



Vieux Carré Commission Architecture Committee Meeting

Tuesday, January 23, 2024



Old Business



327 Bourbon



VCC Architecture Committee

January 23, 2024

327 Bourbon

VCC Architecture Committee



January 23, 2024



327 Bourbon - 2018

VCC Architectural Committee



January 23, 2024





327 Bourbon – November, 2020

VCC Architecture Committee

January 23, 2024



327 Bourbon

VCC Architecture Committee



January 23, 2024



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327 Bourbon - 1945

VCC Architecture Committee



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327 Bourbon - 1945

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327 Bourbon – View from Dauphine

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January 23, 2024





327 Bourbon – View from Dauphine



95% ARCHITECTURAL CONSTRUCTION DOCUMENTS 01-8-24
90% MEP/STRUCTURAL CONSTRUCTION DOCUMENTS 08-11-23



327 Bourbon

VCC Architecture Committee

21_113
327-329 BOURBON RESTORATION & RENOVATION
327-329 BOURBON ST
NEW ORLEANS, LA 70130

NOT FOR
CONSTRUCTION



M3 DESIGN GROUP

2020 BANKS ST. #101 LA, NEW ORLEANS, LA 70112
WWW.M3DESIGNGROUP.COM

PERMIT SET

ISSUED 01/08/24

A0.0

COVER SHEET



January 23, 2024

PERMIT DOCUMENTS

327-329 BOURBON RESTORATION & RENOVATION

327-329 BOURBON ST
NEW ORLEANS, LA 70130

PROPERTY DESCRIPTION

RESTORATION OF AN EXISTING VACANT 4 STORY PRIMARY BUILDING AND A 2 STORY REAR SERVICE BUILDING INTO AN ADULT LUXURY VENUE. INCLUDES INTERIOR, EXTERIOR, AND OUTYARD. HISTORICAL TAX CREDIT PROJECT.

CITY OF NEW ORLEANS, RELATED BUILDING PERMIT REF CODES:

PRIMARY PERMIT PFP204
INTERIOR AND SELECTIVE DEMO (DIYU)
ROOF REPLACEMENT GT73P2
FRONT FACADE RENOVATION 86BICR

OWNER
KARNO 327 BOURBON REAL ESTATE LLC
4825 JAMES ST
METairie, LA 70003

ZONING USE TYPE: ADULT LUX PERFORMANCE VENUE

ZONING DISTRICT: VCE - VUEUX CARRA ENTERTAINMENT DISTRICT
OVERLAY DISTRICT: VUEUX CARRA HEIGHT INTERIM ZONING DISTRICT

PROPOSED DEVELOPMENT:

EXISTING: 9,770 SF
NEW: 1,000 SF (REAR ADDITION TO THE MAIN STRUCTURE)
BUILDING SQUARE FOOTAGE (TOTAL): 10,770 SQ. FT.

NO. OF STORIES: 4 (MAIN STRUCTURE), 2 (REAR STRUCTURE)

PROJECT ON FLOOR:

CONSTRUCTION TYPE:
IBC/FC: NFPA: COMMON TERMINOLOGY:
TYPE II-B II (200) UNPROTECTED ORDINARY

OCCUPANCY TYPE:
IBC: SEPARATED ASSEMBLY (A-2) 3,404 SF
BUSINESS 1,530 SF, MERCANTILE 974 SF
SEPARATED ASSEMBLY (A-2) 3,404 SF
BUSINESS 1,530 SF, MERCANTILE 974 SF

SPRINKLER / FIRE ALARM:
YES, NFPA 13 YES (MONITORED)

APPLICABLE CODES:
2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
2021 INTERNATIONAL MECHANICAL CODE
2021 LOUISIANA STATE PLUMBING CODE
2021 NATIONAL ELECTRIC CODE
2015 ADA ADA GUIDELINES

ARCHITECT:
M3 DESIGN GROUP LLC
3128 BARKS ST.
NEW ORLEANS, LA 70119
MYLES M MARTIN LIC#70507
MYLES@M3DESIGNGROUP.COM
504-345-8950

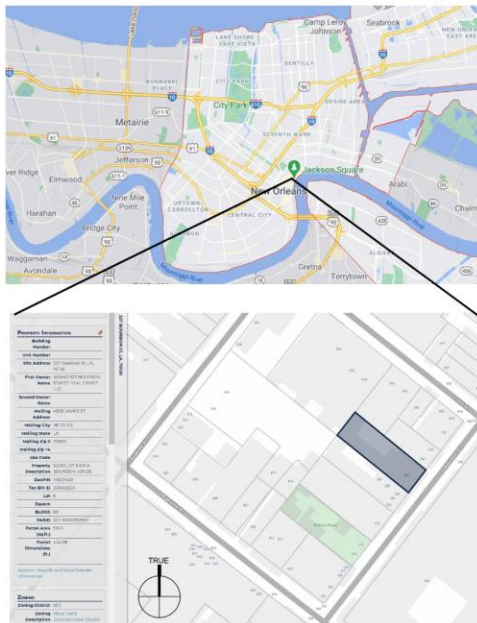
MEP ENGINEER:
SALAS O'BRIEN
1582 MAGAZINE ST. NEW ORLEANS, LA 70130
TOM WARD, PE
TOM.WARD@SALASO'BRIEN.COM
504-582-9551 (D) 504-312-0975 (M)

STRUCTURAL/CEILING ENGINEER:
AP ENGINEERING
NEW ORLEANS, LA 70130
JOHN JUNEAU
JJUNEAU@AP-ENG.COM

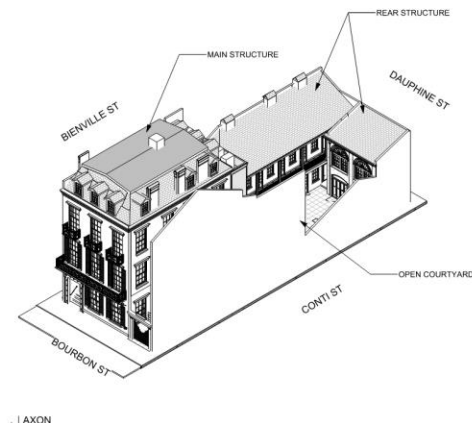
PROJECT INFORMATION

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR FOR ALL WALL HANG ITEMS TO BE INSTALLED THAT ARE NOT ON THE DRAWINGS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNERS REPRESENTATIVE THE LOCATION OF CONTRACTORS EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNERS REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES



ROOM SCHEDULE - OCCUPANCY				
Occupancy	Number	NAME	Area	
MECH PLATFORM			60 SF	
1				
ASSEMBLY	200	PRIVATE ROOM	165 SF	
ASSEMBLY	201	CLUB 2	817 SF	
ASSEMBLY	100	CLUB 1	766 SF	
ASSEMBLY		COURTYARD	1640 SF	
BUSINESS	303	PRIVATE RM D	163 SF	
BUSINESS	300	PRIVATE RM C	395 SF	
BUSINESS	301	PRIVATE RM B	217 SF	
BUSINESS	115	REAR BARROOM 2	145 SF	
BUSINESS	302	PRIVATE RM A	301 SF	
BUSINESS	118	REAR BARROOM 1	282 SF	
BUSINESS	6		1503 SF	
MERCANTILE	211	PRIVATE RM	125 SF	
MERCANTILE	210	PRIVATE RM	121 SF	
MERCANTILE	212	PRIVATE RM	333 SF	
MERCANTILE	213	PRIVATE RM	136 SF	
MERCANTILE	214A	PRIVATE RM	140 SF	
MERCANTILE	214B	PRIVATE RM	120 SF	
MERCANTILE	6		974 SF	



LEGEND - PLAN



LEGEND - HATCH

SHEET LIST						
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description	
A0.0	COVER SHEET	01/08/24				
A1.0	TITLE SHEET	01/08/24				
A1.1	NOTES	01/08/24				
A1.2	SPECIFICATIONS - COMMERCIAL	01/08/24				
A1.3a	LIFE SAFETY	01/08/24	2	10/11/23	SFM REVISIONS 2	
A1.3b	SFM APPROVAL LETTERS	01/08/24	2	10/11/23	SFM REVISIONS 2	
A1.4	SITE PLAN	01/08/24				
A1.5	SITE PLAN DETAILS	01/08/24				
A1.6	EXISTING CONDITIONS PHOTOS	01/08/24				
A2.0	OVERALL EXISTING FLOOR PLANS	01/08/24				
A2.1	EXISTING 1ST FLOOR PLAN	01/08/24				
A2.2	EXISTING 2ND FLOOR PLAN	01/08/24				
A2.3	EXISTING 3RD & 4TH FLOOR PLAN	01/08/24				
A2.4	DEMO FLOOR PLANS	01/08/24				
A3.0	EXISTING EXTERIOR ELEVATIONS + DEMO	01/08/24				
A3.1	OVERALL PROPOSED FLOOR PLANS	01/08/24				
A3.2	FLOOR PLANS 1-2 - PROPOSED	01/08/24				
A3.3	FLOOR PLANS 3-4 - PROPOSED	01/08/24				
A4.0	REFLECTED CEILING PLANS 1-2	01/08/24				
A4.1	REFLECTED CEILING PLANS 3-4	01/08/24				
A5.0	BUILDING SECTIONS	01/08/24				
A5.1	ENLARGED BUILDING SECTIONS	01/08/24				
A5.2	ENLARGED BUILDING SECTIONS	01/08/24				
A5.3	ENLARGED WALL & BUILDING DETAILS	01/08/24				
A5.4	STAIR & RAIL DETAILS	01/08/24				
A6.0	EXTERIOR ELEVATIONS	01/08/24				
A6.1	EXTERIOR ARCH	01/08/24				
A6.2	EXTERIOR AXON	01/08/24				
A6.3	EXT PERSPECTIVES COURTYARD	01/08/24				
A7.0	INT. ELEVATIONS	01/08/24				
A7.1	INT. ELEVATIONS	01/08/24				
A7.2	INTERIOR PERSPECTIVES	01/08/24				
A7.3	INTERIOR PERSPECTIVES 2	01/08/24				
A8.0	VERTICAL & HORIZONTAL ASSEMBLIES	01/08/24				
A8.1	WINDOWS SCHEDULES & ELEVATIONS	01/08/24				
A8.1a	WINDOWS DETAILS	01/08/24				
A8.1b	WINDOWS DETAILS S	01/08/24				
A8.2	DOOR SCHEDULES - EXTERIOR	01/08/24				
A8.2a	DOOR DETAILS - EXTERIOR	01/08/24				
A8.3	DOOR SCHEDULES - INTERIOR	01/08/24				
A8.3a	DOOR DETAILS - INTERIOR	01/08/24				
A8.4	INTERIOR DETAILS	01/08/24				
A9.0	ENLARGED STAIR PLANS	01/08/24				
A9.1	ENLARGED STAIR PLANS	01/08/24				
A10.0	FINISH FLOOR PLANS	01/08/24				
Grand total: 46						

CONSULTANTS SHEET LIST				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date
E2.0	ELECTRICAL DEMO PLAN	04/17/23		
E3.0	ELECTRICAL LIGHTING PLANS 1-2	04/17/23		
E3.1	ELECTRICAL LIGHTING PLANS 3-4	04/17/23		
E4.0	ELECTRICAL FLOOR PLANS 1-2 - PROPOSED	04/17/23		
E4.1	ELECTRICAL FLOOR PLANS 3-4 - PROPOSED	04/17/23		
E4.2	ELECTRICAL CONNECTIONS PLAN 1-2	04/17/23		
E4.3	ELECTRICAL CONNECTIONS PLANS 3-4	04/17/23		
E5.0	ELECTRICAL DETAILS	04/17/23		
E6.0	ELECTRICAL SCHEDULES	04/17/23		
E7.0	ELECTRICAL SPECIFICATIONS	04/17/23		
M2.0	MECHANICAL FLOOR PLANS - VRF/CHILLED WATER	04/17/23		
M2.1	MECHANICAL FLOOR PLANS - VRF/CHILLED WATER	04/17/23		
M2.1B	MECHANICAL FLOOR PLANS - CHILLED WATER	04/17/23		
M2.2	MECHANICAL FLOOR PLANS - VRF/CHILLED WATER	04/17/23		
M2.2B	MECHANICAL FLOOR PLANS - CHILLED WATER	04/17/23		
M2.3	MECHANICAL FLOOR PLANS - VRF/CHILLED WATER	04/17/23		
M3.0	MECHANICAL DETAILS	04/17/23		
M3.1	MECHANICAL DETAILS	04/17/23		
M4.0	MECHANICAL SCHEDULES	04/17/23		
M5.0	MECHANICAL SPECIFICATIONS	04/17/23		
P1.0	PLUMBING SITE PLAN	04/17/23		
P2.0	PLUMBING DEMO PLAN	04/17/23		
P3.0	PLUMBING FLOOR PLAN	04/17/23		
P3.1	PLUMBING FLOOR PLANS	04/17/23		
P3.2	PLUMBING FLOOR PLANS	04/17/23		
P3.3	PLUMBING FLOOR PLANS	04/17/23		
P4.0	PLUMBING DETAILS	04/17/23		
P5.0	PLUMBING SCHEDULES	04/17/23		
P6.0	PLUMBING SPECIFICATIONS	04/17/23		
S000	GENERAL NOTES	04/07/23		
S010	TYPICAL DETAILS AND SCHEDULES	04/07/23		
S020	TYPICAL DETAILS AND SCHEDULES	04/07/23		
S030	TYPICAL DETAILS AND SCHEDULES	04/07/23		
S040	TYPICAL DETAILS AND SCHEDULES	04/07/23		
S101	FND & 1ST - 2ND FLOOR PLAN	04/07/23		
S102	3RD FLOOR & ROOF PLAN	04/07/23		
S201	SECTIONS	04/07/23		
S302	SECTIONS	04/07/23		
S450	MASONRY TIES	04/07/23		
S801	FOUNDATION & 1ST FLOOR REPAIR	04/07/23		
S802	2ND & 3RD FLOOR REPAIR	04/07/23		
S803	4TH & ROOF REPAIR	04/07/23		
Grand total: 42				

21, 113

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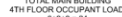
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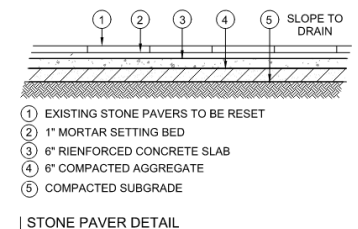
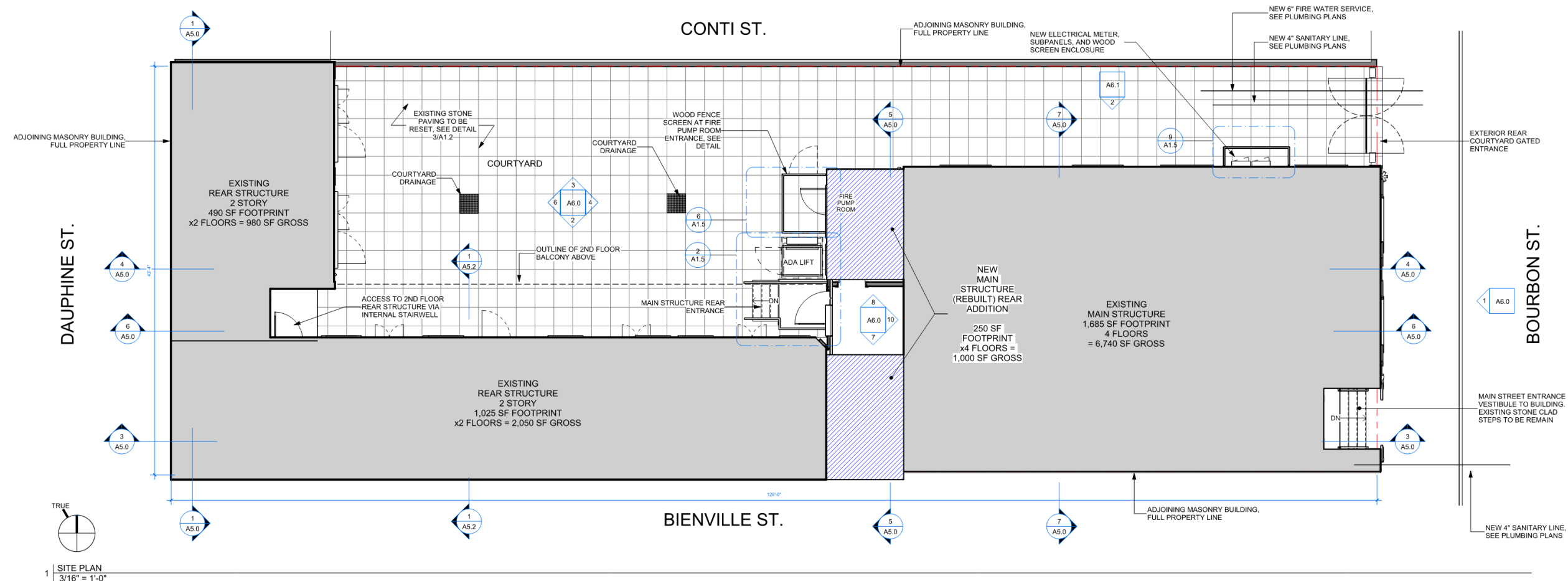
MAIN BUILDING
4 FLOORS:
1,890 SF FLOOR PLATE
7,560 SF GROSS
FLOORS 1-3 PUBLIC USE
FLOOR 4 PRIVATE OFFICES



USE TYPE

LEGEND -

- UL APPROVED PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH SECTION 906.1 OF IBC AND NFPA 10 (LAC 74-4-5, MIN. 2A-2).
- INTERIOR WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX IN ACCORDANCE WITH NFPA SECTION 903.3 AND COMPLY WITH NFPA 101-218.
- INTERIOR WALLS AND CEILING FINISHES TO BE COMPLIANT WITH THE DEVELOPMENT OF A FLAME SPREAD INDEX IN ACCORDANCE WITH NFPA SECTION 903.3 AND COMPLY WITH NFPA 101-218.
- INTERIOR FLOOR MATERIAL AND COVERINGS TO COMPLY WITH NFPA SECTION 904.1, 904.1.4, AND 904.1.2.
- EMERGENCY LIGHTS SHALL BE PROVIDED AS PER NFPA SECTION 907.1.2.1 AND 907.1.2.2.
- DIRECTIONAL EXIT MARKINGS TO BE CONNECTED TO EMERGENCY POWER AND TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 907.1.2.1.
- FIRE DETECTION & ALARM SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 9.6.
- THE FIRE DETECTION & ALARM SYSTEM SHALL BE OF A DESIGN THAT HAS BEEN TESTED AND LISTED BY AN APPROVED TESTING LABORATORY FOR THE INTENDED APPLICATION.
- AS PER NFPA 101-207.2 DRAPERIES, CURTAINS, AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS ARE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.
- GENERAL NOTES - LIFE SAFETY**



327 Bourbon

VCC Architecture Committee

January 23, 2024



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#	TYPE (SEE CHANGE LOG)	DATE
21_113		
327		
327-329 B		
NEW ORL		



M3 DESIGN GROUP
3328 BANKS ST | NO, LA 70119 | (504)345-
WWW.M3-DESIGN-GROUP.COM

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SITE PLAN
DETAILS

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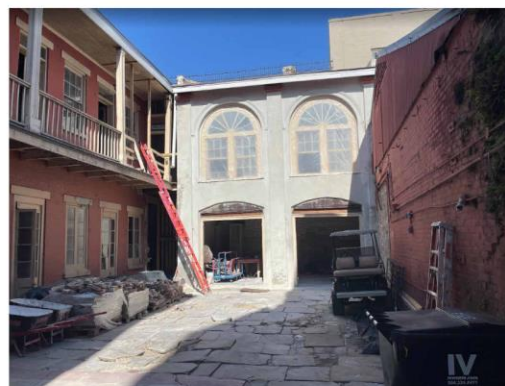
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SITE PLAN DETAILS

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VIRTUAL WALK-THROUGH
<https://my.matterport.com/show/?m=4PG1kjbugfc>



M3 DESIGN GROUP
 3229 BARRIE ST. #401, LA 70114 | (504) 586-8800
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A1.6
 EXISTING
 CONDITIONS
 PHOTOS

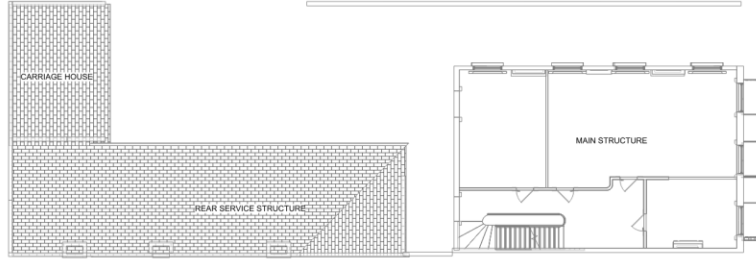


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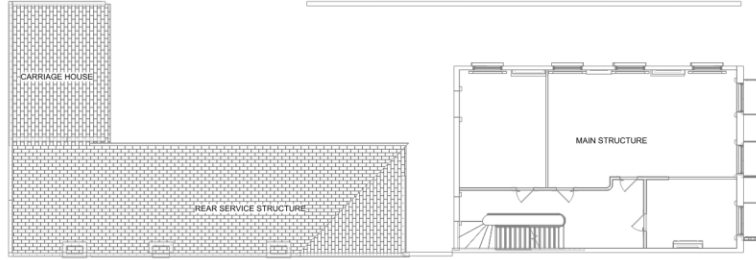
4TH FLOOR

4 | 4TH FLOOR, Copy 1
1" = 10'-0"



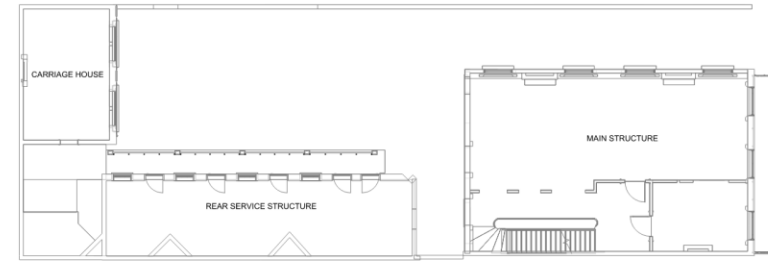
3RD FLOOR

3 | 3RD FLOOR, Copy 1
1" = 10'-0"



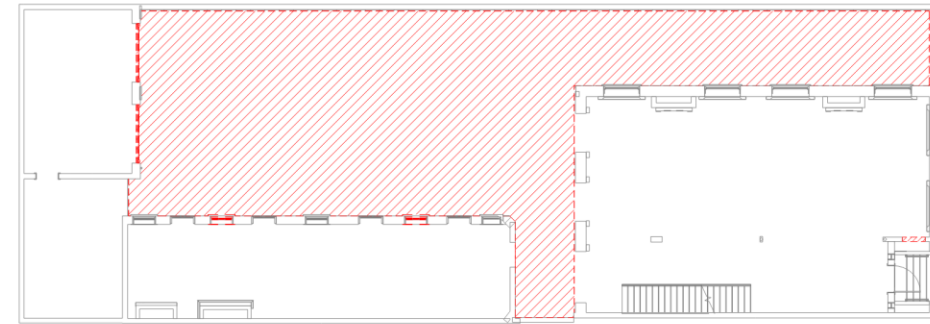
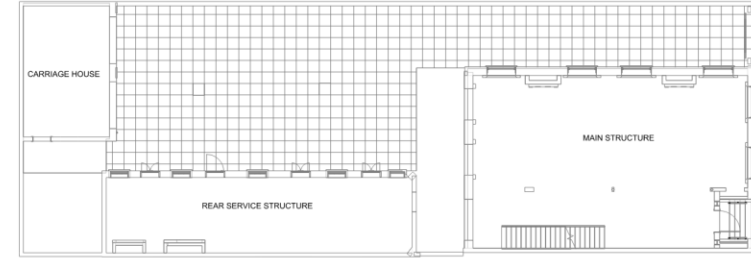
2ND FLOOR

2 | 2ND FLOOR, Copy 1
1" = 10'-0"



1ST FLOOR

1 | 1ST FLOOR, Copy 1
1" = 10'-0"



1ST FLOOR

5 | 1ST FLOOR - DEMO, Copy 1
1/8" = 1'-0"



DEMOLITION TAG, RE: SPECIFIC
DEMOLITION NOTES.

EXISTING ELEMENT TO BE REMOVED

EXISTING DOOR AND FRAME TO BE
DEMOLISHED. DOOR AND HARDWARE TO
BE TURNED OVER TO OWNER.

LEGEND - DEMO
1/4" = 1'-0"

- ① REMOVE EXISTING DOOR OPENING, PREP
OPENING FOR NEW DOOR ACCEPTANCE
- ② CREATE NEW DOOR OPENING FOR PUMP ROOM
- ③ REMOVE EXISTING COURTYARD SURFACE FOR
NEW UNDERGROUND WORK, SALVAGE ALL
STONE PAVING FOR RE-SETTING
- ④ CURRENT MASONRY WINDOW OPENINGS TO BE
EXTEND DOWN TO GRADE TO RESTORE
ORIGINAL OPENING SIZES
- ⑤ CREATE NEW FLOOR OPENING FOR STAIR

SPECIFIC NOTES - DEMO
1/4" = 1'-0"

21_113

DATE

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A2.0
OVERALL
EXISTING FLOOR
PLANS



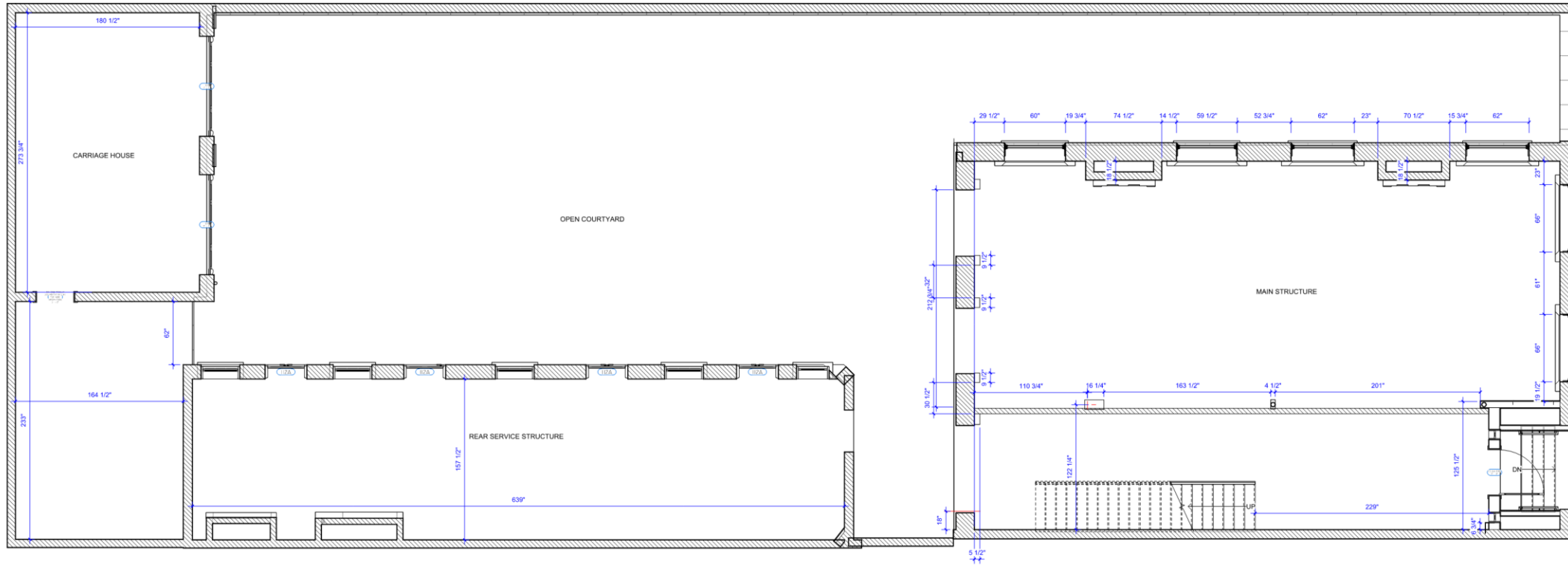
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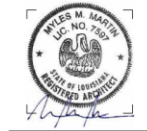


1ST FLOOR

1 | 1ST FLOOR - EXISTING
1/4" = 1'-0"

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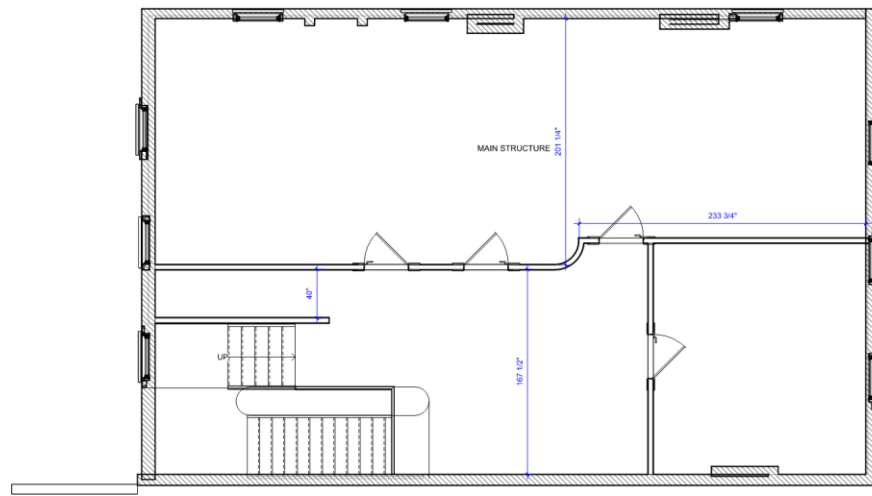
A2.1
EXISTING 1ST
FLOOR PLAN



327 Bourbon

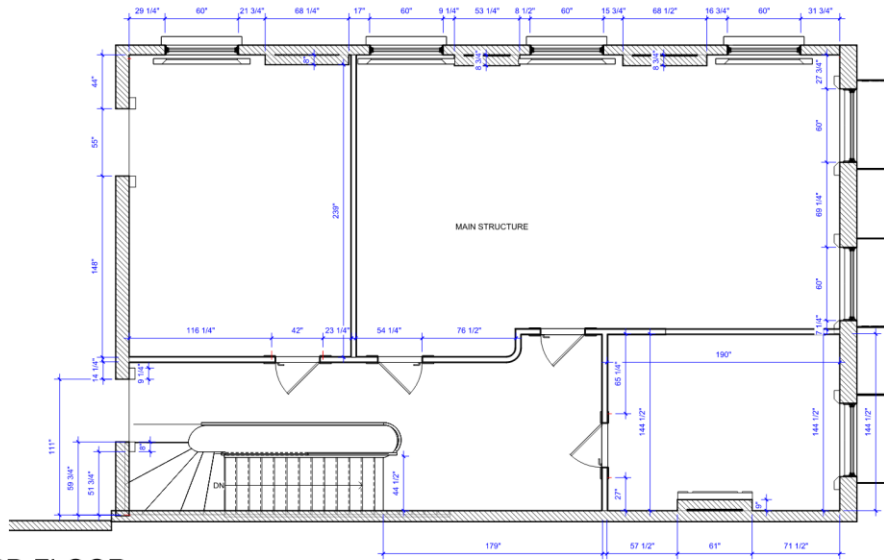
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4TH FLOOR

1 | 4TH FLOOR - EXISTING
1/4" = 1'-0"



3RD FLOOR

2 | 3RD FLOOR - EXISTING
1/4" = 1'-0"

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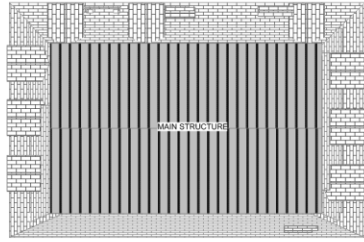


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ISSUED 01/08/24

A2.3
EXISTING 3RD &
4TH FLOOR PLAN

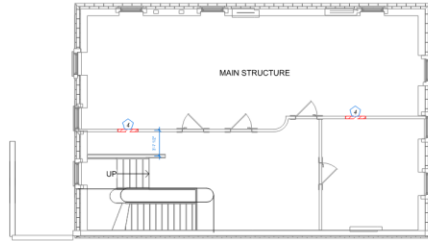


January 23, 2024



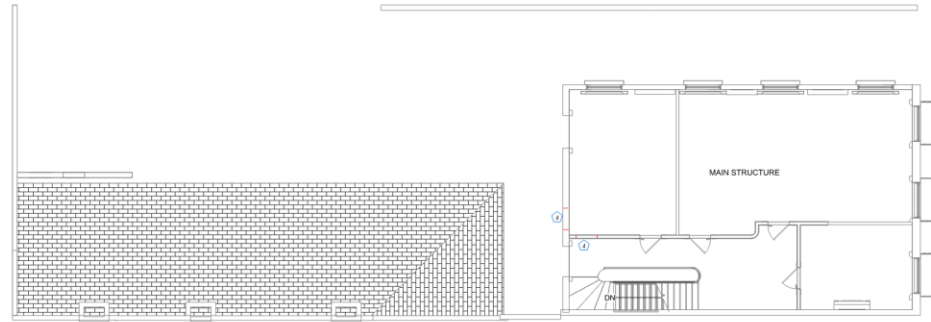
ROOF PEAK

5 | ROOF - DEMO
1/8" = 1'-0"



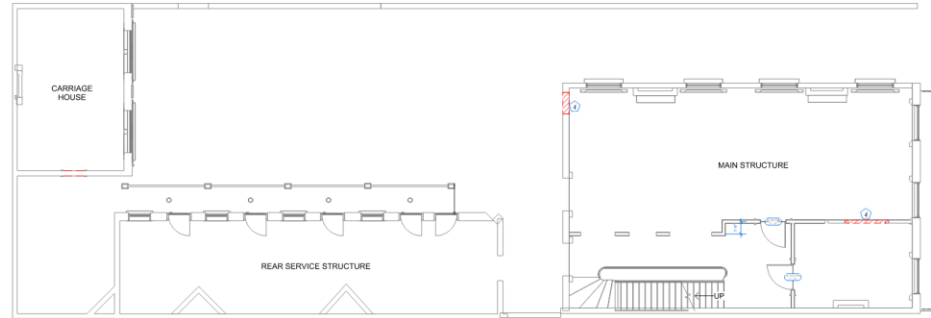
4TH FLOOR

4 | 4TH FLOOR - DEMO
1/8" = 1'-0"



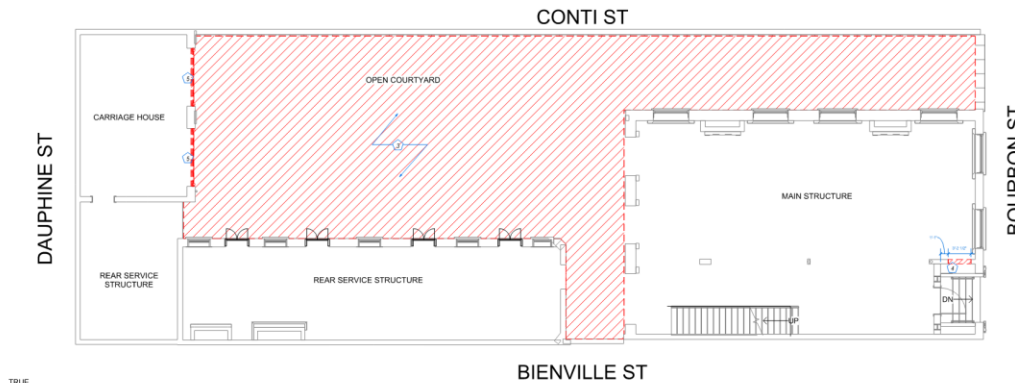
3RD FLOOR

3 | 3RD FLOOR - DEMO
1/8" = 1'-0"



2ND FLOOR

2 | 2ND FLOOR PLAN - EXISTING
1/8" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR - DEMO
1/8" = 1'-0"



- 1 REMOVE EXISTING DOOR OPENING, PREP OPENING FOR NEW DOOR ACCEPTANCE
- 2 CREATE NEW DOOR OPENING FOR PUMP ROOM
- 3 REMOVE EXISTING COURTYARD SURFACE FOR NEW UNDERGROUND WORK, SALVAGE ALL STONE PAVING FOR RE-SETTING
- 4 CURRENT MASONRY WINDOW OPENINGS TO BE EXTEND DOWN TO GRADE TO RESTORE ORIGINAL OPENING SIZES
- 5 CREATE NEW FLOOR OPENING FOR STAIR

SPECIFIC NOTES - DEMO

NO WORK THIS AREA

DEMOLITION TAG, RE: SPECIFIC DEMOLITION NOTES.

EXISTING ELEMENT TO BE REMOVED

EXISTING DOOR AND FRAME TO BE DEMOLISHED. DOOR AND HARDWARE TO BE TURNED OVER TO OWNER.

LEGEND - DEMO

21_113

DATE

TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP
1008 BARRIS ST. 1ND, LA 70112 | 504.585.8900
WWW.M3DESIGNGROUP.COM

PERMIT SET
ISSUED 01/08/24

A2.4
DEMO FLOOR PLANS

327-329 BOURBON RESTORATION & RENOVATION

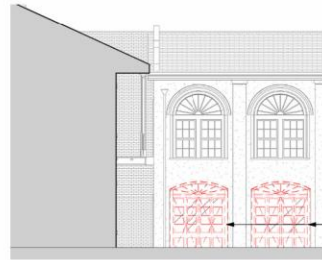
327-329 BOURBON ST
NEW ORLEANS, LA 70130

327 Bourbon

VCC Architecture Committee

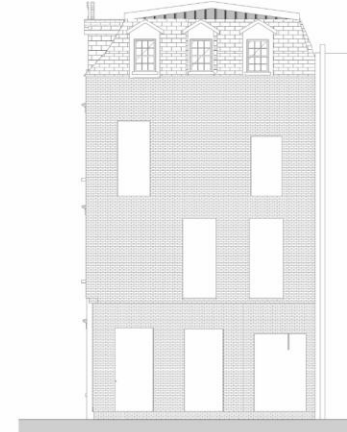
January 23, 2024





6 | PLAN SOUTH REAR COURTYARD ELEVATION
1/8" = 1'-0"

EXISTING NON-ORIGINAL DOORS TO BE REMOVED AND ORIGINAL OPENING TO BE RESTORED



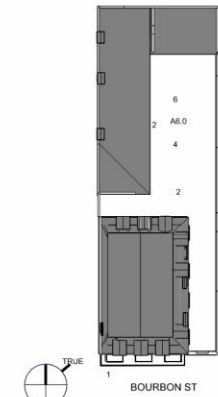
4 | PLAN NORTH ELEVATION
1/8" = 1'-0"



1 | PLAN SOUTH ELEVATION
1/8" = 1'-0"



2 | PLAN EAST ELEVATION
1/8" = 1'-0"



KEY PLAN - ELEVATION

21.113

DATE

TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP
7008 BARRIS ST., SUITE 100, NEW ORLEANS, LOUISIANA 70118
WWW.M3DESIGNGROUP.COM

PERMIT SET
ISSUED 01/08/24

A2.5
EXISTING
EXTERIOR
ELEVATIONS +
DEMO

327-329 BOURBON RESTORATION & RENOVATION
327-329 BOURBON ST
NEW ORLEANS, LA 70130



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EXISTING NON-
ORIGINAL DOORS TO BE
REMOVED AND ORIGINAL
OPENING TO BE
RESTORED

6 | PLAN SOUTH REAR COURTYARD ELEVATION
1/8" = 1'-0"



327 Bourbon

VCC Architecture Committee

January 23, 2024





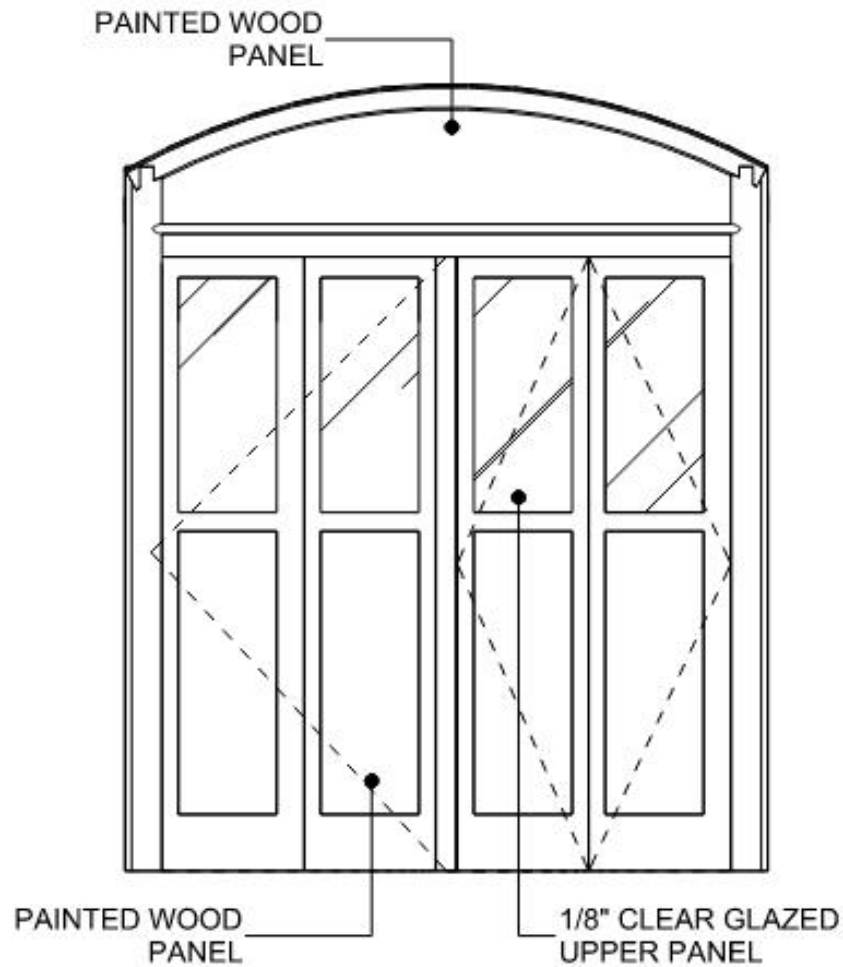
6 | PLAN SOUTH REAR COURTYARD ELEVATION PROPOSED
1/8" = 1'-0"

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TYPE MARK D17	WOOD, SINGLE SINGLE & DOUBLE W/ ARCHED PANEL TRANSOM	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPE/KIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT
-------------------------	---	--

VCC Architecture Committee

2ND FLOOR

2 | 2ND FLOOR PLAN
3/16" = 1'-0"

1ST FLOOR

1 | 1ST FLOOR - PROPOSED
3/16" = 1'-0"

SCOPE ITEM (FLOOR PLAN)

ITEM	SCOPE
1	EXISTING MASONRY FIREPLACE
2	EXISTING MASONRY FIREPLACE
2A	RESTORED FIREPLACE MANTEL, 1ST FLOOR, MAIN BUILDING SEE DOCUMENTATION
2B	RESTORED FIREPLACE MANTEL, 2ND FLOOR, MAIN BUILDING SEE DOCUMENTATION
2C	RESTORED FIREPLACE MANTEL, 3RD FLOOR, MAIN BUILDING SEE DOCUMENTATION
3	EXISTING MASONRY FIREPLACE
5	EXISTING MASONRY FIREPLACE
6	BAR, SEE ENLARGED PLANS
6A	EXISTING MASONRY FIREPLACE
7	EXISTING MASONRY FIREPLACE
7A	COMMERCIAL OUTDOOR ADA LIFT
8	WALK IN COOLER, SEE EQUIPMENT PACKAGE
9	EXISTING MASONRY FIREPLACE
9A	-
10	RESTORED WOOD WINDOW
11	BARGE BOARD WOOD FENCE, SEE DETAIL
12	SLATE CLAD CONCRETE STEPS
13	PRIVACY CURTAINS, FLAME RESISTANT
14	METAL LOCKERS (BY OWNER)
15	EXISTING METAL GATE TO BE STRIPPED AND REFINISHED
16	LAVATORY
18	WATER CLOSET
18A	WATER CLOSET W/ADA GRAB BARS
19	PAINTED SOLID WOOD TOILET PARTITION
20	S.S. ADA GRAB BARS
21	EXISTING STAIRS
22	EXISTING HANDRAIL
23	NEW 42" GAUGRALL, RUN CONTINUOUSLY FOR ENTIRE RUN OF STAIRS AND LANDINGS, SEE ENLARGED DETAIL
31	EXISTING MASONRY FIREPLACE
32	COPPER METAL ROOF
33	ALUMINUM LOUVER PANEL MECHANICAL SCREEN
34	VERTICAL HVAC SUPPLY UNIT, SEE MECH PLANS
35	FLOOR MOUNTED HOP SINK
36	ICE MACHINE (OWNER SUPPLIED)
37	VERTICAL HVAC SUPPLY UNIT, SEE MECH PLANS
38	EXTERIOR HVAC UNIT, SEE MECH PLANS
39	PAINTED WOOD LOUVER SCREEN, SEE DETAILS
40	ADA SHOWER, TILED
41	SHOWER, TILED
42	WOOD BASE AND UPPER CABINETS, STONE COUNTERTOP W/SS SINK
43	REFRIGERATOR/FREEZER (SUPPLIED BY OWNER)

SCOPE ITEM (FOR PLAN)	
ITEM	SCOPE
1	EXISTING MASONRY FIREPLACE
2	EXISTING MASONRY FIREPLACE
2A	RESTORE FIREPLACE MANTLE, 1ST FLOOR, MAIN BUILDING SEE DOCUMENT
2B	RESTORED FIREPLACE MANTLE, 2ND FLOOR, MAIN BUILDING SEE DOCUMENT
2C	RESTORED FIREPLACE MANTLE, 3RD FLOOR, MAIN BUILDING SEE DOCUMENT
3	EXISTING MASONRY FIREPLACE
3	EXISTING MASONRY FIREPLACE
5	BAR, SEE ENLARGED PLANS
5	EXISTING MASONRY FIREPLACE
7	EXISTING MASONRY FIREPLACE
7A	COMMERCIAL OUTDOOR ADA LIFT
8	WALK IN COOLER, SEE EQUIPMENT PACKAGE
8	EXISTING MASONRY FIREPLACE
9A	
10	RESTORED WOOD WINDOW
10	BARGE BOARD WOOD FENCE, SEE DETAIL
12	SLATE CLAD CONCRETE STEPS
13	PRIVACY CURTAINS, PLANE RESISTANT
14	METAL LOCKERS (BY OWNER)
15	EXISTING METAL GATE TO BE STRIPPED AND REFINISHED
16	WATER
17	LAUNDRY CLOSET
18A	WATER CLOSET W/ADA GRAB BARS
19	PAINTED SOLID WOOD TOILET PARTITION
20	S.S. ADA GRAB BARS
21	EXISTING STAIRS
22	EXISTING HANDRAIL
23	NEW 4" GAUFRAL, RUN CONTINUOUSLY FOR ENTIRE RUN OF STAIRS AND LANDINGS, SEE ENLARGED DETAIL
31	EXISTING MASONRY FIREPLACE
32	CORRUGATED ROOF
33	ALUMINUM LOUVER PANEL MECHANICAL SCREEN
34	VERTICAL HVAC SUPPLY UNIT, SEE MECH PLANS
35	FLOOR (PAINTED) SEE DETAIL
36	ICE MACHINE (OWNER SUPPLIED)
37	VERTICAL HVAC SUPPLY UNIT, SEE MECH PLANS
38	EXTERIOR HVAC UNIT, SEE MECH PLANS
39	PAINTED WOOD LOUVER SCREEN, SEE DETAILS
40	AUO, SWELED, TILED
41	SHOWER, TILED
42	WOOD DOOR AND UPPER CABINETS, STATE COUNTERTOP W/SS SINK
43	REFRIGERATOR/FREEZER (SUPPLIED BY OWNER)

21_113

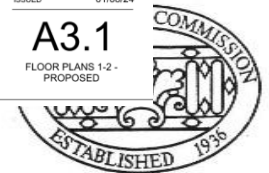
DATE _____

TYPE (SEE CHANGE LOG)



PERMIT SET	
ISSUED	01/08/2

A3.1

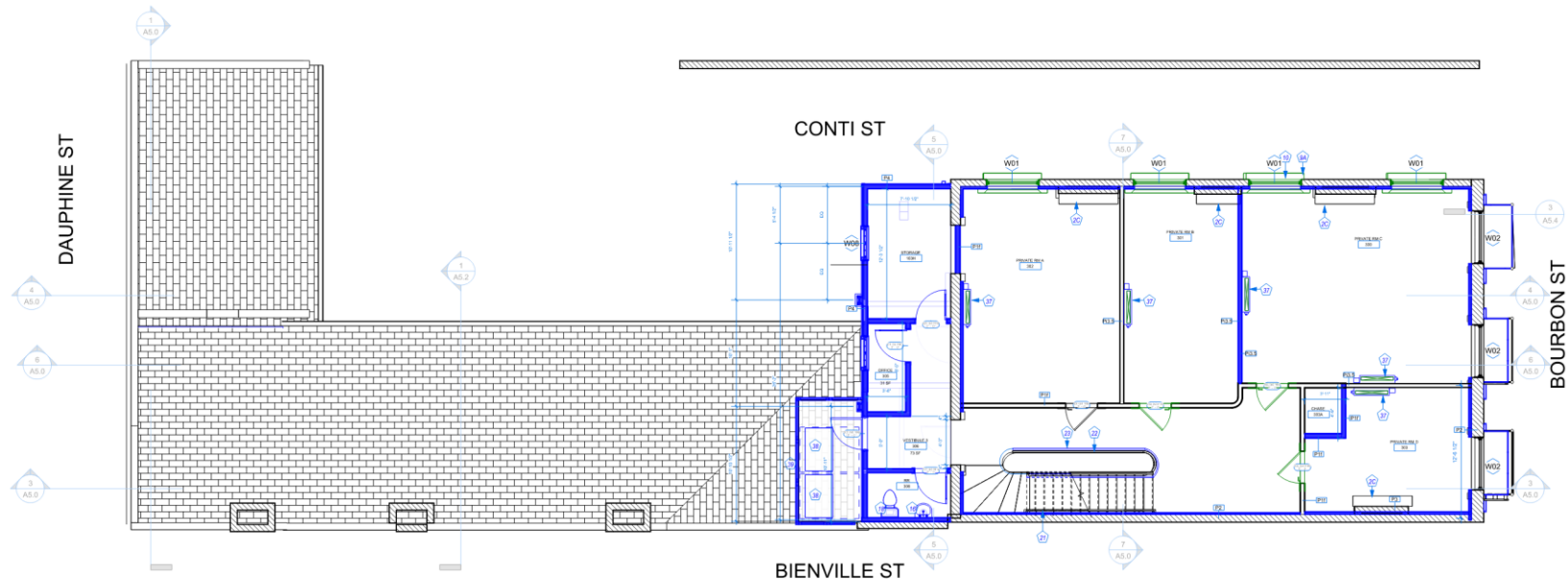


327 Bourbon

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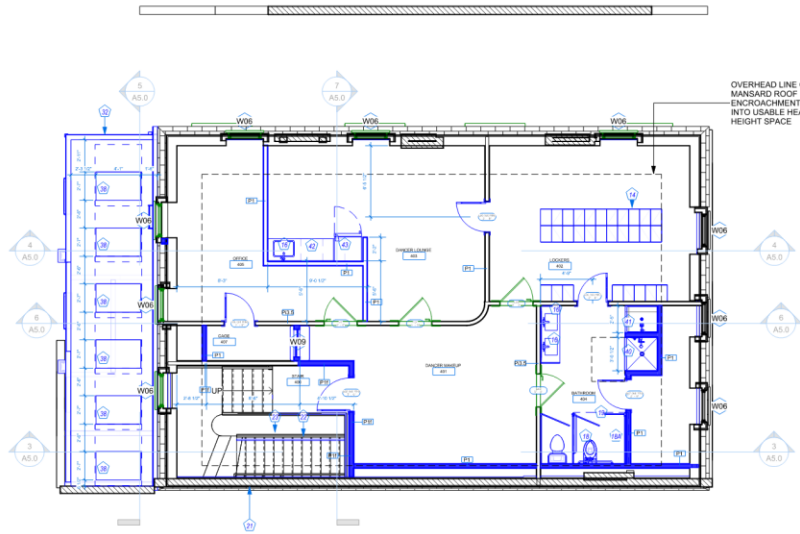
3RD FLOOR

1 | 3RD FLOOR - PROPOSED
3/16" = 1'-0"



4TH FLOOR

2 | 4TH FLOOR - PROPOSED
3/16" = 1'-0"



ITEM	SCOPE (FLOOR PLAN)
1	EXISTING MASONRY FIREPLACE
2	EXISTING MASONRY FIREPLACE
2A	RESTORED FIREPLACE MANTEL, 1ST FLOOR, MAIN BUILDING SEE DOCUMENTATION
2B	RESTORED FIREPLACE MANTEL, 2ND FLOOR, MAIN BUILDING SEE DOCUMENTATION
2C	RESTORED FIREPLACE MANTEL, 3RD FLOOR, MAIN BUILDING SEE DOCUMENTATION
3	EXISTING MASONRY FIREPLACE
5	EXISTING MASONRY FIREPLACE
6	BAR, SEE ENLARGED PLANS
6A	EXISTING MASONRY FIREPLACE
7	EXISTING MASONRY FIREPLACE
7A	COMMERCIAL OUTDOOR ADA LIFT
8	WALK IN COOLER, SEE EQUIPMENT PACKAGE
9	EXISTING MASONRY FIREPLACE
9A	
10	RESTORED WOOD WINDOW
11	BARGE BOARD WOOD FENCE, SEE DETAIL
12	SLATE CLAD CONCRETE STEPS
13	PRIVACY CURTAINS, FLAME RESISTANT
14	METAL LOCKERS (BY OWNER)
15	EXISTING METAL GATE TO BE STRIPPED AND REFINISHED
16	LAVATORY
18	WATER CLOSET
18A	WATER CLOSET W/ADA GRAB BARS
19	PAINTED SOLID WOOD TOILET PARTITION
20	S.S. ADA GRAB BARS
21	EXISTING STAIRS
22	EXISTING HANDRAIL
23	NEW 42" GAUDDRAIL, RUN CONTINUOUSLY FOR ENTIRE RUN OF STAIRS AND LANDINGS. SEE ENLARGED DETAIL
31	EXISTING MASONRY FIREPLACE
32	COPPER METAL ROOF
33	ALUMINUM LOUVER PANEL, MECHANICAL SCREEN
34	VERTICAL HVAC SUPPLY UNIT, SEE MECH PLANS
35	FLOOR MOUNTED MOP SINK
36	ICE MACHINE (OWNER SUPPLIED)
37	VERTICAL HVAC SUPPLY UNIT, SEE MECH PLANS
38	EXTERIOR HVAC UNIT, SEE MECH PLANS
39	PAINTED WOOD LOUVER SCREEN, SEE DETAILS
40	ADA SHOWER, TILED
41	SHOWER, TILED
42	WOOD BASE AND UPPER CABINETS, STONE COUNTERTOP W/SS SINK
43	REFRIGERATOR/FREEZER (SUPPLIED BY OWNER)

21_113

DATE

TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP

3328 BANKS ST | NO. LA 70118 | (504) 586-8888
WWW.M3DESIGNGROUP.COM

PERMIT SET

ISSUED 01/08/24

A3.2

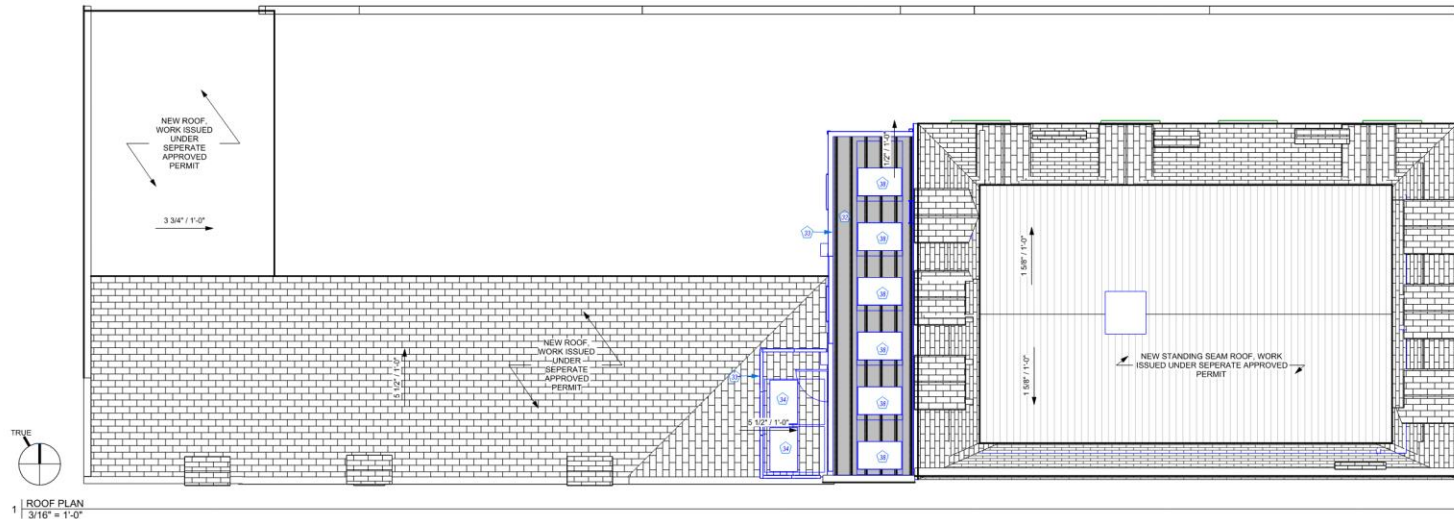
FLOOR PLANS 3-4 - PROPOSED



January 23, 2024

327 Bourbon

VCC Architecture Committee



BOURBON ST

ITEM	SCOPE
1	EXISTING MASONRY FIREPLACE
2	EXISTING MASONRY FIREPLACE
2A	RESTORED FIREPLACE MANTEL, 1ST FLOOR, MAIN BUILDING SEE DOCUMENTATION
2B	RESTORED FIREPLACE MANTEL, 2ND FLOOR, MAIN BUILDING SEE DOCUMENTATION
2C	RESTORED FIREPLACE MANTEL, 3RD FLOOR, MAIN BUILDING SEE DOCUMENTATION
3	EXISTING MASONRY FIREPLACE
5	EXISTING MASONRY FIREPLACE
6	BAR, SEE ENLARGED PLANS
6A	EXISTING MASONRY FIREPLACE
7	EXISTING MASONRY FIREPLACE
7A	COMMERCIAL OUTDOOR ADA LIFT
8	WALK IN COOLER, SEE EQUIPMENT PACKAGE
9	EXISTING MASONRY FIREPLACE
9A	
10	RESTORED WOOD WINDOW
11	BARGE BOARD WOOD FENCE, SEE DETAIL
12	SLATE CLAD CONCRETE STEPS
13	PRIVACY CURTAINS, FLAME RESISTENT
14	METAL LOCKERS (BY OWNER)
15	EXISTING METAL GATE TO BE STRIPPED AND REFINISHED
16	LAVATORY
17	WATER CLOSET
18A	WATER CLOSET W/ADA GRAB BARS
19	PAINTED SOLID WOOD TOILET PARTITION
20	S.S. ADA GRAB BARS
21	EXISTING STAIRS
22	EXISTING HANDRAIL
23	NEW 42\"/>

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327-329 BOURBON RESTORATION & RENOVATION

327-329 BOURBON ST
NEW ORLEANS, LA 70130



1



2



3



4



5



6



7



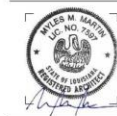
BOURBON ST



BOURBON ST

TYPE (SEE CHANGE LOG)

DATE



M3 DESIGN GROUP
1000 BARRIS ST., NO. 100, LA 70119 | (504) 581-1000
WWW.M3DESIGNGROUP.COM

PERMIT SET

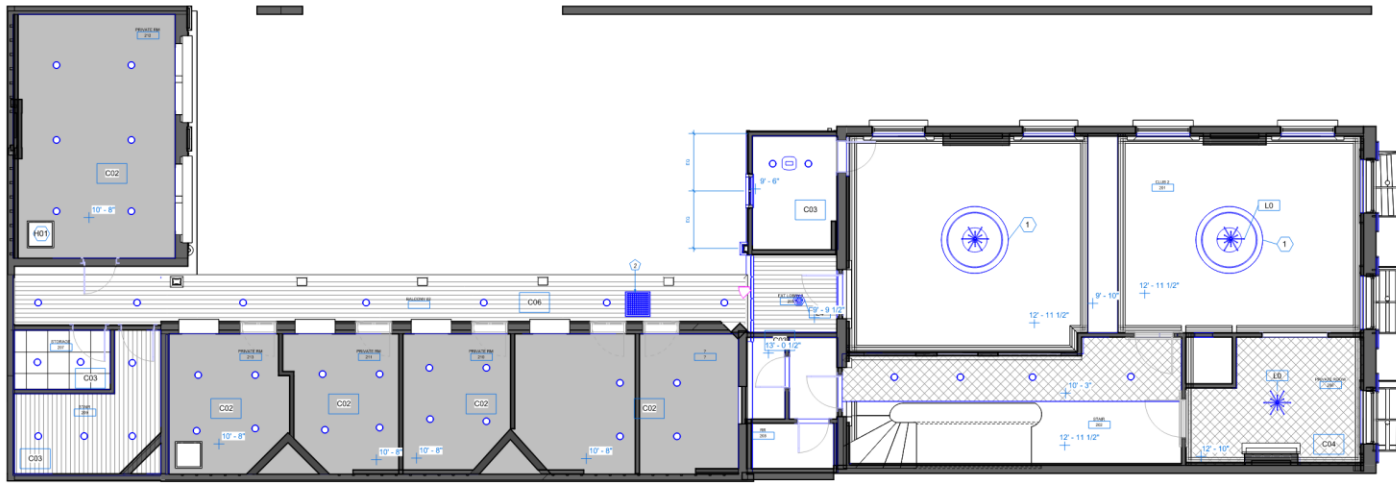
ISSUED 01/08/24

A3.3

ROOF PLAN

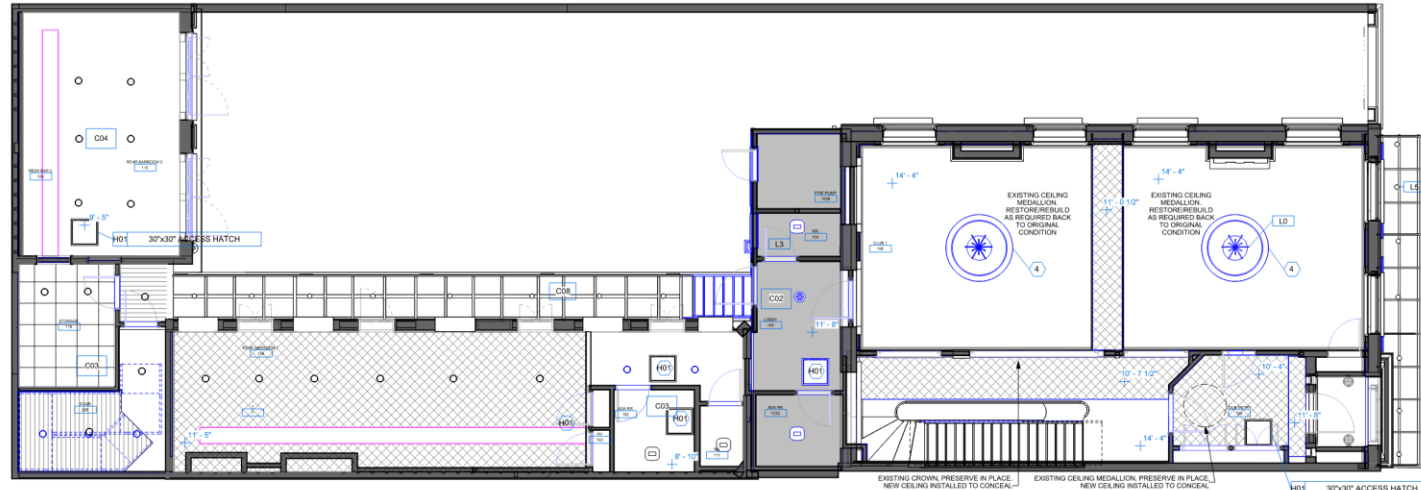


January 23, 2024



2ND FLOOR

2 | 2ND FLOOR PLAN RCP
3/16" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR PLAN RCP
3/16" = 1'-0"

- 1 FIRE RATED CEILING ACCESS HATCH
 - 2 EXISTING PLASTER CEILING MEDALION TO BE RESTORED
 - 3 EXPOSED MECHANICAL DUCT, SEE MECHANICAL PACKAGE
 - 4 MECHANICAL GRILL, SEE MECHANICAL PACKAGE
 - 5 NEW PLASTER CEILING MEDALION, MATCH DETAILS FROM EXISTING DOCUMENTED MEDALION
- SPECIFIC NOTES - RCP

LIGHTING FIXTURE SCHEDULE	
Type Mark	Comments
L0	HANGING LIGHT FIXTURE
L1	LED CAN LIGHT
L3	BATHROOM EXHAUST FAN
L4	EXTERIOR SURFACE MOUNTED LIGHT
L5	EXTERIOR ENCASED CAN LIGHT
L6	SURFACE MOUNTED LED LIGHT FIXTURE
L8	LED LINEAR SURFACE LIGHT

- NEW BUILDING ELEMENT
- 2X2 CEILING TILE
- BEADBOARD SOFFIT
- PAINTED GYPSUM BOARD AT UNDERSIDE OF STRUCTURE
- PAINTED GYPSUM BOARD, DROPPED
- C01 CEILING/FLOOR ASSEMBLY TAG
- 1 LIGHTING FIXTURE TAG
- 1'0" CEILING HEIGHT ELEVATION

LEGEND - RCP CEILING TYPE

21_113

DATE

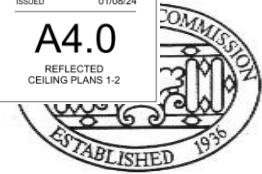
TYPE (SEE CHANGE LOG)

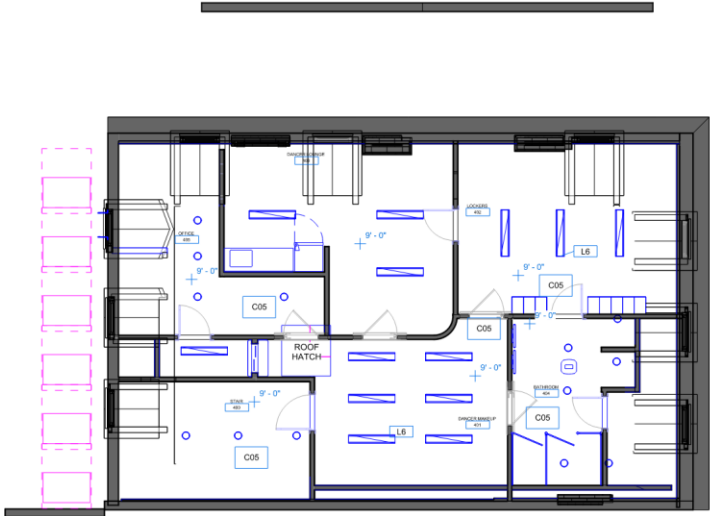


PERMIT SET
ISSUED 01/08/24

A4.0
REFLECTED
CEILING PLANS 1-2

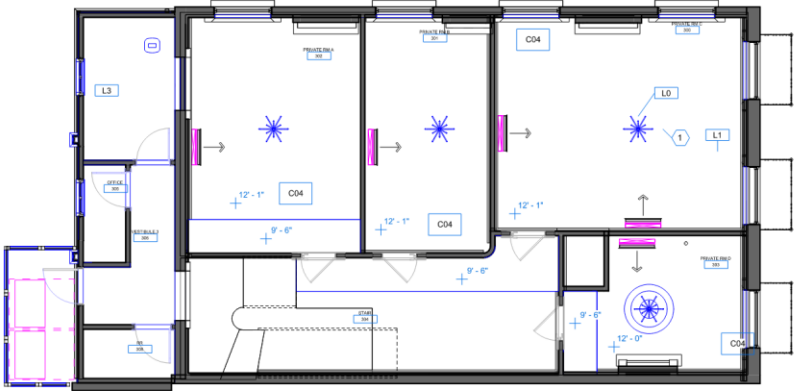
327-329 BOURBON RESTORATION & RENOVATION
327-329 BOURBON ST
NEW ORLEANS, LA 70130





4TH FLOOR

2 | 4TH FLOOR
3/16" = 1'-0"



3RD FLOOR

1 | 3RD FLOOR
3/16" = 1'-0"

- 1 FIRE RATED CEILING ACCESS HATCH
- 2 EXISTING PLASTER CEILING MEDALION TO BE RESTORED
- 3 EXPOSED MECHANICAL DUCT, SEE MECHANICAL PACKAGE
- 4 MECHANICAL GRILL, SEE MECHANICAL PACKAGE
- 5 NEW PLASTER CEILING MEDALION, MATCH DETAILS FROM EXISTING DOCUMENTED MEDALION

SPECIFIC NOTES - RCP

LIGHTING FIXTURE SCHEDULE	
Type Mark	Comments
L0	HANGING LIGHT FIXTURE
L1	LED CAN LIGHT
L3	BATHROOM EXHAUST FAN
L4	EXTERIOR SURFACE MOUNTED LIGHT
L5	EXTERIOR ENCASED CAN LIGHT
L6	SURFACE MOUNTED LED LIGHT FIXTURE
L8	LED LINEAR SURFACE LIGHT

- NEW BUILDING ELEMENT
- 2X2 CEILING TILE
- BEADBOARD SOFFIT
- PAINTED GYPSUM BOARD AT UNDERSIDE OF STRUCTURE
- PAINTED GYPSUM BOARD, DROPPED

- C01 CEILING/FLOOR ASSEMBLY TAG
- 1 LIGHTING FIXTURE TAG
- 1'-0" WP CEILING HEIGHT ELEVATION

LEGEND - RCP CEILING TYPE

21_113

327-329 BOURBON RESTORATION & RENOVATION

327-329 BOURBON ST
NEW ORLEANS, LA 70130

DATE

TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP

3209 BRIMLEY ST. | NO. LA 70115 | (504) 484-4800
WWW.M3DESIGNGROUP.COM

PERMIT SET

ISSUED 01/08/24

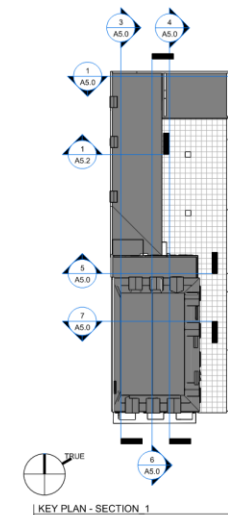
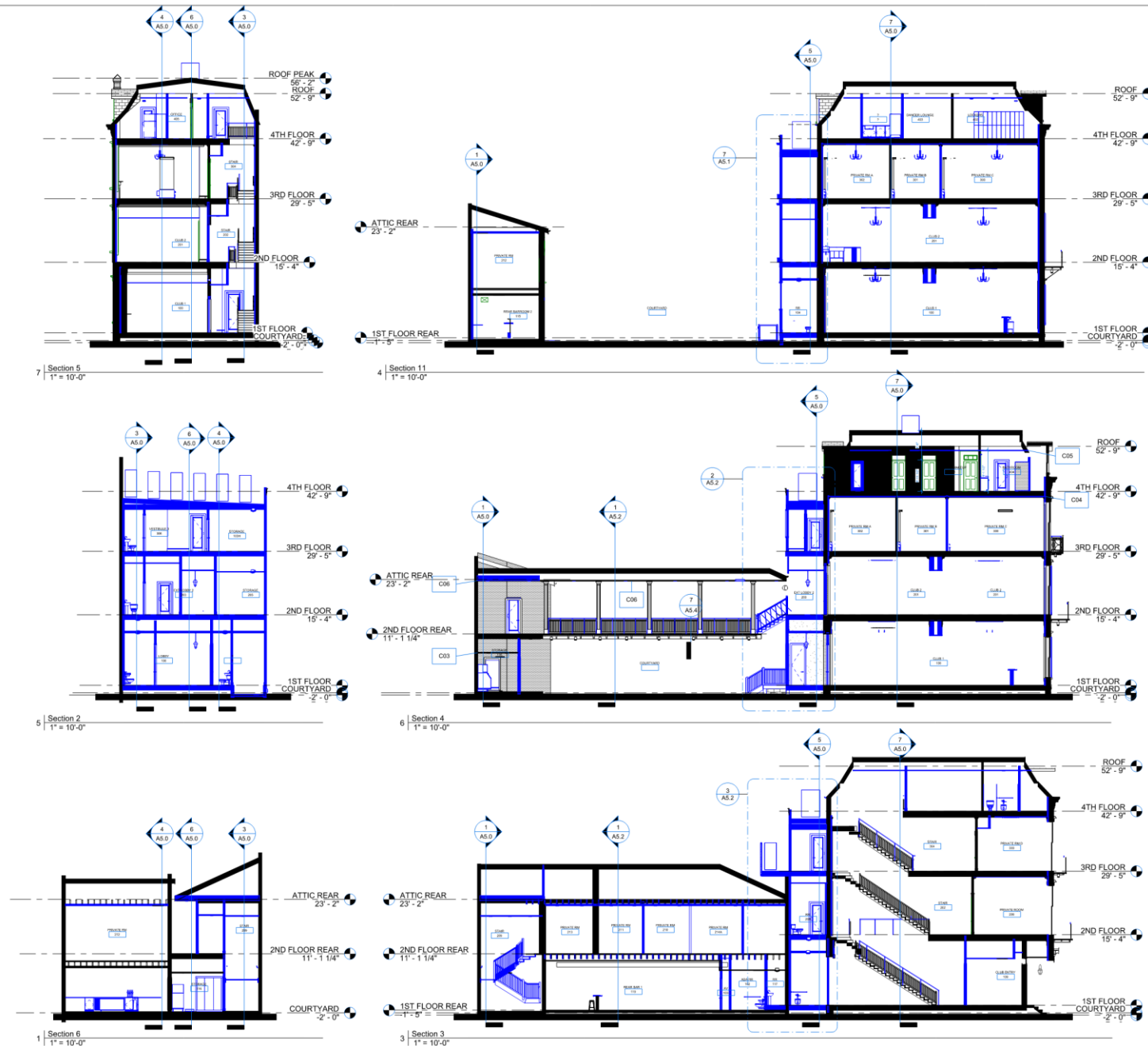
A4.1

REFLECTED
CEILING PLANS 3-4



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VCC Architecture Committee



21_113

DATE

TYPE (SEE CHANGE LOG)

327-329 BOURBON RESTORATION & RENOVATION

327-329 BOURBON ST
NEW ORLEANS, LA 70130



M3 DESIGN GROUP

3238 BARRIS ST. | NO. LA 70115 | (504) 486-8995

WWW.M3DESIGNGROUP.COM

PERMIT SET

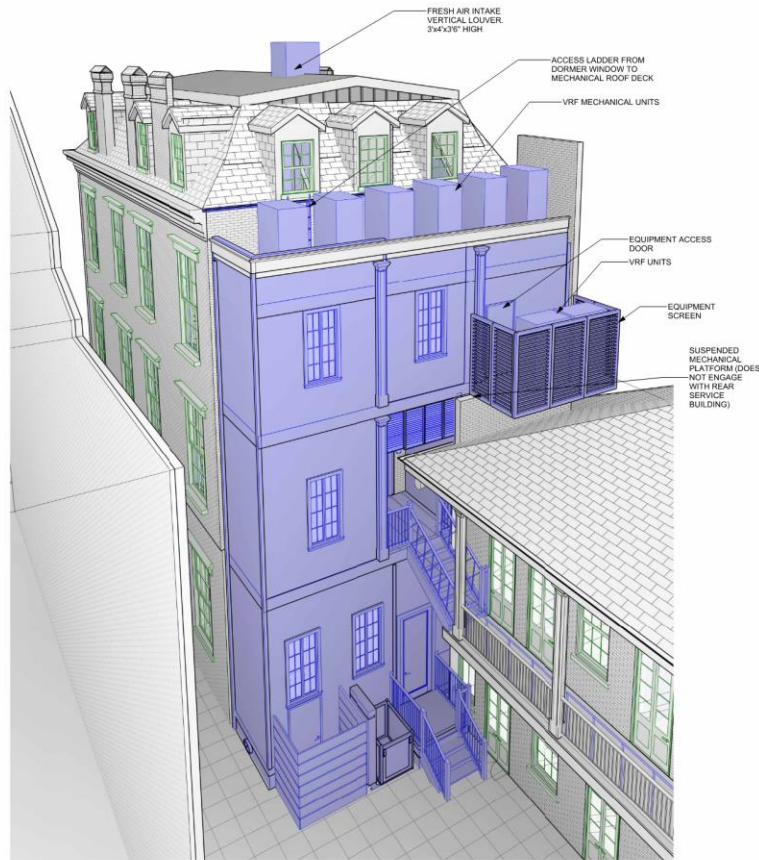
ISSUED 01/08/24

A5.0

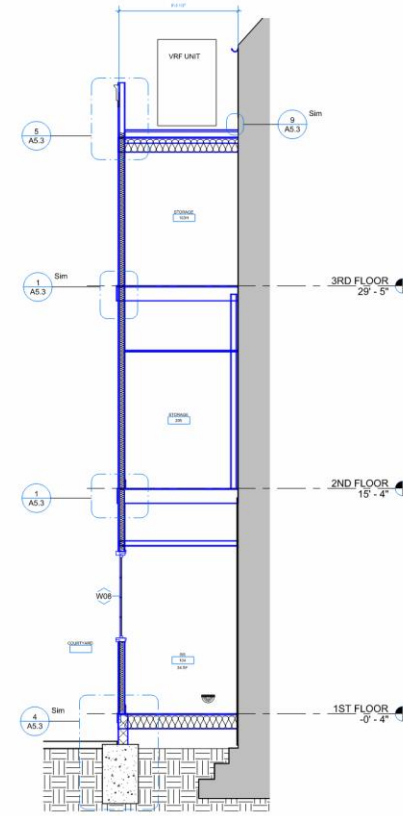
BUILDING SECTIONS



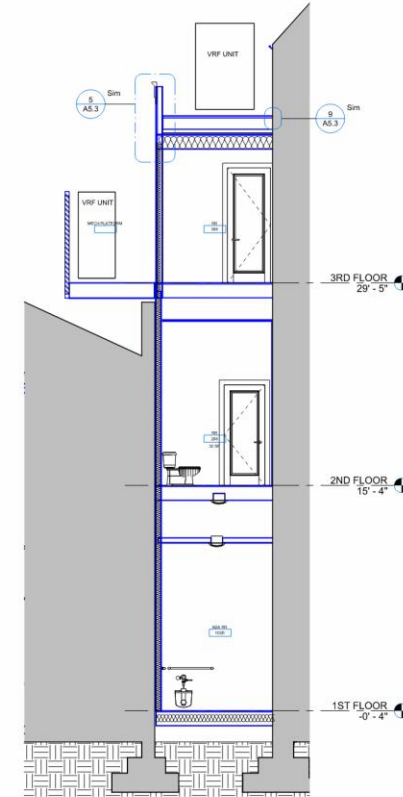
January 23, 2024



1 ROOF RACK - REAR



7 SECTION THROUGH ROOF TOP EQUIPMENT
1/4" = 1'-0"



6 SECTION THROUGH ELEVATOR SHAFT
1/4" = 1'-0"



4 SIGHTLINE STUDY 1
1/16" = 1'-0"



5 SIGHTLINE STUDY 2
1/16" = 1'-0"

21-113

DATE

TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP
5528 BARRIS ST. | NEW ORLEANS, LA 70113 | (504) 885-8800
WWW.M3DESIGNGROUP.COM

PERMIT SET
ISSUED 01/08/24

A5.1
ENLARGED
BUILDING
SECTIONS

327-329 BOURBON RESTORATION & RENOVATION

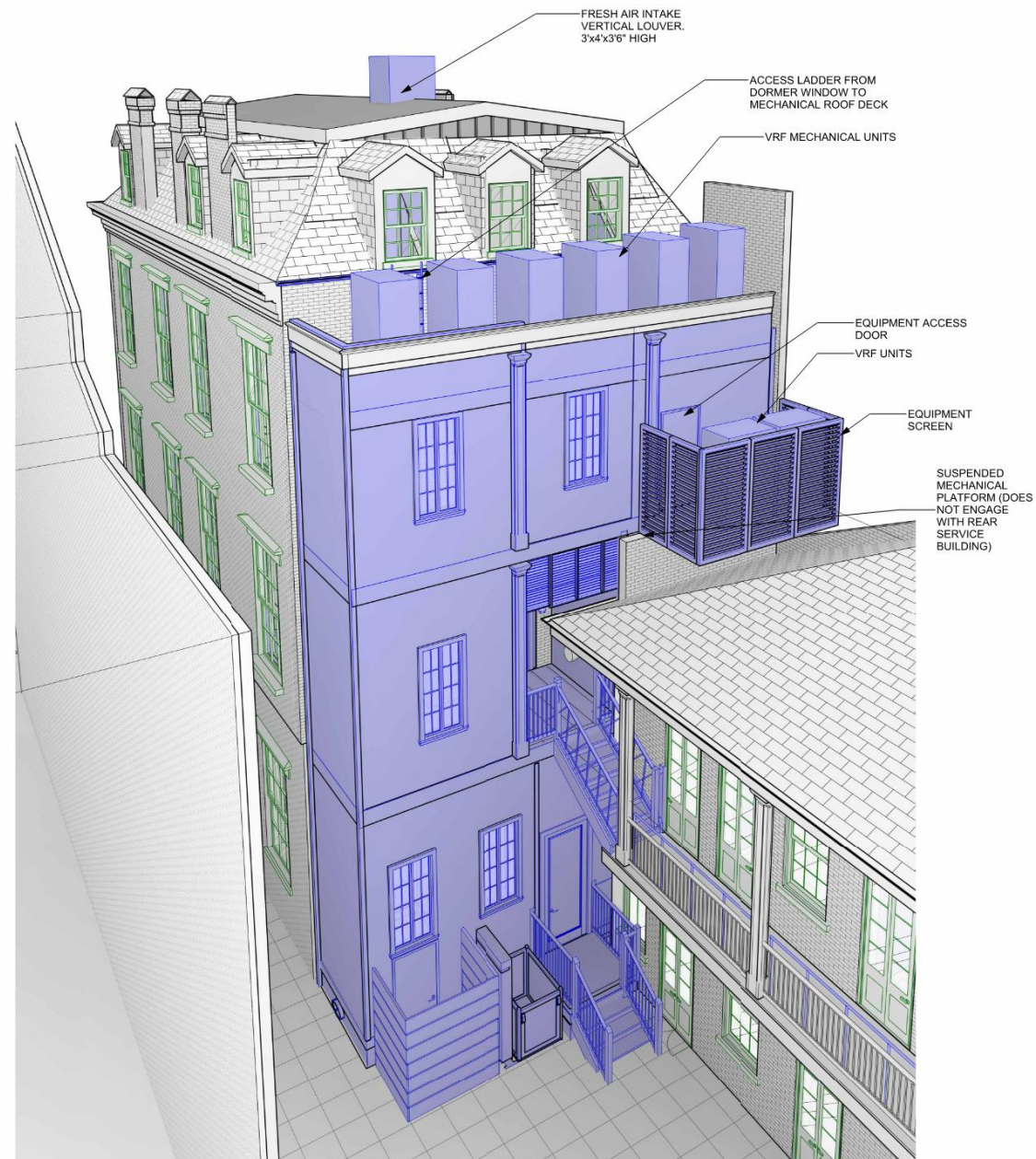
327-329 BOURBON ST
NEW ORLEANS, LA 70130



327 Bourbon

VCC Architecture Committee

January 23, 2024



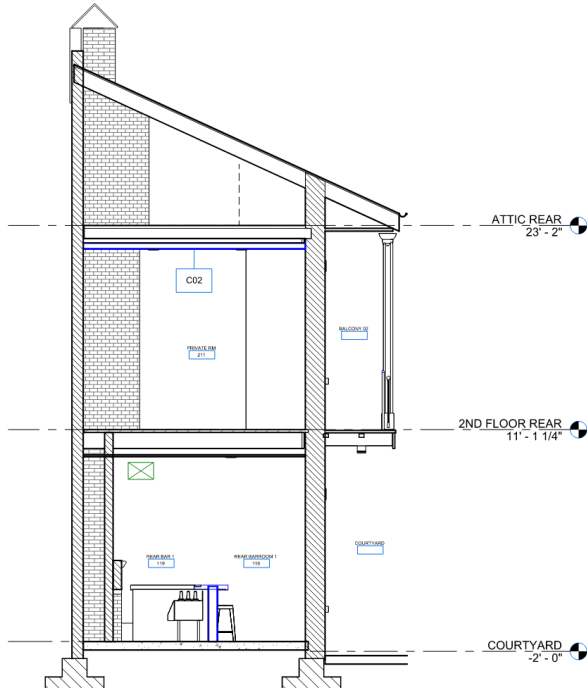
327 Bourbon

VCC Architecture Committee

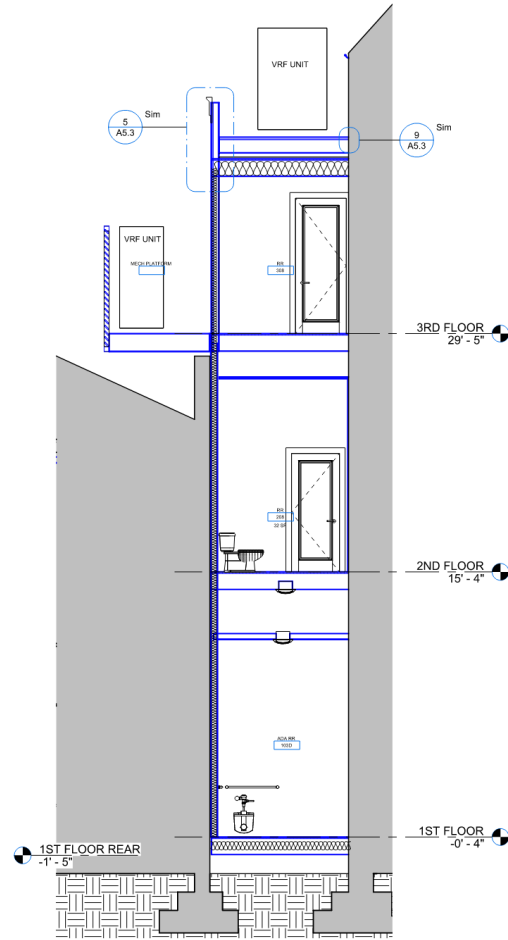
1 | ROOF RACK - REAR

January 23, 2024

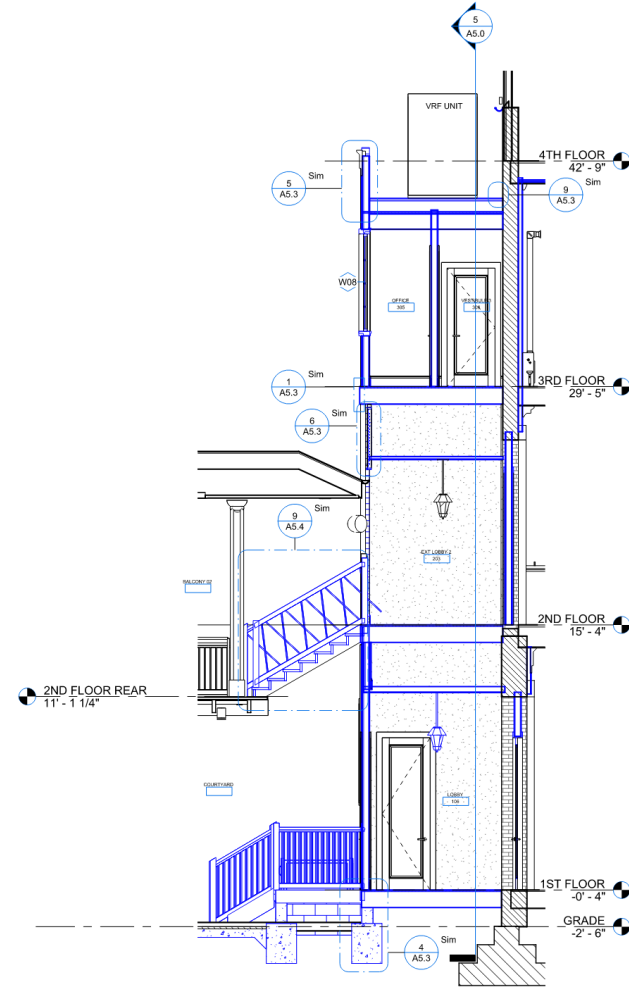




1 | ENLARGED SECTION 3
1/4" = 1'-0"



3 | ENLARGED SECTION 2
1/4" = 1'-0"



2 | ENLARGED SECTION 1
1/4" = 1'-0"

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January 23, 2024

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327-329 BOURBON RESTORATION & RE
327-329 BOURBON ST
NEW ORLEANS, LA 70130

TYPE (SEE CHANGE LOG) DATE

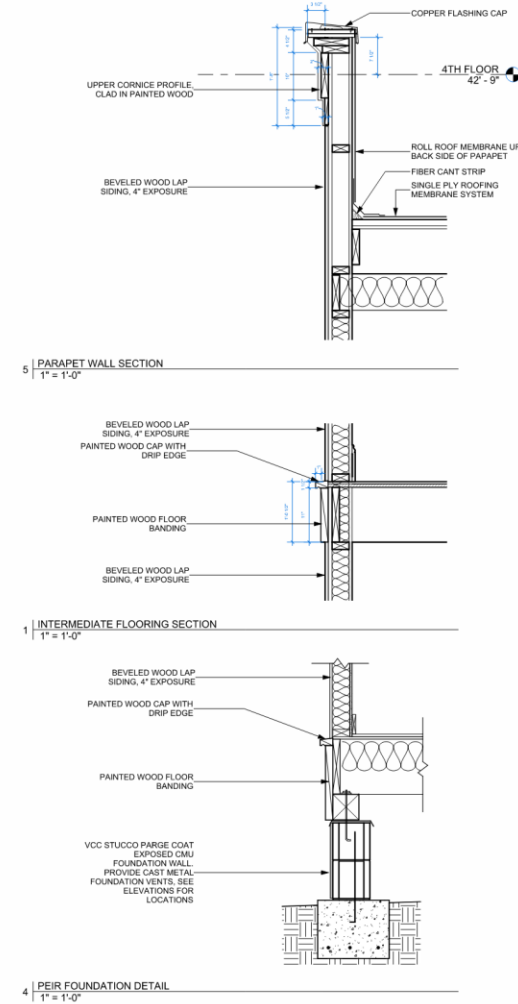
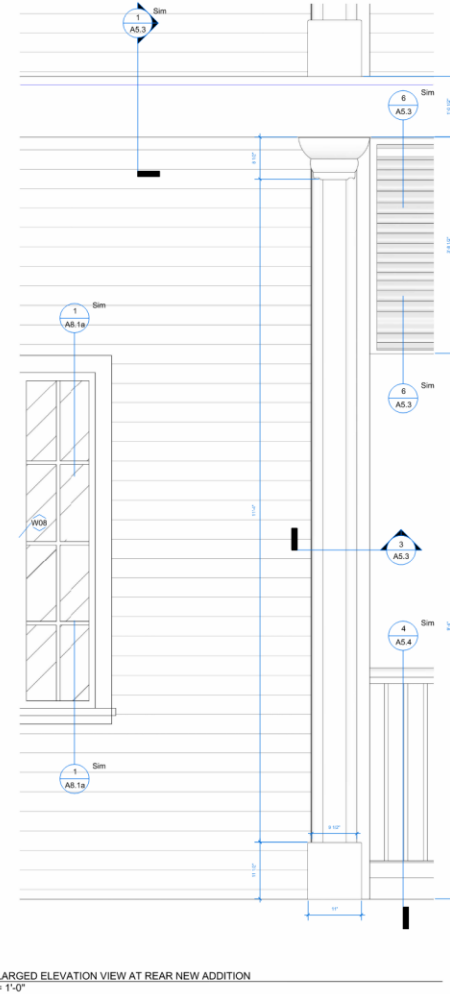
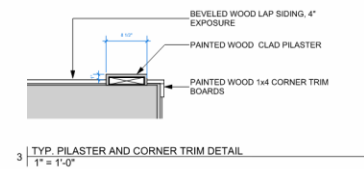
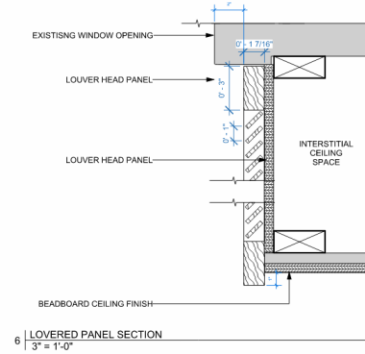
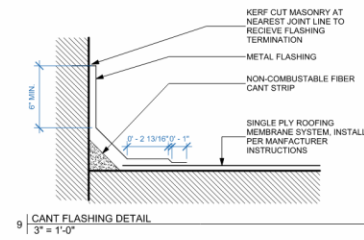
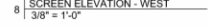
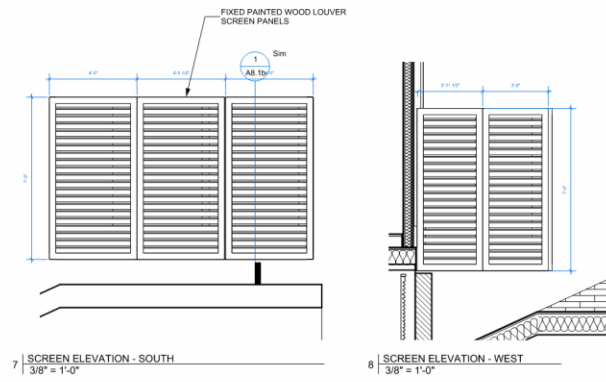


M3 DESIGN GROUP
3328 BARRIS ST. | NO. LA 70119 | (504)945-8959
WWW.M3DESIGNGROUP.COM

PERMIT SET
ISSUED 01/08/24

A5.2
ENLARGED
BUILDING
SECTIONS





#	TYPE (SEE CHANGE LOG)	DATE
		21_113



M3 DESIGN GROUP
3328 BANKS ST | NO. LA 70119 | (504)345-8950
WWW.M3-DESIGN-GROUP.COM

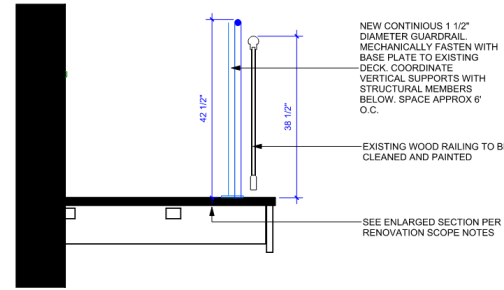
PERMIT SET

ISSUED **01/08/24**

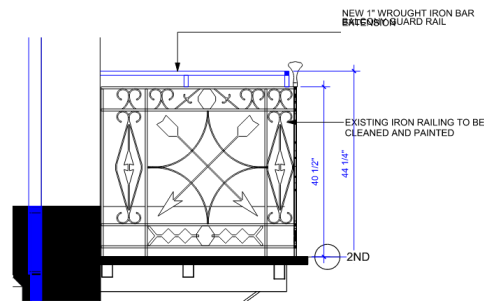
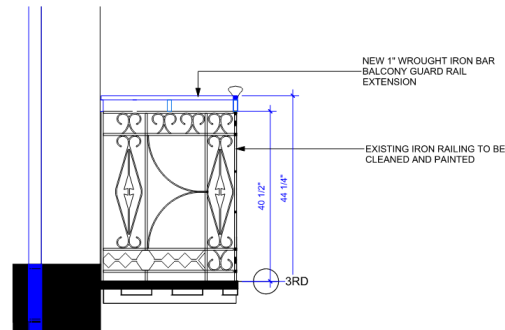
A5.3 ENLARGED WALL & BUILDING DETAILS

327-329 BOURBON RESTORATION & RENOVATION
327-329 BOURBON ST
NEW ORLEANS, LA 70130

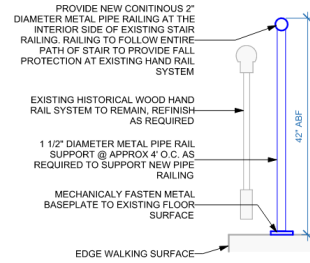




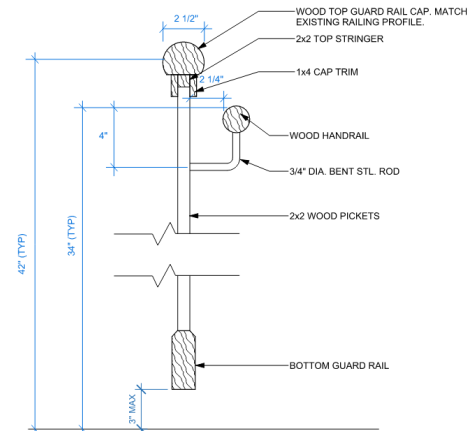
7 | REAR BALCONY NEW GAURDRAIL
3/4" = 1'-0"



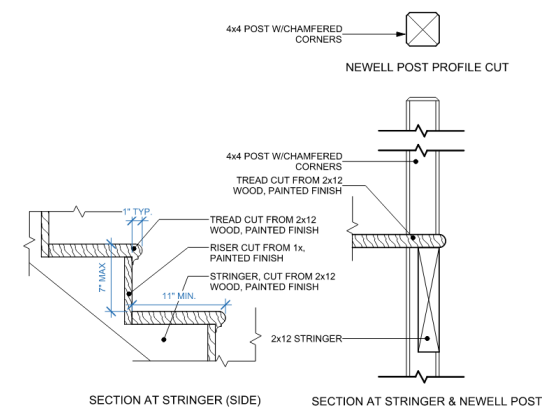
3 | FRONT FACADE RAILING EXTENTSIONS
3/4" = 1'-0"



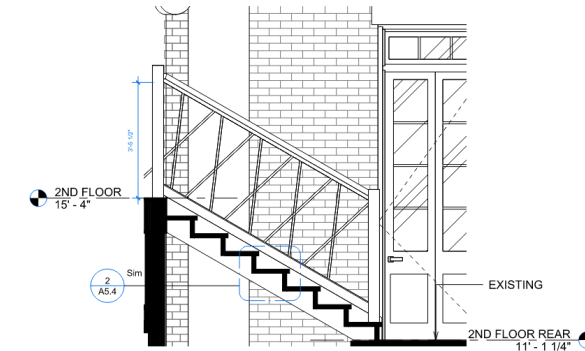
6 | EXISTING STAIR RAILING ADDITION
6" = 1'-0"



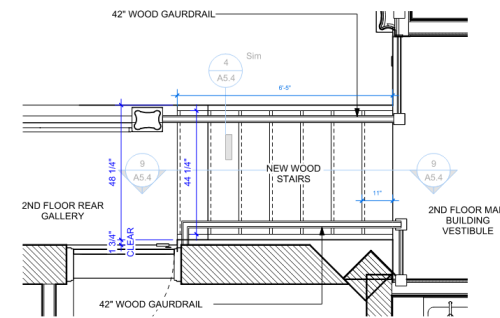
4 | WOOD GUARDRAIL W/ HANDRAIL
1/2" = 1'-0"



2 | DETAIL STAIR CONSTRUCTION1
6" = 1'-0"



9 | 2ND FLOOR EXTERIOR STAIR SECTION
1/2" = 1'-0"



8 | 2ND FLOOR GALLERY STAIR
1/2" = 1'-0"

21_113
327-329 BOURBON RESTORATION & R
327-329 BOURBON ST
NEW ORLEANS, LA 70130

#	TYPE (SEE CHANGE LOG)	DATE



PERMIT SET
ISSUED 01/08/24

A5.4
STAIR & RAIL
DETAILS



327 Bourbon

VCC Architecture Committee

January 23, 2024



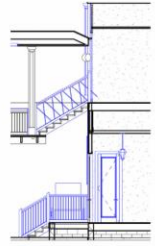
6 | PLAN SOUTH REAR COURTYARD ELEVATION PROPOSED
1/8" = 1'-0"



4 | PLAN NORTH ELEVATION PROPOSED
1/8" = 1'-0"



1 | PLAN SOUTH ELEVATION PROPOSED
1/8" = 1'-0"



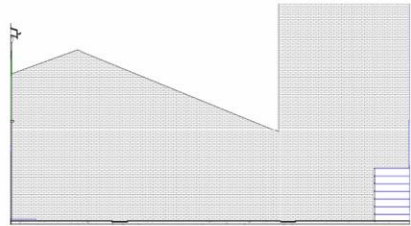
8 | EXT VESTIBULE - EAST
1/8" = 1'-0"



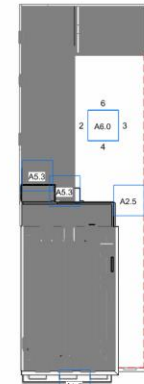
10 | EXT VESTIBULE - NORTH
1/8" = 1'-0"



7 | EXT VESTIBULE - WEST
1/8" = 1'-0"



2 | PLAN EAST ELEVATION PROPOSED
1/8" = 1'-0"



KEY PLAN - ELEVATION PROPOSED

21_113
327-329 BOURBON RESTORATION & RENOVATION
327-329 BOURBON ST
NEW ORLEANS, LA 70130

#	TYPE (SEE CHANGE LOG)	DATE



M3 DESIGN GROUP

3228 BARBO ST. | NO. LA 70119 | (504) 461-4600
WWW.M3DESIGNGROUP.COM

PERMIT SET

ISSUED 01/08/24

A6.0
EXTERIOR
ELEVATIONS

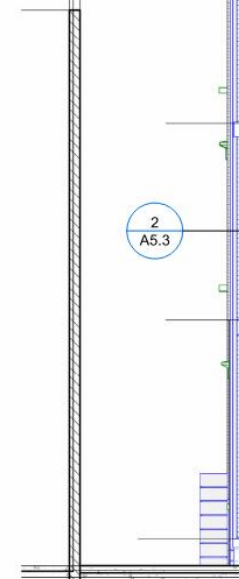


327 Bourbon
VCC Architecture Committee

January 23, 2024



6 | PLAN SOUTH REAR COURTYARD ELEVATION PROPOSED
1/8" = 1'-0"



4 | PLAN NORTH ELEVATION
1/8" = 1'-0"



7 | VESTIBULE - NORTH | EXT VESTIBULE - WEST
1/8" = 1'-0"

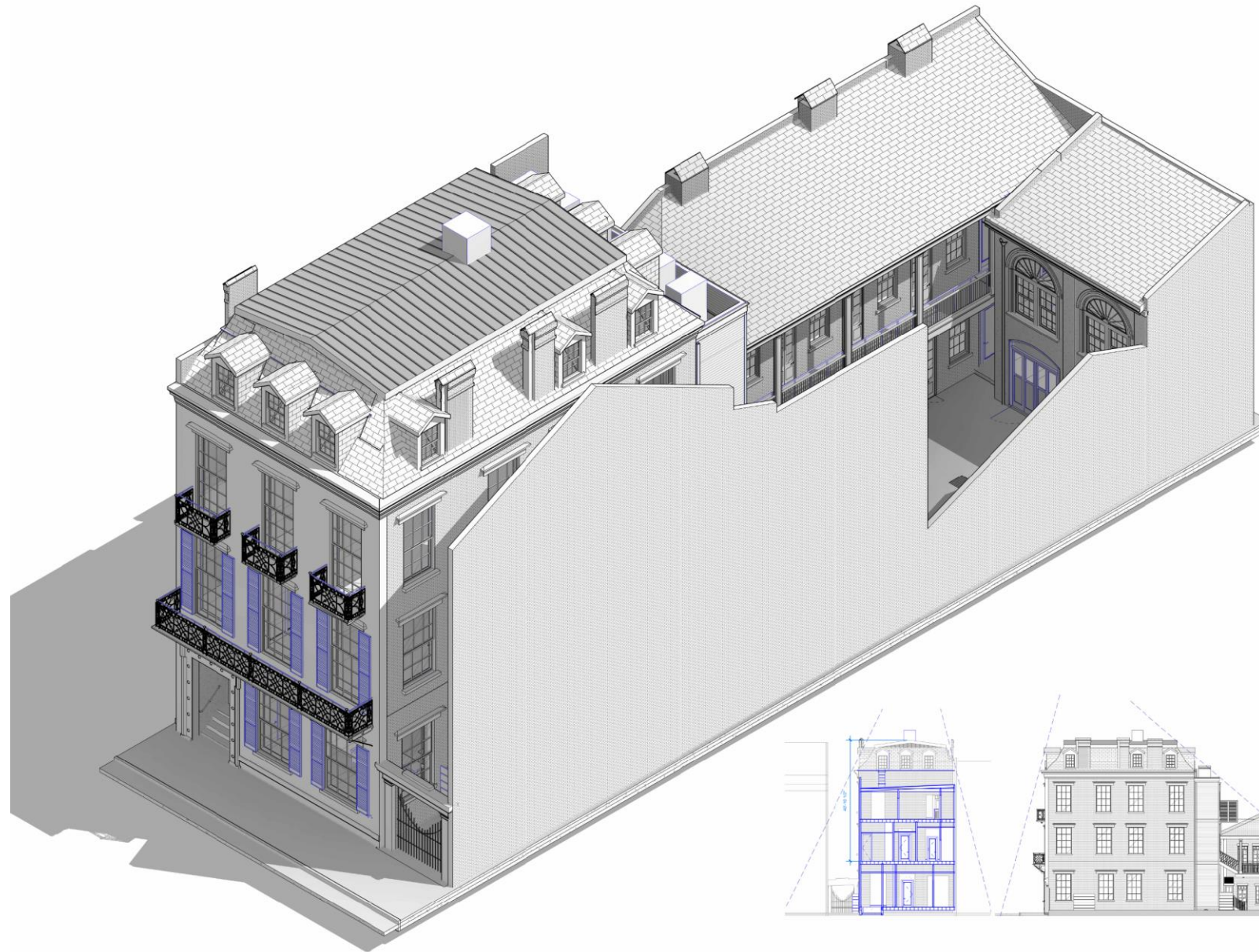


327 Bourbon

VCC Architecture Committee

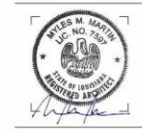
January 23, 2024





■ PROPOSED WORK
LEGEND - PERSPECTIVE

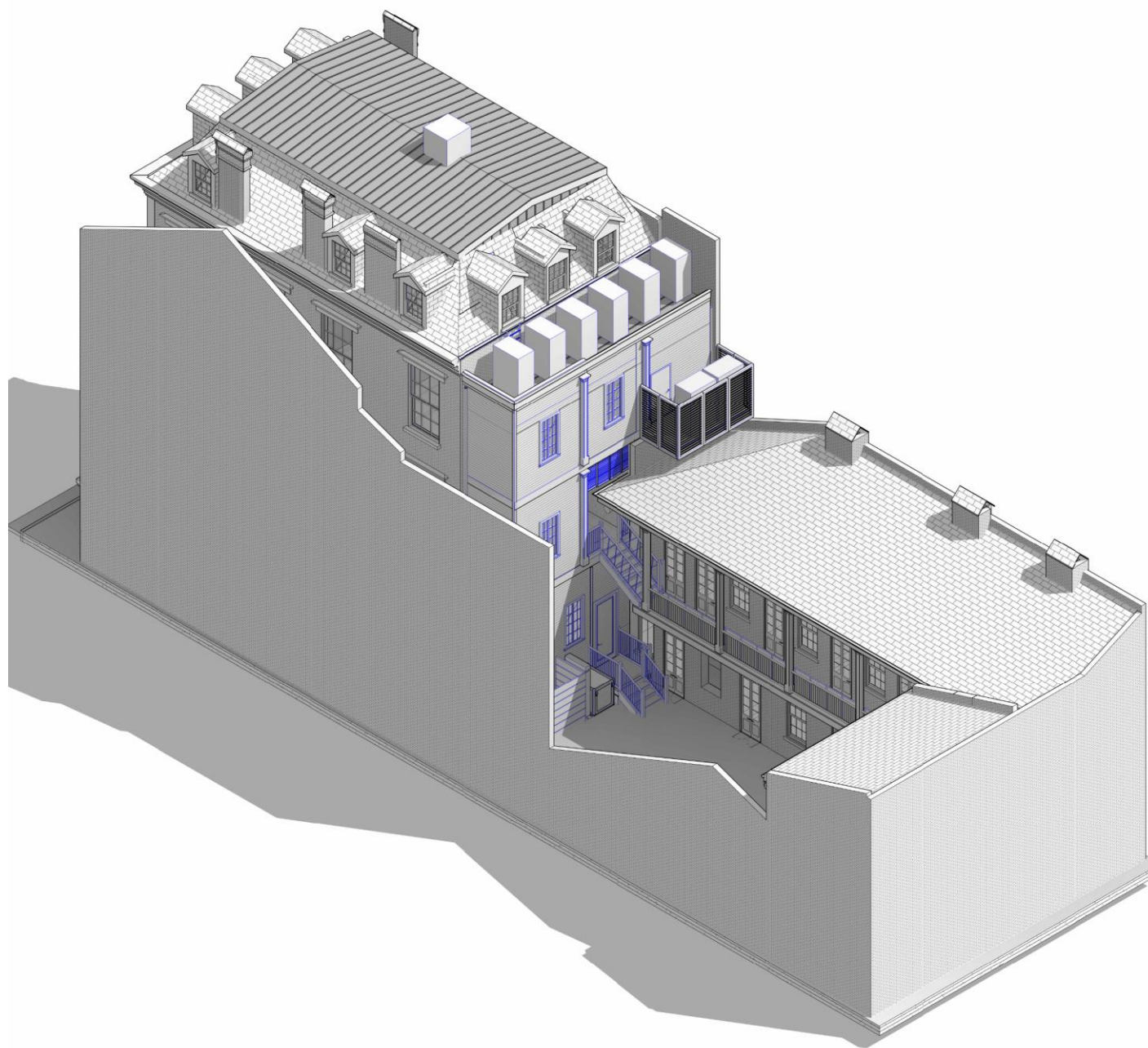
21_113
DATE
TYPE (SEE CHANGE LOG)
327-329 BOURBON RESTORATION & RENOVATION
327-329 BOURBON ST
NEW ORLEANS, LA 70130



PERMIT SET
ISSUED 01/08/24

A6.1
EXTERIOR AXON





327 Bourbon

VCC Architecture Committee

PROPOSED WORK
LEGEND - PERSPECTIVE

21_113
327-329 BOURBON RESTORATION & RENOVATION
327-329 BOURBON ST
NEW ORLEANS, LA 70130

#	TYPE (SEE CHANGE LOG)	DATE



M3 DESIGN GROUP
2225 BARRIS ST. | NEW ORLEANS, LA 70112 | (504) 586-8800
WWW.M3DESIGNGROUP.COM

PERMIT SET
ISSUED 01/08/24

A6.2
EXTERIOR AXON



January 23, 2024



327 Bourbon

VCC Architecture Committee

■ PROPOSED WORK
LEGEND - PERSPECTIVE

21.113

DATE

TYPE (SEE CHANGE LOG)

327-329 BOURBON RESTORATION & RENOVATION
327-329 BOURBON ST
NEW ORLEANS, LA 70130



PERMIT SET
ISSUED 01/08/24

A6.3
EXT
PERSPECTIVES
COURTYARD



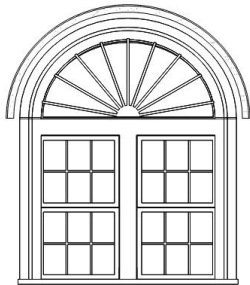
January 23, 2024



EXTERIOR

INTERIOR

TYPE MARK W03	WOOD, 6 OVER 6 DOUBLE HUNG	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPE/KIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT
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EXTERIOR



INTERIOR

TYPE MARK W05		EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPE/KIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT
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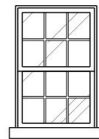
WINDOW TYPES - REPAIR IN PLACE



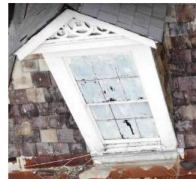
EXTERIOR

INTERIOR

TYPE MARK W04	WOOD, CASEMENT	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPE/KIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT
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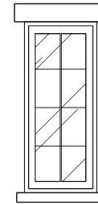


EXTERIOR

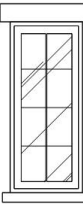


INTERIOR

TYPE MARK W06	WOOD, DOUBLE HUNG	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPE/KIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT
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EXTERIOR



INTERIOR

TYPE MARK W07	WOOD, CASEMENT	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPE/KIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT
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CONTRACTOR MUST PROVIDE DOOR/WINDOW WOOD FABRICATION SHOP DRAWINGS

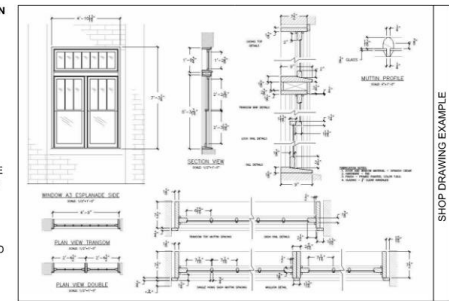
THESE SHOP DRAWINGS MUST BE APPROVED BY THE ARCHITECT AND NEW ORLEANS VIEUX CARRE COMMISSION (V.C.C.) COMPLETE WITH OFFICIAL STAMPS PRIOR TO THE FABRICATION OR INSTALLATION OF ANY UNITS.

WINDOW DESIGN AND DIMENSIONS:

PROVIDE DETAILED SHOP DRAWINGS MATCHING THE EXISTING HISTORICAL WINDOW DESIGN, INCLUDING MEASUREMENTS FOR HEIGHT, WIDTH, AND THICKNESS OF THE FRAME, SASHES, PROFILES, MOLDING, AND MUTINS AS APPLICABLE. SPECIFY THE TYPE OF WINDOW (E.G., DOUBLE-HUNG, CASEMENT, FIXED) AND THE NUMBER OF PANE (S) (IF APPLICABLE). ALL GLAZING TO BE 1/8" CLEAR. NEW UNITS SHOULD FIT EXISTING OPENINGS.

MATERIALS:

STATE THE TYPE OF WOOD SPECIES TO BE USED FOR THE NEW CUSTOM WINDOWS. THIS SHOULD MATCH THE WOOD SPECIES USED IN THE HISTORICAL WINDOWS TO MAINTAIN CONSISTENCY AND AUTHENTICITY. SPECIFY ANY OTHER MATERIALS REQUIRED FOR CONSTRUCTION, SUCH AS HARDWARE, GLAZING, AND WEATHERSTRIPPING.



WOOD AND DOOR SHOP DRAWING REQUIREMENTS

21_113

DATE

TYPE (SEE CHANGE LOG)

#

327-

327-230 BK
NEW ORL



M3 DESIGN GROUP

3338 BANKS ST | NO. LA 70115 | (504) 445-8950
WWW.M3DESIGNGROUP.COM

PERMIT SET

ISSUED 01/08/24

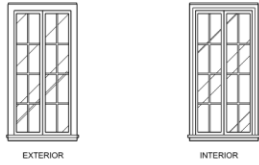
A8.1
WINDOWS
SCHEDULES &
ELEVATIONS

327 Bourbon

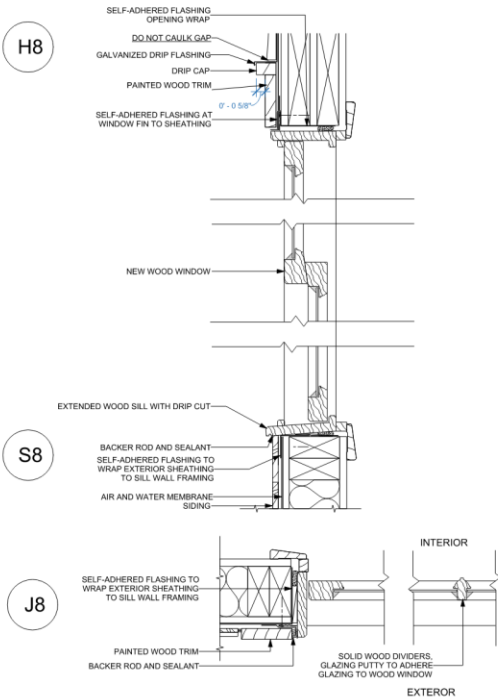
VCC Architecture Committee

January 23, 2024

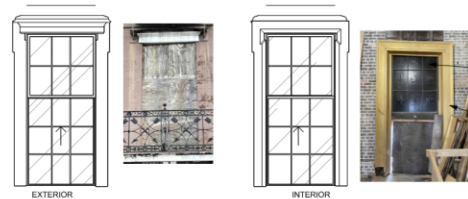




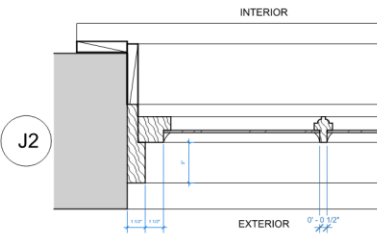
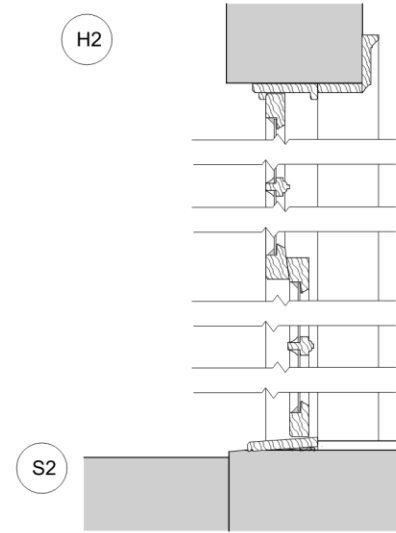
TYPE MARK	WOOD CASMENT	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE TYPE AND KIND. PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT.
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1 WINDOW DETAILS - NEW UNIT, WOOD DBL HUNG, EXISTING OPENING 3" = 1'-0"



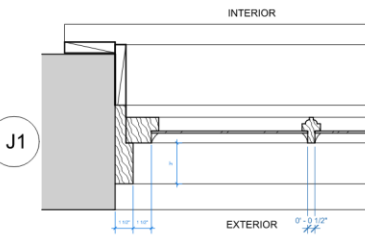
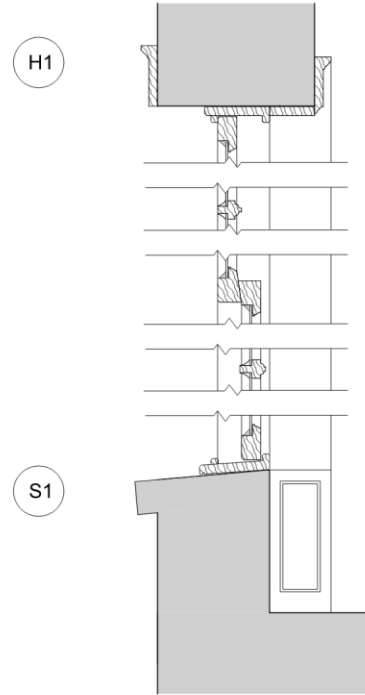
TYPE MARK	WOOD, 4 OVER 9 SINGLE HUNG	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE TYPE AND KIND. PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT.
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3 WINDOW J2 H2 S2 3" = 1'-0"



TYPE MARK	WOOD, 4 OVER 4 DOUBLE HUNG	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE TYPE AND KIND. PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT.
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2 WINDOW J1 H1 S1 3" = 1'-0"



21_113
327-329 BOURBON ST.
NEW ORLEANS, LA 70130

#	TYPE (SEE CHANGE LOG)	DATE

M3 DESIGN GROUP
3229 BROAD ST. #201, LA 70118 | 504-586-8888
WWW.M3DESIGNGROUP.COM

PERMIT SET
ISSUED 01/08/24

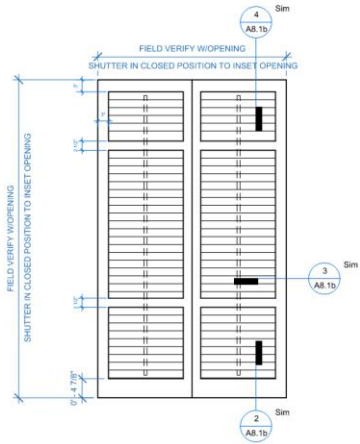
A8.1a
WINDOWS
DETAILS



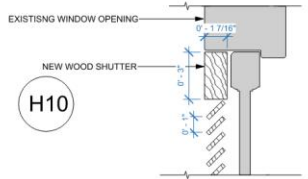
327 Bourbon

VCC Architecture Committee

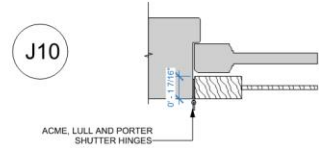
January 23, 2024



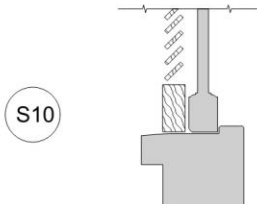
1 | SHUTTER ELEVATION
3/4" = 1'-0"



4 | SHUTTER - HEAD
3" = 1'-0"



3 | SHUTTER - JAMB
3" = 1'-0"



2 | SHUTTER - SILL S10
3" = 1'-0"

21_113

DATE

TYPE (SEE CHANGE LOG)

#

DATE

TYPE (SEE CHANGE LOG)

#

DATE

TYPE (SEE CHANGE LOG)

#

DATE

TYPE (SEE CHANGE LOG)

#

DATE

TYPE (SEE CHANGE LOG)

#

DATE

327-329 BOURBON RESTORATION & RENOVATION

327-329 BOURBON ST
NEW ORLEANS, LA 70130



M3 DESIGN GROUP
2020 BARRIS ST. #100, LA 70119 | (504) 585-8880
WWW.M3DESIGNGROUP.COM

PERMIT SET

ISSUED 01/08/24

A8.1b
WINDOWS
DETAILS

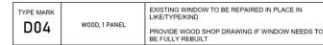
327 Bourbon
VCC Architecture Committee

January 23, 2024





NEW DOOR AT SERVICE ELLE



NEW DOOR AT STUCCO EXTERIOR VESTIBULE,
REAR ENTRY



NEW DOOR AT REAR CARRIAGE BUILDING

21_113

DATE _____

TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP

PERMIT SET

ISSUED	01/08/24
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A8.2a

DOOR DETAILS -
EXTERIOR

327 Bourbon

VCC Architecture Committee

January 23, 2024



TYPE MARK	WOOD, 4 PANEL W/TRANSOM	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT	TYPE MARK	WOOD, CASED W/TRANSOM	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT	TYPE MARK	METAL, ELEVATOR	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT	TYPE MARK	INTERIOR CASED OPENING	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT	TYPE MARK	WOOD, SINGLE HUNG W/ 4 LITE TRANSOM & SIDE LIGHTS	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT
TYPE MARK	WOOD, 1 PANEL, EXTERIOR	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT	TYPE MARK	WD, 2 PANEL W TRANSOM SINGLE HUNG	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT	TYPE MARK	METAL, INTERIOR DOUBLE, FLAT PANEL	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT	TYPE MARK	WD, 2 PANEL	EXISTING WINDOW TO BE REPAIRED IN PLACE IN LIKE/TYPEKIND PROVIDE WOOD SHOP DRAWING IF WINDOW NEEDS TO BE FULLY REBUILT			

DOOR ELEVATIONS
1/4" = 1'-0"

TYPE (SEE CHANGE LOG) DATE

M3 DESIGN GROUP
3328 BANKS ST | NO. LA 70119 | (504) 445-8950
WWW.M3DESIGNGROUP.COM

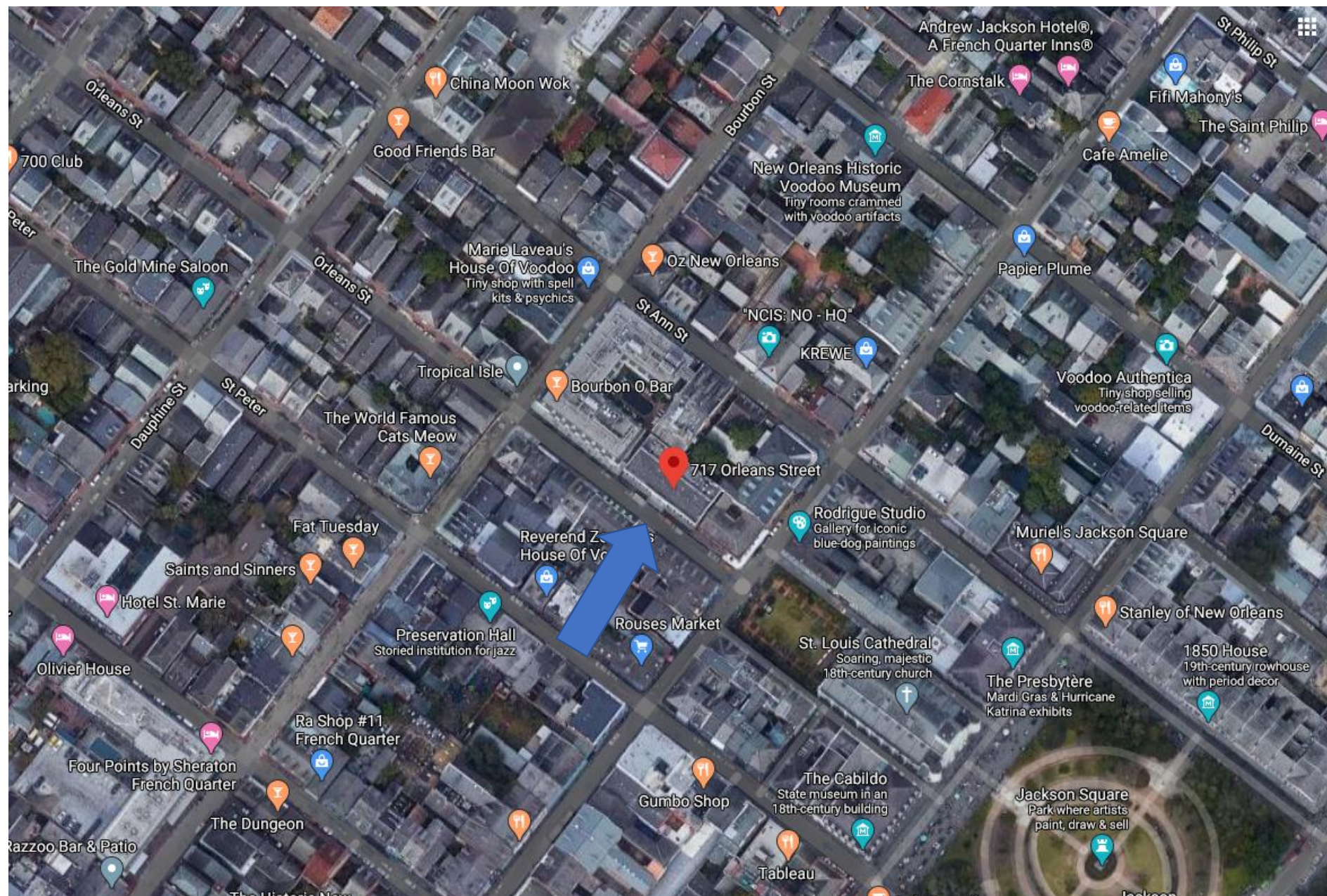
PERMIT SET

ISSUED 01/08/24

A8.3
DOOR
SCHEDULES -
INTERIOR

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" along the bottom arc.

717 Orleans



717 Orleans

VCC Architecture Committee

January 23, 2024





717 Orleans – ca. 1900

VCC Architecture Committee

January 23, 2024





717 Orleans – ca. 1940s

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January 23, 2024





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January 23, 2024





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January 23, 2024





4 EXISTING ELEVATION
SCALE: 1/4" = 1'-0"

717 Orleans – Existing Conditions

VCC Architecture Committee

January 23, 2024





2 PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

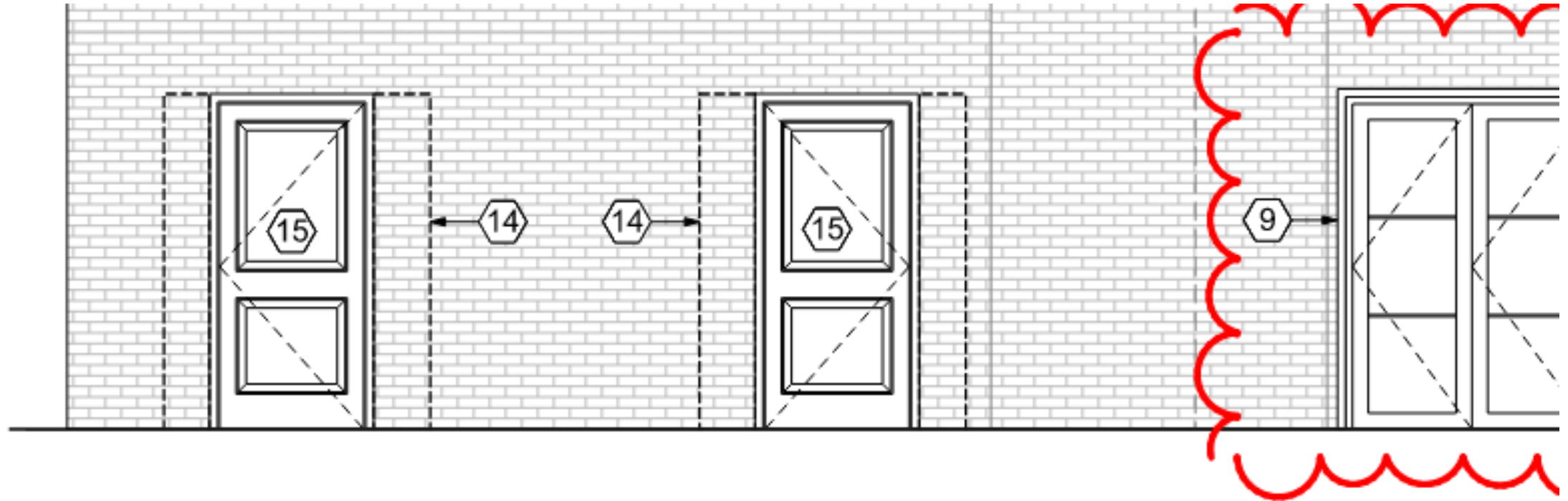
REVISED DOOR DESIGN (OPTION ONE)

717 Orleans – Previously Approved Plans

VCC Architecture Committee

January 23, 2024





2

PROPOSED ELEVATION

SCALE: 1/4" = 1'-0"

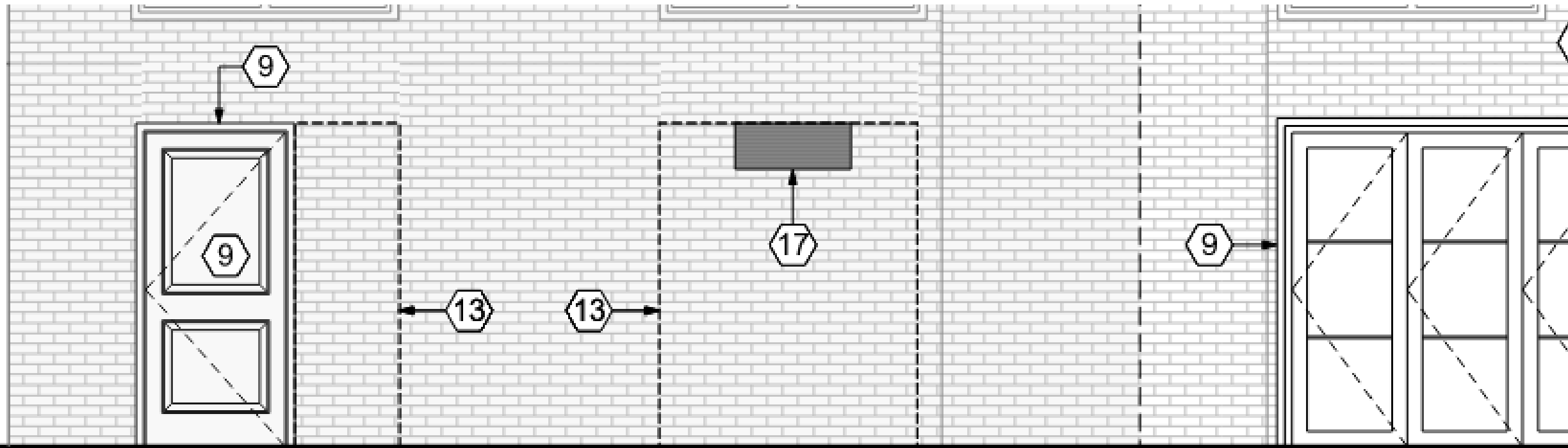


717 Orleans – Current Proposal

VCC Architecture Committee

January 23, 2024

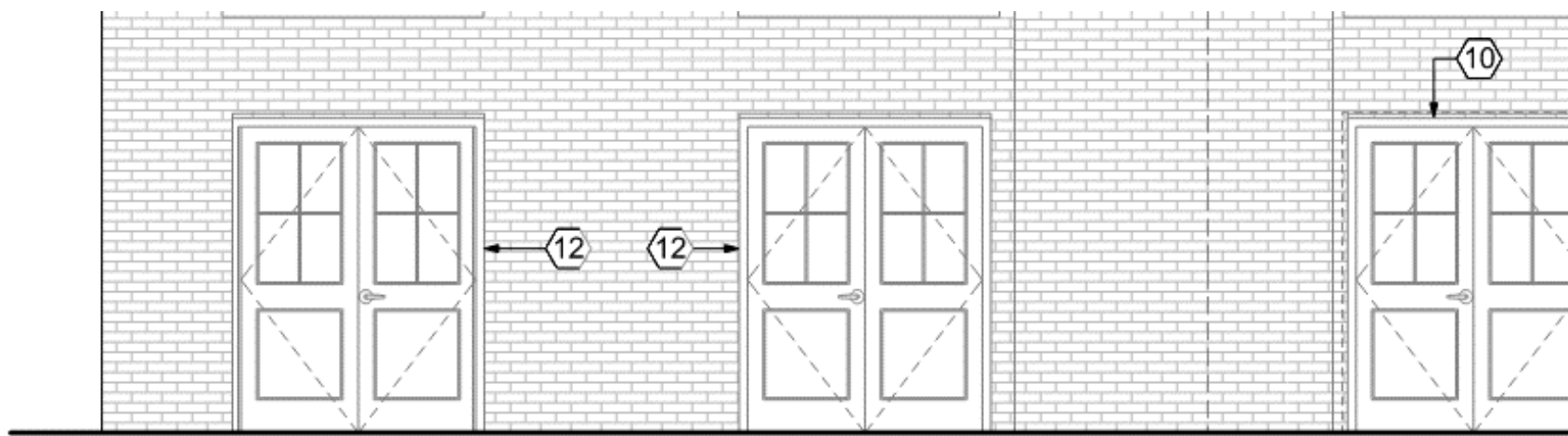




3

PROPOSED COURTYARD ELEVATION

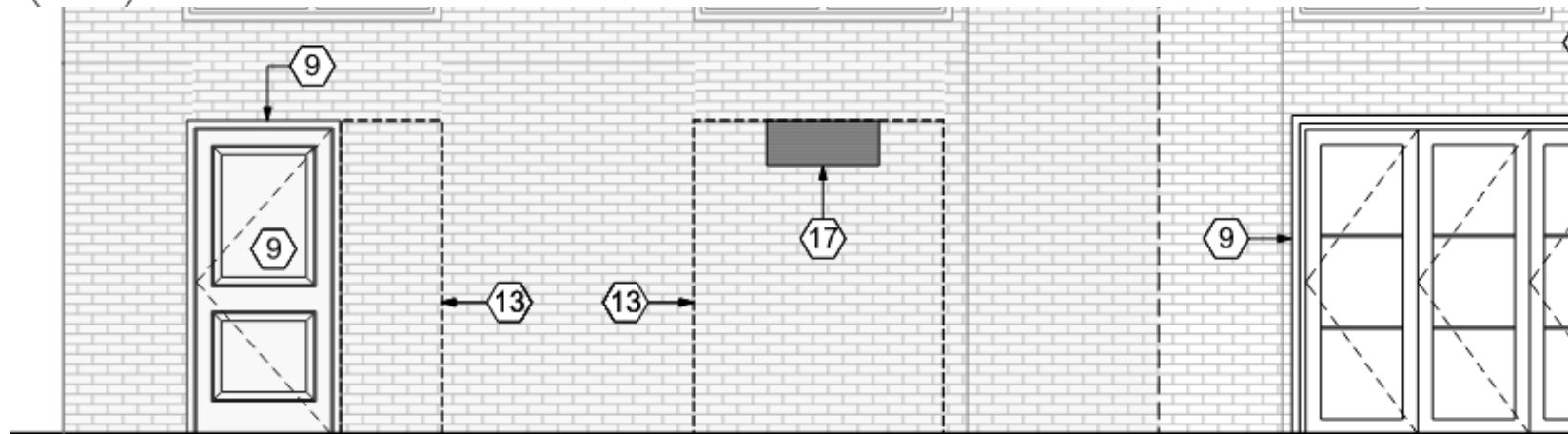
SCALE: 1/4" = 1'-0"



4

EXISTING ELEVATION

SCALE: 1/4" = 1'-0"



3

PROPOSED COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"

717 Orleans

VCC Architecture Committee

January 23, 2024





520 Burgundy



520 Burgundy

VCC Architectural Committee

January 23, 2024





520 Burgundy

VCC Architectural Committee

January 23, 2024





520 Burgundy

VCC Architectural Committee

January 23, 2024





520 Burgundy

VCC Architectural Committee

January 23, 2024





520 Burgundy

VCC Architectural Committee

January 23, 2024





520 Burgundy

VCC Architectural Committee

January 23, 2024





520 Burgundy

VCC Architectural Committee

January 23, 2024



520 Burgundy
VCC Architectural Committee



January 23, 2024



520 Burgundy
VCC Architectural Committee



January 23, 2024





520 Burgundy

VCC Architectural Committee

January 23, 2024





520 Burgundy

VCC Architectural Committee

January 23, 2024



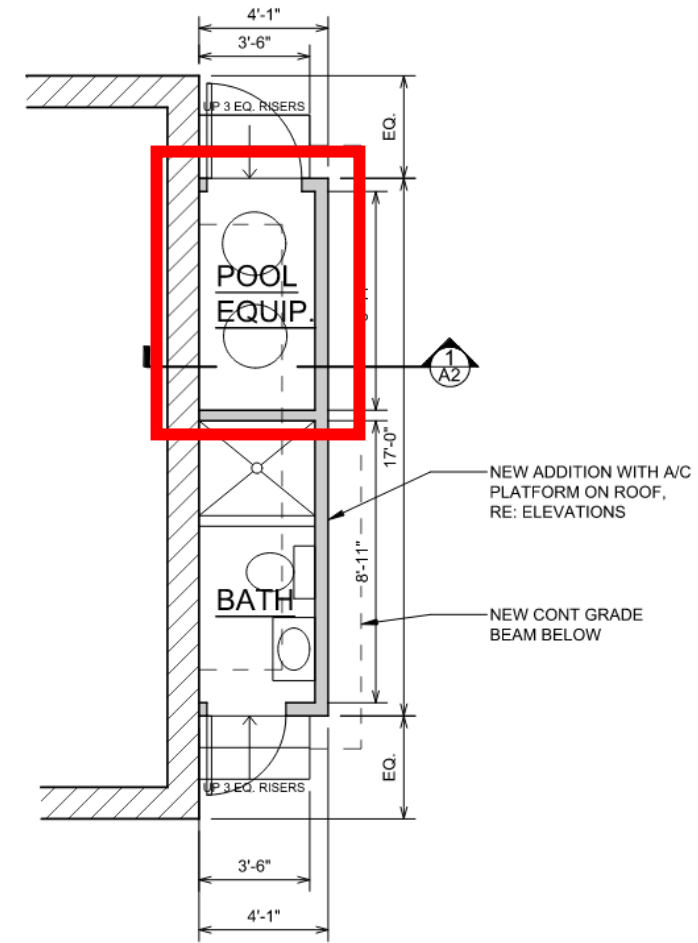
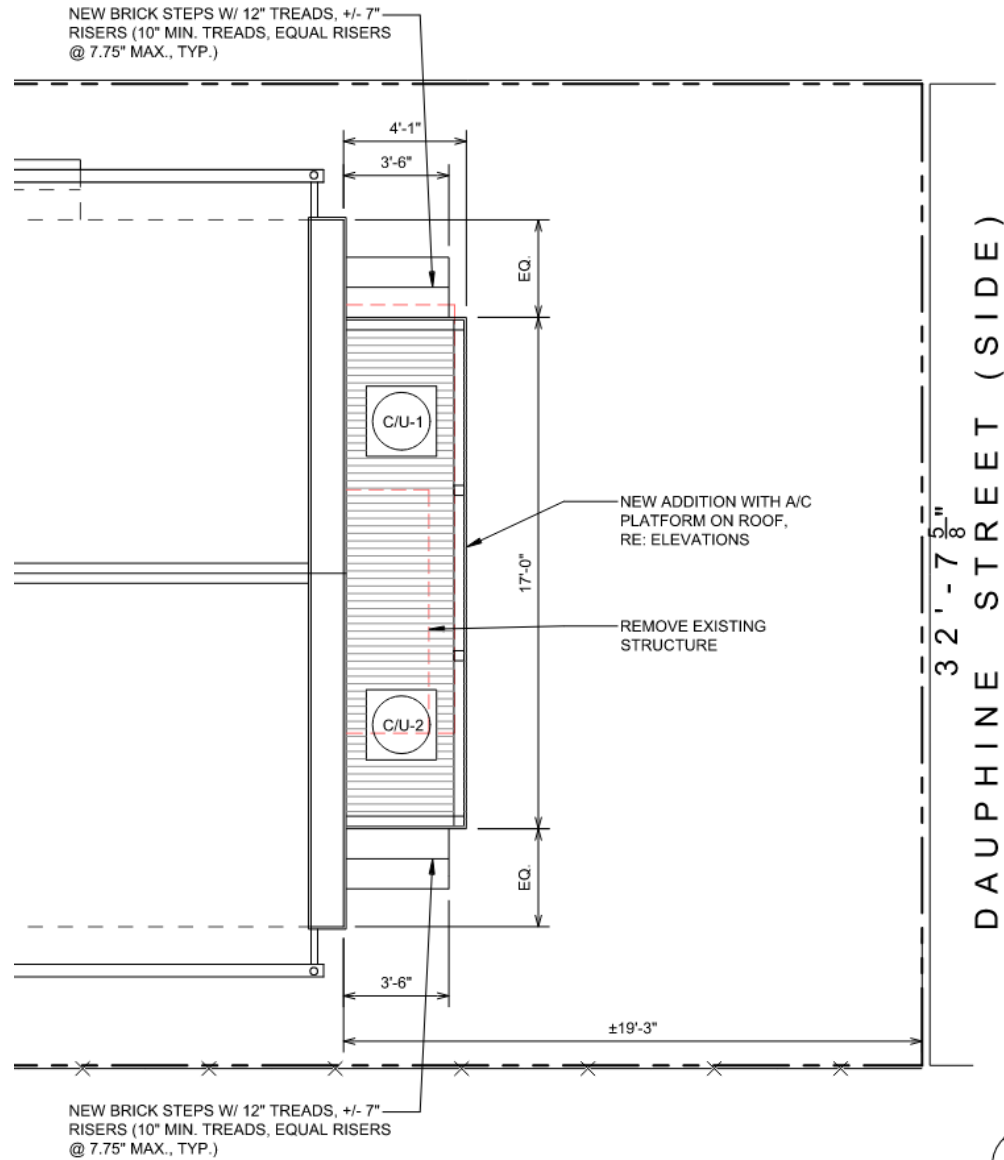


520 Burgundy

VCC Architectural Committee

January 23, 2024





PARTIAL FLOOR PLAN @ ADDITION
SC: 1/4" = 1'-0"



LA. POOLS & SPAS INC.
2323 W. Bainbridge, 13B
Kenner, LA 70062

NOTICE OF CANCELLATION

8.21.23
DATE

You may cancel this transaction, without any penalty or obligation, within three business days from the above date.

If you cancel, any property traded in, any payments made by you under the contract or sales, and any negotiable instrument executed by you will be returned within 10 days following receipt by the seller of your cancellation notice any security interest arising out of the transaction will be cancelled.

If you cancel, you must make available to the seller at your residence, in substantially as good condition as when received, any goods delivered to you under this contract or sale, or you may, if you wish, comply with the instructions of the seller regarding the return shipment of the goods at the seller's expense and risk.

If you do make the goods available to the seller and the seller does not pick them up within 20 days of the date of your notice or cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to the seller, or if you agree to return the goods to the seller and fail to do so, then you remain liable for performance of all obligations under the contract.

To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice, or any other written notice.

To:
LA. POOLS & SPAS INC.
2323 W. Bainbridge, 13B
Kenner, LA 70062
(Address of Branch Office)

NO LATER THAN MIDNIGHT OF:

8.24.23
Date

I hereby cancel this transaction

Date (Buyer's Signature)

THE UNDERSIGNED HEREBY ACKNOWLEDGE RECEIPT OF THIS NOTICE AND HAS BEEN TOLD VERBALLY OF HIS RIGHT TO CANCEL THIS CONTRACT.

X *MP*
Buyer's Signature

Co-Buyer's Signature

8.21.23
Date

NOTICE

ANY HOLDER OF THIS CONSUMER CREDIT CONTRACT IS SUBJECT TO ALL CLAIMS AND DEFENSES WHICH THE DEBTOR COULD ASSERT AGAINST THE SELLER OF GOODS OR SERVICES OBTAINED PURSUANT HEREOF, RECOVERY HEREUNDER BY THE DEBTOR SHALL NOT EXCEED AMOUNTS PAID BY THE DEBTOR HEREUNDER

SWIMMING POOL CONTRACT

NAME MAX PERRET Date of Contract 8.21.23
JOB ADDRESS 520 BURGUNDY ST CITY N.O. STATE LA ZIP 70112
(Mailing address if other than above)
TELEPHONE (504) 210-6264 (OI) _____ (FAX) _____
LEGAL LOT # _____ BLOCK _____ SUBDIVISION _____ MAPSCO NO. _____
POOL SIZE: MAX WIDTH 5 1/2 MAX LENGTH 16 PERIMETER 43 AREA SQ FT 88 DEPTHS 3 1/2

Completion to be within _____ workable working days after excavation, barring time delays beyond LA Pools and Spas reasonable control
THE GENERAL TERMS AND CONDITIONS ON THE REVERSE SIDE ARE PART OF THIS AGREEMENT.

GENERAL CONSTRUCTION		POOL PLUMBING / EQUIPMENT	
1. Standard Engineering Plans and Pool Permits	LA Pools & Spas	33. All pool piping (plumbing) Schedule 40 PVC	LA Pools & Spas
2. Pool layout for approval by Buyer	LA Pools & Spas	34. Valves as required for operation	LA Pools & Spas
3. Excavation and hand contouring	LA Pools & Spas	35. Filter run from summer	LA Pools & Spas
4. Removal of dirt on day of excavation only	LA Pools & Spas	36. Pump Size <u>1 1/2</u>	LA Pools & Spas
5. Access Walk or fence to be (TYPE) <u>WOOD</u>	LA Pools & Spas	37. Filter Size & Type <u>CARTRIDGE 435</u>	LA Pools & Spas
Removed by: L.A.P.S. _____ BUYER _____		38. Main drain plumbing w/ignite	LA Pools & Spas
Removed by: L.A.P.S. _____ BUYER _____		39. POOL CLEANER TYPE <u>WATER</u>	LA Pools & Spas
6. Normal dirt excavation and pool layout	LA Pools & Spas	40. Automatic surface summer	LA Pools & Spas
Additional hours @ \$ _____ Per hour	BUYER	41. Adjustable return plates	LA Pools & Spas
7. Trees in access and/or pool site to be cut down by pool	BUYER	42. _____	
stump will not exceed 4 feet in height			
8. Saw Cut concrete (if _____) Yes _____ No <u>X</u>		ACCESSORIES	
9. Remove from pool site on day of excavation only		43. Diving Board Ft. _____	
Stump Yes _____ No <u>X</u>		44. Slide Curve left _____ Curve right _____	
Concrete Yes _____ No <u>X</u>		45. HEATER B.T.U. _____	
Asphalt Yes _____ No <u>X</u>		46. Cup anchors _____	
10. Steel reinforcing (L3 and 44 rebar)	LA Pools & Spas	47. LA Pools & Spas step name plaque _____	
11. Public liability, property damage and workers compensation insurance during pool construction	LA Pools & Spas	48. Lost summer, thermometer, pool and touch _____	
12. Initial equipment start-up service & instructions	LA Pools & Spas	SPA	
CONCRETE		49. Spa Size _____	
13. Pneumatically applied Gunita per code	LA Pools & Spas	50. Spa Jets _____	
a. Center will water cure twice daily for seven days	BUYER	51. Spa light _____	
14. Gunita inspection when required	LA Pools & Spas	52. Spa rim to equipment _____	
15. One set of deluxe steps in enclosure and in pool	LA Pools & Spas	53. Air Blower / H.P. _____	
16. Love seat <u>4</u> <u>5 1/2</u> x <u>8</u> <u>1 1/2</u>	LA Pools & Spas	54. Electronic control _____	
17. Standard safety grip coping	LA Pools & Spas	MISCELLANEOUS	
Other coping type _____		55. <u>all Hayward equipment</u>	
18. Tile: Standard 6" ceramic water line tile <u>T&B</u>	LA Pools & Spas	56. <u>3 year part/labor warranty</u>	
Other _____		57. <u>lifetime warranty on pool structure</u>	
19. Hand troweled plaster: Declaration or stamping of plaster is not necessary hereby <u>LT GREY QUARTZ</u>	LA Pools & Spas	58. _____	
20. Decking installed with vinyl tile		59. _____	
Tile Set <u>2 1/2</u> <u>1 1/2</u> x <u>1 1/2</u>	LA Pools & Spas	60. _____	
Color (specify) <u>FLA. style seagrass</u>	LA Pools & Spas	61. _____	
21. Deck Drain: Type/coverage _____	LA Pools & Spas	62. _____	
Heads or D/S Cover <u>attach to existing</u>	LA Pools & Spas	ADDITIONAL SPECIFICATIONS: (Write non where applicable)	
22. Footing/stump down		(All state, county and city sales tax)	
23. Masonic _____		<u>Wall of water fall 25' 1/2' x 24'</u>	
24. Retaining walls _____		<u>BRICKS 3-5 inch</u>	
UTILITIES		<u>DOES NOT include demolition.</u>	
25. Electrical hookup of filter pump and underwater lights including required conduit	LA Pools & Spas	Buyer supply electric power to pool. Buyer to supply access, power and water as needed for construction.	
26. Provide electrical bonding of pool when required	LA Pools & Spas	LA Pools & Spas is not responsible for damage done in access area over which equipment must travel.	
27. Electrical panel change and/or relocation of overhead or underground wires if required by local code	BUYER		
28. Remove underwater light _____	LA Pools & Spas		
29. Ground Fault Interrupter (GFI) _____	LA Pools & Spas		
30. Sanitation system and/or underground utilities to be installed per code	BUYER		
31. Freeze Sensor _____	LA Pools & Spas		
32. Gas line and hookup for pool heater, from Meter to Heater, if required _____	BUYER		

No additional work shall be done without prior written authorization of Buyer. Any such authorization shall be on a contract change order form showing the agreed terms and reasons for such changes, and shall be approved by such parties. This contract is to be signed only if the Seller is not in finance (or arrange for financing of) amounts to be paid by Buyer to Seller hereunder.

POOL IS DEEMED TO BE COMPLETE UPON PLASTER.

PAYMENT SCHEDULE

CASH CONTRACT PRICE	\$ 76,900	(1) 30% At Excavation	\$ 19,620
Down Payment	\$ 11,500	(2) 35% At Gunita	\$ 22,890
BALANCE	\$ 65,400	(3) 30% At Tile	\$ 19,620
		(4) 5% At Prior To Plaster	\$ 3,270

TO THE BUYER: For your protection, all checks must be made payable to: "LA POOLS & SPAS" or L.A.P.S. to ensure that all lien releases, warranties and guarantees granted to you under this contract are met. Please Initial X

THIS AGREEMENT IS SUBJECT TO ARBITRATION UNDER THE COMMERCIAL ARBITRATION RULES OF THE AMERICAN ARBITRATION ASSOCIATION.

BUYER (OWNER) ACKNOWLEDGES THAT HE HAS READ THE CONTRACT IN ITS ENTIRETY AND RECEIVED A LEGIBLE COPY OF THIS CONTRACT INCLUDING THE TERMS AND CONDITIONS CONTAINED ON THE REVERSE SIDE THEREOF AND THAT ALL REPRESENTATIONS MADE ORALLY ARE INCLUDED HEREIN, AND THAT NO ORAL REPRESENTATIONS HAVE BEEN MADE EXCEPT THOSE SPECIFICALLY INCLUDED HEREIN.

Submitted by: Robert Kneebbe Salesman 8.21.23
Accepted by: Buyer MAX PERRET 8.21.23
Co-Buyer _____

This agreement subject to the approval of an officer of LA Pools & Spas, Inc. (Copies do not require written approval)

"YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DAY OF THIS TRANSACTION. SEE THE ATTACHED NOTICE OF CANCELLATION FORM AND EXPLANATION OF THIS RIGHT."

NOTE TO THE BUYER: DO NOT SIGN THIS CONTRACT BEFORE YOU READ IT OR IF IT CONTAINS ANY BLANK SPACES. YOU ARE ENTITLED TO AN EXACT COPY OF THE CONTRACT YOU HAVE SIGNED. DO NOT SIGN THIS CONTRACT UNTIL YOU HAVE READ IN FULL AND UNDERSTAND THE ADDITIONAL TERMS AND CONDITIONS TO THIS CONTRACT WHICH ARE CONTAINED ON THE BACK OF THIS DOCUMENT.

520 Burgundy
VCC Architectural Committee

January 23, 2024



GENERAL CONSTRUCTION

1. Standard Engineered Plans and Pool Permits
2. Pool layout for approval by Buyer
3. Excavation and hand contouring
4. Removal of dirt on day of excavation only
5. Access Wall or fence to be: (TYPE WOOD)
 - Removed by LAPAS _____ BUYER _____
 - Removed by LAPAS _____ BUYER _____
6. Normal dirt excavation and pool layout.
 - Additional hours @ \$ _____ Per hour
7. Trees in access and/or pool site to be cut down so that stump will not exceed 4 feet in height N/A
8. Saw Cut concrete (L/F _____) Yes _____ No X
9. Remove from pool site on day of excavation only
 - Stumps Yes _____ No X Precut trunks & limbs Yes _____ No X
 - Concrete Yes _____ No X Uprooted shrubs Yes _____ No X
 - Asphalt Yes _____ No X Other debris Yes _____ No X
10. Steel reinforcing (#3 and #4 rebar)
11. Public liability, property damage and workers compensation insurance during pool construction
12. Initial equipment start-up service & instructions.

CONCRETE

13. Pneumatically applied Guniting per code
 - a. Owner will water cure twice daily for seven days
14. Guniting inspection when required
15. One set of deluxe steps in shallow end of pool
16. Love seat ledge 5'1/2" x 5'1/2"
17. Standard safety grip coping BULESTONE
- Other coping/Type _____
18. Tile: Standard 6" ceramic water line tile TBD
- Other: _____
19. Hand troweled plaster. Discoloration or staining of plaster is not contractors liability. LT. GREY QUARTZ
20. Decking installed within pool site:
 - Total Sq. Ft. 298 Type flagstone
 - Color (specify) F.A. style see photo
21. Deck Drains Type/footage 4" x 3" DECO
- Heads or D/S Conn attach to existing
22. Footings/turn downs
23. Mastic
24. Retaining Walls N/A

UTILITIES

25. Electrical hookup of filter pump and underwater light including required conduit
26. Provide electrical bonding of pool when required
27. Electrical panel change and/or relocation of overhead or underground wires if required by local code
28. Deluxe underwater light
29. Ground Fault Interrupter (GFI)
30. Sanitation system and/or underground utilities to be rerouted per code
31. Freeze Sensor
32. Gas line and hookup for pool heater, from Meter to Heater, if required

POOL PLUMBING / EQUIPMENT

HAYWARD

33. All pool piping (plumbing) Schedule 40 PVC
34. Valves as required for operation
35. Filter run from skimmer 40 2 35' Ft.
36. Pump: Size 1 1/2
37. Filter Size & Type CARTRIDGE 435
38. Main drain plumbing w/grate
39. POOL CLEANER TYPE ULTRA
40. Automatic surface skimmer
41. Adjustable return inlets 6
42. _____

ACCESSORIES

43. Diving Board: Ft. _____
44. Slide: Curve left _____ Curve right _____
45. HEATER: B.T.U. _____
46. Cup anchors
47. LA Pools & Spas step name plaque
48. Leaf skimmer, thermometer, pole and brush

SPA

49. Spa Size _____
50. Spa Jets _____
51. Spa light _____
52. Spa run to equipment _____ Ft.
53. Air Blower / H.P. _____
54. Electronic control _____

MISCELLANEOUS

55. all HAYWARD equipment
56. 3-year part/labor warranty
57. _____
58. _____
59. lifetime warranty on pool structure
60. _____
61. _____
62. _____

ADDITIONAL SPECIFICATIONS: (Write non where applicable)

(All state, county and city sales tax)
Wall of waterfall 25'1/2" LX 24"
BRICK "reclaimed look" veneer
3-SIDES 3' sheet

DOES NOT include demolition.
TBD

Buyer supply electric power to pad. Buyer to supply access, power and water as needed for construction.

LA Pools & Spas is not responsible for damage done in access area over which equipment must travel.

No additional work shall be done without prior written authorization of Buyer. Any such authorization shall be on a contract



LA Pools and Spas

BUYER'S RESPONSIBILITY

- Pool area to be fenced per local code
- Gates to be self-closing and self-latching
- Wet down gunite twice daily for 7 days

PREPARED ESPECIALLY FOR: MAX PERRET
STREET 520 BURGUNDY
CITY N.O. LA ZIP 70112
PHONE HM WK or CELL 5042106264
COUNTY/TOWNSHIP e. mperret@velocityassets.ca

GENERAL POOL SPECIFICATIONS

MAX LENGTH 16'0" WIDTH 5 1/2' TYPE FLAGSTONE

DEPTH 3 1/2' FOOTAGE 298

SUR AREA 88 PERIMETER 43 COLOR EGG GREY / GREEN

CAPACITY TBD GALLONS RUBERS =

TURNOVER RATE TBD HOURS FOOTINGS =

EXCAVATION MASTIC =

ACCESS: FRONT REAR SIDE TURNDOWNS =

TRACK HOE BOBCAT MINI BOBCAT DRAIN PIPE TBD

REMOVE DIET HAND DIG DRAIN HEADS =

REMOVE STUMP(S) = DECK-O-DRAIN FTG 40 2 3/4"

REMOVE FENCE = OTHER =

REPLACE FENCE = EQUIPMENT

REMOVE CONCRETE TBD FILTER TYPE CARS SIZE 475

SAWCUT CONCRETE TBD PUMP HP 1 1/2 ZSP 1SP 100

RTNG WALL = SMARTCONTROL F4 SALT

OTHER =

PLUMBING

FILTER RUN FTG 40 2 3/4" SMARTPURE UV/OZONATOR YES NO

RETURN LINES G SKIMMER SMARTPURE OTHER: YES NO

P-TRAP = BSWASH LINE = CHLORINATOR YES NO

WATERFALL FTG TBD 500 WATT LIGHT YES NO

WATER FEATURE FTG TBD SMARTLIGHT LED LMD YES NO

GAS LINE = FTG SMARTFLOW JETS G YES NO

GAS STUB = FTG SMARTVAC ULTRA YES NO

DRILL DRIVE BH GAS HEATER BTU = NAT PRO

FILL LINE BH HEAT PUMP BTU YES NO

WATER SUPPLY CITY WELL OTHER retilling feature

ELECTRICAL RUN

RUN BY TBD FTG ACCESSORIES & FEATURES

JBOX # = UPGRADE HR YES NO DIVING BOARD

OUTLETS YES NO # SLIDE

ECO ☐ PRO-5 ☐ PRO-8 ☐ COVER

GUNITES FEATURES & BOND BEAM

LOVE SEAT 5' WATER FEATURES No Stone ca.

SWIM OUT WALL w/ 3' x 5' stone

TANNING LEDGE 5' x 5 1/2' brick EQ style

OTHER SPA

SIZE

6" RBB Ftg 18" RBB Ftg RAISED 6" 12" 18" 24"

12" RBB Ftg 24" RBB Ftg FASCIA

HAND-HOLDS YES ☒ DAM WALL FASCIA

FASCIA SPILLWAY

DOUBLE-CUT YES ☒ PLUMBING RUN

COPING QUANTITY OF JETS

TYPE BLUESTONE ST JET/THERAPY YES NO

COLOR EGGY BLOWER HP YES NO

SPA DAM 100 WATT LIGHT YES NO

TILE SMARTLIGHT LED YES NO

6" WATERLINE TBD OTHER

ACCENT TILE

INTERIOR FINISH

SMARTBRITE QUARTZ ☒ NO COLOR LT GRAY

SMARTBRITE PEBBLE YES NO COLOR

MARCIITE YES NO COLOR

OTHER YES NO COLOR

BUYER, PLEASE INITIAL & SIGN

* Approved above specifications.

* Approved equipment location.

* Underground utilities including sprinklers, phone lines, cable TV, sewer, gas, and electric are responsibilities of homeowner.

* Understand that drawing shown is for illustration purposes only and understand I will receive 298 square feet of deck.

SIGNATURE _____ DATE _____

DESIGNER D.R. Kuhl JOB # _____

LOT _____ BLOCK _____ TRACT _____ MAPSCO



PREPARED ESPECIALLY FOR:
MAX PERRET
STREET 520 BURGUNDY
CITY N. O. LA ZIP 70112
PHONE HM WK or CELL 504 210 6261
COUNTY/TOWNSHIP e. mperret@velocityaz.net

13 5 1/2 16'

14'

12' 8' 2' 4' 3 1/2'

House

3' sheer RAISED WALL 24" X 25 1/2" BLUESTONE CAP BRICK "RECLAIMED" VENEER 3-sides

96' X

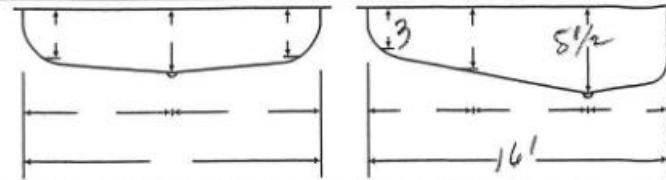




LA Pools and Spas

- BUYER'S RESPONSIBILITY**
- Pool area to be fenced per local code
 - Gates to be self-closing and self-latching
 - Wet down gunite twice daily for 7 days

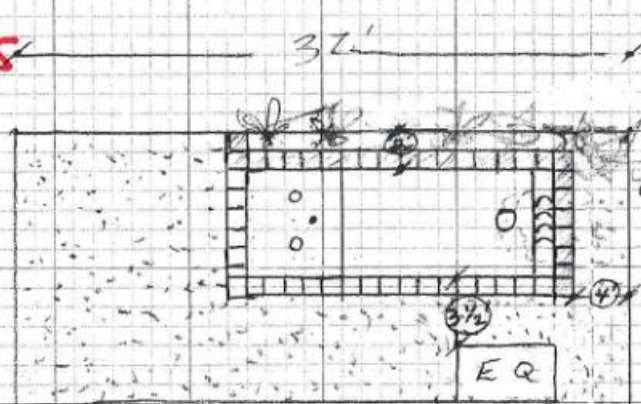
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PREPARED ESPECIALLY FOR:
MAX PERRET
STREET **520 BURGUNDY**
CITY **N.O. LA** ZIP **70112**
PHONE HM _____ WK or CELL **5042106264**
COUNTY/TOWNSHIP **e. mperret@velocityassets.com**

GENERAL POOL SPECIFICATIONS		DECK	
MAX: LENGTH 16	WIDTH 5 1/2	TYPE FLAGSTONE	
DEPTHS 3 1/2		FOOTAGE 298	
SUR AREA 88	PERIMETER 43	COLOR GREY/GREEN	
CAPACITY TBD	GALLONS	RISERS	
TURNOVER RATE TBD	HOURS	FOOTINGS	
EXCAVATION		MASTIC	
ACCESS: FROM REAR SIDE		TURNDOWNS	
TRACK HOE	BOBCAT	MINI BOBCAT	
REMOVE DIRT HAND DIG		DRAIN PIPE TBD	
REMOVE STUMP(S)		DRAIN HEADS	
REMOVE FENCE		DECK-O-DRAIN FTG 4x2 351	
REPLACE FENCE		OTHER	
REMOVE CONCRETE TBD		EQUIPMENT	
SAWCUT CONCRETE TBD		FILTER TYPE CARS SIZE 425	
RTNG WALL		PUMP HP 1 1/2 2SP 1SP 3SP	
OTHER		SMARTCONTROL PA SALT	
PLUMBING		SMARTPURE UV/OZONATOR	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
FILTER RUN FTG 4x2 351		SMARTPURE OTHER:	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
RETURN LINES 6	SKIMMER 1	SMARTPURE MINERAL	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
P-TRAP -	BWASH LINE -	CHLORINATOR	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
WATERFALL FTG TBD		500 WATT LIGHT	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
WATER FEATURE FTG TBD		SMARTLIGHT LED 1 MB2	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
GAS LINE	FTG	SMARTFLOW JETS 6	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
GAS STUB	FTG	SMARTVAC ULTRA	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
DRILL DRIVE		BH GAS HEATER BTU -	NAT PRO
FILL LINE		BH HEAT PUMP BTU	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
WATER SUPPLY	<input checked="" type="radio"/> CITY <input type="radio"/> WELL	OTHER retilling feature	
ELECTRICAL RUN		ACCESSORIES & FEATURES	
RUN BY TBD	FTG	DIVING BOARD	
J/BOX #	UPGRADE HR	SLIDE	
OUTLETS YES	NO #	COVER	
ECO <input type="checkbox"/>	PRO-5 <input type="checkbox"/> PRO-8 <input type="checkbox"/>	WATER FEATURES blk stone cap	
GUNITE FEATURES & BOND BEAM		WALL w/ 3' sheer	
LOVE SEAT 5'		24" H x 25 1/2 L	
SWIM OUT		brick FG style	
TANNING LEDGE 5 x 5 1/2		SPA	
OTHER		SIZE	
6" RBB Ftg	18" RBB Ftg	RAISED	6" 12" 18" 24"
12" RBB Ftg	24" RBB Ftg	FASCIA	
HAND-HOLDS YES <input checked="" type="checkbox"/>		DAM WALL FASCIA	
FASCIA		SPILLWAY	
DOUBLE-CUT	YES <input checked="" type="checkbox"/>	PLUMBING RUN	
COPING		QUANTITY OF JETS	
TYPE BLUSTONE		ST JET/THERAPY	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
COLOR GREEN		BLOWER HP	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
SPA DAM		100 WATT LIGHT	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
TILE		SMARTLIGHT LED	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
6" WATERLINE TBD		OTHER	
ACCENT TILE			

The Proposal Satisfies
The CZO Requirements
A = 1228 < B = 2048



3' sheer
RAISED
WALL
24" H x 25 1/2 L
BLUSTONE
CAP
BRICK
'RECLAIMED'
VENEER
3-SIDES

HOUSE

96'

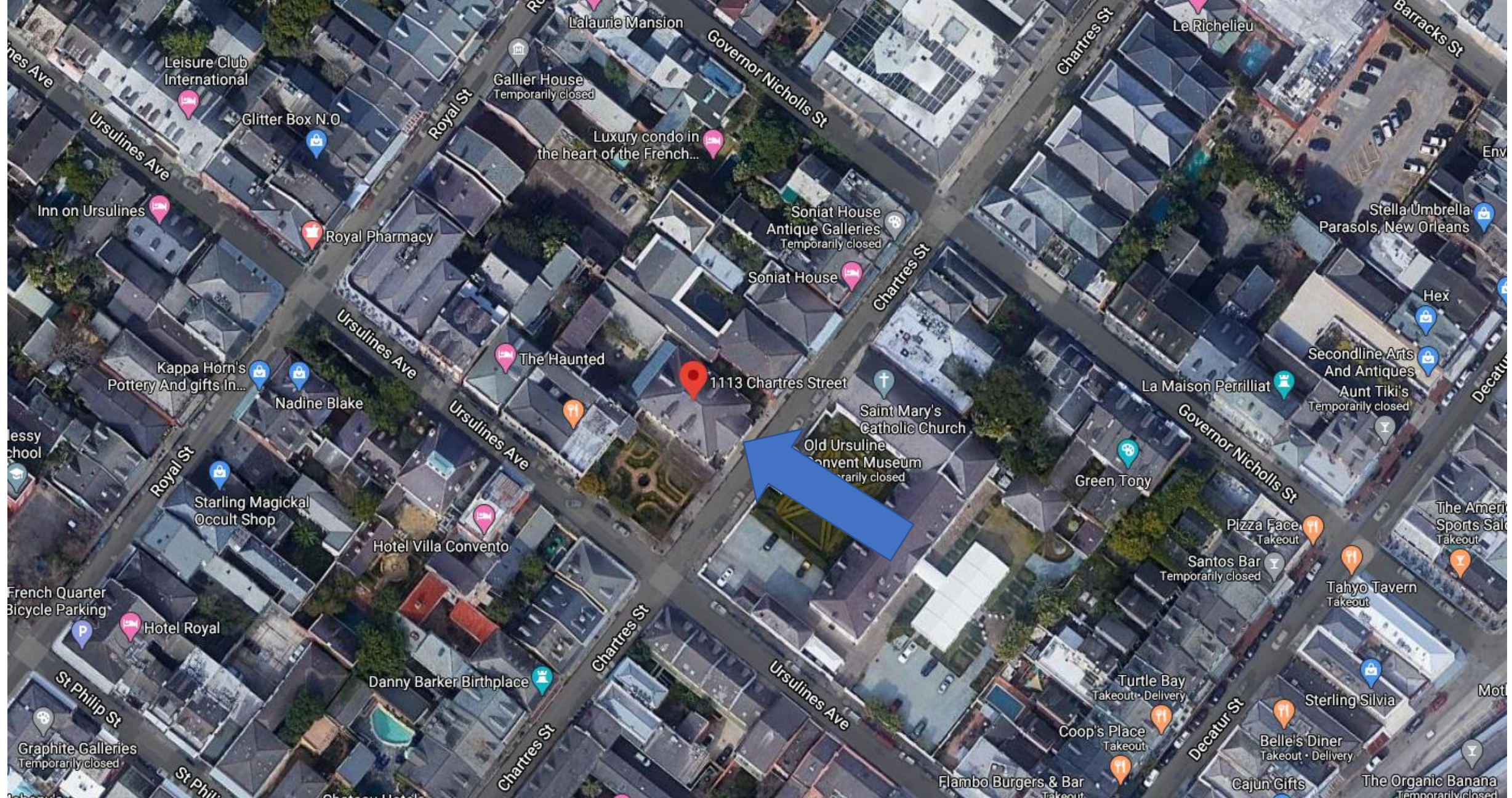
A = 1228
B = 2048







1113 Chartres



1113 Chartres

VCC Architectural Committee

January 23, 2024







1113 Chartres, 1900

VCC Architectural Committee

January 23, 2024



Paneled shutters
on front elevation



Louvered shutters on
side elevation

1113 Chartres, 1900

VCC Architectural Committee

January 23, 2024





1113 Chartres, ca. 1920s

VCC Architectural Committee

January 23, 2024





1113 Chartres

VCC Architectural Committee

January 23, 2024





1113 Chartres
VCC Architect





1113 Chartres

VCC Architectural Committee

January 23, 2024



1113 Chartres

VCC Architectural Committee



January 23, 2024





1113 Chartres
VCC Architectural Committee

01 10 2024

January 23, 2024





1113 Chartres
VCC Architect

01 10 2024





1113 Chartres
VCC Architect

01 10 2024







1113 Chartres

VCC Architectural Committee

01 10 2024

January 23, 2024





1113 Chartres
VCC Architectural Committee

January 23, 2024





1113 Chartres
VCC Architectural Committee

January 23, 2024









1113 Chartres

VCC Architectural Committee

01 10 2024

January 23, 2024





1113 Chartres

VCC Architectural Committee

January 23, 2024





1113 Chartres

VCC Architectural Committee

01 10 2024

January 23, 2024





1113 Chartres – Opening with Vertical Wood Bars

VCC Architectural Committee

January 23, 2024





1113 Chartres

VCC Architectural Committee

01 10 2024

January 23, 2024





1113 Chartres

VCC Architectural Committee

January 23, 2024





1113 Chartres

VCC Architectural Committee

January 23, 2024





1113 Chartres

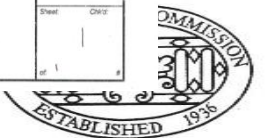
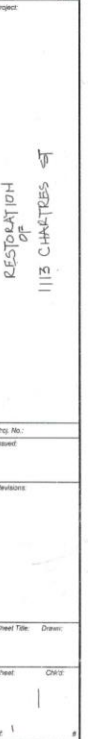
VCC Architectural Committee

January 23, 2024

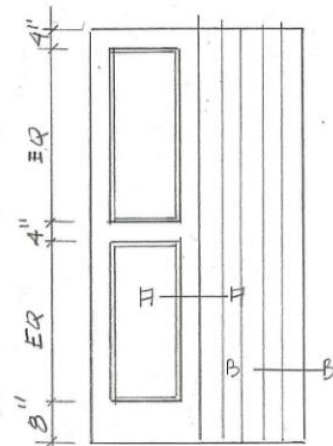




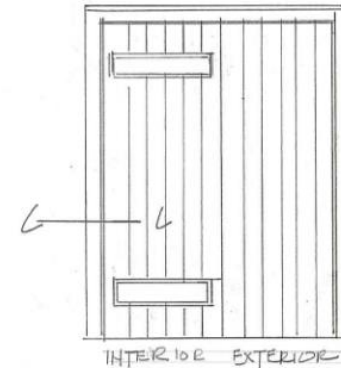
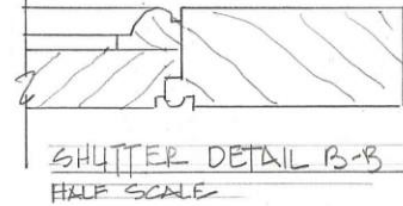
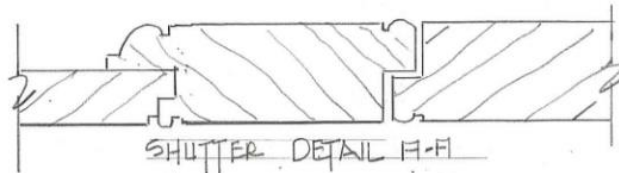
1. Remove abandoned plumbing lines.
2. Bury water supply line below grade.
3. Pour concrete pads for existing AC condensers. Set condensers and leaves level on pads.
4. Run AC refrigerant and control lines through the masonry where indicated.
5. Record stucco scoring patterns.
6. Protect AC condensers. Remove stucco and miscellaneous non-historic abandoned anchors and other attachments. Fill voids in masonry.
7. Retain other anchors.
8. Repair masonry above opening.
9. Re-stucco entire elevation with natural hydraulic lime. Restrict scoring, matching recorded stucco patterns.
10. Repair plaster capital. Match existing original profiles on adjacent pilasters
11. Repair main floor double hung windows.
12. Replace missing shutters per details.
13. Provide tin hinges, pintles, handle and bolt matching the upriver elevation. Replace missing shutter doors.
14. Repair existing door and frame.
15. Replace existing windows. Match existing details.
16. Replace frame and shutter per details. Opening dimensions vary.
17. Repair wood frame. Restore wood finish. Replace shutter per details. Match details of surviving original *rez de chaussée* opening.
18. Provide strap hinges and pintles. Match stucco on original opening.
19. Provide new gate per details. Provide head bolt, slide bolt and six strap hinges and plate secure pintles.
20. Paint all stucco and millwork matching the colors of the upriver elevation.
21. Repair existing light fixture.



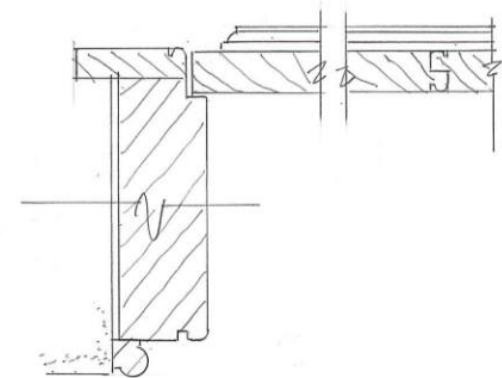
January 23, 2024



12 INTERIOR EXTERIOR
SHUTTER ELEVATION, PRINCIPAL FLOOR
1/2" = 1'0" MATCH SHUTTERS ON
DRIVEWAY SIDE



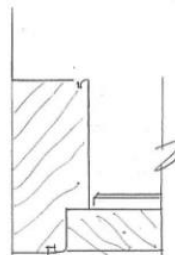
16 GROUND FLOOR SHUTTER ELEVATION
1/2" = 1'0" MATCH SHUTTERS
ON DRIVEWAY SIDE



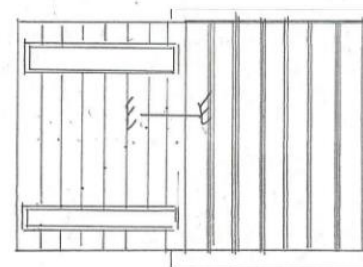
SHUTTER DETAIL C-C
3" = 1'0"



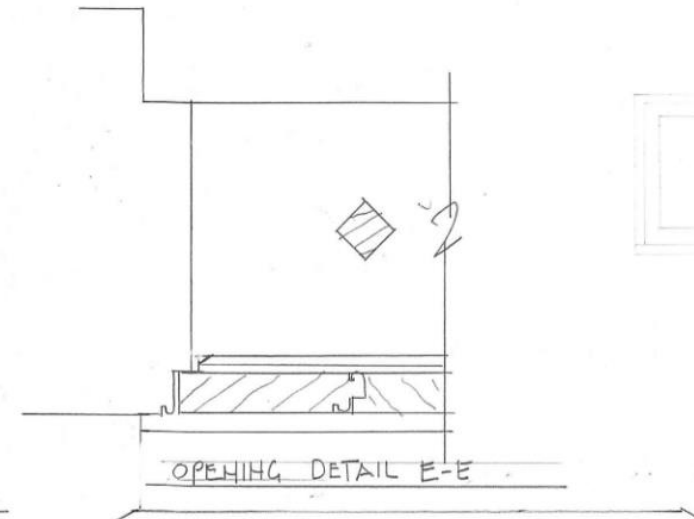
19 ALLEY GATE ELEVATION
1/2" = 1'0"



GATE DETAIL D-D
3" = 1'0"



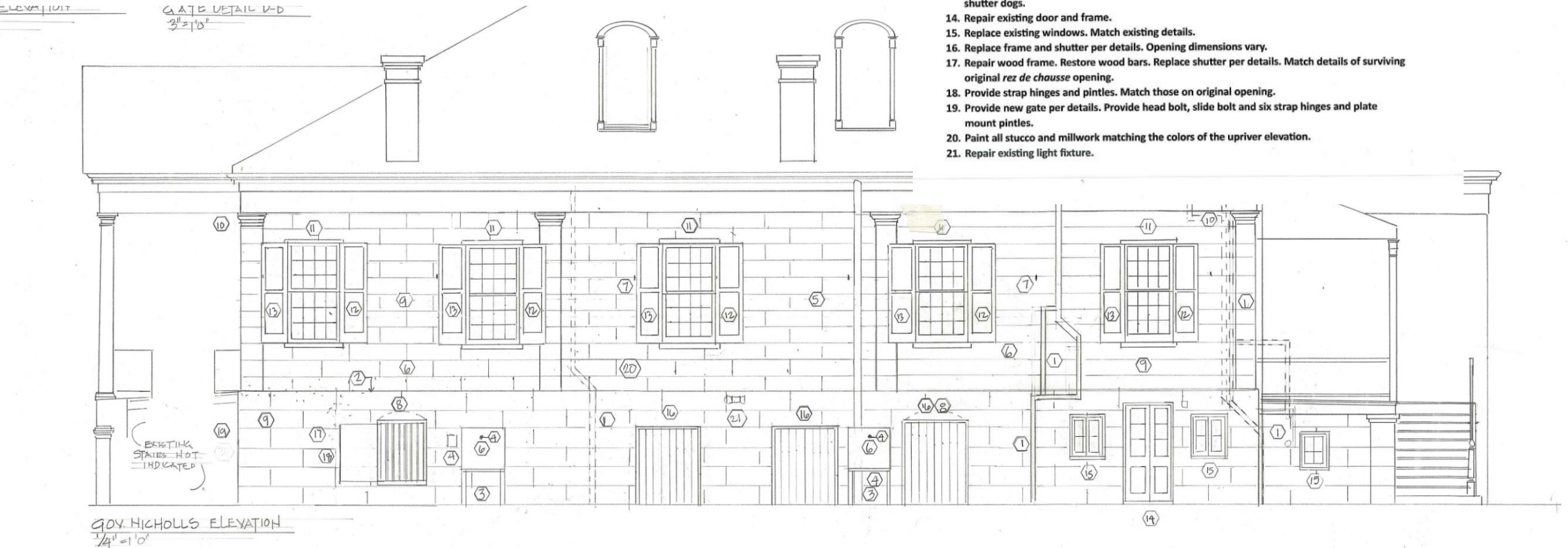
17 GROUND FLOOR OPENING
1/2" = 1'0" MATCH ORIGINAL OPENING
IN REZ DE CHAUSSEE



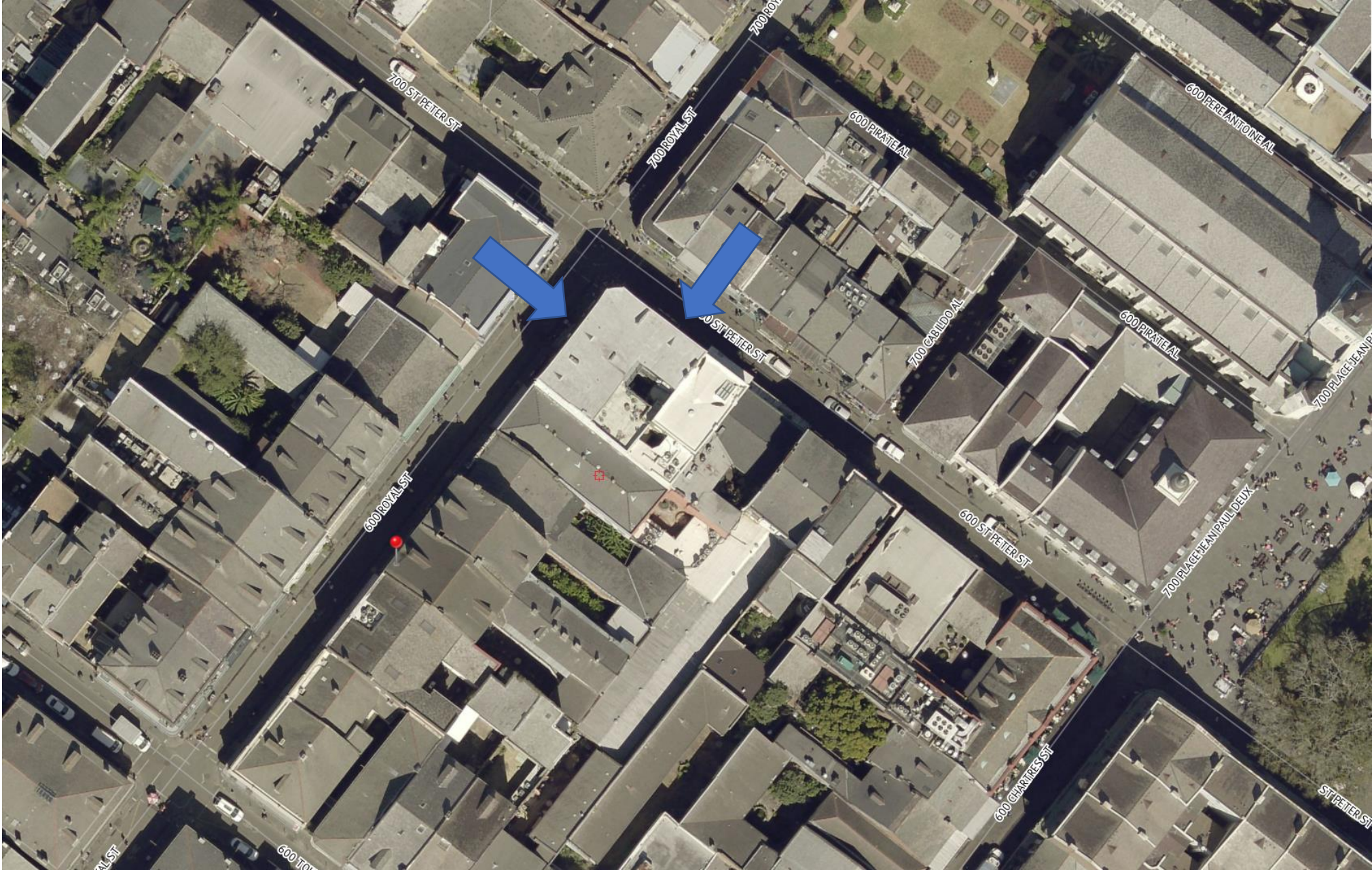
OPENING DETAIL E-E

Notes

1. Remove abandoned plumbing lines.
2. Bury water supply line below grade.
3. Provide concrete pads for existing AC condensers. Set condensers and bases level on pads.
4. Run AC refrigerant and control lines through the masonry where indicated.
5. Record stucco scoring pattern.
6. Protect AC condensers. Remove stucco and miscellaneous non-historic abandoned anchors and other attachments. Fill voids in masonry.
7. Retain arbor arches.
8. Repair masonry above opening.
9. Re-stucco entire elevation with natural hydraulic lime. Restrike scoring, matching recorded stucco pattern.
10. Repair pilaster capital. Match existing original profiles on adjacent pilasters
11. Repair main floor double hung windows.
12. Replace missing shutters per details.
13. Provide strap hinges, pintles, handle and bolt matching the upriver elevation. Replace missing shutter dogs.
14. Repair existing door and frame.
15. Replace existing windows. Match existing details.
16. Replace frame and shutter per details. Opening dimensions vary.
17. Repair wood frame. Restore wood bars. Replace shutter per details. Match details of surviving original *rez de chausse* opening.
18. Provide strap hinges and pintles. Match those on original opening.
19. Provide new gate per details. Provide head bolt, slide bolt and six strap hinges and plate mount pintles.
20. Paint all stucco and millwork matching the colors of the upriver elevation.
21. Repair existing light fixture.







636-40 Royal

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636-40 Royal - 1890

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10 31 2019

January 23, 2024





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10 02 2019

January 23, 2024





636-40 Royal – Courtyard Before Renovation

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636-40 Royal – Courtyard Before Renovation

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January 23, 2024



640 ROYAL ST TENANT IMPROVEMENTS

Project #: 523017.00

640 ROYAL ST NEW ORLEANS, LA 70130

Project Status

12.05.23



PROJECT DIRECTORY

Client Name
Point of Contact Name
Address 1
Address 2
Telephone
Email

Consultant Name
Point of Contact Name
Address 1
Address 2
Telephone
Email

Consultant Name
Point of Contact Name
Address 1
Address 2
Telephone
Email

PROJECT SUMMARY

OWNER IMPROVEMENTS TO EXISTING BUILDING LOCATED AT 640 ROYAL STREET. THE WORK WILL INCLUDE THE ADDITION OF A NEW H/VAC ROOF TOP UNIT AND A MECHANICAL CHASE. WORK WILL INCLUDE EGRESS MODIFICATIONS TO TWO EXISTING DOORS ON LEVEL 1.

PROJECT DIRECTORY:

OWNER CONTACT:

CAHN ENTERPRISES, INC.

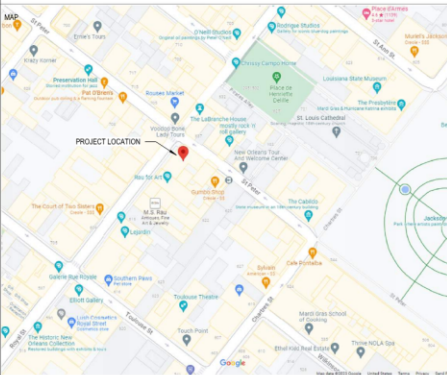
JAMES CAHN
PRESIDENT
901 THOUGHTFULNESS ST.
NEW ORLEANS, LA 70130
504-595-2020

ARCHITECTS:

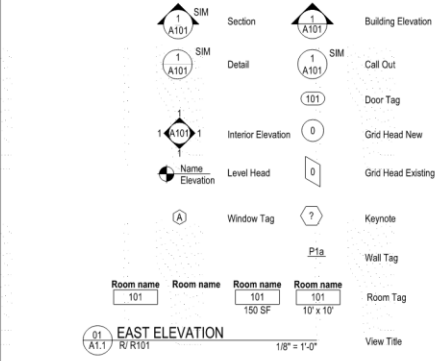
WILLIAMS ARCHITECTS

824 BARBONNE STREET
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JOWILLIAMS@WILLIAMSARCHITECTS.COM

PROJECT LOCATION



SYMBOL LEGEND



SHEET INDEX

SHEET #	SHEET NAME	ISSUE DATE	REVISION DATE	REVISION
00	General			
G000	TITLE	12.05.23	12.05.23	2
06	Architectural			
A100	SITE PLAN	12.05.23	12.05.23	2
A101	FIRST FLOOR PLAN	12.05.23	12.05.23	2
A102	SECOND FLOOR PLAN	12.05.23	12.05.23	2
A103	THIRD FLOOR PLAN	12.05.23	12.05.23	2
A104	FOURTH FLOOR PLAN	12.05.23	12.05.23	2
A105	ROOF PLAN	12.05.23	12.05.23	2
A201	EXTERIOR ELEVATIONS	12.05.23		
A301	BUILDING SECTIONS	12.05.23		
A311	WALL SECTIONS	12.05.23		

GENERAL NOTES

- SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND BECOME GENERALLY FAMILIAR WITH THE PROJECT AND WITH THE IMPACT OF THE NEW WORK ON EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE APPROVED WHICH IS ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO MEET THIS REQUIREMENT.
 - WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS.
 - THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, INCLUDING STRUCTURAL AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
 - THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS.
 - THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
 - THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH HIS SUBCONTRACTORS. ANY CONFLICTS WITH THEIR WORK, EQUIPMENT PLACEMENT, ETC. ARE TO BE RESOLVED PRIOR TO INSTALLATION OF THE WORK.
 - THE CONTRACTOR SHALL COORDINATE AND LOCATE ELECTRICAL DEVICES, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CONFLICTS WITH CASEWORK, DOORS AND OTHER TRADES.
 - THE CONTRACTOR SHALL VERIFY A COORDINATE, WITH ALL TRADES, THE SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, OR BASES AS WELL AS POWER, WATER AND DRAIN INSTALLATIONS BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES WORK. ALL CONFLICTS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CASEWORK, MILLWORK AND SPECIALTY ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
 - INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDED SPECIFICATIONS.
 - LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK. FURNISHINGS INDICATED ON ARE FOR REFERENCE AND COORDINATION ONLY.
 - VARIATIONS FROM THE WORK DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, EQUIPMENT SPECS, ETC. SHALL BE MADE ONLY WITH THE APPROVAL OF THE ARCHITECT.
 - ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND ORDINANCES AND IN ACCORDANCE WITH THE AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED.
 - IF IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE FOR COMPLETE FINISHED WORK, ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS THAT ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATION, BUT WHICH ARE REQUIRED AS ESSENTIAL AESTHETICS OR FUNCTIONAL COMPONENTS OF THE WORK, SHALL BE INCLUDED AS IF IT WERE DRAWN OR SPECIFIED.
 - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, APPROPRIATE AND COMPLETE DRAWINGS, SKETCHES AND PHOTOGRAPHS SUFFICIENT TO LEGALLY DESCRIBE DISCREPANCIES, CONFLICTS AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS ENCOUNTERED THAT AFFECT THE NEW CONSTRUCTION.
 - APPLY FOR AND SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS. DUST CONTROL, UTILITY DISCOVERY, HAZARDOUS AND DISPOSAL, CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.
 - EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.
 - PROTECT ADJACENT PROPERTY AND PERSONS FROM THE WORK. WORKING OUTSIDE THE DESIGNATED LIMITS IS PROHIBITED UNLESS APPROVED BY THE CLIENT/USER.
 - DO NOT BLOCK DRIVEWAYS, FIRE EXITS AND FIRE EXIT ROUTES.
 - LIMIT NOISE TO NORMAL CONSTRUCTION OPERATIONS.
 - TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, BUT THE WORK OF OTHER RELATED TRADES AS WELL.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.
 - THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE COORDINATED IN ADVANCE OF NEED.
 - VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK.
 - KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNTIL TURNED OVER TO THE OWNER.
 - PROVIDE A MINIMUM 6' HIGH FENCING AND METAL POSTS FOR PROTECTION OF AREAS DURING OPERATIONS AND FOR SECURITY CONTROL. PROVIDE OTHER PEDESTRIAN AND PUBLIC PROTECTION REQUIRED BY THE REGULATORY AGENCIES.
 - PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.
 - PROVIDE SECURITY AND FACILITIES TO PROTECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HIS OWN EQUIPMENT AND TOOLS.
 - THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.
 - PROVIDE TEMPORARY VENTILATION AS REQUIRED TO PROTECT WORKERS.
 - CONNECT TO EXISTING WATER SOURCE FOR TEMPORARY WATER SERVICE. IF UTILITY IS CAPPED, COORDINATE WITH CLIENT/USER.
 - PROVIDE TEMPORARY SANITARY FACILITIES.
 - CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.
 - MAINTAIN FIRE SAFETY CONTROL AT ALL TIMES.

ABBREVIATION KEY

- AHJ AUTHORITY HAVING JURISDICTION
PNT PAINT
PT PRESSURE TREATED
HM HOLLOW METAL
EQ EQUAL
FEC FIRE EXTINGUISHER CABINET

ZONING BRIEF

APPLICABLE ZONING ORDINANCE: CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE
BUILDING ADDRESS: 636-34 ROYAL ST
PROPERTY DESCRIPTION: 50-42 LOT 7 ROYAL AND ST PETER 6400 636-34 ROYAL STREET
ZONING: VCC-2
HOLD DISTRICT: VCC-2
HOLD FULL/PARTIAL CONTROL: FULL
USE: MU-4C

BUILDING SUMMARY

BUILDING HEIGHT: 31'-11"
BUILDING AREA: 4982 SQFT
SITE AREA: 4982 SQFT
OCCUPANCY CLASSIFICATION: B-BUSINESS

APPLICABLE CODES

- 2021 INTERNATIONAL BUILDING CODE WITH AMENDMENTS (IBC)
- 2015 INTERNATIONAL PLUMBING CODE WITH AMENDMENTS (IPC)
- 2019 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS (IMC)
- NATIONAL ELECTRICAL CODE WITH AMENDMENTS (NEC)
- 2018 NATIONAL FIRE PROTECTION ASSOCIATION 101 LIFE SAFETY CODE (NFPA)
- ASHRAE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADAAG)

TYPE OF CONSTRUCTION

IBC 2021: N/A NO NEW CONSTRUCTION
NFPA 2015: N/A NO NEW CONSTRUCTION

GENERAL DEMOLITION NOTES

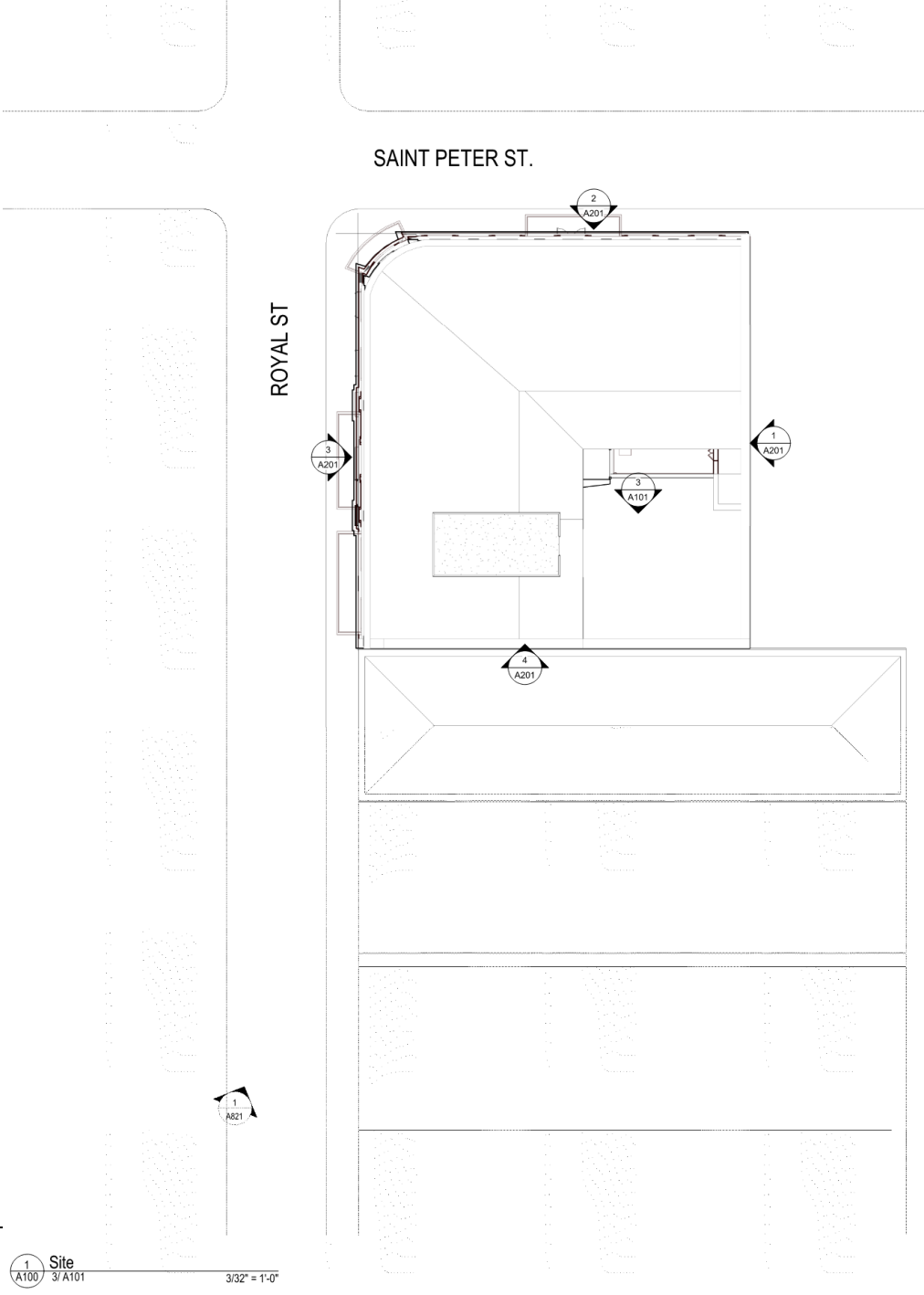
- SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.
- DRAWINGS ARE INTENDED TO BE PRINTED AND READ IN COLOR.
 - THIS PACKAGE IS DOES NOT COVER ABATEMENT OF HAZARDOUS MATERIALS. NOTIFY OWNER AND ARCHITECT IF HAZARDOUS MATERIALS ARE DISCOVERED ON SITE.
 - THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
 - ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND ORDINANCES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK.
 - APPLY FOR AND SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS. DUST CONTROL, UTILITY DISCOVERY, HAZARDOUS AND DISPOSAL, CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.
 - THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
 - THE CONDITIONS SHOWN REPRESENT AVAILABLE INFORMATION FROM EXISTING DOCUMENTS AND FIELD SURVEYS. VARIATIONS IN THE EXTENT OF WORK MAY EXIST.
 - PROTECT ADJACENT REMAINING WORK AND KEEP CONSTRUCTION AREA CLEAN. ALL DAMAGE TO ITEMS, SUCH AS MATERIALS, SURFACES, EQUIPMENT, OR FURNISHINGS, IN SPACES TO REMAIN SHALL BE RETURNED TO APPROVED CONDITION AT NO INCREASE IN CONTRACT PRICE AND NO ADDITIONAL COST TO THE OWNER. SUCH DAMAGE SHALL NOT BE LIMITED TO PHYSICAL DAMAGE, BUT SHALL INCLUDE DAMAGE DUE TO WATER, DUST, VAPORS, AND THE LIKE. WHERE DAMAGE CANNOT BE CORRECTED, REPLACE ITEMS WITH ACCEPTED NEW ITEM.
 - WHERE ITEMS TO BE REMOVED ARE NEEDED, FASTENED, CONNECTED, ADJUTED, OR ARE OTHERWISE INCORPORATED INTO CONSTRUCTION TO REMAIN, REMOVE SUCH ITEMS WITHOUT DAMAGING ITEMS TO REMAIN. IF DAMAGE TO ADJACENT MATERIALS IS UNAVOIDABLE, RESTORE THESE MATERIALS TO PRE-CONSTRUCTION CONDITION. MAINTAIN WEATHERPROOF CONDITIONS IN ALL EXISTING TO REMAIN SPACES. WHERE ROOF, WALL, FOUNDATION WALL, OR OTHER EXTERIOR PENETRATIONS ARE REQUIRED, PERFORM WORK TO LIMIT DURATION OF OPERATIONS TO THE MINIMUM REQUIRED TO PROPERLY COMPLETE THE WORK. WHERE THE WORK REQUIRES OPENINGS TO REMAIN EXPOSED TO THE WEATHER OVERNIGHT, PROVIDE TEMPORARY PROTECTION TO PREVENT MOISTURE, WATER, OR AIR FROM PENETRATING INTO EXISTING TO REMAIN SPACE. PROVIDE TEMPORARY PROTECTION SUITABLY SECURED WHEN INCIDENT WEATHER THREATENING OR IS EXPECTED.
 - WHERE NEW WORK IS TO BE INCORPORATED, PREPARE REMAINING ITEMS TO PROPERLY RECEIVE NEW WORK.
 - WHERE OPENINGS, INCLUDING EXISTING MECHANICAL PENETRATIONS, ELECTRICAL PENETRATIONS, DOORS, WINDOWS, AND THE LIKE REMAIN AFTER THE REMOVAL OF INDICATED ITEMS, PROVIDE CLOSURES ARE INDICATED, OR WHERE NOT INDICATED, AS REQUIRED TO MAINTAIN THE SAFETY OF OCCUPANTS. PROVIDE WEATHERPROOF CLOSURES AT ALL EXTERIOR OPENINGS AS INDICATED ABOVE.
 - WHERE A DOOR IS SURROUNDED BY A WALL, DESIGNATED FOR DEMOLITION, ASSUME THAT THE DOOR IS TO BE REMOVED IN ITS ENTIRETY, UNLESS NOTED OTHERWISE.
 - WHERE A DEMOLITION NOTE INDICATES "REPAIR AND PATCH" AND/OR "LEAVE READY TO RECEIVE NEW WORK" IT MEANS THAT ADJACENT EXISTING CONSTRUCTION TO REMAIN, IF LEFT EXPOSED TO VIEW IN THE FINISHED WORK, SHALL BE REPAIRED IN SUCH A WAY AS TO MAKE IT VISIBLY TO THE GREATEST EXTENT POSSIBLE OR IF NOT LEFT EXPOSED TO VIEW IN THE FINISHED WORK, SHALL BE LEFT IN A CONDITION THAT IT REQUIRES NO FURTHER WORK TO PREPARE IT FOR NEW WORK.
 - PATCH SURFACES TO MATCH ADJACENT SURFACES AT ALL REMOVED ITEMS. SURFACE TEXTURE OF ALL WALL PATCHES SHALL MATCH ADJACENT EXISTING SURFACES. BUILD NEW WALL TEXTURE INTO EXISTING WALL TEXTURE FOR UNIFORM FINISH AND APPEARANCE. REPAINT ENTIRE WALL SURFACE.
 - THE TERM "REMOVE" AS USED ON THE DEMOLITION NOTES SHALL BE CONSTRUED TO MEAN DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF ITEM OR MATERIAL.
 - WHERE "ITEM" IS USED IT SHALL BE CONSTRUED TO MEAN, BUT NOT LIMITED TO, EQUIPMENT, BUILDING MATERIALS, BUILDING SYSTEMS, FINISHES, FURNISHINGS, UTILITIES, UTILITY LINES, PIPING, AND CONDUIT.
 - COORDINATE WORK WITH ALL TRADES TO MEET REQUIRED CONSTRUCTION SCHEDULING PERIODS.
 - PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.
 - SECURITY: PROVIDE SECURITY AND FACILITIES TO PROTECT DEMOLITION SITE AREA, EQUIPMENT, EXISTING FACILITIES AND OWNERS' OPERATIONS FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING, BETWEEN AND AFTER PERIODS OF DEMOLITION ACTIVITY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HIS OWN EQUIPMENT AND TOOLS.
 - PROTECT AND ALLOW FOR CONTINUOUS SERVICE OF THE FOLLOWING SYSTEMS TO ADJACENT RESIDENTIAL UNITS: PLUMBING AND HOT WATER, HVAC, AND ELECTRICAL SERVICE.
 - REFER TO FLOOR PLANS AND INTERIOR ELEVATIONS FOR DIMENSIONS OF NEW OPENINGS NOT DIMENSIONED ON THE DEMOLITION SHEETS.
 - ALL CEILINGS TO BE REMOVED TO EXISTING STRUCTURE UNLESS NOTED OTHERWISE. CEILING DEMOLITION TO BE INCLUDES OF ALL SUPPORTING MATERIALS AND SUBSTRATES.
 - HISTORIC ITEMS: NOTIFY OWNER, GENERAL CONTRACTOR, AND ARCHITECT IF HISTORIC ITEMS OR MATERIALS/FURNISHINGS ARE UNCOVERED DURING THE COURSE OF DEMOLITION. REVIEW ALL ITEMS WITH OWNER AND ARCHITECT PRIOR TO REMOVAL.

636-40 Royal

VCC Architectural Committee

January 23, 2024





These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (we) ~~will not~~ be providing project construction administrative services on this project.

x

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640 ROYAL ST TENANT
IMPROVEMENTS
640 ROYAL ST NEW ORLEANS, LA 70130

Project Status

-REVISIONS-

No.	Date	Scope
2	12.05.23	VCC REVIEW

DRAWING BY _____ Author
SCALE 3/32" = 1'-0"
JOB No. 523017.00
DATE 12.05.23
SHEET NAME
SITE PLAN

SHEET NO.

A100 January 23, 2024





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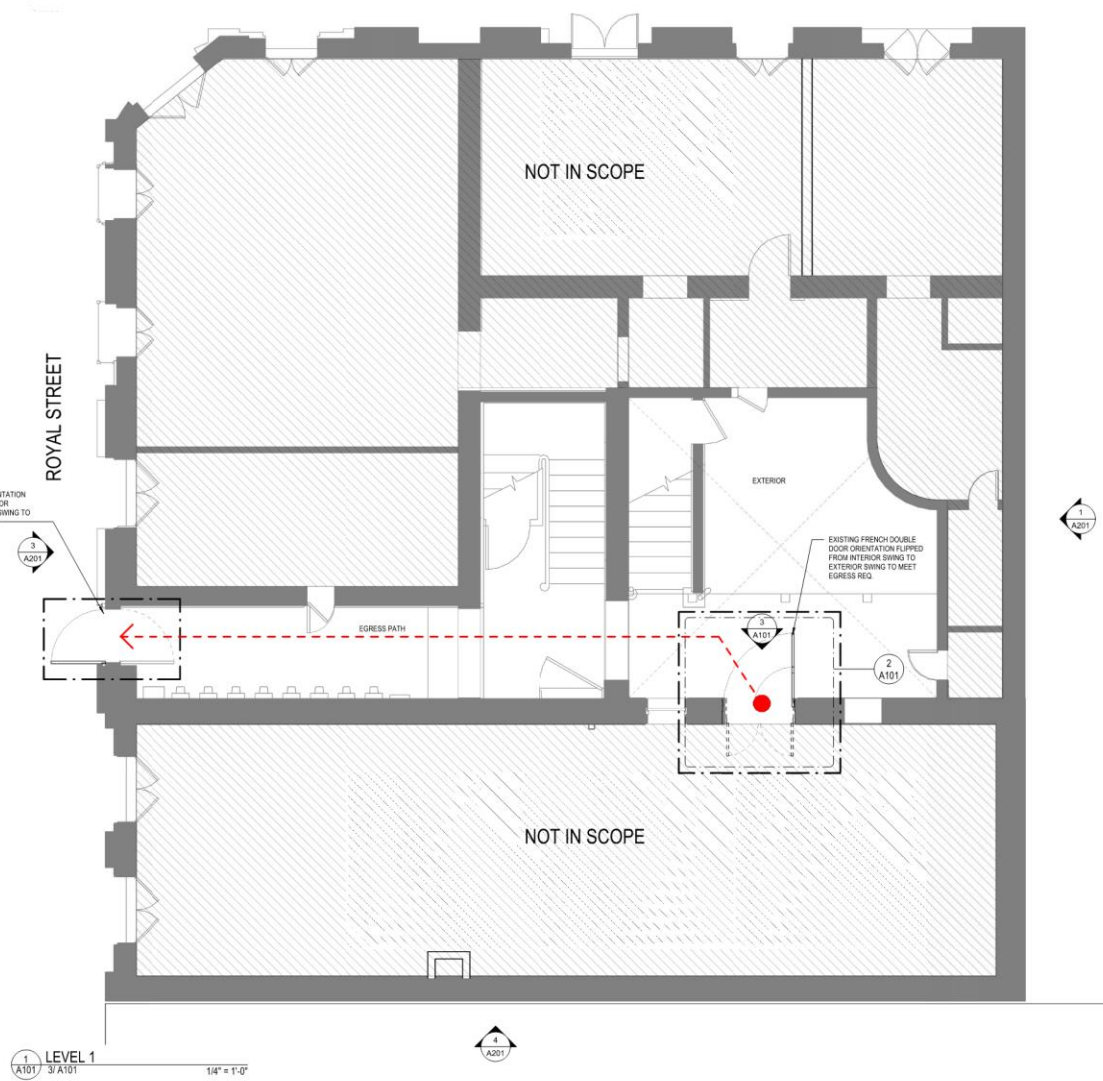
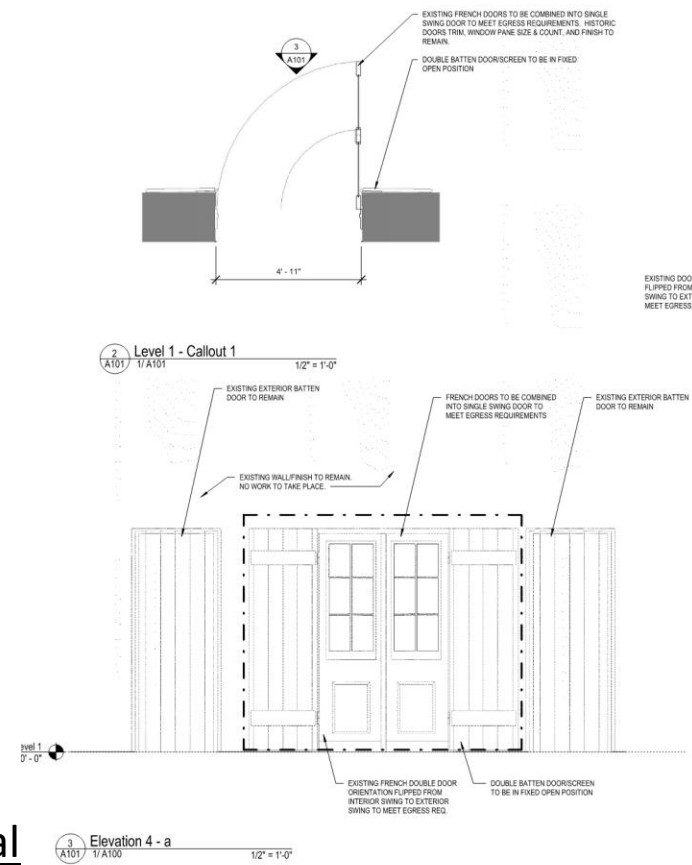
640 ROYAL ST TENANT
IMPROVEMENTS
640 ROYAL ST NEW ORLEANS, LA 70130

[illegible]

DRAWING BY	JR
SCALE	As indicated
JOB No.	523017.00
DATE	12.05.23
SHEET NAME	
FIRST FLOOR PLAN	

SHEET NO.

A101



636-40 Royal

VCC Architectural Committee

January 23, 2024

ST PETER STREET



ROYAL STREET



1 Level 2
A102 1/ A201

1/4" = 1'-0"



NOT IN SCOPE

EXTERIOR

504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) ~~will not~~ be providing project construction administrative services on this project.

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640 ROYAL ST NEW ORLEANS, LA 70130

Project Status

-REVISIONS-

No.	Date	Scope
2	12.05.23	VCC REVIEW

DRAWING BY Author
SCALE 1/4" = 1'-0"
JOB No. 523017.00
DATE 12.05.23

SHEET NAME
SECOND FLOOR PLAN

SHEET NO.

A102

636-40 Royal

VCC Architectural Committee

January 23, 2024



VCC Architectural Committee



A103



ST PETER STREET



ROYAL STREET



2067 SQFT



EXTERIOR



Level 4

1/ A201

1/4" = 1'-0"



504-566-0888
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I (we) ~~will~~ be providing project construction administrative services on this project.

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640 ROYAL ST TENANT
IMPROVEMENTS
640 ROYAL ST NEW ORLEANS, LA 70130

Project Status

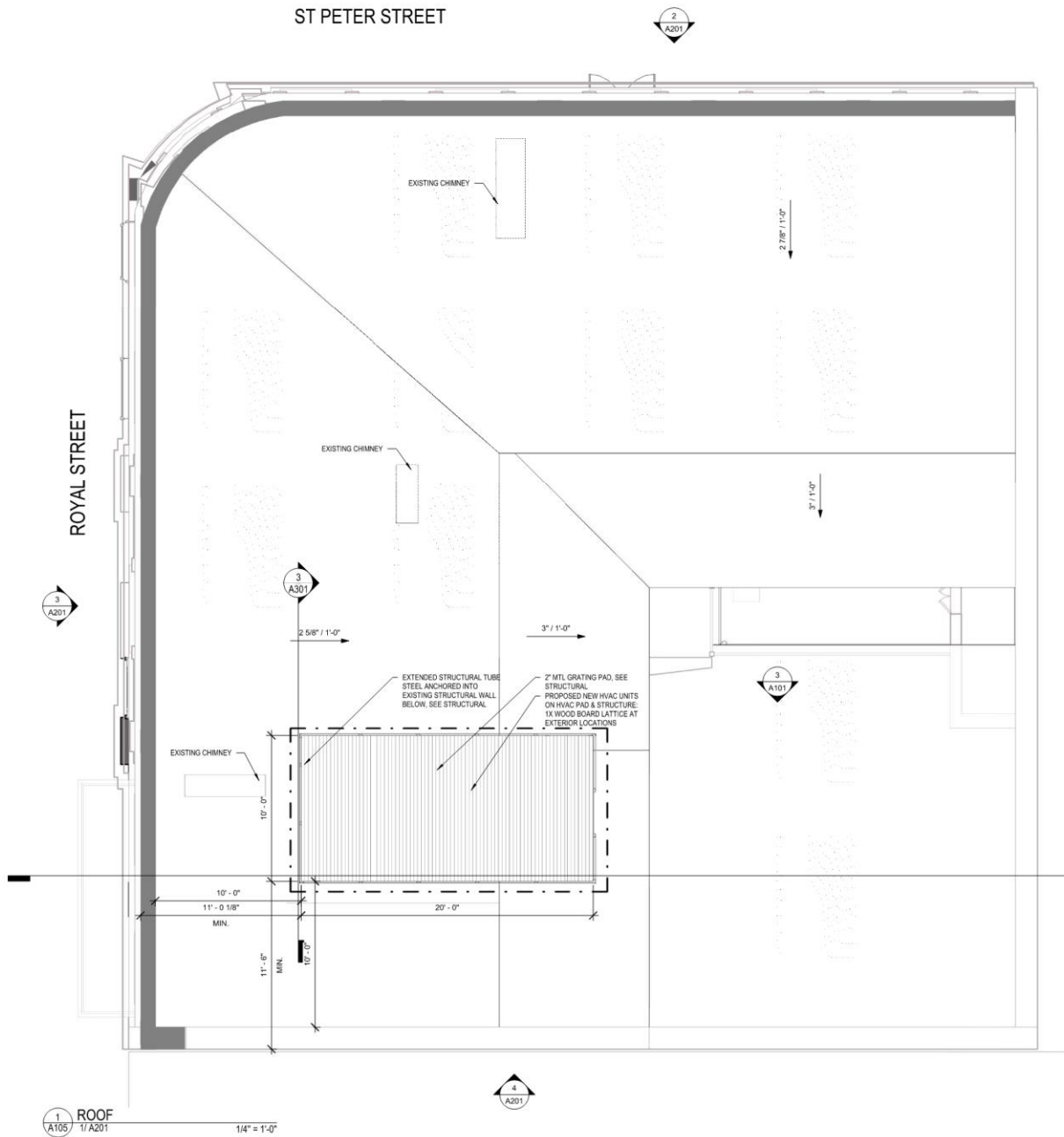
-REVISIONS-

No.	Date	Scope
2	12.05.23	VCC REVIEW

DRAWING BY
SCALE 1/4" = 1'-0"
JOB No. 523017.00
DATE 12.05.23
SHEET NAME
FOURTH FLOOR PLAN
SHEET NO.

A104





NEW ORLEANS, LA 70113
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640 ROYAL ST TENANT
IMPROVEMENTS
640 ROYAL ST NEW ORLEANS, LA 70130

Project Status

-REVISIONS-

No.	Date	Scope
2	12.05.23	VCC REVIEW

DRAWING BY

SCALE

JOB No.

DATE

SHEET NAME

ROOF PLAN

SHEET NO.

Author

1/4" = 1'-0"

523017.00

12.05.23

A105

January 23, 2024

640 ROYAL ST TENANT
 IMPROVEMENTS
 640 ROYAL ST NEW ORLEANS, LA 70130

Project Status

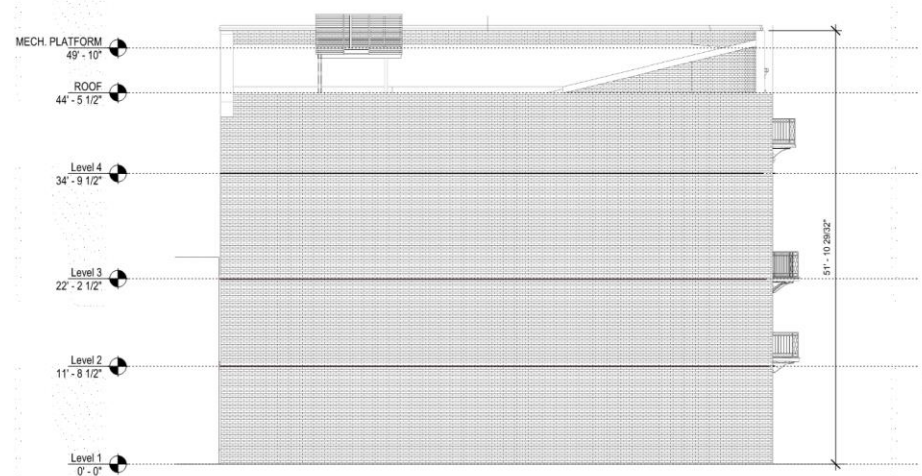
-REVISIONS-		
No.	Date	Scope

DRAWING BY
 SCALE 1/8" = 1'-0"
 JOB No. 523017.00
 DATE 12.05.23

SHEET NAME
 EXTERIOR ELEVATIONS

SHEET NO.

A201



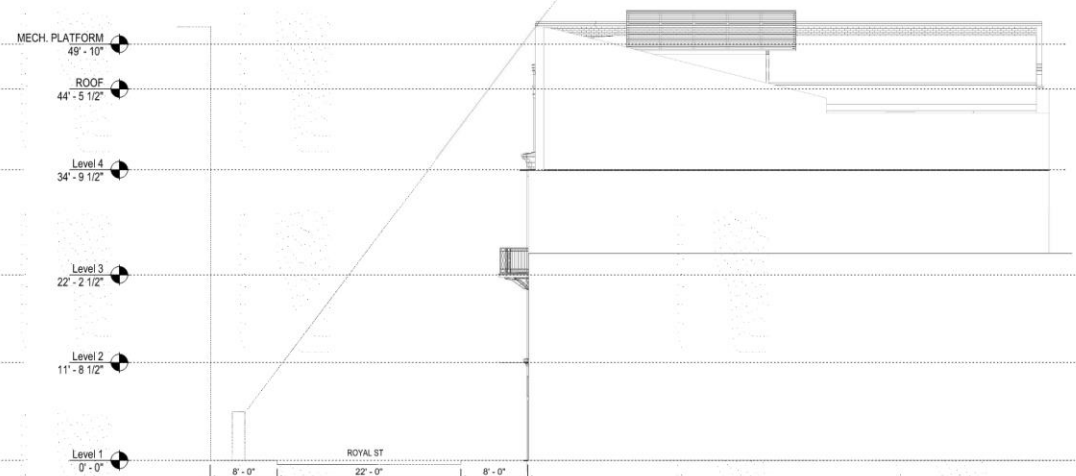
1 East
 A201 1/ A100 1/8" = 1'-0"



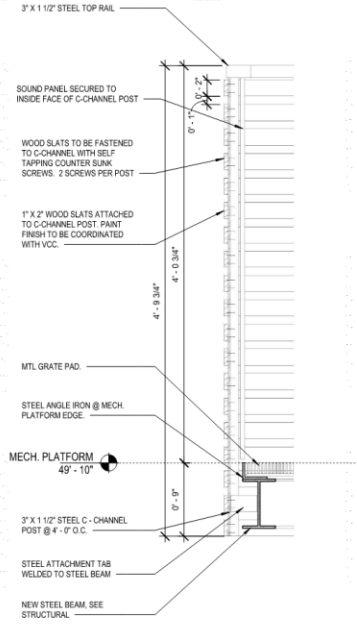
2 North
 A201 1/ A100 1/8" = 1'-0"



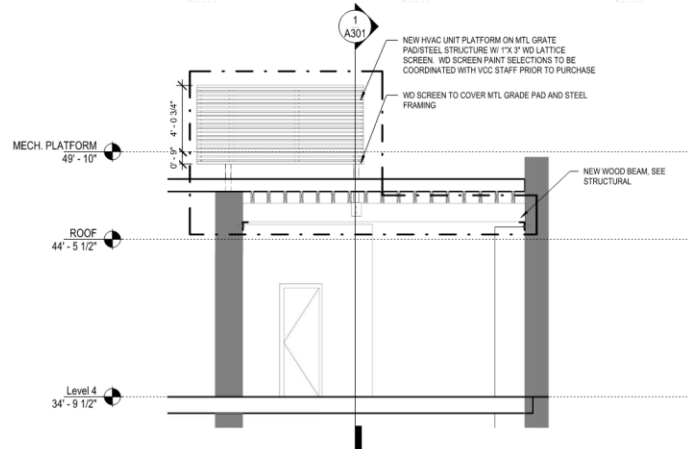
3 West
 A201 1/ A100 1/8" = 1'-0"



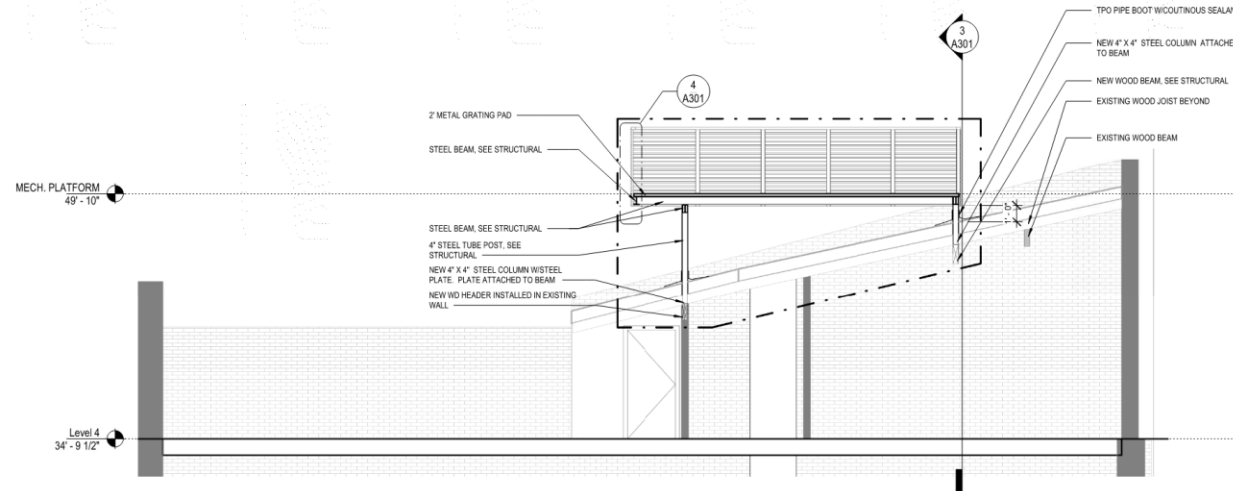
4 South
 A201 1/ A100 1/8" = 1'-0"



4 Section 1 - Callout 1
A301 1/A301
1 1/2" = 1'-0"



Section 3



Section 1

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640 ROYAL ST NEW ORLEANS, LA 70130

Project Status

REVISIONS-

No.	Date	Scope

DRAWING BY SCALE Author As indicated
JOB No. 523017.00
DATE 12.05.23

SHEET NAME
BUILDING SECTIONS

SHEET NO.

A301



636-40 Royal
VCC Architectural Committee

January 23, 2024

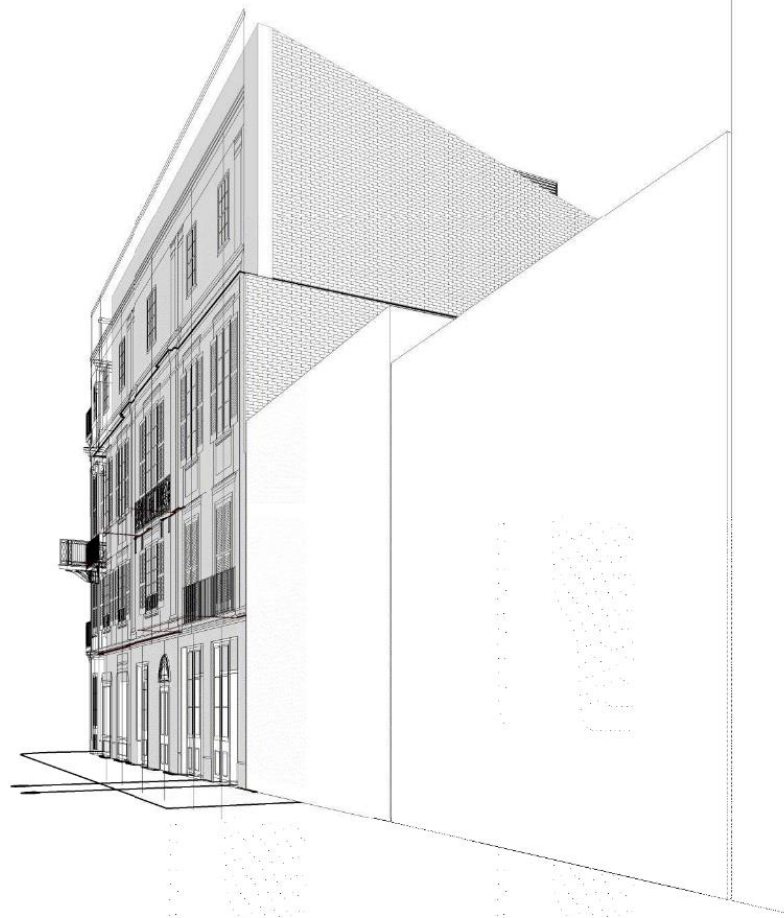


636-40 Royal

VCC Architectural Committee

1
A821

3D VIEW @ 618 ROYAL ST



January 23, 2024





636-40 Royal
VCC Architectural Committee

January 23, 2024





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VCC Architectural Committee

January 23, 2024





636-40 Royal

VCC Architectural Committee

January 23, 2024





636-40 Royal

VCC Architectural Committee

January 23, 2024



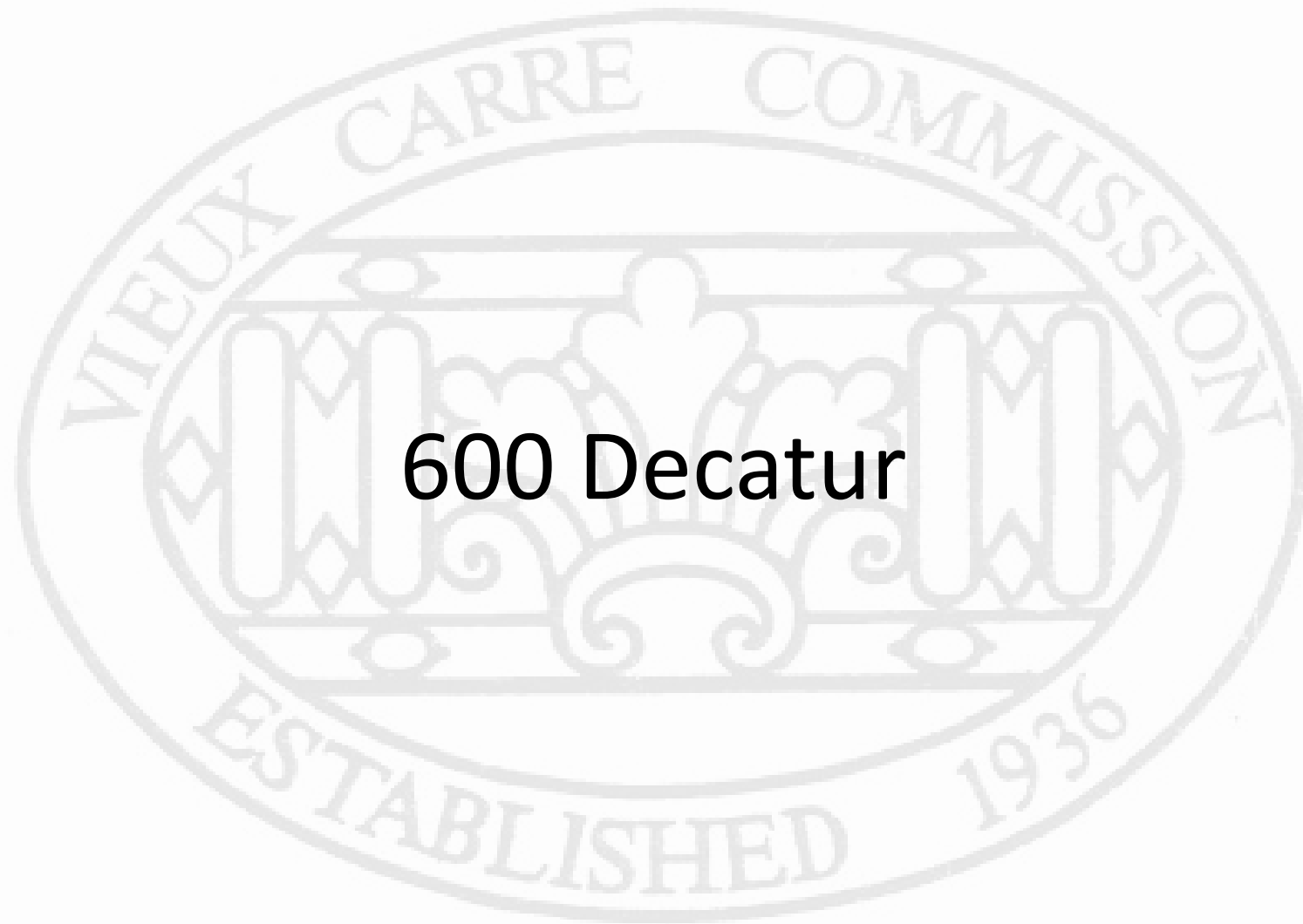


636-40 Royal

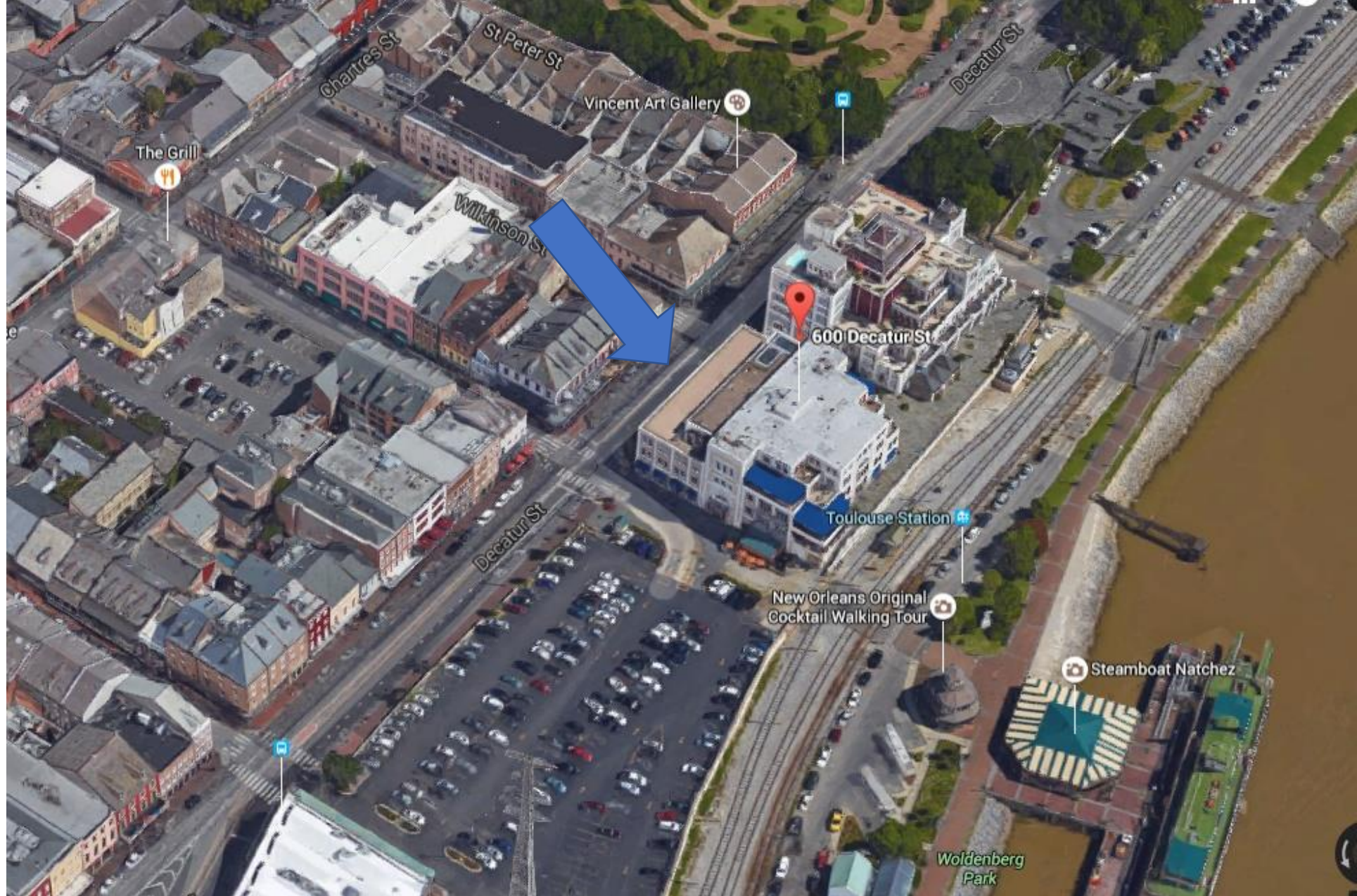
VCC Architectural Committee

January 23, 2024





600 Decatur

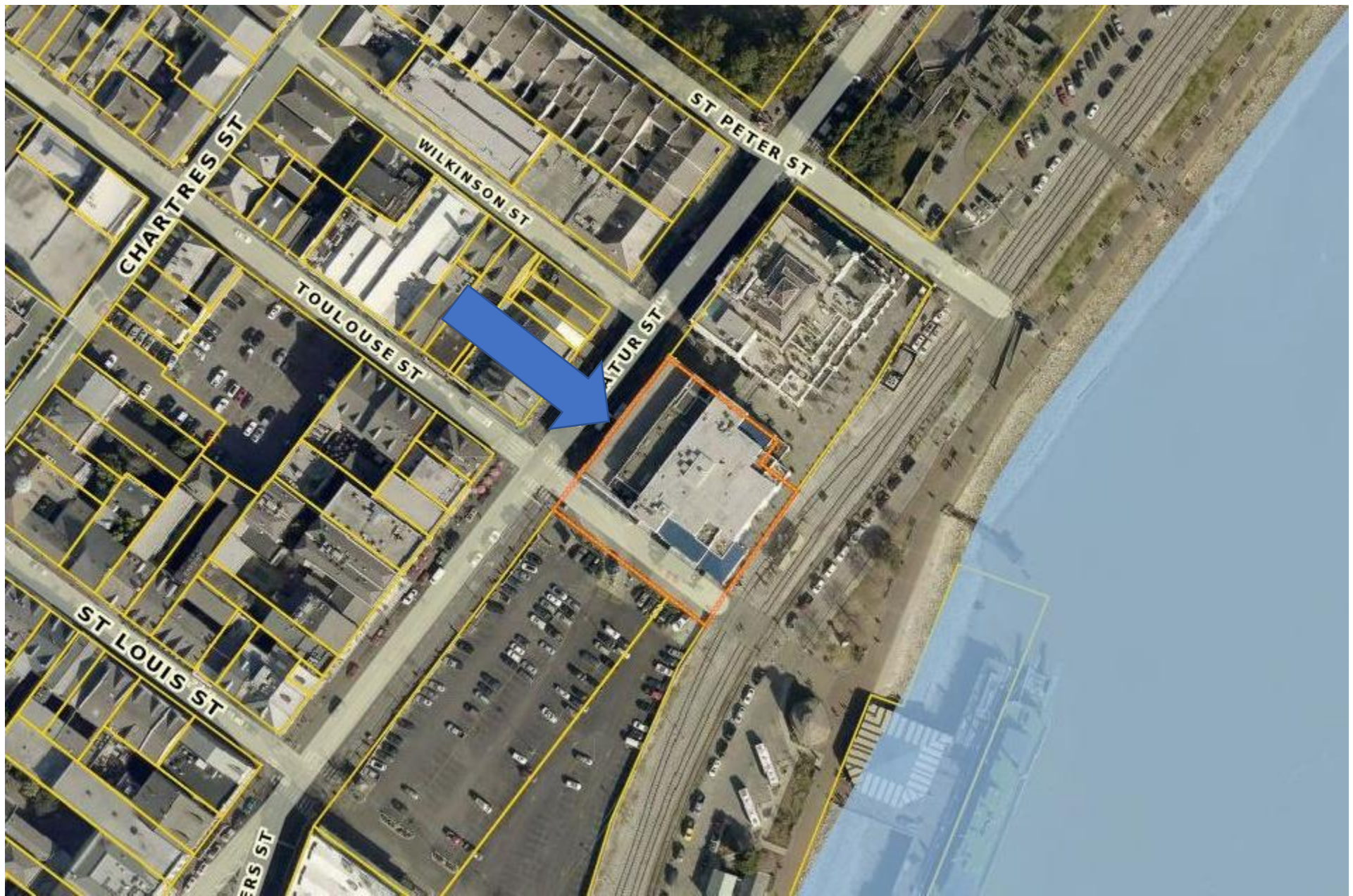


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VCC Architectural Committee

January 23, 2024



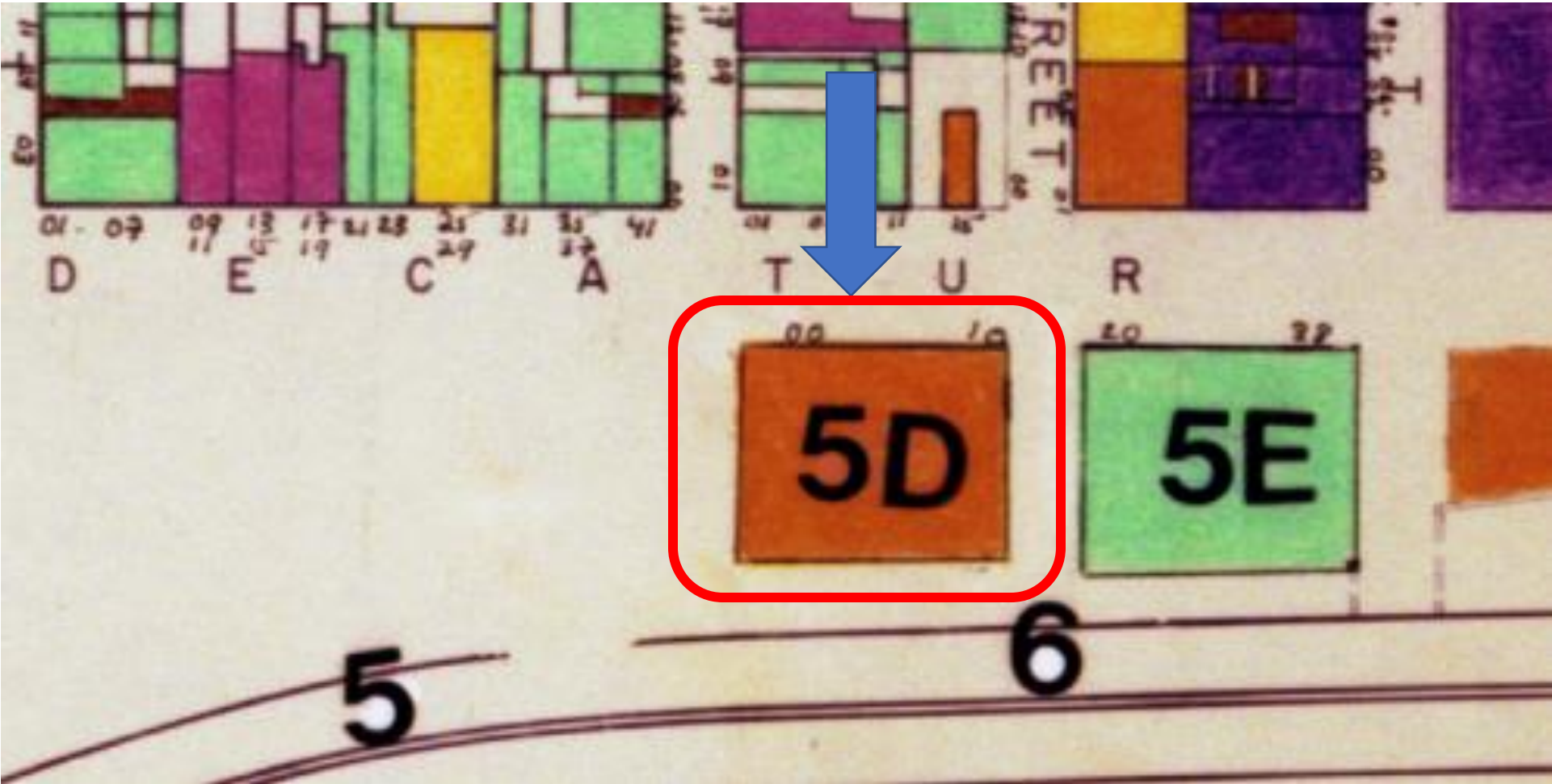


600 Decatur

VCC Architectural Committee

January 23, 2024







600 Decatur

VCC Architectural Committee

January 23, 2024





600 Decatur

VCC Architectural Committee

January 23, 2024





600 Decatur

VCC Architectural Committee

January 23, 2024





600 Decatur

VCC Architectural Committee

January 23, 2024





600 Decatur

VCC Architectural Committee

January 23, 2024





600 Decatur

VCC Architectural Committee

January 23, 2024





600 Decatur

VCC Architectural Committee

January 23, 2024





600 Decatur

VCC Architectural Committee

January 23, 2024





600 Decatur
VCC Architectural Committee

January 23, 2024





600 Decatur
VCC Architectural Committee

January 23, 2024



ELEVATION LEGEND



DEMO AND REPLACEMENT
SCOPE

GENERAL NOTES:

- WINDOWS AND DOORS WILL BE LAMINATED
INSULATED GLAZING CONSISTING OF:
A. Ext. 1/4" LOWE (TEMPERED)
B. 13/32" ARGON AIRSPACE
C. 11/32" INT. LAMI CLEAR 090 -8.6SGP
3.0/090/3.0 (ANNEALED)



ELEVATION LEGEND



DEMO AND REPLACEMENT
SCOPE

GENERAL NOTES:

- WINDOWS AND DOORS WILL BE LAMINATED INSULATED GLAZING CONSISTING OF:
 - Ext. 1/4" LOWE (TEMPERED)
 - 13/32" ARGON AIRSPACE
 - 11/32" INT. LAM CLEAR 090-8.6SGP 3.0/090/3.0 (ANNEALED)



600 Decatur

VCC Architectural Committee

1
A1.51 EXTERIOR ELEVATION - SOUTH (TOULOUSE)
1/8" = 1'-0"

January 23, 2024



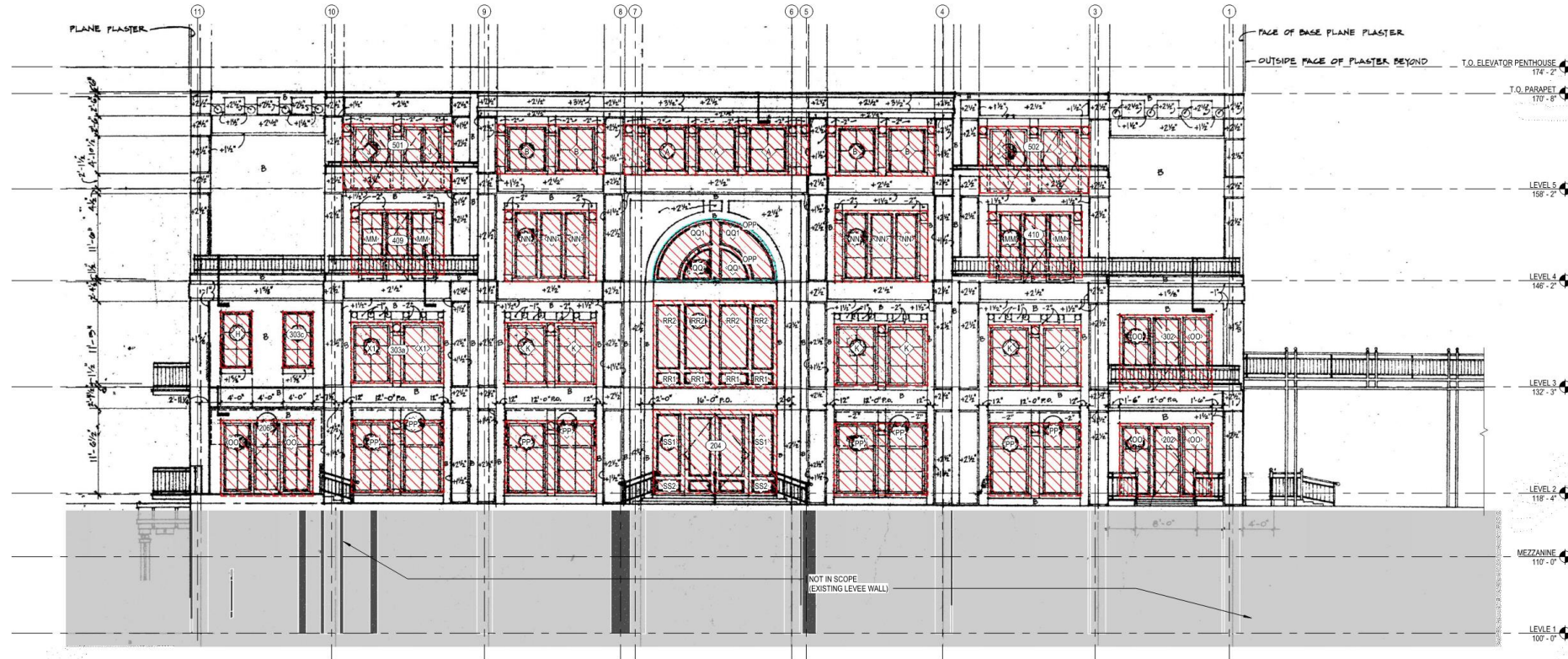
ELEVATION LEGEND



DEMO AND REPLACEMENT
SCOPE

GENERAL NOTES:

- WINDOWS AND DOORS WILL BE LAMINATED
INSULATED GLAZING CONSISTING OF:
A. Ext. 1/4" LOWE (TEMPERED)
B. 13/32" ARGON AIRSPACE
C. 11/32" INT. LAMI CLEAR 090-8.6SGP
3.0/090/3.0 (ANNEALED)



600 Decatur ¹/₂ EXTERIOR ELEVATION - EAST (RIVIER)

VCC Architectural Committee

January 23, 2024



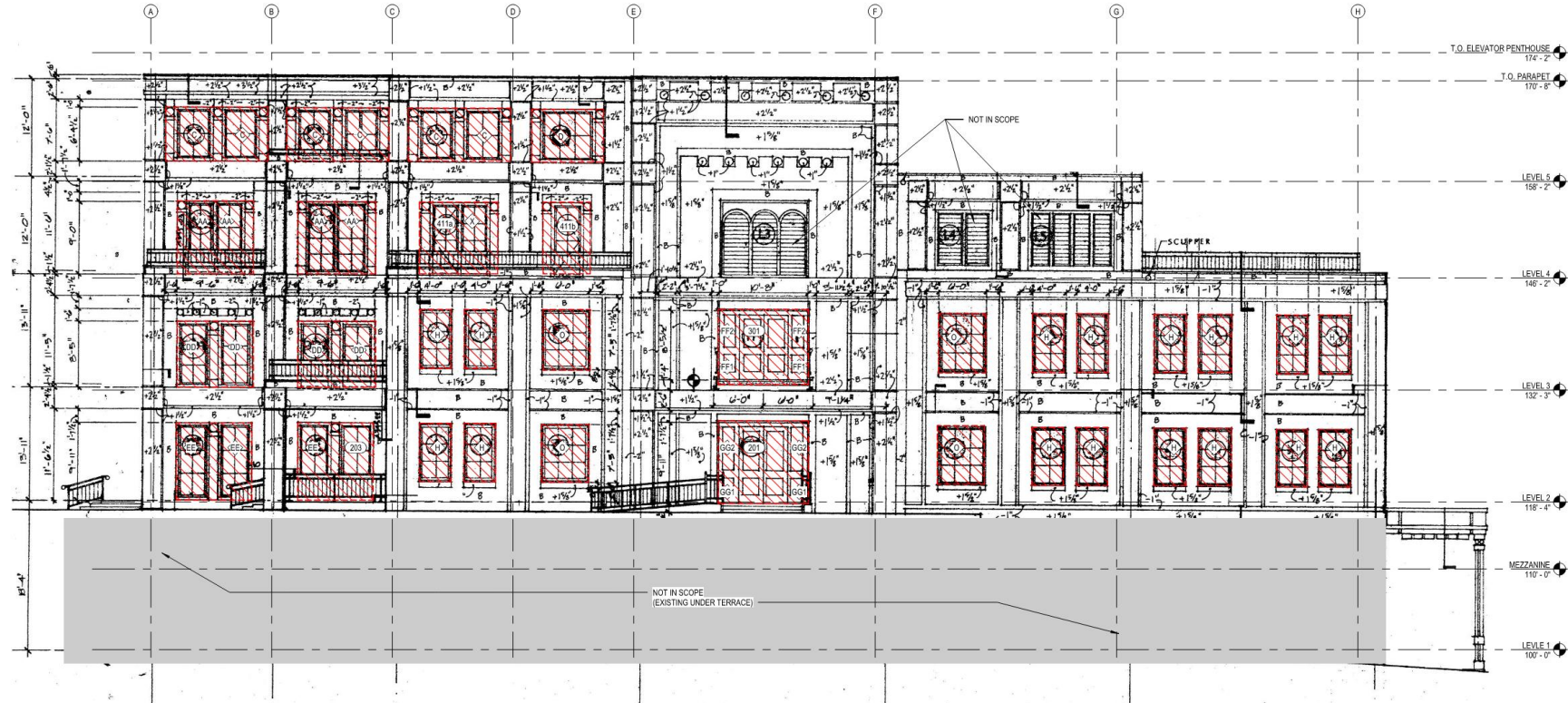
ELEVATION LEGEND



DEMO AND REPLACEMENT
SCOPE

GENERAL NOTES:

- WINDOWS AND DOORS WILL BE LAMINATED
INSULATED GLAZING CONSISTING OF:
A. EX. 1/4" LOWE (TEMPERED)
B. 13/32" ARGON AIRSPACE
C. 11/32" INT. LAMI CLEAR 090 - 8.6SGP
3.0/090/3.0 (ANNEALED)



600 Decatur

VCC Architectural Committee

1 EXTERIOR ELEVATION - NORTH (WILKINSON)
A1.53 1/8" = 1'-0"

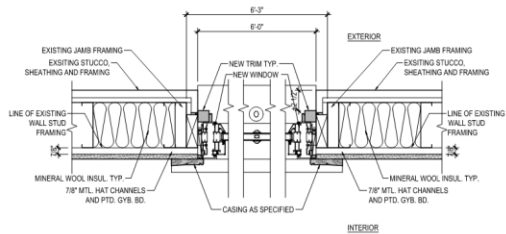
January 23, 2024



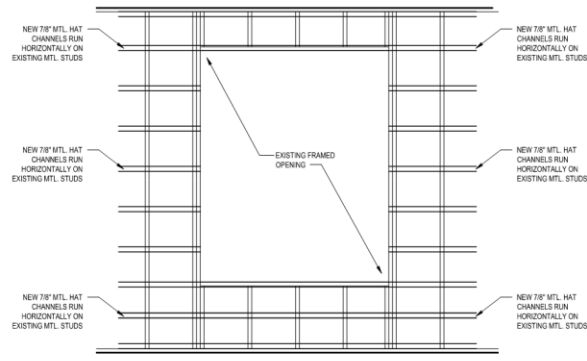
1 NOT USED
A2.00 NO SCALE



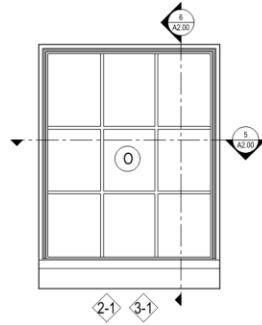
3 EXTERIOR DEMO MATERIAL LIMITS
A2.00 NO SCALE



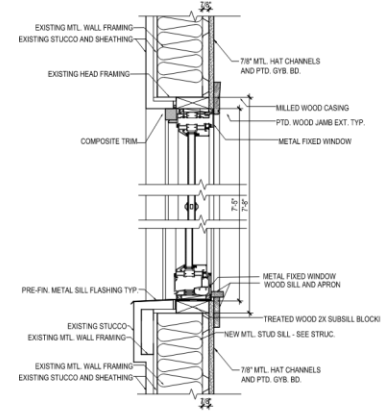
5 HORIZONTAL OPENING SECTION TYPE 2-1, 3-1
A2.00 1 1/2" = 1'-0"



2 INTERIOR FRAMING ELEVATION - TYP
A2.00 1/2" = 1'-0"



4 EXTERIOR ELEVATION- TYPE 2-1, 3-1
A2.00 1/2" = 1'-0"



6 VERTICAL SECTION - TYP
A2.00 1 1/2" = 1'-0"



**JAX MILLHOUSE
HURRICANE IDA REPAIR
2nd - 4th FLOORS**

NEW ORLEANS, LA 70130

600 DECATUR ST.

DATE ISSUED:	14 DECEMBER 2023
REVISED:	
REVISED:	
REVISED:	
REVISED:	
DRAWN BY:	WSA
CHECKED BY:	SHR
PHASE:	

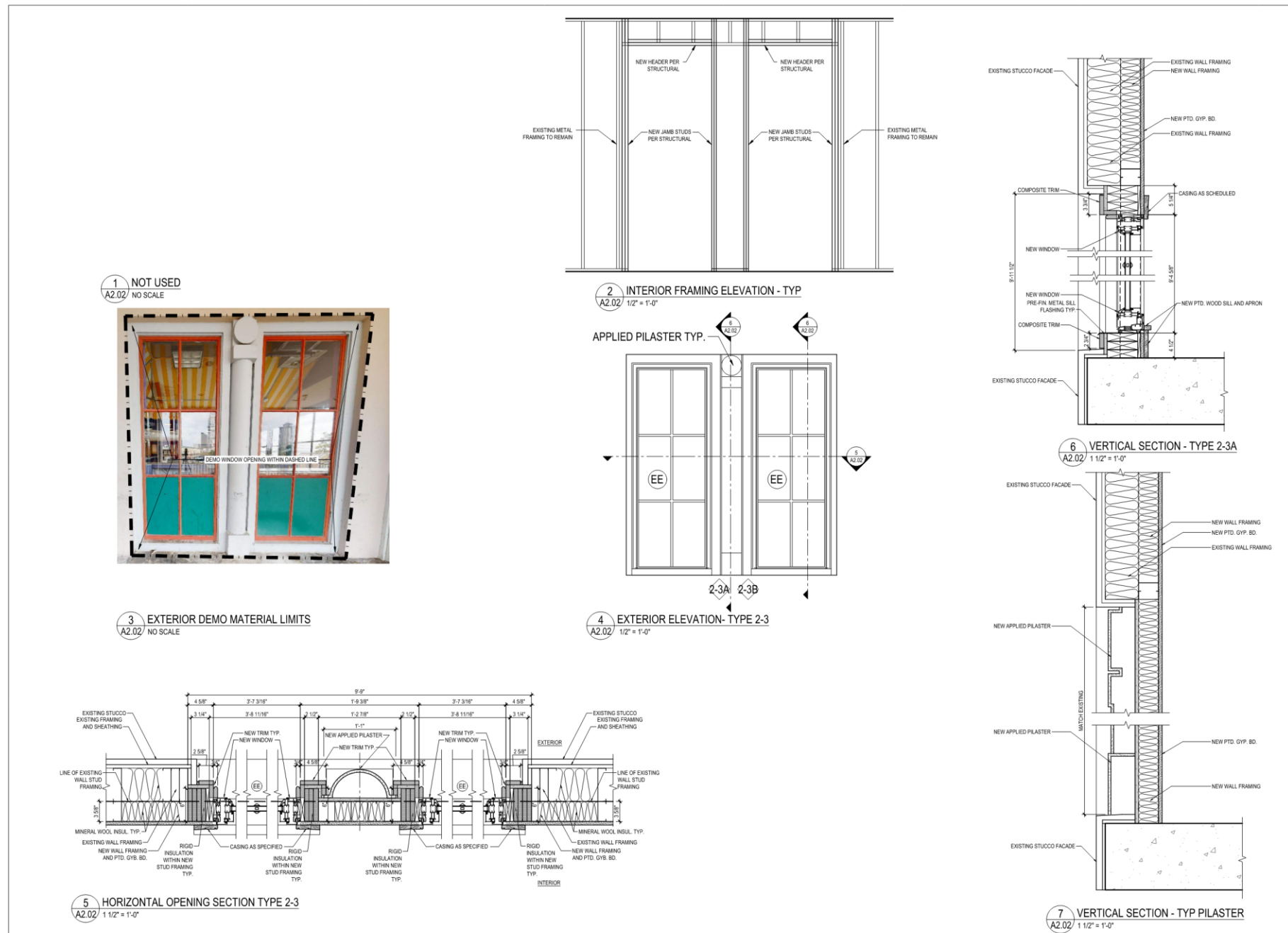
**CONSTRUCTION
DOCUMENTS**

23013

TITLE:
**WINDOW
TYPE 2-1, 3-1**
SHEET:

A2.00





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2nd - 4th FLOORS

NEW ORLEANS, LA 70130

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REVISED: _____

REVISED: _____

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PHASE: _____

CONSTRUCTION DOCUMENTS

23013

TITLE: _____

WINDOW

TYPE 2-3A

SHEET: _____

A2.02

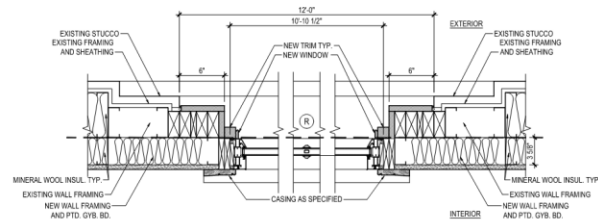




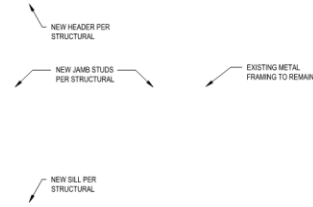
1 NOTUSED
A2.07 NO SCALE



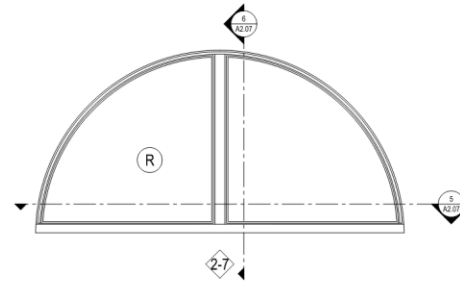
3 EXTERIOR DEMO MATERIAL LIMITS
A2.07 NO SCALE



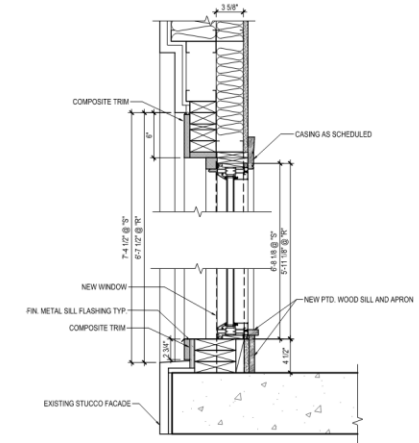
5 HORIZONTAL OPENING SECTION TYPE 2-7
A2.07 1 1/2" = 1'-0"



2 INTERIOR FRAMING ELEVATION - TYP
A2.07 1/2" = 1'-0"



4 EXTERIOR ELEVATION- TYPE 2-7
A2.07 1/2" = 1'-0"



6 VERTICAL SECTION - TYPE 2-7
A2.07 1 1/2" = 1'-0"



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PHASE:

CONSTRUCTION

DOCUMENTS

23013

TITLE:

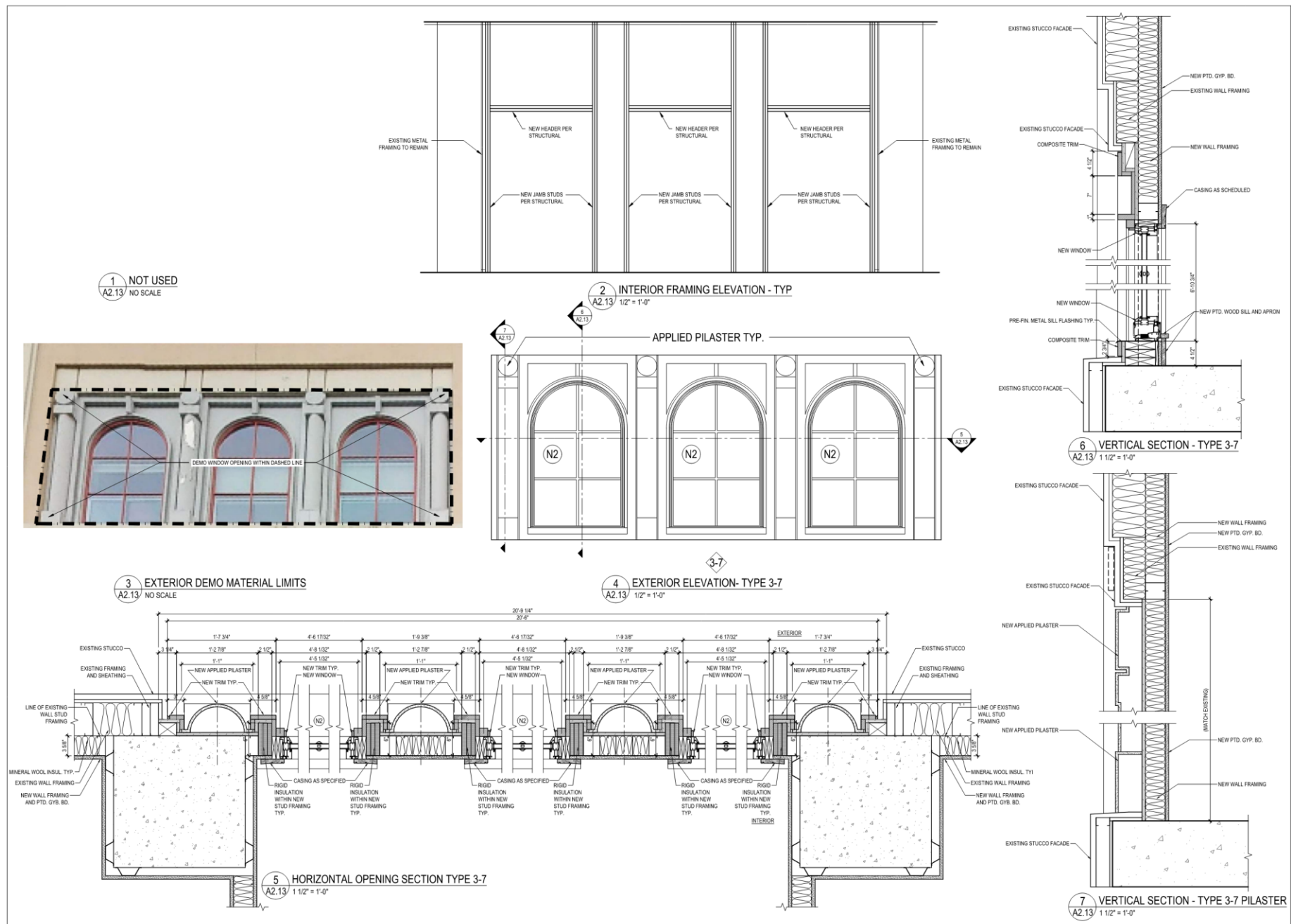
WINDOW

TYPE 2-7

SHEET:

A2.07





VergesRome
Architects
320 N. Carrollton Avenue, Suite 100
New Orleans, Louisiana 70119
t. 504.488.7739 f. 504.488.7743
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REVISED: _____
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PHASE:

**CONSTRUCTION
DOCUMENTS**

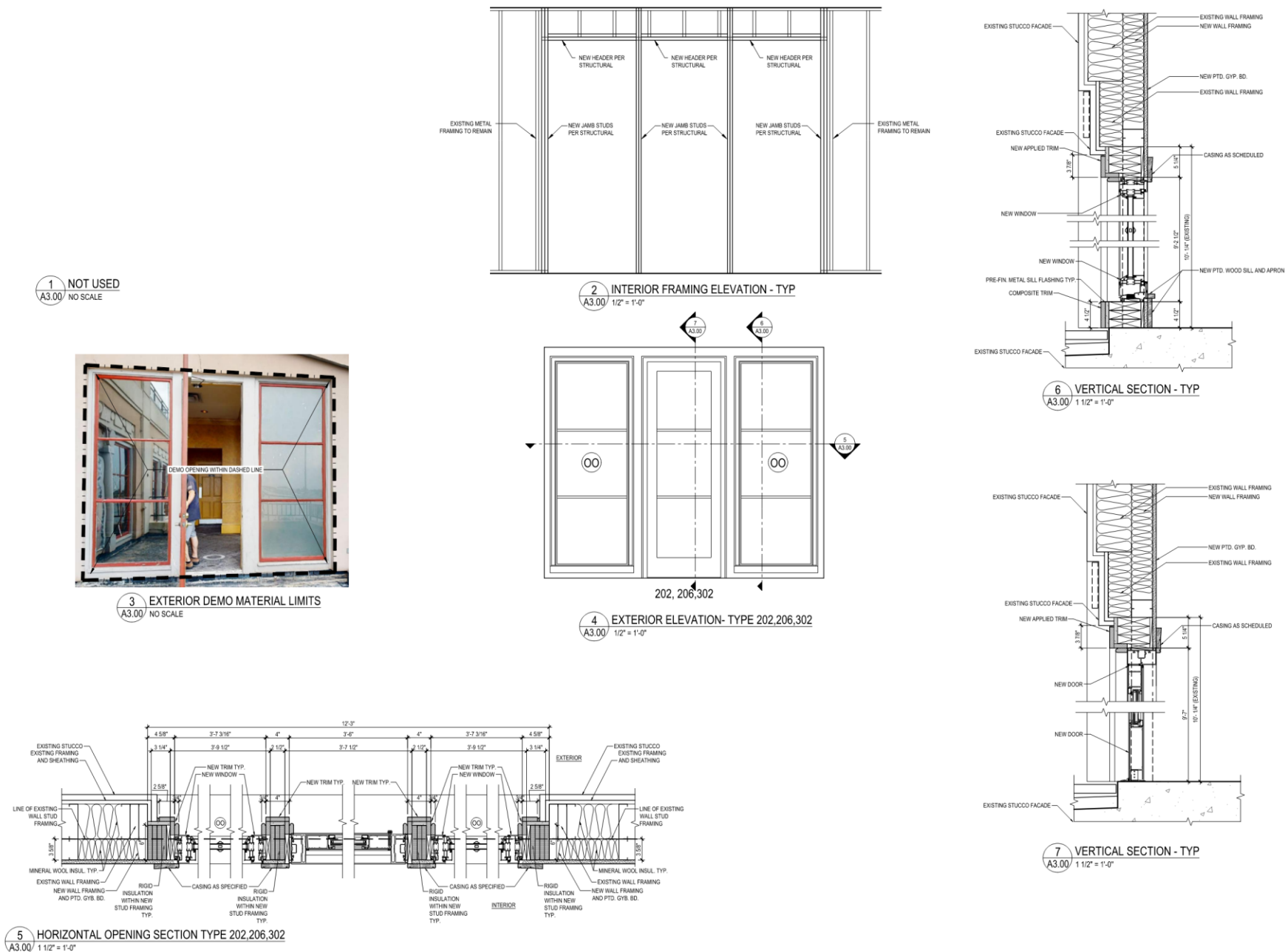
23013

TITLE: **WINDOW
TYPE 3-7**

SHEET: **A2.13**



January 23, 2024



VergesRome

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New Orleans, Louisiana 70119
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PHASE:

CONSTRUCTION
DOCUMENTS

23013

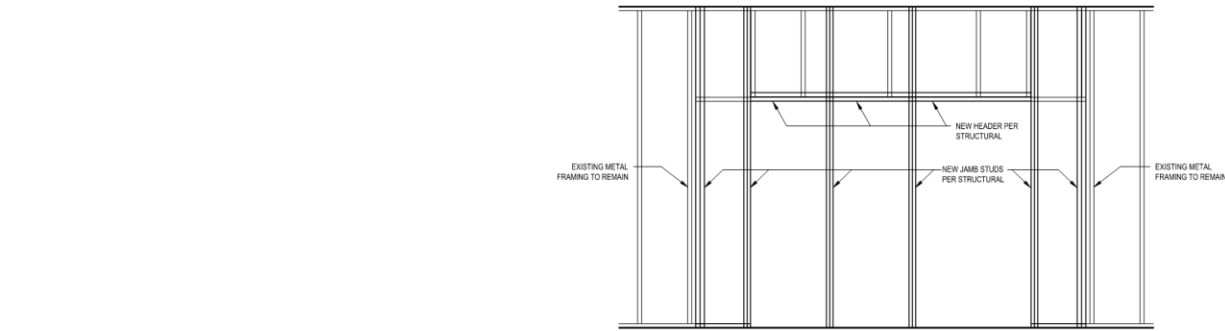
TITLE:
DOOR
TYPE 202,206,302

SHEET:

A3.00

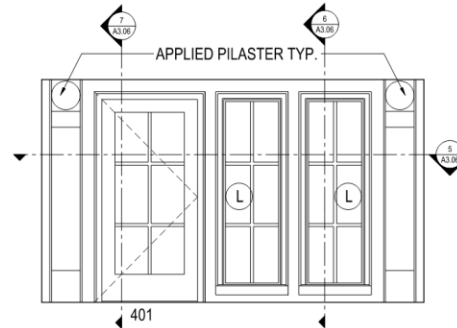


January 23, 2024



1 NOT USED
A3.06/ NO SCALE

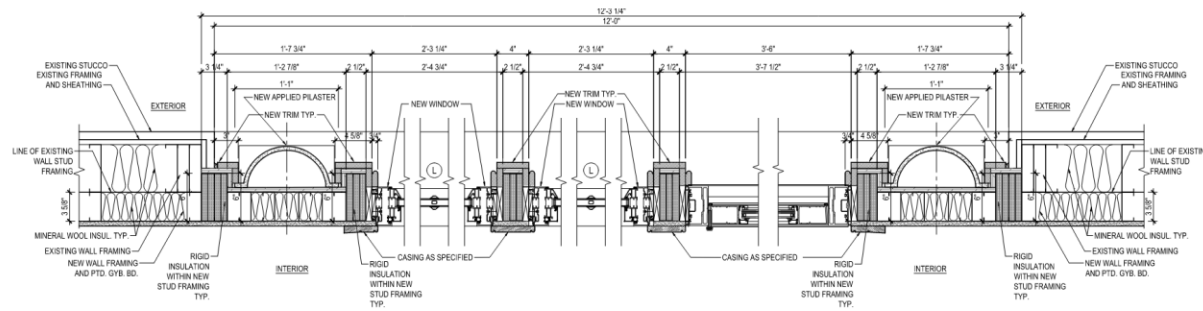
2 INTERIOR FRAMING ELEVATION - TYP
A3.06/ 1/2" = 1'-0"



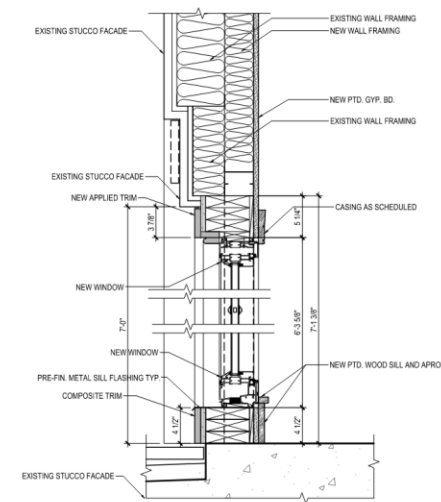
4 EXTERIOR ELEVATION- TYPE 401
A3.06/ 1/2" = 1'-0"



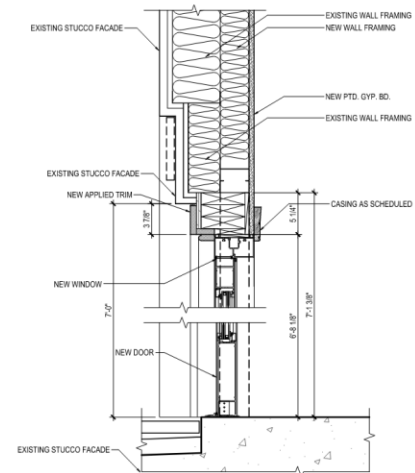
3 EXTERIOR DEMO MATERIAL LIMITS
A3.06/ NO SCALE



5 HORIZONTAL OPENING SECTION TYPE 401
A3.06/ 1 1/2" = 1'-0"



6 VERTICAL SECTION - TYP
A3.06/ 1 1/2" = 1'-0"



7 VERTICAL SECTION - TYP
A3.06/ 1 1/2" = 1'-0"



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2nd - 4th FLOORS

NEW ORLEANS, LA 70130

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REVISED: _____
DRAWN BY: WSA
CHECKED BY: SHR

PHASE: CONSTRUCTION DOCUMENTS

23013

TITLE: DOOR
TYPE 401

SHEET: A3.06



WINDOW SCHEDULE										
MARK	TYPE	SIZE		DESCRIPTION	MTRL	DETAIL			SILL HEIGHT A.F.F.	REMARKS
		WIDTH	HEIGHT			HEAD	JAMB	SILL		
O	2-1, 3-1	5'-0 3/4"	7'-3 3/4"	QUAKER WINDOW UNIT	ALUM.	1/A6.04	2/A6.04	3/A6.04	EXISTING	SEE NOTE 1.
H	2-2, 3-2	3'-0 3/4"	7'-3 3/4"	QUAKER WINDOW UNIT	ALUM.	1/A6.04	2/A6.04	3/A6.04	EXISTING	SEE NOTE 1.
H	3-2B	3'-0 3/4"	7'-3 3/4"	QUAKER WINDOW UNIT	ALUM.	4/A6.07	5/A6.07	6/A6.07	EXISTING	SEE NOTE 1.
EE	2-3A, 2-3B, 2-3	3'-6"	9'-3 3/8"	QUAKER WINDOW UNIT	ALUM.	4/A6.04	5/A6.04	6/A6.04	EXISTING	SEE NOTE 1.
K	2-4, 3-4	4'-6"	7'-6"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	5/A6.04	6/A6.04	EXISTING	SEE NOTE 1.
PP	2-5	4'-6"	7'-6 3/4"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	5/A6.04	6/A6.04	EXISTING	SEE NOTE 1.
S	2-6	12'-3 1/4"	6'-6 7/8"	QUAKER WINDOW UNIT	ALUM.	1/A6.05	2/A6.05	3/A6.05	EXISTING	SEE NOTE 1.
R	2-7	10'-9 1/4"	5'-9 7/8"	QUAKER WINDOW UNIT	ALUM.	1/A6.05	2/A6.05	3/A6.05	EXISTING	SEE NOTE 1.
DD	3-3A, 3-3B	3'-6"	7'-6"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	5/A6.04	6/A6.04	EXISTING	SEE NOTE 1.
RR1	3-5	3'-2 1/8"	2'-0"	QUAKER WINDOW UNIT	ALUM.	10/A6.05	4/A6.05	11/A6.05	EXISTING	SEE NOTE 1.
RR2	3-5	3'-2 1/8"	8'-2 1/2"	QUAKER WINDOW UNIT	ALUM.	7/A6.05	4/A6.05	10/A6.05	EXISTING	SEE NOTE 1.
N	3-6	3'-4 1/2"	6'-9 1/2"	QUAKER WINDOW UNIT	ALUM.	1/A6.06	2/A6.06	3/A6.06	EXISTING	SEE NOTE 1.
N2	3-7	4'-3 3/4"	6'-9 1/2"	QUAKER WINDOW UNIT	ALUM.	1/A6.06	2/A6.06	3/A6.06	EXISTING	SEE NOTE 1.
Q	3-8	3'-6 3/4"	5'-4 1/2"	QUAKER WINDOW UNIT	ALUM.	5/A6.06	6/A6.06	7/A6.06	EXISTING	SEE NOTE 1.
HH	4-1	2'-10"	8'-2 3/8"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	2/A6.07	9/A6.04	EXISTING	SEE NOTE 1.
AA	4-2A, 4-2B	2'-10"	8'-2 3/8"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	2/A6.07	9/A6.04	EXISTING	SEE NOTE 1.
NN	4-3	2'-2"	8'-2 3/8"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	2/A6.07	9/A6.04	EXISTING	SEE NOTE 1.
QQ	4-4	14'-9 1/4"	7'-6 3/8"	QUAKER WINDOW UNIT	ALUM.	3/A6.10	4/A6.10	5/A6.05 SIM	EXISTING	SEE NOTE 1.
P	4-5	1'-7 5/8"	7'-11 1/4"	QUAKER WINDOW UNIT	ALUM.	1/A6.06 SIM	1/A6.07	3/A6.07	EXISTING	SEE NOTE 1.
OO	202,206,302	3'-6"	9'-1 1/4"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	5/A6.04	9/A6.04	EXISTING	SEE NOTE 1.
W	207,208,304,305	2'-3 5/8"	9'-1 1/4"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	5/A6.04	9/A6.04	EXISTING	SEE NOTE 1.
X1	303a	2'-2"	7'-6"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	3/A6.09	9/A6.04	EXISTING	SEE NOTE 1.
L	401	2'-2"	6'-2 3/8"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	3/A6.09	9/A6.04	EXISTING	SEE NOTE 1.
L	404,405	2'-2"	6'-2 3/8"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	3/A6.09	9/A6.04	EXISTING	SEE NOTE 1.
M	402,403	2'-3 1/4"	6'-2 3/8"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	2/A6.09	9/A6.04	EXISTING	SEE NOTE 1.
X	407b,408c,411a	2'-3 1/4"	6'-2 3/8"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	1/A6.10	9/A6.04	EXISTING	SEE NOTE 1.
MM	409,410	2'-2"	6'-2 3/8"	QUAKER WINDOW UNIT	ALUM.	7/A6.04	2/A6.10	9/A6.04	EXISTING	SEE NOTE 1.
GG1	201	1'-2 1/4"	2'-6 1/4"	QUAKER WINDOW UNIT	ALUM.				EXISTING	SEE NOTE 1.
GG2	201	1'-2 1/4"	5'-6 3/4"	QUAKER WINDOW UNIT	ALUM.				EXISTING	SEE NOTE 1.
SS1	204	3'-1 3/4"	7'-2 3/4"	QUAKER WINDOW UNIT	ALUM.				EXISTING	SEE NOTE 1.
SS2	204	3'-1 3/4"	2'-5 1/2"	QUAKER WINDOW UNIT	ALUM.				EXISTING	SEE NOTE 1.
FF1	301	1'-1 1/2"	2'-5 1/2"	QUAKER WINDOW UNIT	ALUM.				EXISTING	SEE NOTE 1.
FF2	301	1'-1 1/2"	4'-1 3/4"	QUAKER WINDOW UNIT	ALUM.				EXISTING	SEE NOTE 1.

WINDOW NOTES
1. MISSILE IMPACT WINDOW



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Architects

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New Orleans, Louisiana 70119
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JAX MILLHOUSE
HURRICANE IDA REPAIR
2nd - 4th FLOORS

NEW ORLEANS, LA 70130
600 DECATUR ST.

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WINDOW TYPES
AND SCHEDULE

SHEET:

A6.00

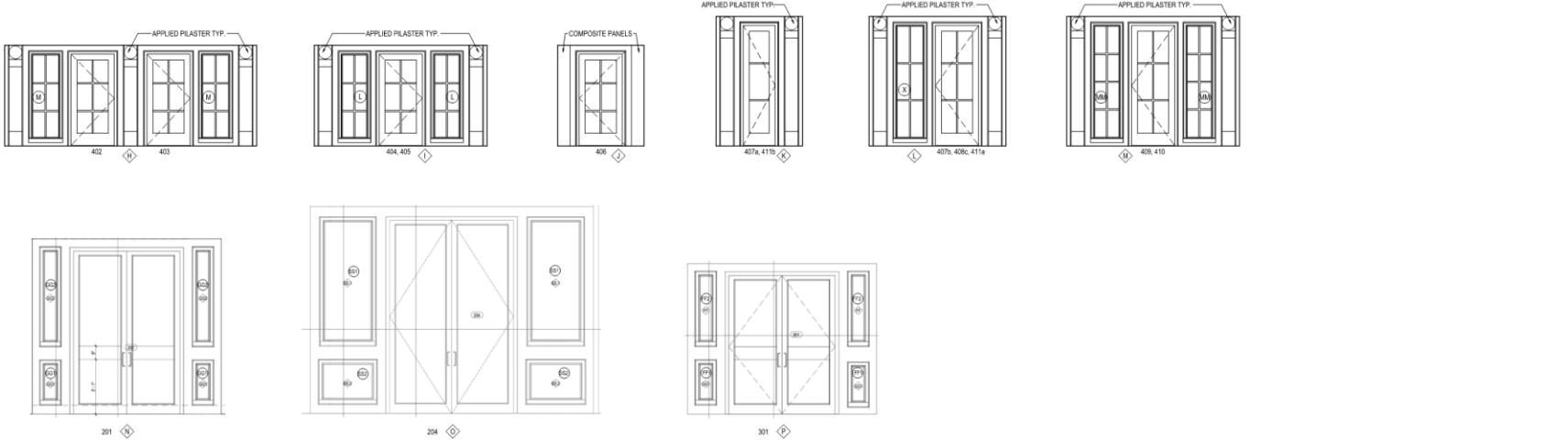


January 23, 2024

DOOR SCHEDULE

DOOR MARK	TYPE	DOOR UNIT SIZE		DESCRIPTION	DETAIL			REMARKS	
		WIDTH	HEIGHT		WTRM	HEAD	JAMB		SILL
202, 206, 302	A	3'-0"	6'-6 1/2"	STOREFRONT DOOR (3'-0" X 6'-6 1/2") WITH 2 QUAKER WINDOW UNITS - "00"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
203	B	3'-6 1/4"	6'-7 1/4"	STOREFRONT DOOR (3'-6 1/4" X 6'-7 1/4") WITH 1 QUAKER WINDOW UNIT - "00"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
205	C	4'-9 1/4"	6'-0"	DOUBLE STOREFRONT DOOR (4'-9 1/4" X 6'-0") WITH 1 QUAKER WINDOW UNIT - "99"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
207, 208, 304, 305	D	3'-0"	6'-6 1/2"	STOREFRONT DOOR (3'-0" X 6'-6 1/2") WITH 2 QUAKER WINDOW UNITS - "00"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
303a	E	3'-0"	7'-10 5/8"	STOREFRONT DOOR (3'-0" X 7'-10 5/8") WITH 2 QUAKER WINDOW UNITS - "X1"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
303c	F	3'-4 1/2"	6'-6"	STOREFRONT DOOR (3'-4 1/2" X 6'-6") WITH 2 QUAKER WINDOW UNITS - "X1"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
401	G	3'-0"	6'-7 5/8"	STOREFRONT DOOR (3'-0" X 6'-7 5/8") WITH 2 QUAKER WINDOW UNITS - "L1"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
402, 403	H	3'-0"	6'-7 5/8"	STOREFRONT DOOR (3'-0" X 6'-7 5/8") WITH 2 QUAKER WINDOW UNITS - "M"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
404, 405	I	3'-0"	6'-7 5/8"	STOREFRONT DOOR (3'-0" X 6'-7 5/8") WITH 2 QUAKER WINDOW UNITS - "L1"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
406	J	3'-0"	6'-7 5/8"	STOREFRONT DOOR (3'-0" X 6'-7 5/8") WITH 2 QUAKER WINDOW UNITS - "L1"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
407a, 411a	K	2'-7 1/2"	6'-7 5/8"	STOREFRONT DOOR (2'-0" X 6'-8 1/8")	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
407b, 408b, 411b	L	3'-0"	6'-7 5/8"	STOREFRONT DOOR (3'-0" X 6'-8 1/8") WITH 1 QUAKER WINDOW UNIT - "X1"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
409, 410	M	3'-0"	6'-7 5/8"	STOREFRONT DOOR (3'-0" X 6'-8 1/8") WITH 2 QUAKER WINDOW UNITS - "MM"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
201	N	6'-0"	6'-0"	DOUBLE STOREFRONT DOOR (6'-0" X 6'-0") WITH 4 QUAKER WINDOW UNITS - "GGG1" / "GGG2"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
204	O	7'-0"	11'-1"	DOUBLE STOREFRONT DOOR (7'-0" X 11'-0") WITH 4 QUAKER WINDOW UNITS - "SS1" / "SS2"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.
301	P	6'-0"	6'-0"	DOUBLE STOREFRONT DOOR (6'-0" X 7'-9 1/2") WITH 4 QUAKER WINDOW UNITS - "FF1" / "FF2"	ALUM	XX.XX	XX.XX	XX.XX	SEE NOTES 1. & 2.

WINDOW NOTES
1. MISSILE IMPACT WINDOW
2. MISSILE IMPACT DOORS



1 DOOR TYPES
A6.01 1/4" = 1'-0"

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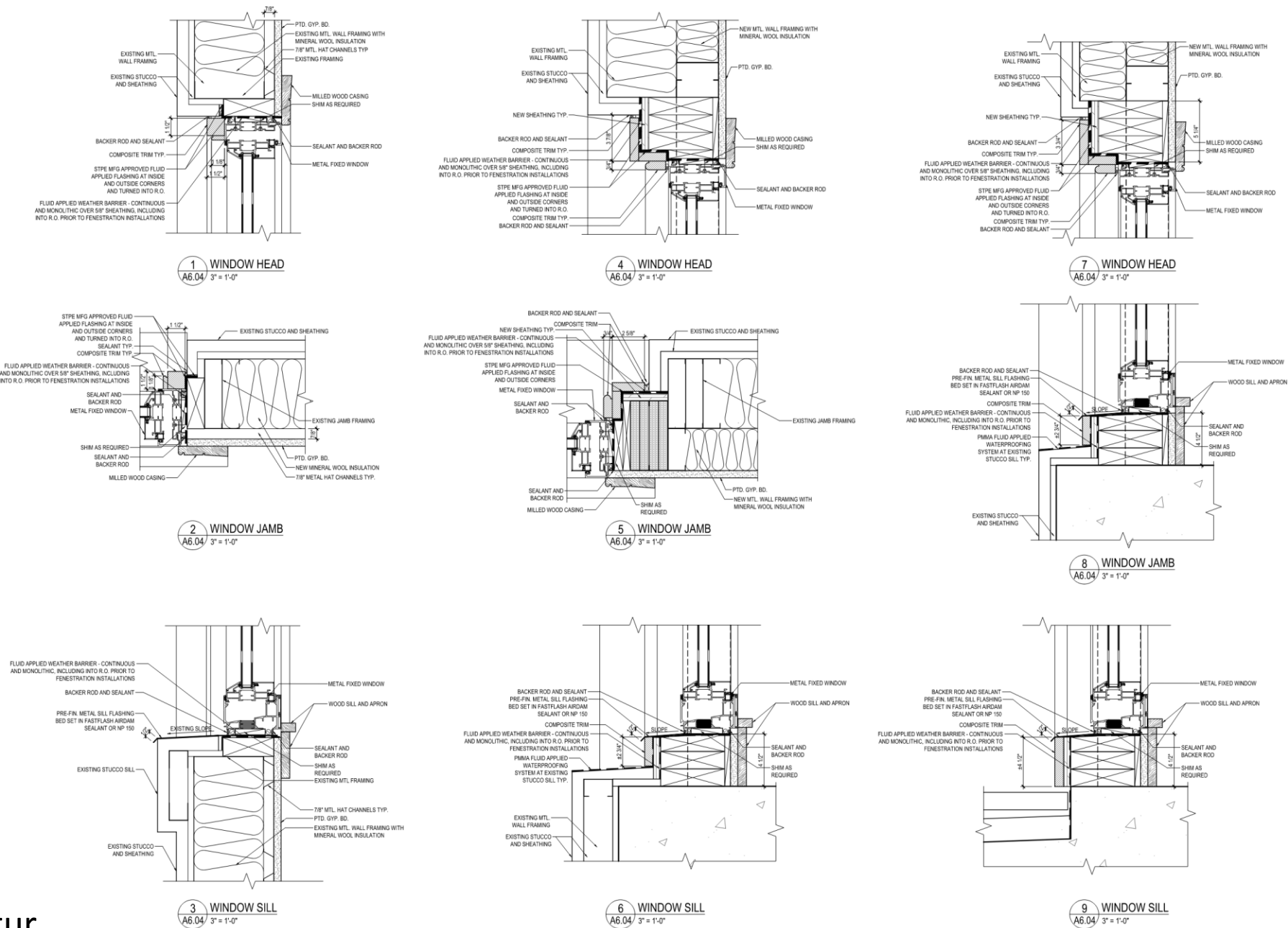
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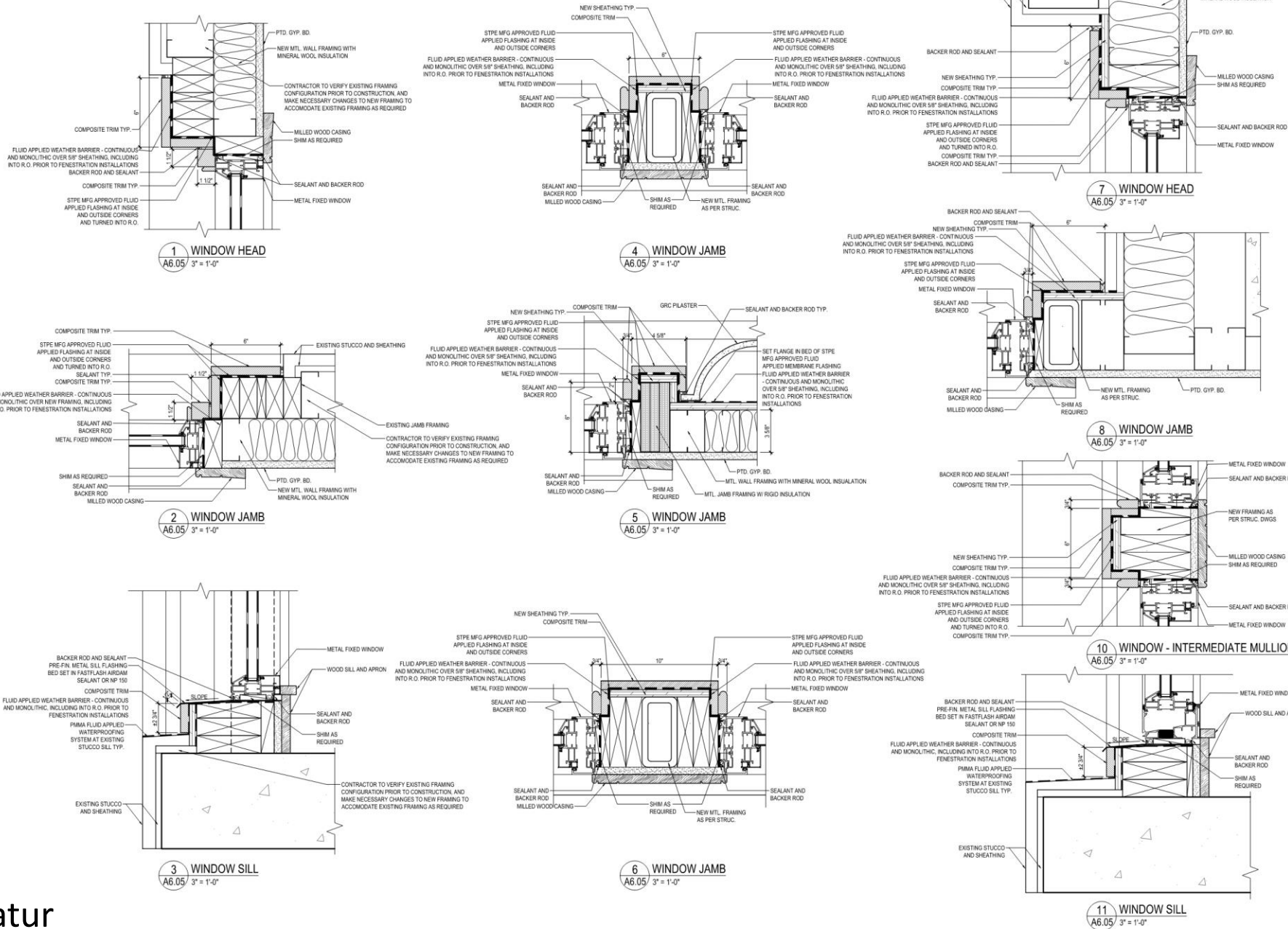
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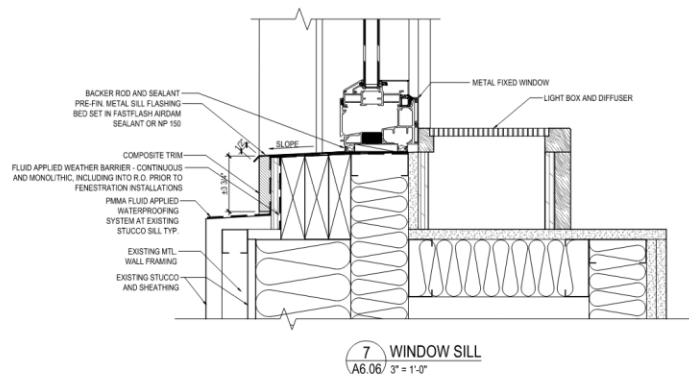
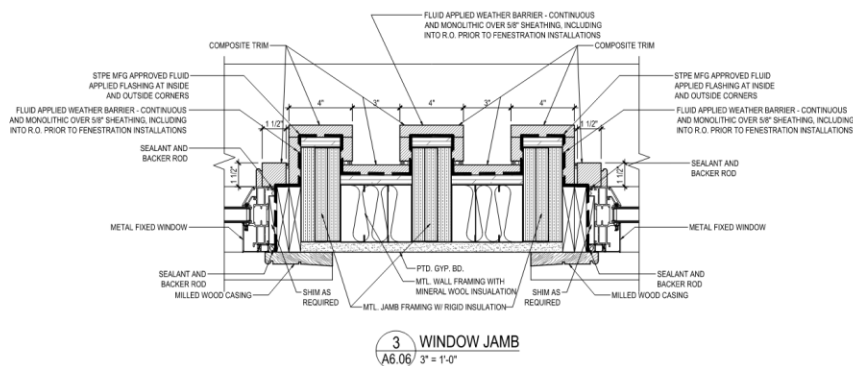
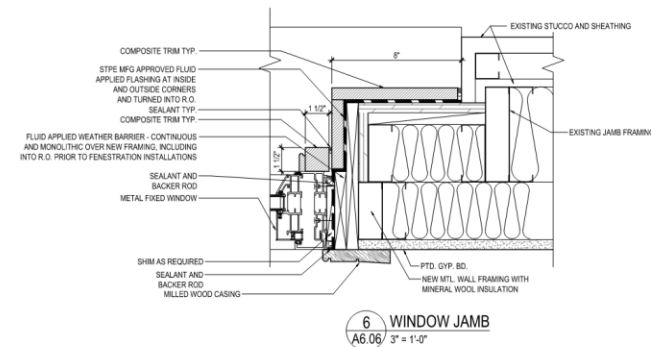
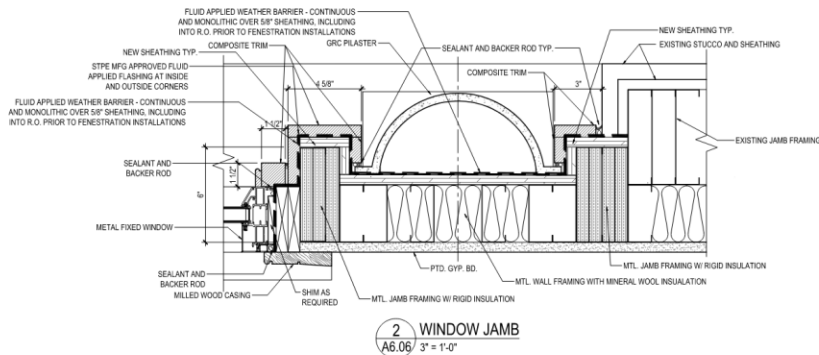
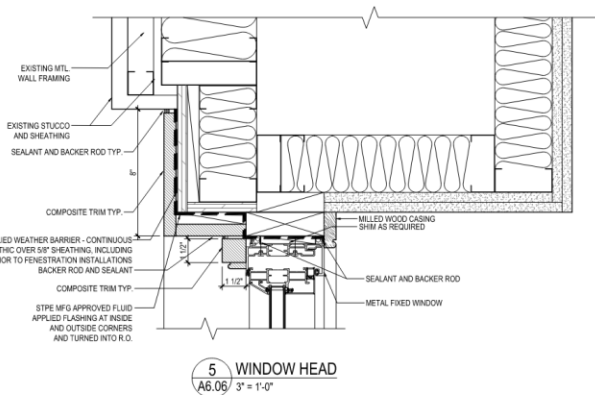
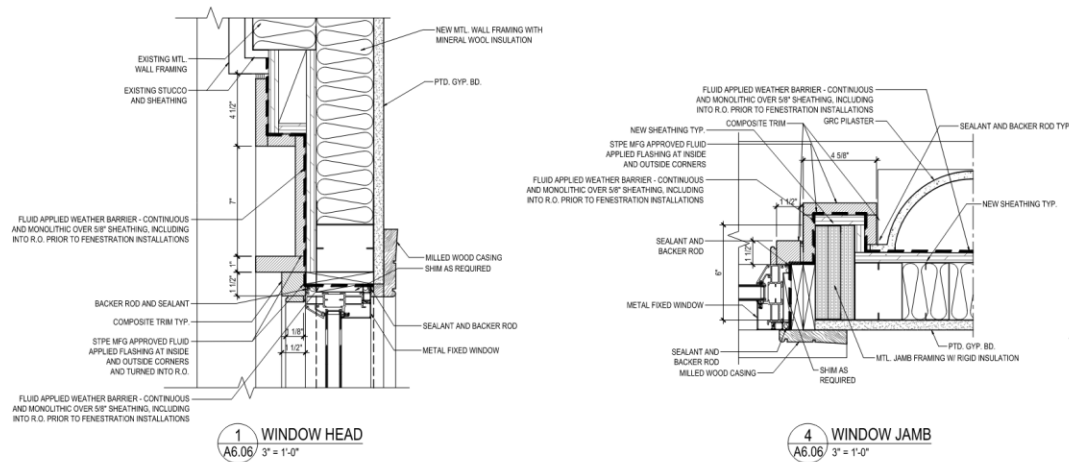
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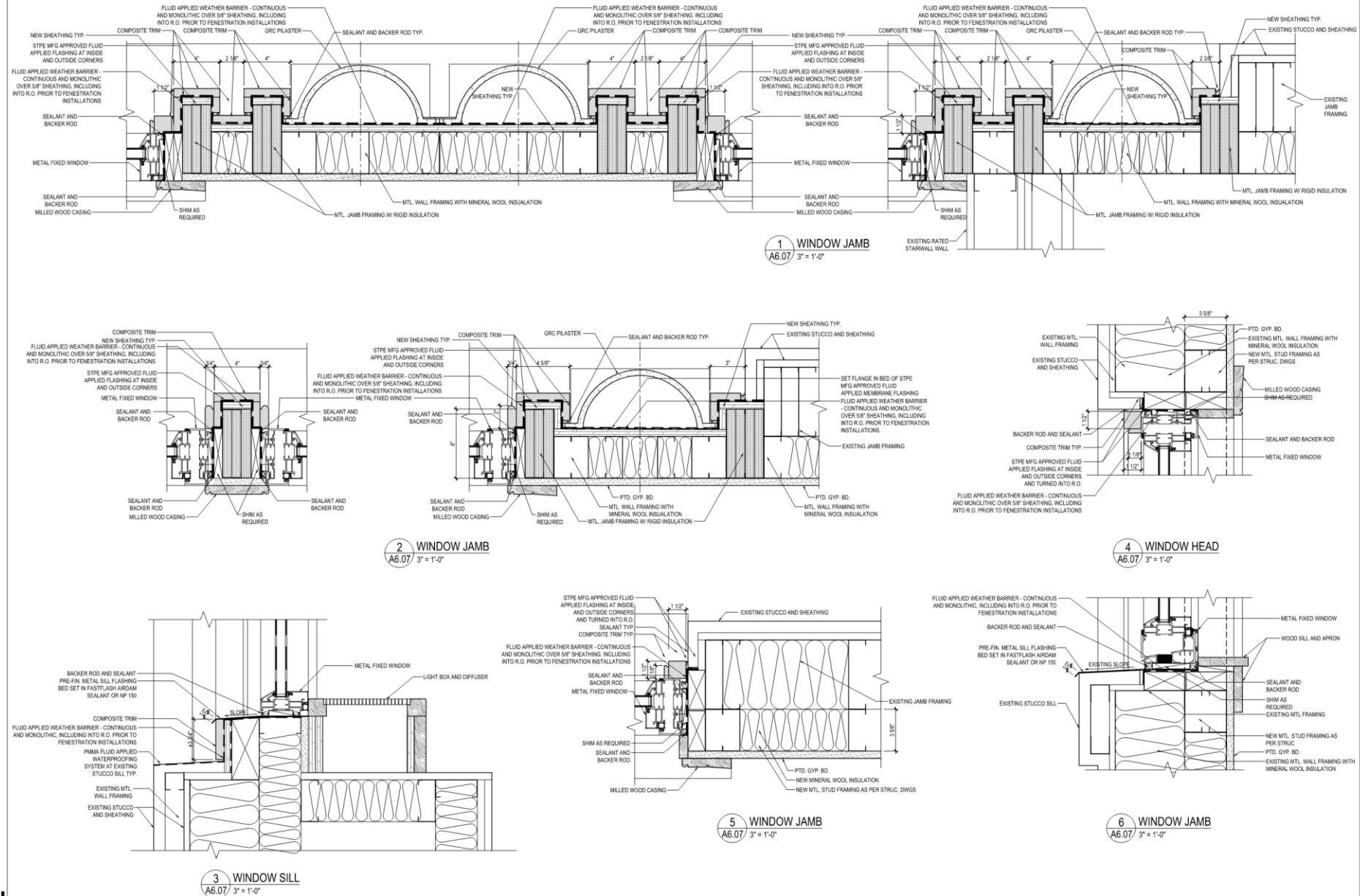
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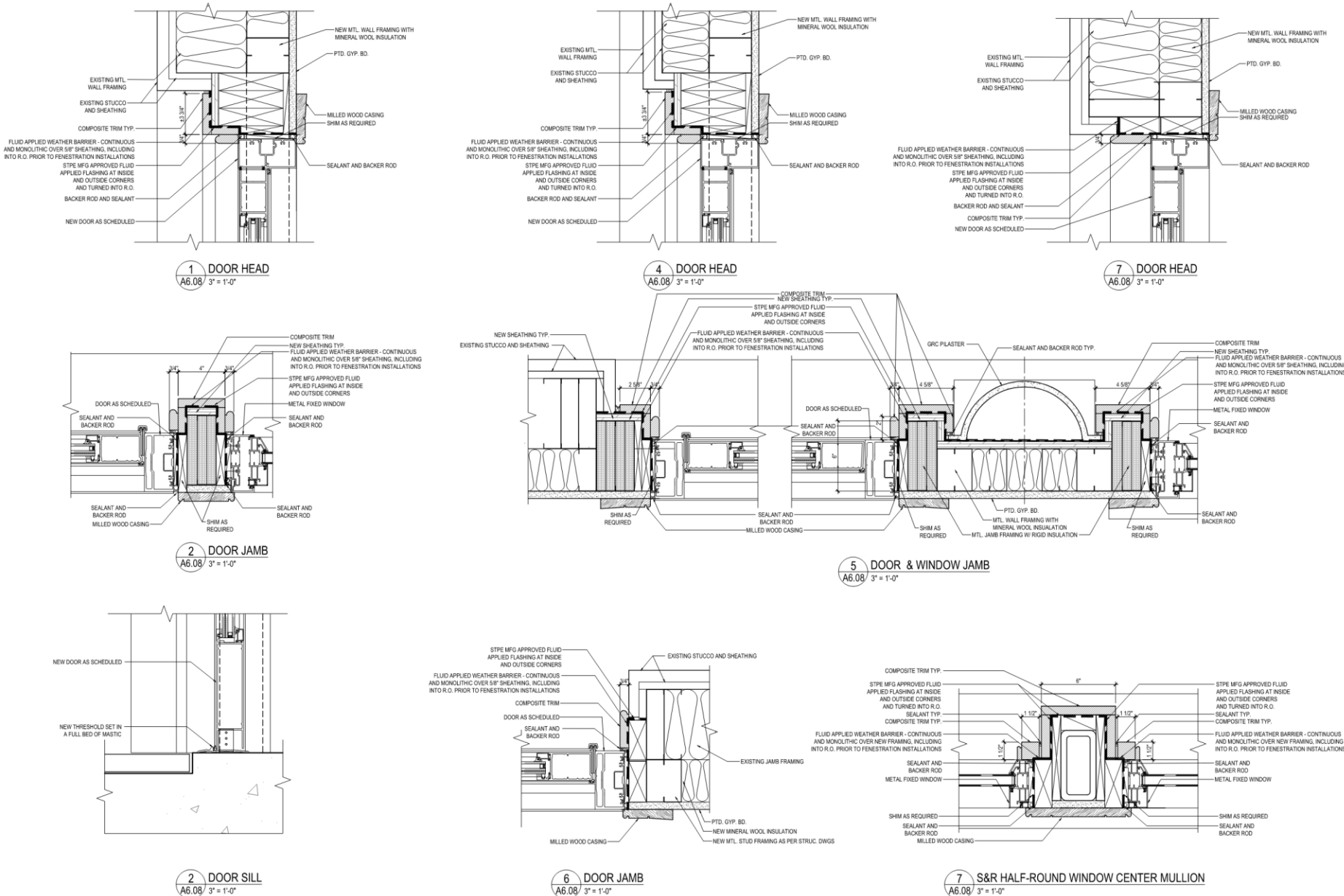
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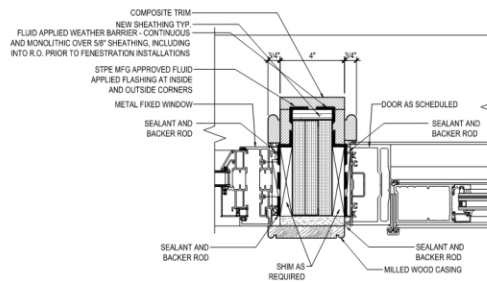
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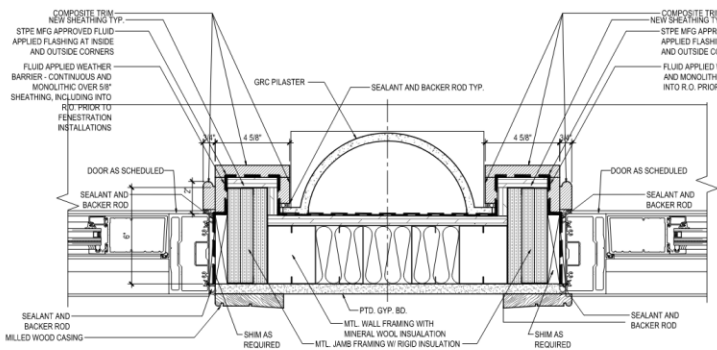
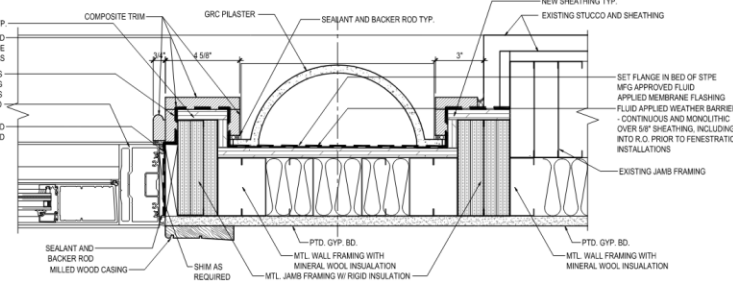
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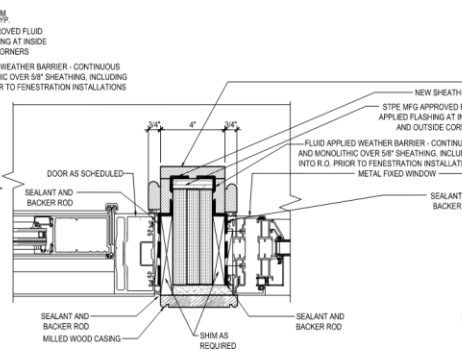
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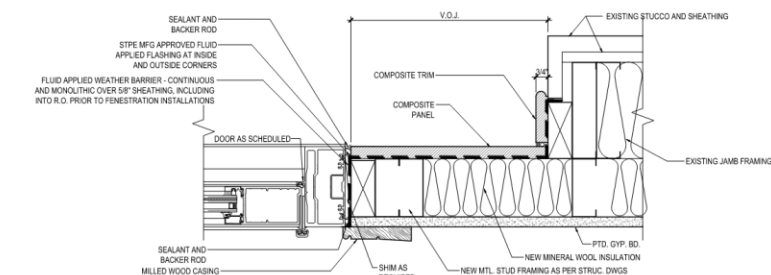
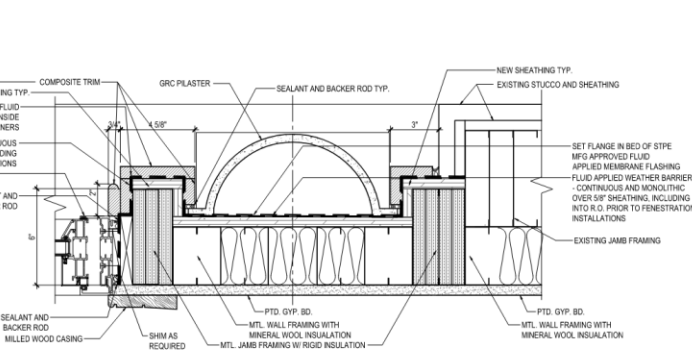
1 DOOR & WINDOW JAMB
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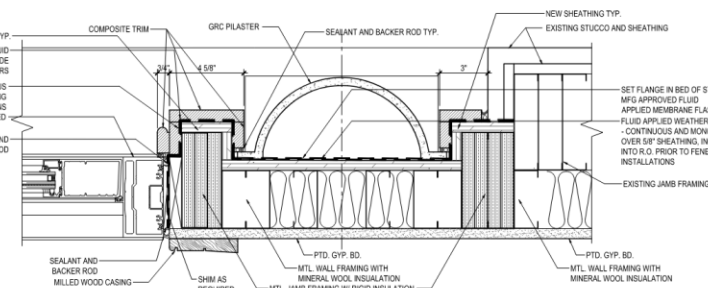
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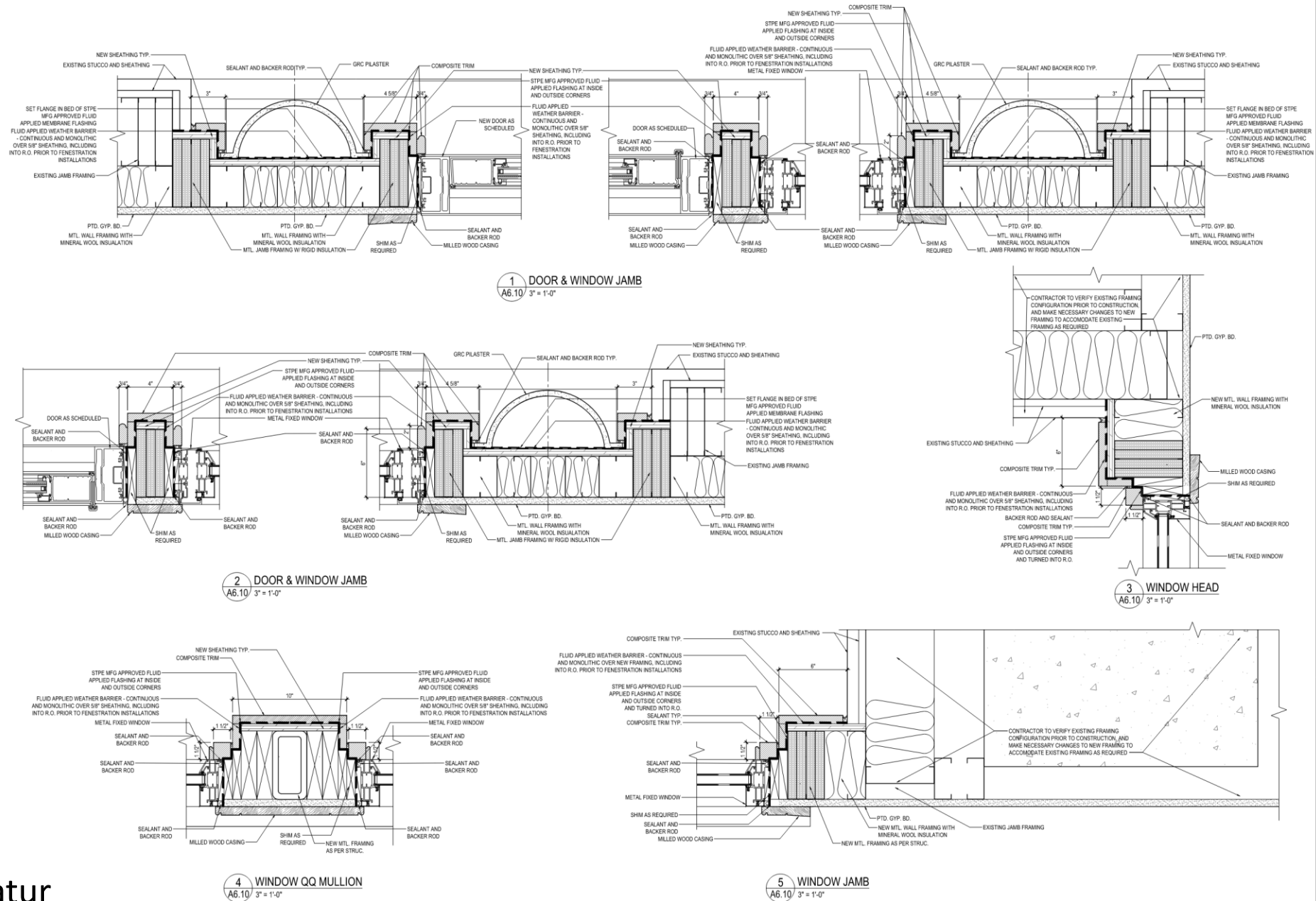
3 WINDOW JAMB
A6.09/ 3\"/>



4 DOOR JAMB
A6.09/ 3\"/>



5 DOOR JAMB
A6.09/ 3\"/>



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January 23, 2024

Armorite™

EXTERIOR TRIM



Armorite™ Exterior Trim joins the Armorite™ family of exterior wood products engineered to weather the rigors of outdoor environments. For more than 85 years, Roseburg has been helping builders make their mark with our structural product expertise and handshake integrity that stands behind our product performance and quality.

Finish With Trim That's Better From the Start

Superior strength. Easier handling and finishing. Faster project turnaround. Make Armorite™ Exterior Trim part of your next project and get durable, lasting results that both builders and owners love.

FINISH YOUR PROJECT WITH PROVEN ARMORITE™ PERFORMANCE

As a builder, satisfying owners now and years from now depends on your choice of durable, reliable materials that are easy to work with and easy to maintain. Armorite™ Exterior Trim is engineered for straightforward installation and decades of trusted service.

- **Complete projects more efficiently.** Composite engineering means best-in-class machineability, fastening, and finishing while factory-applied exterior-grade primer limits prep work.
- **Superior strength and handling.** Made from Western softwood, Armorite™ Exterior Trim is easy to manage, even at 16' lengths.
- **Ideal for all climates.** MR50 rating ensures moisture resistance and durability.
- **Beautifully adaptable.** Armorite™ Exterior Trim can be used for custom architectural accents and offers both smooth and woodgrain surfaces in a single product.
- **Safely dependable.** Resists moisture, rot, decay, and termites with no-added formaldehyde.
- **Exceptional warranty coverage.** Our 50-year warranty offers peace of mind you and your customers can count on.



INSTALLER-FRIENDLY TO SAVE TIME ON THE JOBSITE

- Factory-primed on four sides with exterior-grade primer, Armorite™ Exterior Trim readily accepts your finishing coats of paint.
- Single-layer component material ensures consistent nailing with no pop-throughs or material delamination.
- Best-in-class workability delivers clean cuts, minimal sanding, and smooth paint finishes.



Armorite™ Exterior Trim is ideal for corner boards, windows, doors, and trim applied to any exterior cladding.



READY TO SHIP

With a U.S.-based supply chain, Armorite™ Exterior Trim is ready for your next project.



Armorite™ Exterior Trim with DuraTemp® Real Wood Siding



PRODUCTS OFFERED All trim is 16ft length

5/8" Actual Thickness		4/4		5/4	
		3/4" Actual Thickness		1" Actual Thickness	
Nominal Width	Actual Width	Nominal Width	Actual Width	Nominal Width	Actual Width
3" (Batten)	2.5"	3" (Batten)	2.5"	4"	3.5"
4"	3.5"	4"	3.5"	5"	4.5"
6"	5.5"	5"	4.5"	6"	5.5"
		6"	5.5"	8"	7.25"
		8"	7.25"	10"	9.25"
		10"	9.25"	12"	11.25"
		12"	11.25"		

For specific bundle and unit counts, please contact your sales representative.

STANDARDS & CERTIFICATIONS *Available at Roseburg.com

International Code Council Evaluation Service

✓ ICC-ES Evaluation Report ESR-4012 (www.icc-es.org)

ISO 21887 Durability of wood use class UC3A

✓ Recognized for exterior use in above-ground applications. Resists attack by fungal decay and subterranean termites, including Formosan termites

ANSI A208.2 – American National Standard – Medium Density Fiberboard (MDF) for Interior Applications

- ✓ Meets or exceeds ANSI A208.2 Grade 130
- ✓ Meets grade MR50 moisture resistance
- ✓ Exceeds requirements of ASTM D1037 six-cycle accelerated aging test

Formaldehyde Emissions Regulations – Third-party certified (TPC-1) to meet the requirements of:

- ✓ EPA Formaldehyde Emission Regulation, TSCA Title VI*
- ✓ Standards Council of Canada Formaldehyde Emissions Standard for Composite Wood Products – CAN/CSA 0160-16*
- ✓ No Added Formaldehyde (NAF) Exempt – State of CA Executive Order N-20-313*

Recycled Content

✓ Scientific Certification Systems Certified 92% pre-consumer recycled content (SCS-MC-01584)*

Forest Stewardship Council®

✓ Scientific Certification Systems Certified (SCS-COC/CW-00300) – FSC-C017580 FSC® Mix and FSC® Controlled Wood - AVAILABLE OPTION*

Eco-Certified Composite Grademark Program

✓ CPA ECC Sustainability Standard*

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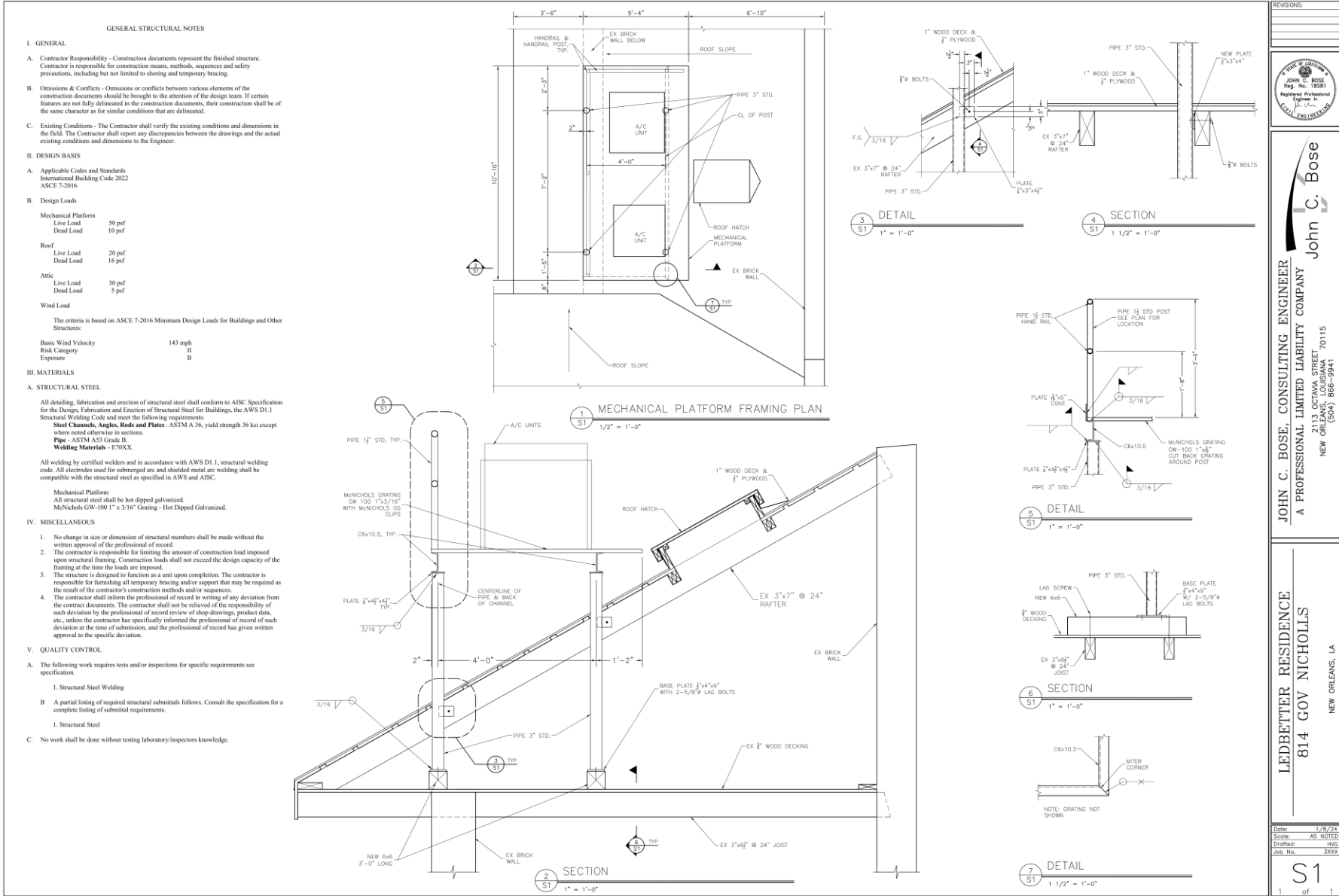


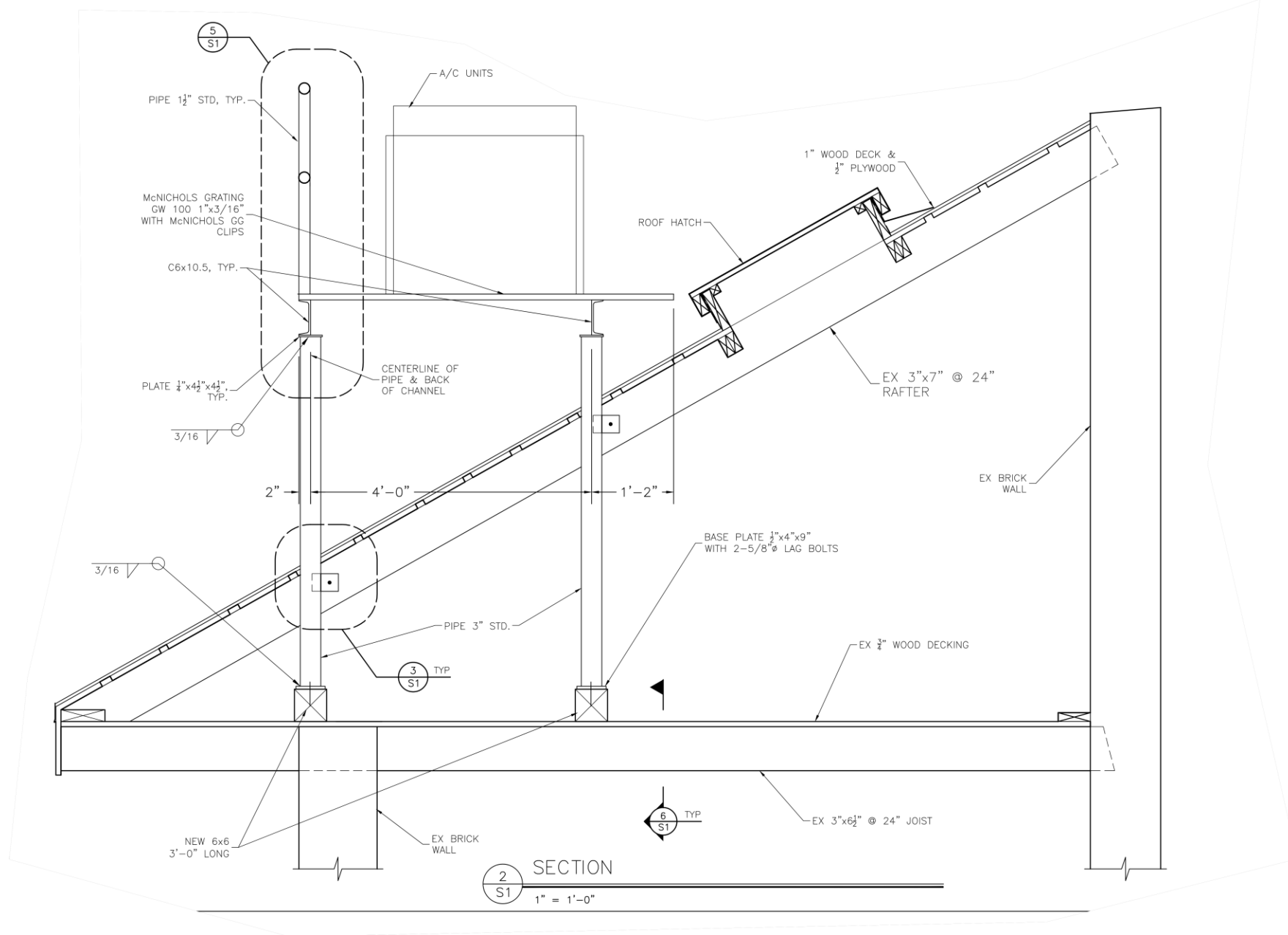
814 Governor Nicholls – from adjacent courtyard on Bourbon

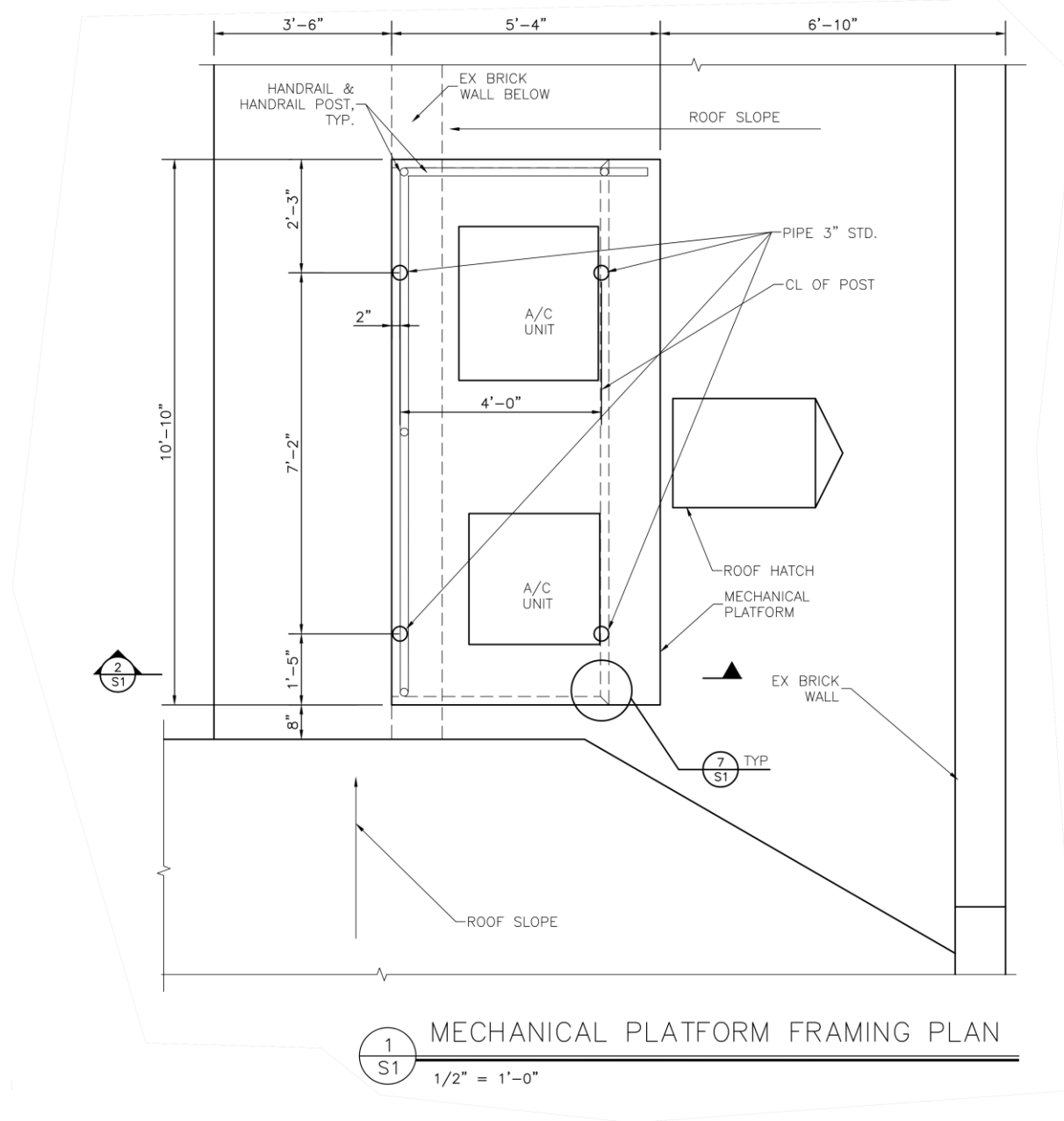
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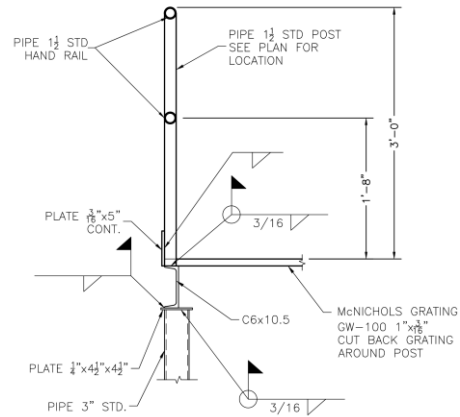
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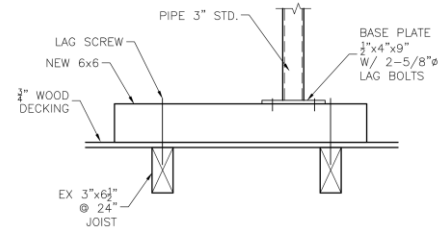




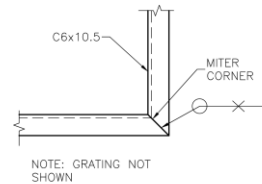




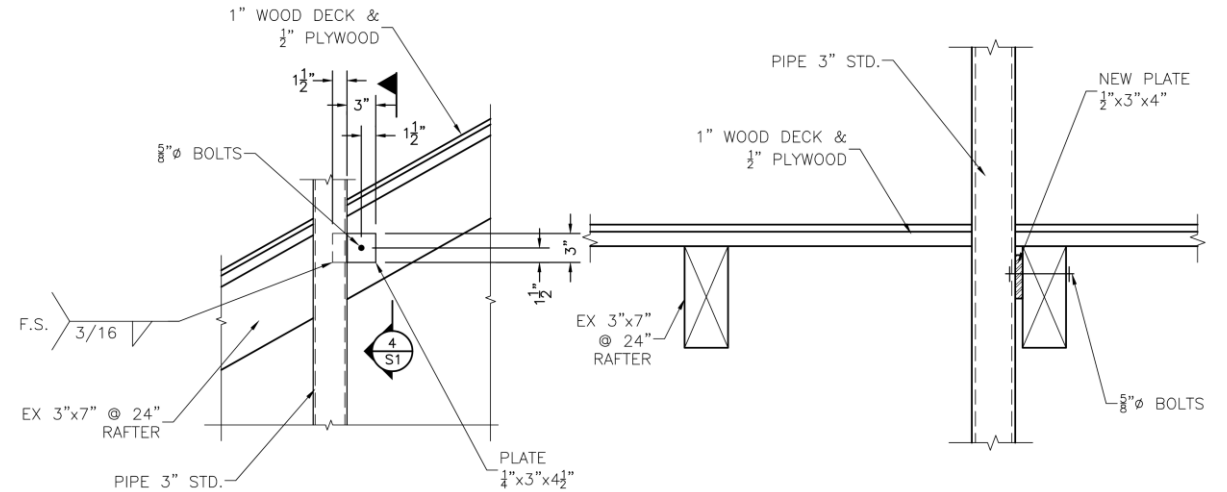
5
S1
1" = 1'-0"



6
S1
1" = 1'-0"



7
S1
1 1/2" = 1'-0"



3
S1
1" = 1'-0"

4
S1
1 1/2" = 1'-0"

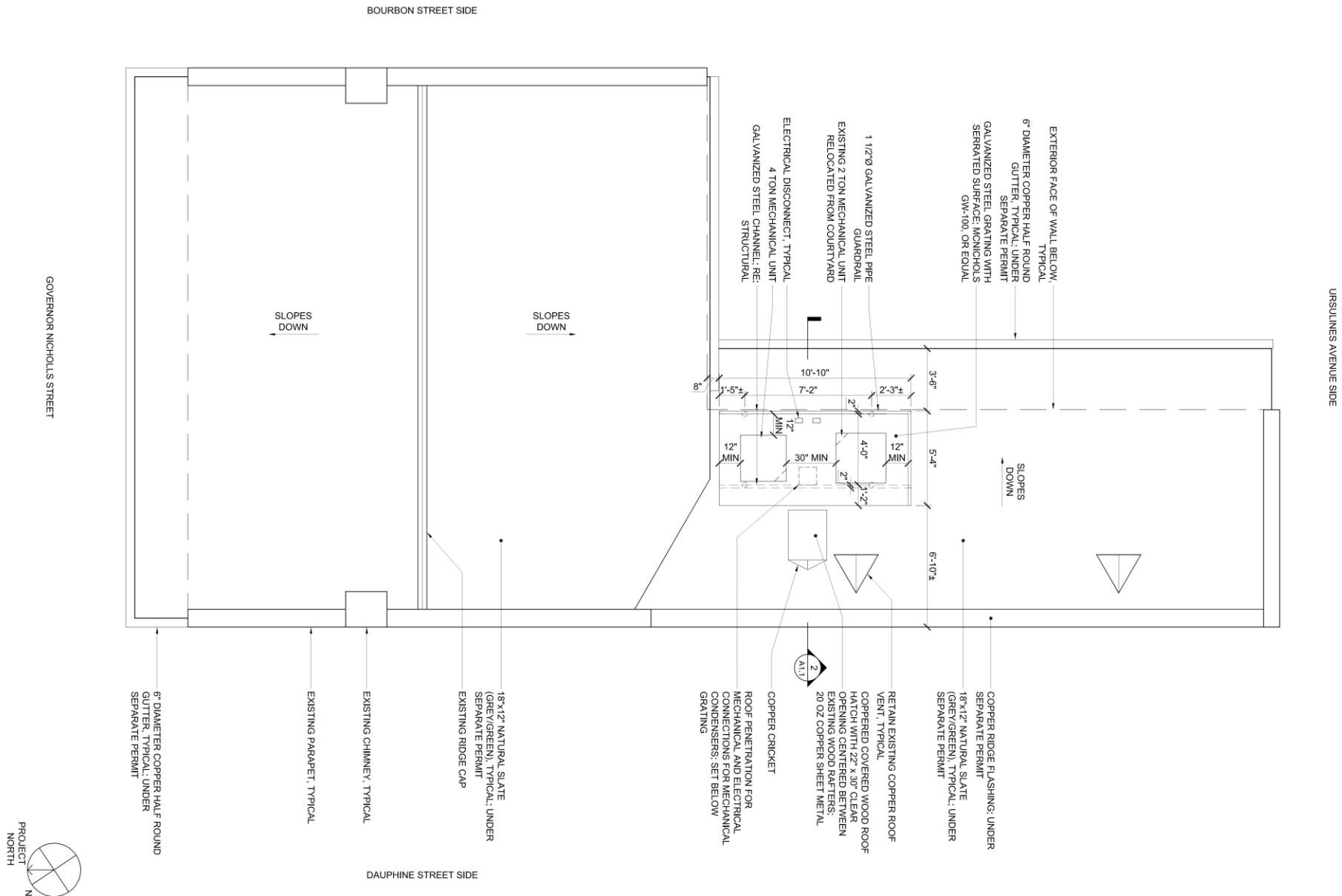




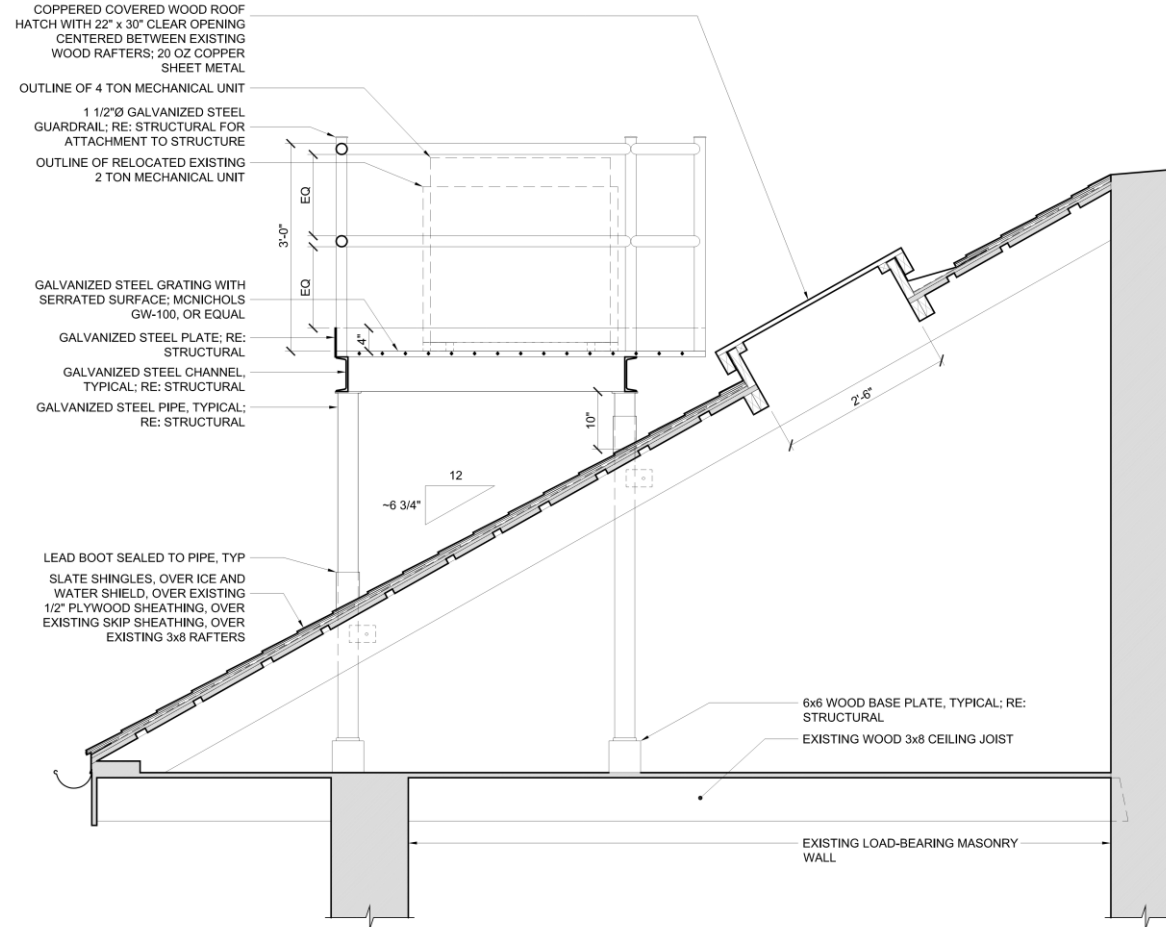
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NOTES:
 1) PROTECT BUILDING DURING ANY NEEDED FIELD WELDING OPERATIONS, INCLUDING BUT NOT LIMITED TO FIRE-RESISTANT CURTAINS AND FIRE-SUPPRESSION EQUIPMENT.
 2) PROVIDE VIBRATION ISOLATION PADS UNDER MECHANICAL EQUIPMENT TO REDUCE TRANSMISSION OF NOISE, SHOCK, AND VIBRATION FROM THE MECHANICAL EQUIPMENT TO THE BUILDING TO THE FULLEST EXTENT POSSIBLE.



Roof Mounted Equipment

Roof mounted equipment including mechanical equipment, generators, vents, television and mobile telecommunication equipment are all examples of modern inventions and roof penetrations that can adversely affect the silhouette and historic integrity of a building. Although it is understood that some roof penetrations are required, for example for a plumbing vent, the property owner is encouraged to limit the amount of rooftop equipment and number of penetrations in order to minimize the overall appearance of clutter.

Whenever possible, equipment should be located to be visually unobtrusive, typically on a rear slope of a roof surface or concealed behind a parapet.

The installation of rooftop mechanical equipment, such as an air conditioner compressor unit, generator or similar equipment, is not permitted where it will be visibly obtrusive. Every effort should be made to shield the equipment from view and minimize associated noise. The installation of a satellite dish, mobile telecommunication equipment or similar equipment is not allowed where it is visible from any other property. (For additional information regarding air conditioner compressors and generators, refer to *Mounted Equipment, Guidelines for Site Elements & Courtyards*, page 10-11.)



The visibility of mechanical equipment should be minimized and located to least disrupt the appearance of the historic building, streetscape and District.

Skylight; Roof Hatch; Roof Monitor; Cupola; Weather Vane; Lightning Rod; Roof Mounted Equipment & Solar Collector Review

Install a new visually unobtrusive air conditioner compressor unit or generator

1

2

Commission

3

Architectural Committee

Install a new skylight, roof hatch, roof monitor, cupola, a lightning rod or weather vane, other mounted equipment, or a solar collector

1

2

3

Commission

Vieux Carré Commission – Guidelines for Roofing 04-11



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a central figure. The shield is flanked by two vertical bars. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

Appeals and Violations



515-519 Toulouse



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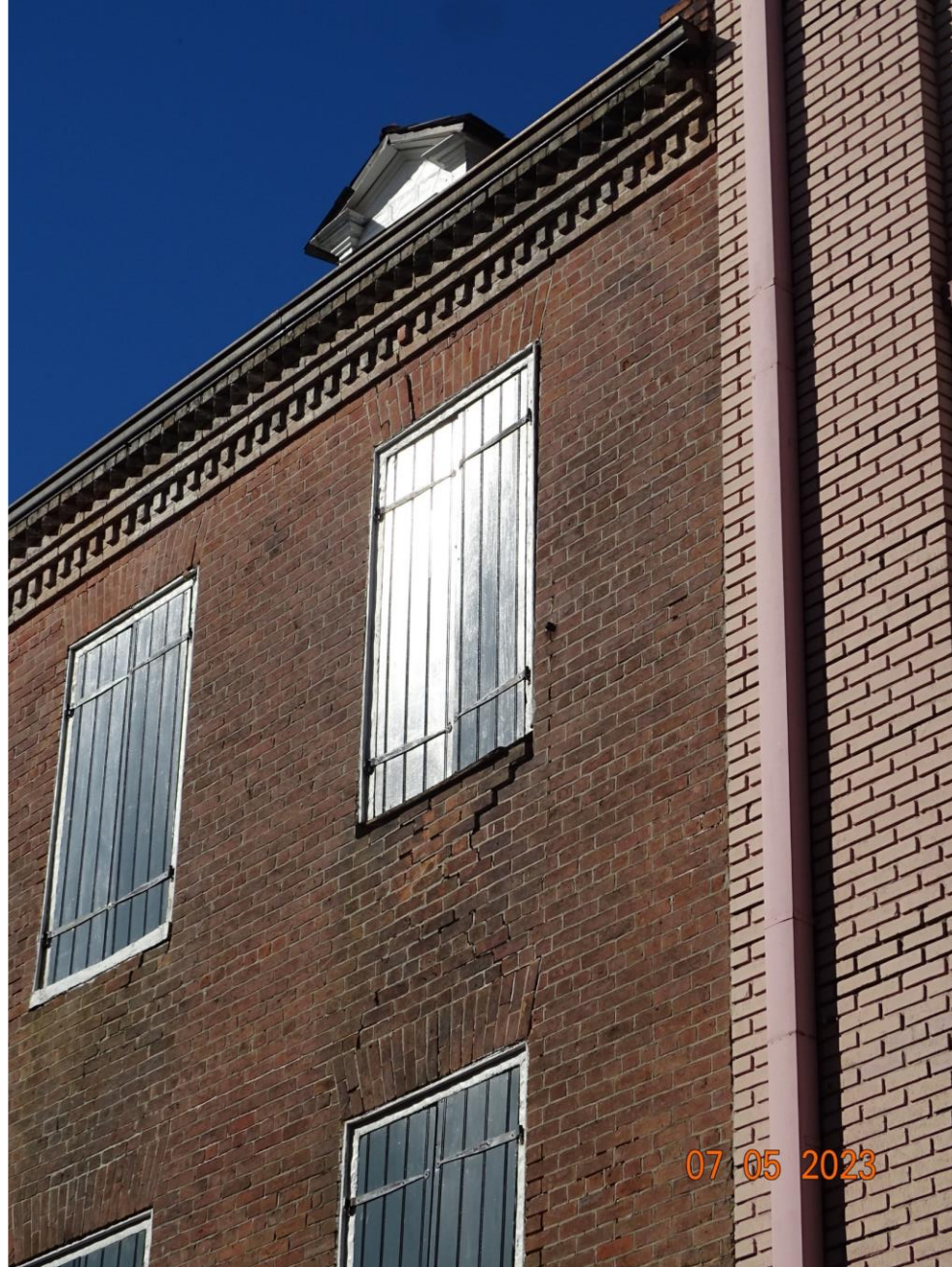


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515 Toulouse

VCC Architecture Committee

February 28, 2023





515 Toulouse – previous crack

VCC Architecture Committee



February 28, 2023





515 Toulouse – previous crack

VCC Architecture Committee

February 28, 2023





515 Toulouse

VCC Architecture Committee

February 28, 2023





515 Toulouse

VCC Architecture Committee

February 28, 2023





515 Toulouse

VCC Architecture Committee

February 28, 2023





515 Toulouse – previous crack

VCC Architecture Committee

February 28, 2023





515 Toulouse

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February 28, 2023





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February 28, 2023





515 Toulouse

VCC Architecture Committee

February 28, 2023





February 13, 2023

• CIVIL
• STRUCTURAL
• INDUSTRIAL
• MARINE

Ms. Lori Mitchell
212 B Brickell Way
Lafayette, Louisiana 70508

**RE: Existing Commercial Building
515 & 517 Toulouse Street
New Orleans, Louisiana 70130
Report of Findings - Subsequent Report and Recommendations**

Dear Ms. Mitchell:

In accordance with your request, we completed a subsequent limited structural visual observation in an effort to address specific concerns as it relates to the overall structural condition of the building. We understand those concerns to be the following.

- Crack repair (interior)
- Water intrusion
- Structural condition of select wooden members

Cracks in Masonry Wall

The cracking in the masonry wall is stable in its present condition. We understand that there are concerns about the condition of the wall as it relates to said cracks. We recommend that the cracks be repaired as a matter of course. We also recommend that the cracks be repaired prior to any work being done on the exterior masonry.

Water Intrusion

As we stated in our initial report, there is water infiltration into the building. We recommend that you hire a qualified roofing contractor to assess the envelope, and make recommendations on arresting the water intrusion, hence rendering the building watertight.

Floor Joists

There are several joists and portions of floor decks that are degraded/deflected due to water infiltration. We recommend that the building envelope be secured (see previous bullet point) and these areas blocked from pedestrian access until such a time that the building is under comprehensive renovation. These isolated conditions have not degraded the overall general structural condition of the building.

O:\Carubba\2023\Inspections\2023.01.16 515 & 517 Toulouse Street\Documents\2023.02.13 Report Subsequent.doc

3400 Hessmer Avenue • Metairie, LA 70002
Phone: 504.888.1400 • www.carubbaengineering.com

Conclusion

Per our previous report, the buildings are structurally sound in their present condition, notwithstanding the isolated conditions noted herein. When the building is renovated, we strongly recommend that the owner hire a qualified structural engineer to address the isolated conditions noted herein and provide the requisite information for their repair. We also recommend that a qualified waterproofing expert examine the roof system closely and also provide a scope of work to restore the building envelope to an acceptable level of integrity. We recommend that renovation work begin at the earliest possible time as the building is structurally sound in its present condition.

Thank you for the opportunity to provide this information to you. Please contact our office if you need further assistance. We reserve the right to amend this report if additional information becomes available.

Respectfully,
Carubba Engineering, Inc.


Roy M. Carubba, P.E.
w/ attachments



515 Toulouse

VCC Architecture Committee

February 28, 2023





August 30, 2023

• CIVIL
• STRUCTURAL
• INDUSTRIAL
• MARINE

Ms. Lori Mitchell
212 B Brickell Way
Lafayette, Louisiana 70508

RE: *Existing Commercial Building*
515 & 517 Toulouse Street
New Orleans, Louisiana 70130
Report of Findings - Subsequent Report- Amended December 19, 2023

Dear Ms. Mitchell:

In accordance with your request, we completed a subsequent visual observation to confirm that the interior masonry work at the above captioned property was repaired in accordance with our verbal directives, and in a workmanlike manner. We confirmed such in our observation. Additionally, we observed the interior and exterior masonry structural walls at each address, and confirmed that they are serviceable at this time, and in no need of immediate repair for the cosmetic conditions we noted (minor vegetation growing through the brick and mild vertical deflection). The vegetation is the result of the building being out of service, and the cracking on the interior walls are, in all likelihood, associated with past differential settlement that is not active at this time.

Lastly, please find attached herein a sketch, depicting the enhancement of an existing wooden shoring wall. This wall is located at the front stairwell, ground floor, at 515 Toulouse St. It is stable in its present condition. We understand that additional shoring is desired by you. Accordingly, the sketch depicts additional 2x6's sistering to the existing vertical 2x6's and 3/8" plywood applied to the wall.

Thank you for the opportunity to provide this information to you. Please contact our office if you are in need of further assistance. We reserve the right to amend this report if additional information becomes available.

Respectfully,
Carubba Engineering, Inc.

Roy M. Carubba, P.E.
w/ attachments



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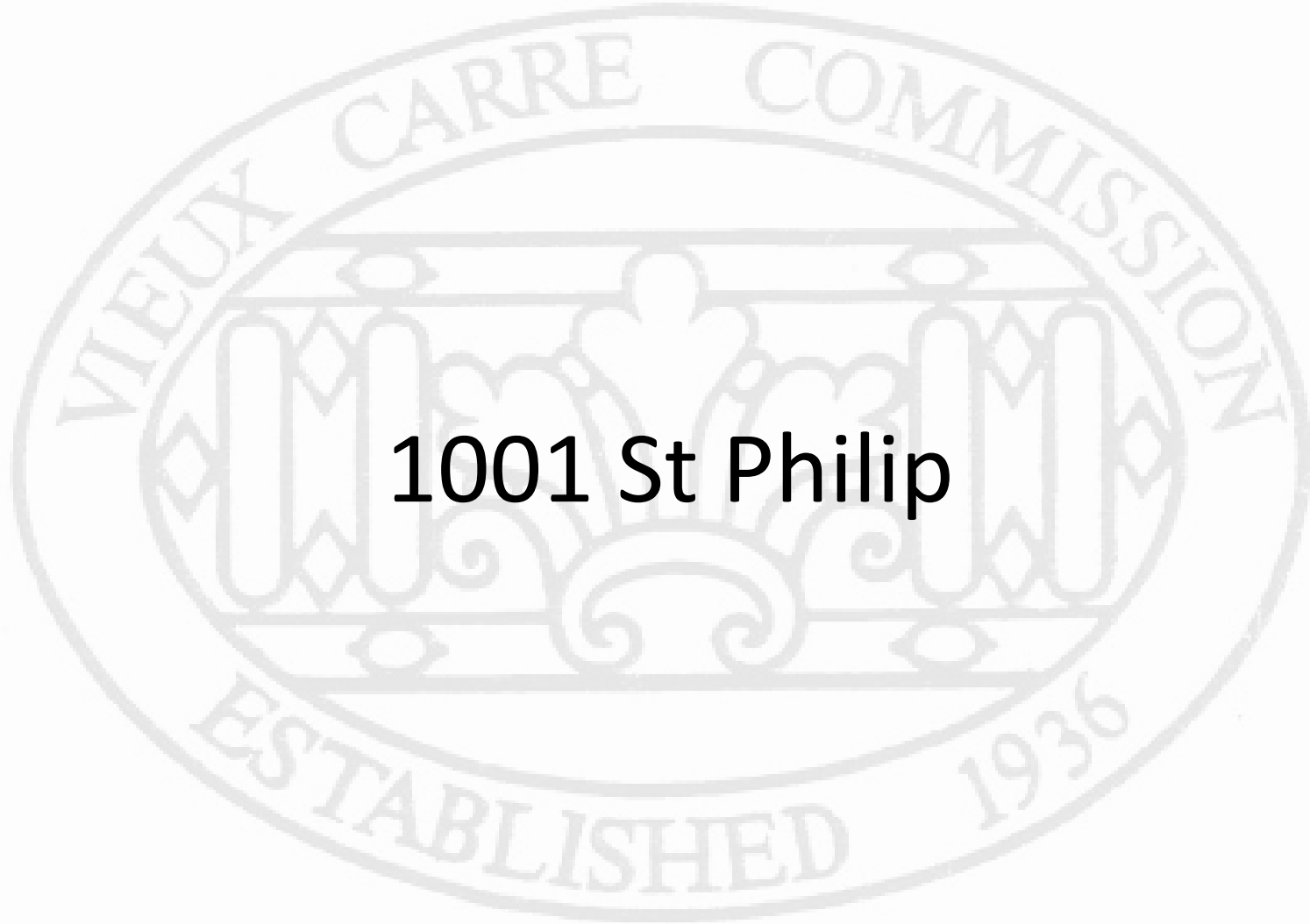
515 Toulouse

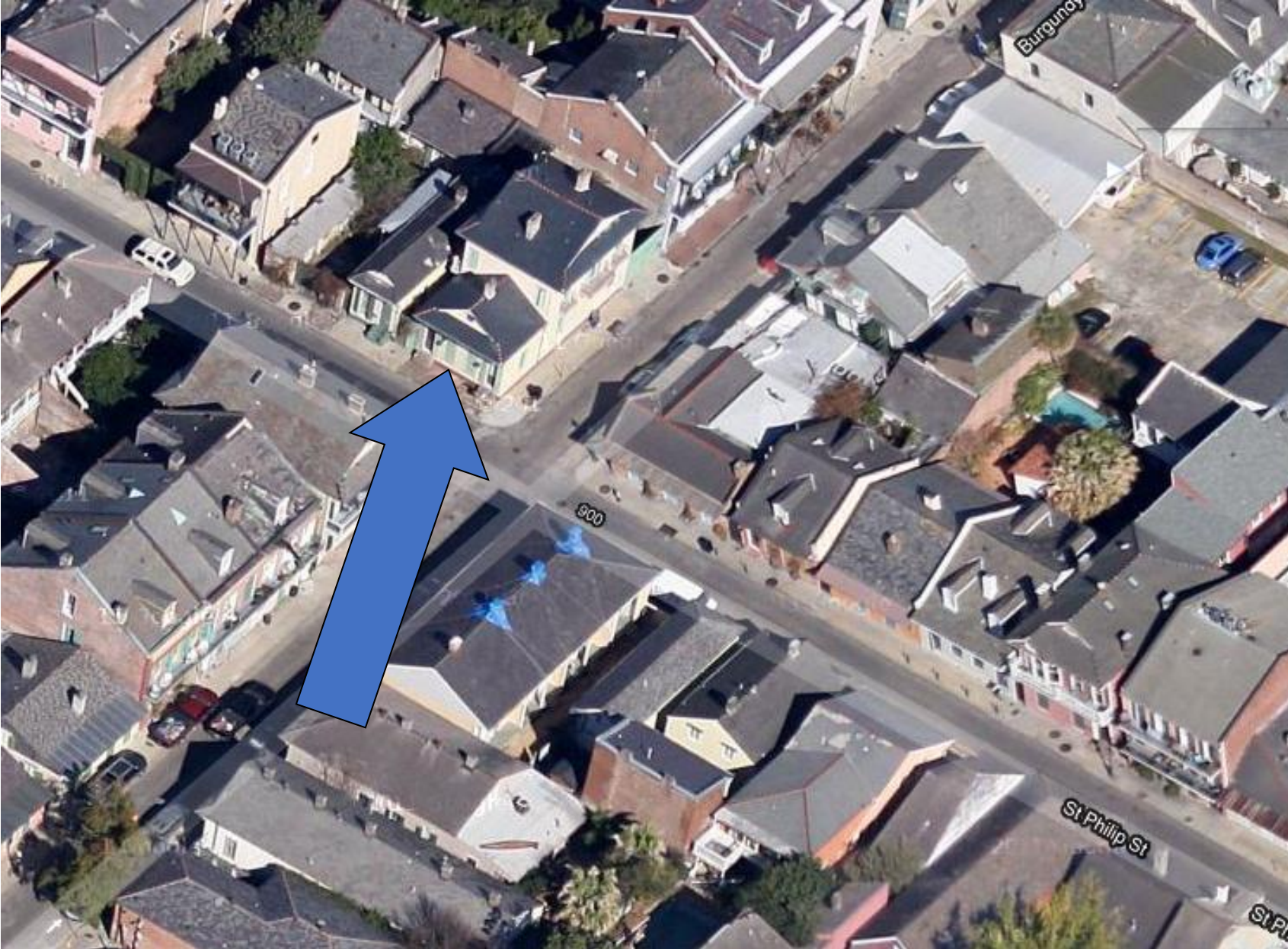
VCC Architecture Committee

February 28, 2023



1001 St Philip





1001 St. Philip

VCC Architectural Committee

January 23, 2024





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1001 St. Philip

VCC Architectural Committee

January 23, 2024





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January 23, 2024





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January 23, 2024





1001 St. Philip

VCC Architectural Committee

January 23, 2024



Quote

**Bill To:**

Kay Baxter
1003 Saint Philip St.
New Orleans, LA 70116
504-460-2365
7/27/2023

From:

Edwin Martinez
3704 Haring Rd.
Metairie, LA 70006
504-296-1388

Scope Of Work: Driveway Gate

1. To remove existing wooden fence.
2. To modify and expand to max 10'.
3. To install new heavy duty hardware, hangers, to prime and paint oil base iron (match color as existing)
4. To install new 5"x6" composite tongue and groove boards, to be painted with 2 coats of latex exterior paint.

Total: \$8,400.00

1001 St. Philip

VCC Architectural Committee

*Quote includes all labor, supplies, and materials as well as a 3 year labor warranty. A 50% deposit must be made and 50% upon completion.

Sincerely,
Edwin Martinez
*Restorical Homes &
Renovations LLC*

January 23, 2024





TIMBERTECH COMPOSITE

Legacy Collection

Hand-Scraped Finish

Capture the essence of nature with unique board-to-board variation (no two are exactly alike), without the rigorous maintenance of wood. Featuring a character-rich Hand-Scraped texture and dynamic blend of hues, our premium polymer capped composite boards deliver real wood aesthetics you'll never have to sand, stain, or seal.

COLOR ESPRESSO



SAMPLE SIZE

☐ 1' Sample

FREE

\$0.00

\$0.00

-

1

+

ADD TO CART





1001 St. Philip

VCC Architectural Committee

January 23, 2024



The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE" at the top and "COMMISSION" at the bottom. The inner circle features a stylized architectural design with columns and a central figure. The year "1936" is inscribed at the bottom right of the inner circle.

622 Pirate's Aly



622 Pirates Alley

VCC Architectural Committee

January 23, 2024





622 Pirates Alley

VCC Architectural Committee

January 23, 2024





622 Pirates Alley

VCC Architectural Committee

January 23, 2024





622 Pirates Alley

VCC Architectural Committee

January 23, 2024





622 Pirates Alley

VCC Architectural Committee

January 23, 2024





622 Pirates Alley

VCC Architectural Committee

January 23, 2024



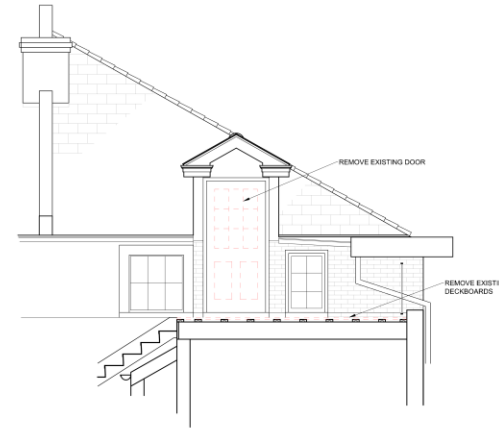
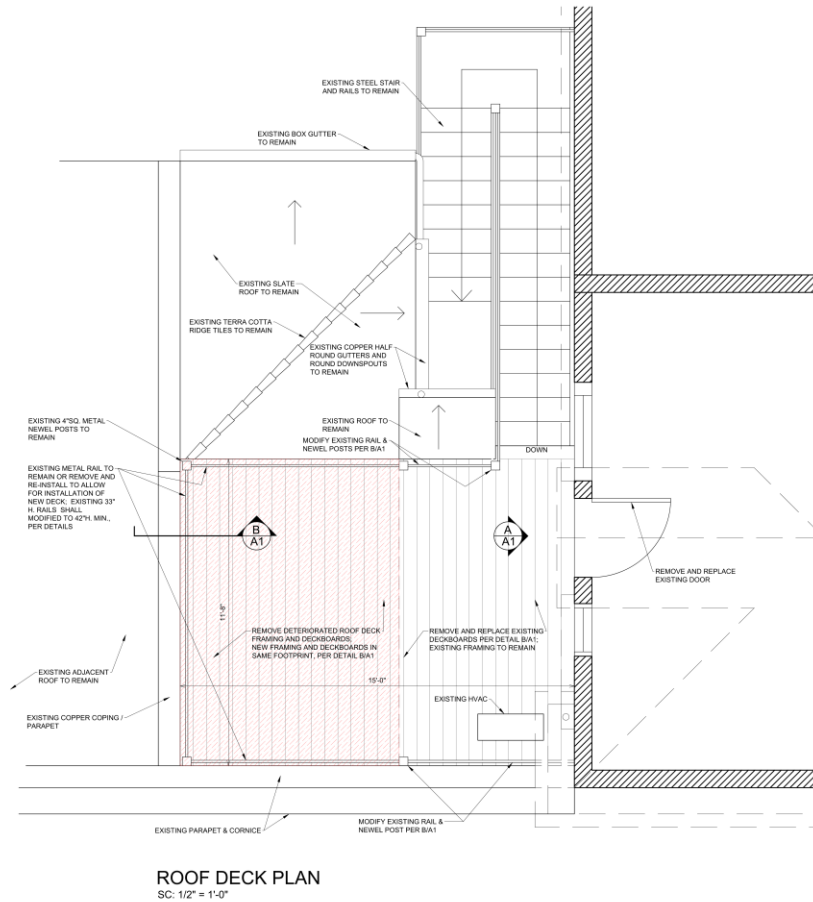


622 Pirates Alley

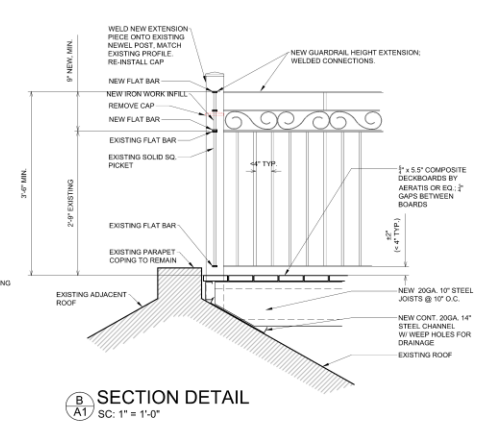
VCC Architectural Committee

January 23, 2024

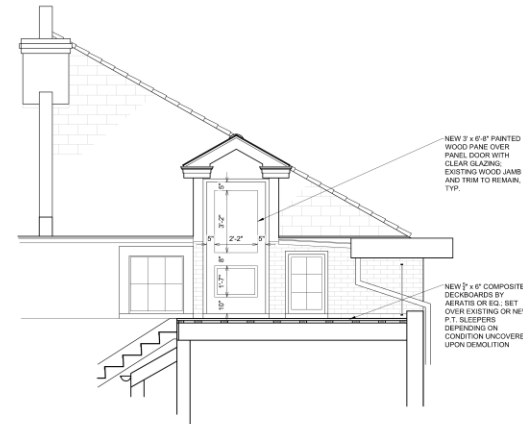




EXISTING ELEVATION
SC: 3/8" = 1'-0"



SECTION DETAIL
SC: 1" = 1'-0"



PROPOSED ELEVATION
SC: 3/8" = 1'-0"



PHOTO of EXISTING RAIL



PHOTO of EXISTING DORMER

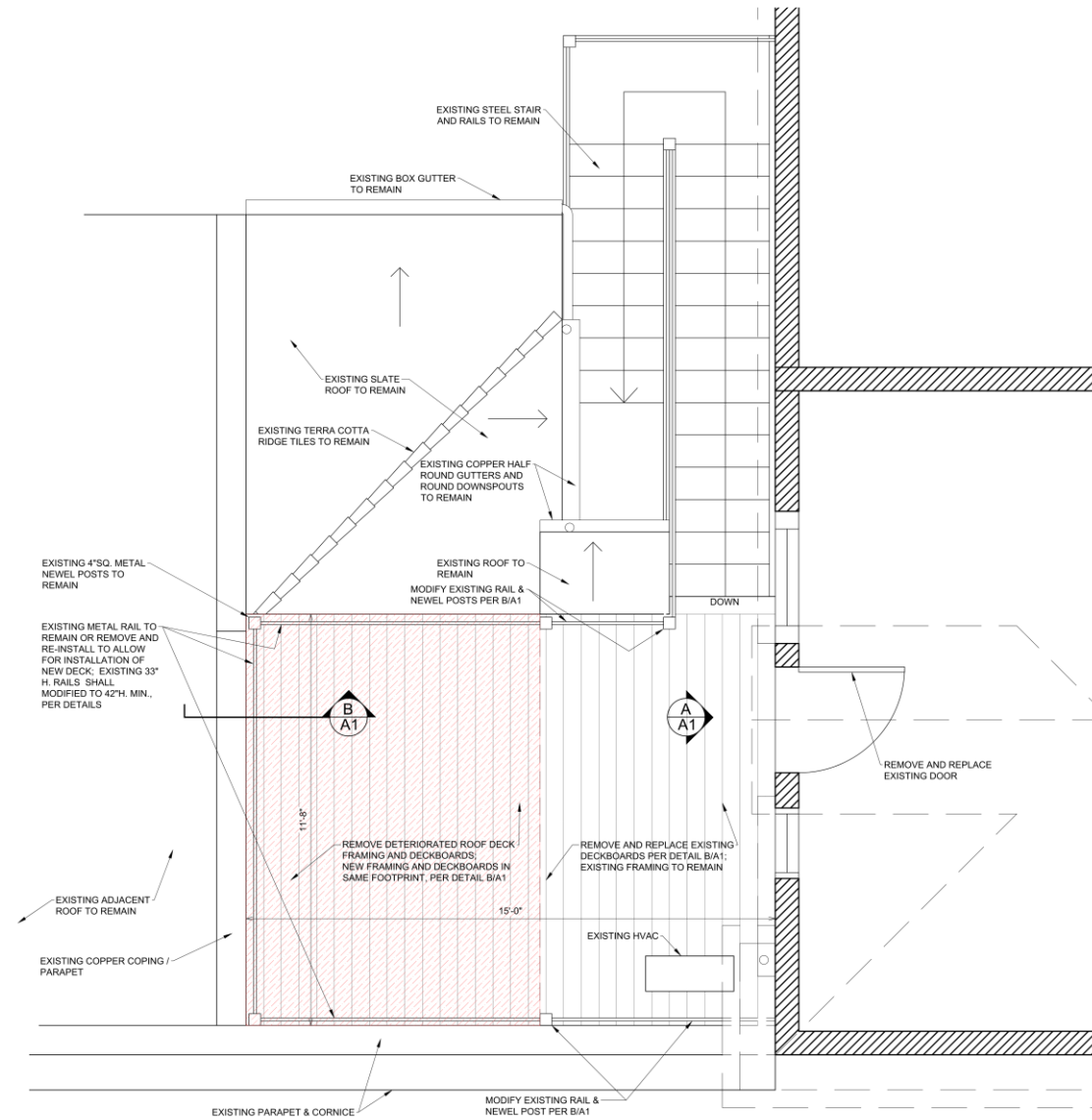
<p>ROOF DECK MODIFICATIONS 622 PIRATE'S ALLEY New Orleans, Louisiana 70116</p>	<p>LKHarmon Architects A Professional Architecture Corporation 6030 Argonne Boulevard New Orleans, Louisiana 70124 504.486.0879 business@lkharmonarchitects.com</p>	<p>A1 LKH15623</p>
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622 Pirates Alley

VCC Architectural Committee

January 23, 2024





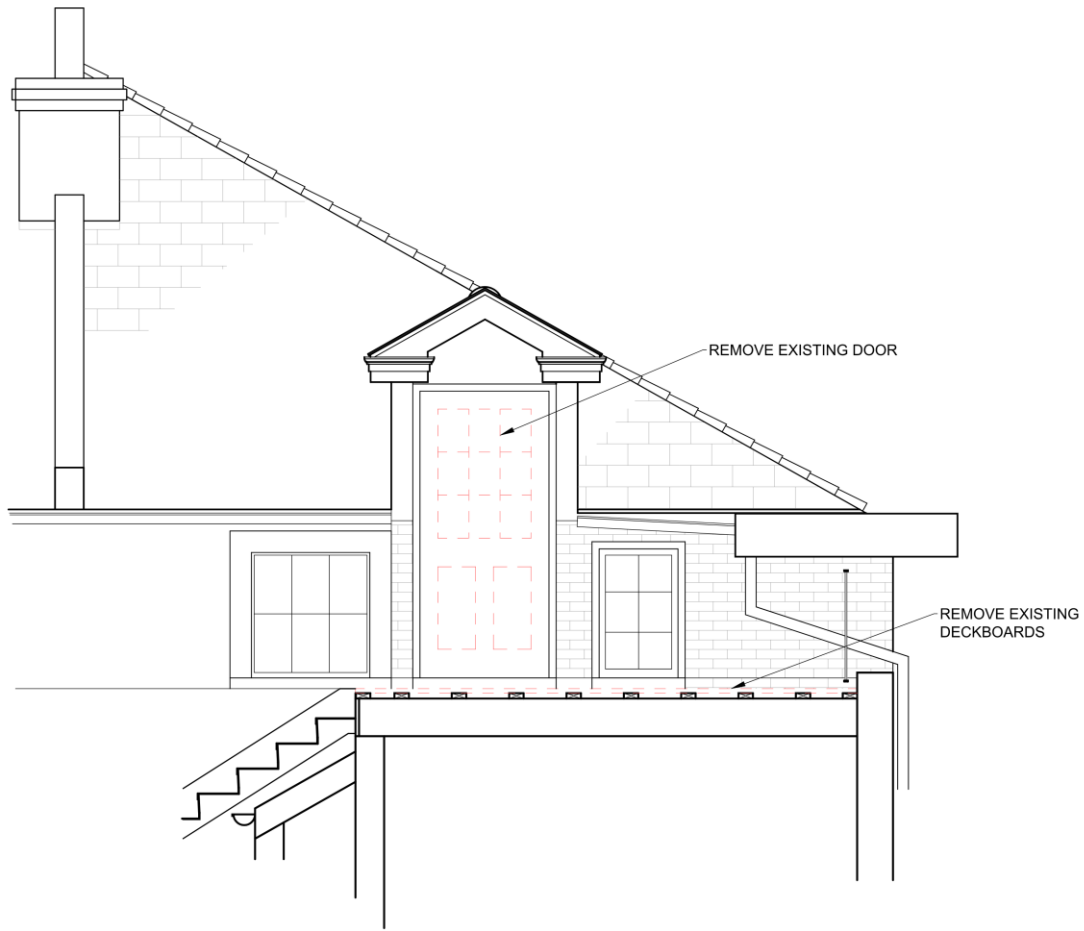
ROOF DECK PLAN
SC: 1/2" = 1'-0"

622 Pirates Alley

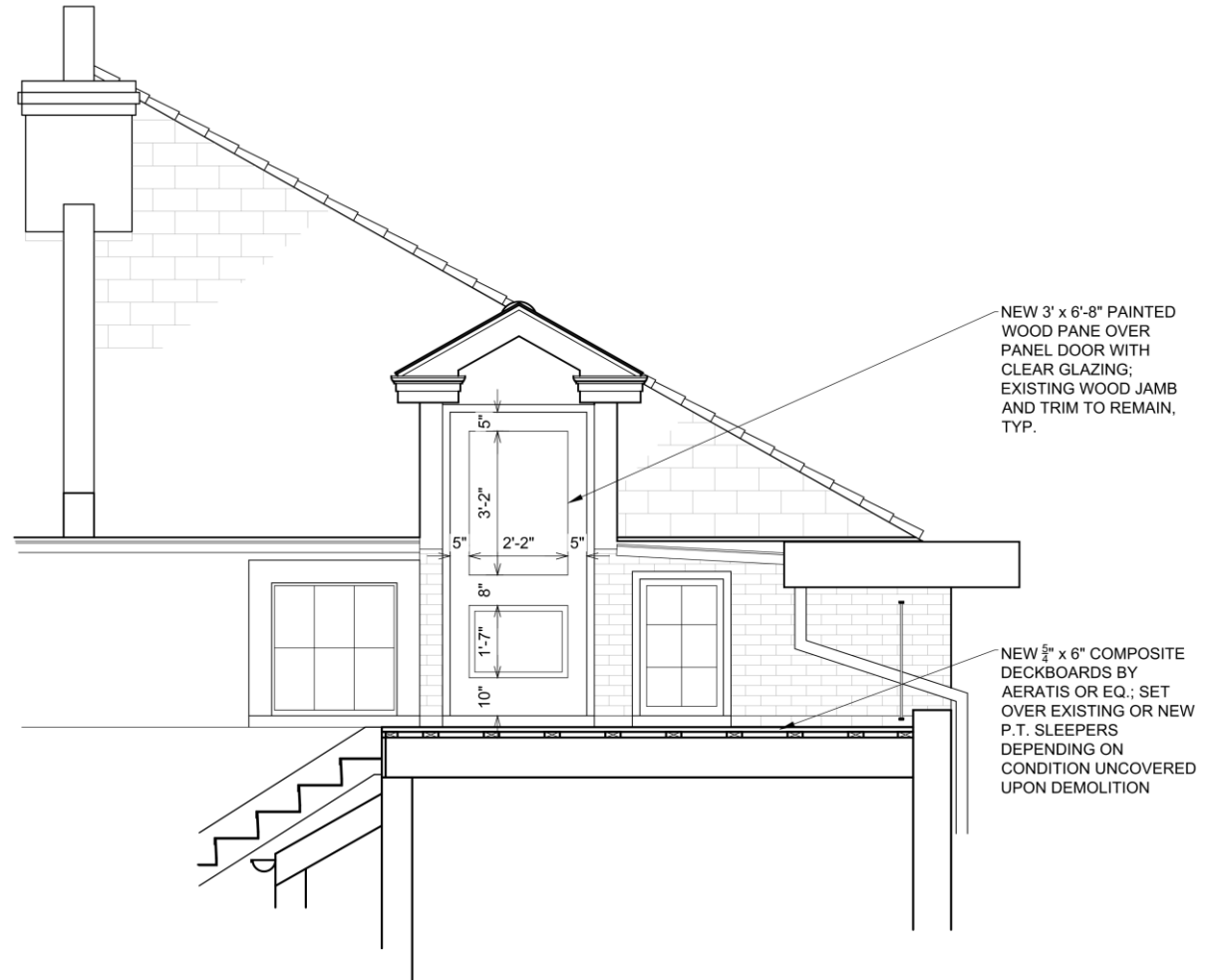
VCC Architectural Committee

January 23, 2024





EXISTING ELEVATION
 A
 A1 SC: 3/8" = 1'-0"



PROPOSED ELEVATION
 A
 A1 SC: 3/8" = 1'-0"

