing. Directive: Install screws to attach to new interior studs, re-plaster screw holes and re-float to match exterior finish texture and color. (Minimal visual impact on exterior).
 - 3rd party shoring drawings for 1-story bridge to bolster bridge while maintaining operation of alley.

July 18, 2022 – SCNZ notifies Jennifer Kretschmann and Jay Dufour of upcoming 15th floor guestroom turnover and State Fire Marshal inspection approval.

- November 4, 2022** - SCNZ provides email update to Jennifer Kretschmann and Jay Dufour. Included in this update:
 - Damaged overhang repairs complete.
 - 2-story bridge Architectural drawings restricted to interior of bridge (work not visible on exterior).
 - 1-story bridge Architectural drawings where a majority of the work is limited to the interior. Shutters noted to be replaced to match existing shutters exactly due to the advanced state of deterioration uncovered during exploratory demolition.
 - 1-story bridge repairs to structure on inside of bridge, where attaches to Hotel and Receiving buildings, and below (work not visible on exterior).

June 16, 2023 - 1-story bridge drawings revised to install new in-wall channel and to enclose 1st floor window opening due to dangerous bearing condition.

The enumerated work above was included in the Iberville Tower project scope as a matter of necessity to uphold public safety. The investigation process illuminated existing damage requiring maintenance to halt further deterioration.

Thank you in advance for your review of this added scope, which we feel will be aesthetically consistent with the existing condition.

Sincerely,

Richard A. Choate, AIA NCARB
Principal





1 PHOTO #1
S600 N.T.S.



2 PHOTO #2
S600 N.T.S.



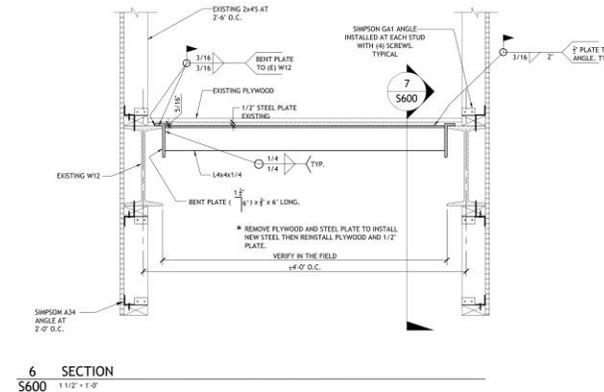
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S600 N.T.S.



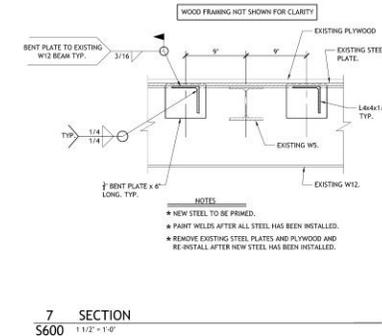
4 PHOTO #4
S600 N.T.S.



5 PHOTO #5
S600 N.T.S.



6 SECTION
S600 1 1/2" x 1'-0"



7 SECTION
S600 1 1/2" x 1'-0"

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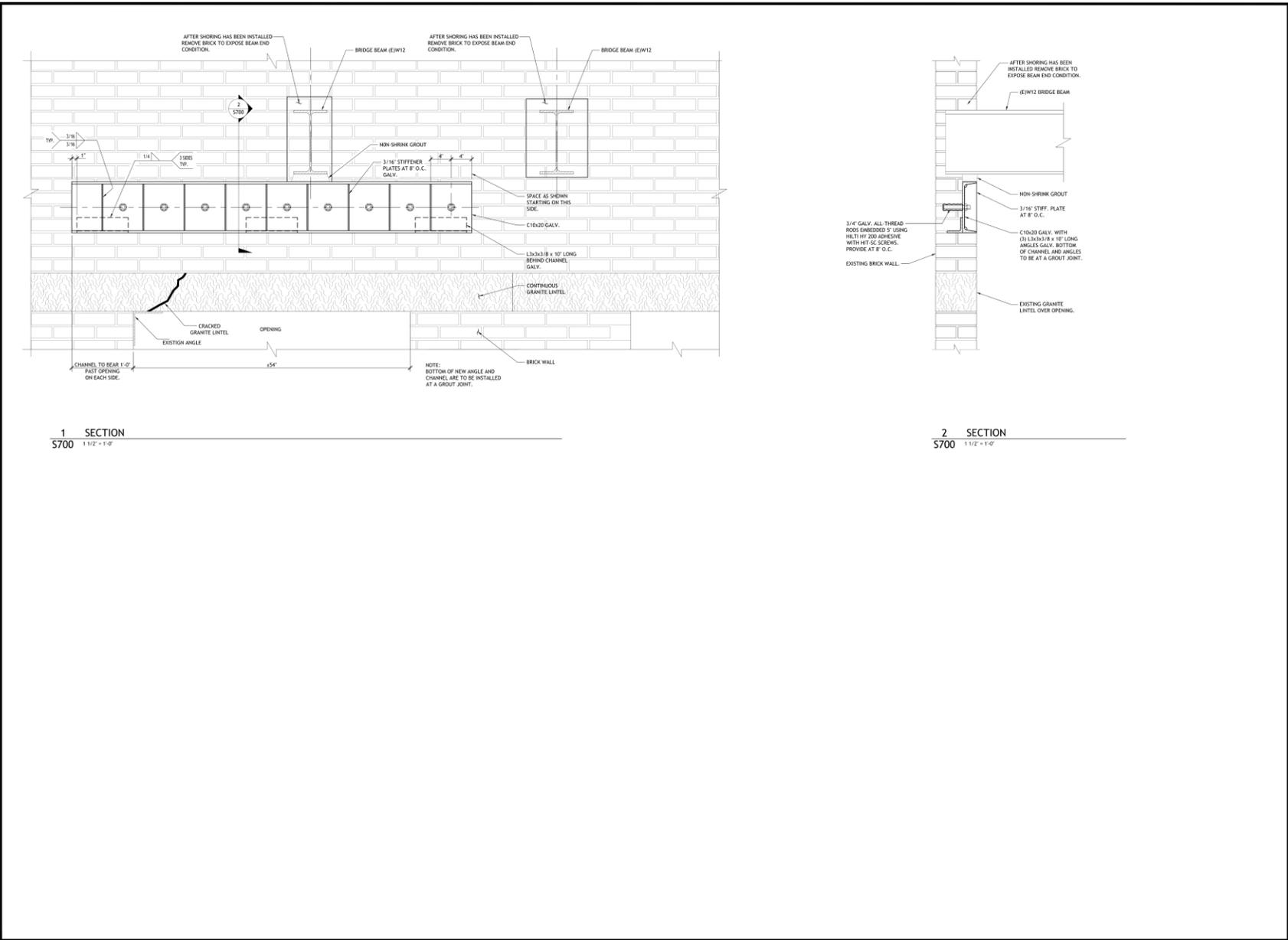


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DATE
10-7-22
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J.D.B.
CHECKED BY
J.D.B.

SHEET NO
S600





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ARCHITECTS

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Issued

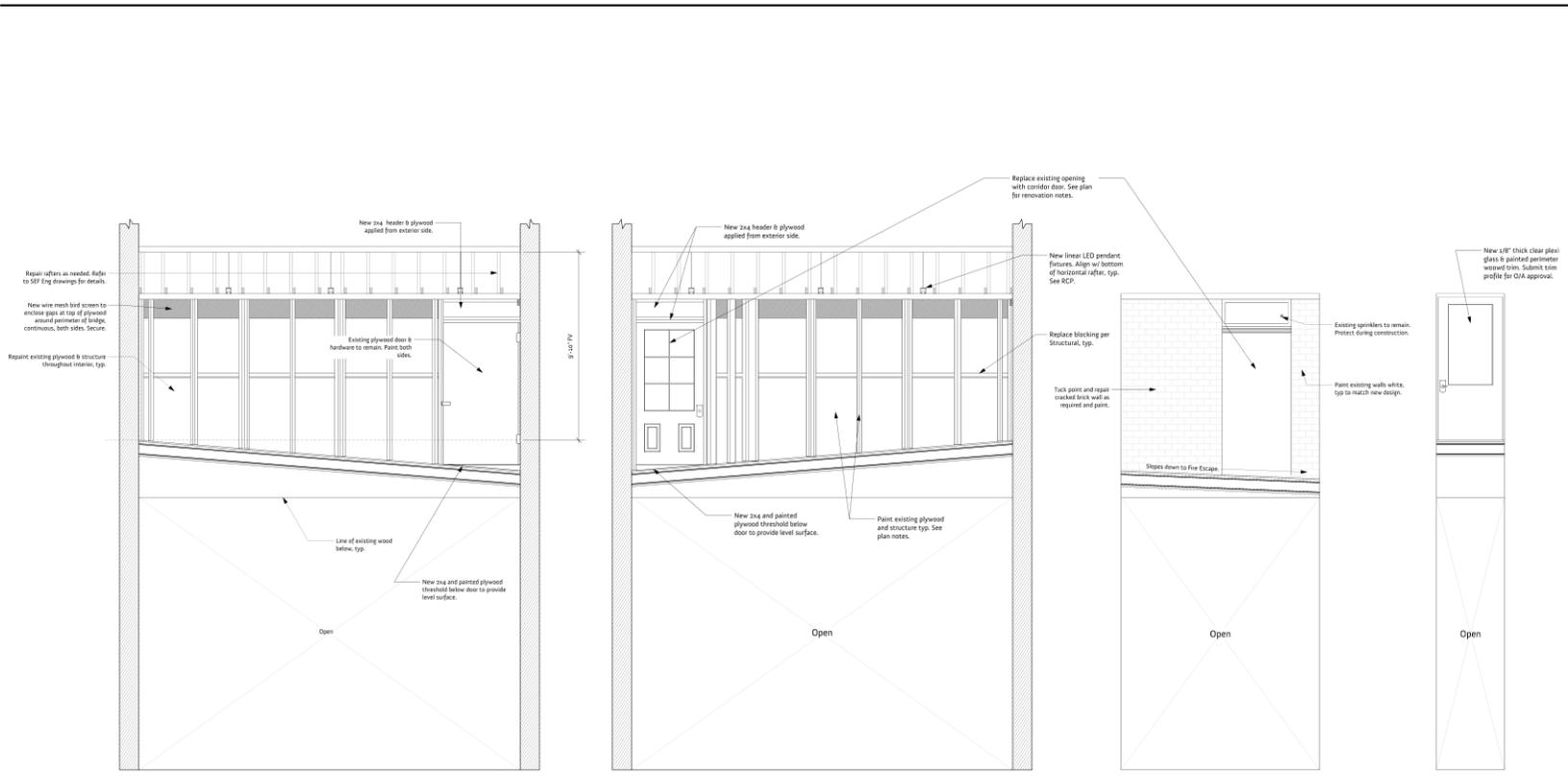
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01.28.23	Owner	1-Story Bridge Repair
03.02.23	Owner	1-Story Bridge Repair

Progress
Release

Project No. 1012 Drawn By slm

1-Story
Bridge Repair
Sk-21.3

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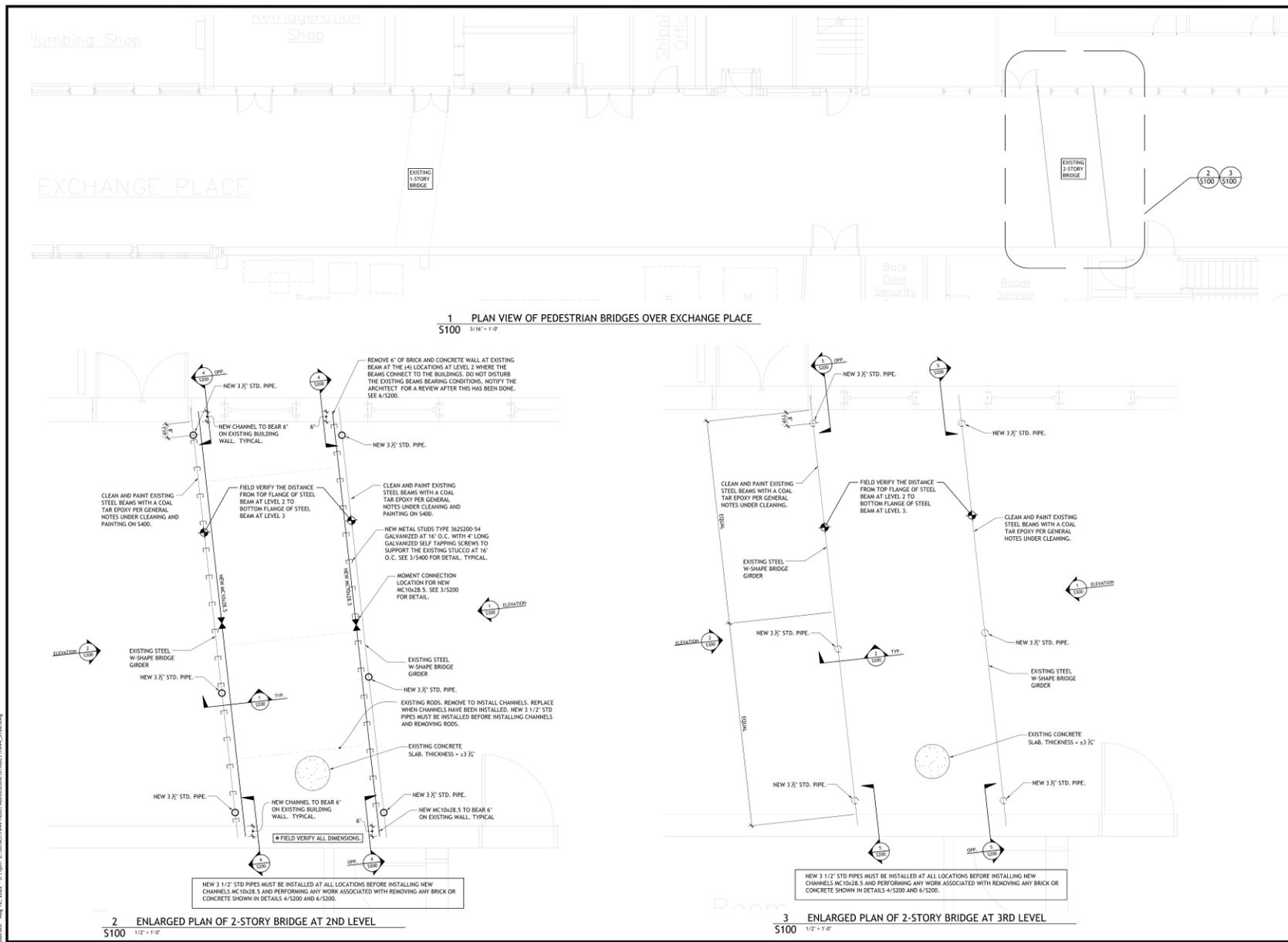


1 Elevation @ 1-Story Bridge
SK21.3 Scale: 3/8" = 1'-0"

2 Elevation @ 1-Story Bridge
SK21.3 Scale: 3/8" = 1'-0"

3 Elevation @ 1-Story Bridge
SK21.3 Scale: 3/8" = 1'-0"

4 Elevation @ 1-Story Bridge
SK21.3 Scale: 3/8" = 1'-0"



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 1-504-882-7325

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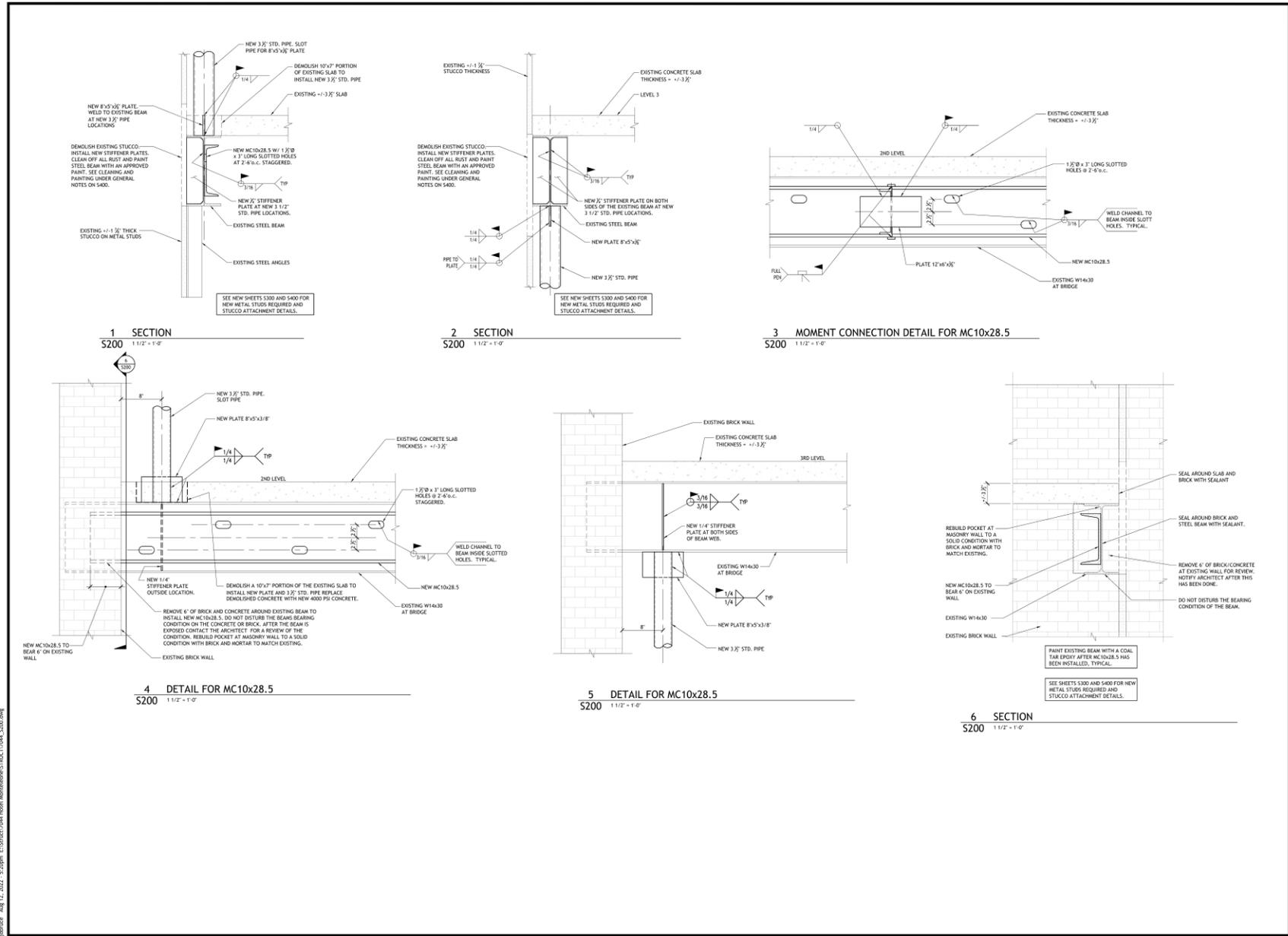


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DATE: 8-12-22
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 CHECKED BY: J.D.B.

SHEET NO
S100





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SEAN E. FARRINGTON
ENGINEER
FLORIAN J. MANAGAN
CONSULTING ENGINEERS

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NO.	REVISION	DATE

DATE
7-1-22
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CHECKED BY
J.D.B.

SHEET NO
S200



1 2-STORY BRIDGE IBERVILLE ELEVATION
S300 3/8" = 1'-0"

2 2-STORY BRIDGE BIENVILLE ELEVATION
S300 3/8" = 1'-0"

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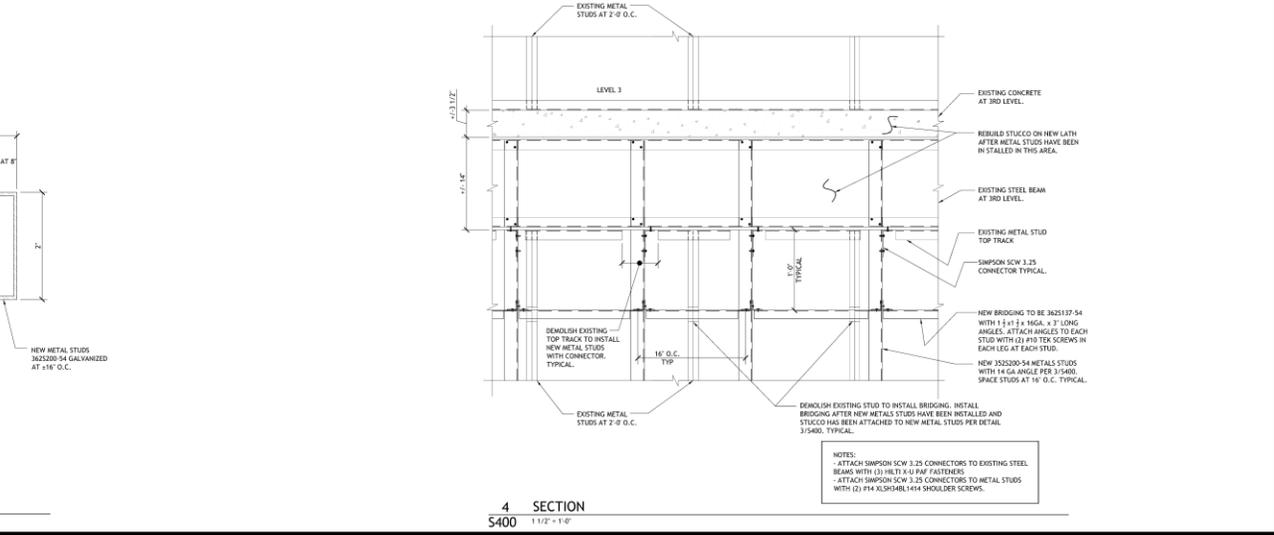
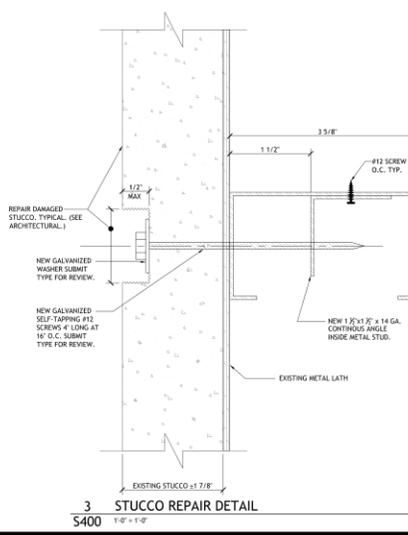
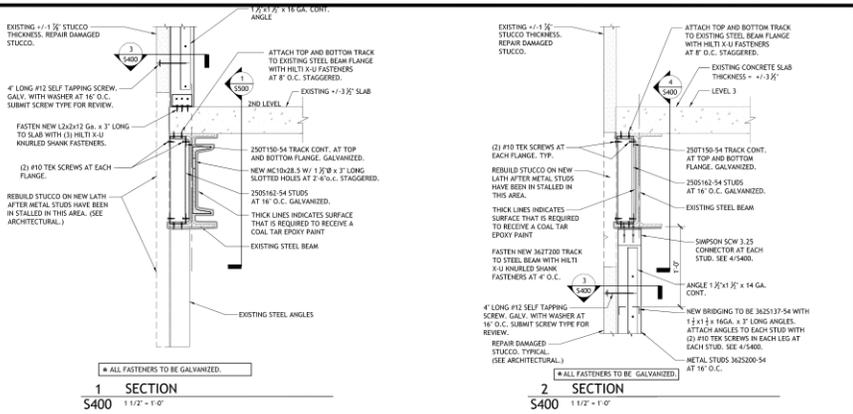
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DATE: 4-01-2022
DRAWN BY: JDB
CHECKED BY: JDB

SHEET NO: S300



GENERAL NOTES	STRUCTURAL STEEL NOTES
<ol style="list-style-type: none"> THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FORM A PART OF THESE DRAWINGS AND SHOULD BE USED ACCORDINGLY. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. ALL DIMENSIONS AND CONDITIONS TING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT CLAIMED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS. IF CONDITIONS AND DIMENSIONS VARY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PREPARATION OF SHOP DWGS. NO PIPING SHALL PASS THROUGH BEAMS WITHOUT THE PERMISSION OF THE ARCHITECT. PIPES THAT PASS THROUGH BEAMS SHALL PASS WITHIN THE MIDDLE THIRD OF THE BEAM LENGTH AND 25%. TYPICAL DETAILS DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE NOTED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER. DRAWING CONFLICTS THE GENERAL CONTRACTOR SHALL COMPARE THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND REPORT ANY DISCREPANCY BETWEEN EACH SET OF DRAWINGS AND WITHIN EACH SET OF DRAWINGS TO THE ARCHITECT AND ENGINEER PRIOR TO THE FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBERS. ALL STRUCTURAL ELEMENTS OF THE PROJECT HAVE BEEN DESIGNED BY THE STRUCTURAL ENGINEER TO RESIST THE REQUIRED LOADS AND LATERAL FORCES THAT COULD OCCUR IN THE FINAL COMPLETED STRUCTURE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL REQUIRED BRACING DURING CONSTRUCTION TO MAINTAIN THE STRUCTURE AND SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PROCESS UNTIL THE STRUCTURE IS TIED TOGETHER AND COMPLETED. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND, EXCEPT WHERE SPECIFICALLY SHOWN, DO NOT INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE. INDIVIDUAL SITE OBSERVATION BY FIELD REPRESENTATIVES OF SCHROM, ENOM, AND FLANNAGH, LLC IS SOLELY FOR THE PURPOSE OF DETERMINING IF THE WORK OF THE CONTRACTOR IS PROCEEDING IN GENERAL ACCORDANCE WITH THE STRUCTURAL CONTRACT DOCUMENTS. THIS LIMITED SITE OBSERVATION SHOULD NOT BE CONSIDERED AS EXHAUSTIVE OR CONTINUOUS OR TO CHECK THE QUALITY OR QUANTITY OF THE WORK, BUT RATHER PERIODIC IN AN EFFORT TO GUARD THE OWNER AGAINST GROSS DEFECTS OR DEFICIENCIES IN THE WORK OF THE CONTRACTOR. 	<ol style="list-style-type: none"> ALL STRUCTURAL STEEL TO CONFORM WITH LATEST REQUIREMENTS OF ASTM AND AISC FOR FABRICATION AND ELECTION OF STRUCTURAL STEEL. STRUCTURAL SHAPES SHALL CONFORM TO ASTM A572 GR. 50. WIDE FLANGE STRUCTURAL STEEL SHALL CONFORM TO ASTM A992. ALL OTHER ROLLED STRUCTURAL SHAPES SHALL CONFORM TO ASTM A572 GR. 50. STEEL TUBE - ASTM A500, GRADE B (Fy = 48KSI) PLATES AND BARS - ASTM A36 AND ASTM A572-50 WHERE INDICATED. ALL STRUCTURAL BOLTS SHALL BE A 315 UNLESS OTHERWISE NOTED. ALL ANCHOR BOLTS SHALL BE A 307 UNLESS OTHERWISE NOTED. ALL UNBOLTED STEEL JOINTS EXCLUDING COLUMN ANCHOR BOLTS (U.N.O.) SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST A.I.S.C. STANDARD SPECIFICATIONS AND SHALL BE A 315 U.N.O. ALL EMBEDDED STEEL SHALL BE HOT DIP GALVANIZED AFTER FABRICATION. ALL WELDING SHALL CONFORM WITH THE LATEST EDITION OF AWS CODE. ALL WELDERS (SHOP & FIELD) SHALL BE AWS CERTIFIED FOR THE TYPE OF WELDING BEING PERFORMED. WELDING INDICATED ON THESE DWGS. MAY BE SHOP OR FIELD PERFORMED AT CONTRACTORS' OPTION AND AS FIELD TO DETAIL SPECIFIED ALIGNMENT AND FIT UP. FIELD WELDING MUST BE PERFORMED WHERE SPECIFICALLY NOTED. EDGE OF SLAB AND ROOF BEAM PLATES, ANGLES AND OTHER WELD. EXTERIOR OR INTERIOR WELD ALLOWMENT ITEMS SHALL BE FIELD WELDED TO BEAMS. PROVIDE FABRICATION AND ERECTION TOLERANCES MORE STRINGENT THAN SPECIFIED BY AWS, WHERE REQUIRED TO ACHIEVE THE DETAILS INDICATED. ALL WELDING SHALL BE DONE USING E70XX ELECTRODES, UNO. UNLESS OTHERWISE INDICATED AT THE STRUCTURAL DETAILS PROVIDE THE ANGLES, TUBES, PLATES, CHANNELS, AND OTHER STEEL MEMBERS/PICES SHOWN AT ARCHITECTURAL DETAILS, AND CONNECT WITH 1/4" FILLET WELDED AT ALL MATERIALS/PICE INTERFACES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FABRICATION AND INSTALLATION OF ALL WALL/LATH/STUCCO STEEL JOINTS, BRACKETS, TABS, CHANNELS, KIDS, PLATE, BAR, ETC., INDICATED, LOCATED, OR WELDED IN THE DRAWING WHETHER SHOWN IN THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS. ALL EXPOSED STRUCTURAL STEEL SHALL BE HOT-DIPPED GALVANIZED. REPAIR ALL WELDS AT GALVANIZED STEEL WITH A HIGH-ZINC-COOL GALVANIZING COMPOUND.
<p>SUBMITTALS</p> <ol style="list-style-type: none"> STRUCTURAL STEEL SHOP DRAWINGS HMT PRODUCT DATA FOR POWDER ACTUATED FASTENERS COLD GALVANIZING SHOP PRODUCTS METAL STUD SHOP DRAWINGS AND PRODUCT DATA FACTURE PROCEED. DATA FOR HLT X-U FASTENERS AND F12 4 1/2" LONG GALV. SELF TAPPING TEK SCREWS COLD TAR EPOXY PAINT PRODUCT DATA 	<p>POST-INSTALLED ANCHORS</p> <ol style="list-style-type: none"> ALL RODS AND REINFORCING BARS ANCHORED INTO NEW CONCRETE TO BE INSTALLED WITH HMT HIT-HY 200 SAFE SET ANCHORS. RODS SHALL BE A307 UNLESS OTHERWISE INDICATED.
<p>TESTING</p> <p>AN OWNER SELECTED AND COMPENSATED INDEPENDENT TESTING AGENCY SHALL PERFORM THE FOLLOWING SERVICE. TESTING REPORTS SHALL BE FORWARDED TO ENGINEER AND OWNER DESIGNATED REPRESENTATIVE.</p> <ol style="list-style-type: none"> VISUAL INSPECTION OF ALL SHOP AND FIELD WELDINGS VERIFICATION OF SHOP AND FIELD WELDER AREA CERTIFICATIONS FULL PENETRATION WELDS ARE REQUIRED TO PASS ULTRASONIC (UT) TESTING IN ACCORDANCE WITH AWS D1.10.1M. 	<p>COLD-FORMED STEEL FRAMING</p> <ol style="list-style-type: none"> LIGHT GAUGE STEEL MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2015 IBC AND AISC STANDARD NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS. METAL STUD PROPERTIES SHALL BE PER METAL STUD MANUFACTURERS ASSOCIATION STANDARDS. STUDS SHALL BE SEATED SQUARELY IN THE TRACK WITH THE STUD WEB AND FLANGE ABUTTING THE TRACK WEB, PLUMBED AND ALIGNED, AND SECURELY ATTACHED TO THE FLANGES OF BOTH THE UPPER AND LOWER TRACKS AS INDICATED. SPLICES IN STUDS SHALL NOT BE PERMITTED. TEMPORARY BRACING SHALL BE PROVIDED UNTIL SECTION IS COMPLETE. TEMPORARY BRACING REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. Fy = 50 KSI/GALV. NEW BRIDGING TO BE 3625137-54 WITH 1 1/2 x 1 1/2 x 1/8 GA. x 3" LONG ANGLES. ATTACH ANGLES TO EACH STUD WITH (2) #10 TEK SCREWS IN EACH LEG AT EACH STUD. SEE 415400 AND 115000.
<p>CLEANING AND PAINTING</p> <p>CLEAN THE 2ND LEVEL AND 3RD LEVEL STEEL BEAMS AT THE 3-STORY BRIDGE AND PAINT WITH A COLD TAR EPOXY PAINT. SUBMIT A COLD TAR EPOXY PAINT PRODUCT DATA FOR REVIEW AND CLEAN THE STEEL PER THE APPROVED COLD TAR EPOXY PAINT APPLICATION INSTRUCTIONS. SEE 415400 AND 425400 FOR THE AREA TO RECEIVE THE COLD TAR EPOXY COATING.</p>	



<p>3 5400 1 1/2' x 1-0'</p>	<p>4 5400 1 1/2' x 1-0'</p>
-------------------------------------	-------------------------------------

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Fax: (504) 488-7225

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ENOM
FLANNAGH
CONSULTING ENGINEERS

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214 Royal Street, New Orleans LA



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NO.	REVISION	DATE

DATE: 8-12-2022
DRAWN BY: JDB
CHECKED BY: JDB

SHEET NO
S400



1 SECTION
S500 1 1/2" - 1'0"

NOTES:
- ATTACH 1/2x1/2ga. x 3' LONG TO EXISTING STEEL BEAMS WITH (2) #10 X 1/2 PAN FASTENERS;
- ATTACH 1/2x1/2ga. X 3' LONG TO METAL STUDS WITH (2) #12 TEK SCREWS.

Source: Aug 17, 2022, 5:22pm E:\Structural\044 Hotel Monteleone\044STRUCT\044_S500.dwg

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New Orleans, LA 70119
1-504-482-7325

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BRIDON &
FRANAGAN
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Hotel Monteleone
214 Royal Street, New Orleans LA



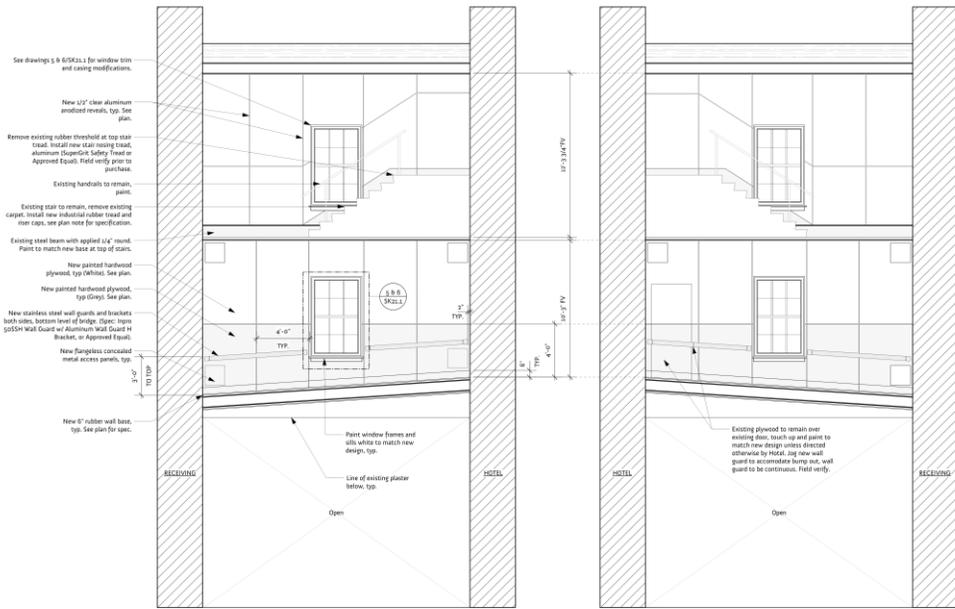
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NO.	REVISION	DATE

DATE
8.12.2022
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JOB
CHECKED BY
JOB

SHEET NO
S500

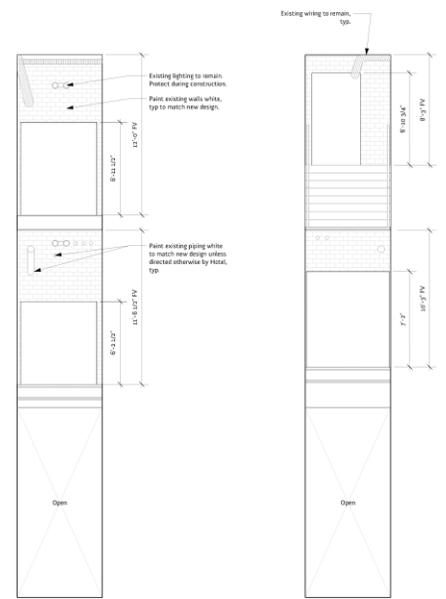


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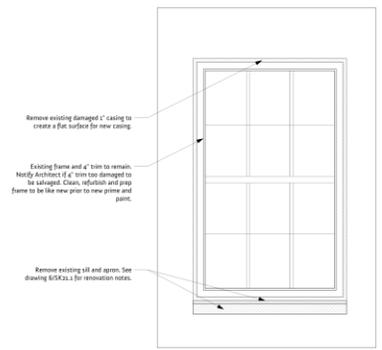
1 Elevation @ 2-Story Bridge (NE)
SK21.1 Scale: 1/4" = 1'-0"

1 Elevation @ 2-Story Bridge (SW)
SK21.1 Scale: 1/4" = 1'-0"

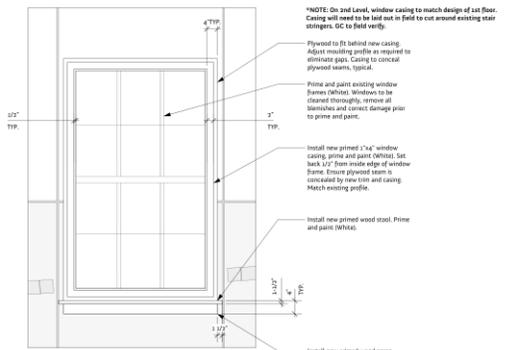


3 Elevation @ 2-Story Bridge (Receiving Side)
SK21.1 Scale: 1/4" = 1'-0"

4 Elevation @ 2-Story Bridge (Hotel Side)
SK21.1 Scale: 1/4" = 1'-0"



5 Typical Demo Elevation @ 2-Story Bridge Windows
SK21.1 Scale: 3/4" = 1'-0"



6 Typical Elevation @ 2-Story Bridge Windows
SK21.1 Scale: 3/4" = 1'-0"

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Issued

Date	To	Use / Restriction
07.09.12	Shane	2-Story Bridge Report
08.25.12	Shane	2-Story Bridge Report

Progress

Release

Project No. 1512 Drawn By: sbm

2-Story Bridge Repair
Sk-21.1

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