

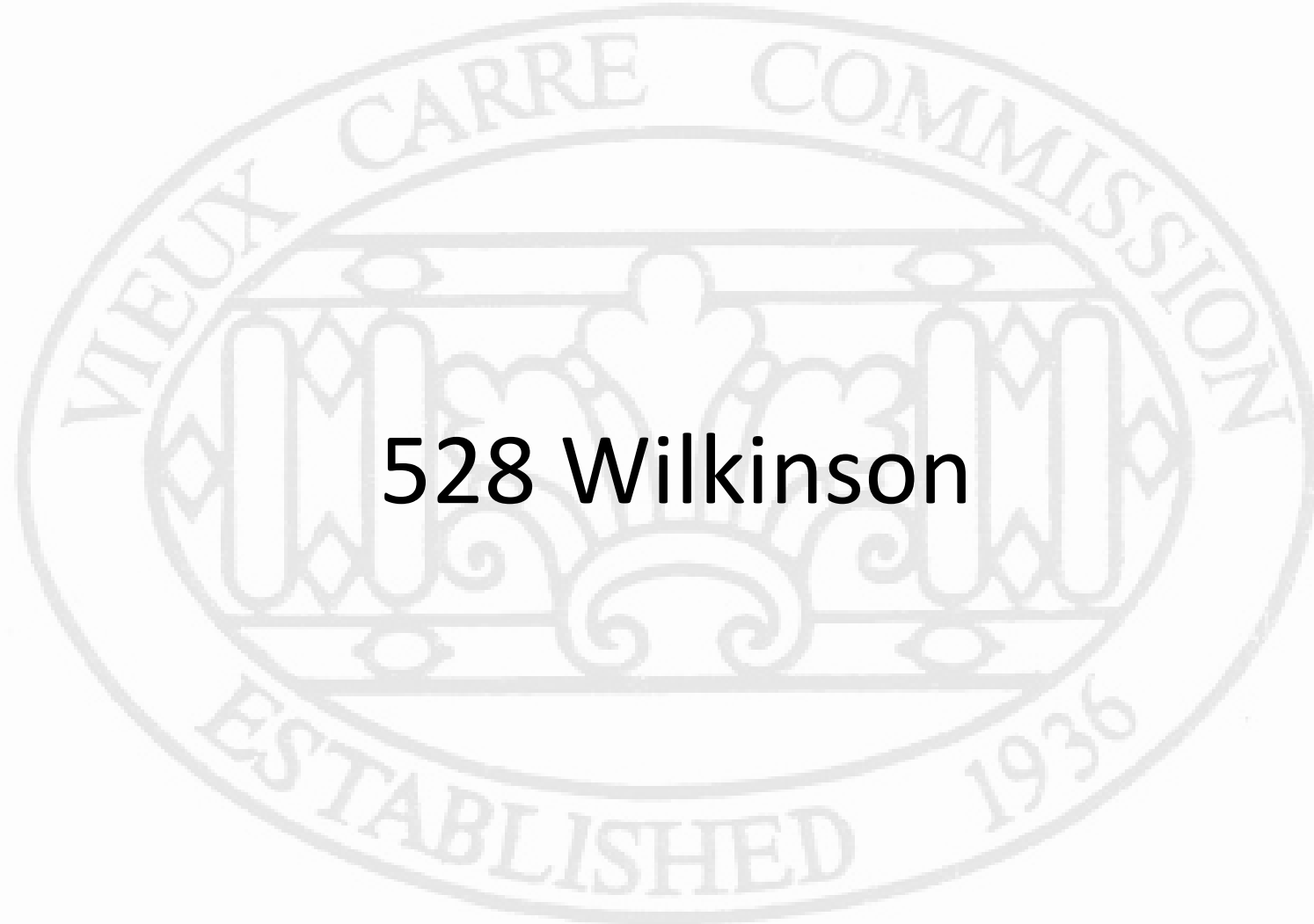


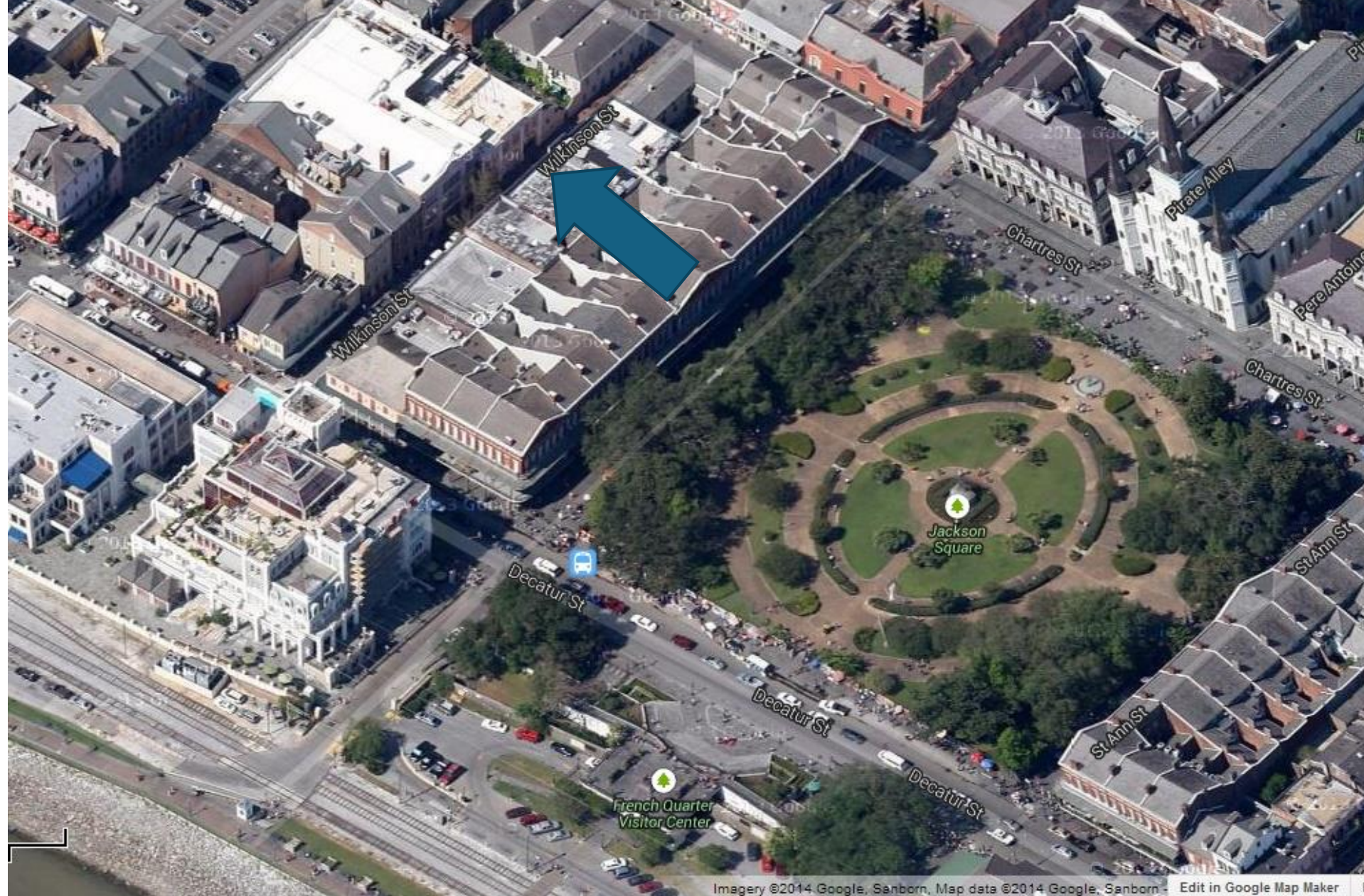
Vieux Carré Commission Architecture Committee Meeting

Tuesday, September 9, 2025



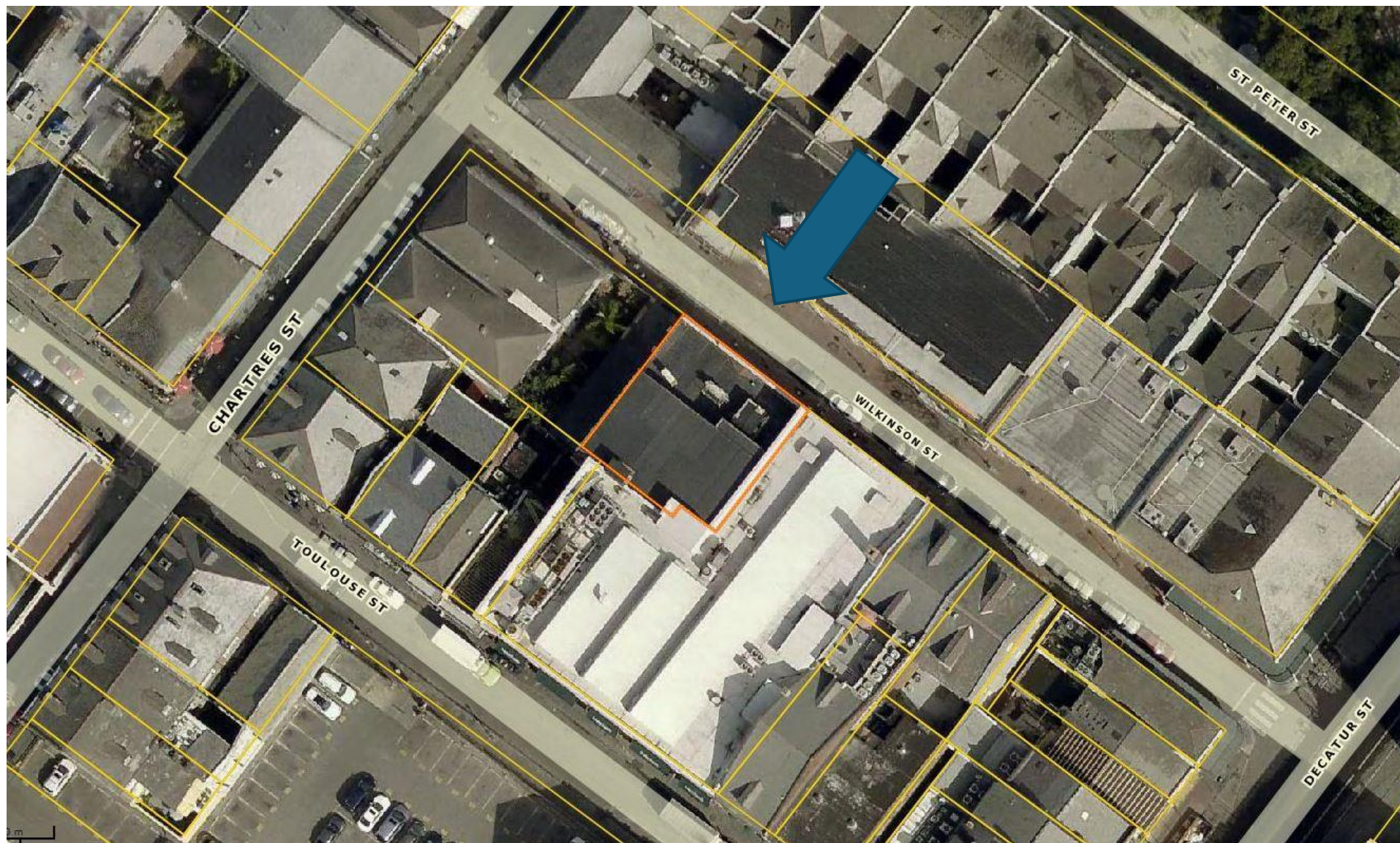
Old Business



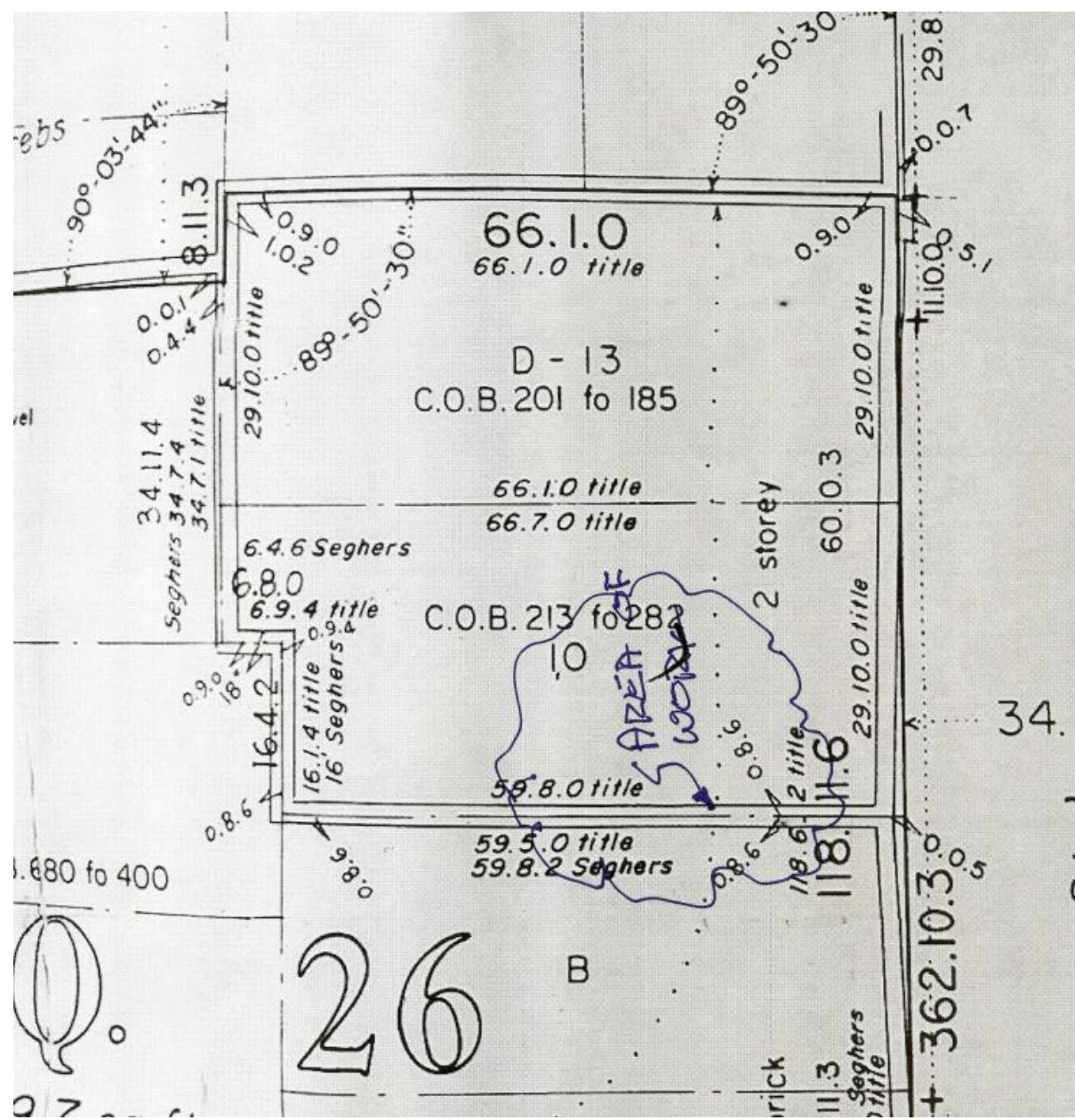


528 Wilkinson





528 Wilkinson



528 Wilkinson





528 Wilkinson, 1964



528 Wilkinson, c. 1987-88



528 Wilkinson



528 Wilkinson



528 Wilkinson



528 Wilkinson



528 Wilkinson

VCC Architectural Committee

September 9, 2025





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VCC Architectural Committee

September 9, 2025





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September 9, 2025





528 Wilkinson

VCC Architectural Committee

September 9, 2025



CAUSEY RESIDENCE
ROOF AND DECK REPAIRS AND IMPROVEMENTS
528 WILKINSON STREET
NEW ORLEANS, LOUISIANA



CONTACT INFO.

OWNER
Carl and Toni Causey
528 Wilkinson St.
New Orleans, LA 70130
504.814.0214
toni@triccivilconstruction.com

ARCHITECT
Zach Smith Consulting & Design
530 N. Norman C Francis Pkwy
New Orleans, LA 70119
504.383.3748
zach@zachsmithconsulting.com

CC: Tim Lupin
timlupin@outlook.com

CONTRACTOR

STRUCTURAL ENGINEER

PROJECT INFO.

DESCRIPTION
Exterior stair and roof renovation of 3 story single family home.

ZONING DISTRICT voc

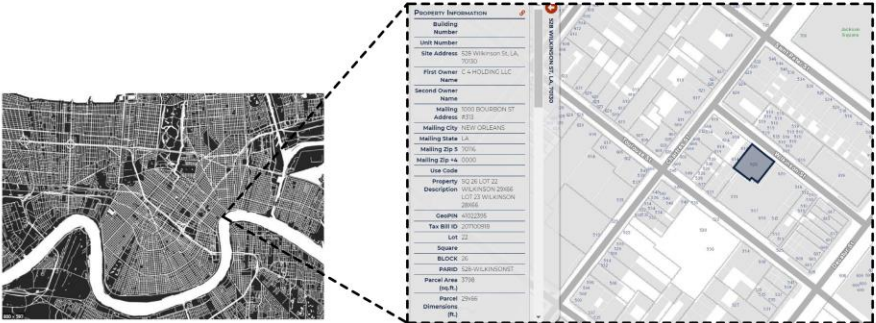
CONSTRUCTION TYPE

OCCUPANCY TYPE
IRC: RESIDENTIAL, SINGLE FAMILY

NUMBER OF STORIES
3

BUILDING HEIGHT
42'-4 1/2"

SHEET LIST			
SHEET NUMBER	SHEET NAME	Current Revision	Sheet Issue Date
A1.0	TITLE PAGE		6.15.2023
A-1	ROOF PLAN-DEMO		6.15.2023
A-2	ROOF PLAN - NEW	1	6.15.2023
A-3	ELEVATIONS	1	6.15.2023
A-4	DETAILS	1	6.15.2023
A-5	DETAILS	1	6.15.2023
A-6	MASONRY REPAIR	1	6.15.2023



****VCC:**

- All wiring shall be placed in conduits
- All conduits shall be placed along the inside corners of building surfaces as much as possible, such as along gallery/balcony purlins at the deck line, and painted to match the adjacent surfaces.
- All fixtures shall use lamps with the following criteria: 3000K color temperature, 80+ color rendering index, and 600-800 lumens per bulb

NOTE: SPIRAL STAIR MUST BE PAINTED AND MAY NOT REMAIN EXPOSED ALUMINUM

****SEE NOTES****

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zach@zachsmithconsulting.com
+1 (504) 383-3748

CAUSEY RESIDENCE
ROOF & DECK REPAIR &
IMPROVEMENTS
528 WILKINSON ST.
NEW ORLEANS, LOUISIANA

No.	Description	Date
1.	ADDENDUM #1	11/4/22
2.	REVISION 1-VOG REVIEW	11/3/22
3.	REVISION 2- STAIR	4/13/2023
4.	REVISION 2- LIGHTING	4/13/2023
5.	REVISION 3- STAIR RISERS	6/5/2023
6.	REVISION 4- LIGHTING	6/15/2023

TITLE PAGE

Project name: CAUSEY
Project number: RESIDENCE
Project Number: 6.15.2023
Date: 6.15.2023
Drawn by: Author
Checked by: Checker

A1.0

528 Wilkinson

VCC Architectural Committee

September 9, 2025

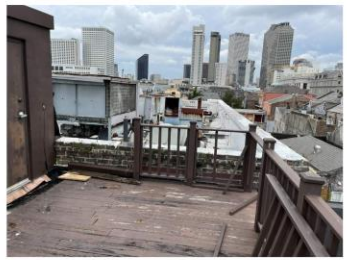




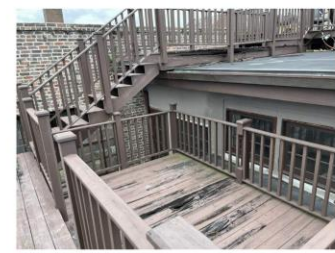
3 EXISTING CONDITION



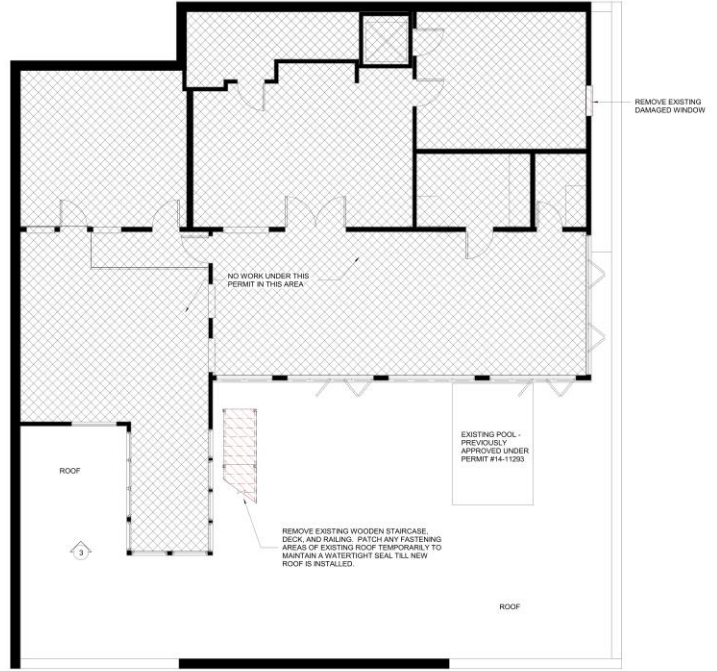
4 EXISTING CONDITION



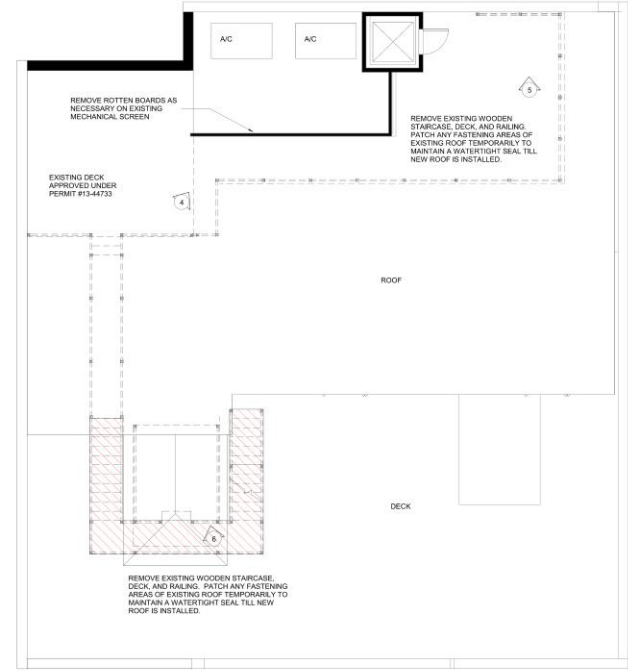
5 EXISTING CONDITION



6 EXISTING CONDITION



1 3RD FLOOR PLAN-DEMO
3/16" = 1'-0"



2 ROOF-DEMO
3/16" = 1'-0"



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IMPROVEMENTS
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NEW ORLEANS, LOUISIANA

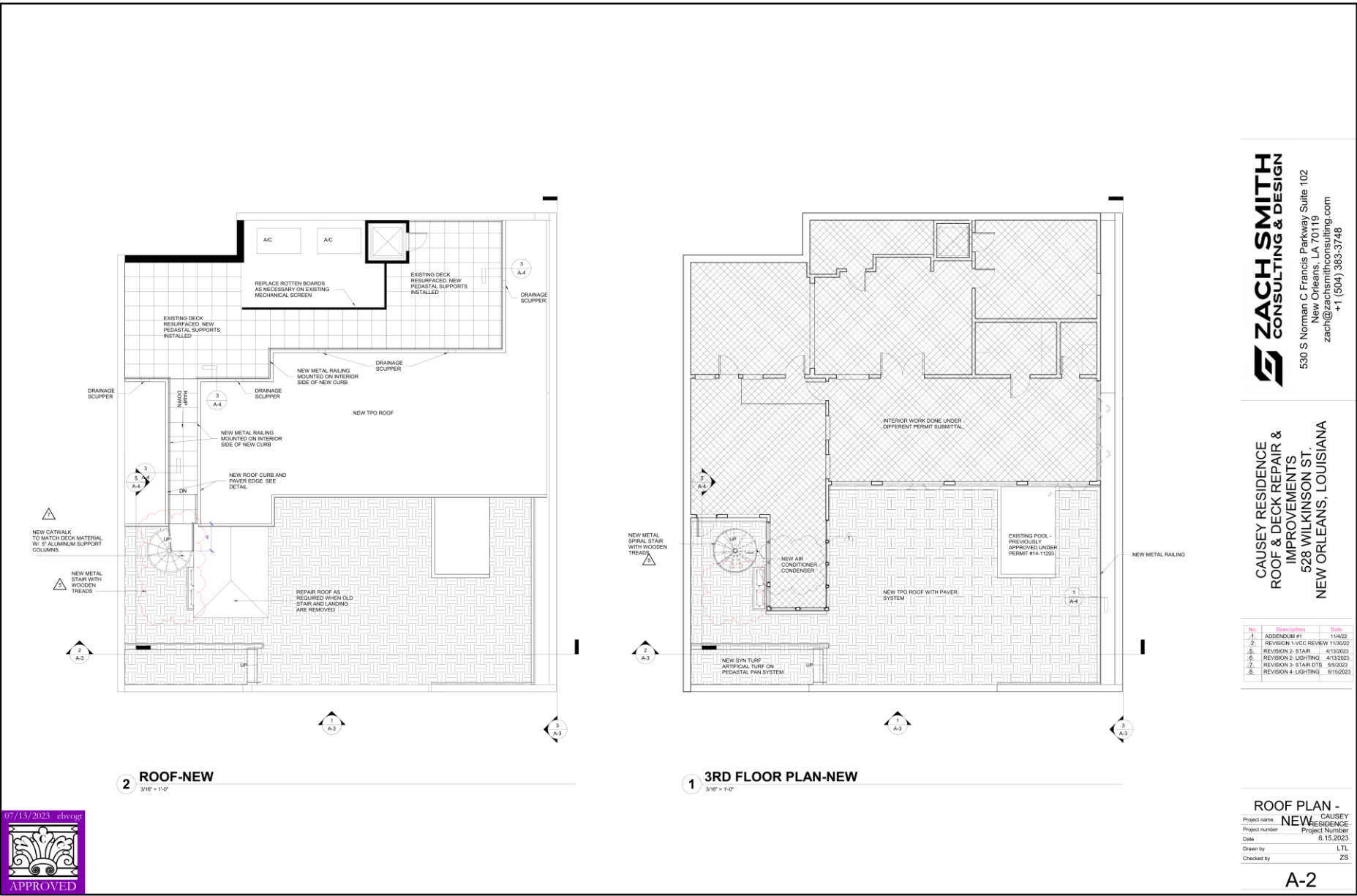
No.	Description	Date
1	ADDENDUM #1	11/4/22
2	REVISION 1-VCC REVIEW	11/30/22
3	REVISION 2- STAIR	4/13/2023
4	REVISION 2- LIGHTING	4/13/2023
5	REVISION 3- STAIR DTS	5/5/2023
6	REVISION 4- LIGHTING	6/15/2023

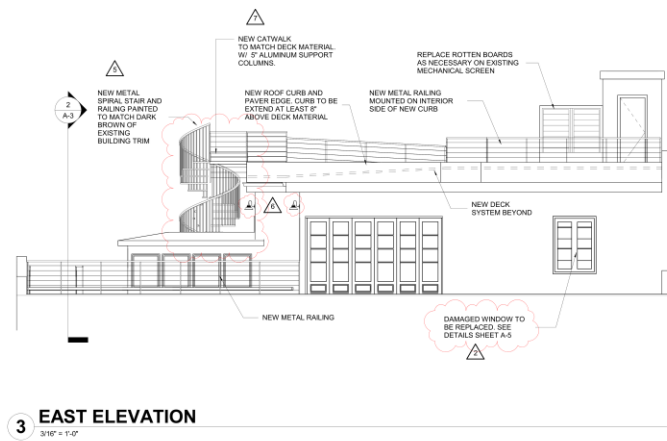
VCC SUBMITTAL

ROOF
PLAN-DEMO
Project number: 6.15.2023
Date: 6.15.2023
Drawn by: LTL
Checked by: ZS

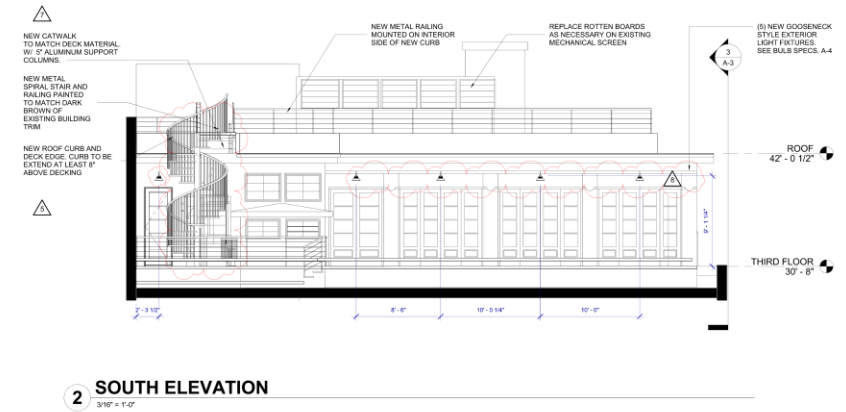
A-1







3 EAST ELEVATION
3/16" = 1'-0"

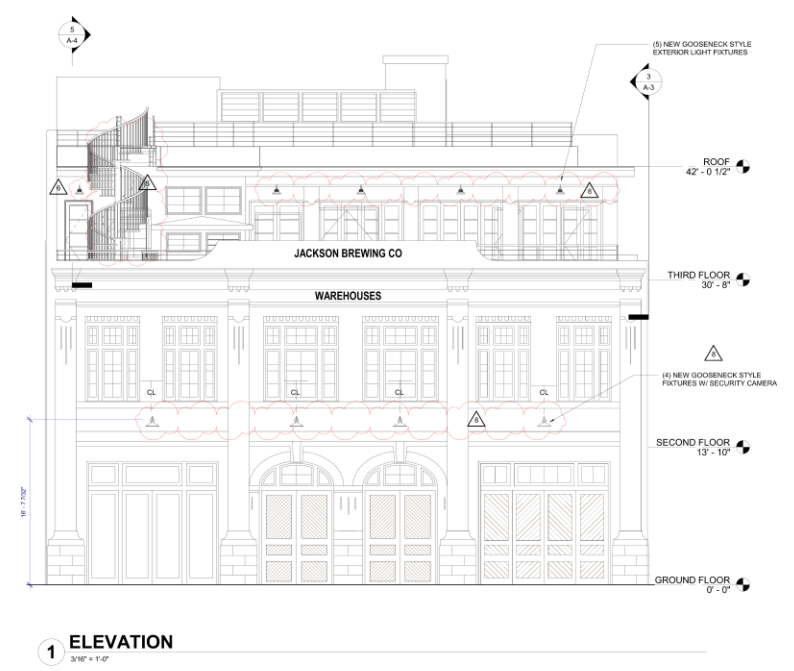


2 SOUTH ELEVATION
3/16" = 1'-0"



****VCC:**
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•All fixtures shall use lamps with the following criteria: 3000K color temperature, 80+ color rendering index, and 600-800 lumens per bulb

NOTE: SPIRAL STAIR MUST BE PAINTED AND MAY NOT REMAIN EXPOSED ALUMINUM



1 ELEVATION
3/16" = 1'-0"

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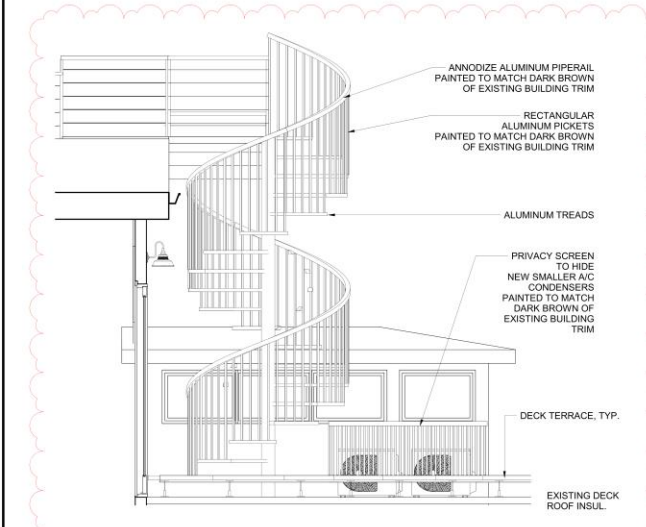
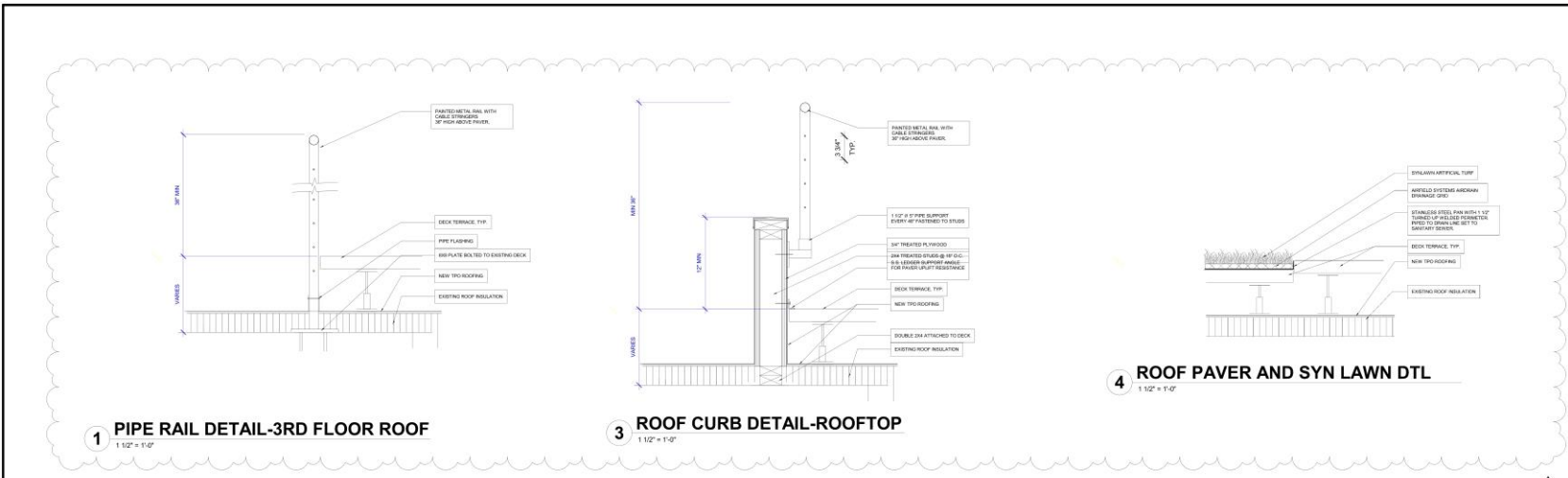
CAUSEY RESIDENCE
ROOF & DECK REPAIR &
IMPROVEMENTS
528 WILKINSON ST.
NEW ORLEANS, LOUISIANA

NO.	DESCRIPTION	DATE
1.	ADDENDUM #1	11/4/22
2.	REVISION 1-VCC REVIEW	11/30/22
3.	REVISION 2-STAIR	4/13/2023
4.	REVISION 2-LIGHTING	4/13/2023
5.	REVISION 3-STAIR DTS	5/5/2023
6.	REVISION 4-LIGHTING	6/15/2023

ELEVATIONS	
Project name	CAUSEY RESIDENCE
Project number	Project Number 6.15.2023
Date	6.15.2023
Drawn by	LTL
Checked by	ZS

A-3





****VCC:**
•All wiring shall be placed in conduits
•All conduits shall be placed along the inside corners of building surfaces as much as possible, such as along gallery/balcony purlins at the deck line, and painted to match the adjacent surfaces.
•All fixtures shall use lamps with the following criteria: 3000K color temperature, 80+ color rendering index, and 600-800 lumens per bulb
NOTE: SPIRAL STAIR MUST BE PAINTED AND MAY NOT REMAIN EXPOSED ALUMINUM

Black Goose-neck Barn Light with 16-inch Shade

Product Number: 666380
Manufacturer: Recesso Lighting by Dean Designs
Model Number: RL-ARM-RLKSH16-BLK
Collection: Barn Light
Manufacturer Finish: Black
Manufacturer Shade Color: Black
Total Wattage: 200 w
Voltage Type: Line Voltage
Height: 13.75 in.
Width: 16 in.
Depth: 22.5 in.
Weight: 200
Bulb Type: Incandescent
Bulb Shape: A-type
Base Type: Medium Screw (E26)
Number Of Bulbs: 1
Bulb Included: No
Bulb Dimmable: No
Dark Sky: Yes
ADA Compliant: No

EnergyStar Compliant: No
Shade Material: Metal
Material: Aluminum
Shipping: UPS Regular
Backplate Agency: ETL
Wet Location: Yes
Damp Location: Yes
Harsh Environ/Coastal: No
Made In America: No
Dusk To Dawn: No
Motion Sensor: No
Title 24: No

LIGHT BULB SPECIFICATIONS:
3000K COLOR TEMPERATURE
80+ COLOR RENDERING INDEX
MAXIMUM 600-800 LUMENS

6 EXTERIOR LIGHT DETAIL

R311.7.10 Special stairways. Spiral stairways and bulk-head enclosure stairways shall comply with the requirements of Section R311.7 except as specified in Sections R311.7.10.1 and R311.7.10.2.

R311.7.10.1 Spiral stairways. Spiral stairways are permitted, provided that the clear width at and below the handrail is not less than 26 inches (660 mm) and the walkline radius is not greater than 24 1/2 inches (622 mm). Each tread shall have a depth of not less than 6 3/4 inches (171 mm) at the walkline. All treads shall be identical, and the rise shall be not more than 9 1/2 inches (241 mm). Headroom shall be not less than 6 feet 6 inches (1982 mm).

R311.8.3 Handrails required. Handrails shall be provided on not less than one side of ramps exceeding a slope of one unit vertical in 12 units horizontal (8.33-percent slope).

R311.8.3.1 Height. Handrail height, measured above the finished surface of the ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

R311.8.3.2 Grip size. Handrails on ramps shall comply with Section R311.7.8.3.

R311.8.3.3 Continuity. Handrails where required on ramps shall be continuous for the full length of the ramp. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrails

ALUMINUM RAILING AND BALUSTERS PAINTED TO MATCH DARK BROWN OF EXISTING BUILDING TRIM

7 SPIRAL STAIR DETAIL

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CAUSEY RESIDENCE ROOF & DECK REPAIR & IMPROVEMENTS
528 WILKINSON ST.
NEW ORLEANS, LOUISIANA

No.	Description	Date
1.	ADDENDUM #1	11/4/22
2.	REVISION 1-VCC REVIEW	11/30/22
3.	REVISION 2- STAIR	4/13/2023
4.	REVISION 2- LIGHTING	4/13/2023
5.	REVISION 3- STAIR ETC.	5/5/2023
6.	REVISION 4- LIGHTING	6/15/2023

DETAILS
Project name: CAUSEY RESIDENCE
Project number: 24-001
Date: 6.15.2023
Drawn by: LTL
Checked by: ZS

A-4

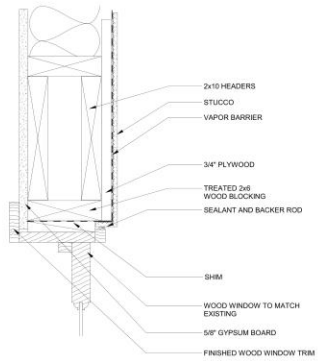




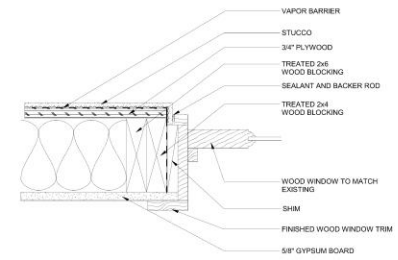
EXISTING DAMAGED WINDOW



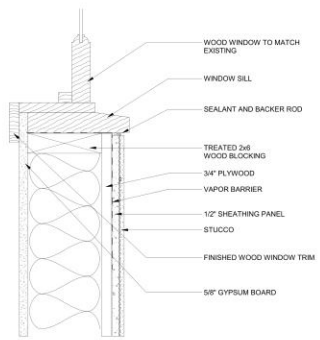
REPLACEMENT WINDOW



1 WINDOW HEAD DETAIL
3" x 1'-0"



2 WINDOW JAMB DETAIL
3" x 1'-0"



3 WINDOW SILL DETAIL
3" x 1'-0"

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IMPROVEMENTS
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NEW ORLEANS, LOUISIANA

No.	Description	Date
1.	ADDENDUM #1	11/4/22
2.	REVISION 1- VCC REVIEW	11/30/22
3.	REVISION 2- STAIR	4/13/2023
4.	REVISION 3- LIGHTING	4/13/2023
5.	REVISION 3- STAIR DET.	5/2/2023
6.	REVISION 4- LIGHTING	6/15/2023

DETAILS

Project name: CAUSEY
Project number: RESIDENCE
Date: 6.15.2023
Drawn by: Author
Checked by: Checker

A-5

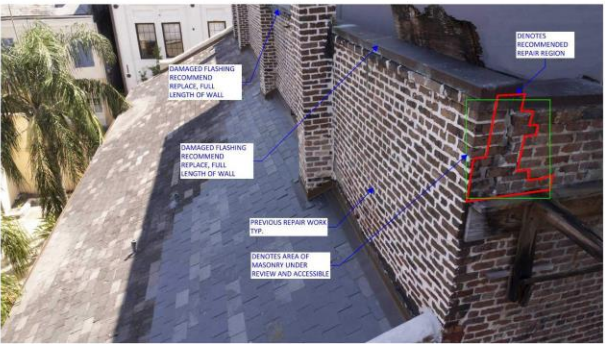
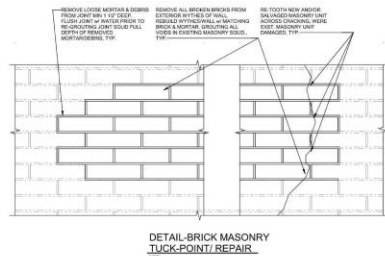


528 Wilkinson

VCC Architectural Committee

September 9, 2025





Vieux Carré Commission Approved Standard Mortar & Stucco Details

Mortar: No more than:

- 1 part Portland Cement, to
- 3 parts lime, and
- 9 parts sand, and
- enough water to form a workable mix.

PREFABRICATED MIXES ARE NOT PERMITTED.

The resulting mortar should range in color from white to beige but should not be grey in color. When repointing, all mortar to be tuck-pointed to match existing joint profiles. Consult with VCC staff if existing joint profile is indeterminate.

Stucco: Base coat consists of 2 coats, double up work of 5/8" total thickness. Proportional as follows:

- no greater than 1:12 part Portland Cement, to
- 3 parts lime, and
- 9 parts sand,
- 6 lbs cubic yard hair or fiber, and
- enough water to form a workable mix.

Finish coat is 1/4" in total thickness proportional as follows:

- No more than 1 Part Portland cement,
- 3 Parts Lime,
- 9 Parts Sand,
- enough water to form a workable mix.

PREFABRICATED MIXES ARE NOT PERMITTED.

LATH OF ANY KIND IS NOT ALLOWED.

The resulting mix should range in color from off-white to beige but should not be grey in color.

Note: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12.

An incoherent mortar, one damaged, an historic building and a mortar.

MORTAR IS NOT TO BE APPLIED OVER THE FACE OF THE BRICKS UNDER ANY CIRCUMSTANCES.

VOIDS IN THE BRICK ARE NOT TO BE FILLED WITH MORTAR. BROKEN, DETERIORATED BRICKS MUST BE REPLACED WITH BRICKS MATCHING THE PREVIOUS.

Doing so will result in a **STOP WORK ORDER** being placed on the property and a violation case will be opened on the property. Violation cases can lead to hearings where \$500 per violation will be placed on the property.

MORTAR HARDNESS & MASONRY

Temperature changes cause masonry units to expand when heated and contract when cold. The expansion and contraction of the masonry units results in compression and flexing of the adjacent mortar joints.

Low bond mortar is friable and is more likely to compress and flex through temperature cycles. If properly formulated, it is softer than the adjacent masonry.

Portland cement-based mortars are significantly harder than low bond mortars and are less likely to compress. Portland cement mortars tend to be substantially harder than masonry. When masonry units expand in warm temperatures, the joints against the mortar are often spalling at the edges. During colder temperatures, masonry units tend to pull away from mortar, resulting in open cracks that can allow moisture to penetrate.



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**CAUSEY RESIDENCE
ROOF & DECK REPAIR &
IMPROVEMENTS
528 WILKINSON ST.
NEW ORLEANS, LOUISIANA**

No.	Description	Date
1.	ADDENDUM #1	11/4/22
2.	REVISION VCC REVIEW	11/30/22
3.	REVISION 2: STAIR	4/13/2023
4.	REVISION 2: LIGHTING	4/13/2023
5.	REVISION 3: STAIR STPS	4/13/2023
6.	REVISION 4: LIGHTING	6/15/2023

MASONRY REPAIR
Project name: CAUSEY RESIDENCE
Project number: 1111111111
Date: 6.15.2023
Drawn by: Author
Checked by: Checker

A-6

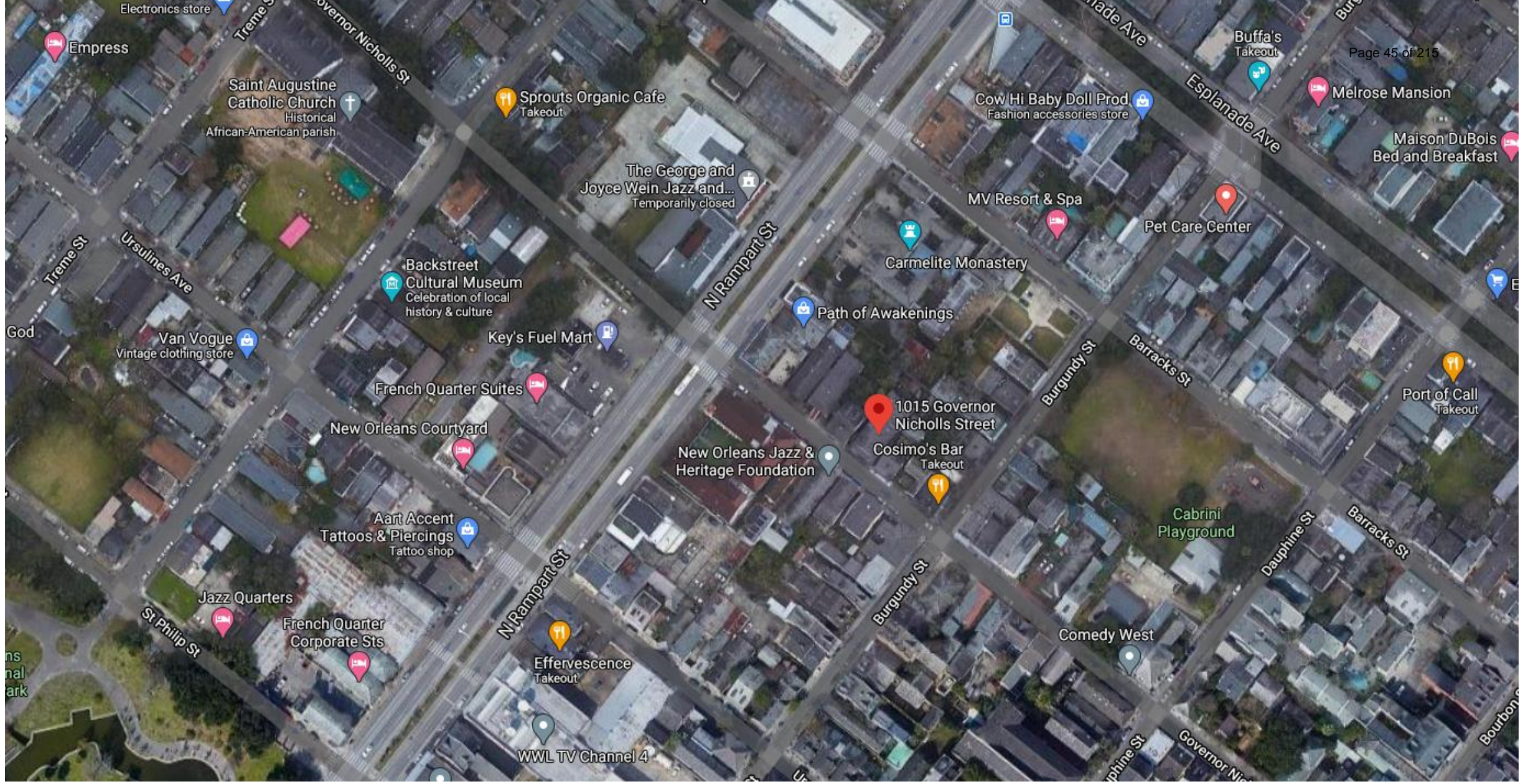




New Business



1015 Gov. Nicholls



1015 Governor Nicholls

VCC Architectural Committee

September 9, 2025





1015 Governor Nicholls

VCC Architectural Committee

September 9, 2025



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September 9, 2025



SILVA Construction

AGREEMENT

State License #555610
 4439 S. Rocheblave St
 New Orleans, LA 70125
silvaconstruction@cox.net

05/30/2025

Prepared For:

Reilly Bruce, Roberts Robin Ann, Ernest Fuhrmann, Dean E II Altenhofen, Jermaie J Gauthreaux

1015 Governor Nicholls St
 New Orleans

JOB DESCRIPTION

Repair and Waterproof interior block porch supports, - Remove all block excess grout, Epoxy seal Wall, Cap, lift the porch and repair the interior support walls by repointing the brick pulling them in and straightening them. shouldn't have to touch the exterior cladding.

1015 Governor Nicholls

VCC Architectural Committee

September 9, 2025





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September 9, 2025





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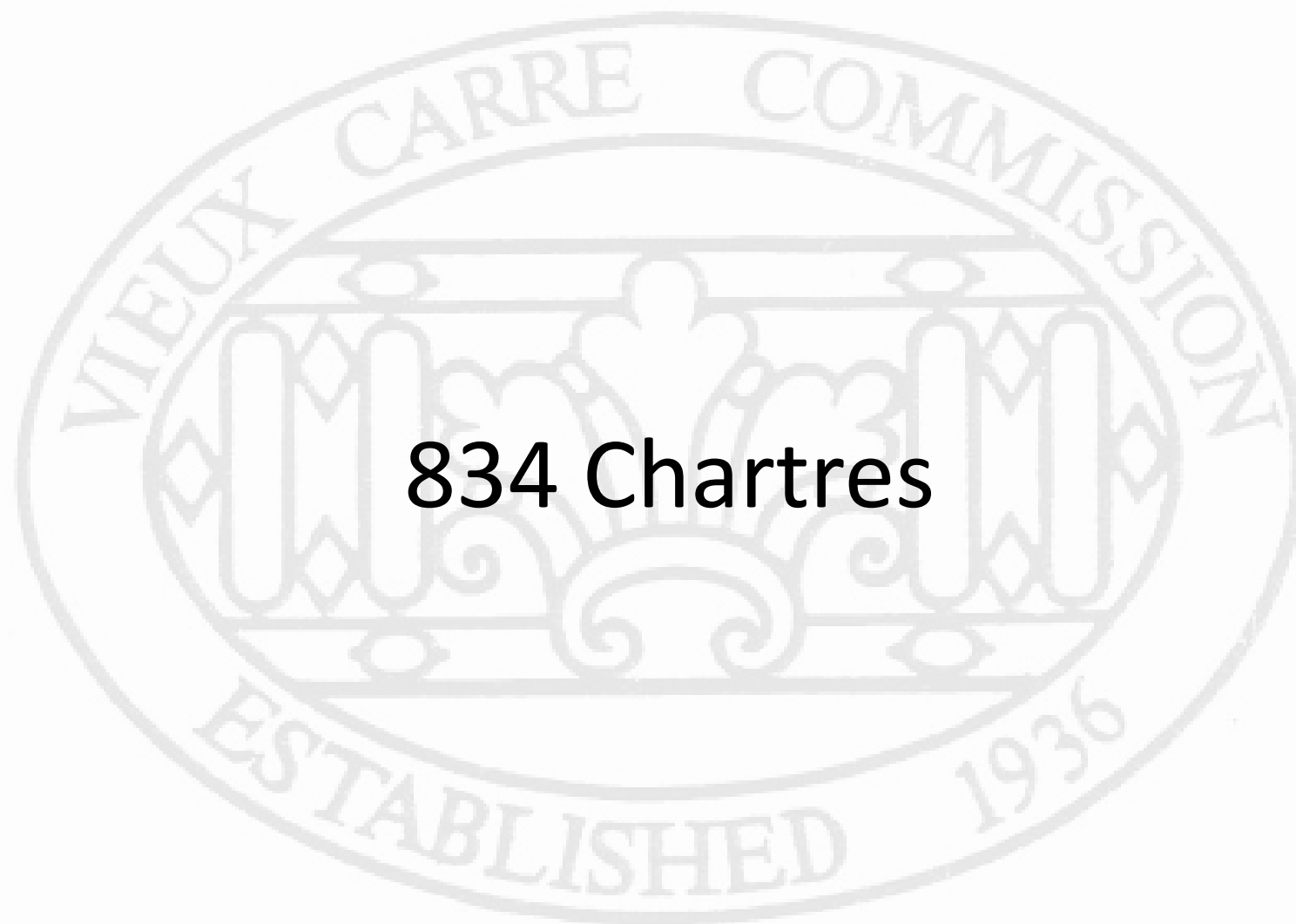


1015 Governor Nicholls

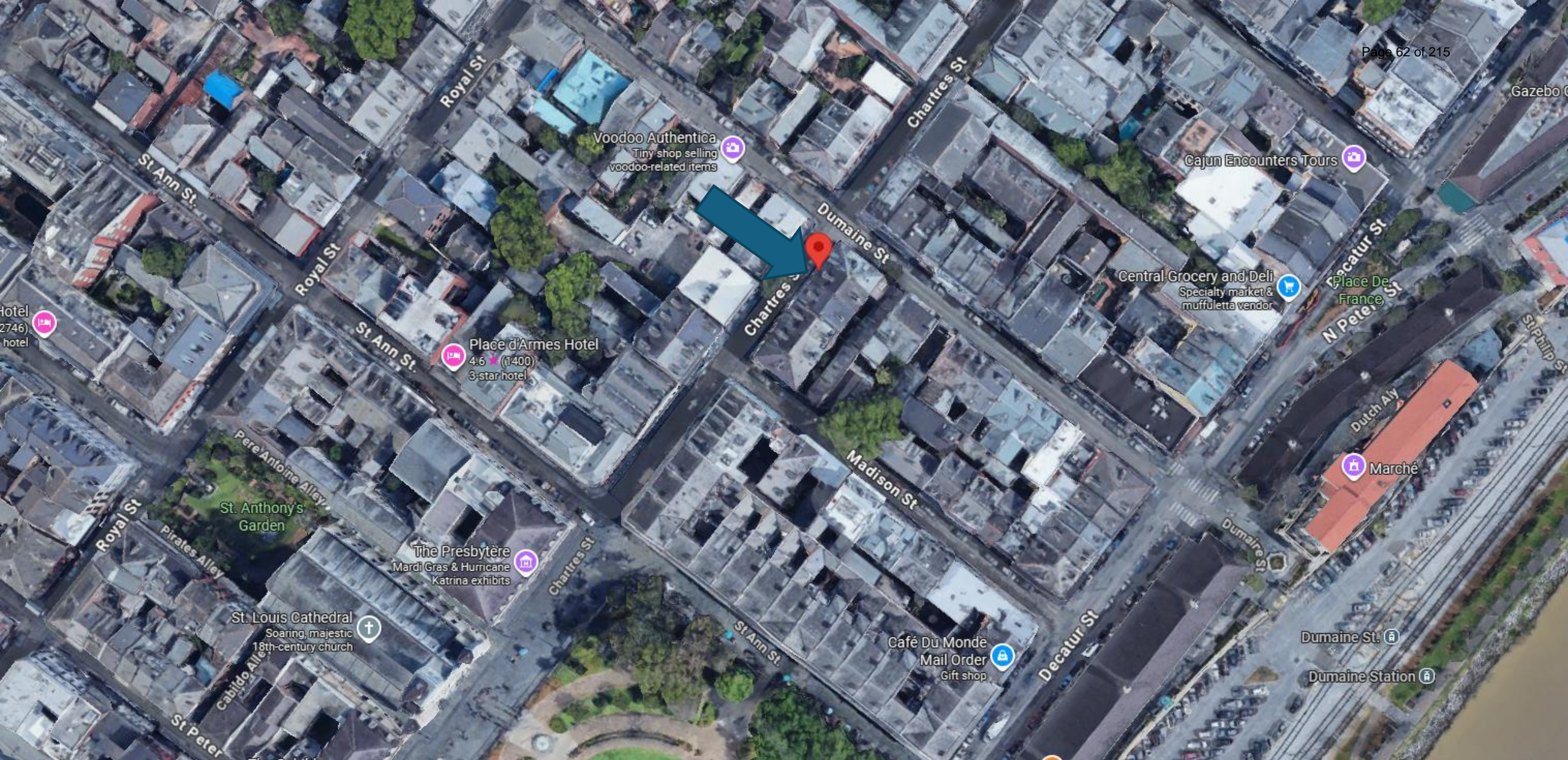
VCC Architectural Committee

September 9, 2025





834 Chartres



834 Chartres

VCC Architectural Committee

September 9, 2025





834 Chartres, 1951

VCC Architectural Committee

September 9, 2025





834 Chartres, 1965

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September 9, 2025





834 Chartres

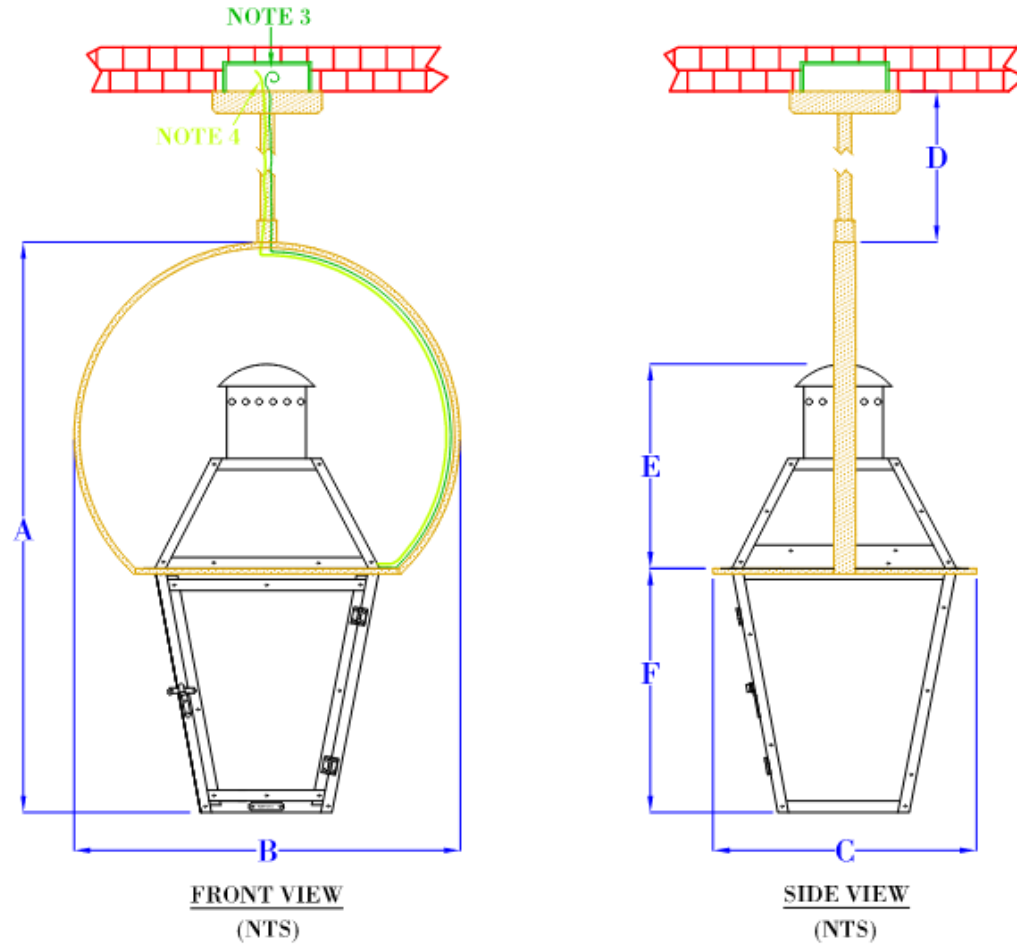
VCC Architectural Committee

September 9, 2025

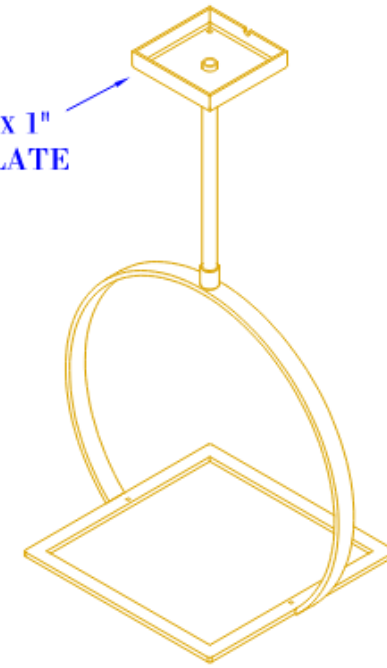




834 Chartres



5" x 5" x 1"
BOX PLATE



NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}$ " COPPER GAS LINE AND $\frac{3}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	14"	18"	21"	24"	27"	30"	36"
A:	20"	23 $\frac{1}{4}$ "	25 $\frac{5}{8}$ "	30"	32 $\frac{1}{2}$ "	37 $\frac{3}{8}$ "	45 $\frac{3}{8}$ "
B:	14 $\frac{1}{4}$ "	15 $\frac{7}{8}$ "	17 $\frac{1}{4}$ "	20 $\frac{1}{2}$ "	21 $\frac{7}{8}$ "	25 $\frac{7}{8}$ "	31"
C:	9 $\frac{7}{8}$ "	11 $\frac{1}{4}$ "	12 $\frac{1}{8}$ "	14 $\frac{3}{8}$ "	15 $\frac{1}{4}$ "	18 $\frac{1}{4}$ "	22 $\frac{1}{4}$ "
D:	VARIES	VARIES	VARIES	VARIES	VARIES	VARIES	VARIES
E:	6 $\frac{1}{4}$ "	7 $\frac{5}{8}$ "	9 $\frac{3}{8}$ "	12 $\frac{3}{8}$ "	11 $\frac{7}{8}$ "	14 $\frac{1}{2}$ "	17 $\frac{3}{8}$ "
F:	8"	10 $\frac{1}{8}$ "	11 $\frac{1}{8}$ "	12 $\frac{7}{8}$ "	14 $\frac{3}{8}$ "	16 $\frac{1}{8}$ "	19 $\frac{5}{8}$ "

BEVOLO GAS & ELECTRIC LIGHTS

LIGHT:	FRENCH QUARTER	DATE:	APP. BY:	JJG	CONTAINED THEREIN ARE CONSIDERED PROPERTY OF BEVOLO GAS AND ELECTRIC LIGHTS. NEITHER THE DRAWING NOR ITS CONTENT MAY BE COPIED, REPRODUCED, OR EDITED TO A LIKENESS WITHOUT THE WRITTEN CONSENT OF BEVOLO GAS AND ELECTRIC LIGHTS.
BRACKET:	YOKE	3-11-25	REVISION:	13	

834 Chartres





834 Chartres

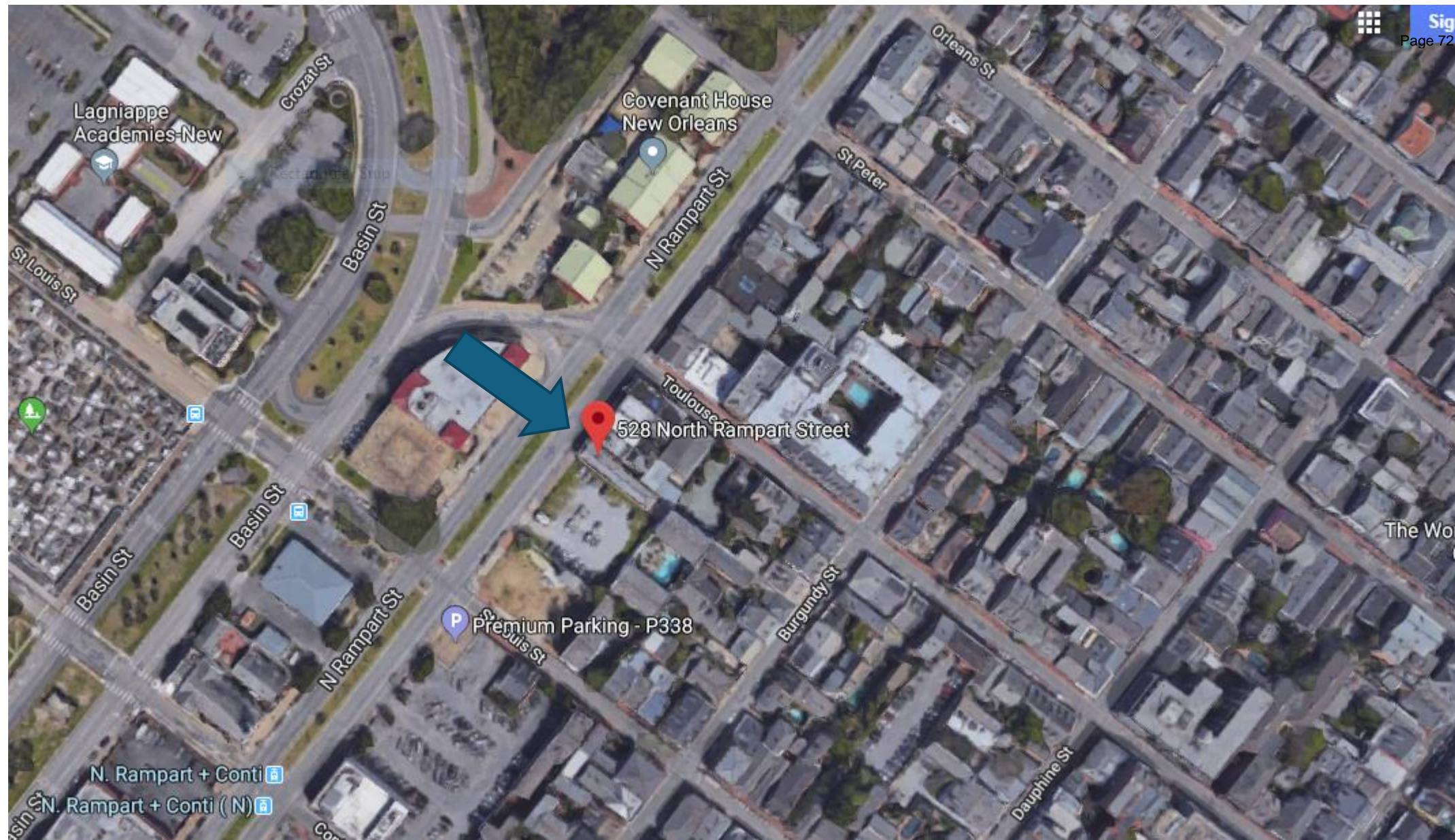


834 Chartres – Existing Lights at 828 Chartres



834 Chartres – Existing Lights at 828 Chartres

528 N. Rampart



528 N Rampart



528 N Rampart



528 N Rampart



528 N Rampart

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528 N Rampart



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Example gate to model for new gate.

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528 N Rampart

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The security gate is sized to fit the opening and aligns with frames and muntins with a simple barrier grille and no decoration. The decorative fanlight transom remains visible.

September 9, 2025



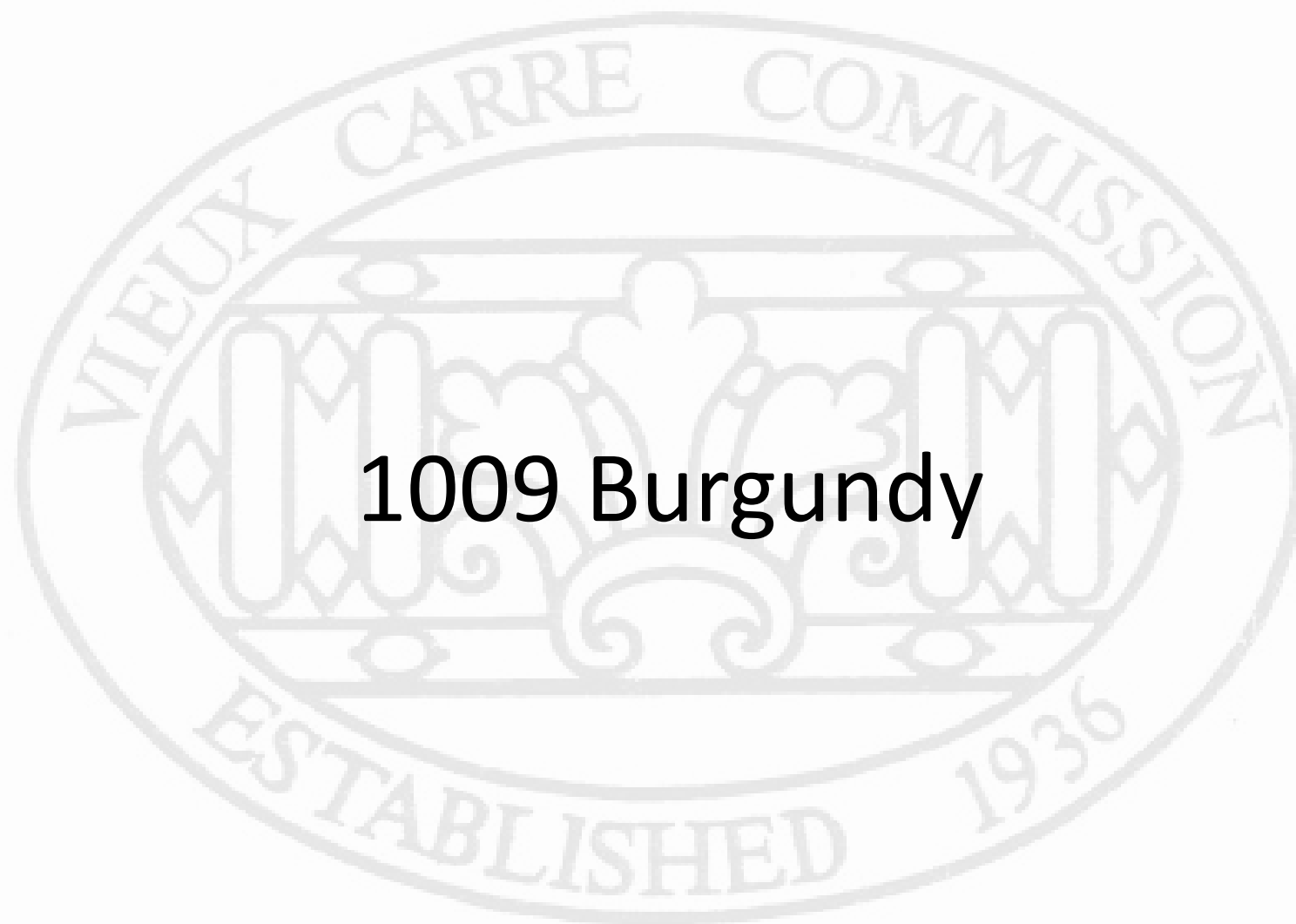


528 N Rampart – Sitting Deterrent Example



508 Burgundy

Applicant Requests Deferral



1009 Burgundy



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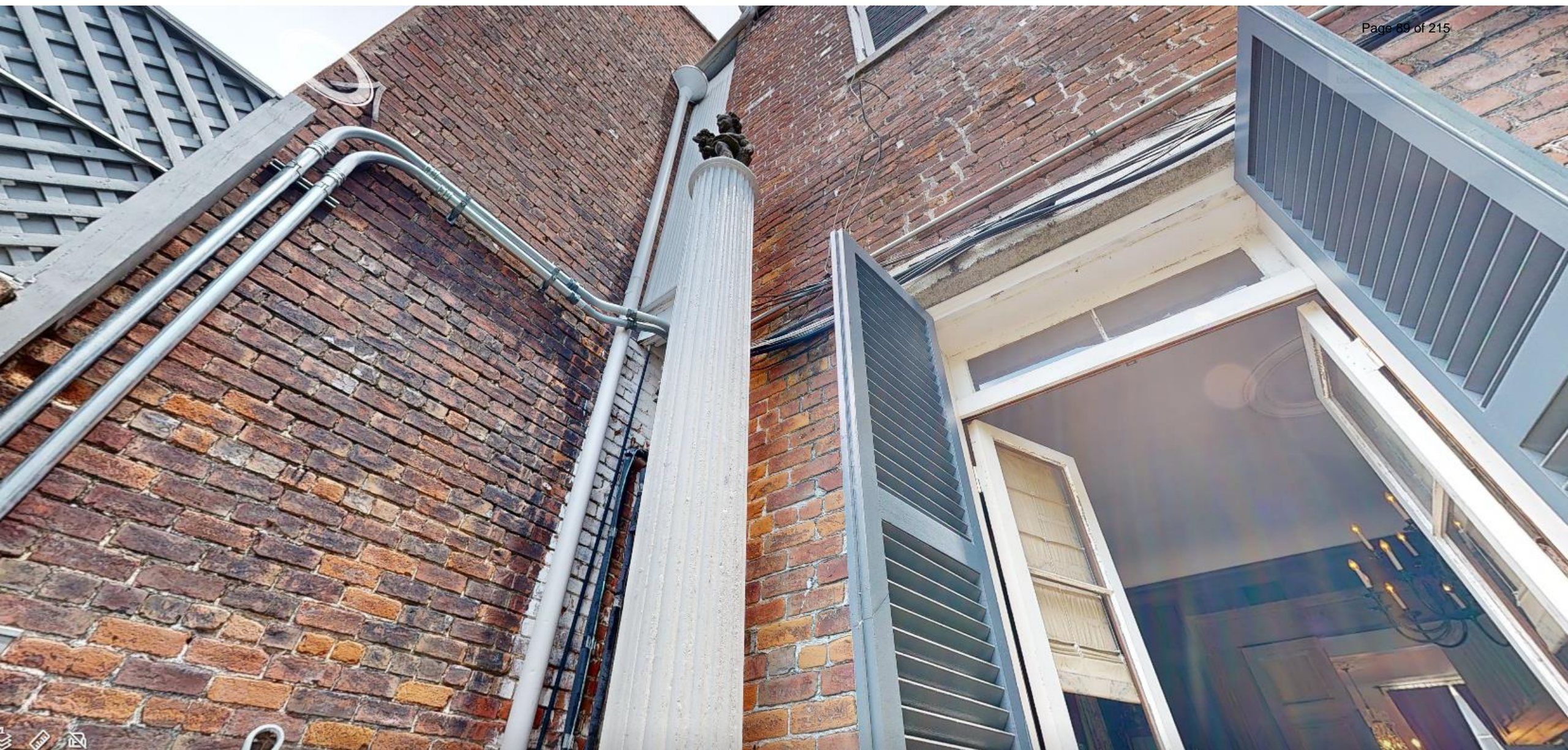


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EXTERIOR REPAIRS

FOR

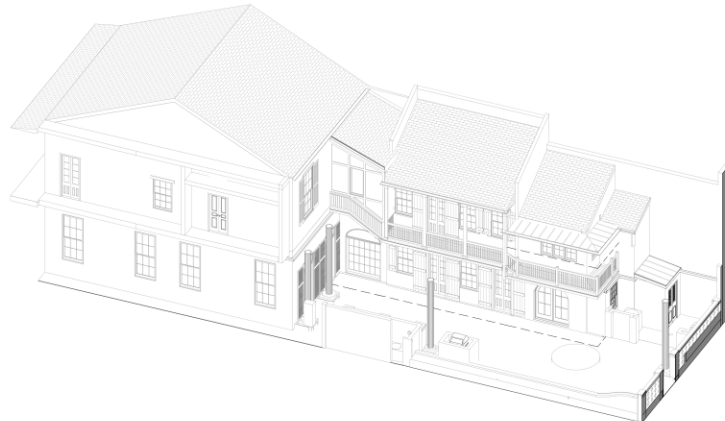
THE RESIDENCE OF:

JEFFERY & CELIA COLLINS

AT

1009 BURGUNDY STREET

NEW ORLEANS, LA. 70116



CLASSICAL ROOTS ARCHITECTURE LLC

ARCHITECT
806 BELLEVILLE STREET
PH: 504/603-6881

A LIMITED LIABILITY COMPANY
NEW ORLEANS, LA 70114
EM: MICHAEL@CLASSICALROOTS.COM

WALTER F. ZEHNER, III, P.E.

STRUCTURAL ENGINEER
4702 TOULOUSE ST.
PH: 504/488-1442

A PROFESSIONAL STRUCTURAL ENGINEER
NEW ORLEANS, LA 70119
EM: WALTERZEHNER@MSN.COM

DRAWING INDEX - EXTERIOR REPAIRS

SHEET NUMBER	SHEET NAME	CURRENT REVISION
A.000	TITLE SHEET	
C.100	SURVEY	
A.101	FIRST FLOOR PLAN	
A.102	SECOND FLOOR PLAN	
A.201	SOUTH & EAST ELEVATIONS	
A.601	SKITTER DETAILS	
A.701	REBURN MEP	



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4702 TOULOUSE ST.
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WALTERZEHNER@MSN.COM

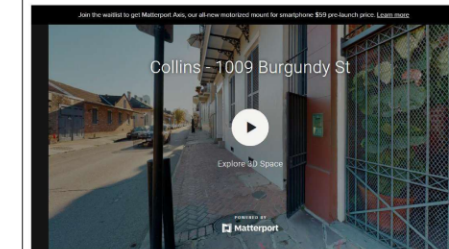
**3D WALKTHROUGH SCAN OF THE EXISTING
PROPERTY FOR CONTRACTORS AND
SUBCONTRACTORS BIDDING ON PROJECT**

CLICK LINK BELOW:

<https://my.matterport.com/show/?m=o5wM4Dp2xeh>

Collins - 1009 Burgundy St

SPACE DETAILS ADD-ONS DOWNLOADS STATS



DD SET

No.	Description	Date

**COLLINS RESIDENCE
- EXTERIOR REPAIRS**

JEFFERY & CELIA COLLINS
1009 BURGUNDY STREET
NEW ORLEANS, LA. 70116

TITLE SHEET

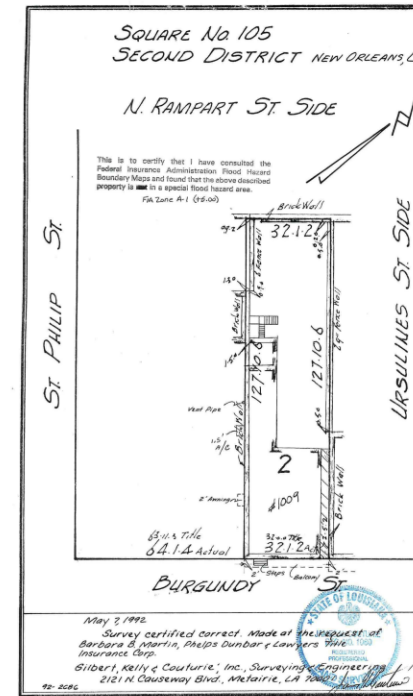
Project number	2021-007
Date	05/03/2023
Drawn by	MR
Checked by	MR
Scale	A.000

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1 SURVEY
NTS

DD SET

No.	Description	Date

COLLINS RESIDENCE
- EXTERIOR REPAIRS

JEFFERY & CELIA COLLINS
1009 BURGUNDY STREET
NEW ORLEANS, LA 70116

SURVEY

Project number 2021-007
Date 05/03/2023
Drawn by Author
Checked by Checker
Scale C.100

05/03/2023 2:26:37 PM

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ALL DIMS FINISH TO FINISH

1. ALL DIMENSIONS ARE GIVEN FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED.

2. ALL FURNITURE & ARTWORK NIC TO BE SUPPLIED & INSTALLED BY OWNER.

[illegible]

JEFFERY & CELIA COLLINS
1009 BURGUNDY STREET
NEW ORLEANS, LA. 70116

**SECOND FLOOR
PLAN**

Project number	2021-007
Date	05/03/2023
Drawn by	MR
Checked by	MR
A.102	
Scale	As indicated





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806 BELLEVILLE ST.
NEW ORLEANS, LA 70114
MOBILE: (504)-603-6881
MICHAEL@CLASSICALROOTS.COM

KEYNOTE A.601	
#	KEYNOTE DESCRIPTION

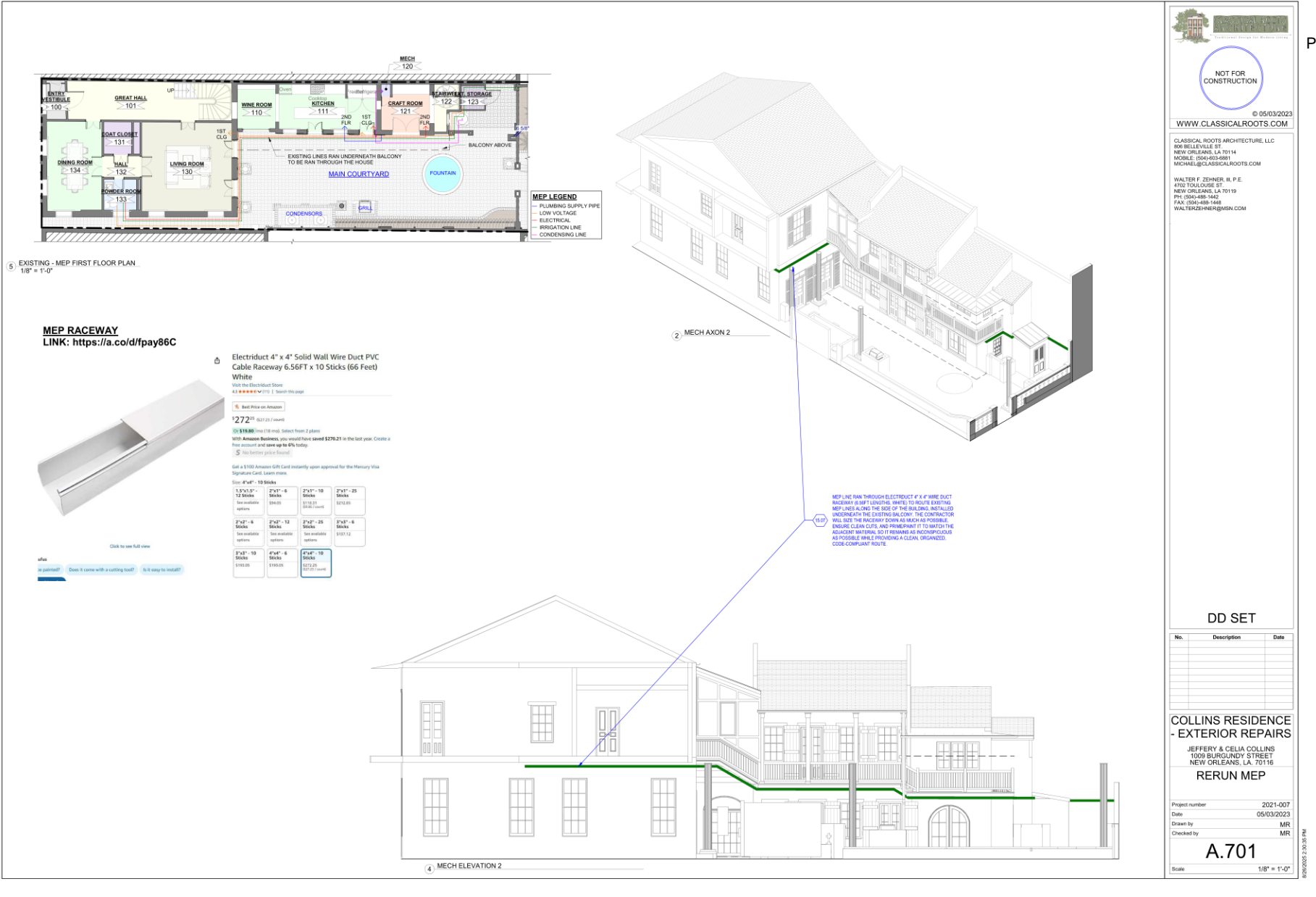
RECEIVED
APR 2 1964
VIEUX CARRE
COMMISSION

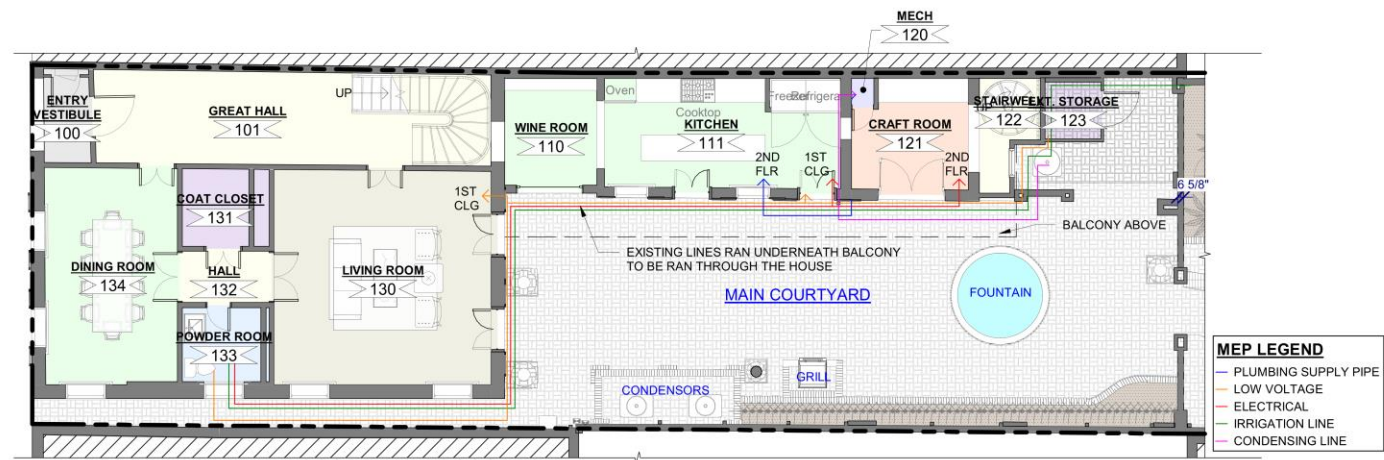
1 APR

[illegible]

Scale	12" = 1'-0"
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2 PHOTO OF EXISTING SHUTTER
12" = 1'-0"





5 EXISTING - MEP FIRST FLOOR PLAN
1/8" = 1'-0"

MEP RACEWAY

LINK: <https://a.co/d/fpay86C>

The image shows a screenshot of an Amazon product page for "Electriduct 4\" x 4\" Solid Wall Wire Duct PVC Cable Raceway 6.56FT x 10 Sticks (66 Feet) White". The product is shown in a 3D perspective view on the left. The right side of the page contains the product title, a star rating of 4.3, and pricing information: \$272.25 (\$27.23 / count) or \$19.80 / mo (18 mo). It also mentions a \$100 Amazon Gift Card offer. Below the pricing, there is a table of size options:

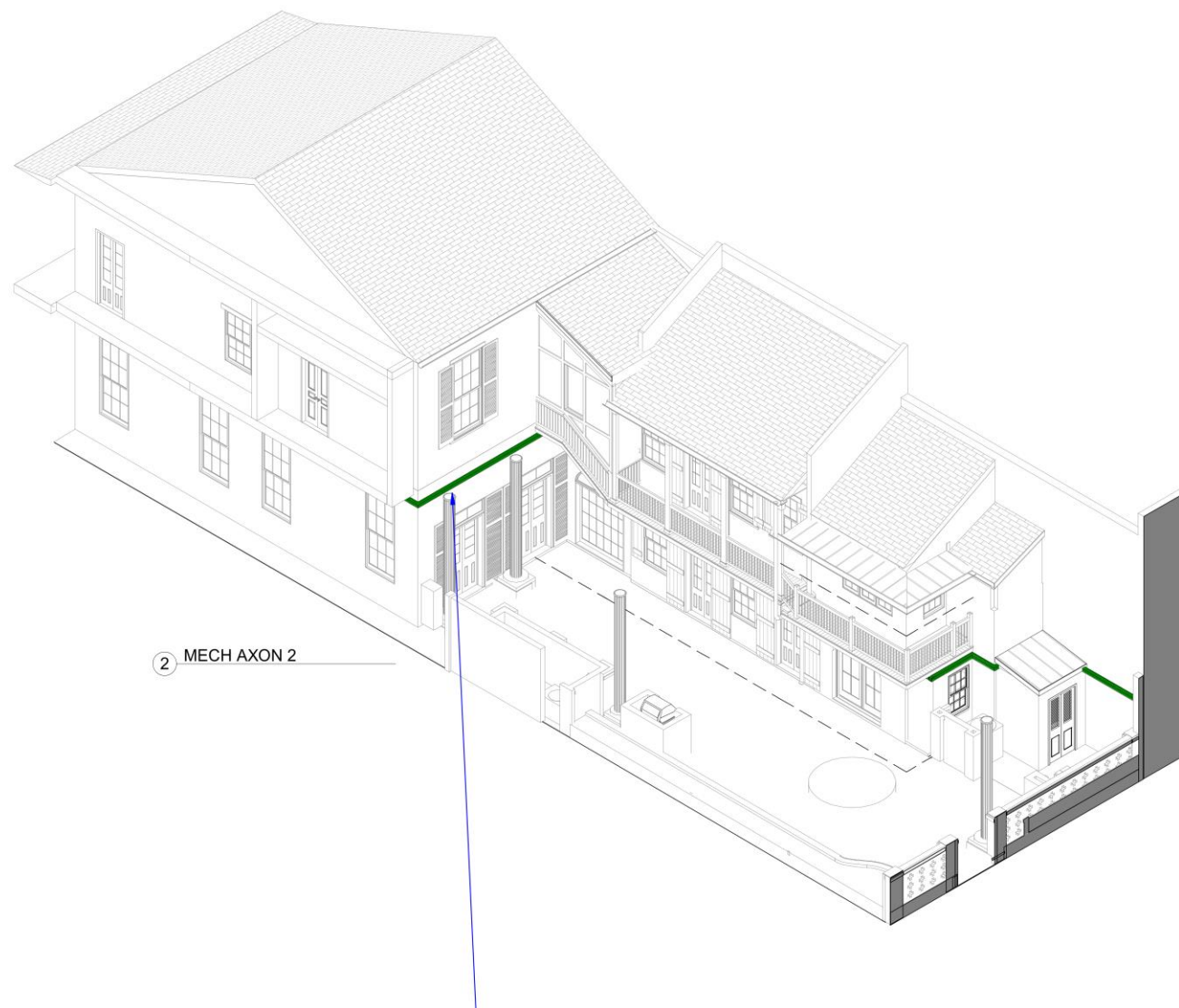
Size: 4"x4" - 10 Sticks			
1.5"x1.5" - 12 Sticks See available options	2"x1" - 6 Sticks \$94.05	2"x1" - 10 Sticks \$118.31 (\$9.86 / count)	2"x1" - 25 Sticks \$212.85
2"x2" - 6 Sticks See available options	2"x2" - 12 Sticks See available options	2"x2" - 25 Sticks See available options	3"x3" - 6 Sticks \$137.12
3"x3" - 10 Sticks \$193.05	4"x4" - 6 Sticks \$193.05	4"x4" - 10 Sticks \$272.25 (\$27.23 / count)	

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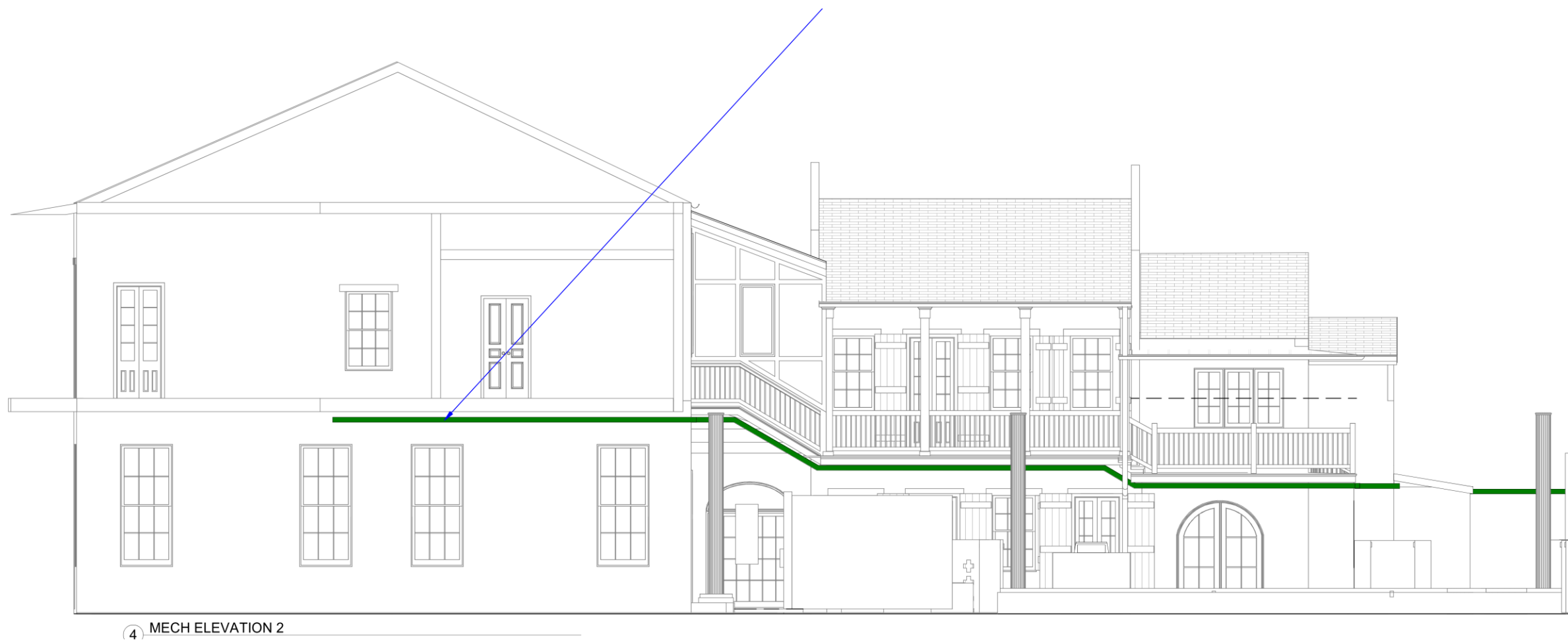


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PRODUCT DATA SHEET

Sikagard® SN-40

SILANE BASED REACTIVE WATER REPELLENT PENETRATING SEALER

PRODUCT DESCRIPTION

Sikagard® SN-40 is a highly penetrating, water-repelling silane sealer. Using proven technology, the material has been formulated to provide an integral barrier against the ingress of moisture and water-borne salts into concrete and masonry.

USES

- Building facades and civil engineering structures.
- Suitable for use on exposed horizontal and vertical surfaces including bridges and parking decks, barriers, abutment walls and marine structures.
- Prevention of deterioration arising out of soluble salts and freeze/thaw damage in reinforced concrete and porous block or brickwork.
- To help prolonging the design or service life of buildings and civil engineering structures.

PRODUCT INFORMATION

Chemical Base	100% reactive alkylalkoxy silane in mineral spirits
Packaging	55 gallon drum
Shelf Life	2 years in original, unopened container
Storage Conditions	Store between 0 and 85 °F (-18 and 30 °C). Condition material between 50 and 85 °F (10 and 30 °C) prior to use.
Density	6.9 lbs/gal.
Flash Point	102°F
Active Content	40%
Viscosity	<20 cps

Product Data Sheet
Sikagard® SN-40
March 2020, Version 01.02
020303010010000019

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CHARACTERISTICS / ADVANTAGES

- Good penetration
- Solvent based emulsion, good for low temperatures
- Economic and easy to use
- Reduces capillary water absorption, protection against driving rain and splashing on vertical areas
- Reduction of absorption of aggressive or deleterious agents dissolved in water (i.e. chlorides)
- No change in water vapor permeability Increases the resistance of concrete to freeze and thaw cycles and de-icing salts
- Resistant to sea water
- Ready to use

TECHNICAL INFORMATION

Resistance to Alkalinity	85.3%	150 ft ² /gal	(Alberta BT002)
	84.2%	225 ft ² /gal	
Permeability to Water Vapor	90.2%	150 ft ² /gal	(Alberta BT001)
	84.3%	225 ft ² /gal	
Rapid Chloride Permeability	82%	1 day	(NCHRP 244 Series II)
	87%	5 days	
	90%	21 days	(NCHRP 244 Series IV)
	98%		
	53.5%	0.625-0.5" depth	(AASHTO T-259/260)
Coverage	The recommended coverage rate for most concrete substrates is 150 ft ² /gal. Very porous surfaces may require 2 coats.		
	Substrate	Coverage	
	Bridge Decks/Ramps	150-250 ft ² /gal	
	Resealing Bridge Decks/Ramps	150-300 ft ² /gal	
	Smooth Concrete	150-225 ft ² /gal	
	Exposed Aggregate	100-200 ft ² /gal	
	Concrete Block	50-100 ft ² /gal	
	Brick/Stone	60-200 ft ² /gal	
	Coverage rates are provided as a guideline only. Many factors including surface texture, porosity and weather conditions will determine actual coverage rates.		
Substrate Temperature	Recommended substrate temperatures are between 40-90°F. Material may be applied as low as 20°F, providing the substrate is ice-free/frost-free, though lower penetration might be expected.		
Waiting / Recoat Times	Sikagard® SN-40 loses its solvent very rapidly after application. However, the reaction of the residual silane monomer with the substrate will take at least 24 hours at a temperature of 77 °F (25 °C). Drying is considerably longer at colder temperatures. Do not apply if rain is expected within 4-6 hrs of application.		

SURFACE PREPARATION

All surfaces must be clean, sound, frost free and dry (maximum depth of penetration is achieved when substrates are dry, with no damp patches). Any existing coatings, surfaces treatments, accumulated pollutants, dust, dirt, oil and efflorescence must be removed. A substrate clogged with dirt or oil will not permit proper sealer penetration. Uncoated surfaces must be free from curing compound residues and any material or contaminants detrimental to penetration. Best results are achieved when Sikagard® SN-40 is applied onto 28 days old or older concrete, however, due to its high alkali resistance, it is possible to apply it earlier. All substrates requiring preparation, such as contaminated surfaces or horizontal concrete slabs, must be properly cleaned before the sealer is applied. This is best achieved using grinding, light sand-blasting, shot-blasting or high pressure water blasting. Allow adequate

time for surfaces to dry (for best penetration) before proceeding with application. A test patch should always be performed to determine proper results and coverage rates prior to application.

MIXING

The material is ready for use and requires no mixing. Do not dilute.

APPLICATION

Vertical Surfaces: Apply Sikagard® SN-40 using a brush, roller or industrial spray equipment, working from top to bottom by maintaining a 12 in (30 cm) parallel curtain (run down). When applying the material on a vertical surface, avoid accumulation and run-off of the material. In the event of material accumulation or run-off lines being formed, redistribute the material on the surface or

Product Data Sheet
Sikagard® SN-40
March 2020, Version 01.02
020303010010000019

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remove by sponging. In most cases, the flood coat should be applied in two (2) passes. Apply a light spray to break the surface tension of the wall and follow immediately with a flood coat, "wet on wet", with the second pass at right angles to the first. Fully saturate all mortar joints.

Horizontal Surfaces: Apply Sikagard® SN-40 using a roller or low-pressure spray, ensuring that product penetrates the substrate and does not "pond" or "puddle" on the surface. If ponding occurs, make sure to redistribute or remove the excess material on the surface before material starts to dry and form a film that will prevent penetration of excess material. Where working on a horizontal surface the flood coat should be applied in two (2) passes, "wet on wet" with the second pass at right angles to the first. Complete and correct coverage of surfaces is crucial to the success of such sealers. Fully saturate all mortar joints.

LIMITATIONS

- Sikagard® SN-40 is best applied onto 28 day old concrete or older, however, due to its high alkali resistance, it is possible to apply it earlier, though lower penetration might be expected.
- Can be applied at temperatures down to 20°F, providing the surface is ice-free/frost-free, though lower penetration might be expected.
- Not recommended for exterior applications if rain is expected within 4-6 hours.
- Not intended for waterproofing under hydrostatic pressure, in permanent contact with water or for below ground waterproofing.
- Not intended to seal visible cracks from moisture ingress.
- Building materials not to be treated (e.g. window frames and glazing) must be protected from contact. In case of splashes, clean immediately using clean water and a squeegee.
- Some coatings and bituminous materials may be damaged by the Sikagard® SN-40; care is required during application or protection against contact may be necessary.
- Use Sikagard® SN-40 with adequate ventilation.
- Surfaces treated with Sikagard® SN-40 cannot be overcoated with either cement or lime-wash based paints.

- Sikagard® SN-40 is clear and typically "invisible" to the eye once cured and dried, however if there are strict aesthetic requirements (for example on natural stone) it is recommended to undertake preliminary trials as slight darkening of some surfaces may occur.
- Do not let dry excess material, darkening, change of color and appearance of substrate may occur

BASIS OF PRODUCT DATA

Results may differ based upon statistical variations depending upon mixing methods and equipment, temperature, application methods, test methods, actual site conditions and curing conditions.

OTHER RESTRICTIONS

See Legal Disclaimer.

ENVIRONMENTAL, HEALTH AND SAFETY

For further information and advice regarding transportation, handling, storage and disposal of chemical products, user should refer to the actual Safety Data Sheets containing physical, environmental, toxicological and other safety related data. User must read the current actual Safety Data Sheets before using any products. In case of an emergency, call CHEMTREC at 1-800-424-9300, International 703-527-3887.

LEGAL DISCLAIMER

- KEEP CONTAINER TIGHTLY CLOSED
- KEEP OUT OF REACH OF CHILDREN
- NOT FOR INTERNAL CONSUMPTION
- FOR INDUSTRIAL USE ONLY
- FOR PROFESSIONAL USE ONLY

Prior to each use of any product of Sika Corporation, its subsidiaries or affiliates ("SIKA"), the user must always read and follow the warnings and instructions on the product's most current product label, Product Data Sheet and Safety Data Sheet which are available at usa.sika.com or by calling SIKA's Technical Service Department at 1-800-933-7452. Nothing contained in any SIKA literature or materials relieves the user of the obligation to read and follow the warnings and instructions for each SIKA product as set forth in the current product label, Product Data Sheet and Safety Data Sheet prior to use of the SIKA product.

SIKA warrants this product for one year from date of installation to be free from manufacturing defects and to meet the technical properties on the current Product Data Sheet if used as directed within the product's shelf life. User determines suitability of product for intended use and assumes all risks. User's and/or buyer's sole remedy shall be limited to the purchase price or replacement of this product exclusive of any labor costs. **NO OTHER WARRANTIES EXPRESS OR IMPLIED SHALL**

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BUILDING TRUST



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1141 Royal, 1963

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1141 Royal

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September 9, 2025





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September 9, 2025





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September 9, 2025





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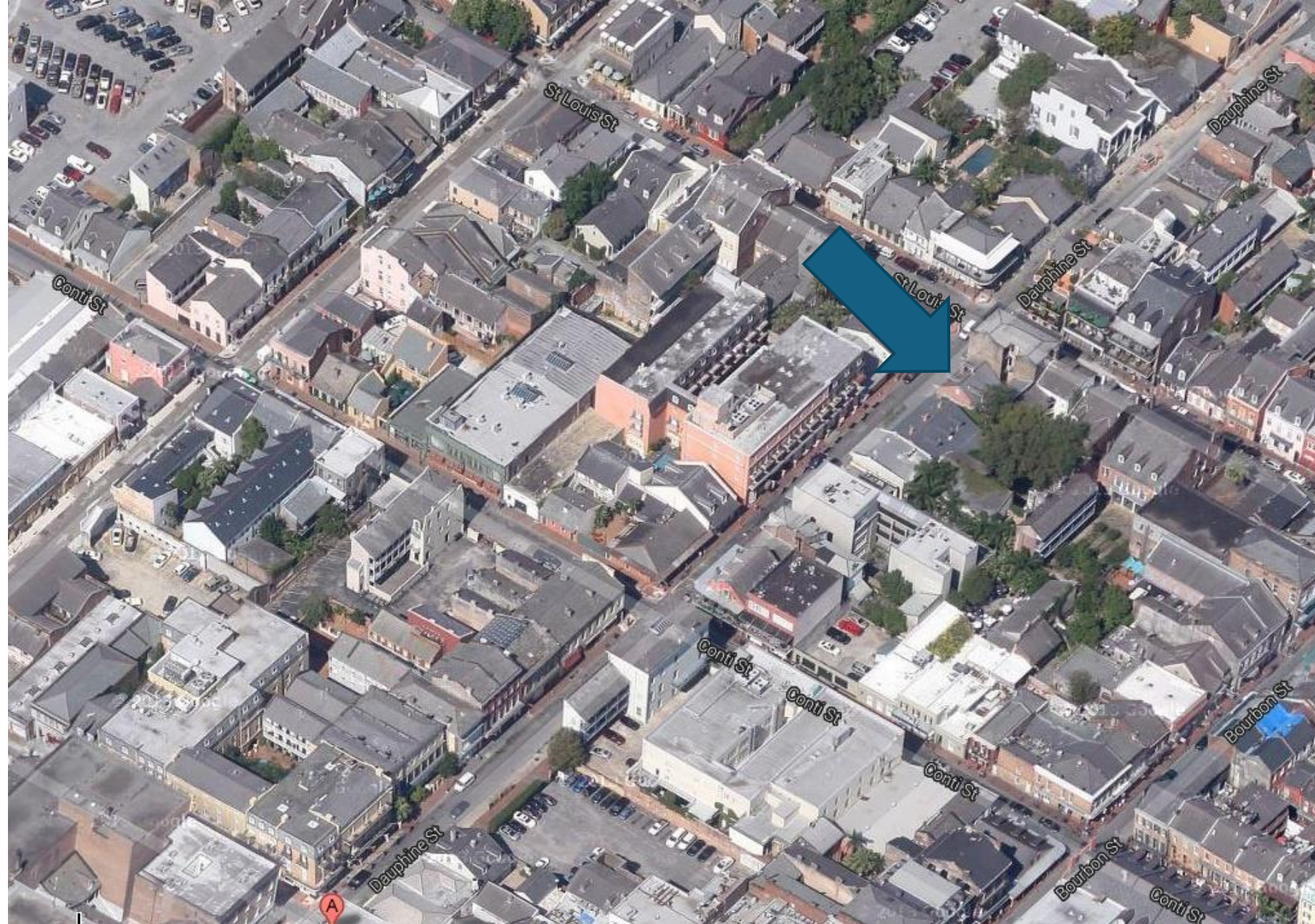




Appeals & Violations



434 Dauphine



434-36 Dauphine

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434-36 Dauphine- 1934

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434-36 Dauphine, 1963

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434-36 Dauphine

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434-36 Dauphine

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September 9, 2025



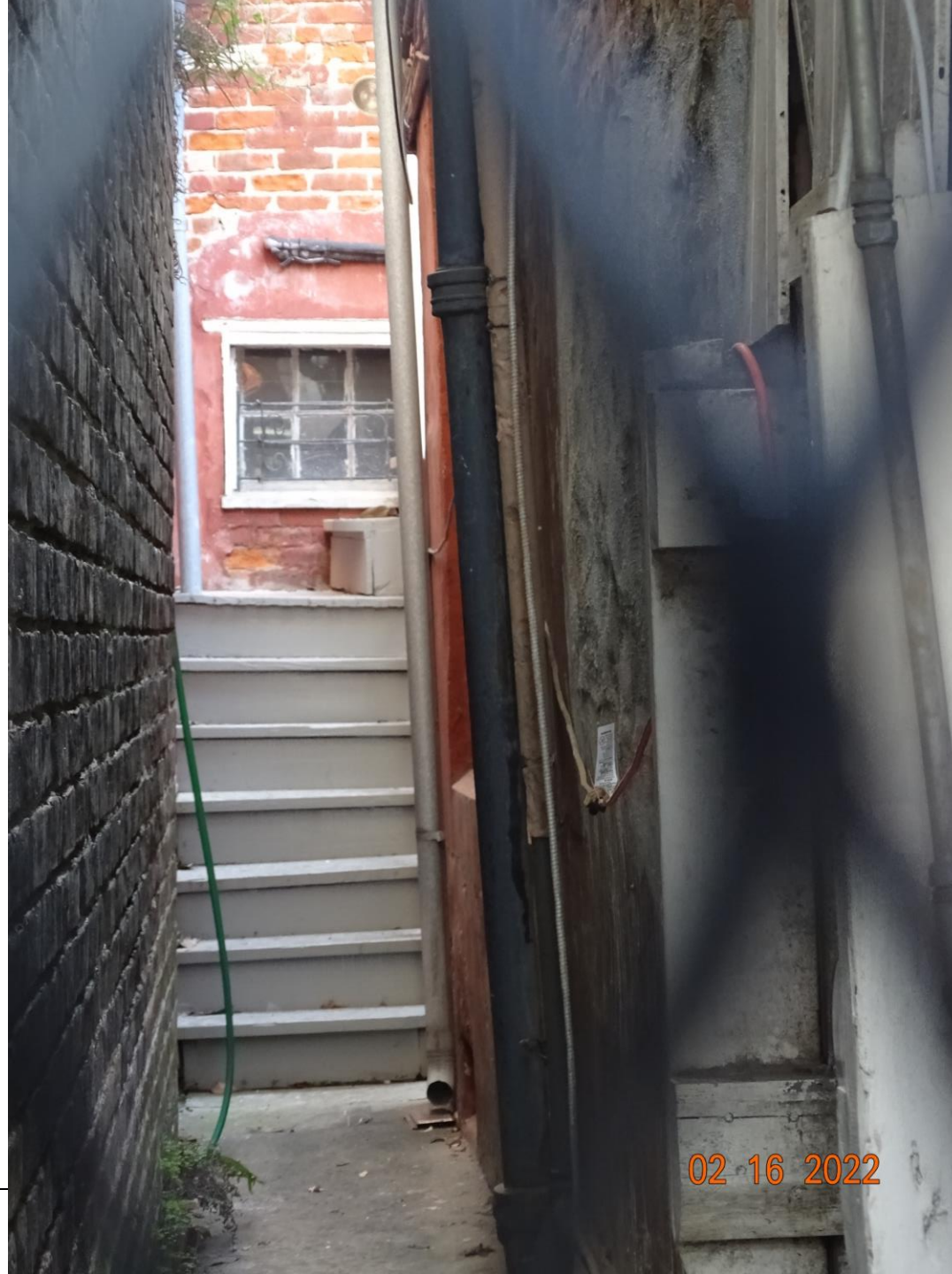


434-36 Dauphine

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September 9, 2025





434-36 Dauphine

VCC Architectural Committee

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September 9, 2025





434-36 Dauphine

VCC Architectural Committee

September 9, 2025





434-36 Dauphine

VCC Architectural Committee

08 26 2022

September 9, 2025



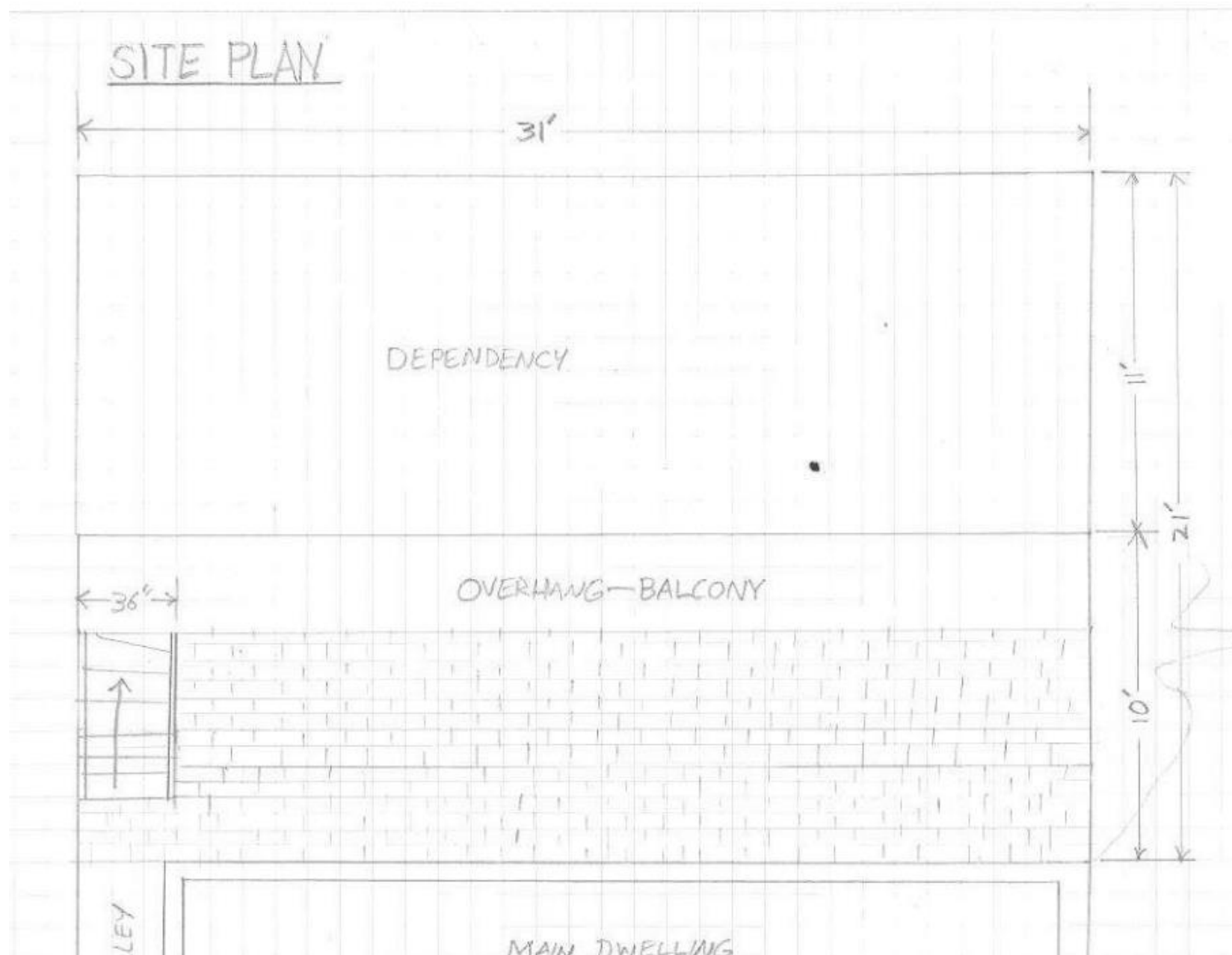


434-36 Dauphine

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434-36 Dauphine – Approved Plans

VCC Architectural Committee

September 9, 2025





434-36 Dauphine – Approved Plans

VCC Architectural Committee

September 9, 2025







434-36 Dauphine – Proposed Plans

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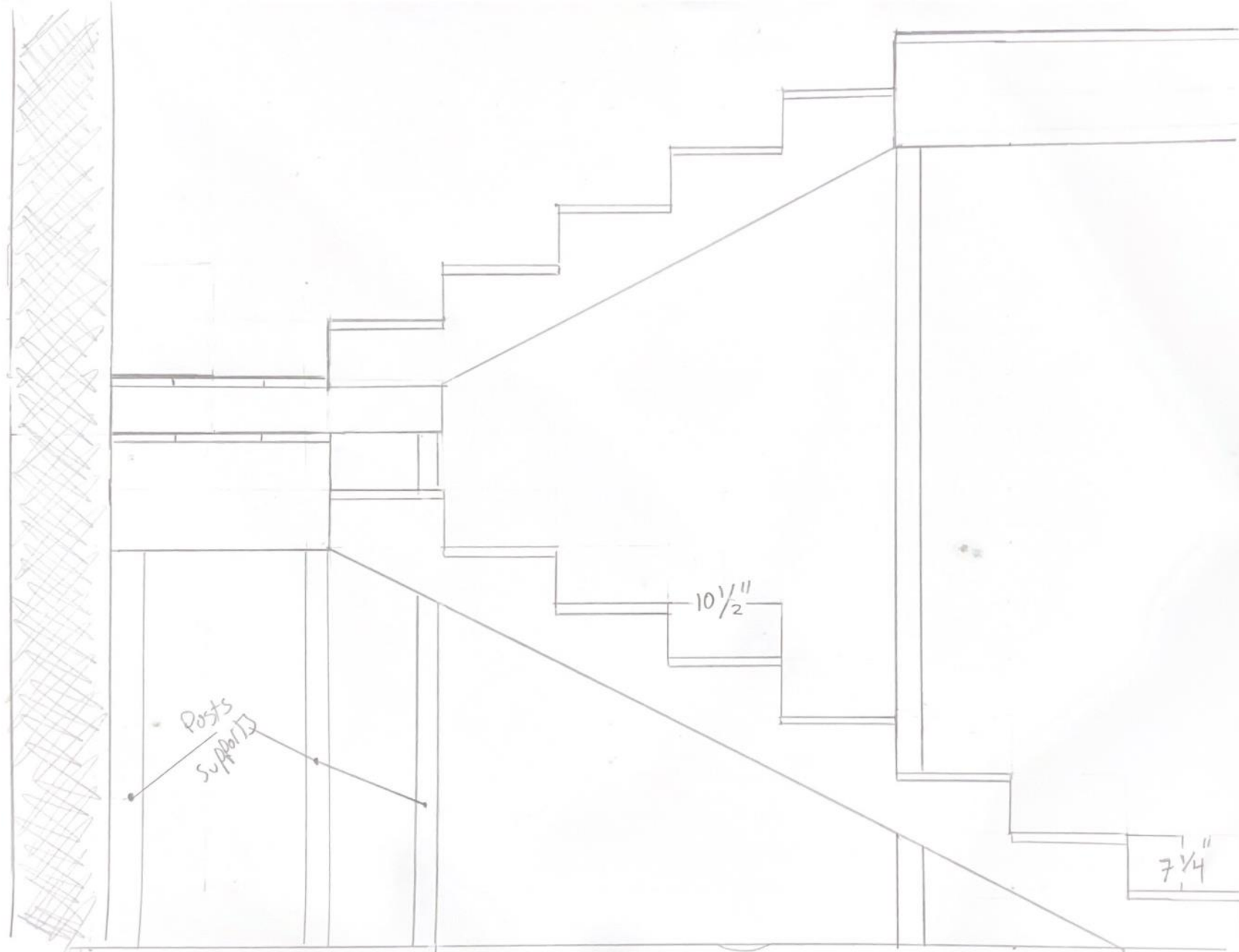


434-36 Dauphine – Proposed Plans

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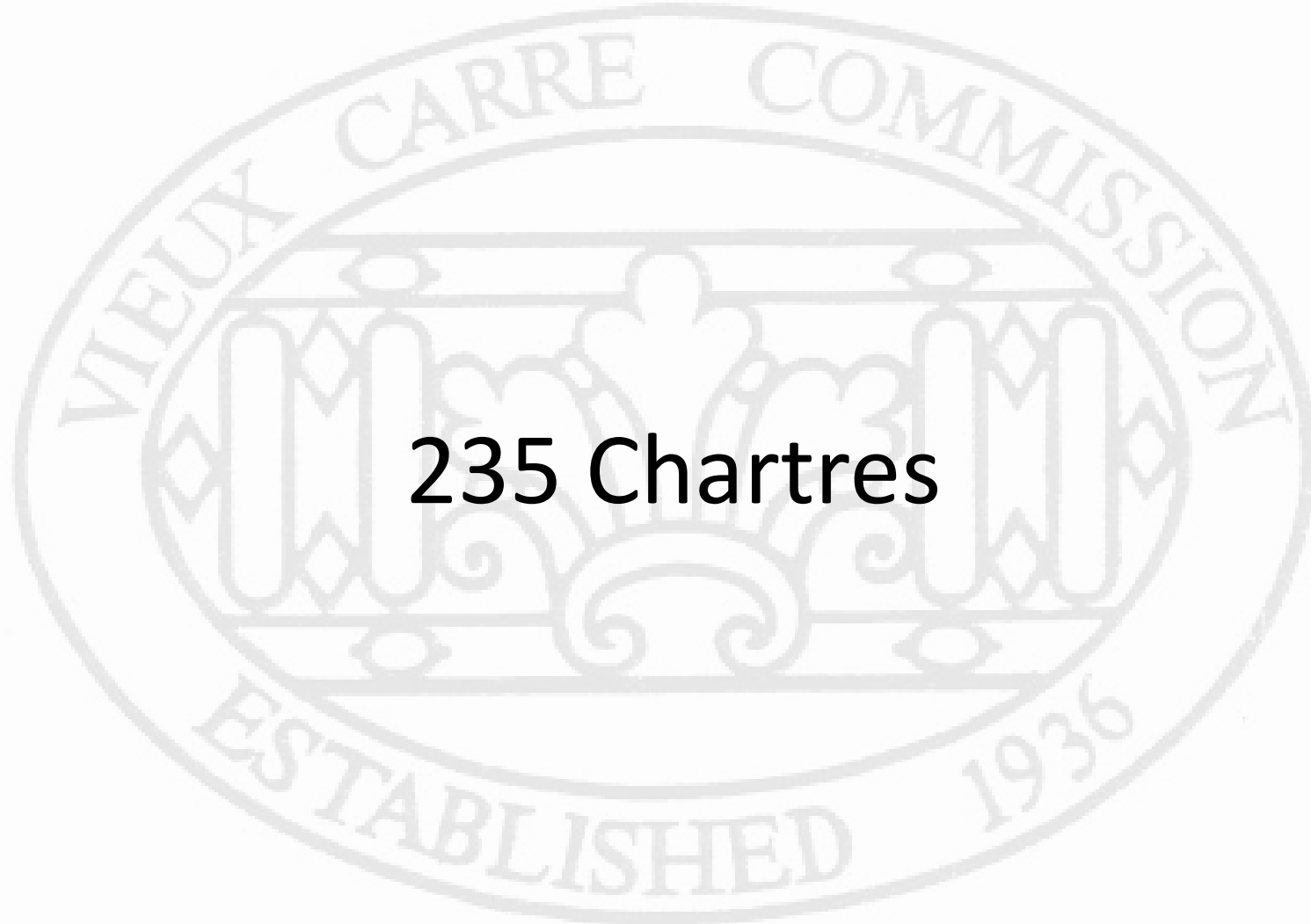
434-36 Dauphine

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235 Chartres



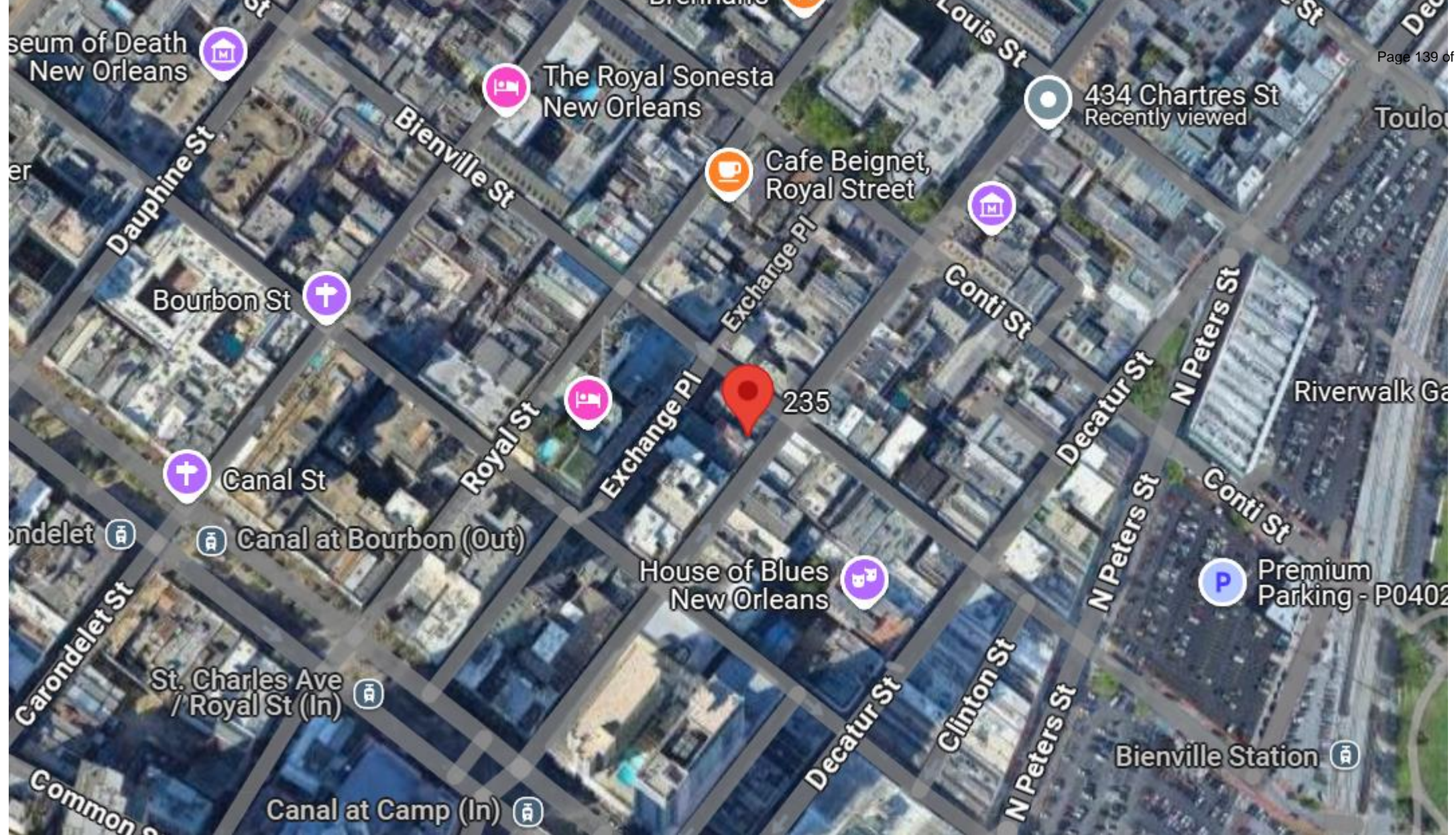


235 Chartres

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235 Chartres

VCC Architectural Committee

September 9, 2025





235 Chartres

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235 Chartres

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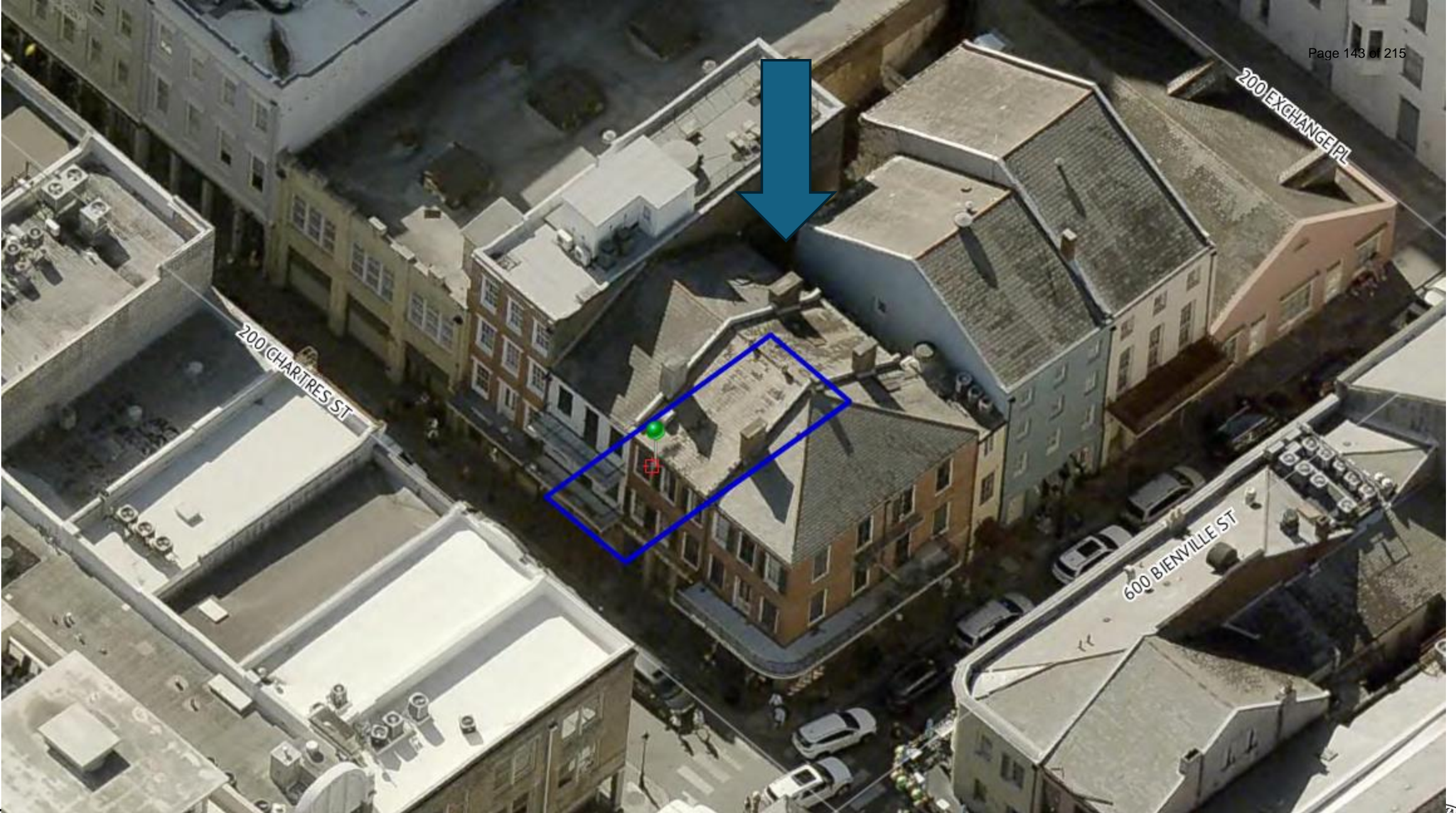


235 Chartres

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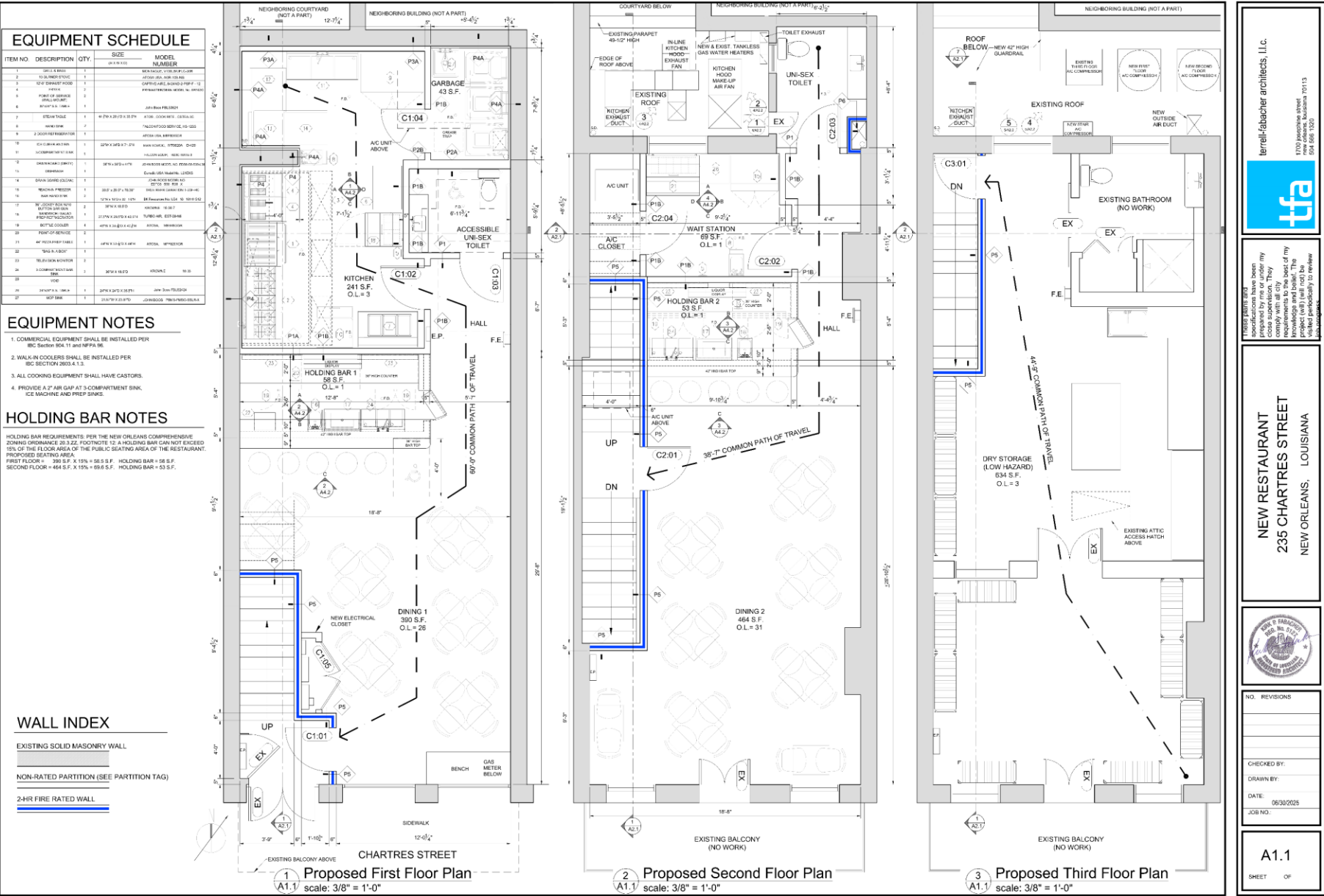


235 Chartres

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September 9, 2025



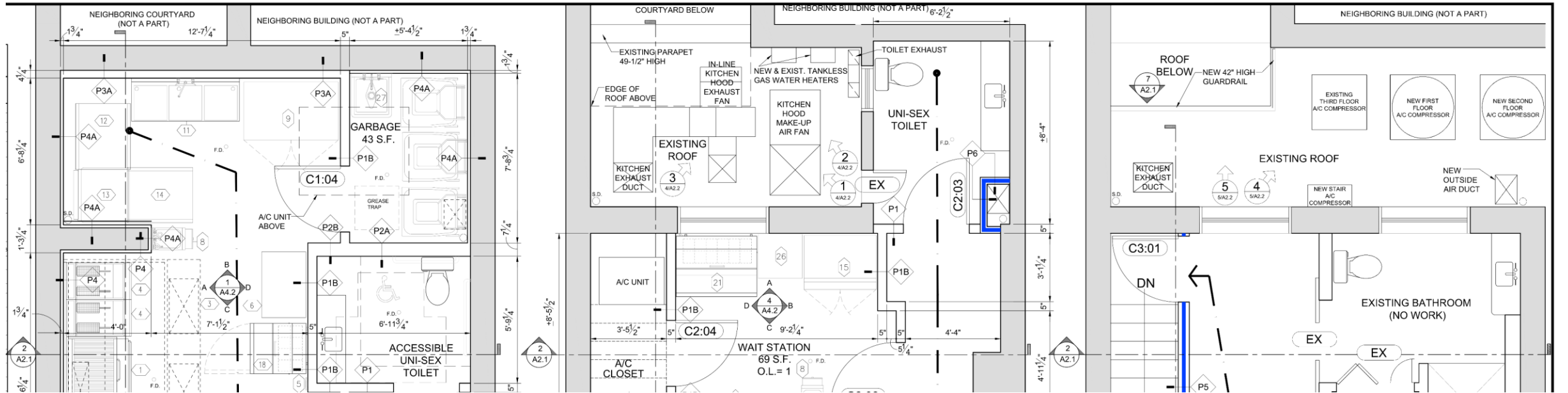


235 Chartres

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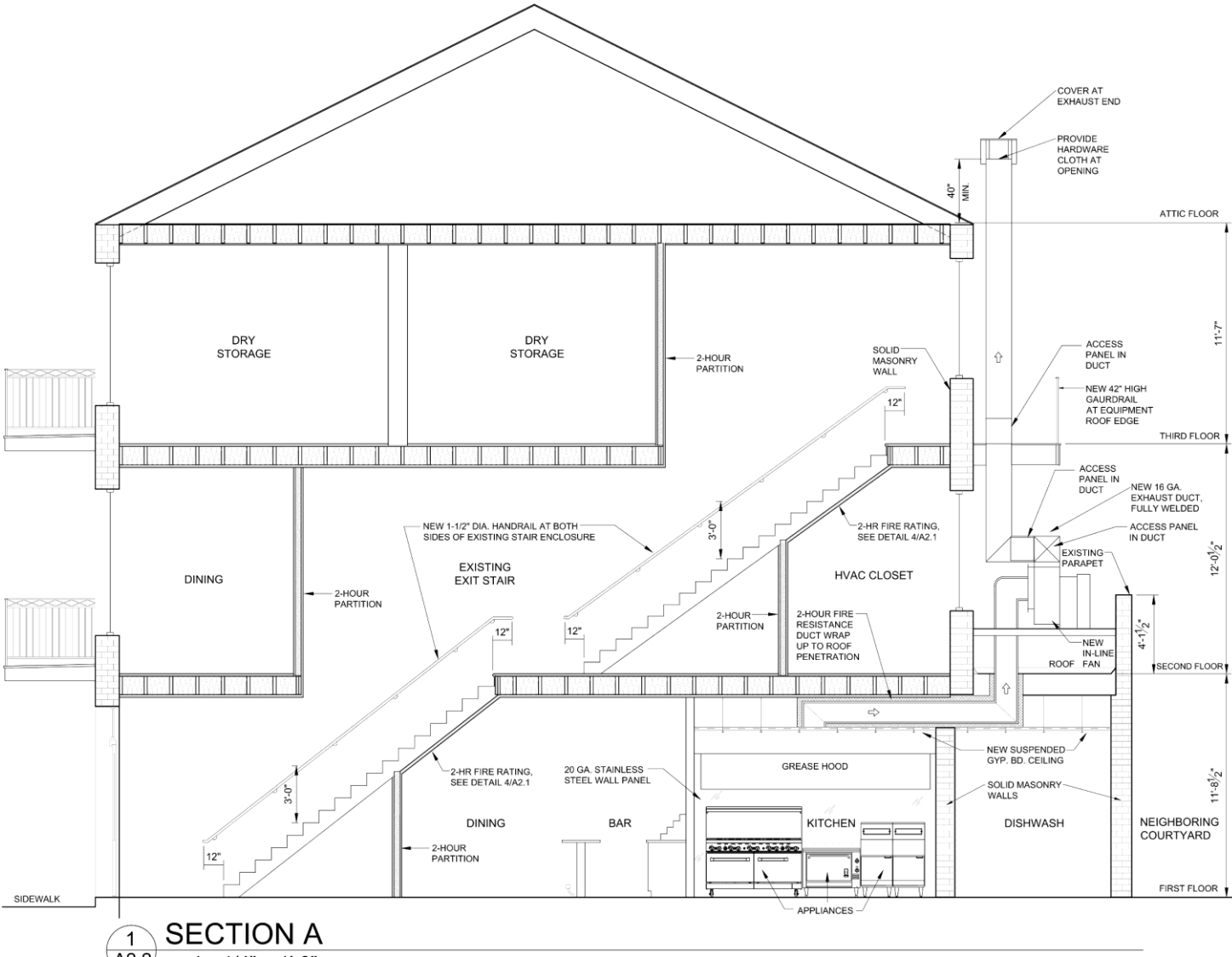






1. PROVIDE PROTECTION ON WALLS FROM BOTTOM OF THE HOOD TO THE FLOOR. IN THE SAME MANNER, PROVIDE PROTECTION FOR THE HOOD PROTECTION FOR ALL WALL MOUNTED EXHAUST HOODS.
2. PROVIDE CONTINUOUS DUCT ENCLOSURE IN ALL EXHAUST DUCTS. PROVIDE PROTECTED RATED FLOOR ASSEMBLIES, AND FIRE RATED WALLS AND CEILING ASSEMBLIES, PENETRATED BY EXHAUST DUCTS. THE DUCTS SHALL BE PROTECTED BY A MINIMUM OF 1" OF MINERAL WOOL INSULATION EXTENDING FROM THE FIRST PENETRATED FIRE RATED FLOOR ASSEMBLY TO THE SECOND FIRE RATED FLOOR ASSEMBLY OR TO THE OUTSIDE OR CONCEALED SPACES TO THE EXTERIOR. PROVIDE A FIRE RATING OF 1 HOUR FOR THE FIRE BARRIER.
3. PROVIDE PROTECTION FOR EXHAUST DUCTS EXTING A BUILDING THROUGH ROOF OR PENETRATING LIMITED ACCESS ROOFS TO TERMINATE ABOVE THE ROOF LINE.
4. PROVIDE A DISCONNECTING MEANS FOR ALL ROOF PENETRATIONS.
5. COOKING APPLIQUES REQUIRING PROTECTION SHALL BE COVERED, AND THE COVER RE-ARRANGED WITHOUT PER-EVALUATION OF THE COVER. PROVIDE A DISCONNECTING MEANS FOR EACH COOKING APPLIQUE. PROVIDE A SYSTEM INSTALLER OR SERVICING AGENT TO PROVIDE A DISCONNECTING MEANS FOR ALL KITCHEN COOKING APPLIQUES THAT ARE NOT COVERED. PROVIDE A DISCONNECTING MEANS FOR ALL OILS AND FATS TO BE LISTED AND APPROVED FOR COOKING APPLIQUES. PROVIDE AN EXTINGUISHING AGENT TO PERMIT THE COOKING APPLIQUE TO BE EXTINGUISHED AT 12" INTERVALS FOR ALL HORIZONTAL GREASE DUCTS.
6. PROVIDE A DISCONNECTING MEANS FOR ALL VERTICAL GREASE DUCTS.
7. ADEQUATE ACCESS FOR CLEANING SHALL BE PROVIDED FOR ALL GREASE DUCTS. PROVIDE GREASE EXHAUST DUCTS ACCESS PANELS TO PROVIDE THE RESISTANT RATINGS OF THE GREASE EXHAUST DUCTS.



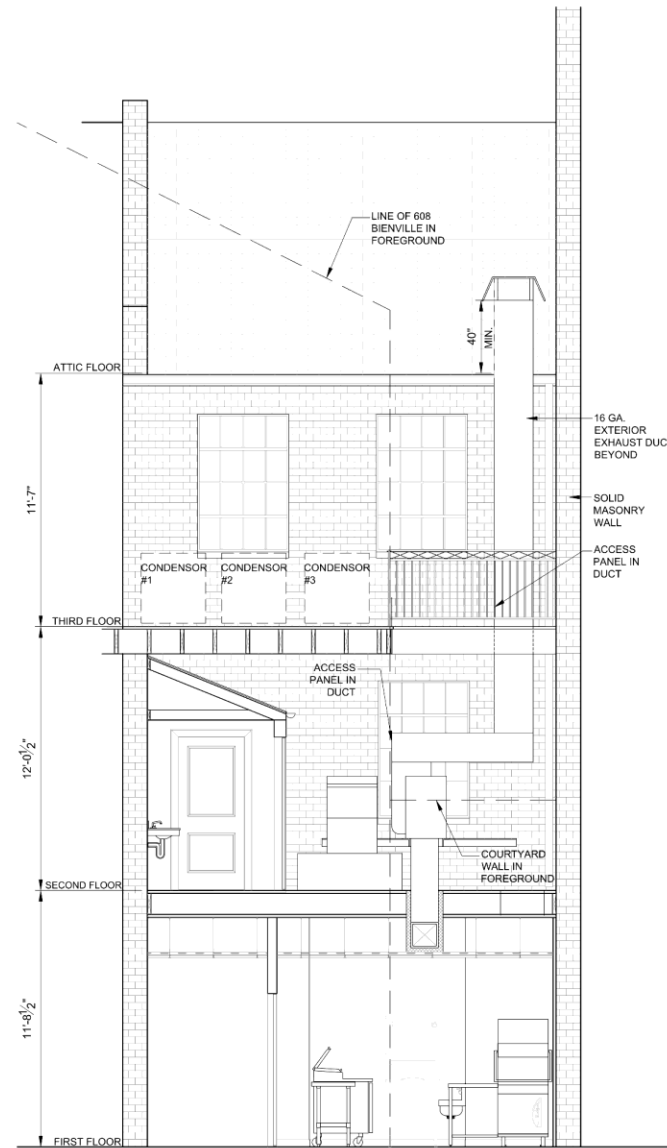


235 Chartres

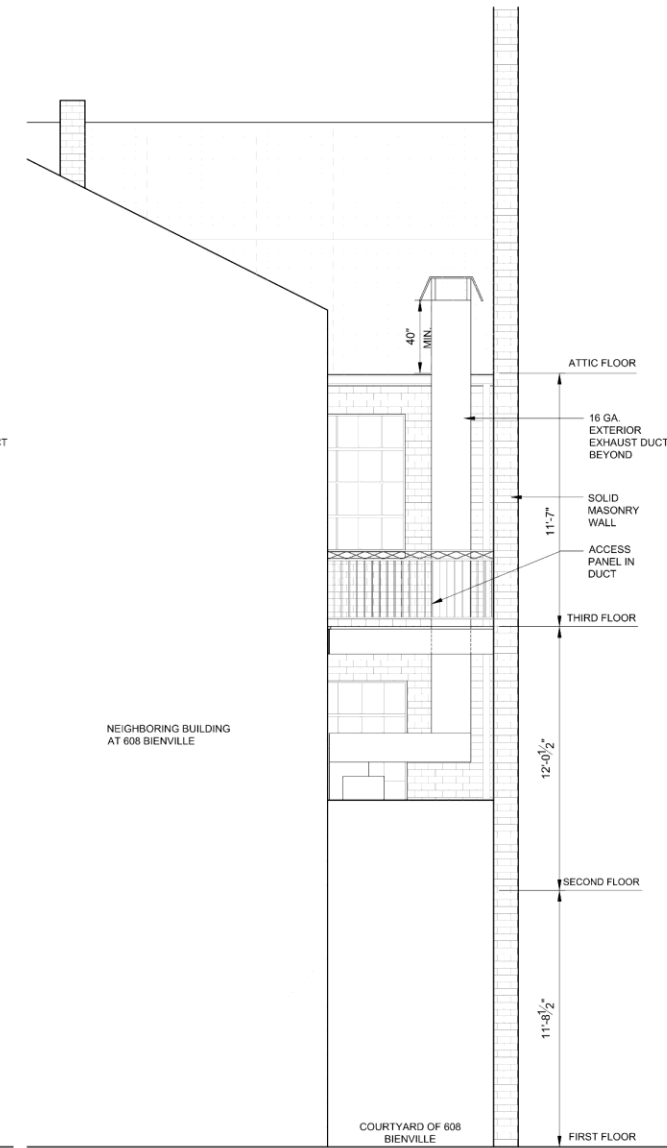
VCC Architectural Committee

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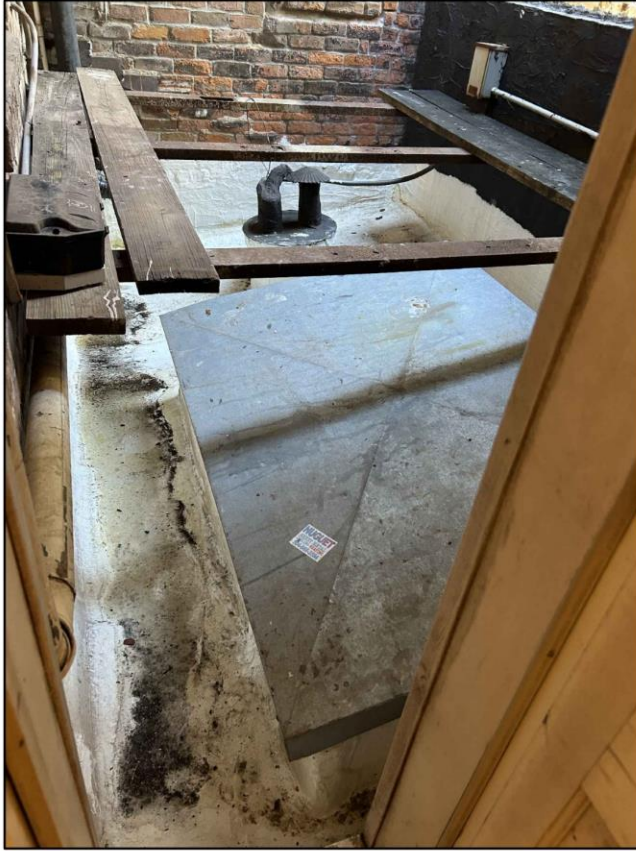




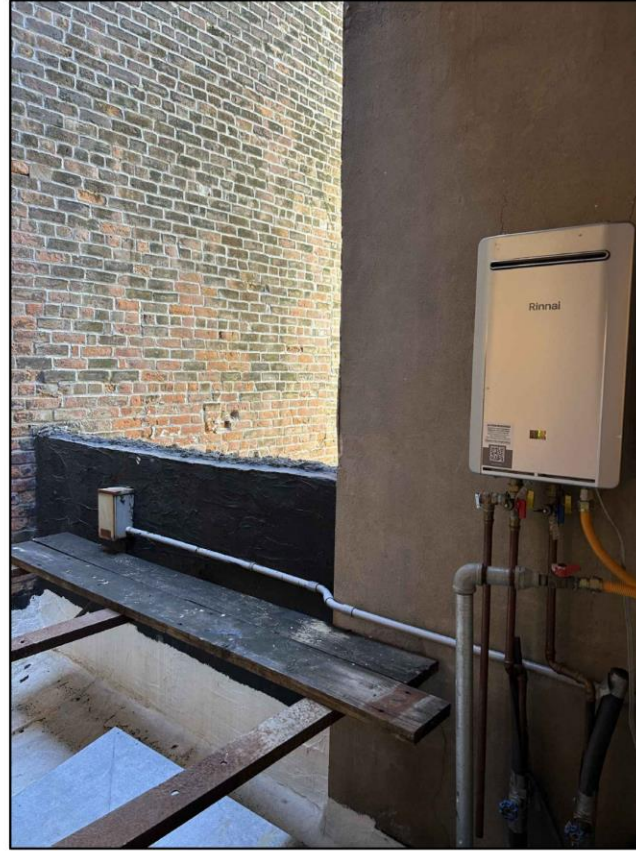
2 EXCHANGE PLACE ELEVATION
A2.2 scale: 1/4" = 1'-0"



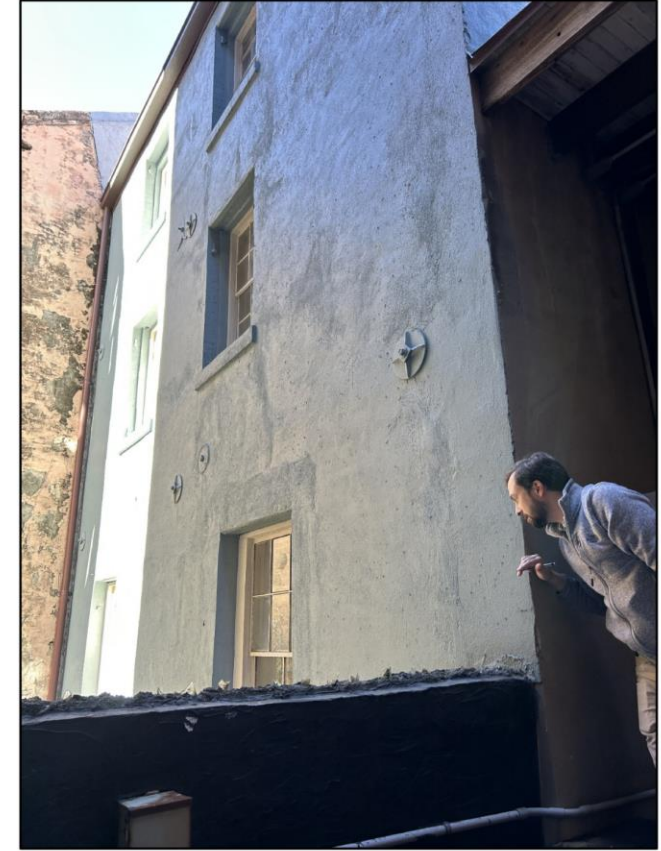
3 EXCHANGE PLACE ELEVATION
A2.2 scale: 1/4" = 1'-0"



1



2



3

4 EXISTING SECOND FLOOR ROOF

A2.2 scale: 1/4" = 1'-0"

235 Chartres

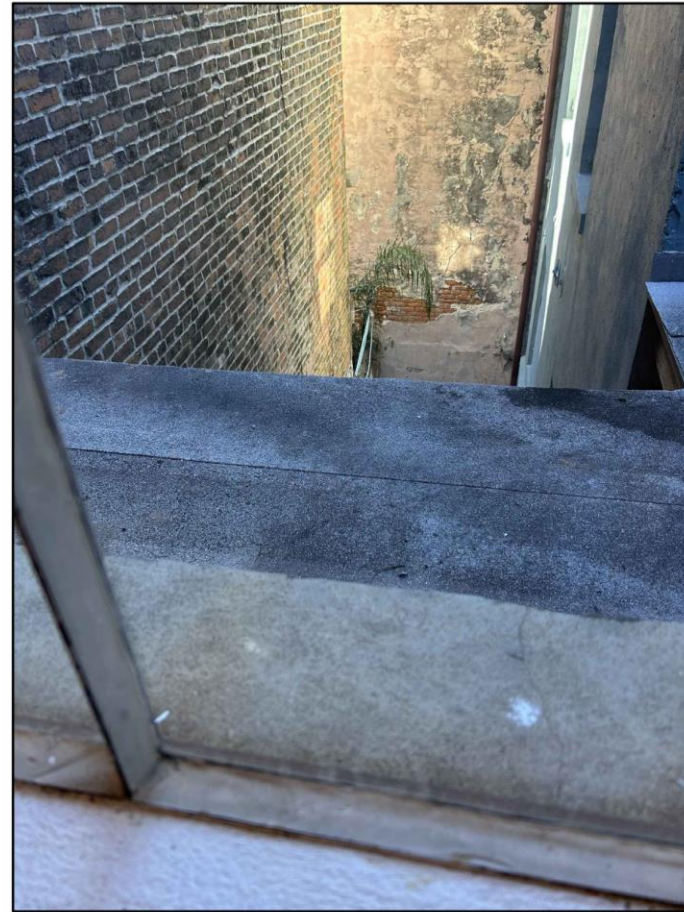
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4



5

5
A2.2

EXISTING THIRD FLOOR ROOF

scale: 1/4" = 1'-0"



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235 Chartres

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September 9, 2025





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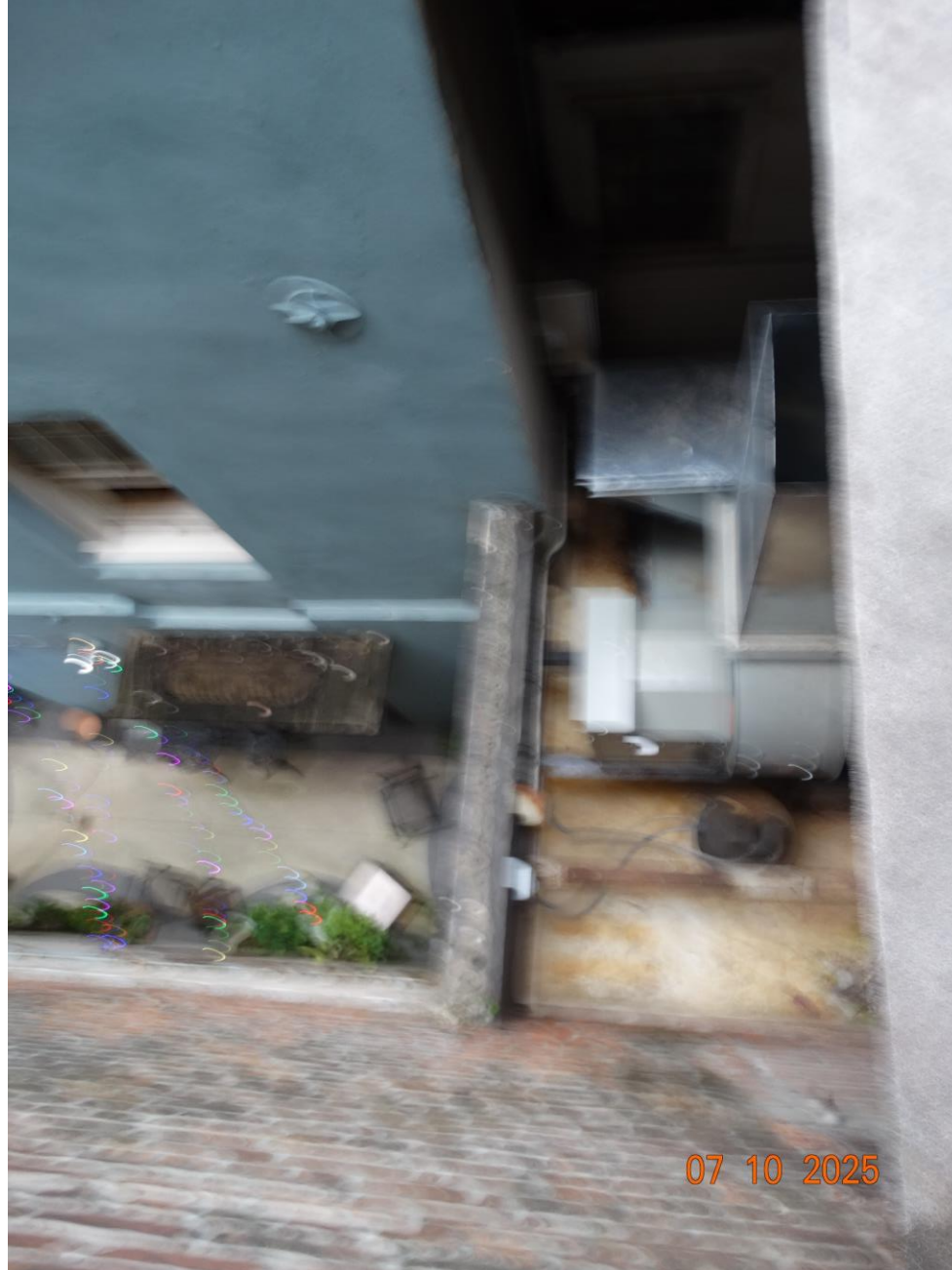


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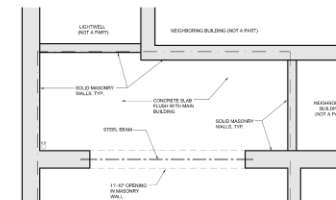
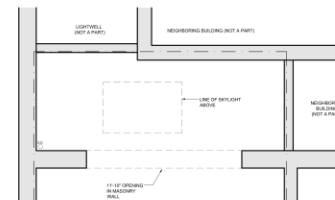
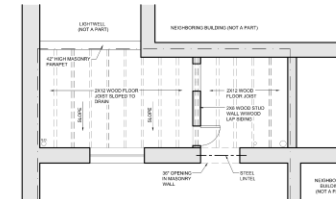
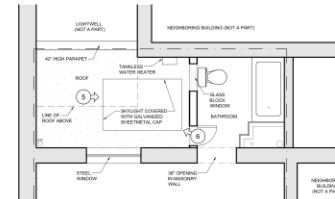
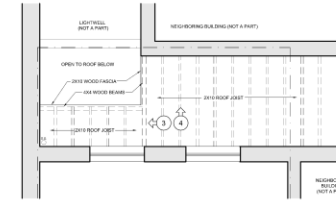
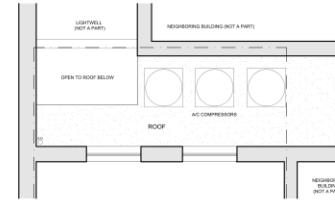
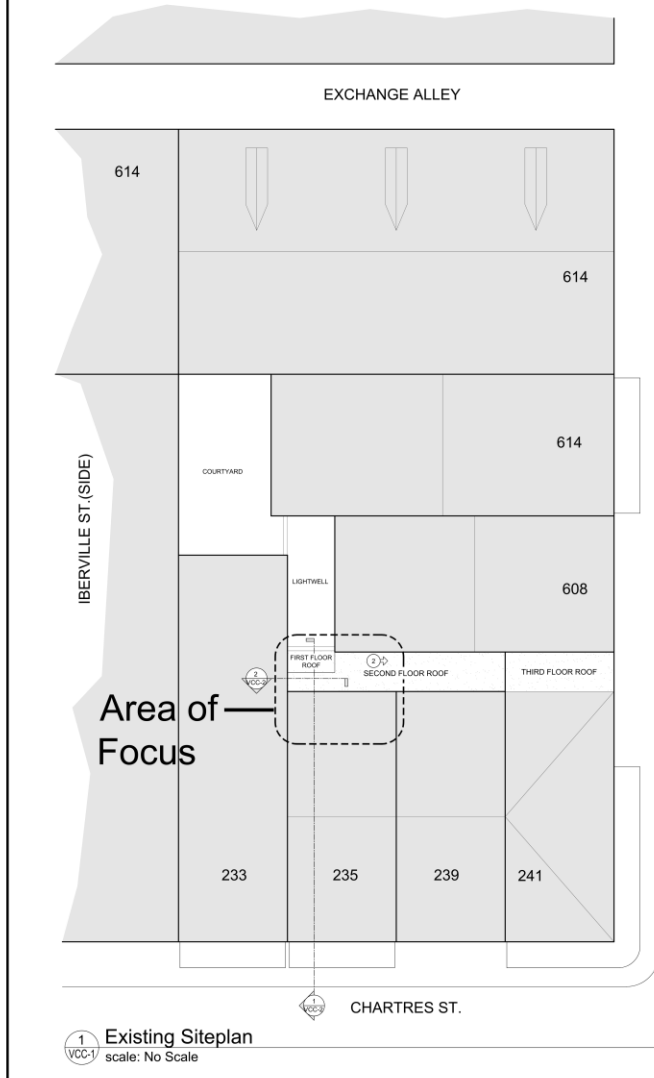
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235 Chartres Street

Additional Documentation Requested by
VCC for retention of all existing
non-conforming additions



THESE SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THEY COMPLY WITH ALL CITY REQUIREMENTS TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE REQUIREMENTS TO BE REVIEWED VISITED PERIODICALLY TO REVIEW FOR COMPLIANCE.

terrell-fabacher architects, l.l.c.
1700 JOSEPHINE STREET
NEW ORLEANS, LOUISIANA 70113
504.588.1200
tfa@tfaarchitects.com

NEW RESTAURANT BUILD-OUT
235 CHARTRES STREET
NEW ORLEANS, LOUISIANA

NO. REVISIONS
8/13/25

CHECKED BY:
DRAWN BY:
DATE: 06/30/2025
JOB NO.:

VCC-1

SHEET OF





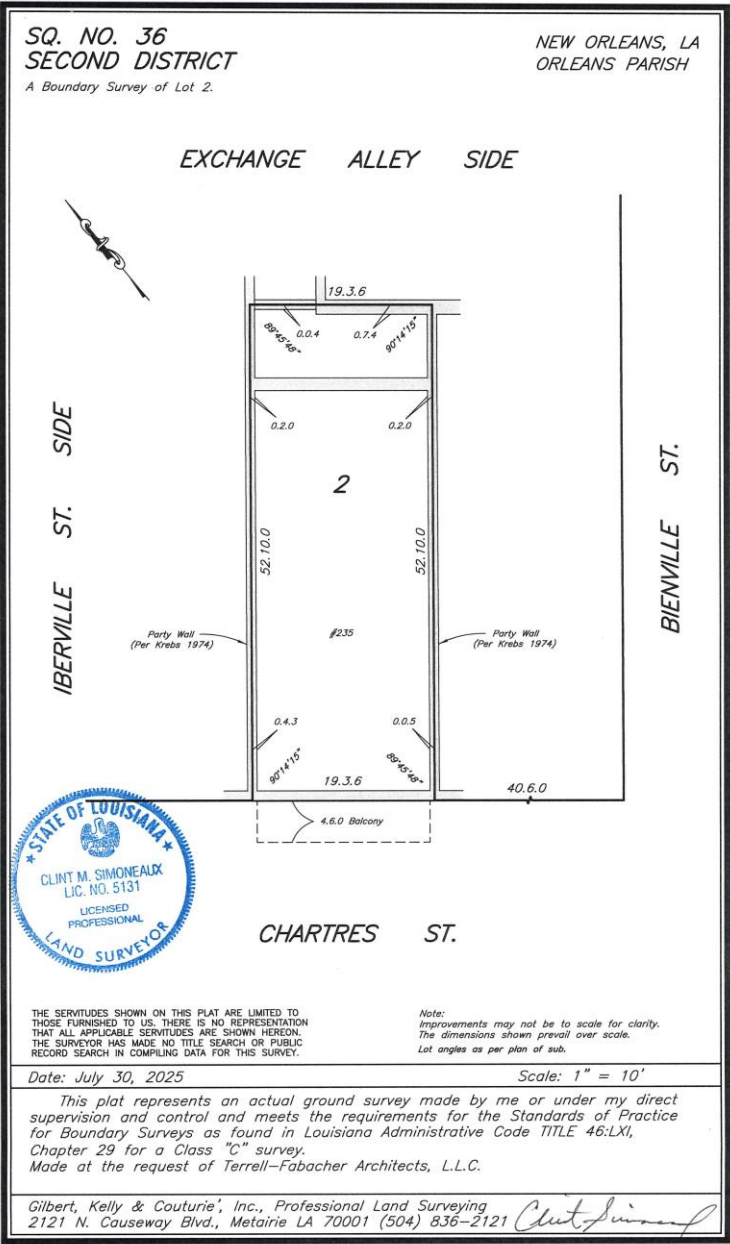
A narrow alleyway between a white wall and a brick wall. A metal railing runs along the white wall, and a small window is visible in the white wall. The brick wall is on the right, and a small window is visible in the brick wall. The alleyway is paved with cobblestones.

A close-up photograph of the interior of a vehicle, specifically the rear window area. The image shows the wooden frame of the rear window and the structural supports. The window is partially open, revealing the interior of the vehicle. The frame is made of dark wood, and the structural supports are made of lighter wood. The window is set into a larger wooden structure, and the interior of the vehicle is visible through the opening.

Photo 6

235 Chartres



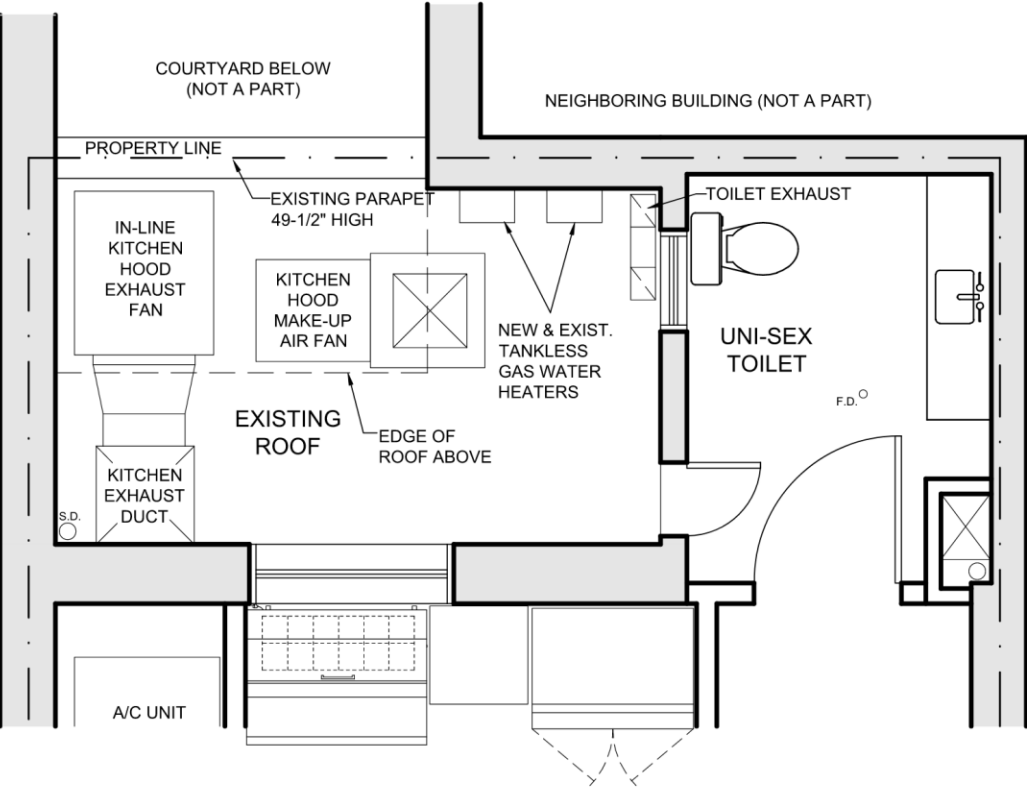


235 Chartres

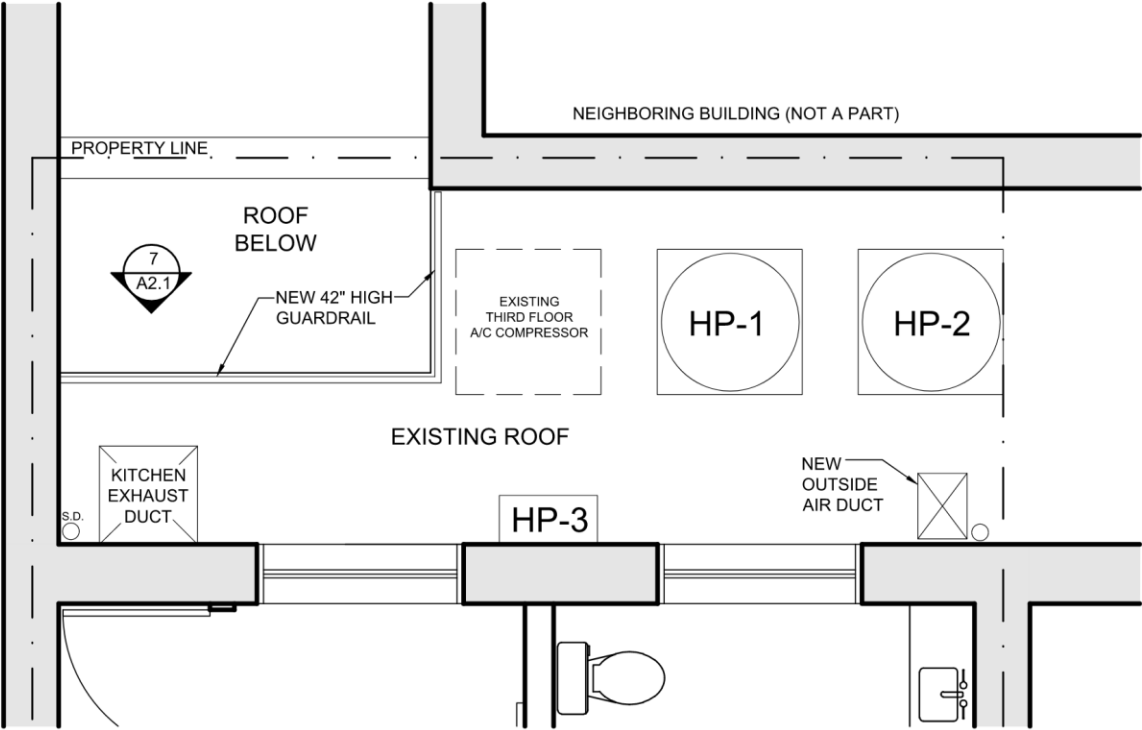
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SECOND FLOOR



THIRD FLOOR





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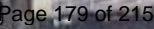
235 Chartres

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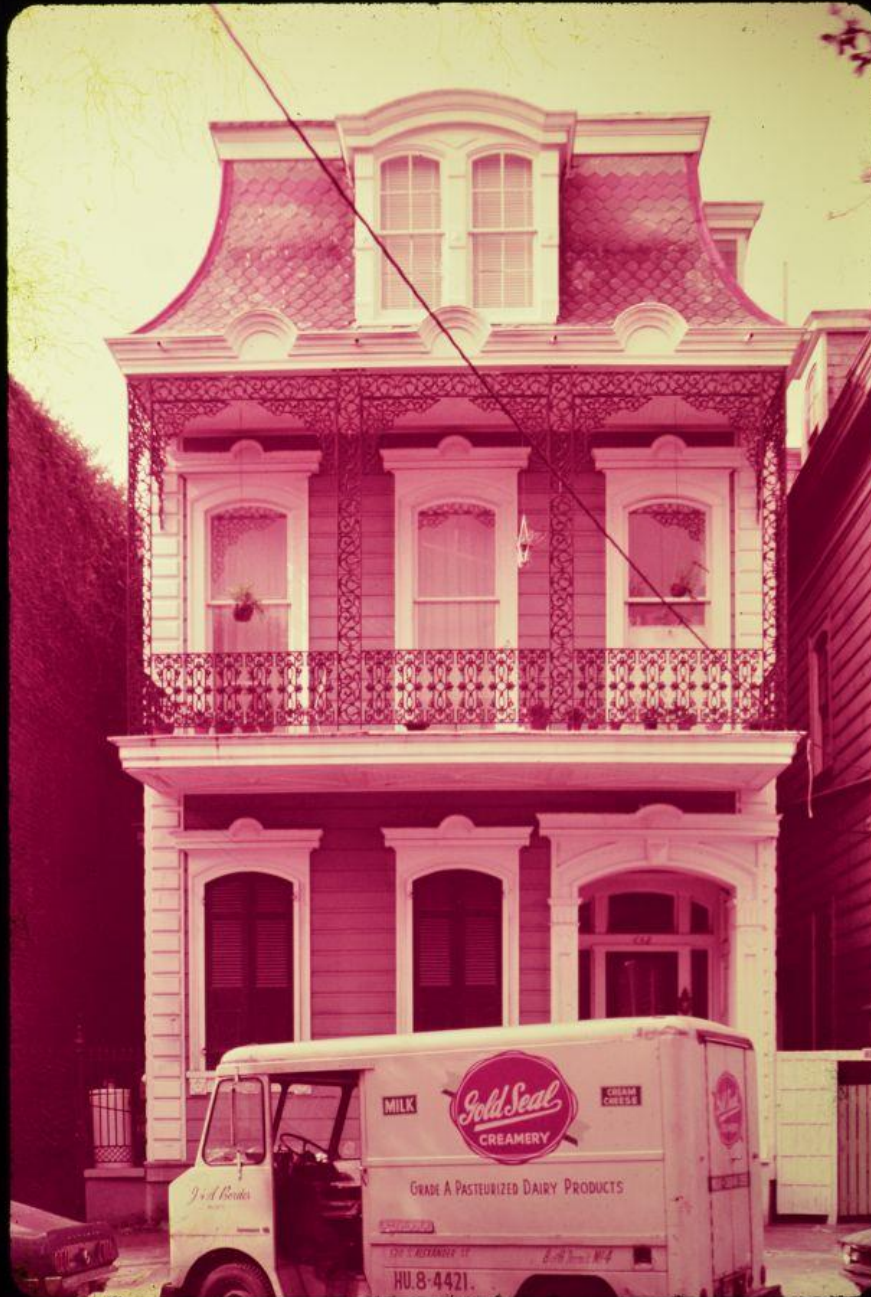
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632 Esplanade, 1975

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632 Esplanade – Prior to renovation

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632 Esplanade – Prior to renovation
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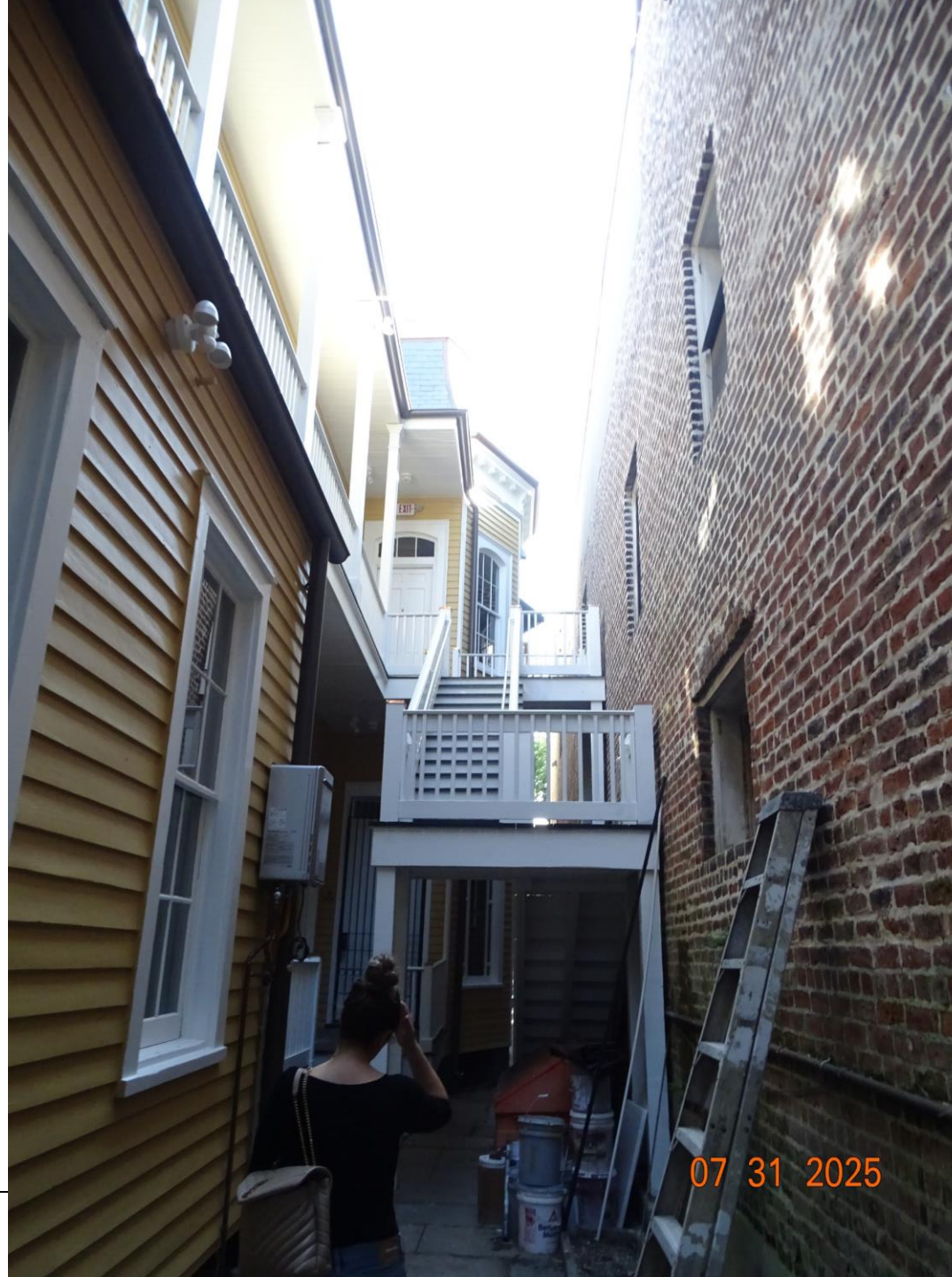
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6 in. x 6 in. Verona Copper High Point Pyramid Post Cap

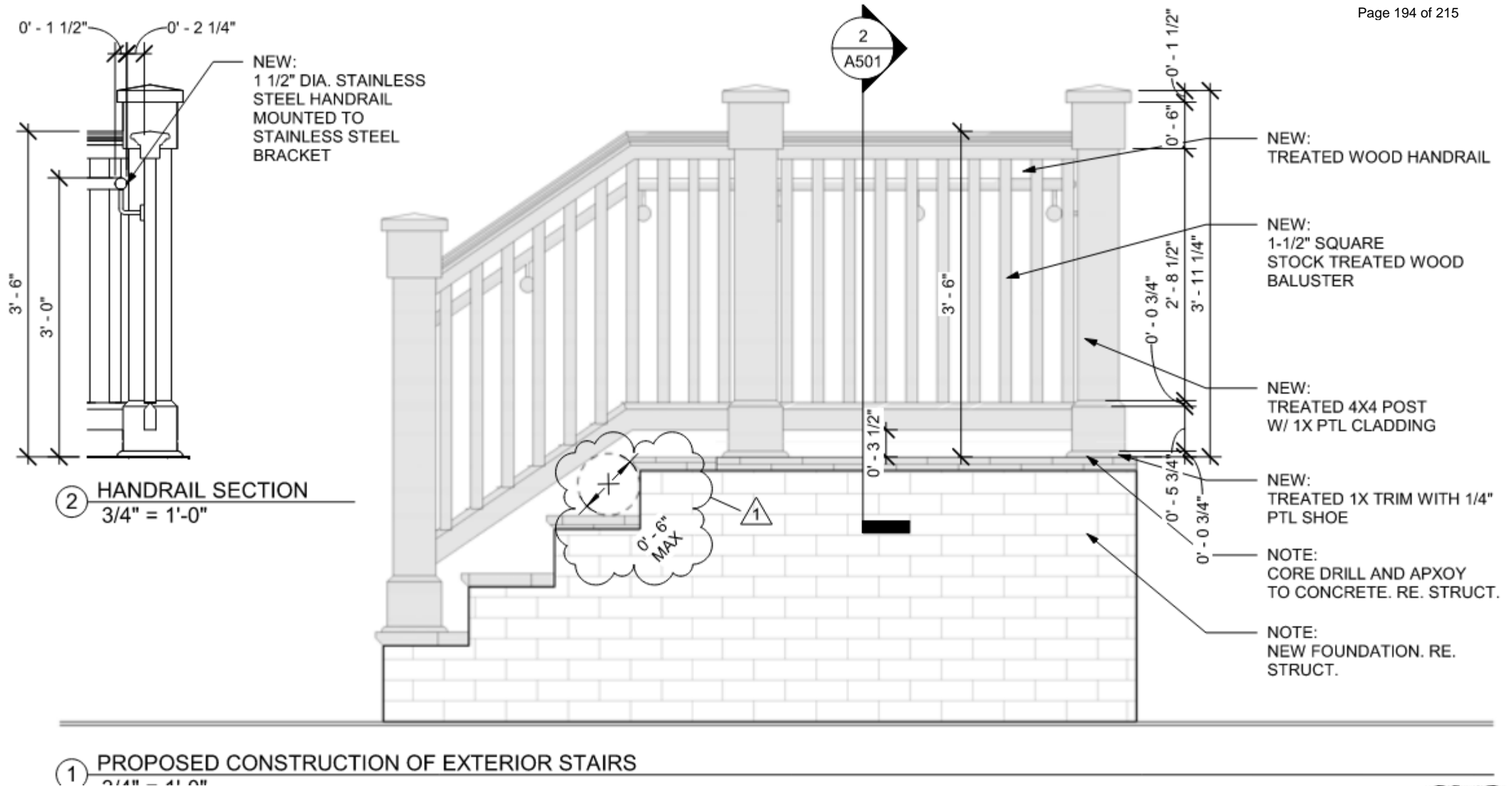
★★★★★ (179) Questions & Answers (13)



Highlights

- Features pressure-treated pine base
- Capped with elegant copper-plated plastic to provide long lasting finish
- Virtually maintenance free with no painting or staining needed
- Post cap fits a nominal 4 in. x 4 in. wood post (inside dimensions 3-5/8 in. x 3-5/8 in.)
- Add a finishing touch to the overall appearance of your outdoor space
- Use exterior grade construction adhesive to adhere the cap to post





632 Esplanade – From Approved Plans

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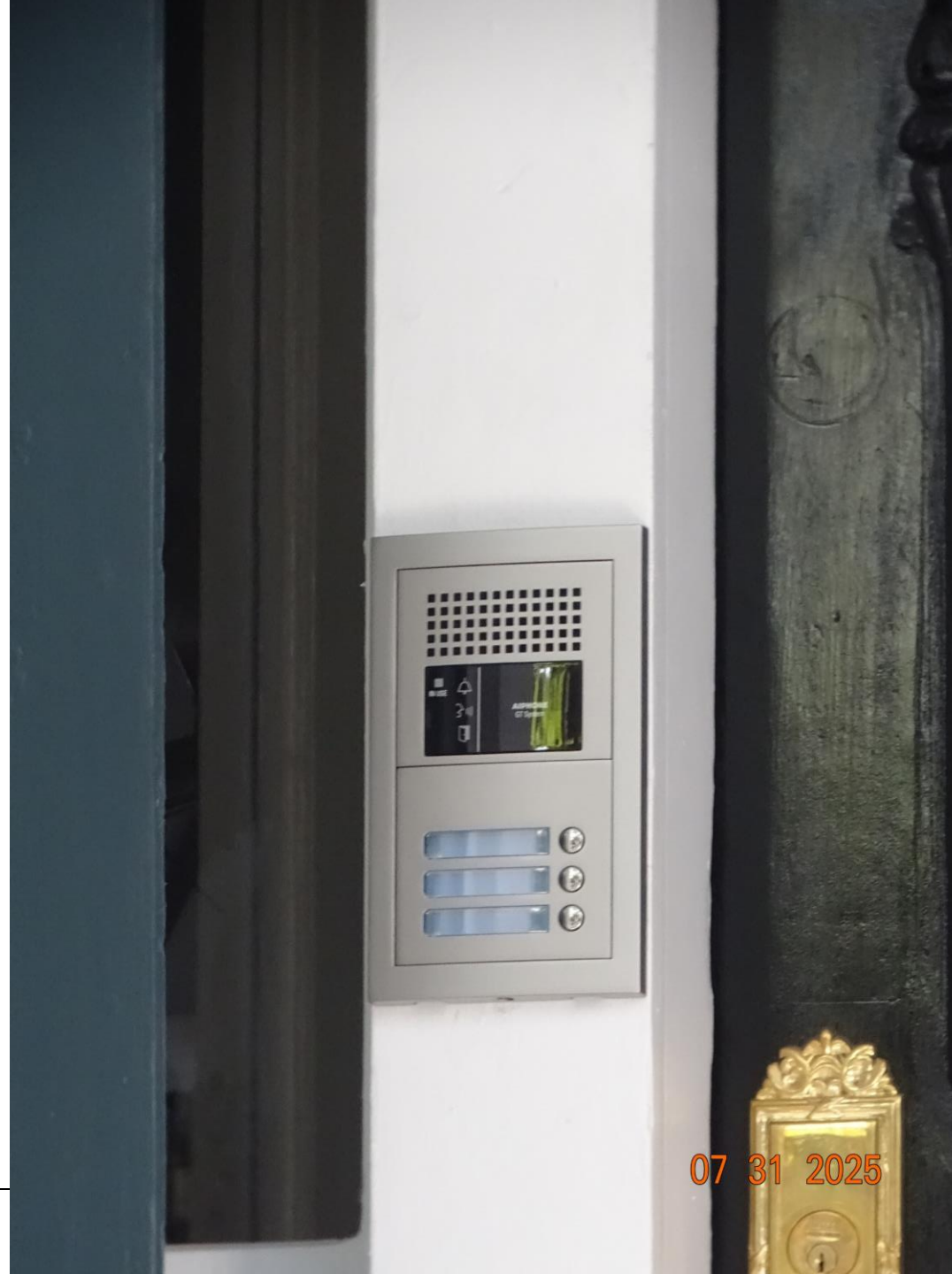


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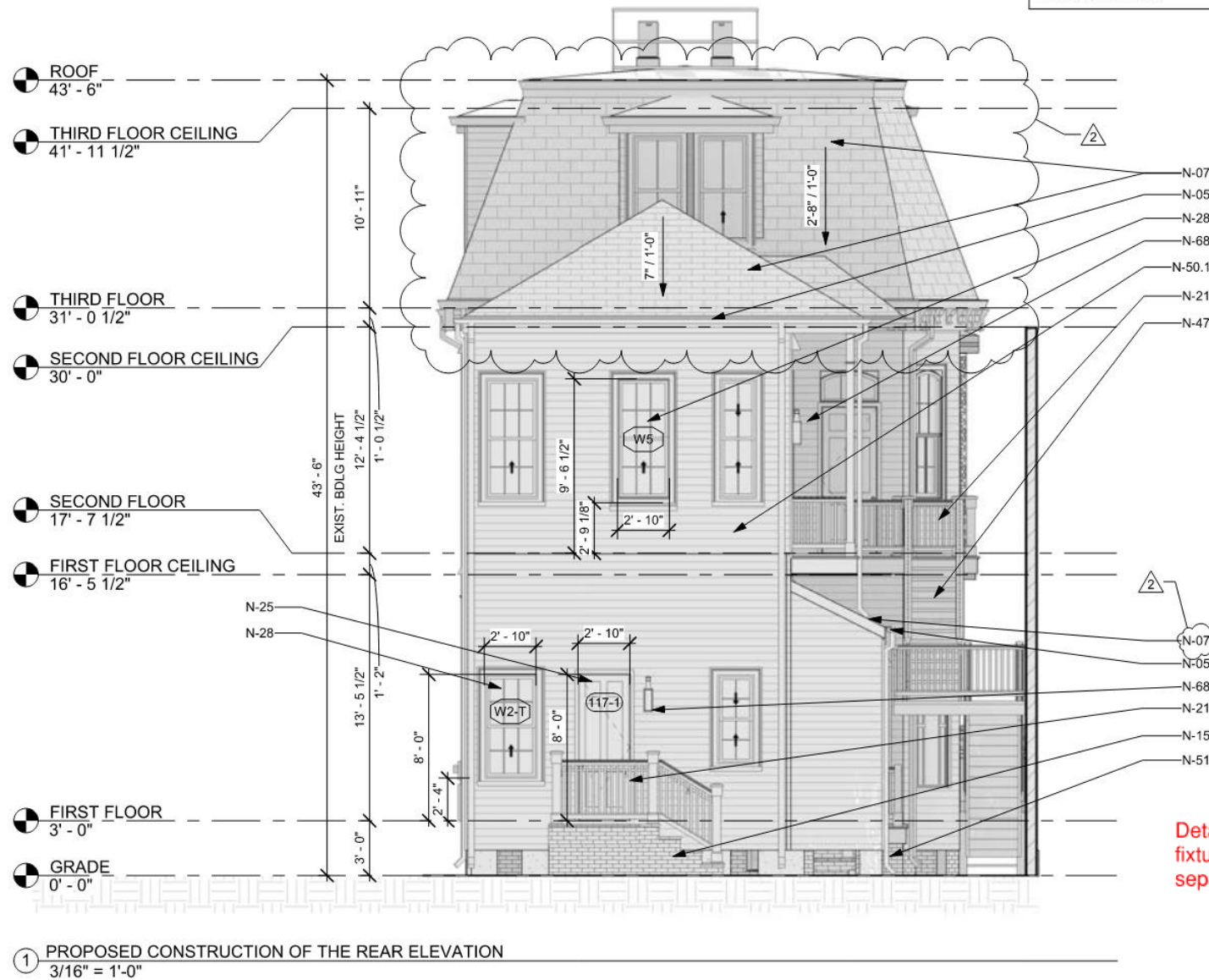
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01/12/2024 ngalbre
APPROVED
SEE NOTES

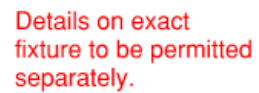


DEFINING FEATURES TO BE
SCRAPED, PAINTED AND REPAIR/
REPLACED IN KIND. GC TO FOLLOW
NPS GUIDELINES FOR
RESTAURATION WORK.



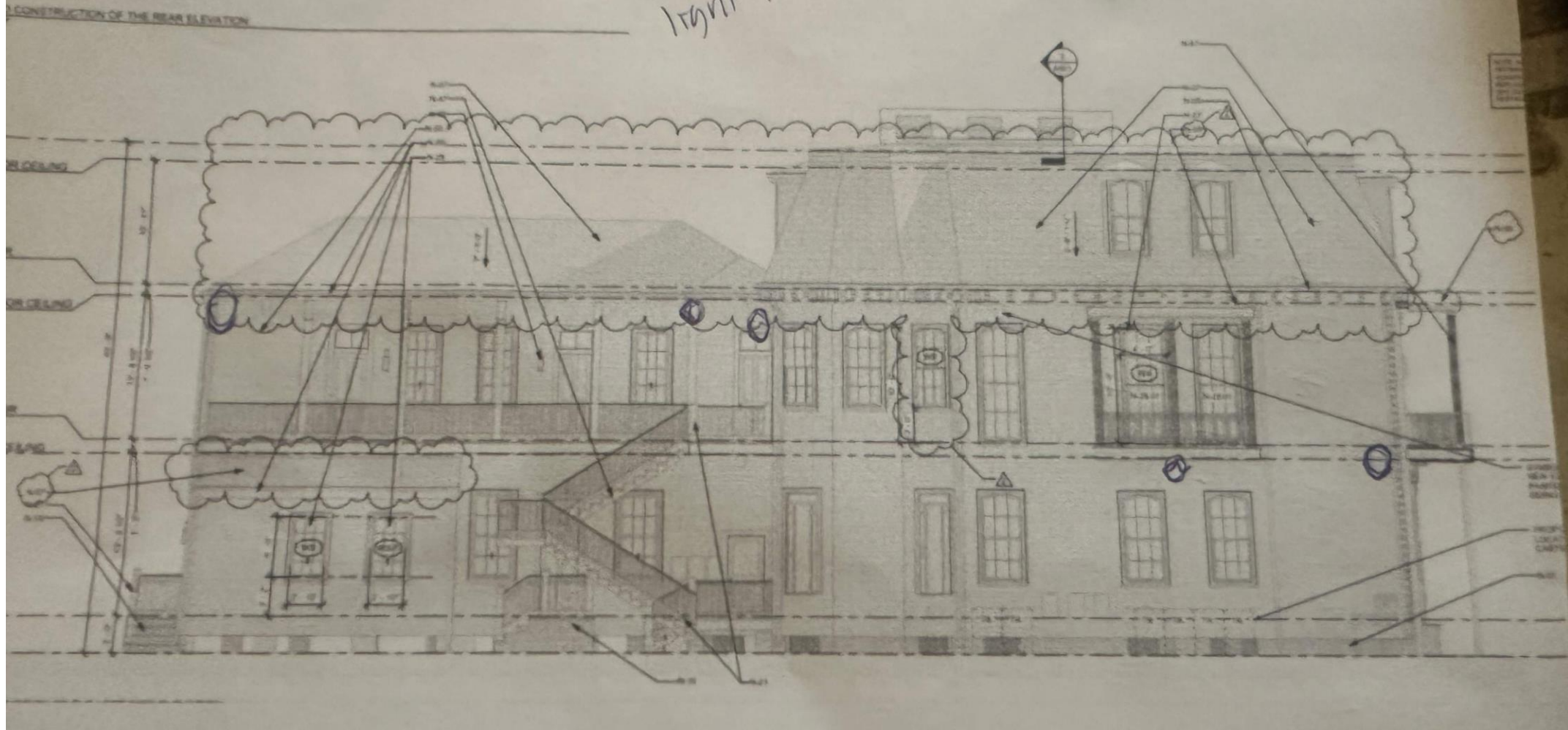
Details on exact
fixture to be permitted
separately.

N-07	REPAIR AND REPAINT EXIST. DECORATIVE IRONWORK "IN-KIND", TYP.
N-68	GC & PLUMBER TO COORD. EXACT HEIGHT & PLACEMENT OF FIXTURE W/ OWNER.



N-67	REPAIR AND REPAINT EXIST. DECORATIVE IRONWORK "IN-KIND", TYP.
N-68	GC & PLUMBER TO COORD. EXACT HEIGHT & PLACEMENT OF FIXTURE W/ OWNER.

632 Esplanade the NOVA Folio
 ○ Security
 light locations

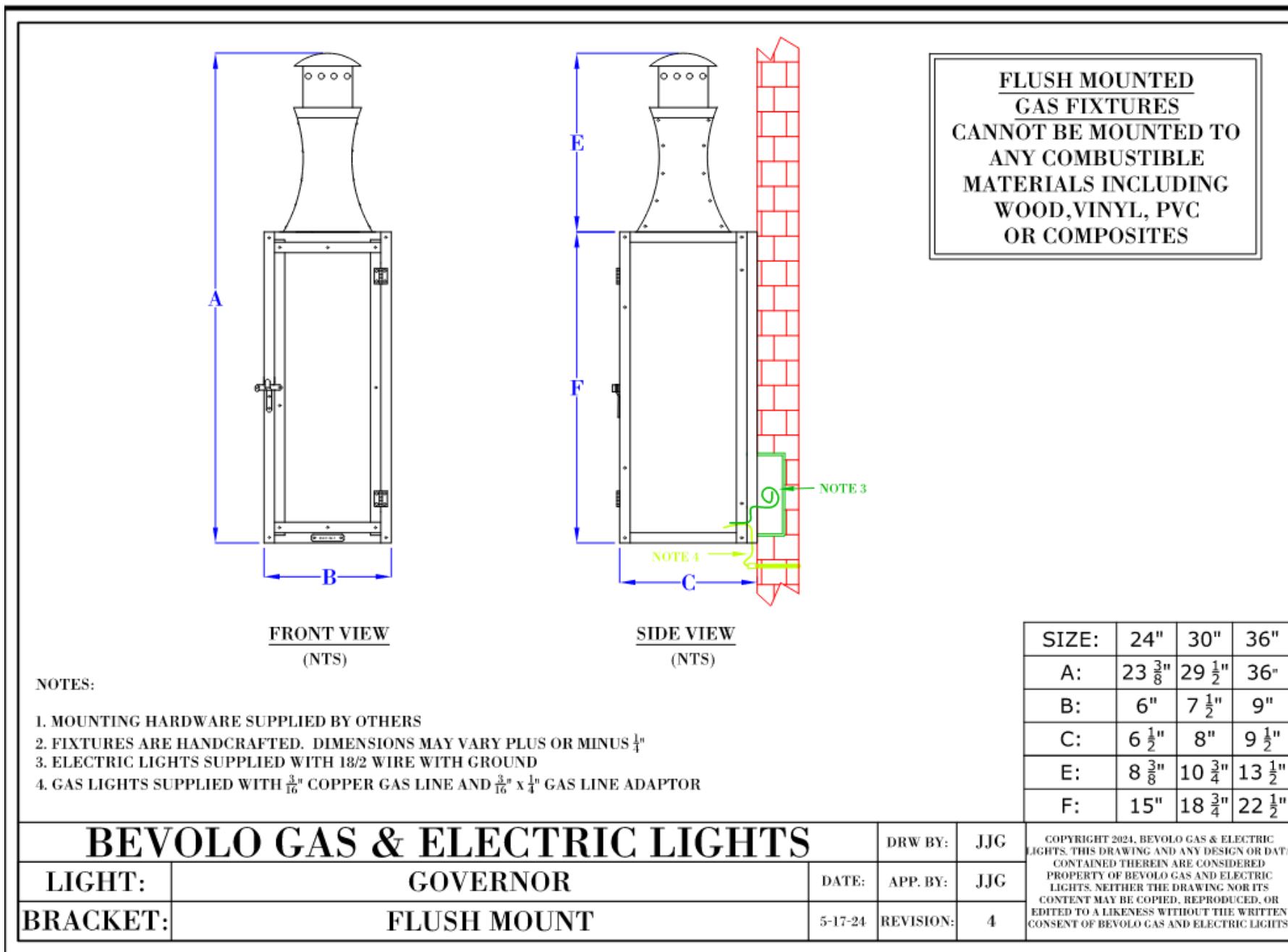


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ADAMICK
ARCHITECTURE

1139 ORETHA CASTLE HALL
NEW ORLEANS, LA 70113
504.322.1220

No.	Description	Date
31 AUG 2022	DD-3	
16 AUG 2022	DD-2	
09 AUG 2022	DD-1	
03 AUG 2022	SD-4	
28 JULY 2022	SD-3	
20 JULY 2022	SD-2	
08 JULY 2022	SD-1	
20 JUNE, 2022	EC-1	

Project: #2022-13
632 ESPLANADE AVE. MULTI-FAMILY
RENOVATION

ADDRESS:
632 ESPLANADE AVE.
NEW ORLEANS, LA 70116

FIRST FLOOR
LIGHTING

DATE: 03/16/2023
ARCH PM: ADB
ID PM: CWS
CHECKED BY: AJA
SHEET NO: **E201**
CAD FILE NO: 2023-1007.DWG

GENERAL NOTES:

1. BRANCH CIRCUIT HOMERUNS SHALL BE SIZED FOR VOLTAGE DROP BASED UPON THE FOLLOWING FOR 120V, 1A, 20A LOADS:
#12 - 0'-70'
#10 - 71'-110'
#8 - 111'-175'
#6 - 175'-280'
PROVIDE APPROPRIATE HARDWARE TERMINATION FOR ASSOCIATED WIRE SIZE.
2. BRANCH CIRCUITS SHALL NOT EXCEED 3% VOLTAGE DROP. UPSIDE WIRE AS REQUIRED.
3. COORDINATE WITH ARCHITECTURAL DRAWINGS/OWNER.
4. PROVIDE UNWITCHED HOT CONDUCTOR TO ALL EXIT SIGNS AND EMERGENCY EGRESS LIGHTING FIXTURE VOLTAGE SENSING CIRCUITS.
5. EMERGENCY LIGHTS SHALL BE WIRED FOR SWITCHED OPERATION UNLESS NOTED OTHERWISE. EXIT SIGNS SHALL BE UNWITCHED.
6. PROVIDE LOW VOLTAGE CONTROL WIRING, POWER PACKS, ETC TO PRODUCE A FULLY OPERATIONAL SYSTEM AS PER THE SWITCHING/CONTROL SCHEMES SHOWN ON DRAWINGS.

EXTERIOR LIGHTING TO BE PERMITTED SEPARATELY.

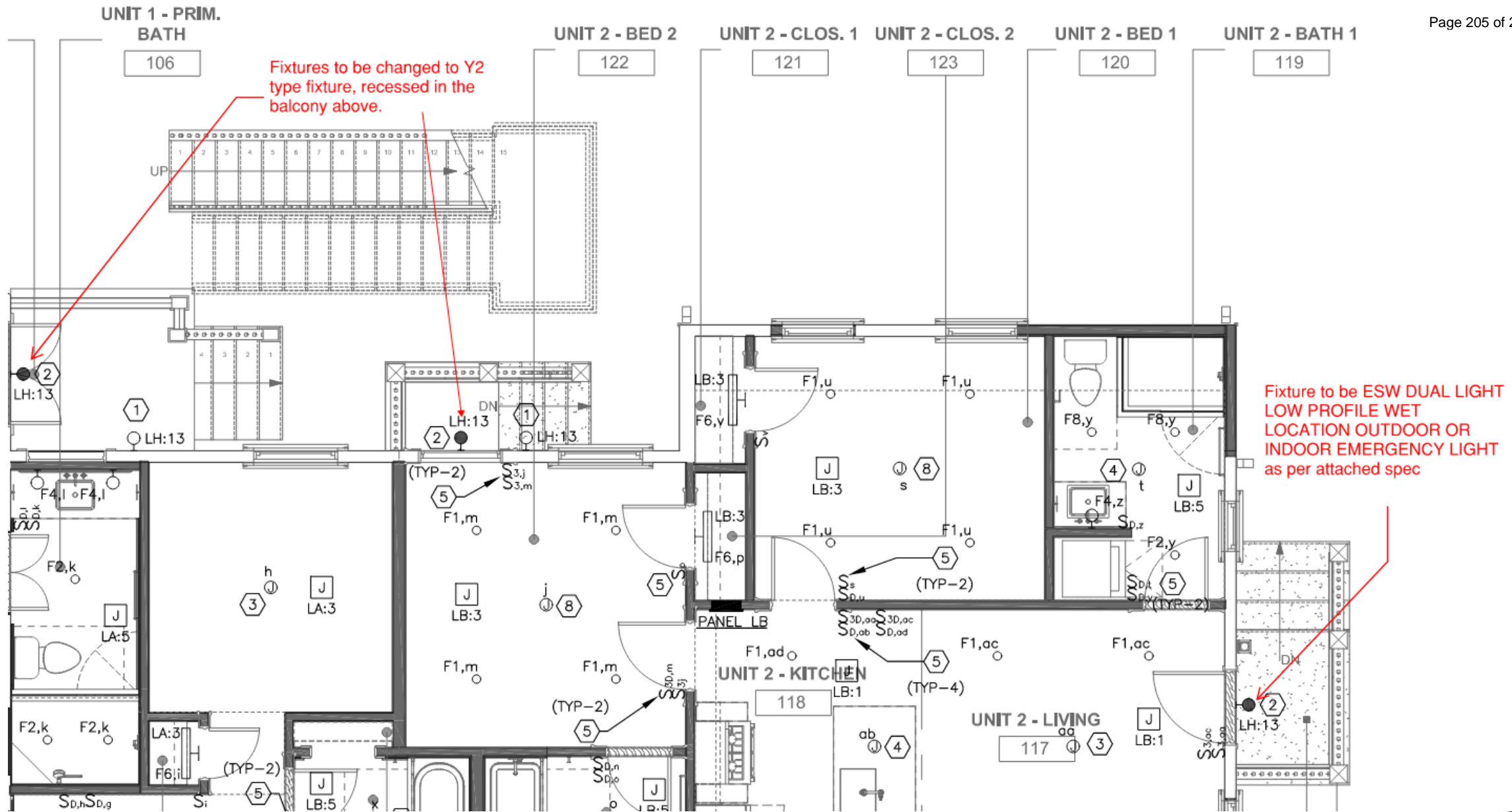
EXTERIOR LIGHTING TO BE PERMITTED SEPARATELY.

SPECIFIC NOTES:

1. LIGHTING FIXTURE (60W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
2. EXTERIOR EMERGENCY LIGHTING FIXTURE (60W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
3. CHANDELLER (100W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
4. PENDANT LIGHTING FIXTURE (80W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
5. INSTALL SWITCH IN DOOR JAMB. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
6. LIGHTING FIXTURE MOUNTED TO THE BOOKCASES. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
7. LIGHTING FIXTURE (20W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR. VERIFY FIXTURE SELECTION WITH SHPO PRIOR TO ORDERING.
8. CEILING FAN (100W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
9. TIMER SWITCH PER SPECIFICATIONS FOR CONTROL OF ALL EXTERIOR LIGHTING FIXTURES ON CIRCUIT LH-13. COORDINATE SWITCH LOCATION WITH ARCHITECT/OWNER PRIOR TO ROUGH-IN.

632 Esplanade – Lighting – Previously Approved Plans
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632 Esplanade – Lighting – Previously Approved Plans

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September 9, 2025



Exterior lighting to be permitted separately.

NS SHALL BE SIZED
D UPON THE FOLLOWING
S:

Emergency fixtures to use round trim as seen in attached spec

RDWARE TERMINATION
E.

NOT EXCEED 3%
/IRE AS REQUIRED.

ECTURAL

F CONDUCTOR TO ALL
ICY EGRESS LIGHTING
3 CIRCUITS.

. BE WIRED FOR
.ESS NOTED OTHERWISE.
SWITCHED.

ONTROL WIRING, POWER
A FULLY OPERATIONAL
FCHING/ZONING
WINGS.

Exterior lighting to be permitted separately.

SPECIFIC NOTES:

- 1 LIGHTING FIXTURE (60W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
- 2 EXTERIOR EMERGENCY LIGHTING FIXTURE (60W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
- 3 CHANDELIER (100W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
- 4 PENDANT LIGHTING FIXTURE (60W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
- 5 INSTALL SWITCH IN DOOR JAMB. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- 6 LIGHTING FIXTURE MOUNTED TO THE BOOKCASES. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- 7 LIGHTING FIXTURE (20W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR. VERIFY FIXTURE SELECTION WITH SHPO PRIOR TO ORDERING.
- 8 CEILING FAN (100W MAXIMUM) TO BE SPECIFIED BY OWNER AND SUPPLIED AND INSTALLED BY CONTRACTOR.
- 9 TIMER SWITCH PER SPECIFICATIONS FOR CONTROL OF ALL EXTERIOR LIGHTING FIXTURES ON CIRCUIT LH:13. COORDINATE SWITCH LOCATION WITH ARCHITECT/OWNER PRIOR TO ROUGH-IN.





EV4R Series
Recessed Ceiling Mount LED Emergency Light

FEATURES

Application
The EV4R Series is a ceiling mounted, recessed emergency light with superior emergency lighting coverage. The EV4R provides 90 minutes of emergency illumination when primary power is lost. The EV4R Series has a flame-rated, UV stable thermoplastic housing and choice of round or square trim-plate in white or black finish. The 4 LEDs are housed within an aluminum heat-sink and adjustable optic assembly. Each LED is driven at 1 watt each. Includes micro-controlled pulse charger and nickel metal hydride (NiMH) battery. The EV accepts 120/277VAC input at 50 or 60 Hz. Unit can be applied at 220-240VAC input without self-diagnostic option. The EV4R is approved for use in the City of Chicago with the addition of a KIT-EV4R-CP which includes a gasket, foil tape and special installation instructions.

Construction
The EV4R housing and trim-plate is made of flame-rated, UV stable thermoplastic with a lightly textured white or black finish. Each LED is housed in an aluminum heat-sink. Adjustable optic assembly is made of ABS thermoplastic. LED lens are made of acrylic. Includes a steel back-box and caddy-bar assembly.

Installation
The EV4R includes a round or square trim-plate with a rough-in template for back-box installation. Includes a caddy bar assembly for mounting within a T-Grid ceiling. Conduit entry through knock-outs in the back-box. Pre-stripped AC input leads provided. Unit designed for ceiling mount only.

Illumination
The EV Series provides bright and uniform illumination and increased spacing by using 4 high power LEDs which are mounted in an adjustable optic assembly in 2 pairs. Adjustability is based on mounting height for optimal light pattern. LED's are driven at 1 watt each for 88 lumens per LED.

Photometrics are available for download at www.dual-lite.com.

Catalog Number	
Comments	Date



Round or Rectangle Trim-Plates

Compliances
Listed to UL924 Standard, NFPA 101 and NFPA 70
Damp Location Listed
IC Rated
CEC T20 Compliant

Warranty
LED Lifetime Warranty
EV4R Full 3 Year Warranty
EV4R with Spectron® Full 5 Year Warranty

ACCESSORIES

KIT-EV4R-CP Kit for Chicago Plenum Rating (see Note 4)

ORDERING GUIDE



- Notes:
1. Each model includes round or square trim-plate
2. Each model is damp listed
3. Not for 220-240VAC input
4. KIT-EV4R-CP adds gasket and foil tape to meet City of Chicago Plenum Rating

finish per architect

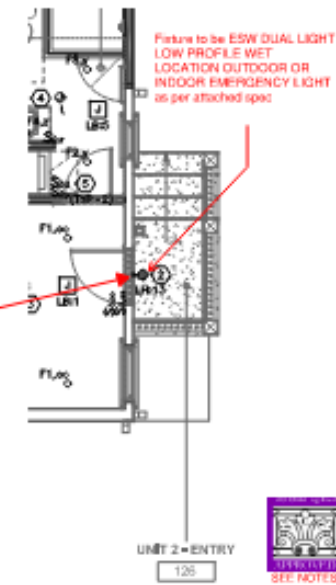


Round or Rectangle Trim-Plates





Fixture to be used at
rear of building as
seen on sheet E201



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EMERGENCY LIGHTING AND ELECTRIC SUPPLY



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EXIT SIGNS EMERGENCY LIGHTING COMMERCIAL LIGHTING ADA BRAILLE OUTDOOR LIGHTING INDOOR LIGHTING ACCESSORIES EGRESS BATTERIES CIRCUIT BREAKERS

Home > Wet Location Emergency Lighting > Dual Light Low Profile Wet Location Outdoor or Indoor Emergency Light



**DUAL LIGHT LOW PROFILE WET LOCATION OUTDOOR OR INDOOR
EMERGENCY LIGHT**

« »

\$229.00

AVAILABILITY : In Stock

PRODUCT TYPE : Wet Location Emergency Lighting

VENDOR : Wet Location Emergency Lighting

SKU : ESW-EML-PG

632 Esplanade – Lighting – Previously Approved Plans

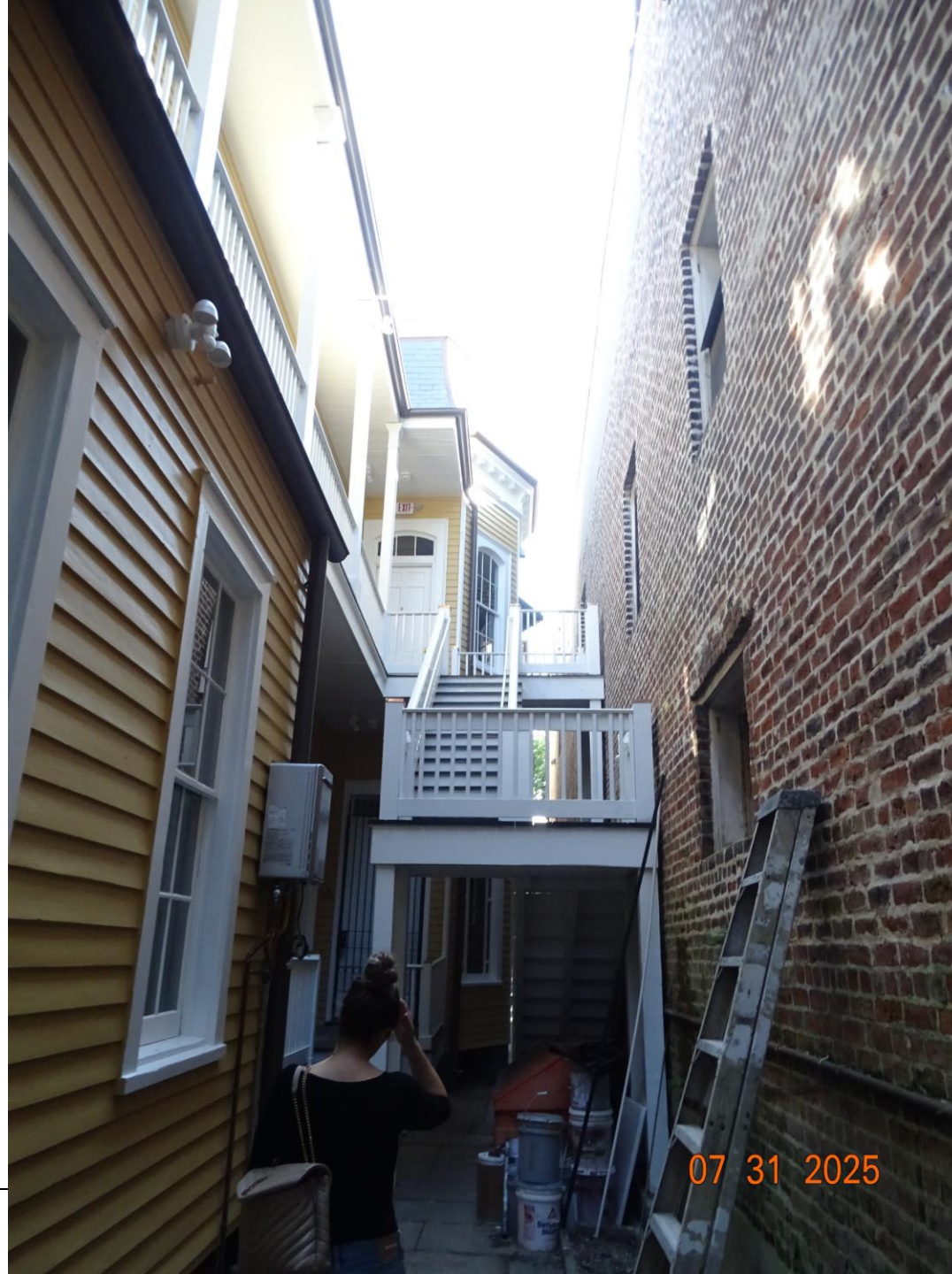
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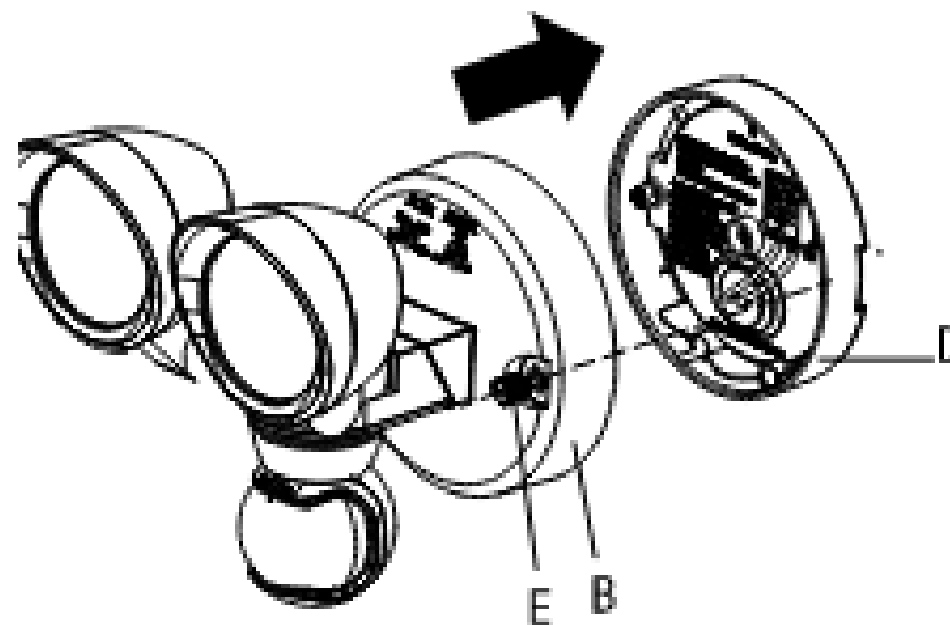
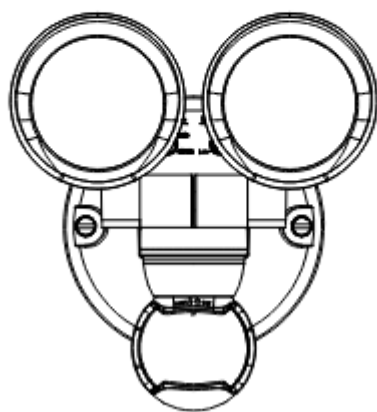
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USE AND CARE GUIDE

MOTION SECURITY LIGHT



Old wood fence



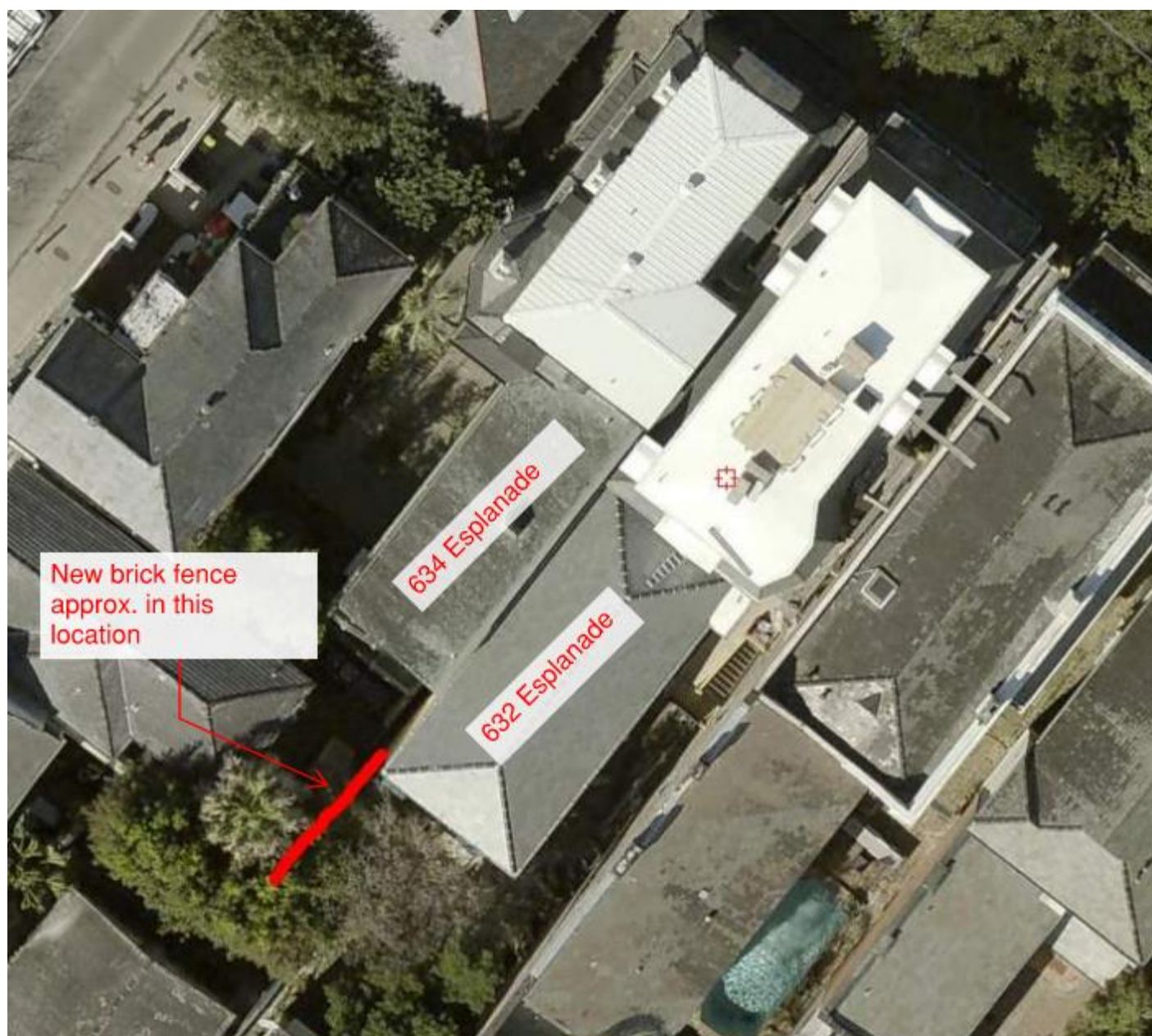
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New masonry fence



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632 Esplanade – Masonry Wall

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