



Vieux Carré Commission Meeting

Wednesday, February 19, 2026



Other Business



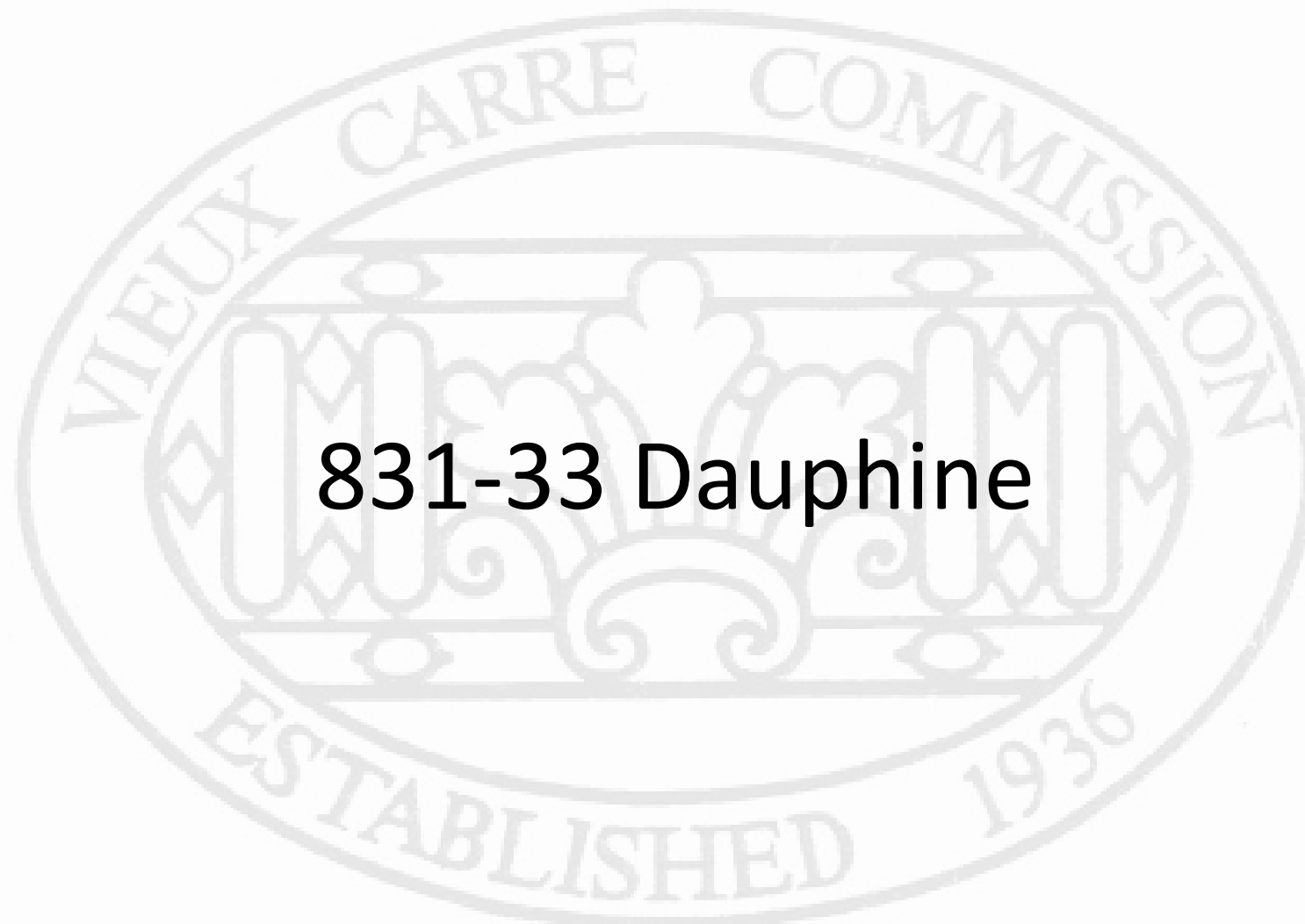
Chairperson's Report



Director's Report



Old Business



831-33 Dauphine



831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine - 2005





831 Dauphine - 2008





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphin
VCC Archited

Jun 20, 2024 3:31:23 PM





831 Dauphin
VCC Architects

Jun 20, 2024 3:32:12 PM





831 Dauphin
VCC Architects

Jun 20, 2024 3:32:46 PM





831 Dauphin
VCC Architects

Jun 20, 2024 3:32:56 PM





831 Dauphin
VCC Architects

Jun 20, 2024 3:33:03 PM





831 Dauphin
VCC Architec

Jun 20, 2024 3:33:12 PM





831 Dauphin
VCC Architects

Jun 20, 2024 3:35:10 PM





831 Dauphin
VCC Architects

Jun 20, 2024 3:35:16 PM





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine

VCC Architectural Committee

May 6, 2025





831 Dauphine – previous pool conditions

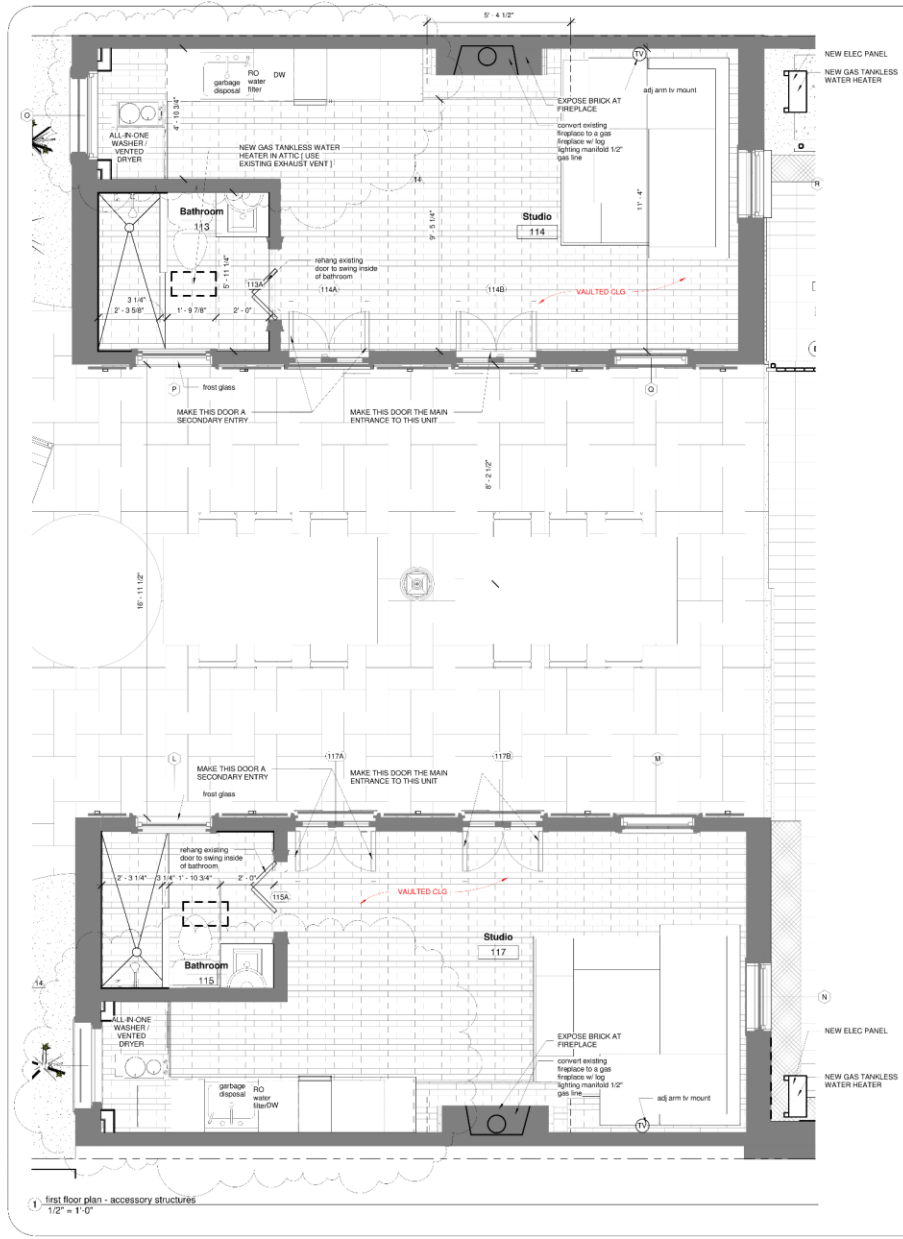


831 Dauphine

VCC Architectural Committee

May 6, 2025





12/30/2025 3:28:09 PM

1 first floor plan - accessory structures
1/2" = 1'-0"



1200 avicousson st | new orleans | louisiana
www.m2studiodesign.com | 504.258.0464

No.	Description	Date
2	VCC SUBMISSION 2	7.9.24
5	VCC STAFF LEVEL SET	11.12.2024
6	Construction Documents	2025.02.27
7	Construction Documents	2025.08.14
9	Revisions	2025.09.08
10	Revisions	2025.09.18
14	Revisions	2025.12.08

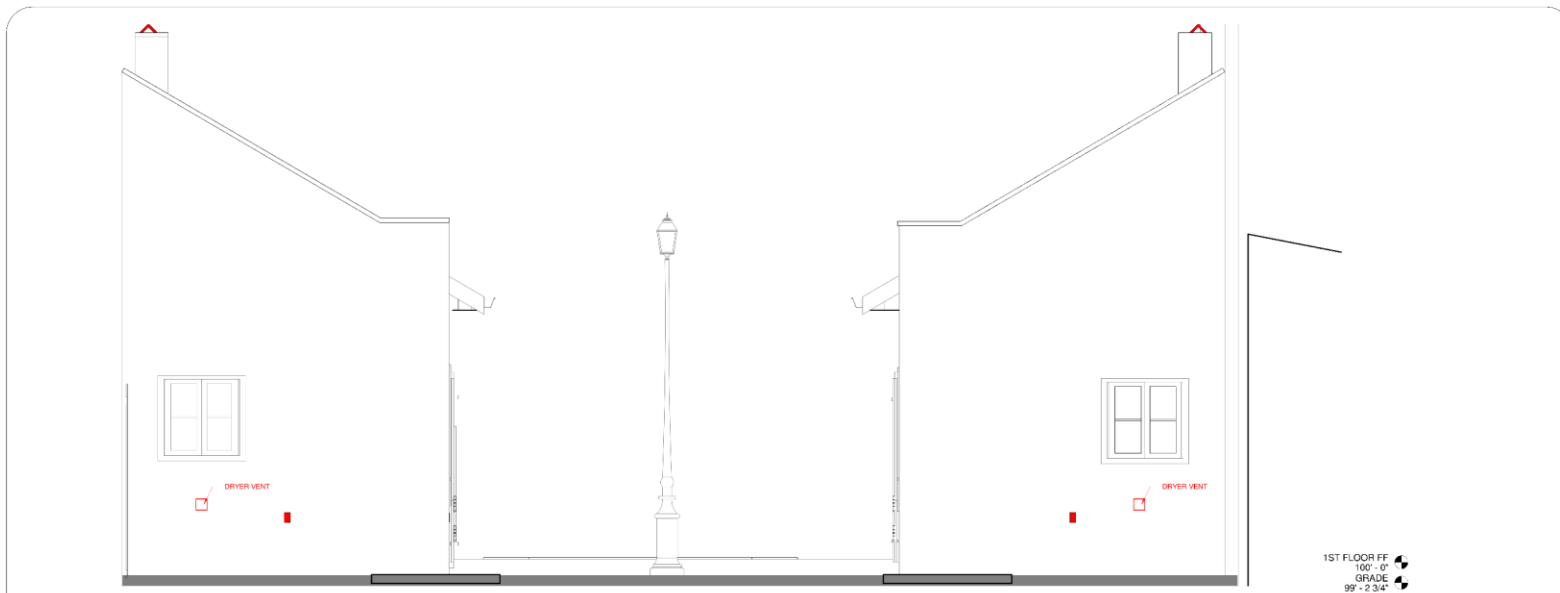
RENOVATION

833 A,B,+C Dauphine St
New Orleans | LA

first floor
plan - rear
apts
2024.16

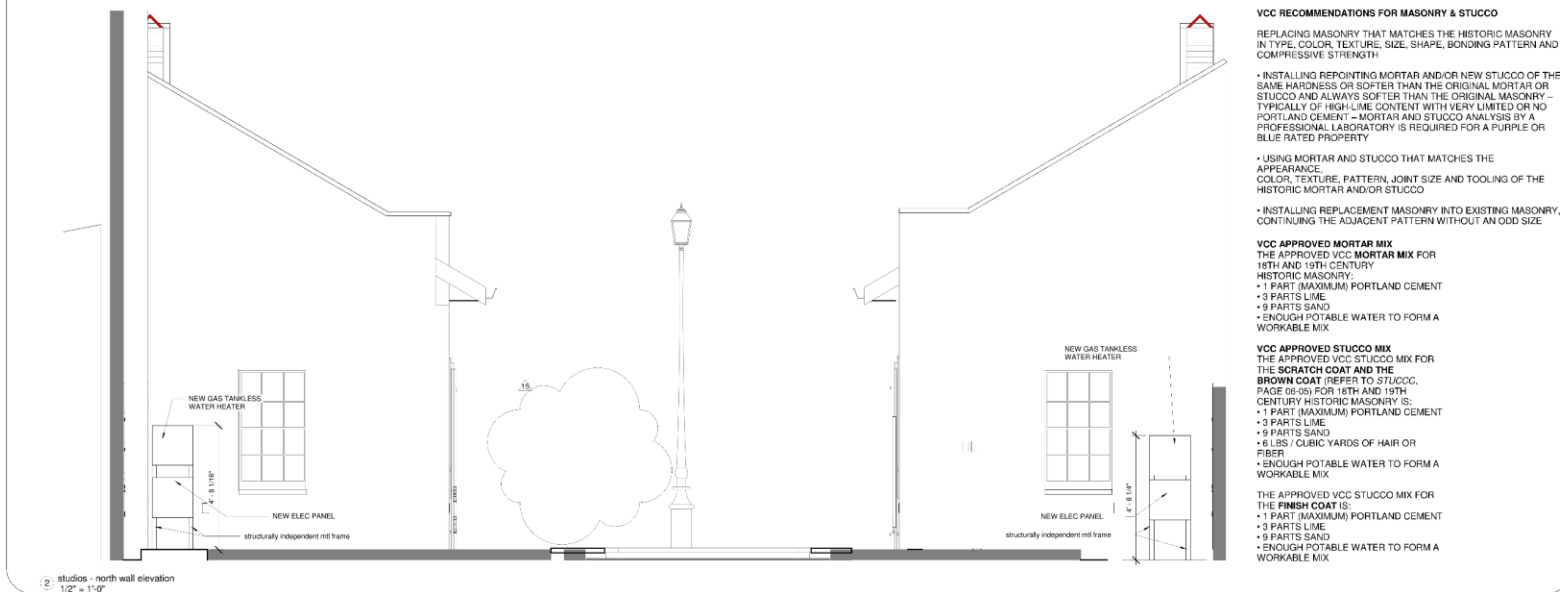
a101.2





1 studios - south wall elevation Copy 1
1/2" = 1'-0"

1ST FLOOR FF
100'-0"
GRADE
95'-2.34"



2 studios - north wall elevation
1/2" = 1'-0"

VCC RECOMMENDATIONS FOR MASONRY & STUCCO

REPLACING MASONRY THAT MATCHES THE HISTORIC MASONRY IN TYPE, COLOR, TEXTURE, SIZE, SHAPE, BONDING PATTERN AND COMPRESSIVE STRENGTH

- INSTALLING REPOINTING MORTAR AND/OR NEW STUCCO OF THE SAME HARDNESS OR SOFTER THAN THE ORIGINAL MORTAR OR STUCCO AND ALWAYS SOFTER THAN THE ORIGINAL MASONRY - TYPICALLY OF HIGH-LIME CONTENT WITH VERY LIMITED OR NO PORTLAND CEMENT - MORTAR AND STUCCO ANALYSIS BY A PROFESSIONAL LABORATORY IS REQUIRED FOR A PURPLE OR BLUE RATED PROPERTY
- USING MORTAR AND STUCCO THAT MATCHES THE APPEARANCE, COLOR, TEXTURE, PATTERN, JOINT SIZE AND TOOLING OF THE HISTORIC MORTAR AND/OR STUCCO
- INSTALLING REPLACEMENT MASONRY INTO EXISTING MASONRY, CONTINUING THE ADJACENT PATTERN WITHOUT AN ODD SIZE

VCC APPROVED MORTAR MIX
THE APPROVED VCC MORTAR MIX FOR 18TH AND 19TH CENTURY HISTORIC MASONRY:

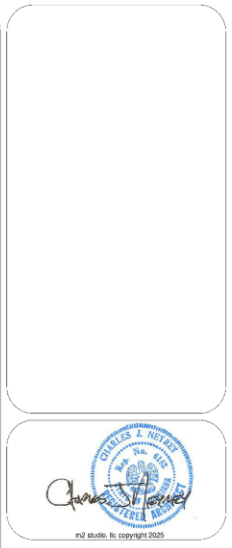
- 1 PART (MAXIMUM) PORTLAND CEMENT
- 3 PARTS LIME
- 9 PARTS SAND
- ENOUGH POTABLE WATER TO FORM A WORKABLE MIX

VCC APPROVED STUCCO MIX
THE APPROVED VCC STUCCO MIX FOR THE SCRATCH COAT AND THE BROWN COAT (REFER TO STUCCO, PAGE 08-05) FOR 18TH AND 19TH CENTURY HISTORIC MASONRY IS:

- 1 PART (MAXIMUM) PORTLAND CEMENT
- 3 PARTS LIME
- 9 PARTS SAND
- 6 LBS / CUBIC YARDS OF HAIR OR FIBER
- ENOUGH POTABLE WATER TO FORM A WORKABLE MIX

THE APPROVED VCC STUCCO MIX FOR THE FINISH COAT IS:

- 1 PART (MAXIMUM) PORTLAND CEMENT
- 3 PARTS LIME
- 9 PARTS SAND
- ENOUGH POTABLE WATER TO FORM A WORKABLE MIX



1200 announcement st | new orleans | louisiana
www.m2studio.com | 504.238.0464

No.	Description	Date
2	VCC SUBMISSION 2	7.9.24
3	VCC SUBMISSION 3	8.27.24
5	VCC STAFF LEVEL SET	11.12.2024
6	Construction Documents	2025.02.27
7	Construction Documents	2025.08.14
9	Revisions	2025.09.08
10	Revisions	2025.09.18
15	Revisions	2025.12.11

RENOVATION
833 A,B,+C Dauphine St
New Orleans | LA

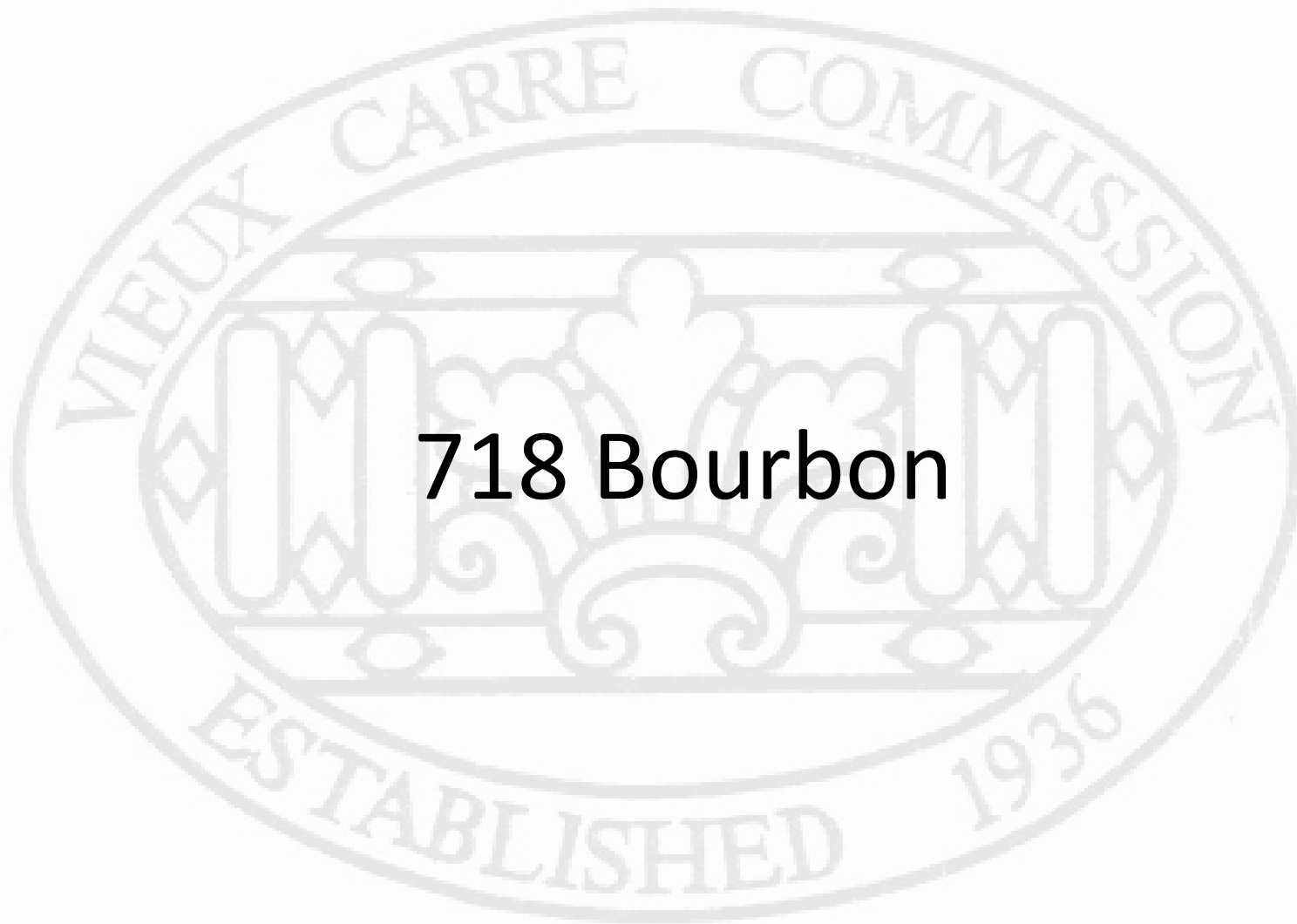
exterior elevations
2024.16

a204





New Business



718 Bourbon



718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026



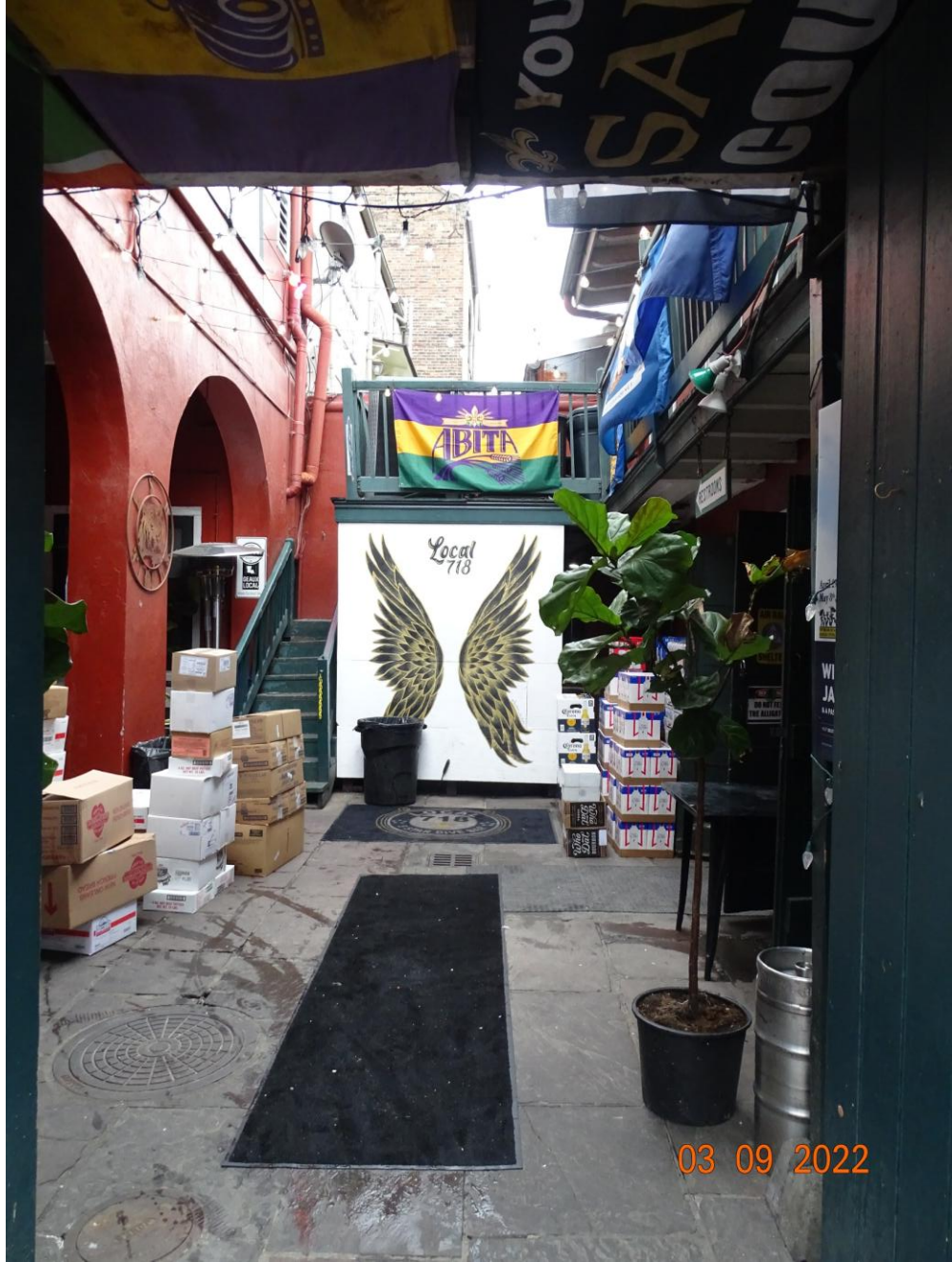


718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026



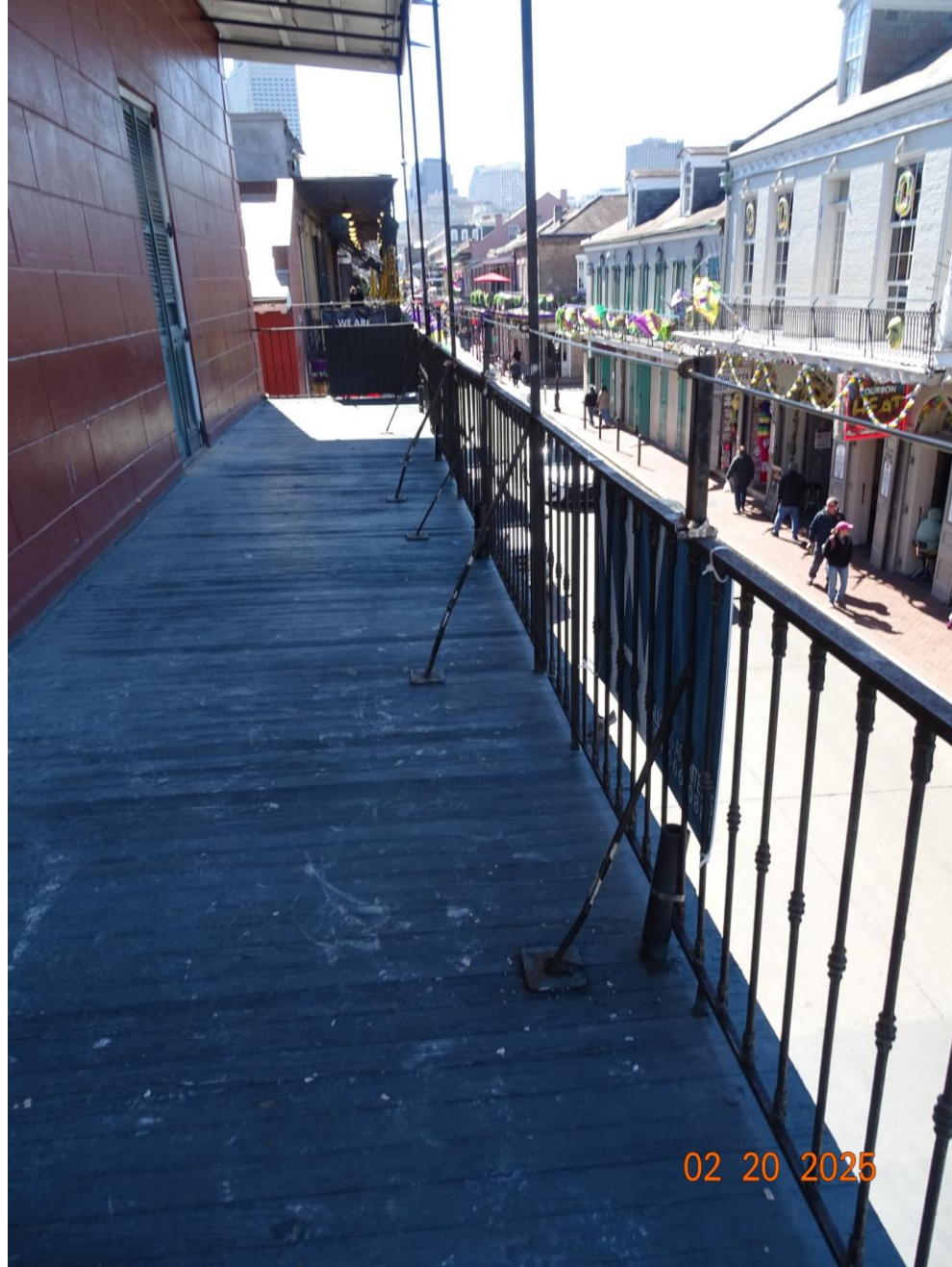


718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





1/13/2026

718 Bourbon – VCC Review and Response

STAFF ANALYSIS & RECOMMENDATION:

11/25/2025

Please see the responses from the William’s Architects team in **red**.

The applicant has developed a proposal to renovate the building following a November 2024 fire which occurred while the property was vacant. Luckily, most of the damage was limited to the roof and has since been repaired. Staff notes that extensive demolition by neglect and work without permit violations were present prior to current ownership, and these violations must be addressed in this proposal. The renovation entails the following work:

- *Demolish two small doors on first floor of dependency.* The two small doors will be replaced with one single door accessing a bathroom. This portion of the dependency was a two-story addition that appears between the 1908 and 1940 Sanborn maps. Staff has no objection.
- *Demolish and rebuild courtyard platform spanning between main building and dependency and install two large condensers.* The platform is shown to extend over the dependency balcony, resulting in a step up from the balcony to the platform, which is noted as plywood, not decking. **A202 notes that it is decking.** It appears from elevations that the equipment may be visible from the street. The equipment will block operation of a pair of dependency shutters. **This equipment has been relocated to the first floor.** It appears that the units are not serviceable without removal of the platform railing. **Engineer confirms the units will be serviceable as-built.** The electrical drawings show the disconnects mounted to the inside face of the courtyard wall. **Relocated to the new railing.**
- *Rebuild second courtyard platform adjacent to stairs and install two large condensers.* One unit appears to block access to the balcony. It is unclear where these disconnects would be located. Several drawings call for a 6’-0” screen to be installed, but it is not shown. **There was a graphic error in the 11/25 drawings, the 1/13 drawings accurately represent the HVAC equipment, no screening is planned.**
- *Install wall-mounted mini split(s).* Discrepancies in the drawings show a mini split mounted to the first-floor courtyard wall, as well as one on second floor dependency wall. The second-floor location is not shown in elevation, but conflicts with shutters emergency lighting. Staff requests clarification on the number and locations proposed. The first-floor location is not objectionable, but the second-floor location is. **DSC-1 will be mounted on the first floor behind the Toilet 2 door.**
- *Remove second floor Orleans-side door on main building, replace to match adjacent French doors.* Staff welcomes this change.

WILLIAMS ARCHITECTS
824 Baronne Street
New Orleans, LA 70112

- Remove inappropriate gallery rail extension, install new 42” guardrail behind. The new guardrail is shown attached with iron base plate, not touching the historic rail. More information needs to be provided regarding the structural attachment and the placement of its verticals, particularly since the rail is continuous. **Verticals placed at 6’-0” O.C. Wood screws to fasten baseplate.**
- Install exhaust fan in St. Peter-side second floor property line opening. Staff notes that this location is indicated as a window in the 1940 Sanborns, but no photos are provided. **Exhaust fan has been removed in plan; this opening will be used as a fresh air intake. See photo of the existing opening.**
- Install louvered vent in front dependency wall. Mechanical drawings show an intake louver not included in the architectural set. If this is still included in the scope, its location conflicts with existing shutters. **Intake moved to the location of the now removed exhaust.**
- Remove and install new gallery lighting. The locations shown do not correspond to the gallery bays and should be revised. **Revised to be mounted at the center o gallery bays.**
- Hood vent to be relocated closer to Royal-side parapet of main building’s St. Peter-side slope. This location is less visible to the street but very close to the property line. BZA and/or BBSA variances may be required. It is also not clear how tall the hood will be, or if its proximity to the dormer is an issue. Staff encourages use of an in-line fan. **Options provided for hood exhaust,**
- An existing intake louver on the rear of the main building is labeled as being reused for other equipment. This vent is a work without permit violation but is discretely located. It appears to be drawn larger than it appears in photos; staff requests confirmation on the size from the applicant. **Size confirmed on A202, 26” x 19”.**
- Modify rear dormer to remove sashes and install intake vent. This dormer is highly visible from the right of way. The Guidelines prohibit these alterations in at least three different sections due to the millwork modification needed and the visibility of the vent. An alternative must be found. **An alternative would be a penetration in the roof. There is no millwork alteration needed as the intake louver is smaller than the existing window sashes. The window would remain in a fixed open position, much like the window unit that was in this dormer window. We confirmed this with the mechanical consultant.**

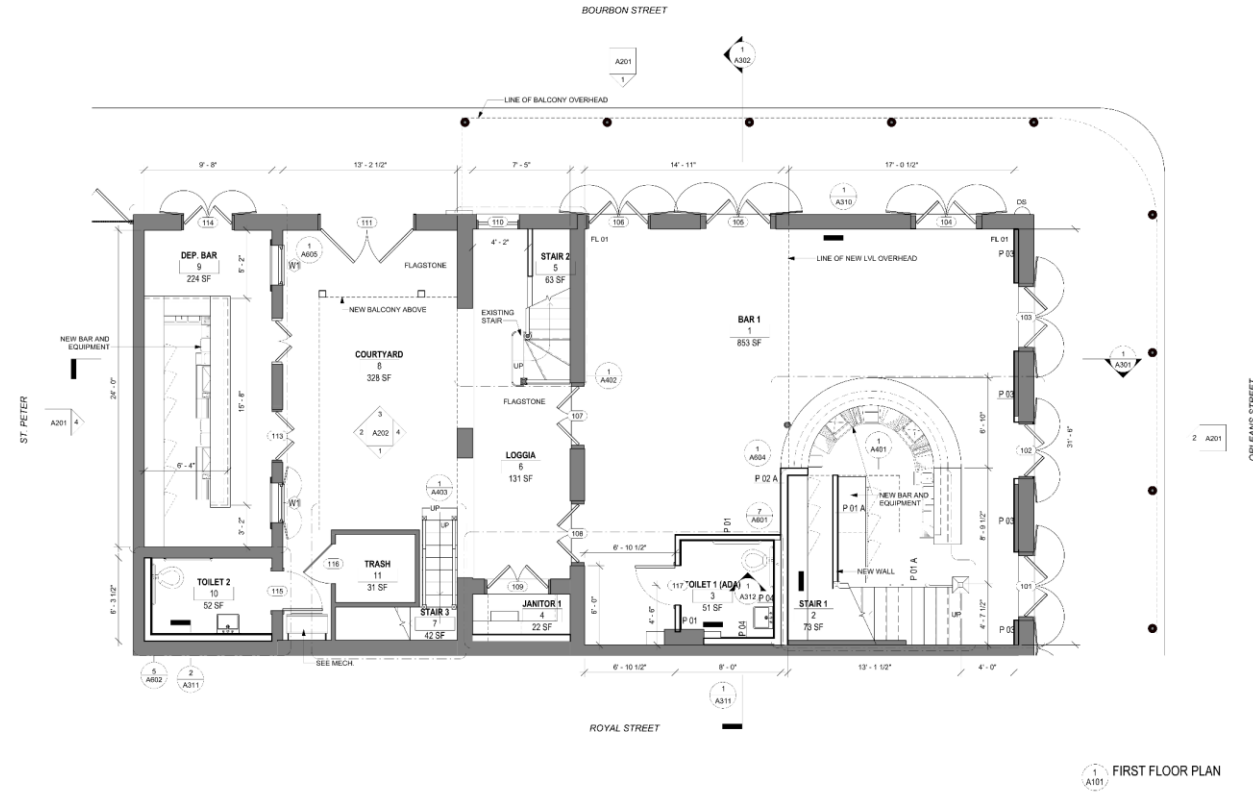


FLOOR PLAN GRAPHICS LEGEND:

- EXISTING
- NEW

GENERAL NOTES FLOOR PLAN:

1. REFERENCE A700 FOR PARTITION TYPES AND DETAILS.
2. REFERENCE A800 FOR DOOR AND WINDOW SCHEDULES AND DETAILS.
3. REFERENCE DEMOLITION NOTES AND SHEETS FOR DEMO SCOPE OF WORK.
4. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO FINISHED FACE OF WALL.
5. COORDINATE UTILITY ENTRANCES WITH STRUCT & MEP PLANS.
6. PROTECT ALL EXISTING HISTORIC MATERIALS, DOORS, WINDOWS, BASEBOARD, STAIR COMPONENTS, MANTLES, AND OTHER HISTORIC SURFACES TO REMAIN.
7. SALVAGE AND STORE ANY HISTORIC MATERIALS REMOVED DURING DEMO FOR REUSE OR TO MATCH EXISTING WITH NEW REPLACEMENT.
8. REFERENCE LIFE SAFETY PLANS FOR REQUIRED FIRE RATINGS AND NFPA SPRINKLER PROTECTION LOCATIONS.
9. COORDINATE ALL SPRINKLER SYSTEM AND FIRE ALARM SYSTEM TYPES WITH ARCHITECT AND MEP ENGINEER. SPRINKLER AND ALARM SYSTEMS TO BE PROVIDED FOR SUBMISSION TO OSFM PRIOR TO CONSTRUCTION.



1 A101 FIRST FLOOR PLAN 1/4" = 1'-0"



WILLIAMS ARCHITECTS
 824 BARRONNE STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by the architect and shall be read in conjunction with the general conditions of contract and shall comply with applicable codes and regulations.
 I will not be liable for any project construction administration services on the project.

PHASE 3 RENOVATION

Copyright © 2025
 John C. Williams and Reels, LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
 718 BOURBON ST. NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING BY: MLL
 SCALE: 1/4" = 1'-0"
 JOB No.: 52209
 DATE: 09/28/2025

SHEET NAME:
 FIRST FLOOR PLAN

SHEET No.

A101

PHASE 3 - RENOVATION 09/28/2025



1/13/2025 5:58:45 PM Autodesk Docs://718 Bourbon/52209-718 Bourbon St.rvt

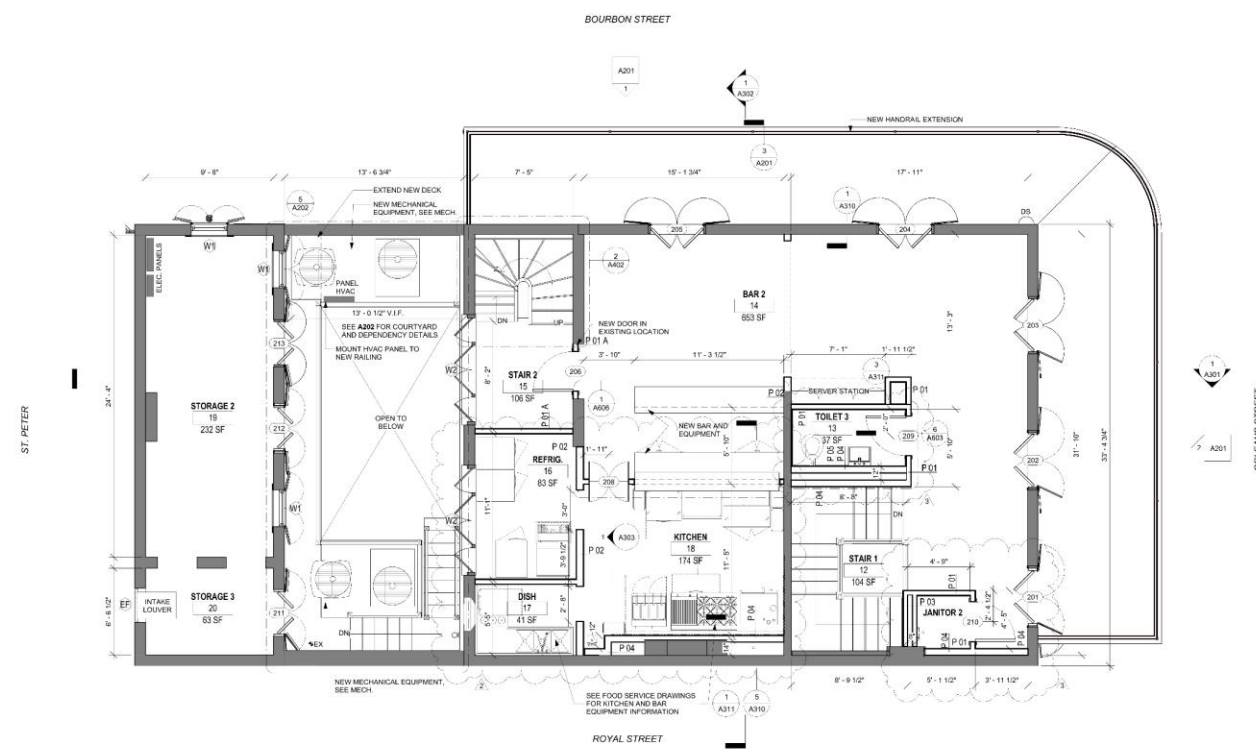
1/13/2025 5:58:51 PM Autodesk Docs\718 Bourbon\22069 - 718 Bourbon St.vk

FLOOR PLAN GRAPHICS LEGEND:

- EXISTING
- NEW

GENERAL NOTES FLOOR PLAN:

1. REFERENCE A700 FOR PARTITION TYPES AND DETAILS.
2. REFERENCE A800 FOR DOOR AND WINDOW SCHEDULES AND DETAILS.
3. REFERENCE DEMOLITION NOTES AND SHEETS FOR DEMO SCOPE OF WORK.
4. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO FINISHED FACE OF WALL.
5. COORDINATE UTILITY ENTRANCES WITH STRUCT & MEP PLANS.
6. PROTECT ALL EXISTING HISTORIC MATERIALS, DOORS, WINDOWS, BASEBOARD, STAIR COMPONENTS, MANTLES, AND OTHER HISTORIC SURFACES TO REMAIN.
7. SALVAGE AND STORE ANY HISTORIC MATERIALS REMOVED DURING DEMO FOR REUSE OR TO MATCH EXISTING WITH NEW REPLACEMENT.
8. REFERENCE LIFE SAFETY PLANS FOR REQUIRED FIRE RATINGS AND NFPA SPRINKLER PROTECTION LOCATIONS.
9. COORDINATE ALL SPRINKLER SYSTEM AND FIRE ALARM SYSTEM TYPES WITH ARCHITECT AND MEP ENGINEER. SPRINKLER AND ALARM SYSTEMS TO BE PROVIDED FOR SUBMISSION TO QCFM PRIOR TO CONSTRUCTION.



SECOND FLOOR PLAN 1/4" = 1'-0"

WILLIAMS ARCHITECTS
824 BARDONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I do not undertake any liability for project construction administration services on this project.

Copyright © 2025 John C. Williams Architects LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
718 BOURBON ST. NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope
2	11/17/2025	STRUCTURAL REVISION 1
3	12/15/2025	RFI 05

DRAWING BY: MLL
SCALE: 1/4" = 1'-0"
JOB NO.: 22069
DATE: 09/26/2025

SHEET NAME: SECOND FLOOR PLAN

SHEET NO.:

A102

PHASE 3 - RENOVATION 09/26/2025

718-20 Bourbon

Vieux Carre Commission

February 19, 2026



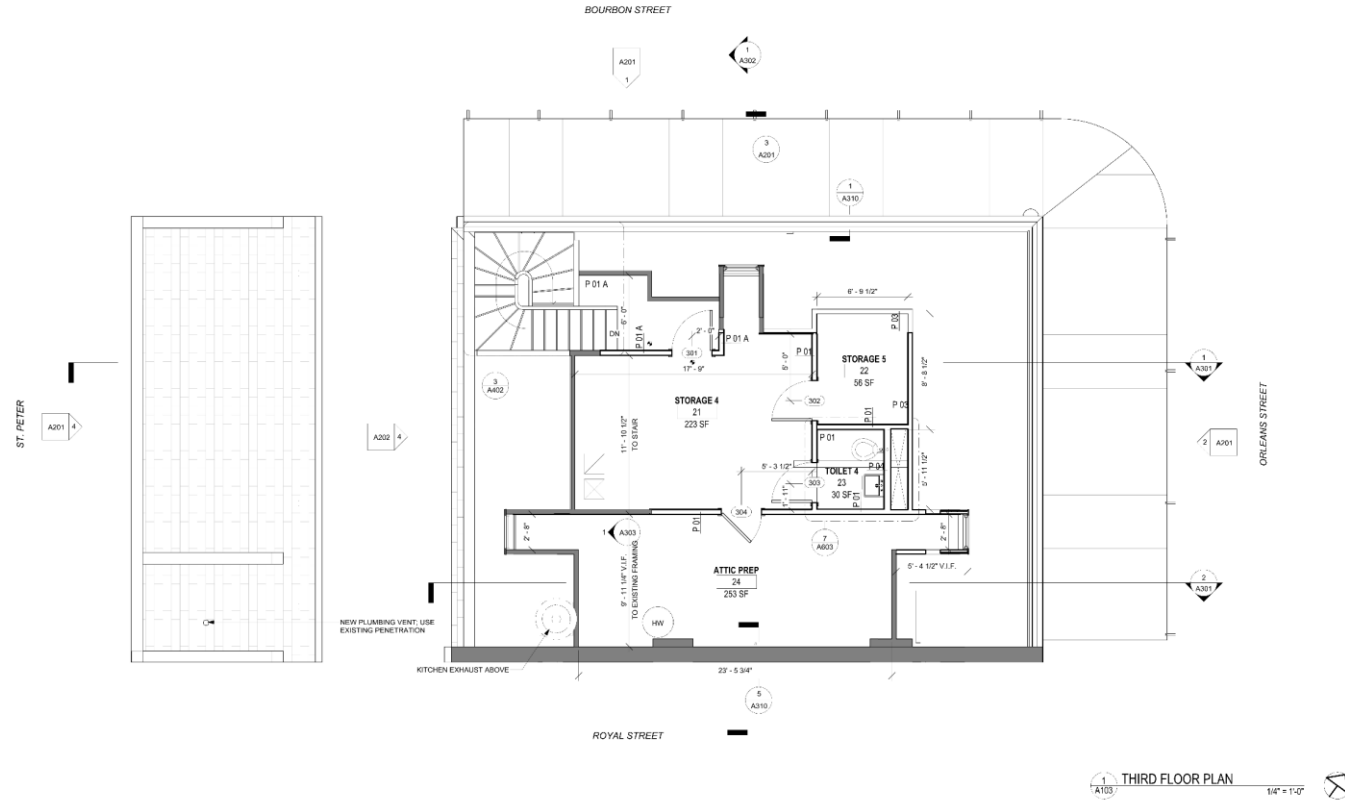
1/13/2025 5:46:32 PM Autodesk Docs/718 Bourbon/22009-718 Bourbon St.rvt

FLOOR PLAN GRAPHICS LEGEND:

- EXISTING
- NEW

GENERAL NOTES FLOOR PLAN:

1. REFERENCE A700 FOR PARTITION TYPES AND DETAILS.
2. REFERENCE A800 FOR DOOR AND WINDOW SCHEDULES AND DETAILS.
3. REFERENCE DEMOLITION NOTES AND SHEETS FOR DEMO SCOPE OF WORK.
4. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO FINISHED FACE OF WALL.
5. COORDINATE UTILITY ENTRANCES WITH STRUCT & MEP PLANS.
6. PROTECT ALL EXISTING HISTORIC MATERIALS, DOORS, WINDOWS, BASEBOARD, STAIR COMPONENTS, MANTLES AND OTHER HISTORIC SURFACES TO REMAIN.
7. SALVAGE AND STORE ANY HISTORIC MATERIALS REMOVED DURING DEMO FOR REUSE OR TO MATCH EXISTING WITH NEW REPLACEMENT.
8. REFERENCE LIFE SAFETY PLANS FOR REQUIRED FIRE RATINGS AND NFPA SPRINKLER PROTECTION LOCATIONS.
9. COORDINATE ALL SPRINKLER SYSTEM AND FIRE ALARM SYSTEM TYPES WITH ARCHITECT AND MEP ENGINEER. SPRINKLER AND ALARM SYSTEMS TO BE PROVIDED FOR SUBMISSION TO OSPM PRIOR TO CONSTRUCTION.



1 THIRD FLOOR PLAN 1/4" = 1'-0"



WILLIAMS ARCHITECTS
 824 BARRONNE STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and regulations.
 I hereby certify that the project construction will be in accordance with the drawings and specifications on this project.

PHASE 3 - RENOVATION

Copyright © 2025
 John C. Williams Architects, LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
 718 BOURBON ST. NEW ORLEANS, LA 70116

REVISIONS-		
No.	Date	Scope

DRAWING BY MLL
 SCALE 1/4" = 1'-0"
 JOB No. 522009
 DATE 09/26/2025
 SHEET NAME
THIRD FLOOR PLAN
 SHEET NO.

A103

PHASE 3 - RENOVATION 09/26/2025



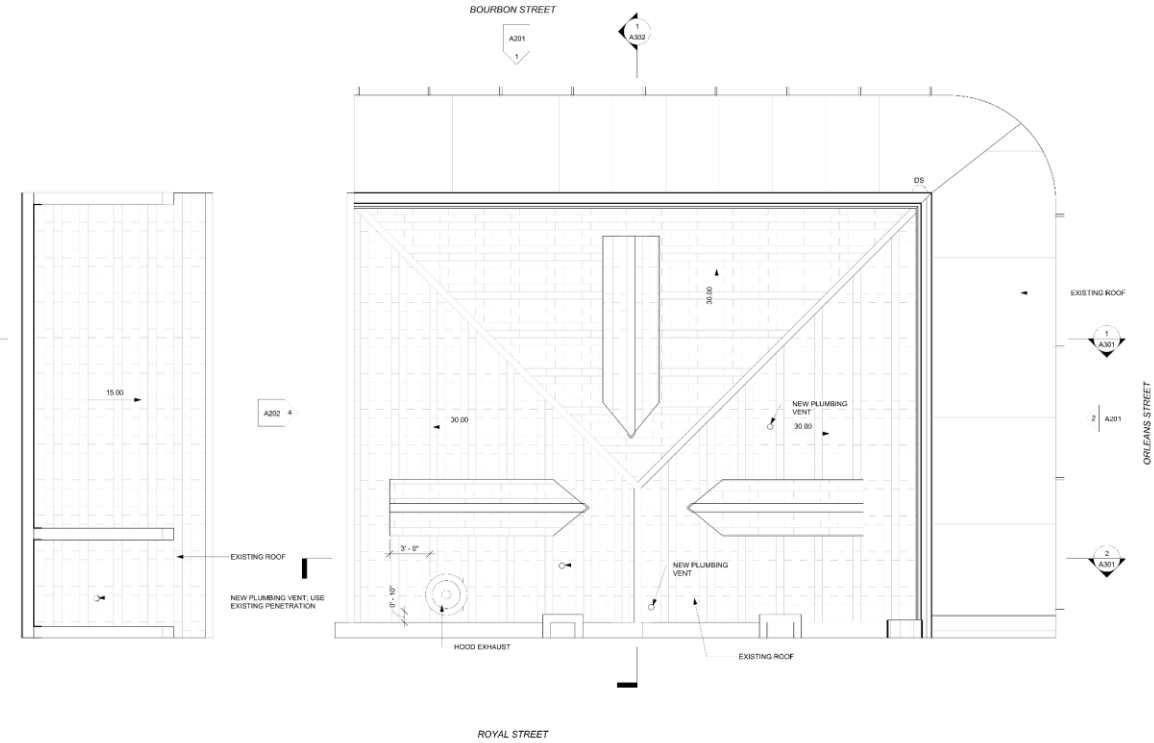
do not scale drawings
1/13/2026 5:58:33 PM Autodesk Docs/718 Bourbon/22009 - 718 Bourbon Sht.rvt

FLOOR PLAN GRAPHICS LEGEND:

- EXISTING
- NEW

GENERAL NOTES FLOOR PLAN:

1. REFERENCE A700 FOR PARTITION TYPES AND DETAILS.
2. REFERENCE A800 FOR DOOR AND WINDOW SCHEDULES AND DETAILS.
3. REFERENCE DEMOLITION NOTES AND SHEETS FOR DEMO SCOPE OF WORK.
4. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO FINISHED FACE OF WALL.
5. COORDINATE UTILITY ENTRANCES WITH STRUCT & MEP PLANS.
6. PROTECT ALL EXISTING HISTORIC MATERIALS, DOORS, WINDOWS, BASEBOARD, STAIR COMPONENTS, MANTLES, AND OTHER HISTORIC SURFACES TO REMAIN.
7. SALVAGE AND STORE ANY HISTORIC MATERIALS REMOVED DURING DEMO FOR REUSE OR TO MATCH EXISTING WITH NEW REPLACEMENT.
8. REFERENCE LIFE SAFETY PLANS FOR REQUIRED FIRE RATINGS AND NFPA SPRINKLER PROTECTION LOCATIONS.
9. COORDINATE ALL SPRINKLER SYSTEM AND FIRE ALARM SYSTEM TYPES WITH ARCHITECT AND MEP ENGINEER. SPRINKLER AND ALARM SYSTEMS TO BE PROVIDED FOR SUBMISSION TO OSFM PRIOR TO CONSTRUCTION.



1 A104 ROOF PLAN 1/4" = 1'-0"

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.
I will not be held responsible for providing project construction administrative services on this project.

Copyright © 2025
John C. Williams Architects, LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
718 BOURBON ST. NEW ORLEANS, LA 70116

REVISIONS:

No.	Date	Scope

DRAWING BY: MLL
SCALE: 1/4" = 1'-0"
JOB No.: 522009
DATE: 09/26/2025
SHEET NAME: ROOF PLAN
SHEET NO.:

A104

PHASE 3 - RENOVATION 09/26/2025



11/10/2025 5:58:54 PM Autodesk Docs\718 Bourbon\2025-718 Bourbon.rvt

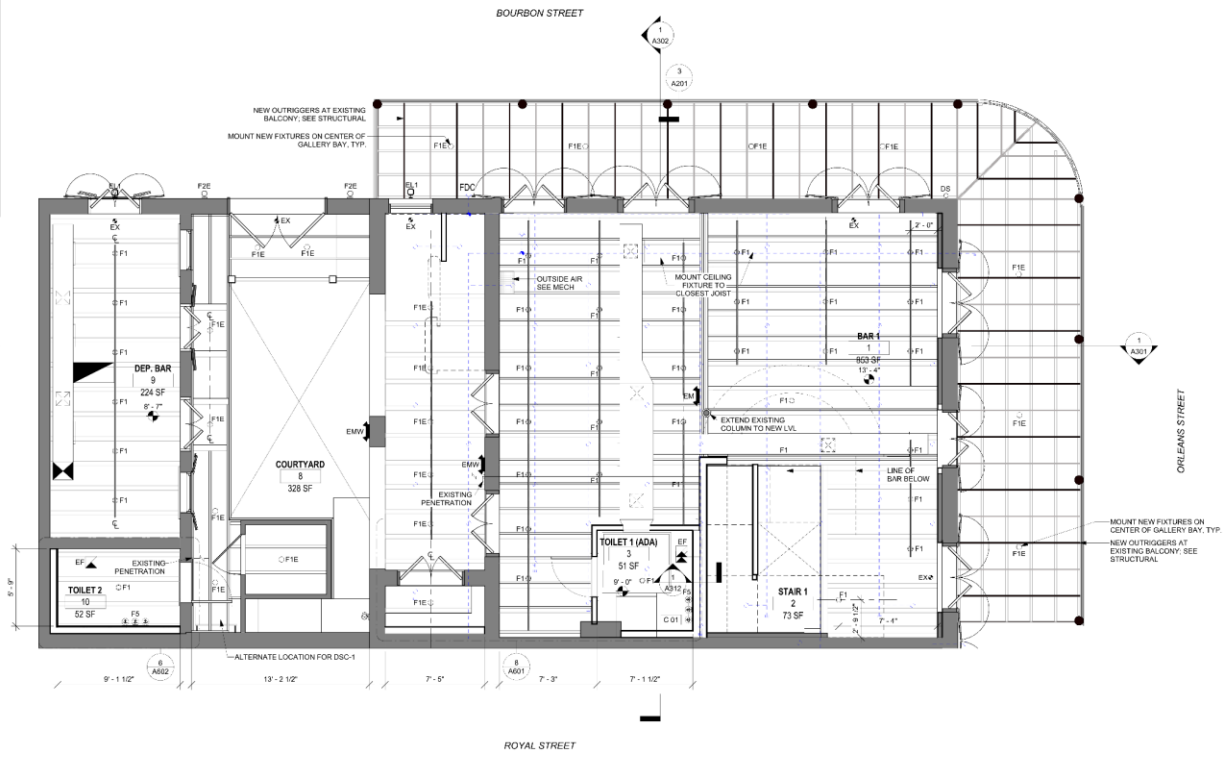
FLOOR PLAN GRAPHICS LEGEND:

- EXISTING
- NEW

RCP LEGEND:

- EL1 EXISTING EXTERIOR WALL-MOUNT FIXTURE
- EL2 EXISTING EXTERIOR WALL-MOUNT FIXTURE
- EL3 EXISTING EXTERIOR CEILING-MOUNT FIXTURE
- EL4 EXISTING EXTERIOR CEILING-MOUNT FIXTURE
- F1E NEW EXTERIOR CEILING-MOUNT FIXTURE: SEE ELECTRICAL FOR FIXTURE SPECS
- F1 NEW INTERIOR CEILING-MOUNT FIXTURE: SEE ELECTRICAL FOR FIXTURE SPECS
- F2E NEW EXTERIOR WALL-MOUNT FIXTURE: SEE ELECTRICAL FOR FIXTURE SPECS
- F3 NEW INTERIOR CEILING-MOUNT FIXTURE: SEE ELECTRICAL FOR FIXTURE SPECS
- F5 NEW WALL-MOUNT SCONCE: SEE ELECTRICAL FOR FIXTURE SPECS
- EF NEW EXHAUST FAN: SEE MECHANICAL FOR FIXTURE SPECS
- VRF NEW CEILING-MOUNT CASSETTE: SEE MECHANICAL FOR FIXTURE SPECS
- EX NEW EXIT SIGNAGE
- EM NEW EMERGENCY LIGHT

GENERAL RCP NOTES:
COORDINATE ALL NEW ELECTRICAL FIXTURES WITH MECHANICAL SYSTEMS



1 A151 FIRST FLOOR REFLECTED CEILING PLAN 1/4" = 1'-0"



WILLIAMS ARCHITECTS
824 BARBONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct professional supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

(as the contractor providing project cost reduction administration services on this project)

PHASE 3 - RENOVATION

Copyright © 2025
Jill C. Williams Architects, LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
718 BOURBON ST. NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING BY: MLL
SCALE: 1/4" = 1'-0"
JOB No: 1521009
DATE: 09/26/2025

SHEET NAME: FIRST FLOOR RCP

SHEET NO:

A151

PHASE 3 - RENOVATION 09/26/2025





WILLIAMS ARCHITECTS
 824 BARDONE STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.
 I will not be providing project construction administration services on this project.

PHASE 3 RENOVATION

Copyright © 2025
 John C. Williams Architects, LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
 718 BOURBON ST. NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope
1		
2		

DRAWING BY: MILL
 SCALE: 1/4" = 1'-0"
 JOB No.: S22009
 DATE: 09/29/2025

SHEET NAME:
 SECOND FLOOR RCP

SHEET NO.

A152

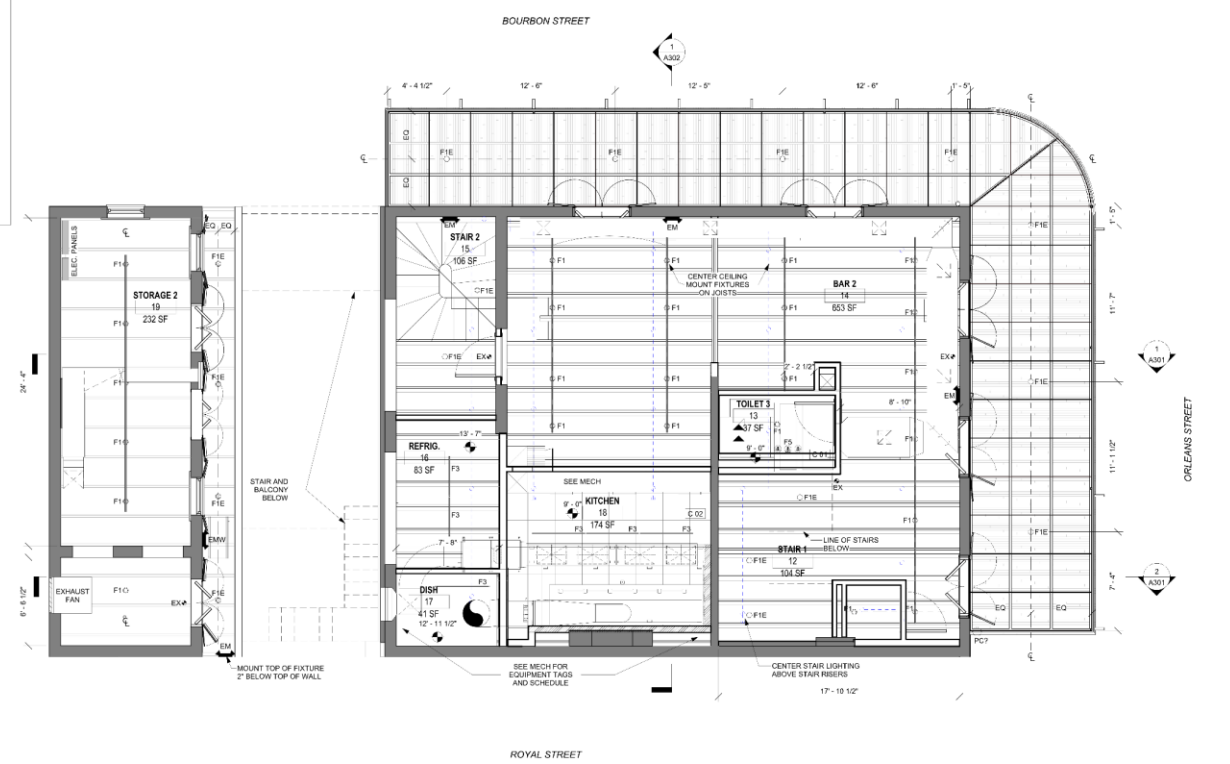
FLOOR PLAN GRAPHICS LEGEND:

- EXISTING
- NEW

RCP LEGEND:

- EL1 ○ EXISTING EXTERIOR WALL-MOUNT FIXTURE
- EL2 ○ EXISTING EXTERIOR WALL-MOUNT FIXTURE
- EL3 ○ EXISTING EXTERIOR CEILING-MOUNT FIXTURE
- EL4 ○ EXISTING EXTERIOR CEILING-MOUNT FIXTURE
- F1E ○ NEW EXTERIOR CEILING-MOUNT FIXTURE. SEE ELECTRICAL FOR FIXTURE SPECS
- F1 ○ NEW INTERIOR CEILING-MOUNT FIXTURE. SEE ELECTRICAL FOR FIXTURE SPECS
- F2E — NEW EXTERIOR WALL-MOUNT FIXTURE. SEE ELECTRICAL FOR FIXTURE SPECS
- F3 — NEW INTERIOR CEILING-MOUNT FIXTURE. SEE ELECTRICAL FOR FIXTURE SPECS
- F5 *** NEW WALL-MOUNT SCONCE. SEE ELECTRICAL FOR FIXTURE SPECS
- EF ■ NEW EXHAUST FAN. SEE MECHANICAL FOR FIXTURE SPECS
- VRF ■ NEW CEILING-MOUNT CASSETTE. SEE MECHANICAL FOR FIXTURE SPECS
- EX + NEW EXIT SIGNAGE
- EM ↻ NEW EMERGENCY LIGHT

GENERAL RCP NOTES:
 COORDINATE ALL NEW ELECTRICAL FIXTURES WITH MECHANICAL SYSTEMS



SECOND FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"

11/13/2025 5:58:59 PM Autodesk Docs/718 Bourbon/22009 - 718 Bourbon St.rvt





WILLIAMS ARCHITECTS
824 BARRONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.
I will not undertake providing project construction administration services on this project.

PHASE 3 - RENOVATION

Copyright © 2025
John C. Williams Architects LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
718 BOURBON ST., NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING BY: Author
SCALE: 1/4" = 1'-0"
JOB No.: 230009
DATE: 05/26/2025

SHEET NAME
THIRD FLOOR RCP

SHEET NO.

A153

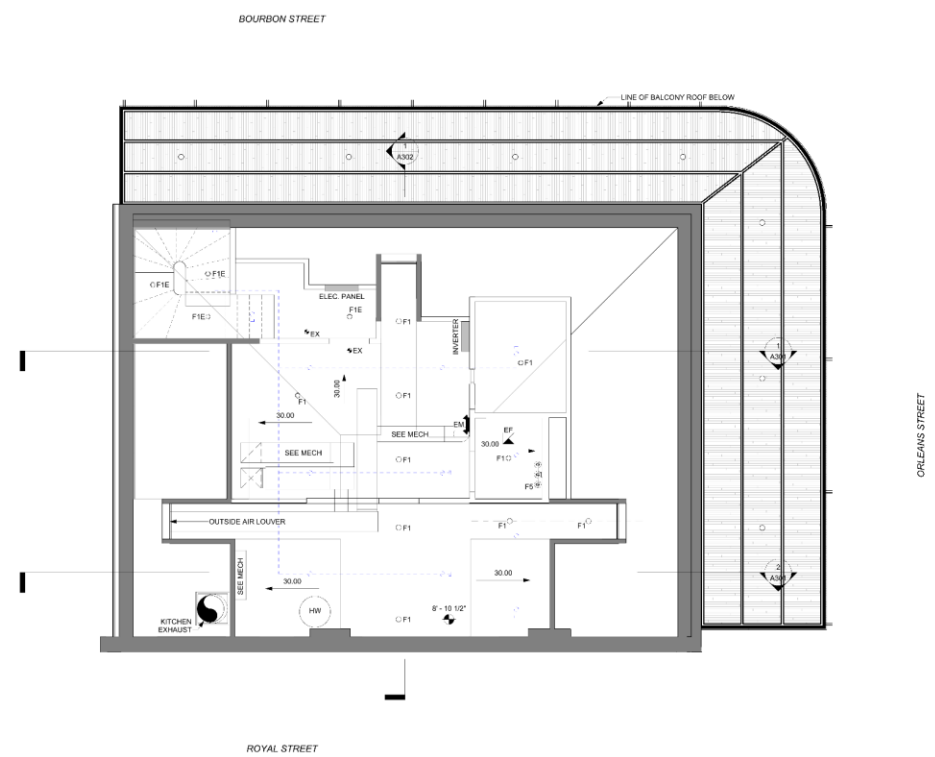
FLOOR PLAN GRAPHICS LEGEND:

- EXISTING
- NEW

RCP LEGEND:

- EL1 ○ EXISTING EXTERIOR WALL-MOUNT FIXTURE
- EL2 ○ EXISTING EXTERIOR WALL-MOUNT FIXTURE
- EL3 ○ EXISTING EXTERIOR CEILING-MOUNT FIXTURE
- EL4 ○ EXISTING EXTERIOR CEILING-MOUNT FIXTURE
- F1E ○ NEW EXTERIOR CEILING-MOUNT FIXTURE; SEE ELECTRICAL FOR FIXTURE SPECS
- F1 ○ NEW INTERIOR CEILING-MOUNT FIXTURE; SEE ELECTRICAL FOR FIXTURE SPECS
- F2E ○ NEW EXTERIOR WALL-MOUNT FIXTURE; SEE ELECTRICAL FOR FIXTURE SPECS
- F3 ○ NEW INTERIOR CEILING-MOUNT FIXTURE; SEE ELECTRICAL FOR FIXTURE SPECS
- F5 *** NEW WALL-MOUNT SCENE; SEE ELECTRICAL FOR FIXTURE SPECS
- EF ■ NEW EXHAUST FAN; SEE MECHANICAL FOR FIXTURE SPECS
- VRF □ NEW CEILING-MOUNT CASSETTE; SEE MECHANICAL FOR FIXTURE SPECS
- EX ✦ NEW EXIT SIGNAGE
- EM ↗ NEW EMERGENCY LIGHT

GENERAL RCP NOTES:
COORDINATE ALL NEW ELECTRICAL FIXTURES WITH MECHANICAL SYSTEMS



1 THIRD FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

do not scale drawings
1/13/2026 5:58:27 PM Autodesk Docs/718 Bourbon/20209 - 718 Bourbon St.rvt

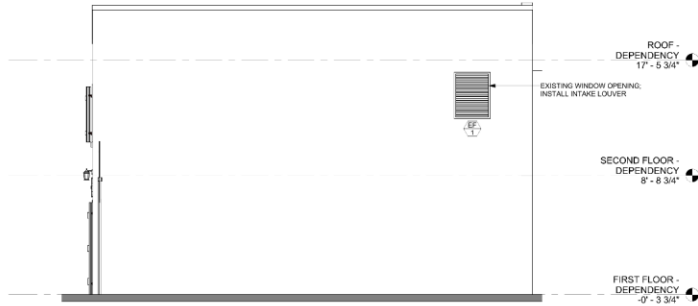
SF. PETER



1/13/2025 5:50:03 PM Autodesk Docs: 718 Bourbon St 2025-718 Bourbon St.rvt

ELEVATION GRAPHICS LEGEND:

- EXISTING
- NEW



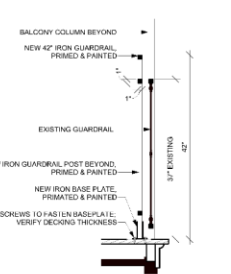
ROYAL ST ELEVATION (DEPENDENCY ALLEY)
1/4" = 1'-0"



BOURBON ST ELEVATION
1/4" = 1'-0"



ORLEANS ST ELEVATION
3/4" = 1'-0"



NEW GUARDRAIL DETAIL
1" = 1'-0"



These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable public law requirements.

I am a duly licensed professional architect and construction professional in the state of Louisiana.

PHASE 3 - RENOVATION

Copyright © 2025
John C Williams Architects, LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
718 BOURBON ST., NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING BY: MLL
SCALE: As Indicated
JOB No.: 522009
DATE: 09/26/2025

SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NO.

A201

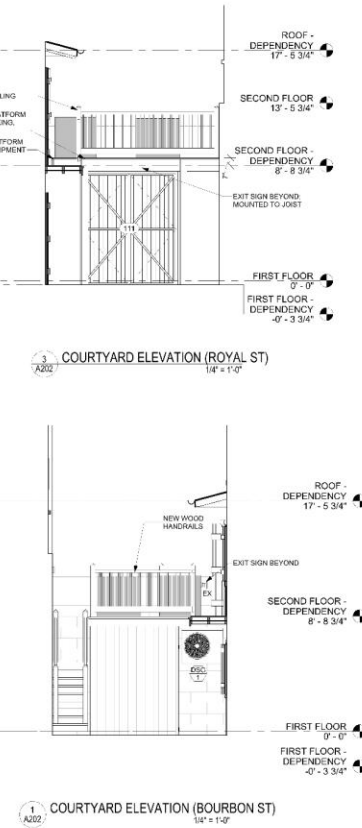
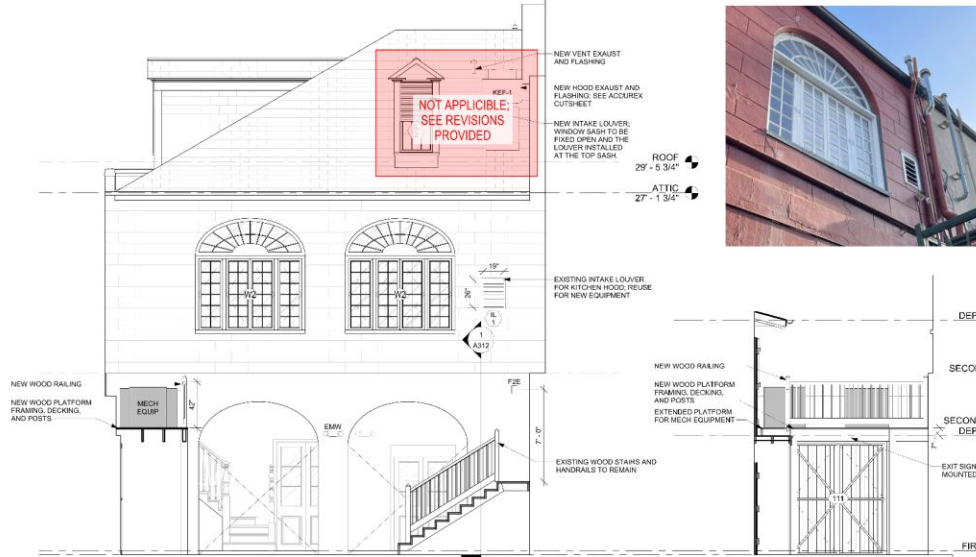
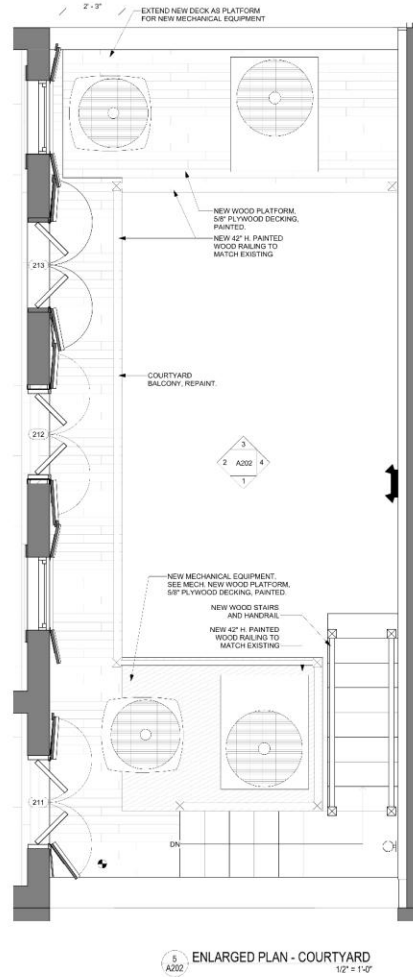
PHASE 3 - RENOVATION 09/26/2025



1/13/2025 5:50:08 PM Autodesk Docs: 718 Bourbon/202008 - 718 Bourbon St.dwg

ELEVATION GRAPHICS LEGEND:

- EXISTING
- NEW





WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable public law requirements.

I am a duly-licensed professional engineer and construction administrator and I am providing my professional services on this project.

PHASE 3 - RENOVATION

Copyright © 2025
John C. Williams Architects, LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
718 BOURBON ST., NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING BY: MLL
SCALE: As Indicated
JOB No.: 522009
DATE: 08/26/2025

SHEET NAME: COURTYARD ELEVATIONS & ENLARGED PLAN

SHEET NO.: **A202**

PHASE 3 - RENOVATION 08/26/2025



11/13/2025 5:55:11 PM Autodesk Docs: 718 Bourbon St - 718 Bourbon St.rvt

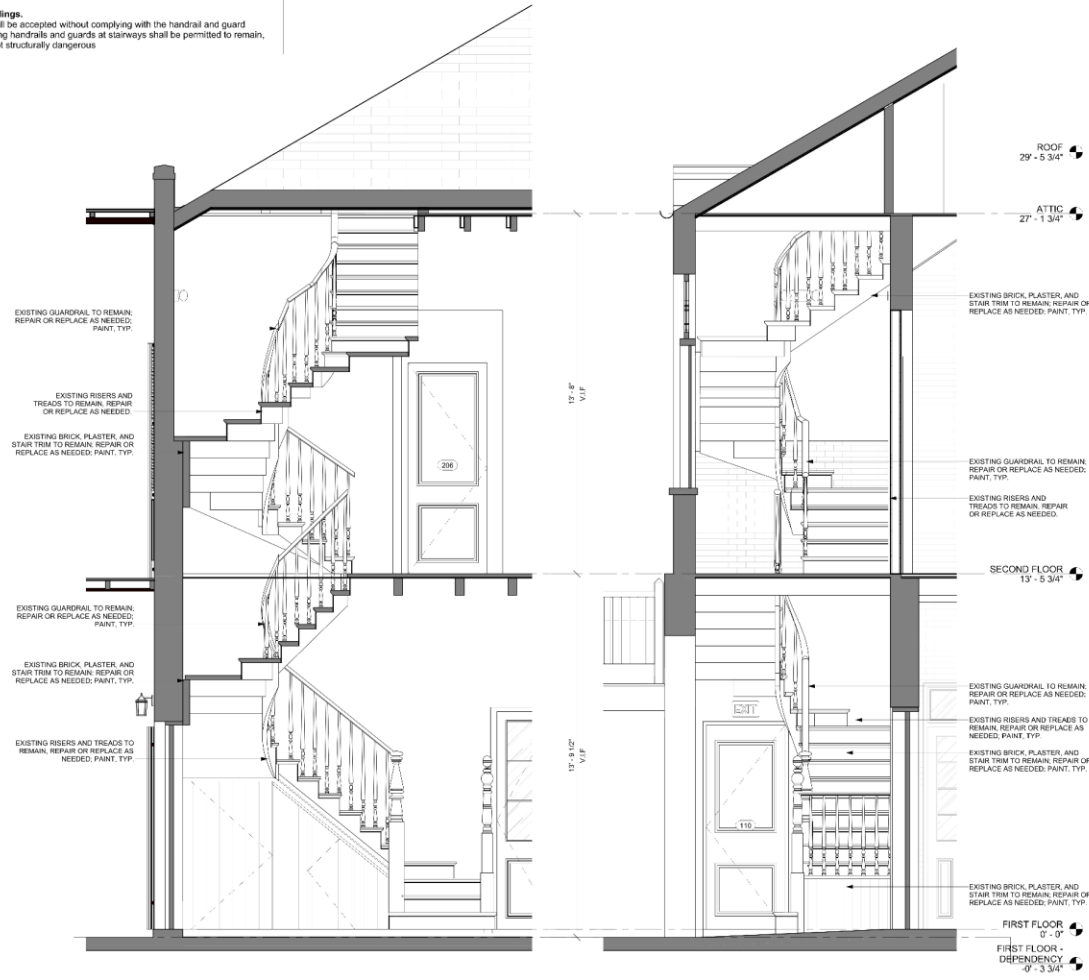
FOR REFERENCE:

2015 Life Safety Code, NFPA 101:

7.2.2.4.1.6
Existing stairs, existing ramps, stairs within dwelling units and within guest rooms, and ramps within dwelling units and guest rooms shall be permitted to have a handrail on one side only.

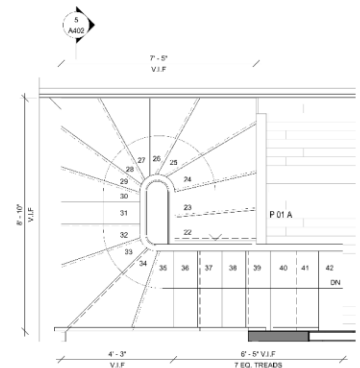
2021 International Existing Building Code:

1203.9 Stairway railings.
Grand stairways shall be accepted without complying with the handrail and guard requirements. Existing handrails and guards at stairways shall be permitted to remain, provided they are not structurally dangerous.

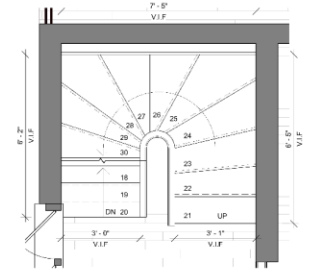


TRANSVERSE SECTION THRU STAIR 2
1/2" = 1'-0"

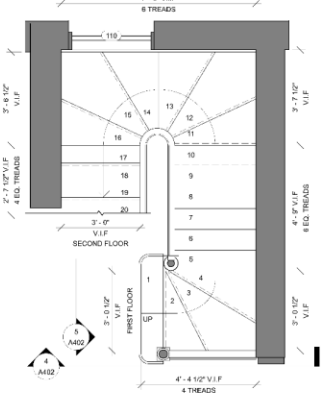
LONGITUDINAL SECTION THRU STAIR 2
1/2" = 1'-0"



ENLARGED ATTIC PLAN - STAIR 2
1/2" = 1'-0"



ENLARGED SECOND FLOOR PLAN - STAIR 2
1/2" = 1'-0"



ENLARGED FIRST FLOOR PLAN - STAIR 2
1/2" = 1'-0"



WILLIAMS ARCHITECTS
824 BARRONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I or my firm shall provide no professional construction administration services on this project.

PHASE 3 - RENOVATION

Copyright © 2025
John C. Williams Architects, LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
718 BOURBON ST. NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING BY: MLL
SCALE: 1/2" = 1'-0"
JOB No.: 522009
DATE: 09/26/2025

SHEET NAME:
STAIR DETAILS - STAIR 2

SHEET NO.

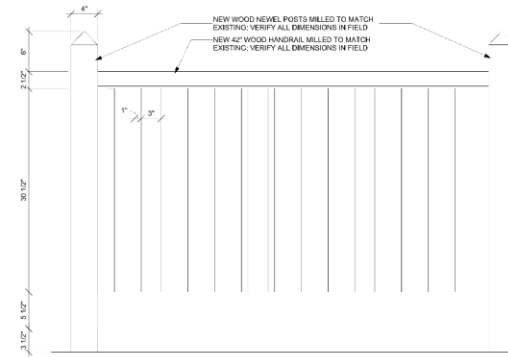
A402

PHASE 3 - RENOVATION 09/26/2025

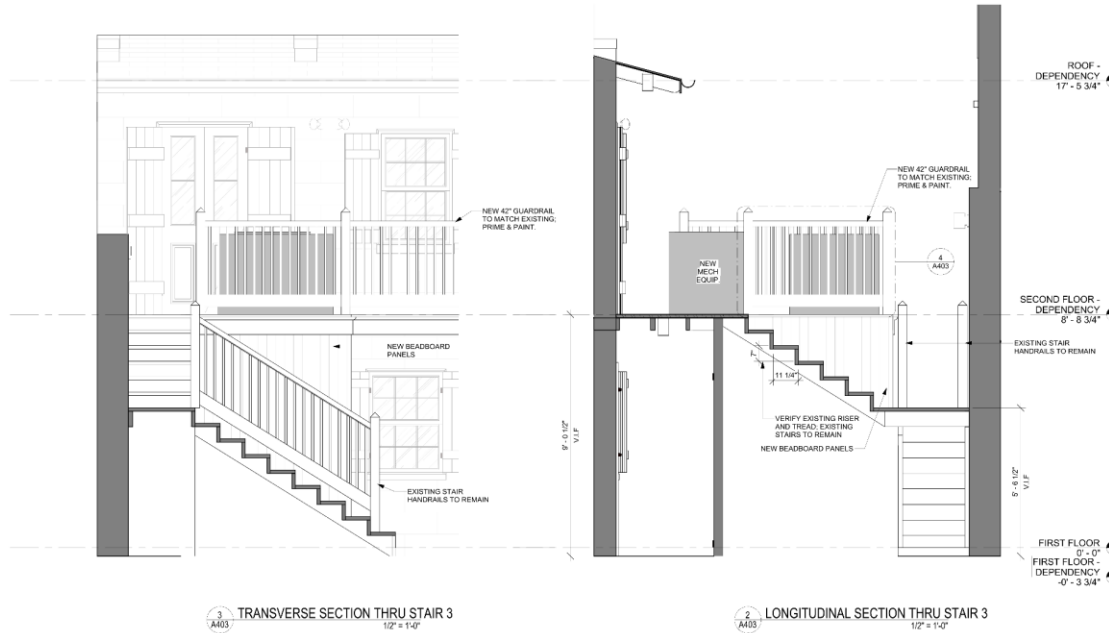


do not scale drawings
1/13/2025 5:58:13 PM Autodesk Docs/718 Bourbon/22009 - 718 Bourbon St.rvt

FOR REFERENCE:
 2015 Life Safety Code, NFPA 101:
7.2.2.4.1.6
 Existing stairs, existing ramps, stairs within dwelling units and within guest rooms, and ramps within dwelling units and guest rooms shall be permitted to have a handrail on one side only.
 2021 International Existing Building Code:
1203.9 Stairway railings.
 Grand stairways shall be accepted without complying with the handrail and guard requirements. Existing handrails and guards at stairways shall be permitted to remain, provided they are not structurally dangerous.

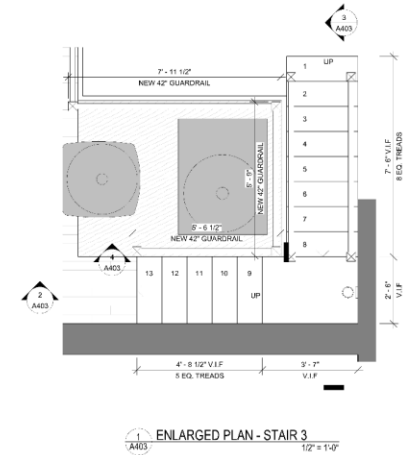


4 NEW DEPENDENCY GUARDRAIL
1 1/2" = 1'-0"



3 TRANSVERSE SECTION THRU STAIR 3
1/2" = 1'-0"

2 LONGITUDINAL SECTION THRU STAIR 3
1/2" = 1'-0"



1 ENLARGED PLAN - STAIR 3
1/2" = 1'-0"



WILLIAMS ARCHITECTS
 824 BARONNE STREET
 NEW ORLEANS, LA 70113
 504-566-0808
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.
 (I will not be held responsible for any errors or omissions in these drawings or specifications.)

PHASE 3 - RENOVATION

Copyright © 2025
 JHN C. BARRA-KING/LLC

PHASE 3 - RENOVATION
718 BOURBON STREET RENOVATION
 718 BOURBON ST. NEW ORLEANS, LA 70116

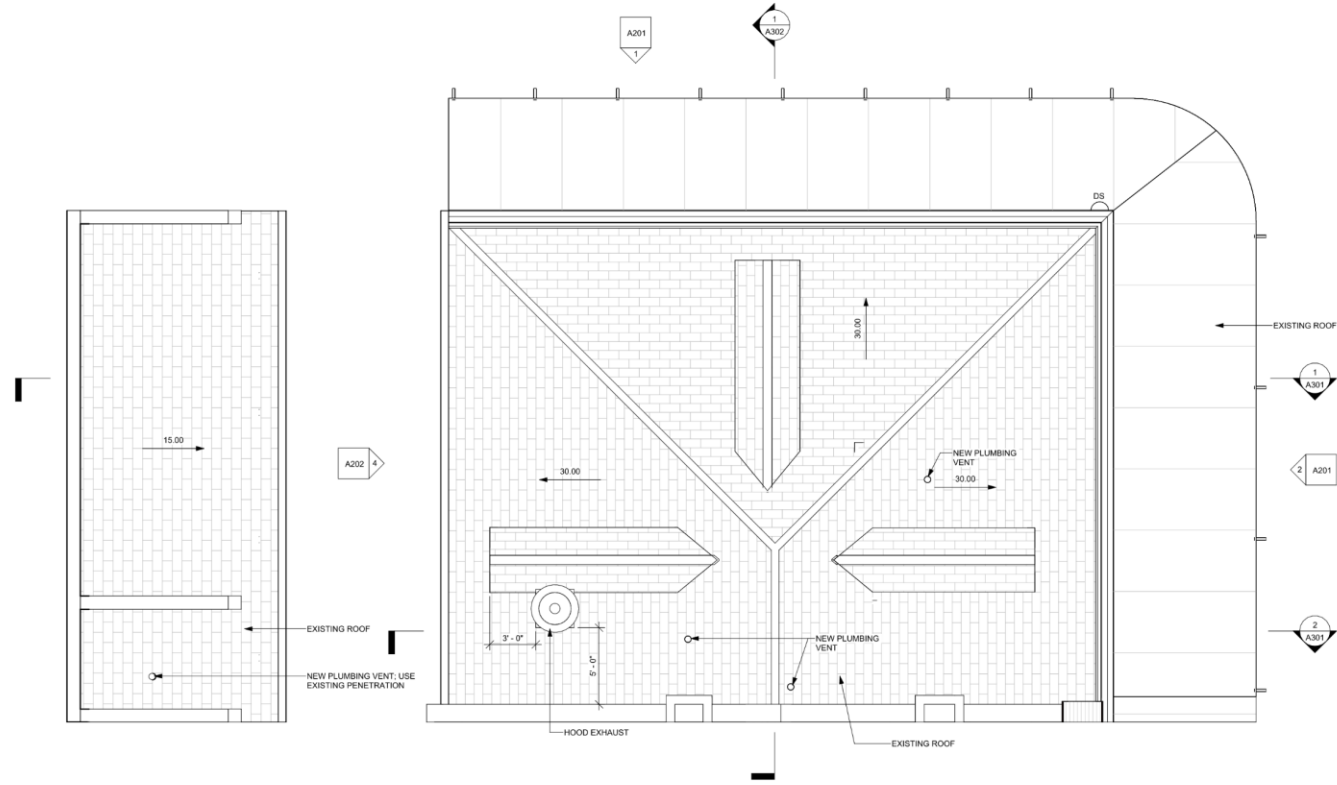
-REVISIONS-		
No.	Date	Scope

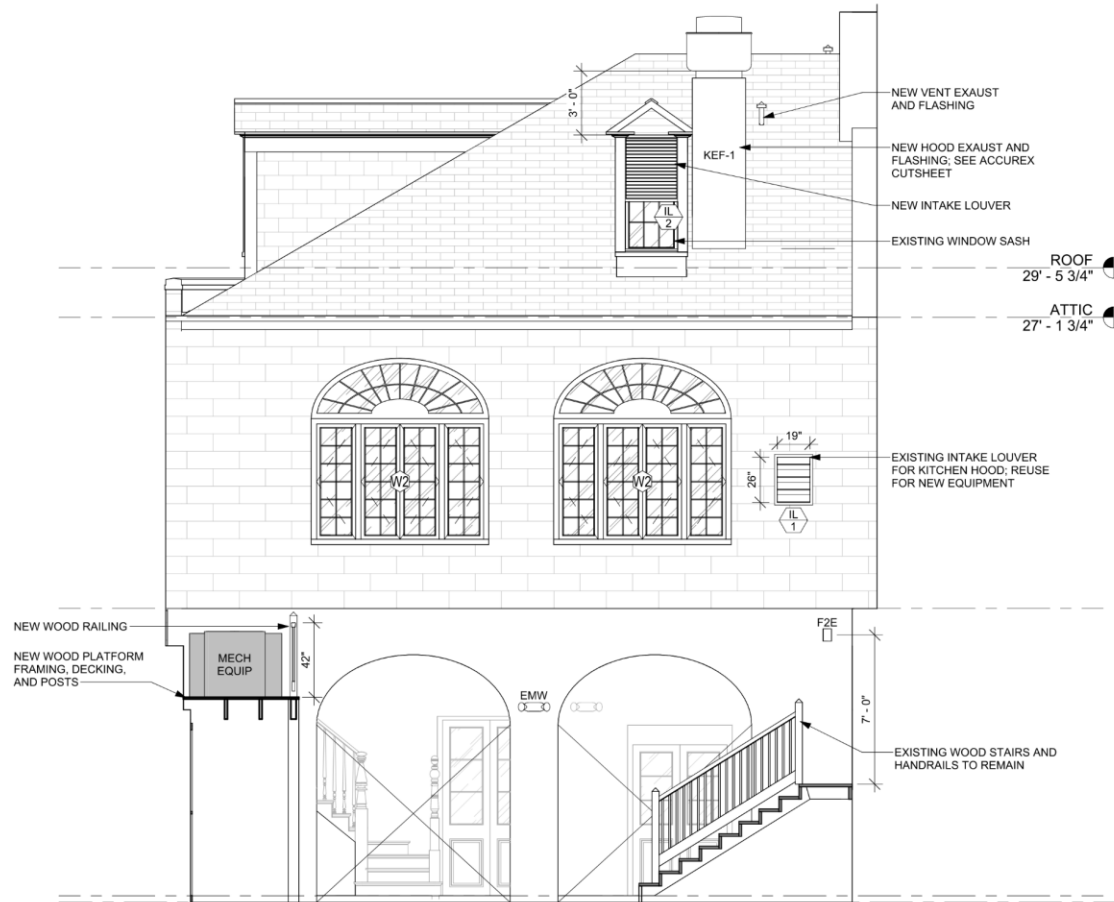
DRAWING BY: MLL
 SCALE: As Indicated
 JOB No.: 522009
 DATE: 09/25/2025
 SHEET NAME: STAIR DETAILS - STAIR 3
 SHEET No.:

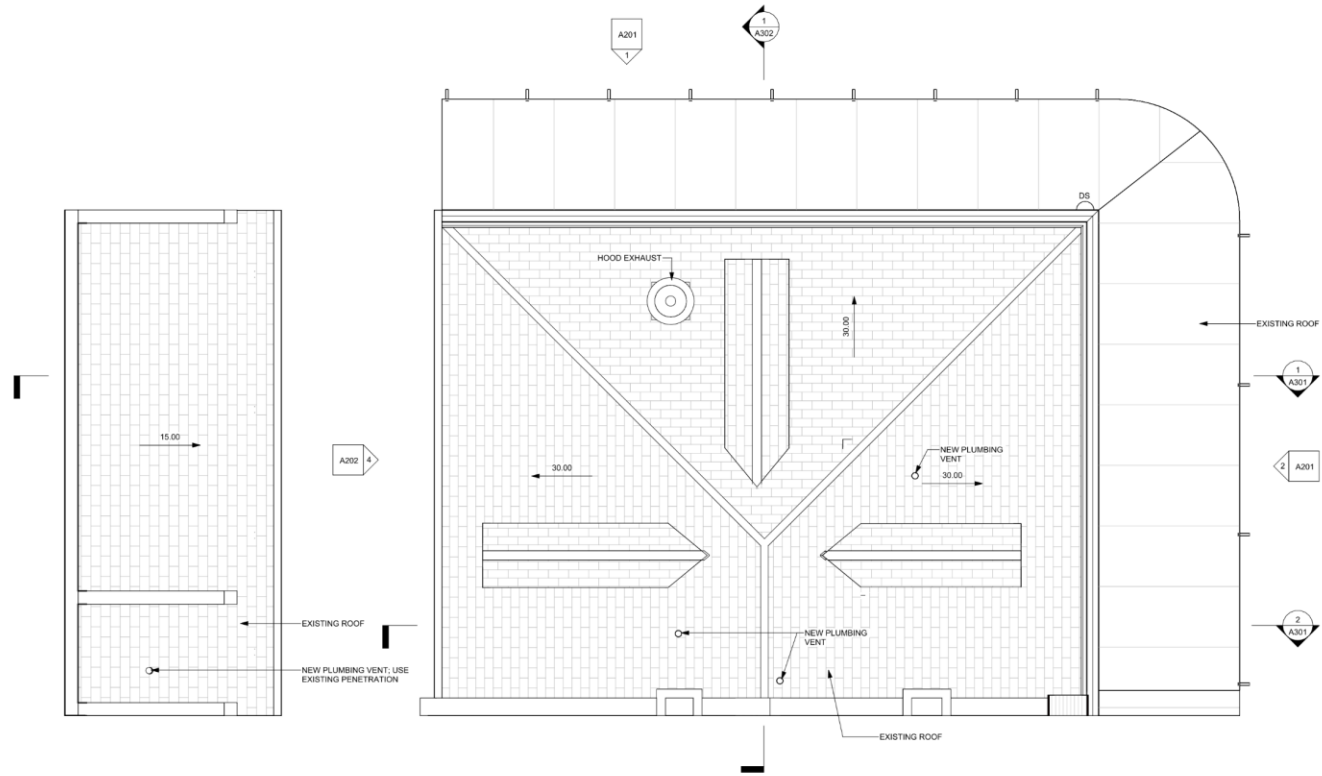
A403

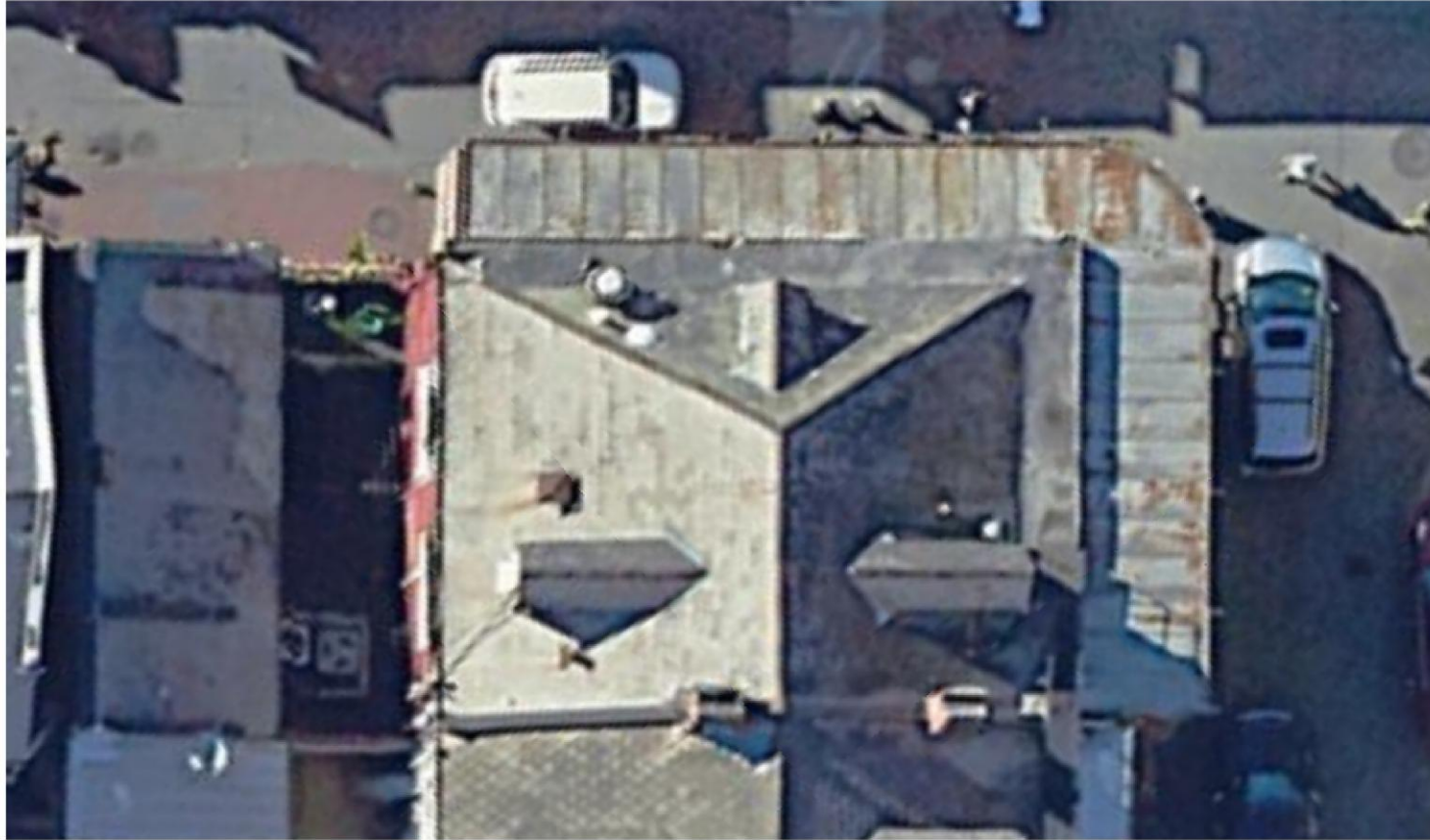
PHASE 3 - RENOVATION 09/25/2025









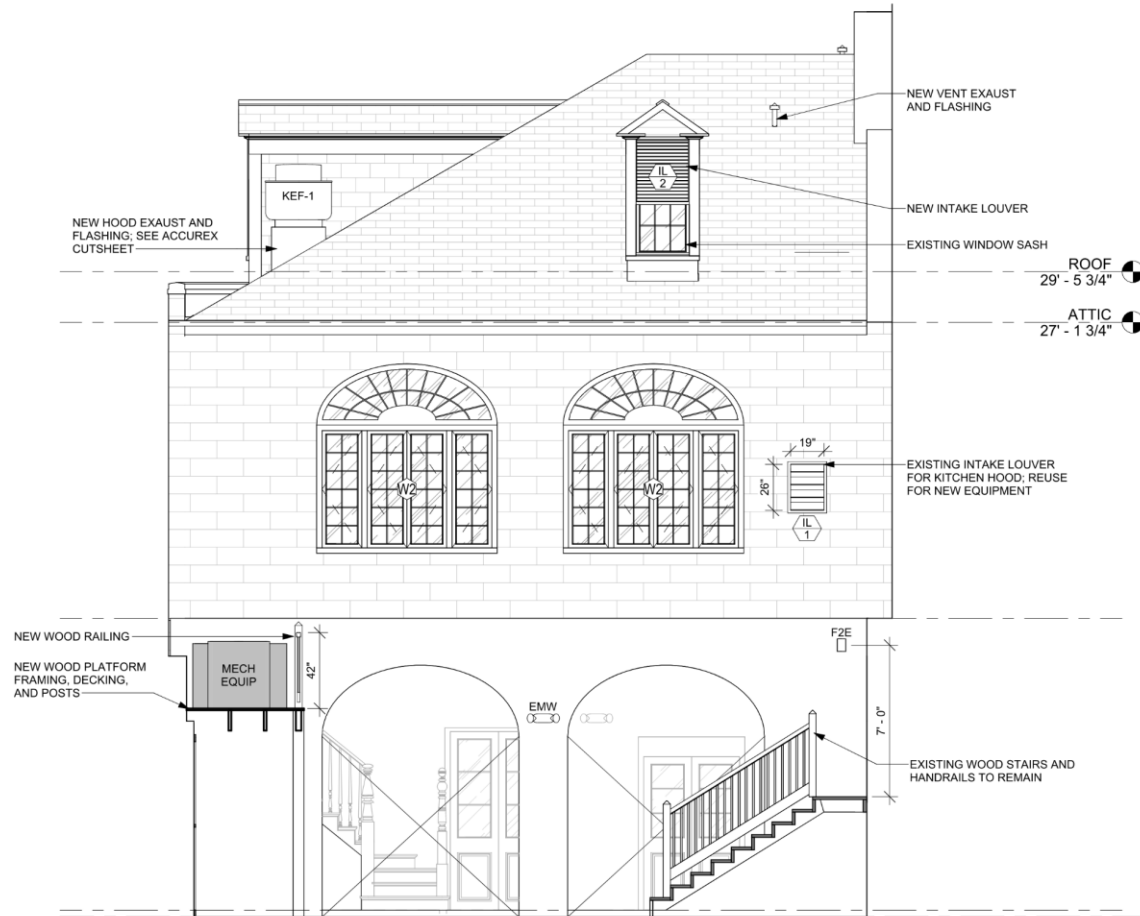


718-20 Bourbon

Vieux Carre Commission

February 19, 2026





05-100-00000-000000

MECHANICAL LEGEND			
	SUPPLY, RETURN, EXHAUST DUCTS UP		SUPPLY DIFFUSER ROUND/SQUARE NECK
	SUPPLY, RETURN, EXHAUST DUCTS DN		SUPPLY DIFFUSER 3,2 AND 1 WAY DISCHARGE
	DUCT OFFSET UP		SIDEWALL SUPPLY GRILLE
	DUCT OFFSET DOWN		RETURN GRILLE ROUND/SQUARE NECK
	TYPE 'B' FIRE DAMPER (1 HOUR RATED)		DIFFUSER / GRILLE TAG
	MANUAL VOLUME DAMPER		REDUCER/INCRASER
	GRAVITY (BAROMETRIC) DAMPER		SQUARE TO ROUND FITTING
	MOTORIZED DAMPER		DUCT SMOKE DETECTOR
	2 HR RATED RADIATION DAMPER		POINT OF NEW CONNECTION
	SMOKE DAMPER		SPIN-IN CONNECTION WITH LOCKABLE MANUAL VOLUME DAMPER
	MANUAL OPPOSED BLADE VOLUME DAMPER (MOV)		SPIN-IN CONNECTION
	THERMOSTAT		SHOE TAP CONNECTION
	HUMIDISTAT		EQUIPMENT TAG
	REMOTE CONTROL PANEL (RAU)		
	EMERGENCY SHUT-DOWN STATION		
	TEMPERATURE TRANSMITTER		
	CARBON DIOXIDE SENSOR		

GENERAL NOTES

- UPON COMPLETION OF JOB, FURNISH OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. MEET WITH OWNER OR OWNER'S REPRESENTATIVE TO INSTRUCT ON OPERATIONS PROCEDURES.
- UPON COMPLETION OF JOB, VERIFY AND PROVIDE REPORT THAT ALL TEMPERATURE CONTROLS ARE OPERATING PROPERLY AND THAT NIGHT SET BACK AND ALL ENERGY SAVING DEVICES HAVE BEEN SET AND THE OWNER IS INSTRUCTED TO PROPER USE.
- MECHANICAL PLANS ARE DIAGRAMMATIC AND SCHEMATIC IN NATURE. COORDINATE ALL DUCT ROUTING AND EQUIPMENT LOCATIONS WITH STRUCTURE. FIELD VERIFY REQUIREMENTS, CHANGES TO DUCTWORK DIMENSIONS FOR CLEARANCE, REASONS IS ACCEPTABLE WHERE THE CROSS-SECTIONAL AREA OF THE AIRWAY SIZE SPECIFIED ON THESE PLANS IS MAINTAINED.
- ALL MECHANICAL EQUIPMENT & MATERIALS SELECTIONS SCHEDULED ON THESE DRAWINGS ARE USED FOR THE DESIGN BASIS OF THE MECHANICAL SYSTEMS. MANUFACTURER SUBSTITUTIONS OF EQUIPMENT & MATERIALS MUST ACQUIRE THE ENGINEER'S APPROVAL AT OR BEFORE THE EQUIPMENT SUBMITTAL PHASE OF PROJECT.

CONTROL SEQUENCES

AIR HANDLING UNIT/CONDENSING UNIT AHU/CU-1

- THE SZ CONSTANT VOLUME UNIT WILL HAVE FACTORY AND FIELD INSTALLED CONTROLS WHICH WILL INCLUDE A PROGRAMMABLE 7-DAY/24-HR THERMOSTAT W/AUTOMATIC HEAT/COOL CHANGE-OVER AND FAN SUB-BASE.
- IN THE 'UNOCCUPIED' CYCLE THE UNIT SHALL REMAIN DE-ENERGIZED AND SHALL CYCLE 'ON' BASED ON A CALL FOR COOLING AND/OR HEATING TO MAINTAIN THE SET UP/SET BACK TEMPERATURES.
- IN THE 'OCCUPIED' CYCLE THE SUPPLY FAN SHALL RUN CONTINUOUSLY.
- THE HEATING AND COOLING SHALL CYCLE TO MAINTAIN SPACE TEMPERATURE.

EXHAUST FANS

- EF-1 - SHALL RUN CONTINUOUSLY DURING OCCUPIED HOURS VIA A TIMELOCK. A FAN SPEED CONTROL IS SUPPLIED FOR BALANCING PURPOSES.
- EF-2 - SHALL RUN VIA INTERLOCK LIGHTING OCCUPANCY SENSOR AT 70 CFM DEFAULT SETTING FOR REQUIRED VENTILATION. A FAN SPEED CONTROL IS SUPPLIED FOR BALANCING PURPOSES.

DRAWING INDEX

NUMBER	DRAWING TITLE	REVISED	BY	DATE
PM-1	GENERAL MECHANICAL NOTES AND OUTLINE SPECIFICATIONS			
M000	LEGEND INDEX, GENERAL NOTES, DESIGN CRITERIA AND CONTROL SEQUENCES			
M001	MECHANICAL SCHEDULES			
M100	FIRST FLOOR MECHANICAL PLAN			
M200	SECOND FLOOR MECHANICAL PLAN			
M300	1 ST FLOOR/ROOF MECHANICAL PLAN			
M400	HEATING/COOLING SUMMARY LOAD SHEETS			

REVISIONS: 1. INCLUDE IN SET
2. REVISED DRAWING SHEET

DESIGN CRITERIA

PROJECT SITE: NEW ORLEANS, LOUISIANA
 PROJECT ELEVATION: 6.5' FEET
 SUMMER OUTSIDE: 95° DB / 81° WB
 WINTER OUTSIDE: 35° DB
 CODES: 2021 INTERNATIONAL MECHANICAL CODE
 2021 INTERNATIONAL PLUMBING CODE
 2021 INTERNATIONAL FUEL GAS CODE
 2021 INTERNATIONAL ENERGY CONSERVATION CODE
 2021 INTERNATIONAL ENERGY CONSERVATION CODE WITH LA AMENDMENTS



These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not be providing advice, construction administration services on this project.



718 BOURBON STREET
 718 BOURBON ST., NEW ORLEANS, LA 70116

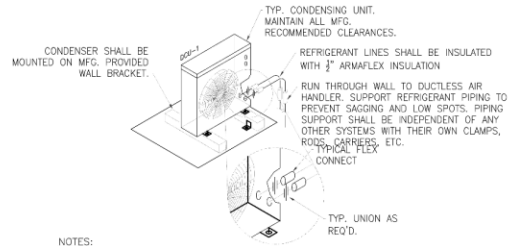
REVISIONS

No.	Date	Scope
1	12-8-25	Air Balance

DRAWING BY: JEA
 SCALE: AS NOTED
 JOB No.: 24-002
 DATE: 12-11-25

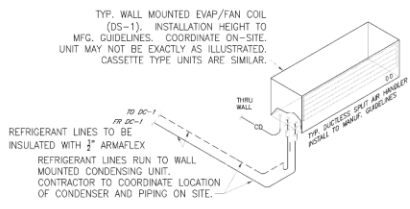
SHEET NAME: INDEX, CRITERIA & DIAGRAMS
 SHEET NO.: M000

pivotal
 engineering
 CIVIL ENVIRONMENTAL
 ELECTRICAL MECHANICAL
 1515 PONDREAS ST., STE. 1150
 NEW ORLEANS, LA 70112
 504-799-3653



- NOTES:**
- THESE DETAILS ARE SCHEMATIC ONLY. EXACT CONFIGURATION AND ROUTING OF ALL REFRIGERANT AND CONDENSATE PIPING TO BE DETERMINED ON-SITE AND COORDINATED W/WORK OF OTHER TRADES. INSTALL TO MANUFACTURER'S GUIDELINES.
 - INSTALL ALL COMPONENTS TO MANUFACTURER'S RECOMMENDATIONS AND GUIDELINES; COORDINATE W/WORK OF OTHER TRADES.
 - THE CONDENSATE SHALL BE ROUTED THROUGH WALL AND TERMINATED 24" ABOVE GRADE.

1 DUCTLESS SPLIT CONDENSER DETAIL
 M000 SCALE NO SCALE



2 DUCTLESS SPLIT AIR HANDLER DETAIL
 M000



DUCTLESS HEAT PUMP SPLIT SYSTEM INDOOR UNIT SCHEDULE

Table with columns: TAG, LOCATION, QTY, SERVICE, OUTSIDE UNIT, MANUF., MODEL, UNIT TYPE, FAN/MOTOR DATA, COOLING DATA, HEATING DATA, RFF. CONNS., UNIT ELECTRICAL, FILTER, GENERAL, TAG.

FEATURES, ACCESSORIES AND OPTIONS:

- A. WIRELESS 7-DAY WALL MOUNT
B. MIN CONDENSATE PUMP
C. WASHABLE FILTER
D. INVERTER COMPRESSOR
E. HEATING SETBACK

- 1. CONDENSATE SHALL BE DIRECTED TO EXTERIOR WALL AND TERMINATED 12" ABOVE GRACE.
2. SECURE CONDENSATE PIPING TO EXTERIOR WALL. AVOID SAGS OR LOW SPOTS IN CONDENSATE PIPING.

DUCTLESS HEAT PUMP SPLIT SYSTEM OUTDOOR UNIT SCHEDULE

Table with columns: TAG, LOCATION, QTY, INSIDE UNIT, MANUF., MODEL, INDOOR MODEL NUMBER, NOM. CAPACITY COOLING/SEAS., NOM. CAPACITY HEATING/SEAS., COMPRESSORS, COND. FINS, COND. HANG, UNIT ELECTRICAL, FILTER DATA, GENERAL, TAG.

FEATURES, ACCESSORIES AND OPTIONS:

- A. WALL BRACKET
B. LOW AMBIENT KIT
C. WIRELESS THERMOSTAT
D. DISCONNECT SWITCH
E. PRE-CHARGED LIQUET
F. INVERTER COMPRESSOR
G. WIND Baffles

- 1. HEATING CAPACITY IS FOR 47° AMBIENT

SPLIT SYSTEM AIR HANDLING UNIT-INDOOR

Table with columns: TAG, LOCATION, SERVICE, MFG., MODEL, NOMINAL CAPACITY, UNIT TYPE, TOTAL CFM, D.A. CFM, E.S.P. (IN W.G.), MOTOR FLA, RPM, H.P., VOLTS/PH, COIL TYPE, FACE AREA, FACE VELOCITY, TOTAL MBH, SENS. MBH, E.A.T. °F, L.A.T. °F, FUEL, HEAT DELTA °F, HEAT LOSS, VOLTS/PH, UNIT MCA, UNIT MOCP, FILTER DATA, GENERAL, TAG.

REQUIRED OPTIONS/ACCESSORIES:

- A. REMOVABLE DRAIN PAN
B. ELECTRIC HEAT SECTION
C. ACCESS PANELS WITH OPTIME SCREWS
D. INTERNAL/EXTERNAL VIBRATION ISOLATION
E. RETURN FILTER BACK
F. 24/7 PROGRAMMABLE HEATING/FAN/OFF AUTO-CHANGE-OVER THERMOSTAT
G. SINGLE POINT POWER ENTRY
H. DISCONNECT

AIR BALANCE MAIN BLDG. Table with columns: DESCRIPTION, SERVICE, DIRECT EXHAUST CFM, MAKE-UP/O.A. CFM.

SPLIT SYSTEM CONDENSING UNIT SCHEDULE-OUTDOOR

Table with columns: TAG, LOCATION, SERVICE, MANUF., MODEL, NOMINAL CAPACITY @ S.L. (MBH), REFRIG. SYSTEM (REF/SEER/SEER2), AMB. TEMP., COMPRESSORS, CONDENSER DATA, UNIT ELECTRICAL, REFR. PIPING, OP. WT. (LBS), OPTIONS, TAG.

REQUIRED OPTIONS/ACCESSORIES:

- A. BLOWER OFF DELAY
B. FACTORY CONTROLS INTERFACE
C. LOW AMBIENT OPERATION
D. FIELD ASSEMBLED REFRIGERANT PIPING OR LINE-SETS SIZED PER MFG.
E. PRE-FABRICATED UNIT MOUNTING BASE
F. LIQUID LINE FILTER-DRYER
G. COMPRESSOR ANTI-CYCLE TIMER

AIR DEVICE SCHEDULE

Table with columns: TAG, MANUF., MODEL, DESCRIPTION, OPTIONS.

- OPTIONS: A. FACTORY STANDARD FINISH. NOTE: VESSEY WALL/CEILING TYPE WITH ARCHITECTURAL PLANS
B. REFER TO DRAWINGS FOR NFOK SIZE AND AIR QUANTITY. AND PROVIDE CORRECT MOUNTING FRAME.
** COORDINATE WITH ARCHITECT FOR COLOR SELECTION. PROVIDE SAMPLES AS REQUIRED.

FAN SCHEDULE

Table with columns: TAG, LOCATION, SERVICE, MANUF., QTY, MODEL, TOTAL CFM, E.S.P. (IN W.G.), FAN DATA, MOTOR DATA, OP. WT. (LBS), OPTIONS, TAG.

OPTIONS/ACCESSORIES:

- 1. PERIMETER, CONCRETE GRAY FINISH
2. SPRING ISOLATION SUSPENSION KIT
3. NEMA 3B-TOGGLE
4. QUICK OPENING INSPECTION DOOR
5. PUNCHED INLET AND OUTLET FLANGE
6. EXTENDED LURE LINES-COPPER
7. MOUNTING RAILE
8. UL/CUL-762 RATED
9. 1" DRAIN CONNECTION
10. JUNCTION BOX WIRED AND MOUNTED
11. GALVANIZED HOUSING
12. NEMA-1 TOGGLE
13. ALUMINUM MIXED FLOW WHEEL
14. 1" ALUMINUM FILTERS-GALVANIZED BOX
15. GALVANIZED INLET CONE
16. GRAVITY DAMPER
17. TIME CLOCK
18. DISCONNECT SWITCH
19. GALVANIZED HOUSING ISOLATION
20. SIDEWALL OR ROOF CAP

LOUVER SCHEDULE

Table with columns: TAG, LOCATION, SERVICE, MANUFACTURER, MODEL, WIDTH (IN), HEIGHT (IN), DEPTH (IN), TIREL AREA S.F., MAX. CFM, MAX. VEL. FPM, MAX. AIR F.L.D. (IN W.G.), BLADE TYPE, EXTERIOR BLADE ANGLE, NOTES, TAG.

NOTES:

- 1. 4" DEEP EXTERIOR FRAME, 0.8" TYPEDRY ALUMINUM
2. FLASHING PACKAGE
3. MILL FINISH, READY FOR PAINT.
4. BIRDSCREEN



WILLIAMS ARCHITECTS
824 BARRONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by us to allow you, the owner, to select the products and materials to be used in your project. We do not warrant the accuracy or completeness of the information provided herein, and we do not assume any liability for errors or omissions.

I shall not be held responsible for any construction or installation errors on this project.



718 BOURBON STREET
718 BOURBON ST. NEW ORLEANS, LA 70116

REVISIONS-

Table with columns: No., Date, Scope.

DRAWING BY: JEA
SCALE: AS NOTED
JOB No: 24-002
DATE: 12-11-25

SHEET NAME: MECHANICAL EQUIPMENT SCHEDULES
SHEET No.

pivotal engineering
CIVIL/ENVIRONMENTAL
ELECTRICAL/MECHANICAL
1515 PONDRAIS ST., STE. 1150
NEW ORLEANS, LA 70112
504.799.3553

M001



GENERAL NOTES

(THIS SHEET ONLY)

1. THE GC SHALL COORDINATE THE MECHANICAL CONTRACTOR AND THE STRUCTURAL CONTRACTOR FOR ALL FLOOR/CEILING PENETRATIONS TO AVOID CONFLICTS WITH EXISTING FLOOR/CEILING JOISTS OR OTHER STRUCTURAL ELEMENTS.
2. THE LOCATIONS OF THE VARIABLE REFRIGERANT FLOW HEADS (VRF) ARE SCHEMATIC. CONTRACTOR SHALL COORDINATE THE MECHANICAL CONTRACTOR TO INSTALL THE HEADS AS CLOSE TO THE INDICATED LOCATIONS AS POSSIBLE.

KEY NOTES

(THIS SHEET ONLY)

1. CONTRACTOR SHALL ROUTE AN OUTSIDE AIR DUCT TO THE RETURN PLENUM OF AHU-1. THE OUTSIDE AIR DUCT CAN BE A 14" 12x12 OR 20x8. CONTRACTOR SHALL FIELD VERIFY AND COORDINATE OUTSIDE AIR DUCT INTAKE AND ROUTING LOCATION WITH ARCHITECT.
2. NOT USED.
3. CONTRACTOR SHALL COORDINATE ALL EXHAUST AIR DISCHARGES TO MAINTAIN ALL REQUIRED CLEARANCES FROM OUTSIDE AIR INTAKES INCLUDING OPERABLE WINDOWS AND DOORS. MOUNT SIDEWALL DISCHARGE AS HIGH AS PRACTICAL ON WALL.
4. BRANCH BOX FOR FIRST FLOOR VRF. CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH OWNER AND EQUIPMENT SUPPLIER.



WILLIAMS ARCHITECTS
824 BARBONNE STREET
NEW ORLEANS, LA 70113
504-560-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I have undertaken providing proper construction administration services on this project.



718 BOURBON STREET
718 BOURBON ST. NEW ORLEANS, LA 70116

REVISIONS-

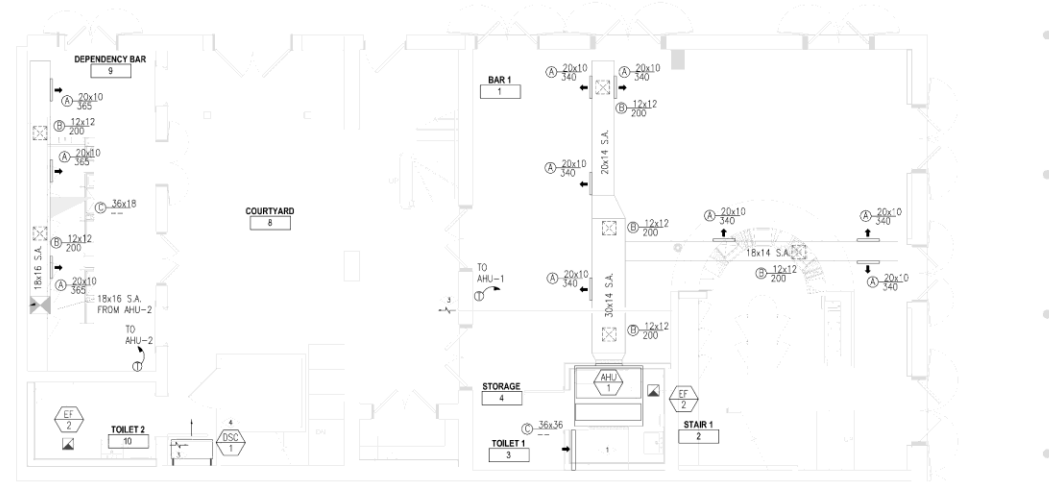
No.	Date	Scope

DRAWING BY: JEA
SCALE: AS NOTED
JOB No.: 24-002
DATE: 09/26/2025

SHEET NAME: FIRST FLOOR MECHANICAL PLAN
SHEET NO.:

M100

pivotal
engineering
CIVIL, ENVIRONMENTAL
ELECTRICAL, MECHANICAL
1519 PONDCHARS ST., STE. 1150
NEW ORLEANS, LA 70112
504.799.3653



FIRST FLOOR MECHANICAL PLAN
M100 SCALE: 1/4" = 1'-0"

718-20 Bourbon

Vieux Carre Commission

February 19, 2026

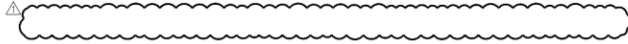


do not scale drawings

GENERAL NOTES

(THIS SHEET ONLY)

- 1. THE GC SHALL COORDINATE THE MECHANICAL CONTRACTOR AND THE STRUCTURAL CONTRACTOR FOR ALL FLOOR/CEILING PENETRATIONS TO AVOID CONFLICTS WITH EXISTING FLOOR/CEILING JOISTS OR OTHER STRUCTURAL ELEMENTS.



KEY NOTES

(THIS SHEET ONLY)

- ◇ CONTRACTOR SHALL ROUTE AN OUTSIDE AIR DUCT TO THE RETURN PLenum OF AHU-1. THE OUTSIDE AIR DUCT CAN BE A 14"Ø, 12x12 OR 20x8. CONTRACTOR SHALL FIELD VERIFY AND COORDINATE OUTSIDE AIR DUCT INTAKE AND ROUTING LOCATION WITH ARCHITECT.
- ◇ NOT USED.
- ◇ CONTRACTOR SHALL COORDINATE ALL EXHAUST AIR DISCHARGES TO MAINTAIN ALL REQUIRED CLEARANCES FROM OUTSIDE AIR INTAKES INCLUDING OPERABLE WINDOWS AND DOORS. MOUNT SIDEWALL DISCHARGE AS HIGH AS PRACTICAL ON WALL.
- △ MOUNT DSC-1 AS HIGH AS PRACTICAL ON WALL WITH MFC SUPPLIED WALL BRACKET.



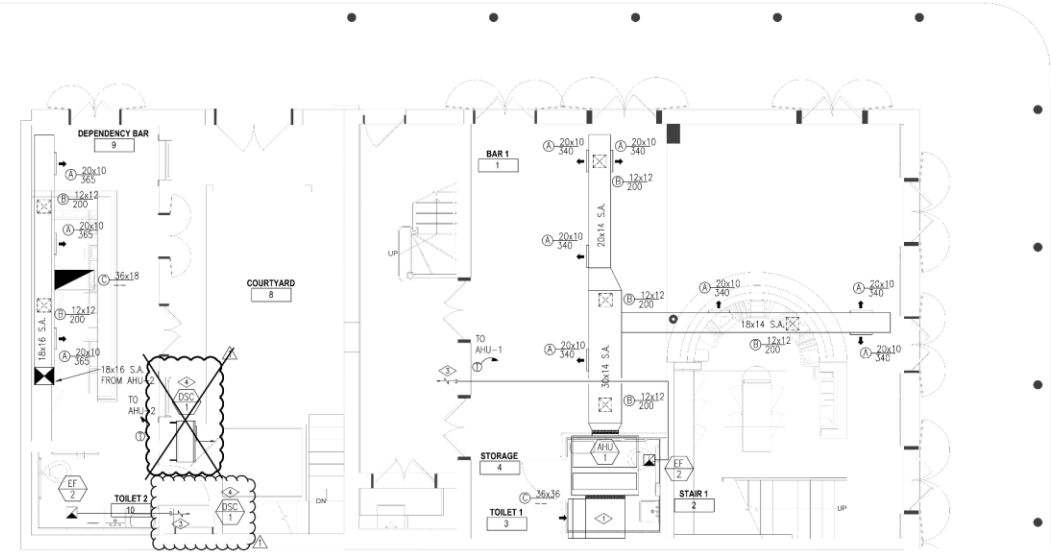
WILLIAMS ARCHITECTS
 824 SARONNE STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not be providing project construction administration services on this project.



718 BOURBON STREET
 718 BOURBON ST. NEW ORLEANS, LA 70116



FIRST FLOOR
 MECHANICAL PLAN
 1/1000 SCALE 1/4" = 1'-0"

pivotal
 engineering
 CIVIL ENVIRONMENTAL
 ELECTRICAL MECHANICAL
 1515 PONDRAIS ST., STE. 1150
 NEW ORLEANS, LA 70112
 504.799.3653

REVISIONS-

No.	Date	Scope
1	12-9-25	Air Balance

DRAWING BY: JEA
 SCALE: AS NOTED
 JOB No: 24-002
 DATE: 12-11-25

SHEET NAME: FIRST FLOOR MECHANICAL PLAN
 SHEET NO.:

M100



do not scale drawings

GENERAL NOTES

(THIS SHEET ONLY)

1. THE GC SHALL COORDINATE THE MECHANICAL CONTRACTOR AND THE STRUCTURAL CONTRACTOR FOR ALL FLOOR/CEILING PENETRATIONS TO AVOID CONFLICTS WITH EXISTING FLOOR/CEILING JOISTS OR OTHER STRUCTURAL ELEMENTS.
2. ALL FLOOR/CEILING PENETRATIONS SHALL BE PROTECTED WITH FIRE DAMPERS. DAMPERS SHALL BE LABELED AND ACCESS TO DAMPERS SHALL BE PROVIDED.
3. CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL EQUIPMENT LOCATIONS WHILE MAINTAINING ALL REQUIRED MAINTENANCE AND SERVICE CLEARANCES.

KEY NOTES

(THIS SHEET ONLY)

- ◇ 18x16 RETURN AIR FOR AHU-4 DOWN FROM 3RD FLOOR. 1600CFM. COVER OPENING WITH 2"x2" HARDWARE CLOTH. OFFSET AS REQUIRED AND TERMINATE LEVEL WITH BOTTOM OF JOIST.
- ◇ 18x16 SUPPLY AIR FROM AHU-4 DOWN FROM 3RD FLOOR. 1800 CFM.
- ◇ MFG. TITUS 300PL OR SIMILAR. 25x10. 500 CFM EACH
- ◇ PROVIDE ACCESS FOR SERVICE AND MAINTENANCE FOR AHU-2
- ◇ PROVIDE ARCHITECTURAL SCREENING WHERE REQUIRED. CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND OWNER ON TYPE, SIZE AND LOCATION.
- ◇ EF-2 4" DISCHARGE TO FOLLOW ROUTING OF PREVIOUSLY EXISTING EXHAUST FAN IN THIS AREA. CONTRACTOR TO DETERMINE EXACT ROUTING IN FIELD. TERMINATE EXHAUST DISCHARGE WITH NEW ROOF-JACK AND HIGH WIND CAP.



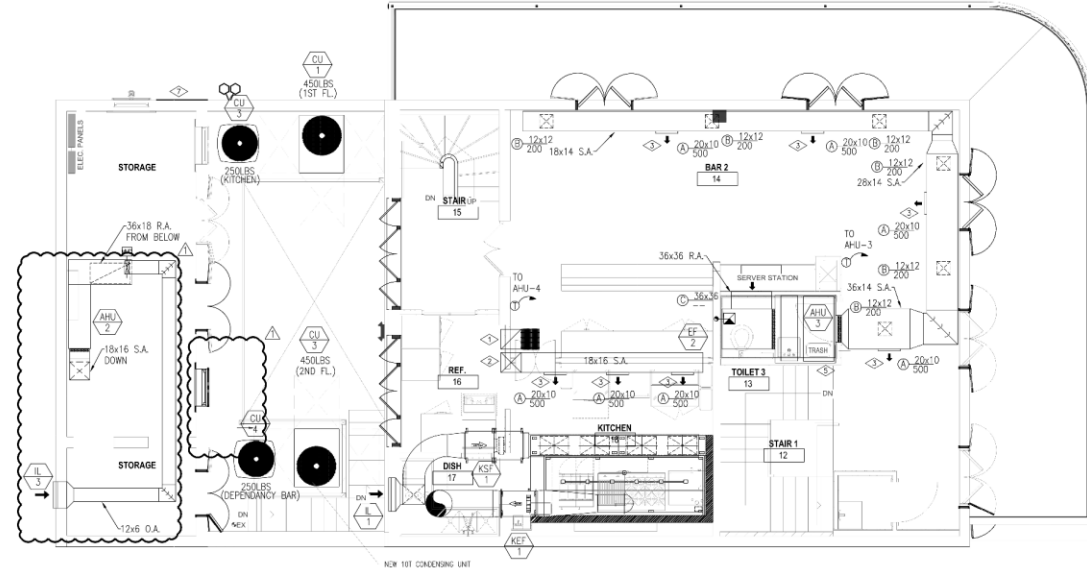
WILLIAMS ARCHITECTS
 824 BARONNE STREET
 NEW ORLEANS, LA 70113
 504-566-9888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not practice providing under construction administrative services on this project.



718 BOURBON STREET
 718 BOURBON ST., NEW ORLEANS, LA 70116



SECOND FLOOR
 MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"

pivotal
 e n g i n e e r i n g
 CIVIL ENVIRONMENTAL
 1515 POYDRAS ST., STE. 1150
 NEW ORLEANS, LA 70112
 504.799.3653

-REVISIONS-

No.	Date	Scope
1	12-9-25	Air Balance

DRAWING BY: JEA
 SCALE: AS NOTED
 JOB No.: 24-052
 DATE: 12-11-25

SHEET NAME:
 SECOND FLOOR
 MECHANICAL
 PLAN
 SHEET NO.:
M200



do not scale drawings

GENERAL NOTES

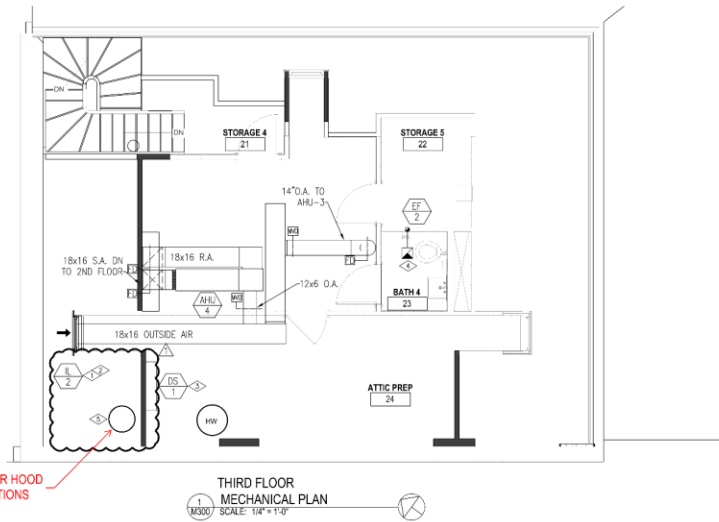
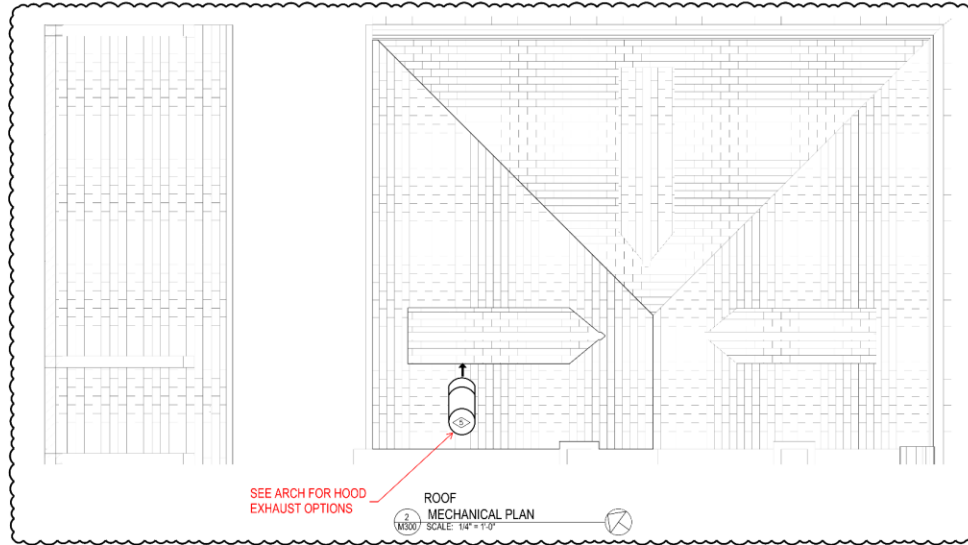
(THIS SHEET ONLY)

1. THE GC SHALL COORDINATE THE MECHANICAL CONTRACTOR AND THE STRUCTURAL CONTRACTOR FOR ALL FLOOR/CEILING PENETRATIONS TO AVOID CONFLICTS WITH EXISTING FLOOR/CEILING JOISTS OR OTHER STRUCTURAL ELEMENTS.
2. ALL FLOOR/CEILING PENETRATIONS SHALL BE PROTECTED WITH FIRE DAMPERS. DAMPERS SHALL BE LABELED AND ACCESS TO DAMPERS SHALL BE PROVIDED.

KEY NOTES

(THIS SHEET ONLY)

- ◊ IL-2 INSTALLED IN EXISTING DORMER WINDOW FRAME
- ◊ CONTRACTOR SHALL COORDINATE EXACT LOCATION OF OUTSIDE AIR INTAKE WITH ARCHITECT AND OWNER.
- ◊ LOCATION OF DS-1 IS SCHEMATIC IN NATURE. CONTRACTOR TO COORDINATE EXACT LOCATION WITH ARCHITECT AND OWNER. DS-1 CAN BE LOCATED ANYWHERE IN THE ATTIC AREA.
- ◊ EF-2 4" Ø DISCHARGE TO FOLLOW ROUTING OF PREVIOUSLY EXISTING EXHAUST FAN IN THIS AREA. CONTRACTOR TO DETERMINE EXACT ROUTING IN FIELD. TERMINATE EXHAUST DISCHARGE WITH NEW BOOT/JACK AND HIGH WIND CAP.
- ◊ EXHAUST TERMINATION SHALL BE A MINIMUM OF 36 INCHES VERTICALLY ABOVE THE INTAKE (COVER, I-2) ABOVE THE DORMER AND DIRECTED AWAY FROM THE PROPERTY LINE.



WILLIAMS ARCHITECTS
 824 SARONNE STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not be providing project construction administrative services on this project.



718 BOURBON STREET
 718 BOURBON ST. NEW ORLEANS, LA 70116

REVISIONS-

No.	Date	Scope
1	12-9-25	Air Balance

DRAWING BY: JEA
 SCALE: AS NOTED
 JOB No: 24-002
 DATE: 12-11-25

SHEET NAME:
 THIRD FLOOR/ROOF
 MECHANICAL PLAN

SHEET NO.

pivotal
 engineering
 CIVIL ENVIRONMENTAL
 ELECTRICAL MECHANICAL
 1516 POYDRAS ST., STE. 1150
 NEW ORLEANS, LA 70112
 504.799.3653

M300





718-20 Bourbon – previously existing hood vent, 2021





718-20 Bourbon

Vieux Carre Commission

February 19, 2026





718-20 Bourbon

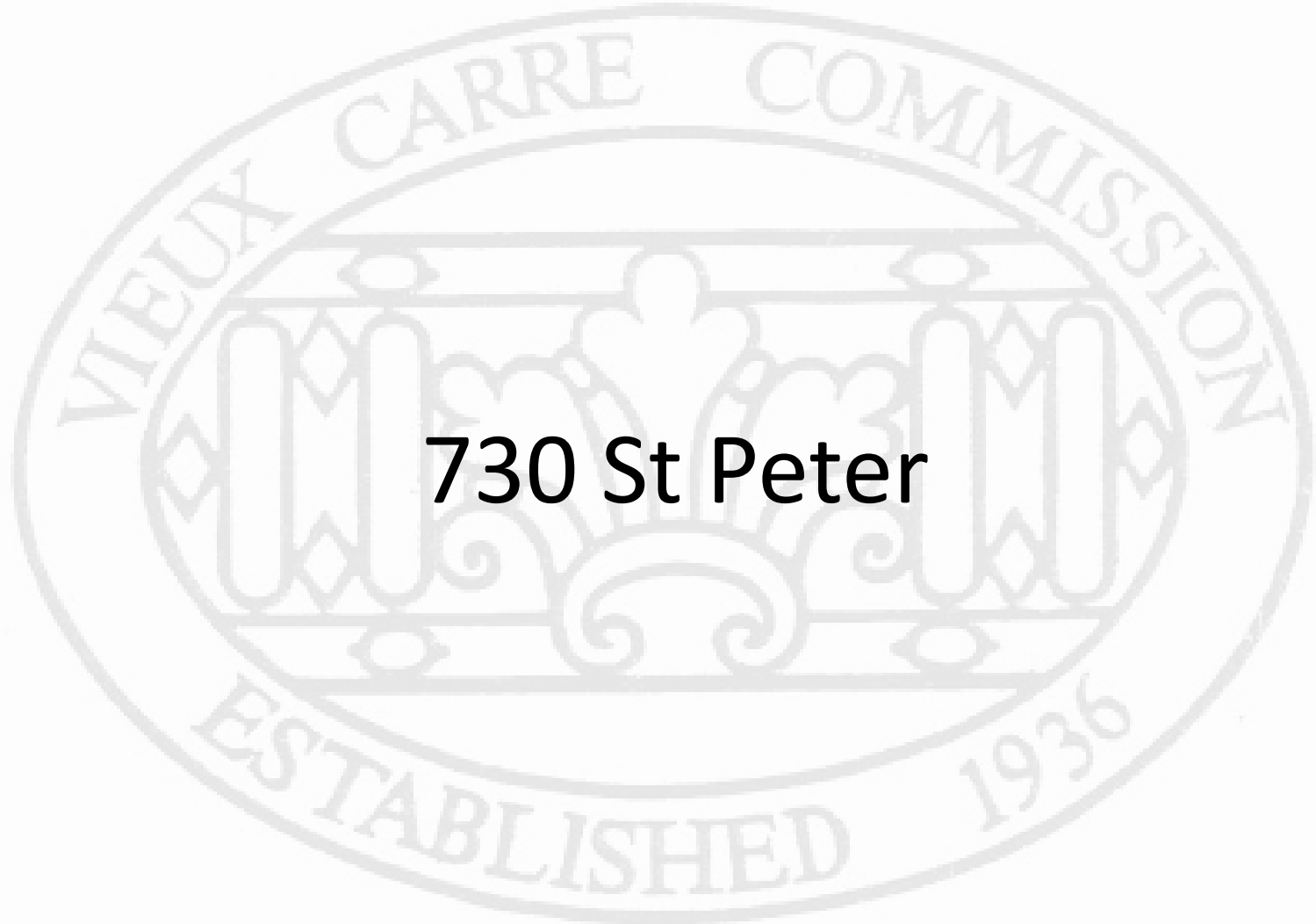
Vieux Carre Commission

February 19, 2026





Appeals and Violations



730 St Peter



730-732 St Peter

Vieux Carre Commission

February 19, 2026





730-732 St Peter

Vieux Carre Commission

February 19, 2026





730-732 St Peter – 1860 plan book



730-732 St Peter – 1930s – 40s?

Vieux Carre Commission

February 19, 2026





730-732 St Peter – 1950s?

Vieux Carre Commission

February 19, 2026





730-732 St Peter – 1963

Vieux Carre Commission

February 19, 2026





730-732 St Peter

Vieux Carre Commission

February 19, 2026





730-732 St Peter

Vieux Carre Commission

February 19, 2026





730-732 St Peter

Vieux Carre Commission

February 19, 2026





730-732 St Peter

Vieux Carre Commission

February 19, 2026





730-732 St Peter

Vieux Carre Commission

February 19, 2026





730-732 St Peter

Vieux Carre Commission

February 19, 2026





730-732 St Peter

Vieux Carre Commission

Nov 19, 2025 3:29:56 PM

February 19, 2026





730-732 St Peter – previous conditions





730-732 St Peter – previous conditions

Vieux Carre Commission

February 19, 2026





730-732 St Peter – previous conditions





726 St. Peter – ca. 1920

Vieux Carre Commission

February 19, 2026





730-732 St Peter – 1941

Vieux Carre Commission

February 19, 2026





730-732 St Peter – 1978

Vieux Carre Commission

February 19, 2026





730-732 St Peter – provided by applicant

Vieux Carre Commission

February 19, 2026





730-732 St Peter – provided by applicant

Vieux Carre Commission

February 19, 2026





730-732 St Peter – provided by applicant

Vieux Carre Commission

February 19, 2026





730-732 St Peter – provided by applicant

Vieux Carre Commission

February 19, 2026





730-732 St Peter – provided by applicant





730-732 St Peter – provided by applicant





- CIVIL
- STRUCTURAL
- INDUSTRIAL
- MARINE

January 26, 2026

Mr. John C. Williams
 Owner
 Williams Architect, LLC
 824 Baronne Street
 New Orleans, Louisiana 70113

*RE: 730 St. Peter Street
 New Orleans, Louisiana 70116
 Letter*

Dear Mr. Williams:

In accordance with your request, we performed a limited visual observation of the above property as it relates to an existing multi-wythe brick masonry wall. We understand that your office intends to add an extension to the top of the existing masonry wall to match the historic height of the wall, which was previously removed. Your office provided us with historic photographs showing the wall at its full height. Accordingly, we opine the wall may be restored to its original height.

Thank you for the opportunity to provide this information to you. Please contact our office if you are in need of further assistance. We reserve the right to amend this report if additional information becomes available.

Respectfully,
 Carubba Engineering, Inc.

Matthew T. Dauphin, P.E.
 Lead Civil Engineer
 w/ attachments

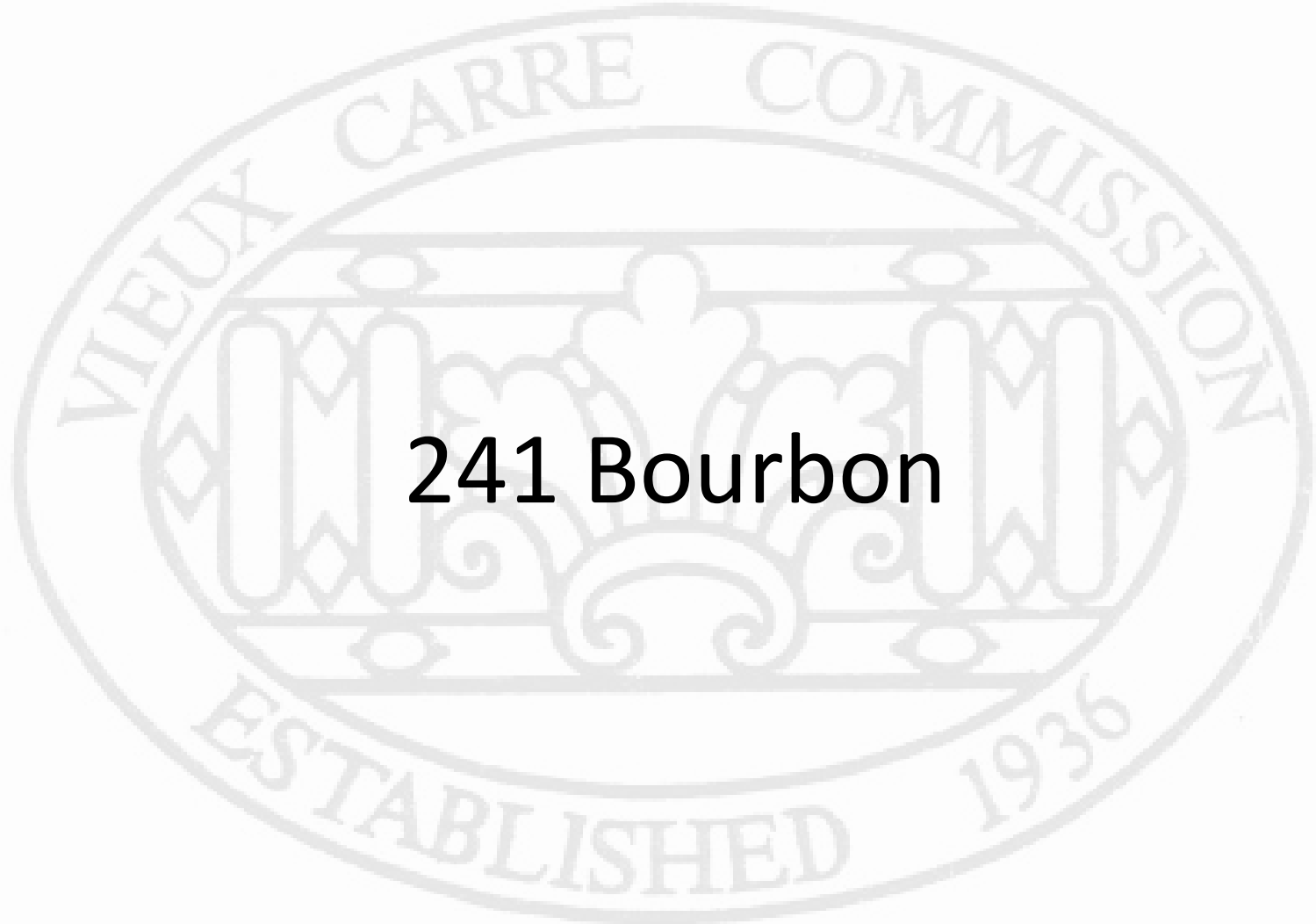


01/26/2026

O:\Carubba\2025\072 730 St. Peter Street\Documents\2026.01.26 Letter.docx

3400 Hessmer Avenue • Metairie, Louisiana 70002
 Phone: 504.888.1490 • www.carubbaengineering.com





241 Bourbon



235-41 Bourbon

Vieux Carre Commission

February 19, 2026





235-41 Bourbon - 1963
Vieux Carre Commission

February 19, 2026





235-41 Bourbon - 1965

Vieux Carre Commission

February 19, 2026





235-41 Bourbon - 2008

Vieux Carre Commission

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

February 19, 2026





235-41 Bourbon - 2009

Vieux Carre Commission

February 19, 2026





235-41 Bourbon - 2010

Vieux Carre Commission

February 19, 2026





235-41 Bourbon – 2010 Repairs in Progress

Vieux Carre Commission

February 19, 2026





235-41 Bourbon – 2011

Vieux Carre Commission

February 19, 2026





235-41 Bourbon – 2013

Vieux Carre Commission

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

10 19 2022

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

04 23 2025

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

10 08 2025

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

10 08 2025

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

10 08 2025

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

11 18 2025

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

11 18 2025

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

11 18 2025

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

11 18 2025

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

11 18 2025

February 19, 2026



235-41 Bourbon
Vieux Carre Commission



11 18 2025

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

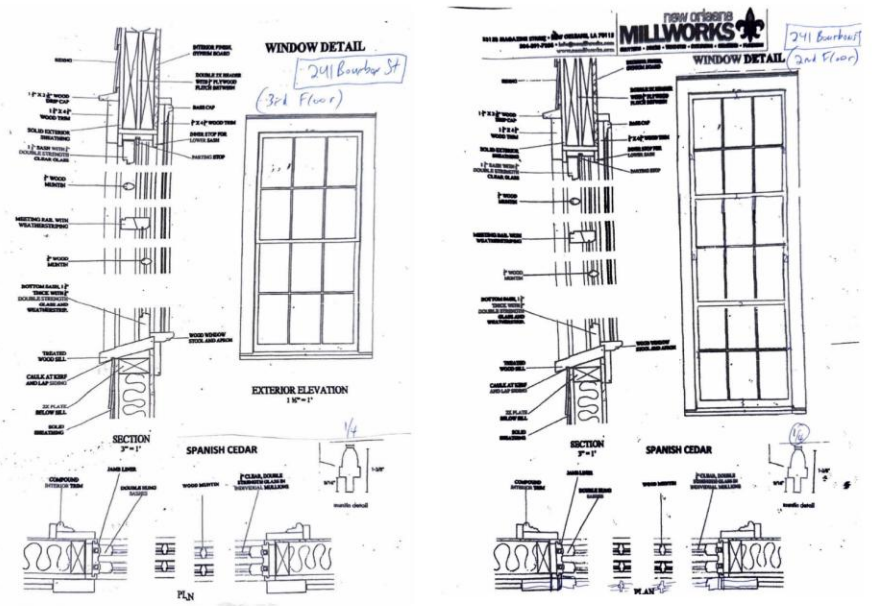
11 18 2025

February 19, 2026





REMOVE EXISTING FALSE WINDOW AND REPLACE WITH HISTORICALLY ACCURATE SINGLE WINDOW



GENERAL NOTE - EXTERIOR ELEVATIONS:
REPLACE ALL DAMAGED, EXISTING WINDOWS EXACTLY IN KIND.



REMOVE EXISTING FALSE WINDOW AND REPLACE WITH HISTORICALLY ACCURATE SINGLE WINDOW

VCC NORTH ELEVATION - BIENVILLE ST. (2)
1/8\"/>



VCC EAST ELEVATION - BOURBON ST. (2)
1/8\"/>

WILLIAMS ARCHITECTS
524 BROADWAY STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not be providing project construction administration services on this project.

Copyright © 2024
Jeff Williams Architects LLC

CONSTRUCTION DOCUMENTS
235, 237, 239, 241 Bourbon St, New Orleans, LA
70112

-REVISIONS-		
No.	Date	Scope
21	12/22/2023	VCC - NEW WINDOWS

DRAWING
BOURBON ST FACADE
REVISIONS

DRAWING BY: MLL
SCALE: 1/8" = 1'-0"
JOB No.: 520716
DATE: 12/22/2023
Sheet No.:

11.6





To Whom it May Concern,

Upon evaluation of the (12) second story walk thru windows at 241 Bourbon; we found all jambs are cut 3 inches short and have rot at the terminal ends. Most stops between sashes are pieced in where 1 stop should run the entire height of the window. Many stops that exist are rotten or missing. The exterior casing / brick molding is full of bondo filler and malformed. Many sections are only bondo shaped poorly to look like the wood which preexisted.

The sashes are in poor condition. Many of them are racked and few are square so function is limited by the sashes. All sashes need new glazing, and many have broken glass. Some sashes have broken and rotten rails, especially at the bottom.

Finally, the alignment of the 3 sashes in each opening do not line up horizontally with the window to the left or right of it. Some sashes are not square in the jamb and therefore align only at an angle.

It is my professional opinion that these 12 units should be replaced with new matching units made with Spanish cedar, appropriate glass, and all glazed with appropriate glazing.

Thank you,

Scott Taranto

Owner New Orleans Millworks

(404) 441-4607

New Orleans Millworks
3315B Magazine Street
New Orleans, LA 70115
504.891.7338 (Office)

www.nomillworks.com

nolamillworks@gmail.com

235-41 Bourbon

Vieux Carre Commission

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

February 19, 2026





235-41 Bourbon
Vieux Carre Commission

February 19, 2026



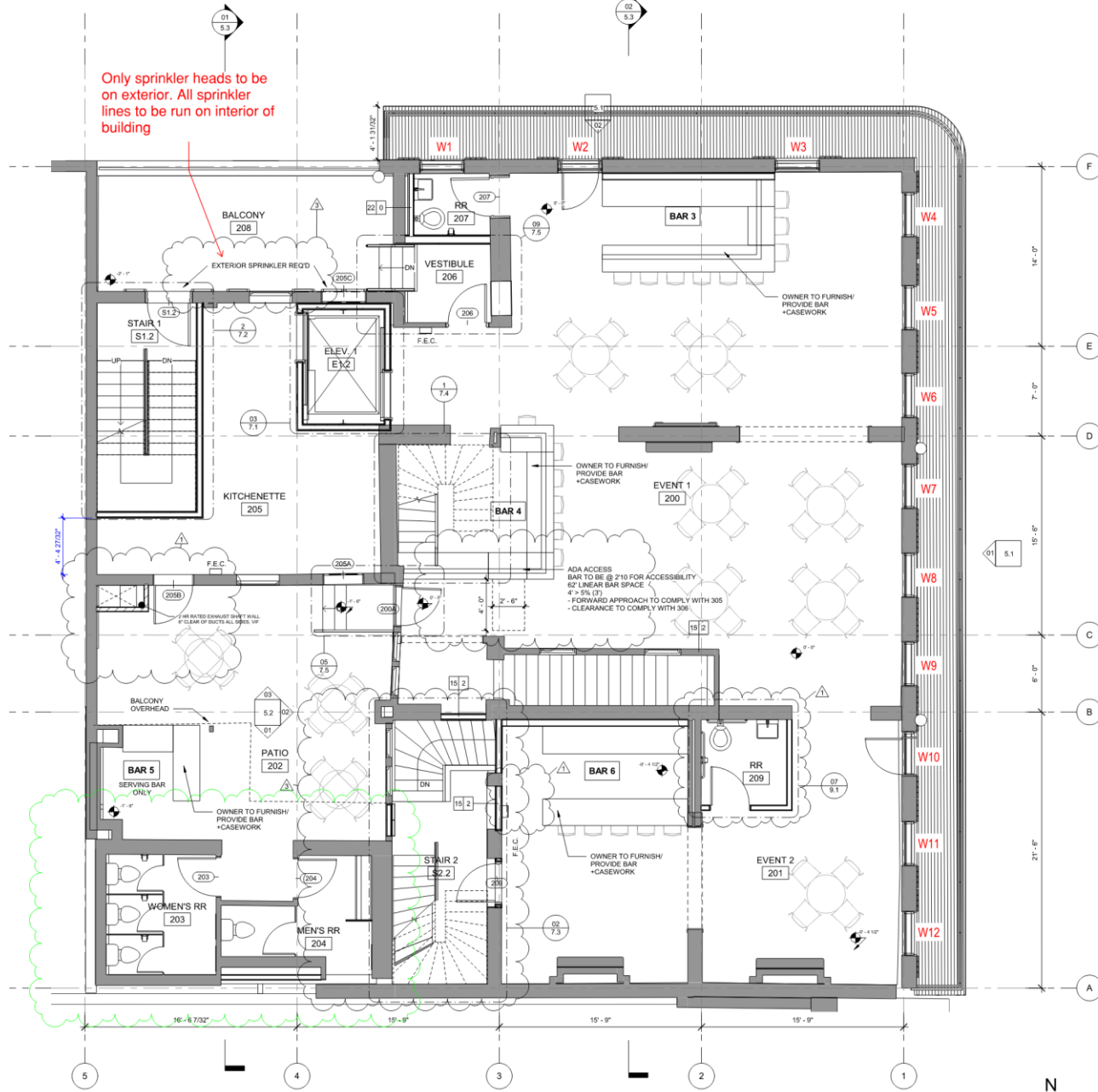


235-41 Bourbon
Vieux Carre Commission

February 19, 2026



Only sprinkler heads to be on exterior. All sprinkler lines to be run on interior of building



01 SECOND FLOOR PLAN
1/4" = 1'-0"

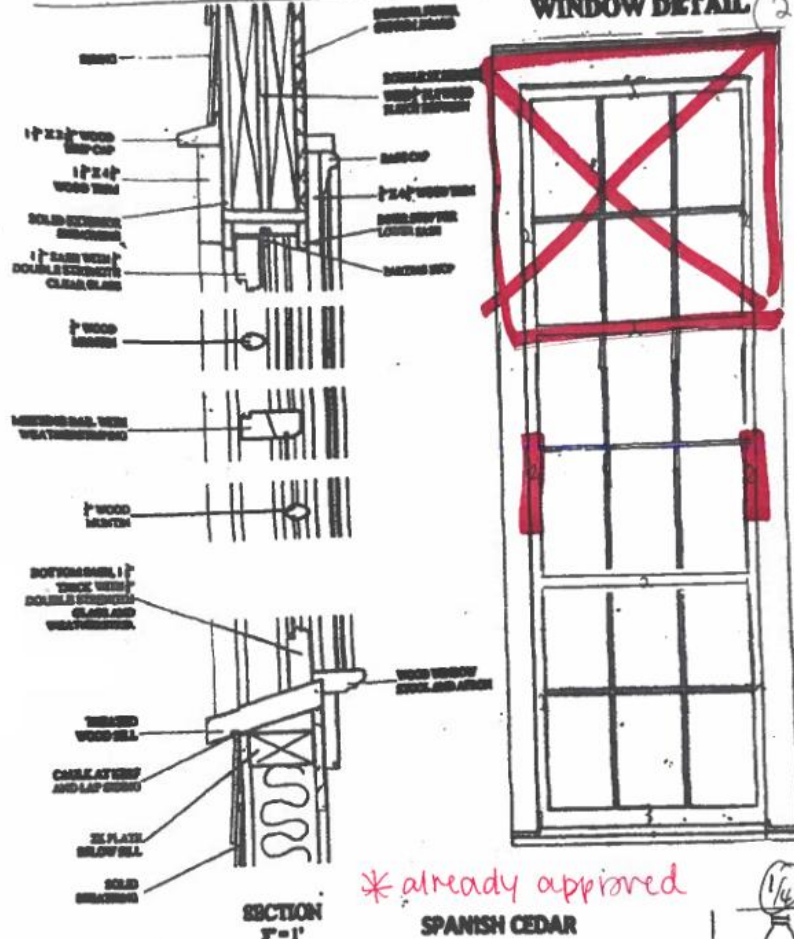
235-41 Bourbon
Vieux Carre Commission

February 19, 2026



241 Bourbon St
 (2nd Floor)

WINDOW DETAIL



W1

* already approved
 SPANISH CEDAR

EXISTING CONDITIONS
 DAMAGED/ROTTED





235-41 Bourbon

Vieux Carre Commission

01 22 2026

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

01 22 2026

February 19, 2026





01 22 2026

235-41 Bourbon

Vieux Carre Commission

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

01 22 2026

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

01 22 2026

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

February 19, 2026





235-41 Bourbon

Vieux Carre Commission

February 19, 2026

