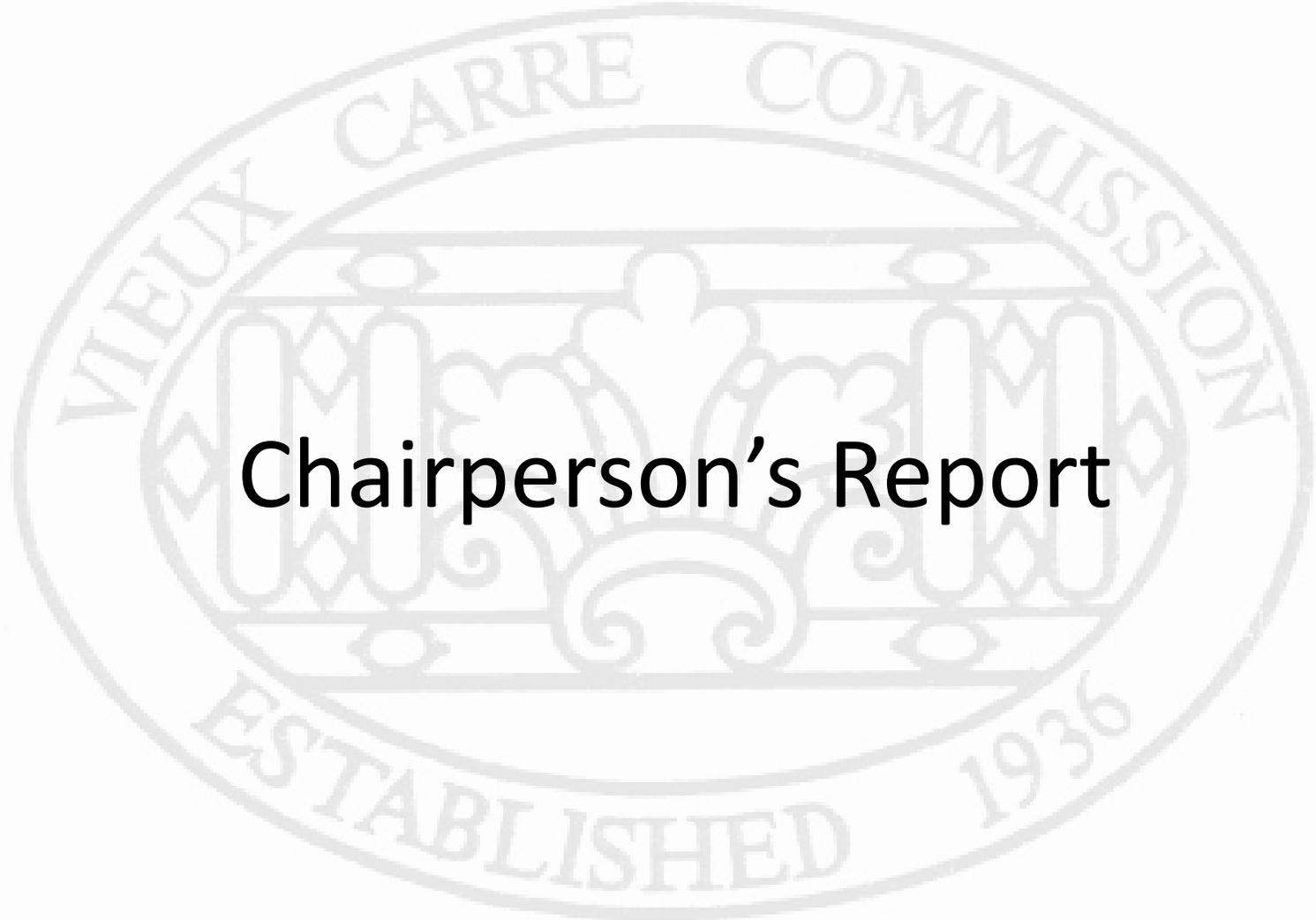


Vieux Carré Commission Meeting

Wednesday, February 8, 2023



Chairperson's Report



Director's Report



New Business



616 Conti

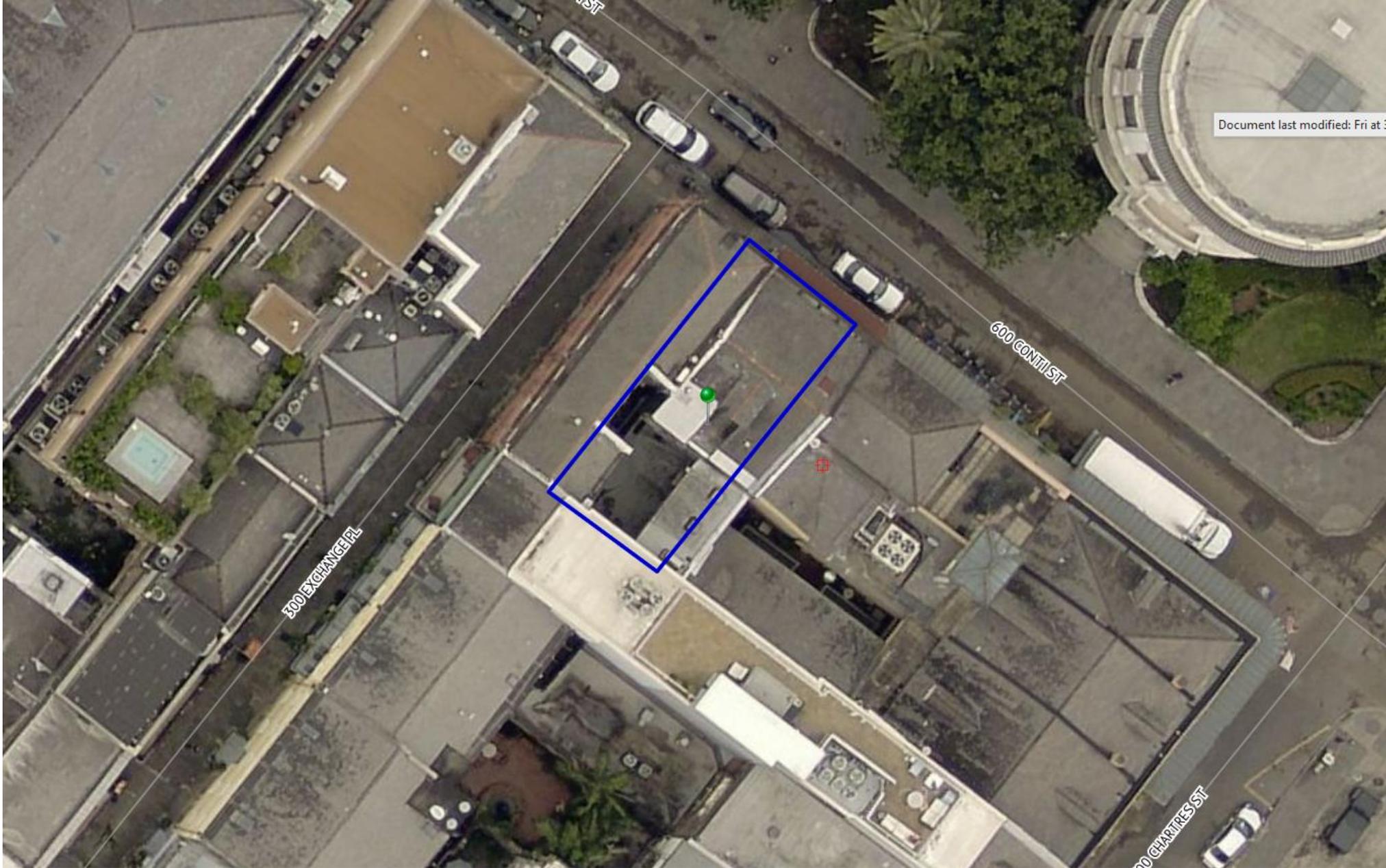


616 Conti

Vioux Carre Commission

February 8, 2023





616 Conti – 2019

Viewx Carre Commission

February 8, 2023





616 Conti – Oct. 2020
Vieux Carre Commission

February 8, 2023





616 Conti

Vieux Carre Commission

February 8, 2023



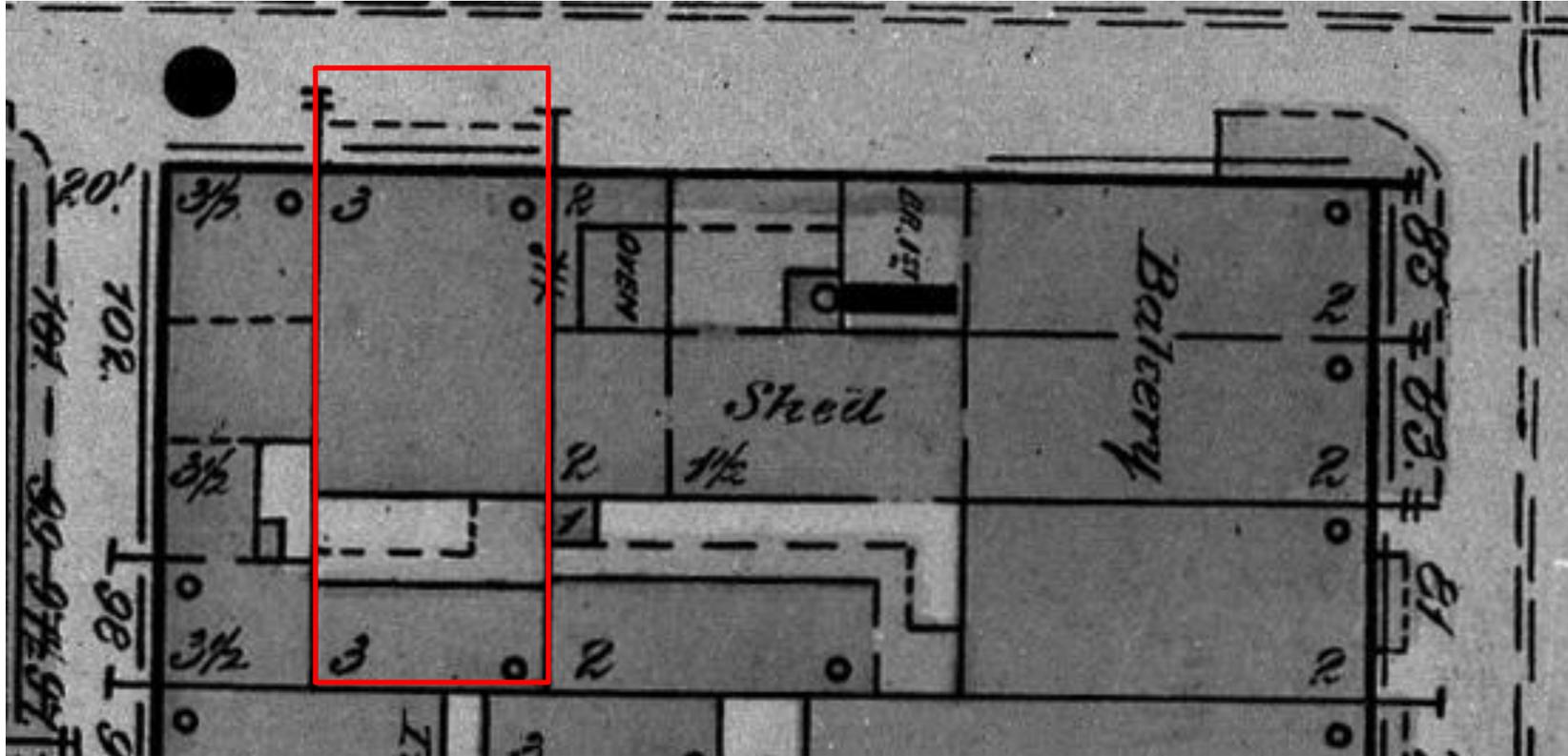


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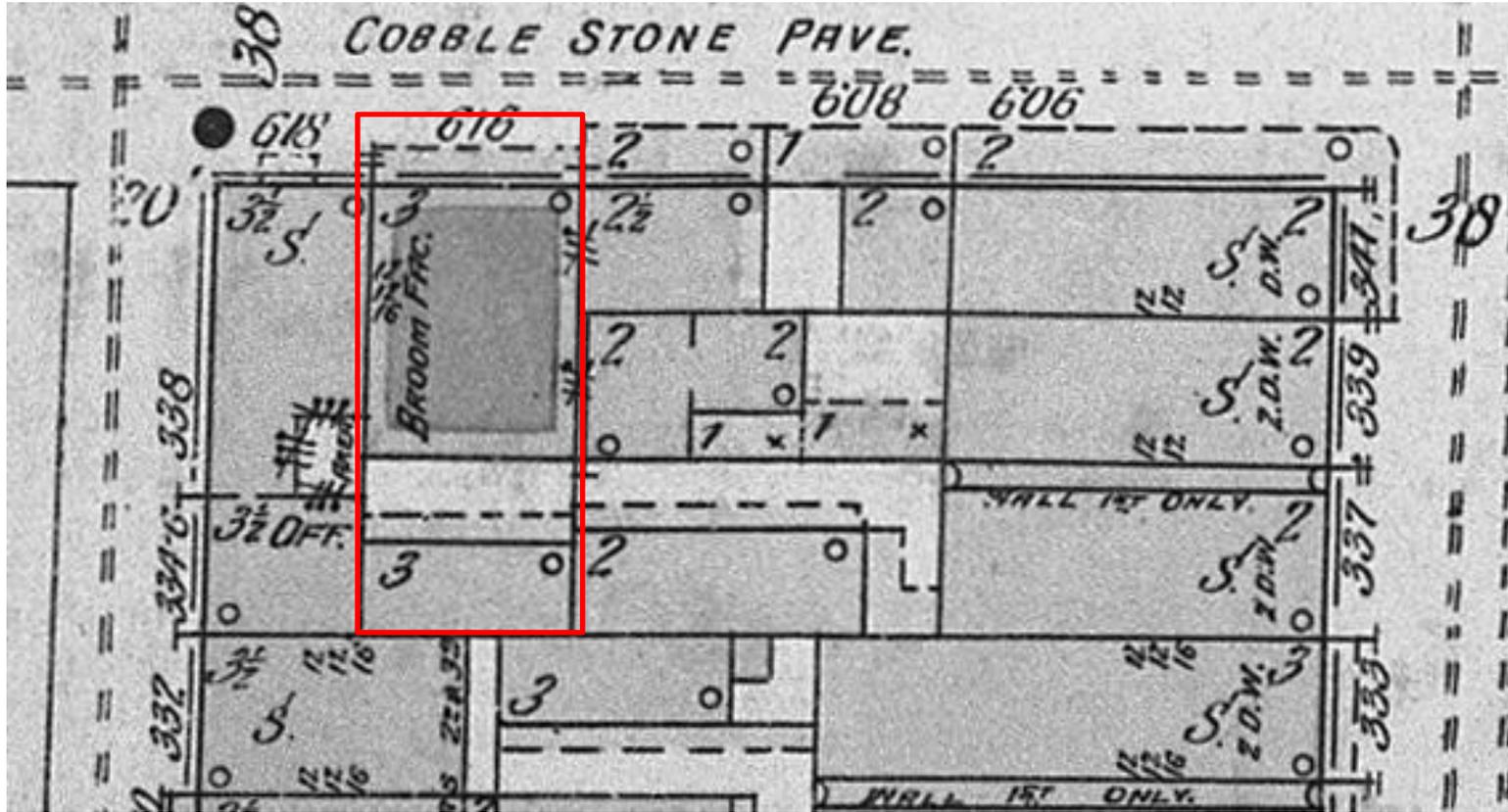
View Carre Commission

February 8, 2023



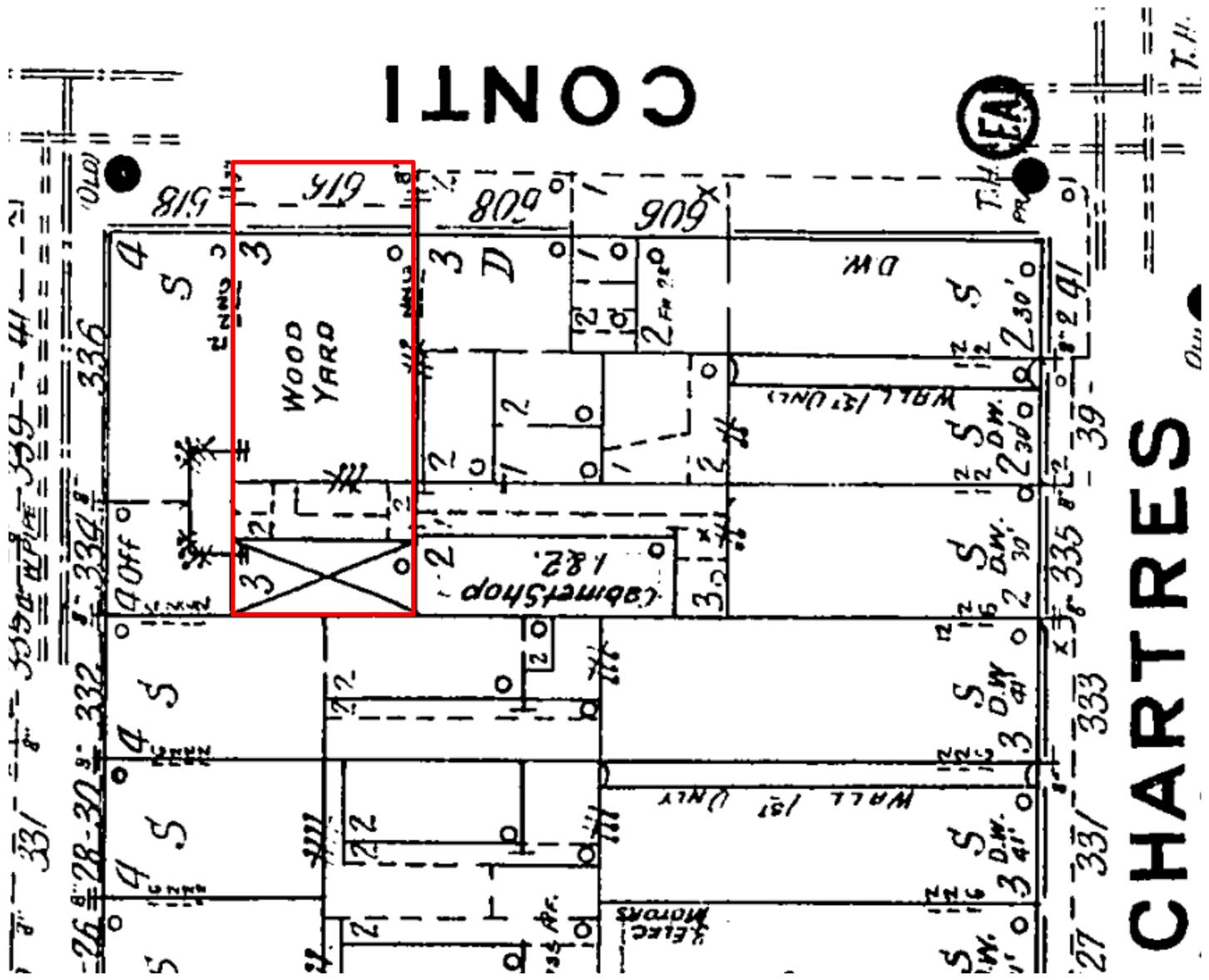


1876 Sanborn Map



1896 Sanborn Map





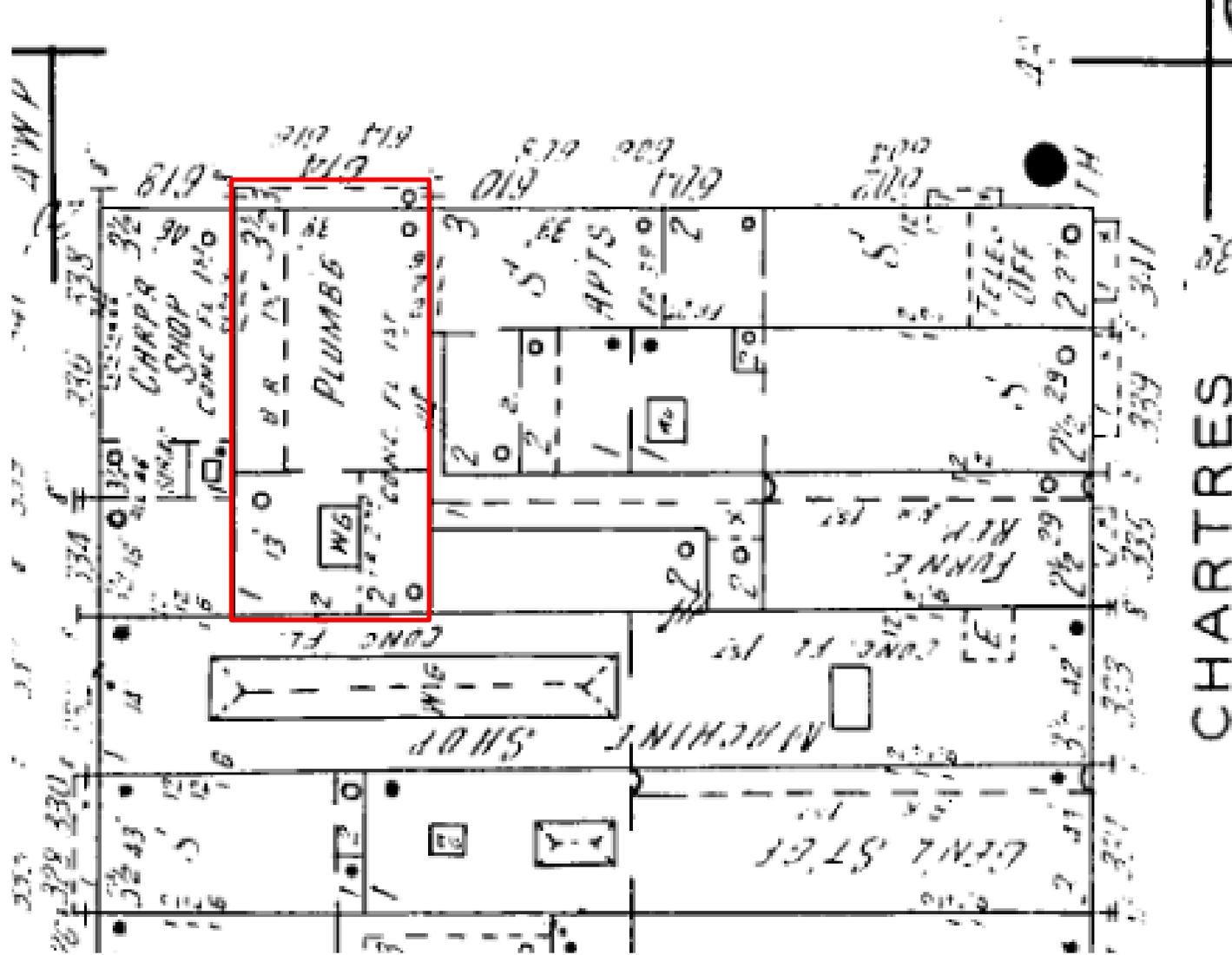
1908 Sanborn Map

616 Conti

Vieux Carre Commission

February 8, 2023





1940 Sanborn Map





616 Conti

Vieux Carre Commission

February 8, 2023





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Vieux Carre Commission

February 8, 2023





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Vieux Carre Commission

February 8, 2023





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Vieux Carre Commission

February 8, 2023





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Vieux Carre Commission

February 8, 2023





614-616 Conti

Vieux Carre Commission

October 2, 2013

February 8, 2023





614-616 Conti

Vieux Carre Commission

October 2, 2013

February 8, 2023





614-616 Conti

Vieux Carre Commission

October 2, 2013

February 8, 2023





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Vieux Carre Commission

October 2, 2013

February 8, 2023





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Vieux Carre Commission

October 2, 2013

February 8, 2023





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Vieux Carre Commission

October 2, 2013

February 8, 2023





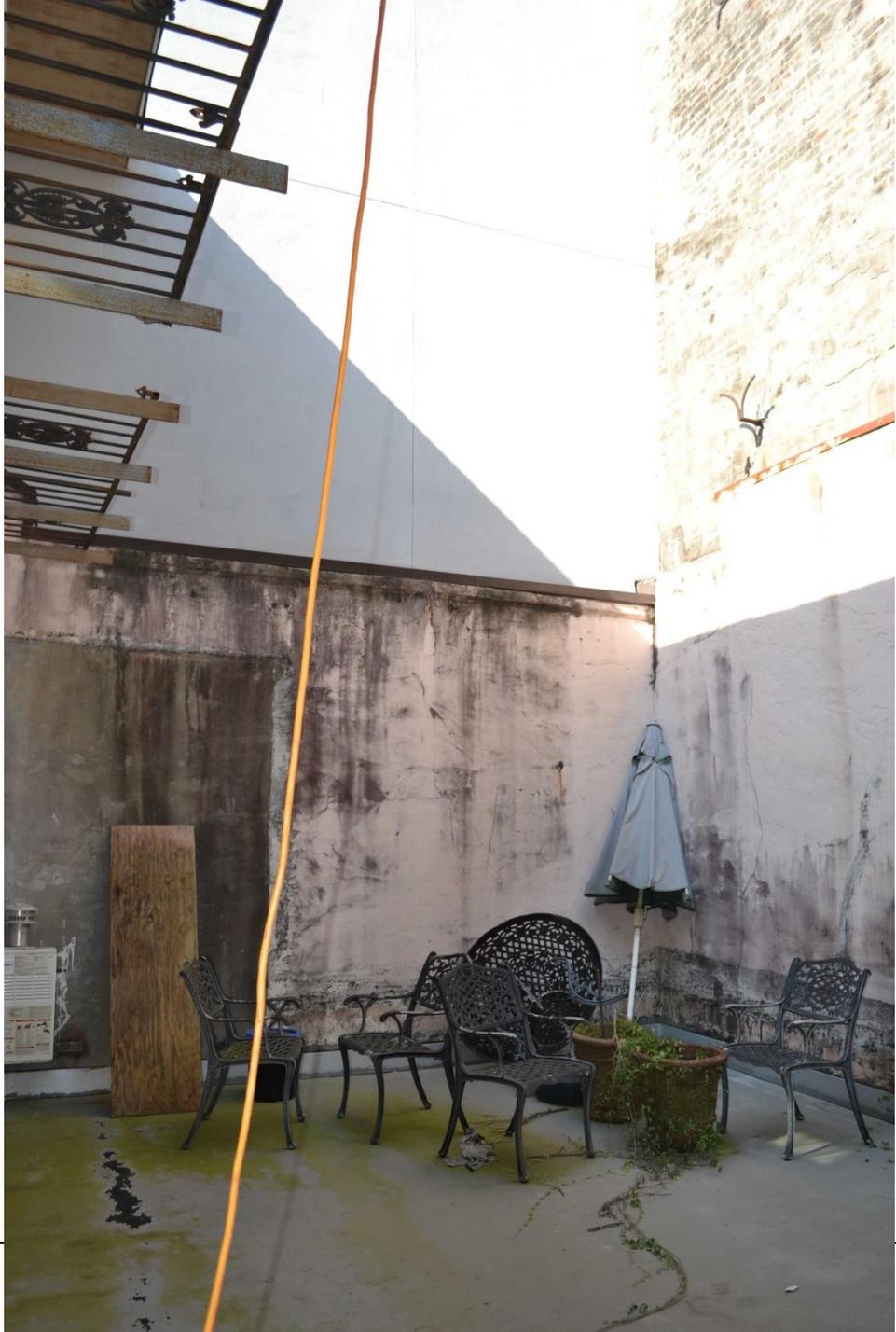
614-616 Conti





614-616 Conti



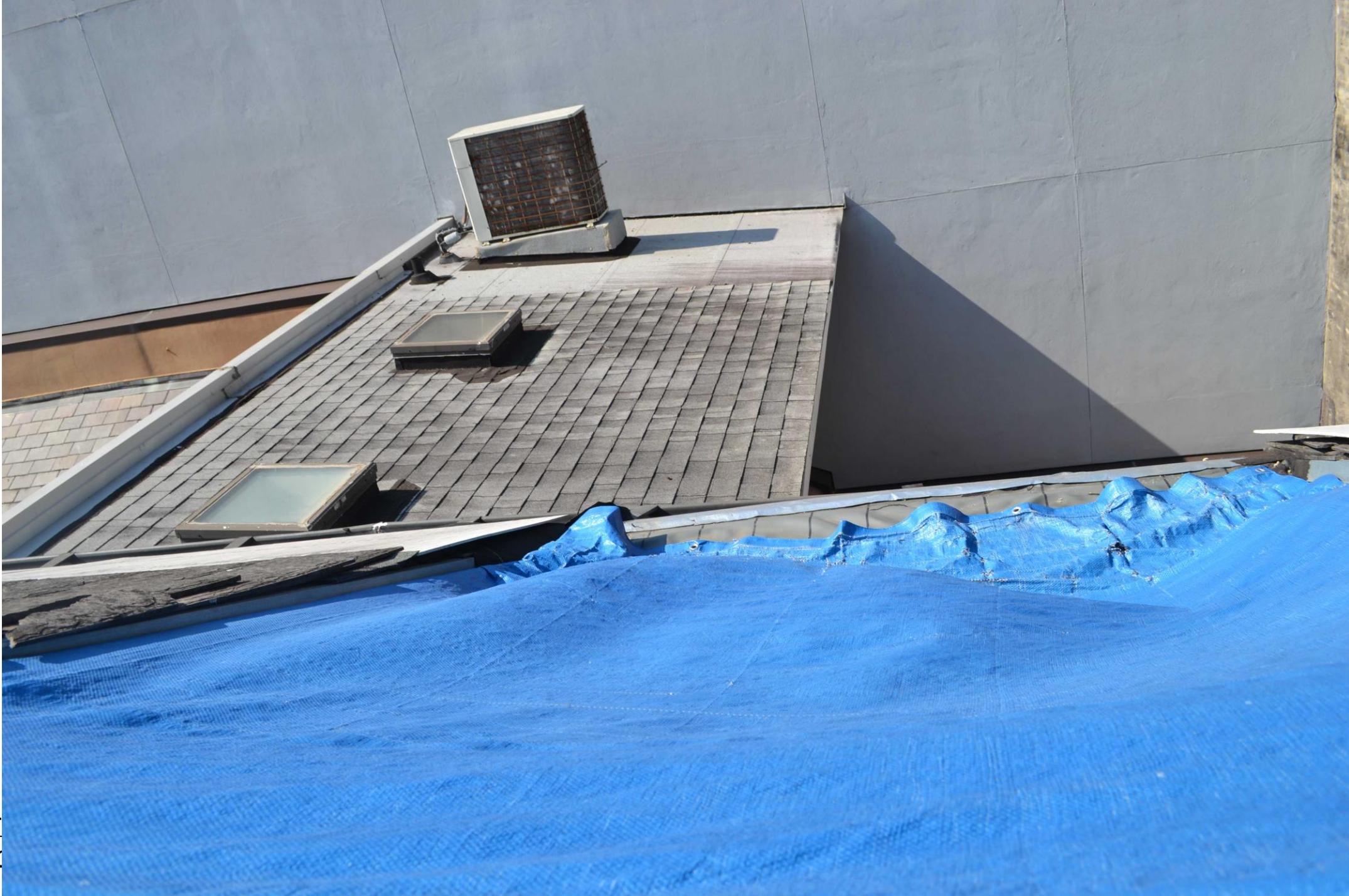


614-616 Conti

Vieux Carre Commission

February 8, 2023





614

Viewed





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View





616 Conti

Viewx Carre Commission

February 8, 2023





616 Conti

Vieux Carre Commission

February 8, 2023





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Vieux Carre Commission

February 8, 2023





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Vieux Carre Commission

February 8, 2023





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February 8, 2023





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Vieux Carre Commission

February 8, 2023





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Vieux Carre Commission

February 8, 2023





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Viewx Carre Commission

February 8, 2023





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Vieux Carre Commission

February 8, 2023





616 Conti

Vieux Carre Commission

February 8, 2023





LEGEND - DEMOLITION

- CONCRETE MASONRY (CMU) (GARD WALL)
- BRICK OR MTL
- 5" TO 8" W/ 1/2" C. G. BRICK
- CONSTRUCTION ELEVATION TO BE DEMOLISHED
- EXIST'G CONSTRUCTION ELEVATION TO REMAIN
- LINE OF CONSTRUCTION ELEVATION OVERLAP

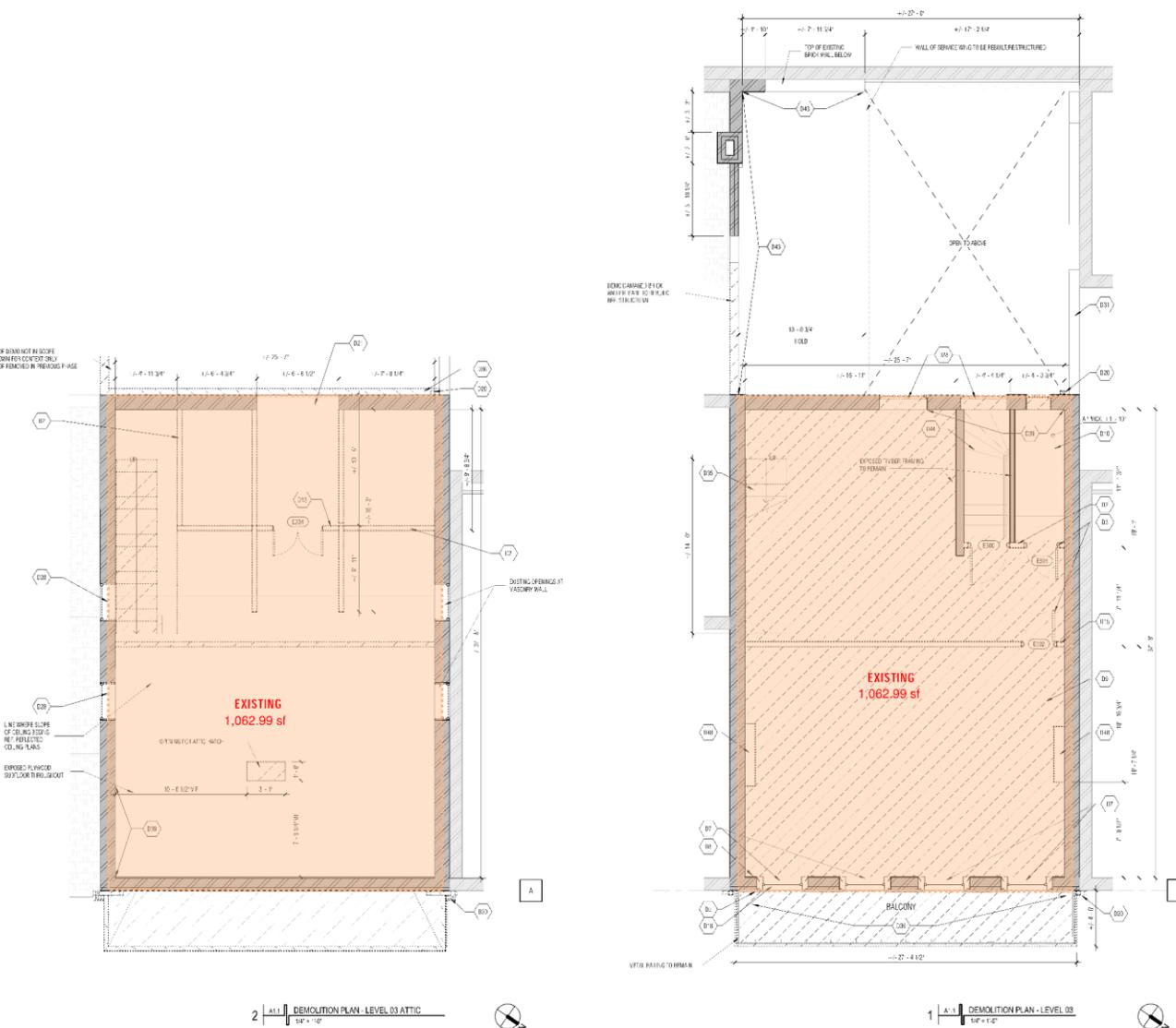
INTERIOR DEMOLITION NOTES

1. FOR THIS WORK SHOWN INDICATES VARIATION OF WORK TO BE PERFORMED IN THIS AREA AND OTHER WORK SHOWN IS TO REMAIN UNLESS OTHERWISE NOTED.
2. DEMOLITION, INCLUDING THE ACTUALITY OF THE WORK, EQUIPMENT AND MATERIALS MUST BE APPROVED TO AVOID ANY INTERFERENCES AND APPROVED TO THE APPROVED PLAN TO MAINTAIN THE QUALITY OF THE WORK.
3. DEMOLITION OF CONCRETE OR MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE SUBSTITUTION SPECIFICATIONS OF THE WORK.
4. DEMOLITION OF CONCRETE OR MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE SUBSTITUTION SPECIFICATIONS OF THE WORK.
5. DEMOLITION OF CONCRETE OR MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE SUBSTITUTION SPECIFICATIONS OF THE WORK.
6. DEMOLITION OF CONCRETE OR MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE SUBSTITUTION SPECIFICATIONS OF THE WORK.
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8. DEMOLITION OF CONCRETE OR MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE SUBSTITUTION SPECIFICATIONS OF THE WORK.
9. DEMOLITION OF CONCRETE OR MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE SUBSTITUTION SPECIFICATIONS OF THE WORK.
10. DEMOLITION OF CONCRETE OR MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE SUBSTITUTION SPECIFICATIONS OF THE WORK.
11. ALL EXIST'G CONDITIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD AND COORDINATED WITH ARCHITECT. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND COORDINATED WITH ARCHITECT FOR ACTUAL DIMENSIONS.

DEMOLITION KEYNOTES

- 101 REMOVE EXIST'G WALL
- 102 REMOVE AND DISCARD INTERIOR DOOR AND FRAME
- 103 REMOVE ALL EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 104 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 105 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 106 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 107 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 108 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 109 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 110 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 111 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 112 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 113 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 114 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 115 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 116 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 117 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 118 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 119 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION
- 120 REMOVE EXIST'G PARTITION WALLS, REPAIR AND PREPARE FOR RECONSTRUCTION

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2 | A-1 | DEMOLITION PLAN - LEVEL 03 ATTIC

1 | A-1 | DEMOLITION PLAN - LEVEL 03

DEAD RABBIT NOLA
616 CONTI STREET
NEW ORLEANS, LA 70130

REVISIONS	
NO.	DESCRIPTION

FOR BIDDING
DATE 12/19/2022
PROJ. NO. A1907

A1.1
DEMOLITION PLAN -
LEVEL 03 & ATTIC



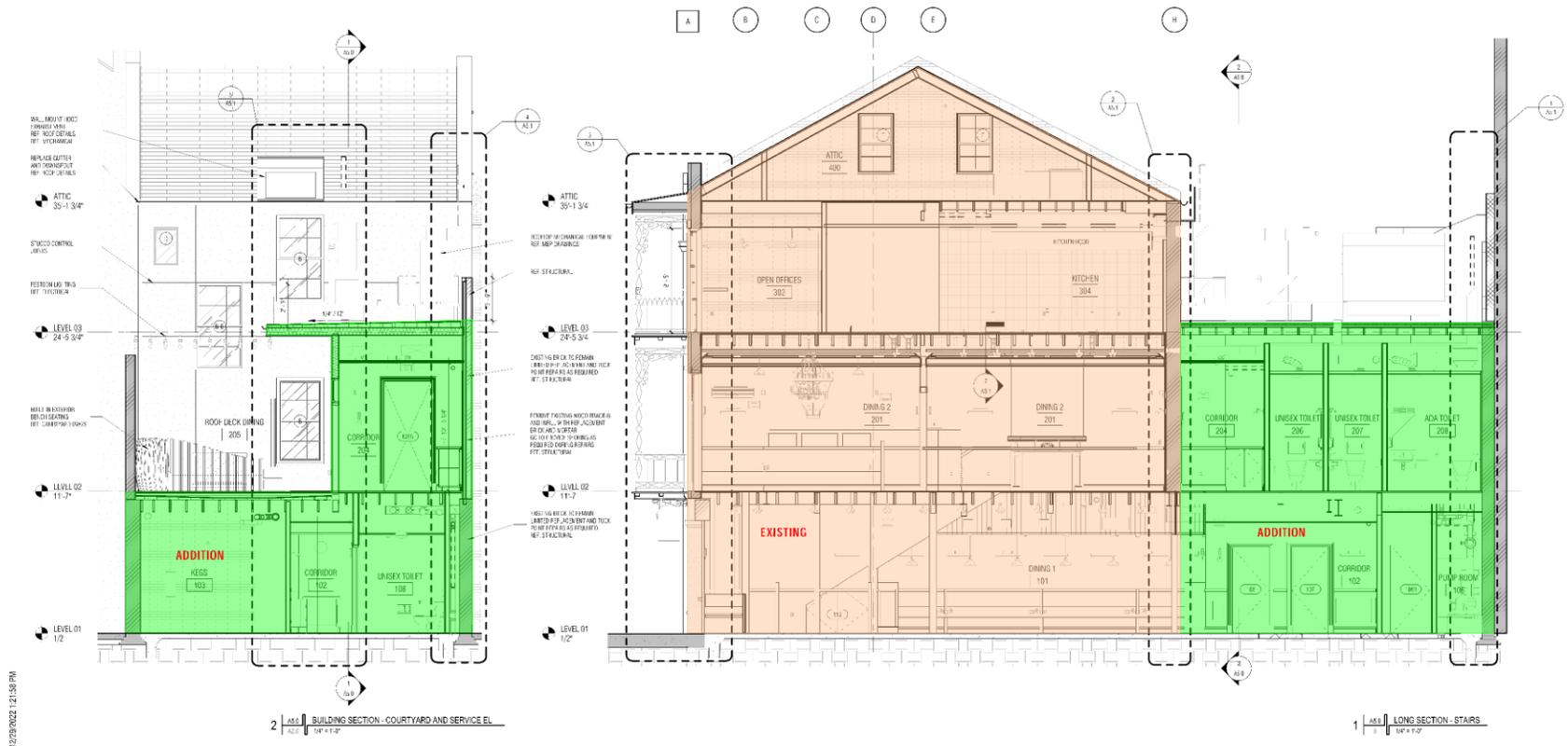
EXTERIOR ELEVATIONS NOTES

LEGEND - CONSTRUCTION

1. ALL FINISHES SHOWN ARE TO BE USED UNLESS OTHERWISE NOTED. SEE THE 1. VENDOR AND COORDINATE WITH THE OWNER. NO. OF FINISHES TO BE USED SHALL BE COORDINATED WITH THE ARCHITECT AND THE OWNER.
2. ALL FINISHES AND MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE OF THE BEST QUALITY AVAILABLE.
3. ALL FINISHES AND MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE OF THE BEST QUALITY AVAILABLE.
4. ALL FINISHES AND MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE OF THE BEST QUALITY AVAILABLE.
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12. ALL FINISHES AND MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE OF THE BEST QUALITY AVAILABLE.
13. ALL FINISHES AND MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE OF THE BEST QUALITY AVAILABLE.
14. ALL FINISHES AND MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE OF THE BEST QUALITY AVAILABLE.

LEGEND - CONSTRUCTION

- COOPER FINISHES (Hatched pattern)
- ROOF FINISHES (Hatched pattern)
- STAIR FINISHES (Hatched pattern)
- EXISTING CONSTRUCTION ELEMENTS (Solid grey)
- LINE OF EXISTING CONSTRUCTION ELEMENTS (Dashed line)



DEAD RABBIT NOLA
616 CONTI STREET
NEW ORLEANS, LA 70130

REVISIONS

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A5.0
BUILDING SECTION



LEGEND - DEMOLITION

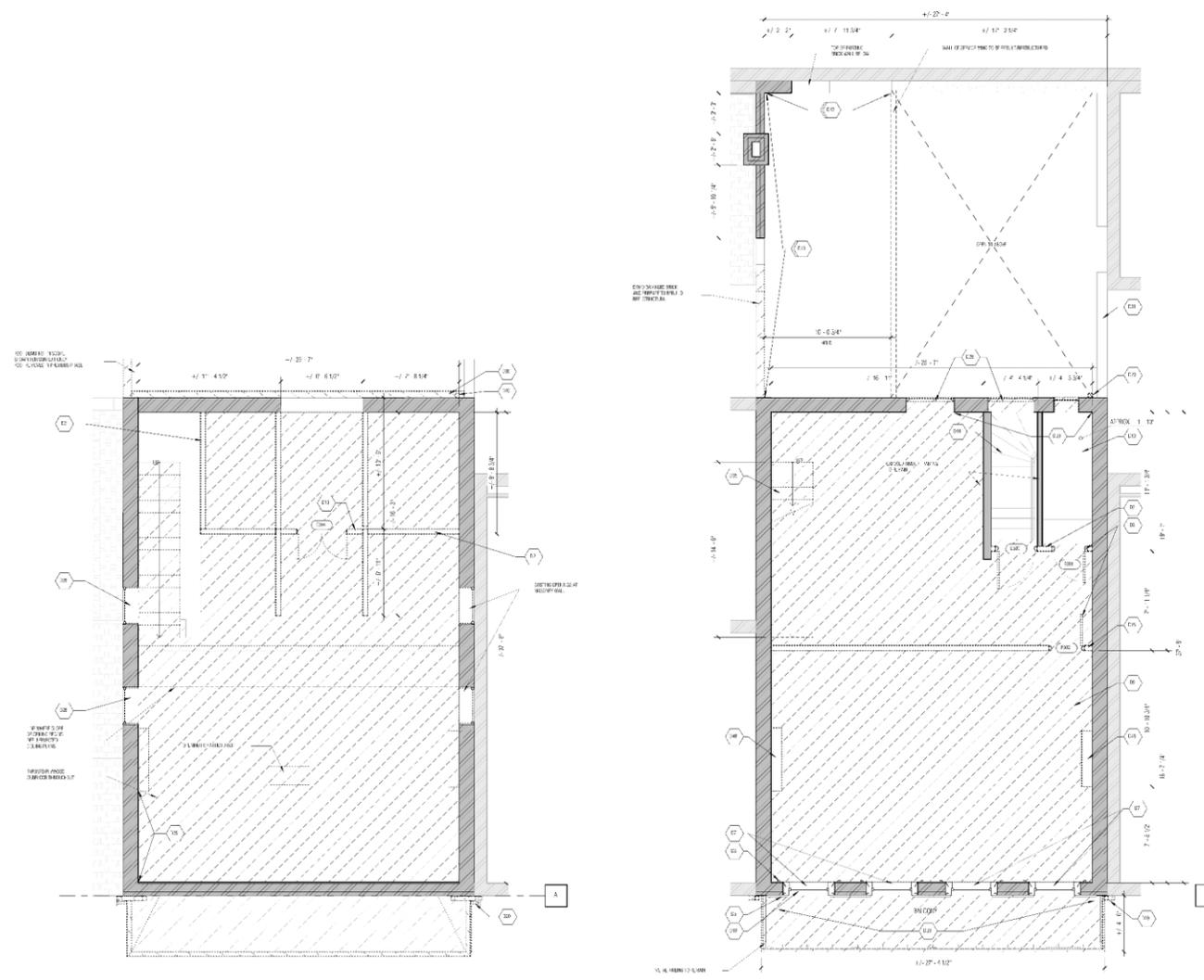
- CONCRETE WALLS AND PARTITION WALLS
- MASONRY WALL
- CONCRETE PARTITION WALLS TO REMAIN
- JOIST REMAINS UNDER SOLEMS
- AREA TO BE DEMOLISHED BY OTHERS

INTERIOR DEMOLITION NOTES

1. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS.
2. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS.
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10. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS. VERIFY LOCATION OF ALL UTILITIES IN THIS ROOM AND ADJACENT ROOMS.

DEMOLITION KEYNOTES

- D01 DEMO INTERIOR WALL
- D02 REMOVE AND SALVAGE REPAIR BODY AND FRAME
- D03 SALVAGE ALL BRICK EXCEPT REPAIR BODY AND FRAME FOR REINSTALL
- D04 SALVAGE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D05 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D06 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D07 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D08 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D09 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D10 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D11 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D12 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D13 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D14 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D15 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D16 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D17 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D18 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D19 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL
- D20 REMOVE EXPOSED BRICKWORK AND REPAIR BODY AND FRAME FOR REINSTALL



2 | 1/4" = 1'-0" | DEMOLITION PLAN - LEVEL 3 ATTIC

1 | 1/4" = 1'-0" | DEMOLITION PLAN - LEVEL 3

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DEAD RABBIT NOLA
616 CONTI STREET
NEW ORLEANS, LA 70130

REVISIONS	DESCRIPTION	DATE

FOR VCC REVIEW
DATE 10 JAN 2023
PROJ. NO. A3907

A1.1
DEMOLITION PLAN - LEVEL 03 & ATTIC



LEGEND - CONSTRUCTION

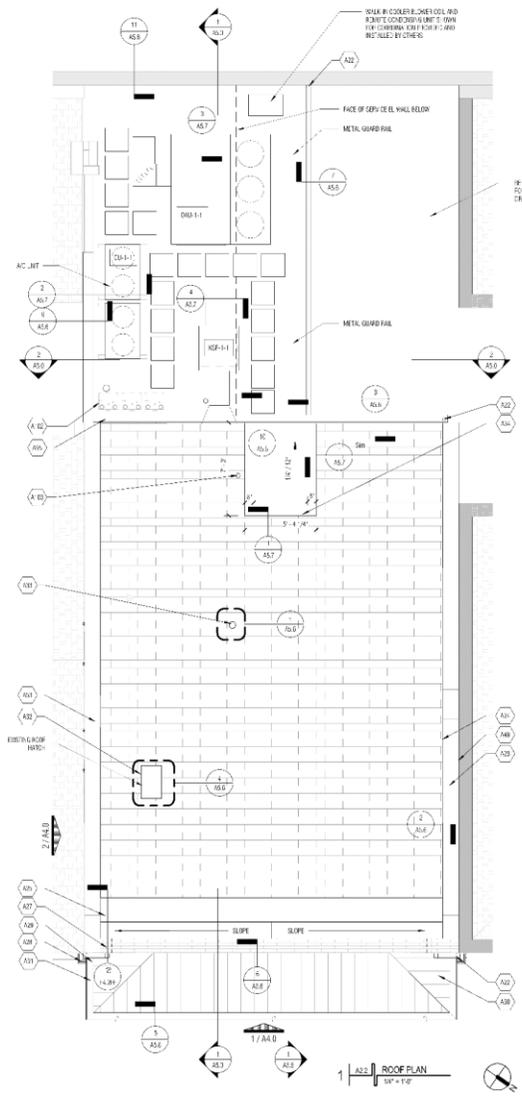
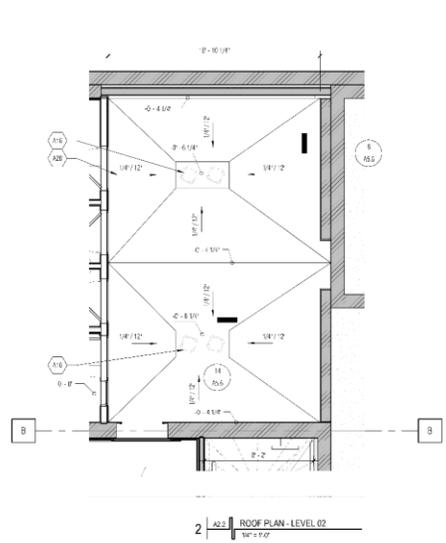
- COLOR & FINISH LINE
- CORNER WALL
- ARCHITECT WALL
- STAIR WALL WITH GLASS
- WALL FINISH - 4" VERTICAL BOARD 1" METAL STUDS
- EXISTING CONSTRUCTION ELEMENT TO REMAIN
- LINE OF CONSTRUCTION ELEMENT OVERLAP
- FLOOR DRAIN REF. FL. LINE
- FLOOR DRAIN REF. FINISHING
- WINDOW SCHEDULE

FLOOR PLAN GENERAL NOTES

1. ALL EXISTING ELEMENTS APPROXIMATE AND SHALL BE FIELD VERIFIED AND DOCUMENTED WITH FIELD WORK. NO ADJUSTMENTS TO CONSTRUCTION SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
4. FOR ROOF FRESH SCHEDULE, FRESH AIR DOOR SCHEDULE, QUALIFICATION OF FLOORING CONTRACTOR WITH CONTRACT NUMBER IS TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
5. CONTRACTOR SHALL VERIFY AND CORRECT THE LOCATION OF ALL EXISTING AND NEW WALLS, PARTITIONS, AND CEILING JOINTS TO MATCH THE ARCHITECT'S INTENT.
6. CONTRACTOR SHALL VERIFY AND CORRECT THE LOCATION OF ALL EXISTING AND NEW WALLS, PARTITIONS, AND CEILING JOINTS TO MATCH THE ARCHITECT'S INTENT.
7. CONTRACTOR SHALL VERIFY AND CORRECT THE LOCATION OF ALL EXISTING AND NEW WALLS, PARTITIONS, AND CEILING JOINTS TO MATCH THE ARCHITECT'S INTENT.
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10. CONTRACTOR SHALL VERIFY AND CORRECT THE LOCATION OF ALL EXISTING AND NEW WALLS, PARTITIONS, AND CEILING JOINTS TO MATCH THE ARCHITECT'S INTENT.
11. CONTRACTOR SHALL VERIFY AND CORRECT THE LOCATION OF ALL EXISTING AND NEW WALLS, PARTITIONS, AND CEILING JOINTS TO MATCH THE ARCHITECT'S INTENT.

KEYNOTES

- A1E FLOOR DRAIN AND OVERFLOW PLUMBING
- A1F VERTICAL DRAIN PIPE
- A2A FLOOR DRAIN, MATERIAL AND FINISH TO MATCH APPEARANCE OF EXISTING MATERIAL (CONCRETE)
- A2B REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2C REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2D REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2E REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2F REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2G REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2H REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2I REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2J REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2K REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2L REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2M REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2N REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2O REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2P REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2Q REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2R REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2S REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2T REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2U REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2V REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2W REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2X REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2Y REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)
- A2Z REPLACE EXISTING FLOORING WITH NEW FLOORING (CONCRETE)



DEAD RABBIT NOLA
616 CONTI STREET
NEW ORLEANS, LA 70130

REVISIONS		
NO.	DESCRIPTION	DATE

FDR VCC REVIEW
DATE 10 JAN 2023
PROJ. NO. A1907

A2.2
ROOF PLAN & DETAILS

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LEGEND - CONSTRUCTION

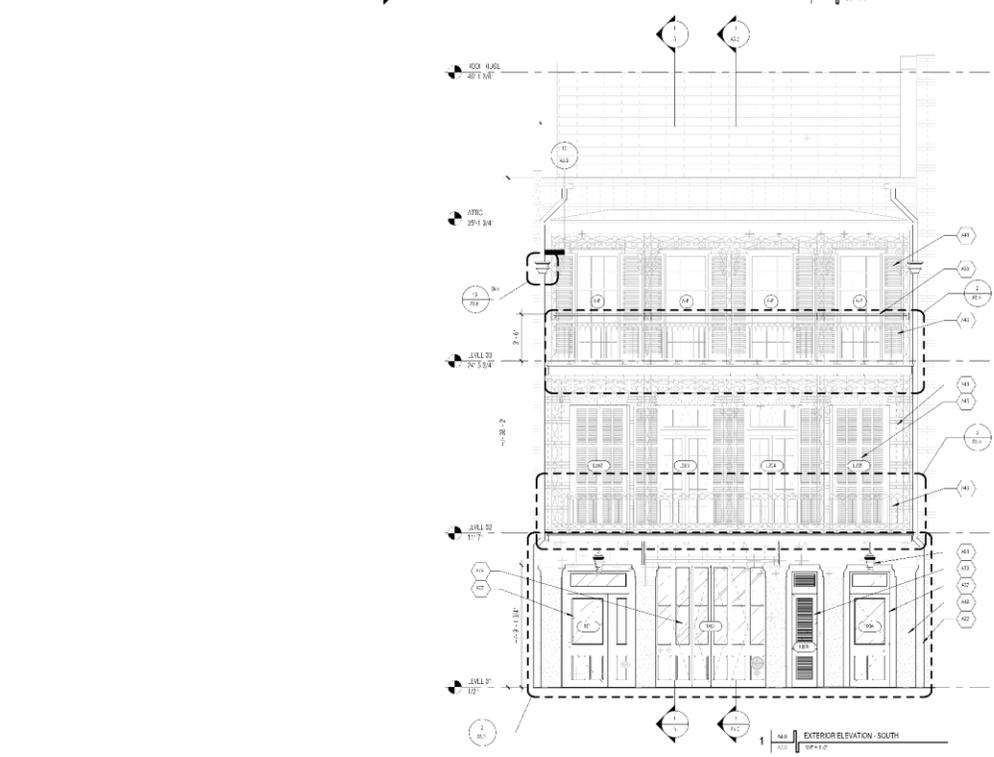
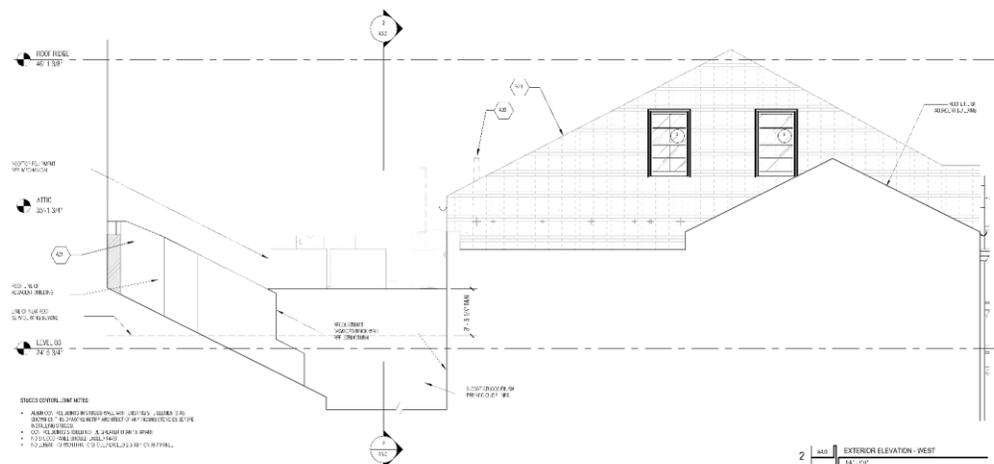
- CONCRETE MASONRY UNIT (CMU) WALL
- BRICK WALL
- BRICK WALL WITH GLAZED FINISH
- WALL FINISH ON BRICKWOOD SHAKER ACQUITTING CLIMATE
- CAST-IN-PLACE CONCRETE FILL TO BE PAINT
- LINE OF REEF CONSTRUCTION TYPICAL

EXTERIOR ELEVATIONS NOTES

1. ALL CAST-IN-PLACE CONCRETE SHALL BE APPROXIMATE AND SHALL BE FIELD FINISHED TO MATCH THE SURROUNDING WALLS. THE CONCRETE SHALL BE CURED PROPERLY TO AVOID CRACKING.
2. REPORT ALL CRACKS TO THE ARCHITECT IMMEDIATELY.
3. ALL FINISHES AND MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING OF ANY DEFECTS OR DAMAGE TO THE FINISHES OR MATERIALS.
4. ALL FINISHES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.
5. ALL FINISHES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.
6. ALL FINISHES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.
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10. ALL FINISHES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.

KEYNOTES

- A21 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A22 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A23 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A24 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A25 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A26 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A27 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A28 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A29 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A30 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A31 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A32 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A33 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A34 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A35 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A36 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A37 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A38 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A39 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.
- A40 PAINT: ALL PAINTS SHALL BE APPLIED TO THE SURFACE OF THE SYSTEM PER TO VCC SECTION 051100.



- STANDARD NOTES:
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 - ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION.
 - ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SCHEDULED PROGRAM.

1/9/2023 9:25:47 PM

DEAD RABBIT NOLA
616 CONTI STREET
NEW ORLEANS, LA 70130

REVISIONS	
NO.	DESCRIPTION

FOR VCC REVIEW
DATE 10 JAN 2023
PROJ NO: A1807

A4.0
EXTERIOR ELEVATIONS

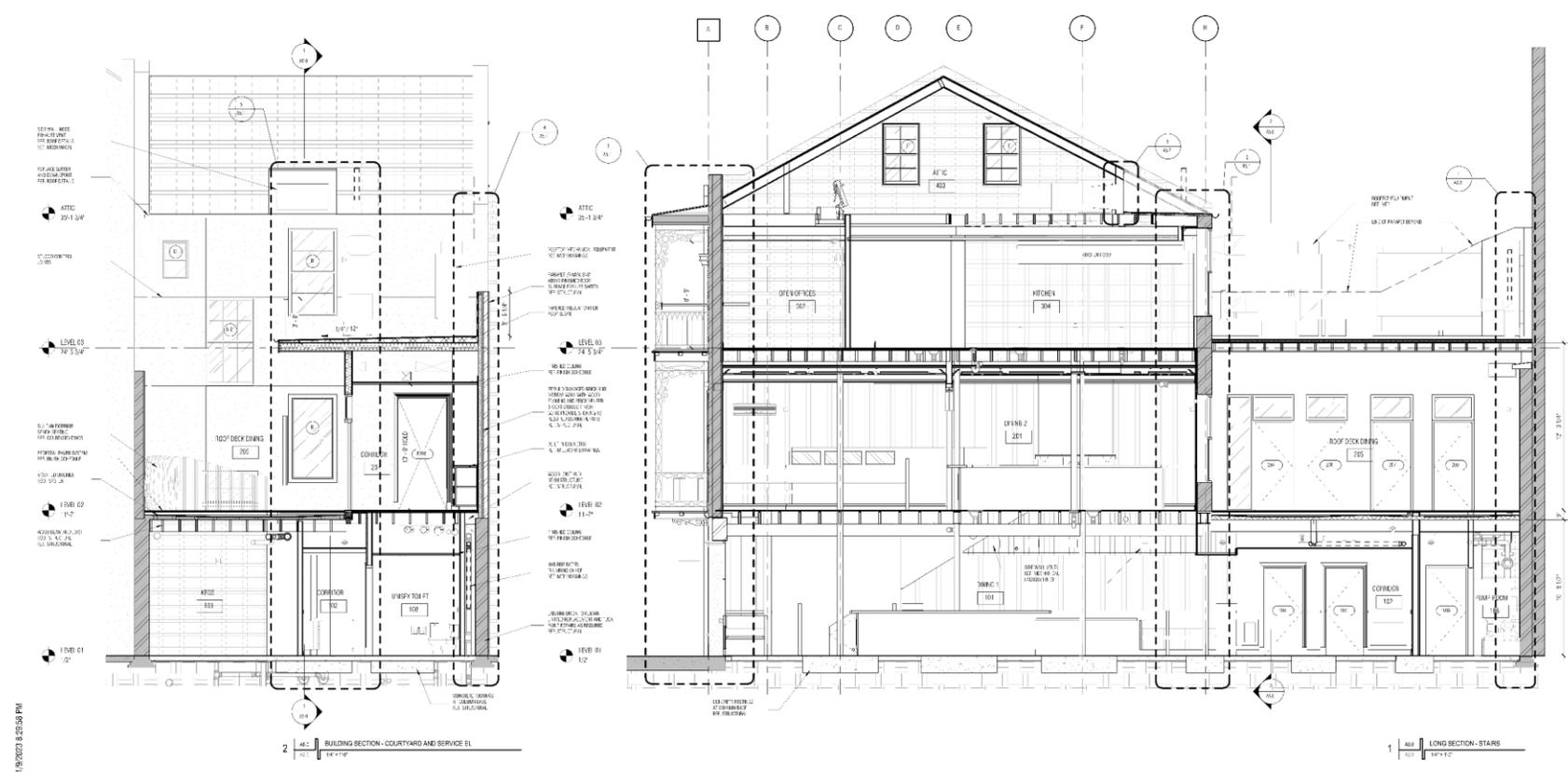


EXTERIOR ELEVATIONS NOTES

LEGEND - CONSTRUCTION

1. ALL EXTERIOR FINISHES & DETAILS ARE APPROXIMATE AND SHALL BE REVISOR AND COORDINATED WITH THE WORK. NO ADDITIONAL CONSTRUCTION SHALL BE CONSIDERED FOR FINISH AND TO ACTUAL DIMENSIONS.
2. FINISH ON THIS ALL SHALL BE TO THE S.I.
3. ALL 1/2" DIA. OR SMALLER HOLES IN CONCRETE SHALL BE REPAIR AND REFINISHED TO MATCH EXISTING SURFACE. HOLES IN BRICK AND BLOCK SHALL BE REPAIR AND REFINISHED TO MATCH EXISTING SURFACE. HOLES IN GYP. BOARD SHALL BE REPAIR AND REFINISHED TO MATCH EXISTING SURFACE. HOLES IN GYP. BOARD SHALL BE REPAIR AND REFINISHED TO MATCH EXISTING SURFACE.
4. EXISTING CONCRETE SHALL BE REPAIR AND REFINISHED TO MATCH EXISTING SURFACE. HOLES IN CONCRETE SHALL BE REPAIR AND REFINISHED TO MATCH EXISTING SURFACE.
5. ALL EXTERIOR FINISHES SHALL BE MATCHED TO EXISTING FINISHES. REPAIR ALL EXTERIOR WALLS AS LISTED IN THE CONTRACT DOCUMENTS.
6. ALL EXTERIOR FINISHES SHALL BE MATCHED TO EXISTING FINISHES. REPAIR ALL EXTERIOR WALLS AS LISTED IN THE CONTRACT DOCUMENTS.
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14. ALL EXTERIOR FINISHES SHALL BE MATCHED TO EXISTING FINISHES. REPAIR ALL EXTERIOR WALLS AS LISTED IN THE CONTRACT DOCUMENTS.

- CONCRETE MASONRY UNIT
- CMU WALL
- MASONRY WALL
- STONE WALL WITH C-AC FINISH
- WALL FINISH OR TYPICAL BRICKER AND TYPICAL MASONRY
- EXTERIOR CONSTRUCTION FINISH TO REMAIN
- EXTERIOR CONSTRUCTION ELEMENT



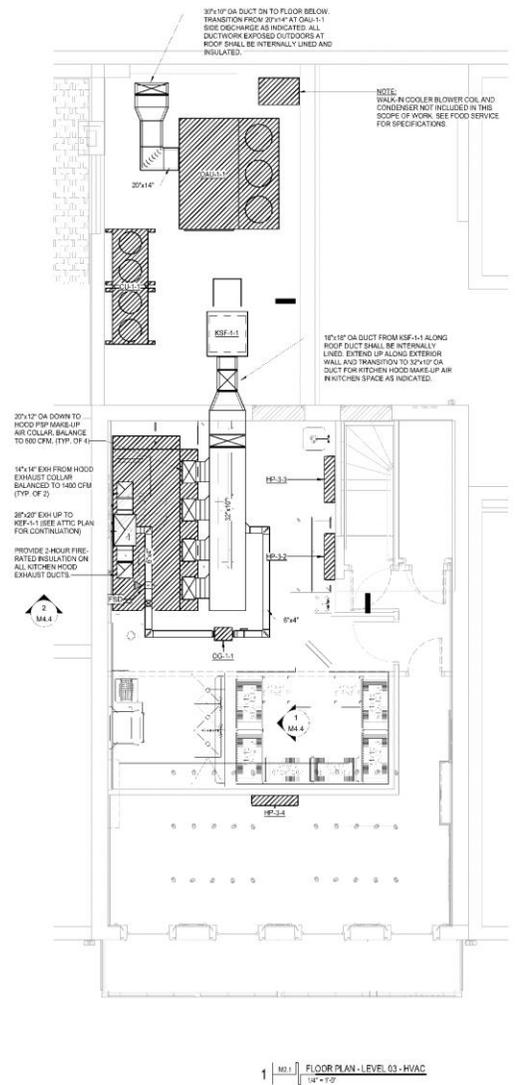
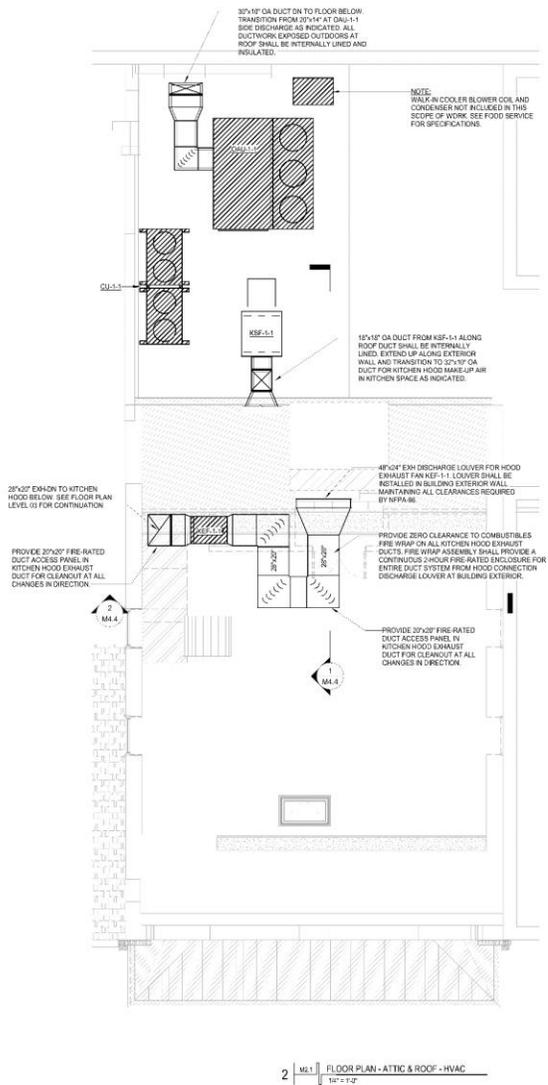
DEAD RABBIT NOLA
 616 CONTI STREET
 NEW ORLEANS, LA 70130

REVISIONS	DESCRIPTION	DATE
1		

FOR VCC REVIEW
 DATE 10 JAN 2023
 PROJ. NO. A907

A5.0
 BUILDING SECTION





12/16/2022 3:35:54 PM

DEAD RABBIT NOLA
616 CONTI STREET
NEW ORLEANS, LA 70130

REVISIONS	DESCRIPTION	DATE



FOR PRICING

DATE: 5/16/22

PROJ NO: A1907

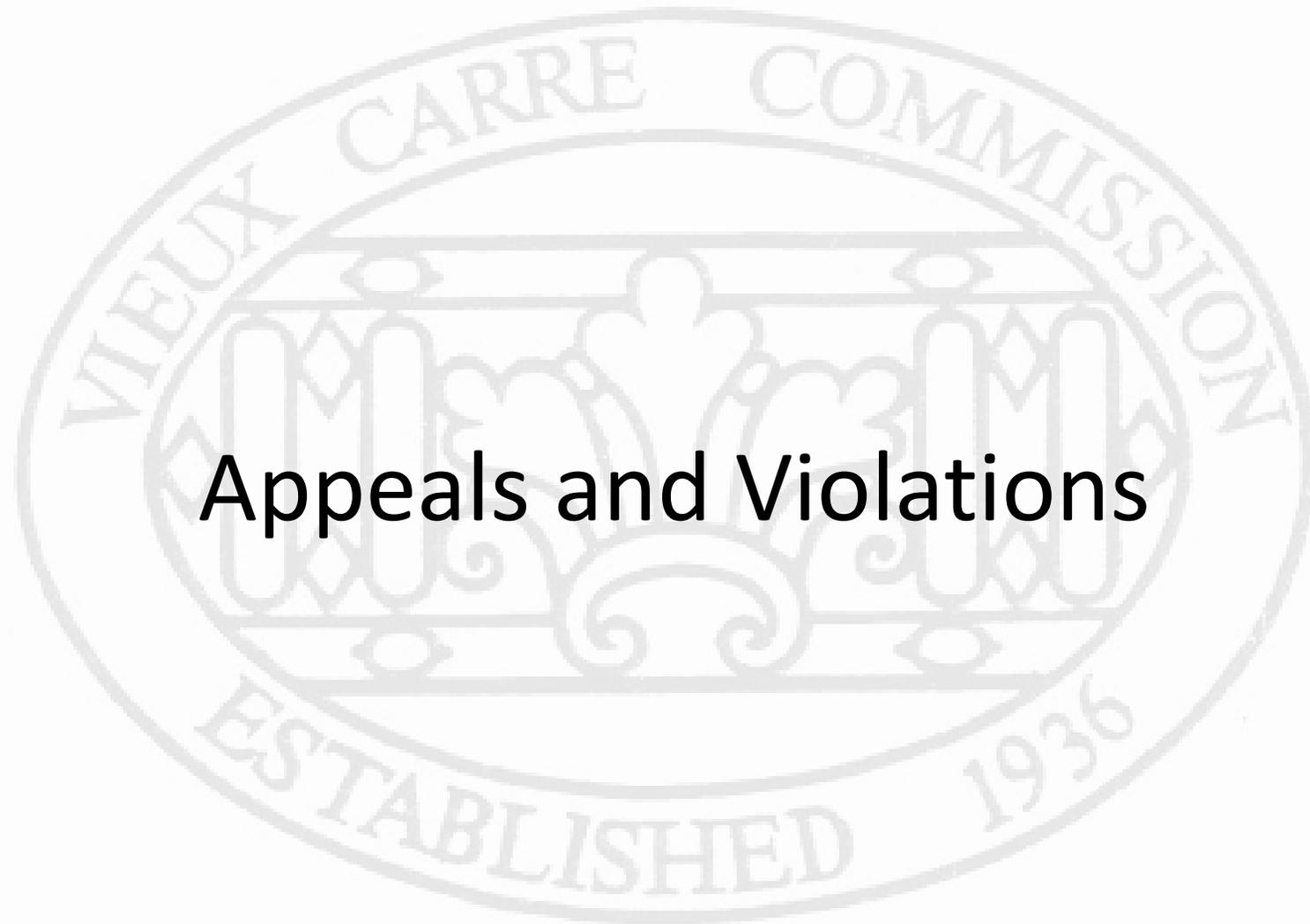
BLAKE HOLLS
LIC. NO. 38688

CHRISTOPHER CHALUNH
LIC. NO. 38945

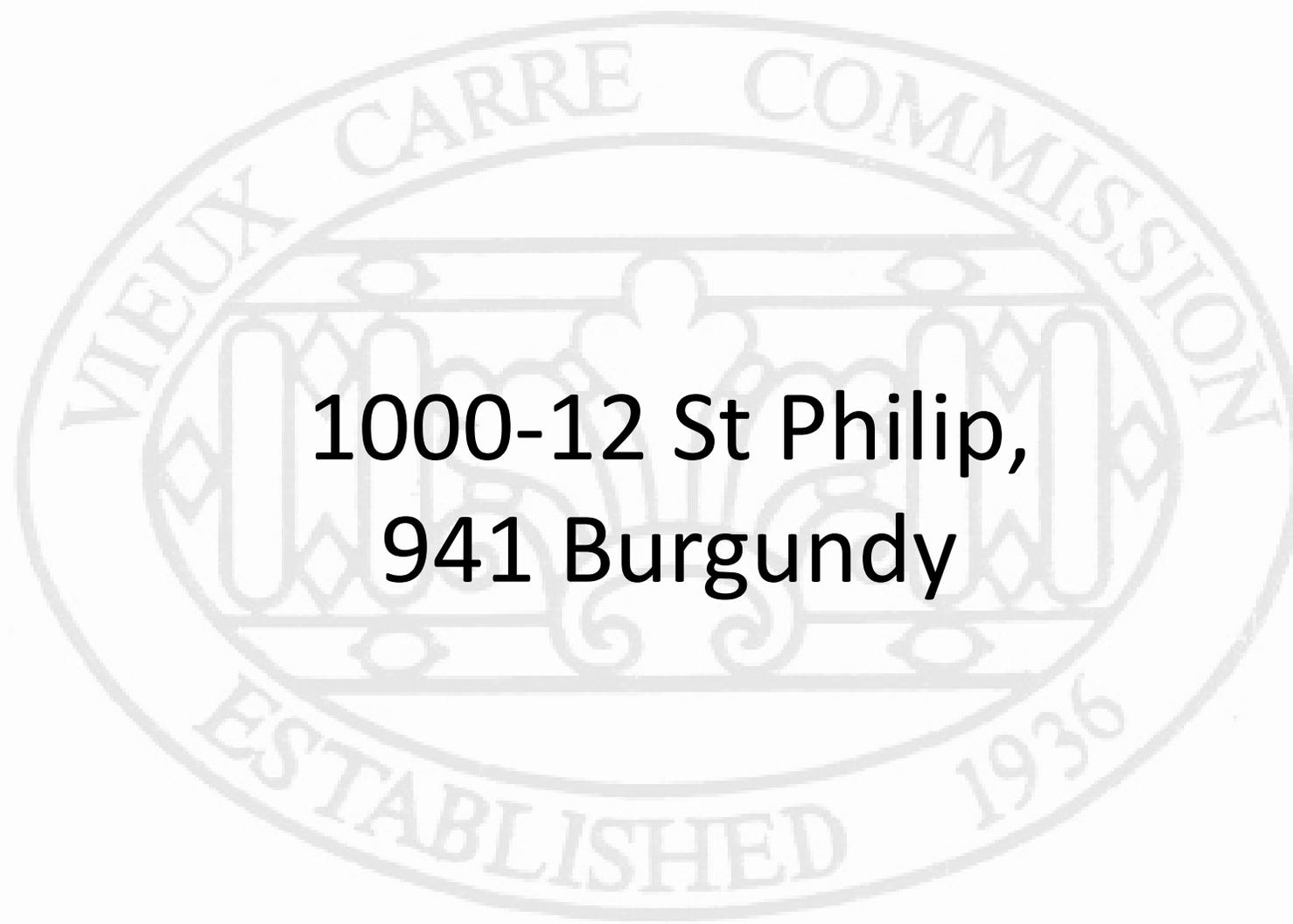
MOSES ENGINEERS
CONSULTING ENGINEERS
505 Poydras Street, Suite 2100
New Orleans, Louisiana 70112-1224
Tel: 504-586-1721
MEO Project 2019-035

M2.1
FLOOR PLAN LEVEL 03,
ATTIC, & ROOF - HVAC





Appeals and Violations



**1000-12 St Philip,
941 Burgundy**



1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy – 1963





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy – 1930s-40s



1000-1012 St. Philip, 941 Burgundy – late 1940s-50s?



1000-1012 St. Philip, 941 Burgundy – 2005

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy – 2005



Vieux Carré Commission

334 Royal Street, Second Floor
New Orleans, LA 70130
(504)658-1420



Permit No. 060365

**The Vieux Carré Commission hereby grants permission
for the approved work specified below.**

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

Address: 1012 St. Philip

Applicant: Philip Stein

Owner: Philip Stein

Contractor: Owner

Work approved:

1. Remove deteriorated gutters.
2. Install 6" half-round copper gutters.
3. Repair/replace deteriorated fascia board & wooden balcony components as needed to match existing and paint to match existing conditions.

Estimated cost: \$500

hsi, June 28, 2006

Notes: All work must conform to standard VCC policies & guidelines

Note: This is a reissue of permit # 050475

This permit expires six (6) months from date of issuance, and may be renewed if work is proceeding satisfactorily.

1000-1012 St. Philip, 941 Burgundy





1000-1012 St. Philip, 941 Burgundy – 2008

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023



VIEUX CARRÉ COMMISSION
CITY OF NEW ORLEANS

MITCHELL J. LANDRIEU
MAYOR

LARY P. HESDORFFER
DIRECTOR

November 13, 2012

Philip Stein
1000 St Philip St
New Orleans, LA 70116

NOTICE OF VIOLATION

The Vieux Carré Commission (VCC) was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its buildings deemed of quaint and distinctive historical value for the benefit of the people of the City and State. Chapter 166 of the 1995 Code of the City of New Orleans (the Code) outlines specific laws which were created to assist the Commission in maintaining the preservation of the Vieux Carré.

A recent inspection of your property located at 1000 St Philip St revealed the following violations observed on during a site visit.

Rear dependency colonettes and railing improperly replaced without benefit of application or permit; white painted wooden member attached to 2nd floor rear dependency colonette and located above stair rail, with attached metal projections, installed without benefit of application or permit.

CCNO 166-35	Submission of Plans for Exterior Change	Before the commencement of any work in the erection of any new building or in the alteration or addition to, or painting or repainting or demolishing of any existing building, where any portion of the exterior of the building is in the Vieux Carre section, application by the owner for a permit therefore shall be made to the Vieux Carre Commission, accompanied by the full plans and specifications thereof so far as they relate to the proposed appearance, color, texture of materials and architectural design of the exterior, including the front, sides, rear and roof of such building, alteration or addition or of any out building, party wall, courtyard, fence or other dependency thereof.
--------------------	------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

You must contact this office within fourteen (14) days and / or submit the enclosed application so that we can advise you how to correct the aforementioned violations and consider issuing a permit for that work which is approvable.

If these violations are not remedied within 30 days, the Vieux Carré Commission is empowered under Section 166-123 of the Code of the City of New Orleans to prosecute or have prosecuted such violations of the article in municipal court of The City of New Orleans or other courts of competent jurisdiction, either civil or criminal.

Violations of any such provision of this Code may be punished by a fine, or imprisonment for not more than five months, or both.

It is imperative that you deal with this situation now. Only with your cooperation can we continue the preservation of the Vieux Carré. If you have any questions, please do not hesitate to call Charles Berg at 658-1420. Thank you in advance for attending to this matter promptly.

Sincerely,

Lary P. Hesdorffer
Director

1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023



VIEUX CARRÉ COMMISSION
CITY OF NEW ORLEANS

MITCHELL J. LANDRIEU
MAYOR

LARY P. HESDORFFER
DIRECTOR

5/19/2014

Karen Glaser Stein
1000 St Philip St
New Orleans, LA 70116

NOTICE OF VIOLATION

The Vieux Carré Commission (VCC) was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its buildings deemed of quaint and distinctive historical value for the benefit of the people of the City and State. Chapter 166 of the 1995 Code of the City of New Orleans (the Code) outlines specific laws which were created to assist the Commission in maintaining the preservation of the Vieux Carré.

A recent inspection of your property located at 1000-1012 St Philip St revealed the following violations observed on 3/25/2014 during a site visit.

The violations that were cited in a notice of violation dated 11/13/12 as well as the violations discussed at the architecture committee meeting of 11/26/13 have yet to be resolved. A summary of those violations is below:

- The columns of the rear dependency have been inappropriately replaced.
- The masonry wall has been altered and an iron hedgehog has been installed, without VCC permit.
- The soffit has been inappropriately replaced and the balcony underside has been improperly enclosed without VCC permits. The second floor soffit should be enclosed using beaded board, contrary to the coffered ceiling in place. Historically, the balcony underside was not enclosed.
- Recessed lighting was installed on both levels without VCC permits.
- A large, unsuitable stair handrail with lights on top was installed without benefit of any permits.
- The stair was enclosed without any permits.
- The installation of some type of mechanical equipment, evidenced by the vent on the exterior of the stair enclosure, was also done without benefit of any permits.
- The installation of an inappropriate column and board beneath the balcony, adjacent to the stair, was performed without any permits.

In addition to these violations, it was observed that a small area of at least the ground floor of the St Philip elevation of the rear dependency is in need of repointing with proper VCC mortar mix.

CCNO 166-35 Working without required approval

Before the commencement of any work in the erection of any new building or in the alteration or addition to, or painting or repainting or demolishing of any existing building, where any portion of the exterior of the building is in the Vieux Carré section, application by the owner for a permit therefore shall be made to the Vieux Carré Commission, accompanied by the full plans and specifications thereof so far as they relate to the proposed appearance, color, texture of materials and architectural design of the exterior, including the front, sides, rear and roof of such building, alteration or addition or of any out building, party wall, courtyard, fence or other dependency thereof.

1300 PERDIDO STREET | 7TH FLOOR | NEW ORLEANS, LA 70112
PHONE 504-658-1420 | FAX 504-658-6742

1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023



10/8/2019

Philip Stein
1000 St Philip St
New Orleans, LA 70116

Case Number: 19-10078-VCCNOP

NOTICE OF VIOLATION

The Vieux Carré Commission (VCC) was created by a State Constitutional Amendment in 1936 to preserve and safeguard the architectural heritage of the Vieux Carré and its buildings deemed of quaint and distinctive historical value for the benefit of the people of the City and State. Chapter 166 of the 1995 Code of the City of New Orleans (the Code) outlines specific laws that were created to assist the Commission in maintaining the preservation of the Vieux Carré.

A recent inspection of your property located at 943 Burgundy St, 1000 St Philip St, 1012 St Philip St revealed the violations listed on the reverse, which were observed on 10/8/2019 during a site visit.

You must contact this office within fourteen (14) days and / or submit a Renovation permit application online at <http://onestopapp.nola.gov> so that we can advise you how to correct the aforementioned violations. Filing a Renovation permit will notify both Safety and Permits and the Vieux Carré Commission.

You must obtain approved, physically signed VCC permits prior to beginning the work on the property to correct the violation. Permit applications must have a clear and detailed scope of work supplied by the applicant. Certain cases may require architectural and/or shop drawings as well. Again, DO NOT begin work on the property to address violations until the VCC permit is approved by staff and signed by the applicant.

If the property is a condo, all owners listed with the tax assessor will be sent this letter. We ask condos to have one person or association president represent the property. If a property has a commercial tenant(s) in violation, they may receive this letter along with the property owner.

If these violations are not remedied within thirty (30) days, the Vieux Carré Commission is empowered under Section 166-123 of the Code of the City of New Orleans to prosecute or have prosecuted such violations of the article in municipal court of the City of New Orleans or other courts of competent jurisdiction, either civil or criminal.

It is imperative that you deal with this situation now. Only with your cooperation can we continue the preservation of the Vieux Carré. **Please contact Anthony Whitfield at (504) 658-1426 or email abwhitfield@nola.gov first to answer any question and/or to schedule an office appointment.** Because of our small staff we may not be able to accommodate walk-ins.

Also please visit our website at <https://www.nola.gov/vcc/> for information including our Design Guidelines.

Thank you in advance for attending to this matter promptly.

Sincerely,

Anthony Whitfield
Building Inspector

Approval: _____ Bryan Block, Director

1300 PERDIDO STREET, ROOM 7W03 | NEW ORLEANS, LOUISIANA | 70112
PHONE 504.658.1429
WWW.NOLA.GOV



This property will be scheduled for an adjudication hearing if the violations are not addressed in the prescribed time.

At this hearing a fine of \$500 per violation can be placed on this property.

Description of Violations at 943 Burgundy St, 1000 St Philip St, 1012 St Philip St:

CCNO 166-35	Working Without Approval	Before the commencement of any work in the erection of any new building or in the alteration or addition to, or painting or repainting or demolishing of any existing building, where any portion of the exterior of the building is in the Vieux Carre section, application by the owner for a permit therefore shall be made to the Vieux Carre Commission, accompanied by the full plans and specifications thereof so far as they relate to the proposed appearance, color, texture of materials and architectural design of the exterior, including the front, sides, rear and roof of such building, alteration or addition or of any out building, party wall, courtyard, fence or other dependency thereof as follows:
CCNO 166-35	Walls	Weatherboard work appeared to be underway without approval and in defiance of a Stop Work Order posted on October 8, 2019 Wall material installed/constructed without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Trim	Underside of balcony on the rear building not completed as permitted Removal/alteration/installation/construction of window/door/building trim without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Balconies, Galleries	Balcony work underway without approval and in defiance of a Stop Work Order posted on October 8, 2019 Removal/alteration/installation/construction of the balcony/gallery without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Railings	Removal/alteration/installation/construction of the balcony/gallery/porch/step railings and/or railing extension without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Columns, Posts	Inappropriate columns installed on at least the rear building Removal/alteration/installation/construction of the balcony/gallery/awning columns/posts without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Security Cameras	Security camera(s) installed without benefit of VCC review or approval, or in deviation of permit. Permit approval with the VCC is required before installing security cameras
CCNO 166-35	Lighting	Impermissible lighting installed on the stair structure on the rear building without approval Impermissible light fixtures installed, impermissible colored/neon lights installed, impermissible string lights installed, light fixtures installed without benefit of VCC review or approval, and/or light fixtures installed in deviation of permit
CCNO 166-35	Plumbing	Impermissible exterior plumbing installed on the property, impermissible PVC plumbing installed on the property, plumbing installed on the property without benefit of VCC review or approval, or in deviation of permit
CCNO 166-35	Wires, Conduits	Unused wiring/conduits should be removed and remaining, loose wiring/conduits should be properly secured and painted to match the building.
CCNO 166-35	Stairs	Impermissible columns installed on stairs at the rear dependency Removal/alteration/installation/construction of stairs without benefit of VCC review or approval, or in deviation of permit

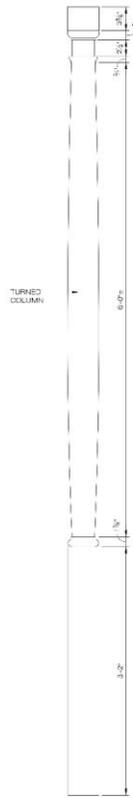
1000-1012 St. Philip, 941 Burgundy





1 Inappropriate Balcony Columns

ACTION: REMOVE ALL (9) EXISTING COLUMNS AND REPLACE WITH NEW PER DETAIL 1A.



1A Replacement Column
scale: 1-1/2" = 1'-0"



2 Altered Masonry Wall without Benefit of Permit
Hedgehog Installation without Benefit of Permit

ACTION: REQUEST RETENTION OF ALTERED MASONRY WALL AND HEDGEHOG FOR SECURITY REASONS.



3 Inappropriate Balcony Underside Enclosure Recessed Lighting Installed without Benefit of Permit

ACTION: REQUEST RETENTION OF ENCLOSURE AND RECESSED CAN LIGHTS. NOTE: UNDERSIDE OF BALCONY ALONG ST. PHILIP STREET IS UNENCLOSED.



4 Inappropriate Coffered Balcony Ceiling Recessed Lighting Installed without Benefit of Permit

ACTION: REQUEST RETENTION OF COFFERED CEILING AND RECESSED CAN LIGHTS.



5 Inappropriate Handrail with Lights Installed

ACTION: DEMOLISH AND REMOVE EXISTING LIGHTING, BEAMS AND COLUMNS DOWN TO THE HANDRAIL.



6 Underside of Stair Enclosed without Benefit of Permit
Installation of Exhaust Vent without Benefit of Permit

ACTION: REQUEST RETENTION OF ENCLOSURE. RELOCATE EXHAUST FROM GAS WATER HEATER TO BACK SIDE OF ENCLOSURE.



7 Inappropriate Column and Board beneath Balcony

ACTION: DEMOLISH AND REMOVE EXISTING COLUMN AND BOARD.



8 Need for Brick Re-pointing

ACTION: SURVEY ENTIRE MASONRY STRUCTURE AND REPOINT BRICK WHERE NEEDED WITH VCC APPROVED MORTAR FORMULA.

TERRELL
FABACHER
ARCHITECTS, L.L.C.
1526 ST. CHARLES AVE. 5th-500
NEW ORLEANS, LA 70115
504-596-1550 TEL.
504-596-1350 FAX

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1012 St. Philip Street
Exterior Plan of Correction
Louisiana
New Orleans.

NO. REVISED	
DATE	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE	

A-1
SHEET 01 OF 01



Permit No. 15-04313-VCGEN

The Vieux Carré Commission hereby grants permission for the approved work specified below.

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets Commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

Address: 1012 St Philip St Phone: 504-566-1320
Applicant: Kirk Fabacher
Owner: Philip Stein
Contractor:

Work approved:

Correct violations per drawings approved by the Architecture Committee 02/24/15 and stamped approved 03/25/15 and per revised fascia detail stamped approved 03/25/15

- Existing columns to be removed and replaced with columns to match previously existing
- Demolish existing lighting, beams, and columns above the balcony stairs down to the handrail
- Relocate exhaust from gas water heater to N Rampart side of enclosure
- Demolish existing column and board installed below balcony
- Repoint as necessary throughout property using VCC approved mortar recipe below
- Modify underside of balcony as per detail submitted 03/23/15

Also approved is the retention of additional masonry wall and hedgehog installed above courtyard wall, under balcony enclosure and lighting, coffered balcony ceiling and lighting, and under stair enclosure.

Mortar: No more than 1 part Portland Cement, to 3 parts lime, 9 parts sand, and enough water to form a workable mix. Prepackaged mixes are not permitted. The resulting mortar should range in color from white to beige but should not be grey in color.

Note: RATIO OF PORTLAND CEMENT NOT TO EXCEED 1:12.

NOTE: Permit issued in response to violations. Work shall commence no less than 30 days after permit is issued. Work must be completed no less than 60 days after work begins. Owner will call VCC for final inspection upon completion of work.

All work must conform to standard VCC policies & guidelines.

Estimated cost: \$ 10,000 ngalbrecht 3/25/2015

1000-1012 St. Philip, 941 Burgundy





**Balcony Work w/o Approval--
Request To Retain**

Scale: _____ NTS



**Inappropriate Columns & Coffered
Ceiling--Request to Retain**

Scale: _____ NTS



**Vegetation on Ironwork --
Request To Retain**

Scale: _____ NTS
Potted vegetation secured to iron trellis & fence ironwork



**Inappropriate Flood Lights
Request To Retain**

Scale: _____ NTS



**Security Cameras w/o Approval --
Request To Retain**

Scale: _____ NTS
See included specification sheets from manufacturer



NOT FOR CONSTRUCTION

Copyright Note
Information contained on these documents is part of the Architect's instruments of service, and the Architect shall retain ownership thereof. Such information shall not be used for any purpose other than for schematic design of the referenced project. Any other use, reuse, or modification of the documents without the Architect's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Architect.

Brian Gille ARCHITECT 1000-1012 ST. PHILIP ST. NEW ORLEANS, LA 70112 (504) 581-1111 www.briangille.com	DATE: DECEMBER 2022
	WORKING:
	DRAWN BY: JTP
	CHECKED BY: RGG
PROJECT NUMBER: 1578	

PROJECT PRINTS:	DATE:
NOT FOR CONSTRUCTION	BY:

1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





**Inappropriate PVC Plumbing
To Be Replaced With Cast Iron**
Scale: NTS



**Vegetation on Masonry
Walls To Be Removed**
Scale: NTS



**Inappropriate Ceiling & Trim--
To Be Removed**

Scale: NTS
Removal of existing finished ceiling and trim; repair any moisture damage to balcony structure and paint.

New can light flush mount fixtures per VCC requirements installed at underside of balcony structure and centered over each door.

Loose wiring to be removed and/or secured in new conduit



**Inappropriate Lighting, Beam, & Columns
To Be Removed Down To Handrail**
Scale: NTS

NOT FOR CONSTRUCTION

Copyright Note

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Brian Gilie
ARCHITECT

PROJECT: 1578

DATE: 02/08/23

SCALE: 1/8" = 1'-0"

PROJECT: 1578

DATE: 02/08/23

PROJECT: 1578

DATE: 02/08/23

PROJECT: 1578

DATE: 02/08/23

PROJECT: 1578

DATE: 02/08/23





1000-1012 St. Philip, 941 Burgundy

View Carre Commission

February 8, 2023



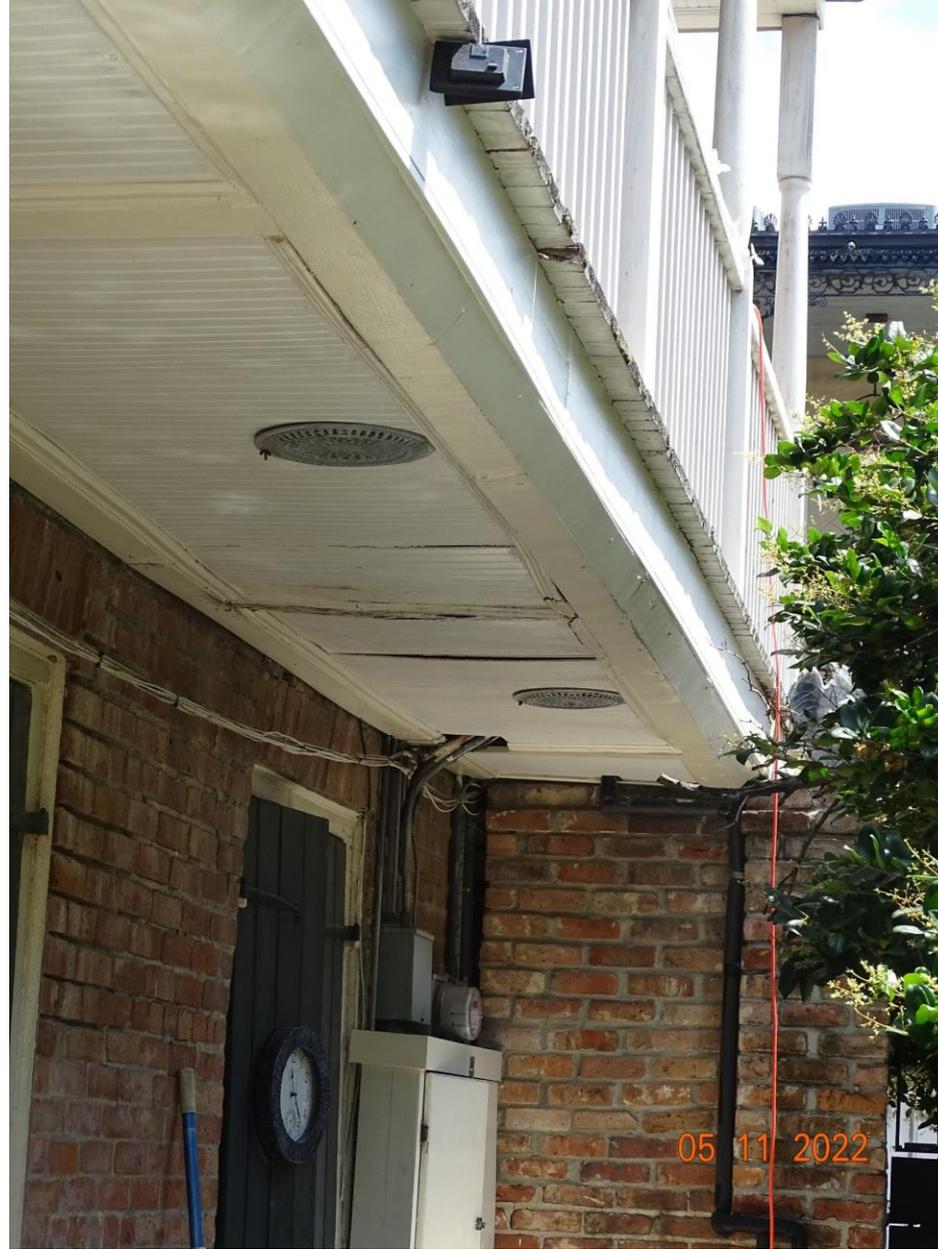


1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Viewx Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023





1000-1012 St. Philip, 941 Burgundy

Vieux Carre Commission

February 8, 2023

