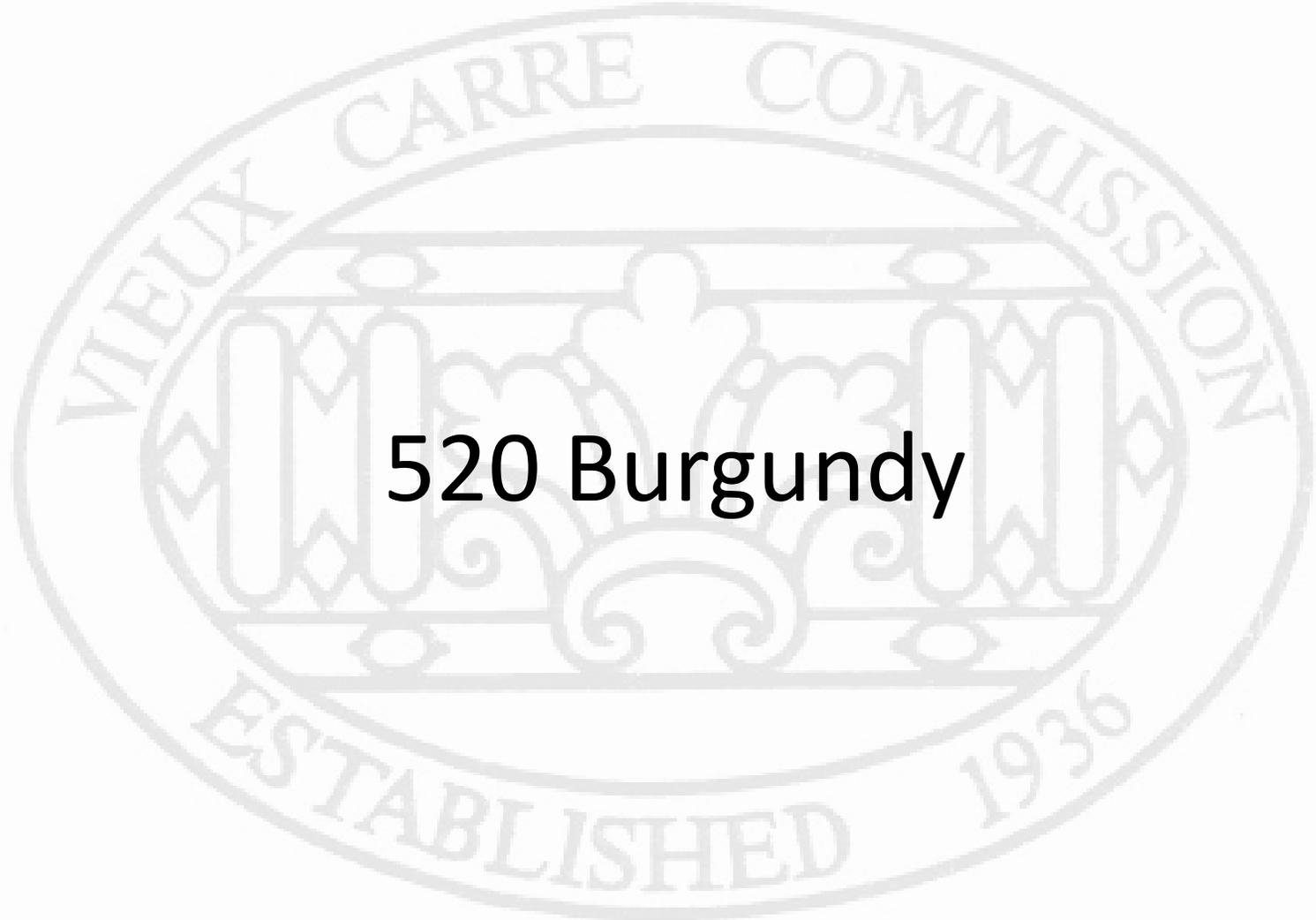


# Vieux Carré Commission Architecture Committee Meeting

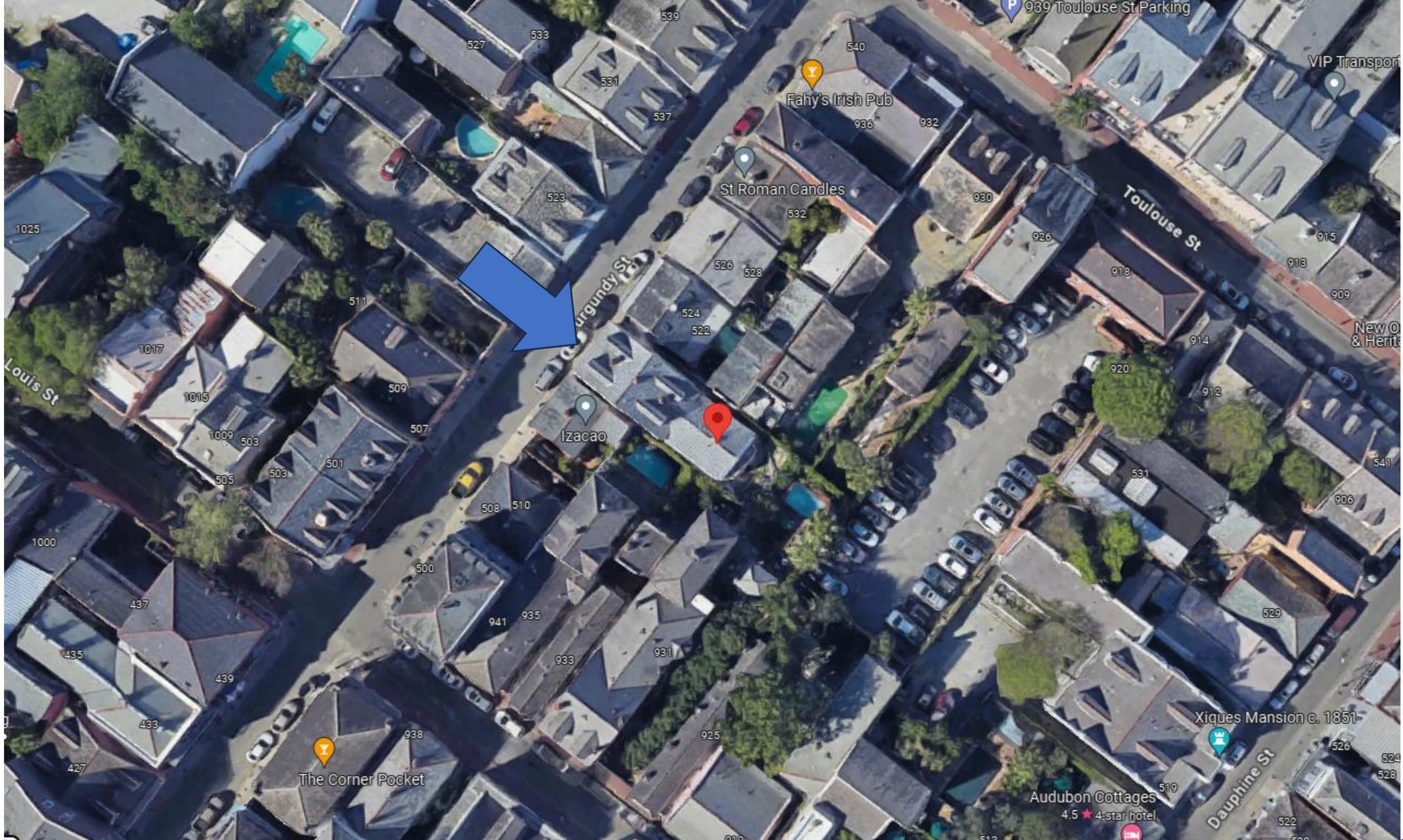
Tuesday, January 9, 2024



# Old Business



# 520 Burgundy



520 Burgundy

VCC Architectural Committee

January 9, 2024





520 Burgundy

VCC Architectural Committee

January 9, 2024





520 Burgundy

VCC Architectural Committee

January 9, 2024





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January 9, 2024





520 Burgundy

VCC Architectural Committee

January 9, 2024





520 Burgundy

VCC Architectural Committee

11 20 2023

January 9, 2024





520 Burgundy

VCC Architectural Committee

11 20 2023

January 9, 2024





520 Burgundy  
VCC Architectural Committee

January 9, 2024





520 Burgundy  
VCC Architectural Committee

January 9, 2024





520 Burgundy

VCC Architectural Committee

January 9, 2024





520 Burgundy

VCC Architectural Committee

12 06 2021

January 9, 2024





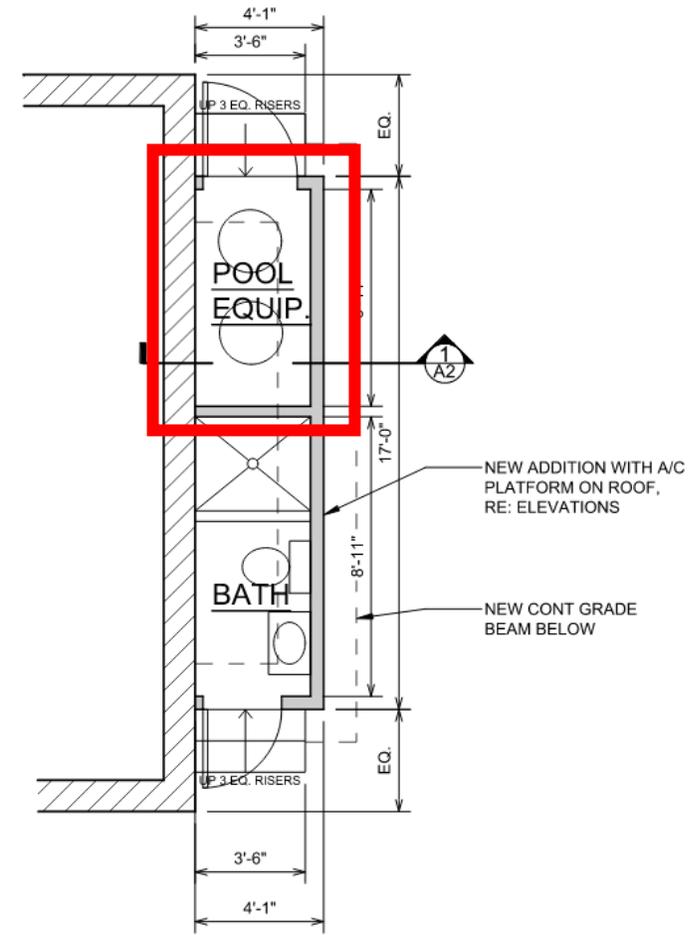
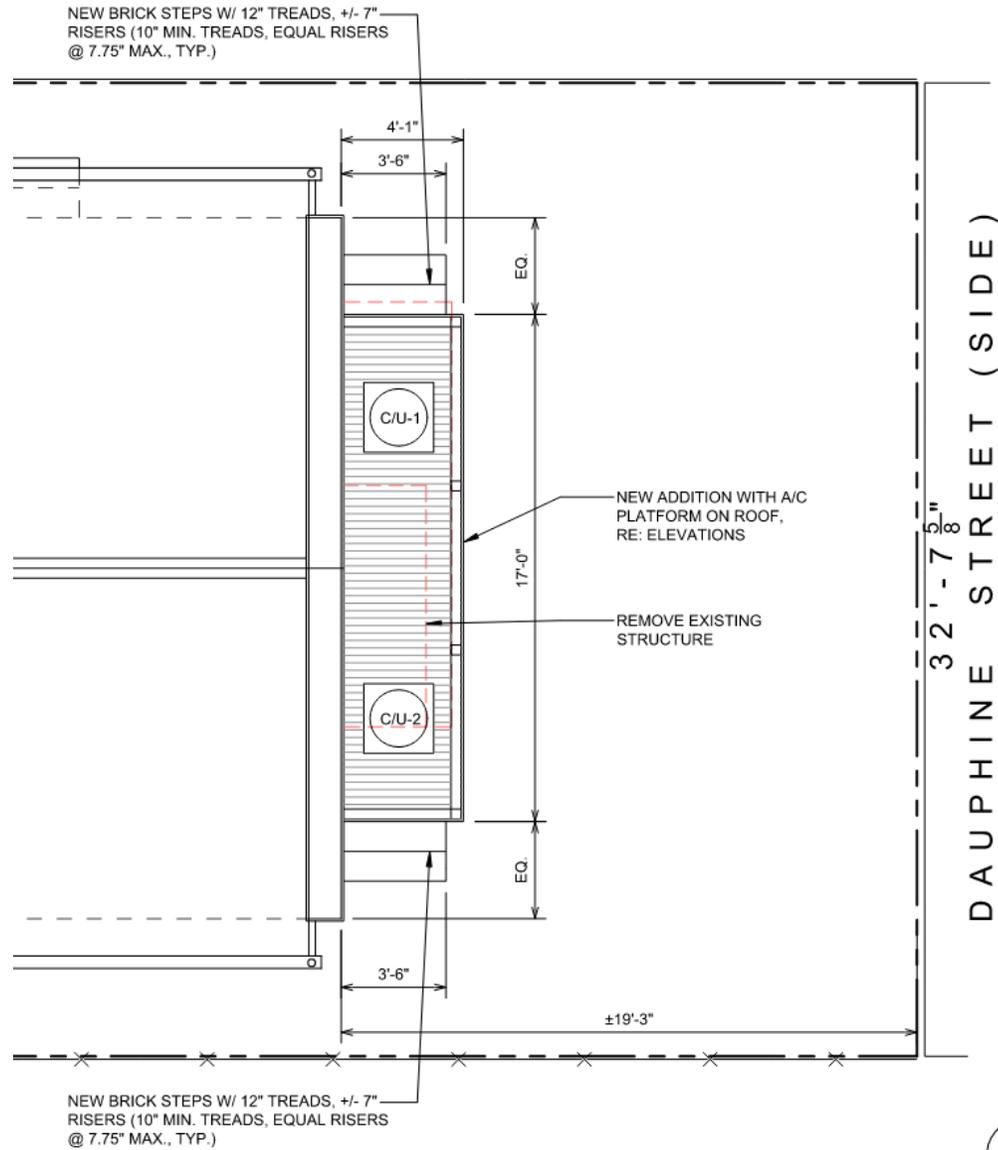
520 Burgundy

VCC Architectural Committee

12 06 2021

January 9, 2024





 **PARTIAL FLOOR PLAN @ ADDITION**  
 SC: 1/4" = 1'-0"





SWIMMING POOL CONTRACT

Date of Contract 8.21.23

NAME MAX PERRET (Person named Owner or Buyer)
JOB ADDRESS 520 BURGUNDY ST CITY N.O. STATE LA ZIP 70112
TELEPHONE (813) 210-6264 (O) (FAX)
LEGAL LOT # BLOCK SUBDIVISION MAPSCO NO
POOL SIZE: MAX WIDTH 5 1/2 MAX LENGTH 16 PERIMETER 43 AREA SQ FT 88 DEPTHS 3 1/2

LA. POOLS & SPAS INC.
2323 W. Bainbridge, 13B
Kenner, LA 70062

NOTICE OF CANCELLATION

8.21.23
DATE

You may cancel this transaction, without any penalty or obligation, within three business days from the above date.
If you cancel, any property traded in, any payments made by you under the contract or sales, and any negotiable instrument executed by you will be returned within 10 days following receipt by the seller of your cancellation notice any security interest arising out of the transaction will be cancelled.
If you cancel, you must make available to the seller at your residence, in substantially as good condition as when received, any goods delivered to you under this contract or sale, or you may, at your seller's expense and risk, have the goods returned to the seller's place of business.
If you do make the goods available to the seller and the seller does not pick them up within 20 days of the date of your notice of cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to the seller, or if you agree to return the goods to the seller and fail to do so, then you remain liable for performance of all obligations under the contract.
To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice, or any other written notice.

To:
LA. POOLS & SPAS INC.
2323 W. Bainbridge, 13B
Kenner, LA 70062
(Address of Branch Office)

NO LATER THAN MIDNIGHT OF:

8.24.23
Date

I hereby cancel this transaction

Date (Buyer's Signature)

THE UNDERSIGNED HEREBY ACKNOWLEDGE RECEIPT OF THIS NOTICE AND HAS BEEN TOLD VERBALLY OF HIS RIGHT TO CANCEL THIS CONTRACT

X MP
Buyer's Signature

Co-Buyer's Signature

8.21.23
Date

NOTICE
ANY HOLDER OF THIS CONSUMER CREDIT CONTRACT IS SUBJECT TO ALL CLAIMS AND DEFENSES WHICH THE DEBTOR COULD ASSERT AGAINST THE SELLER OF GOODS OR SERVICES OBTAINED PURSUANT HEREOF, RECOVERY HEREUNDER BY THE DEBTOR SHALL NOT EXCEED AMOUNTS PAID BY THE DEBTOR HEREBY

Completion to be within workable working days after excavation, barring time delays beyond LA Pools and Spas a reasonable control
THE GENERAL TERMS AND CONDITIONS ON THE REVERSE SIDE ARE PART OF THIS AGREEMENT.

GENERAL CONSTRUCTION, POOL PLUMBING / EQUIPMENT, ACCESSORIES, CONCRETE, UTILITIES, MISCELLANEOUS, SPA, ADDITIONAL SPECIFICATIONS. Includes handwritten notes like 'HAYWARD', 'LAPS', 'LIFE TIME WARRANTY ON POOL STRUCTURE'.

No additional work shall be done without prior written authorization of Buyer. Any such authorization shall be on a contract change order form showing the agreed terms and reasons for such changes, and shall be approved by such parties. This contract is to be signed only if the Seller is not to finance (or arrange for financing of) amounts to be paid by Buyer to Seller hereunder.

Table with columns: CASH CONTRACT PRICE, Down Payment, BALANCE, Payment Schedule (30% At Excavation, 35% At Grout, 30% At Tie, 5% At Prior To Plaster)

TO THE BUYER: For your protection, all checks must be made payable to: "LA POOLS & SPAS" or "L.A.P.S." to ensure that all lien releases, warranties and guarantees granted to you under this contract are met. Please Initial

THIS AGREEMENT IS SUBJECT TO ARBITRATION UNDER THE COMMERCIAL ARBITRATION RULES OF THE AMERICAN ARBITRATION ASSOCIATION.

BUYER (OWNER) ACKNOWLEDGES THAT HE HAS READ THE CONTRACT IN ITS ENTIRETY AND RECEIVED A LEGIBLE COPY OF THIS CONTRACT INCLUDING THE TERMS AND CONDITIONS CONTAINED ON THE REVERSE SIDE THEREOF AND THAT ALL REPRESENTATIONS MADE ORALLY ARE INCLUDED HEREIN, AND THAT NO ORAL REPRESENTATIONS HAVE BEEN MADE EXCEPT THOSE SPECIFICALLY INCLUDED HEREIN.

Submitted by: Robert Kneubbe Salesman 8.21.23
Accepted by: Buyer MAX PERRET Buyer 8.21.23
Co-Buyer

This agreement subject to the approval of an officer of LA Pools & Spas, Inc. (Copies do not require written approval)

YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DAY OF THIS TRANSACTION. SEE THE ATTACHED NOTICE OF CANCELLATION FORM AND EXPLANATION OF THIS RIGHT

NOTE TO THE BUYER: DO NOT SIGN THIS CONTRACT BEFORE YOU READ IT OR IF IT CONTAINS ANY BLANK SPACES. YOU ARE ENTITLED TO AN EXACT COPY OF THE CONTRACT YOU HAVE SIGNED. DO NOT SIGN THIS CONTRACT UNTIL YOU HAVE READ IN FULL AND UNDERSTAND THE ADDITIONAL TERMS AND CONDITIONS TO THIS CONTRACT WHICH ARE CONTAINED ON THE BACK OF THIS DOCUMENT.

520 Burgundy
VCC Architectural Committee

January 9, 2024



### GENERAL CONSTRUCTION

1. Standard Engineered Plans and Pool Permits	LA Pools & Spas
2. Pool layout for approval by Buyer	LA Pools & Spas
3. Excavation and hand contouring	LA Pools & Spas
4. Removal of dirt on day of excavation only	LA Pools & Spas
5. Access Wall or fence to be: (TYPE <u>WOOD</u> ) Removed by LAPAS _____ BUYER _____ Removed by LAPAS _____ BUYER _____	
6. Normal dirt excavation and pool layout. Additional hours @ \$ _____ Per hour	BUYER
7. Trees in access and/or pool site to be cut down so that stump will not exceed 4 feet in height <u>N/A</u>	BUYER
8. Saw Cut concrete (L/F _____) Yes _____ No <u>X</u>	
9. Remove from pool site on day of excavation only Stumps Yes _____ No <u>X</u> Precut trunks & limbs Yes _____ No <u>X</u> Concrete Yes _____ No <u>X</u> Uprooted shrubs Yes _____ No <u>X</u> Asphalt Yes _____ No <u>X</u> Other debris Yes _____ No <u>X</u>	
10. Steel reinforcing (#3 and #4 rebar)	LA Pools & Spas
11. Public liability, property damage and workers compensation insurance during pool construction	LA Pools & Spas
12. Initial equipment start-up service & instructions	LA Pools & Spas

### CONCRETE

13. Pneumatically applied Gunite per code a. Owner will water cure twice daily for seven days	BUYER
14. Gunite inspection when required	LA Pools & Spas
15. One set of deluxe steps in shallow end of pool	LA Pools & Spas
16. Love seat ledge <u>5 1/2' x 5' / 5 1/2'</u>	LAPS
17. Standard safety grip coping <u>BULESTONE</u> Other coping/Type _____	LAPS
18. Tile: Standard 6" ceramic water line tile <u>TBD</u> Other: _____	LAPS
19. Hand troweled plaster. Discoloration or staining of plaster is not contractors liability. <u>LT. GREY QUARTZ</u>	LA Pools & Spas
20. Decking installed within pool site. Total Sq. Ft. <u>298</u> Type <u>Flagstone</u> Color (specify) <u>F.O. style see photos</u>	LAPS
21. Deck Drains Type/footage <u>4 1/2" 35' DECO</u> Heads or D/S Conn <u>attach to existing</u>	LAPS
22. Footings/turn downs	
23. Mastic	
24. Retaining Walls <u>N/A</u>	BUYER

### UTILITIES

25. Electrical hookup of filter pump and underwater light including required conduit	LAPS
26. Provide electrical bonding of pool when required	LA Pools & Spas
27. Electrical panel change and/or relocation of overhead or underground wires if required by local code	BUYER
28. Deluxe underwater light	LA Pools & Spas
29. Ground Fault Interrupter (GFI)	LA Pools & Spas
30. Sanitation system and/or underground utilities to be rerouted per code	BUYER
31. Freeze Sensor	LA Pools & Spas
32. Gas line and hookup for pool heater, from Meter to Heater, if required	BUYER

### POOL PLUMBING / EQUIPMENT HAYWARD

33. All pool piping (plumbing) Schedule 40 PVC	LA Pools & Spas
34. Valves as required for operation	LA Pools & Spas
35. Filter run from skimmer <u>40 2 35'</u> Ft.	LA Pools & Spas
36. Pump: Size <u>1 1/2</u>	LA Pools & Spas
37. Filter Size & Type <u>CARTRIDGE 435</u>	LA Pools & Spas
38. Main drain plumbing w/grate	LA Pools & Spas
39. POOL CLEANER TYPE <u>ULTRA</u>	LA Pools & Spas
40. Automatic surface skimmer	LAPS
41. Adjustable return inlets <u>6</u>	LAPS
42. _____	LA Pools & Spas

### ACCESSORIES

43. Diving Board: Ft. _____	
44. Slide: Curve left _____ Curve right _____	
45. HEATER: B.T.U. _____	
46. Cup anchors	
47. LA Pools & Spas step name plaque	LAPS
48. Leaf skimmer, thermometer, pole and brush	LAPS

### SPA

49. Spa Size _____	
50. Spa Jets _____	
51. Spa light _____	
52. Spa run to equipment _____ Ft.	
53. Air Blower / H.P. _____	
54. Electronic control _____	

### MISCELLANEOUS

55. <u>all HAYWARD equipment</u>	
56. <u>3-year part/labor warranty</u>	
57. _____	
58. _____	
59. <u>lifetime warranty on pool structure</u>	
60. _____	
61. _____	
62. _____	

ADDITIONAL SPECIFICATIONS: (Write non where applicable)  
 (All state, county and city sales tax)  
Wall of waterfall 25 1/2' LX 24'  
BRICK reclaimed 100K" veneer  
3-SIDES 3' sheet

**\*DOES NOT include demolition.\***  
\*TBD\*

Buyer supply electric power to pad. Buyer to supply access, power and water as needed for construction.

LA Pools & Spas is not responsible for damage done in access area over which equipment must travel.

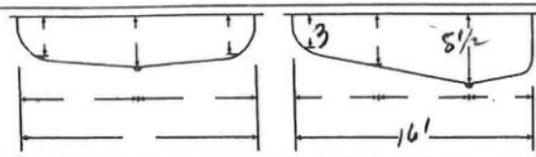
No additional work shall be done without prior written authorization of Buyer. Any such authorization shall be on a contract



# LA Pools and Spas

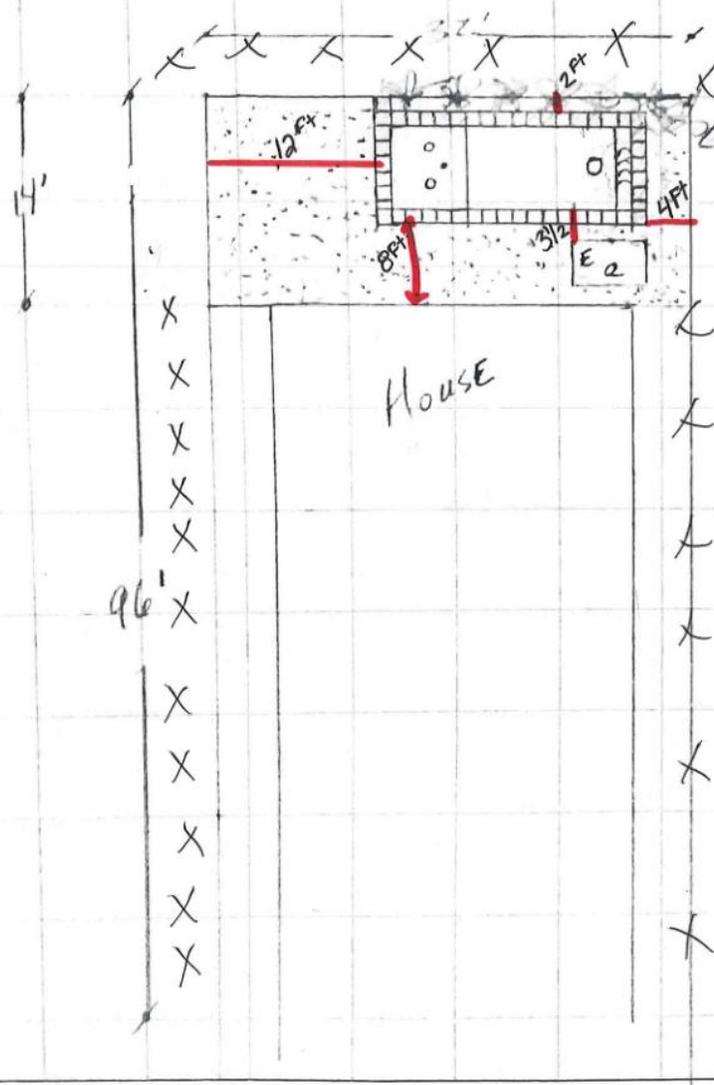
**BUYER'S RESPONSIBILITY**

- Pool area to be fenced per local code
- Gates to be self-closing and self-latching
- Wet down gunite twice daily for 7 days

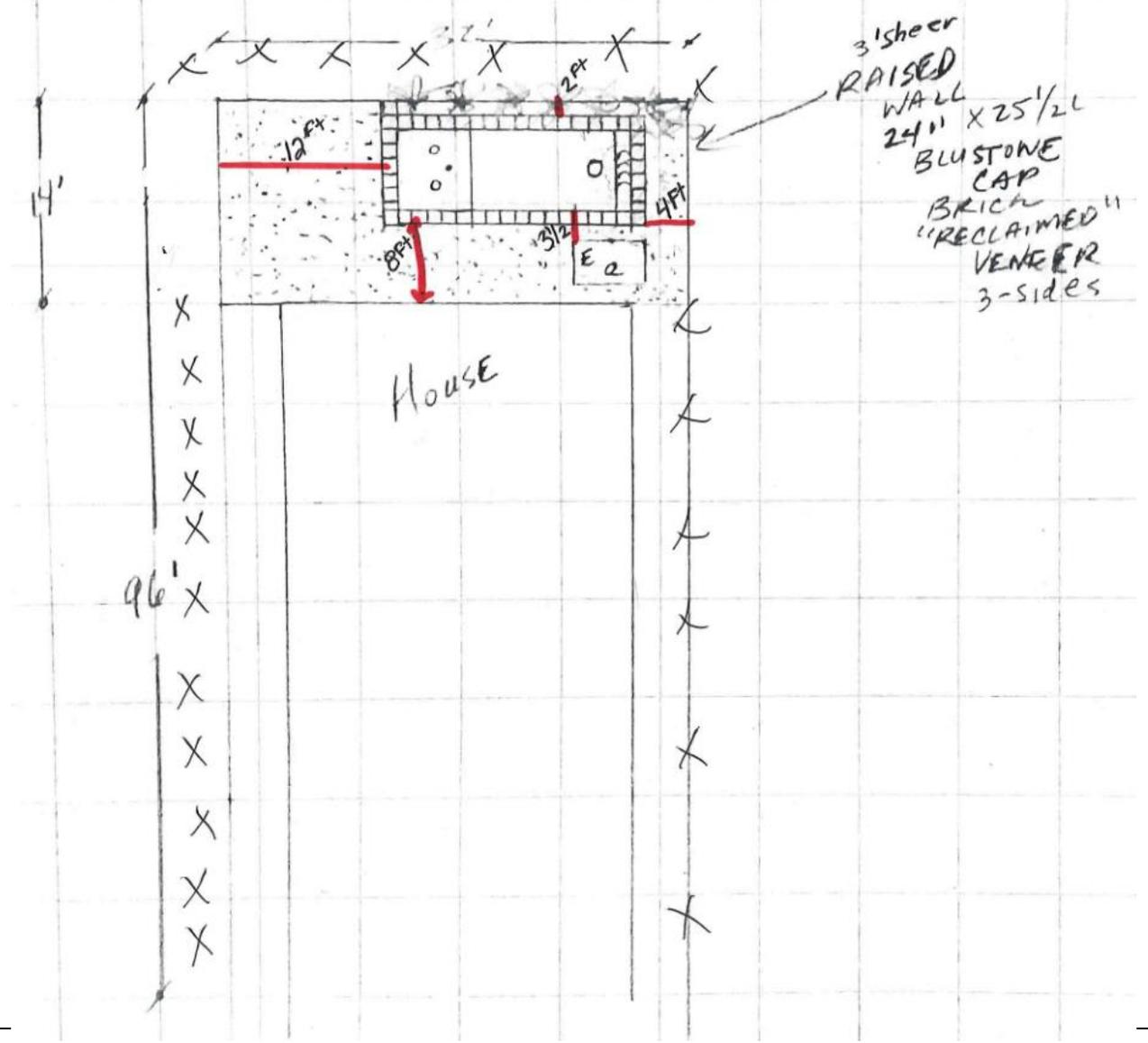


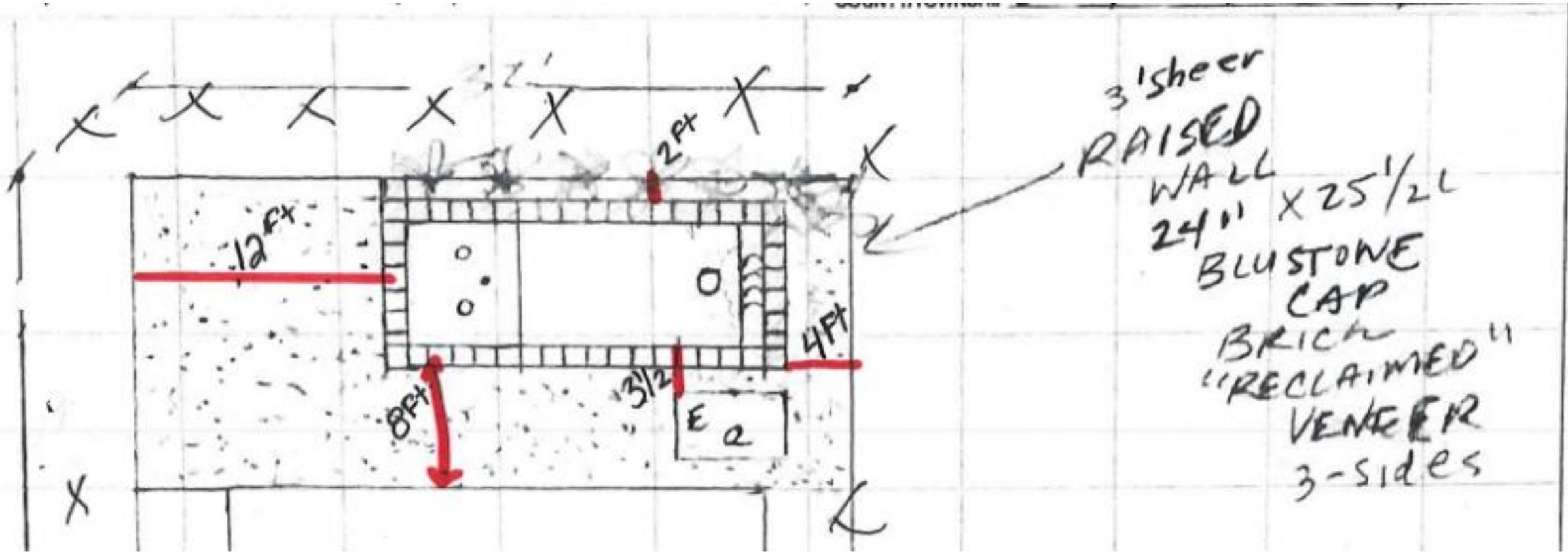
PREPARED ESPECIALLY FOR:  
**MAX PERRET**  
 STREET **520 BURGUNDY**  
 CITY **M.O. LA** ZIP **70112**  
 PHONE HM \_\_\_\_\_ WK or CELL **5042106264**  
 COUNTY/TOWNSHIP **e. mperret@velocityassets.com**

<b>GENERAL POOL SPECIFICATIONS</b>		DECK TYPE <b>FLAGSTONE</b>
MAX LENGTH <b>16</b>	WIDTH <b>5 1/2</b>	FOOTAGE <b>298</b>
DEPTH <b>3 1/2</b>	SUR AREA <b>84</b>	PERIMETER <b>43</b>
CAPACITY <b>TBD</b>	GALLONS	COLOR <b>GREY/GREEN</b>
TURNOVER RATE <b>TBD</b>	HOURS	RISERS
EXCAVATION		FOOTINGS
ACCESS <b>FRONT REAR SIDE</b>	TRACK HOE <b>BOBCAT MINI BOBCAT</b>	MASTIC
REMOVE DIRT <b>HAND DIG</b>	REMOVE STUMP(S)	TURNDOWNS
REMOVE FENCE	REPLACE FENCE	DRAIN PIPE <b>TBD</b>
REMOVE CONCRETE <b>TBD</b>	SAWCUT CONCRETE <b>TBD</b>	DRAIN HEADS
RTNG WALL	OTHER	DECK-O-DRAIN FTG <b>402 38"</b>
PLUMBING		EQUIPMENT
FILTER RUN FTG <b>402 38"</b>	RETURN LINES <b>6 SKIMMER</b>	SMARTPURE UV/OZONEATOR <b>YES NO</b>
P-TRAP <b>BWASH LINE</b>	WATERFALL FTG <b>TBD</b>	SMARTPURE OTHER <b>YES NO</b>
WATER FEATURE FTG <b>TBD</b>	GAS LINE	SMARTPURE MINERAL <b>YES NO</b>
GAS STUB	GAS DRIVE	CHLORINATOR <b>YES NO</b>
FILL LINE	WATER SUPPLY <b>CITY WELL</b>	500 WATT LIGHT <b>YES NO</b>
ELECTRICAL RUN	JBOX #	SMARTLIGHT LED <b>1000 24" NO</b>
RUN BY <b>TBD</b>	UPGRADE HR <b>YES NO</b>	SMARTFLOW JETS <b>6 YES NO</b>
OUTLETS <b>YES NO</b>	ECO <input type="checkbox"/> PRO-5 <input type="checkbox"/> PRO-8 <input type="checkbox"/>	SMARTVAC <b>ULTRA YES NO</b>
GUNITE FEATURES & BOND BEAM		BH GAS HEATER BTU <b>NAT PRO</b>
LOVE SEAT <b>5'</b>	SWIM OUT	BH HEAT PUMP BTU <b>YES NO</b>
TANNING LEDGE <b>5 x 5 1/2</b>	OTHER	OTHER <b>retilling feature</b>
8" RBB Ftg	12" RBB Ftg	ACCESSORIES & FEATURES
18" RBB Ftg	24" RBB Ftg	DIVING BOARD
HAND-HOLDS <b>YES NO</b>	FASCIA	SLIDE
FASCIA	DAM WALL FASCIA	COVER
DOUBLE-CUT <b>YES NO</b>	SPILLWAY	WATER FEATURES <b>BLUSTONE CAP WALL w/ 2' 5" SPA</b>
COPING	PLUMBING RUN	brick Fastyle
TYPE <b>BLUSTONE</b>	QUANTITY OF JETS	SPA SIZE
COLOR <b>GREY</b>	ST JETTERAPY <b>YES NO</b>	RAISED <b>6" 12" 18" 24"</b>
SPA DAM	BLOWER HV <b>YES NO</b>	FASCIA
TILE	100 WATT LIGHT <b>YES NO</b>	DAM WALL FASCIA
6" WATERLINE <b>TBD</b>	SMARTLIGHT LED <b>YES NO</b>	SPILLWAY
ACCENT TILE	OTHER	PLUMBING RUN
INTERIOR FINISH <b>SMARTBRITE QUARTZ</b>	NO COLOR <b>LT GRAY</b>	QUANTITY OF JETS
SMARTBRITE PEBBLE	YES NO COLOR	ST JETTERAPY
MARCITE	YES NO COLOR	BLOWER HV
OTHER	YES NO COLOR	100 WATT LIGHT
BUYER, PLEASE INITIAL & SIGN Approved above specifications. <input checked="" type="checkbox"/> <b>MPM</b> Approved equipment location. <input checked="" type="checkbox"/> <b>MPM</b> Underground utilities including sprinklers, phone lines, cable TV, sewer, gas, and electric are responsibilities of homeowner. <input checked="" type="checkbox"/> <b>MPM</b> Understand that decking shown is for illustration purposes only and understand I am to receive <b>298</b> square feet of deck. <input checked="" type="checkbox"/> <b>MPM</b>		
SIGNATURE <b>MPM</b>	DATE	
DESIGNER <b>MPM</b>	JOB #	
LOT _____ BLOCK _____ TRACT _____	MAPSCO	



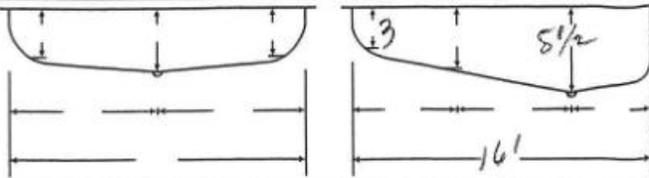
PREPARED ESPECIALLY FOR:  
 MAX PERRET  
 STREET 520 BURGUNDY  
 CITY N.O. LA ZIP 70112  
 PHONE HM \_\_\_\_\_ WK OF CELL 5042106261  
 COUNTY/TOWNSHIP e: mperret@velocityassets.





# LA Pools and Spas

- BUYER'S RESPONSIBILITY**
- Pool area to be fenced per local code
  - Gates to be self-closing and self-latching
  - Wet down gunite twice daily for 7 days

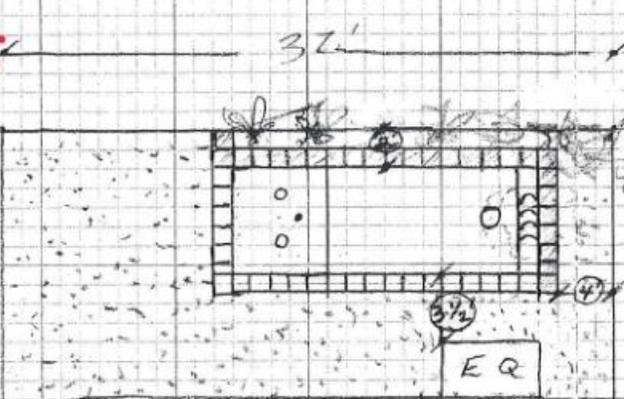


PREPARED ESPECIALLY FOR:  
**MAX PERRET**  
 STREET: **520 BURGUNDY**  
 CITY: **N.O. LA** ZIP: **70112**  
 PHONE: **HM** WK or CELL: **5042106264**  
 COUNTY/TOWNSHIP: **e: mperret@velocityassets.com**

**GENERAL POOL SPECIFICATIONS**

MAX: LENGTH **16** WIDTH **5 1/2** TYPE **FLAGSTONE**  
 DEPTHS **3/5/2** FOOTAGE **298**  
 SUR AREA **84** PERIMETER **43** COLOR **GREY/GREEN**  
 CAPACITY **TBD** GALLONS  
 TURNOVER RATE **TBD** HOURS  
 EXCAVATION  
 ACCESS: **FRONT REAR SIDE** TURNDOWNS  
 TRACK HOE **BOBCAT MINI BOBCAT** DRAIN PIPE **TBD**  
 REMOVE DIRT **HAND DIG** DRAIN HEADS  
 REMOVE STUMP(S) **=** DECK-O-DRAIN FTG **UP 2 351**  
 REMOVE FENCE **=** OTHER  
 REPLACE FENCE **=** EQUIPMENT  
 REMOVE CONCRETE **TBD** FILTER TYPE **CARS** SIZE **425**  
 SAWCUT CONCRETE **TBD** PUMP HP **1 1/2** 2SP 1SP 3SP  
 RTNG WALL **=** SMARTCONTROL **PA SALT**  
 OTHER

**The Proposal Satisfies  
 The CZO Requirements  
 A = 1228 < B = 2048**



**3' sheer  
 RAISED  
 WALL  
 24" X 25 1/2"  
 BLUESTONE  
 CAP  
 BRICK  
 "RECLAIMED"  
 VENEER  
 3-SIDES**

**PLUMBING**

SMARTPURE UV/OZONATOR YES  NO   
 SMARTPURE OTHER: YES  NO   
 SMARTPURE MINERAL YES  NO   
 CHLORINATOR YES  NO   
 500 WATT LIGHT YES  NO   
 SMARTLIGHT LED **1 MB2** YES  NO   
 SMARTFLOW JETS **6** YES  NO   
 SMARTVAC **ULTRA** YES  NO   
 BH GAS HEATER BTU **=** NAT PRO  
 BH HEAT PUMP BTU YES  NO   
 OTHER **retilling feature**

**ACCESSORIES & FEATURES**

DIVING BOARD  
 SLIDE  
 COVER  
 WATER FEATURES **bluestone cap  
 wall w/ 3' sheer  
 24" H X 25 1/2"  
 brick PG style**

**GUNITE FEATURES & BOND BEAM**

LOVE SEAT **5'**  
 SWIM OUT  
 TANNING LEDGE **5 X 5 1/2**  
 OTHER  
 6" RBB Fig 18" RBB Fig  
 12" RBB Fig 24" RBB Fig  
 HAND-HOLDS YES  NO   
 FASCIA  
 DOUBLE-CUT YES  NO   
**COPING**  
 TYPE **BLUESTONE**  
 COLOR **GREY**  
 SPA DAM  
**TILE**  
 6" WATERLINE **TBD**  
 ACCENT TILE

**A = 1228  
 b = 2048**

520 Burgundy

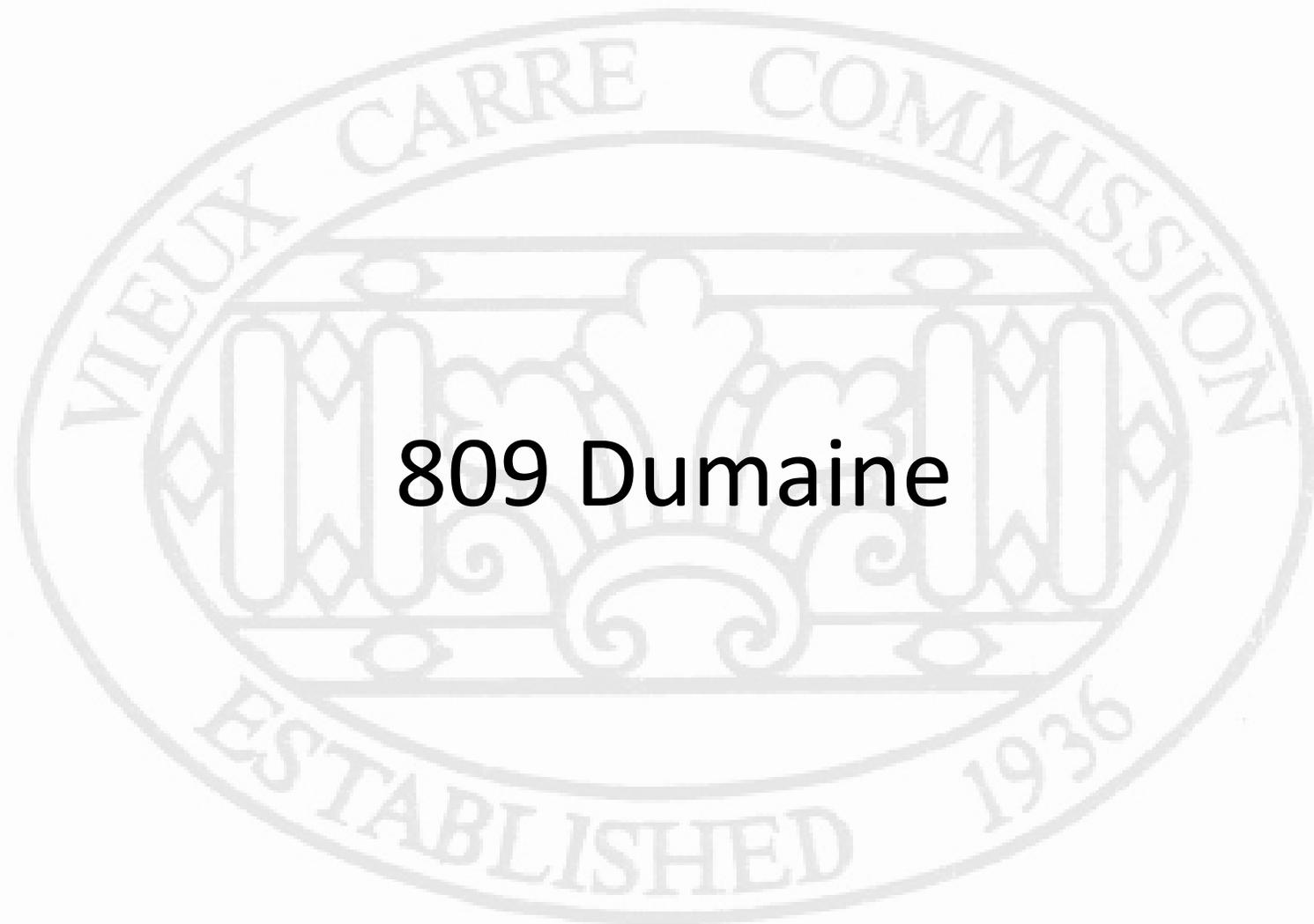
VCC Architectural Committee

January 9, 2024





# New Business



809 Dumaine

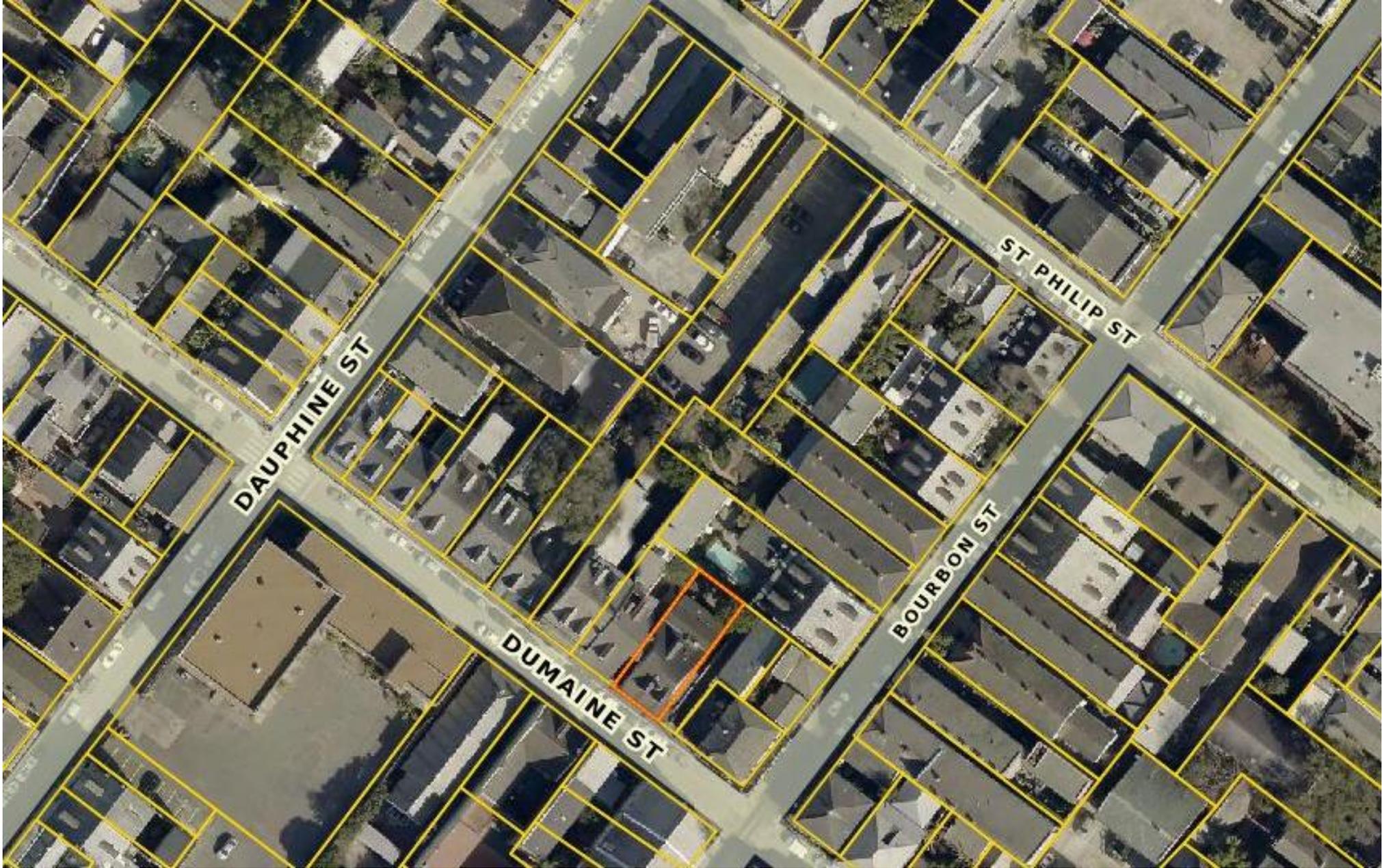


809-813 Dumaine

VCC Architectural Committee

January 9, 2024



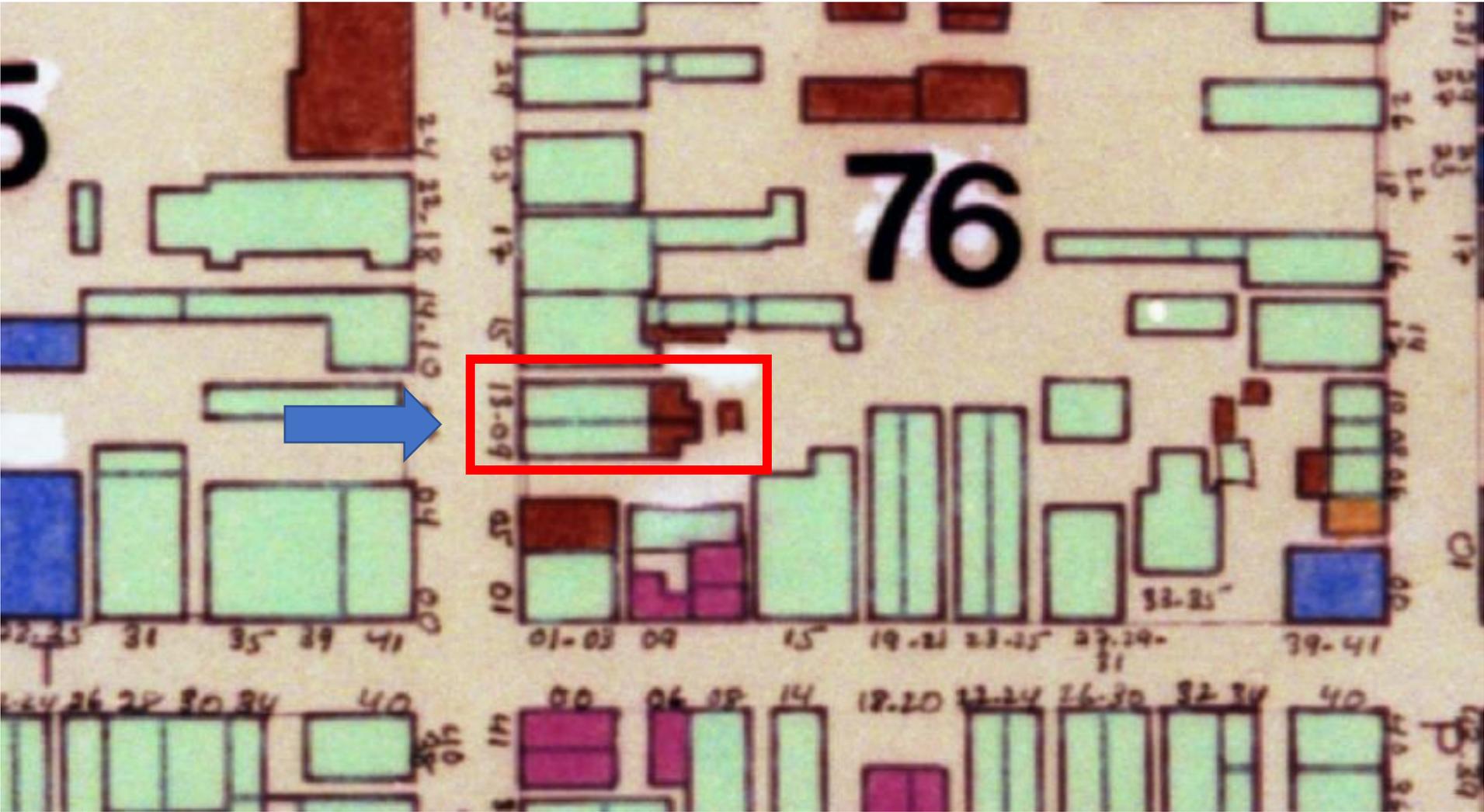


809-813 Dumaine

VCC Architectural Committee

January 9, 2024





809-813 Dumaine





809-813 Dumaine, 1964

VCC Architectural Committee

January 9, 2024





809-813 Dumaine

VCC Architectural Committee

January 9, 2024





809-813 Dumaine

VCC Architectural Committee

January 9, 2024





809-813 Dumaine

VCC Architectural Committee

January 9, 2024





809-813 Dumaine

VCC Architectural Committee

January 9, 2024



# ABRY BROTHERS, INC



Established 1840  
PHONE 504-488-2671 \* FAX 504-482-2862  
3319 ORLEANS AVENUE \* P.O. BOX 19737  
NEW ORLEANS, LA 70179-0737  
[www.abrybrothers.com](http://www.abrybrothers.com)  
LA CONTRACTORS LICENSE NO. 26319

December 12, 2023

Ms. Ann Montgomery  
809 Dumaine Street  
New Orleans, LA, 70116

Ms. Montgomery,

Per your request, on June 16, 2023, I made a visual observation of your property located at 809 Dumaine Street in New Orleans, Louisiana. The purpose of my site visit was to evaluate the current condition of the foundation of the house. The visual observation brought to our attention significant cracks and bulging in the exterior masonry chain wall of the structure along Dumaine Street (See Photos 1 and 2). It is my opinion that the cracking and movement in the wall is a result of failure occurring in the corbeled brick footing beneath the wall. It is my recommendation that the structure be shored and the footing be replaced with a continuous concrete footing. The brick chain wall can be rebuilt in kind with the existing bricks salvaged from the original chain wall. All existing vents and entrance stairs should be removed prior to demolition of the wall and reinstalled to match the original locations when the construction has been completed.

If you have any questions, please do not hesitate to contact me.

Sincerely,

*Patrick H. Abry*

Patrick H. Abry, P.E.



12/12/2023

809-813 Dumaine

VCC Architectural Committee

January 9, 2024





Photo 1

809-813 Dumaine

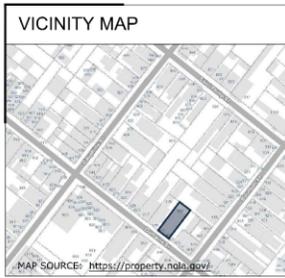
VCC Architectural Committee

January 9, 2024





*Photo 2*



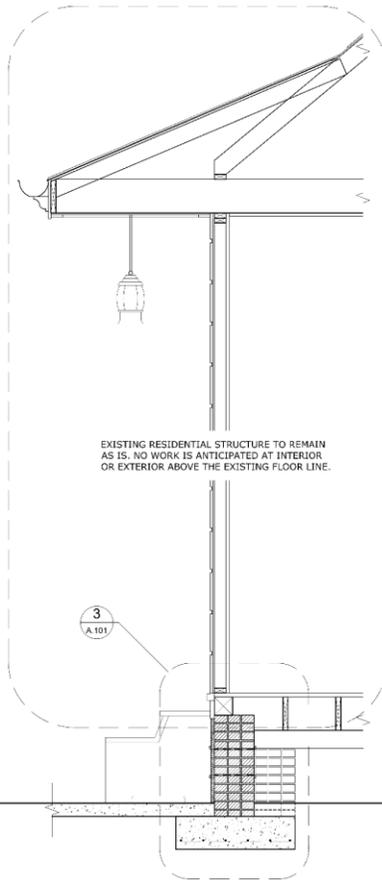
EXISTING RESIDENTIAL STRUCTURE TO REMAIN AS IS. NO WORK IS ANTICIPATED AT INTERIOR OR EXTERIOR ABOVE THE EXISTING FLOOR LINE.



**PROPOSED FRONT ELEVATION**  
DUMAINE STREET

1  
A.101

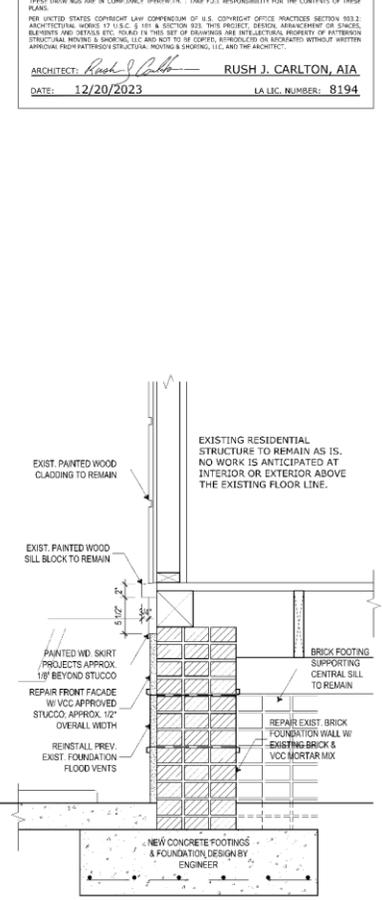
SCALE 3/8" = 1'-0"



**PROPOSED WALL SECTION**  
POST SHORING WORK

2  
A.101

SCALE 3/8" = 1'-0"



**1 1/2 TITLE**  
WITH NOTE

3  
A.101

SCALE 1 1/2" = 1'-0"

**Rush J Carlton** Digitally signed by Rush J Carlton  
Date: 2023.12.20 15:48:37 -06'00'

THESE DRAWINGS HAVE BEEN PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION AND AS TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL LOCAL, REGIONAL, AND NATIONAL REQUIREMENTS.

THESE PLANS, DETAILS, NOTES AND SPECIFICATIONS ARE THE PROPERTY OF PATTERSON STRUCTURAL MOVING & SHORING, LLC AND SHALL BE USED ONLY FOR THE PROPERTY PROJECT AS INDICATED IN THE TITLE BLOCK OR THESE DRAWING SHEETS.

THE ARCHITECT DOES NOT SUPERVISE AND WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S WORK. THE ARCHITECT DOES NOT DICTATE CONSTRUCTION MEANS AND METHODS, MEASUREMENTS AND HEIGHTS SHALL BE SOLELY THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE RESPECTIVE SUBCONTRACTORS.

I HAVE RESEARCHED THE INTERNATIONAL RESIDENTIAL CODES AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

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ARCHITECT: *Rush J Carlton* RUSH J. CARLTON, AIA  
DATE: 12/20/2023 LA LIC. NUMBER: 8194



**Patterson Structural Moving & Shoring, LLC**  
An Architectural Firm

11221 Old Gentry Road | New Orleans, LA 70129  
phone: 504.241.4500 | toll free: 855.427.2473  
email: rush@psmsusa.com

**809 DUMAINE STREET**  
SHORING, LEVELING, AND REPAIRS  
809 DUMAINE ST. | NEW ORLEANS, LA 70123  
VIEUX CARRE | SQ. 76 | LOT Z

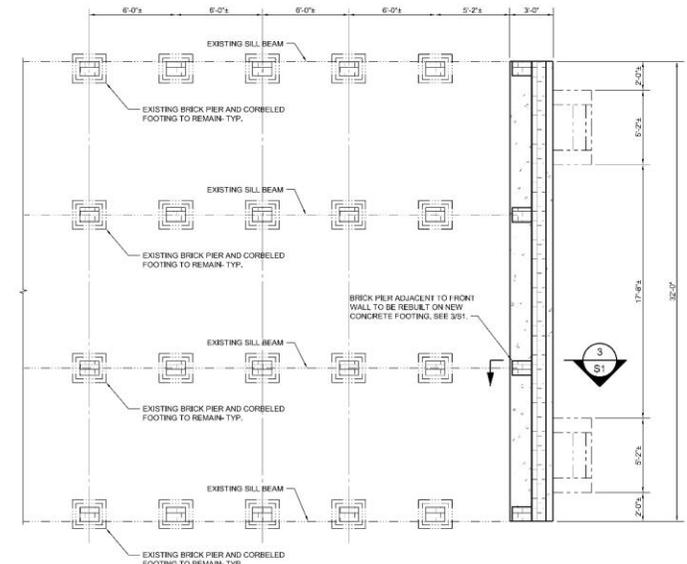
PROJECT NUMBER: 2023-010-0000  
FILED BY: 12/18/2023  
SCALE: AS NOTED, SEE PAGE 010 FOR DUMAINE1402.dwg

**A.101**  
FRONT ELEVATION, SECTION, AND NOTES

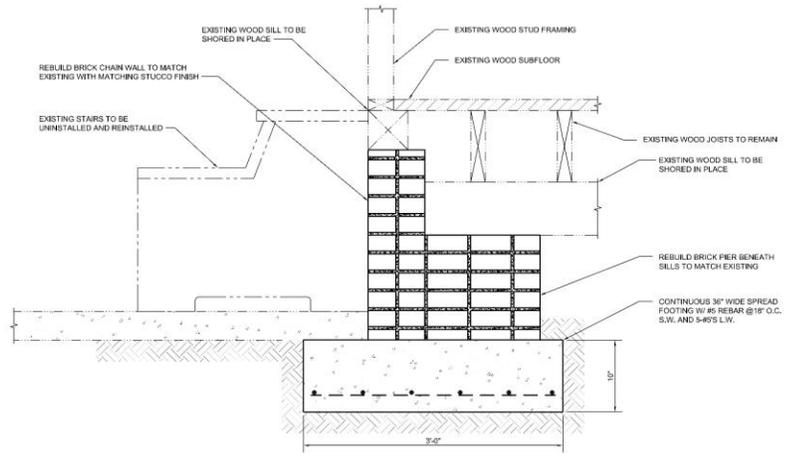


**1 GENERAL NOTES**  
S1

- 1. EXISTING CONDITIONS**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER.
- 2. SHALLOW FOOTINGS**  
PRIOR TO CASTING SPREAD FOOTINGS, CONTRACTOR SHALL CONFIRM THAT THE SOILS ARE PROPERLY COMPACTED TO 95% COMPACTION.
- 3. EARTHWORK**  
BACKFILL THE AREA AROUND THE NEW CONCRETE PILES TO MATCH THE ORIGINAL EXTERIOR GRADE OF THE HOME BEFORE THE NEW PILES WERE INSTALLED.
- 4. CONCRETE**  
ALL CONCRETE WORK SHALL CONFORM TO ACI 301 SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS AND MEET THE FOLLOWING REQUIREMENTS:
  - CONCRETE: NORMAL WEIGHT, TYPE I, 4,000 PSI AT 28 DAYS.
  - REINFORCING STEEL: ASTM A615 GRADE 60.
  - WELDED WIRE FABRIC: ASTM A185



**2 FOUNDATION FRAMING PLAN**  
S1 SCALE: 1/4"=1'-0"



NOTE: BOTTOM OF NEW CONCRETE FOOTING SHALL MATCH THE DEPTH OF THE EXISTING FOOTINGS TO KEEP CONSISTENT BEARING WITH THE EXISTING FOUNDATIONS THAT WILL REMAIN

**3 SECTION**  
S1 1 1/2"=1'-0"



**4 FRONT BUILDING ELEVATION**  
S1

DUMAINE STREET

**ABRY BROTHERS, INC**  
SERVING S.O. L.A. SINCE 1840  
3315 ORLEANS AVE.  
NEW ORLEANS, LA 70119  
T: 504.488.2071  
www.abrybrothers.com

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

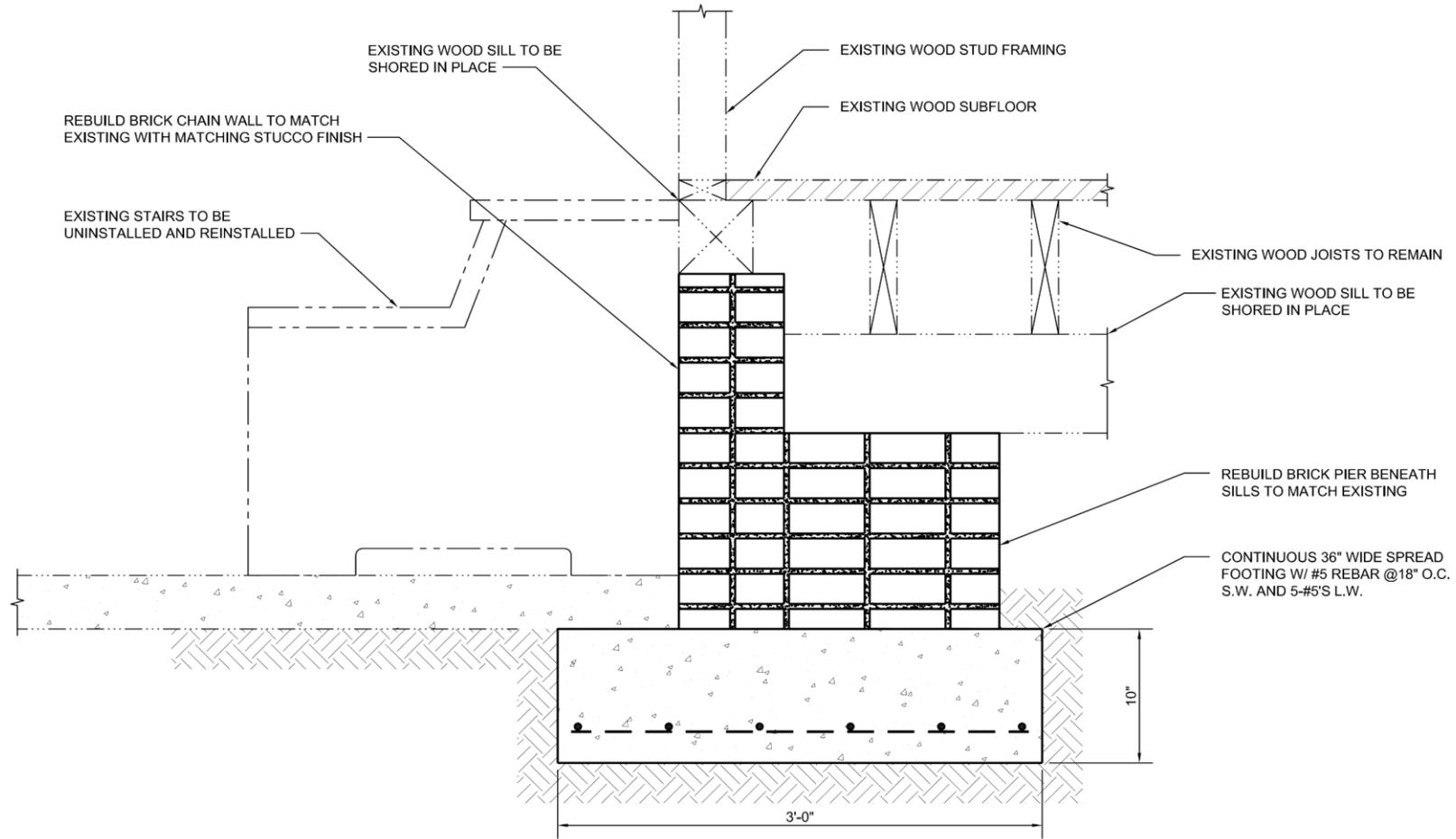
STATE OF LOUISIANA  
Professional Engineer  
12/21/2023

809 DUMAINE STREET  
NEW ORLEANS, LA 70116

JOB NO.	23-0033
PHASE	
DATE	12/21/2023
DRAWN BY	PHM
SHEET TITLE	
FOUNDATION FRAMING PLAN	
SHEET NO.	

S1

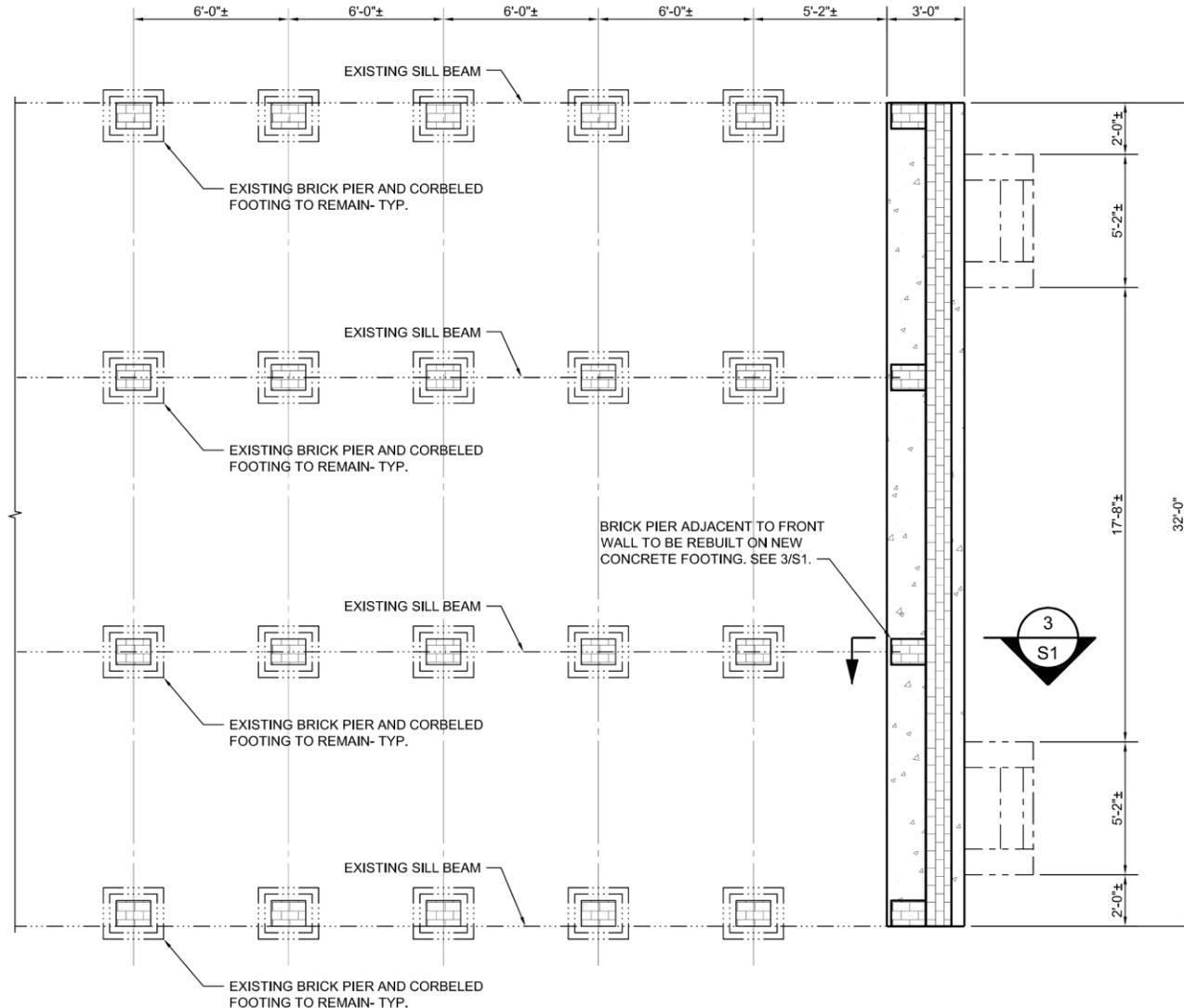




NOTE: BOTTOM OF NEW CONCRETE FOOTING SHALL MATCH THE DEPTH OF THE EXISTING FOOTINGS TO KEEP CONSISTENT BEARING WITH THE EXISTING FOUNDATIONS THAT WILL REMAIN.

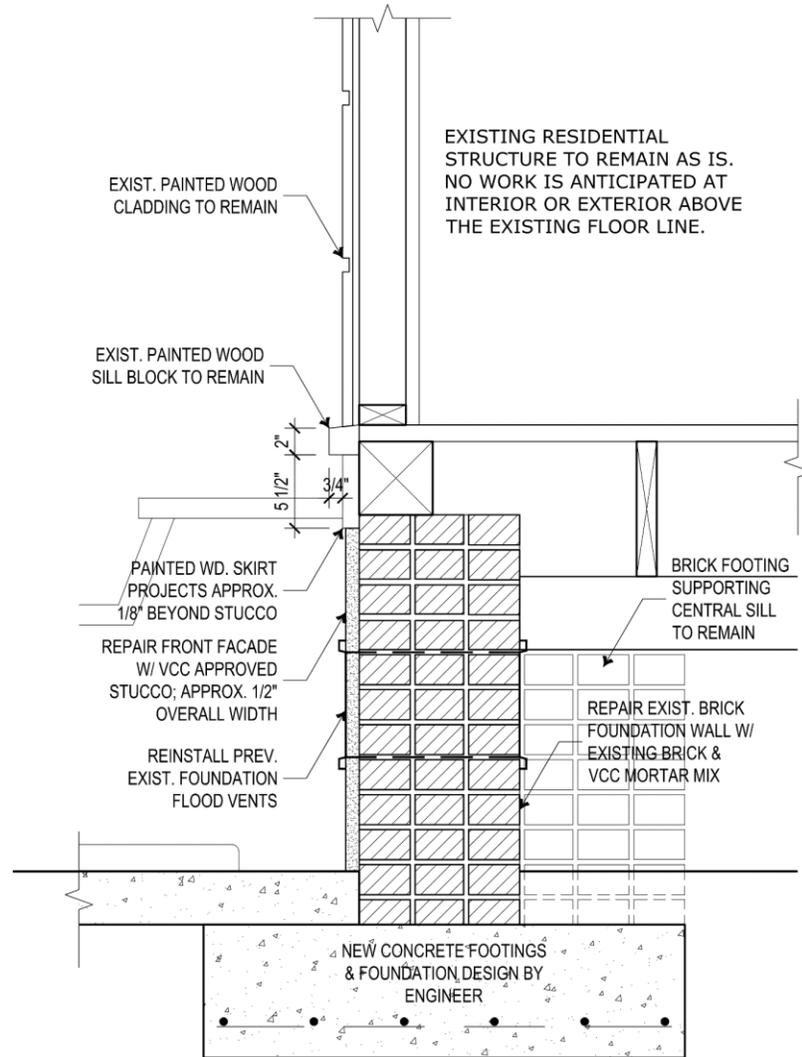
3 SECTION  
S1 1 1/2"=1'-0"





**2** FOUNDATION FRAMING PLAN  
S1 SCALE: 1/4"=1'-0" 





EXISTING RESIDENTIAL  
STRUCTURE TO REMAIN AS IS.  
NO WORK IS ANTICIPATED AT  
INTERIOR OR EXTERIOR ABOVE  
THE EXISTING FLOOR LINE.

EXIST. PAINTED WOOD  
CLADDING TO REMAIN

EXIST. PAINTED WOOD  
SILL BLOCK TO REMAIN

PAINTED WD. SKIRT  
PROJECTS APPROX.  
1/8" BEYOND STUCCO

REPAIR FRONT FACADE  
W/ VCC APPROVED  
STUCCO; APPROX. 1/2"  
OVERALL WIDTH

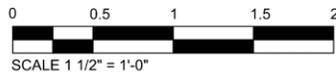
REINSTALL PREV.  
EXIST. FOUNDATION  
FLOOD VENTS

BRICK FOOTING  
SUPPORTING  
CENTRAL SILL  
TO REMAIN

REPAIR EXIST. BRICK  
FOUNDATION WALL W/  
EXISTING BRICK &  
VCC MORTAR MIX

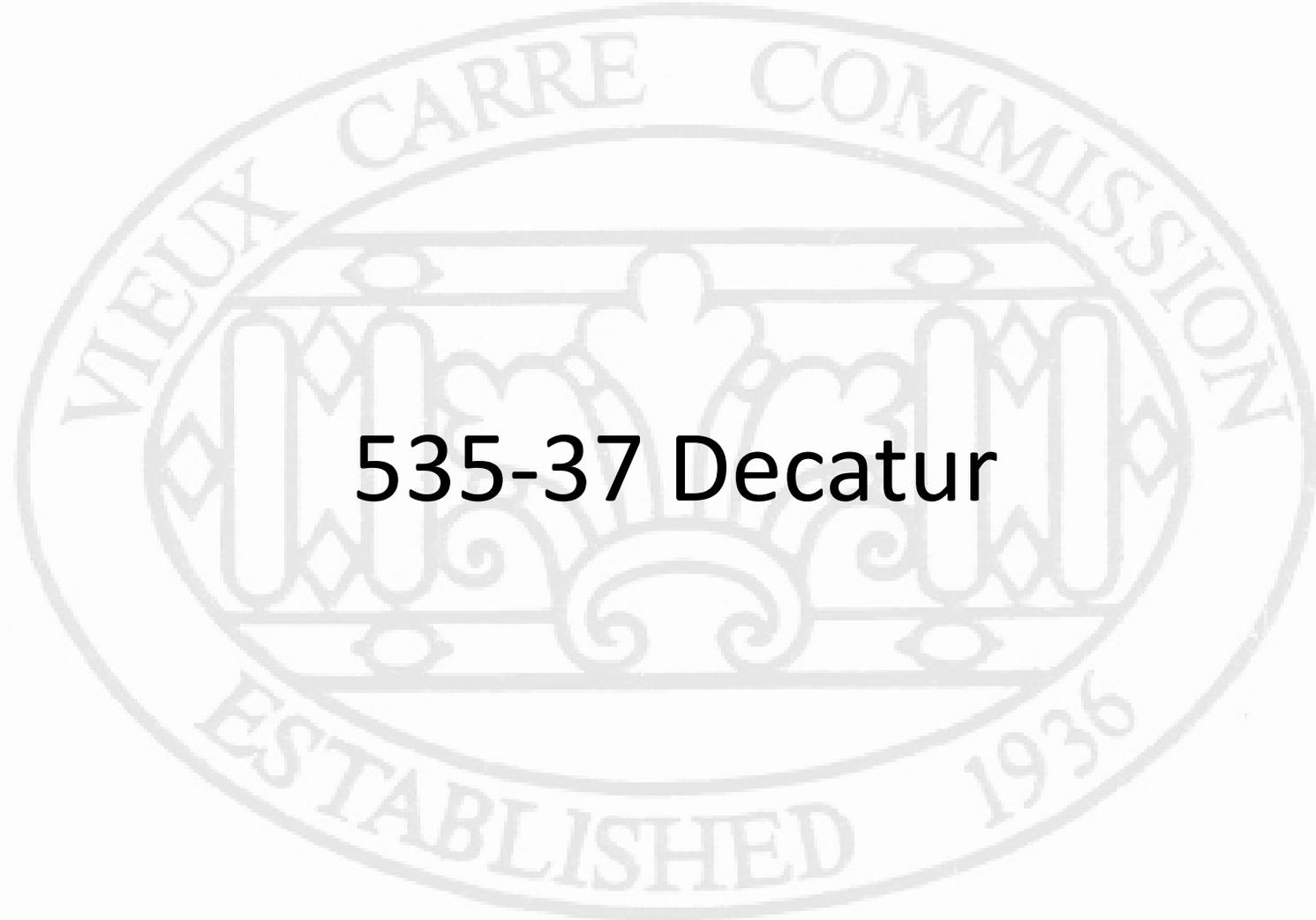
NEW CONCRETE FOOTINGS  
& FOUNDATION, DESIGN BY  
ENGINEER

1 1/2 TITLE  
WITH NOTE

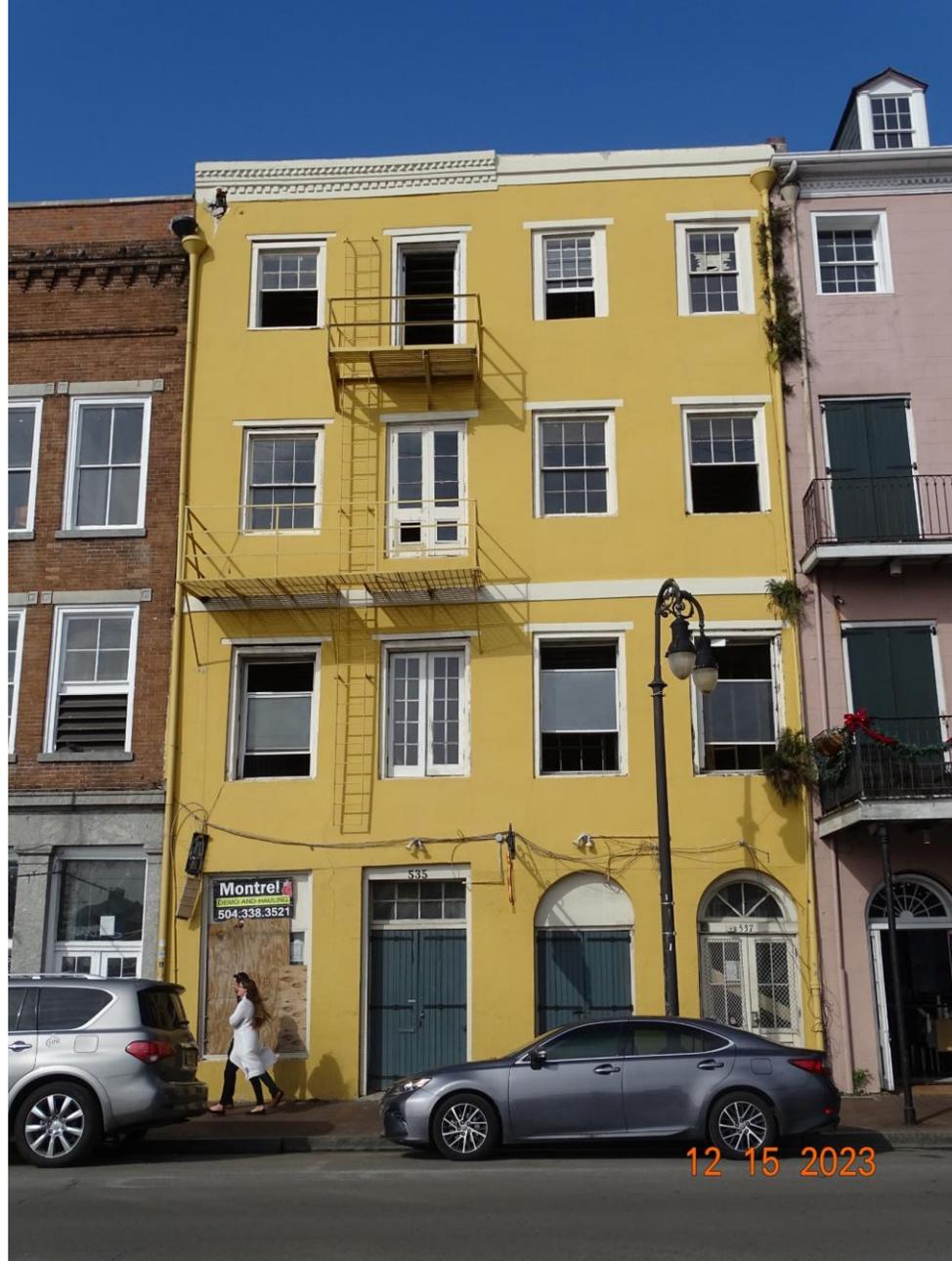


3  
A.101





**535-37 Decatur**

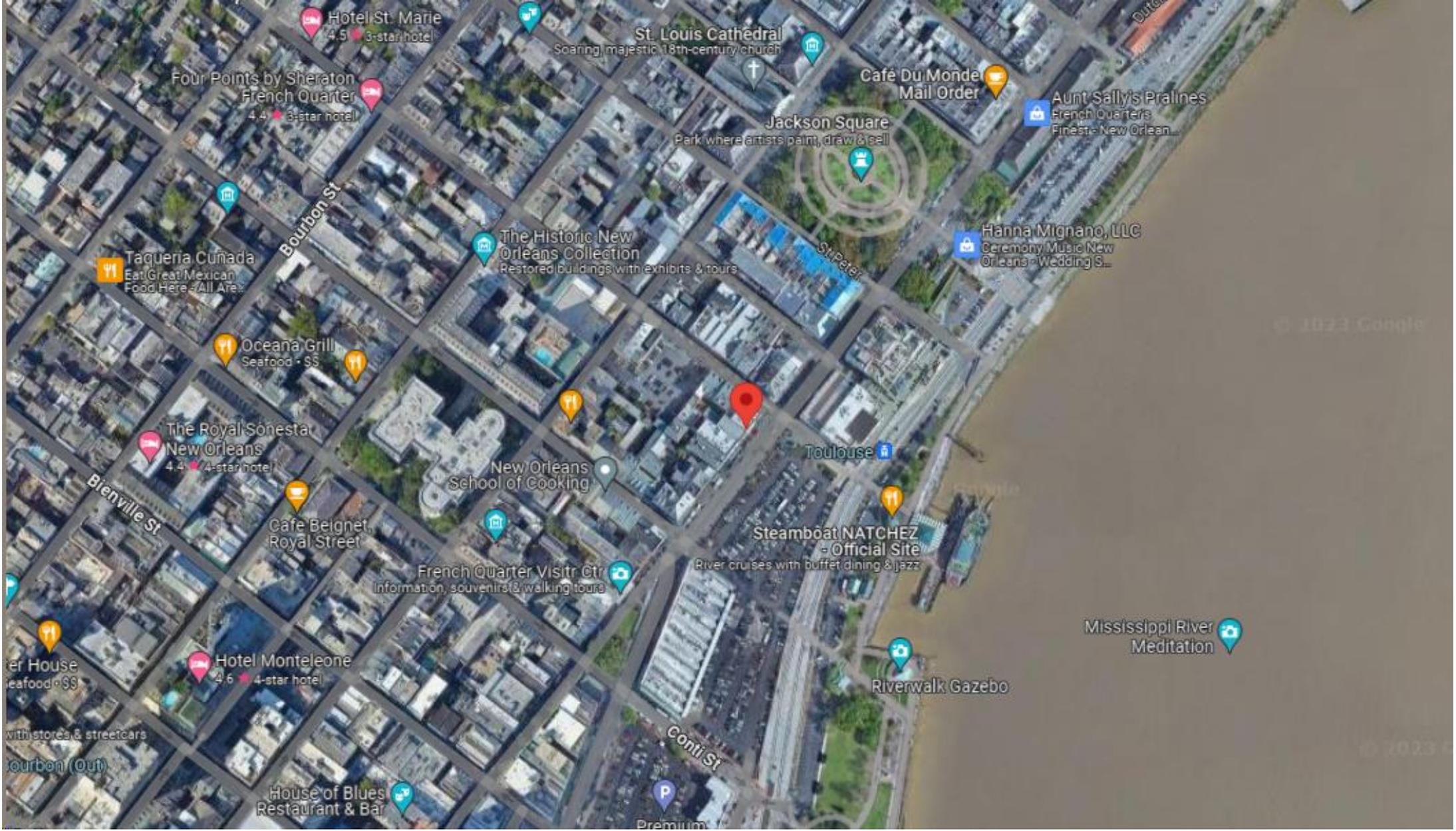


535-37 Decatur

VCC Architectural Committee

January 9, 2024





535-37 Decatur

VCC Architectural Committee

January 9, 2024





535-37 Decatur – 1855

VCC Architectural Committee

January 9, 2024





535-37 Decatur – 1962

VCC Architectural Committee

January 9, 2024



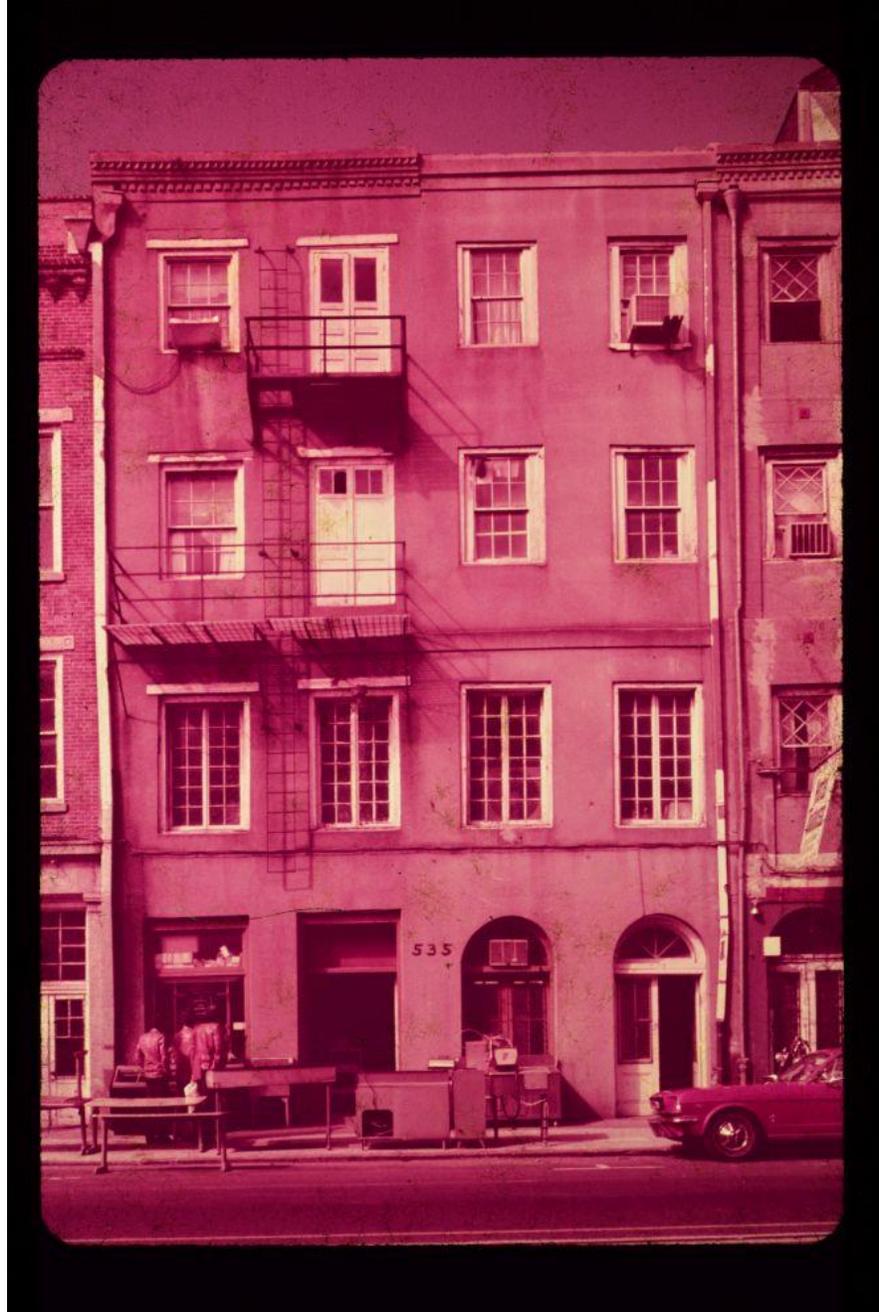


535-37 Decatur

VCC Architectural Committee

January 9, 2024



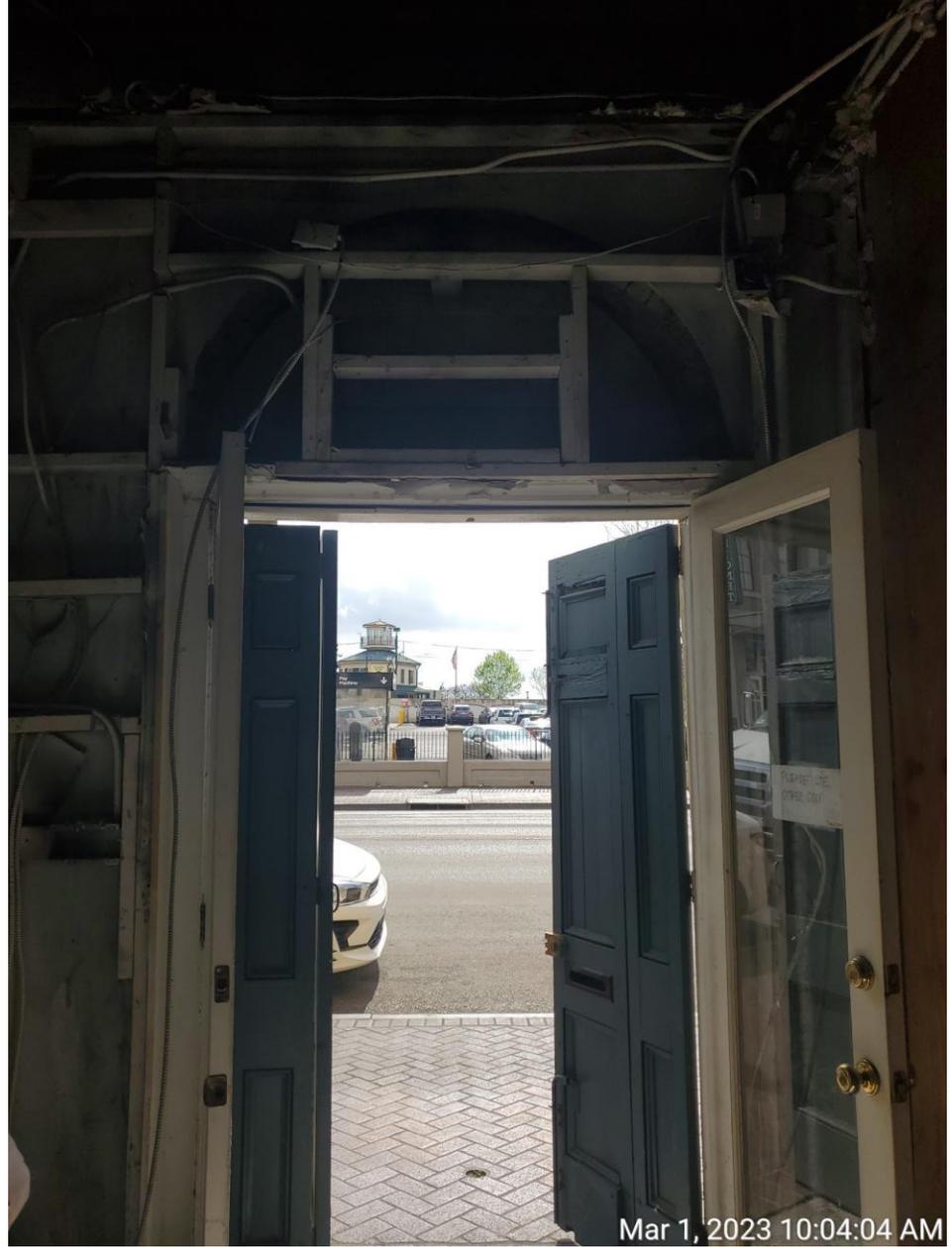


535-37 Decatur

VCC Architectural Committee

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535-37 Decatur

VCC Architectural Committee

January 9, 2024





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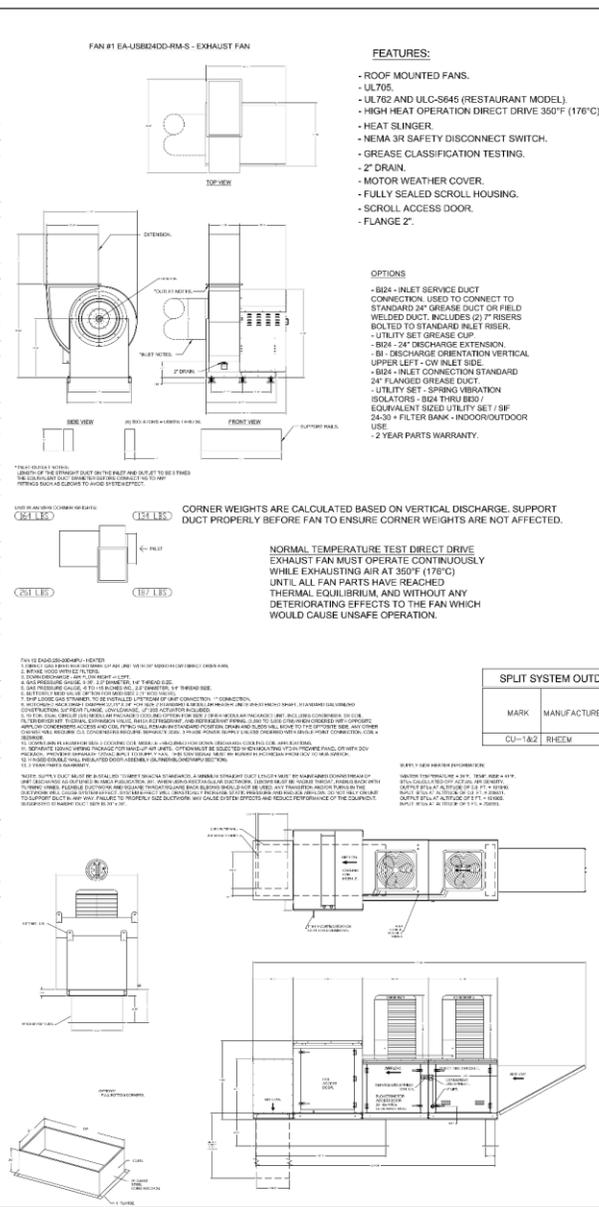
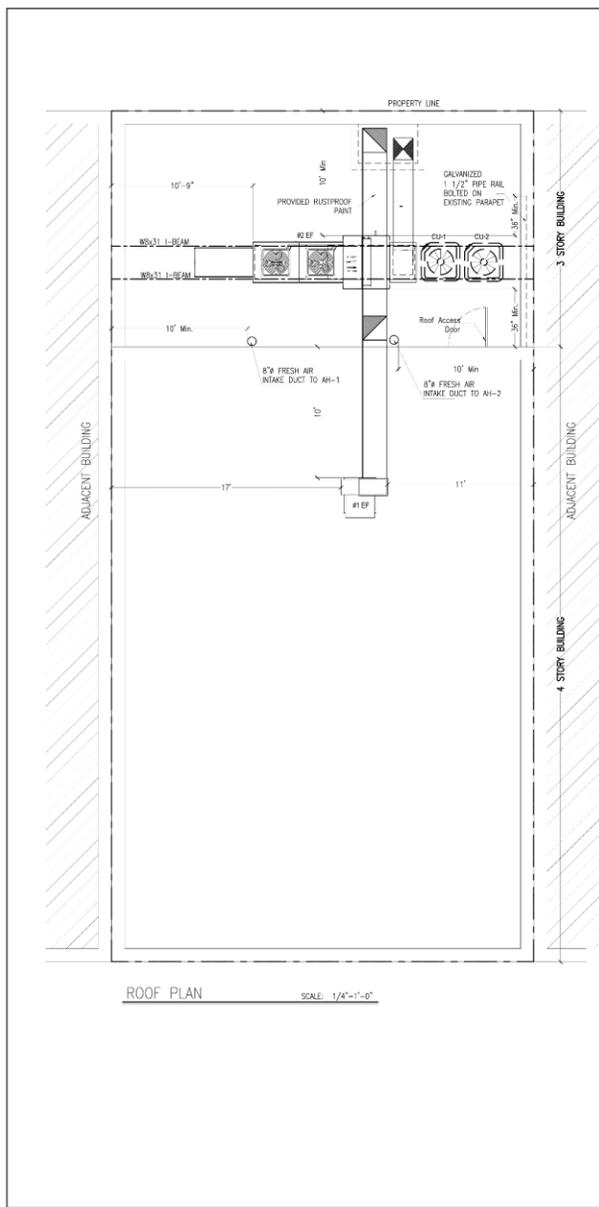


535-37 Decatur

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January 9, 2024





- FEATURES:**
- ROOF MOUNTED FANS.
  - UL705.
  - UL762 AND ULC-S645 (RESTAURANT MODEL).
  - HIGH HEAT OPERATION DIRECT DRIVE 350°F (176°C).
  - HEAT SLINGER
  - NEMA 3R SAFETY DISCONNECT SWITCH.
  - GREASE CLASSIFICATION TESTING.
  - 2" DRAIN.
  - MOTOR WEATHER COVER.
  - FULLY SEALED SCROLL HOUSING.
  - SCROLL ACCESS DOOR.
  - FLANGE 2".

- OPTIONS:**
- B24 - INLET SERVICE DUCT CONNECTION, USED TO CONNECT TO STANDARD 24" GREASE DUCT OR FIELD WELDED DUCT, INCLUDES (2) 7" RISERS BOLTED TO STANDARD INLET RISER.
  - UTILITY SET GREASE CUP
  - B24 - 24" DISCHARGE EXTENSION.
  - BI - DISCHARGE ORIENTATION VERTICAL UPPER LEFT - CV INLET SIDE.
  - B24 - INLET CONNECTION STANDARD 24" FLANGED GREASE DUCT
  - UTILITY SET - SPRING VIBRATION ISOLATORS - B24 THRU BEED / EQUIVALENT SEED UTILITY SET / BIF 24-30" FILTER BANK - INDOOR/OUTDOOR USE
  - 2 YEAR PARTS WARRANTY.

CORNER WEIGHTS ARE CALCULATED BASED ON VERTICAL DISCHARGE. SUPPORT DUCT PROPERLY BEFORE FAN TO ENSURE CORNER WEIGHTS ARE NOT AFFECTED.

NORMAL TEMPERATURE TEST DIRECT DRIVE EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 350°F (176°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETEIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

**Rheem Classic® Series Heat Pump**

**RP14™A Series**  
 14 SEER/11.5 EER 8.2 HSPF  
 Nominal Size 1 1/2 to 5 Ton (5.28 to 17.6 kW)  
 Cooling Capacities 17.3 to 80.5 kBtu (6.7 to 17.7 kW)

- New composite base pan - dampens sound, captures lower panels, eliminates corrosion and reduces number of fasteners needed
- Improved tubing design - reduces vibration and stress, making unit quieter and reducing opportunity for leaks
- Optimized defrost characteristics - decrease defrosting and provide better home comfort
- Powder coat paint system - for a long lasting professional finish
- Optimized reversing valve sizing - improves shifting performance for quieter unit operation and increased life of the system
- Enhanced mufflers - help to dissipate vibration energy for quieter unit operation
- Bored compressor - a sound abating feature added to the compressor significantly reduces noise when system transitions in and out of defrost mode
- Modern cabinet aesthetics - increased curb appeal with visually appealing design
- Curved lower panels - provide ultimate coil protection, enhance cabinet strength, and increased cabinet rigidity
- Optimized fan orifice - optimizes airflow and reduces unit sound
- Rheem's® Expanded Valve Space - confirmed through 1800-hour salt spray testing
- Rheem's® Expanded Valve Space - 3"-4"-8" service valve space - provides a minimum working area of 27-square inches for easier access
- Integrated heat pump lift receptacle - allows standard CPVC stands to be inserted into the base
- PlusClean™ Triple Service Access - 15" wide, industry leading corner service access - makes repairs easier and faster. The two fastener removable corner allows optimal access to internal unit components. Individual lower panels come out once fastener is removed, for faster coil cleaning and easier cabinet reassembly
- Diagnostic service window with two-fastener opening - provides access to the TXV valves and the heat pump reversing valve before opening the unit.
- External gauge port access - allows easy connection of "low-side" gauge ports
- Single-row condenser coil - makes unit lighter and allows thorough coil cleaning to maintain "out of the box" performance
- 20% lower cabinet fasteners and fastener-free base - allow for faster access to internal components and hassle-free panel removal
- Service traps - hold fasteners or caps during service calls
- QR code - provides technical information on demand for faster service calls
- Fan motor harness with extra-long wires - allows unit top to be removed without disconnecting fan wire

**SPLIT SYSTEM OUTDOOR SECTION & CONDENSING UNIT (CU) SCHEDULE**

MARK	MANUFACTURE	MODEL	COOLING CAPACITY (MBT)	SEER	EER	HEATING CAPACITY (MBT)	ELECTRICAL DATA									
							COMP. RLA	COMP. LRA	FAN 1 FLA	FAN 1 JRA	VOLT.	PHASE	MCA	MOC	WT. (LBS)	
CU-1&2	RHEEM	RP1460AC1VA	56.5	14	11.5	60.0	15.9	110	1.4	2.8	208	3	22	35	262	

REVISIONS

BY

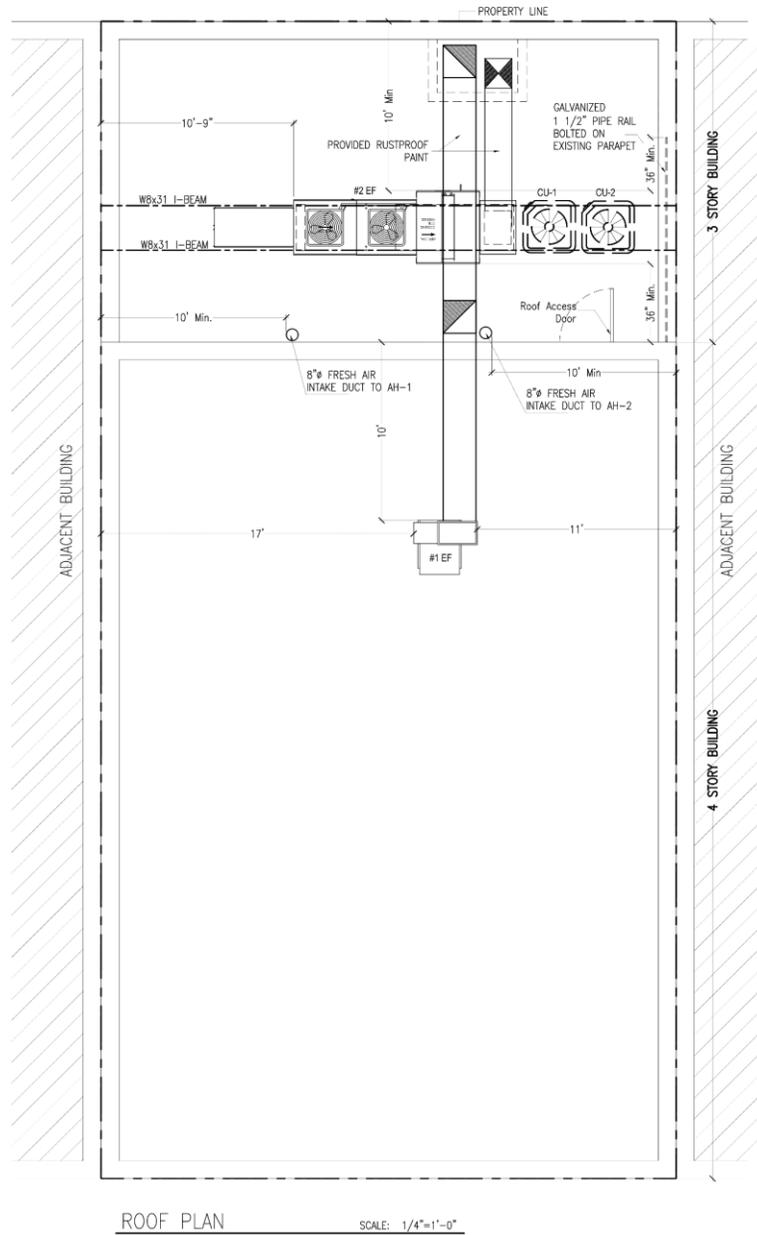
LOUIS KONG ARCHITECTURE, L.L.C.  
 5726 ST. CHARLES AVENUE  
 NEW ORLEANS, LA 70115  
 PHONE: (504) 837-0764 FAX: (504) 837-0896

I LOVE NOODS  
 535 DECATUR STREET  
 NEW ORLEANS, LA 70130

DRAWN: EH CHECKED:

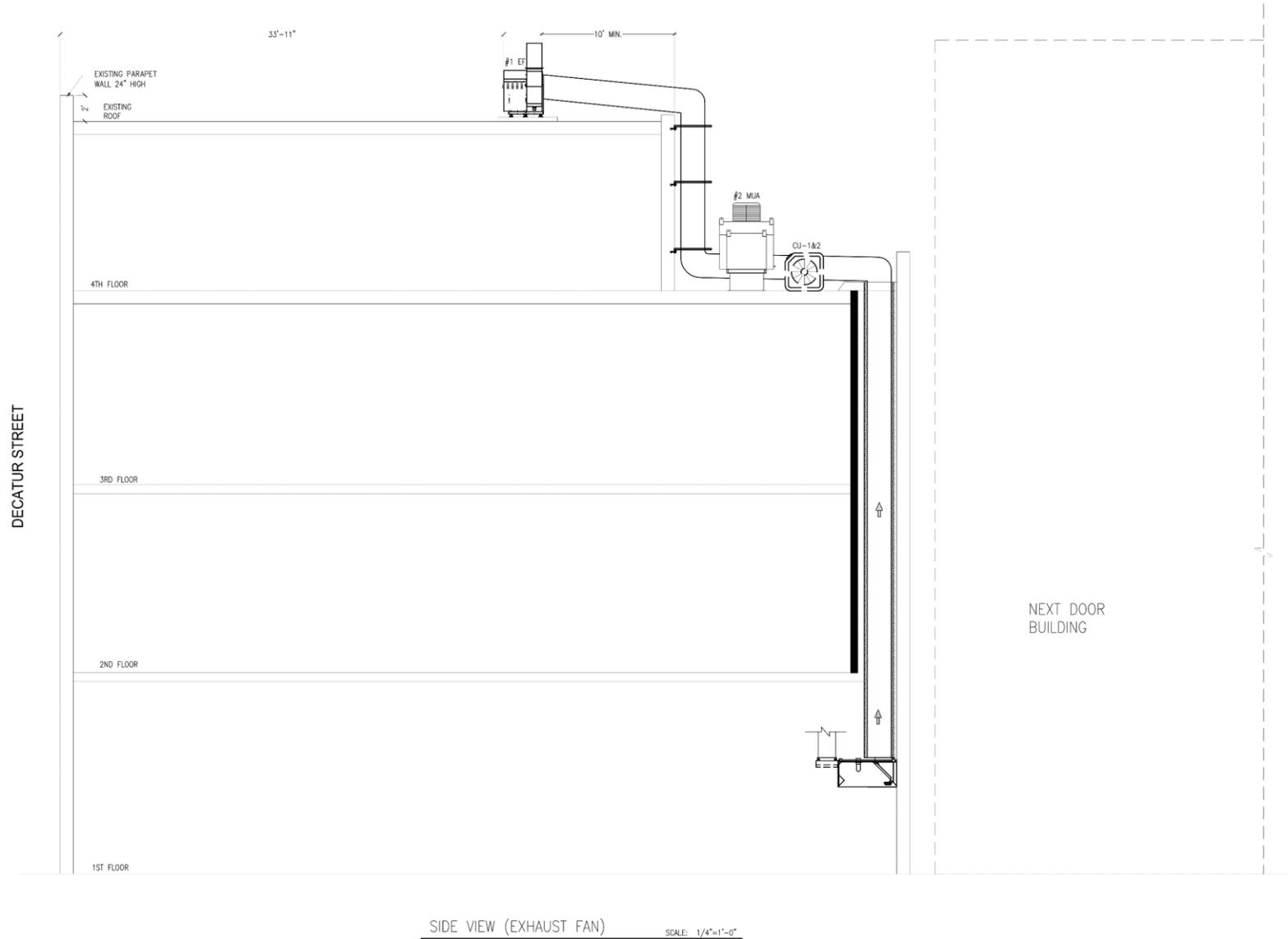
DATE: 06/10/2023  
 SCALE: AS NOTED  
 JOB NO: A23-011  
 SHEET

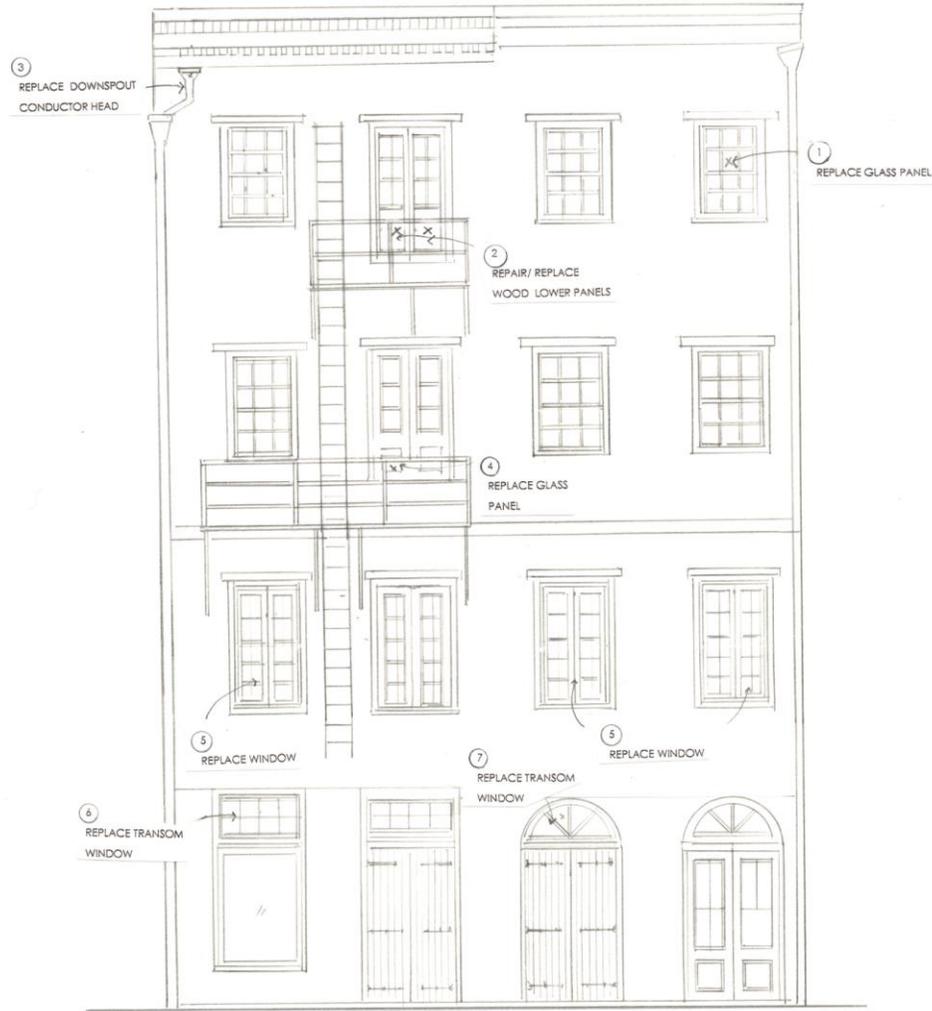




ROOF PLAN SCALE: 1/4"=1'-0"







FRONT ELEVATION – DECATUR ST.  
3/16"=1'-0"

535-37 Decatur

VCC Architectural Committee



January 9, 2024





Mar 1, 2023 10:28:29 AM

535-37 Decatur

VCC Architectural Committee

January 9, 2024



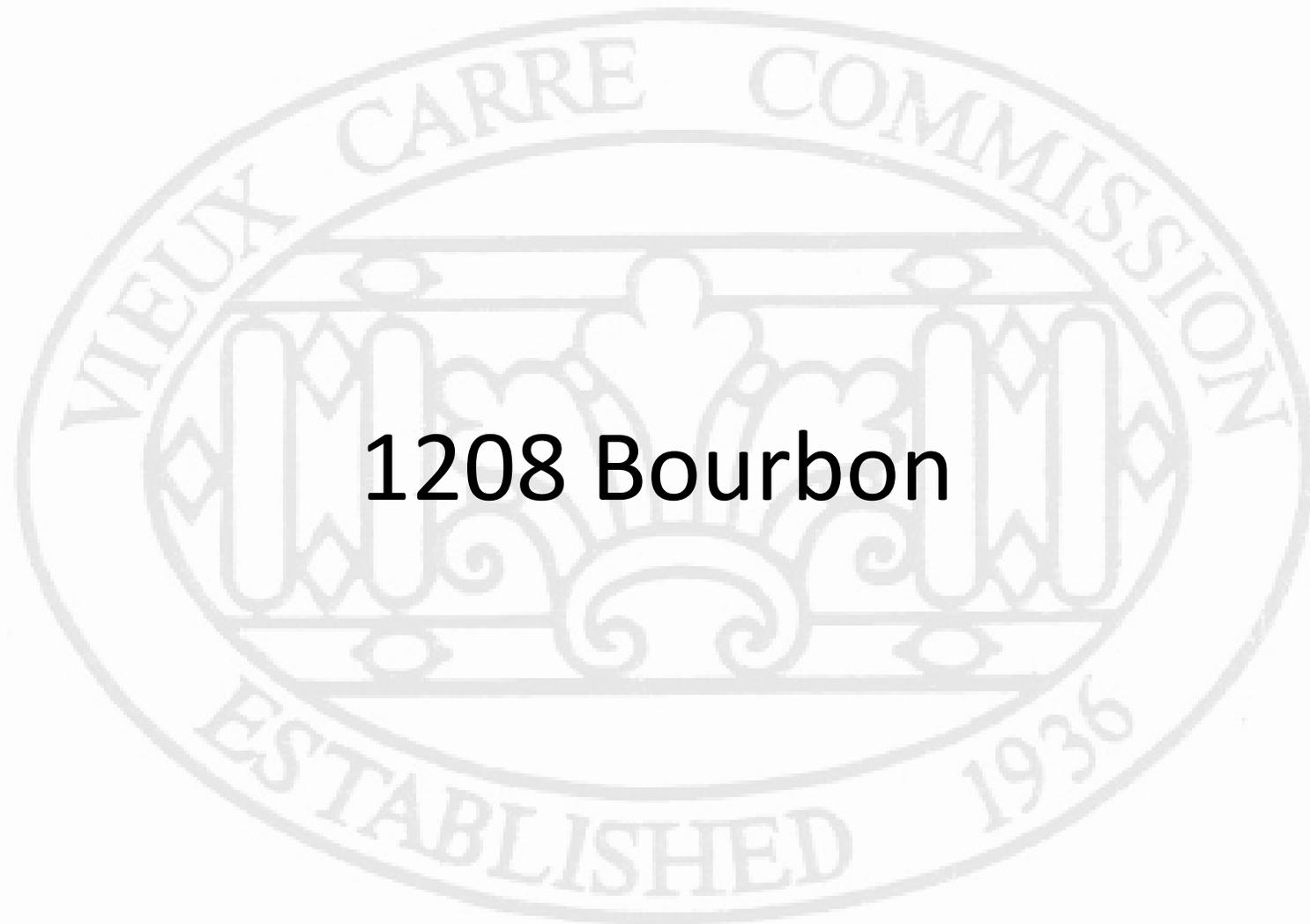


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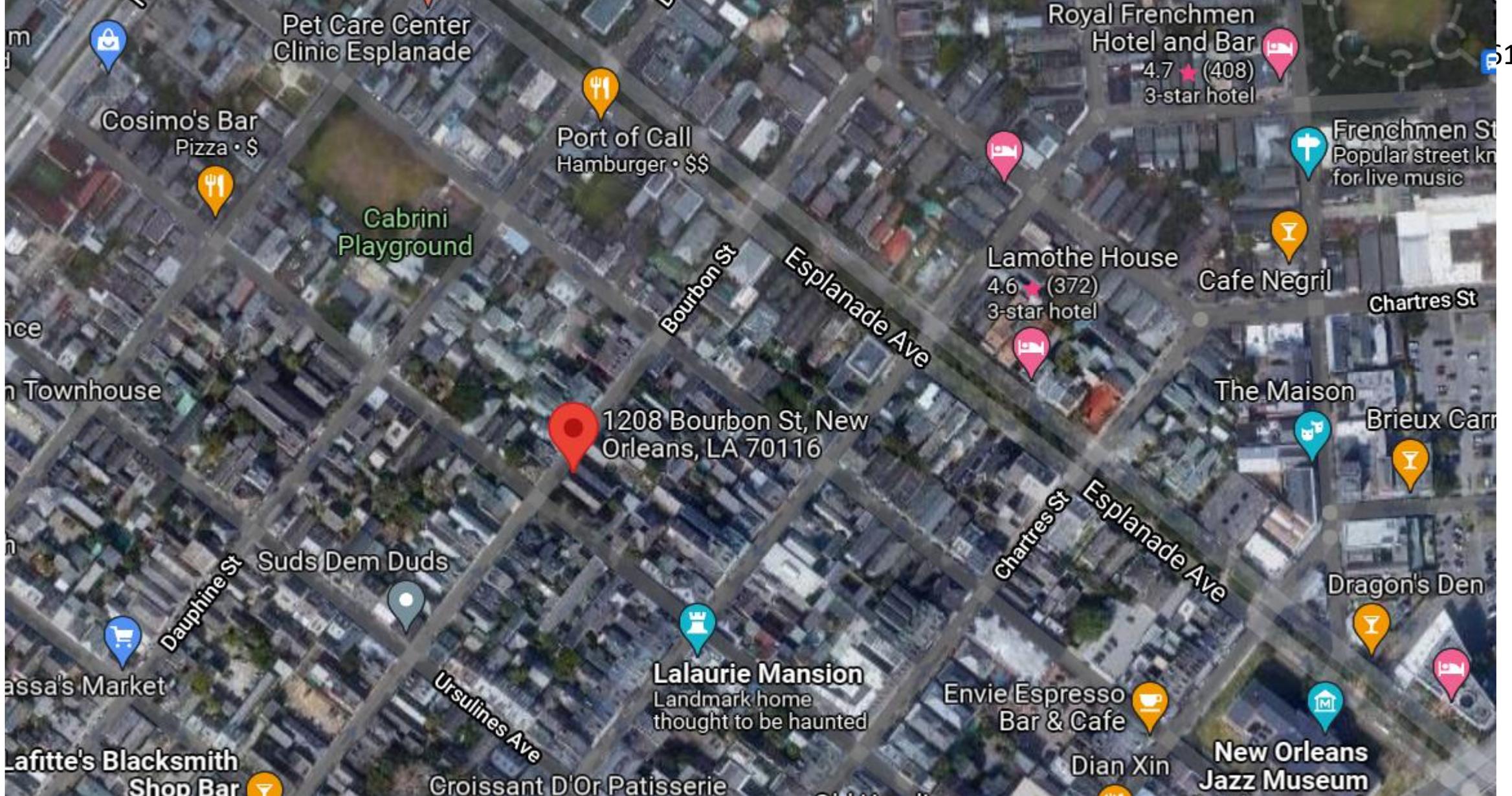
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January 9, 2024





**1208 Bourbon**



1208 Bourbon





1208 Bourbon - 1962



1208 Bourbon

VCC Architectural Committee

10 14 2021

January 9, 2024





1208 Bourbon

VCC Architectural Committee

12 10 2021

January 9, 2024





1208 Bourbon

VCC Architectural Committee

10 14 2021

January 9, 2024





1208 Bourbon

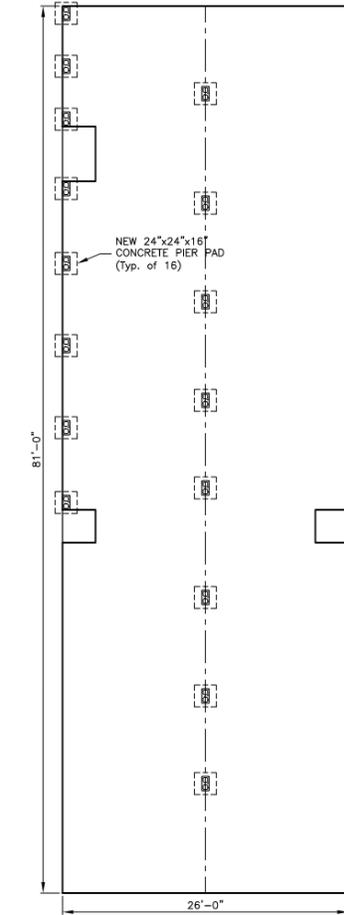
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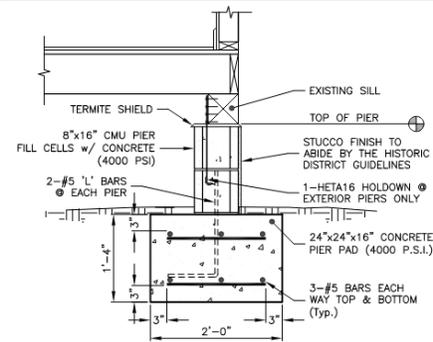


1208 Bourbon

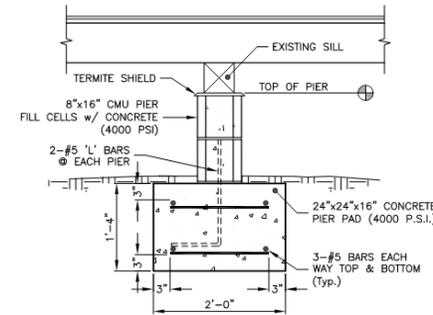
VCC Architectural Committee



**1** PIER LOCATION PLAN  
SCALE: 1/8" = 1'-0" PROPOSED



**2** TYP. EXTERIOR PIER  
SCALE: 3/4" = 1'-0" PROPOSED



**3** TYP. INTERIOR PIER  
SCALE: 3/4" = 1'-0" PROPOSED

- NOTES:
1. REMOVE & REPLACE 16 PIER SYSTEMS
  2. LEVEL STRUCTURE
  3. EXTERIOR PIERS TO HAVE STUCCO FINISH. STUCCO FINISH TO MEET HISTORIC DISTRICT LANDMARKS COMMISSION GUIDELINES

AREA:  
EXISTING HOUSE = 2,106 Ft.<sup>2</sup>

THESE PLANS HAVE BEEN PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, AND, TO THE BEST OF MY KNOWLEDGE, COMPLIES WITH ALL APPLICABLE CODES. I WILL NOT SUPERVISE THE WORK.



The information shown on this drawing was furnished by the contractor and cannot be verified for accuracy or completeness and is intended to apply for a building permit only. Since this project is to level the foundation only, no further investigation is needed nor is any engineering required. The compilation of this information does not relieve the contractor of responsibility for errors resultant to incorrect, incomplete or omitted data.

Proposed Pier Location Diagram 1208 Bourbon St. New Orleans, La 70116	SHEET: <b>1</b> OF 1	DESIGN BY: CAP	The Design works depicted by this drawing, as an instrument of service, is and shall remain the property of CMP Design, LLC and shall not be reproduced, published, or used in any way without written consent of the designer. The contractor shall verify all dimensions and existing conditions at the site before proceeding with each phase of his/her work.	<b>CMP DESIGN, LLC</b> Residential + Commercial + Planning 504.908.2717 pentondesign4@gmail.com
Academy House Leveling	JOB INFO: 23-57	DRAWN BY: CAP		
	DATE: 11/17/2023	SCALE: Shown		

January 9, 2024



# 1208 BOURBON ST.

## NEW ORLEANS

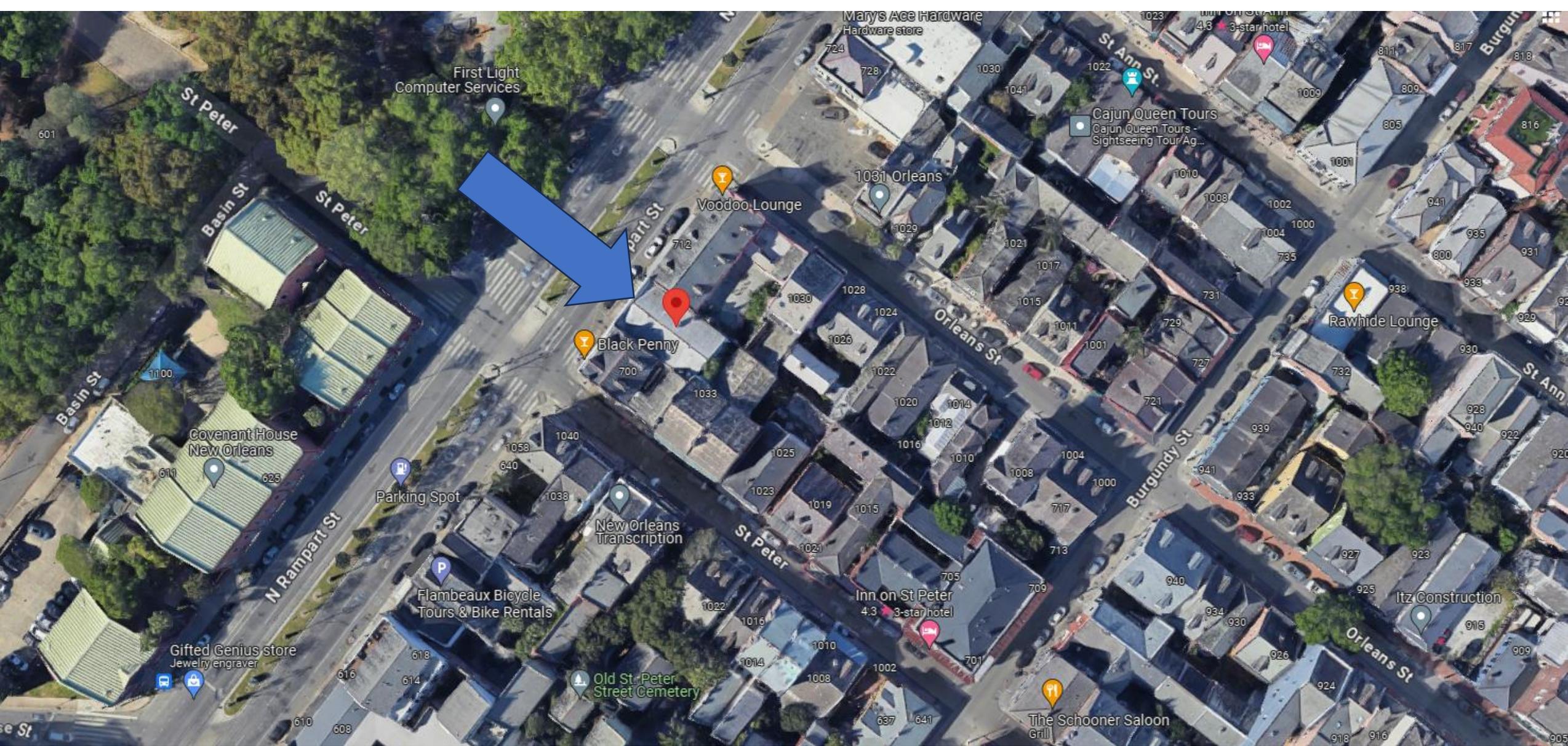
### SCOPE OF WORK: Repair

1. Gain access to under house;
2. Remove and replace (8) exterior piers on home, replaced with proper pier system per VCC guidelines
3. Remove and replace (8) interior piers on home, replaced with proper pier system per VCC guidelines
4. Tuck point Base of chimneys and point in attic area, mortar mix shall be in compliance with the VCC Guidelines
5. Tuck point the back of front brick wall where the mortar has deteriorated, mortar mix shall be in compliance with the VCC guidelines
6. Properly grade dirt in crawlspace;
7. Level entire home near as possible within the structure limits;





**704 N Rampart**



704 N Rampart

VCC Architectural Committee

January 9, 2024





704 N Rampart





704 N Rampart, 1964





704 N Rampart, 1975





704 N Rampart, 1977





704 N Rampart, 2004

VCC Architectural Committee

January 9, 2024





704 N Rampart

VCC Architectural Committee

12 06 2021

January 9, 2024







704 N Rampart

VCC Architectural Committee

03 08 2022

January 9, 2024





704 N Rampart

VCC Architectural Committee

03 08 2022

January 9, 2024



704 N Rampart

VCC Architectural Committee



January 9, 2024





704 N Rampart

VCC Architectural Committee

09 20 2023

January 9, 2024





704 N Rampart

VCC Architectural Committee

January 9, 2024





704 N Rampart

VCC Architectural Committee

09 20 2023

January 9, 2024



# PROPOSAL

Page No. of Pages

2452



## JOHNSON CONSTRUCTION

1933 Pauger Street  
New Orleans, LA 70116  
johnsonconstructionnola@gmail.com  
PHONE 504.812.8837  
LMP 6566 Lic.# 59038

PROPOSAL SUBMITTED TO <i>Cahn Enterprises</i>	PHONE	DATE <i>11-4-23</i>
STREET <i>90706 N. Rampart St</i>	JOB NAME	
CITY, STATE and ZIP CODE <i>Essex Balcony</i>	JOB LOCATION	
ARCHITECT <i>NOLA 70116</i>	DATE OF PLANS	JOB PHONE

We hereby submit specifications and estimates for:

*Remove existing deck boards, perlins and fascias  
Seal areas at door thresholds w/ VCC mortar mix - Replace  
perlins per VCC guidelines - Replace decking w/ 94x4"  
T&G treated painted to match existing - Install  
fascia trim - All painted to match existing -*

*Total materials 8600.00*

*Total labor 12,000.00*

*Total cost \$ 20,600.00*

**We Propose** hereby to furnish material and labor - complete in accordance with above specifications, for the sum of:

Payment to be made as follows: \_\_\_\_\_ dollars (\$ \_\_\_\_\_).

*Contractor ✓*

*Stephen Johnson*

Authorized Signature

*[Signature]*

Note: this proposal may be withdrawn by us if not accepted within 90 days.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

**Acceptance of Proposal** —The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: \_\_\_\_\_

Signature \_\_\_\_\_

704 N Rampart

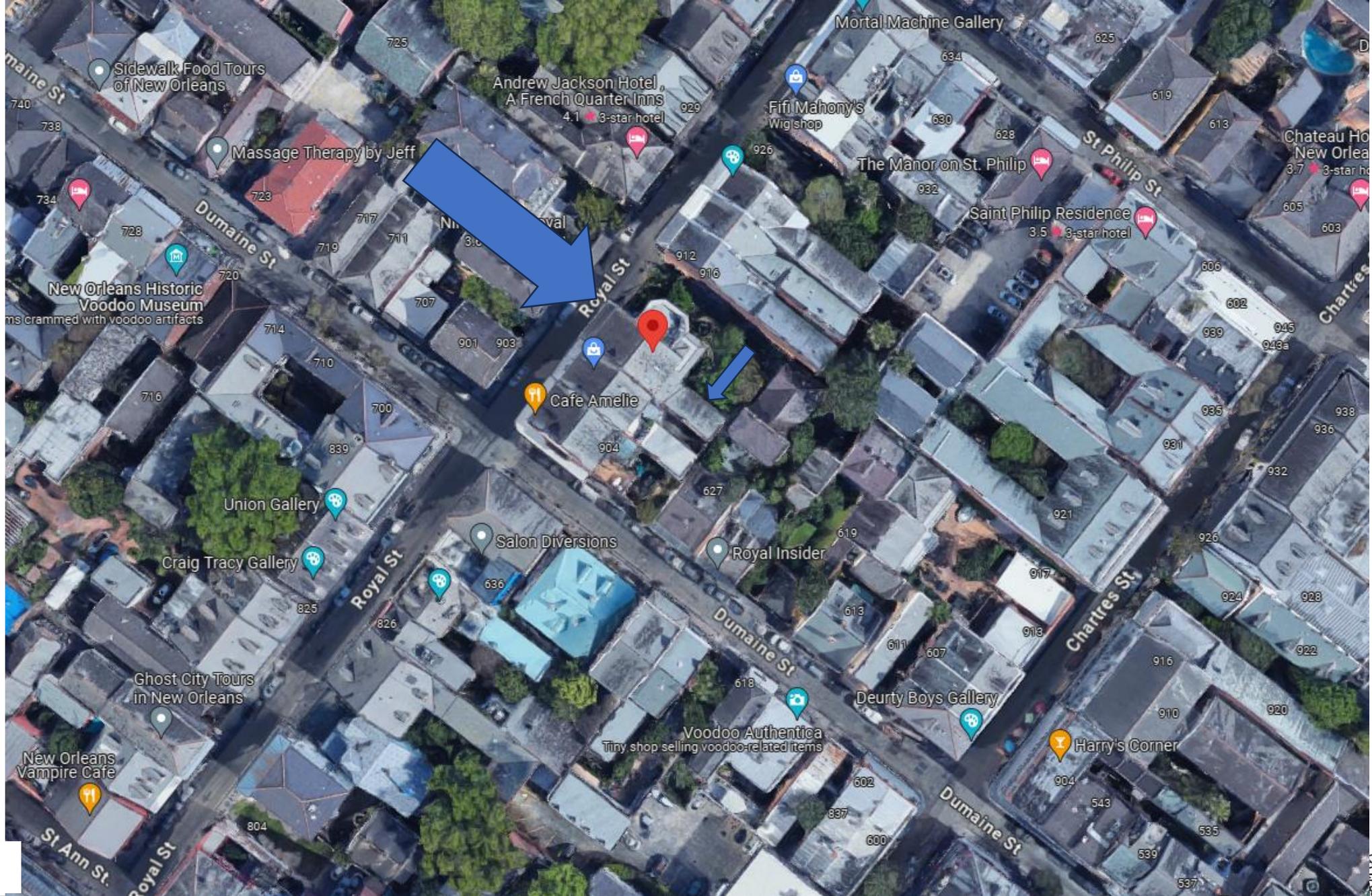
VCC Architectural Committee

January 9, 2024





910 Royal



910 Royal

VCC Architectural Committee

January 9, 2024







910 Royal, 1965

VCC Architectural Committee

January 9, 2024





910 Royal

VCC Architectural Committee

January 9, 2024





910 Royal

VCC Architectural Committee

January 9, 2024





910 Royal

VCC Architectural Committee

11/07/2014

January 9, 2024





910 Royal

VCC Architectural Committee

11/07/2014

January 9, 2024





910 Royal

VCC Architectural Committee

January 9, 2024





910 Royal

VCC Architectural Committee

January 9, 2024





910 Royal

VCC Architectural Committee

January 9, 2024





910 Royal

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January 9, 2024



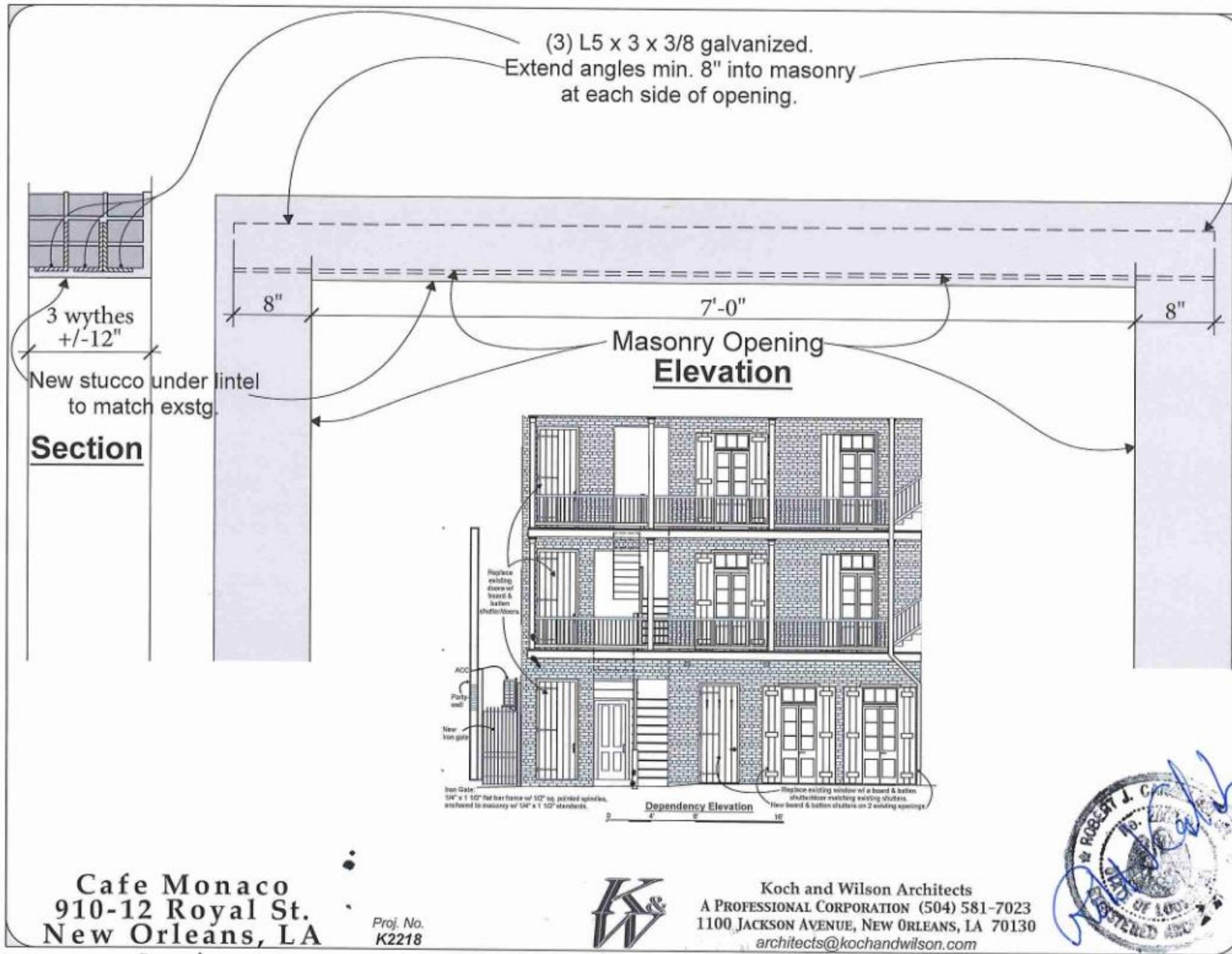


910 Royal

VCC Architectural Committee

January 9, 2024



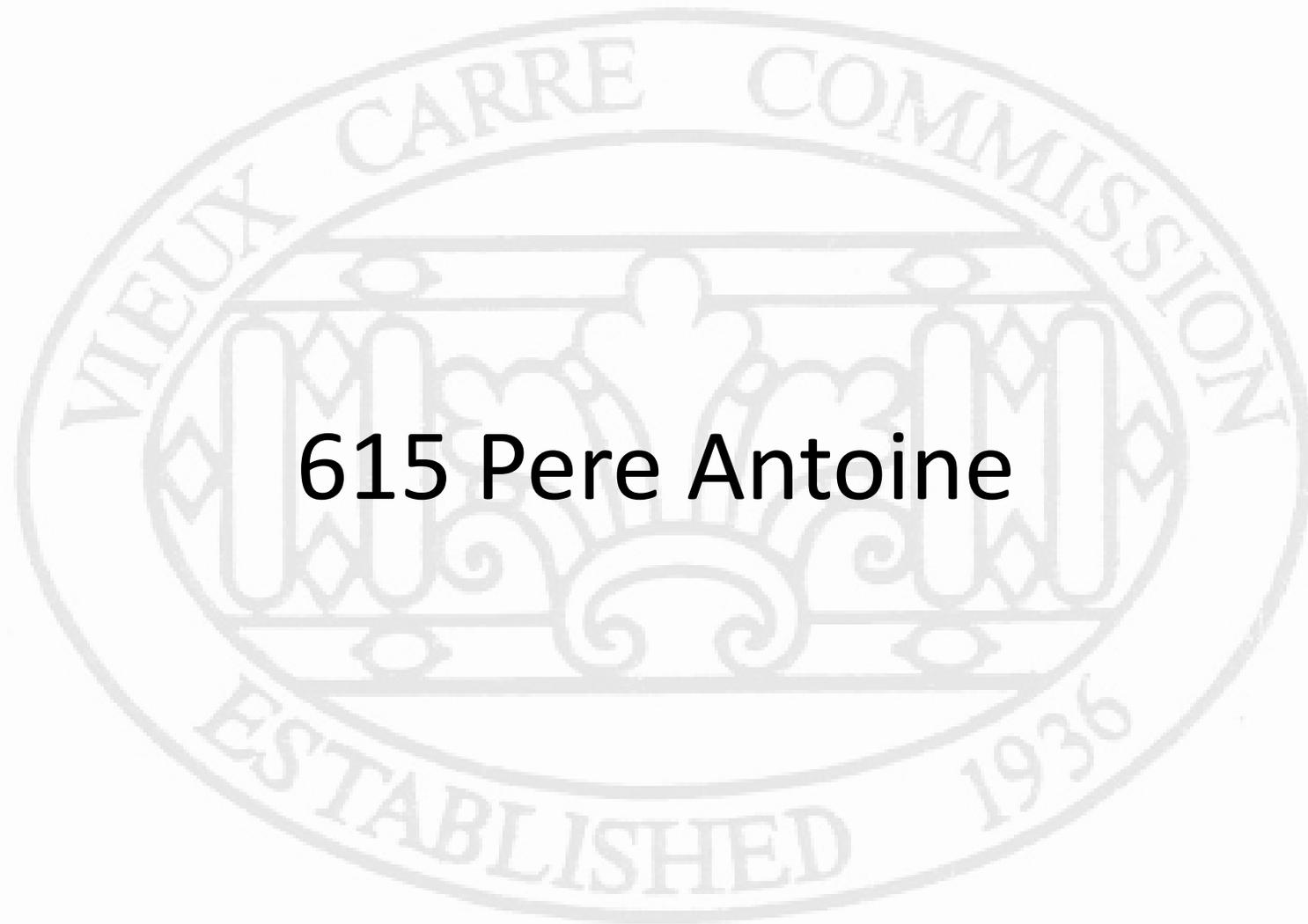


910 Royal

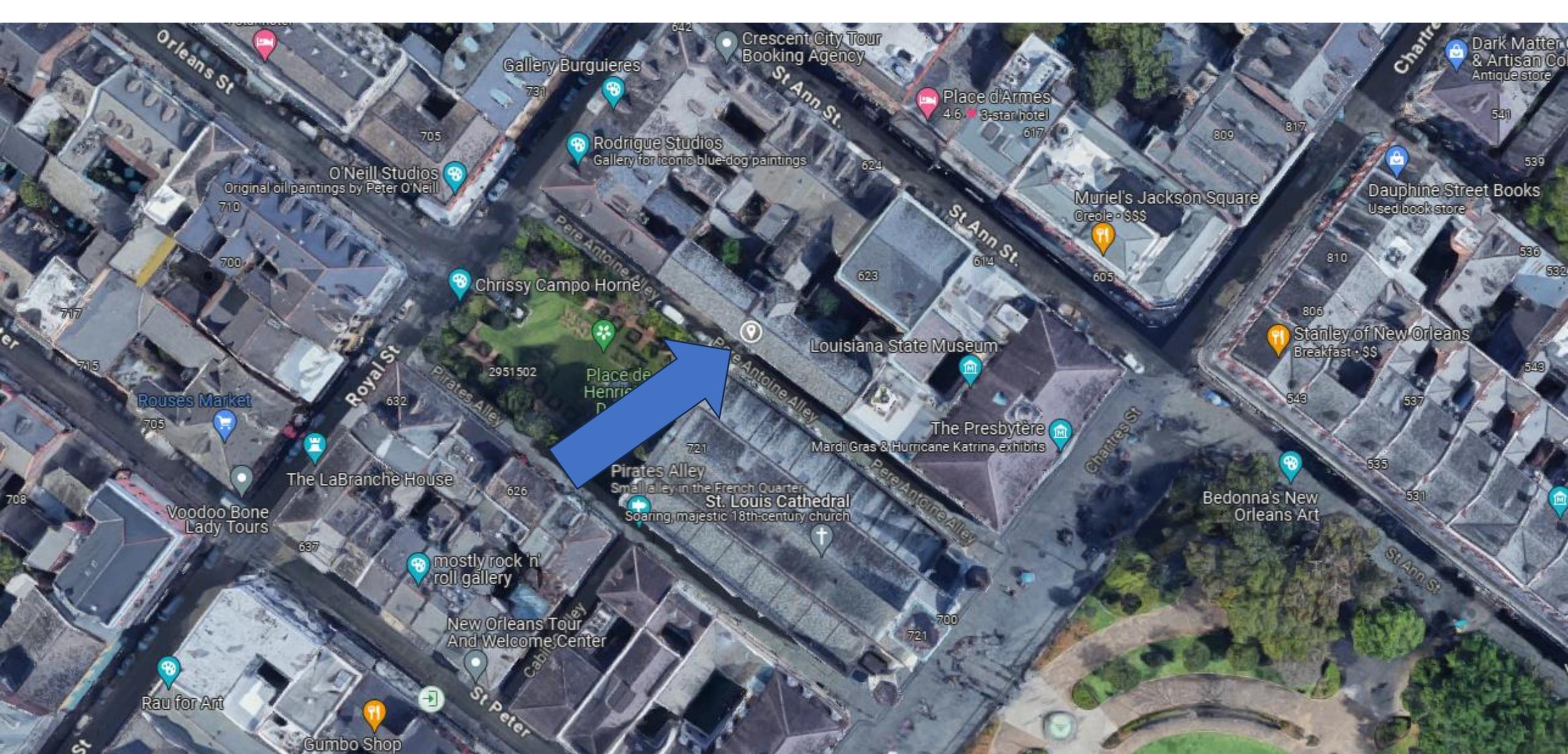
VCC Architectural Committee

January 9, 2024





**615 Pere Antoine**



615 Pere Antoine

VCC Architectural Committee

January 9, 2024





615 Pere Antoine





615 Pere Antoine, ca. 1940s

VCC Architectural Committee

January 9, 2024





615 Pere Antoine, ca. 1940s

VCC Architectural Committee

January 9, 2024





615 Pere Antoine, 1976

VCC Architectural Committee

January 9, 2024





615 Pere Antoine

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January 9, 2024





615 Pere Antoine

VCC Architectural Committee

January 9, 2024





615 Pere Antoine

VCC Architectural Committee

January 9, 2024





615 Pere Antoine

VCC Architectural Committee

January 9, 2024





615 Pere Antoine

VCC Architectural Committee

January 9, 2024





615 Pere Antoine

VCC Architectural Committee

10 27 2023

January 9, 2024



SUBMITTED BY:  
SOUTHEAST WATERPROOFING, INC.  
MARK MUELLER  
1028 JUSTIN RD.  
METAIRIE, LA 70001  
(504) 812-8822

OWNER: THE ROMAN CATHOLIC CHURCH OF THE  
ARCHDIOCESE OF NEW ORLEANS  
7887 WALMSLEY AVE.  
NEW ORLEANS, LA 70125



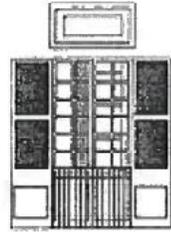
⑥ PREP + PAINT. STRIP ELASTOMERIC PAINT FROM BUILDING USING SMART STRIP PRO. PRESSURE WASH AND HAND SCRAPE TO GET TO PAINTABLE SURFACE. PATCH CRACKS AS NEEDED. PRIME WITH BENJAMIN MOORE ULTRA SPEC EXT. LATEX PRIMER. PAINT TWO COATS WITH BENJAMIN MOORE AURA WATERBORNE EXTERIOR FLAT N629.

PROJECT INFO:  
ST. LOUIS CATHEDRAL  
RECTORY EXTERIOR REPAIRS  
615 PERE ANTOINE ALLEY  
NEW ORLEANS, LA 70130



Submitted By:  
 Mark Mueller (504) 812-8822  
 Southeast Waterproofing, Inc.  
 1028 Justin Road  
 Metairie, LA 70001

Owner Information:  
 The Roman Catholic Church of the Archdiocese  
 of New Orleans  
 7887 Walmsley Ave.  
 New Orleans, LA 70125



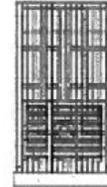
①

① Doors: 25 sets of double doors approximately 4'X8'. Prep Doors for paint. Remove all glazing and re-glaze. Mill and replace profile bars as needed. Prime and Paint. Additional rotten wood found during prep will be repaired with Spanish Cedar. Replace broken glass as needed.



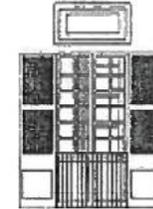
②

② Windows: 18 Windows approximately 4'X8'. Prep Windows for paint. Remove all glazing and re-glaze. Mill and replace profile bars as needed. Prime and Paint. Additional rotten wood found during prep will be repaired with Spanish Cedar. Replace broken glass as needed.



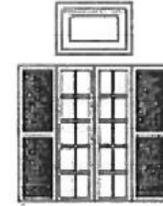
③

③ Security Bars: Remove, Tag, Prep and Paint metal bars at windows and re-install after window restoration is complete.



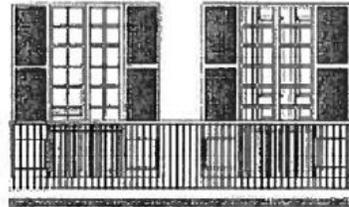
④

④ Shutters (Large): Rebuild / Replace in Kind. Remove, take off site, and rebuild / replace 25 sets (50 shutters) 4' x 8' (per set) which are 1 3/4" thick. All replacement shutters to be built to match existing profile and built from Spanish Cedar Materials. Remove and replace hardware. Prime and Paint.



⑤

⑤ Shutters (Small): Rebuild / Replace in Kind. Remove, take off site, and rebuild / replace 5 sets (10 shutters) 3' x 8' (per set) which are 1 3/4" thick. All replacement shutters to be built to match existing profile and built from Spanish Cedar Materials. Remove and replace hardware. Prime and Paint.



⑦

⑦ Balconies: Remove and replace all wood members on 3 balconies. Prep steel with wire brush, prime with Ghem Prime and paint with DTM paint. Then replace all wood members including framing and deck with 3-1/4" X 5/4" T&G deck boards. Paint with Porch and Deck Enamel.



⑧

⑧ AC Pans: Remove and replace Window Unit AC pans. Install new PCV drain lines and re-connect to existing downspouts and drainage.



⑨

⑨ Front Door: Strip and prep Front Doors. Prime and Paint.

Project Information:  
 St. Louis Cathedral Rectory Exterior Repairs  
 615 Pere Antoine Alley  
 New Orleans, LA 70130



**NOTES:**

- SHUTTER TYPE "A" (DOOR OPENINGS) TO BE FIXED LOUVER OVER SINGLE FLAT PANEL WITH APPLIED MOULDING
- SHUTTER TYPE "B" (WINDOW OPENINGS) TO BE FIXED LOUVER OVER FIXED LOUVER
- TECHNICAL DRAWINGS PROVIDED FOR "TYPICAL" DESIGN APPROVAL ONLY
- ALL OPENINGS TO BE FIELD MEASURED PRIOR TO FABRICATION
- HARDWOOD COMPONENTS TO BE EXTERIOR "MERANTI" LUMBER
- ½" PANELS AT DOOR SHUTTERS TO BE "EXTIRA"
- ALL SHUTTERS TO RECEIVE EXTERIOR LATEX PRIMER COAT

OPENING SCHEDULE TO BE DETERMINED PER SITE VISIT			
TYPE	DESCRIPTION	R.O.	NOTES
A	FIXED LOUVER OVER SINGLE FLAT PANEL		FOR DOORS
B	FIXED LOUVER OVER FIXED LOUVER		FOR WINDOWS

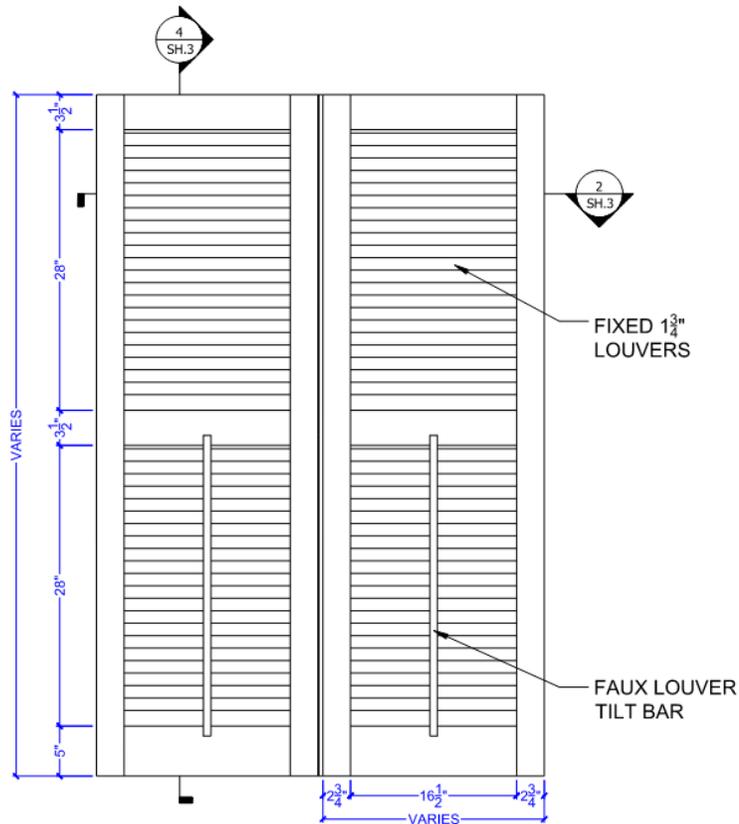
St. Louis Cathedral Rectory  
615 Pere Antoine Alley  
NEW ORLEANS LOUISIANA

**1217 CREATIVE**  
E: jason@1217creative.com  
PH: 504 800 4331

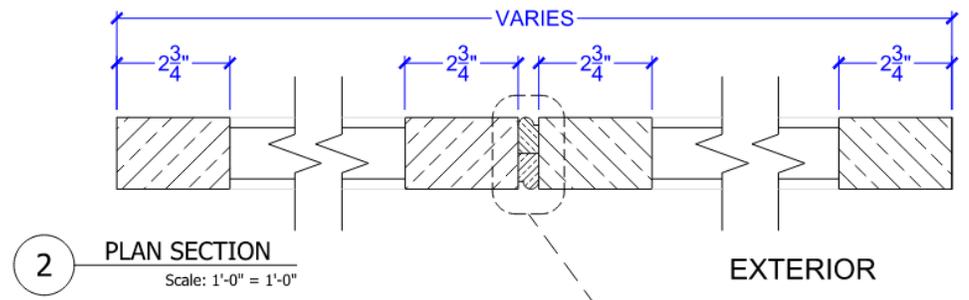
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REVISION:  
REVISION:  
REVISION:



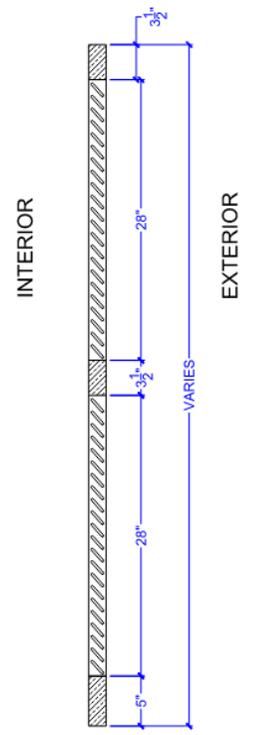




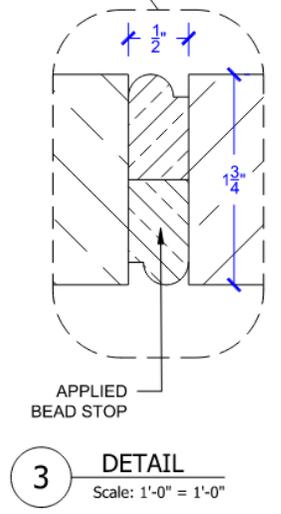
1 TYPE "B", QTY: (5) PAIRS  
Scale: 1" = 1'-0"



2 PLAN SECTION  
Scale: 1'-0" = 1'-0"



4 SECTION  
Scale: 1'-0" = 1'-0"



3 DETAIL  
Scale: 1'-0" = 1'-0"

St. Louis Cathedral Rectory  
615 Pere Antoine Alley  
NEW ORLEANS LOUISIANA

1217 CREATIVE  
E: jason@1217creative.com  
PH: 504-800-4331

ORIGINAL: 12/15/23  
REVISION:  
REVISION:  
REVISION:

SH. 3





**EXTIRA**<sup>®</sup>  
TREATED EXTERIOR PANEL

**Put Extira to Work on Your Next Project**

Manufacturing process binds natural wood fibers with phenolic resins and zinc borate

- Sanded two sides for a smooth, unprimed surface
- Moisture, rot, and termite resistant
- No added urea formaldehyde; made from sustainable materials
- One piece solid substrate — not laminated
- Can be used for virtually any non-structural paint grade application, including exterior millwork, door and window parts, signage, garage doors and other architectural components
- Extira has a Class C fire rating; Flame spread 120; Smoke developed 95
- Due to their physical composition, Extira panels are not subject to the California Air Resource Board's Airborne Toxic Control Measure 93120 (ATCM). This measure enforces limits on formaldehyde emissions. If they were subject to the ATCM, Extira panels would meet the specification for the designation "ultra low formaldehyde emitter." Extira panels have demonstrated formaldehyde emissions equivalent to wood through repeated testing by the Composite Panel Association (CPA), a third party certifier for the ATCM rule.
- 5-year limited warranty

615 Pere Antoine

VCC Architectural Committee

From the Makers of  
 

January 9, 2024



## Extira is a Revolutionary Product that Performs Better than Wood or MDF

	Extira	Typical MDF
<b>Composition</b>	Wood, phenolic resins, zinc borate, water repellent and other ingredients. No added urea formaldehyde	Wood, urea formaldehyde resin that may emit formaldehyde
<b>Manufacturing Process</b>	Proprietary, patented steam injection technology using TEC™ manufacturing process	Pressed between hot platens. Open process, no steam injection
<b>Benefits</b>	Consistent density Moisture, rot and termite resistant Exterior performance	Not uniformly dense throughout No termite or rot protection MR MDF offers moisture resistance for interior use only
<b>Warranty</b>	5 years	30 days
<b>Application</b>	Exterior	Interior

## Extira is Stronger and Performs Longer

	Extira 3/4"	Medex 3/4"	Norbord MR 3/4"	MR 50 Grade 110 per ANSI 208.2-2002	Wood
Thickness Swell (TS)	3.3%	3% <sup>2</sup>	8.0% <sup>3</sup>	5% max	NA
Advanced Bond Integrity (% strength retention)	90%	Passes <sup>2</sup> ASTM D1037-96	20% <sup>4</sup>	50% min	NA
Termite Resistance (10 is the highest score)	7.9 out of 10 (3 year exposure) <sup>1</sup>	None	None	None	None, 0.0 <sup>1</sup>
Rot Resistance (0 is the highest score)	1.0 out of 5 (3 year exposure) <sup>1</sup>	None	None	None	None, 5.0 <sup>1</sup>

<sup>1</sup> Independent testing per AWPA E-7 and AWPA E-16

<sup>2</sup> Published material by Medex

<sup>3</sup> Published material by Norbord

<sup>4</sup> Cycle Testing: Published by Norbord as immersion in water for 3 days, freezing in air at 10 F for 1 day, exposure to air at 158 F for 3 days.

**Moisture resistant:** As measured by ASTM D1037 for water absorption and thickness swelling

**Rot resistant:** As measured by AWPA E-16 Field Test for Evaluation of Wood Preservatives To Be Used Out of Ground Contact: Horizontal Lap-Joint Method

**Termite resistant:** As measured by AWPA E-7 Standard Method of Evaluating Wood Preservatives by Field Tests with Stakes



# Extira Panels Provide Green Building Benefits

## ✓ No Added Urea Formaldehyde

- Extira panels have no added urea formaldehyde. This is certified by Scientific Certification Systems, certificate number SCS-MC-01802. Emission levels of formaldehyde from Extira panels are equivalent to trace levels found in the environment.

## ✓ Sustainable Materials

No old growth wood is used in the manufacture of Extira panels. They are made from scrag wood that is of no commercial timber value and is the byproduct of other operations. Scrag wood is also detrimental to the overall vitality of the forest.

- All wood comes from an area within a 200 mile radius of the Towanda, PA production facility
- CMI uses 100% northern hardwoods which includes maple, beech, oak and other species

## ✓ Contribution to Industry Programs

*Extira panels can contribute towards the following point categories.*

USGBC® LEED® for Commercial Interiors and New Construction		
MR 5.1	20% Manufactured Regionally (within 500 miles)	✓*
MR 5.2	10% Extracted and Manufactured Regionally	✓*
EQ 4.4	Composite wood components that contain no added urea-formaldehyde resins.	✓

*\*dependent on project site location*

USGBC® LEED® for Homes		
SS 5	Non Toxic Pest Control	✓

NAHB – National Green Building Standard™		
602.8	Termite-resistant materials are used for the structural components and exterior claddings of walls, floors, roofs and exterior decks in geographical areas that have slight to moderate or greater subterranean termite infestation potential.	✓
607.1	Resource-Efficient Materials – Products used contain fewer materials to meet the same end-use requirements as conventional production, including but not limited to engineered wood or engineered steel products.	✓
901.4	No Added Urea Formaldehyde – 85 percent of countertops, permanent shelving, and other nonstructural products manufactured in accordance with the following: composite wood or agrifiber panel products contain no added urea formaldehyde.	✓

California Air Resources Board		
Phase 1 & 2	Due to their physical composition, Extira panels are not subject to the California Air Resources Board's 1 & 2 Airborne Toxic Control Measure 93120 (ATCM)	✓



SCIENTIFIC CERTIFICATION SYSTEMS  
SCS-MC-01802



## Extira is the Best Alternative

		Extira	MDF	Plywood	MDO	PVC
Price	\$	\$\$	\$	\$	\$\$	\$\$\$\$
Moisture Resistance	💧	Good	Poor	Poor	Good	Best
Rot Resistance	🪵	Best	None	None	None	Best
Weathering <sup>3</sup>	☔	Good	Poor	Poor	Good	Best
UV Resistance <sup>3</sup>	☀️	Good	Good	Best	Good	Poor <sup>2</sup>
Warranty	🛡️	5-year	30 Days	None	Varies	5-year to Lifetime <sup>1</sup>
Machineability	🔪	Good	Varies	Poor	Poor	Best
Paintability <sup>3</sup>	🎨	Best	Best	Good	Best	Poor

<sup>1</sup> Non-transferrable

<sup>2</sup> PVC generally has trouble accepting darker shades of paint

<sup>3</sup> Ratings reflect uncoated material ranking. Extira must be field finished before use

## With Five Thicknesses and Three Panel Sizes, Extira Measures Up to Any Project



Choose from a variety of sizes and thicknesses					
Size (nominal)	Thickness (+/-0.005")				
	1/2"	5/8"	3/4"	1"	1-1/4"
4' x 8' (49" x 97")	●	●	●	●	●
4' x 16' (49" x 194")	●	●	●	●	●
2' x 16' (25" x 194")	●	●	●	●	●

Typical Properties of 3/4" Extira		
<b>Termite Resistance</b> (10 is the highest score)	7.9 out of 10 (3 year exposure)	
<b>Rot Resistance</b> (0 is the highest score)	1.0 (3 year exposure)	
<b>Advanced Bond Integrity</b> (% strength retention)	90%	
<b>Density</b>	47 lb/ft <sup>3</sup>	0.753 g/cm <sup>3</sup>
<b>MOR</b>	3550 psi	24.5 MPa
<b>MOE</b>	315 kpsi	2172 MPa
<b>Internal Bond</b>	92 psi	634 kPa
<b>Direct Screw Withdrawal</b>		
Face	352 lbf	160 kgf
Edge	335 lbf	152 kgf
<b>24-Hour Soak</b>		
% Thickness Swell	3.3%	3.3%

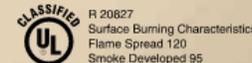
Zinc borate is an EPA registered wood preservative. Extira® is manufactured, marketed and trademarked by CMI. ©2009 CMI 311 209

### Finishing Recommendations

Extira is a wood based composite panel that must be primed and painted before being exposed to the outdoors. Adhesives or laminates may be used to affix other materials to Extira. Because CMI makes wood composite panels and not adhesives, primers or other materials, CMI cannot guarantee the performance or compatibility of any material to Extira. CMI regularly tests materials at the CMI research and development testing laboratory and performs testing with the manufacturers of popular primers and adhesives. Visit [www.extira.com](http://www.extira.com) for updates on compatible materials and techniques. Qualification of all materials and their end use are the responsibility of the end user. CMI has no liability for primers, paints, adhesives or any other treatment of Extira.

615 Pere Antoine

VCC Architectural Committee



January 9, 2024

# SmartStrip<sup>PRO</sup>

Professional Strength Paint Remover

## Smart Strip PRO™ – Advanced Paint Remover      Tech Data Sheet

**Product Description & Use:** Smart Strip™ PRO is a professional strength paint remover that effectively removes high performance, architectural and industrial paints and coatings. Smart Strip™ PRO will effectively remove multiple coats of varnishes, oil-based coatings, water-based coatings, acrylics, urethanes, most epoxies, some inorganic zincs and elastomeric coatings. Smart Strip™ PRO is safe for use on most substrates including wood, brick, stone, concrete, metal etc. This product is formulated to remain wet and effective without the use of **Dumond® Laminated Paper** however to extend the dwell time **Dumond® Laminated Paper** may be used. Smart Strip™ PRO does not require the use of a neutralizer after removal.

### Features & Benefits:

- Low VOC
- Non-carcinogenic
- Non-caustic
- Non-flammable
- Formulated without methylene chloride
- Water based

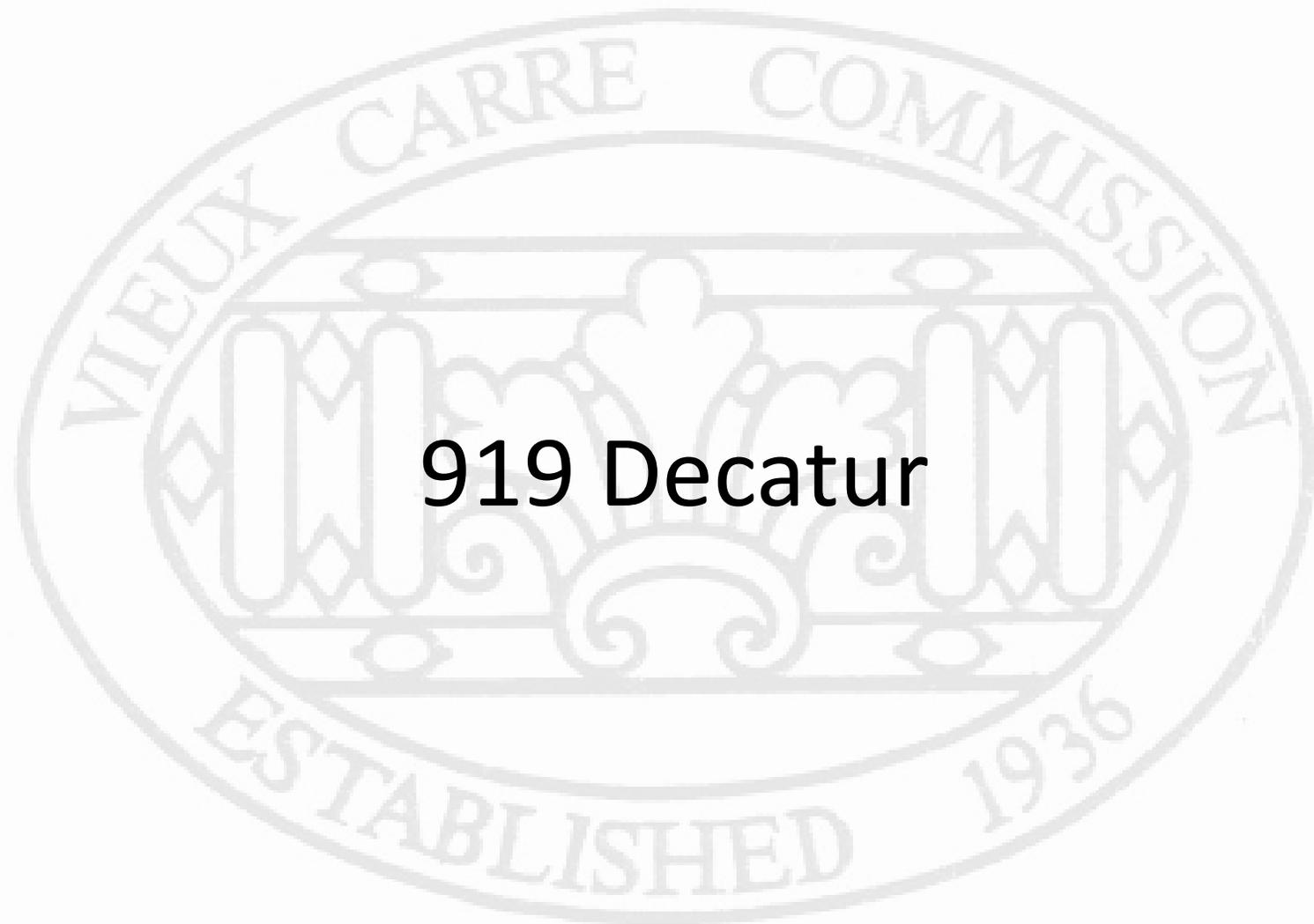
**Limitations:** No recommended for use on glass, plastics, vinyl, most fiberglass, Plexiglas, drywall, plywood, smooth limestone, polished stone, IE: marble or granite, composite decking, EIFS, MDF, OSB, galvanized steel, laminates, veneers, stainless steel and rubber.

**Test Patch:** Always perform a small inconspicuous test area on each type of substrate and paint coating prior to full application. Testing before beginning any project is the best way to ensure product effectiveness. Test patches can determine the proper dwell time and thickness to apply the product for you specific application. Failure to do a test patch can result in need for more than one application, increasing labor and material costs.

**Recommended Substrates:** Before applying to the entire substrate, always do a test patch. Recommended for use on wood, brick, concrete, steel, metal, aluminum, cement, asphalt, unpolished stones, copper, tile, terra cotta, clap board, and slate surfaces.

**Regulatory Information:** VOC compliance - Smart Strip™ PRO meets national, state and local regulations.

03/2014



919 Decatur



917-919 Decatur, 1866

VCC Architectural Committee

January 9, 2024





917-919 Decatur

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January 9, 2024





917-919 Decatur

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917 Decatur

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January 9, 2024





917 Decatur

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January 9, 2024



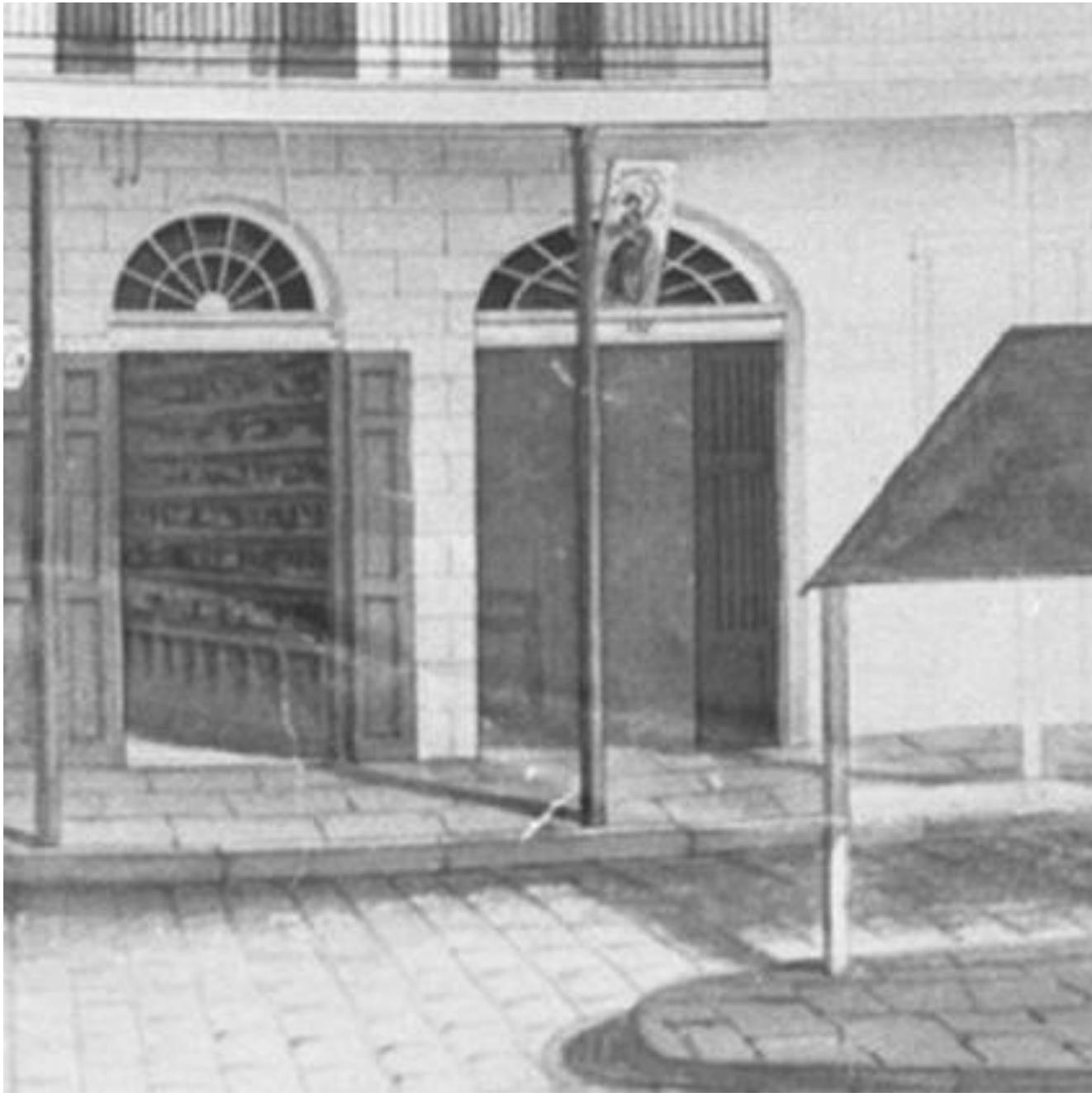


917 Decatur

VCC Architectural Committee

January 9, 2024





917-919 Decatur, 1866

VCC Architectural Committee

January 9, 2024





917 Decatur

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January 9, 2024







EXISTING CARRIAGEWAY TRANSOM UNCOVERED DURING RECONSTRUCTION OF 921 DECATUR. ORIGINAL TRANSOM TO BE RECONSTRUCTED USING SAME LIKE AND KIND MATERIALS, AND PAINTED TO MATCH EXISTING TRIM.

EXISTING CARRIAGEWAY ENTRIES. PROPOSED WORK TO INCLUDE THE UNCOVERING OF THE TRANSOM ON THE 919 DECATUR SIDE, AND THE RE-CONSTRUCTING OF BOTH DOORS AND TRANSOM TO MATCH THE EXISTING 921 DECATUR SIDE WOOD PANELED DOOR IN SAME LIKE AND KIND, PAINTED TO MATCH EXISTING TRIM. STUCCO REPAIR TO MATCH EXISTING AND PAINTED TO MATCH EXISTING

917 Decatur

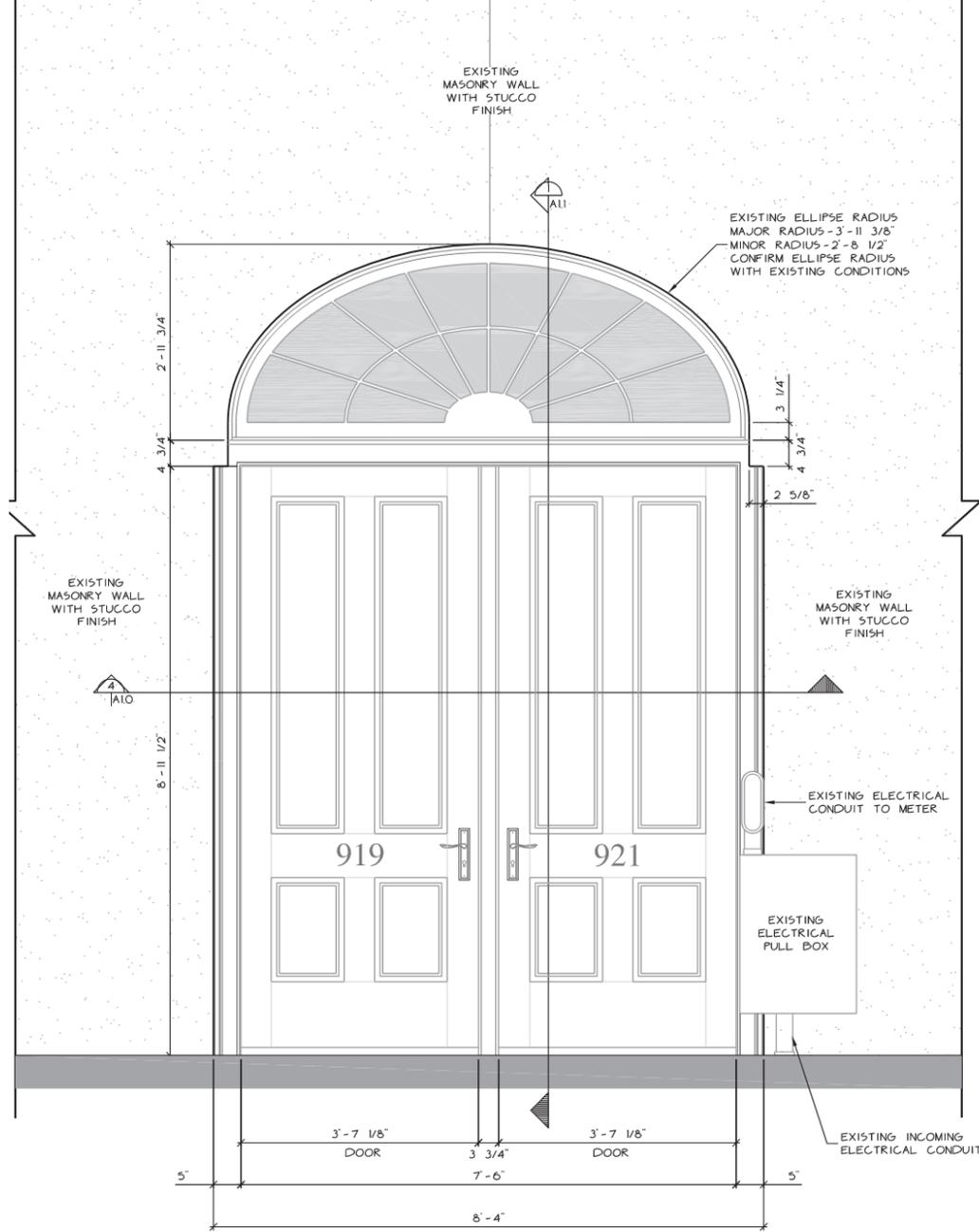


EXISTING CARRIAGEWAY DOORS  
AT 919 AND 921 DECATUR STREET

SCALE N.T.S.

24" X 36"





917 Decatur

VCC Architectural Committee

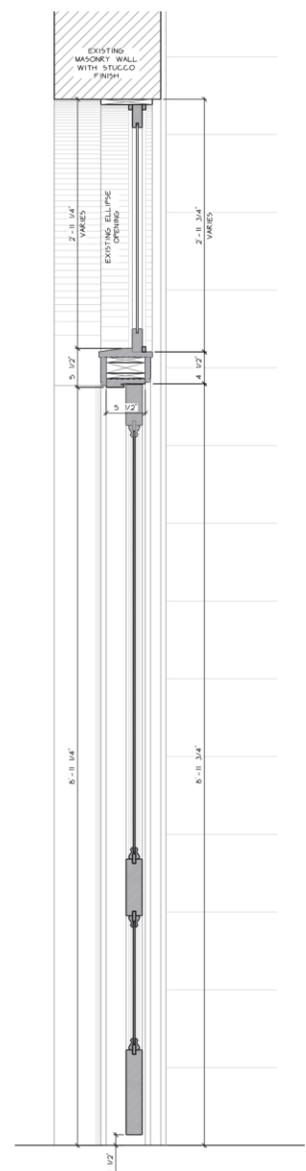

**3**  
 A10  
 NEW CARRIAGEWAY DOORS  
 PARTIAL EXTERIOR ELEVATION  
 SCALE 3/4" = 1'-0" ONLY VALID ON A 24" X 36" SHEET

January 9, 2024

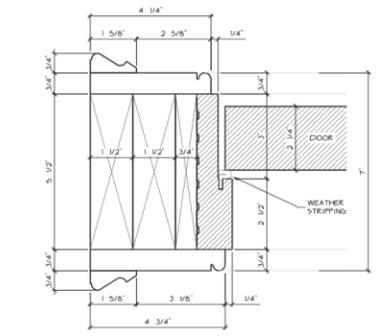


OK  
BY  
DATE

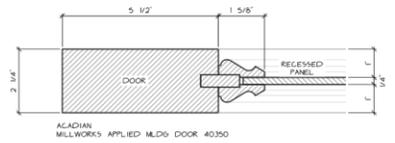
ALL RIGHTS RESERVED



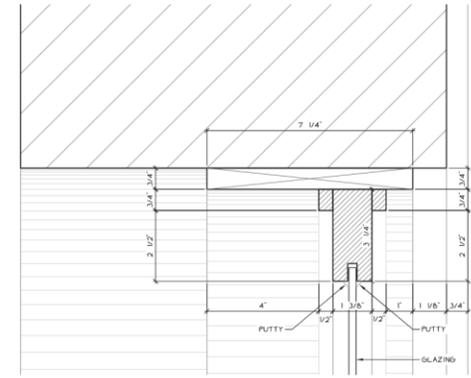
**1** ALL  
NEW CARRIAGEWAY DOOR SECTION  
SCALE 1/2" = 1'-0" ONLY VALID ON A 24" X 36" SHEET



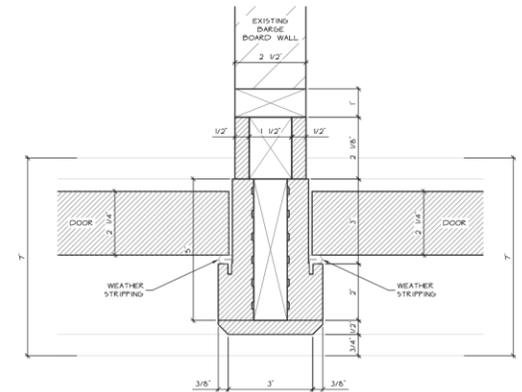
**2** ALL  
DOOR FRAME AND CASING DETAIL  
SCALE HALF SIZE ONLY VALID ON A 24" X 36" SHEET



**4** ALL  
NEW APPLIED MLDG DOOR MILLWORK DETAILS  
SCALE HALF SIZE ONLY VALID ON A 24" X 36" SHEET



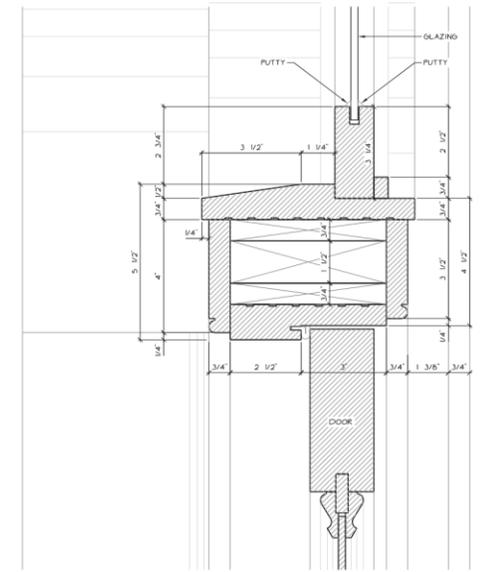
**6** ALL  
TRANSOM FRAME AND CASING DETAIL  
SCALE HALF SIZE ONLY VALID ON A 24" X 36" SHEET



**3** ALL  
DOOR FRAME AND CASING DETAIL  
SCALE HALF SIZE ONLY VALID ON A 24" X 36" SHEET



**5** ALL  
MILLWORK / MOULDING DETAILS  
SCALE HALF SIZE ONLY VALID ON A 24" X 36" SHEET



**7** ALL  
DOOR AND TRANSOM FRAME AND CASING DETAIL  
SCALE HALF SIZE ONLY VALID ON A 24" X 36" SHEET

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REVISIONS

	CONCEPTUAL SKETCHES
	LAD PRELIMINARY APPROVAL
	AND WORKING DRAWINGS
	CONSTRUCTION DOCUMENTS

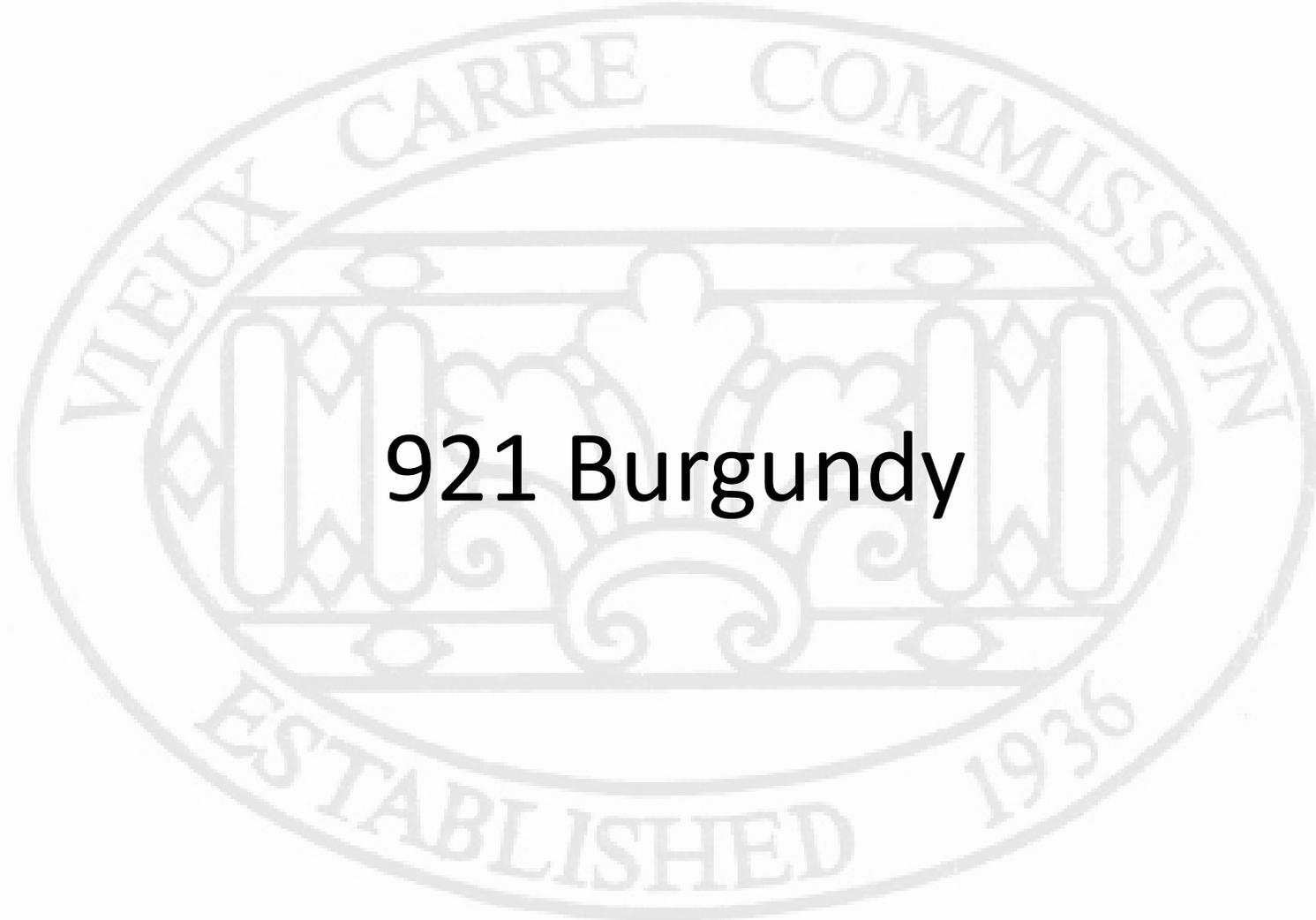
Decatur Street Carriageway Renovation VCC  
919 and 921 Decatur Street  
New Orleans, Louisiana



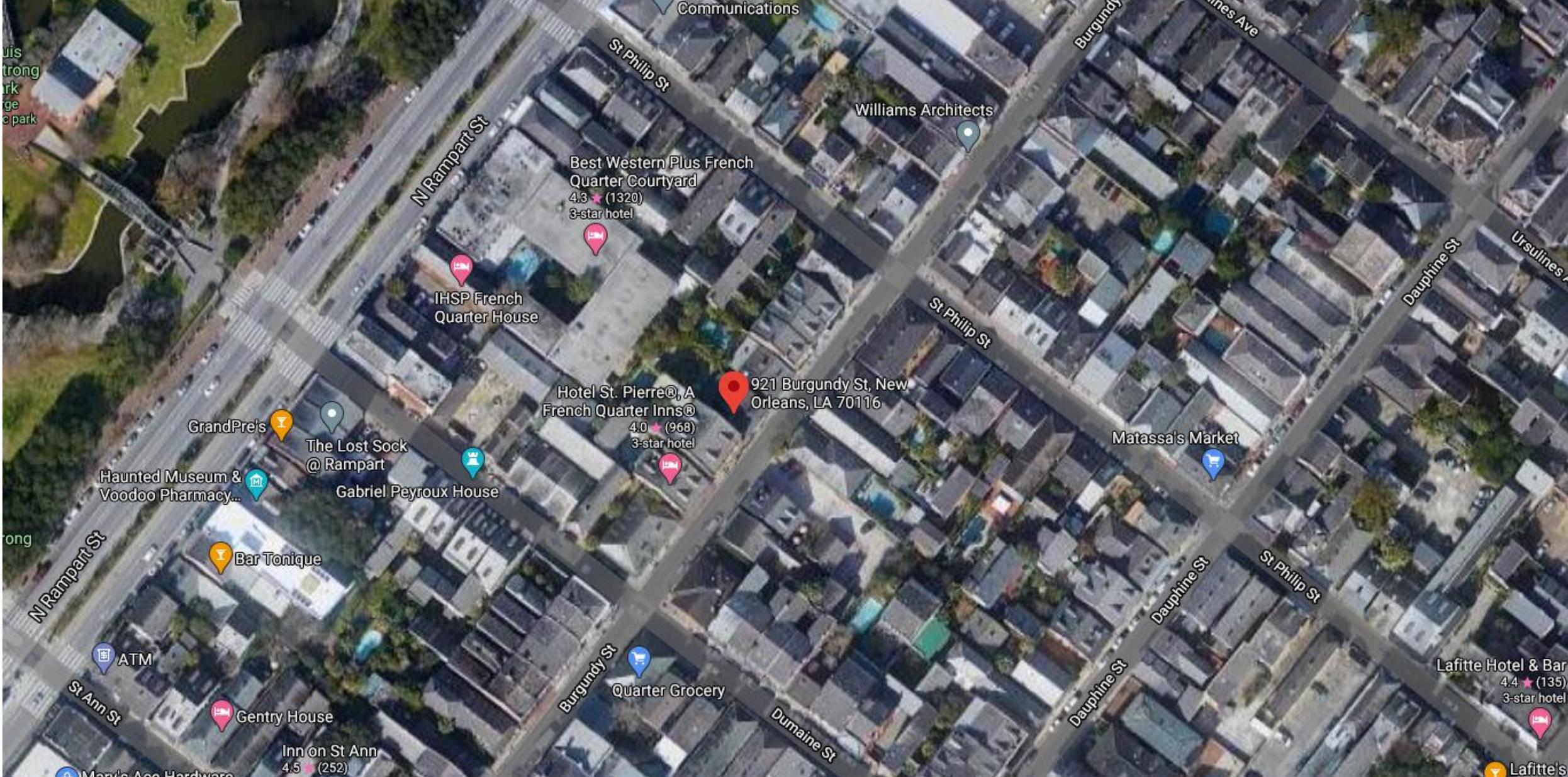
CIS Architects  
Metairie, Louisiana www.cisararchitects.com 504.454.3112

DATE: DECEMBER 11, 2022  
PROJECT NO.: 1702-A  
DRAWN BY: CIS-BJR  
CHECKED BY: CHARLES SILBERNAGEL  
SHEET A.11





921 Burgundy



# 921 Burgundy

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January 9, 2024





921 Burgundy

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921 Burgundy

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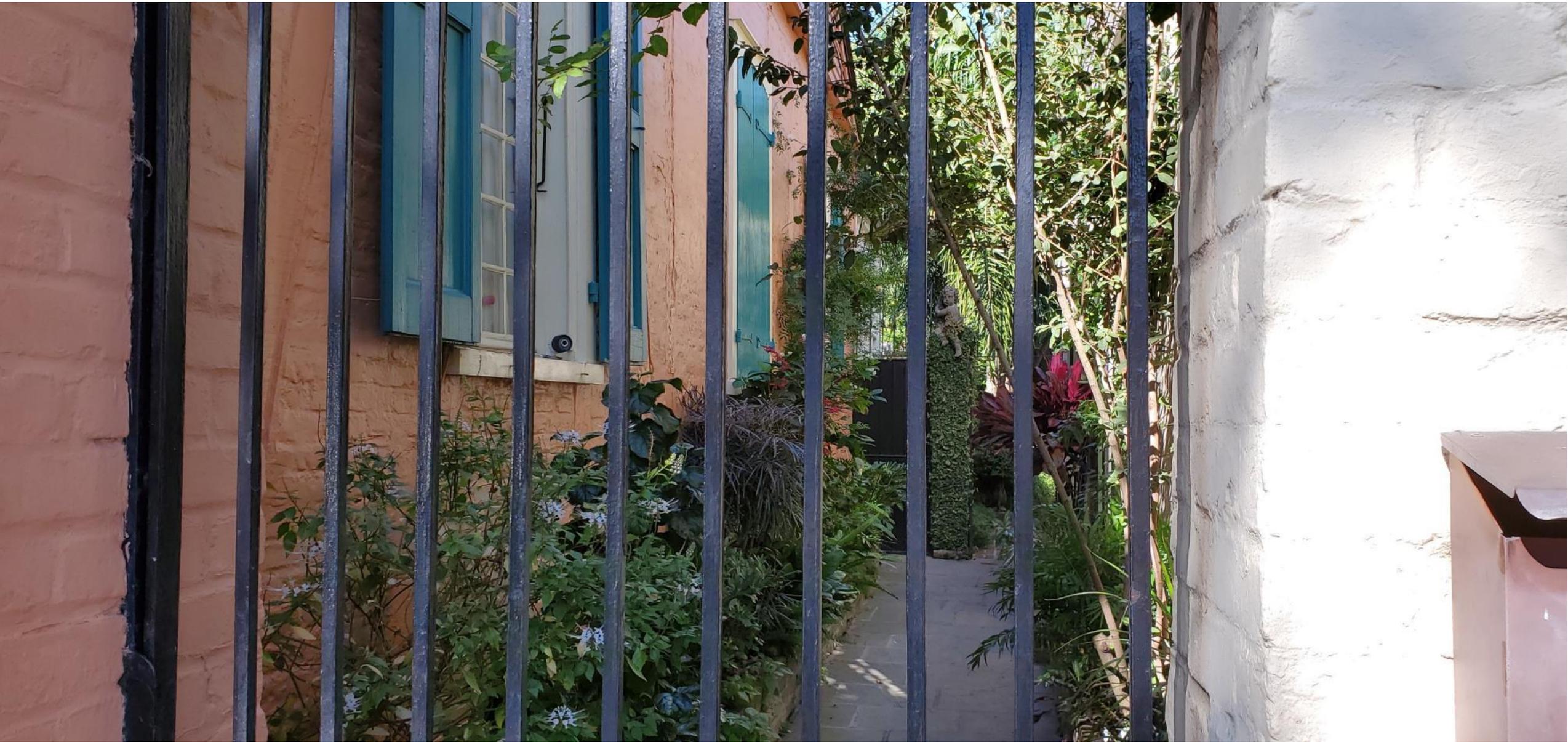


921 Burgundy

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January 9, 2024





921 Burgundy

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January 9, 2024



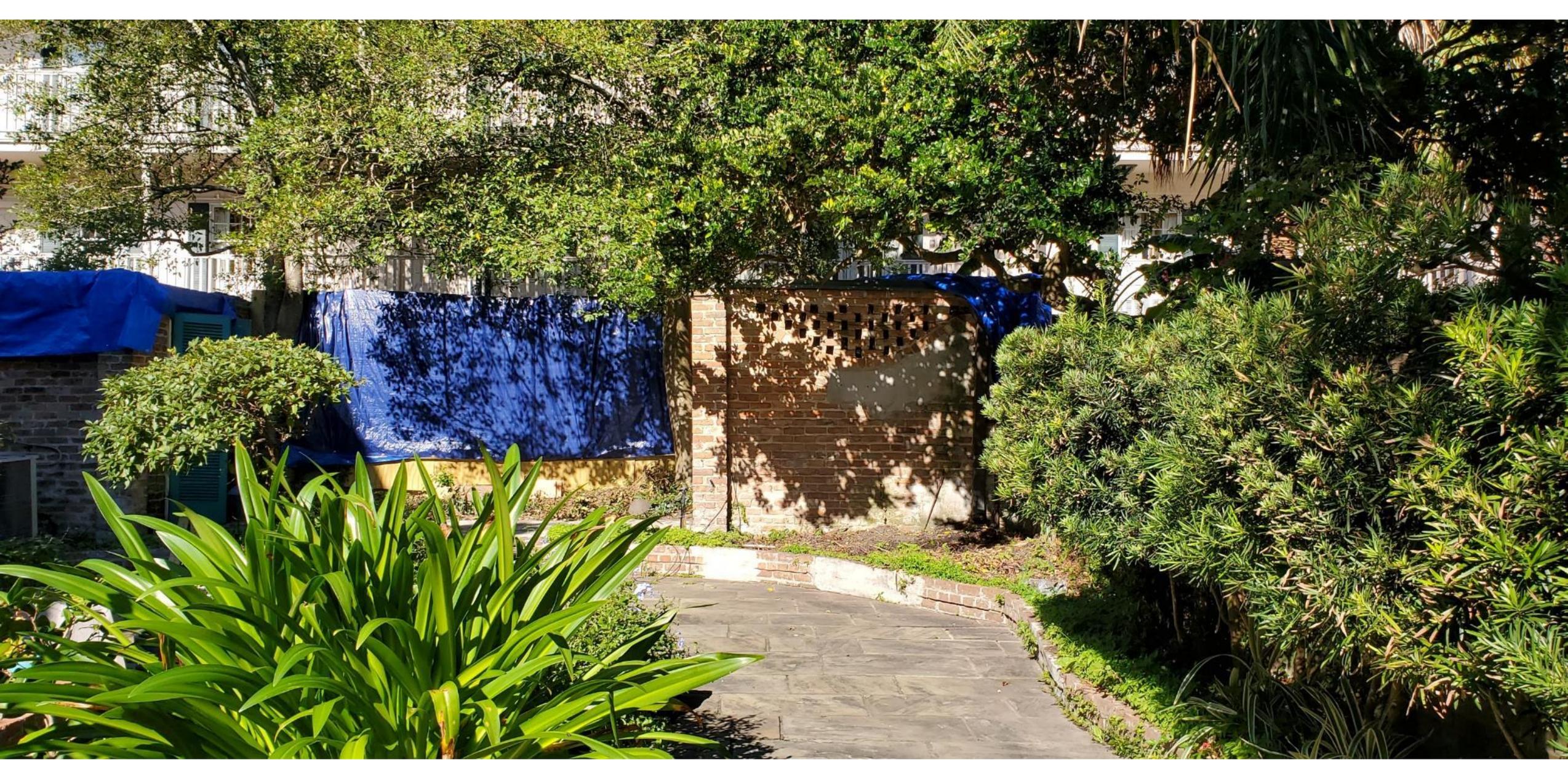


921 Burgundy

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January 9, 2024





921 Burgundy

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January 9, 2024



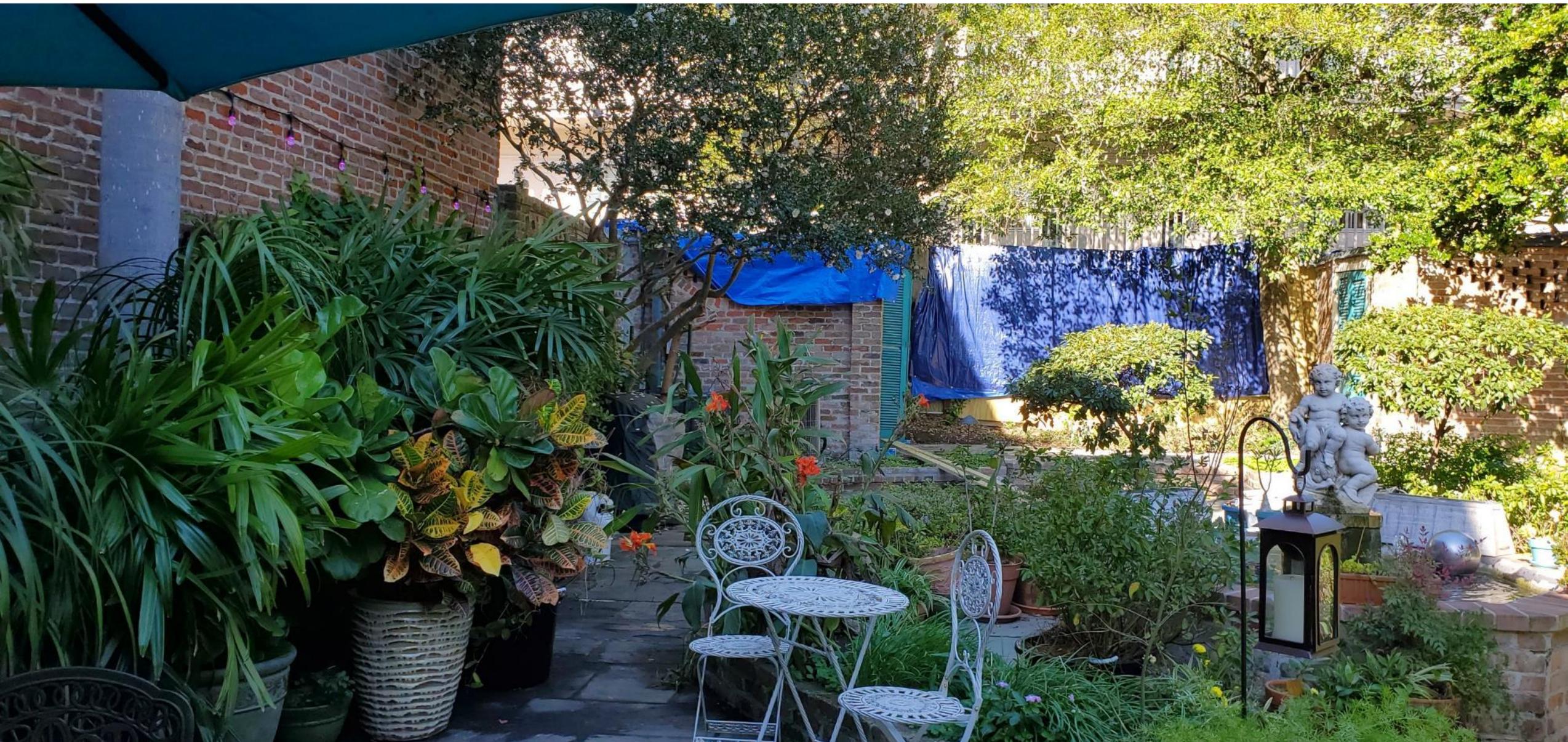


921 Burgundy

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January 9, 2024





921 Burgundy

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January 9, 2024





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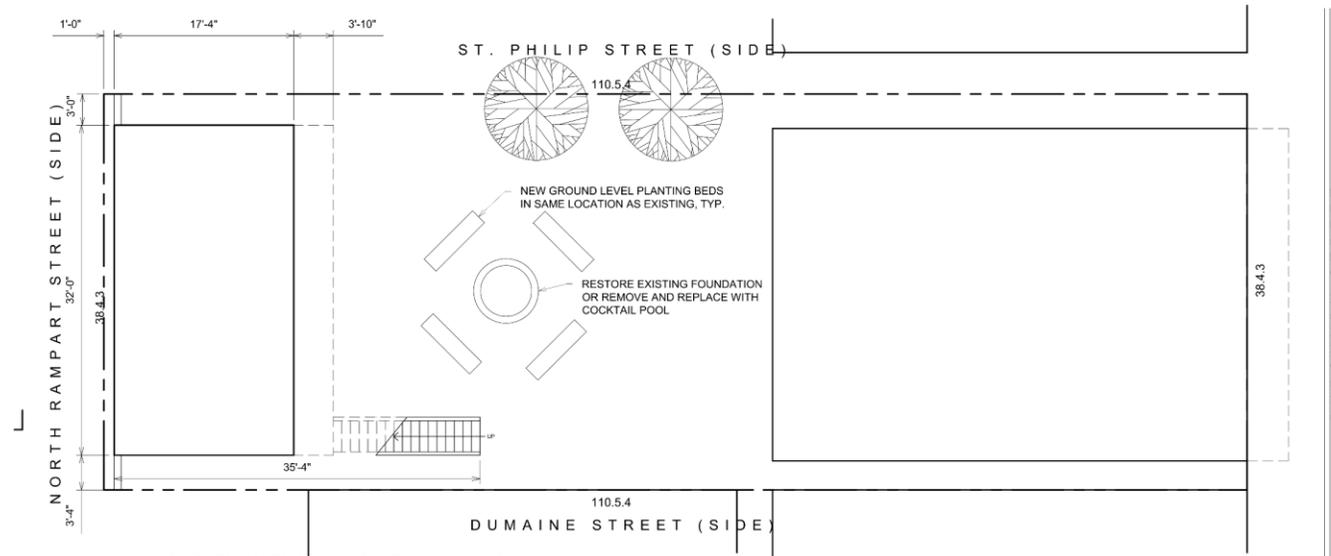


921 Burgundy

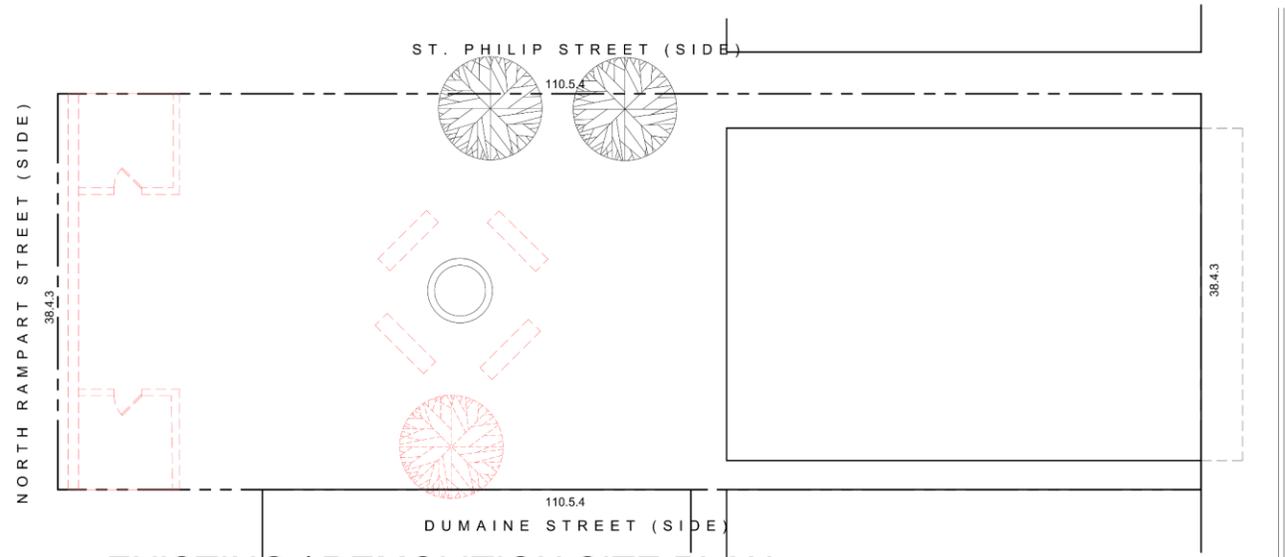
VCC Architectural Committee

January 9, 2024



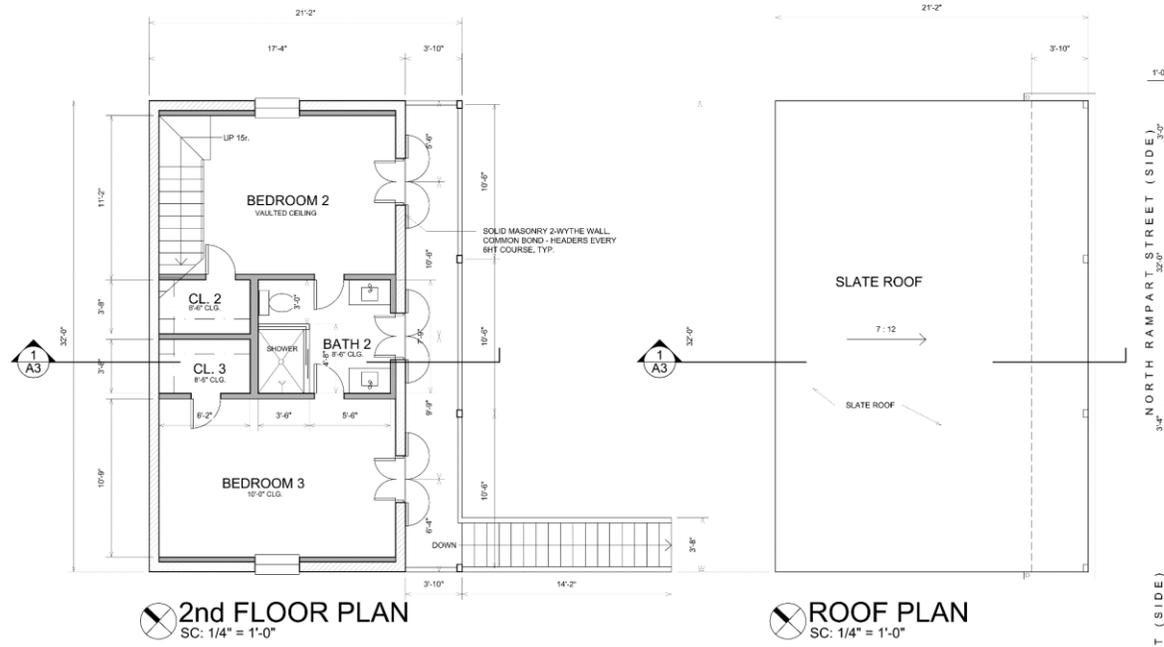


 **PROPOSED SITE PLAN**  
SC: 1/8" = 1'-0"



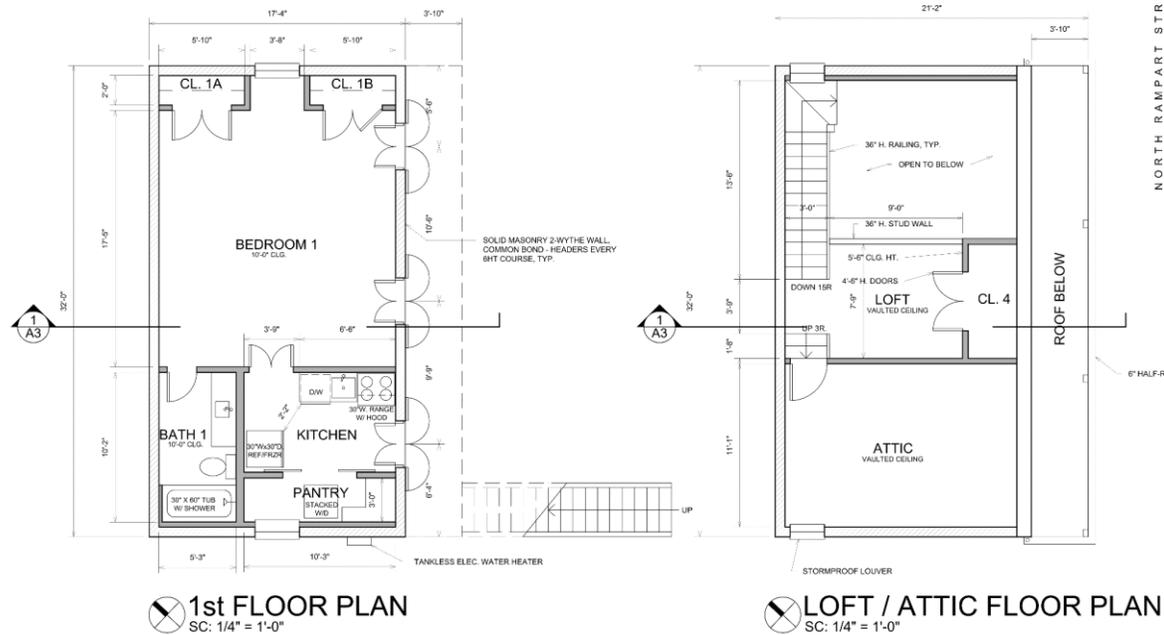
 **EXISTING / DEMOLITION SITE PLAN**  
SC: 1/8" = 1'-0"





2nd FLOOR PLAN  
SC: 1/4" = 1'-0"

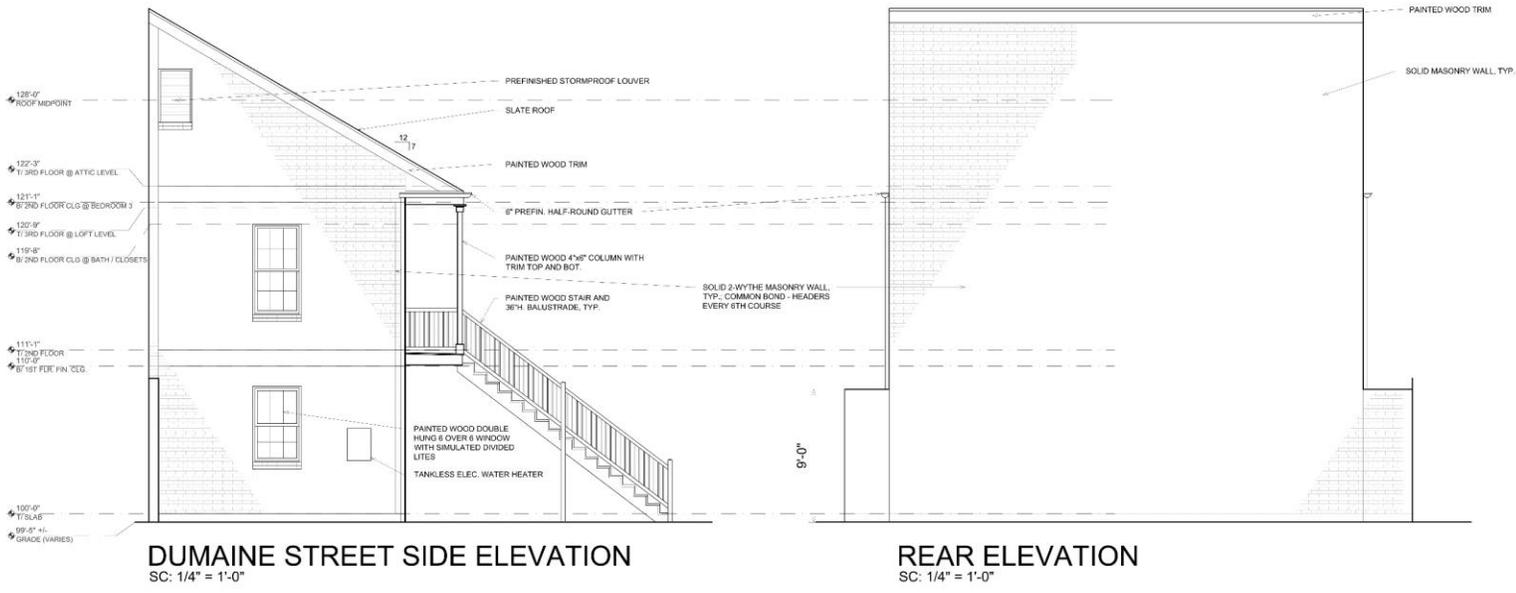
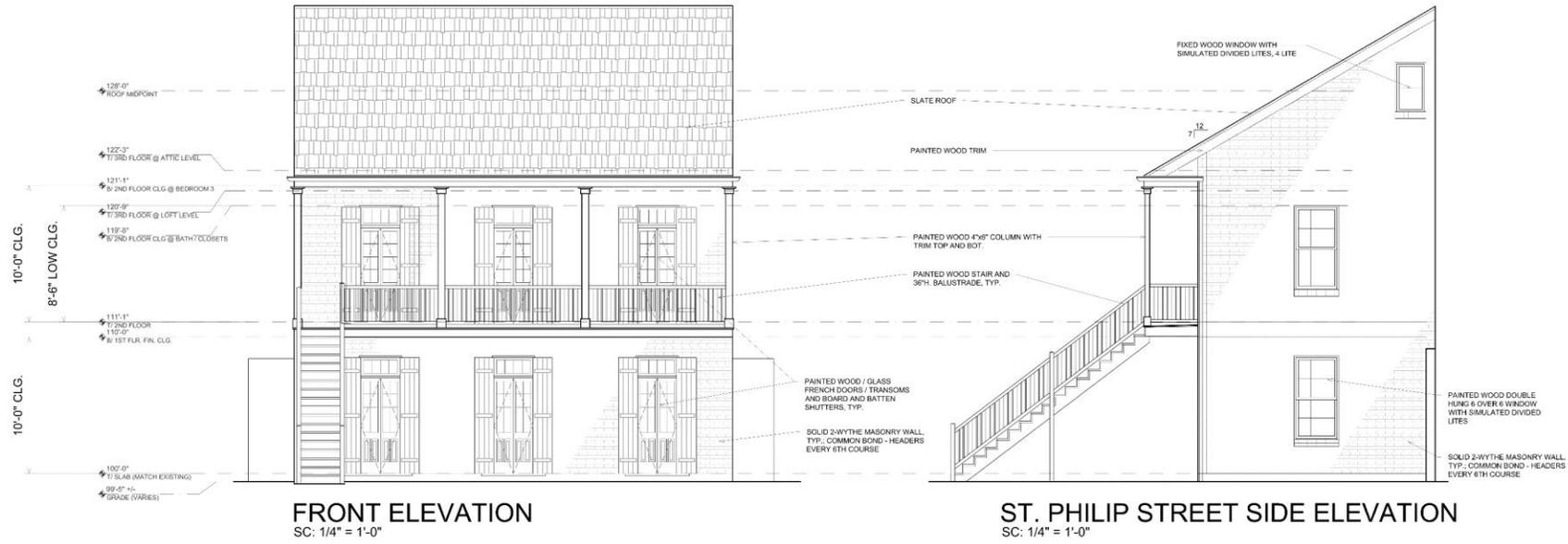
ROOF PLAN  
SC: 1/4" = 1'-0"

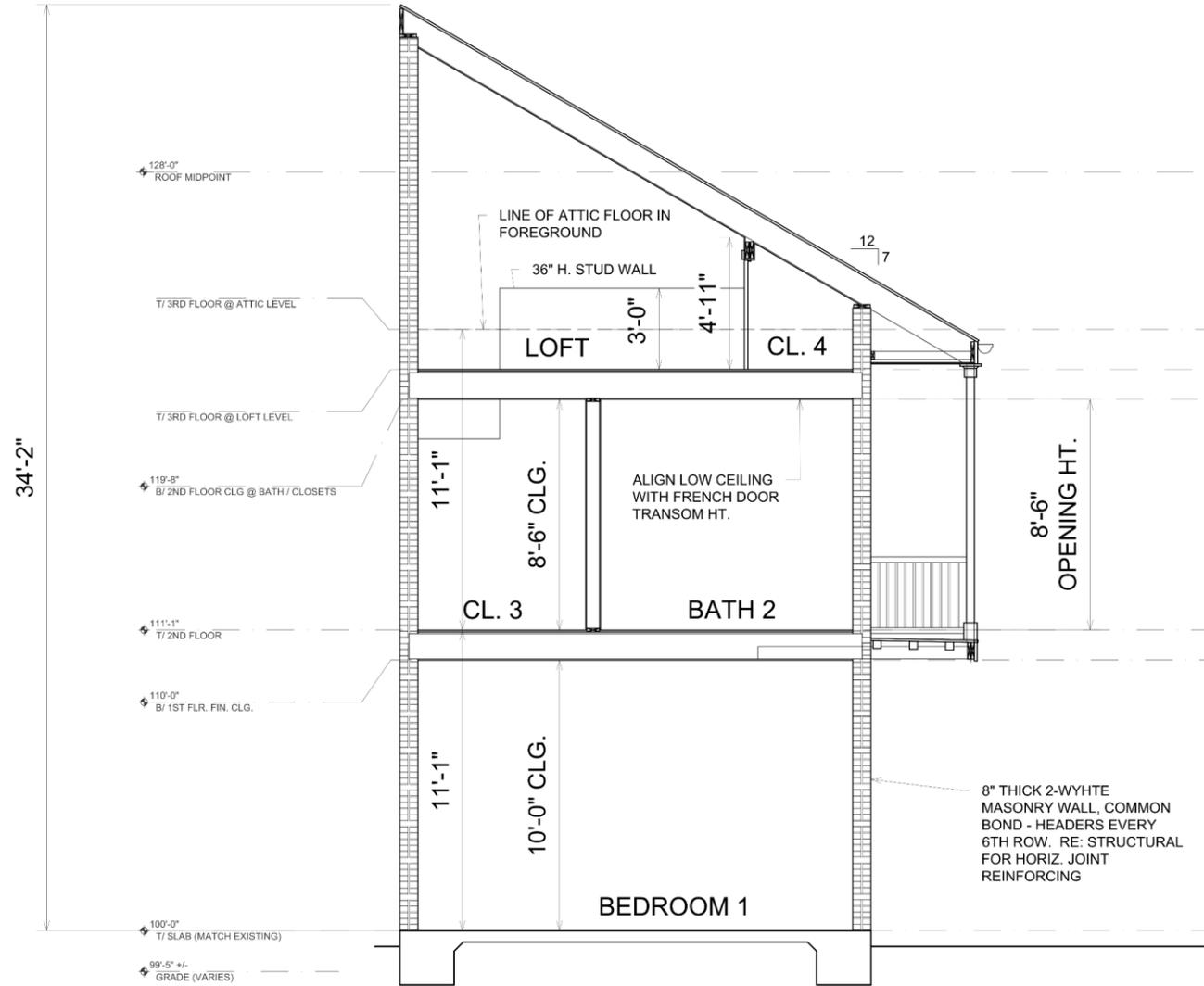


1st FLOOR PLAN  
SC: 1/4" = 1'-0"

LOFT / ATTIC FLOOR PLAN  
SC: 1/4" = 1'-0"







1  
A3 BUILDING SECTION  
SC: 3/8" = 1'-0"

