

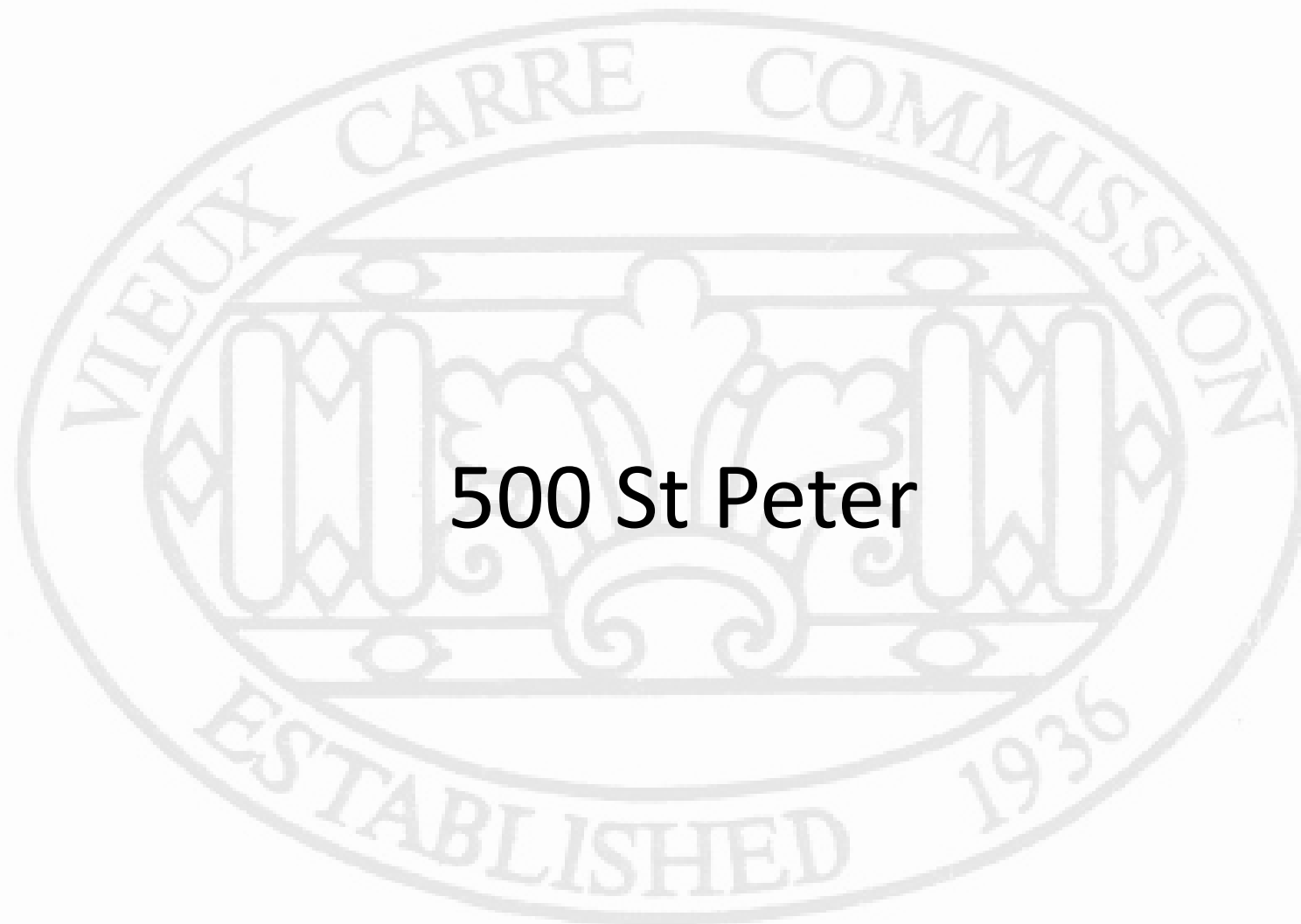


Vieux Carré Commission Architecture Committee Meeting

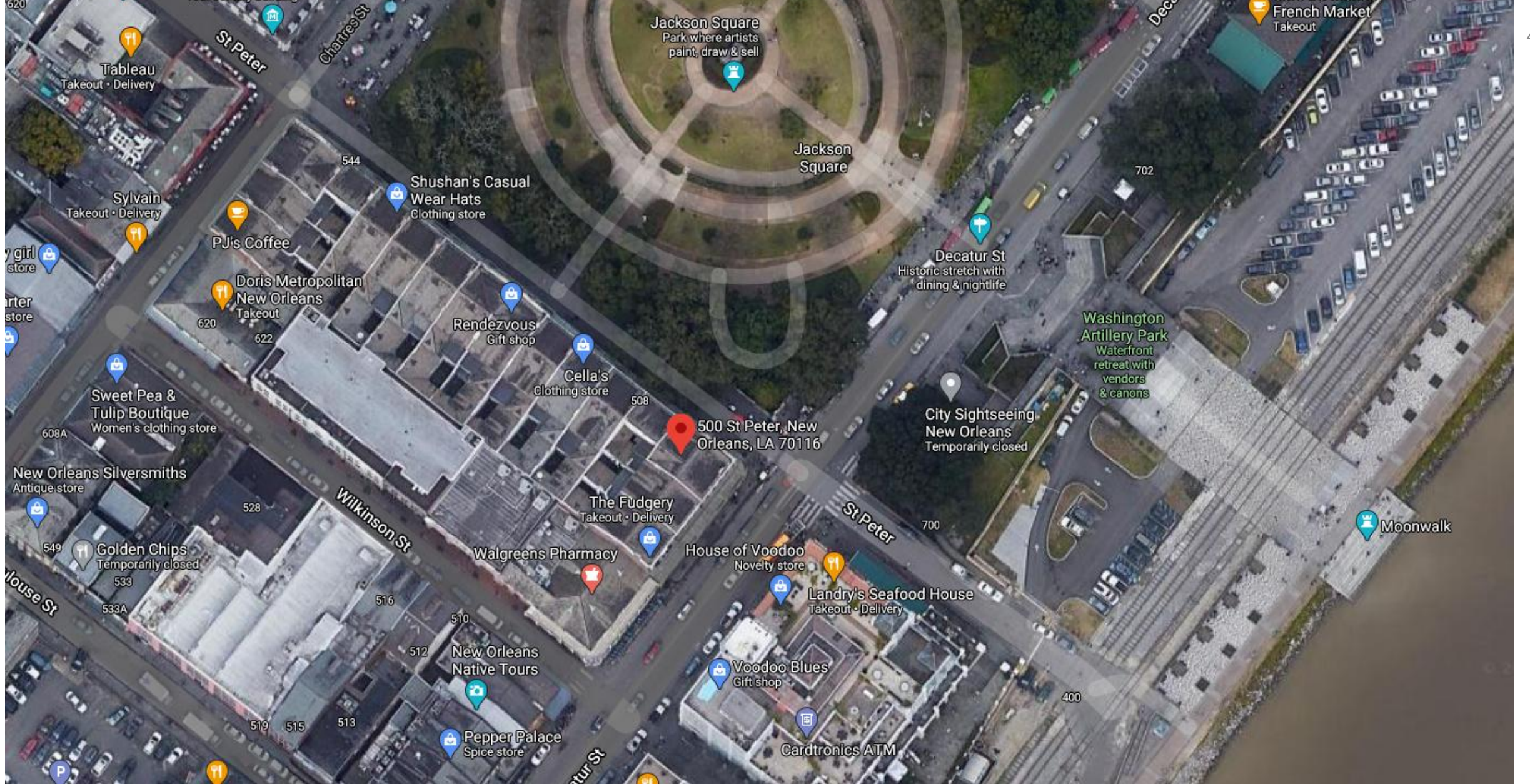
Tuesday, June 9, 2026



Old Business



500 St Peter



500 St Peter

VCC Architectural Committee

June 9, 2026





500 St Peter

VCC Architectural Committee

June 9, 2026





500 St Peter

VCC Architectural Committee

June 9, 2026





500 St Peter

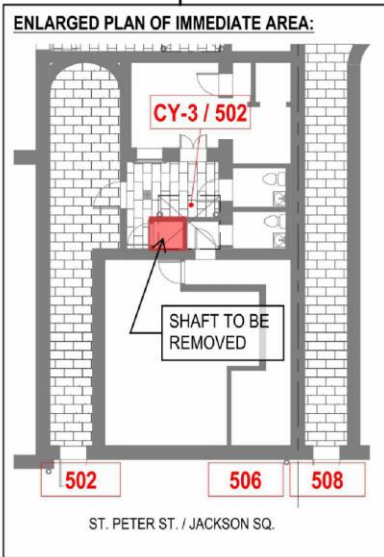
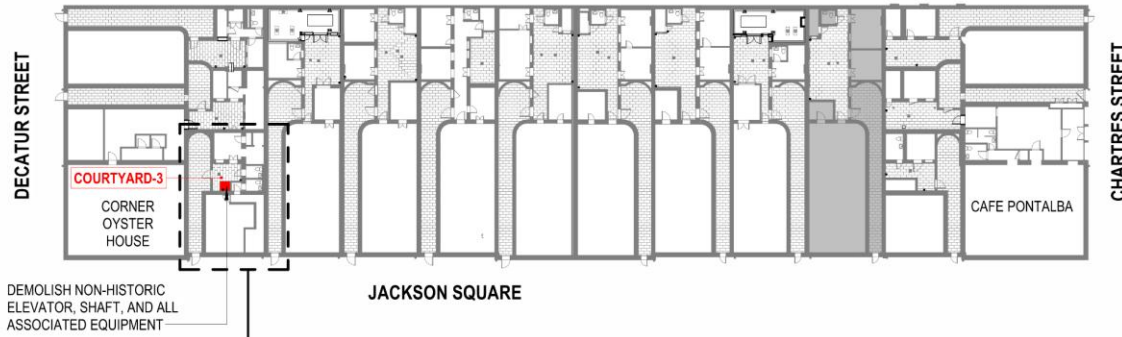
VCC Architectural Committee

June 9, 2026



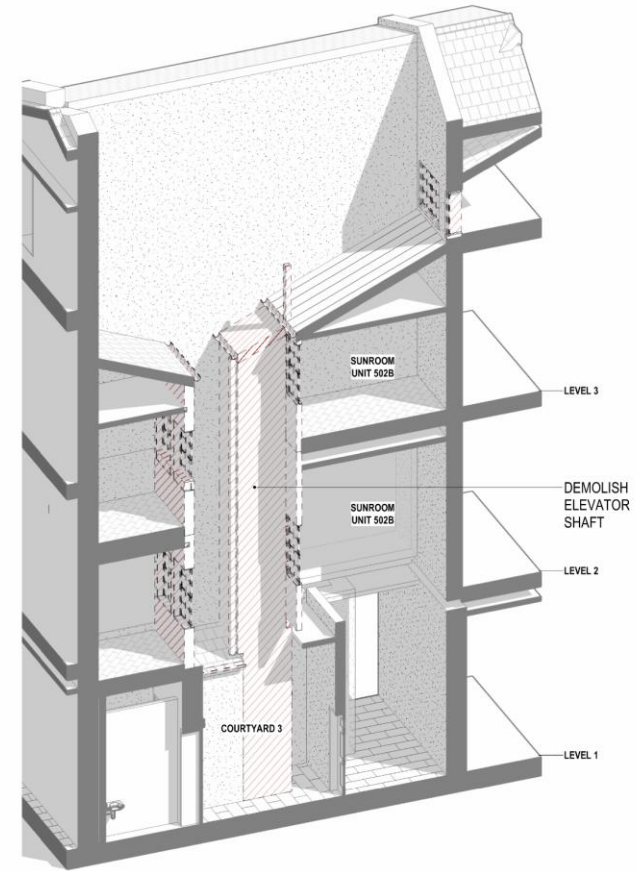
PROPOSAL TO DEMOLISH ABANDONED ELEVATOR SHAFT

LOCATION OF SHAFT:



EXISTING CONDITIONS OF SHAFT:

LATE 20TH CENTURY WOOD-FRAMED ELEVATOR SHAFT; STUDS ARE SEVERELY DAMAGED BY TERMITES. RESIDENTIAL-STYLE ELEVATOR EQUIPMENT IS NON-FUNCTIONAL (ABANDONED).



2 COURTYARD 3 - DEMO - PLAN SW VIEW
VCC-3.00 SCALE:



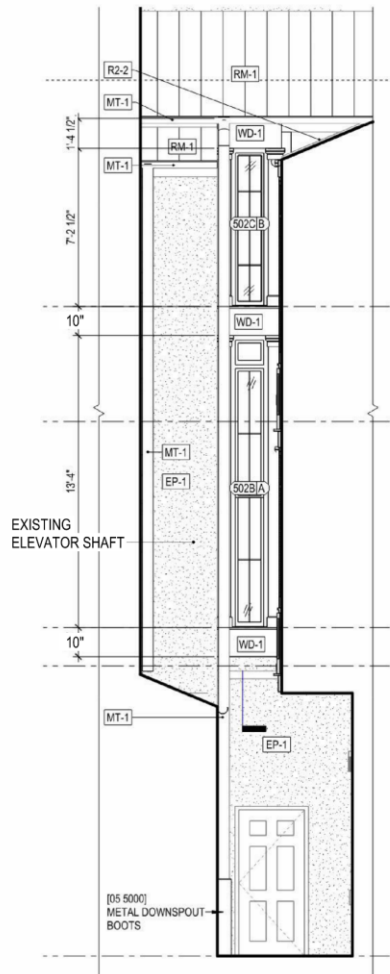
EXISTING CONDITIONS OF SHAFT:

LATE 20TH CENTURY WOOD-FRAMED ELEVATOR SHAFT; STUDS ARE SEVERELY DAMAGED BY TERMITES. RESIDENTIAL-STYLE ELEVATOR EQUIPMENT IS NON-FUNCTIONAL (ABANDONED).



OPTION COMPARISON

ELEVATION AS PREVIOUSLY PROPOSED

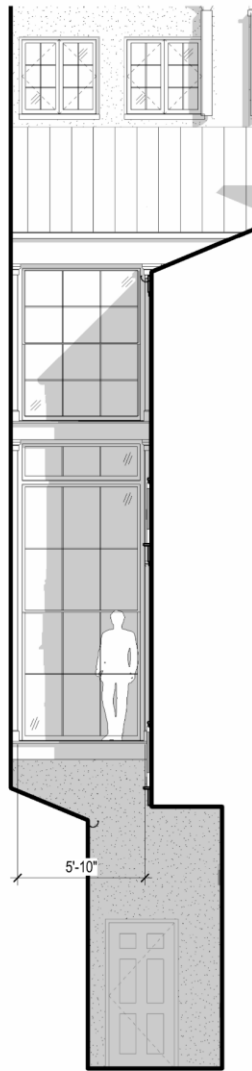


+/- 13'-10" R.O.

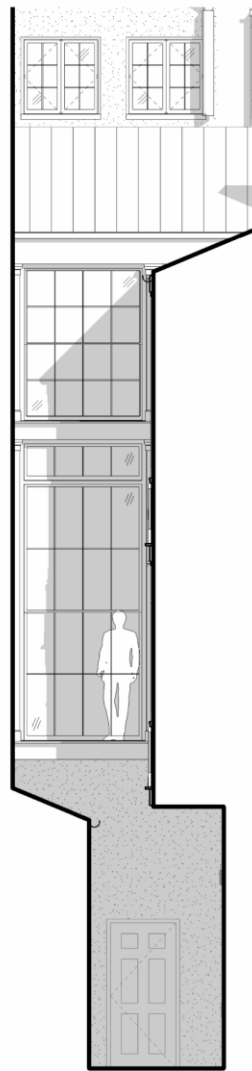
12'-2"
FINISH CLING IN APT.
11'-9 1/2"

2'-7 1/4" 2'-7 1/4" 7 1/2"

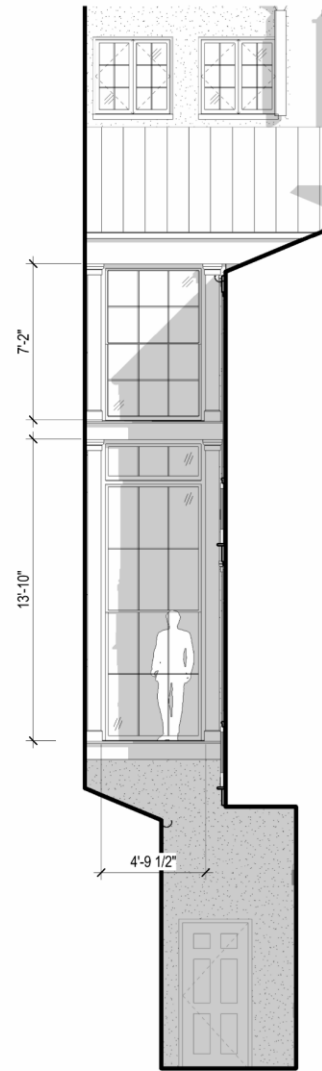
OPTION 1A



OPTION 2A



OPTION 2A.1



OPTION 2B

CN20096 | FMC UPB ROOF AND BUILDING REPAIRS | 500 ST. PETER STREET | FRENCH MARKET CORPORATION
06/04/2026

TRAPOLINPEER ARCHITECTS VCC-3.01

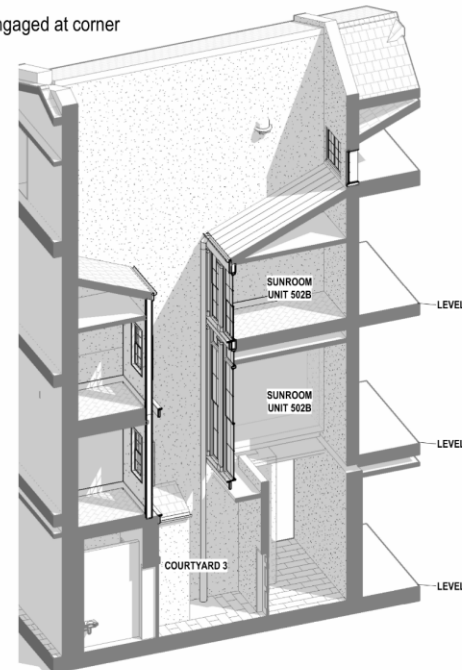
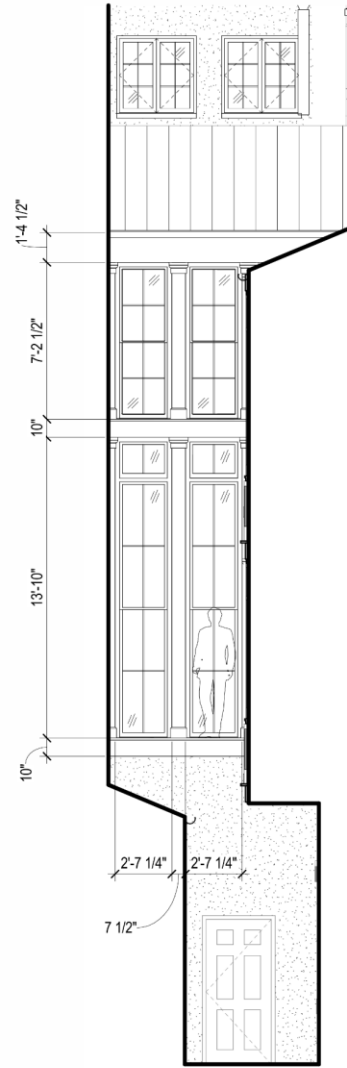
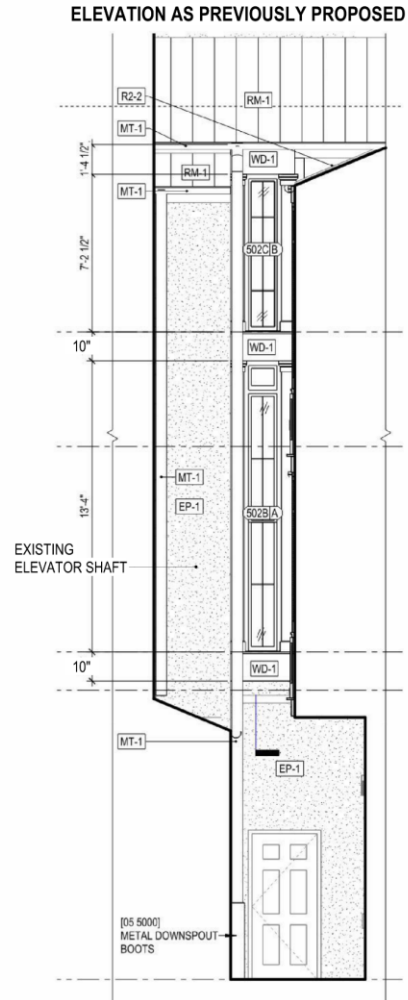
500 St Peter

VCC Architectural Committee

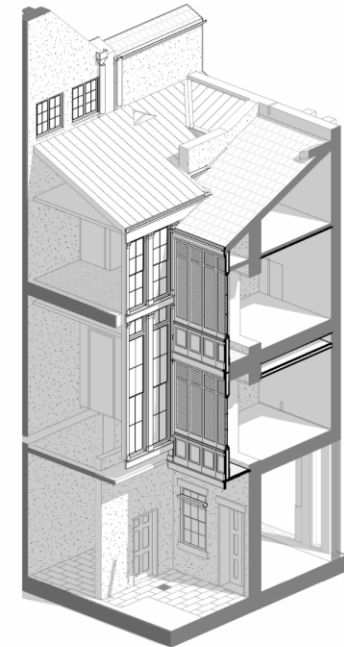
June 9, 2026



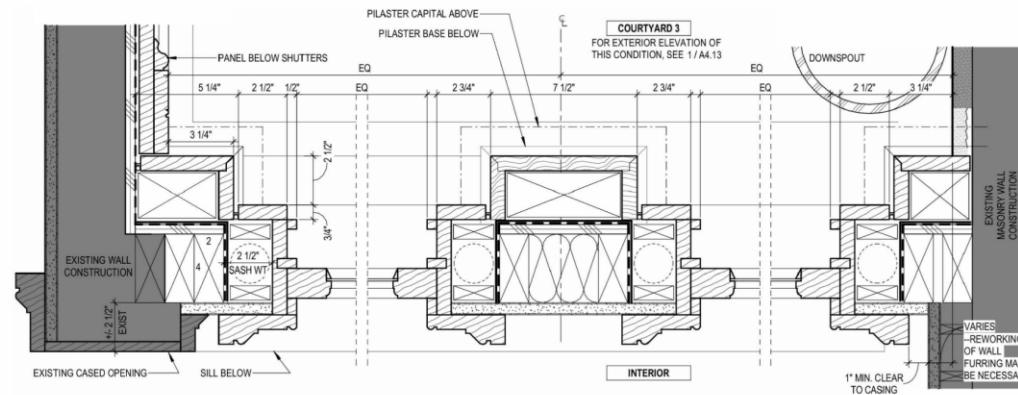
OPTION 1A Two new windows at each level, pilasters engaged at corner

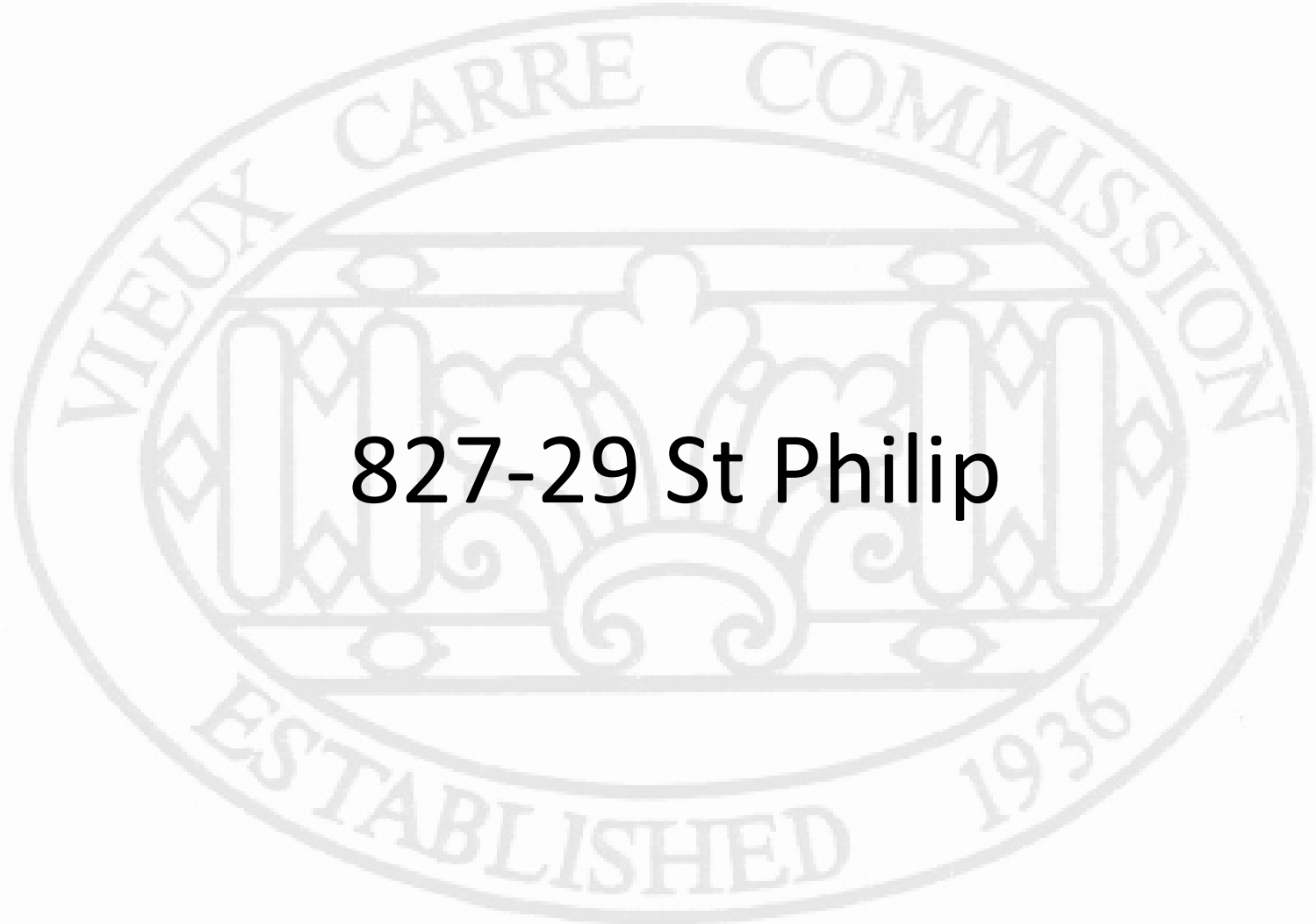


3 COURTYARD 3 - AXON - OPTION 1A - SW VIEW
VCC-3.11 SCALE:



2 CY-3 - AXON - OPTION 1A
VCC-3.11 SCALE:





827-29 St Philip



827-29 St Philip

VCC Architectural Committee

June 9, 2026





827-29 St Philip

VCC Architectural Committee

June 9, 2026





827-29 St Philip

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June 9, 2026





827-29 St Philip

VCC Architectural Committee

June 9, 2026





827-29 St Philip

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June 9, 2026





827-29 St Philip

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June 9, 2026





827-29 St Philip

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June 9, 2026





827-29 St Philip

VCC Architectural Committee

June 9, 2026





827-29 St Philip

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827-29 St Philip

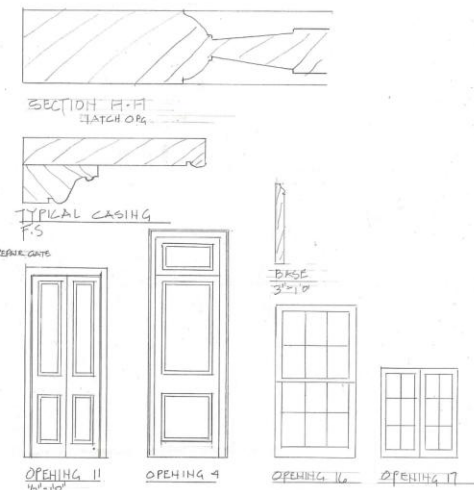
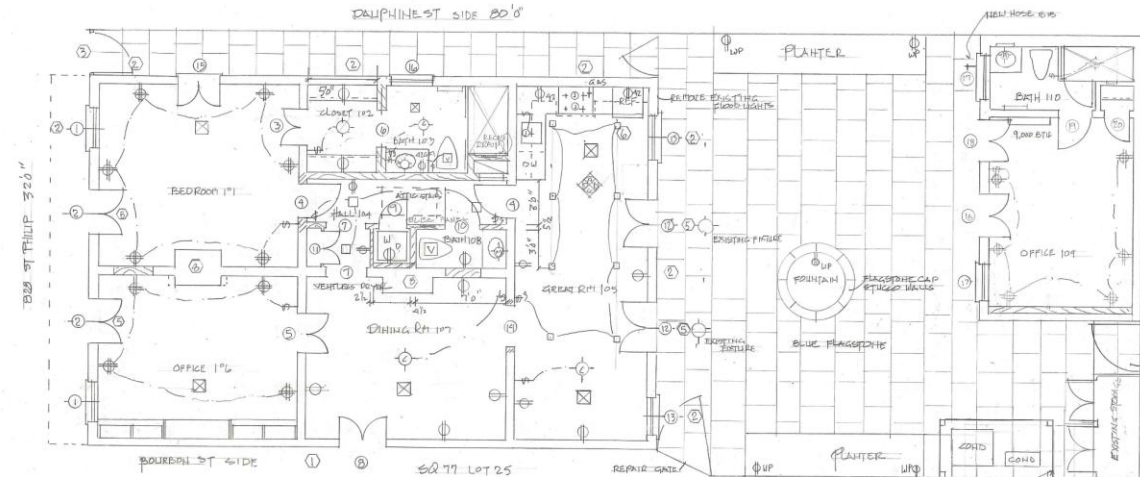
VCC Architectural Committee

June 9, 2026





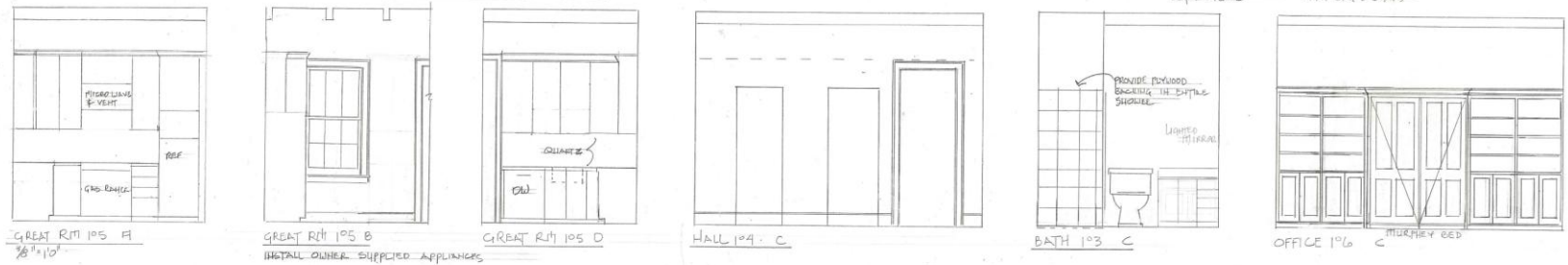
Koch and Wilson Architects
 A Professional Corporation (SBA) 584-7023
 1100 Jackson Avenue, New Orleans, LA 70130
 architects@kochandwilson.com



ROOM	FLOOR	BASE	WALL	CEILING	NOTES
101	LD	WD	PLASTER	LD	
102	LD	WD	PLASTER	WD	
103	WFLR	WD	PLASTER	WD	
104	LD	LD	PLASTER	PLASTER	
105	LD	LD	PLASTER	LD	END WALL PAINTED
106	LD	LD	PLASTER	LD	
107	LD	LD	PLASTER	LD	
108	TILE	LD	PLASTER	PLASTER	LOWER CEILING
109	TILE	LD	PLASTER	PLASTER	END WALL 4" GROUND VERTICAL B.S. PLASTER OUT FROM WALL LINES
110	TILE	LD	PLASTER	PLASTER	REPAIR ALL LD CEILING BEAMS

- GENERAL NOTES**
- REPLACE DETERIORATED SIDING MATCH EX SIDE USE RED GRANITE
 - INSTALL NEW FOUNDATION VENT
 - REPAIR GATE RANGE BOTTOM TO CLEAR PAVING
 - REMOVE SEARCHES PLUMBING LINES, SEAMS, CONDUITS, ETC & REPAIR STUCCO
 - REMOVE SLATS & STUCCO WHERE REMOVED USE PLASTER FOR TREAT
 - REMOVE CONDENSER TOP THE ROOF
 - REPAINT EXTERIOR BRICKING COLOR
 - REPAIR HANDLES
 - PROVIDE FINISHED WATER HEATER IN BATH SET

MARK	WIDTH	HEIGHT	THICK	NOTES
1	3'-1"	3'-4"	1 1/2"	EX 0/2 OH LD WINDOW W/ SHUTTERS REPAIR ORG
2	3'-1"	3'-11"	1 1/2"	EX 6 1/2 PANEL CHAMBER DOORS W/ SHUTTERS REPAIR ORG
3	3'-0"	6'-6"	1 1/2"	NEW PAIR 3 PANEL LD DOOR SEE ELEVATION
4	2'-0"	6'-6"	1 1/2"	NEW 3 PANEL LD DOOR SEE ELEVATION
5	3'-0"	6'-6"	1 1/2"	EX PAIR 2 PANEL LD DOORS REPAIRED
6	3'-0"	6'-11"	1 1/2"	NEW PAIR PACKET 1 LT RD GLASS / 1 PANEL LD DOORS
7	3'-0"	6'-6"	1 1/2"	NEW CASED OPG
8	4'-11"	7'-11"	1 1/2"	NEW PAIR 2 LTR 2 PANEL LD DOORS 3 LTR TRANSOM BELIND
9	2'-0"	6'-6"	1 1/2"	SOLID CORE LD DOOR W/ BASE BOARD W/ CASING
10	2'-0"	6'-6"	1 1/2"	DO
11	2'-0"	7'-0"	1 1/2"	PAIR 2 PANEL LD DOORS (NEW)
12	3'-7"	6'-10"	1 1/2"	EX 10 LITES 1 PANEL LD CASING & BLINDS EX PAIR
13	3'-0"	5'-8"	1 1/2"	EX 1/2 OH LD WINDOW W/ SHUTTERS REPAIR
14	3'-0"	8'-0"	-	NEW CASED OPG
15	2'-4"	3'-8"	-	EX PAIR 2 LTR 2 PANEL LD DOORS & BLINDS
16	3'-0"	7'-0"	-	EX PAIR NEW 1/2 OH WINDOW WITH CH 13 BLINDS
17	2'-0"	7'-0"	-	EX 1/2 OH 2 PANEL LD DOORS & SHUTTERS
18	3'-0"	7'-0"	-	EX PAIR 4 LTR 1 PANEL NEW PAIR & SHUTTERS
19	2'-0"	7'-8"	1 1/2"	NEW 2 PANEL LD DOOR CONNECTED TO OPG 20
20	2'-0"	7'-0"	1 1/2"	NEW 2 PANEL LD DOOR CONNECTED TO OPG 14
				ALL INT CASING NEW

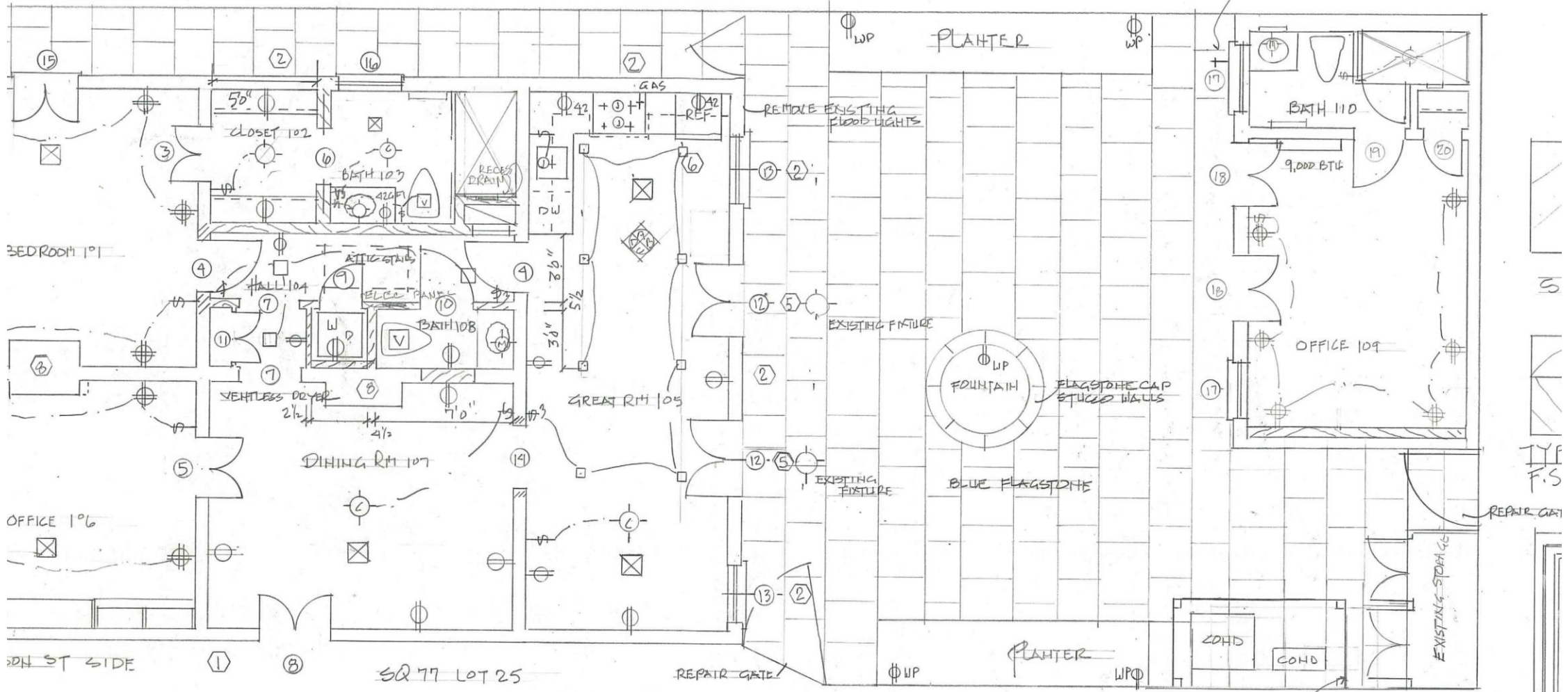


REVISIONS TO 827 ST PHILIP

Proj No:	
Date:	12 FEB 2025
Revised:	10 APR 2025
Sheet No.:	1



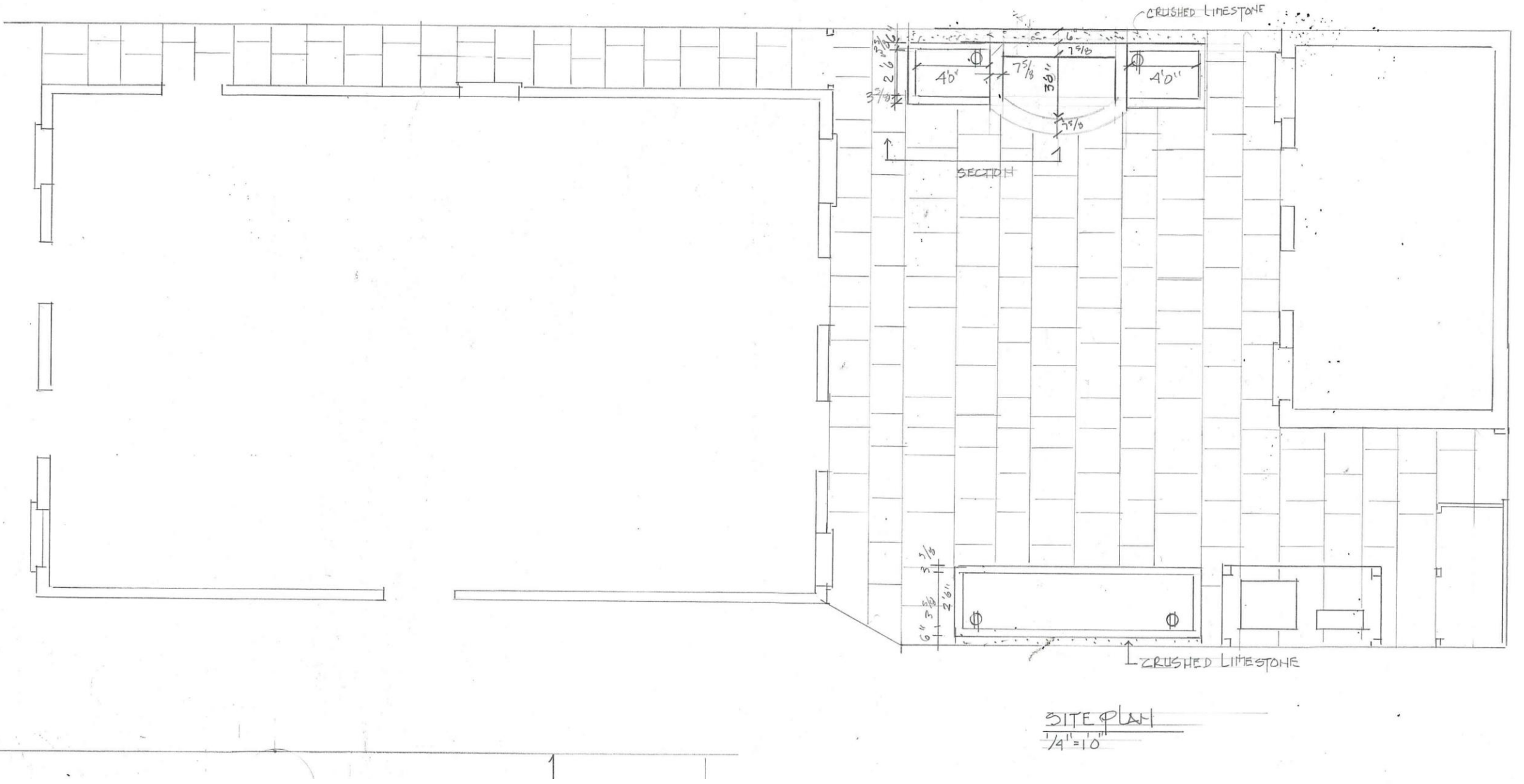
DAUPHINE ST SIDE 80'0"



FLAGSTONE SET W/ NO MORTAR JOINTS
 SETTING BED IS 4" OF CRUSHED LIMESTONE
 COVERED BY LANDSCAPE FABRIC AND 2 INCHES
 OF CONCRETE SAND.
 BROOM SWEEP SAND ACROSS JOINTS FILLING GAPS

LATTICE SCREEN
 SEE SHEET 2



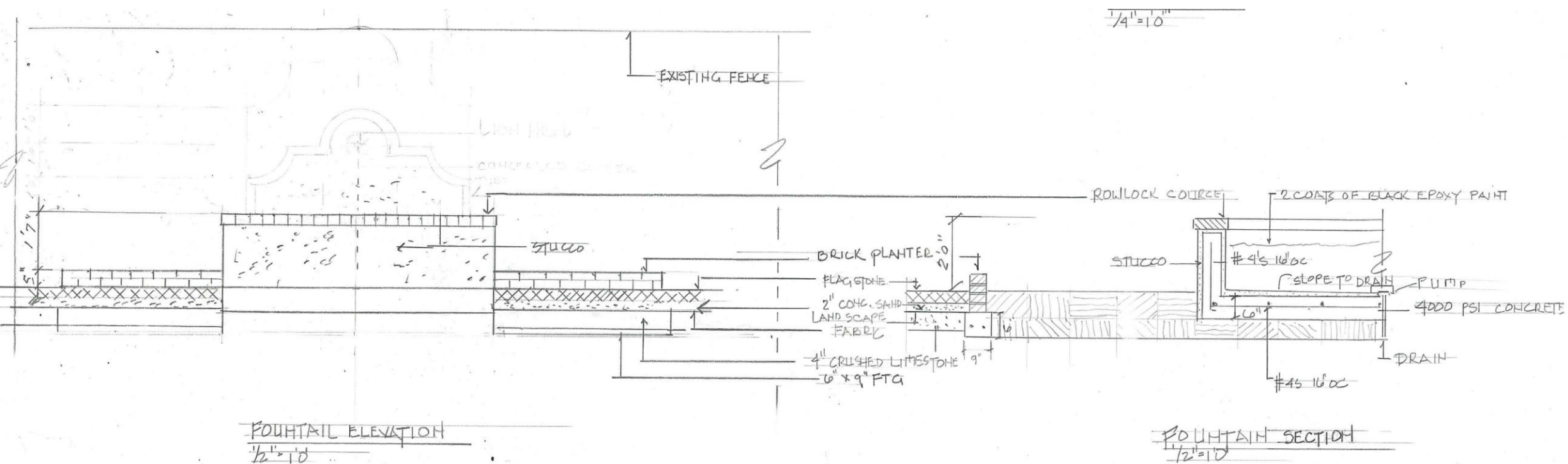


827-29 St Philip

VCC Architectural Committee

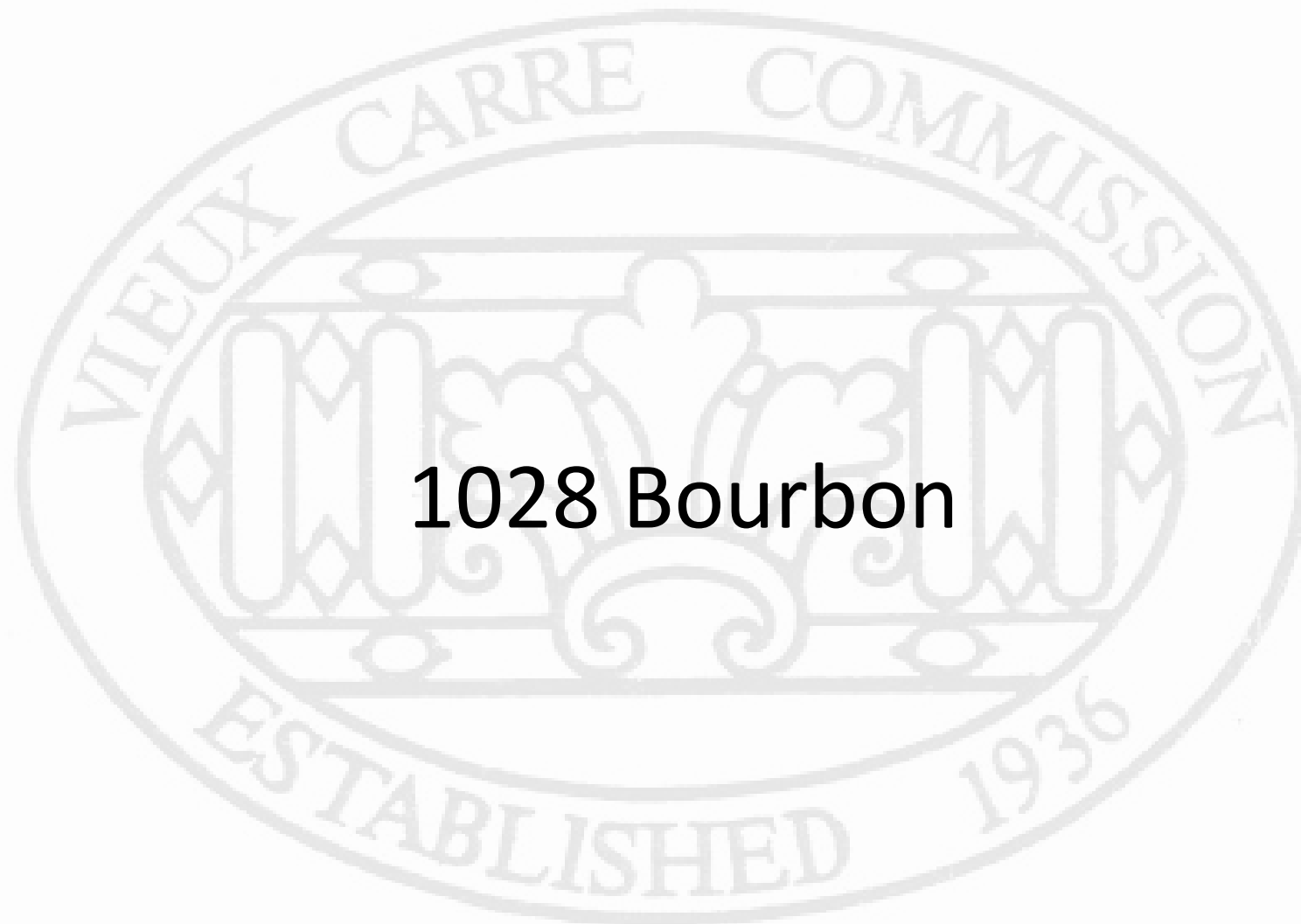
June 9, 2026







New Business



1028 Bourbon



1028 Bourbon

VCC Architectural Committee

June 9, 2026





1028 Bourbon

VCC Architectural Committee

June 9, 2026





1028 Bourbon, 1964

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June 9, 2026





1028 Bourbon, Linking Structure, 1998

VCC Architectural Committee

June 9, 2026



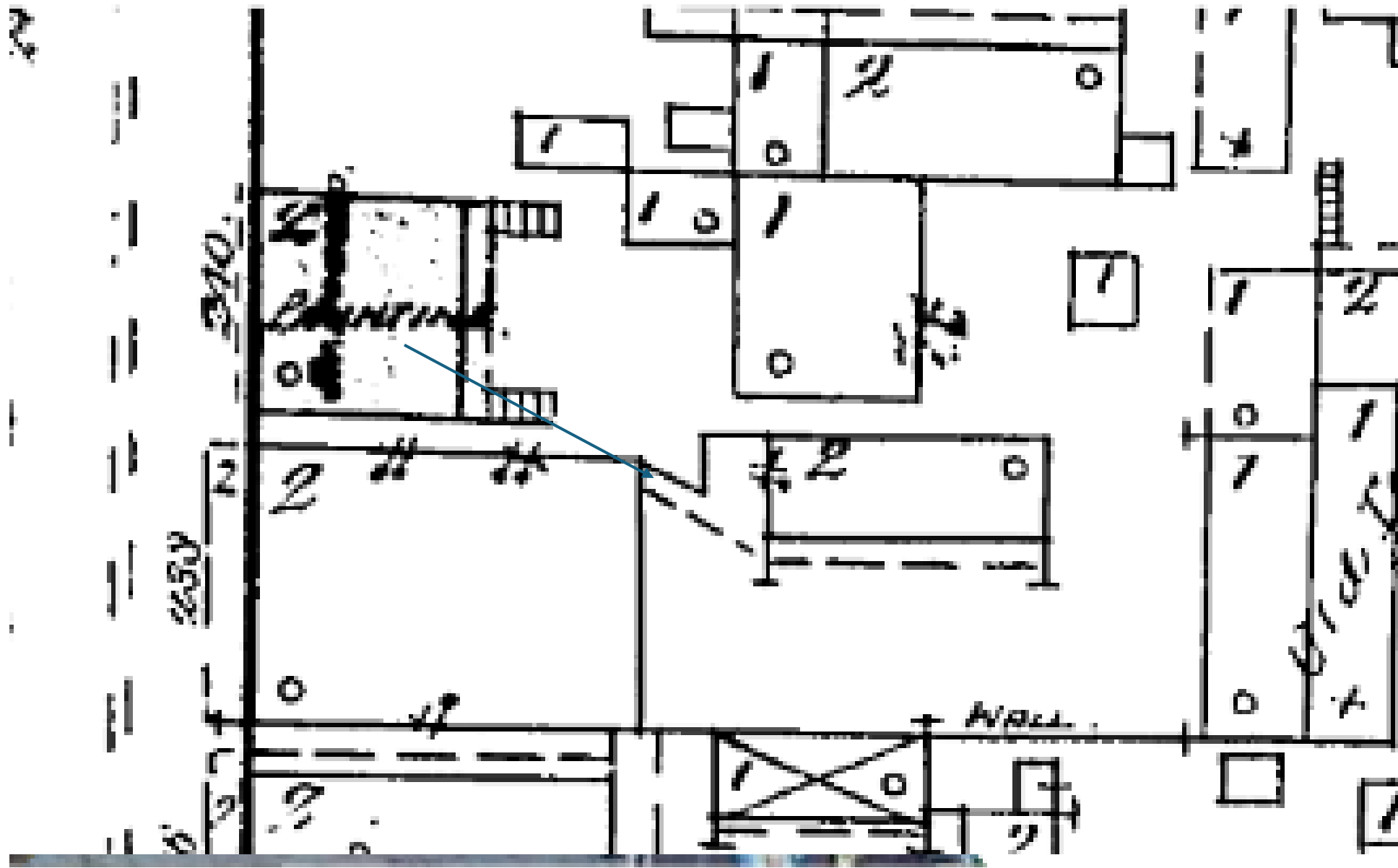


1028 Bourbon, Linking Structure, 1998

VCC Architectural Committee

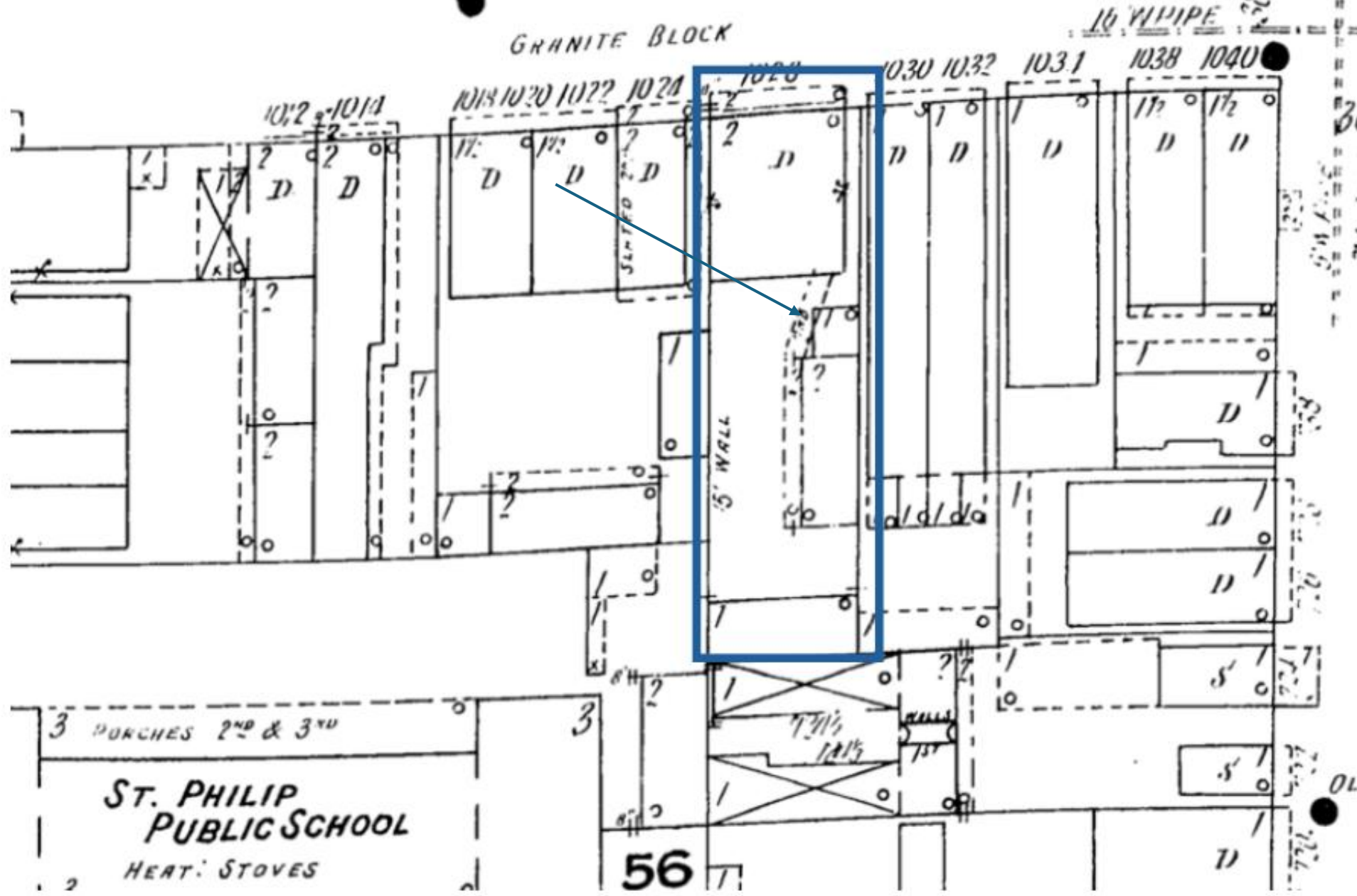
June 9, 2026





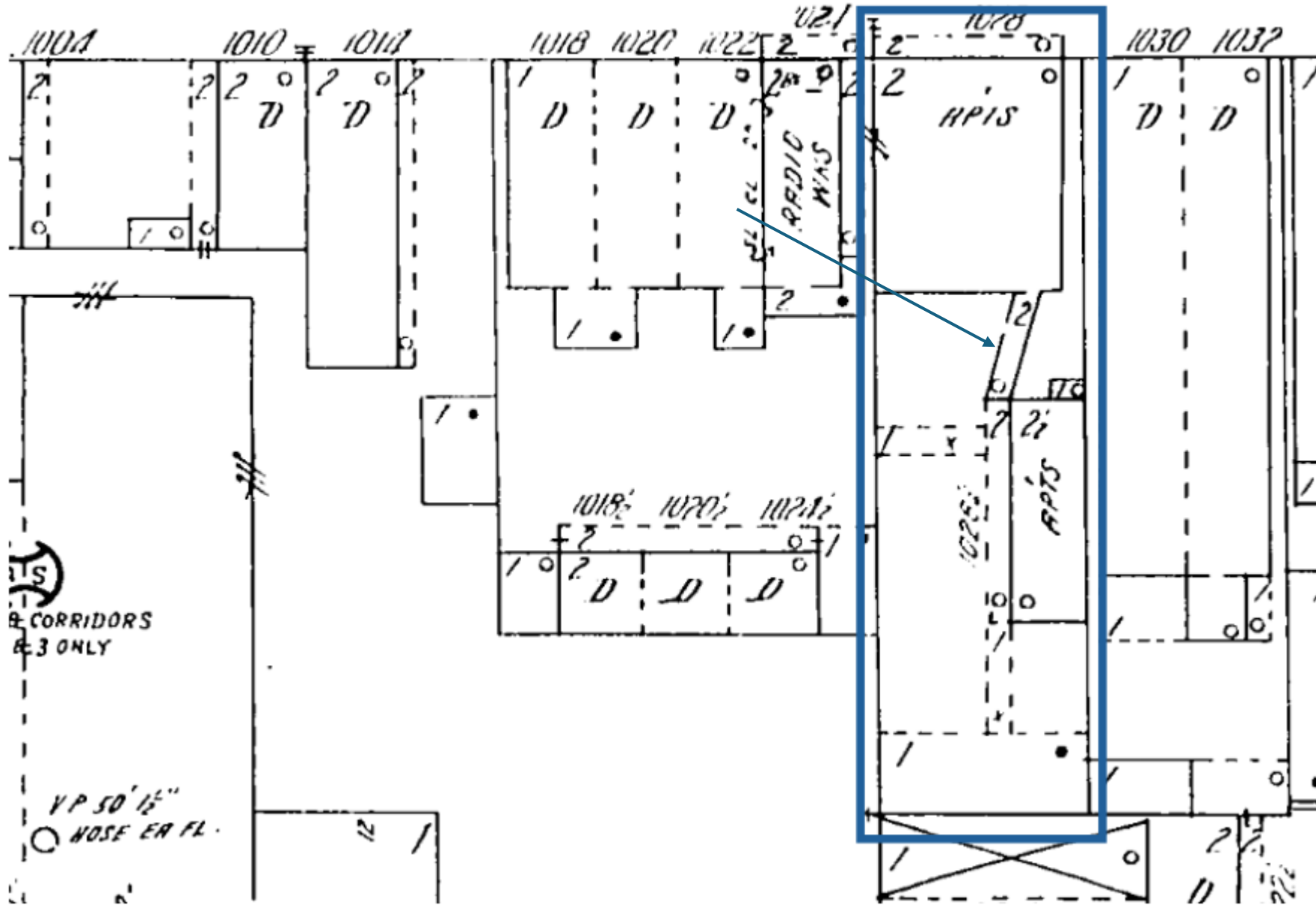
1028 Bourbon, 1885 Sanborn Map





1028 Bourbon, 1908 Sanborn





1028 Bourbon, 1940 Sanborn



Current conditions of enclosed catwalk.





Existing enclosed catwalk. Sanborns show this catwalk existing since at least 1885.



1028 Bourbon

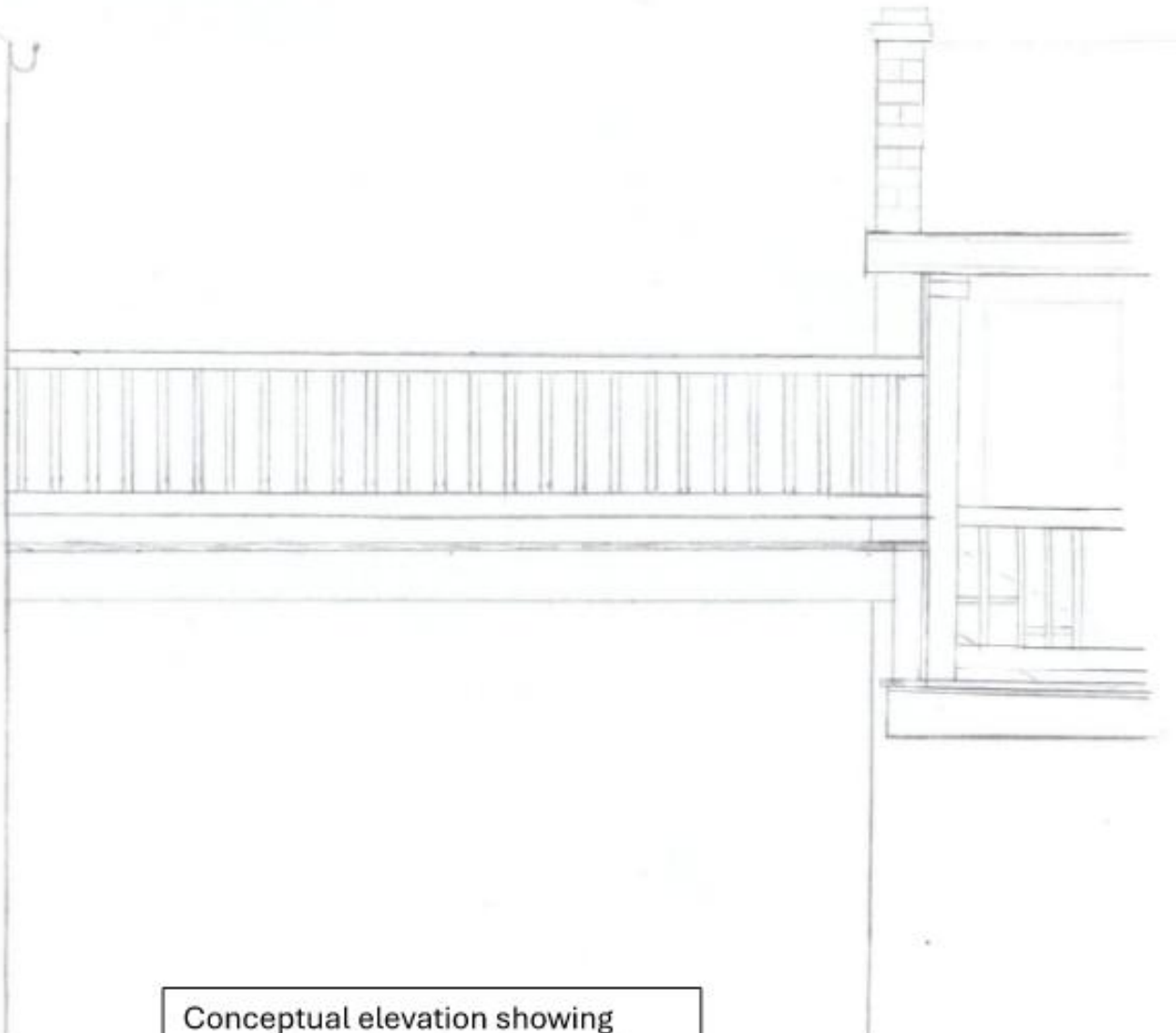


1028 Bourbon – catwalk





Multiple Sanborns show consistence in location of catwalk. Drawn with dotted line implying an open air structure.



Conceptual elevation showing conversion of enclosed catwalk to open catwalk with railing to match existing railing on service building.



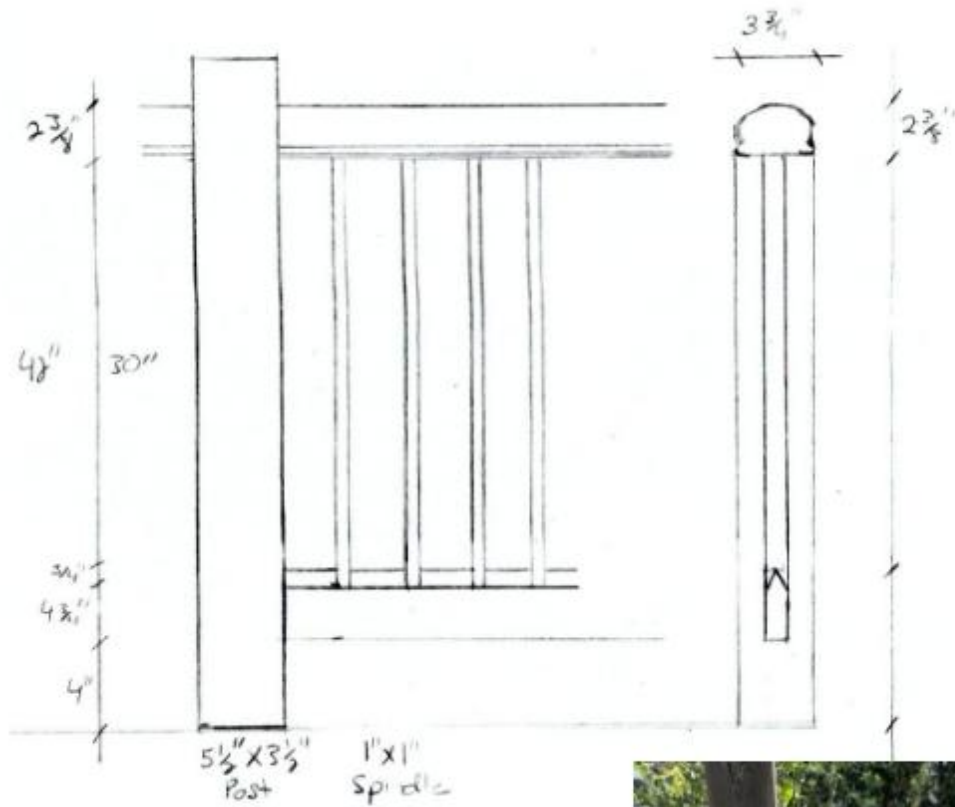


Existing access to enclosed catwalk from service building balcony.



Existing access to enclosed catwalk from interior of main building.

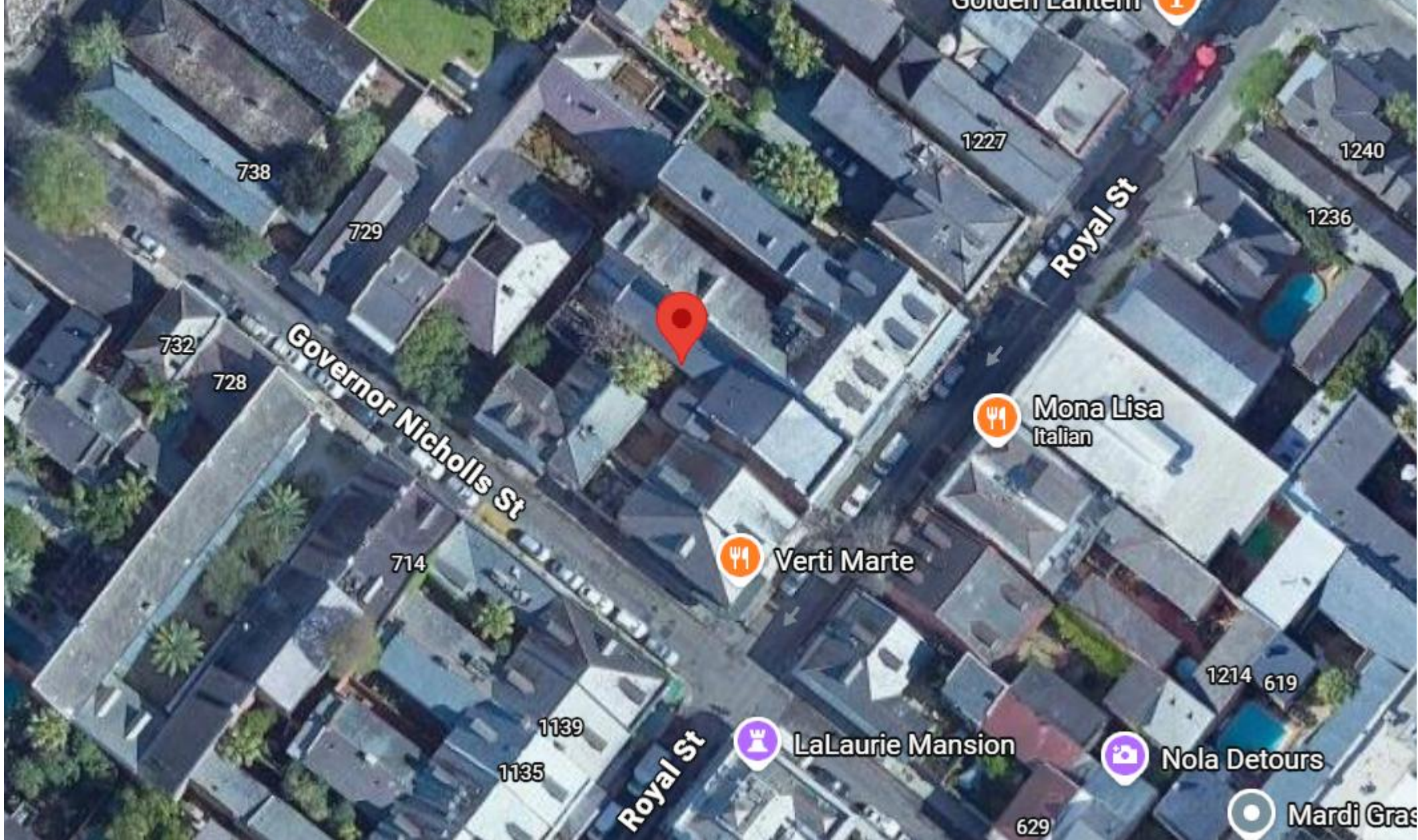




New railing to match existing railing in dimensions, spacing, material, and paint color.







1211 Royal

VCC Architectural Committee

June 9, 2026





1211 Royal, 1964

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1211 Royal

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June 9, 2026





1211 Royal

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June 9, 2026



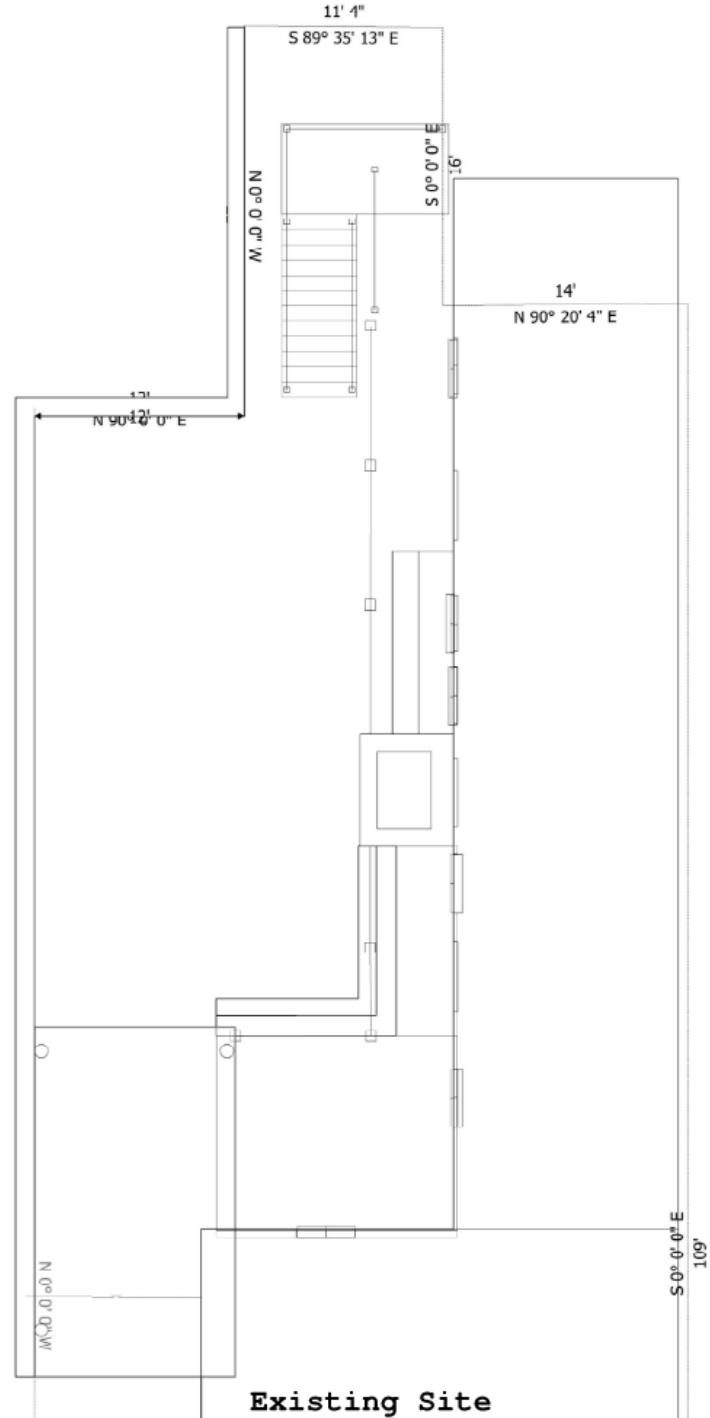


1211 Royal

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June 9, 2026





Existing Site

Scale: 1/8" = 1 ft.

1211 Royal

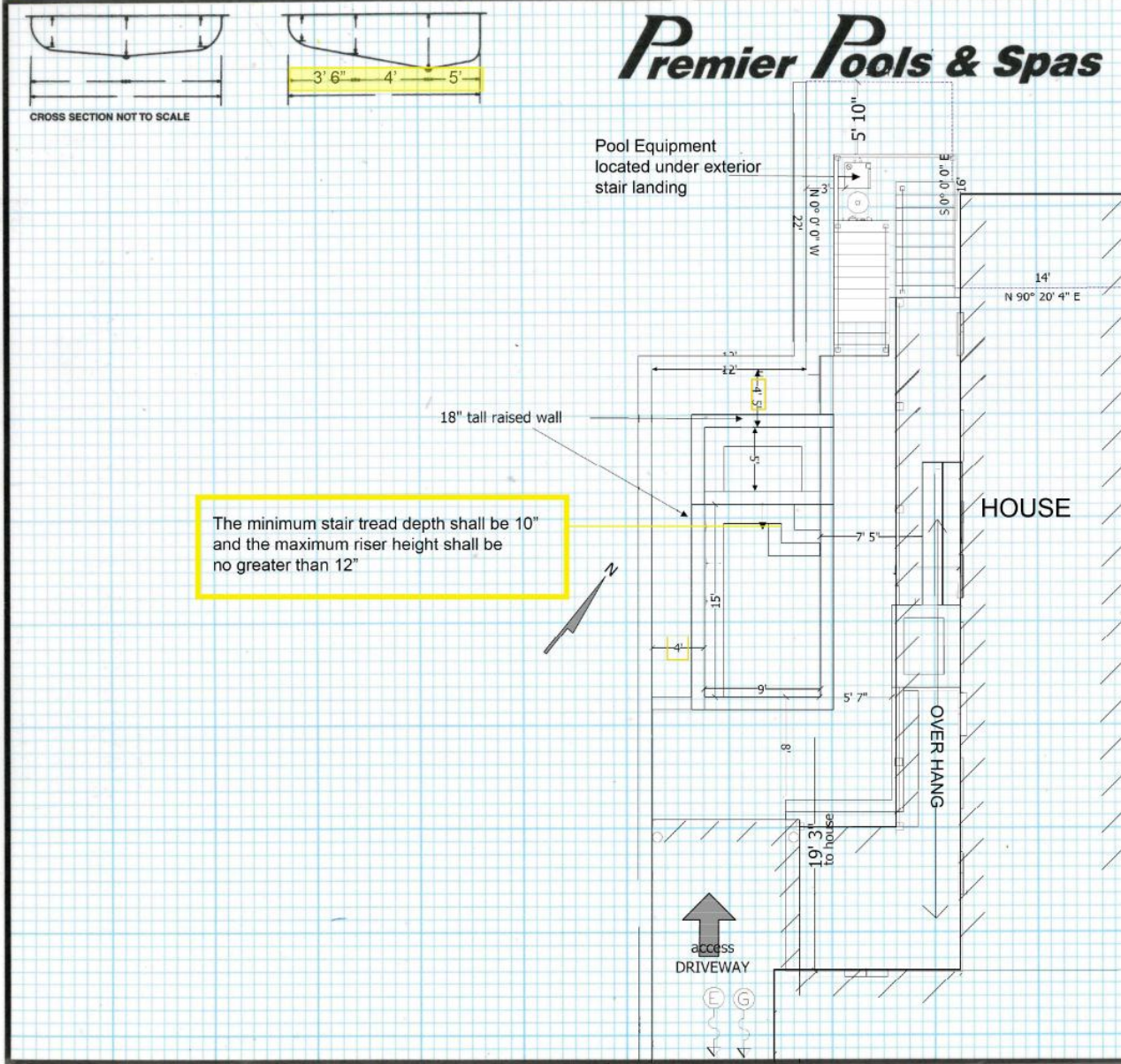
VCC Architectural Committee

June 9, 2026



MUST BE RETAINED AT CONSTRUCTION OFFICE

BUYER'S RESPONSIBILITY
Pool area to be fenced per local code. Gates to be self-latching and closing. Wet down gunite for 7 to 10 days.



POOL & SPA JOB # _____
 SURFACE AREA 170' SQ. FT. 52' PF 4,500 GALLONS
 WIDTH 9' LENGTH 17' DEPTH 3' 6" TO 4' TO 5'
 SPA SQ. FT. 45 SPA PF 28' ELEV. LEVEL

EXCAVATION/GRADING
 BORCAT/HAIL/DROP NUMBER TRK ----- ACCESS WIDTH 10'
 REMOVAL _____
 FENCE TAKEDOWN _____ SPECIAL _____

PLUMBING
 RETURNS 4 MAINS 2 SKIMMER 1 CLEAN SYS P3 floor system
 SPA MAINS _____ JETS WALL 5 JETS BENCH _____ VENTS yes
 BLOWER PORTS _____ SPA LIGHT 1 POOL LIGHT 2
 WATER FEATURES yes GAS LINE OWNER SPA CONTROL _____
 DRAINAGE SPECIAL _____

EQUIPMENT
 FILTER TYPE Cart SIZE 200 PUMP tristar SIZE 1.85 SPEED vsp
 OTHER PUMPS _____ BLOWER _____
 SANITIZER salt HEATER TYPE 400k SIZE MAINT. EQ. _____
 SELF CLEAN _____ OTHER _____

GUNITE
 BENCH 13' SWIM OUT _____ TANNING LEDGE _____
 R.R.B. 18" IN. X FT. 41'
 R.R.B. _____ IN. X FT. _____
 R.R.B. _____ IN. X FT. _____

TILE & COPING
 TILE yes POOL EDGE blue stone on site
 COLOR tbd WATER FEATURES tbd SPECIAL _____

ELECTRICAL PERMIT # _____
 TIME Hayward Omn remote _____ RUN FEET 60' allowance
 OTHER _____
 PANEL SPARES _____ INDOOR/OUTDOOR PANEL _____
 SANITIZER AquaRiteS3

DECK
 OFF CONTRACT SQ. FT. _____ DRAINS _____
 TYPE _____ COLOR _____ BREAKOUT _____
 TOP COAT EXISTING _____ SPECIAL _____
 DIVING BD. _____ HAND _____ GRAB _____ LADDER _____

PLASTER
 TYPE tbd COLOR _____ SPOT TILE _____
 SPECIAL _____

GENERAL/SPECIAL

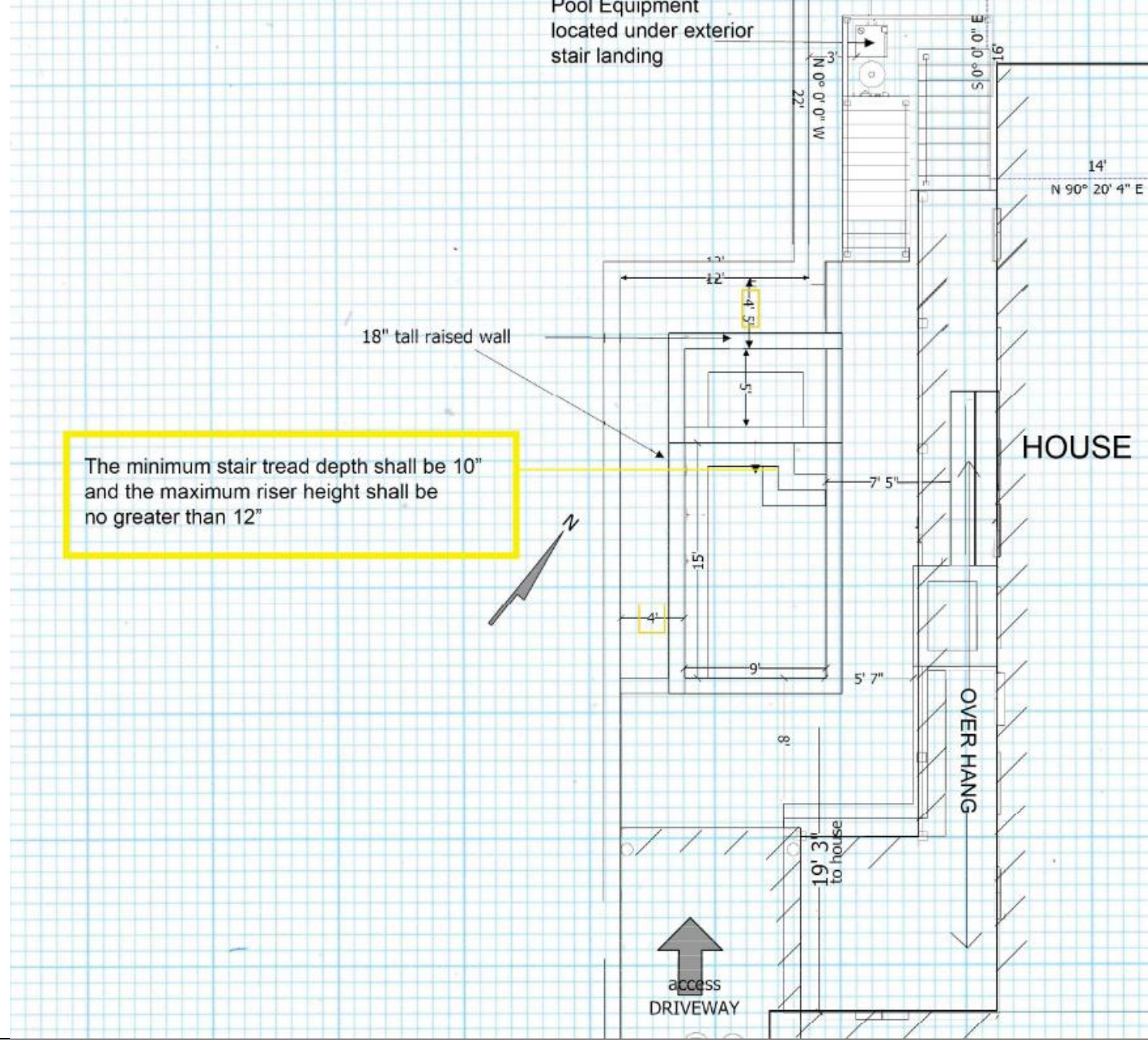
designer: Rebecca Scandurro
 Name Art Losoya 512-789-7469 Alan Hendrickson 512-461-6837
 Address 1211 Royal Street
 City/State/Zip New Orleans, LA 70116
 Cell _____ Home _____
 Lot _____ Blk _____ Sub _____
 Customer's Signature _____ Date _____
 Scale 1/8" = 1' 0"

1211 Royal

VCC Architectural Committee

June 9, 2026





1211 Royal

VCC Architectural Committee

June 9, 2026





1211 Royal

VCC Architectural Committee

June 9, 2026



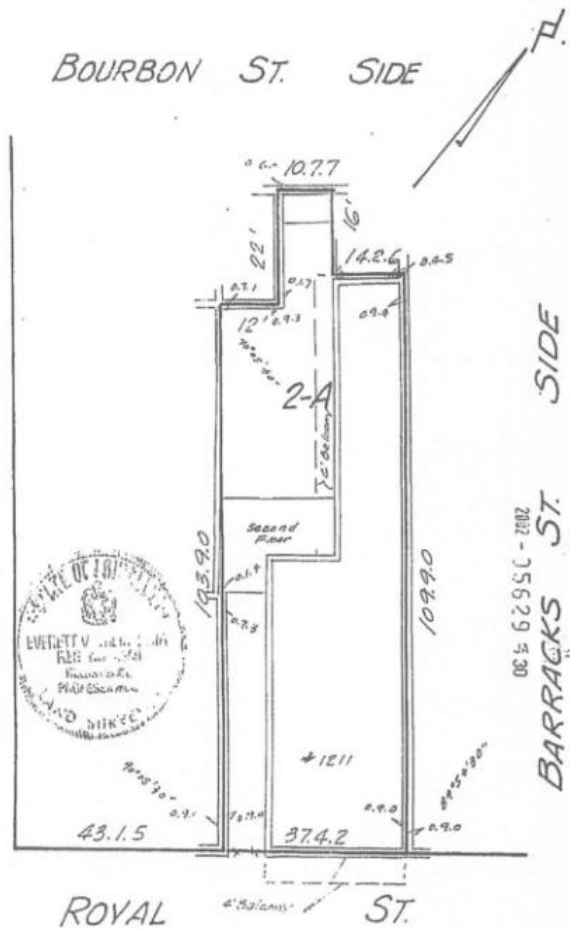
SQ. No. 54
2ND DISTRICT

NEW ORLEANS, LA.
ORLEANS PARISH

BOURBON ST. SIDE

ST.

GOV. NICHOLLS
(Late Hospital)



SIDE

BARRACKS ST.
2002 - 05629 530

ROYAL ST.

THE SERVICES SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVICES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH OR COMPARING DATA FOR THIS SURVEY.

THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD ZONING MAP INDICATES THAT THE ABOVE DESCRIBED PROPERTY IS LOCATED IN A ZONE "B".

Date: January 4, 2001

Scale: 1"=20'

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Minimum Standards for Property Boundary Surveys as found in Louisiana Administrative Code TITLE 46:LX, Chapter 25 for a Class "B" survey. Made at the request of Robert E. Berry, First American Title Ins. Co. of St. Louis & O'Connor, L.L.C. (4729.1)

Gilbert, Kelly & Couturie, Inc., Surveying & Engineering
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

1211 Royal

VCC Architectural Committee

June 9, 2026





SPS SERVICES, LLC
(Herein termed as "Builder or PPAS")
847 Galvez St. / Suite 101-A
Mandeville, LA 70448
Main: 985-612-1250
Fax: 985-612-1251
www.ppas.com

Buyer is Responsible
to Provide the following
to PPAS:

- 1) Recorded cash deed of sale
- 2) Approved HOA
- 3) Stamped site plan or survey
- 4) Permission access agreement if access is not on buyer's property.

Date of Contract: 4/17/2026

NAME Art Losoya & Alan Hendrickson (Herein termed "Owner or Buyer")
JOB ADDRESS 1211 Royal Street CITY New Orleans STATE LA ZIP 70116
(Mailing address/if other than above) Art: 512-789-7469 alosoya@yahoo.com / Alan: 512-461-6837 alan_hendrickson@att.net
TELEPHONE: (H) _____ (O) _____ (FAX) _____
LEGAL: LOT# _____ BLOCK _____ SUBDIVISION _____ MAP NO. _____
POOL SIZE: MAX. WIDTH 9' MAX. LENGTH 17' PERIMETER 52' AREA SQ. FT. 170 DEPTHS: 3'6" - 4' - 5'

THE GENERAL TERMS AND CONDITIONS ON THE REVERSE SIDE ARE PART OF THIS AGREEMENT.

GENERAL CONSTRUCTION		POOL PLUMBING / EQUIPMENT	
1. Standard Engineered Plans and Pool Permits.....	PPAS	35. All pool piping (plumbing) Schedule 40 PVC.....	PPAS
2. Pool layout for approved Buyer.....	PPAS	36. Valves as required for operation.....	PPAS
3. Excavation and hard contouring.....	PPAS	37. Filter run from skimmer <u>90'</u> Ft.....	PPAS
4. Removal of dirt on day of excavation only.....	PPAS	38. Pump: Size <u>Hayward TriStar VS 900 /Omni 1.85 HP</u>	PPAS
5. Access Wall or fence to be: (TYPE: _____) Removed by: _____ Replaced by: _____	PPAS	39. Filter: Size & Type <u>Hayward swim clear 200</u>	PPAS
6. Normal dirt excavation and pool layout.....	PPAS	40. Main drain plumbing w/grate <u>2</u>	PPAS
Additional hours @ \$ <u>200</u> Per hour	BUYER	41. Pool Cleaner: Type <u>Paramount Floor system</u>	PPAS
7. Trees in access and/or pool site to be cut down & ground	BUYER	42. Automatic surface skimmer <u>1</u>	PPAS
8. Concrete removed 4in thick: _____ Sqft.	BUYER	43. Adjustable return inlets <u>4</u>	PPAS
9. Saw Cut Concrete (L/F _____) Yes ___ No <u>X</u>	BUYER	44. Sanitizer <u>AquaRiteS3 Salt Chlorine Generator 40K</u>	PPAS
10. Remove from pool site on day of excavation only: Stumps Yes ___ No <u>X</u> Precut trunks & limbs Yes ___ No <u>X</u> Other debris Yes ___ No <u>X</u> Uprooted shrubs Yes ___ No <u>X</u>	BUYER	ACCESSORIES	
11. Steel reinforcing (#3 and #4 rebar.....)	PPAS	45. Diving Board: Ft. _____	PPAS
12. Public liability, property damage and workers compensation insurance during pool construction.....	PPAS	46. Slide: Curve left _____ Curve right _____	PPAS
13. Initial equipment start-up service & instructions.....	PPAS	47. HEATER: B.T.U. <u>Hayward 400K BTU</u>	PPAS
CONCRETE		48. Heat Pump/HP.....	PPAS
14. Pneumatically applied Gunite per code.....	PPAS	49. Vacuum and Hose.....	PPAS
15. Owner will water cure Gunite twice daily for seven days.....	BUYER	50. Test kit, leaf skimmer, pole and brush.....	PPAS
16. Gunite inspection when required.....	PPAS	SPA	
17. One set of deluxe steps in shallow end of pool.....	PPAS	51. Spa size <u>9' x 5' 45 sqft</u>	PPAS
18. Love seat or shelf <u>14' bench</u>	PPAS	52. Spa Height <u>level</u>	PPAS
19. Coping type: <u>12 x 12 stone or use existing stone on site</u>	PPAS	53. Spa jets <u>5</u>	PPAS
20. Tile: Standard 6in ceramic water line tile <u>yes</u>	PPAS	54. Spa light <u>1</u>	PPAS
Other: _____	PPAS	55. Spa run to equipment <u>75'</u> Ft.....	PPAS
21. Hand troweled plaster. Discoloration or staining of plaster is not contractors liability. <u>quartz in sapphire</u>	PPAS	56. Venturi Air <u>yes</u>	PPAS
22. Decking installed within pool site: <u>Off Contract</u>	PPAS	57. _____	PPAS
Total Sq. Ft. _____ Type _____	PPAS	CONTROLS	
Color _____ Pattern _____	PPAS	58. Standard Intermatic Timeclock.....	PPAS
23. Deck Drains: Type/footage <u>off contract</u>	PPAS	59. Jandy PDA with remote.....	PPAS
Heads or D/S Conn. <u>off contract</u>	PPAS	60. Jandy RS I Aqua-Link.....	PPAS
24. Footings/turn downs _____	PPAS	61. <u>Hayward Omni PL Automation</u>	PPAS
25. Mastic, if needed _____	PPAS	MISCELLANEOUS	
26. Retaining Walls _____	BUYER	<u>Raised Wall 46 Linear feet x 18" height</u>	PPAS
UTILITIES		<u>3 scupper water features</u>	PPAS
27. Electrical hookup of pool equipment to timeclock.....	PPAS	_____	PPAS
28. Electrical feed from main panel to PPAS supplied timeclock Footage: <u>60' allowance at \$18/linear foot</u>	PPAS	_____	PPAS
29. Provide electrical bonding of pool when required.....	PPAS	_____	PPAS
30. Electrical panel change and/or relocation of overhead or underground wires if required by local code.....	BUYER	_____	PPAS
31. Deluxe underwater light <u>2 in pool 1 in spa</u>	PPAS	_____	PPAS
32. Ground Fault Interrupter (GFI) _____	PPAS	_____	PPAS
33. Sanitation system and/or underground utilities to be rerouted per code.....	BUYER	_____	PPAS
34. Gas line and hookup for pool heater, from Meter to Heater Footage included in contract: <u>Off contract</u>	BUYER	_____	PPAS

TO THE BUYER: This Contract has been fully ~~disput~~disputed. No other premiums apply unless specified herein. Please initial: X
PPAS is not responsible for damage done in access area over which equipment must travel.

1211 Royal

VCC Architectural Committee

June 9, 2026



Plaster

Home / Pool Finishes / All Finishes / Aqua Blue



Touch of Glass

StoneScapes Touch of Glass: Aqua Blue



Water Color: Medium Blue

1211 Royal

VCC Architectural Committee

June 9, 2026



Tile

Gallery Showrooms Cata

Tile ▾ Pool Finishes ▾ Hardscapes ▾ Outdoor Elements ▾

Home / Tile / Cosmopolitan



COS-FREEPORT

Cosmopolitan - Azure Mosaic Pattern

Mosaic pattern of tiny textured glass tiles in varying shades of blue, from dark blue to sky blue. This captivating product brings a contemporary artistic feel to your design.

LIMITED STOCK

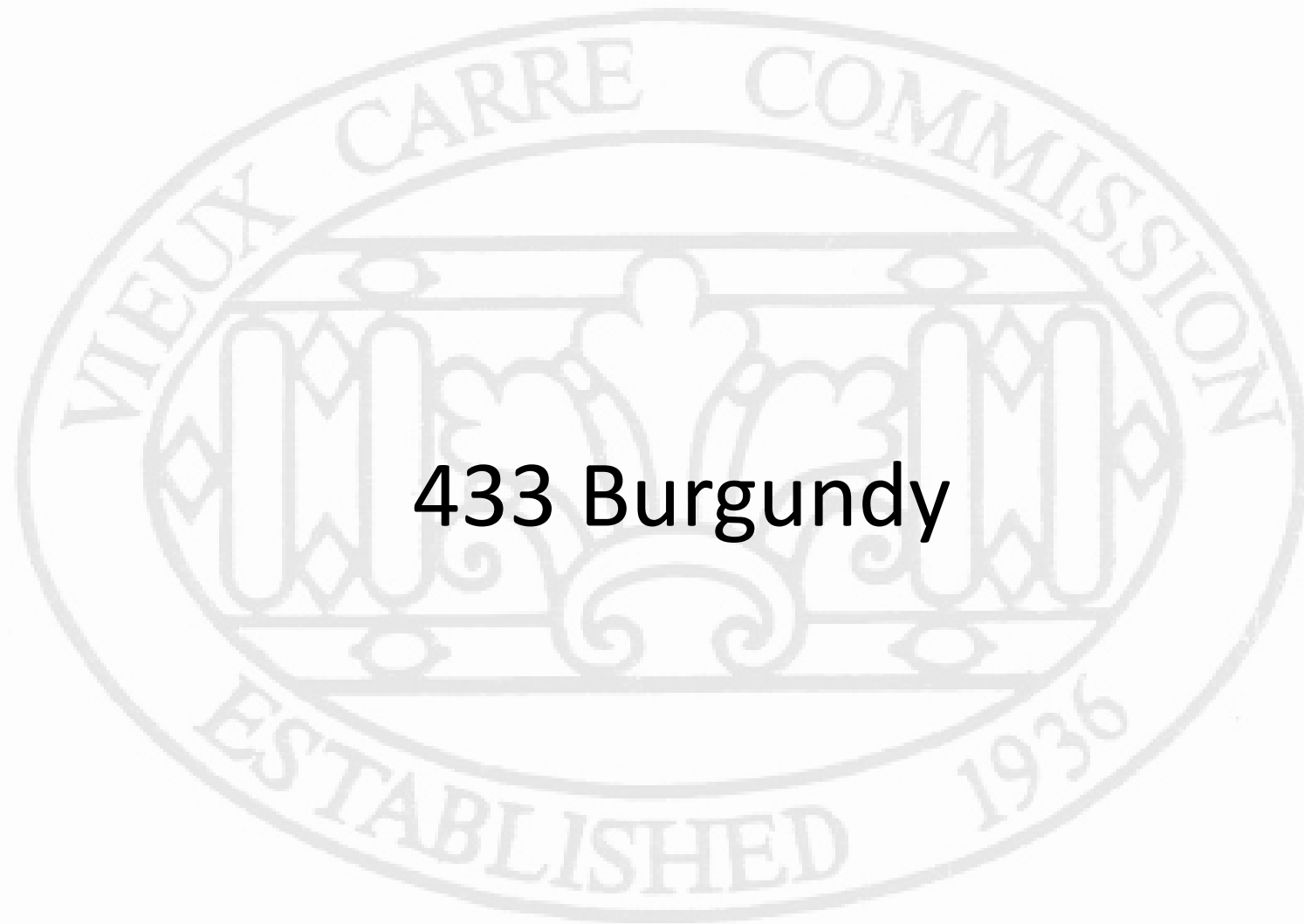
- Glass pool tile
- Resistant to water, frost, changing temperatures, chemical damage and fading

Size/Style: **Mosaic Pattern**

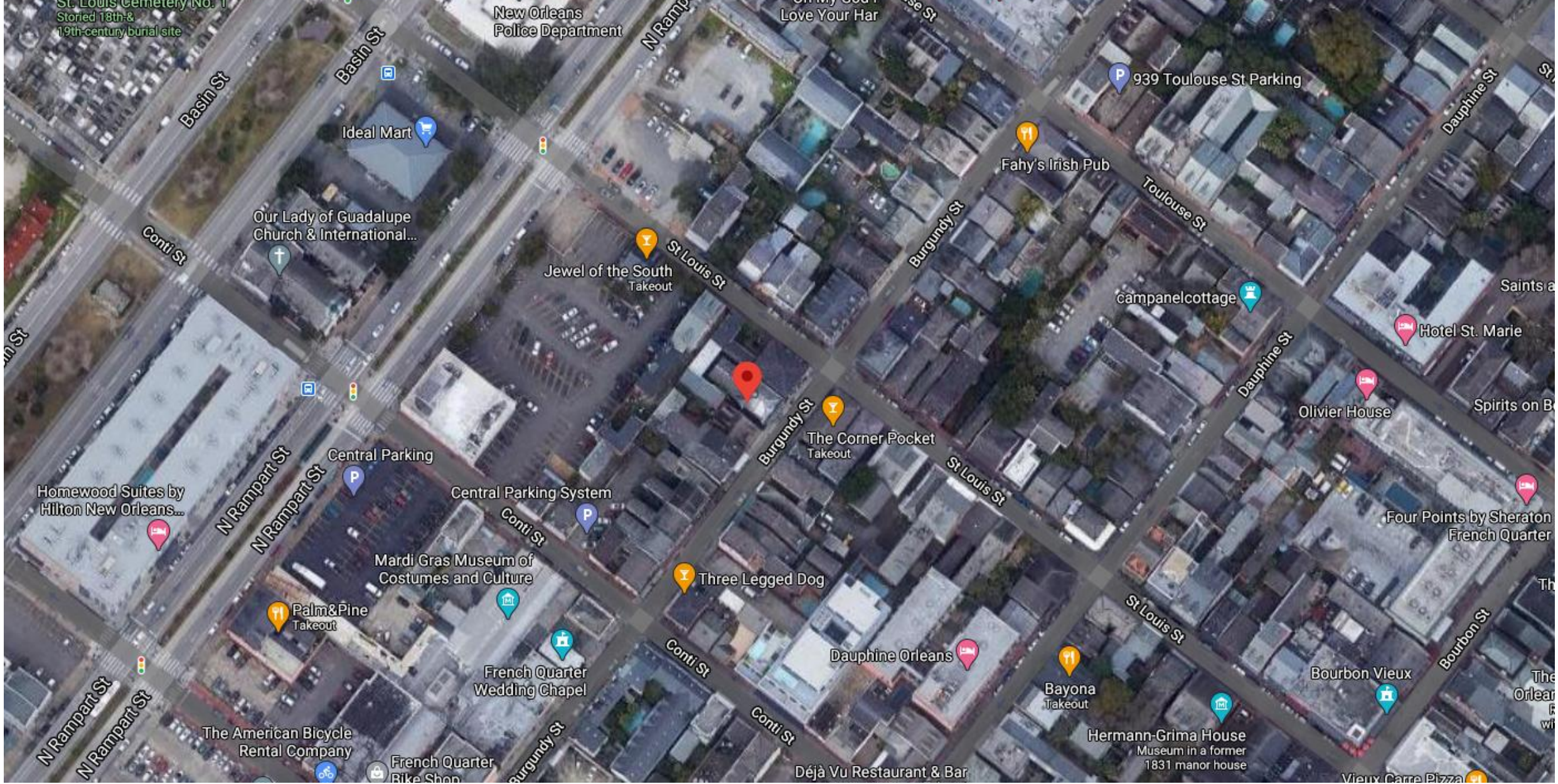
Mosaic Pattern

Color: **Azure**





433 Burgundy



433 Burgundy

VCC Architectural Committee

June 9, 2026





433 Burgundy

VCC Architectural Committee

June 9, 2026





433 Burgundy

VCC Architectural Committee

June 9, 2026





433 Burgundy

VCC Architectural Committee

June 9, 2026





433 Burgundy

VCC Architectural Committee

June 9, 2026





Remove Window Unit

Add S/D Unit

Rear Building

435 Side Looking Back

433 Burgundy

VCC Architectural Committee

June 9, 2026



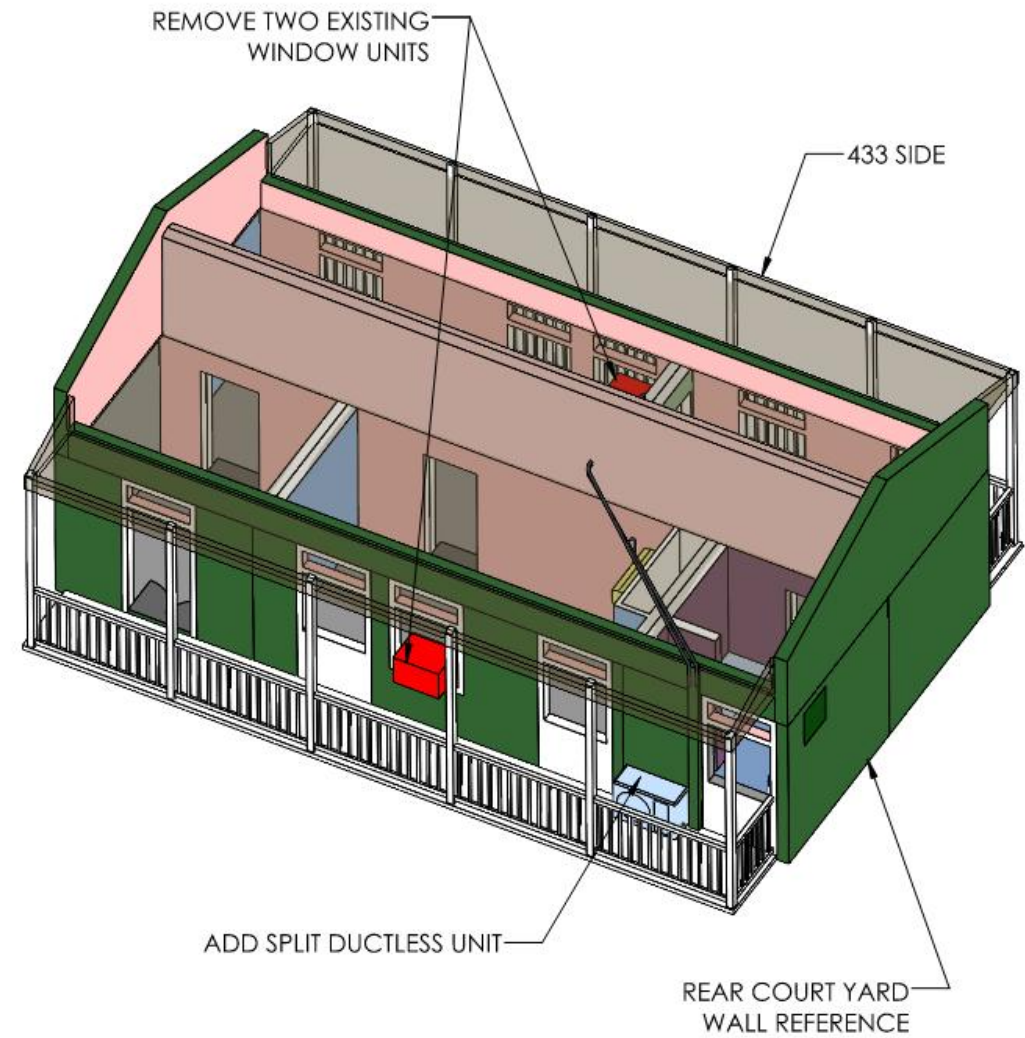


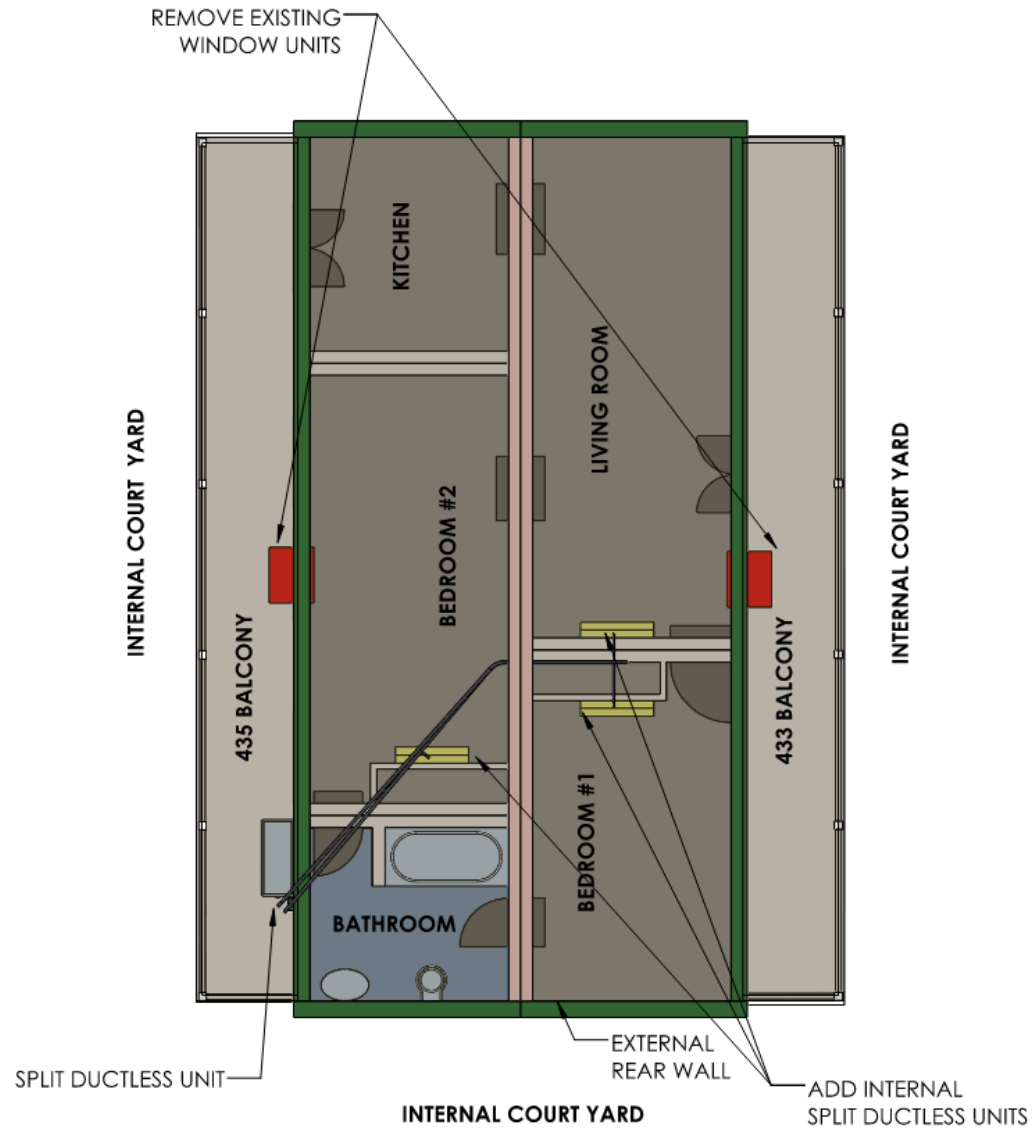
433 Burgundy

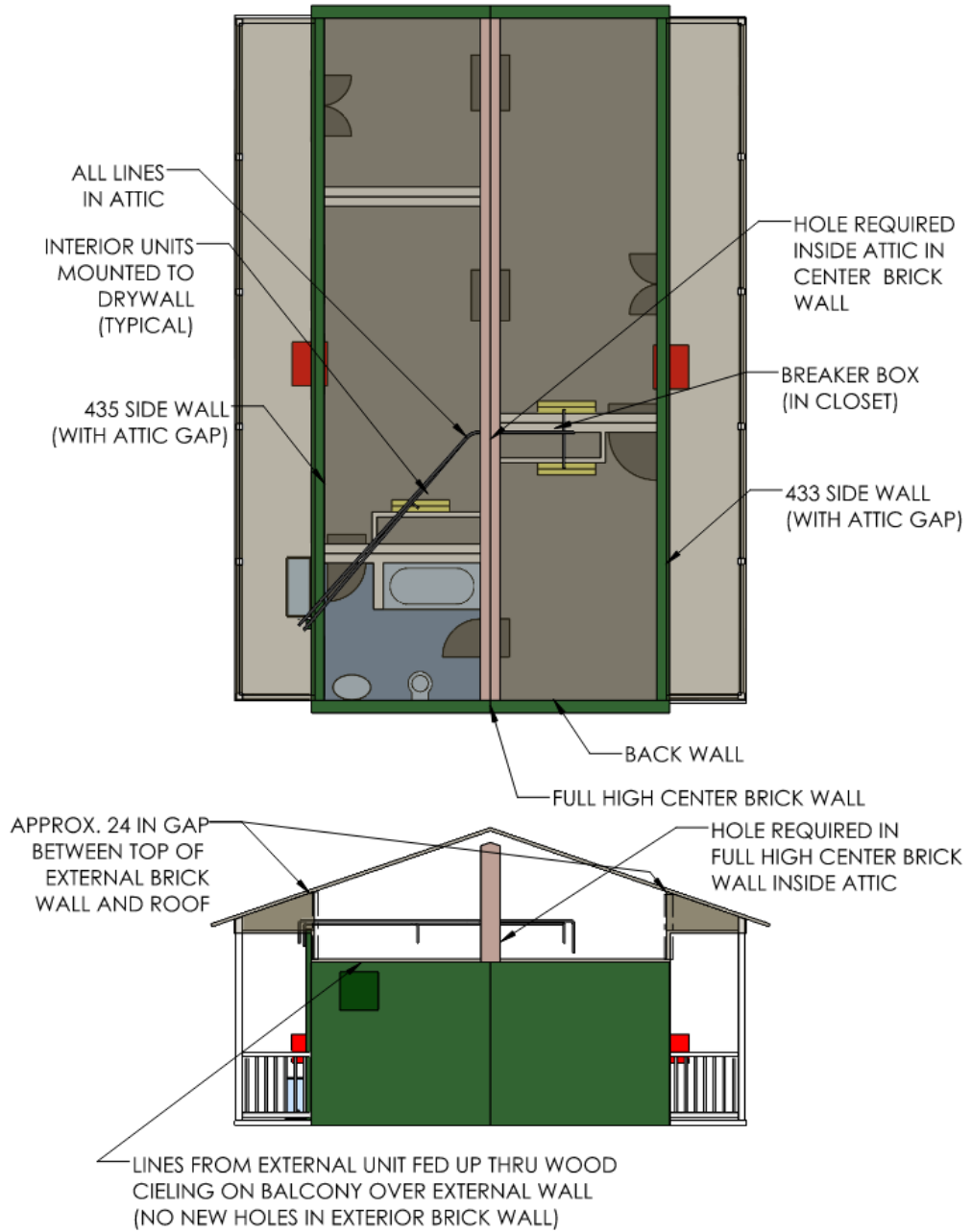
VCC Architectural Committee

June 9, 2026









433 Burgundy

VCC Architectural Committee

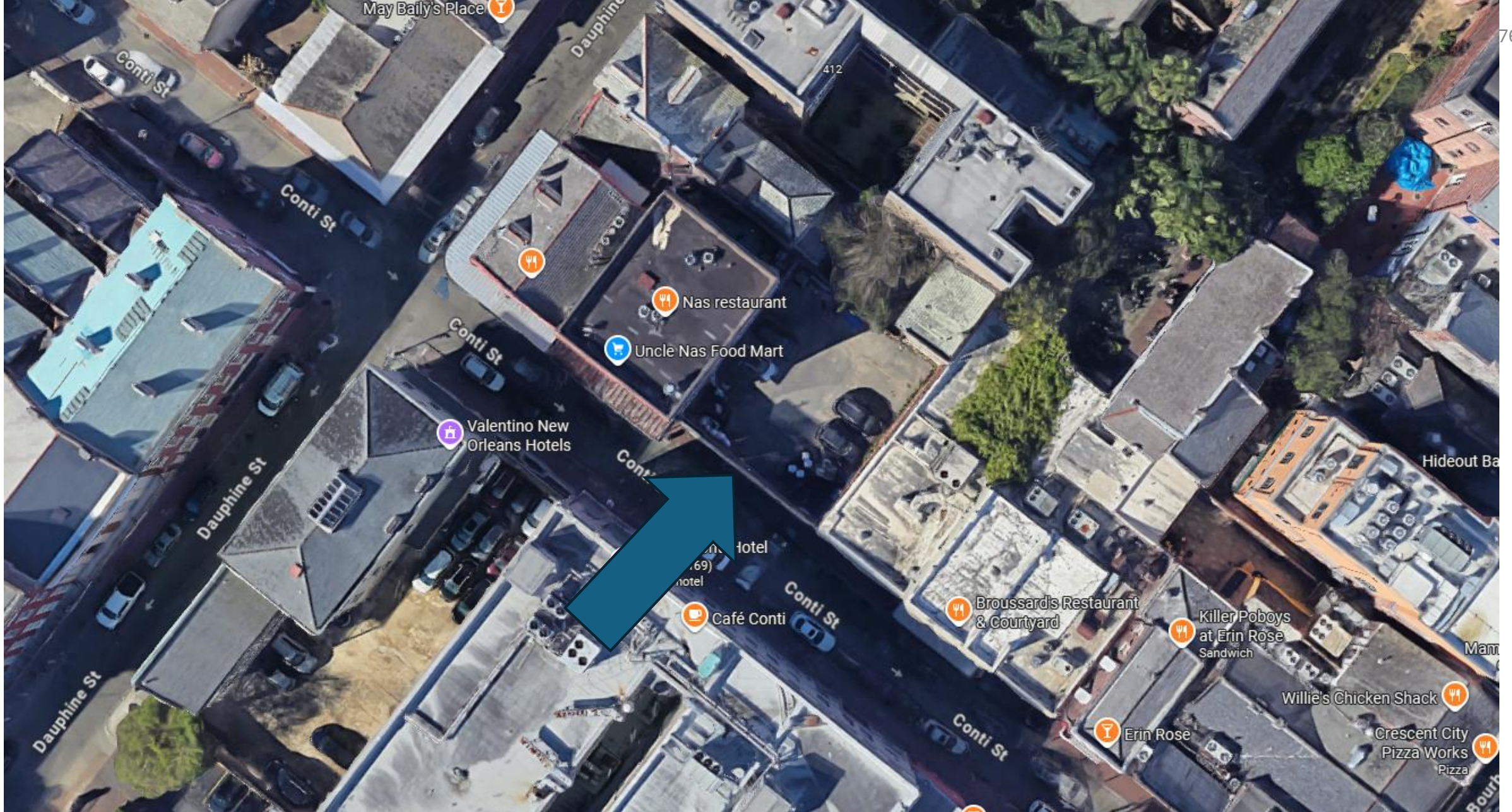
433 Burgundy #D

June 9, 2026





829 Conti



829 Conti

VCC Architectural Committee

June 9, 2026





829 Conti, 1963

VCC Architectural Committee

June 9, 2026





829 Conti, 1975

VCC Architectural Committee

June 9, 2026





829 Conti, 2003

VCC Architectural Committee

June 9, 2026





829 Conti

VCC Architectural Committee

04 27 2020

June 9, 2026





829 Conti

VCC Architectural Committee

08 13 2020

June 9, 2026





829 Conti

VCC Architectural Committee

June 9, 2026





829 Conti

VCC Architectural Committee

June 9, 2026





829 Conti

VCC Architectural Committee

June 9, 2026





829 Conti

VCC Architectural Committee

June 9, 2026





829 Conti

VCC Architectural Committee

08 13 2020

June 9, 2026





829 Conti

VCC Architectural Committee

June 9, 2026





829 Conti

VCC Architectural Committee

05 07 2026

June 9, 2026





829 Conti

VCC Architectural Committee

June 9, 2026





829 Conti

VCC Architectural Committee

June 9, 2026





829 Conti

VCC Architectural Committee

05 07 2026

June 9, 2026





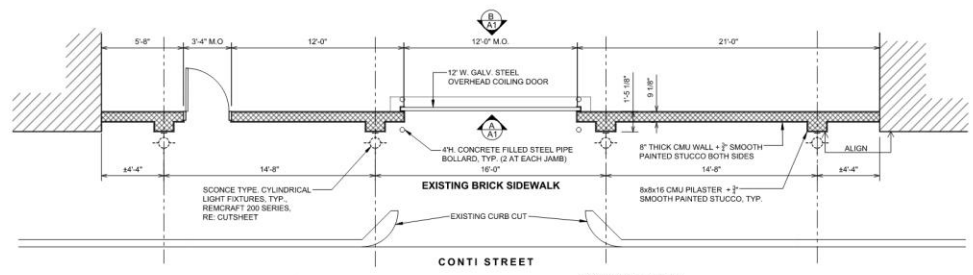
829 Conti

VCC Architectural Committee

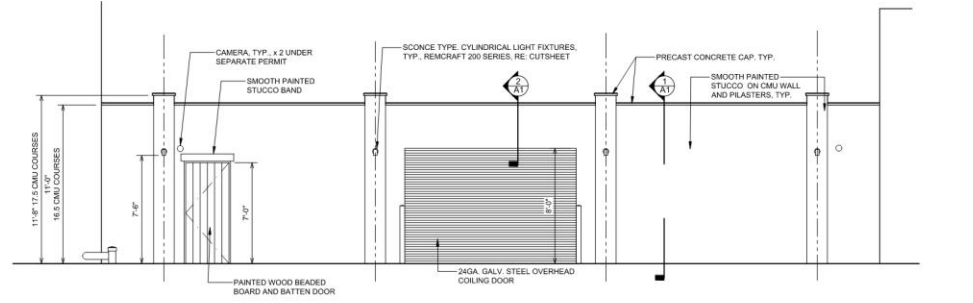
05 07 2026

June 9, 2026

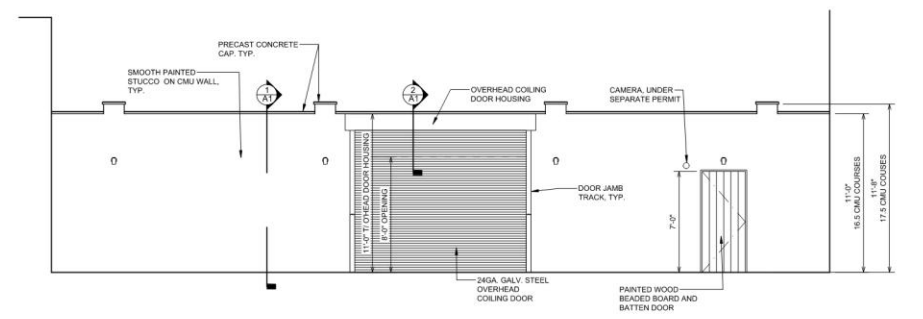




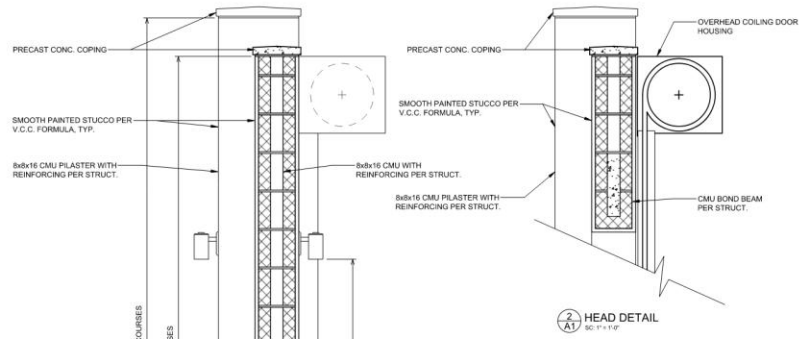
PROPOSED FLOOR PLAN
 SC: 1/4" = 1'-0"
 DIMENSIONS ARE TO FACE OF MASONRY TYP.



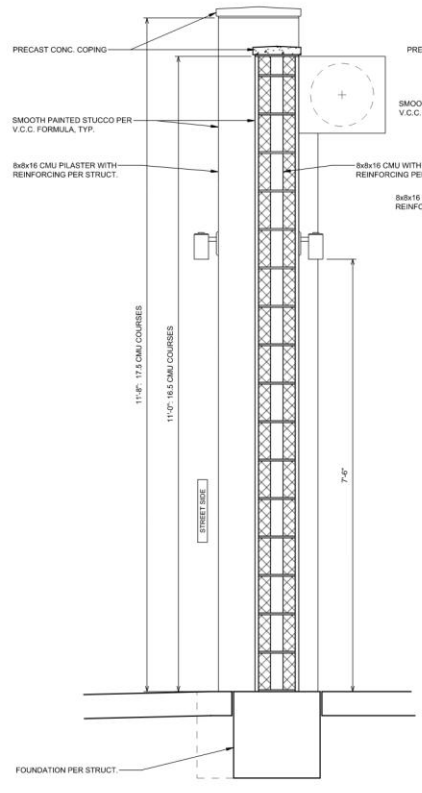
PROPOSED CONTI STREET ELEVATION
 SC: 1/4" = 1'-0"



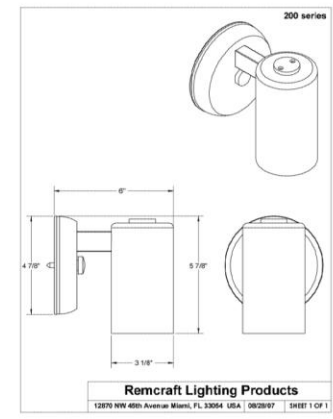
PROPOSED ELEVATION AT INTERIOR SIDE
 SC: 1/4" = 1'-0"



2 A1 HEAD DETAIL
 SC: 1/2" = 1'-0"



1 A1 PROPOSED SECTION
 SC: 1/2" = 1'-0"



LIGHTING CUTSHEET

829 Conti

VCC Architectural Committee

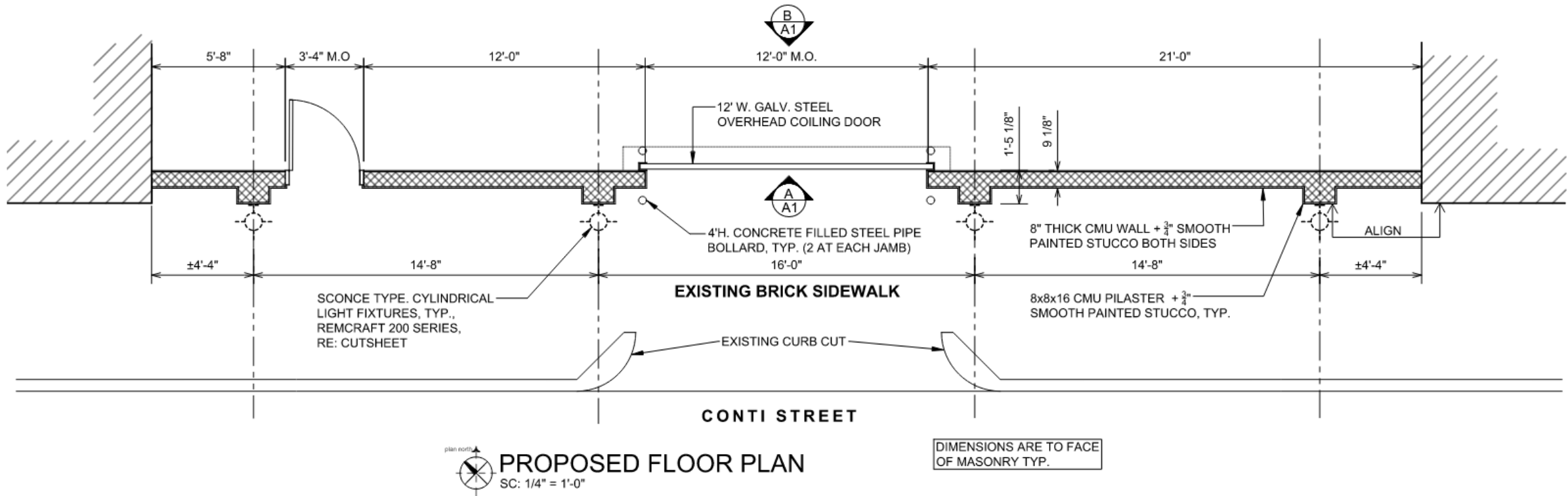
Exterior Wall Replacement
 829 Conti Street
 New Orleans, Louisiana 70116

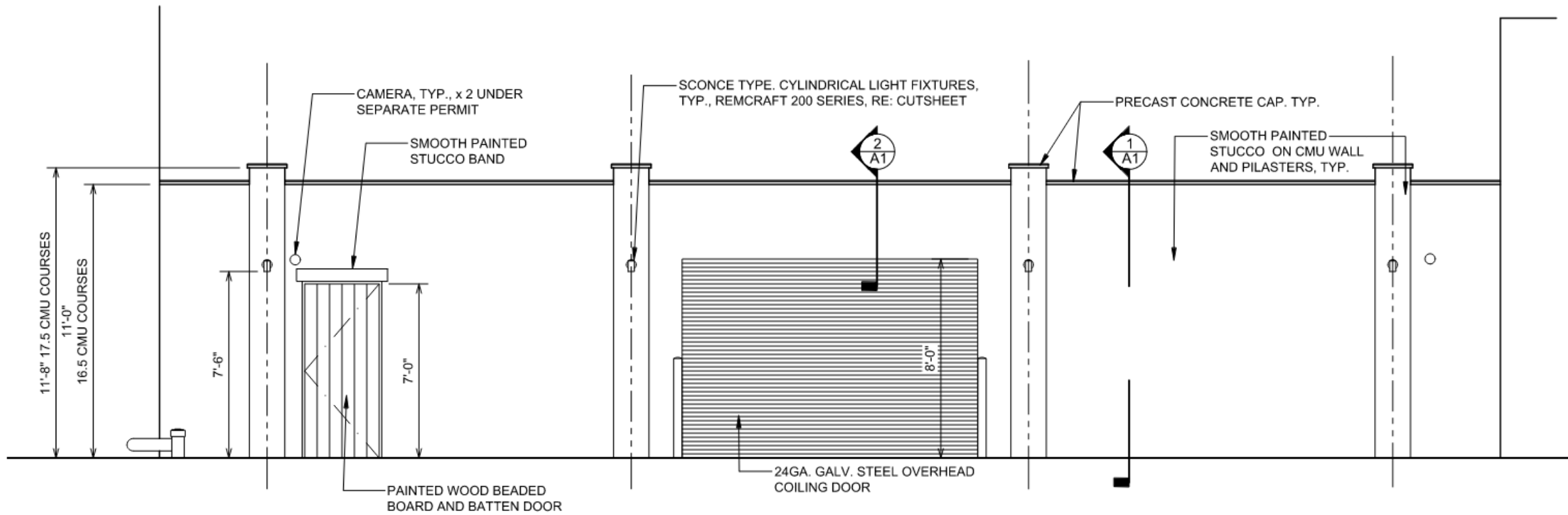
LKHarmen Architects
 A Professional Architectural Corporation
 8238 Arapahoe Boulevard
 New Orleans, Louisiana 70124
 504.486.8370 lkharmen@lkharmen.com

DATE V.C.C. APP.	A1
DATE V.C.C. OPR.	
DATE V.C.C. REV.	LKH #1826



June 9, 2026





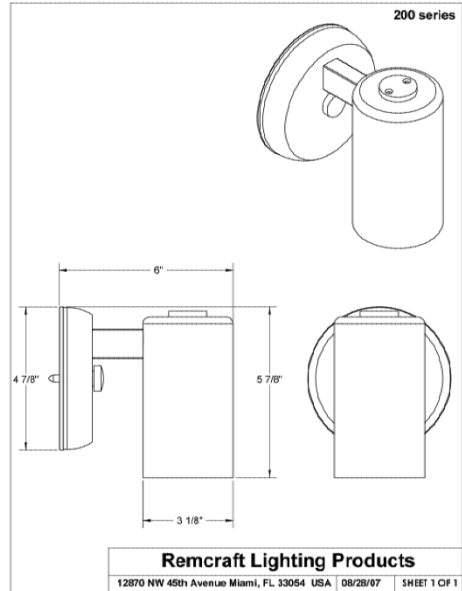
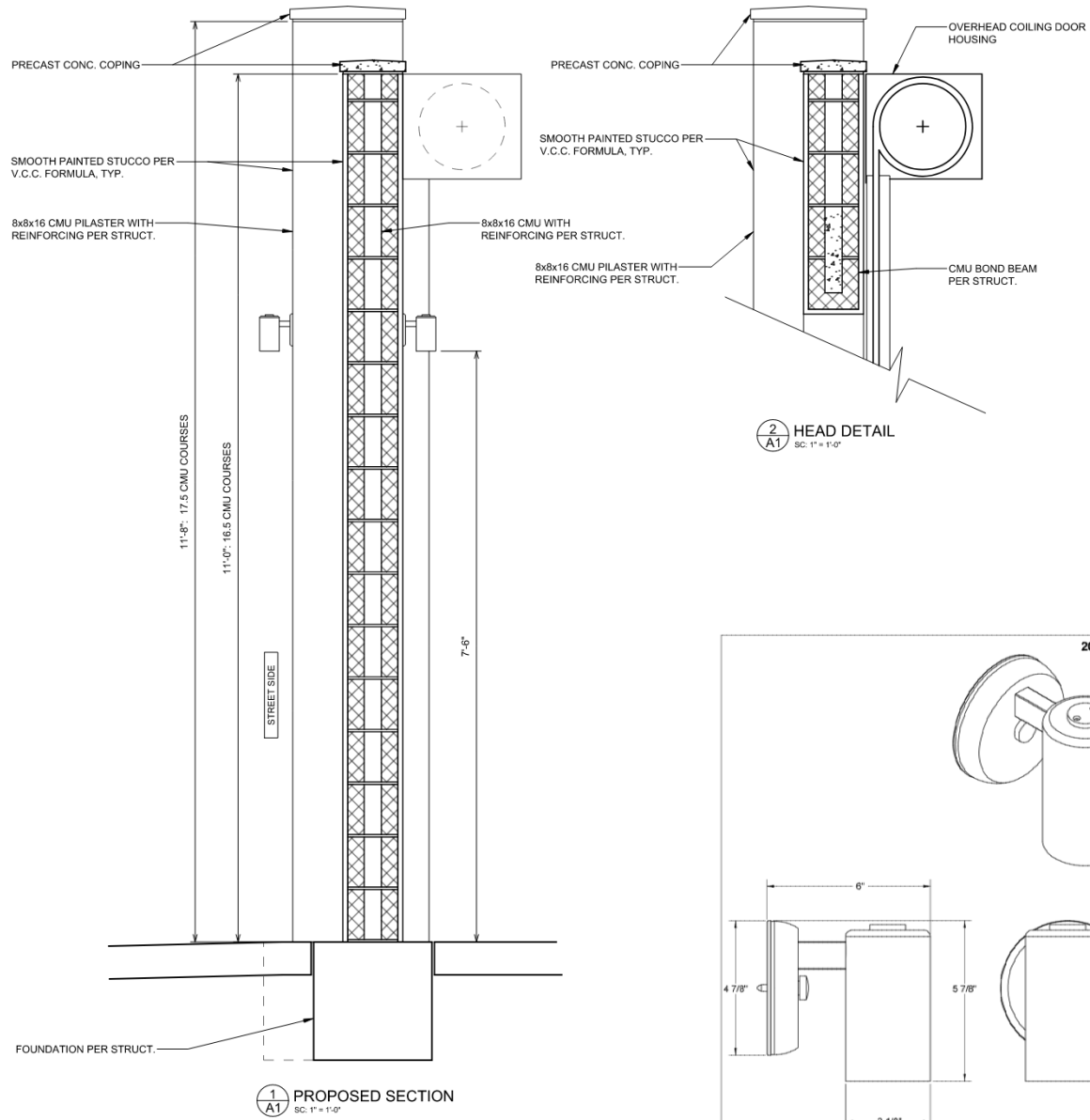
**PROPOSED
CONTI STREET ELEVATION**
 SC: 1/4" = 1'-0"

829 Conti

VCC Architectural Committee

June 9, 2026





LIGHTING CUTSHEET

829 Conti

VCC Architectural Committee

June 9, 2026





713-25 St Louis

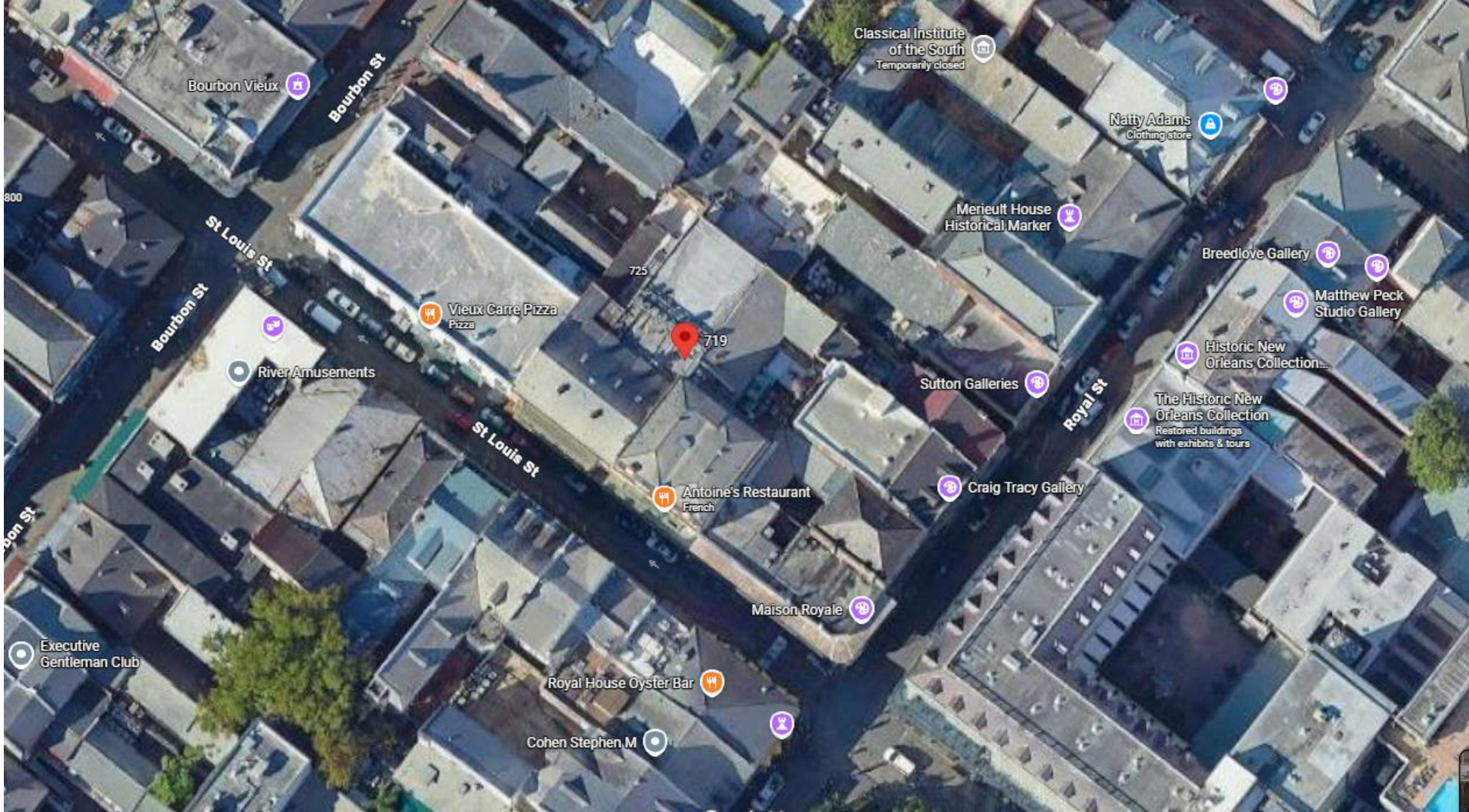


719 St. Louis

VCC Architectural Committee

June 9, 2026





719 St. Louis

VCC Architectural Committee

June 9, 2026





719 St. Louis

VCC Architectural Committee

June 9, 2026





719 St. Louis

VCC Architectural Committee

June 9, 2026





719 St. Louis

VCC Architectural Committee

June 9, 2026





719 St. Louis

VCC Architectural Committee

June 9, 2026





719 St. Louis

VCC Architectural Committee

June 9, 2026





719 St. Louis

VCC Architectural Committee

June 9, 2026



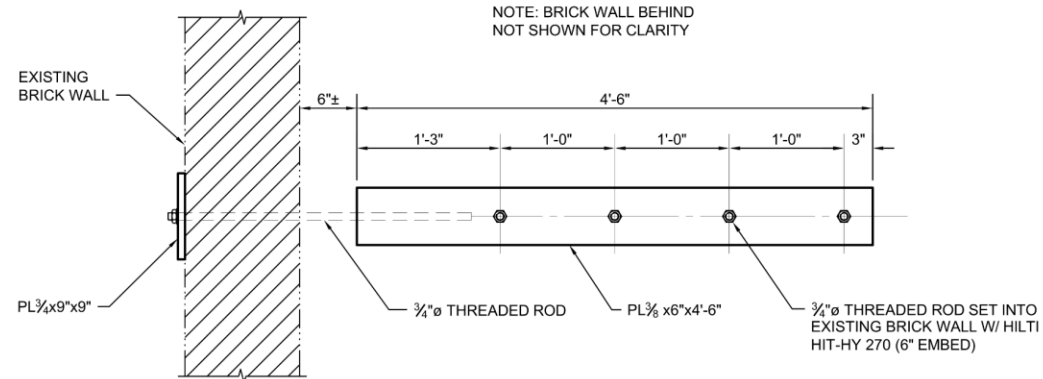


719 St. Louis

VCC Architectural Committee

June 9, 2026





1 TYPICAL WALL TIE DETAIL
S1 SCALE: 1"=1'-0"



06/02/2026

ABRY BROTHERS, INC SERVING N.O. 7 th LA SINCE 1840 3319 ORLEANS AVE. NEW ORLEANS, LA 70119 T 504.488.2671 www.abrybrothers.com	ANTOINES WALL TIE REPAIR 728 ST. LOUIS STREET NEW ORLEANS, LA 70130	JOB NO. 26-0072	PHASE	DATE 06/02/2026	DRAWN BY PHA
		SHEET TITLE WALL TIE DETAIL			S1

719 St. Louis

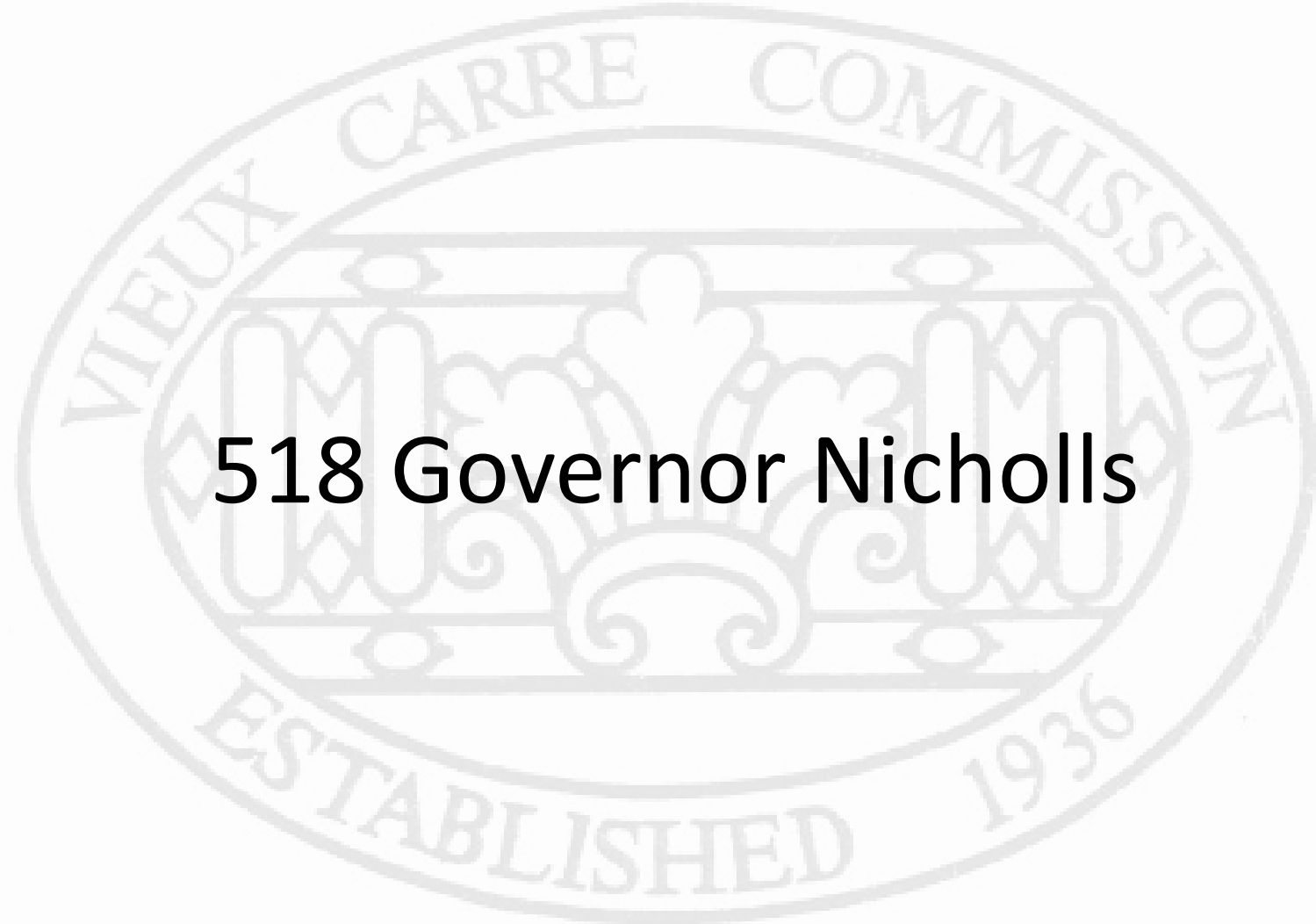
VCC Architectural Committee

June 9, 2026

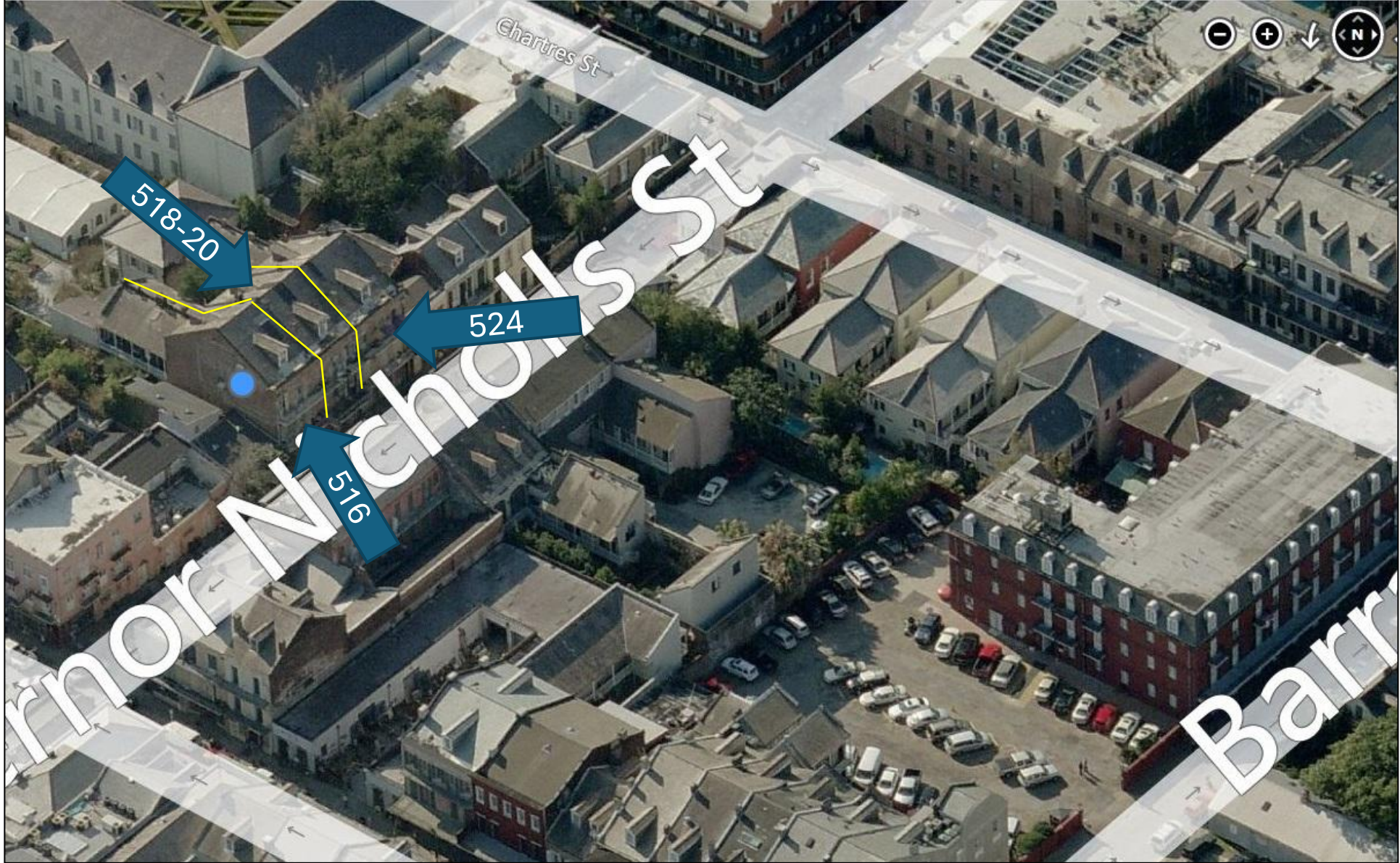




Appeals and Violations



518 Governor Nicholls

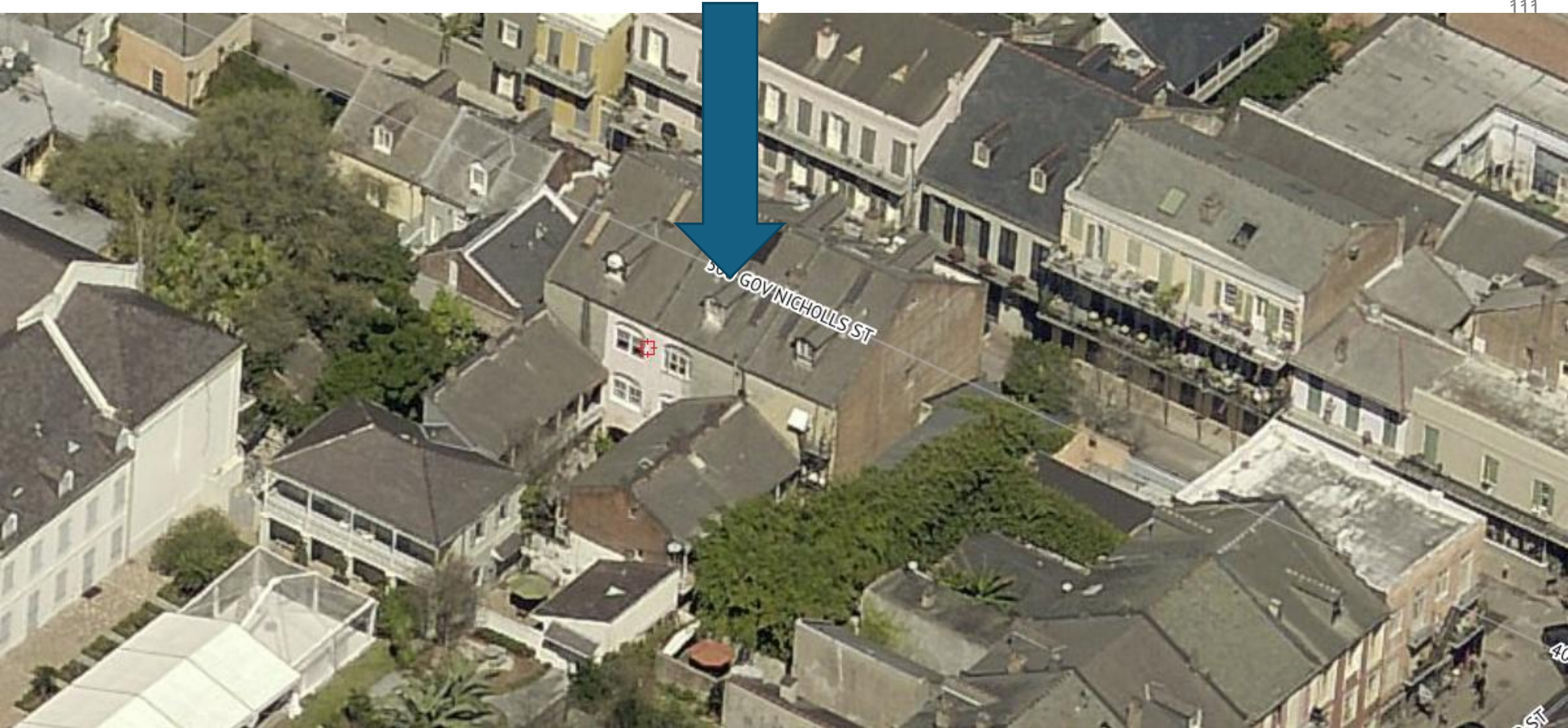


516 & 518-20 & 524 Governor Nicholls

VCC Architectural Committee

June 9, 2026

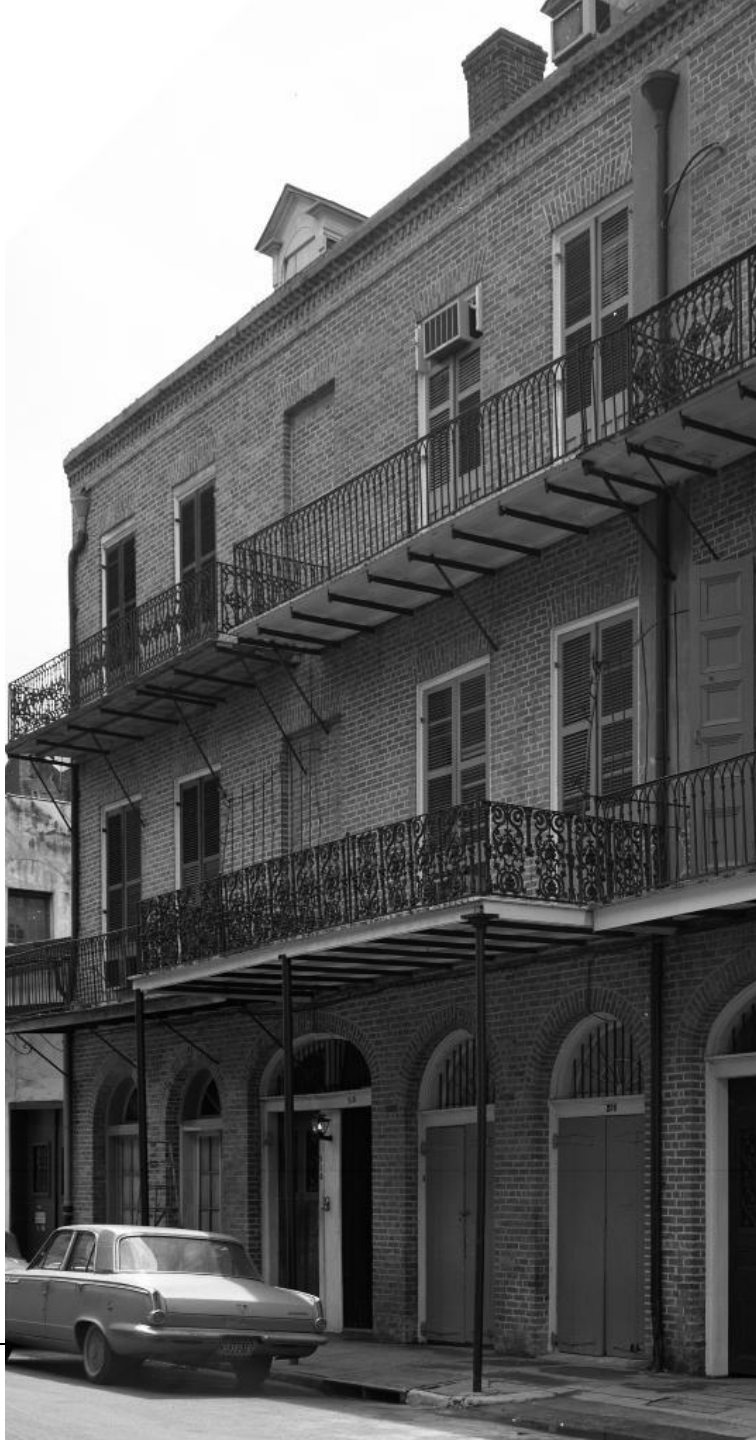




518 Governor Nicholls
VCC Architectural Committee

June 9, 2026





518 Governor Nicholls

VCC Architectural Committee

February 11, 2025





518-20 Governor Nicholls
VCC Architectural Committee

June 9, 2026





518 Governor Nicholls
VCC Architectural Committee

03 31 2023

February 11, 2025





518 Governor Nicholls

VCC Architectural Committee

February 11, 2025





518 Governor Nicholls
VCC Architectural Committee

February 11, 2025





518 Governor Nicholls

VCC Architectural Committee

February 11, 2025





518 Governor Nicholls
VCC Architectural Committee

03 31 2023

February 11, 2025





518 Governor Nicholls
VCC Architectural Committee

February 11, 2025





518 Governor Nicholls

VCC Architectural Committee

03 31 2023

February 11, 2025



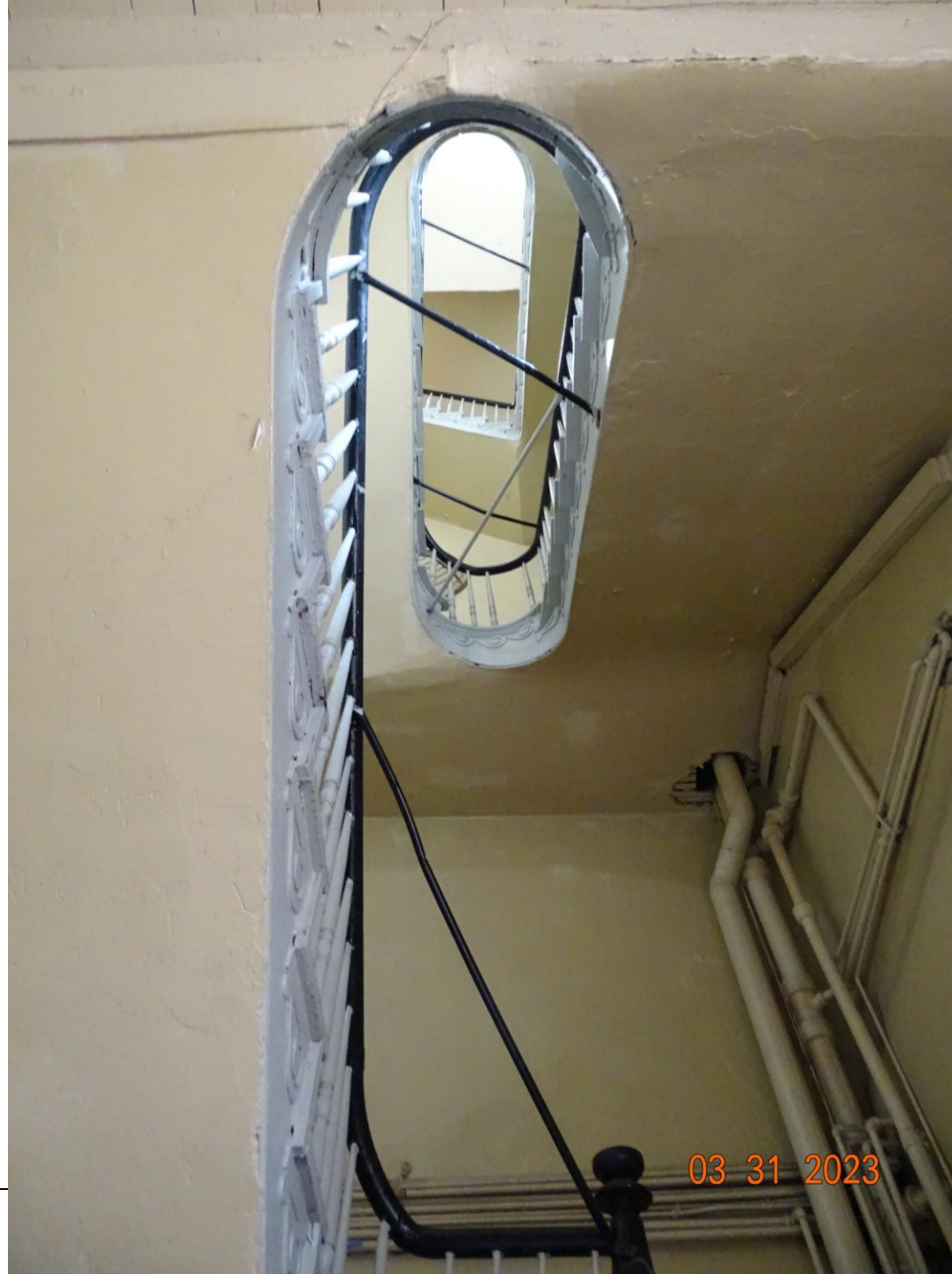


518 Governor Nicholls
VCC Architectural Committee

03 31 2023

February 11, 2025





518 Governor Nicholls

VCC Architectural Committee

03 31 2023

February 11, 2025





518 Governor Nicholls – After Renovation

VCC Architectural Committee

February 11, 2025





518 Governor Nicholls – After Renovation

VCC Architectural Committee

February 11, 2025





518 Governor Nicholls – After Renovation

VCC Architectural Committee

February 11, 2025





518 Governor Nicholls – After Renovation

VCC Architectural Committee

February 11, 2025





518 Governor Nicholls – After Renovation

VCC Architectural Committee

04 27 2026

February 11, 2025





518 Governor Nicholls – After Renovation

VCC Architectural Committee

February 11, 2025





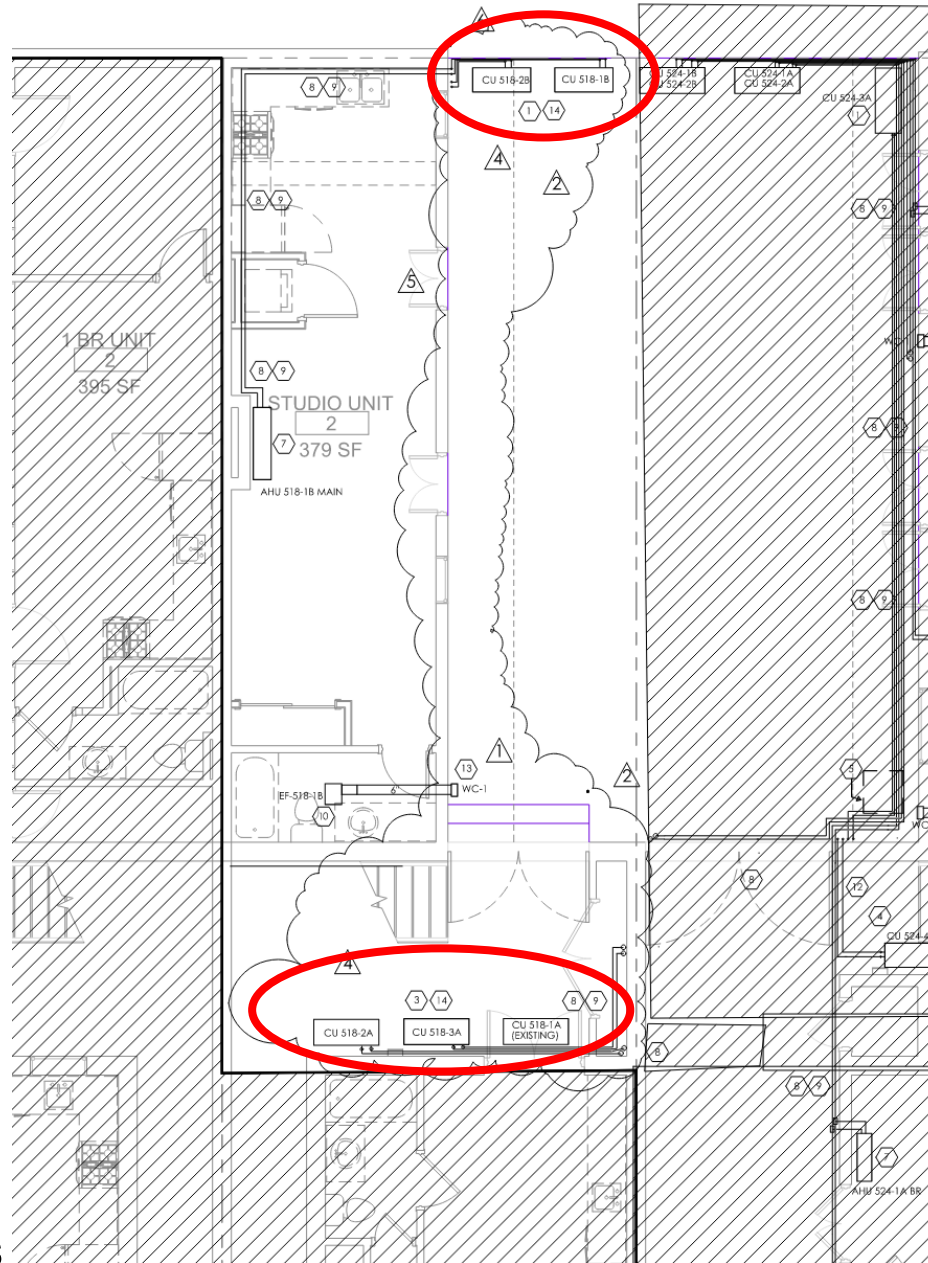
04 27 2026

518 Governor Nicholls – After Renovation

VCC Architectural Committee

February 11, 2025



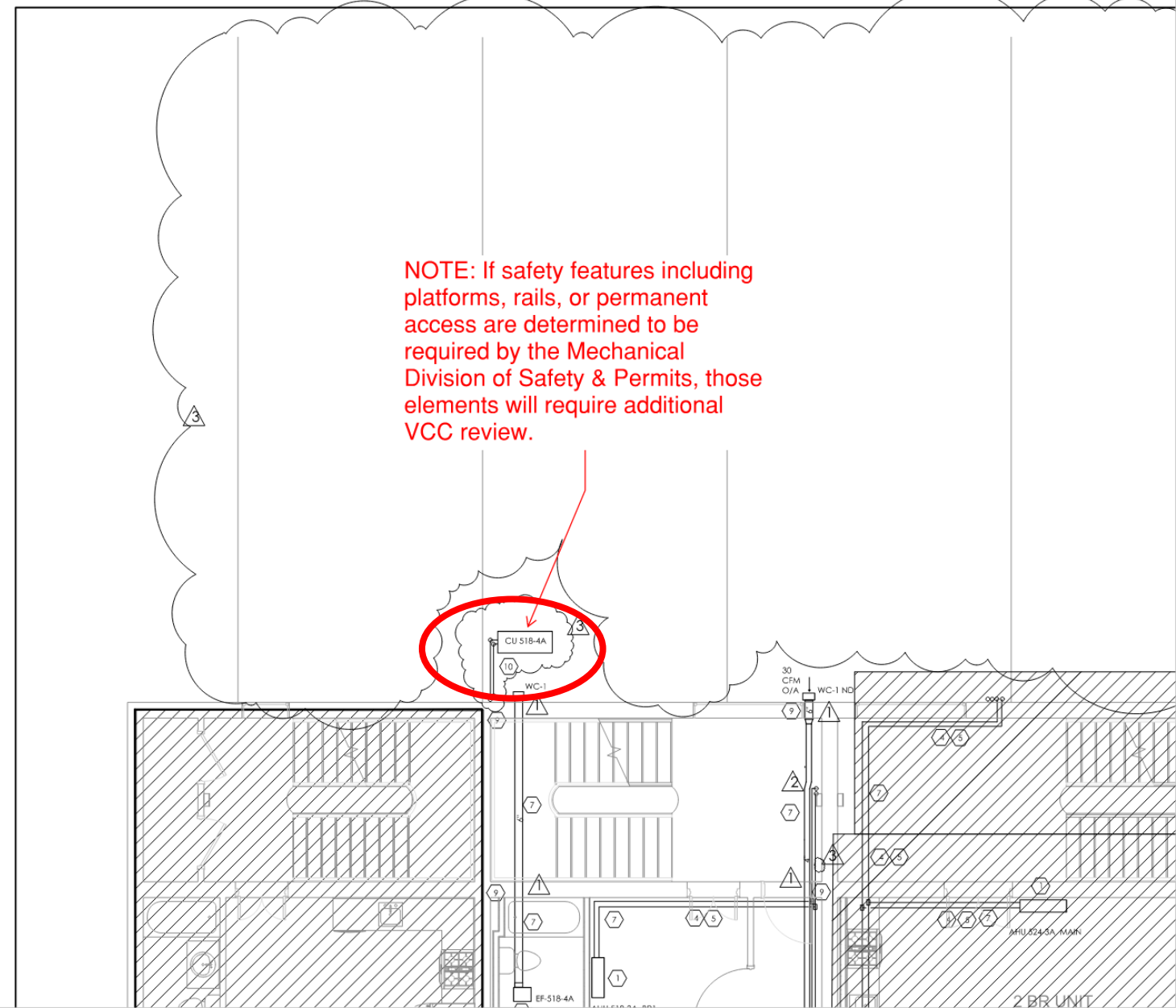


518 Governor Nicholls – Approved Plans

VCC Architectural Committee

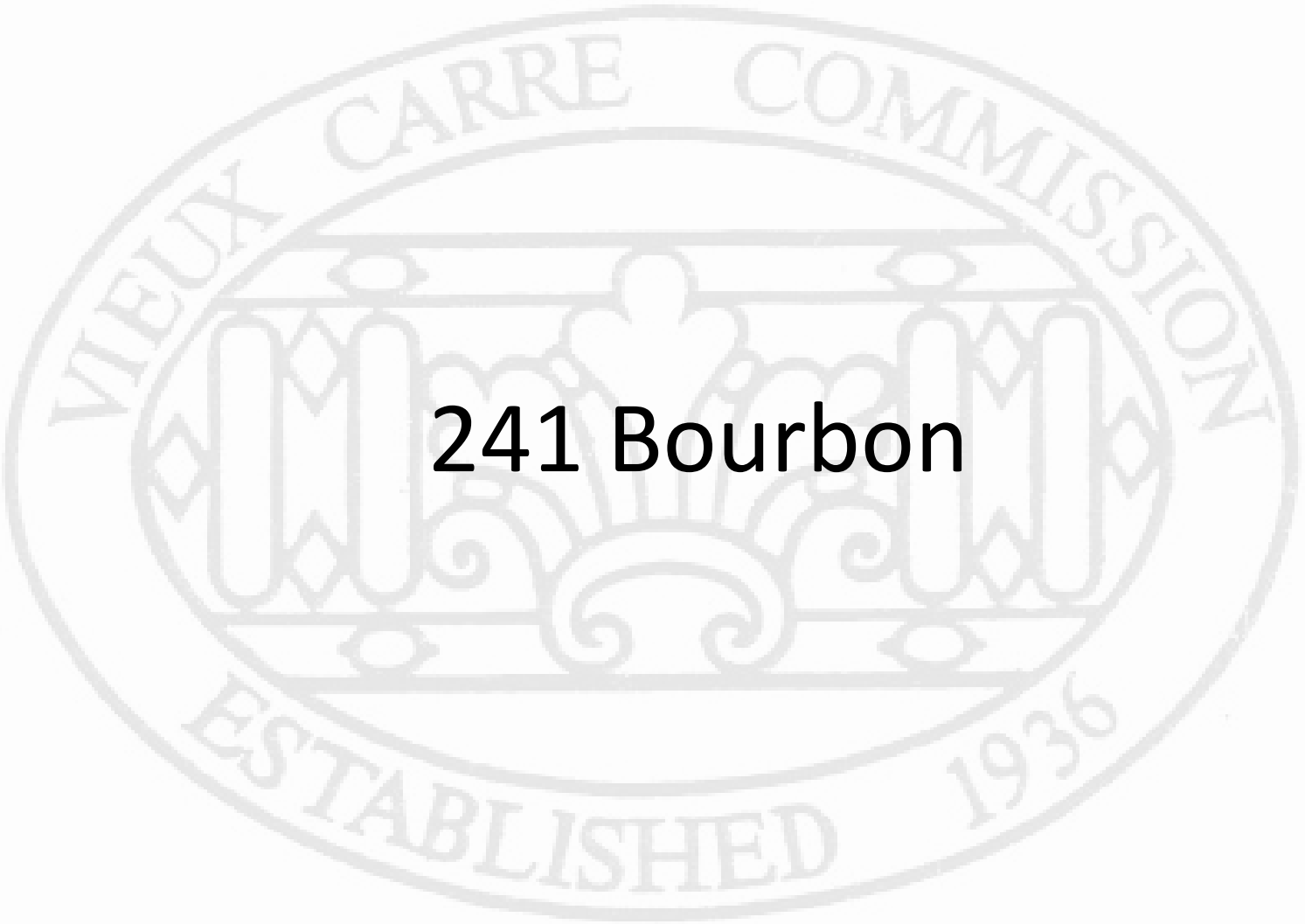
February 11, 2025





518 Governor Nicholls – Approved Plans – Rooftop Unit (Not Installed)





241 Bourbon



235-41 Bourbon
VCC Architectural Committee

June 9, 2026





235-41 Bourbon - 1963
VCC Architectural Committee

June 9, 2026





235-41 Bourbon - 1965
VCC Architectural Committee

June 9, 2026





235-41 Bourbon - 2008
VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon - 2009
VCC Architectural Committee

June 9, 2026





235-41 Bourbon - 2010
VCC Architectural Committee

June 9, 2026





235-41 Bourbon – 2010 Repairs in Progress

VCC Architectural Committee

June 9, 2026





235-41 Bourbon – 2011

VCC Architectural Committee

June 9, 2026





235-41 Bourbon – 2013

VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

04 23 2025

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

10 08 2025

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

11 18 2025

June 9, 2026



235-41 Bourbon

VCC Architectural Committee



11 18 2025

June 9, 2026





01 22 2026

235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

01 22 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

01 22 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

01 22 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

03 31 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

05 28 2026

June 9, 2026





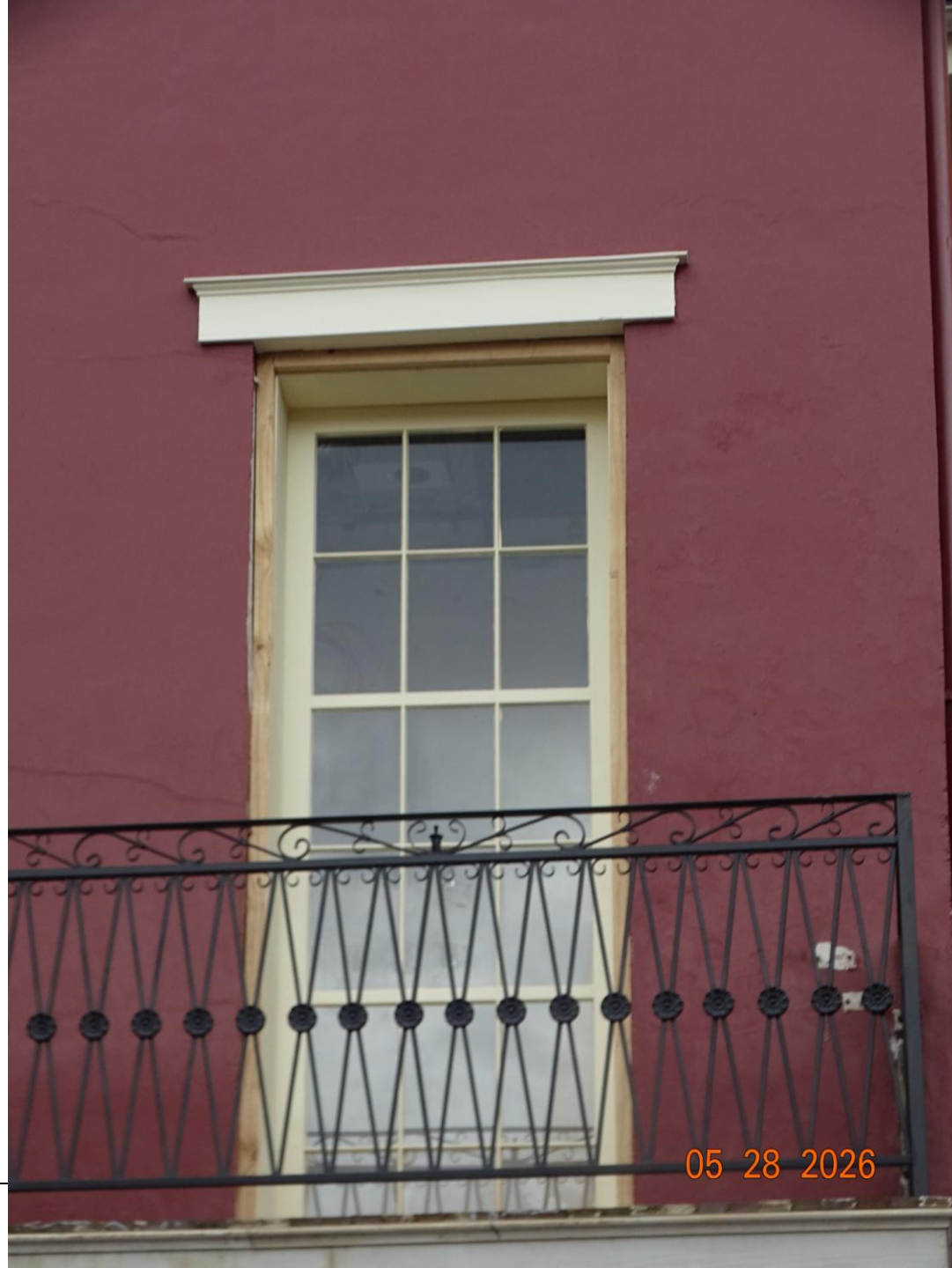
235-41 Bourbon

VCC Architectural Committee

05 28 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

05 28 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

05 28 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

05 28 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

05 28 2026

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon
VCC Architectural Committee

June 9, 2026



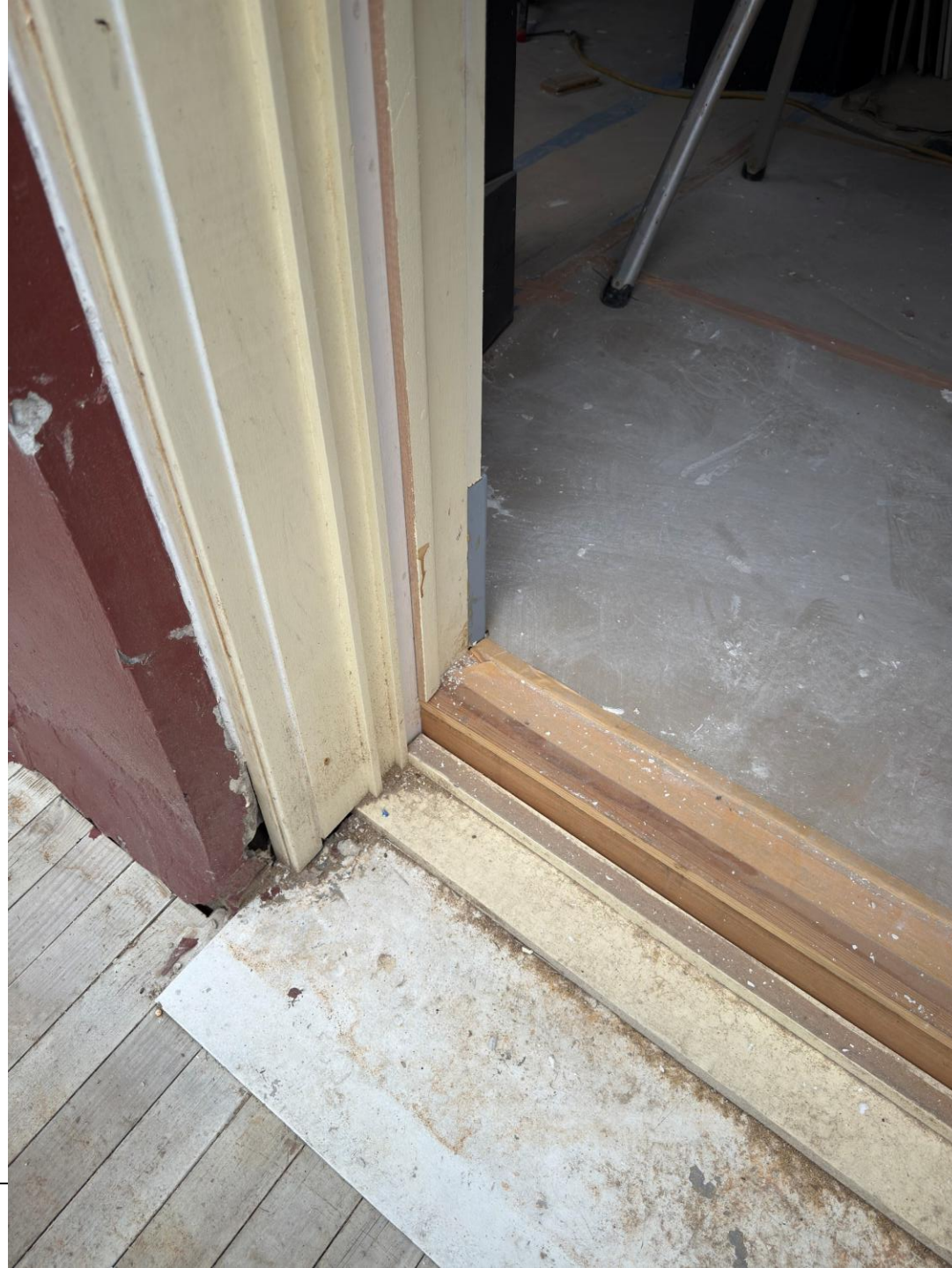


235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon

VCC Architectural Committee

June 9, 2026





235-41 Bourbon – Courtyard Wall rebuilt and windows replaced

VCC Architectural Committee

June 9, 2026





WILLIAMS ARCHITECTS
 824 BARBOUR STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM



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 Jane C Williams Architects LLC

CONSTRUCTION DOCUMENTS -
 REVISED
 235, 237, 239, 241 Bourbon St, New Orleans, LA
 70112

REVISIONS:

No.	Date	Scope

DRAWING COURTYARD ELEVATIONS -
 DEMOLITION
 DRAWING BY: MLL
 SCALE: As Indicated
 JOB No: S2018
 DATE: 3/22/2018
 Sheet No.

1.26



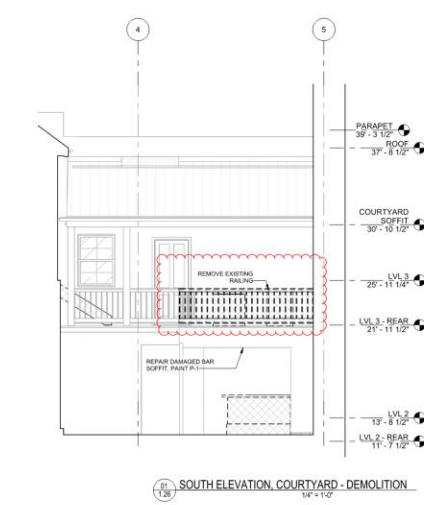
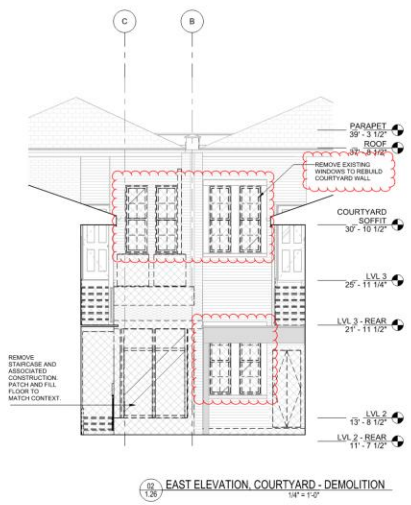
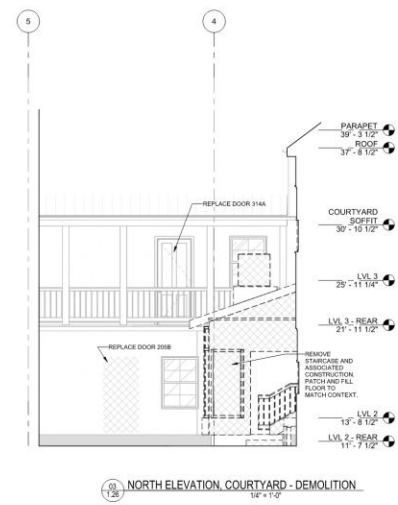
EXISTING PHOTOS

DEMOLITION LEGEND

- EXISTING - TO REMAIN
- NEW WALLS
- DEMOLISH ITEM

GENERAL NOTES

1. ALL INTERIOR PARTITION DIMENSIONS ARE FACE TO FACE TO FINISH SURFACES.
2. ALL EXISTING DIMENSIONS ARE APPROXIMATE. TO BE VERIFIED IN FIELD.
3. ALL EXISTING LEVELS AND ELEVATIONS ARE APPROXIMATE. TO BE VERIFIED IN FIELD.
4. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN FIELD VERSUS DRAWING OF EXISTING CONDITIONS AND DIMENSIONS.
5. REMOVE EXISTING MECHANICAL SYSTEM, INCLUDING BUT NOT LIMITED TO EQUIPMENT, ASSOCIATED DUCTWORK, AND GRILLE REGISTERS THROUGHOUT BUILDING.
6. REMOVE EXISTING PLUMBING FIXTURES AS NOTED ON PLANS ONLY.
7. REMOVE ALL NAILS IN FLOORS, PATCH AS REQUIRED.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED FOR THE CONSTRUCTION OF NEW WORK.
9. PROTECT EXISTING DOORS AND WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.
10. PROTECT EXISTING FINISHES TO REMAIN UNLESS NOTED OTHERWISE. PATCH OPENINGS IN WALLS, CEILING, AND FLOORS RESULTING FROM DEMOLITION WORK WITH MATCHING AND LIKE MATERIALS UNLESS NOTED OTHERWISE.
11. REMOVE EXISTING ABANDONED ELECTRICAL, LIGHTING, MECHANICAL, AV DEVICES AS REQUIRED TO COMPLETE THE NEW WORK. PATCH AND REPAIR WALLS AND CEILING AS REQUIRED FOR A FLUSH APPEARANCE.





WILLIAMS ARCHITECTS
824 BARDONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct supervision and I am a duly licensed professional architect and I hold myself out as such with no limitation of my license.

I (we) will not be providing product manufacturer information.



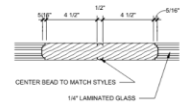
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John C. Williams Architects LLC

CONSTRUCTION DOCUMENTS
235, 237, 239, 241 Bourbon St, New Orleans, LA
70112

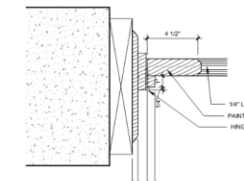
-REVISIONS-		
No.	Date	Scope
12	4.18.2024	VCC CORRECTIONS

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SCALE: As indicated
JOB No.: 22014
DATE: 03.21.2024
Sheet No.:

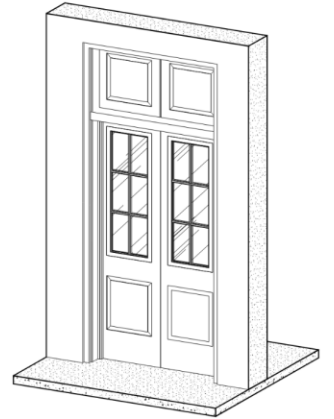
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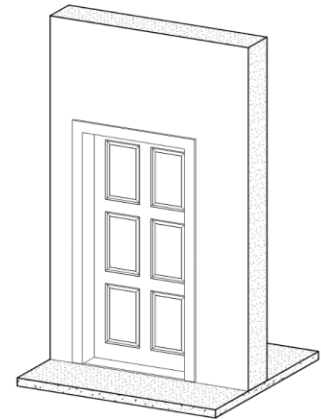
10 CENTER DETAIL
3' x 1'-0"



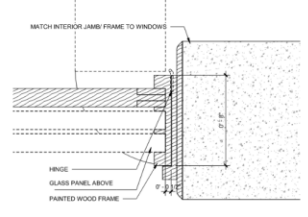
104 OUTSWING JAMB DETAIL - PROPOSED
3' x 1'-0"



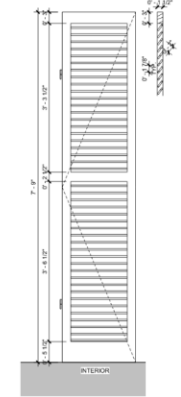
1000 DOOR AXON



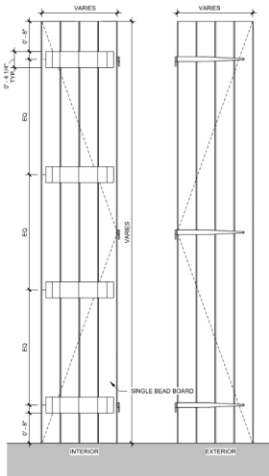
104A DOOR AXON



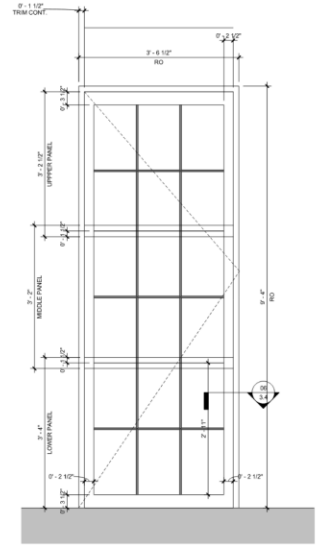
SECTION THROUGH DOOR JAMB AT 208 + 218
3' x 1'-0"



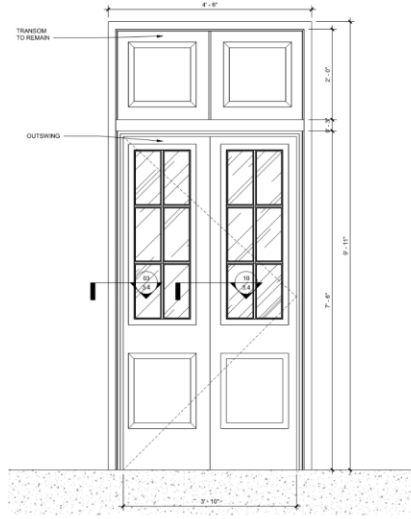
LOUVERED SHUTTER
1' x 1'-0"



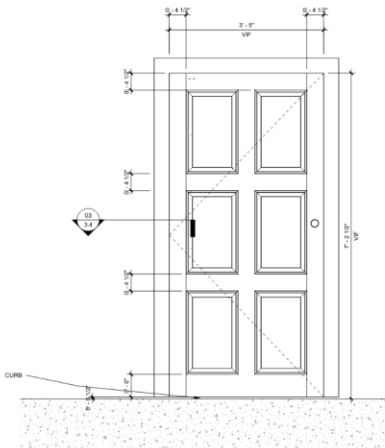
BOARD & BATTEN SHUTTER
1' x 1'-0"



ELEVATION DOOR 208 + 218
1' x 1'-0"

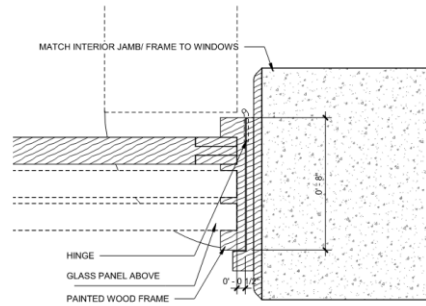


1000 DOOR ELEVATION
1' x 1'-0"

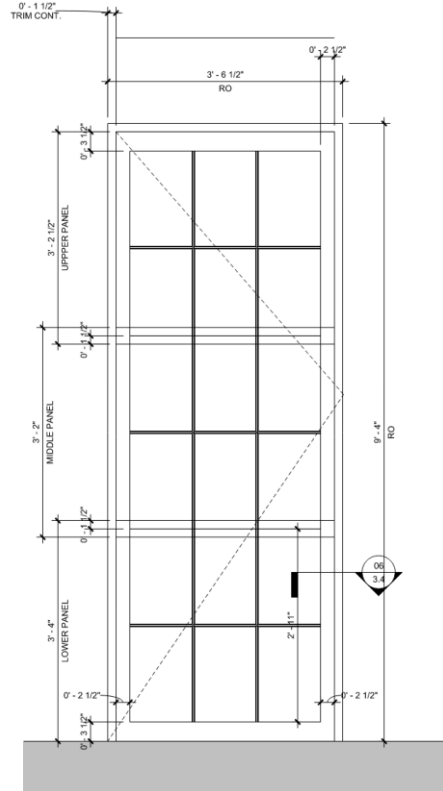


104A DOOR ELEVATION
1' x 1'-0"

4/10/2024 10:47:56 AM Autodesk Docs:041 Bourbon St 2018_ARCH_022_241 BOURBON.rvt



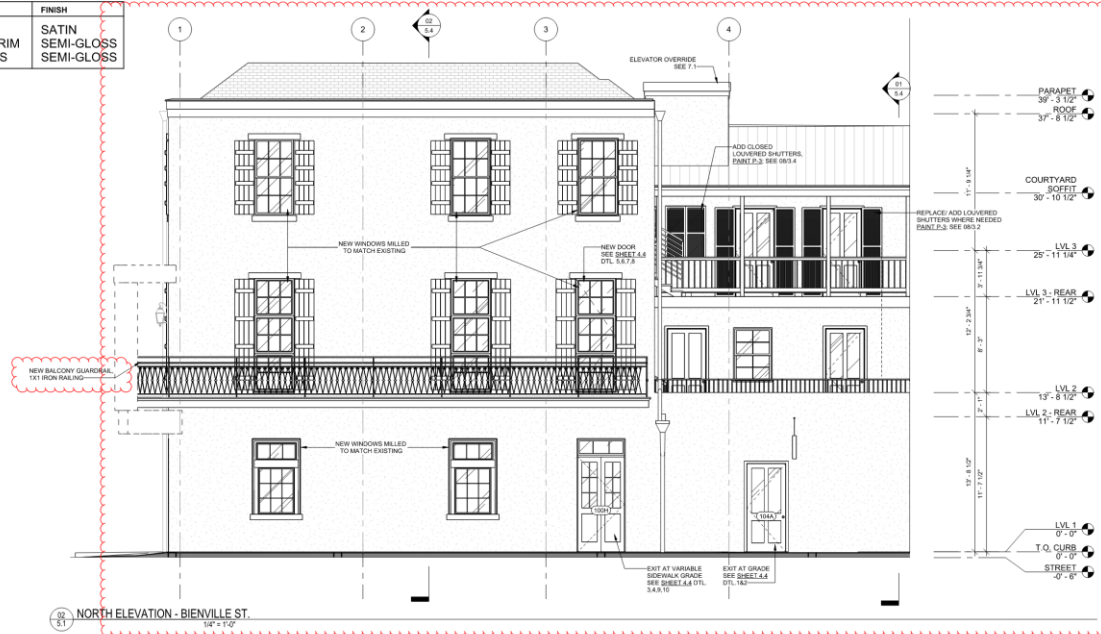
SECTION THROUGH DOOR JAMB AT 208
 +218
 3" = 1'-0"



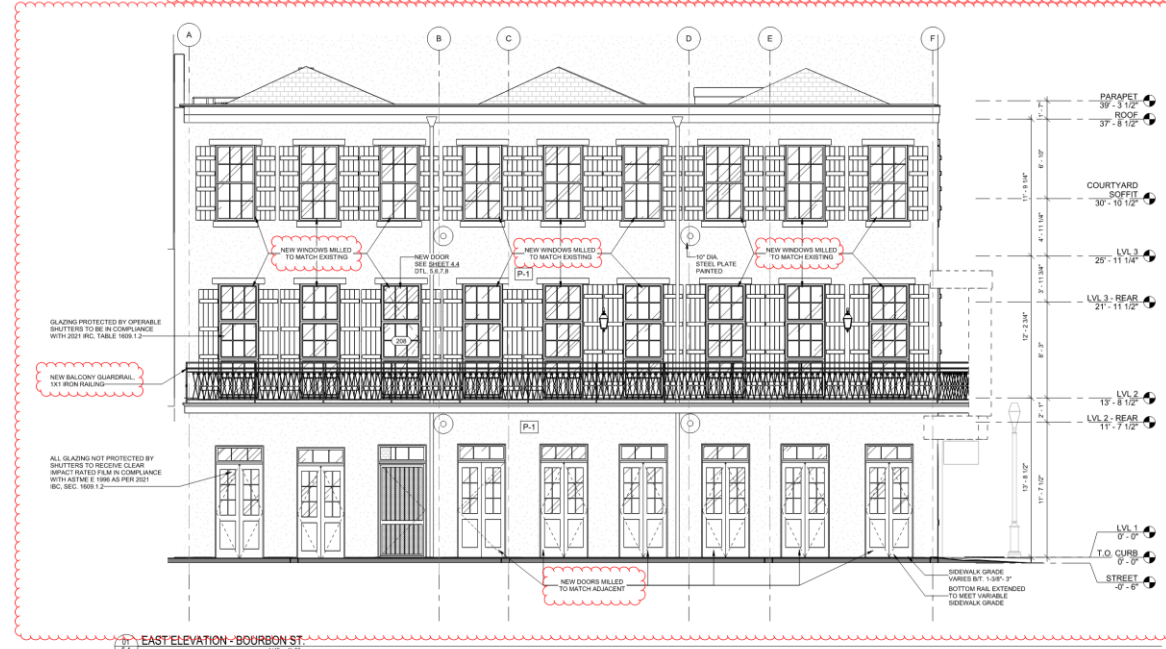
ELEVATION DOOR 208 + 218
 1" = 1'-0"



NUMBER	NOTES	FINISH
2084-10	MAIN DOORS/TRIM	SATIN SEMI-GLOSS
2084-11	DOORS/TRIM SHUTTERS	SEMI-GLOSS



30 NORTH ELEVATION - BIENVILLE ST. 14' x 12'



31 EAST ELEVATION - BOURBON ST. 14' x 12'



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-REVISIONS-

No.	Date	Scope

DRAWING EXTERIOR ELEVATIONS

DRAWING BY: MLL
 SCALE: As Indicated
 JOB No.: 22018
 DATE: 3/15/2024
 Sheet No.:

5.1

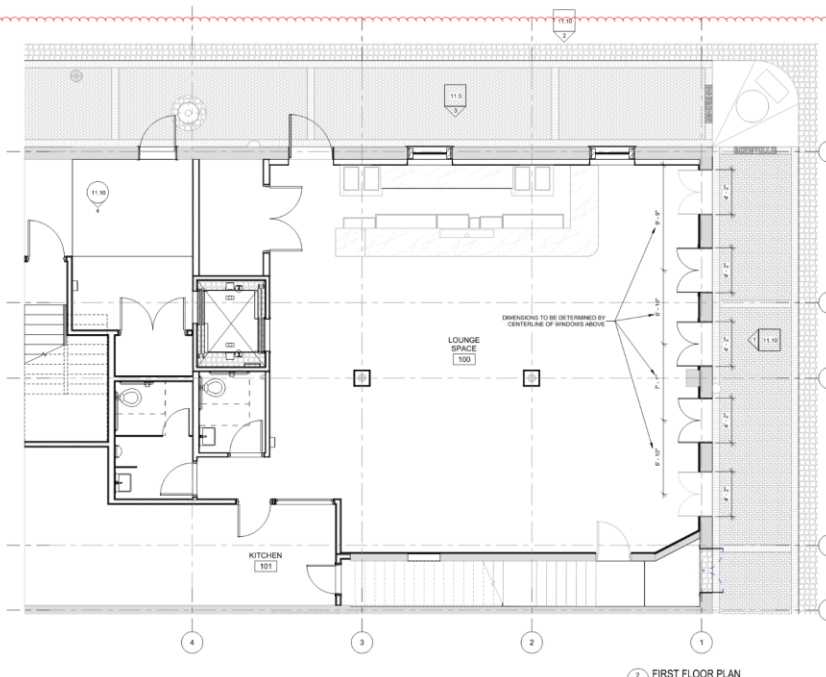
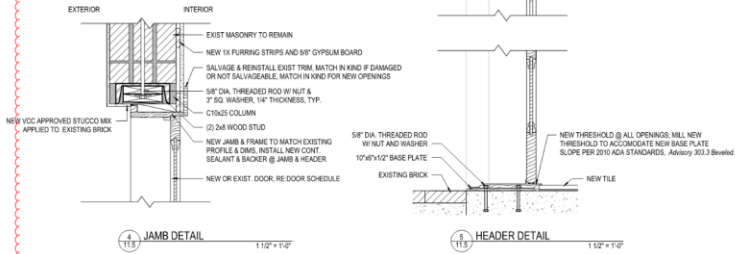
235-41 Bourbon
 VCC Architectural Committee

June 9, 2026



SEE STRUCTURAL 1 / S254 FOR UPDATED JAMB AND HEADER DETAILS AND RECOMMENDED PROCEDURE FOR CONSTRUCTION.

- VCC Approved Mortar Mix**
 The approved VCC mortar mix for 18th and 19th century historic masonry:
- 1 Part (maximum) Portland cement
 - 3 Parts Lime
 - 9 Parts Sand
 - Enough potable water to form a workable mix
- VCC Approved Stucco Mix**
 The approved VCC stucco mix for the scratch coat and the brown coat (Refer to Stucco, page 06-05) for 18th and 19th century historic masonry is:
- 1 Part (maximum) Portland cement
 - 3 Parts Lime
 - 9 Parts Sand
 - 6 lbs (cubic yards of hair or fiber)
 - Enough potable water to form a workable mix
- The approved VCC stucco mix for the finish coat is:
- 1 Part (maximum) Portland cement
 - 3 Parts Lime
 - 9 Parts Sand
 - Enough potable water to form a workable mix



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NEW ORLEANS CITY OF PLANNING AND ZONING DEPARTMENT

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REVISIONS:		
No.	Date	Scope

DRAWING: BOURBON ST. FACADE
 REVISIONS:

DRAWING BY: MLL
 SCALE: As Indicated
 JOB No.: 522018
 DATE: 3/20/2018
 Sheet No.:

11.5

3/9/2018 11:06:41 PM Autodesk Docs\CTI_Beamer\522018_ARCH\F22_241_BOURBON_2025.rvt





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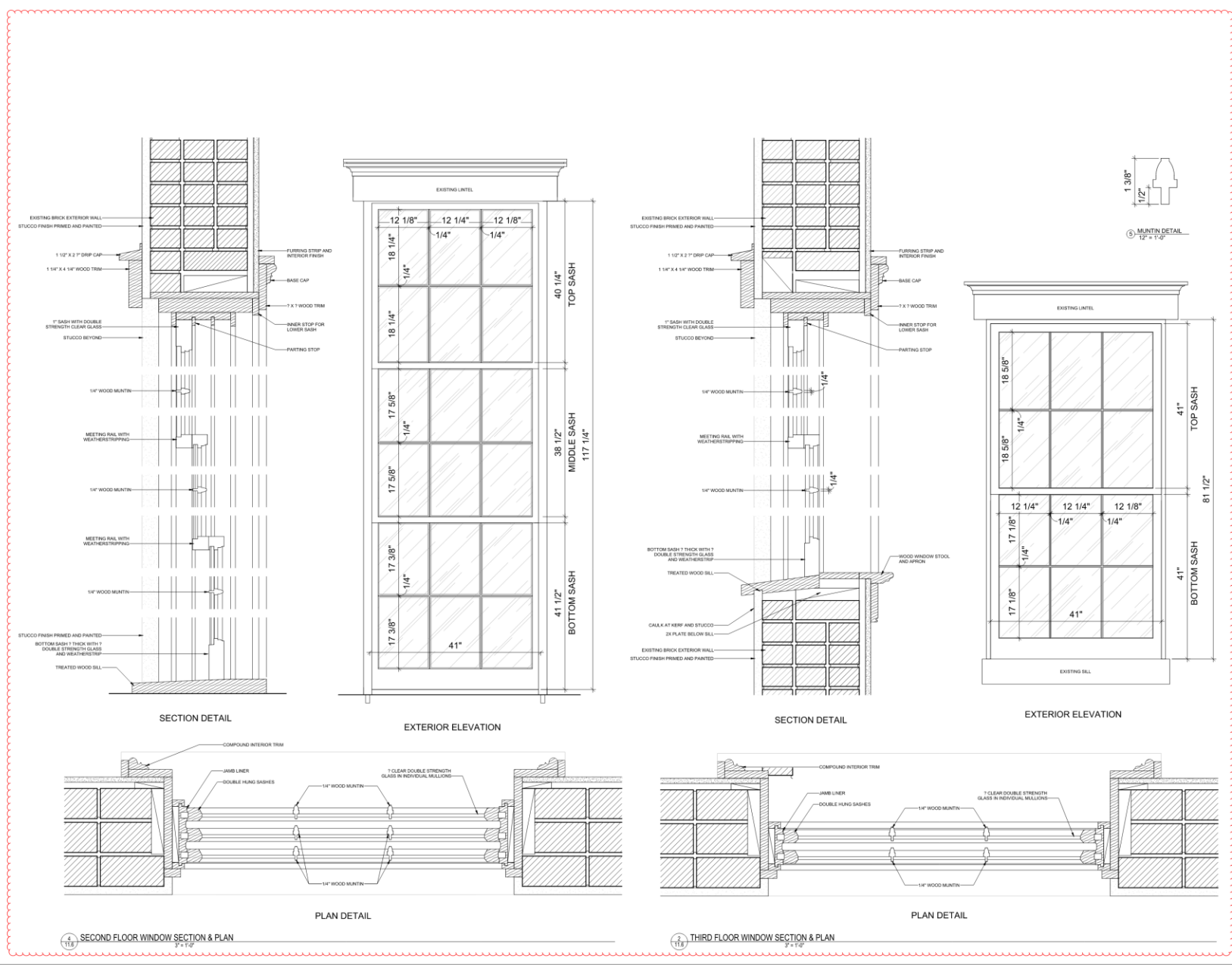
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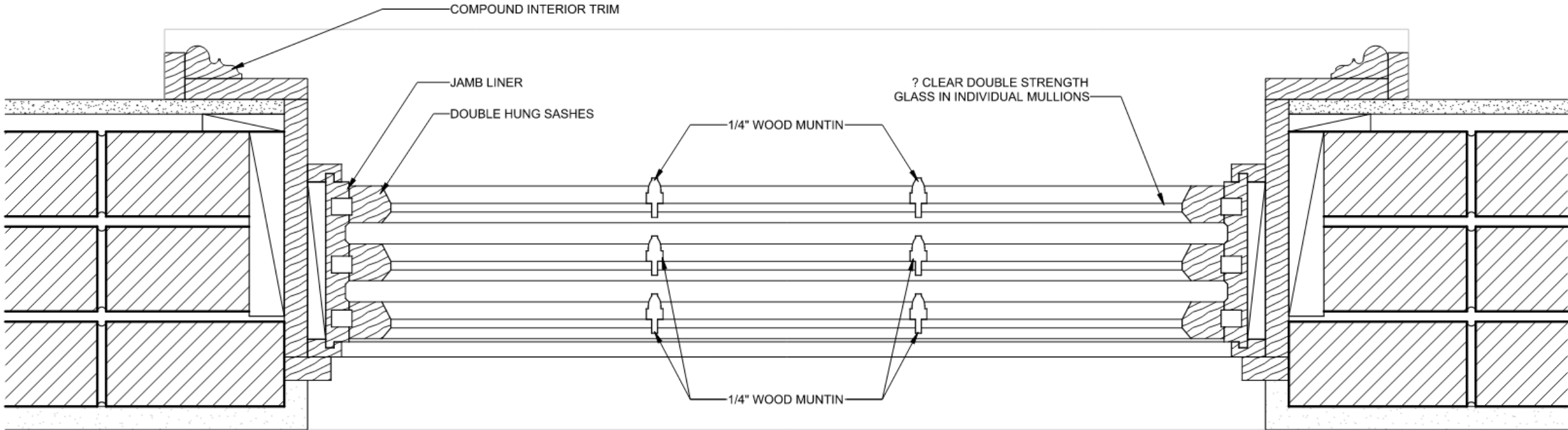
-REVISIONS-		
No.	Date	Scope
01	12/02/2025	VCC - NEW WINDOWS

DRAWING
NEW WINDOW DETAILS
DRAWING BY: MLL
SCALE: As Indicated
JOB No.: 202414
DATE: 3/10/2025
Sheet No.:

11.6



EXTERIOR ELEVATION



PLAN DETAIL

4 SECOND FLOOR WINDOW SECTION & PLAN
11.6 3" = 1'-0"

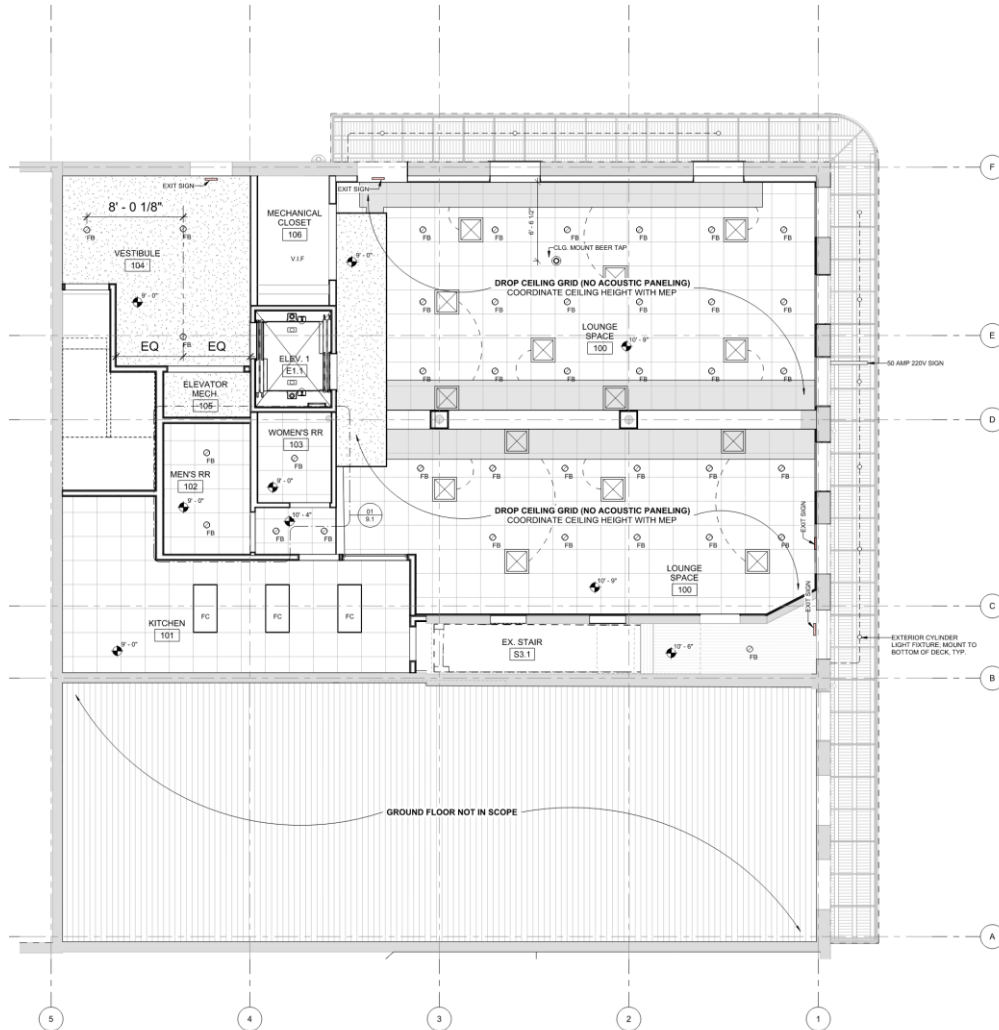
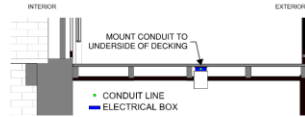


REFLECTED CEILING PLAN LEGEND

-  DROP GRID
-  GYPSUM BOARD
-  BEADBOARD/WOOD
-  UNKNOWN, EXISTING TO REMAIN

GENERAL NOTES - REFLECTED CEILING PLAN

1. FINISHED CEILING HEIGHT TO BE DETERMINED BY FINISH FLOOR ELEVATION AND MEP COORDINATION.
2. SEE ELECTRICAL SHEETS FOR EQUIPMENT SCHEDULE.
3. SEE LIGHTING CONSULTANT DRAWINGS FOR FIXTURE SCHEDULE.
4. CENTER ALL RECESSED LIGHTING TO CENTER OF CEILING TILES.
5. COORDINATE MECHANICAL EQUIPMENT WITH LIGHTING PLAN.
6. COORDINATE CEILING HEIGHT WITH MECHANICAL EQUIPMENT.



11 FIRST FLOOR PLAN - RCP 1/4" = 1'-0"



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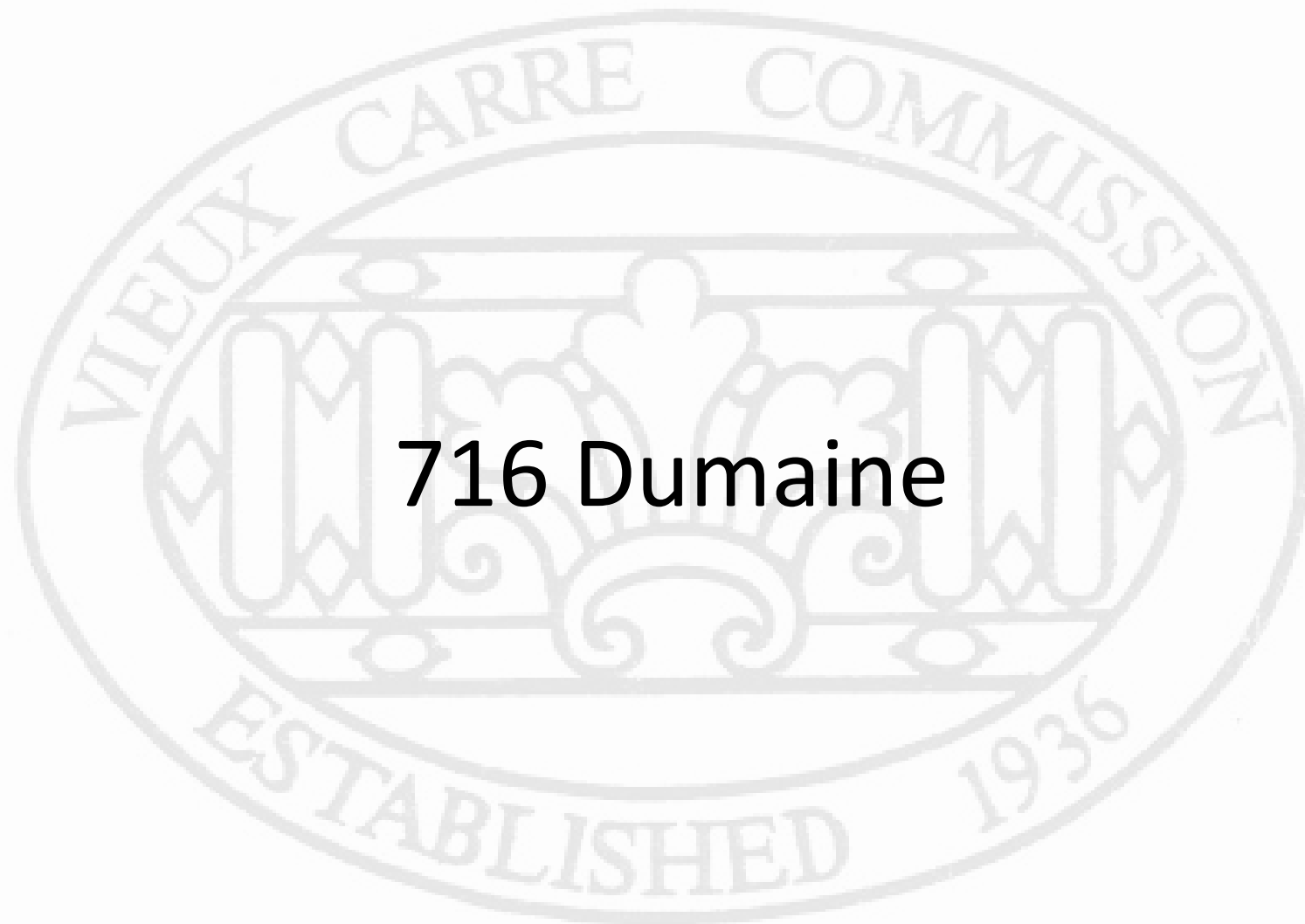
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 DRAWING BY: M.L.
 SCALE: As indicated
 JOB No.: 522018
 DATE: 3/19/2025
 Sheet No.

235-41 Bourbon
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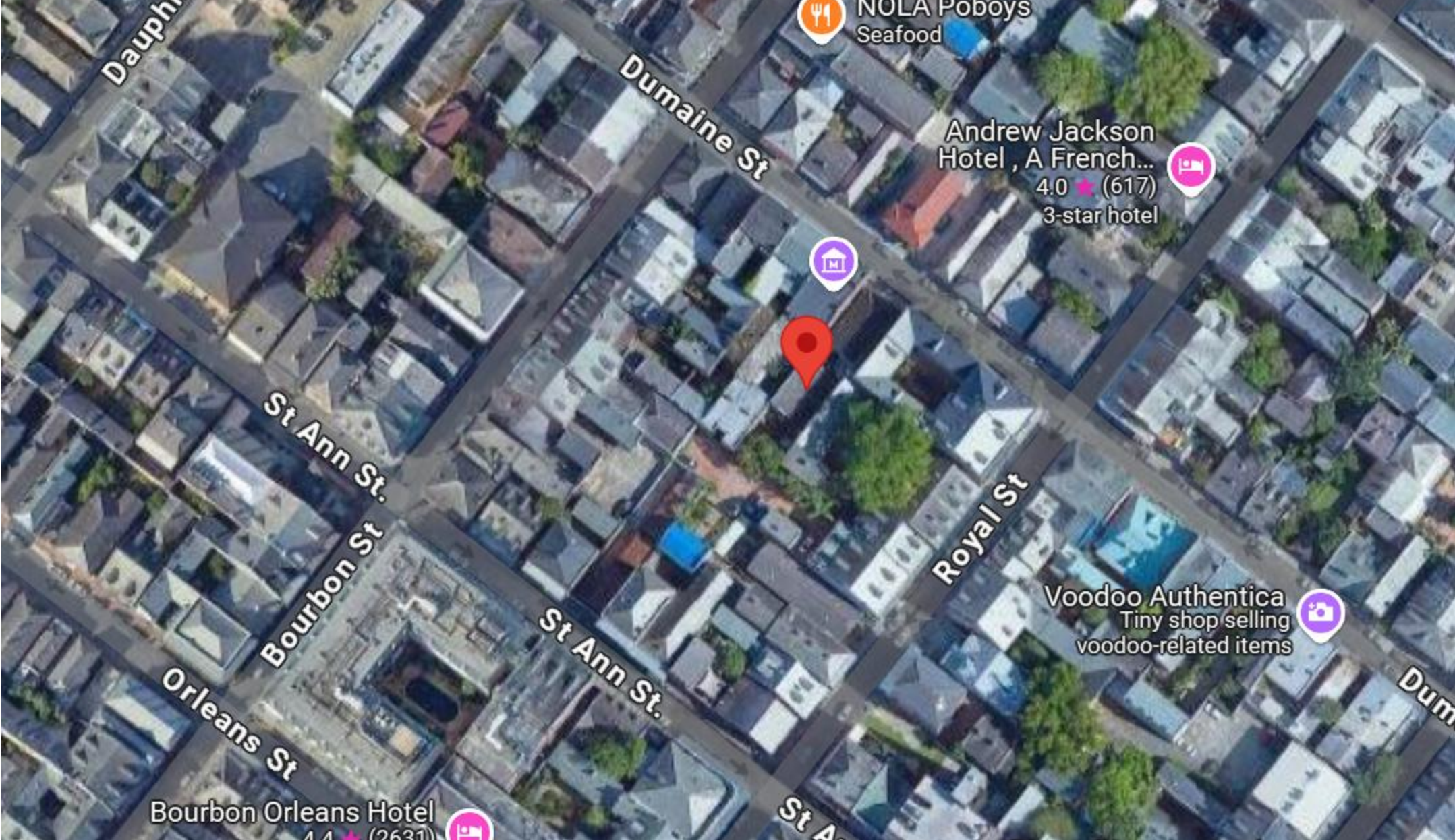
10.1

June 9, 2026





716 Dumaine



716 Dumaine

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June 9, 2026





716 Dumaine, 1899

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716 Dumaine, 1963

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716 Dumaine, May 1973
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716 Dumaine, April 1973

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June 9, 2026





716 Dumaine

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05 21 2021

June 9, 2026





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June 9, 2026



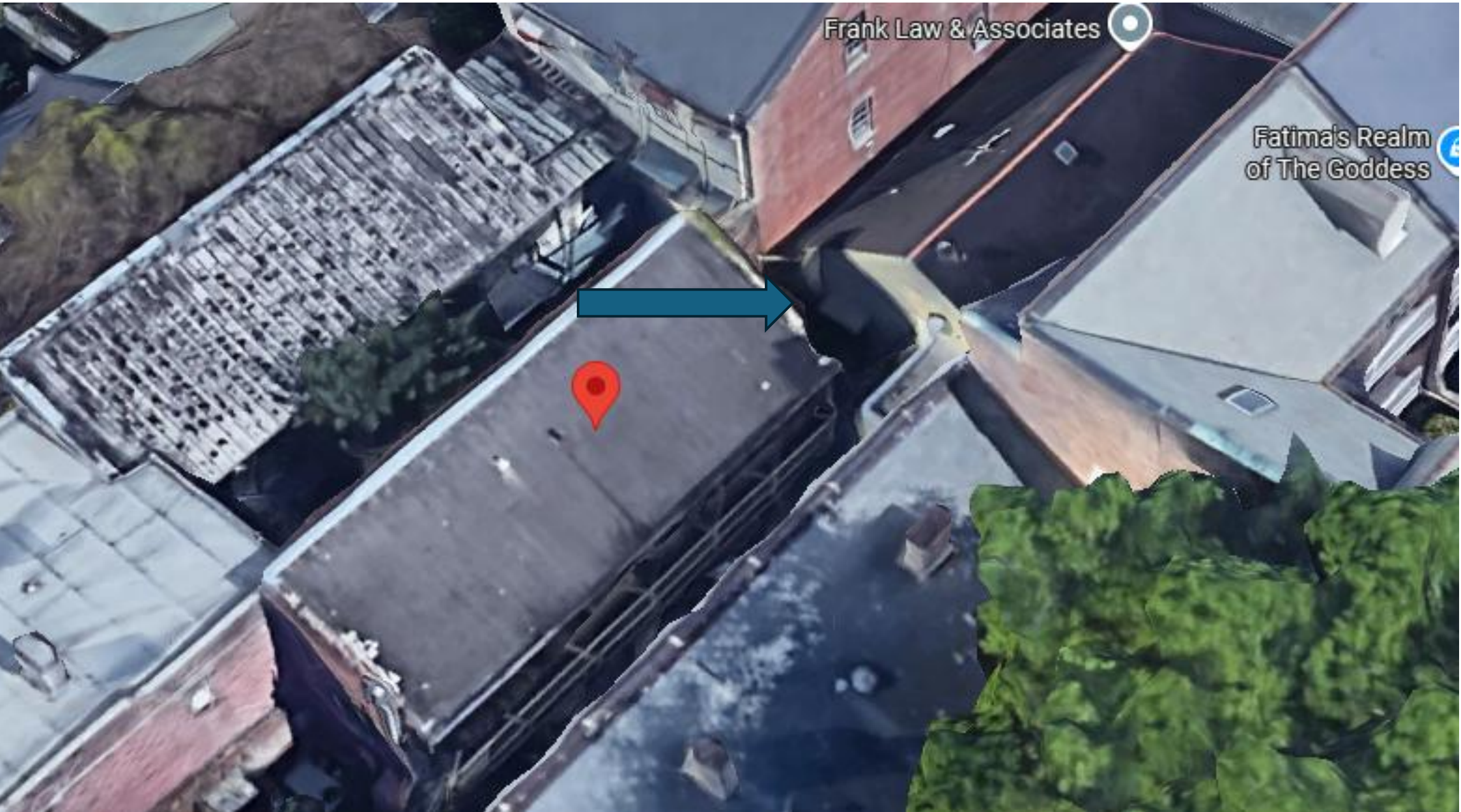


716 Dumaine

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June 9, 2026





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June 9, 2026



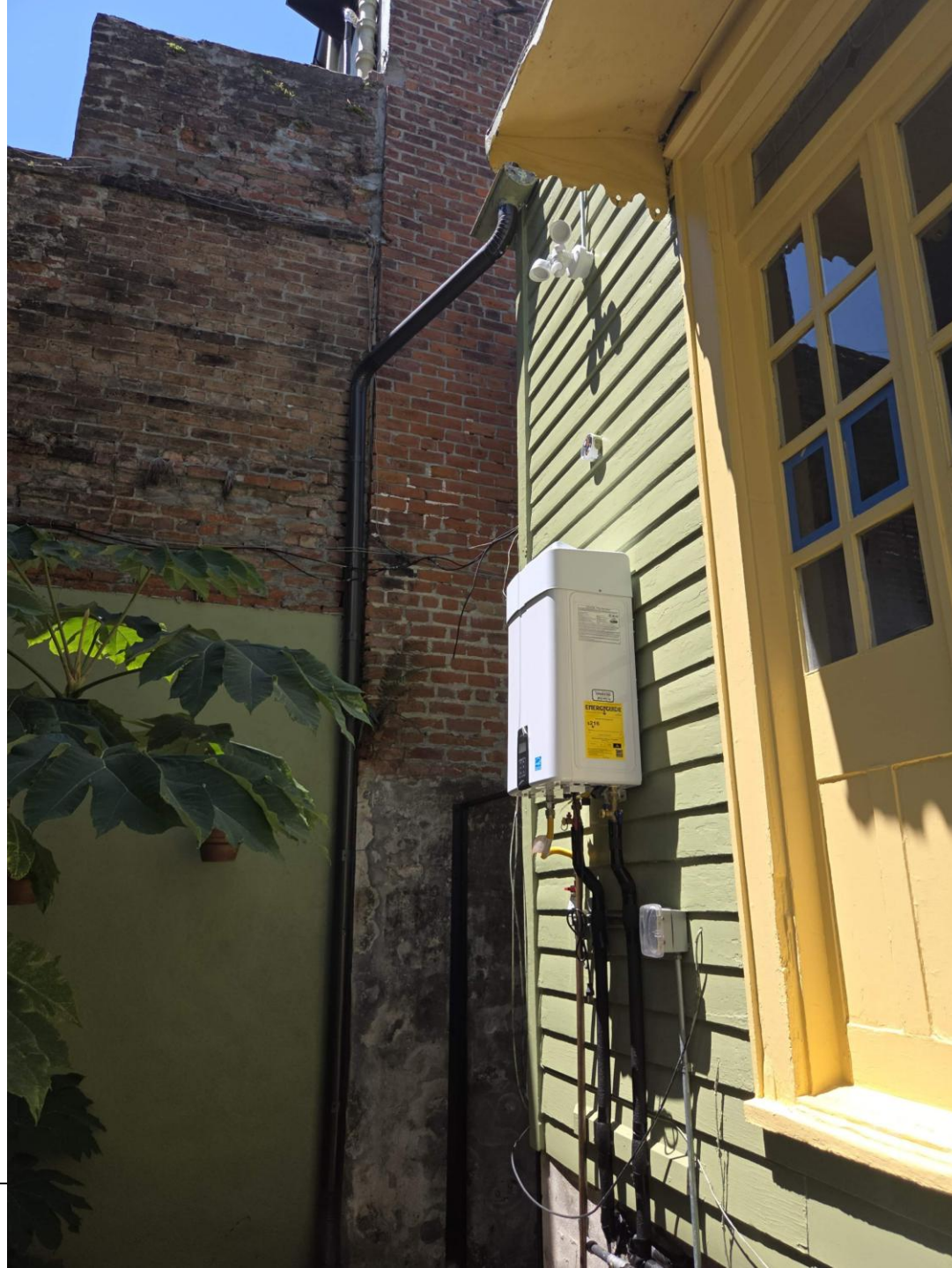


716 Dumaine

VCC Architectural Committee

June 9, 2026





716 Dumaine

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June 9, 2026



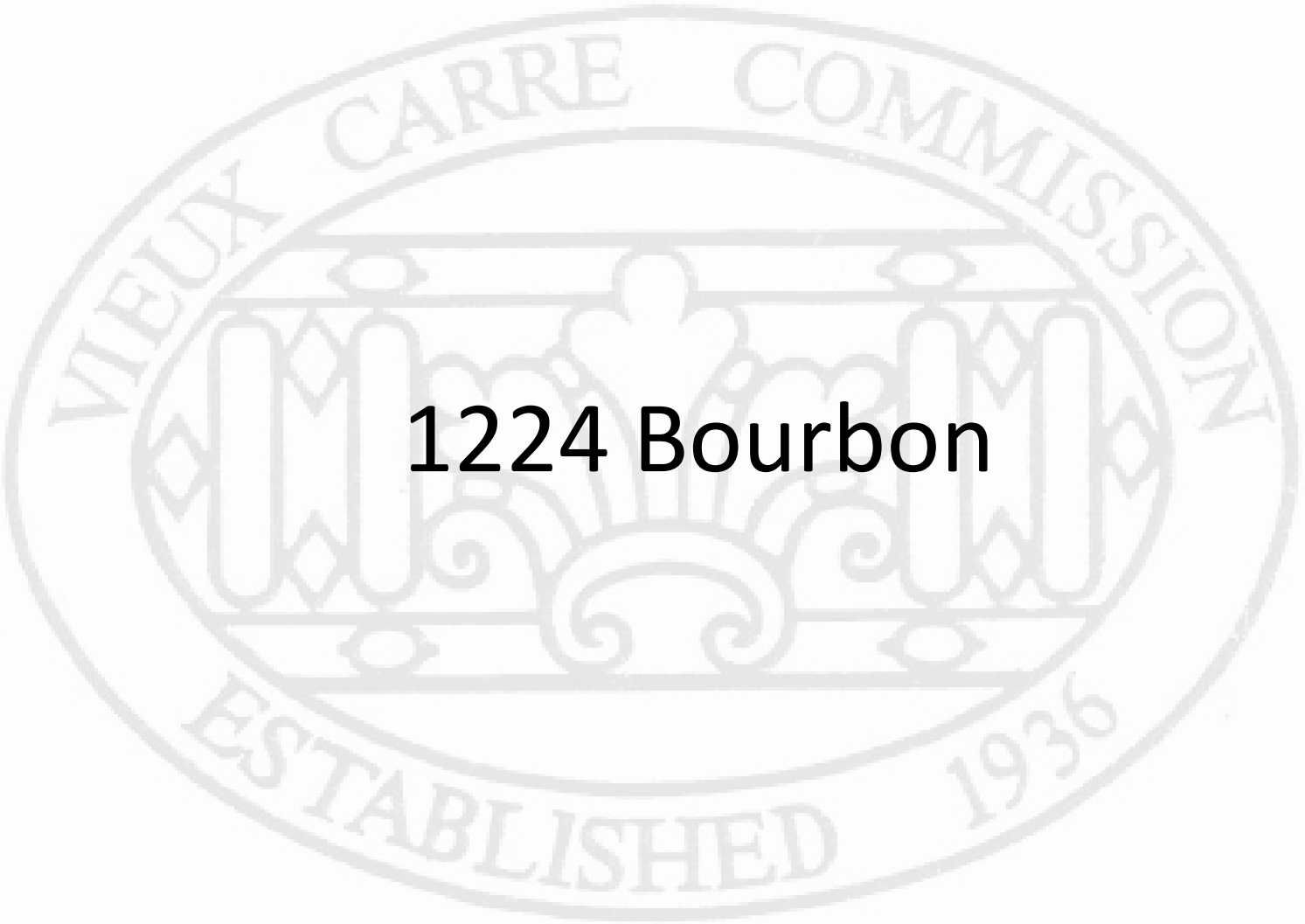


716 Dumaine

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1224 Bourbon



1224 Bourbon





1224 Bourbon

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May 26, 2026





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May 26, 2026





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May 26, 2026




Fwd: Fw: 1224 Bourbon St.



Alex Nash <alex@nashac.com>

To  Nicholas G. Albrecht

 You replied to this message on 5/20/2026 1:29 PM.



Tue 5/19

----- Forwarded Message -----

Subject:Air conditioner location

Date:Tue, 19 May 2026 12:30:46 -0500

From:Steve Rohren <srip1957@gmail.com>

To:Alex@nashac.com

This is Steve Rohren, President of the HOA, I discussed the location of the air conditioner with Nash HVAC. The location selected met the HOA approval.

Steve Rohren
HOA President

1224 Bourbon





1224 Bourbon

VCC Architectural Committee

May 26, 2026





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May 26, 2026





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May 26, 2026





1224 Bourbon

VCC Architectural Committee

May 26, 2026





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May 26, 2026





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May 26, 2026





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May 26, 2026





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